

**GENERAL NOTES  
RESIDENTIAL  
SITE DEVELOPMENT PLAN**

- The Contractor shall notify the Department of Public Works/Bureau of Engineering Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- The existing topography is a field run topographic survey with two (2) foot contour intervals prepared by VanMar Associates, Inc., dated April 11, 2006.
- The coordinates shown hereon are based on Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County Monument No. 46EA and 46EB were used for this project.
- Existing Utilities are based on Contract No. 719-S, 10/26/79 and a field run survey by VanMar Associates, Inc. on April 11, 2006.
- Any damage to the County's right-of-way shall be corrected at the developer's expense.
- For driveway entrance details refer to Howard County Design Manual, Volume IV, Standard Detail R-6.06.
- B.R.L. - Represents building restriction line
- Public water and sewer are available to this site. Project is located within the "PINE VALLEY" area.
- Driveways shall be provided prior to issuance of occupancy permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
  - Width - 12 feet for a single use drive.
  - Surface - 6 inches of compacted crusher run base with a tar and chip coating
  - Geometry - Maximum 14% grade, maximum 8% grade change and minimum 45 foot turning radius
  - Maintenance - Sufficient to insure all weather use
- Water and sewer service to these lots will be granted under the provisions of Section 18.122B of the Howard County Code. Public water and public sewer allocation will be granted at the time of the issuance of the building permit if capacity is available at that time.
- This lot is not in a noise sensitive area.
- Stormwater management water quality volume and recharge volume is provided by using the Disconnection of Rooftop Runoff Credit as outlined in Section 5.2 and Disconnection of Non Rooftop Runoff Credit as outlined in Section 5.3 of the 2000 MD Stormwater Design Manual.
- SITE ANALYSIS DATA CHART:
  - Total Project Area: 61,740 SF or 1.418 Ac.±
  - area of plan submission, same as above
  - Limit of Disturbed area: 30,228 SF
  - Zoned: R20
  - Improvement to Property: Single Family Residence
  - Total number of units allowed per final plat: 1
  - Total number of units proposed on submission: 1
    - Final Plan Approval Date: 7/30/05
    - DPZ Reference Number: SDP-07-020
- This property is zoned R-20 per the 2/2/04 Comprehensive Zoning Plan and the "Comp Lite" Zoning Regulation Amendments effective 7/28/06.
- SHC elevations shown are located at the property line.
- In accordance with Section 128 of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setback, porches or decks, open or enclosed may project not more than 10 feet into the front or rear setback.
- No clearing, grading or construction is permitted within wetlands, stream(s) or their required buffers.
- The existing well shown on this plan (no tag) Lot 16 "Pine Valley", has been field located by Vanmar Associates, Inc. professional surveyors and accurately shown.
- This property is exempt from Forest Conservation by the filing of a Declaration of Intent, since the total cutting, clearing or grading of forest resources is less than 40,000 square feet per Section 16.1202(b)(2)(i) of the Howard County Code.
- This property is known as Lot 1 and was created by a deeded plat and recorded in the Howard County Land Records as L. 439, F. 599 on Aug. 4, 1965 and approved by Howard County Planning Commission on July 30, 1965.
- There are wetlands and intermittent streams located on this property in accordance with the wetland and stream evaluation conducted by Exploration Research, Inc. Dated June 6, 2006. A 25' wetlands buffer and a 50' stream buffer are delineated on the plan.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Landscape Manual. Landscaping for Lot 1 has been addressed by the retention of existing forest resources. There will not be landscaping provided for this site. Should the existing vegetation (along the perimeters) be removed; this Department may require that landscaping be installed to meet the requirements of Sec. 16.124 of the Howard County Code and the Landscape Manual.
- The on-site and off-site contiguous area of steep slopes is less than 20,000 square feet and the proposed disturbance is considered necessary for construction of public or private roads, driveways, utilities, trails, pathways, or storm water management facilities which are essential for reasonable development of property, per Section 16.116(b)(1) and 16.116(c)(1)(i) of the Subdivision Regulations.

**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION A MINIMUM OF 48 HOURS PRIOR TO START OF WORK. (410) 313-1855
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, AND SILT FENCES.
- GRADE SITE INCLUDING BIO-RETENTION FACILITY #1 & 2. (DO NOT INSTALL MULCH, PLANTING SOIL, GRAVEL AND UNDERDRAIN.)
- STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.
- CONSTRUCT DRIVEWAY, CONSTRUCT BUILDING.
- INSTALL DOWNSPOUTS AND UNDERDRAIN.
- STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.
- UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE AS PER PERMANENT SEEDING NOTES.
- AFTER ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED AND APPROVAL FROM INSPECTOR INSTALL BIO-RETENTION FACILITY # 1 & 2 AS FOLLOWS:
  - EXCAVATE THE BOTTOM ELEVATION AS SHOWN ON PLAN.
  - INSTALL UNDERDRAIN & CLEANOUTS.
  - BACKFILL WITH GRAVEL (1/2" DEPTH 3/8 TO 3/4 STONE.)
  - COVER GRAVEL WITH FABRIC CLOTH.
  - BACKFILL WITH PLANTING SOIL.
  - COVER WITH 3" MULCH LAYER.
  - PLANT AS PER LANDSCAPE PLAN.
  - STABILIZE ALL DISTURBED AREAS.

**SHEET INDEX**

- Sheet 1 of 5 - Cover Sheet
- Sheet 2 of 5 - Site Development Plan\Sed, Erosion Control
- Sheet 3 of 5 - Notes and Standard Details
- Sheet 4 of 5 - Forest Conservation Plan
- Sheet 5 of 5 - Landscape Plan

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT #1, p/o PARCEL #253	#10810 HARDING ROAD

**PERMIT INFO CHART**

Subdivision Name: EDNA RIDGELY	Section/Area: L 9146 F 462	Lot/Parcel No.: LOT 1 p/o #253
Plat or L/P: L 9146 F 462	Grid: 17	Parcel No.: 606802
Water Code:	Zoning: R20	Election Distr.: 6th
		Sewer Code:

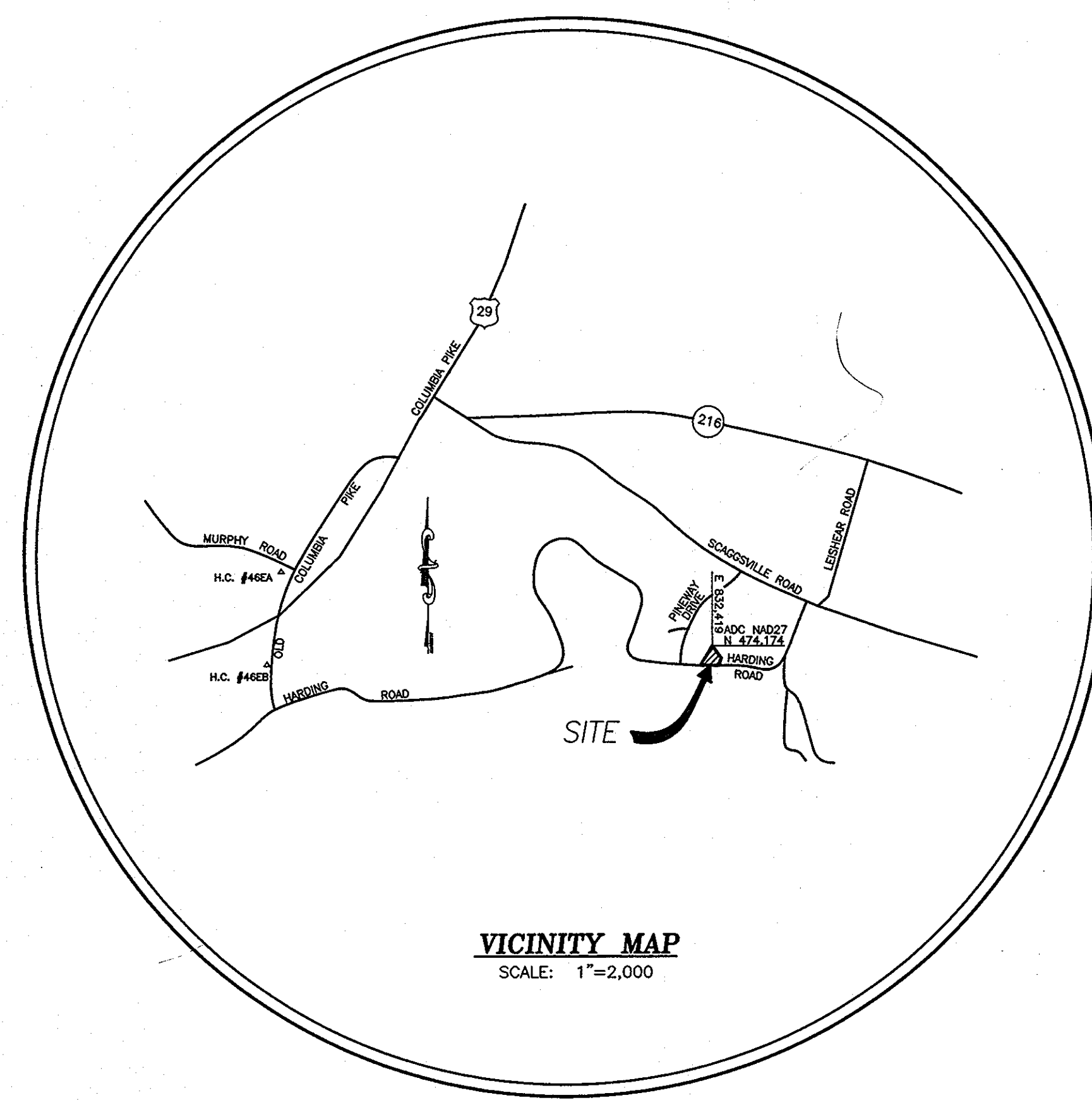
DATE	REVISION	OWNER/DEVELOPER:
11/21/06	comments 10/12/06	SCOTT AND DEBORAH SCHMIDT C/O MARK REDMAN, GEMINI DESIGN/BUILD INC. 3308 DANMARK DRIVE GLENWOOD, MD. 21738 (410) 489-9100
2/14/07	COMMENTS 1/3/07	
5/2/07	COMMENTS 3/14/07	
6/12/07	COMMENTS 5/21/07	

TAX MAP: #46, GRID: #17, PARCEL: P/O #253
---

**SITE DEVELOPMENT PLAN  
LOT 1  
EDNA M. RIDGELY**

SITUATED ON HARDING ROAD  
ELECTION DISTRICT #6  
HOWARD COUNTY, MARYLAND  
SCALE: 1"=50' AUGUST, 2006

**VANMAR ASSOCIATES, INC.**  
Engineers Surveyors Planners  
310 South Main Street P.O. Box 328  
Mount Airy, Maryland 21771  
(301) 822-2890 (301)851-5015 (410) 549-2751



**VICINITY MAP**  
SCALE: 1"=2,000

**SITE DEVELOPMENT PLAN**

LOT 1

**EDNA M. RIDGELY**

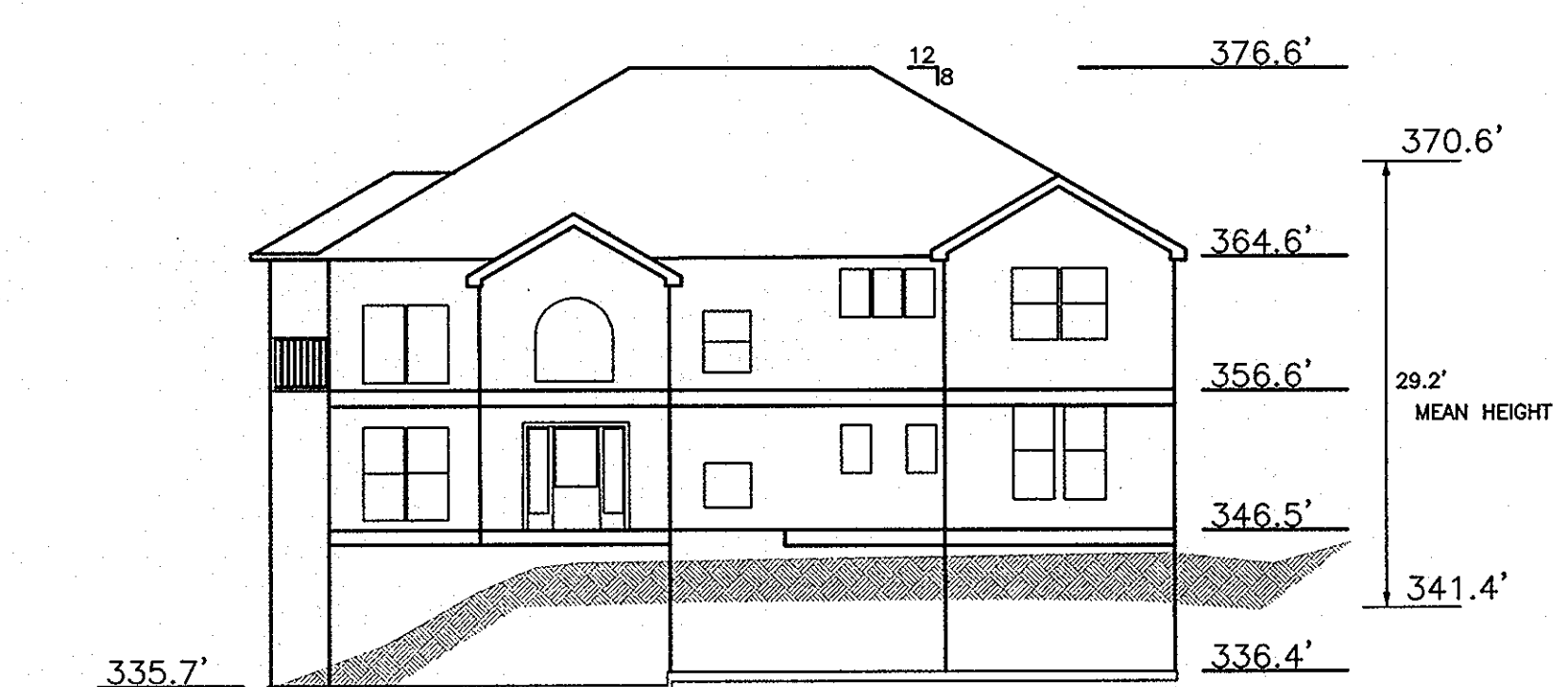
L. 9146 F. 462

#10810 HARDING ROAD  
LAUREL, MD

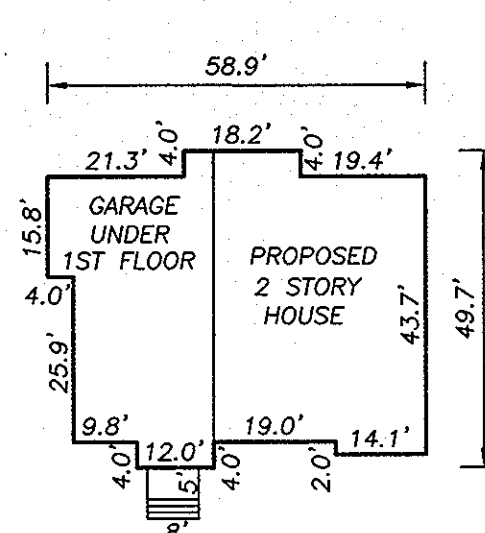
**SURVEYOR'S CERTIFICATE**

I, HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT; THAT IT IS A SITE DEVELOPMENT PLAN OF ALL OF THE LANDS CONVEYED BY JOHN D. SCHMIDT AND MARGARET G. SCHMIDT TO SCOTT ALAN SCHMIDT AND DEBORAH HARTIE SCHMIDT BY DEED DATED APRIL 19, 2005 AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 9146 AT FOLIO 462, AND THAT IT IS A RESULT OF AN ACTUAL FIELD SURVEY, BASED ON THE DATA FOUND AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AS REFERENCED HEREON, AND IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND AS AMENDED.

*Sourabh Munshi* 6/18/07  
Sourabh G. Munshi, Prof. L.S. #10770 DATE



**BUILDING ELEVATION**  
NOT TO SCALE



**HOUSE DETAIL**  
SCALE: 1"=30'

**ENGINEER'S CERTIFICATE:**

I CERTIFY THAT THESE PLANS FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Sourabh Munshi* 6/18/07  
SOURABH G. MUNSHI, P.E. DATE

**DEVELOPER'S CERTIFICATE:**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 11/16/07  
DEVELOPER DATE

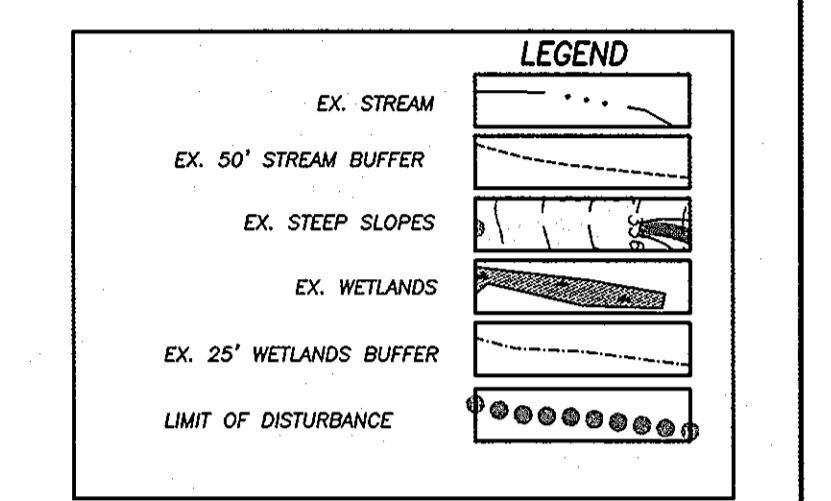
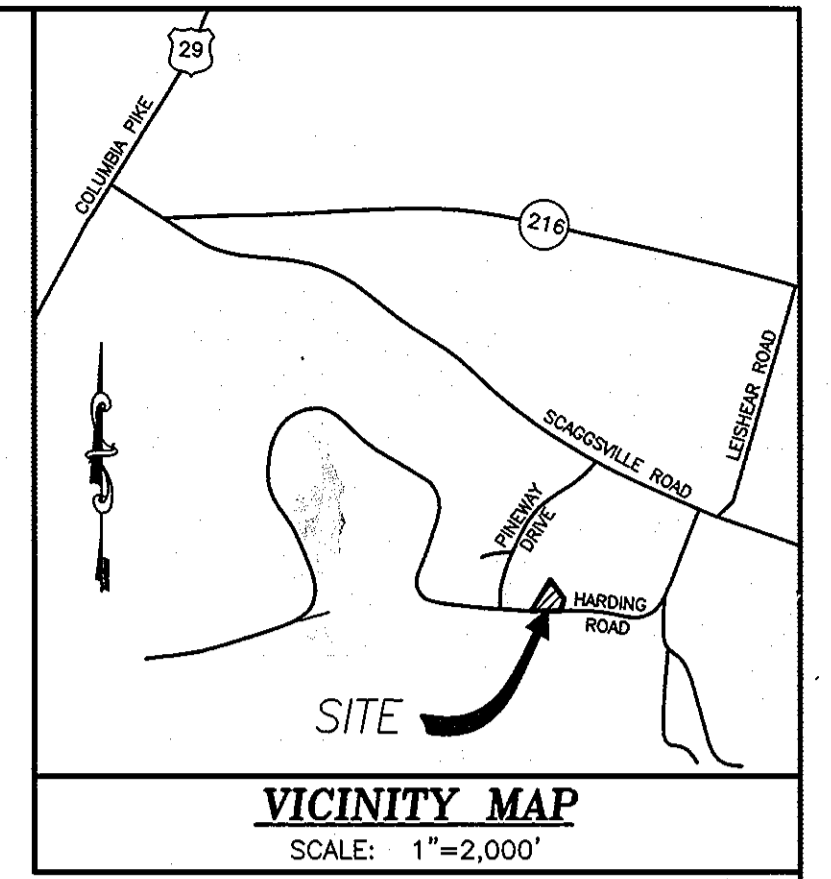
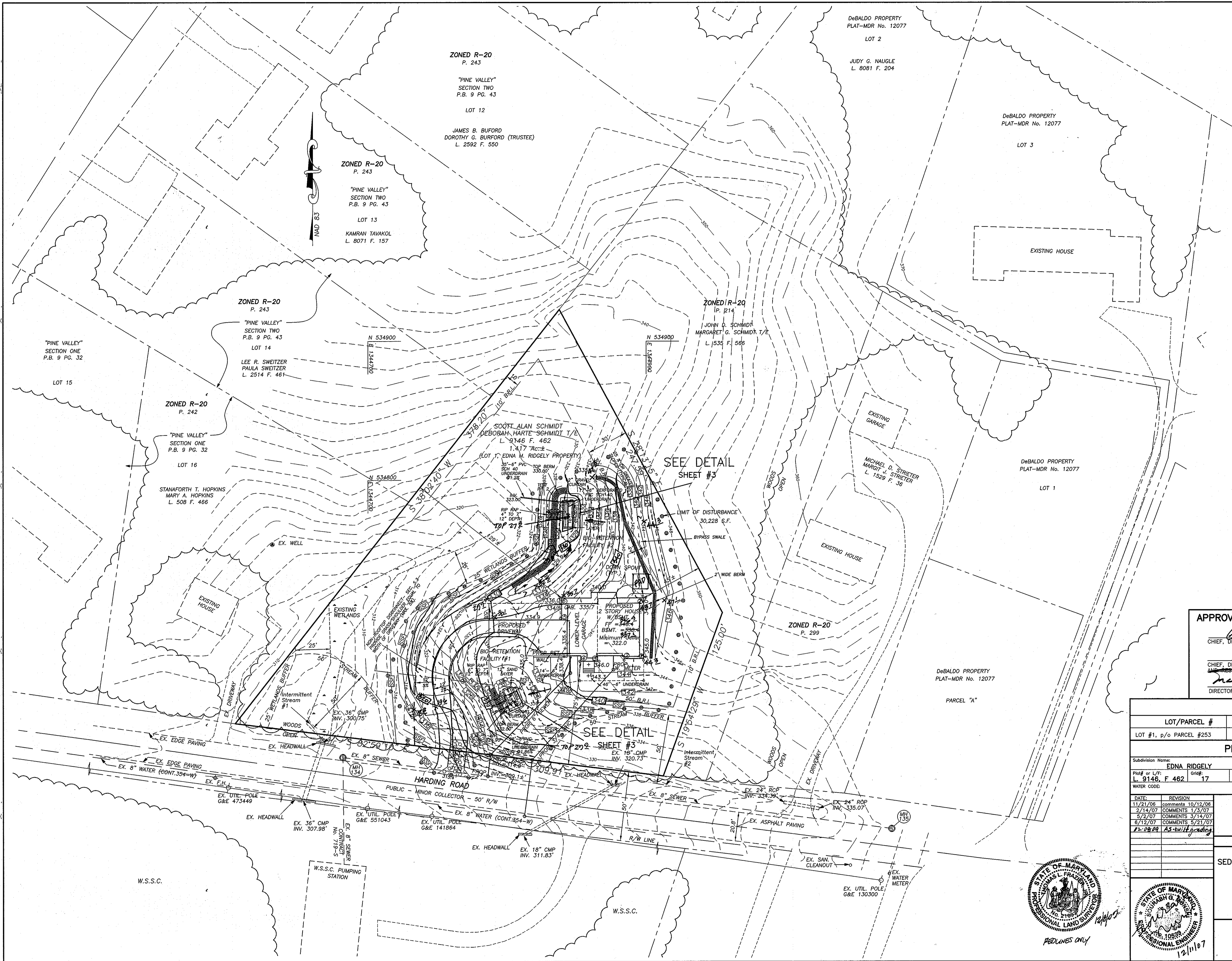
**APPROVED: SOIL CONSERVATION SERVICE**

REVIEW FOR HOWARD COUNTY MEETS TECHNICAL REQUIREMENTS.

*[Signature]* 6/13/07  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE  
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

*[Signature]* 12/11/07  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*[Signature]* 1/8/08  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*[Signature]* 1/10/08  
DIRECTOR DATE



APPROVED: DEPARTMENT OF PLANNING AND ZONING

*John DeBardo* 12/11/07  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cindy Hunt* 1/5/08  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Judy G. Naugle* 1/10/08  
 DIRECTOR DATE

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOT #1, p/o PARCEL #253	#10810 HARDING ROAD

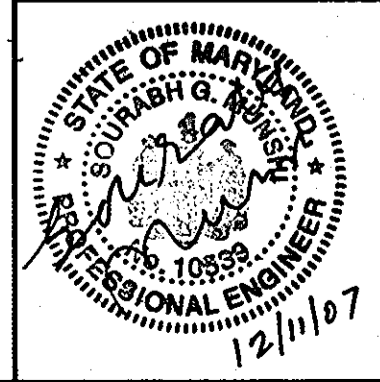
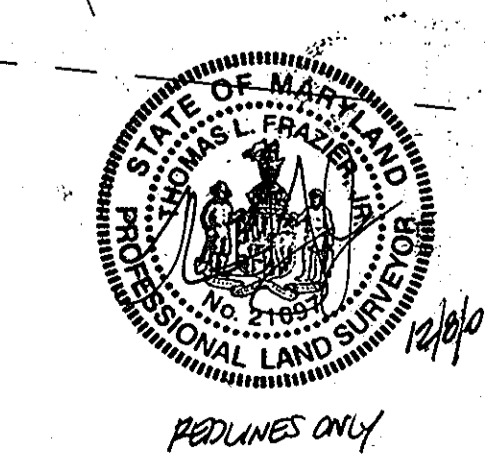
PERMIT INFO CHART			
Subdivision Name:	Section/Area:	Lot/Parcel No.:	
EDNA RIDGELY		LOT 1 p/o #253	
Plat or L.P. L. 9146, F. 462	Grid: 17	Tax Map No.: 46	Election Distr.: 6th
WATER CODE:		SEWER CODE:	606802

DATE:	REVISION:
11/21/06	comments 10/12/06
2/14/07	comments 1/3/07
5/2/07	comments 3/14/07
6/12/07	comments 5/21/07
7-24-07	AS-built grading

OWNER/DEVELOPER:	
SCOTT AND DEBORAH SCHMIDT C/O MARK REDMAN, GEMINI DESIGN/BUILD INC. 3308 DANMARK DRIVE GLENWOOD, MD. 21738 (410) 489-9100	
TAX MAP:	#46, GRID: #17, PARCEL: P/O #253
SITE DEVELOPMENT PLAN SEDIMENT AND EROSION CONTROL & GRADING PLAN LOT 1	
EDNA M. RIDGELY SITUATED ON HARDING ROAD ELECTION DISTRICT #6 HOWARD COUNTY, MARYLAND SCALE: 1"=30' AUGUST, 2006	
VANMAR ASSOCIATES, INC. Engineers/Surveyors/Planners 310 South Main Street P.O. Box 328 Mount Airy, Maryland 21771 (301) 828-2800 (301)831-5015 (410) 548-2751	



C:\msd\cadd\06-07-07\Edna M. Ridgely - Property\Temp\06-07-07\_Site Development\Plan.dwg, 12/11/07 9:58:19 AM

**STANDARD SEDIMENT CONTROL NOTES**

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410) 513-1855.
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. B) 14 DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**  
 TOTAL AREA OF SITE: 1.417 ACRES  
 AREA DISTURBED: 0.64 ACRES  
 AREA TO BE ROOFED OR PAVED: 0.10 ACRES  
 AREA TO BE VEGETATIVELY STABILIZED: 0.37 ACRES  
 TOTAL CUT: 878 CU. YDS.  
 TOTAL FILL: 744 CU. YDS.  
 OFFSITE WASTE/BORROW AREA LOCATION: N/A  
 ANY SEDIMENT CONTROL STRUCTURE IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

- SOIL AMENDMENTS:** IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
- PREFERRED:** APPLY 2 TONS/ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS/ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS/ACRE 30-0-0 URGARIC FERTILIZER (9 LBS/1000 SQ. FT.)
  - ACCEPTABLE:** APPLY 2 TONS/ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 1000 LBS/ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

**SEEDING:** FOR THE PERIODS MARCH 1-APRIL 30, AND AUGUST 1-OCTOBER 15, SEED WITH 60 LBS/ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1-JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS/ACRE (0.5 LBS/1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16-FEBRUARY 28, PROTECT SITE BY:  
 OPTION 1 - TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.  
 OPTION 2 - USE SOD.  
 OPTION 3 - SEED WITH 60 LBS/ACRE KENTUCKY 30 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

**MULCHING:** APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

**MAINTENANCE:** INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

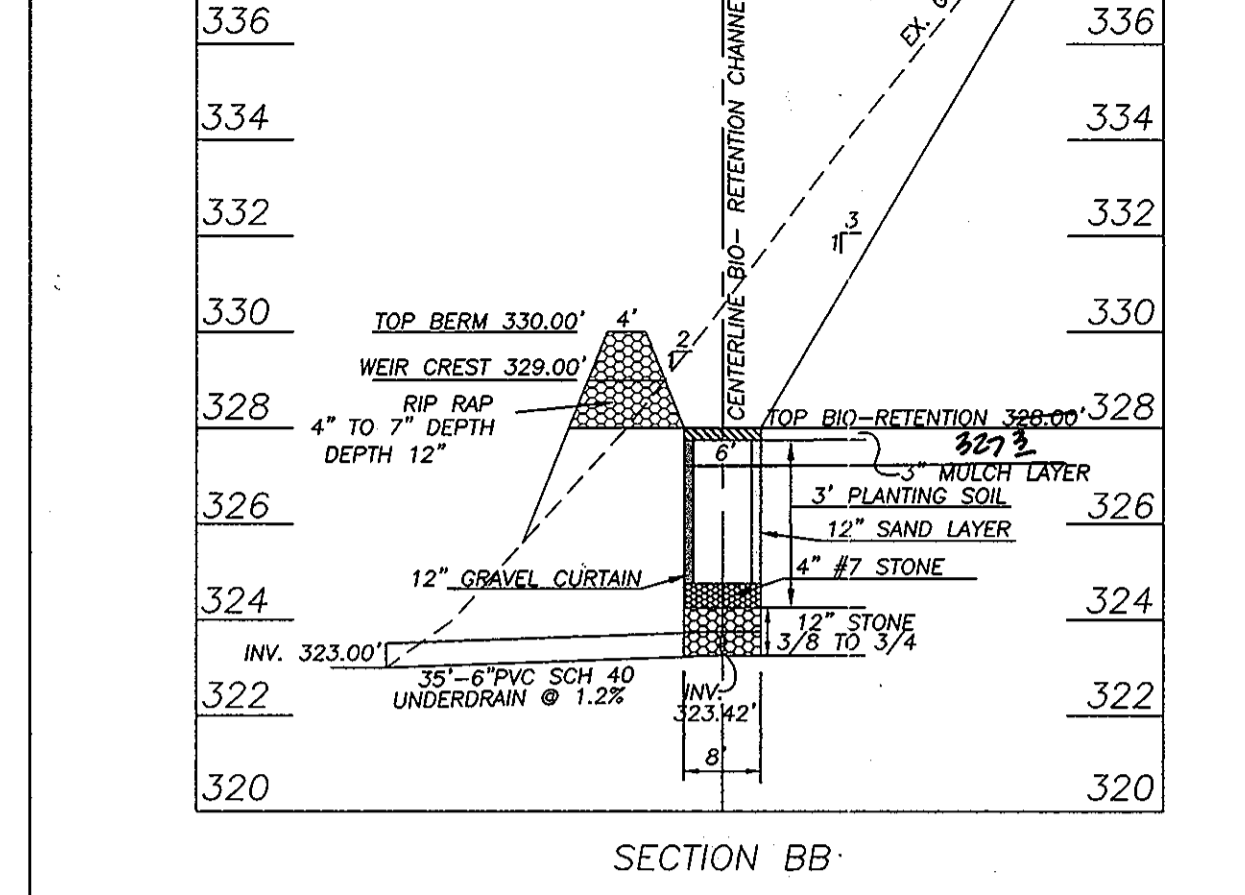
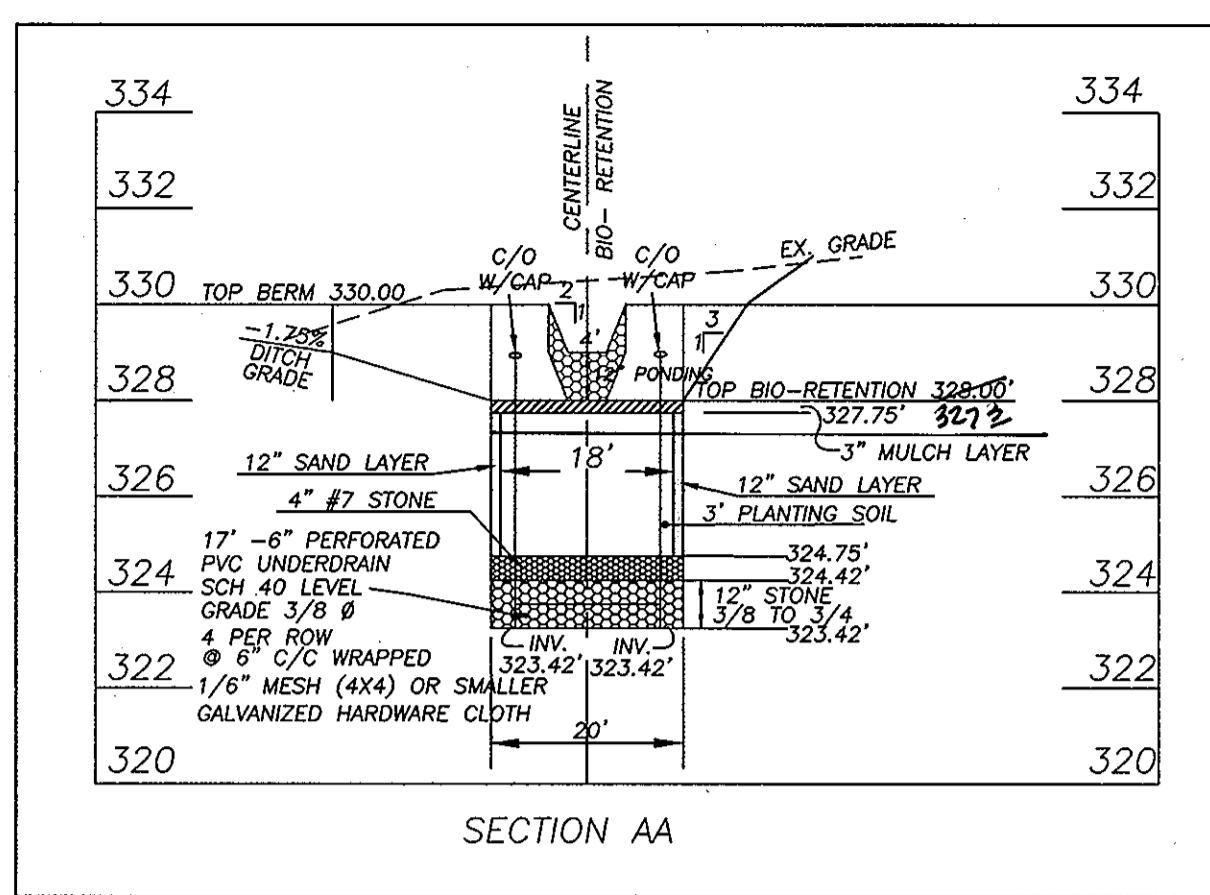
**TEMPORARY SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RE-DISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

- SOIL AMENDMENTS:** APPLY 600 LBS/ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)
- SEEDING:** FOR THE PERIODS MARCH 1-APRIL 30, AND AUGUST 15-OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.) FOR THE PERIOD MAY 1-AUGUST 14, SEED WITH 3 LBS WEEPING LOVEGRASS (0.7 LBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 - FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS/ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

**MULCHING:** APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING. REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

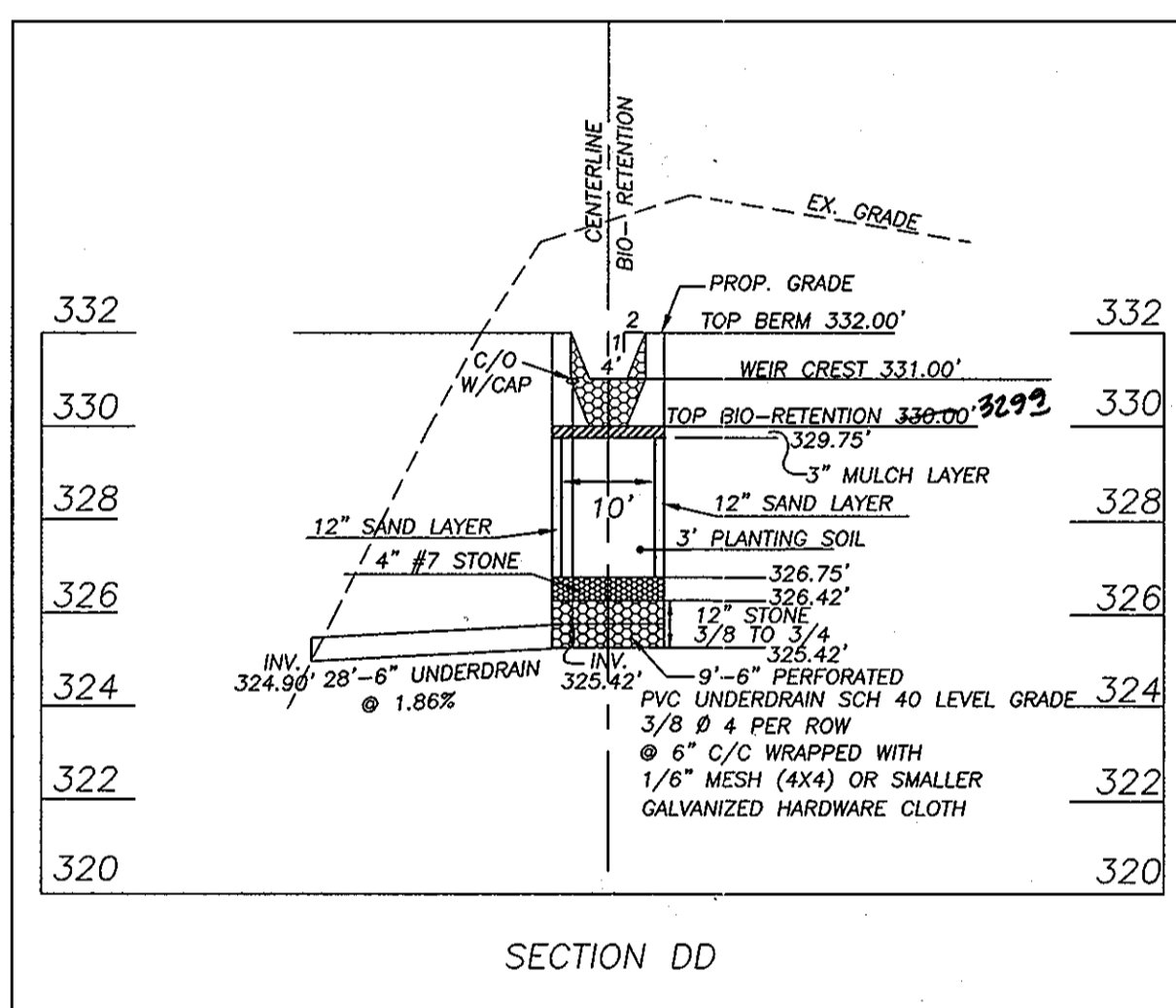
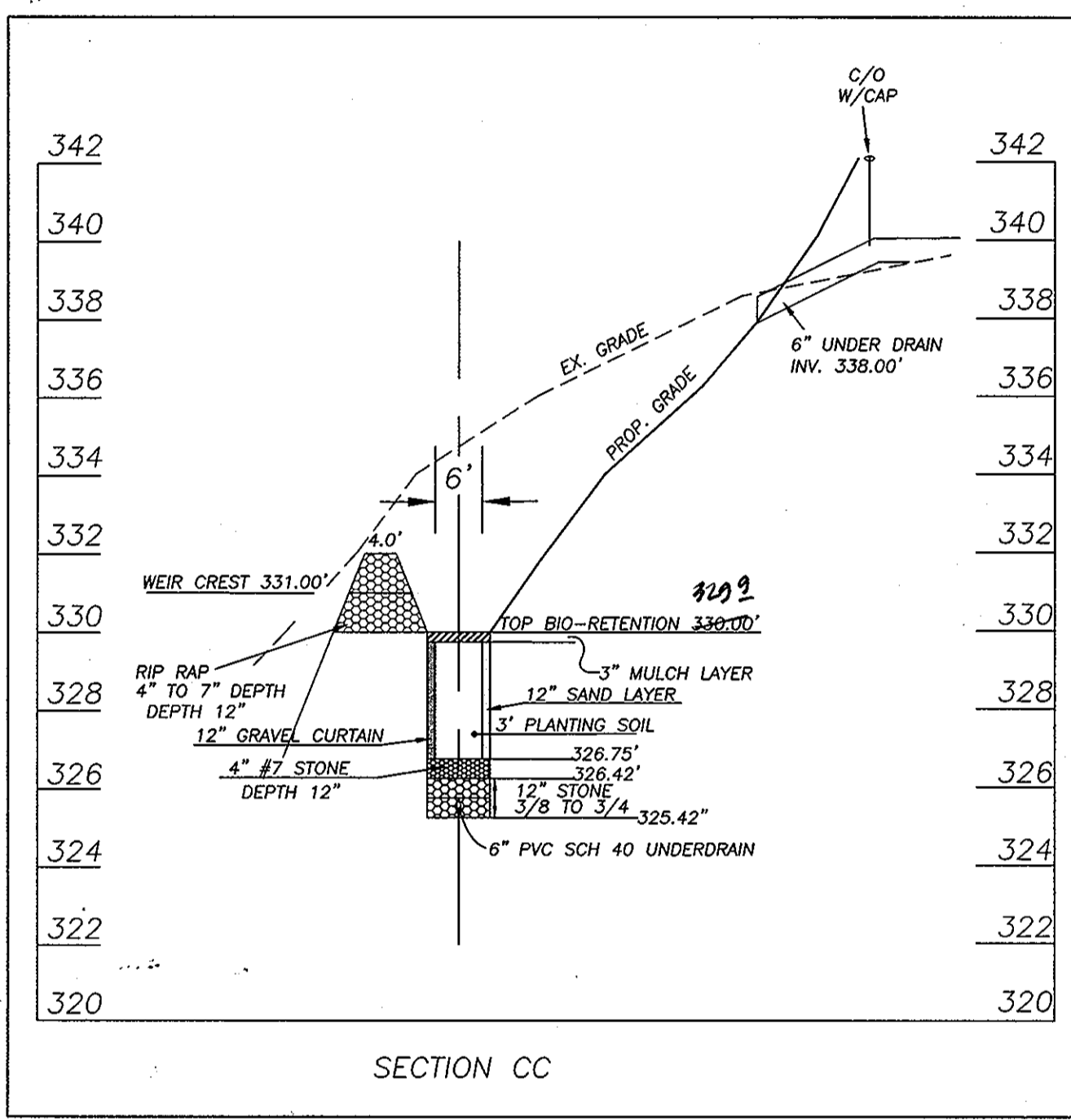


BIO-RETENTION FACILITY #2

PROFILE SCALE  
 1" = 20' HORIZ.  
 1" = 4' VERT.

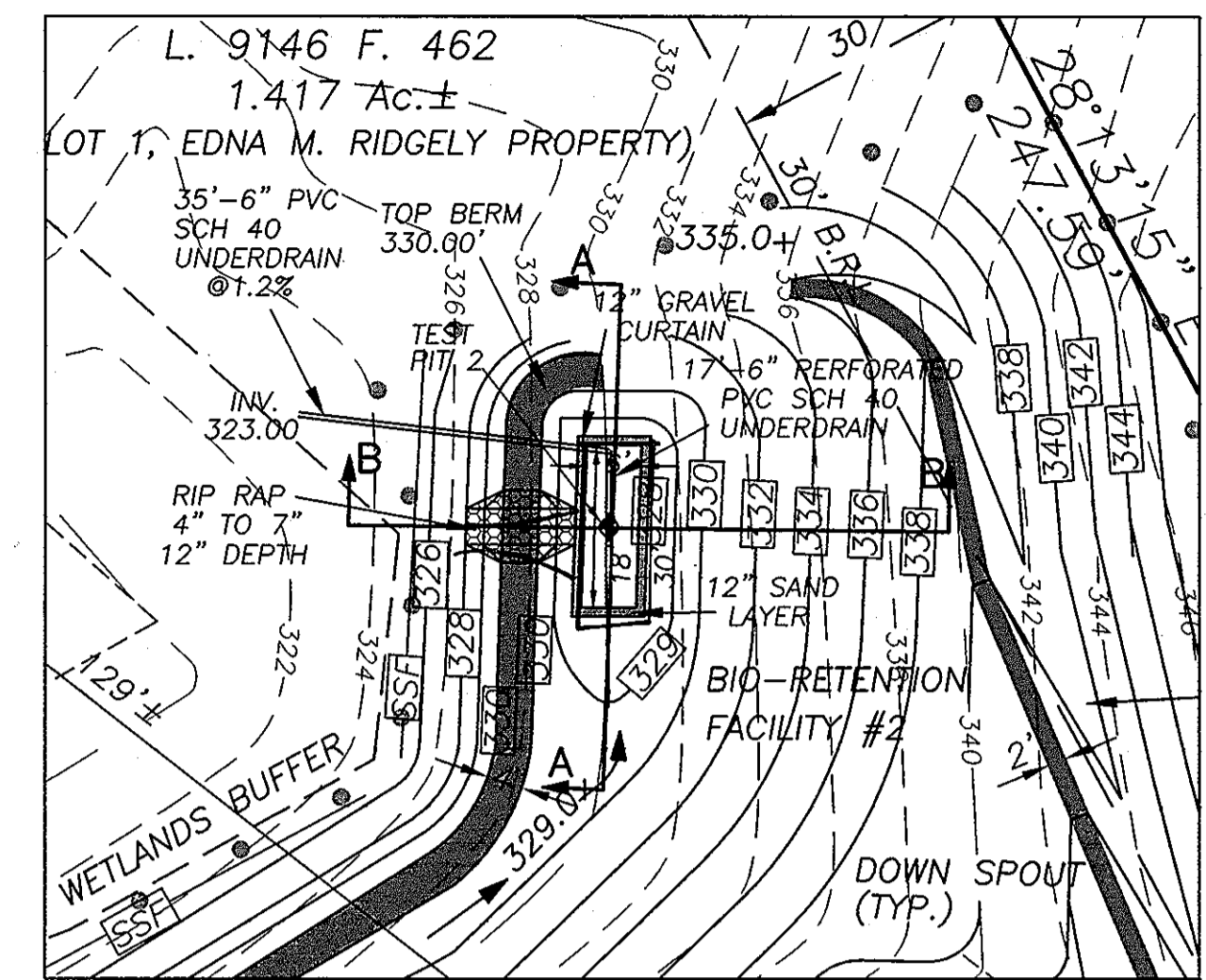
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

Approved: *J.R. [Signature]* 12/3/07  
 Howard S.C.O. Date

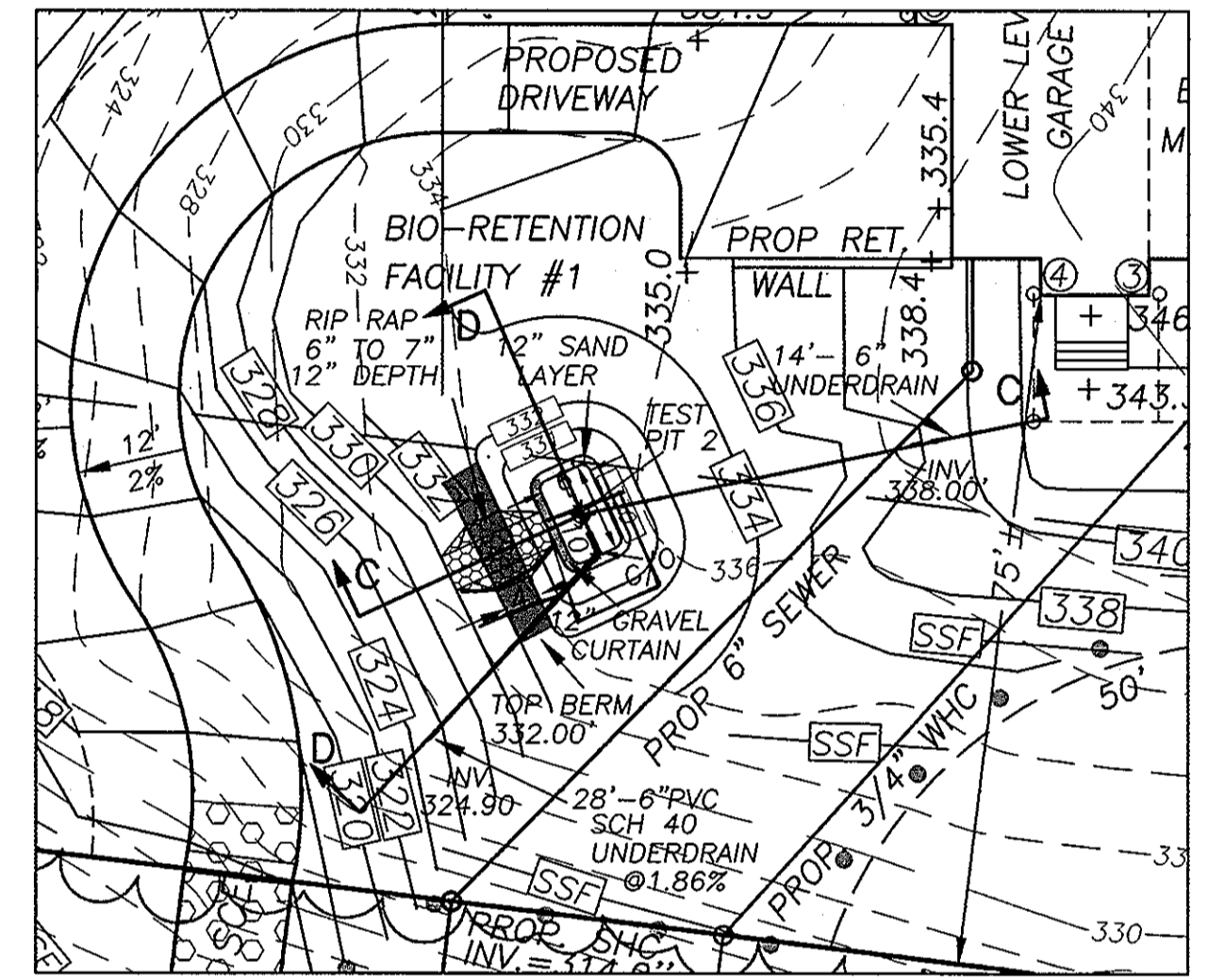
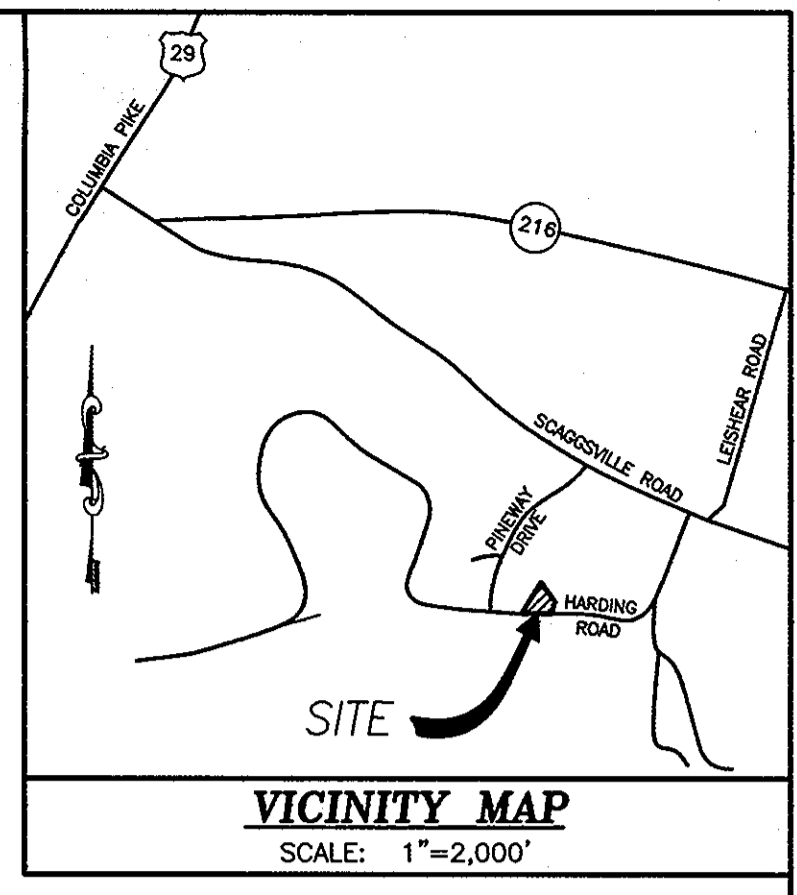


BIO-RETENTION FACILITY #1

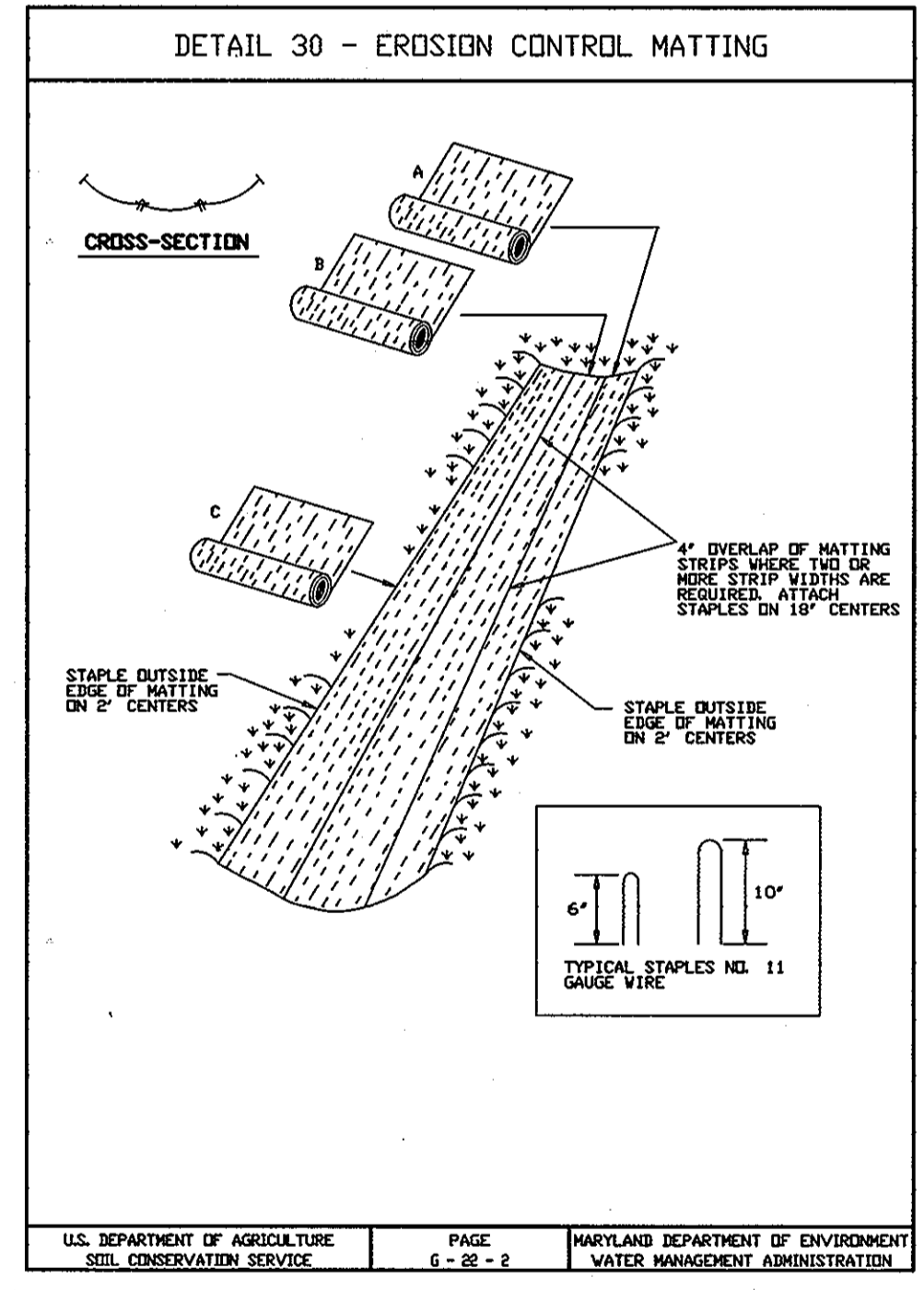
PROFILE SCALE  
 1" = 20' HORIZ.  
 1" = 4' VERT.



BIO-RETENTION FACILITY #2 SCALE: 1" = 20'



BIO-RETENTION FACILITY #1 SCALE: 1" = 20'



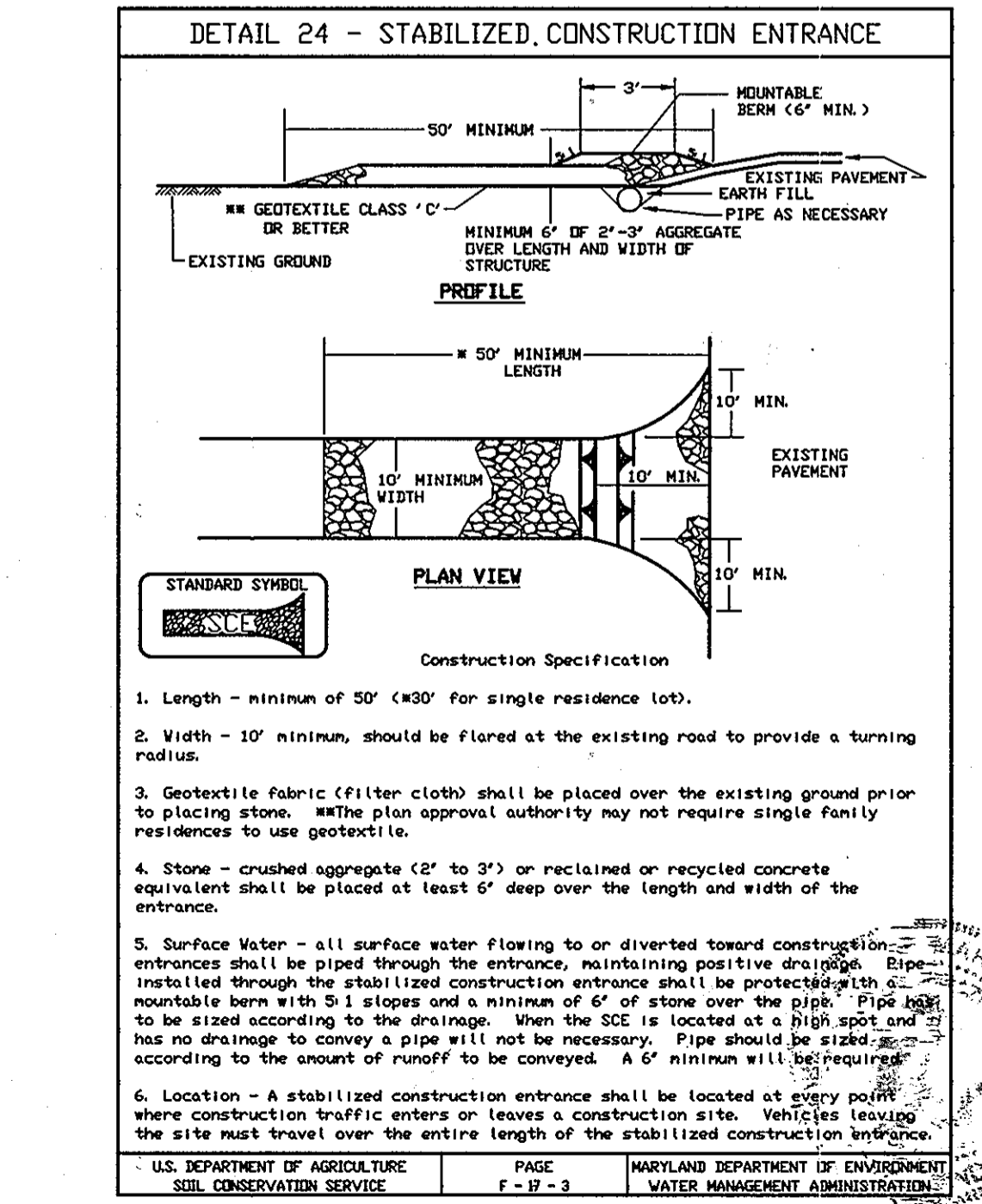
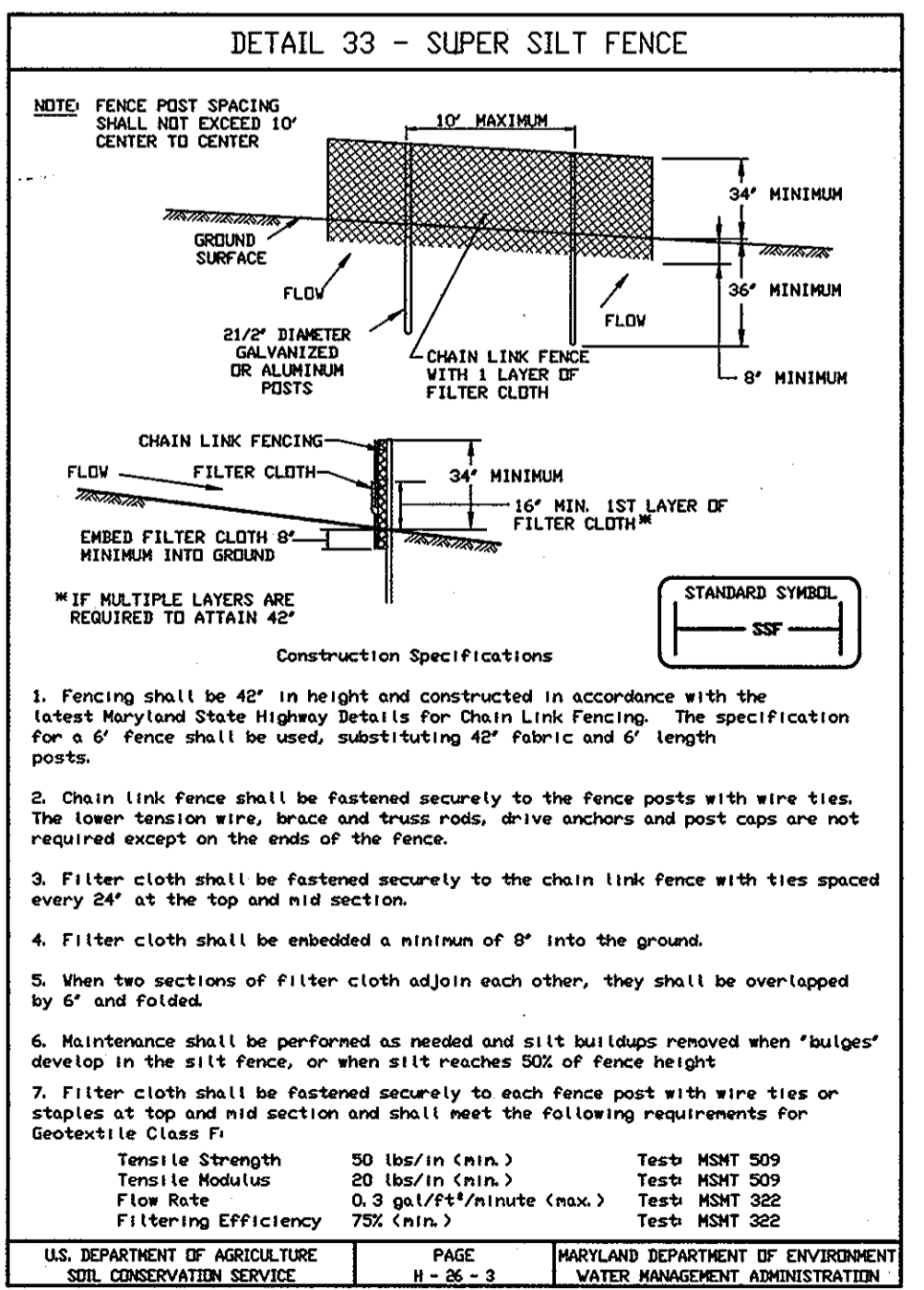
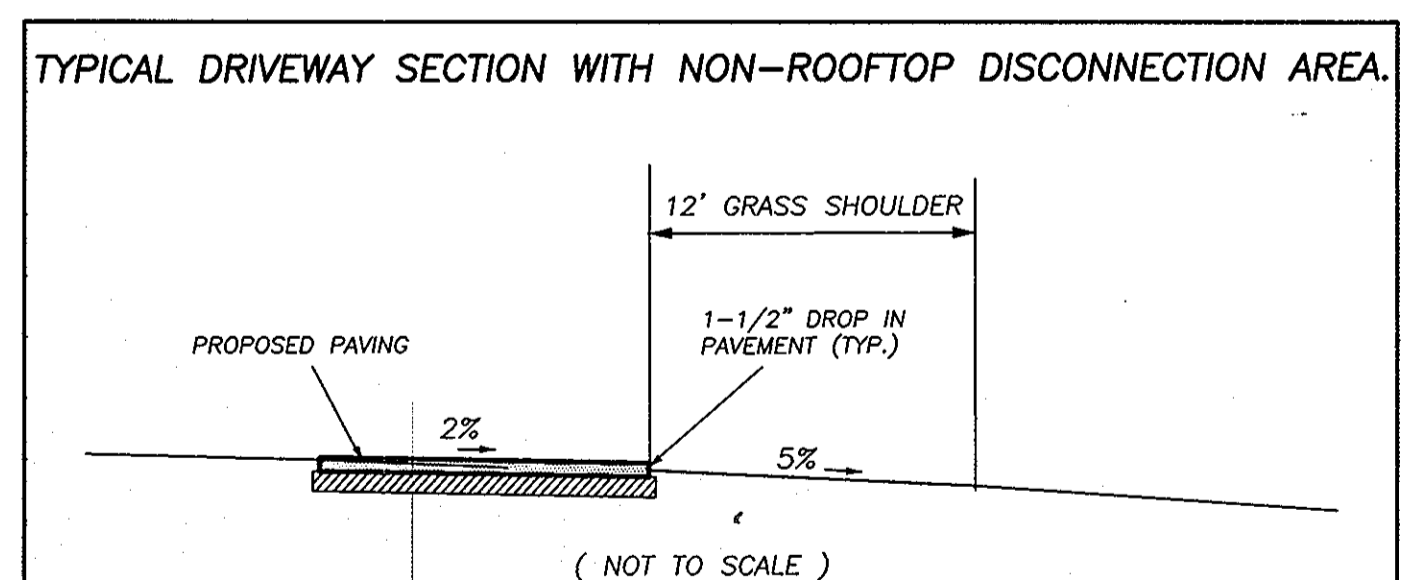
**EROSION CONTROL MATTING**

Construction Specifications

- Key-in the matting by placing the top edge of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Staple the 4" overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2" apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip 6", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be kept in.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 6-28-28 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



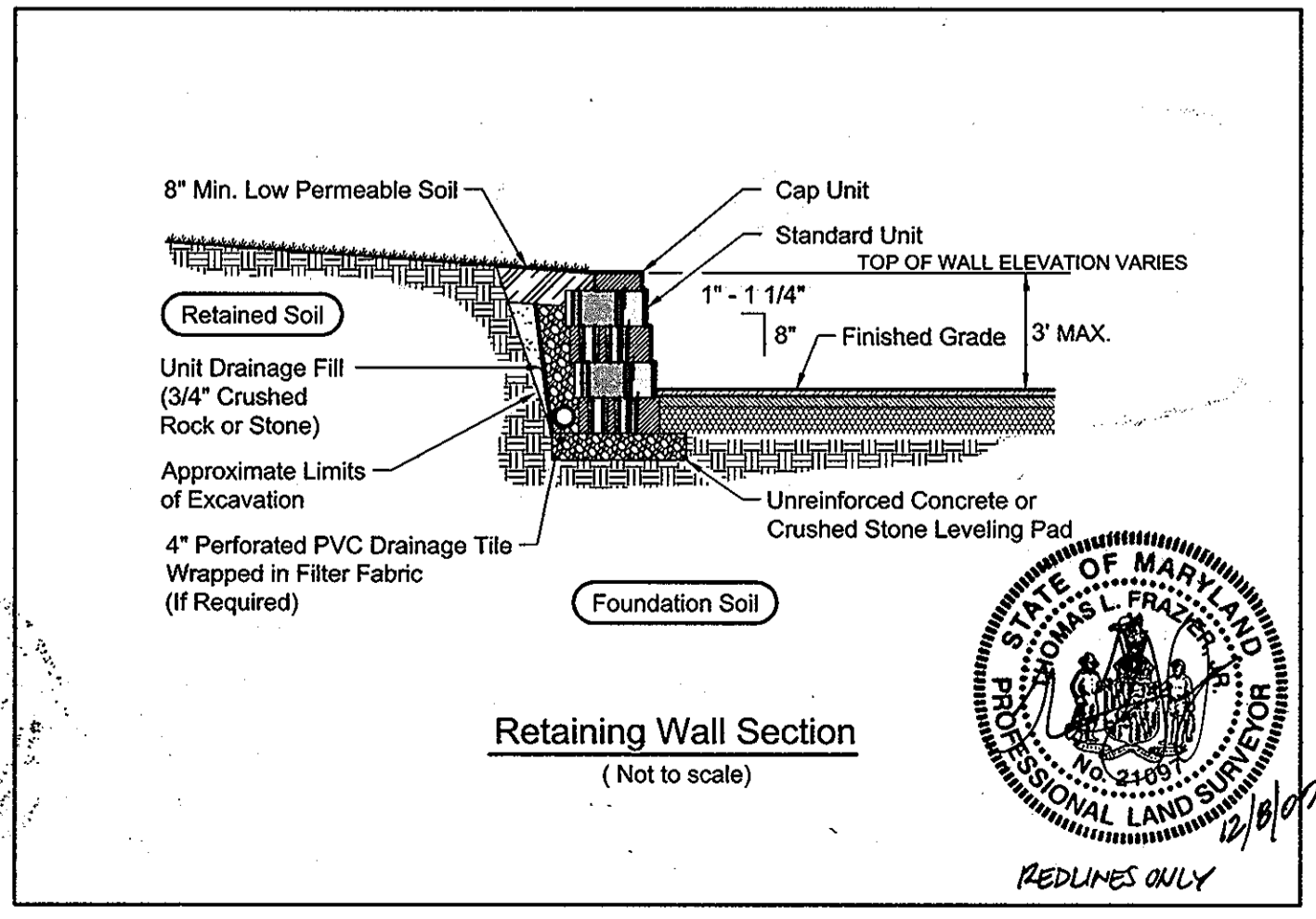
**PAVING SECTION FOR DRIVEWAY - LOT 1 (N.T.S.)**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 12/1/07  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 1/8/08  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 1/10/08  
 DIRECTOR DATE



**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT #1, p/o PARCEL #253	#10810 HARDING ROAD

**PERMIT INFO CHART**

Subdivision Name:	EDNA RIDGELY	Section/Area:		Lot/Parcel No.:	LOT 1 p/o #253
Final or L/P:	L 9146, F 462	Grade:	17	Consent Text:	606802
Water Code:		Zoning:	R20	Tax Map No.:	46
				Election Distr.:	6th
				SEWER CODE:	

**OWNER/DEVELOPER:**  
 SCOTT AND DEBORAH SCHMIDT  
 C/O MARK REDMAN, GEMINI DESIGN/BUILD INC.  
 3308 DANMARK DRIVE, GLENWOOD, MD. 21738  
 (410) 489-9100

TAX MAP: #46, GRID: #17, PARCEL: P/O #253

**SITE DEVELOPMENT PLAN  
 SEDIMENT AND EROSION CONTROL NOTES  
 SWM DETAILS**

EDNA M. RIDGELY  
 SITUATED ON HARDING ROAD  
 ELECTION DISTRICT #6  
 HOWARD COUNTY, MARYLAND  
 SCALE: 1"=1/4" AUGUST, 2006

VANMAR ASSOCIATES, INC.  
 Engineers Surveyors Planners  
 310 South Main Street P.O. Box 328  
 Mount Airy, Maryland 21771  
 (301) 829-2880 (301)831-5015 (410) 549-2751

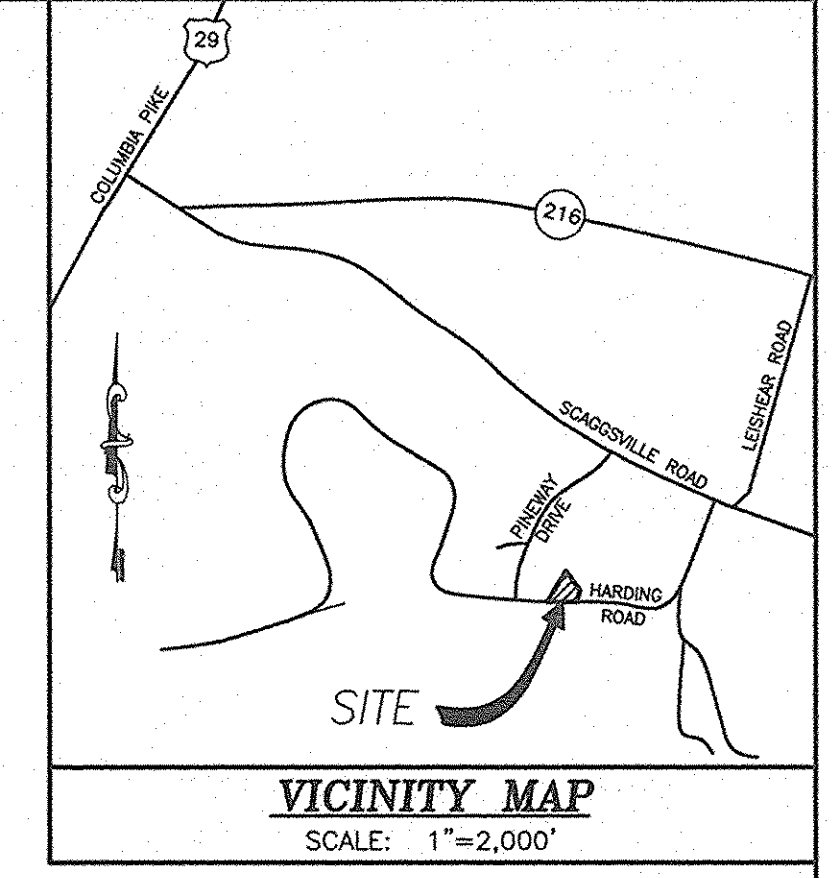
Sheet 3 of 5



**F** FOREST  
**MID3** SOILS SYMBOL  
 12" DEPTH

**SOILS LINE**  
 25' WETLAND BUFFER  
 15-25% SLOPES  
 25%+ SLOPES

**SPECIMEN TREE**



- FOREST CONSERVATION NOTES**
- The number of trees in the existing woods exceeds the 100 stem per acre threshold as defined in the Forest Conservation Manual.
  - There is no 100-year floodplain on-site per FEMA Map, Community Panel No. 240044 0042 B.
  - This plan is for tree protection and conservation measures only.
  - All contractors performing work on this site shall notify 'Miss Utility' 48 hours prior to any construction or grading by calling 1-800-257-7777 for the location of all utilities.
  - The contractors performing work on the site are responsible for protecting existing native and non-invasive plantings during construction.
  - Stabilize all disturbed areas as directed by inspectors.
  - For tree pruning and care methods please refer to the National Arborist Standards, latest edition.
  - This Site Development Plan is exempt from Forest Conservation requirements under Section 16.1202(b)(2)(j) of the Howard County Code.

SPECIMEN TREES				
#	SIZE (D.B.H.)	BOTANICAL NAME	COMMON NAME	NOTES
1	24", 25", 14"	Liriodendron tulipifera	Tulip Poplar	triple trunk
2	23"	Liriodendron tulipifera	Tulip Poplar	
3	44"	Liriodendron tulipifera	Tulip Poplar	
4	33"	Liriodendron tulipifera	Tulip Poplar	
5	26"	Liriodendron tulipifera	Tulip Poplar	
6	24"	Liriodendron tulipifera	Tulip Poplar	
7	24"	Liriodendron tulipifera	Tulip Poplar	
8	26"	Liriodendron tulipifera	Tulip Poplar	
9	33"	Liriodendron tulipifera	Tulip Poplar	

SOIL TYPE	SYMBOL	LAND CAPABILITY	Kw	SLOPE %	HYDRIC?	HYDROLOGIC SOIL GROUP
Manor Loam	MIB2	Ile-25	>.35	3-8%	NO	B
Manor Loam	MID3	Ile-25	>.35	8-15%	NO	B

EXHIBIT 3-2  
 FOREST STAND ANALYSIS TABLE  
 Applicant: Scott A. & Deborah H. Schmidt Project Name: Edna M. Ridgely, Lot 1 Submission No.

F	TULIP POPLAR RED MAPLE	3.35 AC±	MIB2	HARDWOODS	41	TULIP POPLAR 51%	12-18"	0-BOYRS	GOOD	0.87AC±	GOOD
			MID3	HARDWOODS	41						
2.307AC± TOTAL SENSITIVE AREA											

\*AREA MEASURED TO THE NEAREST 1/10 ACRE  
 \*\* SOURCE: HOWARD COUNTY SOIL SURVEY, USDA

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Approved: *John R. Blanton* 12/13/07  
 Howard S.C.D. Date

APPROVED BY DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 12/10/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 1/10/08  
 DIRECTOR DATE: 1/10/08

**ADDRESS CHART**

LOT/PARCEL #	STREET ADDRESS
LOT #1, p/o PARCEL #253	#10810 HARDING ROAD

**PERMIT INFO CHART**

Subdivision Name: EDNA RIDGELY	Section/Area: LOT 1 p/o #253
Plot# or L/F: L. 9146, F. 462	Grid: 17
Zoning: R20	Tax Map No.: 46
Water Code:	Election Distr.: 6th
	Conserv Tract: 606802
	Sewer Code:

**OWNER/DEVELOPER:**  
 SCOTT AND DEBORAH SCHMIDT  
 C/O MARK REDMAN, GEMINI DESIGN/BUILD INC.  
 3308 DANMARK DRIVE GLENWOOD, MD. 21738  
 (410) 489-9100

TAX MAP: #46, GRID: #17, PARCEL: P/O #253

**FOREST CONSERVATION PLAN**  
 LOT 1  
 EDNA M. RIDGELY

SITUATED ON HARDING ROAD  
 ELECTION DISTRICT #6  
 HOWARD COUNTY, MARYLAND  
 SCALE: 1"=50' MAY, 2006

**VANMAR ASSOCIATES, INC.**  
 Engineers Surveyors Planners  
 310 South Main Street P.O. Box 328  
 Mount Airy, Maryland 21771  
 (301) 828-2900 (301)831-5015 (410) 549-2751

Sheet 4 of 5

