

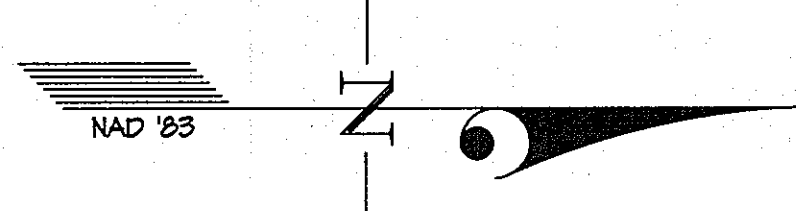
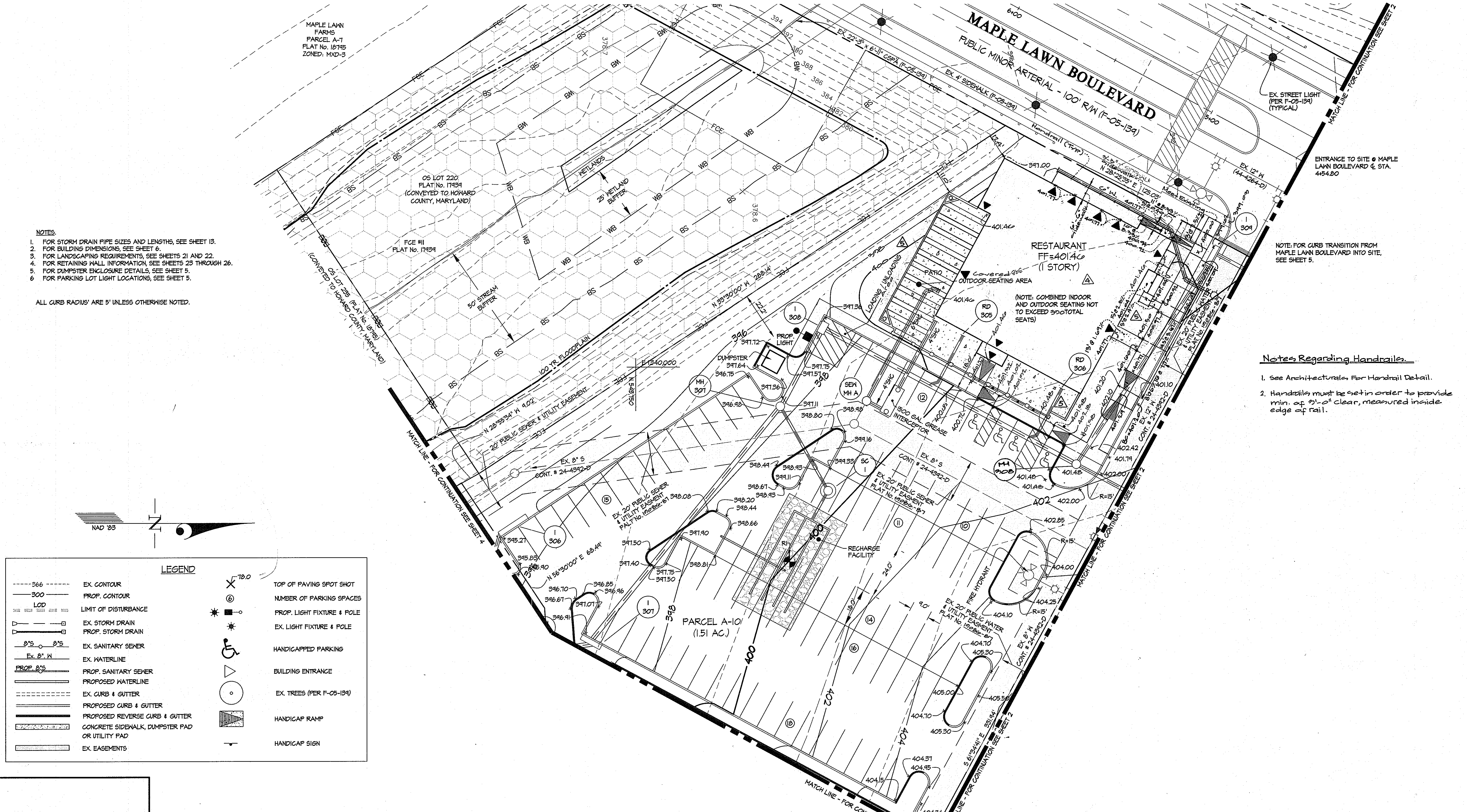
- NOTES:**
- FOR STORM DRAIN PIPE SIZES AND LENGTHS, SEE SHEET 13.
 - FOR BUILDING DIMENSIONS, SEE SHEET 6.
 - FOR LANDSCAPING REQUIREMENTS, SEE SHEETS 21 AND 22.
 - FOR RETAINING WALL INFORMATION, SEE SHEETS 23 THROUGH 26.
 - FOR DUMPSTER ENCLOSURE DETAILS, SEE SHEET 5.
 - FOR PARKING LOT LIGHT LOCATIONS, SEE SHEET 5.

ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.

NOTE FOR CURB TRANSITION FROM MAPLE LAWN BOULEVARD INTO SITE, SEE SHEET 5.

Notes Regarding Handrails:

- See Architecturals For Handrail Detail.
- Handrails must be set in order to provide min. of 3'-0" clear, measured inside edge of rail.



LEGEND			
---366---	EX. CONTOUR	X 18.0	TOP OF PAVING SPOT SHOT
---300---	PROP. CONTOUR	⊙	NUMBER OF PARKING SPACES
LOD	LIMIT OF DISTURBANCE	⊙	PROP. LIGHT FIXTURE & POLE
---D---	EX. STORM DRAIN	⊙	EX. LIGHT FIXTURE & POLE
---D---	PROP. STORM DRAIN	♿	HANDICAPPED PARKING
---8" S---	EX. SANITARY SEWER	⊙	BUILDING ENTRANCE
---8" W---	EX. WATERLINE	⊙	EX. TREES (PER F-05-139)
---8" S---	PROP. SANITARY SEWER	⊙	HANDICAP RAMP
---8" S---	PROPOSED WATERLINE	⊙	HANDICAP SIGN
---8" S---	EX. CURB & GUTTER		
---8" S---	PROPOSED CURB & GUTTER		
---8" S---	PROPOSED REVERSE CURB & GUTTER		
---8" S---	CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD		
---8" S---	EX. EASEMENTS		

APPROVED
PLANNING BOARD
HOWARD COUNTY

DATE 3/2/07
KS

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT

P. Wilson for Peter Bilsen 5/10/2007
County Health Officer MD Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark A. Cope 5/14/07
Director Date

Cindy Hume 5/14/07
Chief, Division of Land Development Date

John DeSantis 4/30/07
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
10-10-07	REVISED TITLE BLOCK	WJ	DEV
04-10-17	Revised Plan to reflect rev. bldg. footprint and outdoor seating	WJ	DEV
02-21-12	Revised Plan To Show Handicap Ramp & Wall Limits For Outdoor Seating (Remove Fireplace)	Gr	DEV

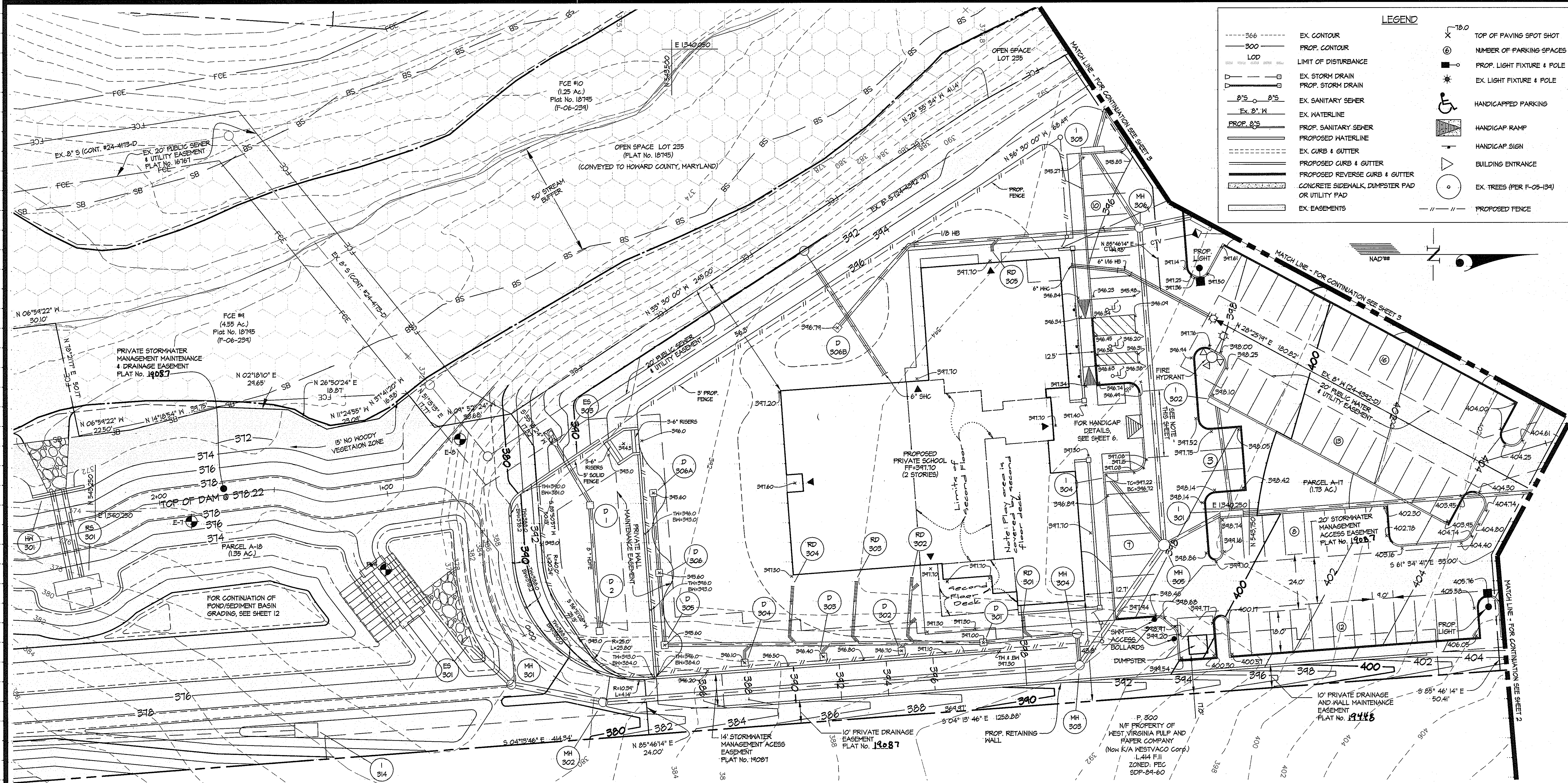
PREPARED FOR:
G&R MAPLE LAWN INC
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

SITE DEVELOPMENT PLAN
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREAS 1, 2, AND 3
PARCELS A-10A-15, A-16 A-17, and A-18
(PLAT No. 12447/12)

ELECTION DISTRICT No. 5

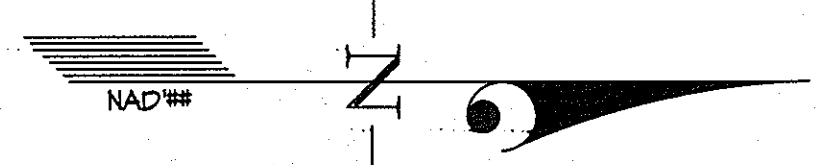
SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	3 OF 26





LEGEND

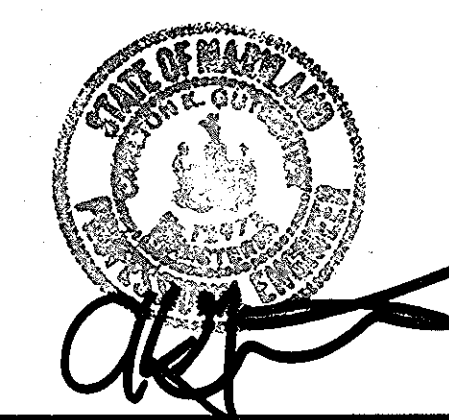
--- 366 ---	EX. CONTOUR	⊗ 18.0	TOP OF PAVING SPOT SHOT
--- 300 ---	PROP. CONTOUR	⊙	NUMBER OF PARKING SPACES
---	LOD	⊕	PROP. LIGHT FIXTURE & POLE
---	LIMIT OF DISTURBANCE	⊗	EX. LIGHT FIXTURE & POLE
---	EX. STORM DRAIN	♿	HANDICAPPED PARKING
---	PROP. STORM DRAIN	♿	HANDICAP RAMP
8" x 8" S	EX. SANITARY SEWER	♿	HANDICAP SIGN
EX. 8" W	EX. WATERLINE	△	BUILDING ENTRANCE
PROP. 8" S	PROP. SANITARY SEWER	○	EX. TREES (PER F-05-134)
---	PROP. WATERLINE	---	PROPOSED FENCE
---	EX. CURB & GUTTER		
---	PROPOSED CURB & GUTTER		
---	PROPOSED REVERSE CURB & GUTTER		
---	CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD		
---	EX. EASEMENTS		



LOADING / UNLOADING NOTE
 THE AREA ALONG THE ISLAND IS INTENDED FOR DROPPING OFF AND PICKING UP STUDENTS. THIS AREA COULD ALSO SERVE AS A LOADING AND UNLOADING AREA OUTSIDE OF THE REGULAR HOURS OF OPERATION.

- NOTES**
1. FOR STORM DRAIN PIPE SIZES AND LENGTHS, SEE SHEET 13.
 2. FOR BUILDING DIMENSIONS, SEE SHEET 6.
 3. FOR LANDSCAPING REQUIREMENTS, SEE SHEETS 21 AND 22.
 4. FOR RETAINING WALL INFORMATION, SEE SHEETS 23 THROUGH 26.
 5. FOR DUMPSTER ENCLOSURE DETAILS, SEE SHEET 5.
 6. FOR PARKING LOT LIGHT LOCATIONS, SEE SHEET 5.

ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.



APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 3/22/07

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer: *Robert P. Bilewicz, MD* Date: 11/9/2007

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *David M. Gangle* Date: 11/9/07
 Chief, Division of Land Development: *Chris Horn* Date: 11/9/07
 Chief, Development Engineering Division: *Chris Horn* Date: 10/25/07

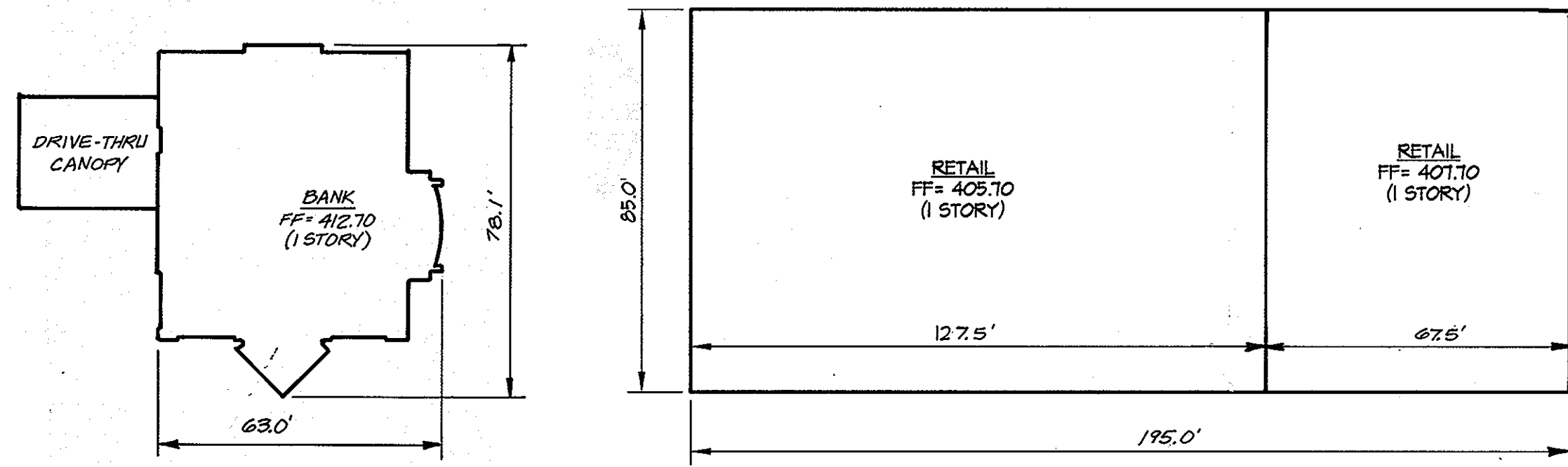
GLWGUTSCHICK LITTLE & WEBER, P.A.	10/10/07	THIS PLAN SUPERCEDES PLAN SIGNED ON 05/14/07.	AWL	DEV
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 FAX: 410-580-1820 DC/VA: 301-588-2524 FAX: 301-421-4186				
L:\CAD\DRAWINGS\02001\05016\SDP\05016SDP04.dwg	DES. DEV	DRN. A.W.	CHK. DEV	DATE
	REVISION	BY	APPR.	

PREPARED FOR:
 G&R MAPLE LAWN INC.
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

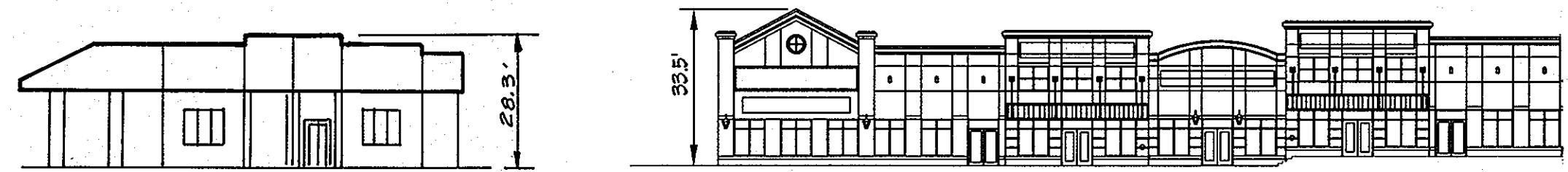
Revised SITE DEVELOPMENT PLAN
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
 MIDDTOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10, A-15, A-16, A-17 AND A-18
 (PLAT No. 17447 & 17448)
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
April, 2007	41/22	4 OF 26

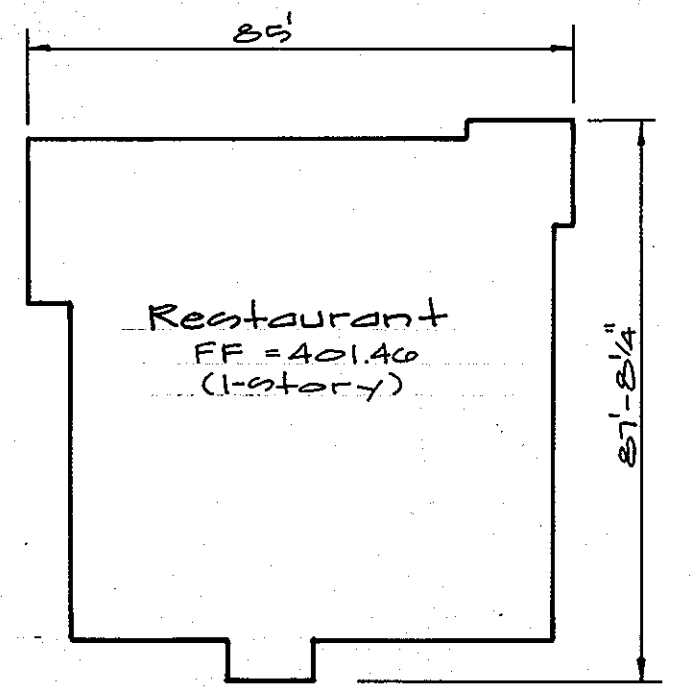
HOWARD COUNTY, MARYLAND



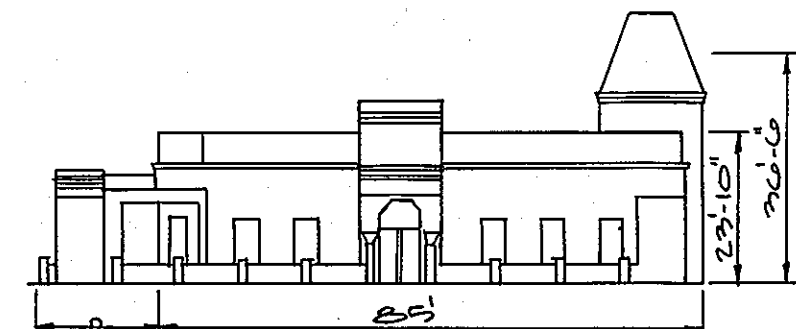
RETAIL PLAN
SCALE: 1"=30'



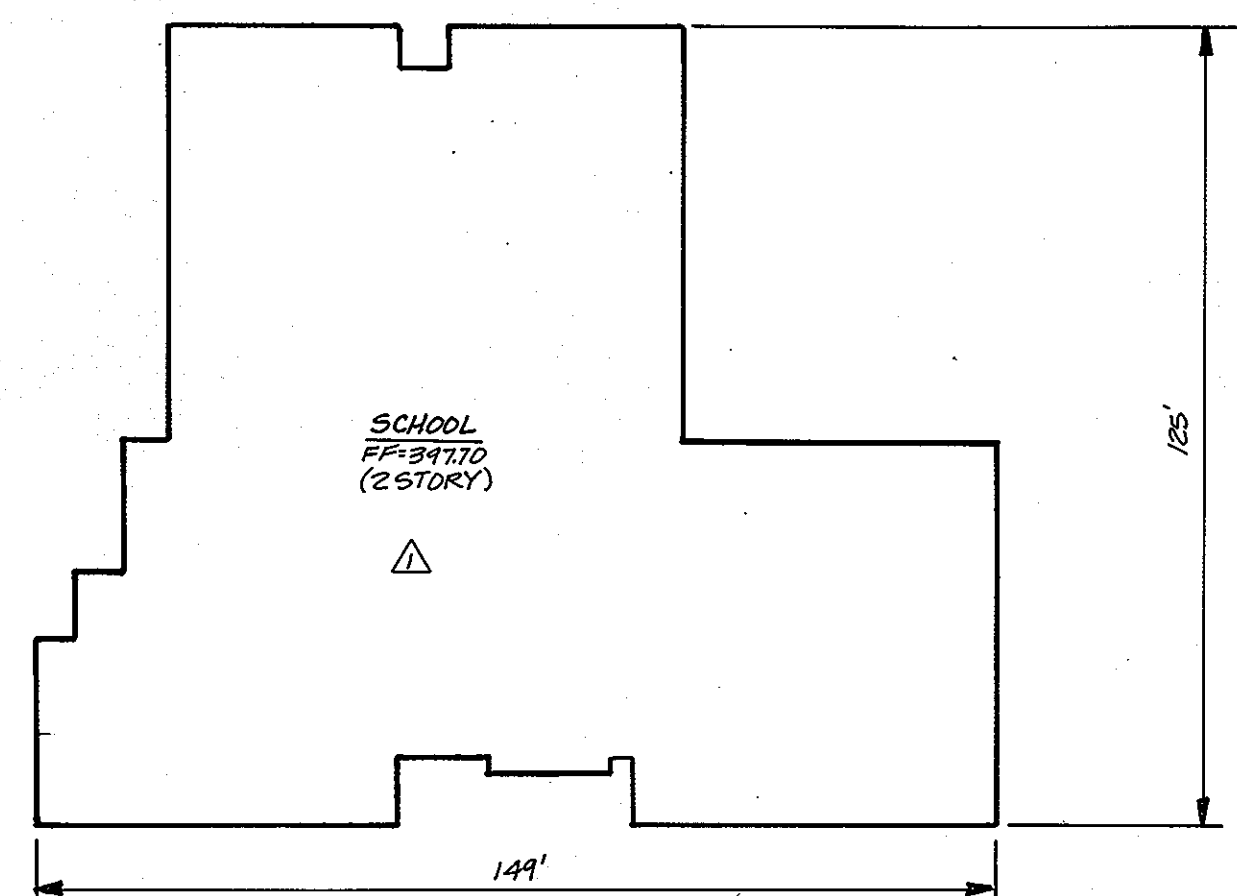
RETAIL ELEVATION
SCALE: 1"=30'



Restaurant Plan
Scale: 1"=30'



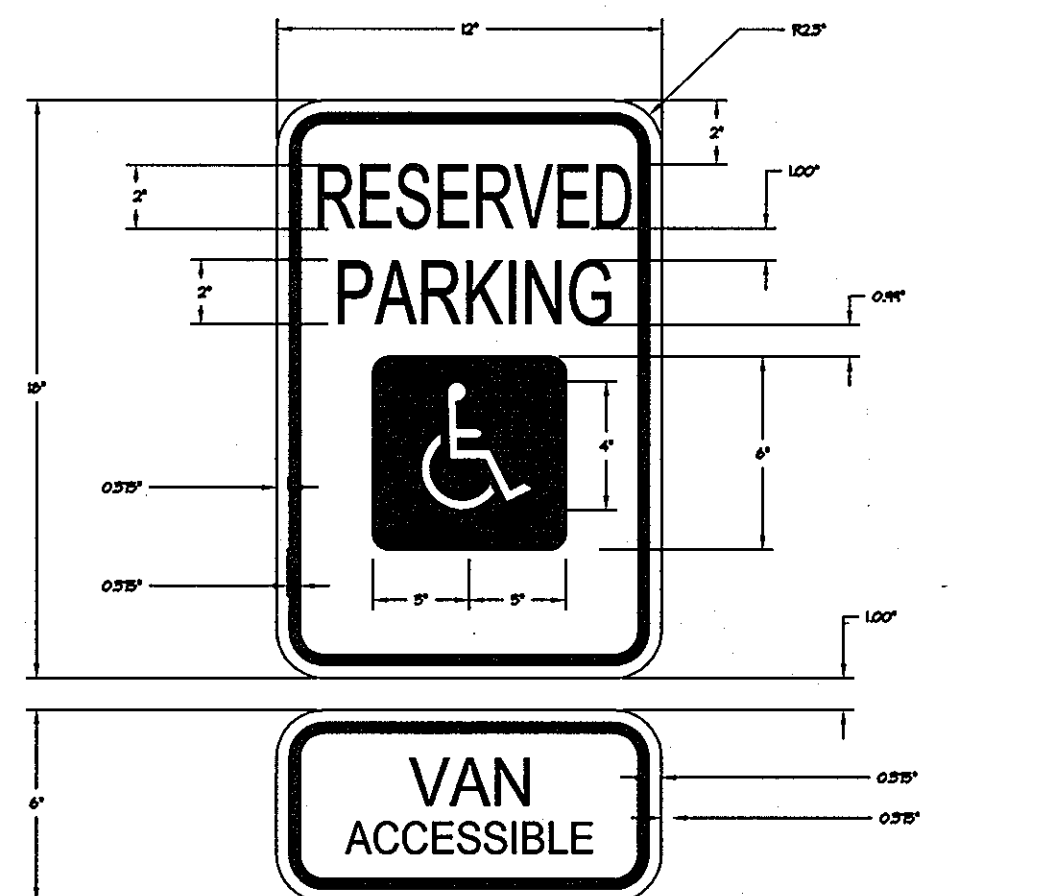
Outdoor seating
Restaurant Elevation
Scale: 1"=30'



School Plan
Scale: 1"=30'

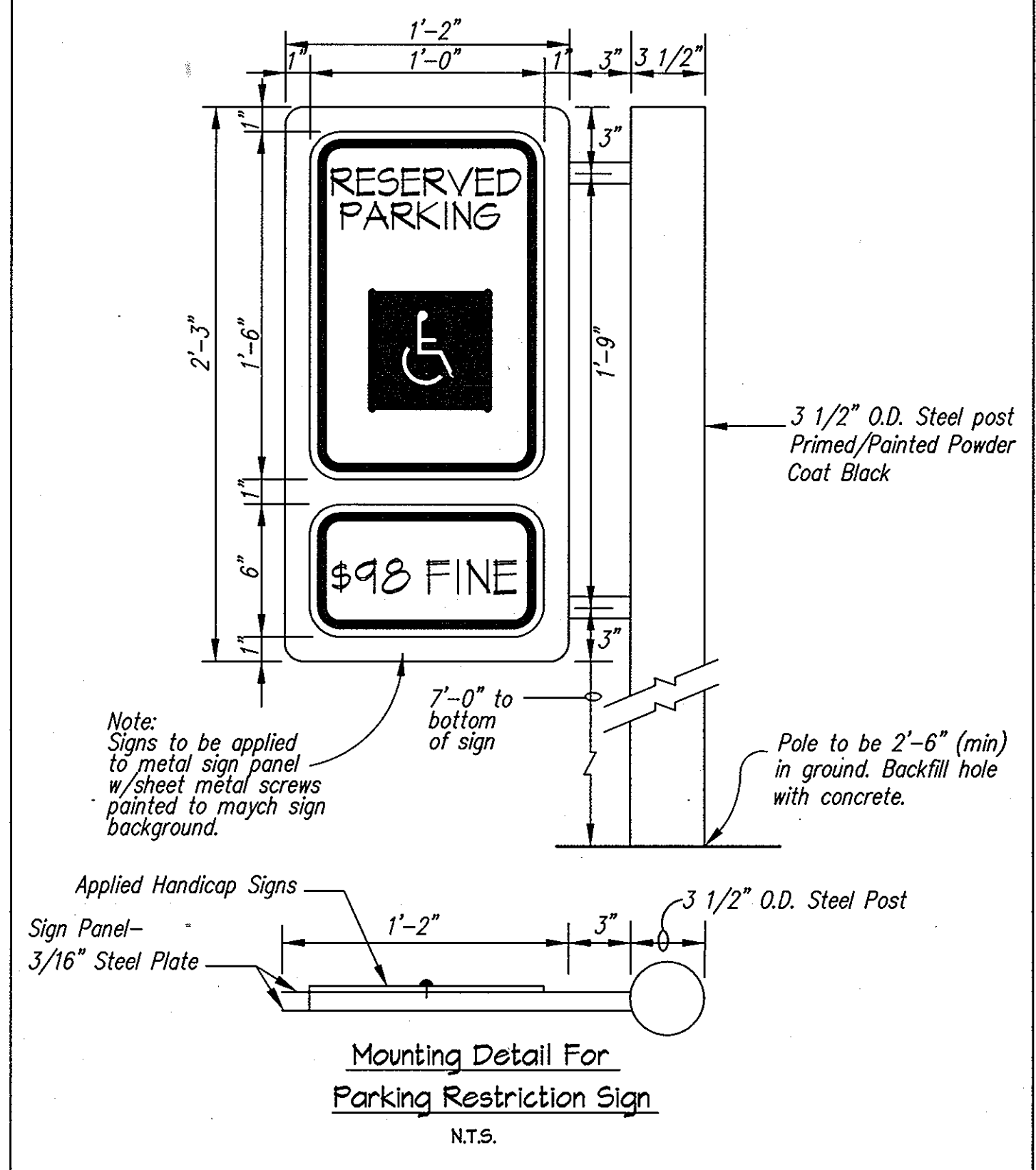


School Elevation
Scale: 1"=30'

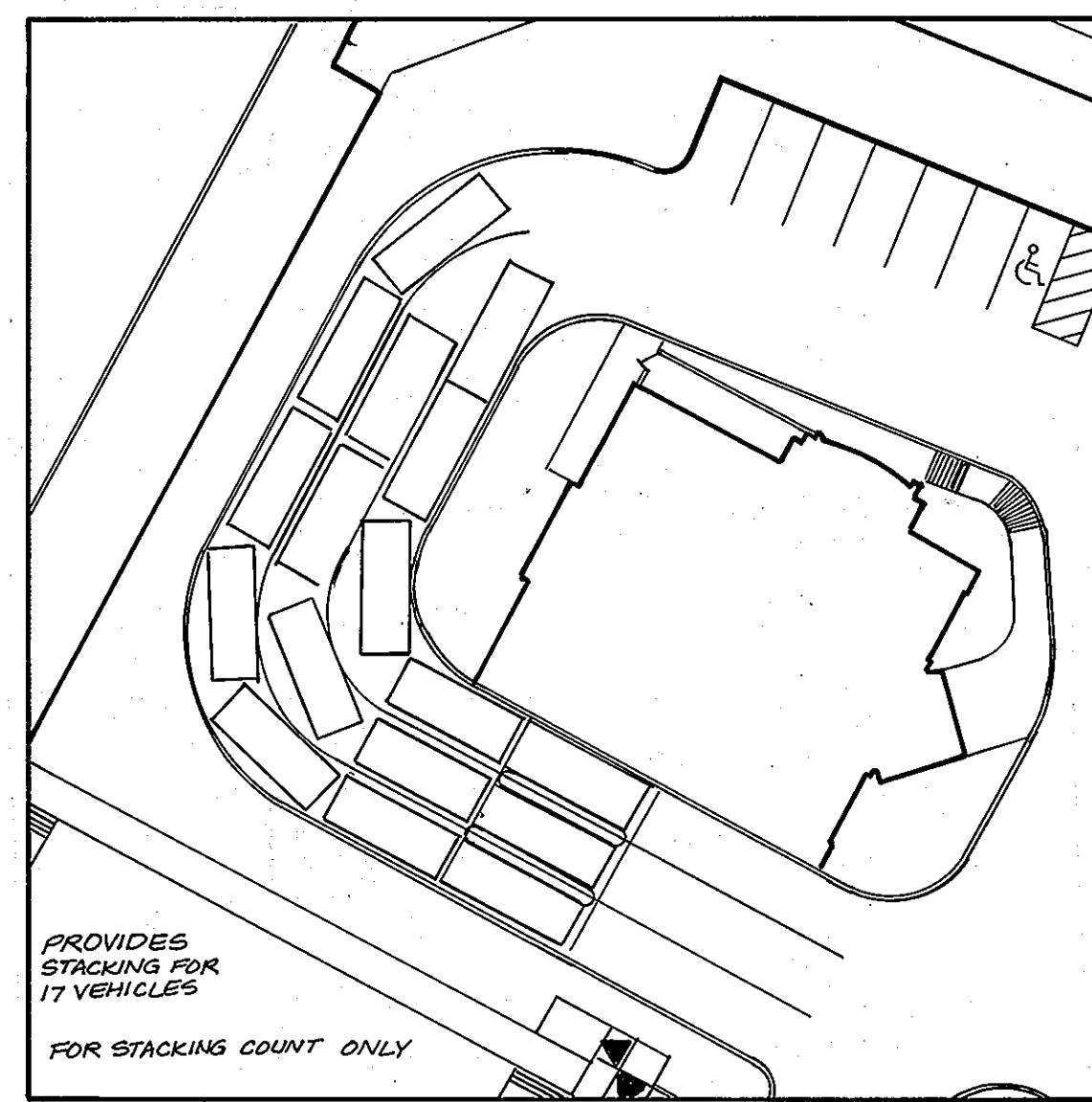


HANDICAP PARKING SIGN DETAIL
N.T.S.

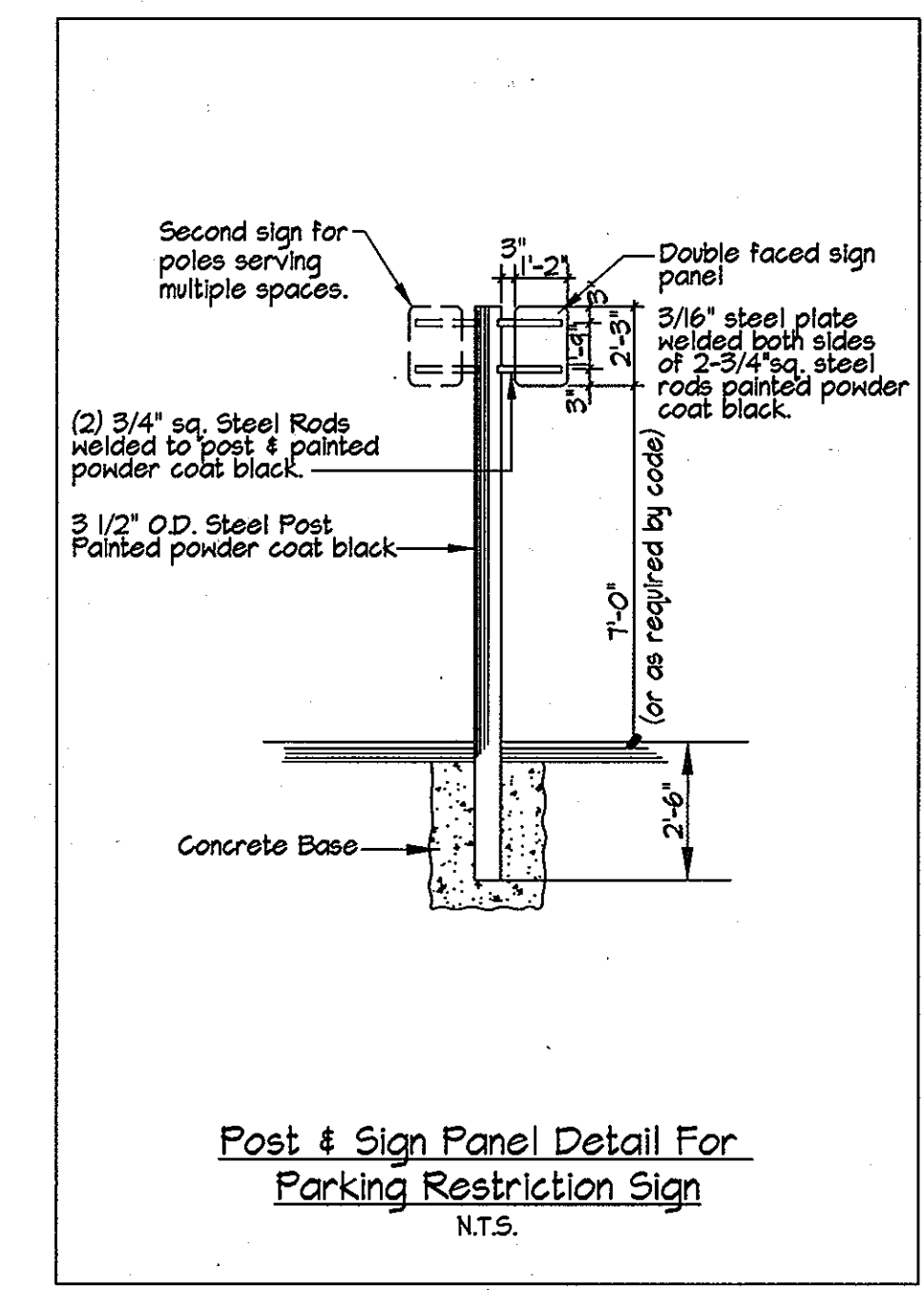
- General Notes:
1. Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail RT-8.
 2. One sign is required per space placed as shown on site plan.
 3. Spaces indicated on site plan as "VAN" accessible shall be signed accordingly.
 4. Signs shall be pole mounted with hot dipped galvanized county approved perforated channel posts w/top of sign 9'-1" above finished grade or as indicated on site drawings.
 5. Sign shall be attached to flanged side of post. Post shall extend into ground 2'-6" min.
 6. Colors: Legend and Border - green
Symbol - white on blue background
background - white



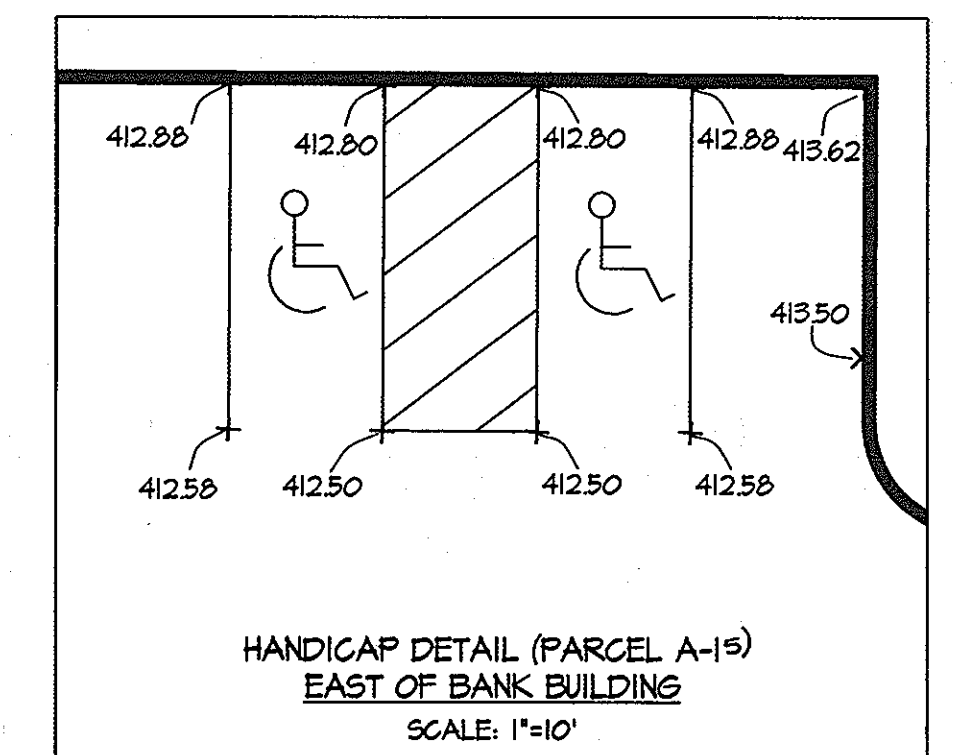
Mounting Detail For
Parking Restriction Sign
N.T.S.



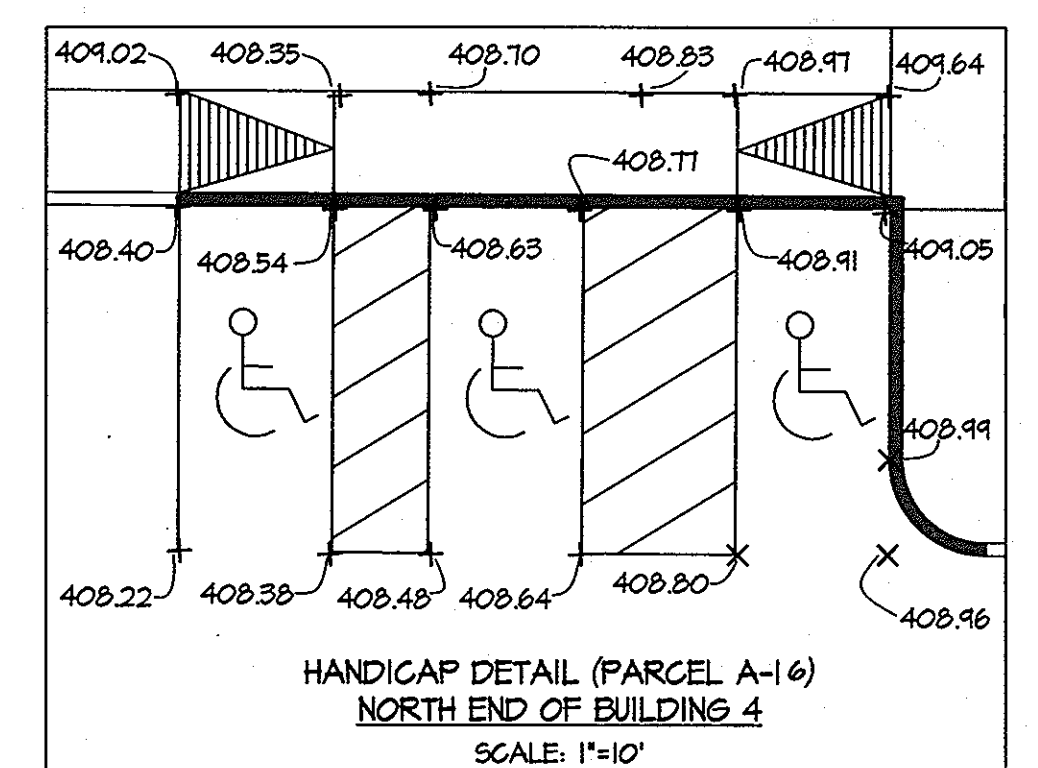
BANK STACKING DETAIL
SCALE: 1"=30'



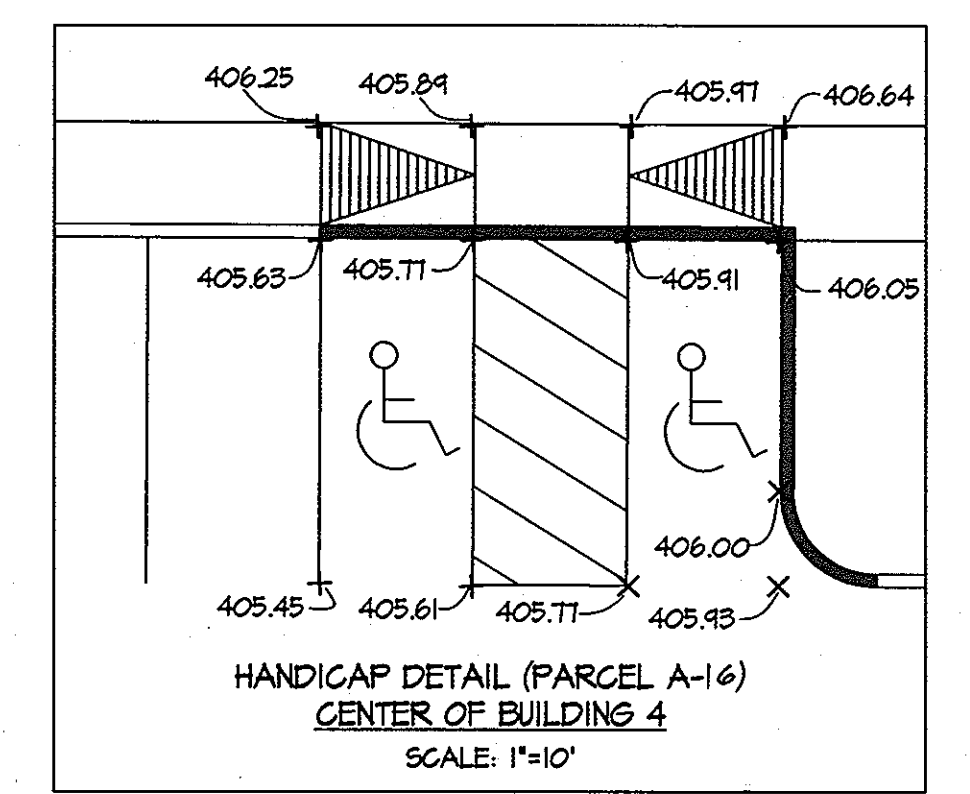
Post & Sign Panel Detail For
Parking Restriction Sign
N.T.S.



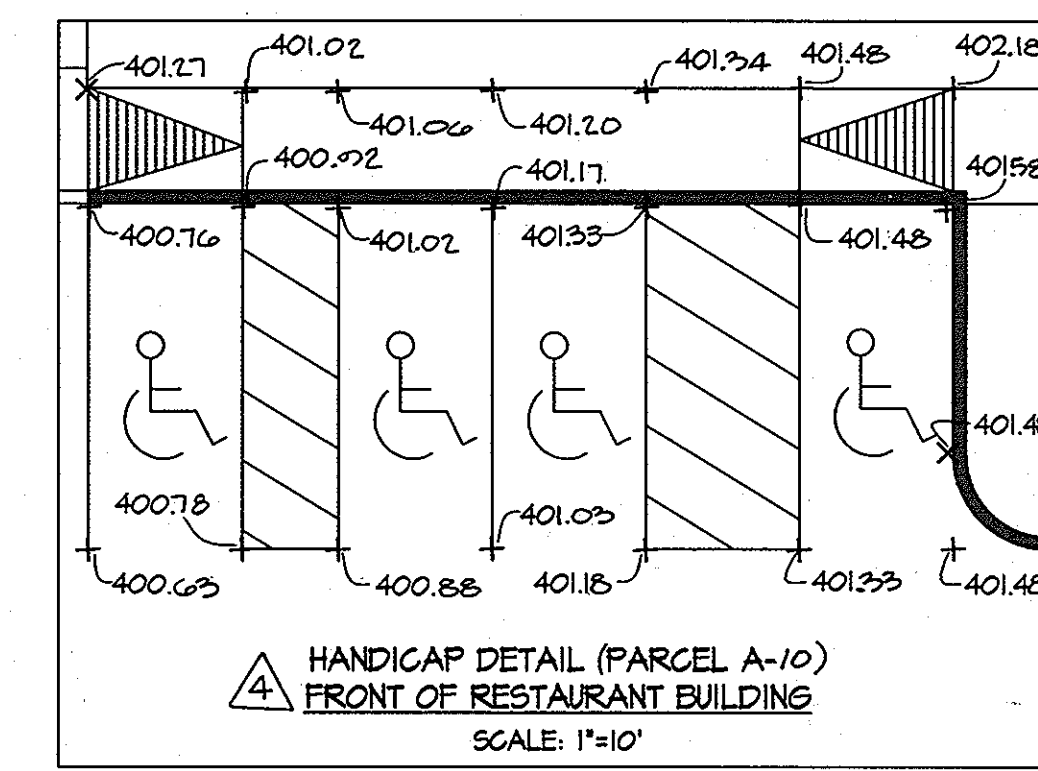
HANDICAP DETAIL (PARCEL A-15)
EAST OF BANK BUILDING
SCALE: 1"=10'



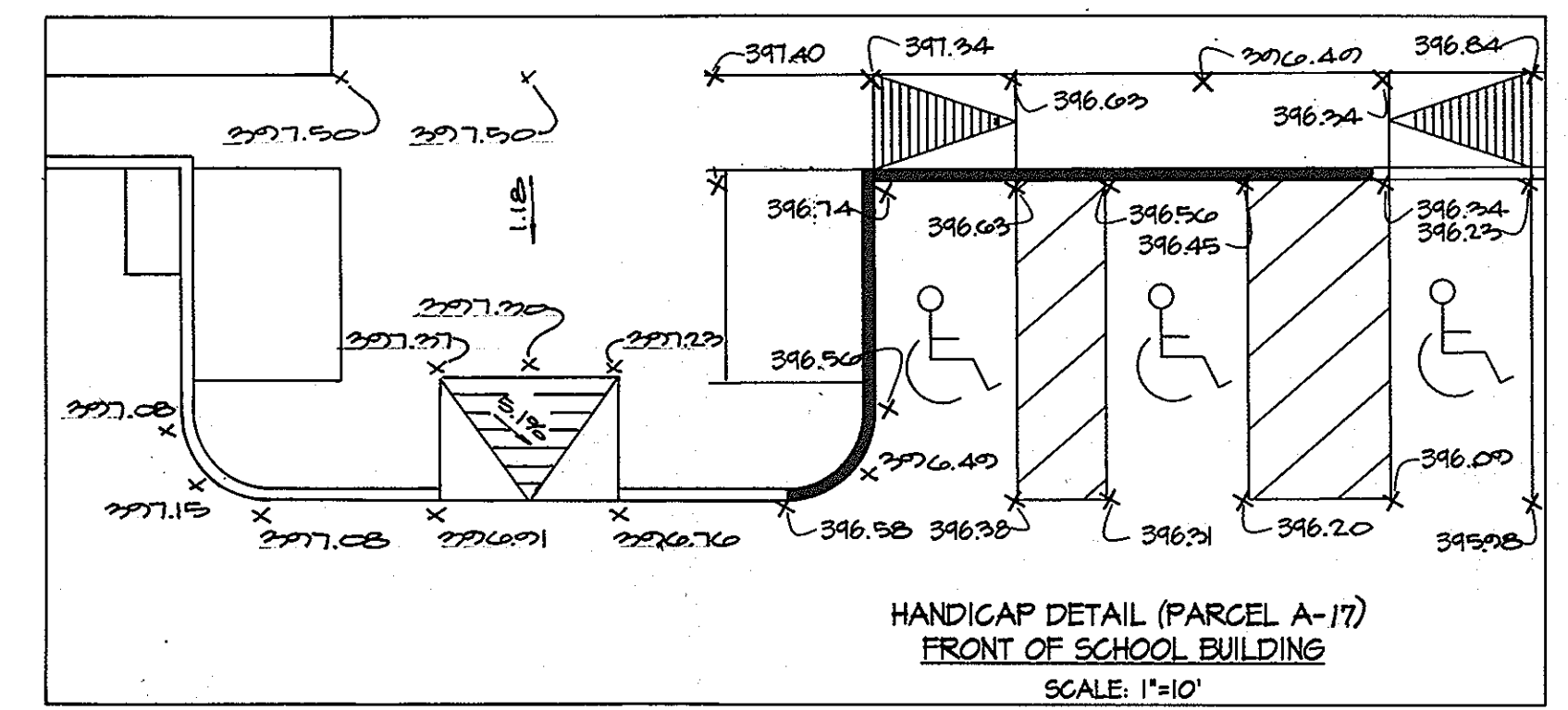
HANDICAP DETAIL (PARCEL A-16)
NORTH END OF BUILDING 4
SCALE: 1"=10'



HANDICAP DETAIL (PARCEL A-16)
CENTER OF BUILDING 4
SCALE: 1"=10'



HANDICAP DETAIL (PARCEL A-10)
FRONT OF RESTAURANT BUILDING
SCALE: 1"=10'



HANDICAP DETAIL (PARCEL A-17)
FRONT OF SCHOOL BUILDING
SCALE: 1"=10'

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 3/22/07
KS

Approved: For Public Water & Sewerage Systems,
Howard County Health Department
By: Peter Reidenauer, MD, 5/10/2007
County Health Officer
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Date: 5/14/07
Director: David M. Gaylor
Date: 5/14/07
Chief, Division of Land Development: Cindy Frank
Date: 5/16/07
Chief, Development Engineering Division: [Signature]
Date: 4/22/07



PREPARED FOR:
G&R MAPLE LAWN INC
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

SITE / HANDICAP ACCESSIBILITY DETAILS
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREAS 1, 2, AND 3
PARCELS A-10, A-15, A-16, A-17, and A-18
(PLAT No. 124418)

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	6 OF 26

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
10-10-07	Revised Title Block, Parcel Callouts & school information	W&J	DEV
04-15-12	Revised building footprint & elev. & grading for handicap parking	W&J	DEV

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

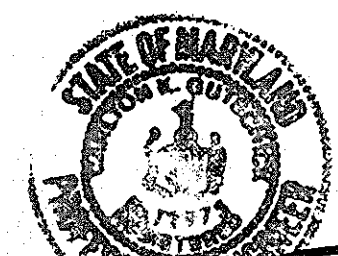
[Signature]
Howard Soil Conservation District
Date: 4/29/07

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

[Signature]
Natural Resources Conservation Service
Date: 4/29/07

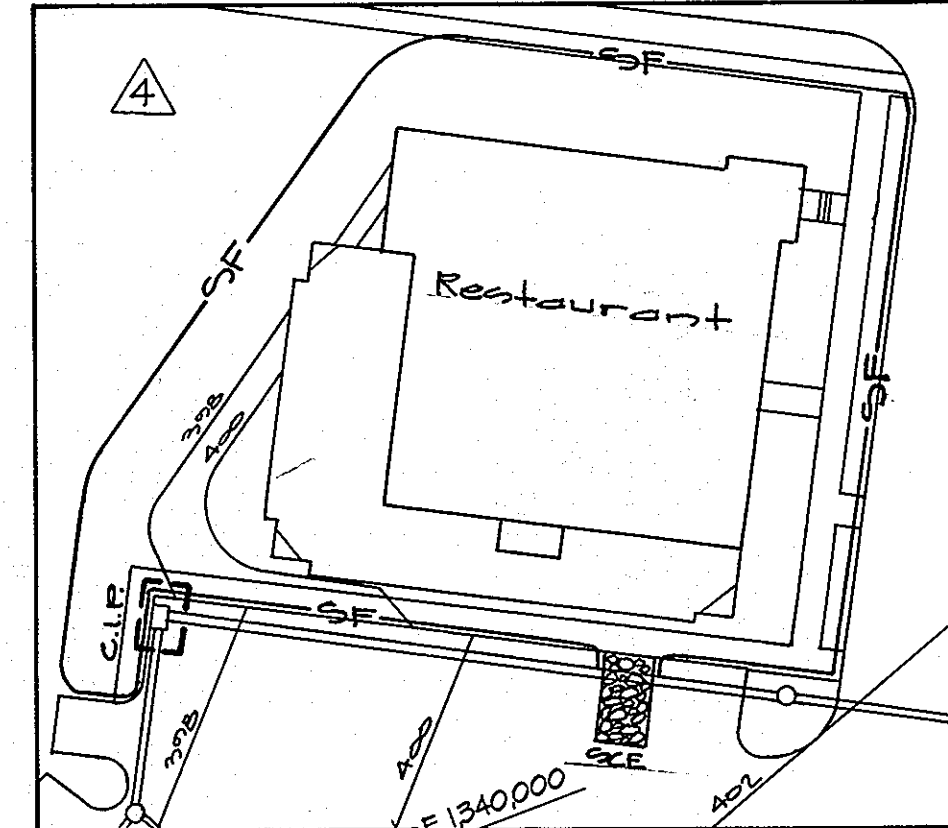
ENGINEER'S CERTIFICATE

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

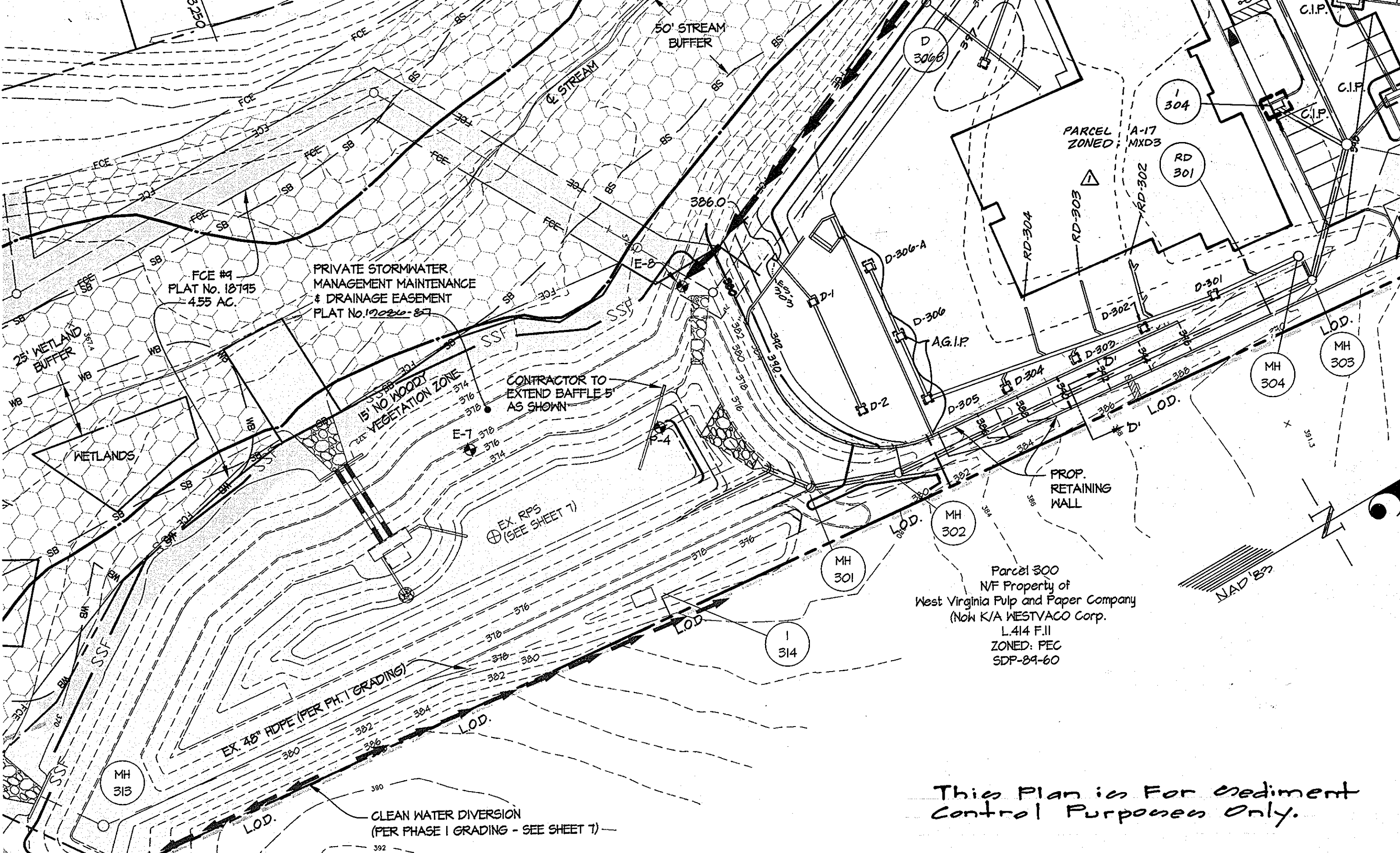


[Signature]

[Signature]
Engineer's Signature
Date: 4-6-07



Sediment Control For Construction Restaurant



- Sequence of Construction**
1. Obtain grading permit and arrange for an on-site pre-construction meeting. (1 Day)
 2. Install super silt fence, stone construction Entrance and curb inlet protection as shown in inset. (2 Days)
 3. Begin excavating for lower level. (1 month)
 4. Begin construction of building. (6 months)
 5. Fine grade site. (1 week)
 6. Install sidewalk and apply finished paving. (2 weeks)
 7. Once areas draining to sediment control devices have been stabilized and permission has been obtained from the sediment control inspector, remove sediment control devices.

NOTE:
THE STABILIZED CONSTRUCTION ENTRANCE SHOWN IS TO BE USED FOR EVERY PHASE OF CONSTRUCTION.

LEGEND

[Symbol]	STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	SUPER SILT FENCE
[Symbol]	SILT FENCE
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	100 YR. FLOODPLAIN
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	15' (MIN) NO-WOODY ZONE
[Symbol]	C.I.P.
[Symbol]	CURB INLET PROTECTION
[Symbol]	CHECK DAM

- NOTES:**
1. THE BASIN UNDER CONDITION 1 WILL RECEIVE 13.6 AC. OF OFFSITE RUNOFF AND 1.7 AC. OF ONSITE RUNOFF.
 2. THE BASIN UNDER CONDITION 2 WILL RECEIVE 12.5 AC. OF OFFSITE RUNOFF AND 6.9 AC. OF ONSITE RUNOFF.
 3. THE BASIN UNDER CONDITION 3 WILL RECEIVE 0.0 AC. OF OFFSITE RUNOFF AND 6.9 AC. OF ONSITE RUNOFF.

SEDIMENT BASIN (SWM FACILITY) INFORMATION

	CONDITION 1 TO BASIN	CONDITION 2 TO BASIN	CONDITION 3 TO BASIN
PRE-DEVELOPMENT DRAINAGE AREA	15.3 ACRES	19.4 ACRES	6.9 ACRES
POST-DEVELOPMENT DRAINAGE AREA	15.3 ACRES	19.4 ACRES	6.9 ACRES
TOTAL STORAGE REQUIRED	30,291 C.F.	69,240 C.F.	24,240 C.F.
TOTAL STORAGE PROVIDED	45,951 C.F.	64,385 C.F.	67,870 C.F.
RISER DIMENSIONS	20' X 6'	20' X 6'	20' X 6'
BARREL SIZE	2 - 24" RCCP	2 - 24" RCCP	2 - 24" RCCP
RISER CREST ELEVATION	375.10	375.10	375.10
OUTLET ELEVATION (LIMIT OF NET VOLUME)	373.64	373.64	373.64
CLEANOUT ELEVATION	371.32	371.32	371.32
BOTTOM ELEVATION	369.00	369.00	369.00
BOTTOM DIMENSIONS	VARIABLES	VARIABLES	VARIABLES
PRE-DEVELOPMENT 1 YEAR DISCHARGE	4.26 CFS	8.28 CFS	4.20 CFS
POST-DEVELOPMENT 1 YEAR DISCHARGE (UNMANAGED)	6.53 CFS	11.41 CFS	11.91 CFS
POST-DEVELOPMENT 1 YEAR DISCHARGE (MANAGED)	0.11 CFS @ 374.30	0.29 CFS @ 375.50	1.62 CFS @ 375.12
NET VOLUME REQUIRED	27,540 CF	34,920 CF	12,420 CF
NET VOLUME PROVIDED	35,200 CF @ 375.64	35,200 CF @ 375.64	35,200 CF @ 375.64
DRY VOLUME REQUIRED	10,751 CF	24,185 CF	32,670 CF
DRY VOLUME PROVIDED	10,751 CF @ 374.30	24,185 CF @ 375.55	32,670 CF @ 375.12

- CONTRACTOR NOTES:**
1. FOR STORM DRAIN SIZES, SEE SHEET 13.
 2. WHERE THE L.O.D. IS NOT SHOWN, THE SEDIMENT CONTROL DEVICES WILL INDICATE THE LIMIT OF DISTURBANCE.
 3. CONTRACTOR MUST TURN ALL SILT FENCE AND SUPER SILT FENCE UPHILL BY 2' IN ELEVATION.
 4. FOR SEQUENCE OF CONSTRUCTION, SEE SHEET 10.

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
[Signature] Peter B. Bileman MD, 5/10/2007
 County Health Officer
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 5/14/07
 Director
[Signature] 5/14/07
 Chief, Division of Land Development
[Signature] 4/20/07
 Chief, Development Engineering Division

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 3/24/07
 13

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALR: 410-889-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	CHK.	DEV.
10-10-07	REVISED SCHOOL LAYOUT AND STRUCTURE CALLOUTS AND REVISED TITLE BLOCK	WesJ	DEV
04-15-12	Add Sediment Control & Sequence of Construction for construction of Restaurant	WesJ	DEV

PREPARED FOR:
 G&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

SEDIMENT CONTROL PLAN - PHASE 2
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10, A-15, A-16, A-17 AND A-18
 (PLAT No. 124441/E)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	8 OF 26

DETAIL 18 - SEDIMENT BASIN BAFFLES

PLAN VIEWS

D = DISTANCE BETWEEN INFLOW AND OUTFLOW
 A = AREA OF NORMAL POOL
 $W_e = \text{EFFECTIVE WIDTH} = A/D$
 $L = \text{TOTAL DISTANCE FROM THE INFLOW POINT AROUND THE BAFFLES TO THE RISER}$
 FORMULA: $\frac{L}{W_e} \geq 2$

CROSS SECTION

POSTS MINIMUM 1 1/4" SQUARE OR 2" ROUND SET AT LEAST 3" INTO THE GROUND

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-10-28 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 20A - REMOVABLE PUMPING STATION

Construction Specifications

- The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent backfill material from entering the perforations.
- After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
- The inside stand pipe (center pipe) should be constructed by perforating a corrugated or PVC pipe between 12" and 36" in diameter. The perforations shall be 1/2" x 6" slots or 1" diameter holes 6" on center. The center pipe shall be wrapped with 1/2" hardware cloth first, then wrapped again with Geotextile Class C.
- The center pipe should extend 12" to 18" above the anticipated water surface elevation or riser crest elevation when dewatering a basin.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE D-12-5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23A - STANDARD INLET PROTECTION

Construction Specifications

- Excavate completely around the inlet to a depth of 18" below the notch elevation.
- Drive the 2" x 4" construction grade lumber posts 1" into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (top) must be 6" below adjacent roadways where flooding and safety issues may arise.
- Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
- Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
- Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
- If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
- The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-18-5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

Construction Specifications

- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Stone to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipes should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE

Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildup removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
 Tensile Strength 50 lbs/ft (min.) Test: MSMT 509
 Tensile Modulus 20 lbs/ft (min.) Test: MSMT 509
 Flow Rate 0.3 gal/ft/min (max.) Test: MSMT 322
 Filtering Efficiency 75% (min.) Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 1 - EARTH DIKE

Construction Specifications

- All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area of a non-erodible velocity.
- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
- The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
- Fill shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-1-6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 5 - RIP-RAP INFLOW PROTECTION

Construction Specifications

- Rip-rap lined inflow channels shall be 1' in depth, have a trapezoidal cross section with 2:1 or flatter side slopes and 3" (min.) bottom width. The channel shall be lined with 4" to 12" rip-rap to a depth of 18".
- Filter cloth shall be installed under all rip-rap. Filter cloth shall be Geotextile Class C.
- Entrance and exit sections shall be installed as shown on the detail section.
- Rip-rap used for the lining may be recycled for permanent outlet protection if the basin is to be converted to a stormwater management facility.
- Gabion inflow protection may be used in lieu of Rip-rap inflow protection.
- Rip-rap should blend into existing ground.
- Rip-rap inflow protection shall be used where the slope is between 4:1 and 10:1. For slopes flatter than 10:1 use Earth Dike or Temporary Swale lining criteria.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE B-8-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 27 - ROCK OUTLET PROTECTION III

Construction Specifications

- The subgrade for the filter, rip-rap, or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
- Geotextile shall be protected from punching, cutting, or tearing, by damage other than an occasional small hole shall be repaired by placing another piece of geotextile over the damaged part or by completely replacing the geotextile. All overlaps whether for repairs or for joining two pieces of geotextile shall be a minimum of one foot.
- Stone for the rip-rap or gabion outlets may be placed by equipment. They shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent works.
- The stone shall be placed so that it blends in with the existing ground. If the stone is placed too high then the flow will be forced out of the channel and scour adjacent to the stone will occur.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-18-10 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

ROCK OUTLET PROTECTION III

Construction Specifications

- The subgrade for the filter, rip-rap, or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
- Geotextile shall be protected from punching, cutting, or tearing, by damage other than an occasional small hole shall be repaired by placing another piece of geotextile over the damaged part or by completely replacing the geotextile. All overlaps whether for repairs or for joining two pieces of geotextile shall be a minimum of one foot.
- Stone for the rip-rap or gabion outlets may be placed by equipment. They shall be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent works.
- The stone shall be placed so that it blends in with the existing ground. If the stone is placed too high then the flow will be forced out of the channel and scour adjacent to the stone will occur.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-18-10A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 30 - EROSION CONTROL MATTING

Construction Specifications

- Staples and ditches shall be prepared in accordance with the construction specifications described in Section A-2, Standards and Specifications for Temporary Dikes.
- The check dam shall be constructed of 4"-7" stone. The stone shall be placed so that it completely covers the width of the channel and keyed into the channel banks.
- The top of the check dam shall be constructed so the center is approximately 2" lower than the outer edges, forming a vee that
- The maximum height of the check dam at the center shall not exceed 2".
- The upstream slope of the check dam shall be lined with approximately 1" of 3/4" to 1 1/2" crushed aggregate.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G-22-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 7 - STONE CHECK DAM

Construction Specifications

- Staples and ditches shall be prepared in accordance with the construction specifications described in Section A-2, Standards and Specifications for Temporary Dikes.
- The check dam shall be constructed of 4"-7" stone. The stone shall be placed so that it completely covers the width of the channel and keyed into the channel banks.
- The top of the check dam shall be constructed so the center is approximately 2" lower than the outer edges, forming a vee that
- The maximum height of the check dam at the center shall not exceed 2".
- The upstream slope of the check dam shall be lined with approximately 1" of 3/4" to 1 1/2" crushed aggregate.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED PLANNING BOARD
 of HOWARD COUNTY
 DATE 3/22/07
 VS

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."
 Approved: For Public Water & Sewerage System, Howard County Health Department
 B. Wilson for Peter Brubaker MD, 5/10/2007
 County Health Officer
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Mark A. Leyley, 5/14/07
 Chief, Division of Land Development: Cindy Horne, 5/14/07
 Chief, Development Engineering Division: [Signature], 4/30/07

ENGINEER'S CERTIFICATE
 "I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."
 Signature of Developer/Builder: [Signature], Date: 4-9-07
 Engineer's Signature: [Signature], Date: 4-9-07

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
 Natural Resources Conservation Service: [Signature], Date: 4/24/07
 Howard Soil Conservation District: [Signature], Date: 4/24/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-959-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
10-10-07	REVISED PARCEL DESIGNATIONS AND PLAT REFERENCE IN TITLE BLOCK	WGL	DEV

PREPARED FOR:
 G&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

SEDIMENT CONTROL DETAILS
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10A-15, A-16, A-17, AND A-18
 (PLAT No. 1024-17-2)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	9 OF 26

SEDIMENT CONTROL NOTES

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 1 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G). Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:	
Total Area of Site	7.4 Acres
Area Disturbed	7.1 Acres
Area to be roofed or paved	4.0 Acres
Area to be vegetatively stabilized	3.1 Acres
Total Cut	16,000 Cu. YDS
Total Fill	16,000 Cu. YDS
Off-site waste/borrow area location:	ON-SITE

- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPM Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

NOTE: TOTAL CUT AND FILL QUANTITIES ARE FOR PLAN PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EARTHWORK AT TIME OF CONTRACT

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq ft).
- Seeding: For periods March 1 thru April 30 and from August 15 thru October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- Mulching: Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.
- Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

PERMANENT SEEDING NOTES

- Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.
- Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).
- Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
- Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 square feet) and 600lbs per acre 10-10-10 fertilizer (4 lbs/1000sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (4 lbs/1000 sq ft).
 - Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.
- Seeding: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- Mulching: Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.
- Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeds.

DUST CONTROL DEFINITION

Controlling dust blowing and movement on construction sites and roads.

PURPOSE
To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

CONDITIONS WHERE PRACTICE APPLIES
This practice is applicable to areas subject to dust blowing and movements where on and off-site damage is likely without treatment.

SPECIFICATIONS TEMPORARY METHODS

- Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12" apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, silt fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need retreatment.

PERMANENT METHODS

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may offer valuable protection if left in place.
 - Topsailing - Covering with less erosive soil materials. See standards for topsailing.
 - Stone - Cover surface with crushed stone or coarse gravel.
- Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION

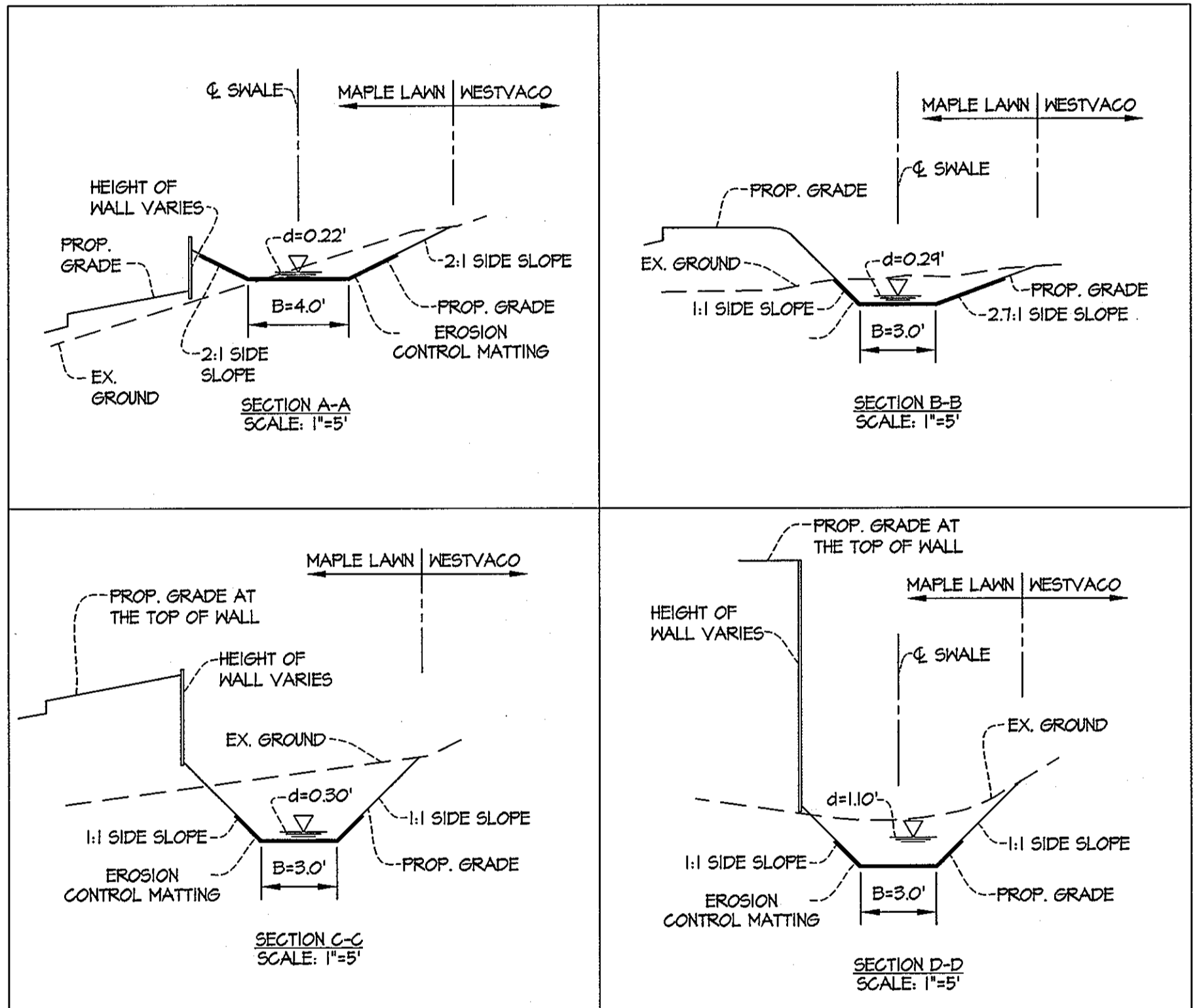
- Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
- PURPOSE**
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- CONDITIONS WHERE PRACTICE APPLIES**
- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
 - For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by a agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2" in diameter.
 - Topsoil must be free of plant parts such as bermuda grass, quackgrass, johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 - For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 - For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt greater than 500 parts per mill shall not be used.
 - No sod or seed shall be placed on soil which has been with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of photo-toxic materials.
 - Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- V. Topsoil Application**
- When topsailing, maintain needed erosion and sediment control practices such as diversion, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4' - 8" higher in elevation.
 - Topsoil shall be uniformly distributed in a 4' - 8' layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsailing or other operations shall be corrected in order to prevent the formation of depressions or water.
 - Topsoil shall not be placed while the topsoil or subsoil is frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

- Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at a rate of 4lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VIA Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.



Sequence of Construction

- Obtain a grading permit and arrange for an on-site pre-construction meeting. (1 day)
- Install the stone construction entrance and super silt fence as shown on these plans. (1 day)
- Phase 1 Operations**
- Install silt fence and super silt fence as shown under Phase 1. (1 week)
- Construct earth dikes along Westvaco property line per the Phase 1 grading shown on sheet 7.
- Install the storm drain run I-314 to HW-302. (2 weeks)
- Install A.G.I.P. at I-314. (1 day)
- Begin construction of the basin. (2 months)
- Regrade the area above I-314 to insure that both the onsite and offsite runoff is directed to the sediment basin. (1 week)
- Install rip rap protection in the northeast and northwest corners of the basin and in the sump area around I-314. (3 days)
- Phase 2 Operations**
- Install the earth dike along the stream as shown on sheet 8 as well as the super silt fence that runs along the Maple Lawn Boulevard right-of-way. (1 week)
- With permission from the sediment control inspector, the contractor can begin installing the storm drains, water house connections, and sewer house connections per these plans. Install the public water and sewer per Cont. # 24-4392-D. (3 weeks)
- Fine grade site, construct retaining walls, and begin the building construction. Construction of the retaining walls must be supervised by the on-site geotechnical engineer. (2 weeks)
- Stabilize all other areas with permanent seeding, mulch, and landscaping. Installation of the final pavement course must be inspected by the on-site geotechnical engineer. (3 weeks)
- Flush and pump clean the storm drain system. (1 day)
- With permission from the sediment control inspector, and when all areas draining to the sediment basin have been stabilized, remove the sediment control devices. (1 week)
- With permission from the sediment control inspector, convert the sediment basin to the stormwater management facility using the final grades shown on sheet 12. The forbay and gabion mattresses may be installed at this time. (1 month)

Note: The owner must prepare an as-built of the stormwater management facility and submit it to the Howard Soil Conservation District for review and approval.

Approved: For Public Water & Sewerage Systems, Howard County Health Department

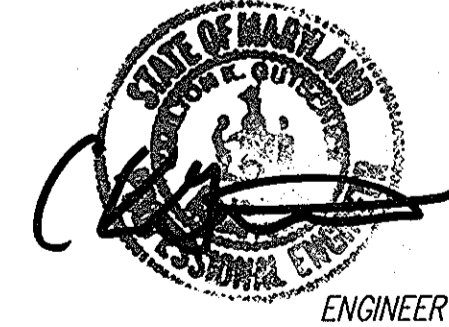
By: Peter Beilenson, 5/10/07, County Health Officer

APPROVED PLANNING BOARD of HOWARD COUNTY
DATE: 3/22/07

DEVELOPER'S/BUILDER'S CERTIFICATE
I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer/Builder: [Signature] Date: 4-9-07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 5/14/07
Chief, Division of Land Development: [Signature] Date: 5/14/07
Chief, Development Engineering Division: [Signature] Date: 4/30/07



ENGINEER'S CERTIFICATE
I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
Signature: [Signature] Date: 4-6-07
Howard Soil Conservation District

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
Signature: [Signature] Date: 4/24/07
Natural Resources Conservation Service

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-680-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
10-10-07	REVISED PARCEL DESIGNATIONS AND PLAT REFERENCE IN TITLE BLOCK	WGL	DEV

PREPARED FOR:
G&R MAPLE LAWN INC
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

SEDIMENT CONTROL DETAILS AND NOTES
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREAS 1, 2, AND 3
PARCELS A-10, A-15, A-16, A-17, AND A-18
(PLAT No. 0244-178)

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	10 OF 26

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 2

Project Name: Maple Lawn Farms - Midtown District, Location: Howard County, Maryland, Boring Number: G-6, Job #: 010658

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH SCALE	CON.	SAMPLE BLOWS 6"	NO.	REC.	BORING & SAMPLING NOTES
389.6	SURFACE	0.0						6" Topsoil
387.6	Brown, moist, soft silt, trace clay trace fine sand trace mica (ML)	2.0		I	2-2-2	1	13"	
	Brown, moist, loose to medium dense, micaceous silty fine sand			D	5-6-8	2	10"	
				D	4-5-7	3	13"	
				D	5-8-10	4	16"	
				D	2-6-9	5	18"	Bag sample taken at 15.0 to 30.0
369.6		20.0		D	4-4-5	6	15"	

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, U-UNDISTURBED, L-LOST. GROUND WATER DEPTH: AT COMPLETION 24.0 FT., AFTER 24.0 FT. BORING METHOD: HSA-HOLLOW STEM AUGERS, CFA-CONT. FLIGHT AUGERS, DC-DRIVING CASING, MD-MUD DRILLING.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 2 of 2

Project Name: Maple Lawn Farms - Midtown District, Location: Howard County, Maryland, Boring Number: G-6, Job #: 010658

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH SCALE	CON.	SAMPLE BLOWS 6"	NO.	REC.	BORING & SAMPLING NOTES
389.6	SURFACE	0.0						6" Topsoil
369.6	Brown, moist, loose to medium dense, micaceous silty fine sand	20.0						
	Brown, moist, very dense, micaceous Disintegrated Rock			D	31-51"	7	10"	
360.8	Bottom of Test Hole at 28.5'	28.8		D	51"	8	3"	

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, U-UNDISTURBED, L-LOST. GROUND WATER DEPTH: AT COMPLETION 24.0 FT., AFTER 24.0 FT. BORING METHOD: HSA-HOLLOW STEM AUGERS, CFA-CONT. FLIGHT AUGERS, DC-DRIVING CASING, MD-MUD DRILLING.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 1

Project Name: Maple Lawn Farms - Midtown District, Location: Howard County, Maryland, Boring Number: E-7, Job #: 010658

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH SCALE	CON.	SAMPLE BLOWS 6"	NO.	REC.	BORING & SAMPLING NOTES
374.4	SURFACE	0.0						6" Topsoil
372.4	Brown, moist, loose, silty silt, silty organic rootmatter, trace mica (ML)	2.0		I	1-2-6	1	8"	
	Orange brown, moist, loose to very loose to medium dense, micaceous silty SAND, trace disintegrated rock fragments (SM)			D	4-4-6	2	16"	
				D	3-6-5	3	17"	
				D	2-2-3	4	14"	
				D	4-6-5	5	17"	
357.9	Bottom of Test Hole at 16.5'	16.5		D	4-06-8	6	15"	Groundwater encountered at 13.0' while drilling. Caved in at 14.0' at Completion.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, U-UNDISTURBED, L-LOST. GROUND WATER DEPTH: AT COMPLETION 13.5 FT., AFTER 24.0 FT. BORING METHOD: HSA-HOLLOW STEM AUGERS, CFA-CONT. FLIGHT AUGERS, DC-DRIVING CASING, MD-MUD DRILLING.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 1

Project Name: Maple Lawn Farms - Midtown District, Location: Howard County, Maryland, Boring Number: E-8, Job #: 010658

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH SCALE	CON.	SAMPLE BLOWS 6"	NO.	REC.	BORING & SAMPLING NOTES
374.1	SURFACE	0.0						6" Topsoil
	Brown tan orange and tan, moist, very loose to medium dense to very loose to medium dense, silty sand, some mica and disintegrated rock fragments trace rootmatter and clay in (S-1) (SM)			D	1-1-2	1	9"	
				D	10-10-8	2	12"	
				D	2-2-2	3	16"	
				D	4-3-2	4	18"	
				D	0-6-4	5	3"	
357.6	Bottom of Test Hole at 16.5'	16.5		D	3-5-8	6	3"	Caved in at 14.0' at Completion. Groundwater encountered at 14.5' while drilling.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, U-UNDISTURBED, L-LOST. GROUND WATER DEPTH: AT COMPLETION 13.5 FT., AFTER 24.0 FT. BORING METHOD: HSA-HOLLOW STEM AUGERS, CFA-CONT. FLIGHT AUGERS, DC-DRIVING CASING, MD-MUD DRILLING.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 1

Project Name: Maple Lawn Farms - Midtown District, Location: Howard County, Maryland, Boring Number: I-4, Job #: 010658

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH SCALE	CON.	SAMPLE BLOWS 6"	NO.	REC.	BORING & SAMPLING NOTES
359.8	SURFACE	0.0						6" Topsoil
367.8	Brown, moist, soft, silty, trace fine sand, trace clay trace mica trace roots (ML)	2.0		UD	1-2-3	1	15"	
	Brown, moist, medium stiff sandy silt, trace mica (ML)			UD	3-4-5	2	16"	
364.8	Brown, moist, medium dense micaceous silty fine sand (SM)	5.0		D	6-6-6	3	17"	
				D	3-4-7	4	13"	
				D	6-6-9	6	14"	
353.3	Bottom of Test Hole at 16.5'	16.5		D	3-8-9	6	8"	Caved in at 14.0' at Completion.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, U-UNDISTURBED, L-LOST. GROUND WATER DEPTH: AT COMPLETION 22.0 FT., AFTER 24.0 FT. BORING METHOD: HSA-HOLLOW STEM AUGERS, CFA-CONT. FLIGHT AUGERS, DC-DRIVING CASING, MD-MUD DRILLING.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 2 of 2

Project Name: Maple Lawn Farms - Midtown District, Location: Howard County, Maryland, Boring Number: P-4, Job #: 010658

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH SCALE	CON.	SAMPLE BLOWS 6"	NO.	REC.	BORING & SAMPLING NOTES
374.1	SURFACE	0.0						6" Topsoil
372.1	Brown, moist, very loose, silty silt, trace root matter (ML)	2.0		ID	1-2-2	1	12"	
	Brown-orange tan, moist, loose to very loose to very dense, silty sand, silty mica, trace disintegrated rock fragments (SM)			D	4-3-3	2	10"	
				D	1-2-3	3	15"	
				D	1-1-2	4	12"	
				D	2-2-3	5	9"	
354.1	Bottom of Test Hole at 20.0'	20.0		D	5-5-6	6	12"	Groundwater encountered at 13.0' while drilling. Caved in at 15.0' at Completion.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, U-UNDISTURBED, L-LOST. GROUND WATER DEPTH: AT COMPLETION 12.0 FT., AFTER 24.0 FT. BORING METHOD: HSA-HOLLOW STEM AUGERS, CFA-CONT. FLIGHT AUGERS, DC-DRIVING CASING, MD-MUD DRILLING.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 1

Project Name: Maple Lawn Farms - Midtown District, Location: Howard County, Maryland, Boring Number: P-4, Job #: 010658

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH SCALE	CON.	SAMPLE BLOWS 6"	NO.	REC.	BORING & SAMPLING NOTES
354.1	SURFACE	0.0						6" Topsoil
	Brown-orange tan, moist, very dense Disintegrated Rock			D	16-28-51"	7	15"	
348.1	Bottom of Test Hole at 26.0'	26.0		D	31-51"	8	11"	

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, U-UNDISTURBED, L-LOST. GROUND WATER DEPTH: AT COMPLETION 23.0 FT., AFTER 24.0 FT. BORING METHOD: HSA-HOLLOW STEM AUGERS, CFA-CONT. FLIGHT AUGERS, DC-DRIVING CASING, MD-MUD DRILLING.

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 2 of 2

Project Name: Maple Lawn Farms - Midtown District, Location: Howard County, Maryland, Boring Number: P-4, Job #: 010658

ELEV.	SOIL DESCRIPTION	STRA. DEPTH	DEPTH SCALE	CON.	SAMPLE BLOWS 6"	NO.	REC.	BORING & SAMPLING NOTES
354.1	SURFACE	0.0						6" Topsoil
	Brown-orange tan, moist, very dense Disintegrated Rock			D	16-28-51"	7	15"	
348.1	Bottom of Test Hole at 26.0'	26.0		D	31-51"	8	11"	

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: D-DISINTEGRATED, I-INTACT, U-UNDISTURBED, L-LOST. GROUND WATER DEPTH: AT COMPLETION 23.0 FT., AFTER 24.0 FT. BORING METHOD: HSA-HOLLOW STEM AUGERS, CFA-CONT. FLIGHT AUGERS, DC-DRIVING CASING, MD-MUD DRILLING.

APPROVED PLANNING BOARD OF HOWARD COUNTY

Approved: For Public Water & Sewerage Coverage by Howard County Health Department
 Signature: Peter Reilman, MD, County Health Officer
 Date: 5/10/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Signature: Mark A. Kayle, Director
 Date: 5/14/07
 Signature: Cindy Hamon, Chief, Division of Land Development
 Date: 4/30/07
 Signature: [Signature], Chief, Development Engineering Division
 Date: [Date]

DATE	REVISION	BY	APP'R.
10-10-07	REVISED PARCEL DESIGNATIONS AND PLAT REFERENCE IN TITLE BLOCK	Wesl	DEV

PREPARED FOR:
 G&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

SOIL BORINGS
 PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
 MAPLE LAWN FARMS
 MIDDLETOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10A-15, A-16 A-17, AND A-18
 (PLAT No. 124-47/82)
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	11 OF 26



From No.	To No.	Dia. (in)	L (ft)
I-315	MH-312	15" HDPE	54 LF.
RD-315	MH-312	8" HDPE	16 LF.
MH-312	MH-311	15" HDPE	55 LF.
MH-311	MH-310	15" HDPE	34 LF.
D-307	I-312	12" HDPE	15 LF.
RD-312	I-312	8" HDPE	32 LF.
D-302 See Replacement Chart Below			
MH-310	I-311	15" HDPE	106 LF.
I-311	I-310	18" HDPE	126 LF.
RD-311	E. DECK	8" HDPE	5 LF.
RD-310	E. DECK	8" HDPE	5 LF.
RD-304	E. DECK	8" HDPE	5 LF.
RD-308	E. DECK	8" HDPE	5 LF.
RD-307	E. DECK	8" HDPE	5 LF.
EAST DECK	I-310	12" HDPE	6 LF.
I-310	MH-308	18" HDPE	46 LF.
RD-305	MH-308	8" HDPE	24 LF.
RD-304	MH-308	8" HDPE	24 LF.
WEST DECK	I-304	8" HDPE	64 LF.
I-304	MH-308	15" HDPE	107 LF.
MH-308	I-308	24" HDPE	128 LF.
I-308	MH-307	24" HDPE	57 LF.
MH-307	I-307	24" HDPE	134 LF.
I-307	MH-306	24" HDPE	24 LF.
I-306	I-305	18" HDPE	17 LF.
I-305	MH-306	18" HDPE	38 LF.
RD-304	D-306	8" HDPE	10 LF.
D-306	D-302	10" HDPE	38 LF.
D-302 See Replacement Chart Below			
MH-306	MH-305	24" HDPE	132 LF.
I-304	MH-305	15" HDPE	15 LF.
I-303	I-301	15" HDPE	140 LF.
I-302	I-301	15" HDPE	45 LF.
I-301	MH-305	18" HDPE	25 LF.
MH-305	MH-303	30" HDPE	54 LF.
RD-303	D-304	8" HDPE	5 LF.
D-304	D-303	10" HDPE	65 LF.
D-303	D-302	10" HDPE	82 LF.
RD-302	D-302	8" HDPE	5 LF.
D-302 See Replacement Chart Below			
RD-301	D-301	8" HDPE	5 LF.
D-301	MH-304	12" HDPE	54 LF.
MH-304	MH-303	12" HDPE	31 LF.
MH-303	MH-302	30" HDPE	203 LF.
MH-302	MH-301	30" HDPE	57 LF.
MH-301	ES-301	30" HDPE	21 LF.
OFFSITE DIVERSION			
I-314	MH-313	42" HDPE	266 LF.
MH-313	MH-302	42" HDPE	32 LF.

DRAINAGE AREA INFORMATION			
INLET	AREA	C' VALUE	% IMP.
I-301	0.22 Ac.	0.81	90%
I-302	0.12 Ac.	0.81	90%
I-303	0.13 Ac.	0.81	90%
I-304	0.14 Ac.	0.81	90%
I-305	0.33 Ac.	0.81	90%
I-306	0.50 Ac.	0.81	90%
I-307	0.21 Ac.	0.81	90%
I-308	0.33 Ac.	0.81	90%
I-309	0.33 Ac.	0.81	90%
I-310	0.40 Ac.	0.81	90%
I-311	0.42 Ac.	0.81	90%
I-312	0.21 Ac.	0.81	90%
I-313	0.33 Ac.	0.81	90%
I-314	13.70 Ac.	0.24	0%
D-301	0.01 Ac.	0.30	10%
D-302	0.09 Ac.	0.30	10%
D-303	0.09 Ac.	0.30	10%
D-304	0.02 Ac.	0.30	10%
D-305	0.02 Ac.	0.30	10%
D-306	0.05 Ac.	0.30	10%
D-307	0.09 Ac.	0.30	10%
RD-301	0.05 Ac.	0.81	100%
RD-302	0.10 Ac.	0.81	100%
RD-303	0.04 Ac.	0.81	100%
RD-304	0.09 Ac.	0.81	100%
RD-305	0.08 Ac.	0.81	100%
RD-306	0.06 Ac.	0.81	100%
RD-307	0.08 Ac.	0.81	100%
RD-308	0.08 Ac.	0.81	100%
RD-309	0.08 Ac.	0.81	100%
RD-310	0.09 Ac.	0.81	100%
RD-311	0.01 Ac.	0.81	100%
RD-312	0.03 Ac.	0.81	100%
RD-313	0.04 Ac.	0.81	100%
EAST DECK	0.06 Ac.	0.81	100%
WEST DECK	0.04 Ac.	0.81	100%

AREAS TO BE PICKED UP BY DECK DRAINING

NOTES:
 1. FOR LIMITS OF AREA DRAINING TO I-314, SEE SHEET IT
 2. DUE TO MASS GRADING PERFORMED UNDER F-04-12 AND SDP-03-140, 'C' SOILS WERE ASSUMED FOR THE STORM DRAIN DESIGN.



From	To No.	Dia. (in)	L (LF)
RD-314	I-313	6" hdpe	10 LF.
D-300B	RD-304A	8" hdpe	25 LF.
RD-304A	MH-300	10" hdpe	50 LF.
D-300A	D-300	8" hdpe	22 LF.
D-300	D-303	8" hdpe	28 LF.
D-303	D-304	8" hdpe	20 LF.
RD-304	D-304	6" hdpe	23 LF.
D-304	D-307	8" hdpe	34 LF.
RD-307	D-307	6" hdpe	28 LF.
D-307	D-302	10" hdpe	39 LF.
RD-302	D-302	8" hdpe	20 LF.
D-302	D-301	12" hdpe	32 LF.
RD-301	D-301	6" hdpe	11 LF.
D-301	MH-304	12" hdpe	37 LF.
D-2	D-1	8" hdpe	55 LF.
D-1	ES-303	8" hdpe	20 LF.
RD-312	I-312	8" hdpe	39 LF.
I-312	D-308	12" hdpe	10 LF.
D-308	D-307	12" hdpe	40 LF.
D-307	MH-310	15" hdpe	43 LF.

Drainage Area Information			
Inlet	Area	C' Value	% Imp.
D-300A	0.06 Ac.	0.30	10%
D-300B	0.04 Ac.	0.30	10%
D-303	0.03 Ac.	0.30	10%
D-304	0.05 Ac.	0.30	10%
D-302	0.05 Ac.	0.30	10%
RD-304A	0.09 Ac.	0.81	100%

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 3/22/07

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT
 County Health Officer *Peter Baileyman MD* 5/10/2007
 Approved: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director *Harold K. Coyle* 5/14/07
 Chief, Division of Land Development *Candy Harvath* 5/14/07
 Chief, Development Engineering Division *John Demaree* 4/30/07



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALR: 410-889-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

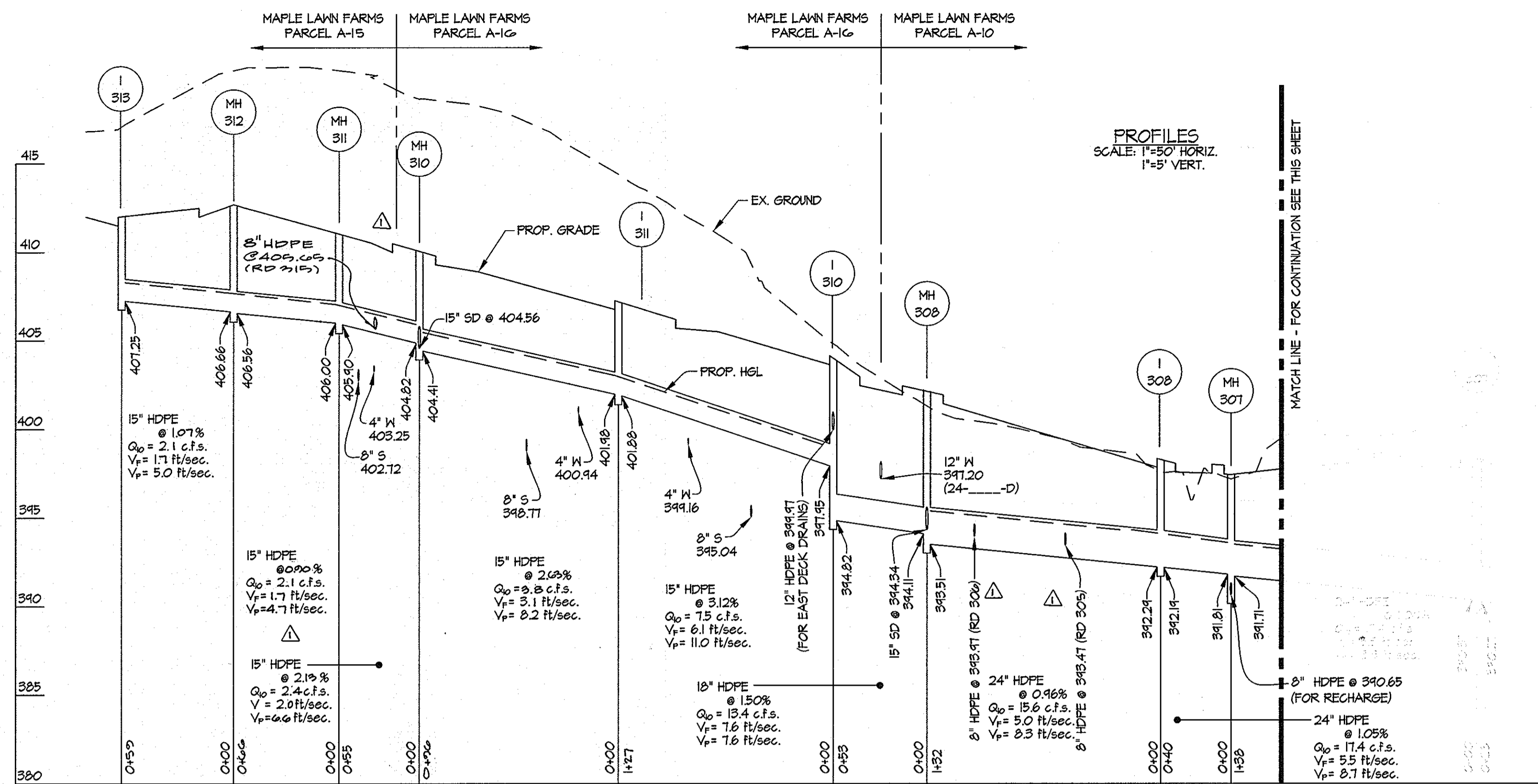
DATE	REVISION	BY	APPR.
10-10-07	Revised School Layout & structure callouts in the block	WSJ	DEV
04-15-12	Revised Plan and Drainage Evides to reflect new building footprint	WSJ	DEV

PREPARED FOR:
 G&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

STORM DRAIN DRAINAGE AREA MAP
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-19A, A-19, A-19A-17, and A-18
 (PLAT No. 1244718)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	13 OF 26

L:\CADD\DRAWINGS\02001\05016\SDP\05016SD13.dwg 4/6/2007 9:52:11 AM EDT



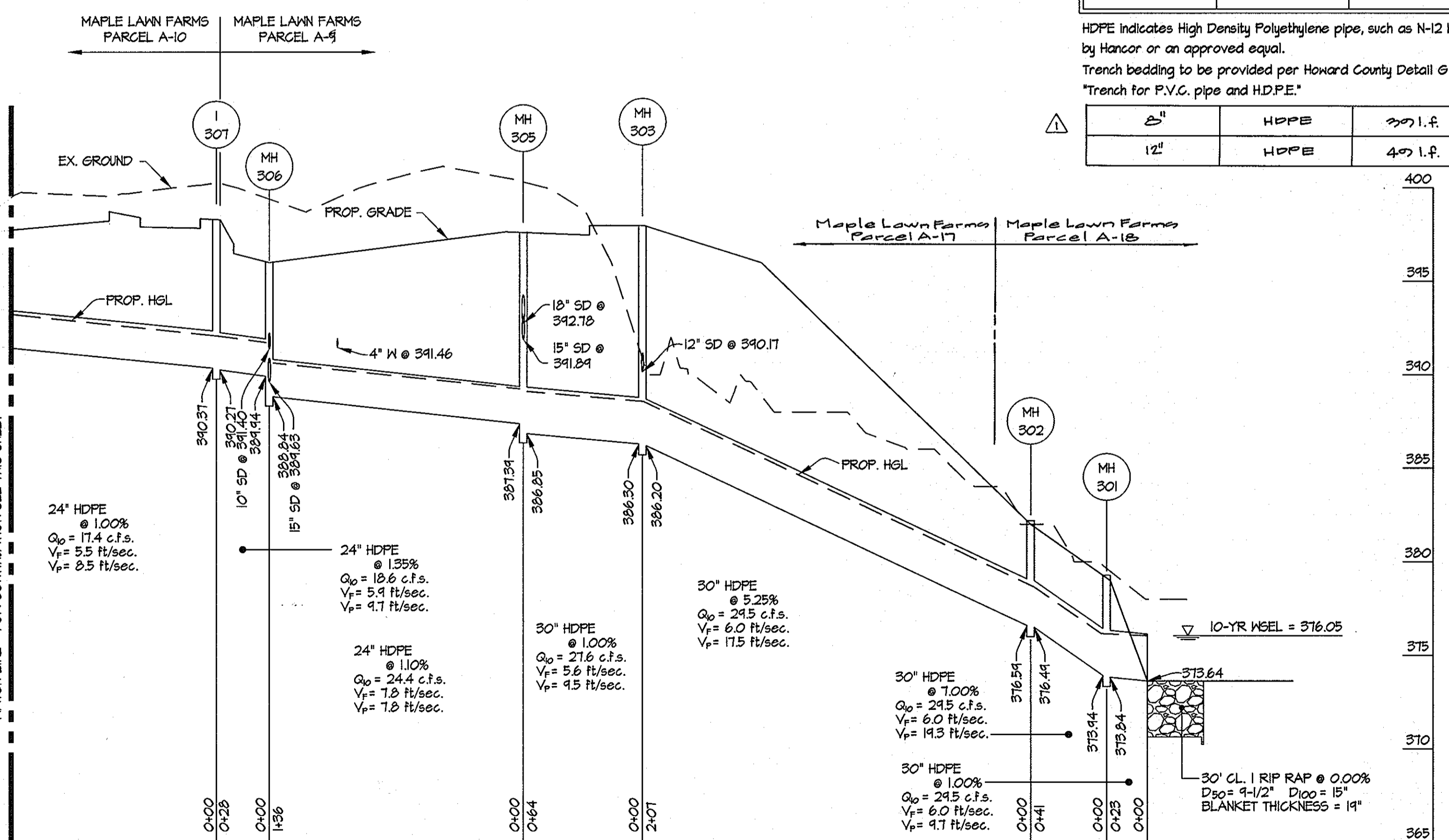
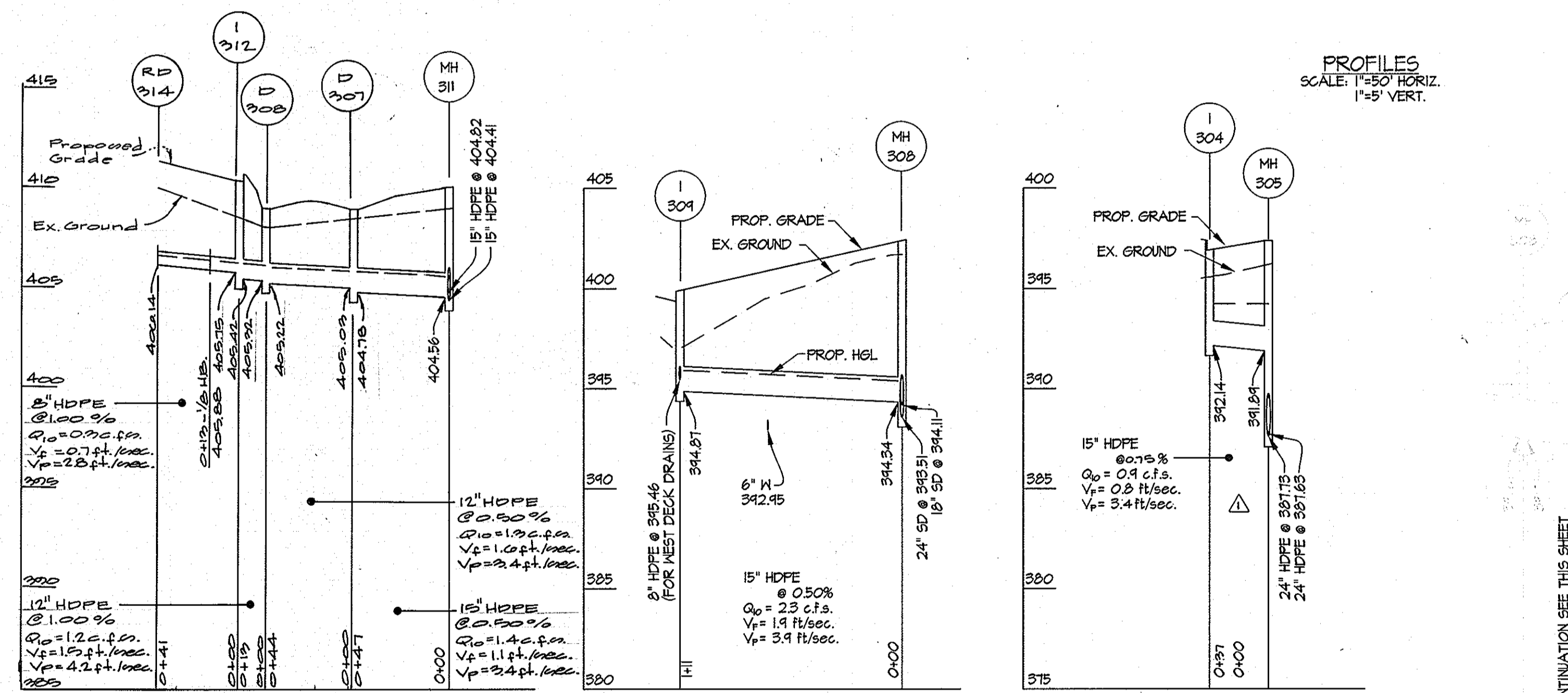
STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-304	DOUBLE 'S' COMB. INLET	3'-5"	391.50	391.34	---	392.14	HO. CO. SD 4.34	N 543,690 E 1340,235	
I-307	A-10 INLET	2'-6"	391.86	391.41	390.37	390.27	HO. CO. SD 4.41	N 543,730 E 1340,124	
I-308	DOUBLE 'S' COMB. INLET	3'-5"	398.02	391.91	392.29	392.19	HO. CO. SD 4.34	N 543,840 E 1339,985	
I-309	A-10 INLET	2'-6"	400.07	399.28	395.46	394.87	HO. CO. SD 4.41	N 544,014 E 1339,950	
I-310	A-10 INLET	2'-6"	404.13	403.90	399.97	394.82	HO. CO. SD 4.41	N 543,996 E 1340,064	
I-311	A-10 INLET	2'-6"	406.90	406.60	401.98	401.88	HO. CO. SD 4.41	N 544,101 E 1340,126	
I-312	DOUBLE 'S' COMB. INLET	3'-5"	410.70	410.70	405.75	405.42	HO. CO. SD 4.34	N 544,236 E 1340,140	
I-313	DOUBLE 'S' COMB. INLET	3'-5"	412.18	412.18	---	407.25	HO. CO. SD 4.34	N 544,302 E 1340,196	
MH-301	STANDARD MANHOLE	5'-0"	---	374.00	373.94	373.84	HO. CO. G-5.13	N 543,430 E 1340,326	
MH-302	STANDARD MANHOLE	5'-0"	---	381.90	376.59	376.49	HO. CO. G-5.13	N 543,470 E 1340,333	
MH-303	STANDARD MANHOLE	5'-0"	---	398.50	390.17	386.20	HO. CO. G-5.13	N 543,677 E 1340,318	
MH-305	STANDARD MANHOLE	5'-0"	---	391.95	392.78	386.85	HO. CO. G-5.13	N 543,713 E 1340,266	
MH-306	STANDARD MANHOLE	4'-0"	---	396.34	391.40	388.84	HO. CO. G-5.12	N 543,703 E 1340,130	
MH-307	STANDARD MANHOLE	4'-0"	---	391.50	391.81	390.65	HO. CO. G-5.12	N 543,816 E 1340,018	
MH-308	STANDARD MANHOLE	4'-0"	---	402.50	394.34	393.51	HO. CO. G-5.12	N 543,951 E 1340,045	
MH-310	STANDARD MANHOLE	4'-0"	---	409.75	404.82	404.41	HO. CO. G-5.12	N 544,204 E 1340,182	
MH-311	STANDARD MANHOLE	4'-0"	---	411.25	406.00	405.90	HO. CO. G-5.12	N 544,222 E 1340,221	
MH-312	STANDARD MANHOLE	4'-0"	---	412.80	406.66	406.56	HO. CO. G-5.12	N 544,274 E 1340,250	
D-308	Yard Drain	2'-0"	---	408.90	405.92	405.72		N 544,292 E 1340,090	
D-307	YARD DRAIN	2'-0"	---	408.90	405.09	404.78		N 544,212 E 1340,199	

1 COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES, DRAINS AND END SECTIONS.
 2 NYLOPLAST - ADS DRAIN BASIN OR APPROVED EQUAL.
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT, 24-XXXX-D OR PER NHC'S/SNC'S PROPOSED UNDER THIS PLAN

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	500	
18"	HDPE	49	
24"	HDPE	454	
30"	HDPE	321	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-9 by Hancor or an approved equal.
 Trench bedding to be provided per Howard County Detail G 2.01.
 Trench for P.V.C. pipe and HDPE.

24"	HDPE	291 L.F.	
12"	HDPE	40 L.F.	



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 3/22/07
 16

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT
B. Naylor for Peter Reilemann MD 5/10/2007
 County Health Officer Date
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Mark A. Coyle 5/14/07
 Director Date
Quincy Hume 5/14/07
 Chief, Division of Road Development Date
Chris Williams 4/23/07
 Chief, Development Engineering Division Date



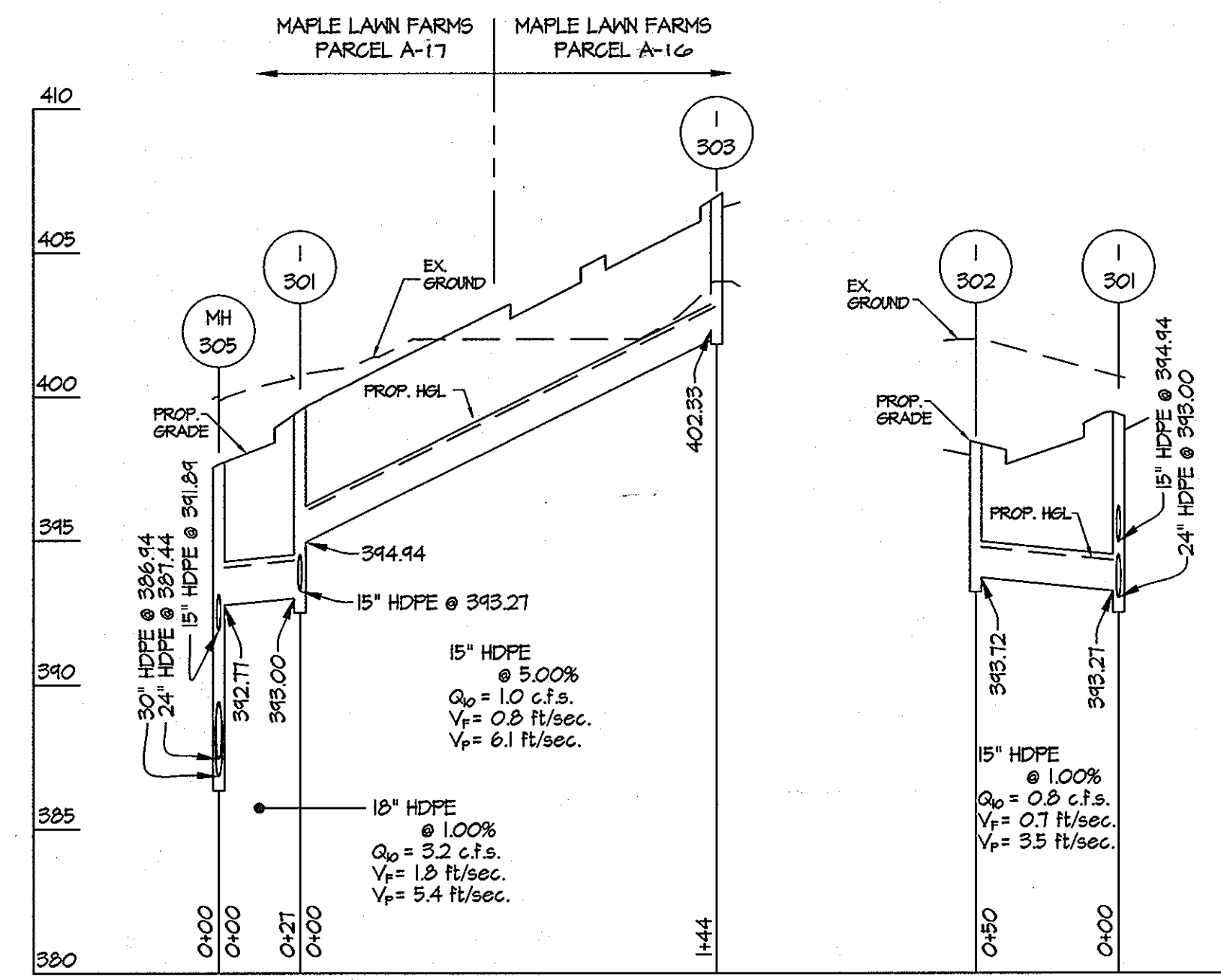
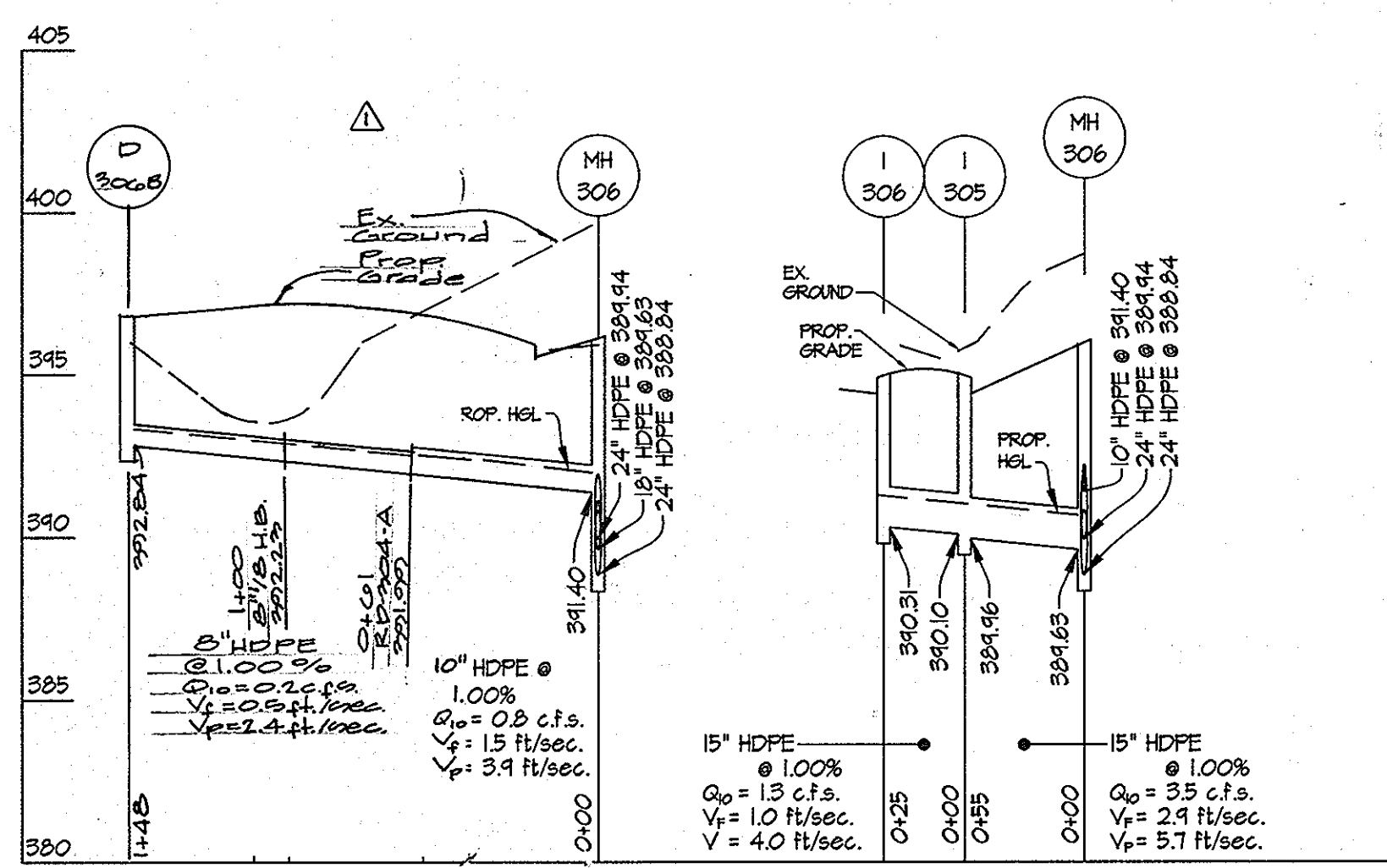
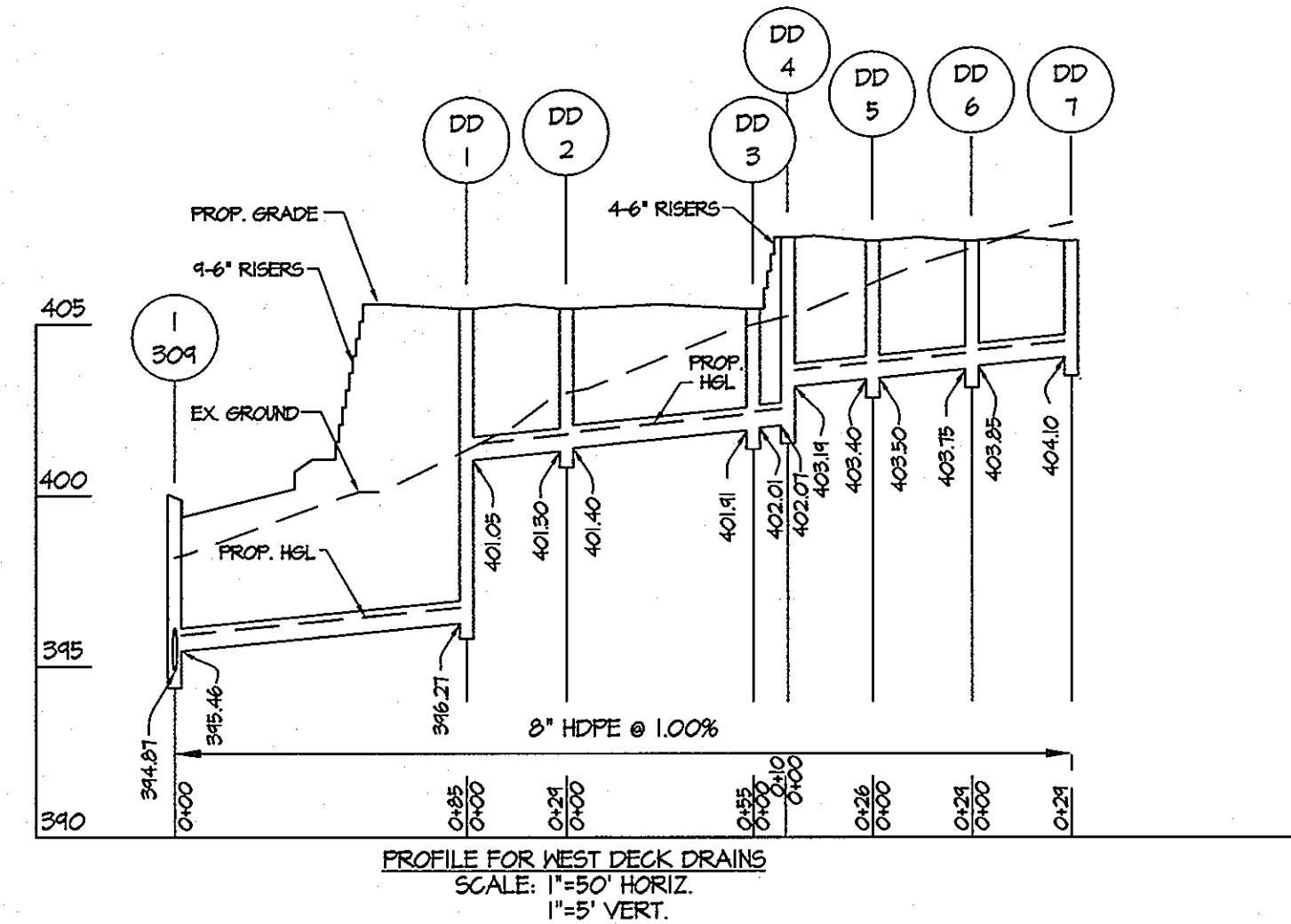
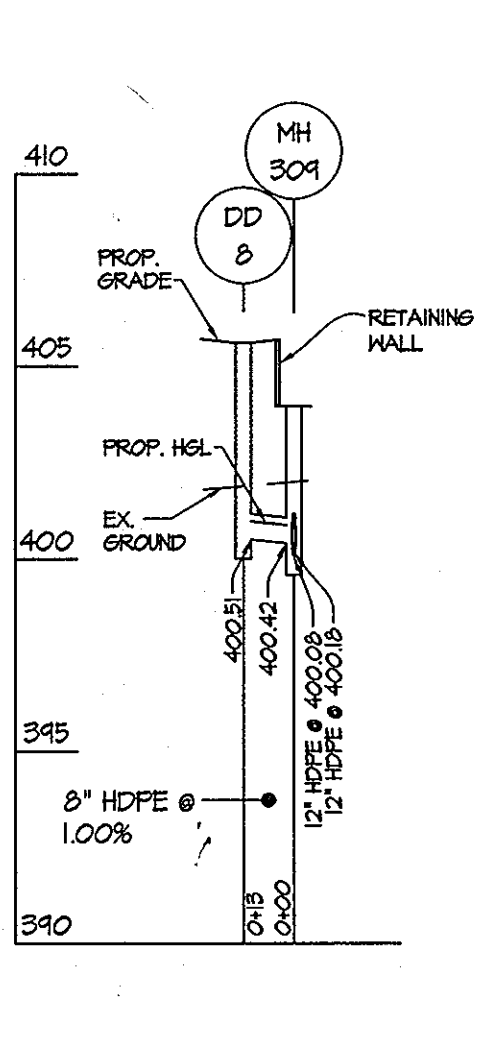
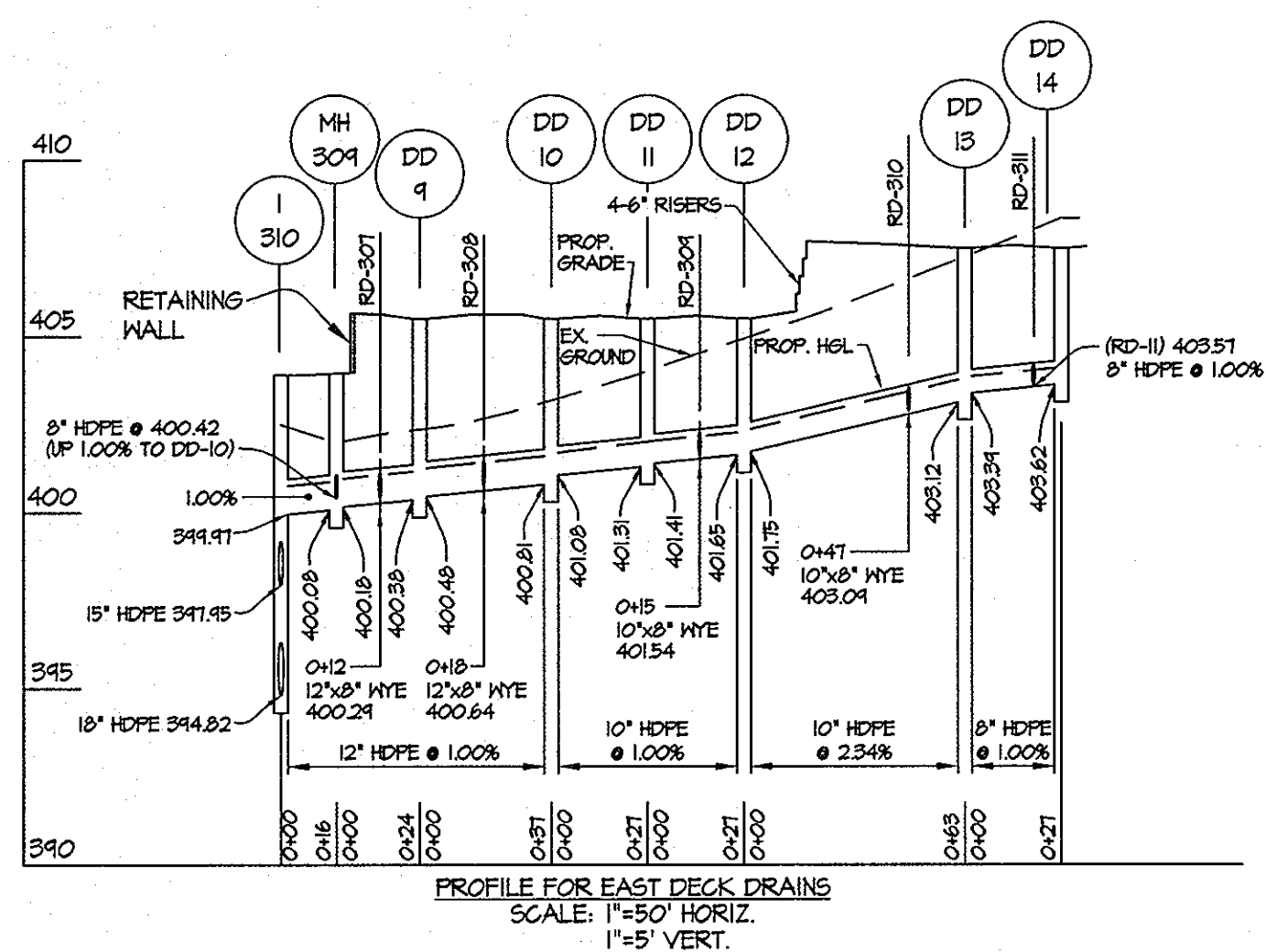
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4188

NO.	REVISION	DATE	BY	APPR.

PREPARED FOR:
 C&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

STORM DRAIN PROFILES
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10, A-15, A-16, A-17, AND A-18
 (PLAT No. 12447/5)

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	14 OF 26



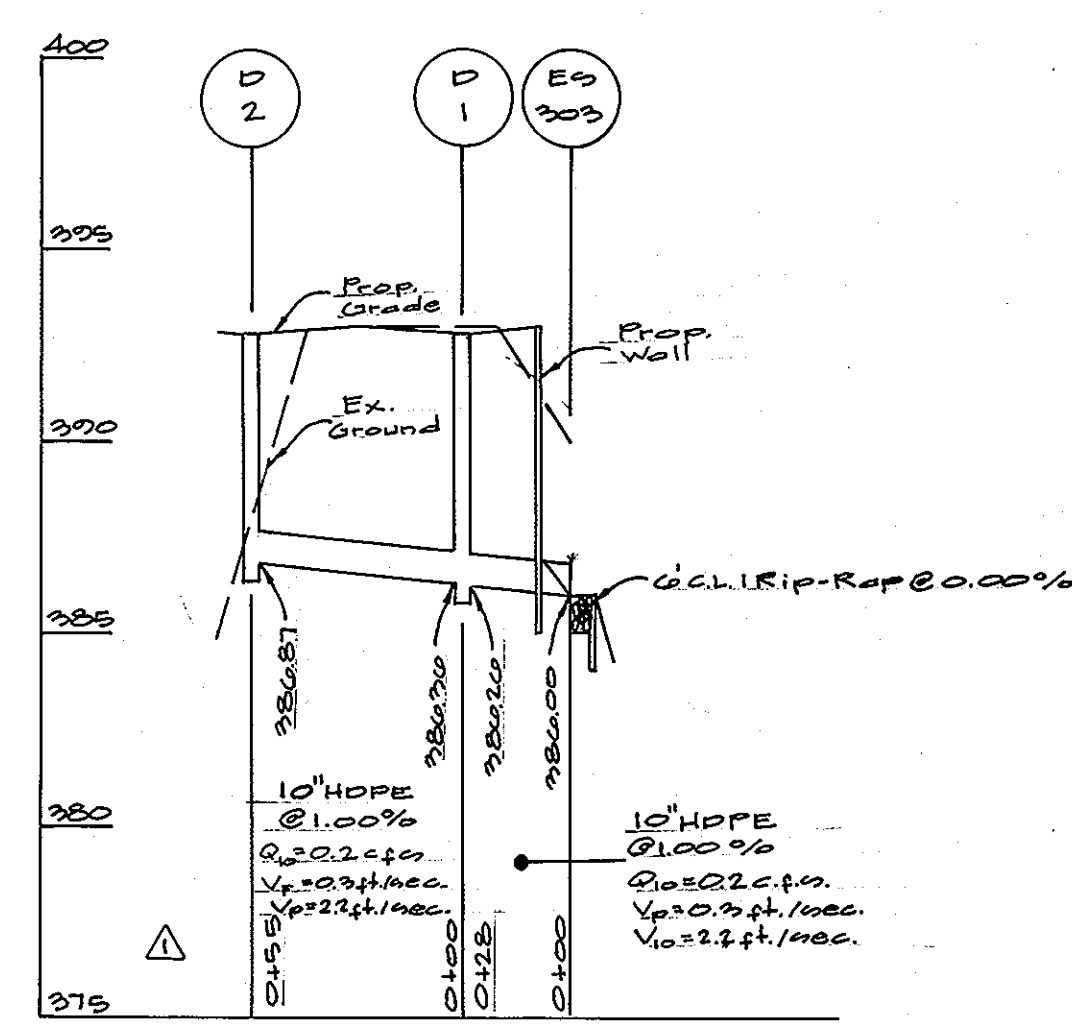
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-301	A-10 INLET	2'-6"	399.73	399.24	394.94	393.00	HO. CO. SD 4.41	N 543,743 E 1340,254	
I-302	A-10 INLET	2'-6"	399.10	398.60	---	393.72	HO. CO. SD 4.41	N 543,738 E 1340,203	
I-303	A-10 INLET	2'-6"	407.36	406.86	---	402.33	HO. CO. SD 4.41	N 543,893 E 1340,243	
I-305	A-10 INLET	2'-6"	396.08	395.77	390.10	389.96	HO. CO. SD 4.41	N 543,683 E 1340,096	
I-306	A-15 INLET	2'-6"	395.93	395.77	---	390.31	MC-301.01	N 543,645 E 1340,074	
I-309	A-10 INLET	2'-6"	400.07	399.88	395.46	394.87	HO. CO. SD 4.41	N 544,014 E 1339,950	
I-310	A-10 INLET	2'-6"	404.13	403.90	399.97	394.82	HO. CO. SD 4.41	N 543,996 E 1340,069	
D-1	Yard Drain	1'-0"	---	392.80	386.20	---	---	N 543,462 E 1,340,248	
MH-303	STANDARD MANHOLE	5'-0"	---	398.50	390.17	386.20	HO. CO. G-5.13	N 543,677 E 1340,318	
MH-304	STANDARD MANHOLE	4'-0"	---	398.10	390.42	390.32	HO. CO. G-5.12	N 543,674 E 1340,283	
MH-305	STANDARD MANHOLE	5'-0"	---	397.95	392.78	386.85	HO. CO. G-5.13	N 543,715 E 1340,266	
MH-308	STANDARD MANHOLE	4'-0"	---	396.34	391.40	388.84	HO. CO. G-5.12	N 543,703 E 1340,130	
MH-309	NYLOPLAST DRAIN BASIN	1'-0"	---	404.00	400.42	400.08	---	N 544,003 E 1340,058	
D-300B	Yard Drain	1'-0"	---	390.79	---	392.84	---	N 543,572 E 1,340,171	
D-301	YARD DRAIN	1'-0"	---	397.00	390.61	390.51	---	N 543,695 E 1,340,308	
D-302	YARD DRAIN	1'-0"	---	396.70	---	390.79	---	N 543,597 E 1,340,311	
D-303	YARD DRAIN	1'-0"	---	396.40	---	390.77	---	N 543,509 E 1,340,314	
D-304	YARD DRAIN	1'-0"	---	396.10	---	391.15	---	N 543,571 E 1,340,316	
D-305	YARD DRAIN	1'-0"	---	395.60	391.39	391.29	---	N 543,497 E 1,340,309	
D-306	YARD DRAIN	1'-0"	---	395.60	391.69	391.59	---	N 543,494 E 1,340,277	
D-300A	Yard Drain	1'-0"	---	395.00	---	391.79	---	N 543,492 E 1,340,243	
DD-1	DECK DRAIN	8"	---	405.46	401.05	396.27	---	N 544,092 E 1339,986	
DD-2	DECK DRAIN	8"	---	405.46	401.40	401.30	---	N 544,118 E 1340,000	
DD-3	DECK DRAIN	8"	---	405.50	402.01	401.91	---	N 544,166 E 1340,026	
DD-4	DECK DRAIN	8"	---	407.50	403.19	402.07	---	N 544,174 E 1340,031	
DD-5	DECK DRAIN	8"	---	407.46	403.50	403.40	---	N 544,197 E 1340,043	
DD-6	DECK DRAIN	8"	---	407.46	403.85	403.75	---	N 544,222 E 1340,057	
DD-7*	DECK DRAIN	8"	---	407.46	---	404.10	---	N 544,248 E 1340,071	
DD-8	DECK DRAIN	8"	---	405.60	---	400.51	---	N 544,077 E 1340,042	
DD-9	DECK DRAIN	8"	---	405.40	400.48	400.38	---	N 544,025 E 1340,067	
DD-10	DECK DRAIN	8"	---	405.40	401.08	400.81	---	N 544,058 E 1340,085	
DD-11	DECK DRAIN	8"	---	405.40	401.41	401.31	---	N 544,082 E 1340,098	
DD-12	DECK DRAIN	8"	---	405.40	401.75	401.65	---	N 544,106 E 1340,111	
DD-13	DECK DRAIN	8"	---	407.40	403.39	403.12	---	N 544,161 E 1340,141	
DD-14	DECK DRAIN	8"	---	407.40	---	403.62	---	N 544,185 E 1340,154	
D-2	Yard Drain	1'-0"	---	392.80	---	386.27	---	N 543,465 E 1,340,203	

1. COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.
 2. ALL DECK DRAINS TO BE ACC TRENCH LINE OR APPROVED EQUAL UNLESS OTHERWISE NOTED.
 3. NYLOPLAST - ADS DRAIN BASIN OR APPROVED EQUAL.

NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4392 D OR PER MHC'S/SHC'S PROPOSED UNDER THIS PLAN.

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
8"	hdpe	533'	
10"	hdpe	294'	
12"	hdpe	100'	
15"	hdpe	274'	
18"	hdpe	27'	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-C by Hancor or an approved equal.
 Trench bedding to be provided per Howard County Detail G 2.01.
 Trench for P.V.C. pipe and HDPE.



APPROVED PLANNING BOARD of HOWARD COUNTY
 DATE: 3/22/07

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
 By: Peter Besilerman MD, County Health Officer, 5/10/2007

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 By: David K. Cagle, Director, 5/14/07
 By: Cindy Hanna, Chief, Division of Land Development, 5/14/07
 By: [Signature], Chief, Development Engineering Division, 4/20/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

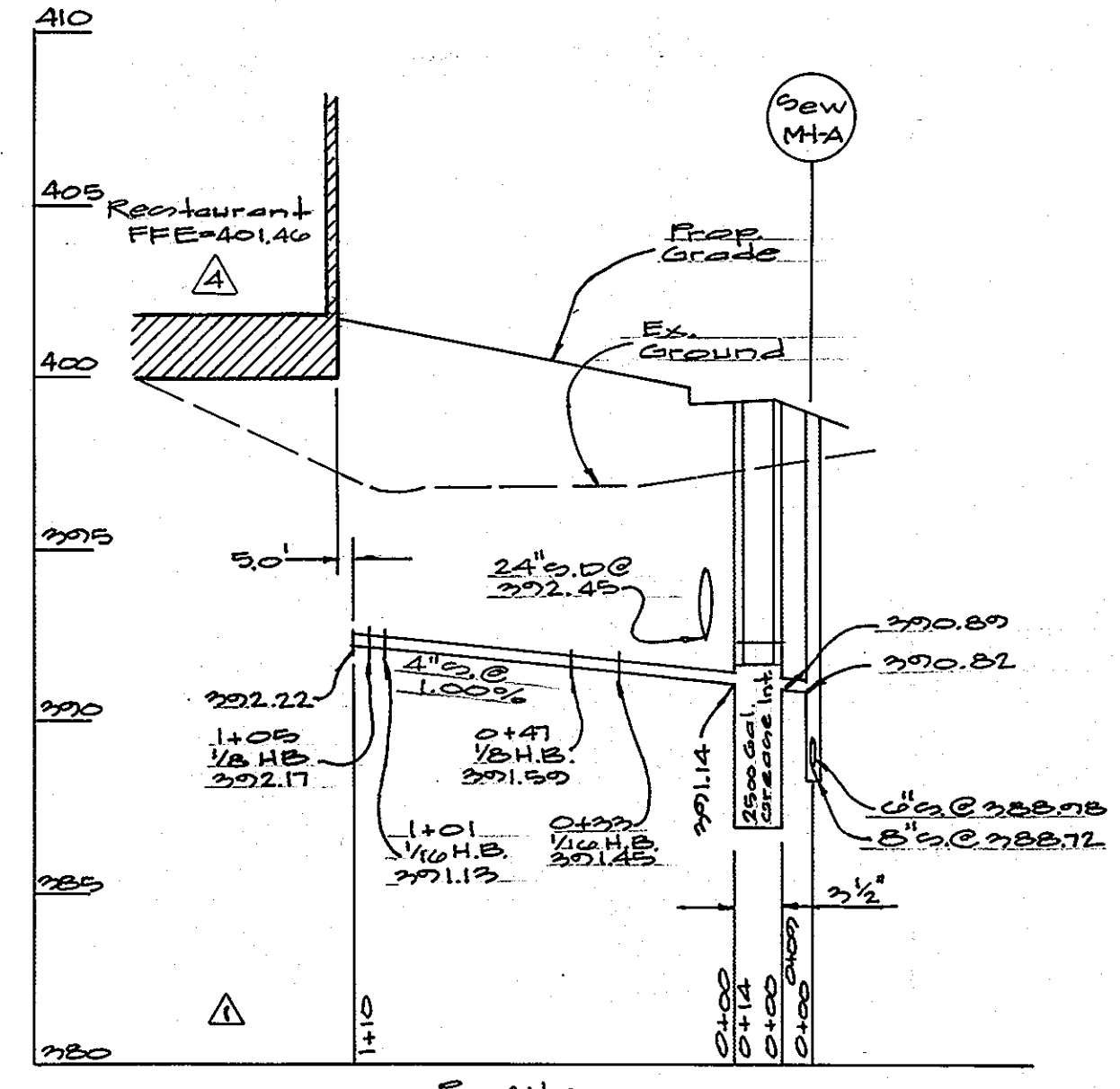
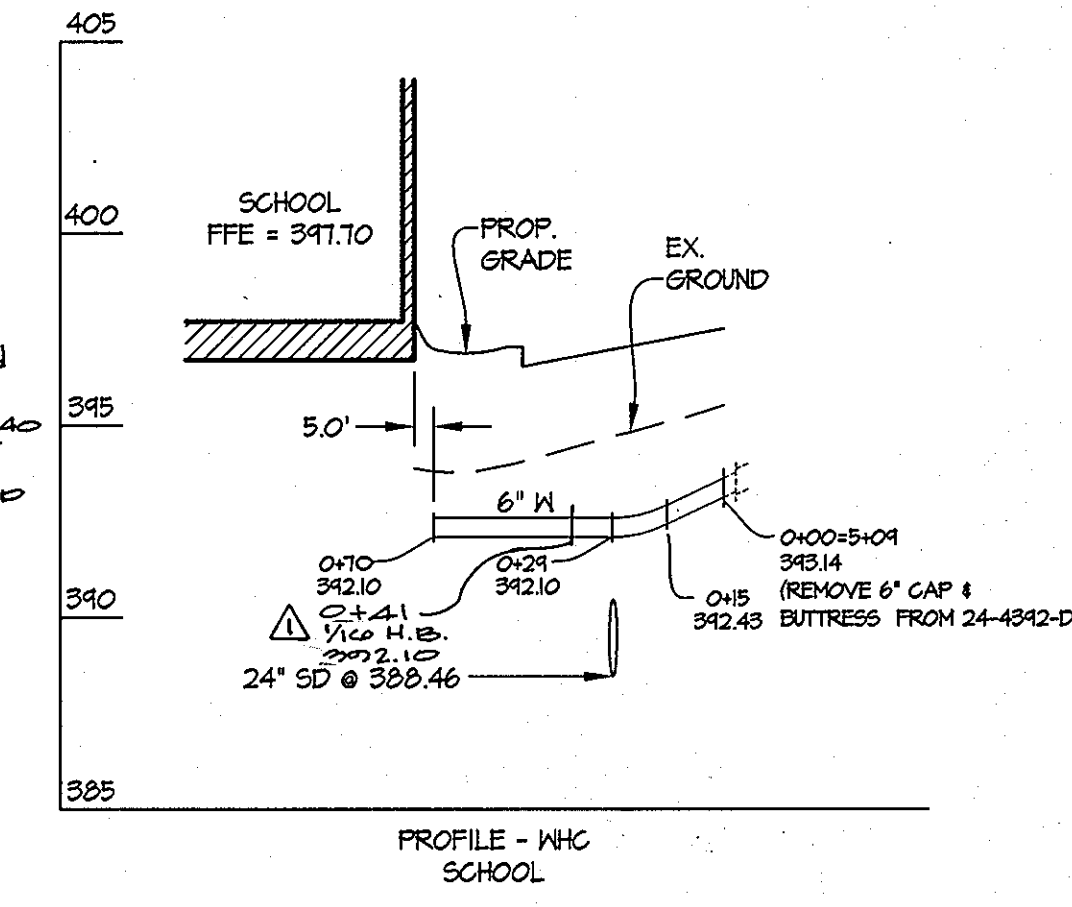
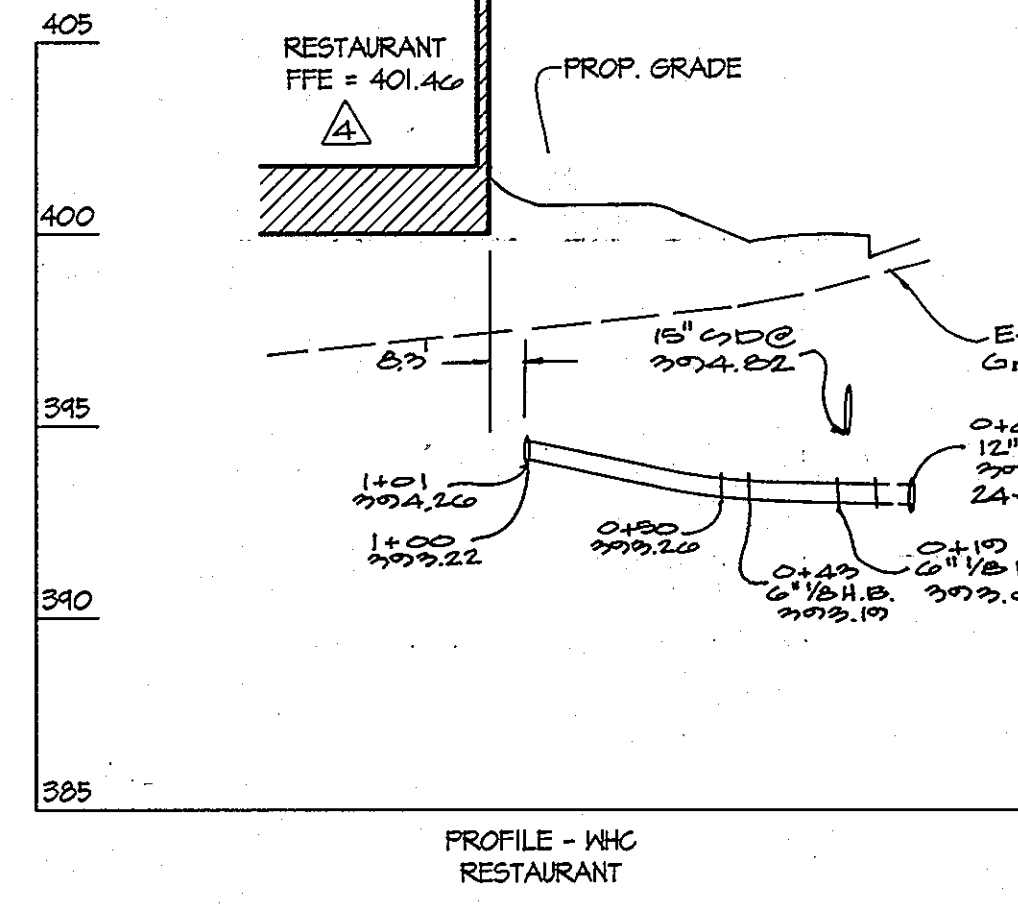
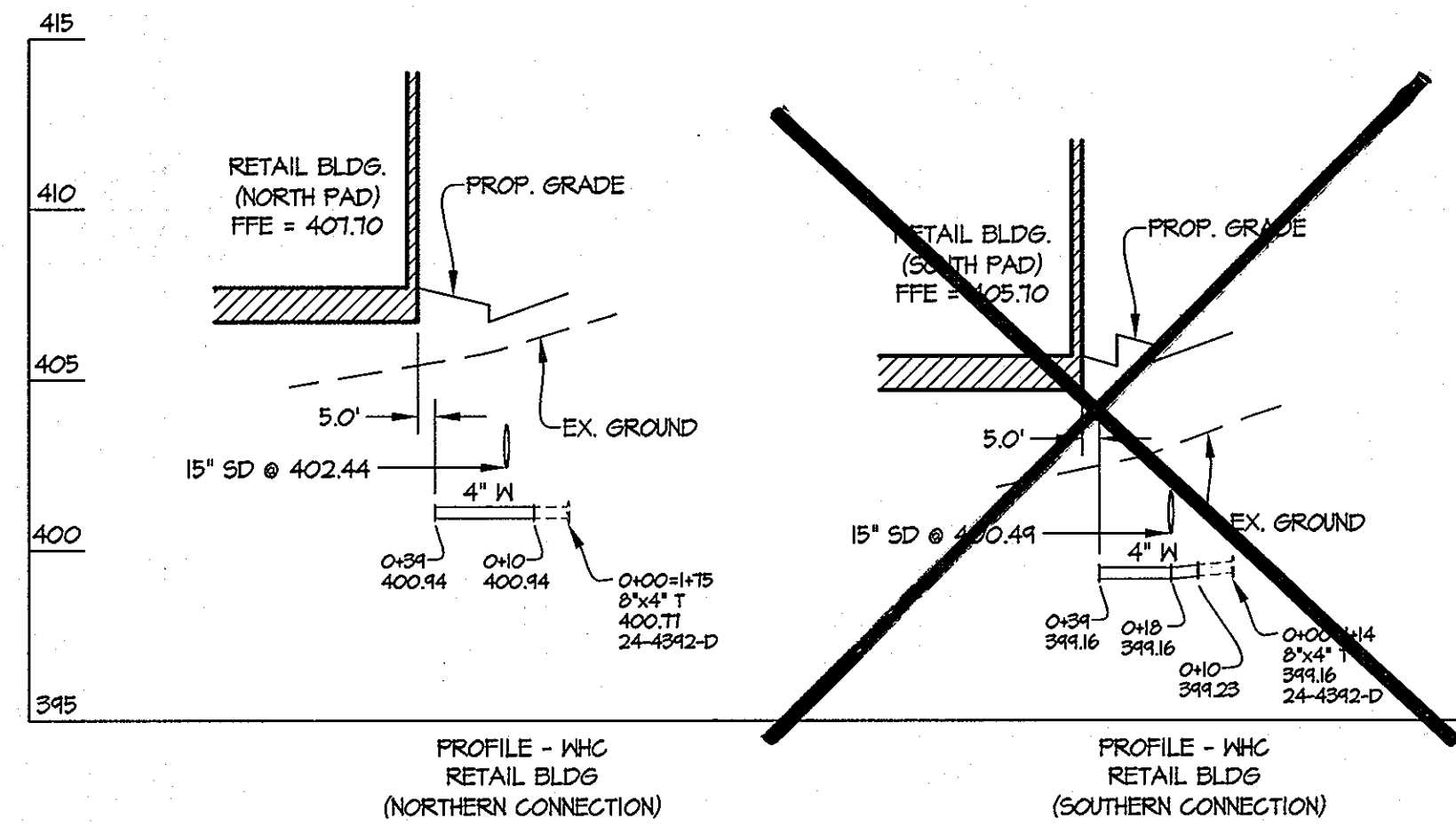
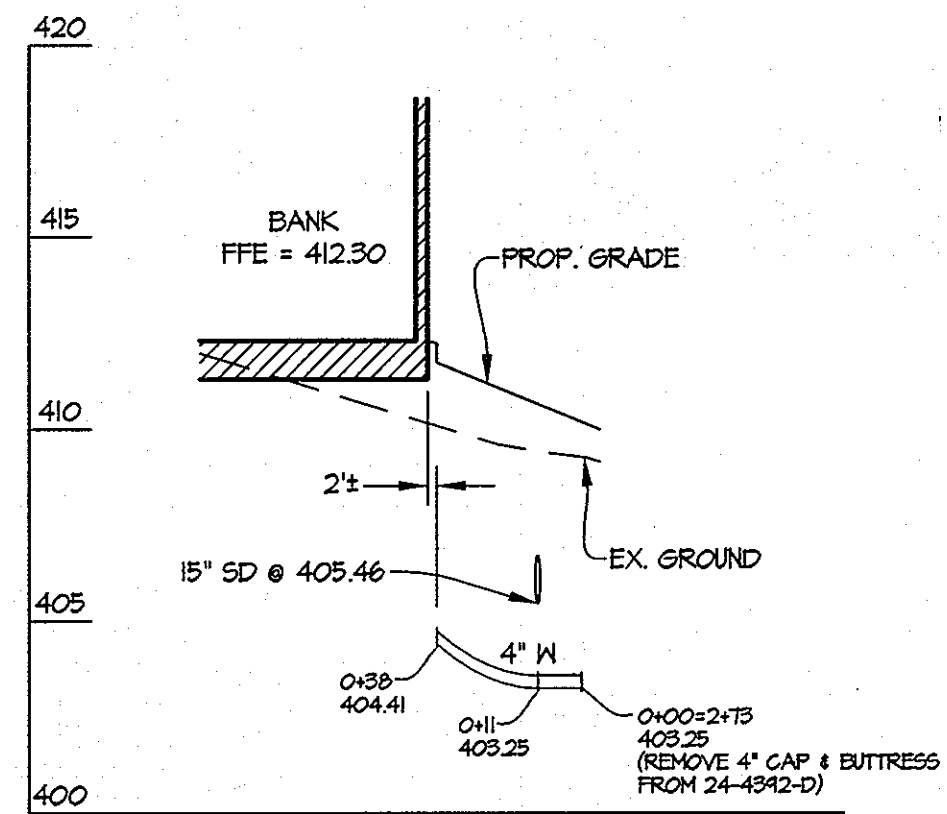
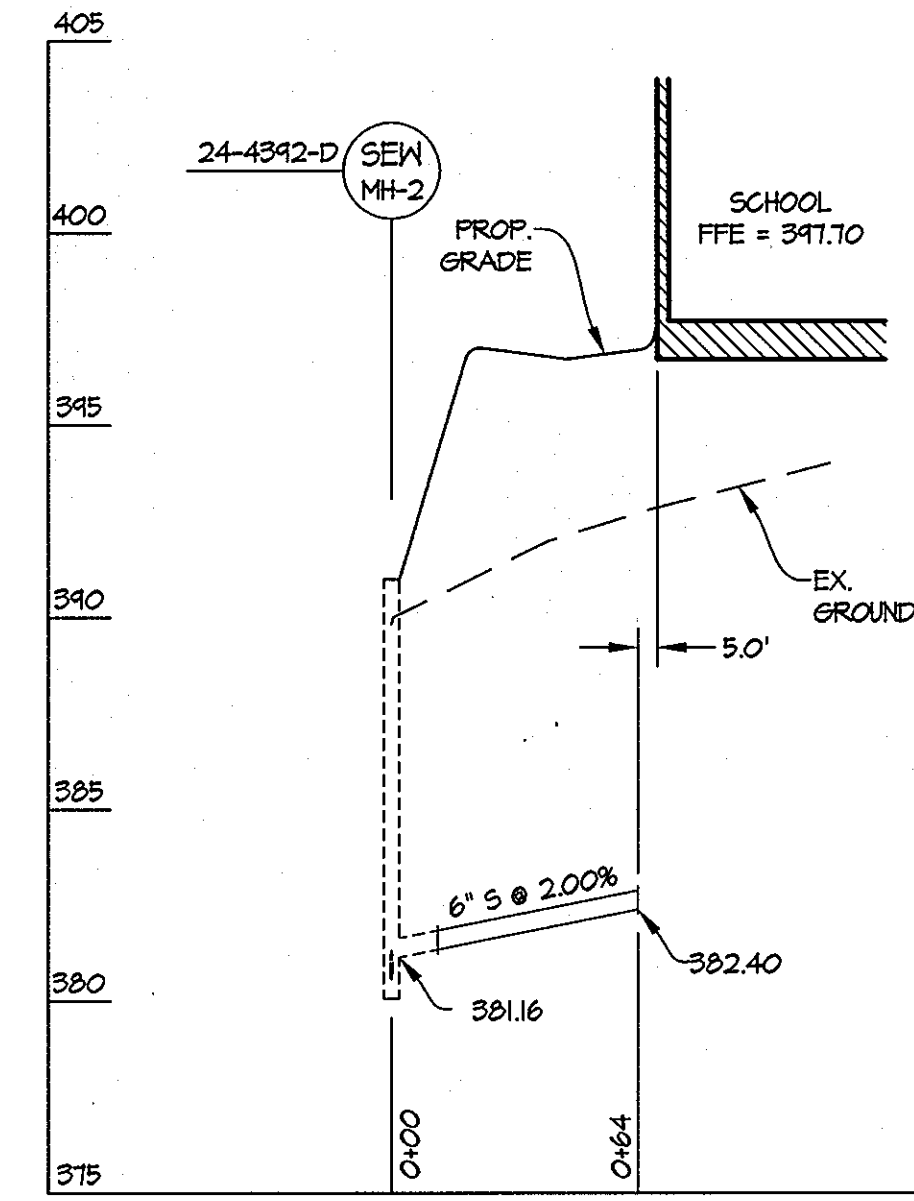
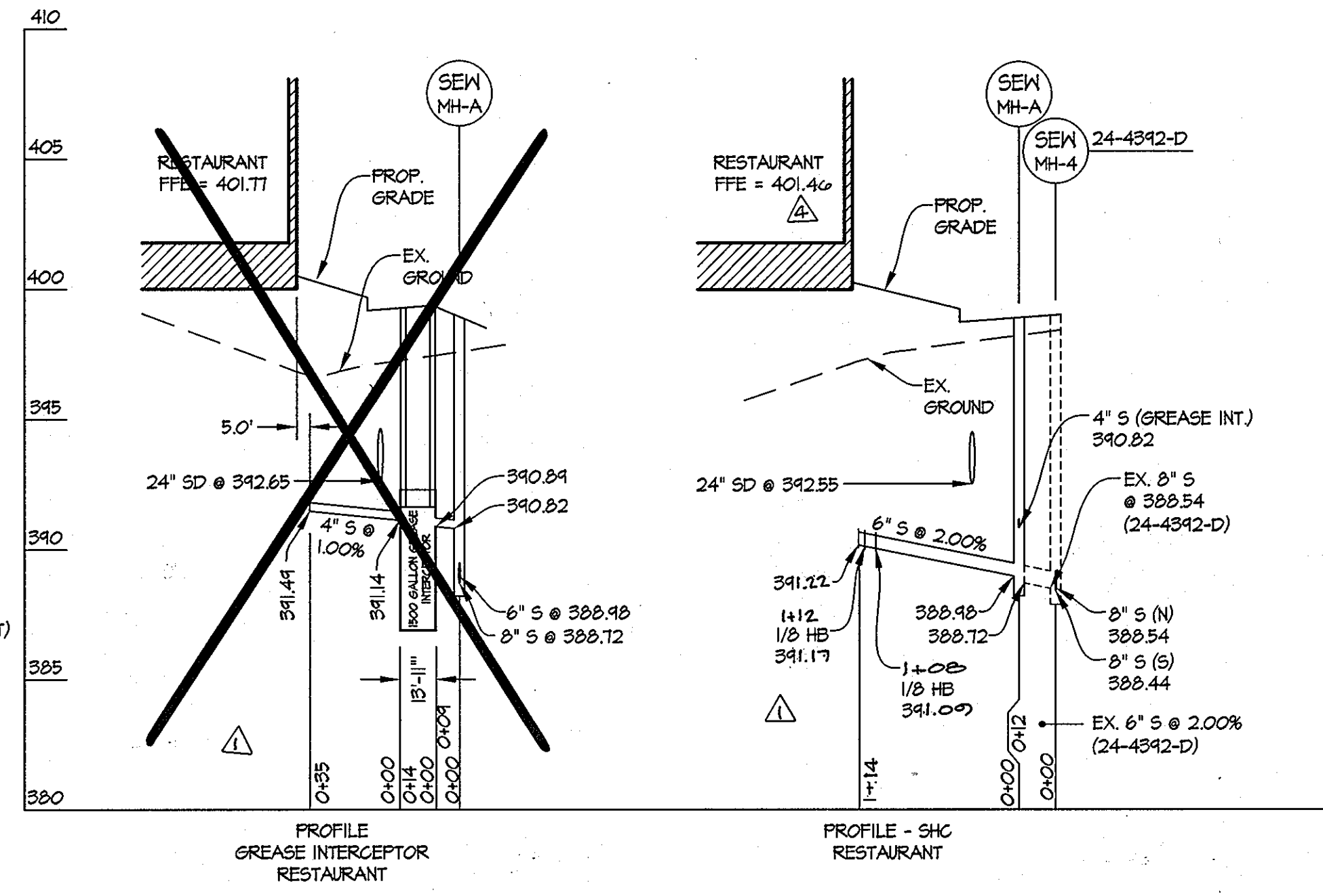
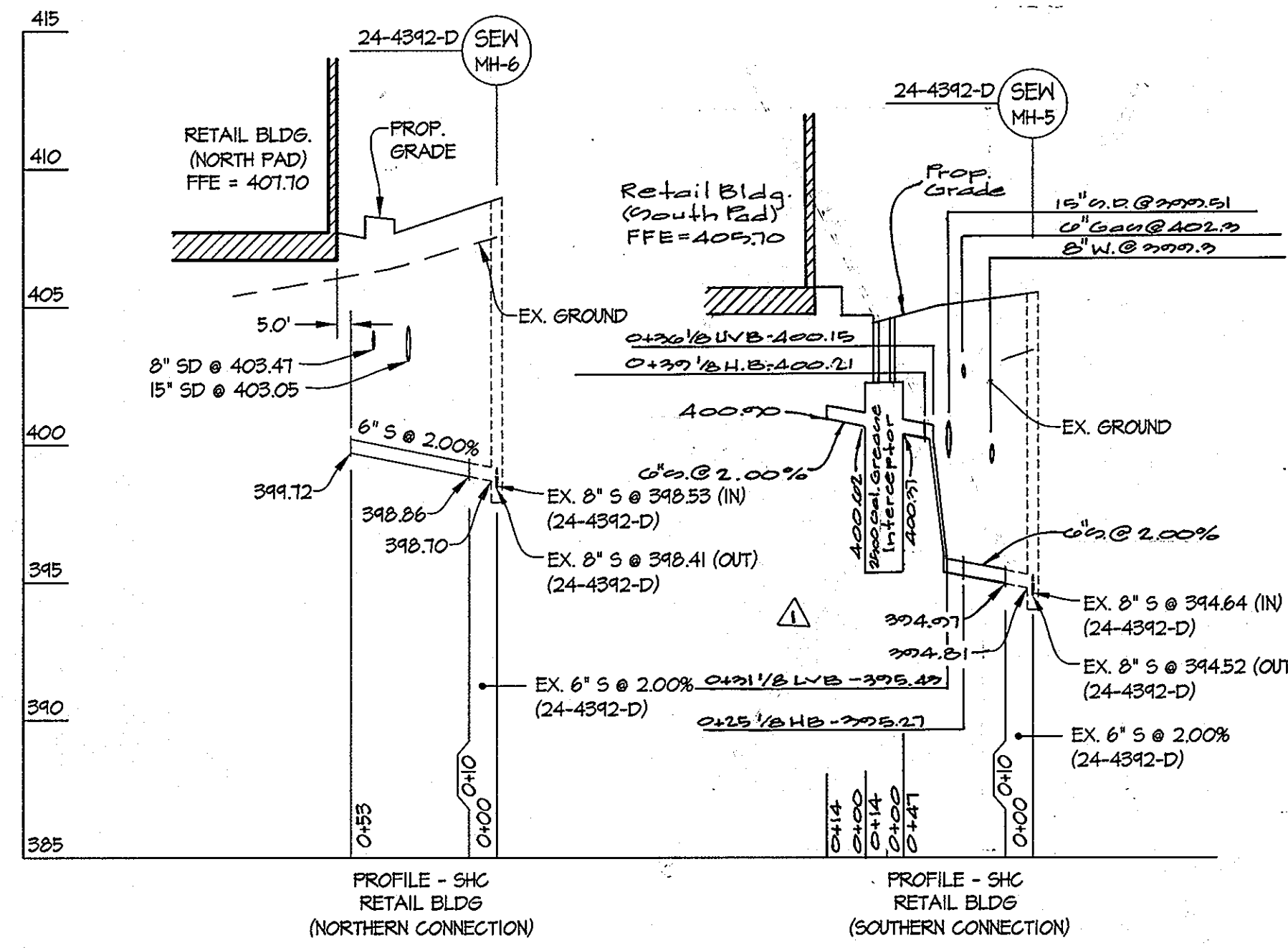
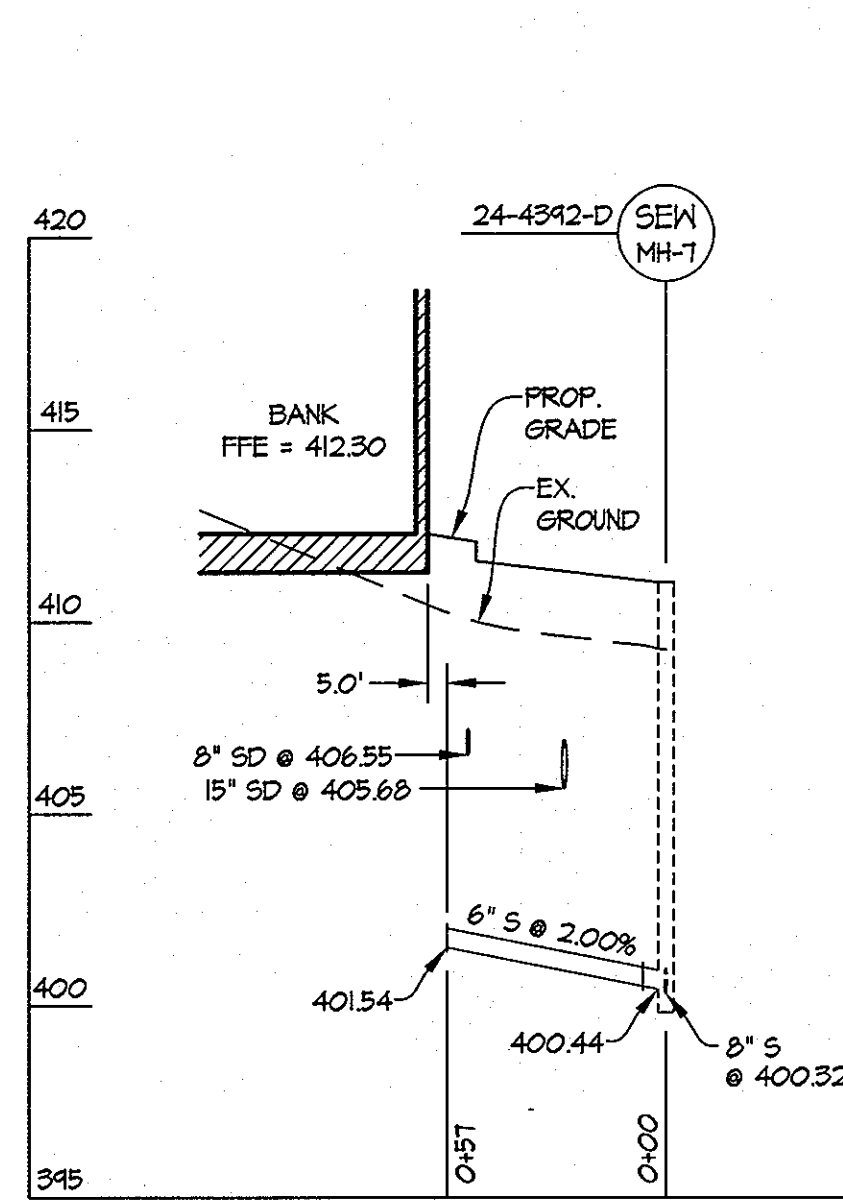
NO.	DATE	REVISION	BY	APP'R.
10-10-07		Revised 2007 profiles for plan change, updated schedule & revised title block	Wes	Per

PREPARED FOR:
 C&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

STORM DRAIN PROFILES
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10, A-15, A-16, A-17, and A-18
 (PLAT No. 2447/3)

ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	15 OF 26

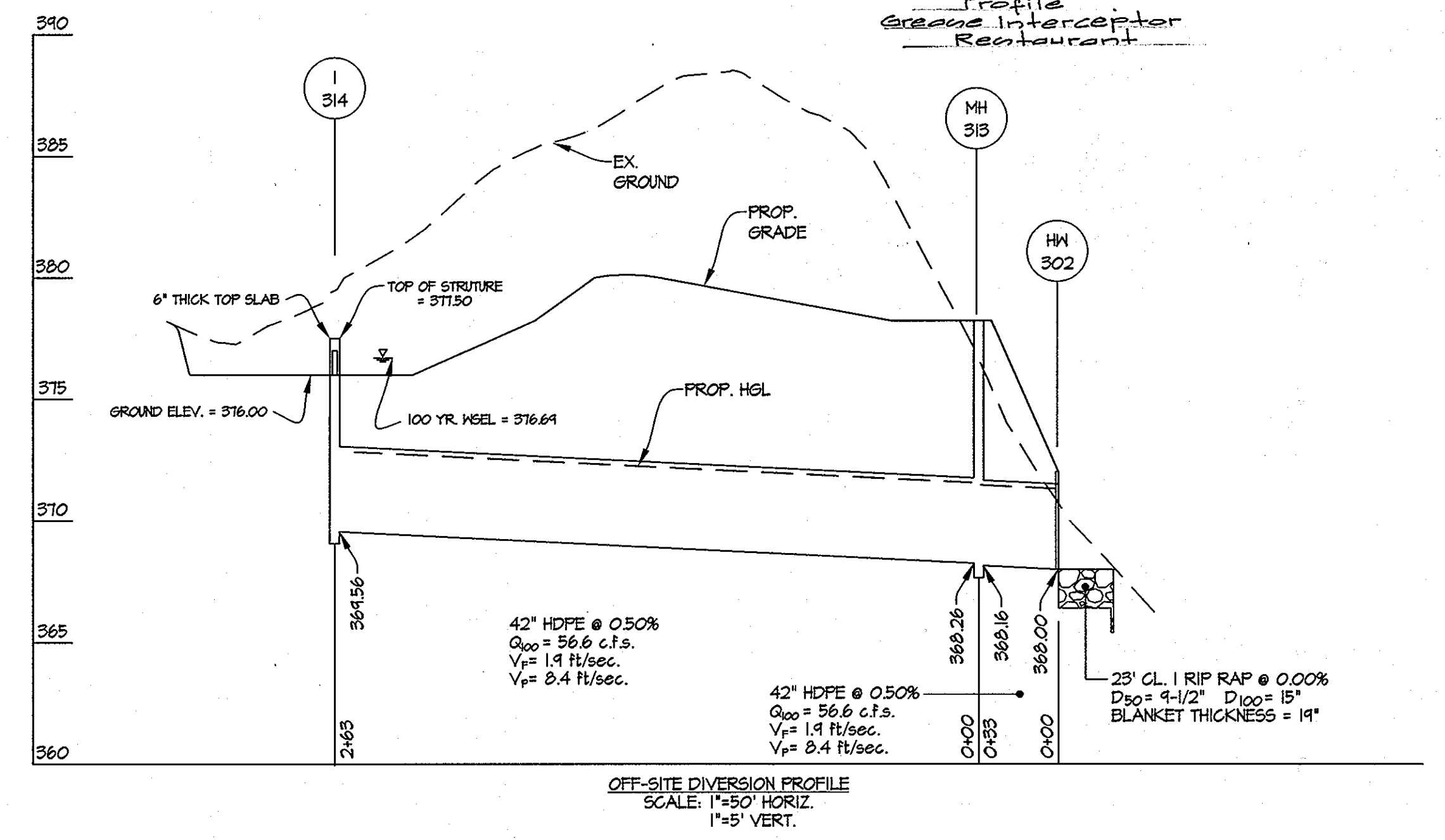


STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-314	A-10 INLET	6'-0"	---	371.50	---	369.56	HO. CO. SD 4.41	N 543,349 E 1,340,343	
MH-313	STANDARD MANHOLE	5'-0"	---	378.00	368.26	368.16	HO. CO. G-5.13	N 543,076 E 1,340,356	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE.

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (I.F.)	REMARKS
4"	(FOR WHC)	116	
6"	(FOR WHC/SHC)	317	
42"	HDPE	298	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-Q by Hancor or an approved equal.
Trench bedding to be provided per Howard County Detail G 2.01.
Trench for P.V.C. pipe and HD.P.E.



APPROVED
PLANNING BOARD
OF HOWARD COUNTY

D. DATE: 3/22/07

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT
Balitar for Peter Beilemann MD 5/10/2007
County Health Officer
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Marcus de Gagne 5/14/07
Director
Cathy Hamrick 5/14/07
Chief, Division of Land Development
Michael Williams 4/30/07
Chief, Development Engineering Division



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
10-10-07	Revised W/C to school & Rev title block	WesJ	
04-15-12	Revised Restaurant FFE due to proposed building footprint	WesJ	PEW

PREPARED FOR:
G&R MAPLE LAWN INC
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

STORM DRAIN AND UTILITY PROFILES
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREAS 1, 2, AND 3
PARCELS A-15, A-16, A-17, and A-18
(PLAT No. 12447/B)

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	16 OF 26

① STORMWATER MANAGEMENT SUMMARY

DRAINAGE AREA = 6.9 AC. OR 0.0108 SQ. MILES
PRE-DEVELOPMENT
 CURVE NUMBER = 64 TIME OF CONCENTRATION = 0.21 HOURS
POST-DEVELOPMENT
 CURVE NUMBER = 90 TIME OF CONCENTRATION = 0.12 HOURS
 WATER QUALITY VOLUME REQUIRED: 15,954 C.F. PROVIDED: 18,430 C.F.
 RECHARGE VOLUME REQUIRED: 2,131 C.F. PROVIDED: 2,970 C.F.
 CHANNEL PROTECTION VOLUME REQUIRED: 26,415 C.F. PROVIDED: 36,914 C.F.
 1 YEAR DISCHARGE = 0.30 C.F.S.
 100 YEAR DISCHARGE = 44.81 C.F.S.

1. THE FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED. THE COMMERCIAL OWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE FACILITY.
2. THE FACILITY WILL BE A P-2 NET POND WITH EXTENDED DETENTION.
3. THE FACILITY HAS AN 'A' POND CLASSIFICATION.

PRE-DEVELOPMENT

SEGMENT	DESCRIPTION	TIME
① - ②	60' OVERLAND FLOW @ 12.0% (GRASS, n= 0.24)	0.08 HR
② - ③	400' SHALLOW CONC. FLOW (UNPAVED) @ 4.0% (v = 3.2'/SEC.)	0.03 HR
③ - ④	580' SHALLOW CONC. FLOW (UNPAVED) @ 1.0% (v = 1.6'/SEC.)	0.10 HR
TOTAL =		0.21 HR

POST DEVELOPMENT

SEGMENT	DESCRIPTION	TIME
① - ②	55' OVERLAND FLOW @ 16.0% (n= 0.24)	0.06 HR
② - ③	110' SHALLOW CONC. FLOW @ 2.5% (v = 3.2'/SEC.)	0.01 HR
③ - ④	1180' PIPE FLOW @ 1.0'/SEC.	0.05 HR
TOTAL =		0.12 HR

POND SUMMARY

	BEFORE	UNMANAGED	MANAGED
FINAL SWM @ POND			
1 YR	3.03 C.F.S.	15.56 C.F.S.	0.30 C.F.S. @ 375.60
2 YR	5.72 C.F.S.	20.52 C.F.S.	3.01 C.F.S. @ 375.13
10 YR	16.44 C.F.S.	36.21 C.F.S.	32.20 C.F.S. @ 376.04
100 YR		53.35 C.F.S.	44.81 C.F.S. @ 376.15
TEMPORARY SWM @ POND (CONDITION 1)			
1 YR	4.26 C.F.S.	6.53 C.F.S.	0.11 C.F.S. @ 374.39
2 YR	9.76 C.F.S.	12.80 C.F.S.	0.24 C.F.S. @ 375.00
10 YR	32.61 C.F.S.	37.52 C.F.S.	17.64 C.F.S. @ 375.90
TEMPORARY SWM @ POND (CONDITION 2)			
1 YR	8.28 C.F.S.	17.47 C.F.S.	0.29 C.F.S. @ 375.55
2 YR	16.23 C.F.S.	27.37 C.F.S.	4.28 C.F.S. @ 375.75
10 YR	47.56 C.F.S.	64.68 C.F.S.	54.50 C.F.S. @ 376.34
TEMPORARY SWM @ POND (CONDITION 3)			
1 YR	4.20 C.F.S.	11.91 C.F.S.	1.62 C.F.S. @ 375.72
2 YR	7.23 C.F.S.	22.81 C.F.S.	12.55 C.F.S. @ 375.24
10 YR	18.21 C.F.S.	37.33 C.F.S.	35.31 C.F.S. @ 376.08

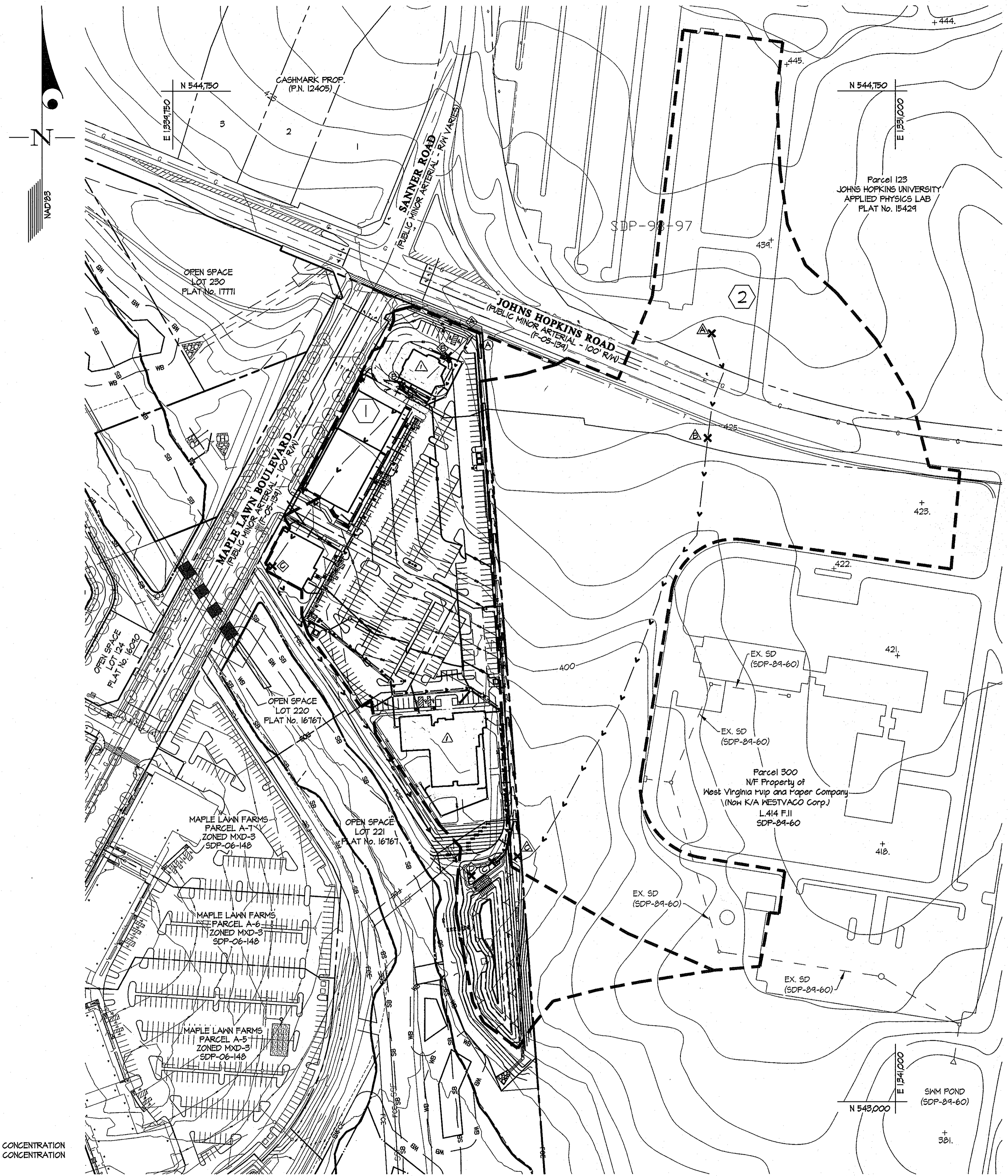
- NOTES:
1. THE BASIN UNDER CONDITION 1 WILL RECEIVE 13.6 AC. OF OFFSITE RUNOFF AND 1.7 AC. OF ONSITE RUNOFF.
 2. THE BASIN UNDER CONDITION 2 WILL RECEIVE 12.5 AC. OF OFFSITE RUNOFF AND 6.4 AC. OF ONSITE RUNOFF.
 3. THE BASIN UNDER CONDITION 3 WILL RECEIVE 0.0 AC. OF OFFSITE RUNOFF AND 6.9 AC. OF ONSITE RUNOFF.

② OFFSITE STORMWATER DIVERSION PIPE SUMMARY

DRAINAGE AREA = 13.7 AC. OR 0.0214 SQ. MILES
PRE-DEVELOPMENT
 CURVE NUMBER = 62 TIME OF CONCENTRATION = 0.14 HOURS
 100 YEAR DISCHARGE = 56.62 C.F.S.

PRE-DEVELOPMENT

SEGMENT	DESCRIPTION	TIME
① - ②	5 MIN. THROUGH STORM DRAIN SYSTEM	0.08 HR
② - ③	820' SHALLOW CONC. FLOW (UNPAVED) @ 5.2% (v = 3.1'/SEC.)	0.06 HR
TOTAL =		0.14 HR



LEGEND
 - - - - - PRE-DEVELOPMENT TIME OF CONCENTRATION
 - - - - - POST-DEVELOPMENT TIME OF CONCENTRATION
 - - - - - DRAINAGE DIVIDE

△ THE PLAN IS FOR STORMWATER MANAGEMENT PURPOSES ONLY!

APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE: 3/22/07
 KS

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,
 HOWARD COUNTY HEALTH DEPARTMENT
 By: *Peter Besilenson* MD, 5/10/07
 County Health Officer
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 By: *Frank A. Coyle*, 5/14/07
 Director
 By: *Cindy Hambo*, 5/14/07
 Chief, Division of Land Development
 By: *[Signature]*, 4/30/07
 Chief, Development Engineering Division



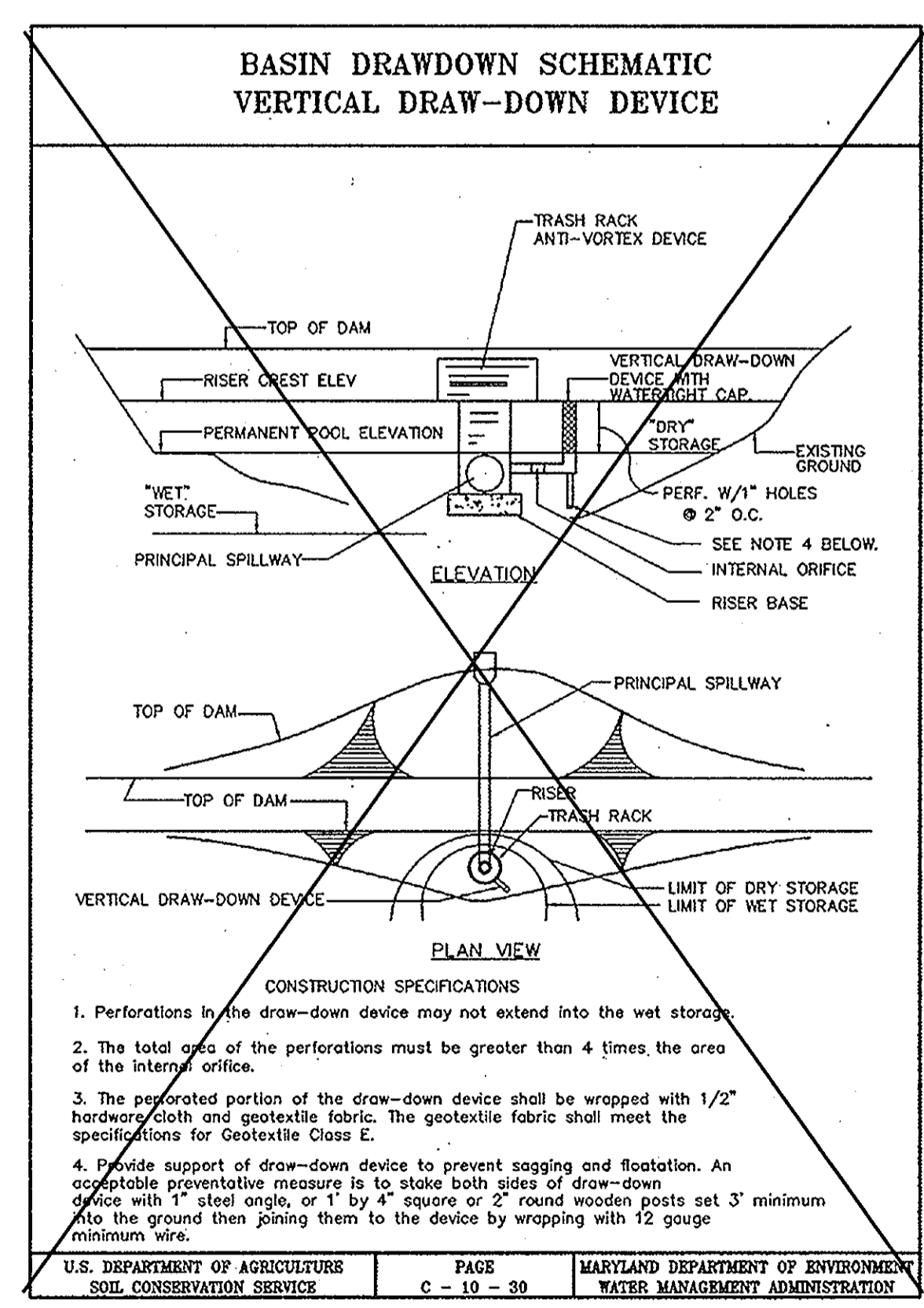
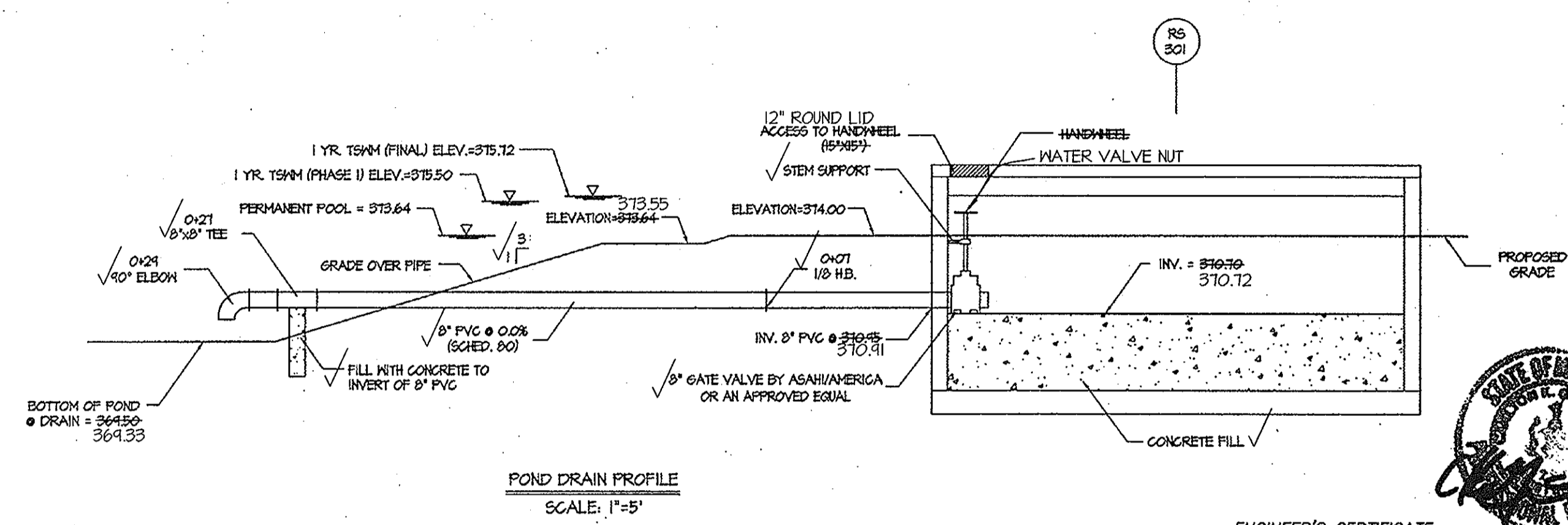
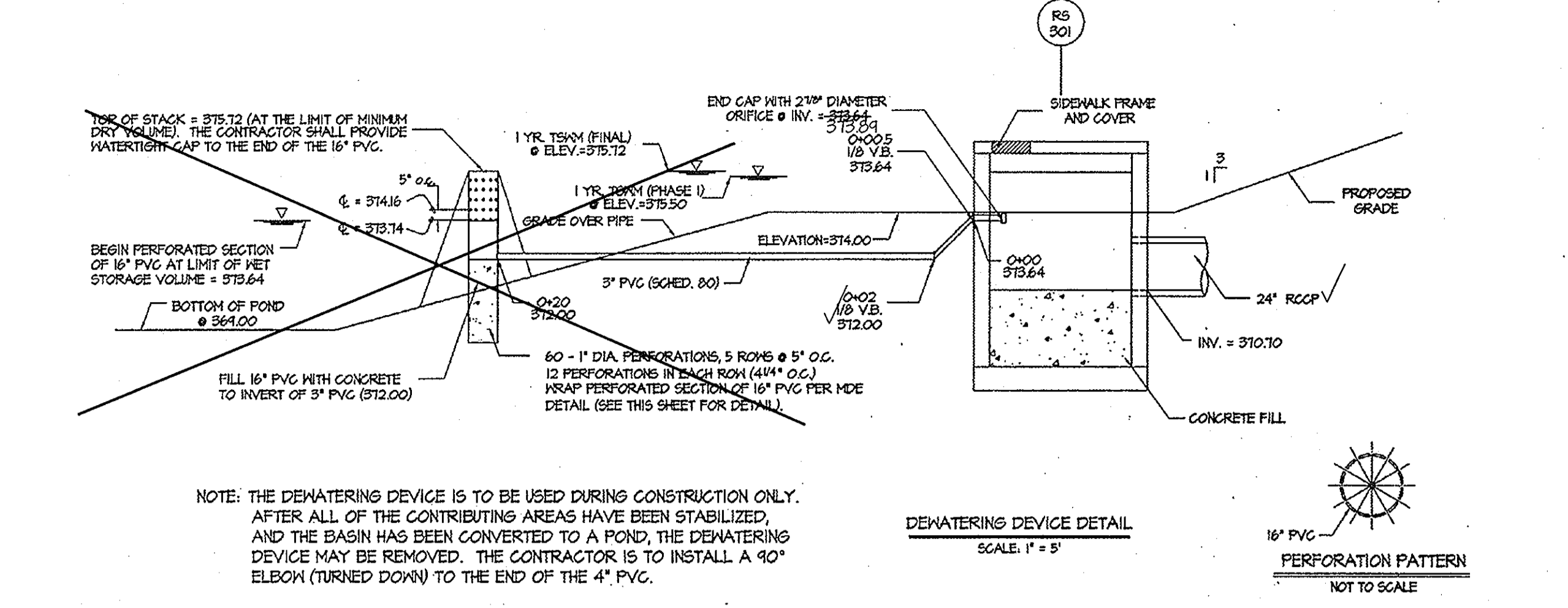
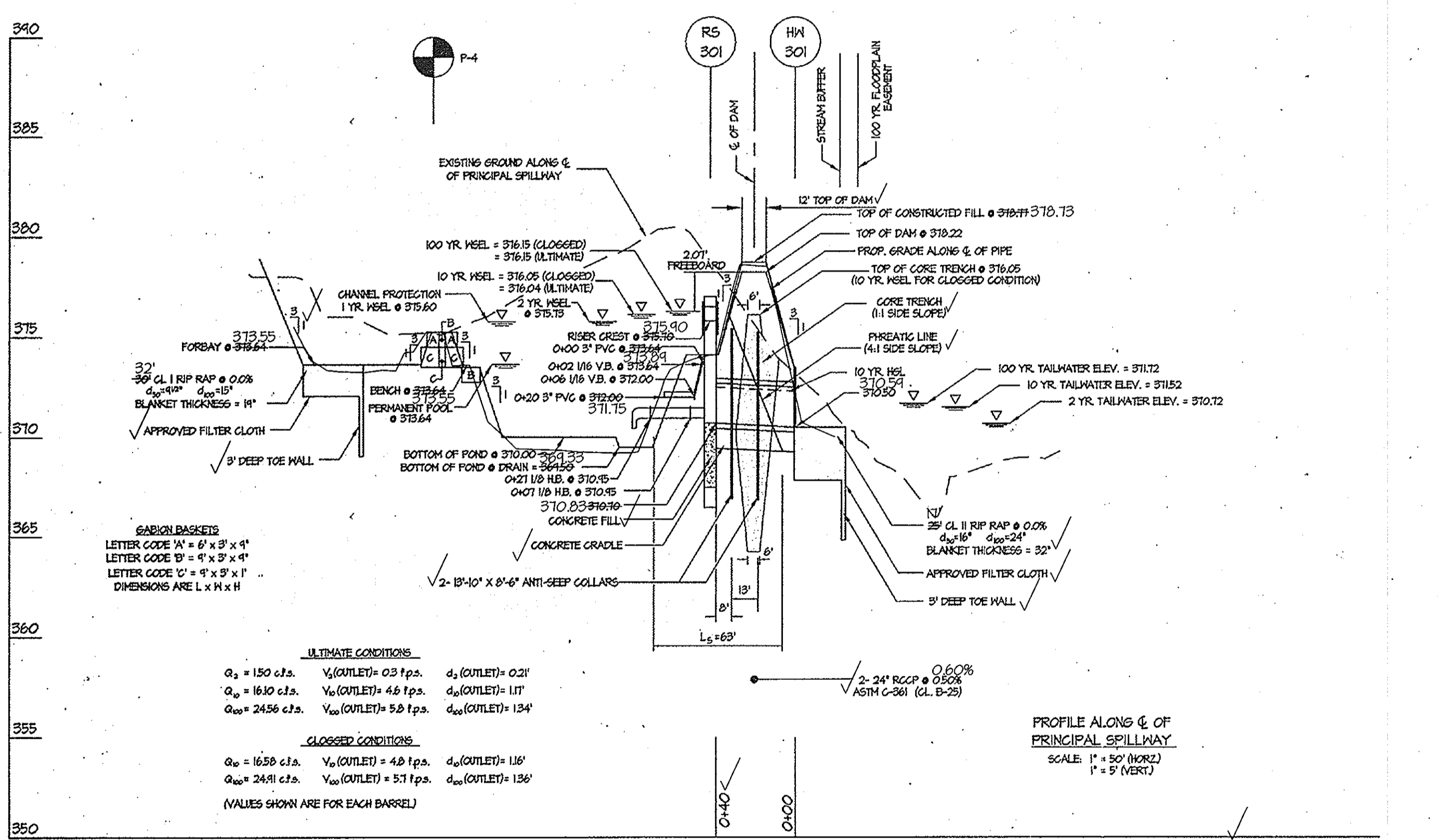
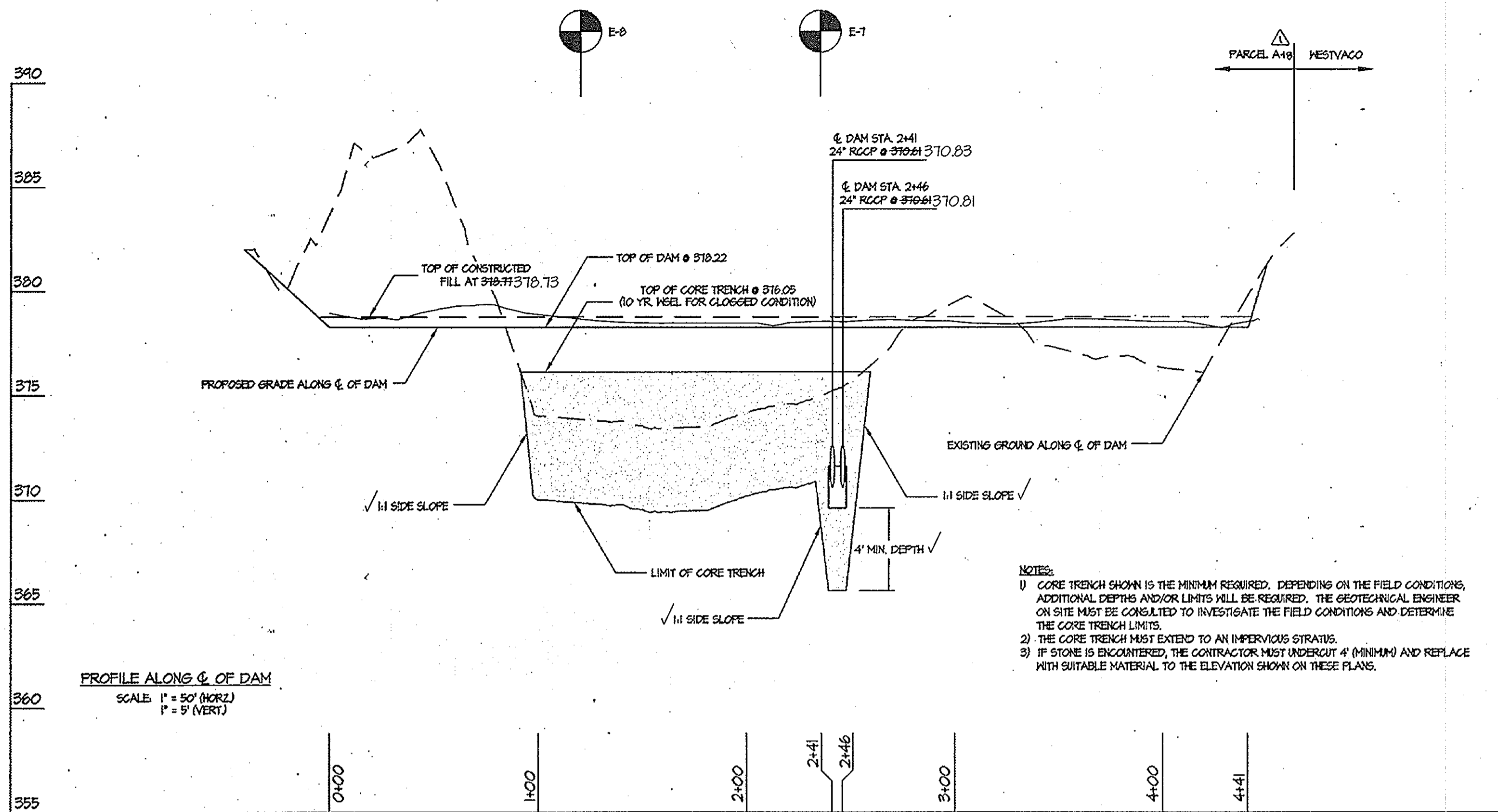
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 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
10-10-07	REVISED TITLE BLOCK, ADDED PURPOSE NOTE AND REVISED SCHOOL AND BANK FOOTPRINTS	WET	DEV

PREPARED FOR:
 C&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

STORMWATER MANAGEMENT / OFFSITE DRAINAGE AREA MAP
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10, A-15, A-16, A-17, and A-18
 (PLAT No. 1242-112)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=100'	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	17 OF 26



ENGINEER'S CERTIFICATE

I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature
4-6-07
Date

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature
4-9-07
Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Signature
4/29/07
Date
Natural Resources Conservation Service

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Signature
4/29/07
Date
Howard Soil Conservation District

PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12475, Expiration Date: May 26 2010

7-23-09
Date
Signature
Carl K. Gschick
Professional Engineer
Maryland Reg. No. 12475

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: 3/22/07
Signature

Approved: for Public Water & Sewerage Systems, Howard County Health Department
Signature
County Health Officer
5/10/2007
Date

Approved: Howard County Department of Planning & Zoning
Signature
Director
Date: 4/14/07

Signature
Chief, Division of Land Development
Date: 5/14/07

Signature
Chief, Development Engineering Division
Date: 4/30/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-959-2524 FAX: 301-421-4186

NO.	REVISION	DATE	DES. DEV	DRN. AWL	CHK. DEV	DATE	BY	APPR.
10-10-07	Revised Title Block & Parcel Designation							

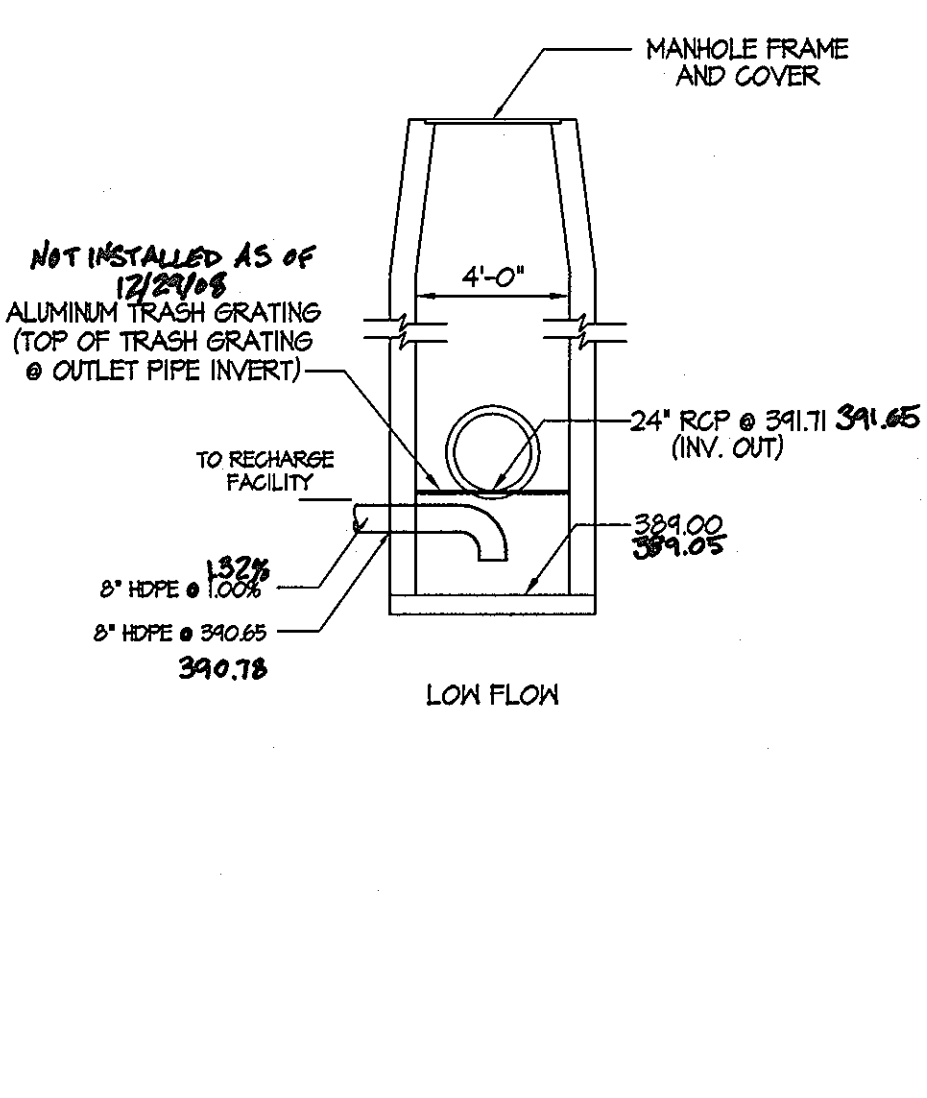
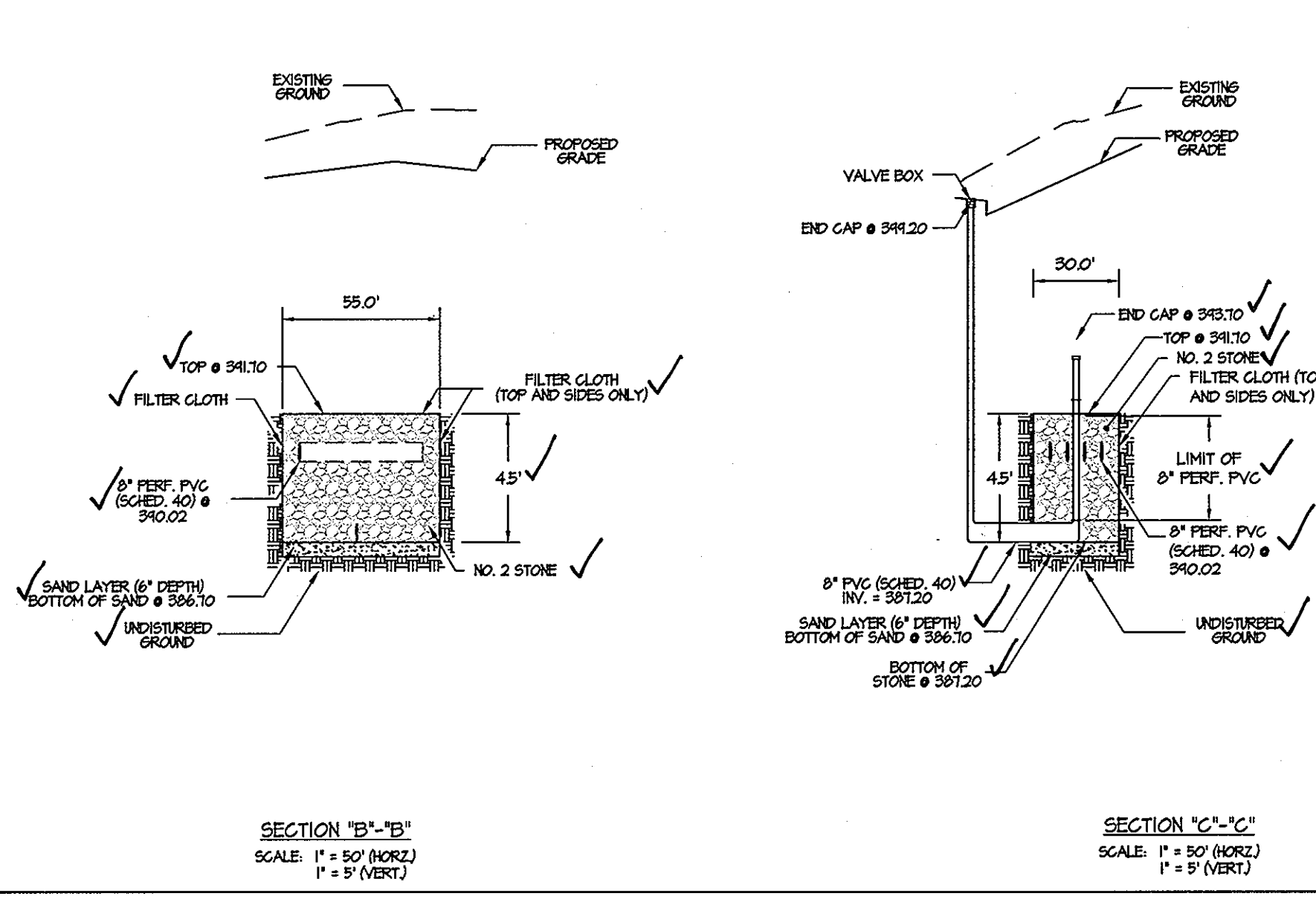
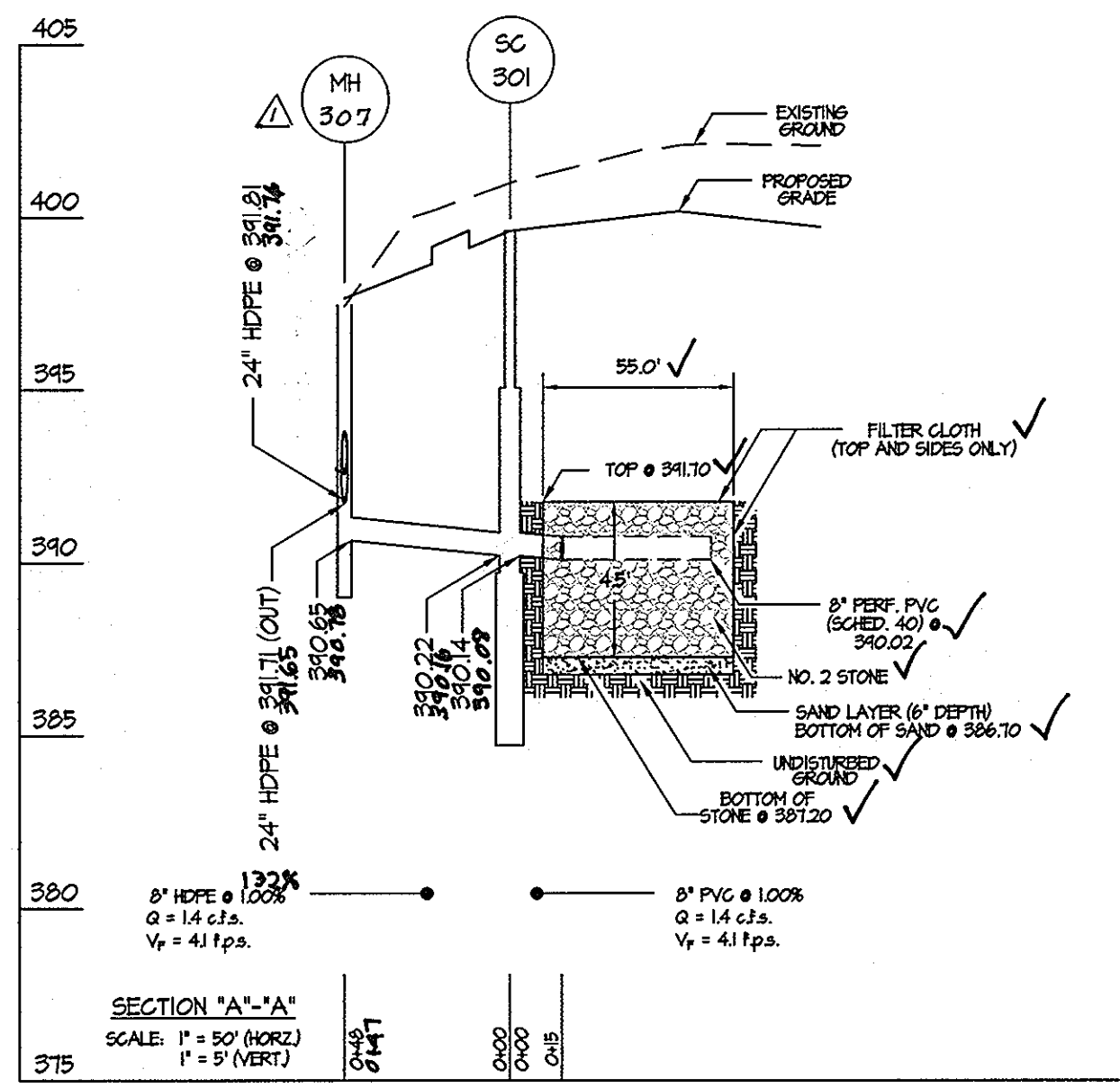
PREPARED FOR:
G&R MAPLE LAWN INC
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

STORMWATER MANGEMENT PROFILES, NOTES AND DETAILS
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREAS 1, 2, AND 3
PARCELS A-10, A-15, A-16, A-17, and A-18
(PLAT No. 1924712)

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
DEC. 2008 APRIL, 2007	41/22	18 OF 26

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CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds facility number 18. 3. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, and shrubs other than those to be retained shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 20 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rocks and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

Earth Fill

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #20 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer.

Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion or have lock seams with internal caulking or a neoprene bead.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8 inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture to permit compaction to the following: 4" - 10" inch pipe shall be compacted to 95% relative compaction; 12" through 24" inch shall be compacted to 95% relative compaction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

When required by the reviewing agency the minimum required density shall not be less than 95% maximum dry density with a moisture content within ±2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Embankment Core - The core shall be parallel to the centerline of the embankment and shall be a minimum of four feet. The height shall extend up to at least the 10-year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 313 as modified. The mixture shall have a 100-200 pps, 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity of 2,000 ohm-cm. Material shall be placed such that a minimum of 6" (measured perpendicular to the outside of the pipe) of flowable fill shall be over (bedding), over and, on the sides of the pipe. It only needs to extend up to the spring line for rigid conduits. Average slump of the fill shall be 7" to assure flowability of the material. Adequate measures shall be taken (sand bags, etc.) to prevent floating the pipe. When using flowable fill, all metal pipe shall be bituminous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over pipe. Backfill material outside the structure backfill (flowable fill) zone shall be of the type and quality conforming to other embankment materials.

Pipe Conduits

All pipes shall be circular in cross section.

Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:

- Materials - (Polymer Coated steel pipe) - Steel pipes with polymer coatings shall have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with watertight coupling bands or flanges.
- Materials - (Aluminum Coated Steel Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Aluminum Coated Steel Pipe when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Aluminum surfaces that are in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt.

Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Double bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be re-rolled an adequate number of corrugations to accommodate the bandwidth. The following type connections are acceptable for pipes less than 24 inches in diameter: flanges on both ends of the pipe with a circular 3/8 inch closed cell neoprene gasket, prepacked to the flange bolt circle, sandwiched between adjacent flanges; a 12-inch wide standard top type band with 12-inch wide by 3/8-inch thick closed cell circular neoprene gasket; and a 12-inch wide hugger type band with o-ring gaskets having a minimum diameter of 1/2 inch greater than the corrugation depth. Pipes 24 inches in diameter and larger shall be connected by a 24 inch long annular corrugated band using a minimum of 4 (four) rods and lugs, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed with 12 inches on the end of each pipe. Flange joints with 3/8 inch closed cell gaskets the full width of the flange is also acceptable.

Helically corrugated pipe shall have either continuously welded seams or have lock seams with internal caulking or a neoprene bead.

Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

Backfilling shall conform to "Structure Backfill".

Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Plastic Pipe - The following criteria shall apply for plastic pipe:

- Materials - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch pipe shall meet the requirements of AASHTO M252 Type S, and 12" through 24" inch shall meet the requirements of AASHTO M294 Type S.
- Joints and connections to anti-seep collars shall be completely watertight.
- Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
- Backfilling shall conform to "Structure Backfill".
- Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, Mix No. 3.

Rock Riprap

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311.

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09, Class C.

Core of Water during Construction

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the locations being reworked shall be maintained below the bottom of the excavation at such locations which may require draining the water pumps from which the water shall be pumped.

Stabilization

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching.

Erosion and Sediment Control

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

OPERATION AND MAINTENANCE

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs shall be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.

Precast Concrete Stormceptor Order Request Form

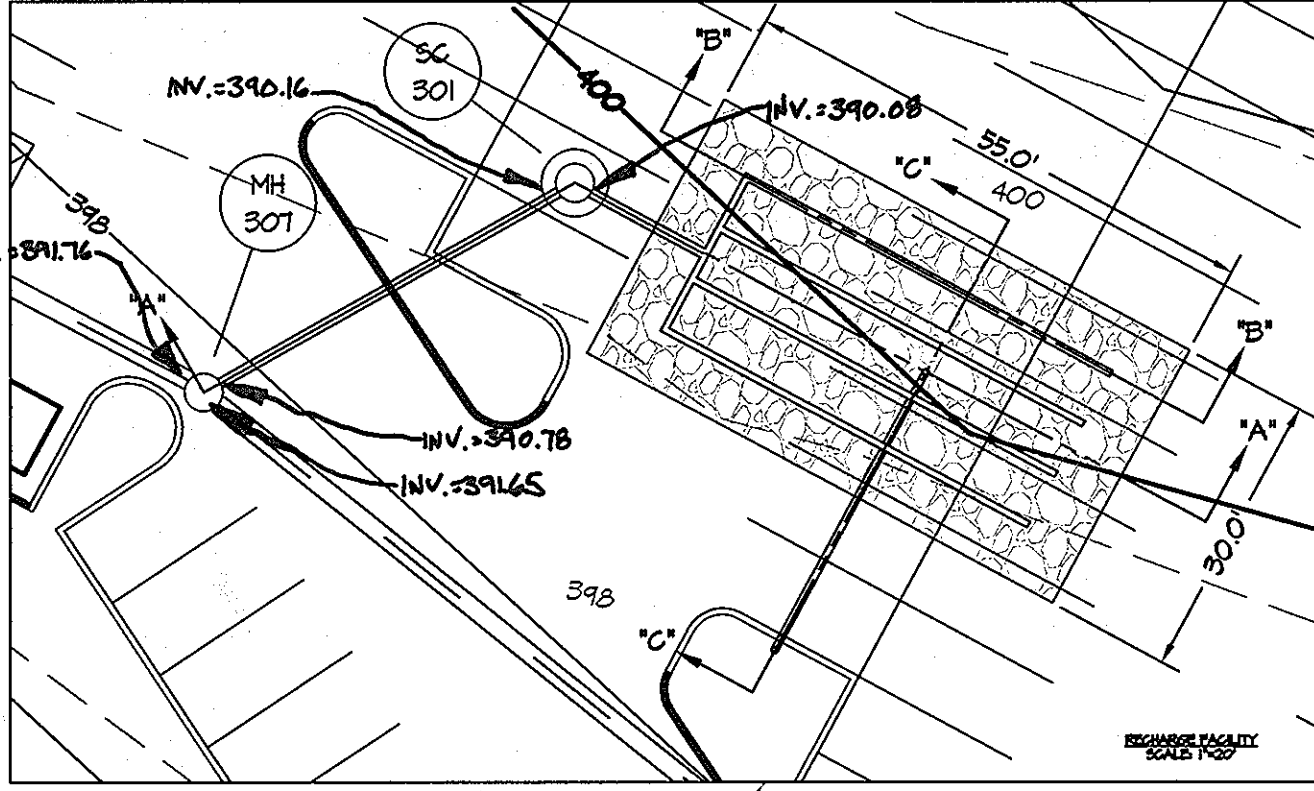
CONTRACTOR INFORMATION
 Name: C&R MAPLE LAWN INC.
 Address: 300 WOODHOLME CENTER
 City: BALTIMORE
 State: MD
 Zip: 21208
 Phone: 410-484-8400

OWNER INFORMATION
 Name: HOWARD COUNTY
 Address: 10000 ROUTE 202
 City: GREENBELT
 State: MD
 Zip: 20886
 Phone: 301-271-4311

STC 3600 Precast Concrete Stormceptor®
 (8000 US Gallon Capacity)

PROJECT NAME: _____
 APPROXIMATE SITE FROM DELIVERY (feet): _____
 DELIVERY ADDRESS: Street _____
 City: _____ State: _____ Zip Code: _____
 DESIGNER COMPANY: _____
 DESIGNER CONTACT: _____ Phone: _____ Fax: _____

PLEASE FILL OUT COMPLETELY AND FAX TO: CSR Hydro Conduit
 ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900
 FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARR,
 PHONE (703)971-1900



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED RETENTION POND

ROUTINE MAINTENANCE (BY COMMERCIAL OWNER'S ASSOCIATION)

- THE FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE POND IS FUNCTIONING PROPERLY.
- TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF TWO (2) TIMES PER YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES AND MAINTENANCE ACCESS SHALL BE MOWED AS NEEDED.
- DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AS NEEDED.
- VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS THE RIP-RAP OR GABION OUTLET SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

NON-ROUTINE MAINTENANCE (BY COMMERCIAL OWNER'S ASSOCIATION)

- STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE RISER, AND THE PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHALL BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
- SEDIMENT SHALL BE REMOVED FROM THE POND AND FOREBAY NO LATER THAN WHEN THE CAPACITY OF THE POND IS HALF FULL OR WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, UPON APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.

HOWARD SOIL CONSERVATION DISTRICT OPERATION, MAINTENANCE, AND INSPECTION NOTE

INSPECTION OF THE POND(S) SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN THE USDA/SCS "STANDARDS AND SPECIFICATIONS FOR PONDS" (MD-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

Approved: For Public Water & Sewerage Systems
 Howard County Health Department
 Brian P. Peterson, MD
 County Health Officer
 Date: 5/10/2007

These plans have been reviewed for Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

John M. ...
 Natural Resources Conservation District
 Date: 4/26/07

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation District
 Date: 4/26/07

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 3/22/07
 KS

Approved: Howard County Department of Planning
 Director: _____
 Date: 5/14/07

Chief, Division of Land Development: _____
 Date: 4/23/07

Chief, Development Engineering Division: _____
 Date: _____

DEVELOPER'S/BUILDER'S CERTIFICATE

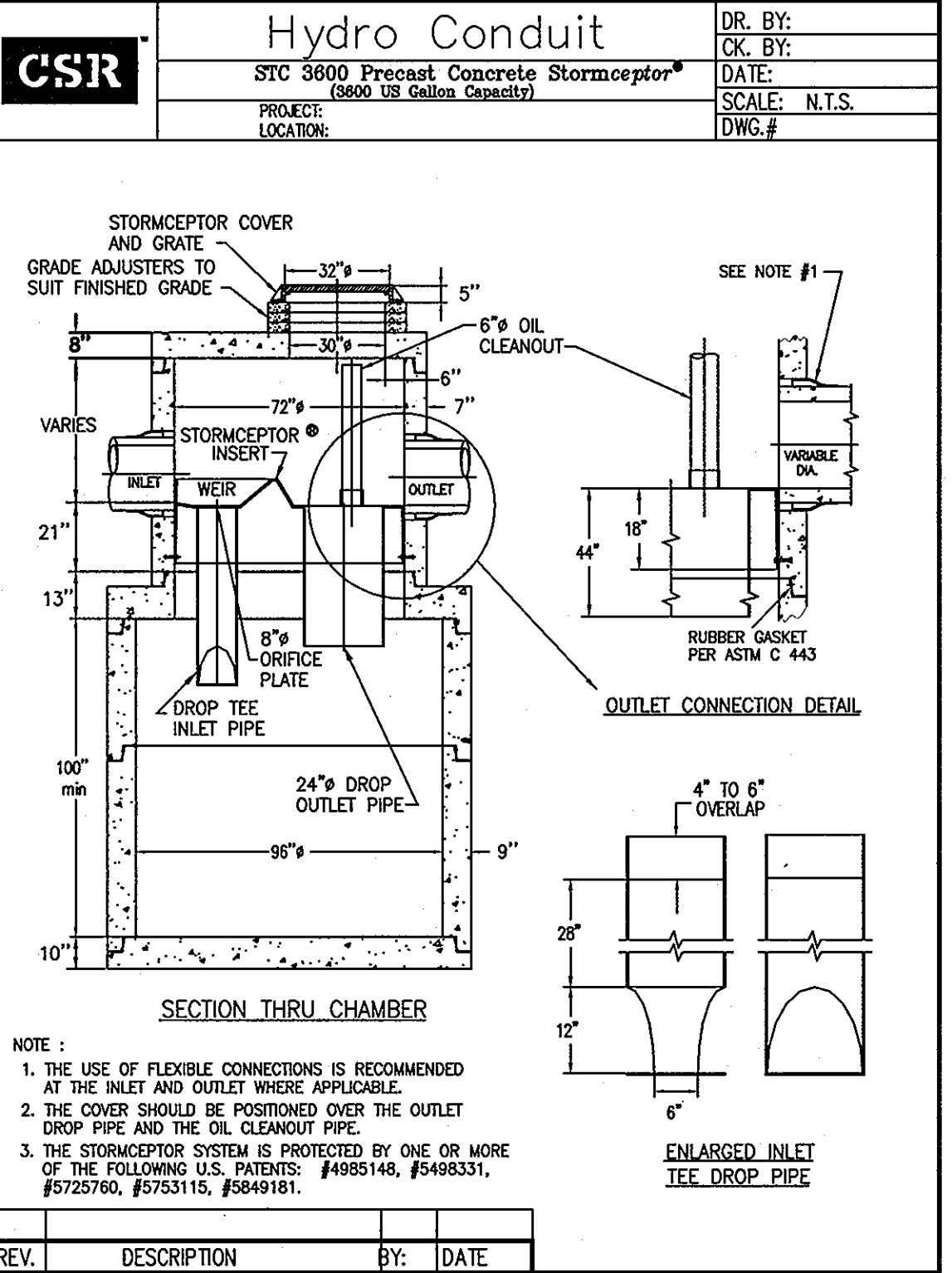
"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer/Builder: _____
 Date: 4-9-06

ENGINEER'S CERTIFICATE

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Signature: _____
 Date: 7-23-09



CSR Hydro Conduit

STC 3600 Precast Concrete Stormceptor®
 (8000 US Gallon Capacity)

DR. BY: _____
 CK. BY: _____
 DATE: _____
 SCALE: N.T.S.
 DWG. # _____

SECTION THRU CHAMBER

1. THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.

2. THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL CLEANOUT PIPE.

3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5726762, #5753115, #5849181.

REV. DESCRIPTION BY: DATE

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
10-10-07	REVISED TITLE BLOCK AND CORRECTED SECTION "A"-A	WS	DEV

PREPARED FOR:
 C&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

STORMWATER MANAGEMENT PROFILES, NOTES, AND DETAILS

PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS

MAPLE LAWN FARMS

MIDTOWN DISTRICT - AREAS 1, 2, AND 3

PARCELS A-10, A-15, A-16, A-17, AND A-19
 (PLAT No. 12-22-71)E

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	20 OF 26

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transport all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the Architectural Review Committee.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" diameter
3.5" - 4"	14'-16'	8'-10'	36" diameter
4" - 4.5"	16'-18'	8'-10'	40" diameter
4.5" - 5"	16'-18'	10'-12'	44" diameter
5" - 5.5"	18'-20'	10'-12'	48" diameter
5.5" - 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bushes or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The Architectural Review Committee may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 15th. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B&B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3.5" cal.	32"	64"	28"
3.5" - 4" cal.	36"	72"	32"
4" - 4.5" cal.	40"	80"	36"
4.5" - 5" cal.	44"	88"	40"
5" - 5.5" cal.	48"	96"	44"
5.5" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 gal. galvanized or heat-treated annealed steel wire. For trees over 3" caliper, provide 5/16" burlap buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16" 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in

diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The Architectural Review Committee shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

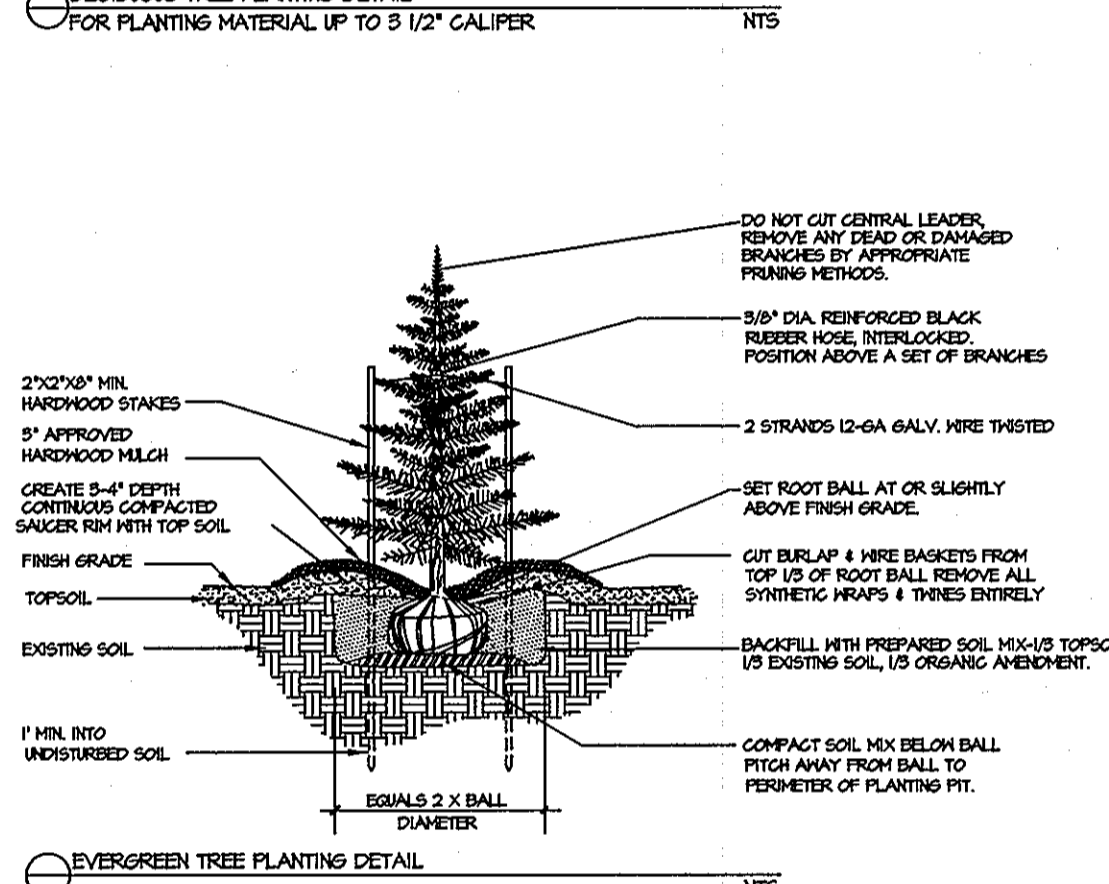
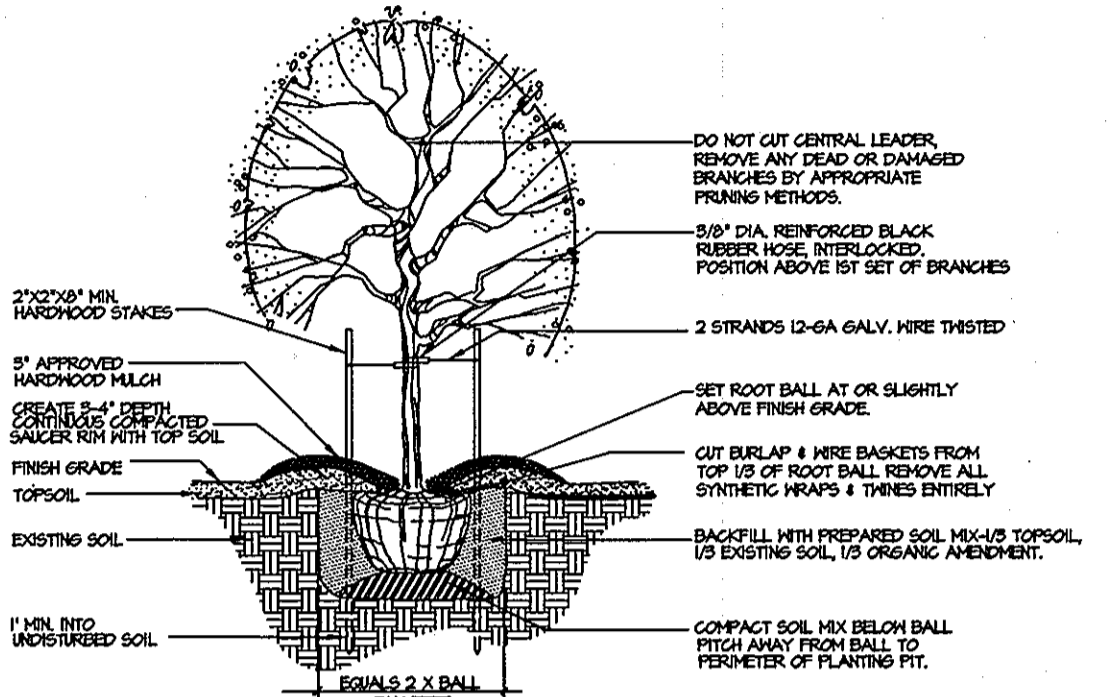
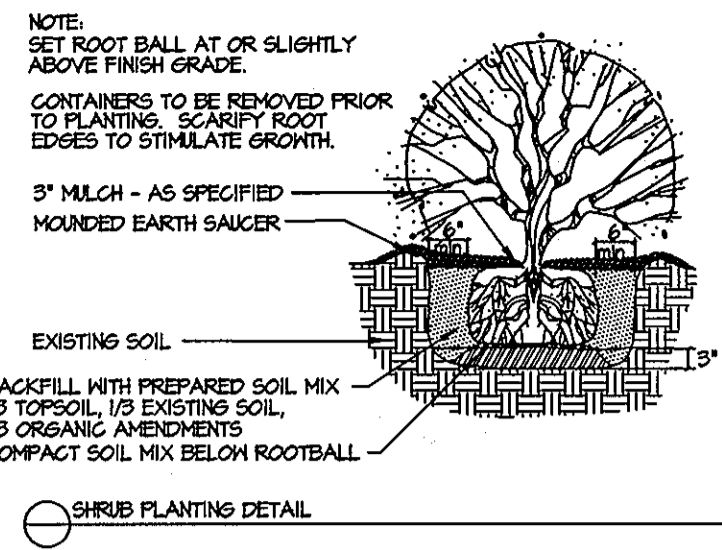
a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victoria, or Escort.



LANDSCAPE NOTES

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.24 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE WITH THE LANDSCAPE DESIGN CRITERIA OF 5-0-17, PD CASE NO. 295, 5-06-16, AND PD CASE NO. 378).

2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.

3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.

4. PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLAN LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.

5. ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE AAN SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.

6. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.

7. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOUPED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.

8. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF THESE ENGINEERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.

9. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.

10. DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.

"SCHEDULE-A", "SCHEDULE-B" AND "SCHEDULE-D" ARE PROVIDED FOR LANDSCAPE SUPERINTENDANT PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE PROVIDED BY THE CONTRACTOR IN THE FORM OF A CHECK IN THE AMOUNT OF \$24,000.00 FOR THE FOLLOWING PLANTS:

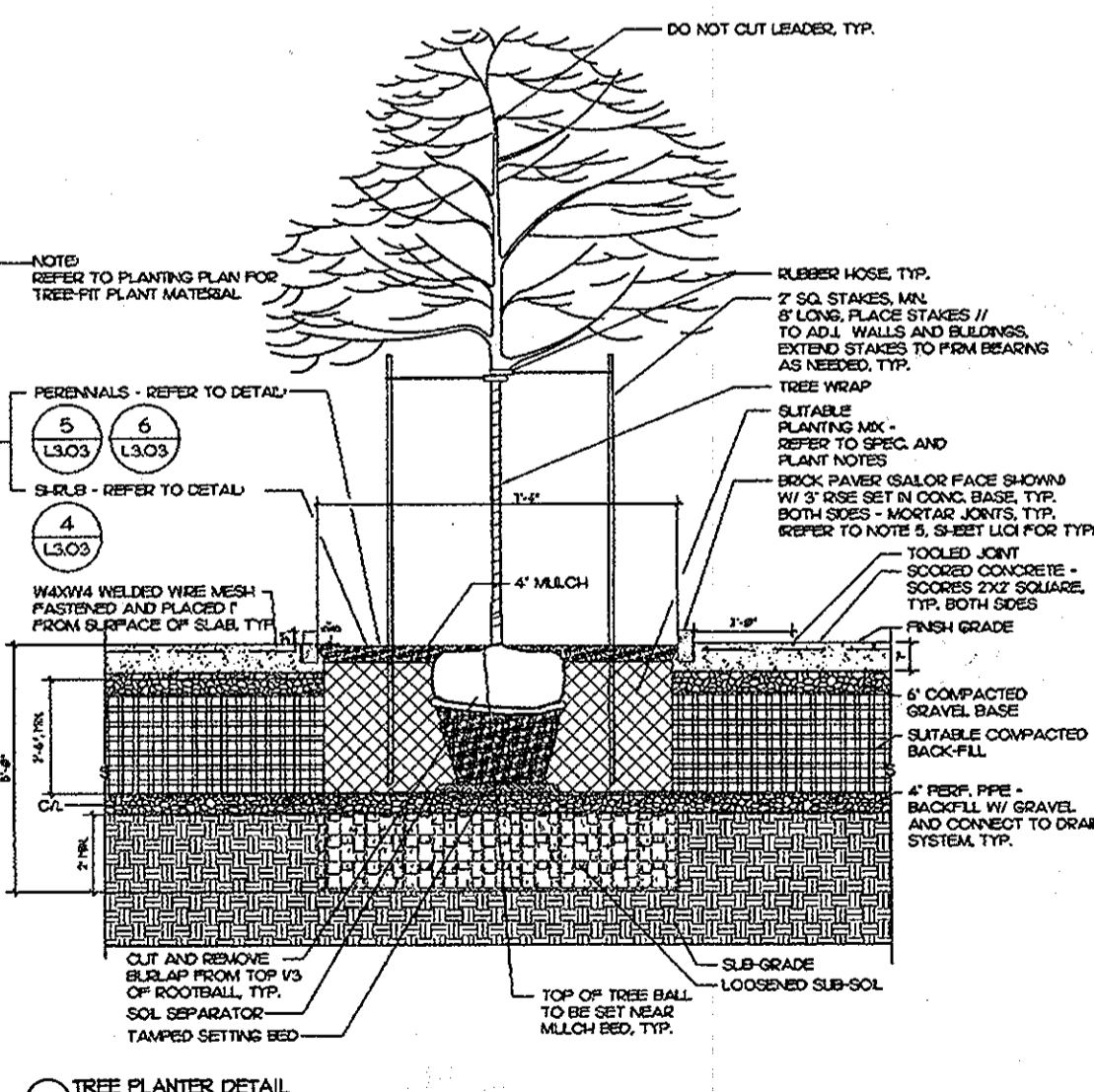
306 SHRUBS AT \$300/SHRUB = \$91,800.00
45 SHADE TREES AT \$300/TREE = \$13,500.00
16 EVERGREEN TREES AT \$150/TREE = \$2,400.00

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-385-2290.

11. Schedule A, Schedule B & Schedule D are provided for landscape surety calculation purposes. Financial surety (of \$24,000.00 combined total) for the req'd landscaping is posted with the developer's agreement and grading permit applications as follows:

A. \$15,000.00 w/ the developer's agreement for the following landscaping:
• \$12,000.00 for 45 shade trees at \$300/tree (sch-A roadway & adjacent property permit areas, sch-A)
• \$3,000.00 for 16 evergreen trees at \$150/tree (sch-A adj. perimeter & sch-D)
• \$2,000.00 for 306 shrubs at \$300/shrub (sch-A roadway)

B. \$1,000.00 w/ the grading permit for restaurant (23 shrubs at \$30/shrub, sch-A-D)



SCHEDULE-A: PERIMETER LANDSCAPE EDGE										
CATEGORY	BUILDING LENGTHS (REAR & SIDES)				ADJACENT TO PERIMETER PROPERTIES			ADJACENT TO ROADWAYS (MAPLE LAWN BLVD. AND JOHNS HOPKINS RD.)		ADJACENT TO STORMWATER MANAGEMENT FACILITY
	SCHOOL	RESTAURANT	RETAIL	BANK	#1	#2	#3	PARKING FRONTAGE (JOHNS HOPKINS RD.)	BUILDING FRONTAGE (MAPLE LAWN BLVD.)	SOUTH OF BUILDING #1
LANDSCAPE BUFFER TYPE	1 SHRUB PER 4 LF OF BUILDING LENGTH				A	B	C	TYPE-E	NONE REQUIRED PER MLF LANDSCAPE DESIGN CRITERIA (PART-F)	PER SCHEDULE-D (BELOW)
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	413 L.F.	250 L.F.	365 L.F.	175 L.F.	847 L.F.	23 L.F.	42 L.F.	125 L.F.		
CREDIT FOR EX. VEGETATION (YES, NO, LINEAR FEET; DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE	NONE	NONE	NONE	NONE	NONE		
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET; DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE	NONE	YES, PARKING LOT IS 3' BELOW ADJACENT ROAD FOR 280 L.F.	NONE	NONE	YES, PARKING LOT IS 3' BELOW ADJACENT ROAD FOR 125 L.F.		
REMAINDER OF PERIMETER TO BE BUFFERED	413 L.F.	250 L.F.	365 L.F.	175 L.F.	567 L.F.	23 L.F.	42 L.F.	0 L.F.		
NUMBER OF PLANTS REQUIRED										
SHADE TREES	N/A	N/A	N/A	N/A	10	1	1	4		
EVERGREEN TREES	N/A	N/A	N/A	N/A	N/A	1	2	N/A		
ORNAMENTALS	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A		
SHRUBS	104	63	92	44	N/A	N/A	N/A	N/A		
NUMBER OF PLANTS PROVIDED										
SHADE TREES	N/A	N/A	N/A	N/A	10	1	1	4		
EVERGREEN TREES	N/A	N/A	N/A	N/A	N/A	2	2	N/A		
ORNAMENTALS	5	6	4	4	2	N/A	N/A	N/A		
SHRUBS	148	109	241	110	41	N/A	N/A	N/A		
SUBSTITUTIONS MADE										
LANDSCAPE SURETY FOR REQUIRED PLANTS PER SCHEDULE-A: 16 SHADE TREES AT \$300/TREE = \$4,800.00 3 EVERGREEN TREE AT \$150/TREE = \$450.00 306 SHRUBS AT \$300/SHRUB = \$91,800.00										

- △ PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F).
- △ PROPOSED NON-RESIDENTIAL USE ADJACENT TO NON-RESIDENTIAL USE.
- △ PROPOSED DUMPSTER ADJACENT TO NON-RESIDENTIAL USE.

SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	326 SPACES (EXCLUDING THE PARALLEL PARKING SPACES WITHIN MAPLE LAWN BLVD.)
NUMBER OF TREES REQUIRED	17 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	24
OTHER TREES (2:1 substitution)	4 ORNAMENTALS (optional as shade tree substitutions) 2 EVERGREENS (optional as shade tree substitutions)
LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-B: 17 SHADE TREES AT \$300/TREE = \$5,100.00	

SCHEDULE D -- STORMWATER MANAGEMENT AREA LANDSCAPING			
LINEAR FEET OF PERIMETER	352 L.F.	SWM FACILITY - PERIMETER #1	144 L.F.
NUMBER OF TREES REQUIRED (TYPE-B BUFFER)			
SHADE TREES (at 1:50)	7		3
EVERGREEN TREES (at 1:40)	4		4
NUMBER OF TREES PROVIDED			
SHADE TREES	6		0
EVERGREEN TREES	12		0
OTHERS (AS SUBSTITUTIONS AT 2:1)			144 LF OF 5' HIGH SOLID FENCING AS SHOWN ON PLAN (PER HOWARD COUNTY LANDSCAPE DESIGN MANUAL)
LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-D: 10 SHADE TREES AT \$300/TREE = \$3,000.00 13 EVERGREEN TREES AT \$150/TREE = \$1,950.00			

PLANT LIST					
SYMBOL	TYPE	PROPOSED QUANTITY	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
AR	SHADE	51	3-3.5" CAL.	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	ALL B&B
GP			3-3.5" CAL.	QUERCUS PALUSTRIS / PIN OAK	
ZS			3-3.5" CAL.	ZELKOVA SERRATA VILLAGE GREEN / VILLAGE GREEN ZELKOVA	
CC	ORNAMENTAL	25	25-3" CAL.	CERCIS CANADENSIS / EASTERN REDBUD	B&B, TREE FORM (THIS PLANTING IS OPTIONAL)
PO	EVERGREEN	18	8' HT. MIN.	PICEA OROMORICA / SERBIAN SPRUCE	B&B, ALL SHALL HAVE AN INTACT CENTRAL LEADER
PS			8' HT. MIN.	PINUS STROBUS / EASTERN WHITE PINE	
S1	SHRUB	375	ALL 18" - 24" SPREAD	CHOOSE FROM THE FOLLOWING FOR BUILDING FOUNDATION PLANTING: AZALEA VAR. 'SHERIDAN PINK' / GARDEN WHITE KALEPZO COTONEASTER DAMMERI 'CORAL BEAUTY' / CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER JUNIFERUS HORIZONTALIS VAR. 'JUNIFER VAR. BEAR HANDED' / ANDORRA, WILTON BLUE RIB* JUNIFERUS PROCEMBENS 'NANA' / DWARF JAPANESE GARDEN JUNIPER*	ALL CONTAINERIZED
S2			ALL 24" - 30" SPREAD	CHOOSE FROM THE FOLLOWING FOR BUILDING FOUNDATION PLANTING: AZALEA VAR. 'DELAWARE VALLEY WHITE' / HERSEY RED, NINO GRIMSON BERBERIS THUNDERFII ATROPURPUREA 'CRIMSON PYGMY' / CRIMSON FIGHTY BARBERRY* DEUTZIA GRACILIS / SLENDER DEUTZIA ILEX GRENATA 'HELLY' / DWARF JAPANESE HOLLY** ILEX GLABRA 'COMPACTA' / DWARF INKBERRY** MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY** SPIREA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA	ALL CONTAINERIZED
TD	SHRUB	94	ALL 24" - 30" SPREAD	TAXUS MEDIA 'DESIFORMIS' / DENIFORMIS YEW	CONTAINERIZED

*NOT TO BE USED FOR SCHOOL BUILDING PERIMETER

Approved: For Public Water & Sewerage Systems, Howard County Health Department
 B. Wilson for Peter Beilman on 5/10/07
 County Health Officer 5/10/07 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date: 5/14/07
 Director: David L. Ugle
 Date: 5/14/07
 Chief, Division of Land Development: Cindy Hanna
 Date: 5/14/07
 Chief, Development Engineering Division: [Signature]
 Date: 5/14/07

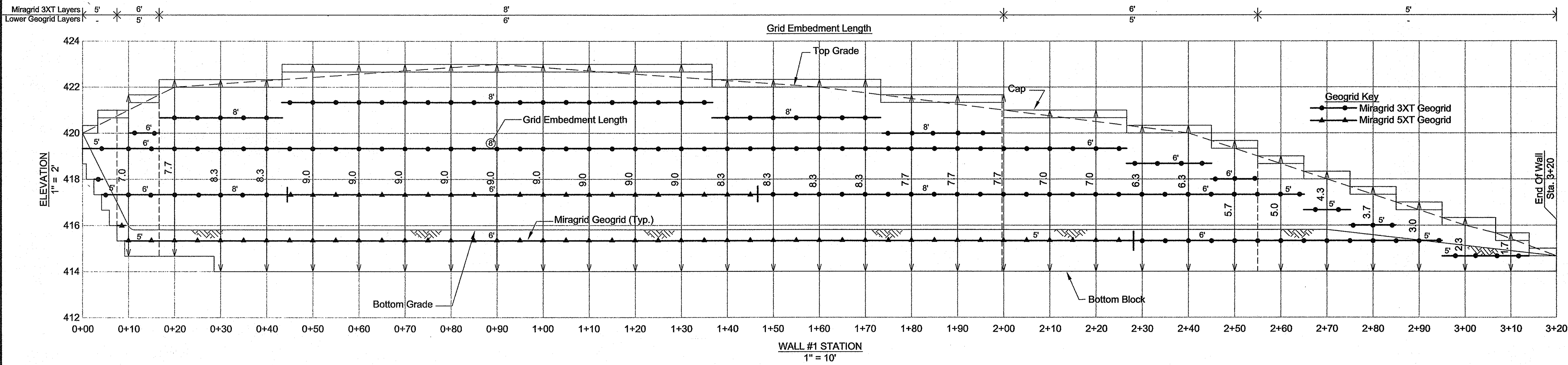
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
 BURTONVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALTO: 410-880-1820 DC/VA: 301-999-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
10/10/07	REVISED PARCEL DESIGNATIONS AND PLANT REFERENCE IN TITLE BLOCK	WSJ	DEV
5/13/07	Rev. Landscape Surety Note		

PREPARED FOR:
 G&R MAPLE LAWN INC
 SUITE 300 WOODHOLE CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

LANDSCAPE DETAILS AND NOTES
 PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
 MAPLE LAWN FARMS
 MIDDOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10A-15, A-16, A-17, and A-18
 (PLAT No. 1944718)
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	22 OF 26



APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE: 3/22/07
KS

Approved: For Public Water & Sewerage Systems,
Howard County Health Department

Peter Beilenson MD 5/10/2007
County Health Officer 50 12018
Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Pam D. Coyle 5/14/07
Director Date

Cindy Hanna 5/14/07
Chief, Division of Land Development Date

Chris Williams 4/30/07
Chief, Development Engineering Division Date



HCEA FILE No. 04164-B

HILLIS-CARNES
ENGINEERING ASSOCIATES

10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 Fax: (410) 890-4998

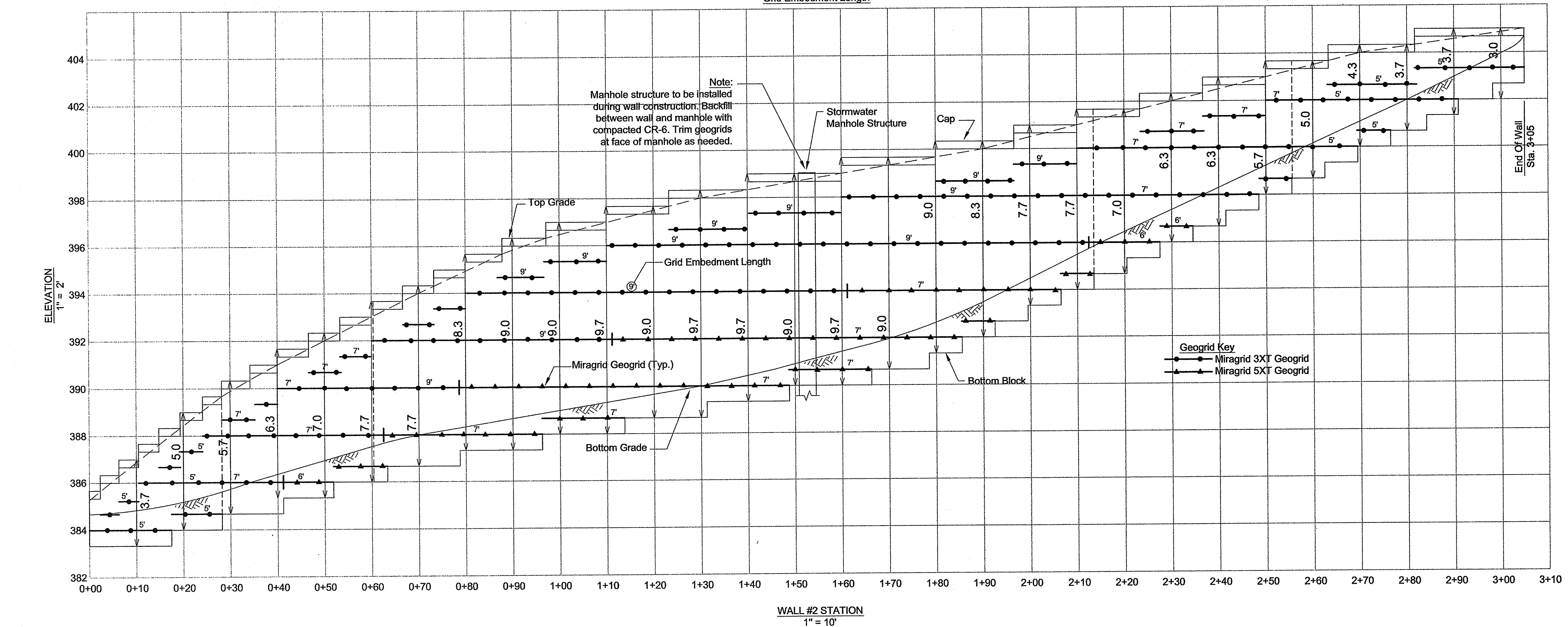
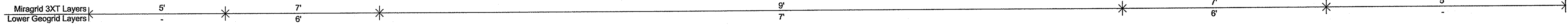
DES. CX	DRN. CX	CHK. RWS	DATE	REVISION	BY	APPR.

PREPARED FOR:
G&R MAPLE LAWN INC
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN ROAD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

RETAINING WALL #1 ELEVATION
PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREAS 1, 2, AND 3
PARCELS A-10, A-15, A-16, A-17, and A-18
(PLAT No. 1242712)

ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	24 OF 26



APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE: 3/22/07
 vs

Approved: For Public Water & Sewerage Systems
 Howard County Health Department
 Bryan for Peter Beilenson MD
 County Health Officer 5/10/07
 Date: 5/10/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Peter H. Coyle
 Director 5/14/07
 Date: 5/14/07

Gina Stines
 Chief, Division of Land Development 5/14/07
 Date: 5/14/07

Chris Williams
 Chief, Development Engineering Division 4/22/07
 Date: 4/22/07



HCEA FILE No. 04164-B

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10976 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 Fax: (410) 880-4988

DATE	REVISION	BY	APPR.
10-10-07	REVISED TITLE BLOCK	WSJ	DEV

PREPARED FOR:
 G&R MAPLE LAWN INC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

RETAINING WALL #2 ELEVATION
 PRIVATE SCHOOL, BANK, RESTAURANT, AND RETAIL BUILDINGS
 MAPLE LAWN FARMS
 MIDDLETOWN DISTRICT - AREAS 1, 2, AND 3
 PARCELS A-10, A-15, A-16, A-17, and A-18
 (PLAT No. 224-712)

ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05016
DATE	TAX MAP - GRID	SHEET
APRIL, 2007	41/22	25 OF 26

