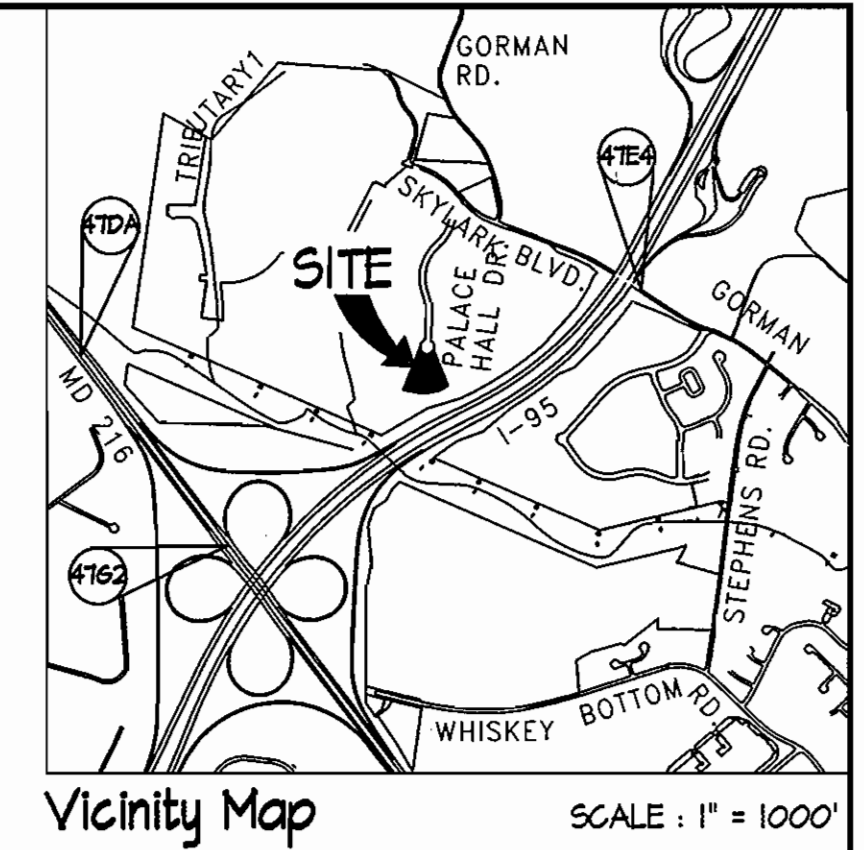


# Site Development Plan Parkview at Emerson Age Restricted Adult Housing-MIHU's

Section 3, Area 4, Parcel A-1  
6th Election District Howard County, Maryland

SHEET INDEX	
SHEET	DESCRIPTION
1	Cover Sheet
2	General Notes
3	Overall Site Plan
4	Site Layout Plan
5	Erosion & Sediment Control Plan
6	Erosion & Sediment Control Details & Notes
7	Erosion & Sediment Control Drainage Area Map
8	Site Details
9	Site Details
10	Storm Drain and Sanitary Profiles
11	Stormwater Recharge Plan, Details & Notes
12	Landscape Plan
13	Landscape Notes & Details



### Benchmark Description

416A  
N 55°40'54.6" E 134°46'21.1"  
ELEVATION = 354.21  
ON RT. 26, 0.5' SOUTHEAST OF  
LEISHEAR RD. (EAST BOUND LANE)  
41' NORTHEAST OF EX. EDGE OF PAVING,  
146' FROM STORM DRAIN INLET

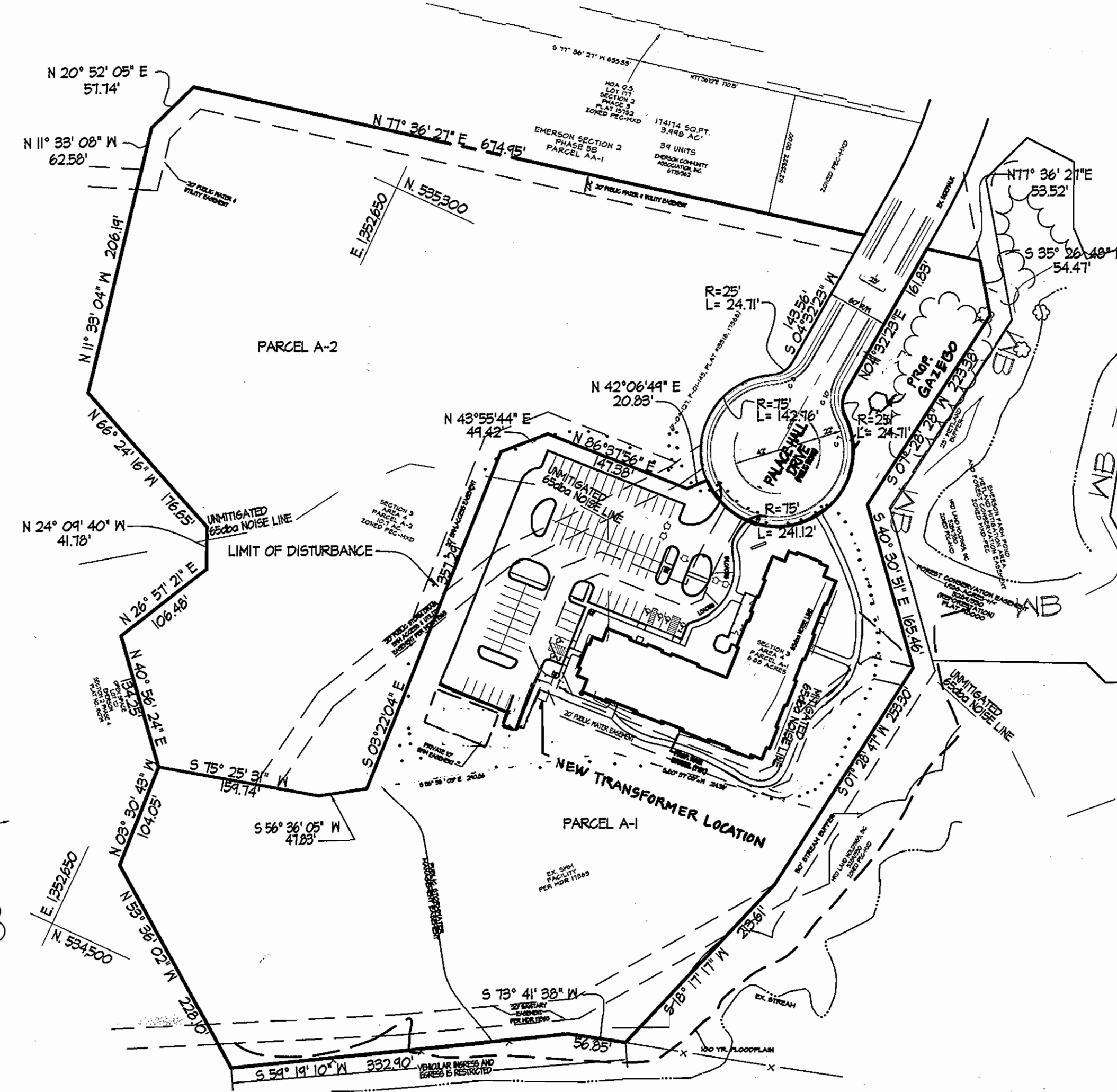
4162  
N 52°28'0.4" E 159°22'41.0"  
ELEVATION = 364.21  
ON RT. 26 & I-495 OVERPASS  
0.4 MILES SOUTHWEST OF LEISHEAR RD.  
43' NORTHEAST OF GUARDRAIL,  
28.4' NORTHWEST OF NORTHWEST  
EDGE OF BRIDGE

41E4  
N 55°46'14.4" E 155°54'12.0"  
ELEVATION = 338.91  
GORMAN ROAD & RT. 95 OVERPASS  
MONUMENT 5' NORTH OF NORTH EDGE  
CONG. WALK, 2' EAST OF NORTHEAST  
CORNER BRIDGE - 0.2' BELOW SURFACE,  
0.6' OFF EDGE OF CONCRETE WALK

ADDRESS CHART	
PARCEL	ADDRESS
A-1	9845 PALACE HALL DRIVE

SEWER CONNECTION TABLE		
PARCEL	INV. @ P.L.	MIN. C*
A-1	288.22	246.36

\* MIN C IS THE MINIMUM FLOOR  
ELEVATION THAT CAN BE SERVED BY  
THE PROPOSED SANITARY  
CONNECTION.



Plan

### UNIVERSAL DESIGN GUIDELINES

#### REQUIRED

- For multi-family apartment or condo developments, an accessible path between parking, dwelling units, and common areas that meets ADA standards.
- For single family detached and attached developments, a "no step" access to the front entrance to the community building and all dwelling (a no-step entrance is desirable, but not required at other entrances)
- 36" wide front door with exterior lighting of the entrance.
- All interior doors are 36" wide.
- Public corridors are 5' wide and all others are the minimum 36".
- Complete living area including master bedroom & bath on first floor (or elevator access to apartments)
- Lever handles on interior and exterior doors.
- Blocking for grab bars in walls in bathroom walls near toilet and shower.

#### DESIRABLE

- Low maintenance exterior materials.
- Covered main entry.
- Entry door approach with 18"-24" of clearance at side adjacent to handle.
- Smooth transition between rooms (vertical threshold of 2" or less)
- Maximize accessible path between main living rooms (preferably 38"-42")
- Lever handles on kitchen and bathroom sinks, plus shower.
- Parallel and forward approach maneuvering space in front of appliances and plumbing fixtures.
- Electrical panels are located in each apartment.
- Switches, doorbells, thermostats, and breaker boxes should be located no more than 48" above the floor, electrical receptacles should be at least 15" above the floor.

#### CUSTOM OPTIONS

- Security System
- Lighting in coat and bedroom closets.
- Front mounted controls on stove.
- One vertical grab bar provided in tub or shower.

### DATA SOURCES

WETLANDS & SOME STREAMS LOCATED IN FIELD BY GPS ON 12/10/01 BY DAFT MCGUINE WALKER, INC.

LOCATIONS OF TREELINES, STREAMS, TOPOGRAPHY, EX. STRUCTURES, ETC. DERIVED FROM LOW-LEVEL FLIGHT & AERIAL PHOTO ACQUIRED APRIL 8, 2002

BOUNDARY SHOWN PER BOUNDARY SURVEY DATED SEPTEMBER, 2002, PREPARED BY DAFT MCGUINE WALKER, INC.

SOILS (IF SHOWN) TAKEN FROM HOWARD COUNTY SOIL SURVEY, 1968.

LOCATION OF 65dba NOISELINE WAS PROVIDED BY CENTURY ENGINEERING.

### PROFESSIONAL CERTIFICATION

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 15876, Expiration Date 3-24-10.

DATE	NO.	REVISION
10/27/08	1	REDLINE REVISION TO UPDATE ADDRESS CHART
10/27/08	2	REDLINE REVISION TO REALIGN SWIM FACILITY PER F-09-34

**Parkview at Emerson**  
Section 3, Area 4, Parcel A-1  
Age Restricted Adult Housing-MIHU's  
6th Election District Howard County, Maryland

### Cover Sheet

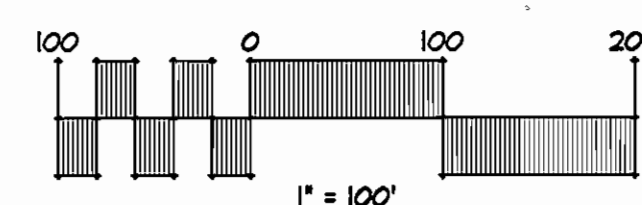
#### REVISIONS



**SITE RESOURCES**  
INCORPORATED  
Comprehensive Land Planning & Site Design Services  
14015 Jurellville Pike Pikesville, Maryland 21113  
(410) 663-3388 Fax (410) 663-3389

DRAWN BY:	T.P.D./K.R.M.	CONTRACT NO.:	
DESIGNED BY:	K.R.K.	SCALE:	AS NOTED
CHECKED BY:	K.R.K.	SRI PROJECT NO.:	06010B
DATE:	Apr. 9, 2008	SHEET	1 OF 13

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
<i>Candy Hunter</i> CHIEF, DIVISION OF LAND DEVELOPMENT	4/11/08 DATE
<i>Chris Peterson</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4/11/08 DATE
<i>John Lafferty</i> DIRECTOR	4/11/08 DATE



**GENERAL NOTES**

- The project is in conformance with the latest Howard County Standards unless waivers have been approved.
- Location of tree lines, streams, topography, ex. structures, etc., derived from Prelim. 100 year Floodplain per existing Howard Co. plans.
- Refuse pick up will be privately maintained.
- Water and sewer extensions for this project will be public. The drainage area is within the Patuxent Watershed.
- Existing utilities shown are taken from record drawings obtained from Howard County Water & Sewer Contract Nos. 24-4148-D, 44-4161-D.
- Boundary shown hereon is taken from plan F-07-165 by Daffi McCune Walker dated June 20, 2007.
- There are no known cemeteries or grave sites on this property.
- The stormwater management facilities shown on this plan are taken from F-04-127. The facilities are to be owned and maintained by the H.O.A. and Howard County.
- This proposal is subject to the Fifth Edition of the Subdivision and Land Development Regulations and to compliance with County Council Bill 15-2003 which amends portions of the Zoning Regulations.
- The coordinates are based on the Maryland Coordinate System - Nad 83 as projected by Howard County Geodetic Control Stations 41 DA, 41 EA, & 41 G2.
- The subject property is zoned PEC-MXD-3 per the 2/2/04 Comprehensive Zoning Plan and ZB Case No. 474-M.
- The minimum building setback restrictions from property lines and public road right-of-way lines shall be in accordance with the Comprehensive Sketch Plan Development Criteria approved under 5-99-12, PB-334 and PB-354.
- Phasing for this project is in accordance with the Decision and Order for Zoning Board Case No. 474-M and the Decision and Order approved for PB-334 (Comprehensive Sketch Plan, 5-99-12).
- There are no wetlands, streams, or required buffers located within the limits of this submission. 0.05 acres of 100 year flood plain exists at the south end of the existing stormwater management facility.
- This project complies with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation. Development of Emerson Section 2, Phase 5B under the current Forest Conservation Act proposes approximately 15.68 acres of forest clearing, 1.32 acres of forest retention, and 2.77 acres of reforestation. When evaluated cumulatively with previous phases of the project, 63.31 acres of clearing, 52.35 acres of retention, and 11.51 acres of reforestation is proposed. The cumulative reforestation obligation is 8.53 acres. The forest conservation requirement was addressed under F-04-127.
- Open space areas may contain active recreational facilities as allowed in the approved Development Criteria.
- Landscaping and street trees are to be provided in accordance with Section 16.124 of the Howard County Code, the Landscape manual and the approved Emerson Landscape and Street Tree Design Criteria. Surety for the required landscaping has been posted as part of the DPM Developer's Agreement in the amount of \$54,330 for 176 shade trees, 9 evergreen trees and 6 shrubs.
- Emerson Parcel A was assigned 60 housing unit allocations under 5-99-12 and F-04-127 and reactivated per WP-06-46. The 19 remaining housing unit allocations were shifted from final plan, F-05-43 and Section 2, Phase 7, Parcel A & D and one housing unit allocation will be assigned with the recordation of the plat with Phase 4.
- All exterior light fixtures shall be oriented to direct light inwards and downwards on-site away from all adjoining residential properties and public roads in accordance with Section 134 of the Howard County Zoning Regulations.
- The 65 dba noise contour line drawn on this development plan is required by the Howard County Design Manual, Chapter 5, revised February, 1992, and cannot be considered to exactly locate the 65 dba noise exposure. The 65 dba noise line was established by Howard County to alert developers, builders and future residents that areas beyond this threshold may exceed generally accepted noise levels established by the U.S. Department of Housing and Urban Development. Noise mitigation will be provided for by the use of architectural buffering in walls & windows.
- The proposed building shall have sprinkler systems in accordance with applicable code.
- Waiver petition, WP-06-46 was approved by DPZ on December 13, 2005 for the reactivation of the 6 month milestone date to allow submission of a site development plan for the development on Parcel "A" in accordance with Section 16.144 (f)(3)(ii) of the subdivision regulations.
- The Moderate Income Housing Unit (MIHU) Agreement and MIHU Covenants as required in accordance with Section 13.402 of the Howard County Code were recorded in the Howard County Land Records as Liber 11161/folio 667 on 04/08/2008.
- The HOA/Condominium Association documents containing the age restriction enforcement and monitoring information for this project were recorded in the Howard County Land Records as Liber 11028/folio 229 on 12/28/2007.
- Building construction materials shall be used to reduce the interior sound to 45 dBA. A waiver of the design manual Volume III, Section 5.Z.F.3 has been granted.

**SITE ANALYSIS DATA**

- General Site Data
  - Present Zoning: PEC-MXD-3
  - Applicable DPZ File References: F-03-16, WP-06-46, 5-99-12, PB-334, ZB-474-M, P-01-17, PB-354, F-03-113, F-02-55, F-04-127, F-05-44 & FINAL PLAN F-07-165.
  - Proposed Use of Site or Structure(s): RESIDENTIAL- AGE RESTRICTED HOUSING UNITS (MIHU)  
Proposed Water and Sewer Systems: - Public (W/S Cont. # 24-4044-D)  
Any Other Information Which May be Relevant: N/A
- Area Tabulation
  - Total Area of Site: 6.88 Ac.
  - Approximate Area of 100 Year Floodplain: 0.05 Acres
  - Approximate Area of Steep Slopes (25% or Greater): 0.0 Acres (Steep slopes only in SWM area)
  - Net Area of Site: 3.38 Acres (147,285 S.F.) excludes swm easement area
  - Area of Proposed Building Footprint: 0.44 Acres (21,620 S.F.)
  - Area of Proposed Green Space: 1.85 Acres (55% of net site area, 27% of total area)
  - Floor Space on each Level:
    - Floors 1-3: 21,620 SF each
    - Floors 4: 17,547 SF
  - Total Floor Space: 82,410 GSF
  - Area of walks/site paving: 0.15 acres
  - Area of Proposed Private Roads: 0.84 Acres
  - Number of Parking Spaces Required: 56 Sp. (32 spaces @ .4x80 units + 24 spaces @ .3x80 units)  
0.4 parking spaces per unit requirement is based on Emerson Development Criteria for age restricted adult housing that qualifies under Federal, State or County assistance program. 0.3 parking spaces per unit requirement is based on the Design Manual for overflow and visitor parking.
  - Number of Parking Spaces Provided: 82 Sp. (incl. 6 Hc.)
- Unit/Lot Tabulation
  - Total Number of Residential Units/Lots Allowed for Project by Right: 80 units
  - Total Number of Residential Units/Lots Proposed on this Submission: 80 Apartment Units (Moderate income elderly housing units)
  - Density of Project Per Gross Acre: 80 units/6.88 Ac. (Gross) = 11.63 units/acre
  - Total Number of Non-Buildable Bulk Parcels Proposed: 0
  - Total Number of Lots/Parcels Proposed: 1
  - Maximum FAR = 35  
Provide FAR = 0.28

**Emerson Sections 2 & 3 (MXD) - Overall Development Tracking Chart**

September 24, 2006

Section and Phase	File Reference Number	Gross Acreage	SFD Ac. (%) (A)	Other Res. Ac. (%)	Employment Ac. (%)	Open Space Ac. (%)	SFD Units	SFD Density (C)	Other Res. Units (SFA/Apt/Condo)	Other Res. Density (D)
2/1A	F-01-136	8.4	3.6 (43%)	- 0 -	- 0 -	4.8 (57%)	-	-	-	-
2/1B	F-01-137	97.8	49.7 (50.8%)	8.0 (8.2%)	- 0 -	40.1 (41%)	160	3.2	80 SFA	10 D.U./Ac.
2/2	F-01-145	12.7	- 0 -	12.7 (100%)	- 0 -	- 0 -	-	-	120 SFA	9.4 D.U./Ac.
2/3	F-02-55	18.5	- 0 -	12.0 (64.9%)	- 0 -	6.5 (35.1%)	-	-	120 SFA	10 D.U./Ac.
3/1	F-02-131	69.5	- 0 -	- 0 -	22.0 (31.7%)	47.5 (68.3%)	-	-	-	-
3/2	F-02-178	12.3	- 0 -	- 0 -	8.9 (72.4%)	3.4 (27.6%)	-	-	-	-
2/4	F-03-13	44.5	27.4 (61.5%)	- 0 -	- 0 -	17.1 (38.5%)	120	4.4	-	-
2/5C	F-03-175	3.0	0.7 (23.3%)	- 0 -	0.2 (6.7%)	2.1 (70%)	-	-	-	-
2/6A (F)	F-04-68	10.4	- 0 -	9.4 (90.4%)	- 0 -	1.0 (9.6%)	-	-	100 SFA	10.6 D.U./Ac.
2/6A & 3/3	F-04-53	29.2	22.7 (77.7%)	- 0 -	3.9 (13.4%)	2.6 (8.9%)	87	3.9	-	-
2/5B & 3/4	F-04-127	23.9	- 0 -	2.9 (12.1%)	14.1 (59%)	6.9 (28.9%)	-	-	60 Apt (RMP) 33 SFA (OR)	11.4 D.U./Ac.
2/6B	F-05-89	6.2	4.9 (79.0%)	- 0 -	- 0 -	1.3 (21.0%)	20	4.1	-	-
2/7	F-05-93	8.5	- 0 -	8.5 (100%)	- 0 -	- 0 -	-	-	73 Apt 47 SFA	14.1 D.U./Ac.
2/8A (G)	F-07-28	0.0	- 0 -	- 0 -	- 0 -	- 0 -	3	-	-	-
2/8B	F-07-41	28.8	- 0 -	8.5 (29.5%)	12.72 (44.2%)	7.58 (26.3%)	-	-	117 Apt	18.8 D.U./Ac.
<b>TOTAL</b>		<b>373.7</b>	<b>109 (29.2%)</b>	<b>62 (16.6%)</b>	<b>61.82 (16.5%)</b>	<b>140.9 (37.7%)</b>	<b>340</b>	<b>3.6</b>	<b>250 Apt 500 SFA</b>	<b>12.0 D.U./Ac.</b>
<b>Overall Density Tabs</b>		(B) Proposed	(B) Allowed	<b>Land Use Acreages</b>		Proposed	Allowed	<b>Max. Res. Units Proposed</b>		Max. Res. Units Allowed
Overall SFD Density		3.6	3.8	SFD		109	117	340	SFD	ZB-979 M 450 (37.5%) 395 (34.5%)
Overall OR Density		121	12.1	OR		62	62	250	APT	280 (20.8%) 250 (21.8%)
Overall Project Density		2.21	2.32	RMP		61.82	154.9	500	SFA	500 (41.7%) 500 (43.7%)
				Open Space		140.9	183			1200
				<b>TOTAL</b>		<b>373.7</b>	<b>516.9</b>			<b>150 Total</b>

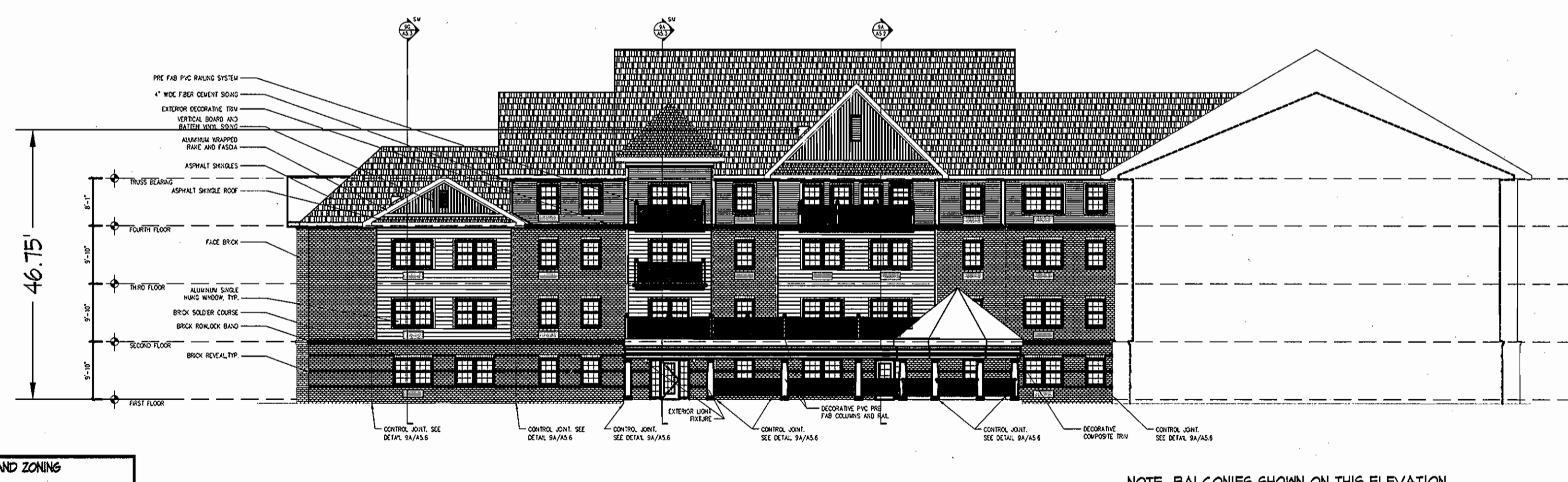
(A) SFD acreage includes Common Open Areas (COA) Lots.  
 (B) Overall allowed density based on maximum number of units allowed per ZB 979 M and Max. Allowed Land Use Acreages.  
 (C) Max. density for any individual SFD area is 5.0 units/acre.  
 (D) Max. density for an individual OR area is 20.0 units/acre.  
 (E) Proposed density tabulations are shown for informational purposes only. Those tabulations will be reconciled against the maximum density tabulations with the last plat or phase.  
 (F) Re-subdivided by F 06-25 to create 1.0 ac of credited Open Space  
 (G) This is a re-subdivision of SFD Land Use under F 03-13

Note: This chart reflects the current information for this project at the time of recordation of each individual plat. For current information, refer to the most recently recorded plat.

**LIGHTING LEGEND**

SYMBOL	TYPE	HEIGHT	INTENSITY
◻	FULL CUTOFF	20'	175M
◻	WALL MOUNT	N/A	100M
●	BOLLARD	3'	100M
☀	STREET LIGHT		150M RREMIER

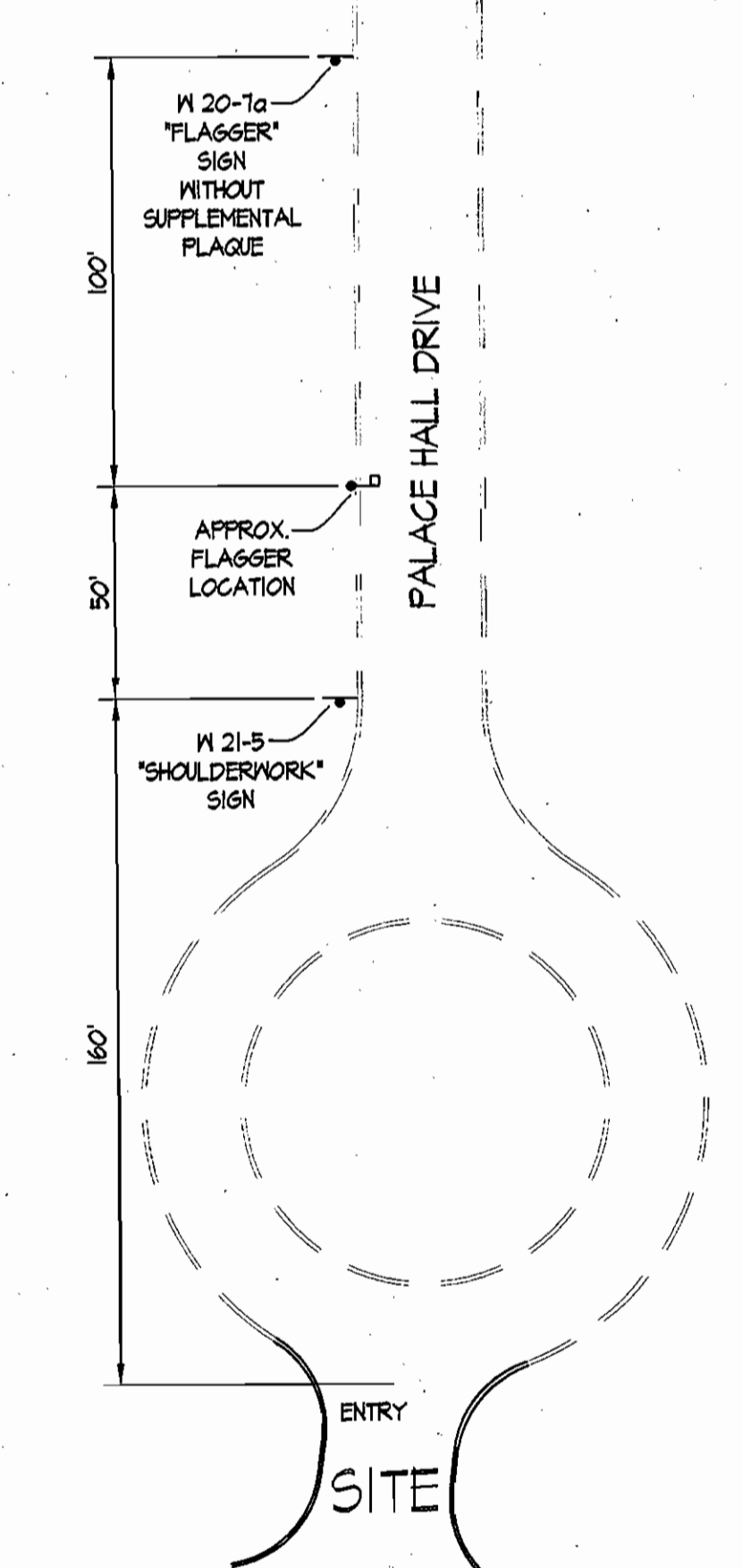
NOTE: ALL LIGHTING SHALL BE SELECTED SO THAT LIGHT INTENSITY ONTO ADJACENT PROPERTIES WILL NOT EXCEED 0.1 FOOTCANDLES.



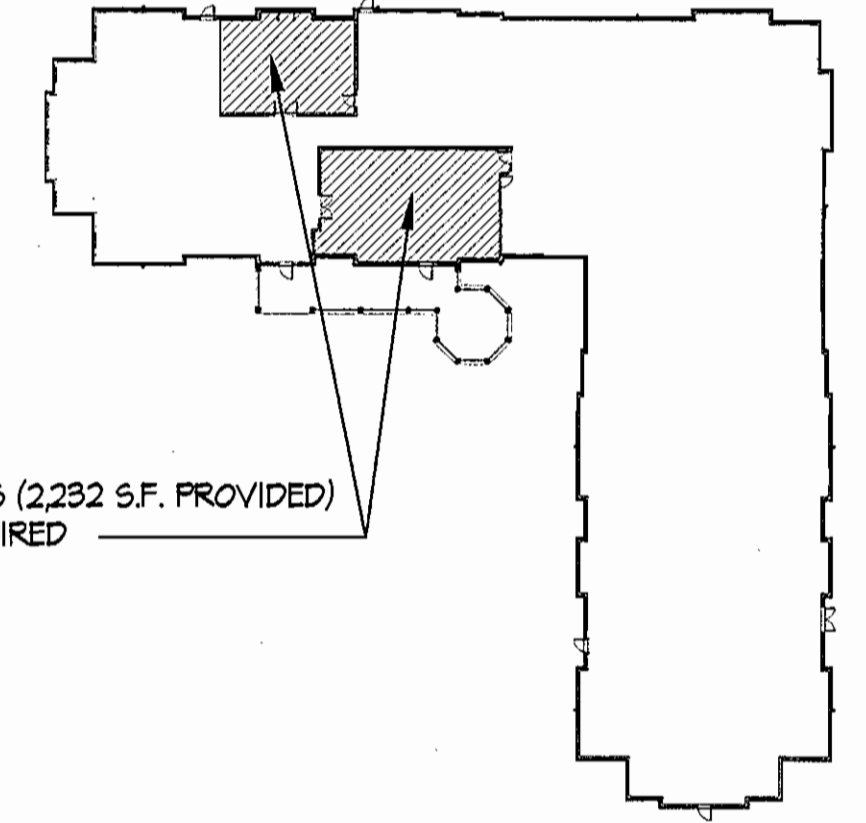
**FRONT ELEVATION**  
SCALE: 1/16" = 1'

NOTE: BALCONIES SHOWN ON THIS ELEVATION ARE DECORATIVE ONLY AND ARE NOT ACCESSIBLE FROM THE INDIVIDUAL UNITS

- NOTES:
1. SIGN DESIGNATIONS W20-1a & W21-5 INCLUDING SIZES FROM THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2003 EDITION.
  2. W20-1a (FLAGGER) SIGN SHALL BE COVERED WHEN NO FLAGGING OPERATIONS ARE PRESENT.



**MAINTENANCE OF TRAFFIC PLAN**  
NOT TO SCALE



**SCHEMATIC FIRST FLOOR PLAN**  
SCALE: 1"=50'

PROFESSIONAL CERTIFICATION  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 15876, Expiration Date 3-24-10.

DATE	NO.	REVISION
10/27/08	1	REDLINE REVISION TO UPDATE ADDRESS CHART
10/27/08	2	REVISE GENERAL NOTE #24 PER F 04-34 PLAT OF REVISION

**Parkview at Emerson**  
 Section 3, Area 4, Parcel A-1  
 Age Restricted Adult Housing-MIHU's  
 6th Election District Howard County, Maryland

**General Notes**

REVISIONS

**SITE RESOURCES**  
 Incorporated  
 Comprehensive Land Planning & Site Design Services  
 14315 Jannettsville Pike • Pikesville, Maryland 21131  
 (410) 683-3388 • Fax (410) 683-3389

DRAWN BY: G.L.K.	CONTRACT NO.:
DESIGNED BY: C.R.M.	SCALE: AS NOTED
CHECKED BY: K.R.K.	SRI PROJECT NO: 06010B
DATE: Apr. 9, 2008	SHEET 2 OF 13

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

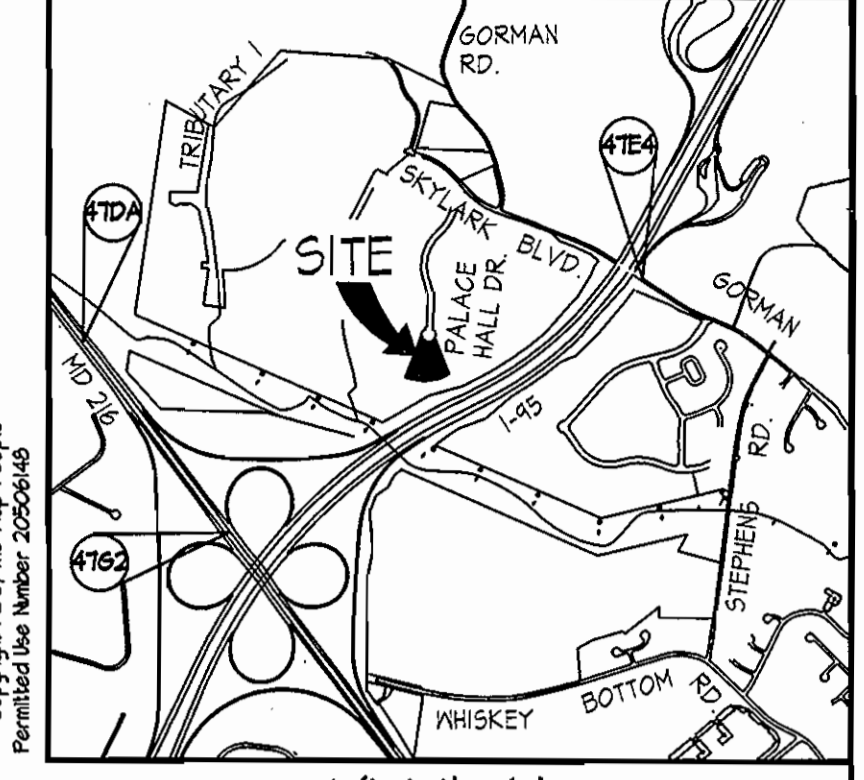
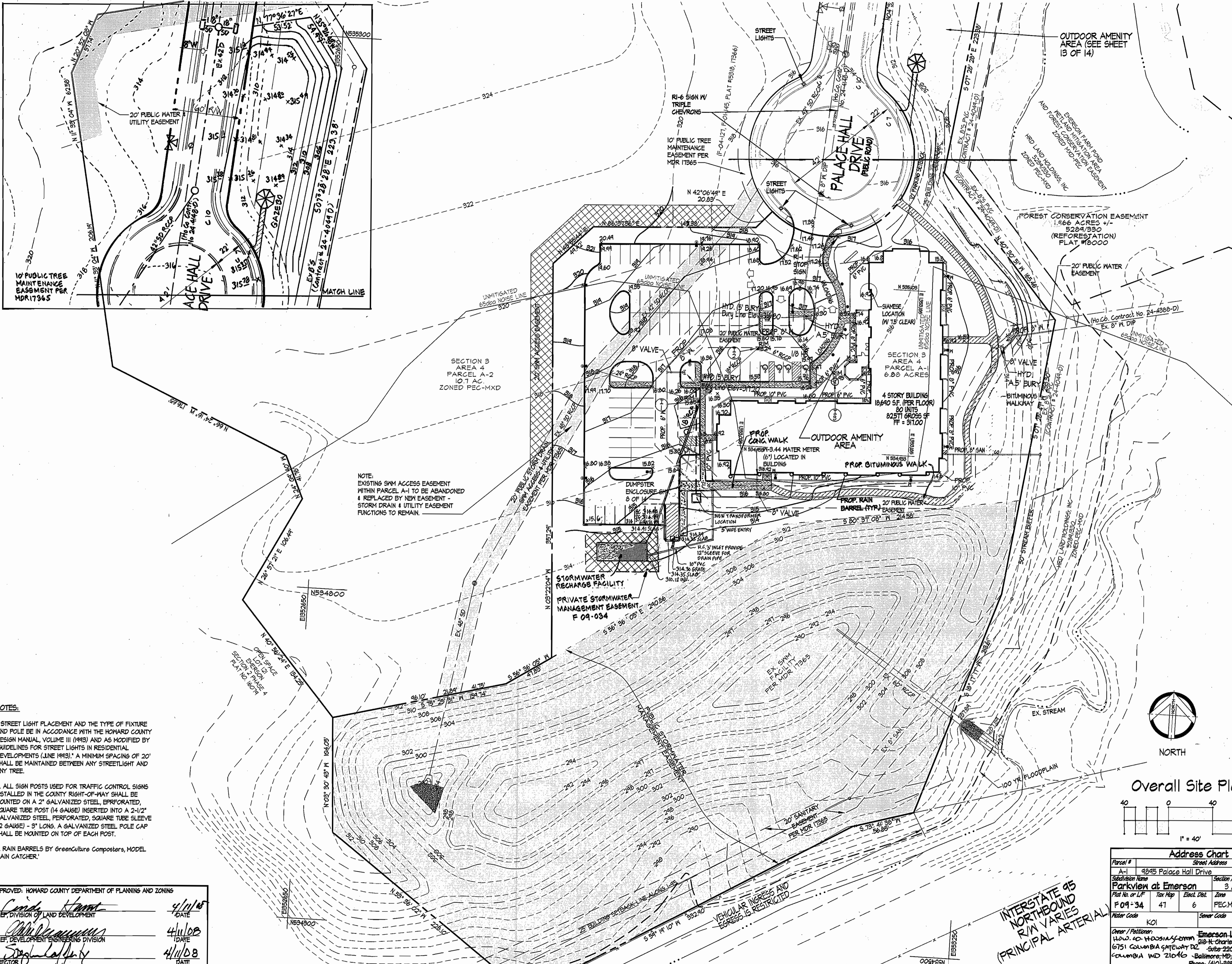
*Cinda Hamer* 4/11/08  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*John Deane* 4/11/08  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Steve Lafferty* 4/11/08  
 DIRECTOR DATE

**Address Chart**

Parcel #	9885 Palace Hall Drive		
Subdivision Name	Section / Area	Lots / Parcels	
Parkview at Emerson	3 / 4	A-1	
Plot No. or L.F.	Tax Map	Elec. Dist.	Census Tract
F-09-034	47	6	PEC.MXD.3 6068.02
Water Code	KOI	Senior Code	5492000
Owner / Partitions:	Emerson LLP How. Co. Housing, Comm. 210 N. Charles St. 675 Columbia Gateway Dr. Suite 220 Columbia, MD 21046 Baltimore, MD 21201 Phone: (410) 388-8428		



Vicinity Map  
SCALE: 1" = 1000'

Benchmark Description

475A N 555405.46 E 134982.71 ELEVATION = 355.90 ON RD. RT. 26, 0.5 SOUTHWEST OF LEBEAR RD. (EAST BOUND LANE) 4.1' NORTHEAST OF EX. EDGE OF PAVING, 14.6' FROM STORM DRAIN INLET	475B N 555406.14 E 134982.70 ELEVATION = 356.81 GORMAN ROAD 1 RT. 45 OVERPASS MONUMENT IS 1" NORTH OF NORTH EDGE CONC. WALK, 2" EAST OF NORTHEAST CORNER BRIDGE - 0.2' BELOW SURFACE, 0.6' OFF EDGE OF CONCRETE WALK	4762 N 552938.96 E 1392241.0 ELEVATION = 364.21 RD. RT. 26 1/4 OVERPASS MONUMENT IS 1" NORTH OF NORTH EDGE 4.3' NORTHEAST OF GUARDRAIL, 26.1' NORTHWEST OF NORTHWEST EDGE OF BRIDGE
---	---	--

**LEGEND**

[Symbol]	PROPOSED BUILDINGS
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED BITUMINOUS WALKWAY
[Symbol]	PROPERTY LINE
[Symbol]	EXISTING CURB & GUTTER
[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	15" SD
[Symbol]	EXISTING STORM DRAIN
[Symbol]	WETLAND BUFFER LINE
[Symbol]	WETLANDS LIMIT
[Symbol]	100 YR FLOODPLAIN
[Symbol]	FOREST CONSERVATION EASEMENT

**NOTES:**

- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)." A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, EPFROFATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- RAIN BARRELS BY GreenCulture Composters, MODEL RAIN CATCHER.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Cindy Hunt* 4/11/08  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Mike Reynolds* 4/11/08  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Stephen Laffey* 4/11/08  
DIRECTOR DATE

PROFESSIONAL CERTIFICATION

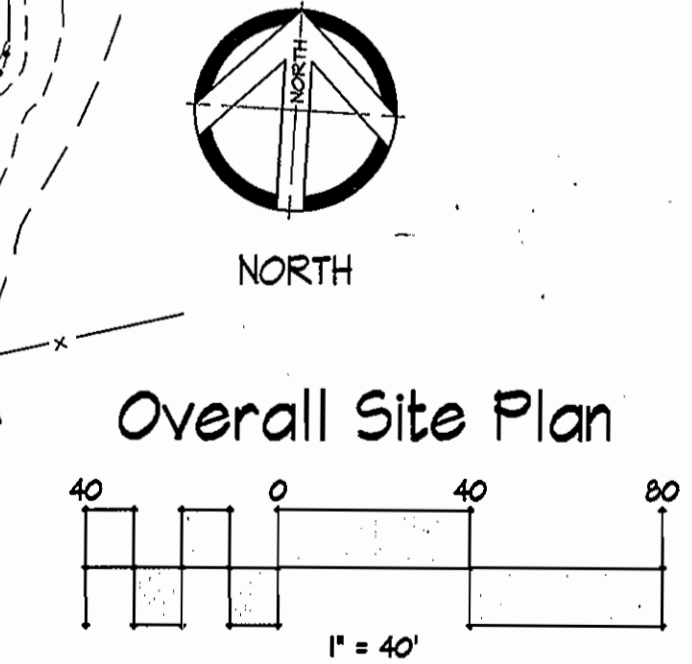
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 15816, Expiration Date 3-24-10.

10/27/08	REVISION TO UPDATE ADDRESS CHART
10/27/08	REVISION TO REALIGN SWM FACILITY PER F 04-34
DATE	NO. REVISION

**Parkview at Emerson**  
Section 3, Area 4, Parcel A-1  
Age Restricted Adult Housing-MHUs  
6th Election District Howard County, Maryland

**Overall Site Plan**

REVISIONS

**Address Chart**

Parcel #	A-1 9845 Palace Hall Drive		
Section / Area	3 / 4	Lots / Parcels	A-1
Plat No. or L.P.	F 09-34	Tax Map	6
Zone	PEC-MXD-3	Census Tract	6068.02
Water Code	KOI	Senior Code	5492000
Owner / Possessor	Emerson LLP 1100 W. WOODSLEY-COMM 6751 COLUMBIA GATEWAY DR. SUITE 2207 COLUMBIA MD 21046 Baltimore, MD 21201 Phone: (410) 285-8426		

**SITE RESOURCES**  
INCORPORATED  
Comprehensive Land Planning & Site Design Services  
14515 Jarrattville Pike Phoenix, Maryland 21134  
(410) 683-3388 Fax (410) 683-3389

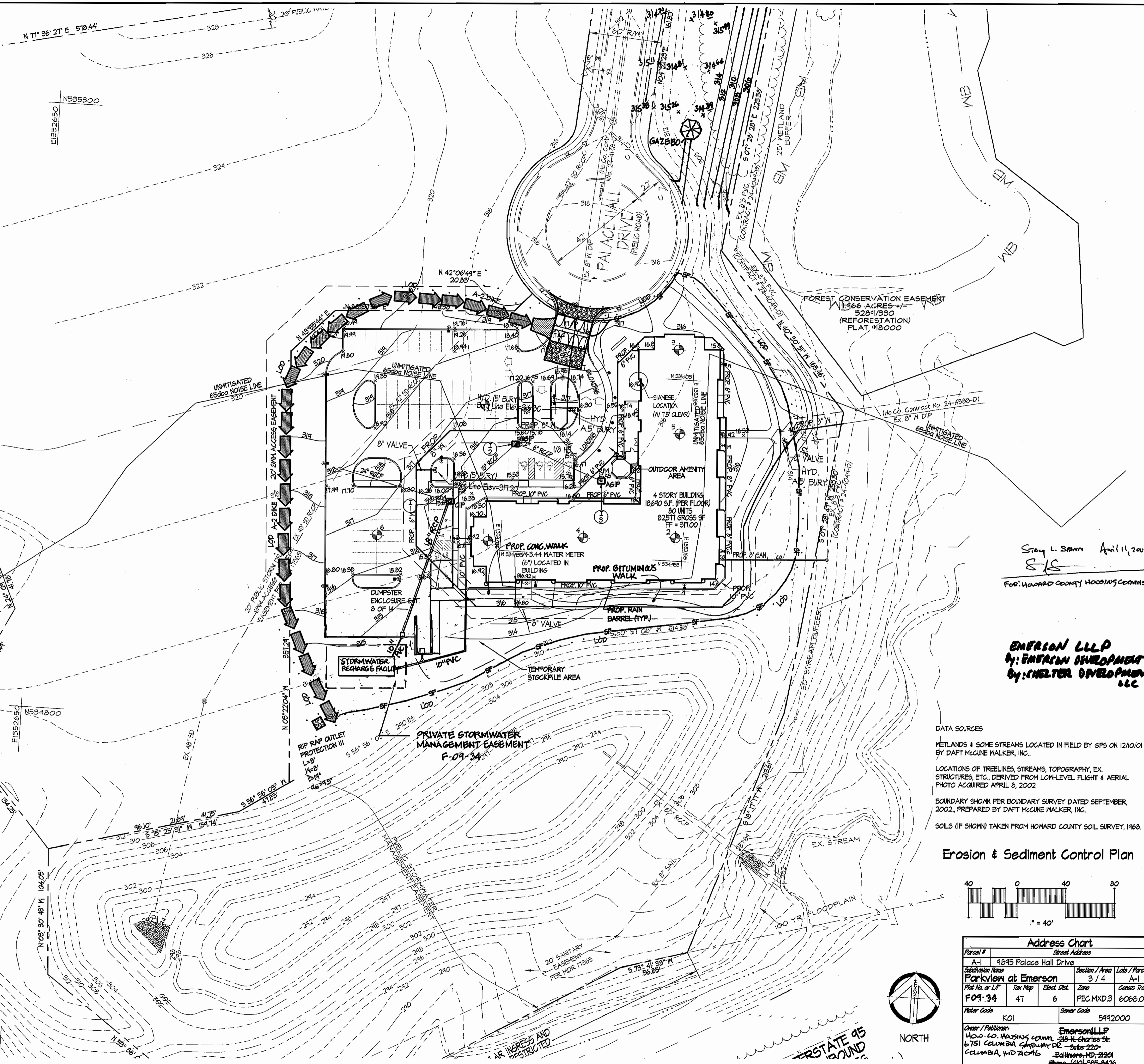
DRAWN BY:	T.P.D.	CONTRACT NO.:	
DESIGNED BY:	K.R.K.	SCALE:	1" = 40'
CHECKED BY:	K.R.K.	SRI PROJECT NO:	06010.B
DATE:	Apr. 9, 2008	SHEET	3 OF 13

INTERSTATE 95  
NORTHBOUND  
R/V VARIES  
PRINCIPAL ARTERIAL



**LEGEND**

- PROPERTY LINE
- - - - - EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- - - - - EXISTING TREELINE
- - - - - PROPOSED TREELINE
- - - - - EXISTING CURB & GUTTER
- - - - - PROPOSED CURB & GUTTER
- 15" SD EXISTING STORM DRAINS
- 30" RCP PROPOSED STORM DRAIN
- 8" SAN EXISTING SANITARY SEWER
- 8" SAN PROPOSED SANITARY SEWER
- 8" WATER EXISTING WATER
- 8" WATER PROPOSED WATER
- EXISTING ELECTRIC
- EXISTING GAS
- A-2 DIKE EARTH DIKE
- SILT FENCE
- ▭ STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM
- ▭ AT GRADE INLET PROTECTION
- ▭ CURB INLET PROTECTION
- ... LOD ... LIMIT OF DISTURBANCE

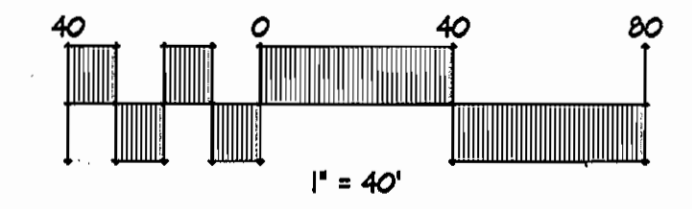


Stan L. Sauer April 11, 2008  
 SLS  
 For: HOWARD COUNTY HOODING COMMISSION

**EMERSON LLLP**  
 BY: EMERSON DEVELOPMENT LLLP  
 BY: MELTER DEVELOPMENT, LLC

**DATA SOURCES**  
 WETLANDS & SOME STREAMS LOCATED IN FIELD BY GPS ON 12/10/01 BY DAFT MCGUNE WALKER, INC.  
 LOCATIONS OF TREELINES, STREAMS, TOPOGRAPHY, EX. STRUCTURES, ETC., DERIVED FROM LOW-LEVEL FLIGHT & AERIAL PHOTO ACQUIRED APRIL 8, 2002  
 BOUNDARY SHOWN PER BOUNDARY SURVEY DATED SEPTEMBER, 2002, PREPARED BY DAFT MCGUNE WALKER, INC.  
 SOILS (IF SHOWN) TAKEN FROM HOWARD COUNTY SOIL SURVEY, 1968.

**Erosion & Sediment Control Plan**



Address Chart			
Parcel #	Street Address		
A-1	9045 Palace Hall Drive		
Parkview at Emerson			
Section / Area	Lots / Parcels		
3 / 4	A-1		
Plot No. or L.P.	Tax Map	Elect. Dist.	Zone
FOA-34	47	6	PEC.MXD.3
Census Tract		6068.02	
Water Code	Sever Code		
KOI	5442000		
Owner / Publisher:	Emerson LLLP		
HOW. CO. HOUSING COMM. 28-N Charles St.			
6751 COLUMBIA GHEMWAY DE - Suite 220			
COLUMBIA, MD 21046			
Baltimore, MD, 21201			
Phone: (410) 385-9426			

**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13876, Expiration Date 3-24-10.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
 USDA - NATURAL RESOURCES CONSERVATION SERVICE DATE  
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 HOWARD SOIL CONSERVATION DISTRICT DATE 4/10/08

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 ENGINEER: Kenneth R. Kinsey P.E. # 13876 DATE 4/9/08

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.  
 DEVELOPER: EMERSON DEVELOPMENT LLLP DATE 4/9/08

DATE	NO.	REVISION
10/27/08	1	REDLINE REVISION TO UPDATE ADDRESS CHART
10/27/08	2	REDLINE REVISION TO REALIGN SWM FACILITY PER F-09-34

**Parkview at Emerson**  
 Section 3, Area 4, Parcel A-1  
 Age Restricted Adult Housing-MIHU's  
 6th Election District Howard County, Maryland  
**Erosion & Sediment Control Plan**

REVISIONS

STATE OF MARYLAND  
 PROFESSIONAL ENGINEER  
 KENNETH R. KINSEY  
 LICENSE NO. 13876  
 EXPIRES 3-24-10

**SITE RESOURCES**  
 Incorporated  
 Comprehensive Land Planning & Site Design Services  
 14315 Jarrettsville Pike • Phoenix, Maryland 21131  
 (410) 683-3388 • Fax (410) 683-3389

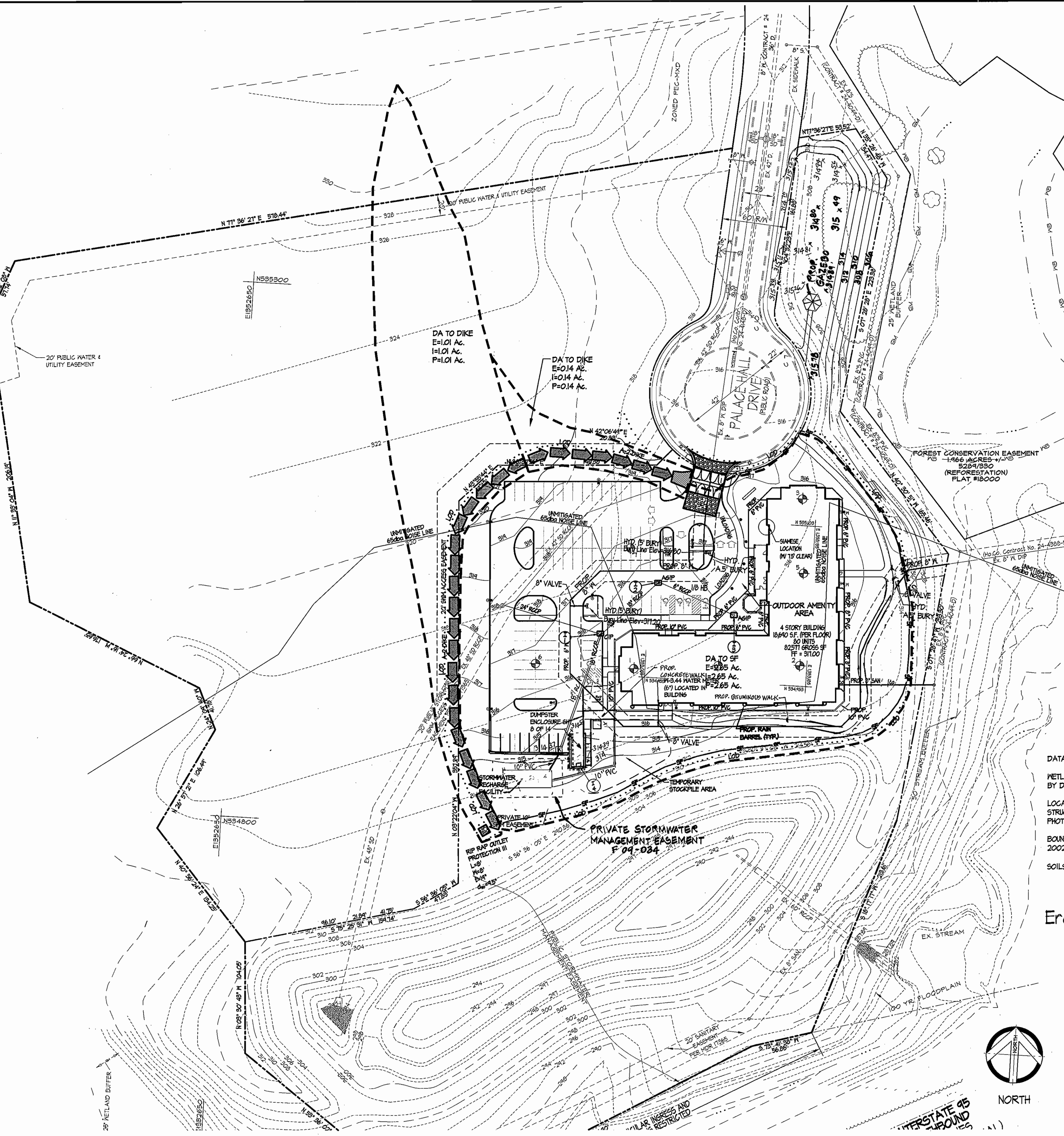
DRAWN BY: G.L.K.	CONTRACT NO.:
DESIGNED BY: C.R.M.	SCALE: 1" = 40'
CHECKED BY: K.R.K.	SRI PROJECT NO: 06010.B
DATE: Apr. 9, 2008	SHEET 5 OF 13

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Cindy Rantz 4/11/08  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 John Deane 4/11/08  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 Stephen Coffey 4/11/08  
 DIRECTOR DATE



**LEGEND**

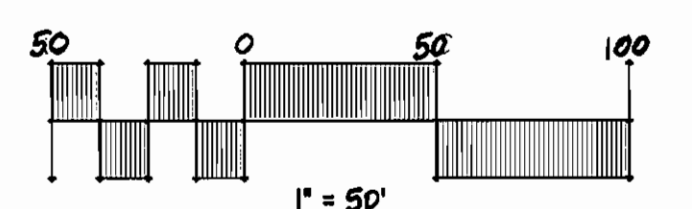
	PROPERTY LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING STORM DRAINS
	PROPOSED STORM DRAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING WATER
	PROPOSED WATER
	EXISTING ELECTRIC
	EXISTING GAS
	EARTH DIKE
	SILT FENCE
	STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM
	AT GRADE INLET PROTECTION
	CURB INLET PROTECTION
	LIMIT OF DISTURBANCE



Stacy L. Spahn April 11, 2008  
 S.L.S.  
 FOR: HOWARD COUNTY HOUSING COMMISSION  
**EMERSON LLLP**  
 BY: EMERSON DEVELOPMENT LLLP  
 BY: STANTEC DEVELOPMENT LLLC

**DATA SOURCES**  
 METLANDS & SOME STREAMS LOCATED IN FIELD BY GPS ON 12/10/01 BY DAFT MCCUNE WALKER, INC.  
 LOCATIONS OF TREELINES, STREAMS, TOPOGRAPHY, EX STRUCTURES, ETC., DERIVED FROM LOW-LEVEL FLIGHT & AERIAL PHOTO ACQUIRED APRIL 8, 2002  
 BOUNDARY SHOWN PER BOUNDARY SURVEY DATED SEPTEMBER, 2002, PREPARED BY DAFT MCCUNE WALKER, INC.  
 SOILS (IF SHOWN) TAKEN FROM HOWARD COUNTY SOIL SURVEY, 1968.

**Erosion & Sediment Control Drainage Area Map**



Address Chart			
Parcel #	Street Address		
A-1	4845 Palace Hall Drive		
Section / Area	3 / 4	Lots / Parcels	A-1
<b>Parkview at Emerson</b>			
Plot No. or L/F	Tax Map	Elect. Dist.	Zone
F 09-34	47	6	FEC.MXD.3
Water Code	KOI	Saner Code	5492000
<b>Owner / Partitions:</b>			
Emerson LLLP			
How. Co. Housing Comm 218 St. Charles St.			
6751 COLUMBIA GATEWAY DR Suite 220			
COLUMBIA, MD 21046 Baltimore, MD 21221			
Phone: (410)-325-8426			

**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13876, Expiration Date 3-24-08.  
 REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.  
 USBA—NATURAL RESOURCES CONSERVATION SERVICE DATE: \_\_\_\_\_  
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 S. K. Kinsley 4/10/08 DATE  
 HOWARD SOIL CONSERVATION DISTRICT

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.  
 ENGINEER: Kenneth W. Kinsey P.E. # 13876 DATE: 4/9/08

**DEVELOPER'S CERTIFICATE**  
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.  
 DEVELOPER: JMK K. AHS 4/15/08  
 JMK K. AHS  
 JMK K. AHS

DATE	NO.	REVISION
10/27/08	1	RESOLINE REVISION TO UPDATE ADDRESS CHART
10/27/08	2	RESOLINE REVISION TO REALIGN SWM FACILITY PER F 09-034

**Parkview at Emerson**  
 Section 3, Area 4, Parcel A-1  
 Age Restricted Adult Housing-MHU's  
 6th Election District Howard County, Maryland

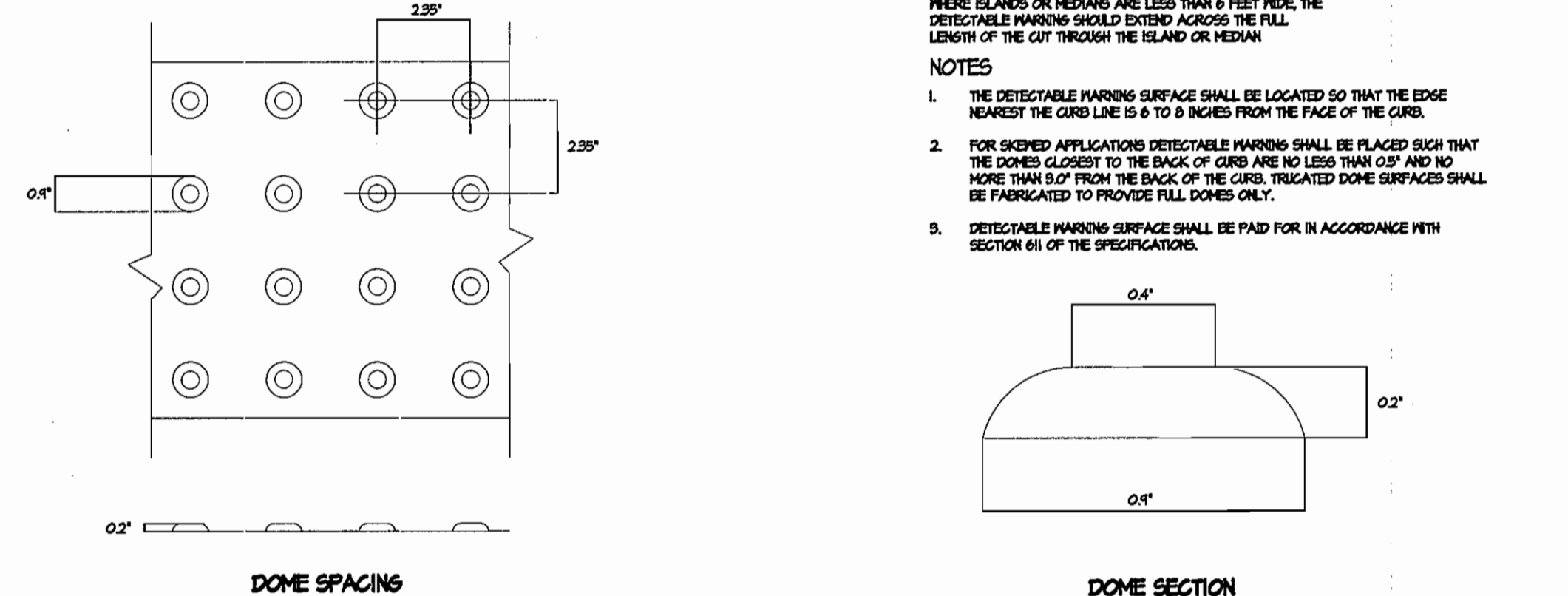
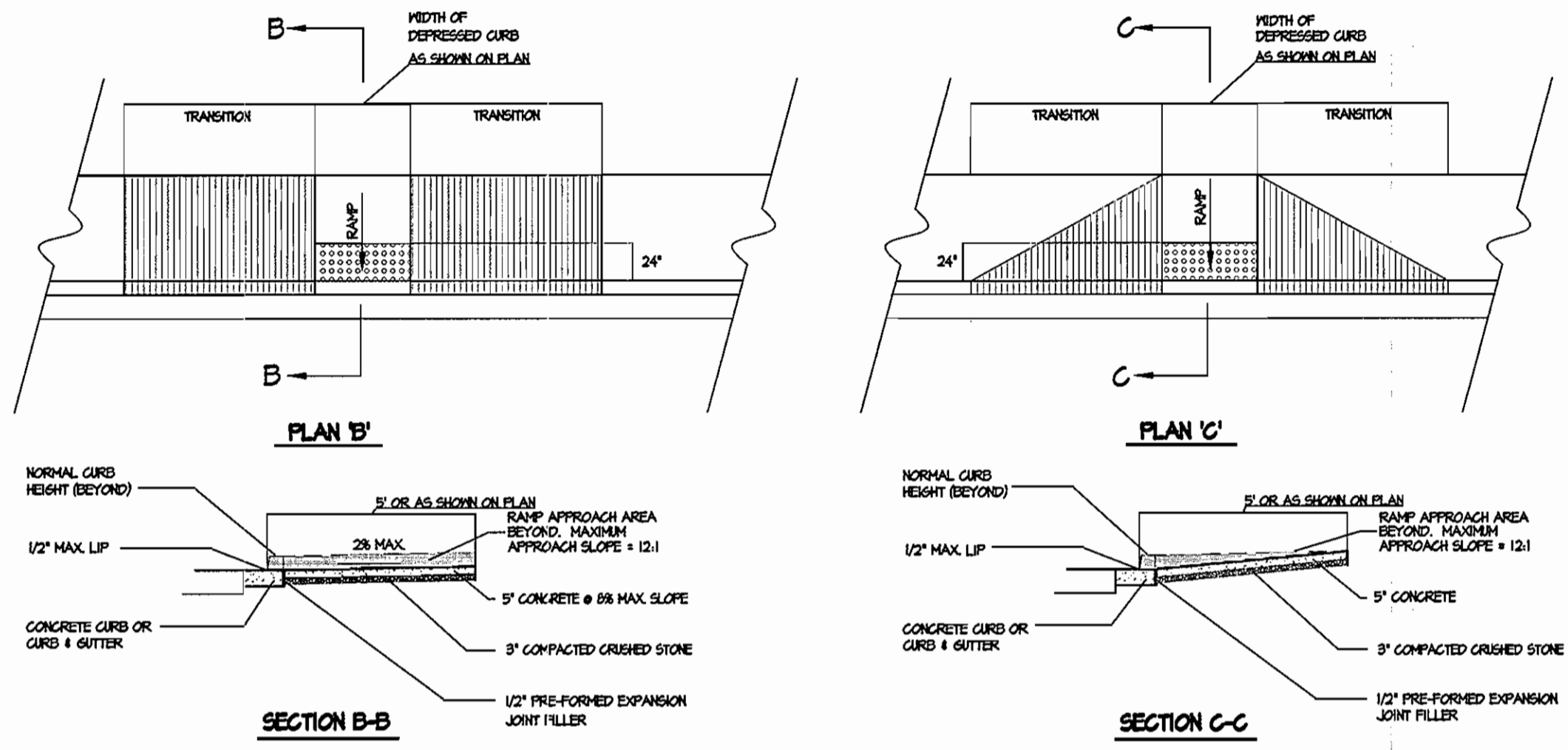
**Erosion & Sediment Control Drainage Area Map**

REVISIONS

<b>DRAWN BY:</b> T.P.D. <b>DESIGNED BY:</b> K.R.K. <b>CHECKED BY:</b> K.R.K. <b>DATE:</b> Apr. 9, 2008	<b>CONTRACT NO.:</b> <b>SCALE:</b> 1" = 50' <b>SRI PROJECT NO.:</b> 06010.B <b>SHEET:</b> 7 OF 13

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development 4/11/08 DATE  
 Chief, Development Engineering Division 4/11/08 DATE  
 Director 4/11/08 DATE

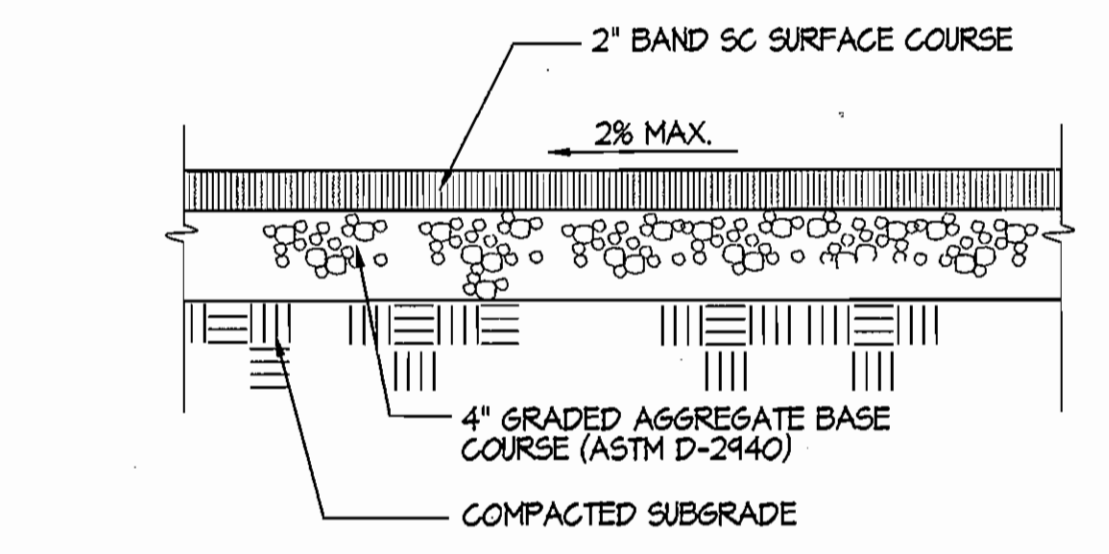
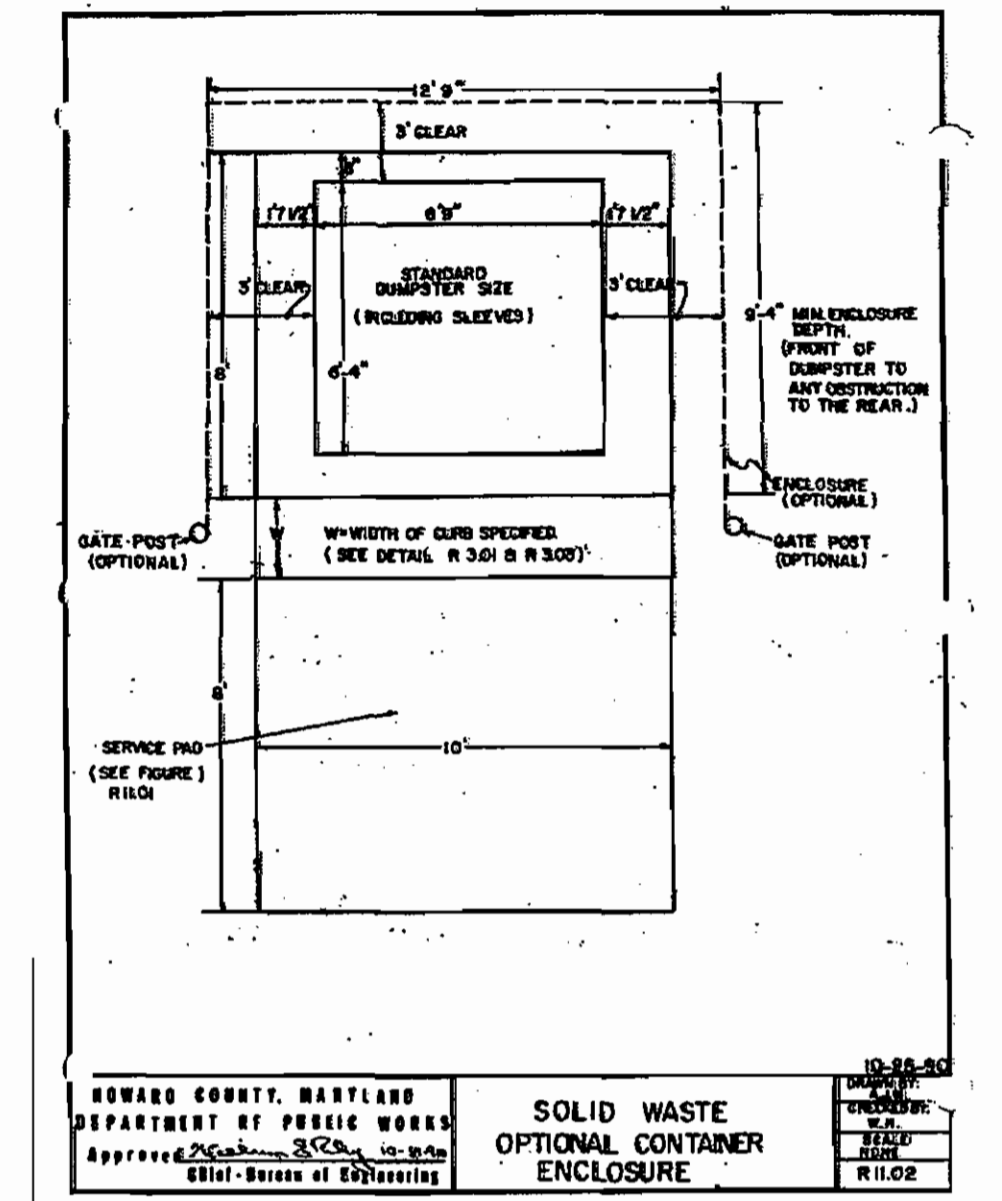
SURFACE TEXTURE OF ALL CONCRETE RAMPS SHALL BE COARSE BROOMING OR OTHER NON-SKID TYPE FINISH. TRUNCATED DOME DETECTABLE MARKING STRIPS SHALL BE INSTALLED FOR ALL RAMPS IN ACCORDANCE WITH MARYLAND STATE HIGHWAY ADMINISTRATION STD. NO. MD-625.40



SECTION #	ROAD & STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL- INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. BASE 4" GRADED AGGREGATE BASE (GAB.)
P-2	TRAVELWAYS FOR APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	1 1/2" BIT. CONC. SURFACE 5" BIT. CONC. BASE	1 1/2" BIT. CONC. SURFACE 2 1/2" BIT. CONC. BASE 6" GRADED AGGREGATE BASE (GAB.)

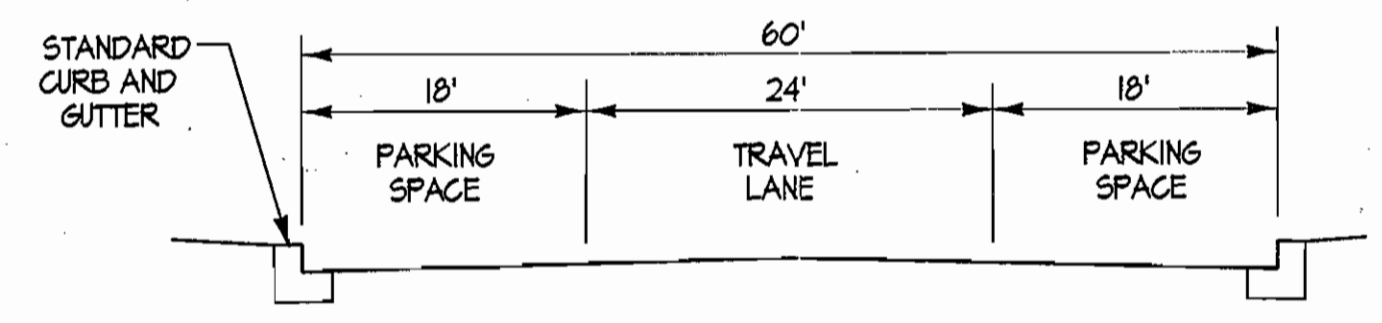
2 PAVING SECTIONS

NOT TO SCALE



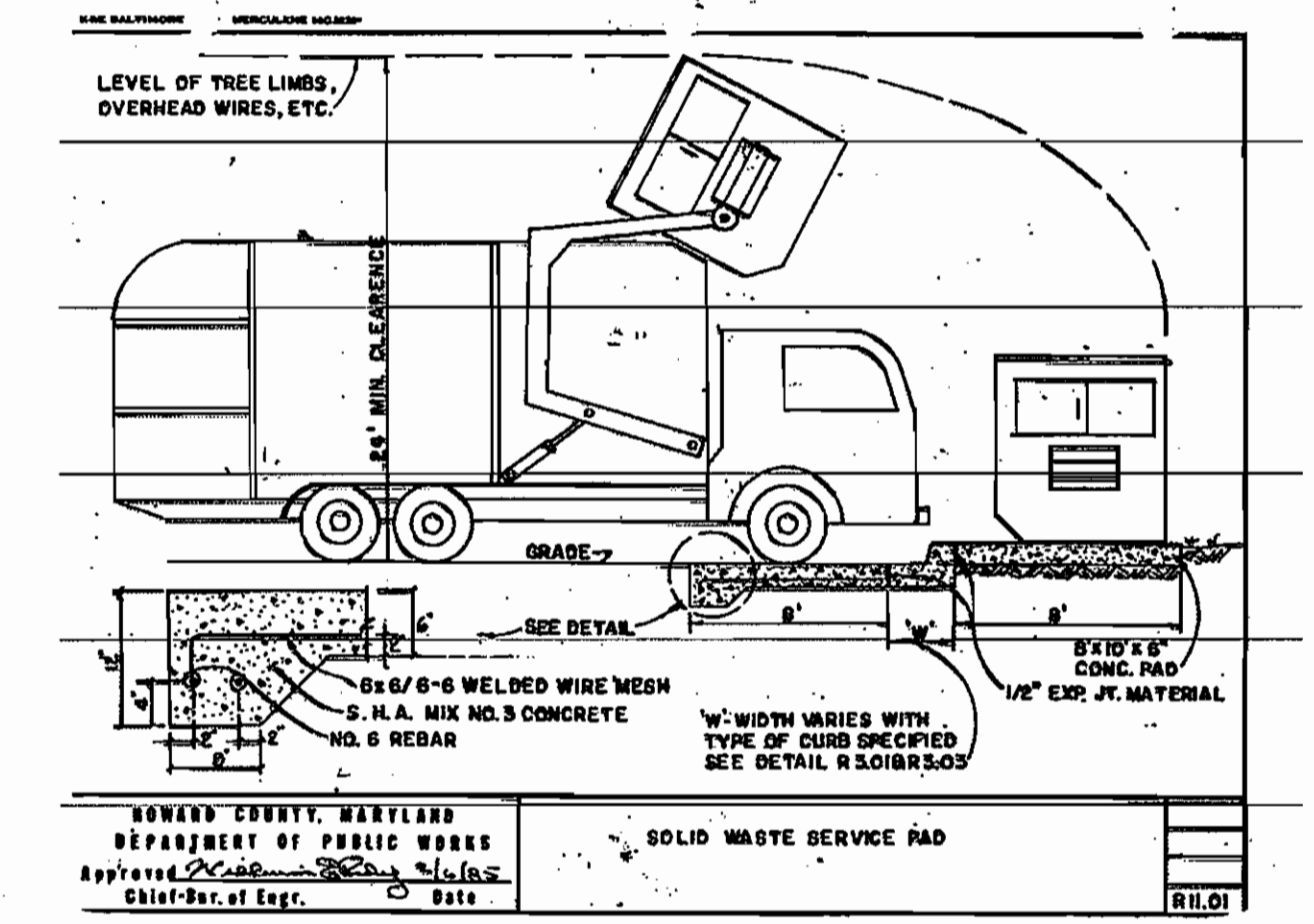
3 BITUMINOUS ASPHALT WALK

NOT TO SCALE

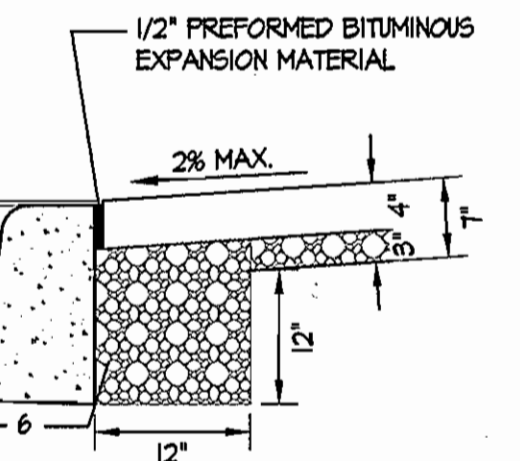


4 PRIVATE DRIVEWAY DETAIL

NOT TO SCALE



HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS Approved: [Signature] Chief-Exec. of Eng. Date: [ ]

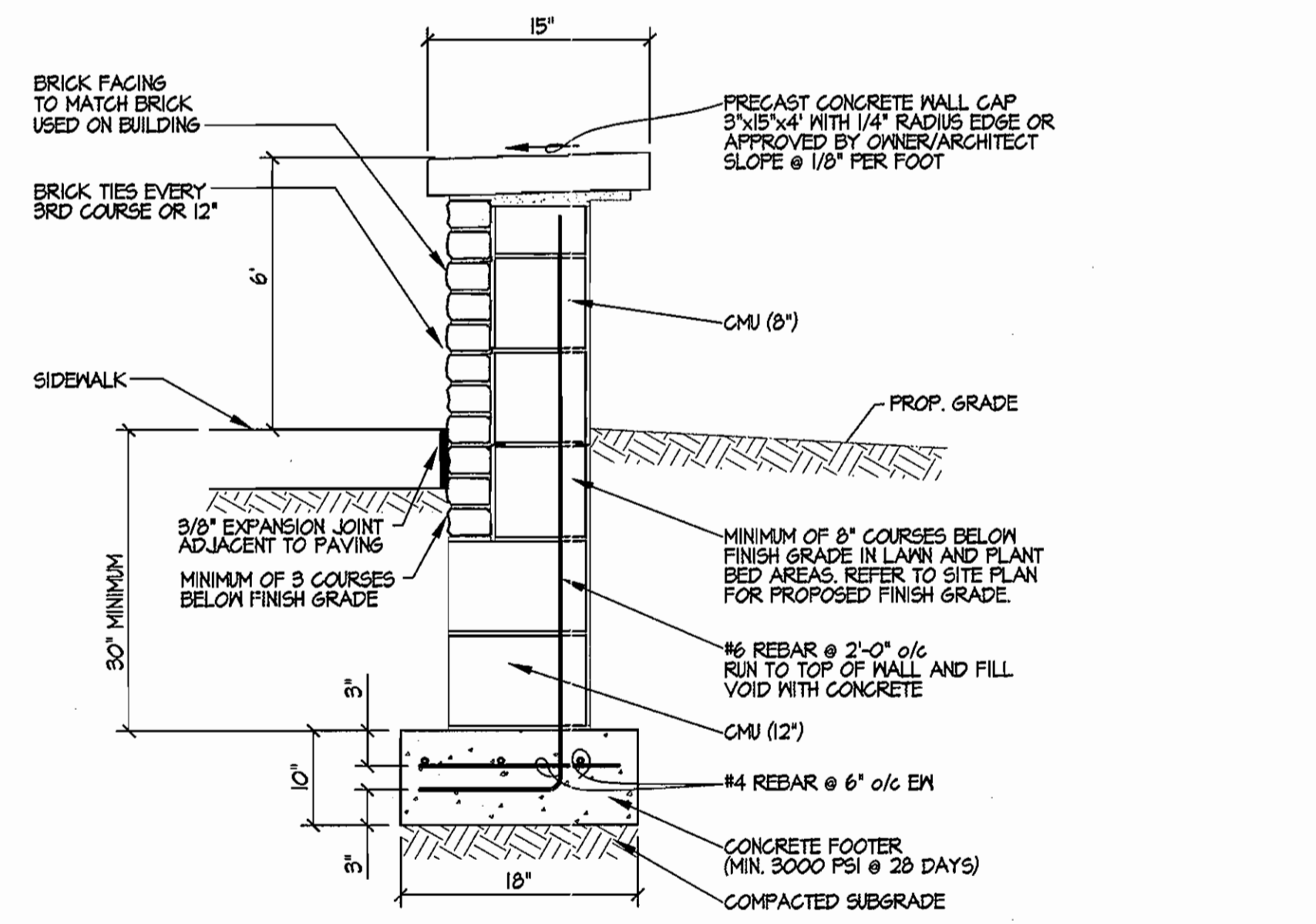


6 CURB & GUTTER DETAIL

NOT TO SCALE

7 CONCRETE WALK DETAIL

NOT TO SCALE



5 DUMPSTER ENCLOSURE

NOT TO SCALE

8 DUMPSTER PAD DETAIL

NOT TO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 4/11/08 DATE  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 4/11/08 DATE  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 4/11/08 DATE  
 DIRECTOR

PROFESSIONAL CERTIFICATION  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13016, Expiration Date 3-24-10.

DATE	NO.	REVISION
10/27/08	1	REDLINE REVISION TO UPDATE ADDRESS CHART

**Parkview at Emerson**  
 Section 3, Area 4, Parcel A-1  
 Age Restricted Adult Housing-MIHUs  
 6th Election District Howard County, Maryland

Site Details

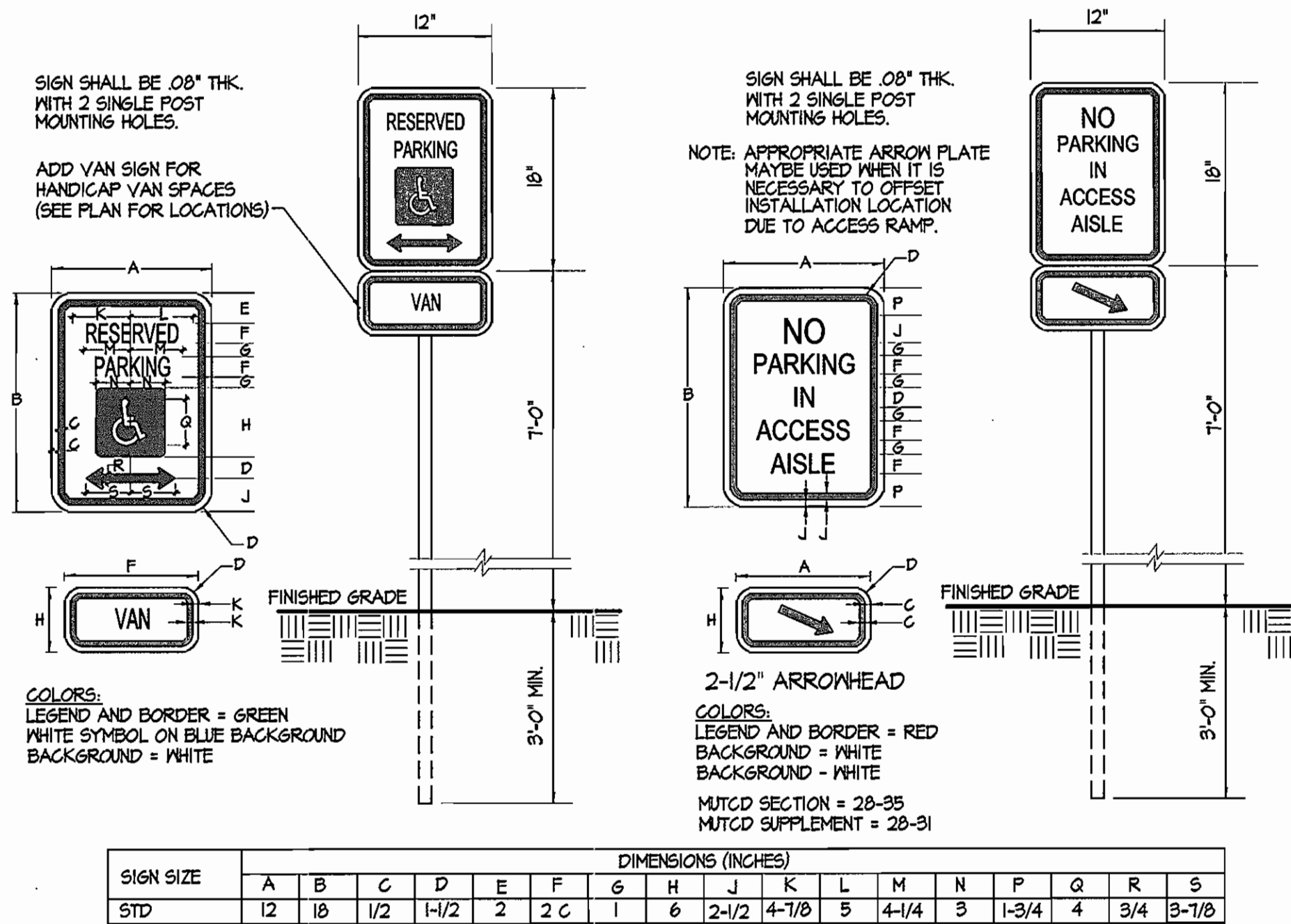
REVISIONS

Address Chart	
Parcel #	Street Address
A-1	4045 Palace Hall Drive
Subdivision Name	Section / Area
Parkview at Emerson	3 / 4 A-1
Plot No. or L.P.	Tax Map
F09-034	4T
Elect. Dist.	Zone
6	FEC, MXD3
Census Tract	
6060.02	
Water Code	Sewer Code
K01	5492000
Owner / Petitioner	Emerson LLP
How. Co. Housing Comm.	210 N. Charles St.
6151 COLUMBIA AVE., DE	Suite 230
COLUMBIA MD, 21046	Baltimore, MD, 21201
	Phone: (410) 332-8426



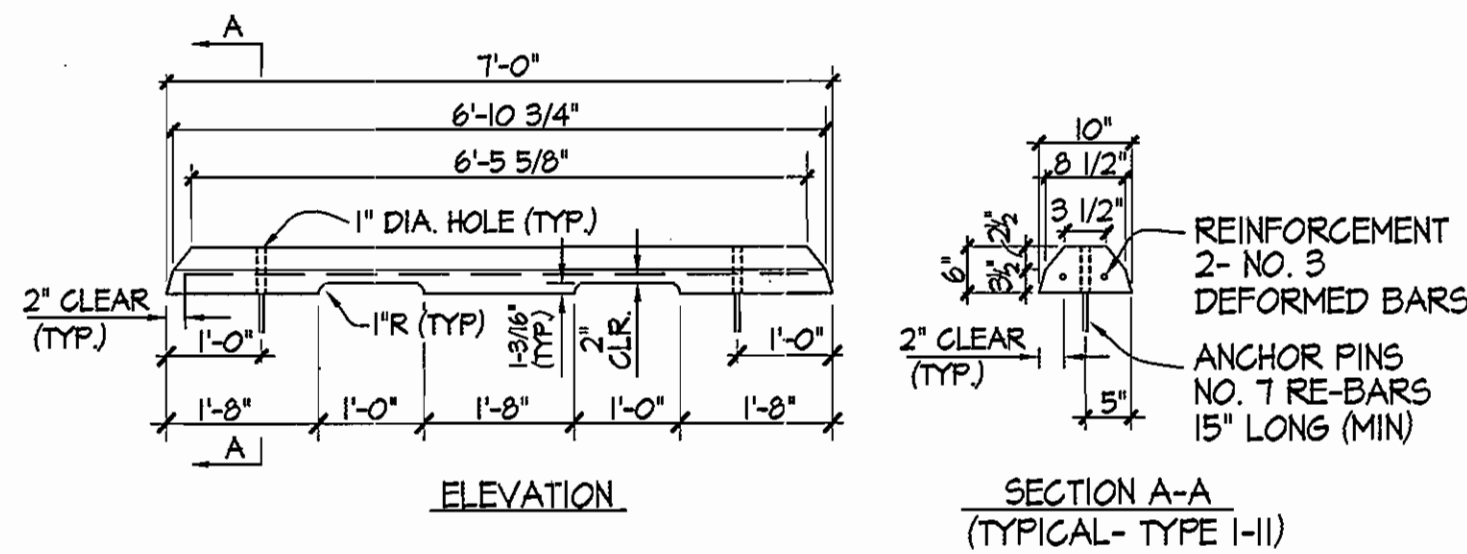
DRAWN BY:	T.P.D.	CONTRACT NO.:	
DESIGNED BY:	K.R.K.	SCALE:	AS SHOWN
CHECKED BY:	K.R.K.	SRI PROJECT NO.:	06010B
DATE:	Apr. 9, 2008	SHEET	8 OF 13



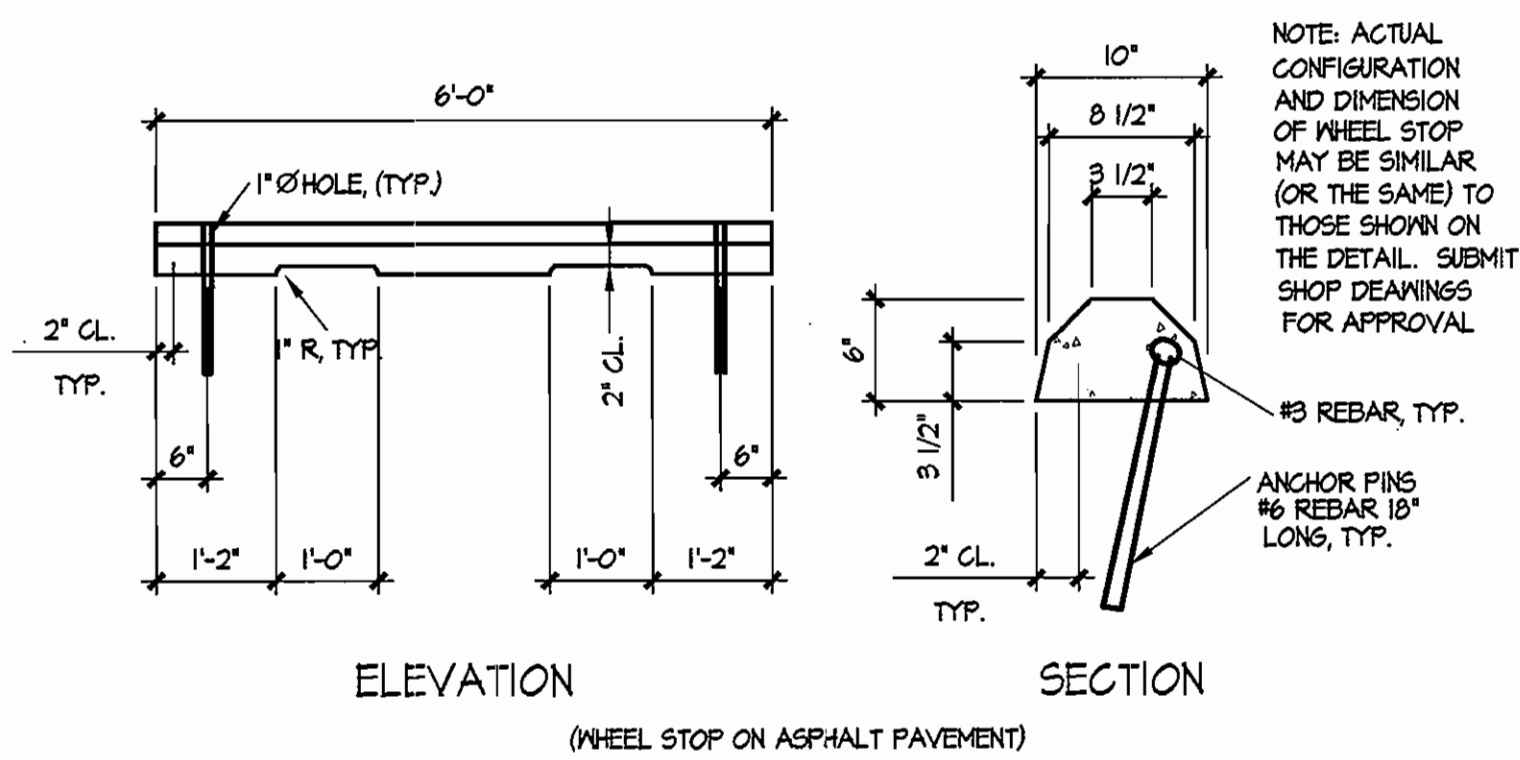


# 1 HANDICAP SIGN DETAILS

NOT TO SCALE



ANCHOR PINS SHALL NOT PROTRUDE ABOVE TOP OF WHEELSTOP  
SET WHEELSTOPS 24" FROM EDGE OF PAVING.



NOTE: Wheel stop to be used at handicapped parking spaces.

# 2 WHEELSTOP DETAILS

NOT TO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Candice Arant* 4/11/08  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*John P. ...* 4/11/08  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Steghan ...* 4/11/08  
DIRECTOR DATE

Address Chart					
Parcel #	Street Address				
A-1	9045 Palace Hall Drive				
Subdivision Name	Section / Area	Lots / Parcels			
Parkview at Emerson	3 / 4	A-1			
Plot No. or L/P	Tax Map	Block, Dist.	Zone	Census Tract	
F04-034	47	6	FEG.MXD.3	6068.02	
Water Code	KOI	Senior Code	5492000		
Owner / Petitioner:	Emerson-LLP				
How. Co. HOODIUS COMM.	210 N. Charles St.				
6751 COLUMBIA GARDENS DR.	Suite 220				
COLUMBIA, MD 21046	Baltimore, MD 21221				
	Phone: (410) 385-8426				

PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13816, Expiration Date 3-24-10.

DATE	NO.	REVISION
10/27/08	1	REPLINE REVISION TO UPDATE ADDRESS CHART

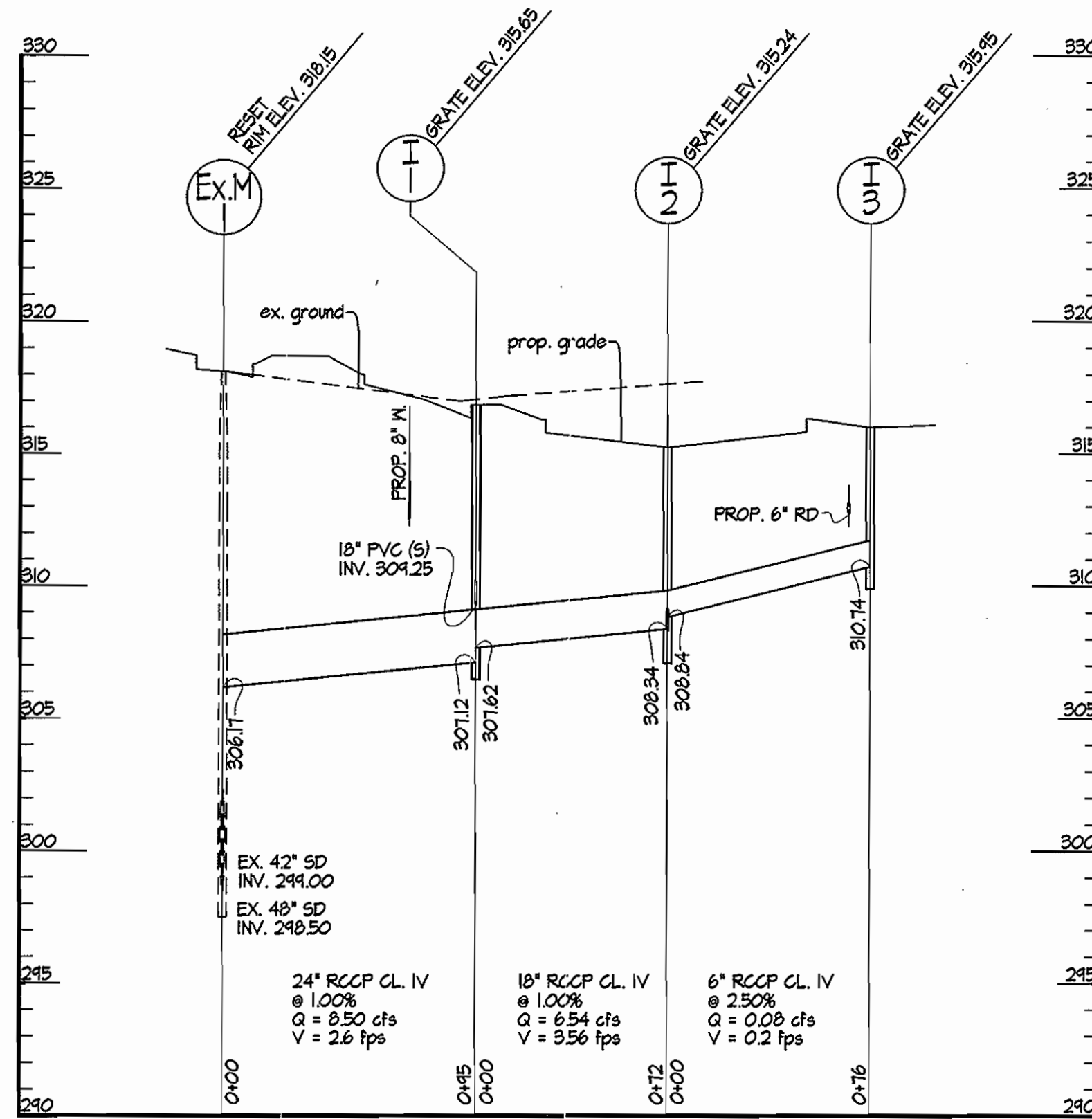
**Parkview at Emerson**  
Section 3, Area 4, Parcel A-1  
Age Restricted Adult Housing-MIHUs  
6th Election District Howard County, Maryland

## Site Details

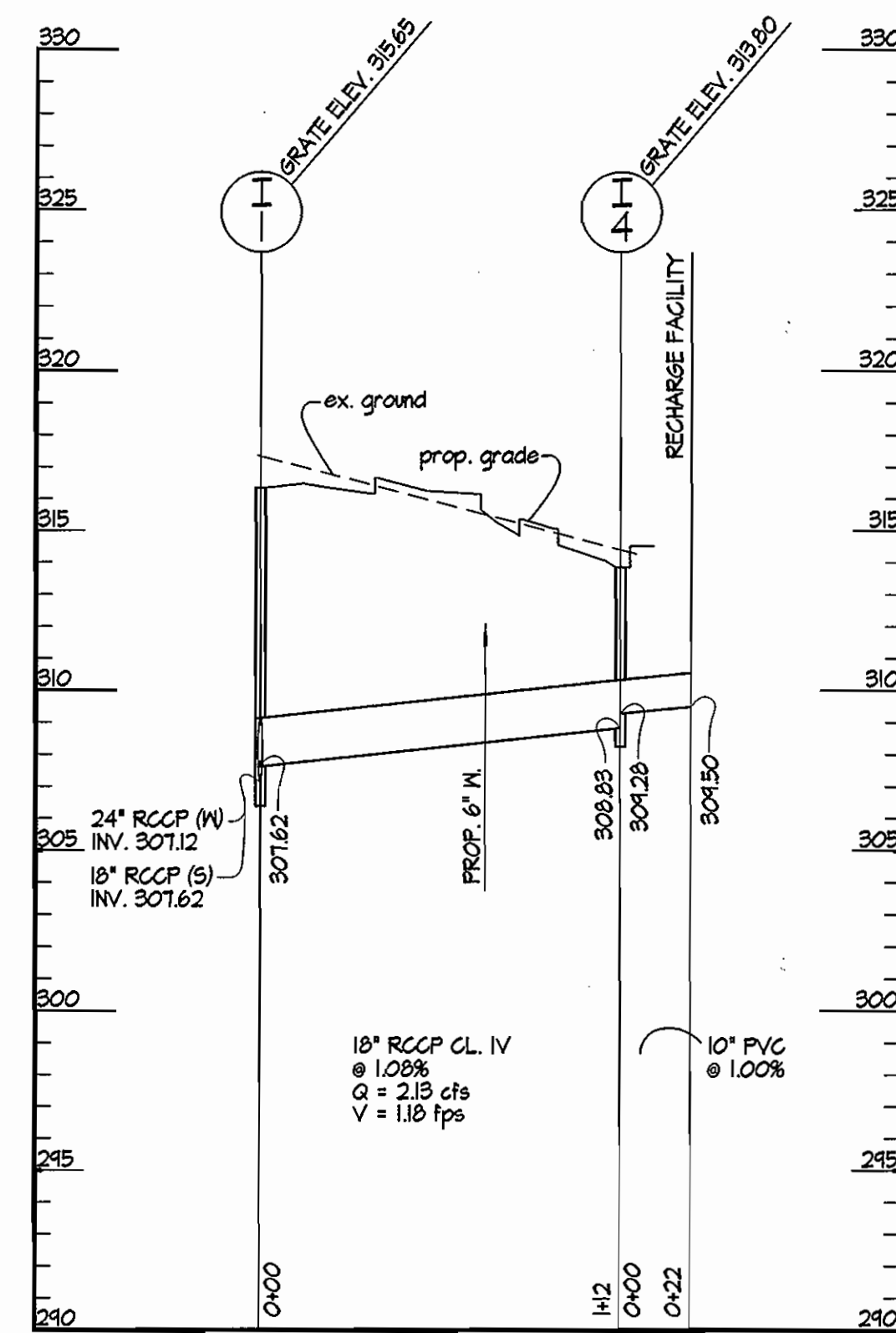
REVISIONS	

14315 Jarrettsville Pike Phoenix, Maryland 21131  
(410) 683-3388 Fax (410) 683-3389

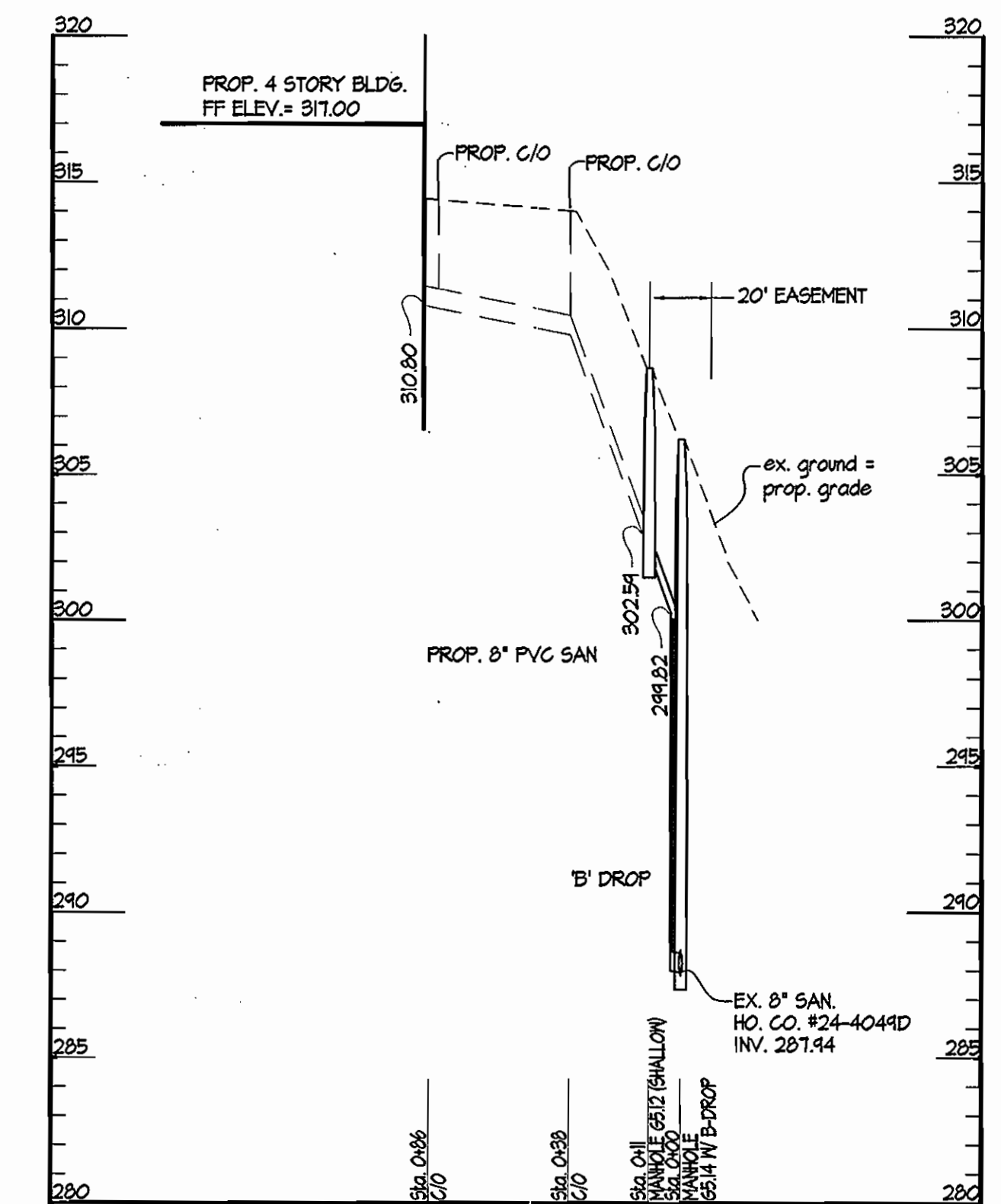
DRAWN BY: K.R.M.	CONTRACT NO.:
DESIGNED BY: K.R.K.	SCALE: AS SHOWN
CHECKED BY: K.R.K.	SRI PROJECT NO: 06010.B
DATE: Apr. 9, 2008	SHEET 9 OF 13



1 STORM DRAIN PROFILE 1-3 TO Ex. M-1  
 SCALES: HORIZ.: 1" = 50'  
 VERT.: 1" = 5'



2 STORM DRAIN PROFILE 1-1 TO 1-4  
 SCALES: HORIZ.: 1" = 50'  
 VERT.: 1" = 5'



3 8" SANITARY PROFILE  
 SCALES: HORIZ.: 1" = 50'  
 VERT.: 1" = 5'

PROPOSED STORM DRAIN STRUCTURES SCHEDULE

STRUC. NO.	TYPE	TOP/GRATE ELEVATION	INVERT IN	INVERT OUT	COMMENTS
1-1	HOWARD CO. TYPE 5' INLET	315.65	309.25	307.62	
1-2	HOWARD CO. TYPE 5' INLET	315.24	308.84	308.34	
1-3	NDS #100 4'x4' CATCH BASIN	315.45	-----	310.74	GALVANIZED STEEL GRATE
1-4	HOWARD CO. TYPE 5' INLET	313.80	309.28	308.83	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development: *[Signature]* 4/10/08  
 Chief, Development Engineering Division: *[Signature]* 4/11/08  
 Director: *[Signature]* 4/11/08

PROFESSIONAL CERTIFICATION  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 15876, Expiration Date 3-24-10.

DATE	NO.	REVISION
10/27/08	1	REDLINE REVISION TO UPDATE ADDRESS CHART

**Parkview at Emerson**  
 Section 3, Area 4, Parcel A-1  
 Age Restricted Adult Housing-MIHU's  
 6th Election District Howard County, Maryland

Storm Drain & Sanitary Profiles

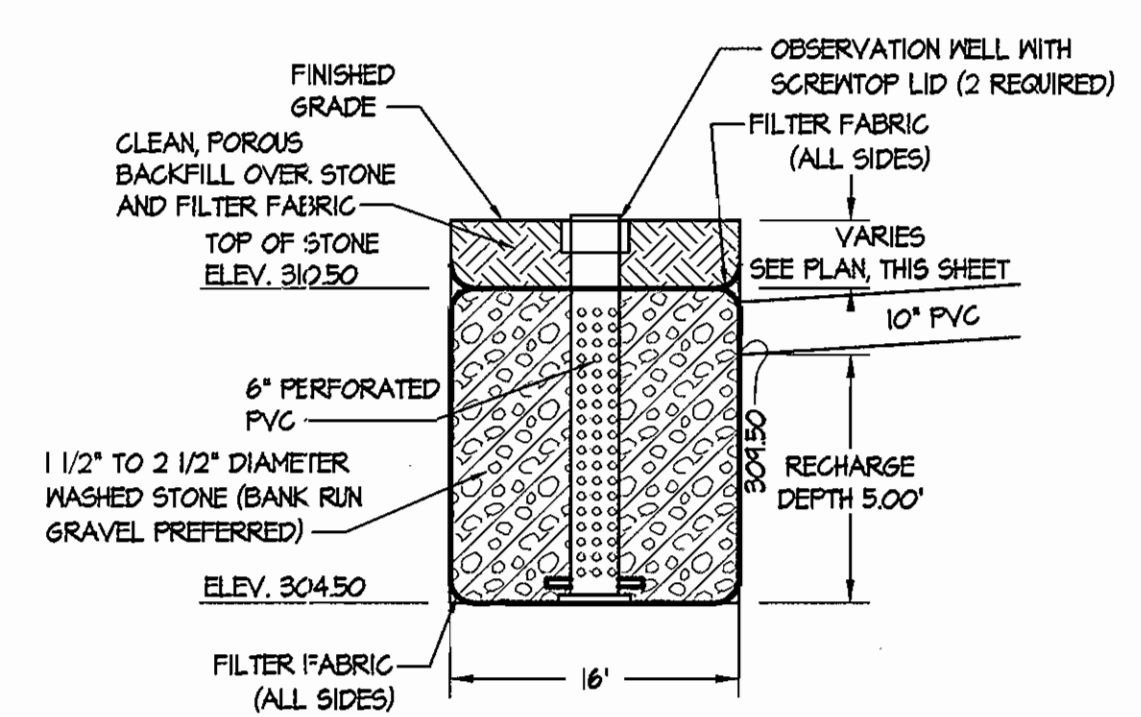
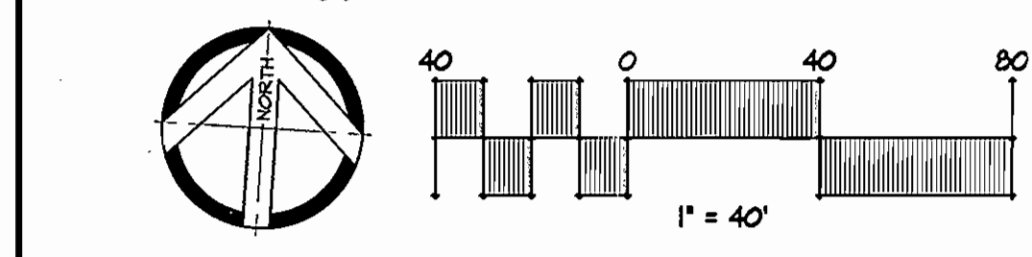
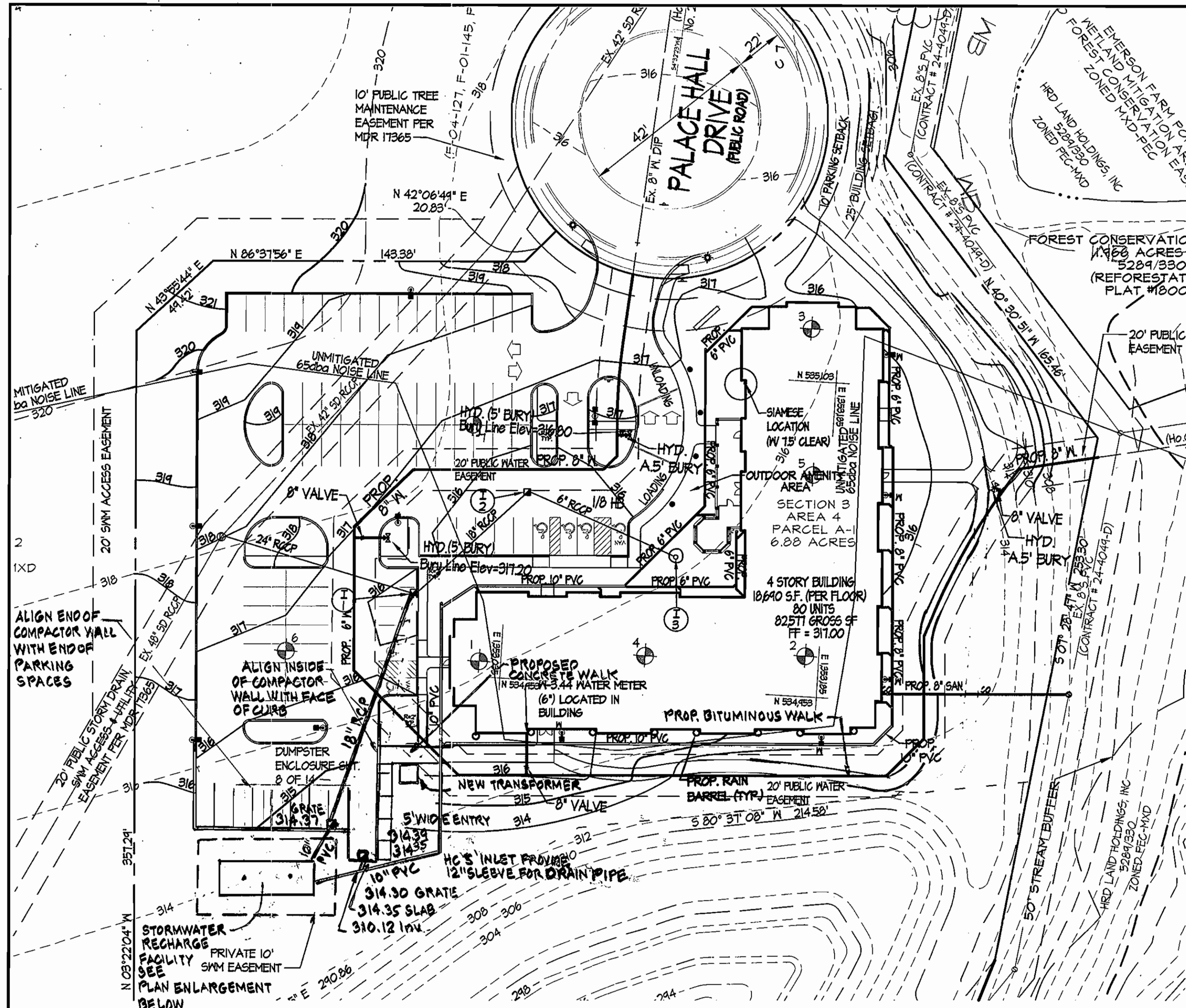
REVISIONS

Address Chart			
Parcel #	4845 Palace Hall Drive		
Subdivision Name	Parkview at Emerson		
Plot No. or L/F	Tax Map	Elect. Dist.	Zone
F09-034	47	6	FEC-MXD3
Water Code	K01	Sanitary Code	5492000
Owner / Possessor	Emerson LLP How Co. Housing Comm. 218 N. Charles St. 6751 COLUMBIA GATEWAY DR. Suite 220 COLUMBIA, MD 21046 Baltimore, MD 21201 Phone: (410) 265-8426		

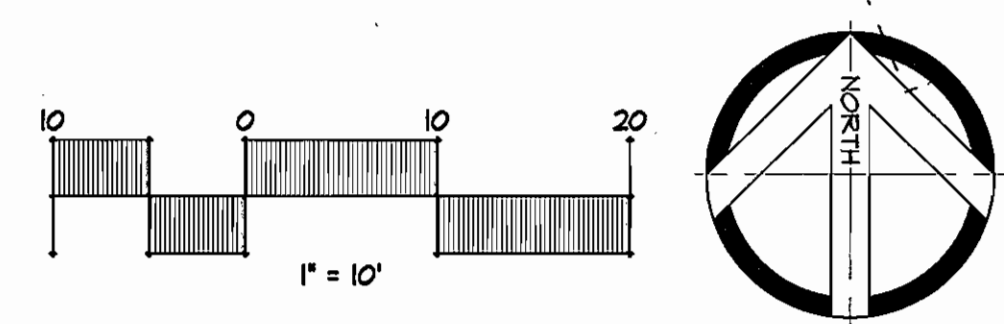
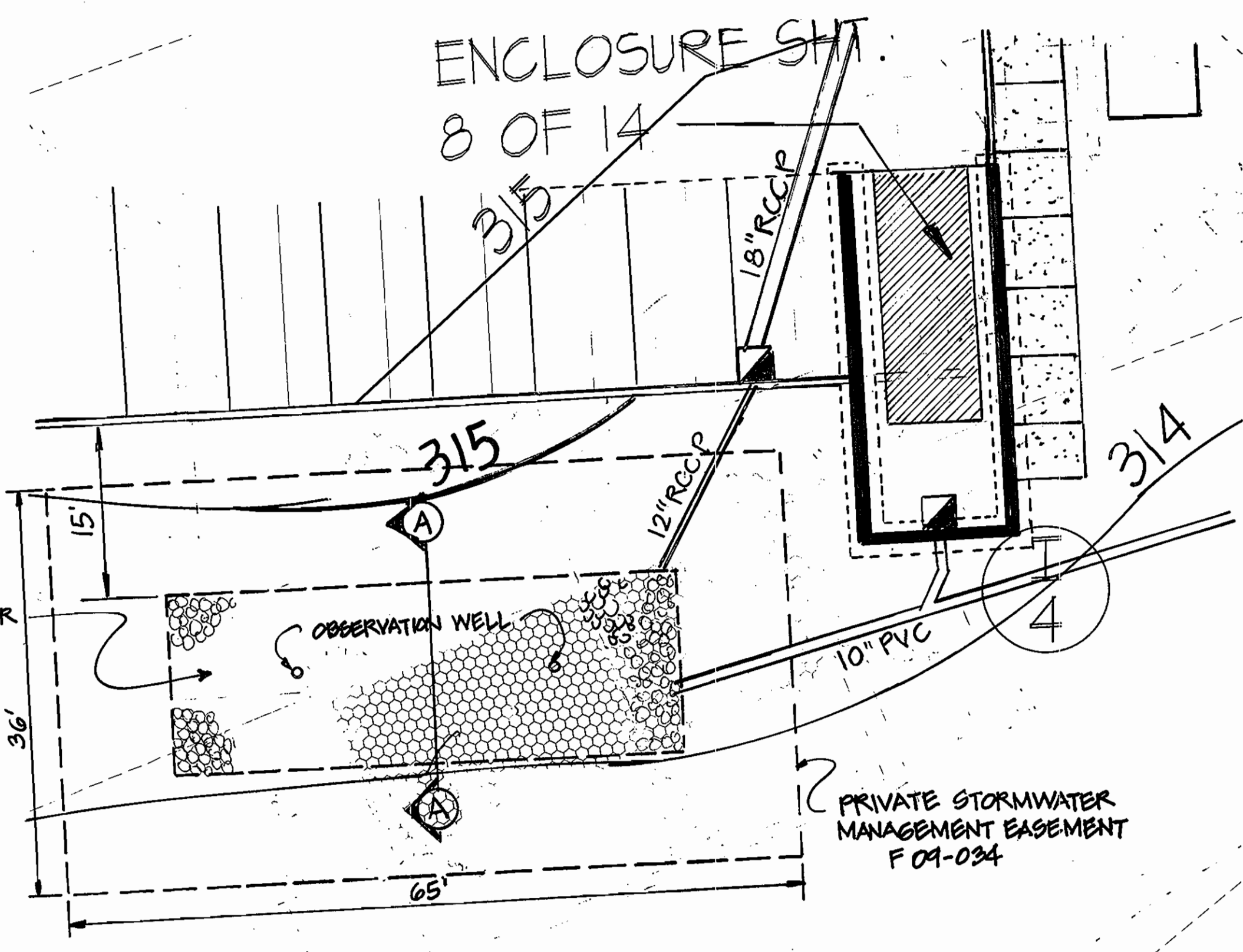
4/11/08

14315 Jarrattsville Pike, Pikesville, Maryland 21131  
 (410) 683-3388 • Fax (410) 683-3389

DRAWN BY: A.M.	CONTRACT NO.:
DESIGNED BY: K.R.K.	SCALE: AS SHOWN
CHECKED BY: K.R.K.	SRI PROJECT NO: 06010.B
DATE: Apr. 9, 2008	SHEET 10 OF 13



**RECHARGE FACILITY SECTION A-A**  
NOT TO SCALE



**PLAN ENLARGEMENT**  
SCALE: 1" = 10'

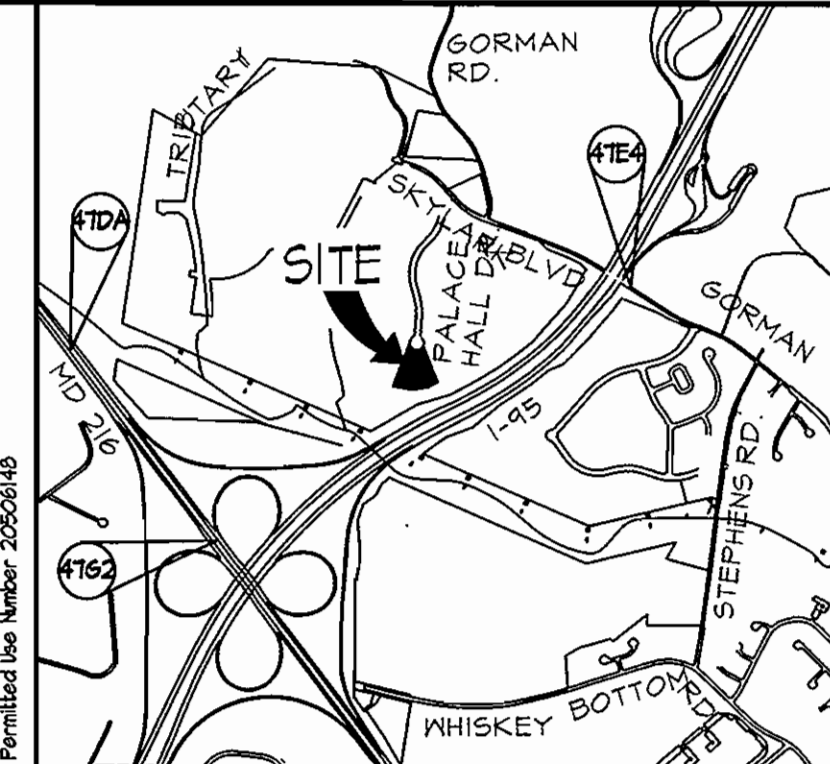
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Chief, Division of Land Development: *Chad Hunt* 4/11/08  
 Chief, Development Engineering Division: *Michael Williams* 4/11/08  
 Director: *Debra Coffey* 4/11/08

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.  
 USDA - Natural Resources Conservation Service Date  
 These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.  
 Howard Soil Conservation District Date

**BY THE ENGINEER:**  
 "I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion."  
 Signature of Engineer: *Kenneth R. Kinsey* 4/9/08  
 Printed Name of Engineer: Kenneth R. Kinsey

**BY THE DEVELOPER:**  
 "I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."  
 Signature of Developer: *Spacy L. Spann* 4/9/08  
 Printed Name of Developer: Spacy L. Spann  
 Date: 4/9/08

- NOTES:**  
 1. STORMWATER MANAGEMENT QUANTITY AND QUALITY MANAGEMENT ADDRESSED PER F-04-121.  
 2. ONLY ROOF DRAINAGE WILL BE DISCHARGED TO THE RECHARGE FACILITY.



Vicinity Map  
SCALE: 1" = 1000'

**Benchmark Description**

4TD N 525405.46 E 134436.271 ELEVATION = 355.01 ON MD. RT. 216, 0.5 SOUTH EAST OF LEISHEAR RD. (EAST BOUND LANE) 4.1' NORTHEAST OF EX. EDGE OF PAVING, 11.6' FROM STORM DRAIN INLET	4162 N 525408.46 E 134432.10 ELEVATION = 354.21 MD. RT. 216 & I-49 OVERPASS 0.4 MILES SOUTH EAST OF LEISHEAR RD. 4.3' NORTHEAST OF GUARDRAIL, 26.4' NORTHWEST OF NORTHWEST EDGE OF BRIDGE
4TE4 N 525846.14 E 1355431.20 ELEVATION = 358.91 GORMAN ROAD & RT. 45 OVERPASS MONUMENT IS 1' NORTH OF NORTH EDGE CONC. WALK, 21' EAST OF NORTH EAST CORNER BRIDGE - 0.2' BELOW SURFACE, 0.6' OFF EDGE OF CONCRETE WALK	

**DATA SOURCES**  
 WETLANDS & SOME STREAMS LOCATED IN FIELD BY GPS ON 12/10/01 BY DAFT MCGUINE WALKER, INC.  
 LOCATIONS OF TREELINES, STREAMS, TOPOGRAPHY, EX. STRUCTURES, ETC., DERIVED FROM LOW-LEVEL FLIGHT & AERIAL PHOTO ACQUIRED APRIL 8, 2002  
 BOUNDARY SHOWN PER BOUNDARY SURVEY DATED SEPTEMBER, 2002, PREPARED BY DAFT MCGUINE WALKER, INC.  
 SOILS (IF SHOWN) TAKEN FROM HOWARD COUNTY SOIL SURVEY, 1968.

**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13976, Expiration Date 3-24-10.

DATE	NO.	REVISION
10/27/08	1	REDLINE REVISION TO UPDATE ADDRESS CHART
10/27/08	1	REDLINE REVISION TO REALIGN SWM FACILITY PER F09-034

**Parkview at Emerson**  
 Section 3, Area 4, Parcel A-1  
 Age Restricted Adult Housing-MIHU's  
 6th Election District Howard County, Maryland  
**Stormwater Recharge Plan,**  
**Details & Notes**



14315 Jarrettsville Pike Phoenix, Maryland 21151  
 (410) 683-3388 \*fax (410) 683-3389

DRAWN BY: T.P.D.	CONTRACT NO.:
DESIGNED BY: K.R.K.	SCALE: AS SHOWN
CHECKED BY: K.R.K.	SRI PROJECT NO: 06010.B
DATE: Apr. 9, 2008	SHEET 11 OF 13

**Address Chart**

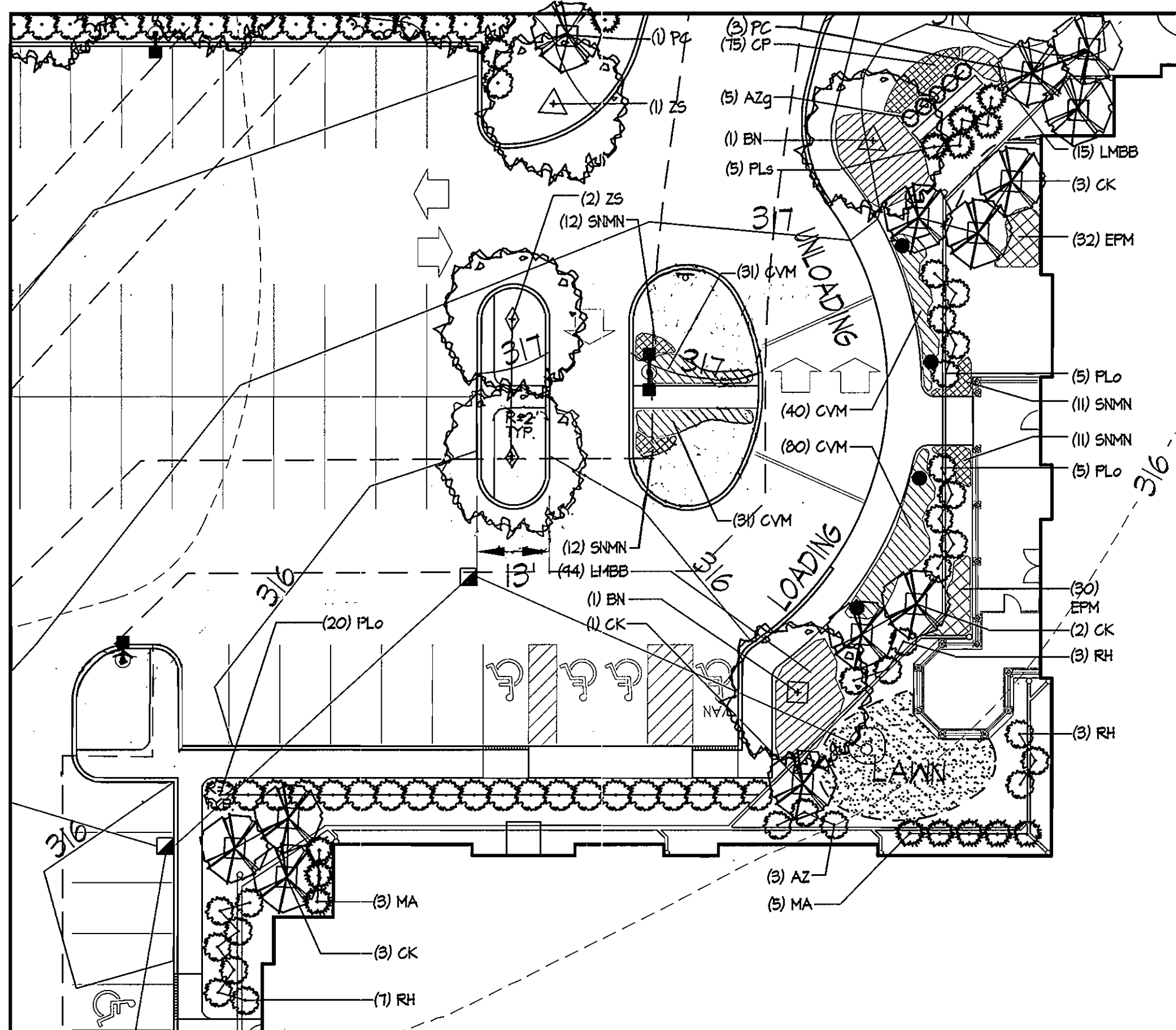
Parcel #	Street Address
A-1	9245 Palace Hall Drive

Subdivision Name	Section / Area	Lots / Parcels
Parkview at Emerson	3 / 4	A-1

Plat No. or L.P.	Tax Map	Elec. Dist.	Zone	Conserv. Tract
F09-034	47	6	PEC.MXD.3	6068.02

Water Code	Saner Code
KOI	5492000

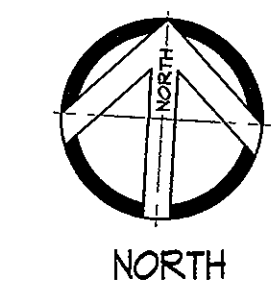
Owner / Possessor: Emerson-LLP  
 4602 HOWARD COUNTY 218-N. Charles St.  
 6751 COLUMBIA CENTERWAY DE - Suite 220  
 Baltimore, MD 21204  
 Calverton, MD 21046 Phone: (410) 385-8436



Landscape Detail Plan

0' 10' 20' 40' 80'

SCALE: 1" = 20'



Stacy L. Sparr April 11, 2008

SLS

FOR: HOWARD COUNTY HOUSING COMMISSION

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I/We further certify that upon completion a letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

Signature: *[Signature]* Date: 4/9/08

PREPARED BY: KENNETH R. KINSEY, RLA  
STATE OF MARYLAND  
REGISTERED LANDSCAPE ARCHITECT  
LICENSE NO. 405

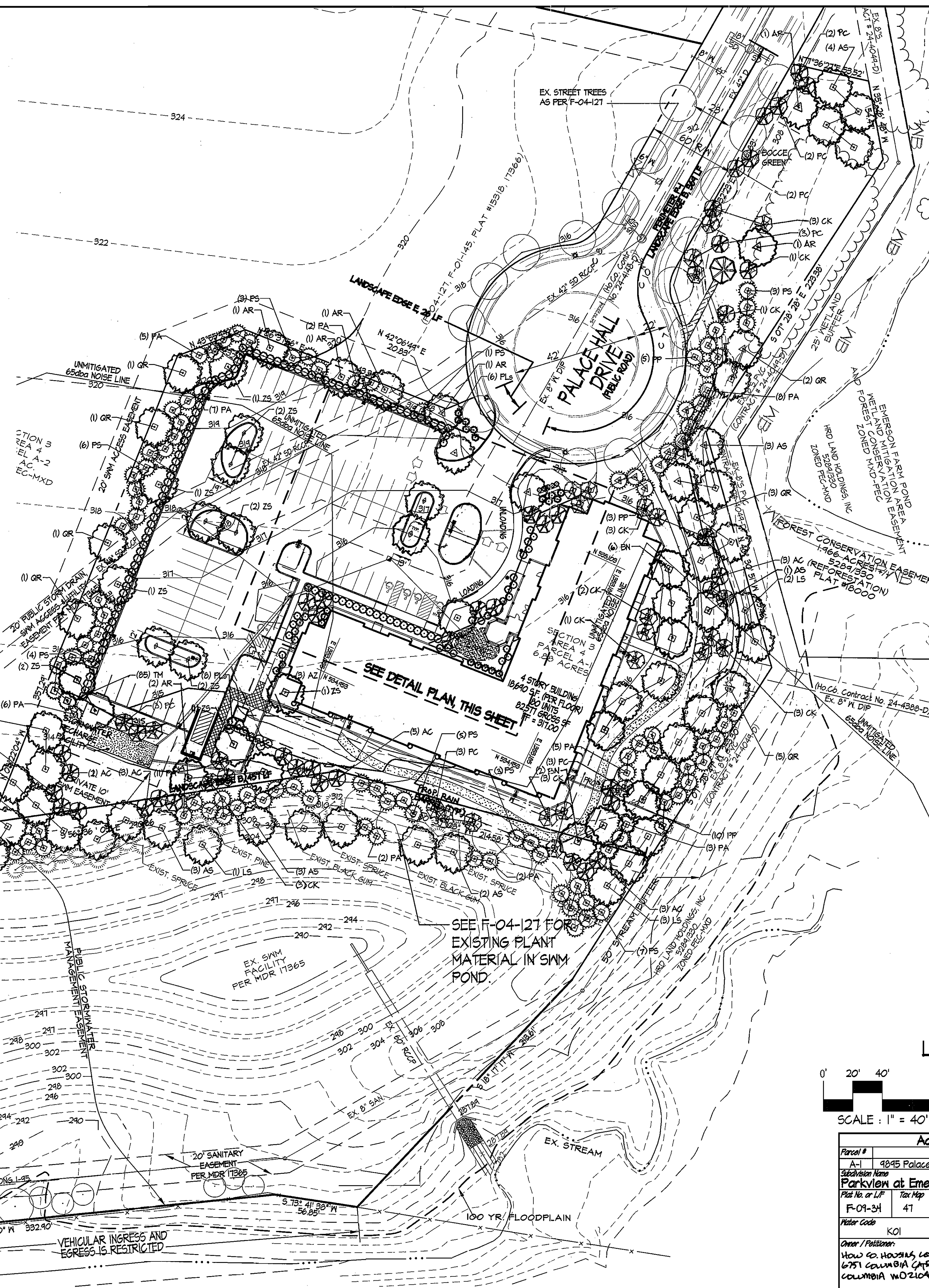
NAME: *[Signature]* DATE: 4/9/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* DATE: 4/14/08

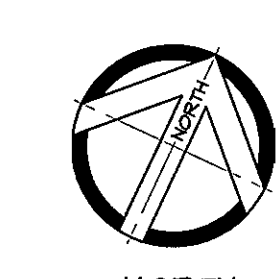
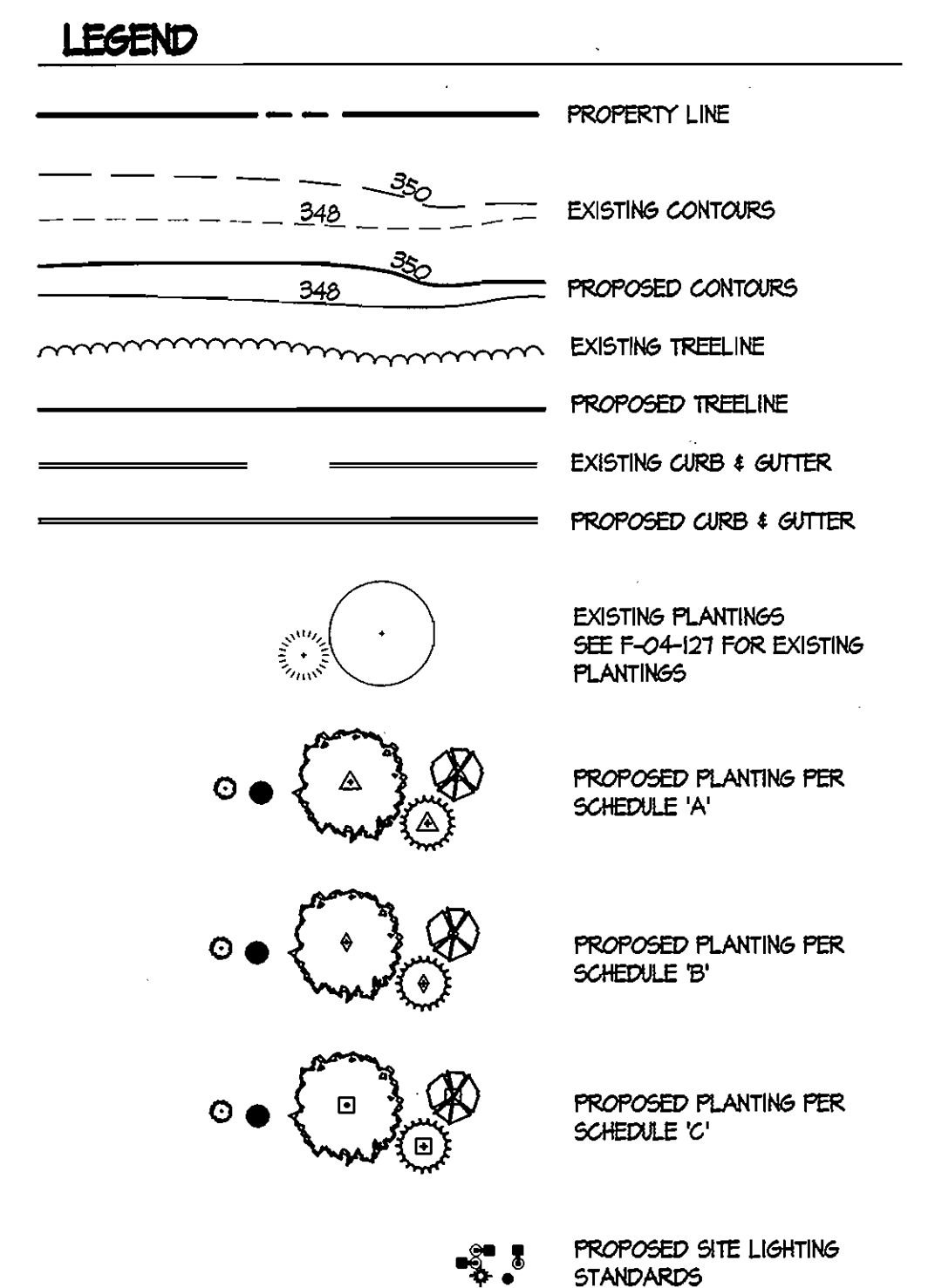
Signature: *[Signature]* DATE: 4/14/08

Signature: *[Signature]* DATE: 4/14/08



**Plant Schedule**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	COMM.	STV.
<b>SHADE TREES</b>						
AR	Acer rubrum 'Red Sunset'	Red Sunset Maple	25'-3" cal.	8	B.F.B.	8
AS	Acer saccharum 'Legacy'	Legacy Sugar Maple	25'-3" cal.	10	B.F.B.	10
RN	Rubia nigra 'Heritage'	Heritage River Birch	10'-12" ht.	10	Mult-stem	10
ZS	Zelkova serrata 'Village Green'	Village Green Zelkova	25'-3" cal.	16	B.F.B.	16
LS	Liquidambar styraciflua	American Sweetgum	25'-3" cal.	4	B.F.B.	4
GR	Quercus rubra	Red Oak	25'-3" cal.	16	B.F.B.	16
<b>EVERGREEN TREES</b>						
PA	Picea abies	Norway Spruce	7'-4" ht.	51	B.F.B.	255
PP	Picea pungens	Colorado Blue Spruce	7'-4" ht.	10	B.F.B.	4
PS	Pinus strobus	Eastern White Pine	7'-4" ht.	36	B.F.B.	10
<b>ORNAMENTAL TREES</b>						
AC	Amelanchier canadensis	Shadblow Serviceberry	8'-10" ht.	16	Mult-stem	8
CS	Cornus kousa	Kousa Dogwood	8'-10" ht.	24	B.F.B.	145
PC	Prunus caroliniana 'Thundercloud'	Thundercloud Purpleleaf Plum	15'-2" cal.	25	B.F.B.	125
<b>SHRUBS</b>						
AZ	Azalea 'Delaware Valley White'	Delaware Valley White Azalea	18"-24" ht.	6	B.F.B.	06
AZg	Azalea 'Gumpo'	Gumpo Azalea	18"-24" ht.	5	B.F.B.	05
MA	Mahonia aquifolium	Oregon Grapeholly	25'-3" ht.	8	B.F.B.	08
PLa	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	25'-3" ht.	30	B.F.B.	30
PLb	Prunus laurocerasus 'Schlipkaensis'	Schip Laurel	25'-3" ht.	14	B.F.B.	14
RL	Rhododendron 'P.J.M.'	P.J.M. Rhododendron	25'-3" ht.	13	B.F.B.	13
TM	Toxop x media 'Densitormis'	Dense Yew	25'-3" ht.	85	B.F.B.	85
<b>GROUND COVER</b>						
CP	Cerastium plumbaginoides	Leadwort	1 quart	75	12" o.c.	
CVM	Coreopsis verticillata 'Moonbeam'	Moonbeam Tickseed	1 quart	102	18" o.c.	
EPH	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 quart	82	18" o.c.	
LMBB	Limonium 'Big Blue'	Big Blue Limonium	1 quart	121	18" o.c.	
SALN	Salvia nemorosa 'May Night'	May Night Sage	1 quart	46	18" o.c.	



Landscape Plan

10/27/06	REDEFINE REVISION TO UPDATE ADDRESS CHART
10/27/08	REDEFINE REVISION TO REDEFINE SWIM FACILITY PER F-04-124
DATE	REVISION

**Parkview at Emerson**  
Section 3, Area 4, Parcel A-1  
Age Restricted Adult Housing-MHU's  
6th Election District Howard County, Maryland

**Landscape Plan**

REVISIONS

Parcel #	Street Address
A-1	4845 Palace Hall Drive

Subdivision Name	Section / Area	Lots / Parcels
Parkview at Emerson	3 / 4	A-1

Plot No. or L.P.	Tax Map	Elect. Dist.	Zone	Corsetr
F-09-34	47	6	PEC.MXD3	6068.02

Owner / Partitions	Owner Code	Owner Code
Emerson LLP How Co. Housing Comm 675 COLUMBIA CAMPUS DR COLUMBIA MD 21046 Phone: (410)-365-8426	K01	5492000

DRAWN BY: T.P.D.	CONTRACT NO.:
DESIGNED BY: K.R.K.	SCALE: 1" = 40'
CHECKED BY: K.R.K.	SRI PROJECT NO: 06010B
DATE: Apr. 9, 2008	SHEET 12 OF 13

**GENERAL PLANTING NOTES:**

- PLANT MATERIAL SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
- PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE UNLESS THE REQUIREMENT IS SPECIFICALLY WAIVED.
- PRIOR TO BEGINNING INSTALLATION, LOCATIONS OF ALL PLANT MATERIAL SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE. OWNER RESERVES THE RIGHT TO SHIFT STAKEOUT LOCATIONS.
- ALL SHRUB AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BEDS, MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILED AND SPECIFIED.
- PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE WITH A MINIMUM 2 PERCENT SLOPE.
- CONTRACTOR SHALL VERIFY ACCURACY OF BASE INFORMATION AND EXISTING CONDITIONS IN THE FIELD TO HIS OWN SATISFACTION. BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN NURSERYMEN ASSOCIATION STANDARDS.
- ALL PLANTING PROCEDURES SHALL CONFORM TO THE LATEST EDITION OF LANDSCAPE CONTRACTOR ASSOCIATION GUIDELINES FOR THE BALTIMORE/WASHINGTON METROPOLITAN AREA AND THE PROJECT SPECIFICATIONS.
- SEE OVERALL SITE PLAN FOR EXISTING & PROPOSED GRADES AND UTILITIES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS TO HIS OWN SATISFACTION.
- SEE SHEET 13 FOR PLANTING PLAN.
- SEE SHEET 12 FOR STORMWATER MANAGEMENT AREA PLAN & DETAILS.
- AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS LISTED AND APPROVED FOR THIS SITE SHALL BE THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN DIE, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- THE OWNER, TENANTS, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED, AS NEEDED, IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS. STABILIZE ALL DISTURBED AREAS AS SOON AS FINAL GRADING HAS BEEN COMPLETED. ALL UNPAVED DISTURBED AREAS SHALL BE SEEDED AND MULCHED WITH THE EXCEPTION OF PLANTING BEDS.
- INSTALL TREE PROTECTION FENCING ALONG THE LIMITS OF DISTURBANCE (LOD) OF THE EXISTING WOODS. ALL SITE GRADING, PLANTING BED PREPARATION, AND TREE AND SHRUB PLANTING MUST BE DONE OUTSIDE OF THE DRIP LINE OF EXISTING TREES TO BE PRESERVED IN ORDER TO MAINTAIN AND PROTECT THE ROOT SYSTEM.
- TREES ARE NOT TO BE INSTALLED CLOSER THAN 6' TO ANY EDGE OF PAVEMENT, CURB OR SIDEWALK.

**Landscaping Notes:**

- Quantities shown on the plant list are estimates only; the contractor is required to install the quantities labeled in plan view. Contractor shall notify Site Resources of any discrepancy between the quantities listed in the chart and quantities shown in plan view.
- The contractor shall notify Miss Utility at 1-800-251-7777 a minimum of two working days prior to beginning planting and construction.
- Damage to existing conditions and utilities shall be repaired and restored at the expense of the contractor.
- Surety for the required landscaping has been posted as part of the DPN Developer's Agreement in the amount \$54,330 for 176 shade trees, 9 evergreen trees, 0 ornamental trees and 6 shrubs.
- This plan has been prepared in accordance with Section 16.124 of the Howard County Code, the Landscape Manual and the Emerson Landscape Design Criteria.
- Any wire baskets used to secure plant root balls should be completely removed prior to plant installation.

**SCHEDULE A  
PERIMETER LANDSCAPE EDGE**

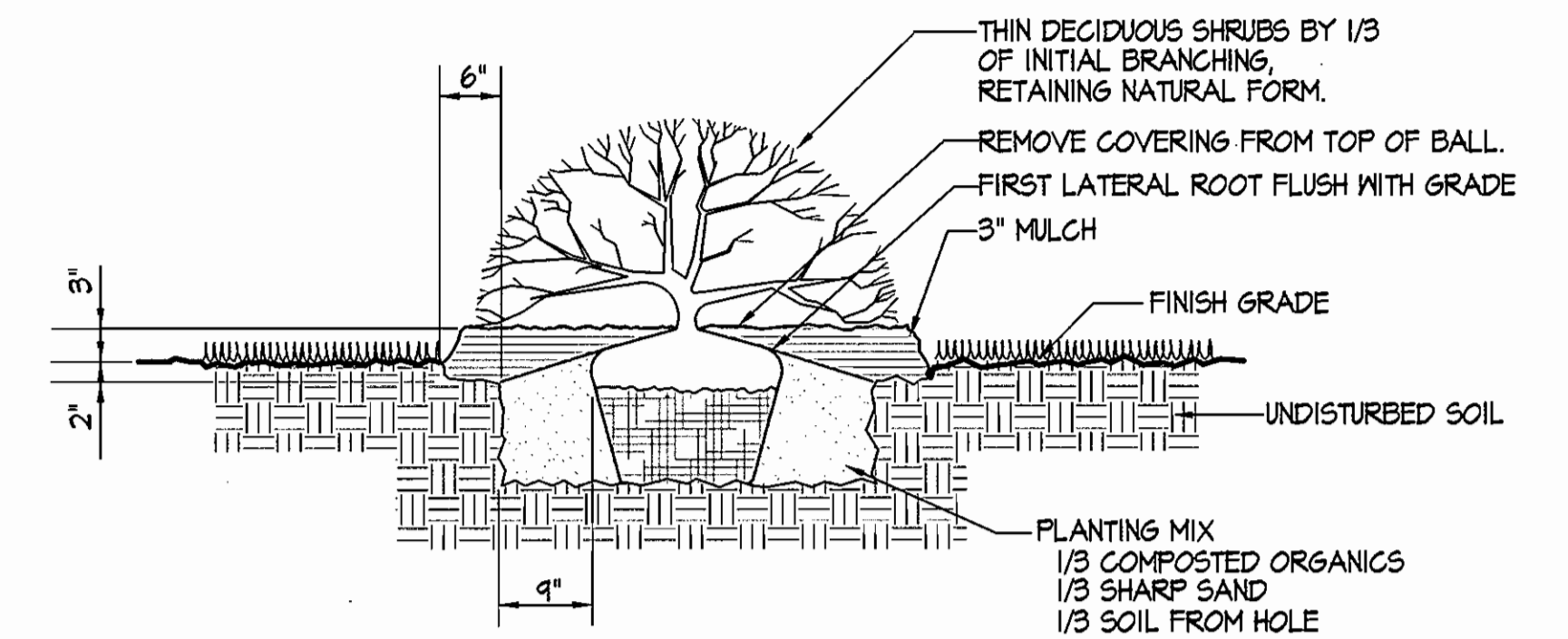
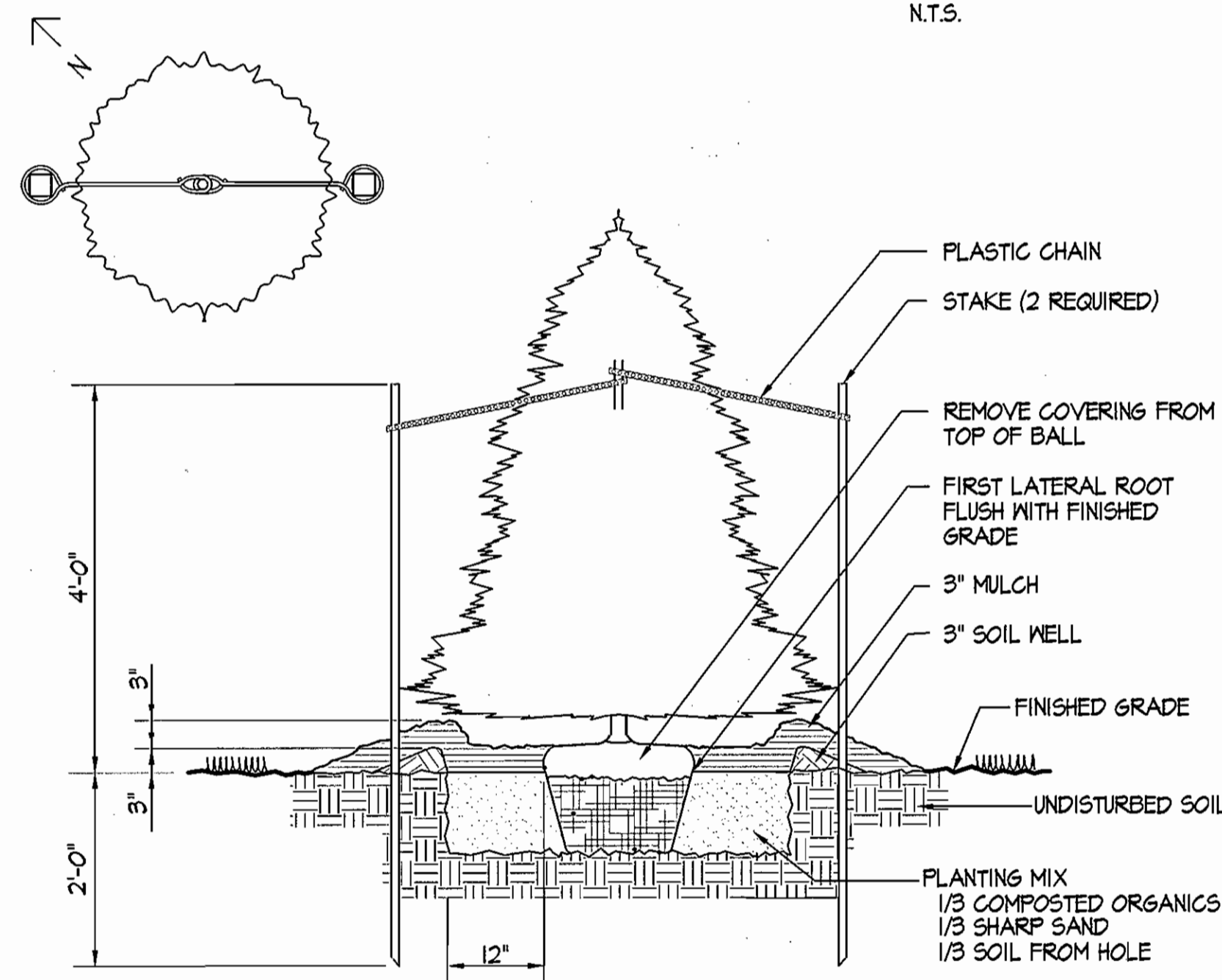
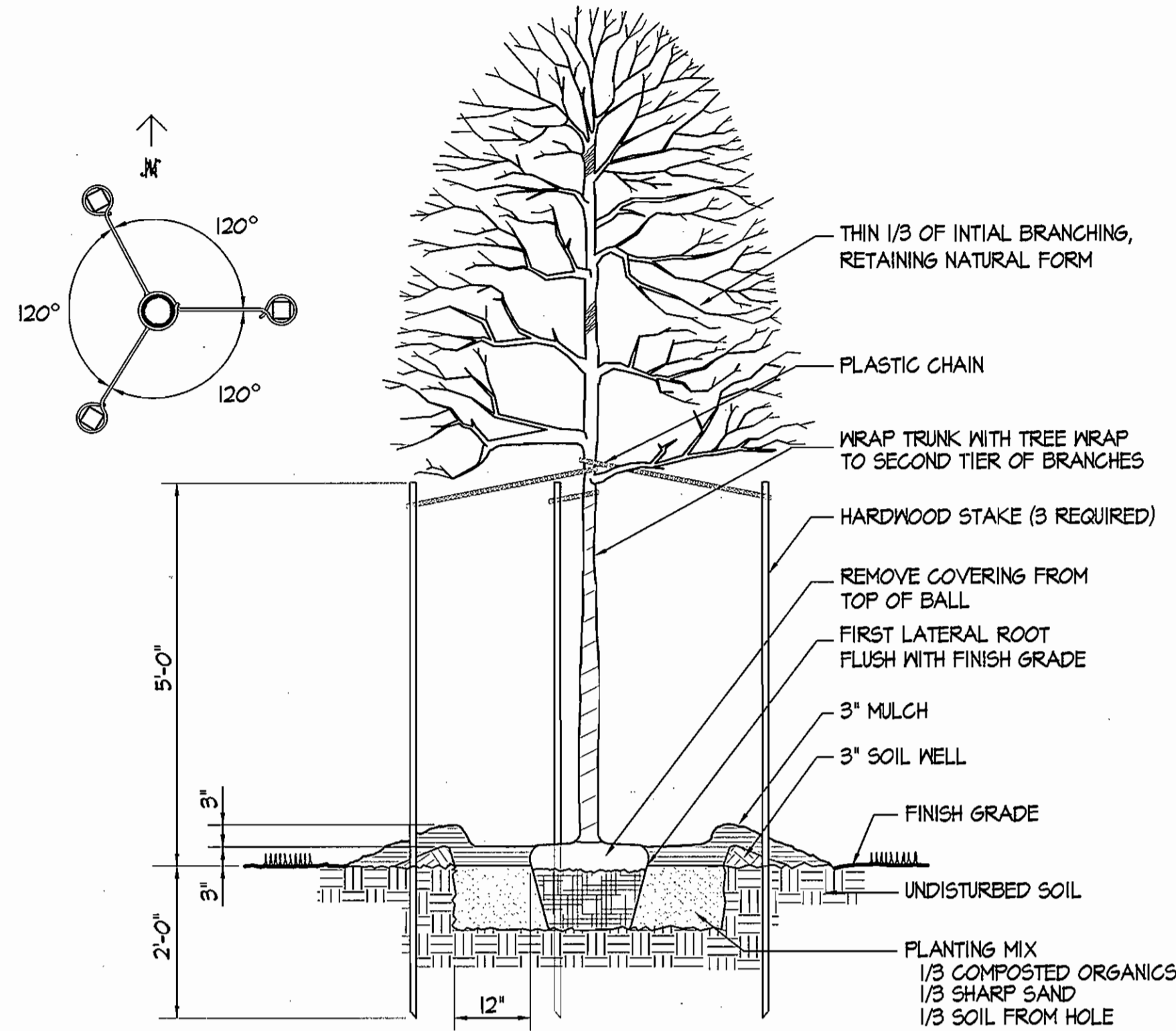
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO ROADWAYS (PERIMETER P-1)	TOTAL
LANDSCAPE TYPE	E	B	
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	26	364	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	
NUMBER OF PLANTS REQUIRED			
SHADE TREES	1	1	2
EVERGREEN TREES	0	1	1
SHRUBS	6	0	6
NUMBER OF PLANTS PROVIDED			
SHADE TREES	1	1	2
EVERGREEN TREES	0	1	1
OTHER TREES (2:1 SUBSTITUTION)	0	0	0
SHRUBS (10:1 SUBSTITUTION)	6	0	6
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)			

**SCHEDULE B  
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	82
NUMBER OF TREES REQUIRED	8
NUMBER OF TREES PROVIDED	8
SHADE TREES	8
OTHER TREES (2:1 SUBSTITUTION)	0
NUMBER OF ISLANDS REQUIRED	8 (1600 SF)
NUMBER OF ISLANDS PROVIDED	10 (2100 SF)

**SCHEDULE C  
RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING**

NUMBER OF DWELLING UNITS	20
SITE CLASSIFICATION	NON-WOODED
REQUIRED SHADE TREE VALUE (2:1 DU NON-WOODED)	160
NUMBER OF TREES PROVIDED	61
SHADE TREES	166
OTHER TREES (2:1 SUBSTITUTION)	160
SHRUBS (10:1 SUBSTITUTION)	160
PROVIDED SHADE TREE VALUE	160



**PLANT SPACING CHART**

SPACING "D"	ROW "A"	NO. OF PLANTS / S.F.
6" O.C.	5.20'	4.61
8" O.C.	6.93'	2.60
10" O.C.	8.66'	1.66
12" O.C.	10.40'	1.15
15" O.C.	13.00'	.788
18" O.C.	15.60'	.512
24" O.C.	20.80'	.240
30" O.C.	26.00'	.125
36" O.C.	30.00'	.128

NOTE: FOR USE ONLY WHEN PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER AS SHOWN, AND SPECIFIED IN THE PLANT LIST.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I/We further certify that upon completion a letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

**EMERSON, LLLP**  
 By: EMERSON DEVELOPMENT LLLP  
 By: SHELTER DEVELOPMENT, LLLP

SMY L. SRAW Apr. 11, 2008  
 KENNETH R. KINSEY, RLA  
 STATE OF MARYLAND  
 REGISTERED LANDSCAPE ARCHITECT  
 LICENSE NO. 405

4/9/08

**Address Chart**

Parcel #	9845 Palace Hall Drive		
Subdivision Name	Section / Area	Lots / Parcels	
Parkview at Emerson	3 / 4	A-1	
Plot No. or LF	Tax Map	Block Dist.	Zone
F 09-034	41	6	PEC.MXD3
Parcel Code	Sever Code		
K01	5492000		
Owner / Politician	Emerson LLLP		
1400 WOOD CO. HOODSAS COM 218 N. Charles St.			
6751 COMMERCIAL GATEWAY DR. Suite 220			
COLUMBIA, MD 21046	Baltimore, MD 21201		
	Phone: (410) 325-8426		

10/27/08 **REVISION TO UPDATE ADDRESS CHART**

DATE NO. REVISION

**Parkview at Emerson**  
 Section 3, Area 4, Parcel A-1  
 Age Restricted Adult Housing-MIH's  
 6th Election District - Howard County, Maryland

**Landscaping Notes & Details**

REVISIONS

**SITE RESOURCES**  
 Incorporated  
 Comprehensive Land Planning & Site Design Services

14315 Jarrettsville Pike - Phoenix, Maryland 21131  
 (410) 683-3388 - Fax (410) 683-3389

DRAWN BY: G.L.K. CONTRACT NO.:

DESIGNED BY: K.R.K. SCALE: 1" = 40'

CHECKED BY: K.R.K. SRI PROJECT NO: 06010.B

DATE: Apr. 9, 2008 SHEET 13 OF 13

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *[Signature]* 4/10/08 DATE

Chief, Development Engineering Division: *[Signature]* 4/10/08 DATE

Director: *[Signature]* 4/10/08 DATE