

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 513-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-1111 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
TAX MAP: 41
ELECTION DISTRICT: 5
ZONING: MXD-3 PER ZB-495M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO PER THE 2/02/04 COMPREHENSIVE ZONING PLAN.
AREA OF BUILDABLE LOTS (Nos. 33-55 & 87-103) FOR THIS SITE DEVELOPMENT PLAN: 2,524 ACRES.
FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos. 5-01-17, ZB-495M PD-353, KP-01-11, KP-03-02, F-03-01, F-03-02, F-04-01, F-04-02, SDP-04-82/12/12 (MIDTOWN AREA-1 SCF-P), SDP-05-02/15/16/16/16/16/16/16 (MIDTOWN AREA-2 SCF-P), F-05-81 (P.L. 1716), F-05-82, P-05-02, F-05-83, F-05-12/11/13, F-06-43 (P.L. 18063), F-06-214 AND F-07-112 (P.L. 18714).
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-05-81 AND G.M. SURVEY IN MARCH 2006.
- COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 41EA & 46B2.
- STORMWATER MANAGEMENT, FOR BOTH QUALITY (QW) AND QUANTITY (QV), HAS BEEN SATISFIED BY A REGIONAL FACILITY CONSTRUCTED UNDER F-05-81 ON OPEN SPACE LOT 60. THE FUND WILL BE PUBLICLY OWNED AND MAINTAINED.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY N&S CONTRACT NO. 24-4238-D). WATER METERS ARE LOCATED IN THE METER VALVS WITHIN THE PUBLIC ROAD RIGHT-OF-WAY. SEWER HOUSE CONNECTION (SHC) ELEVATIONS ARE SHOWN AT THE PROPERTY LINE.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION. FOR DRIVEWAY ENTRANCE WITHIN THE PUBLIC ROADWAYS, SEE HOWARD COUNTY OPW STD. R-6.01.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS (Nos. 33-55 AND 87-103) SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE MIDTOWN DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY APPROVAL AND IMPLEMENTATION OF F-05-81 AND F-06-43. ALL FOREST CONSERVATION OBLIGATIONS ARE ADDRESSED UNDER F-05-81.
- FINANCIAL SURETY (\$9,450,000) FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEETS 6 & 7 TO SATISFY 5-01-17 DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 7 AND THE GRADING PERMIT CHART ON SHEET 1.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH = 20' MIN SERVING MORE THAN ONE RESIDENCE
B. SURFACE = 6" OF COMPACTED CRUSHER RUN BASE WITH A CHIP COATING (1-1/2" MIN)
C. GEOMETRY = MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADINGS)
E. DRAINABLE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY.
- BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 12B.1 OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
- AS A CONSEQUENCE OF THE SKETCH PLAN 5-01-17 APPROVAL PRIOR TO 11-05-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 135.D.2.a OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURBS WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERLAP PARKING, THE ON-STREET PARKING AREA WILL NOT BE STRIPPED.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, FAVNS AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- ON 10/26/06, THE HOWARD COUNTY PLANNING BOARD APPROVED THIS SDP WITH THE FOLLOWING REQUESTED SETBACK REDUCTIONS:
1) FROM A 20' REAR SETBACK TO A MINIMUM OF 15' FOR THE PRINCIPAL STRUCTURES AND DECKS FROM 10' MINIMUM TO 8' LOCATED ON LOTS 87 THRU 103, AND
2) FROM A 10' MINIMUM SIDE TO SIDE SETBACK TO 6' FOR THE UNITS LOCATED ON LOTS 49, 54, 52 AND 53 AS REQUIRED BY THE MLF DEVELOPMENT CRITERIA.

LOT DEVELOPMENT DATA

- GENERAL SITE ANALYSIS DATA
A. PRESENT ZONING: MXD-3 PER ZB-495M
B. PROPOSED USE OF SITE: 40 SFA RESIDENTIAL DWELLINGS
C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTRACT# 24-4238-D)
D. PARKING REQUIRED PER 506.133 D.2.a: 2 SPACES/UNIT x 40 + 80 SPACES
PARKING PROVIDED: 80 GARAGE SPACES (ALL LOTS HAVE A 2-CAR GARAGE) + 34 DRIVEWAY SPACES (FOR LOTS 87-103) = 114 SPACES TOTAL.
(SEE NOTE 2) ABOVE REGARDING PARKING)
E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-05-81 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- AREA TABULATION
A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 1,071,614 SF OR 2,524 AC.
B. AREA OF THIS PLAN SUBMISSION: 2,524 ACRES
C. AREA OF DISTURBANCE BY THIS SDP: 2,281 ACRES
- LOT DESIGNATION:

LOT TYPE	LOT NUMBERS	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FROM EBL	MAX. BUILDING HT.
TOWNHOUSE	33-55 & 87-103	N/A	N/A	50' (MEAN HT.)
- STRUCTURE SETBACKS PER F-05-81 AND PLAT 1714

LOT TYPE	FRONT SETBACK	SIDE SETBACK	MINIMUM REAR SETBACKS *
TOWNHOUSE	0	NONE	20' TO PRINCIPAL STRUCTURE, 3' FOR REAR (DETACHED) GARAGE OR TO ACCESSORY STRUCTURES.

A. BETWEEN SFA BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK, 50' BACK TO FRONT AND 10' FOR ALL OTHER BUILDINGS.
B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROW) SHALL BE 30' APART.
D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS: SECTION 12B.1 APPLIES, EXCEPT FOR THE FOLLOWING:
• PORCHES MAY ENCRoACH INTO THE FRONT YARD TO WITHIN 2' FROM THE PROPERTY LINE OR RIGHT-OF-WAY FOR TOWNHOUSES, COTTAGES AND MANORS. PORCHES MAY ENCRoACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM RIGHT-OF-WAY FOR COTTAGES AND MANORS, WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE. PORCHES MAY ENCRoACH TO WITHIN 1' FROM SIDE PROPERTY LINE FOR COTTAGES AND MANORS.
• STOOPS AND STEPS MAY ENCRoACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
• GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES.

* PER CONCEPT SITE PLAN APPROVED BY THE PLANNING BOARD ON 5/25/06 FOR TOWNHOUSES ON LOTS 33-55, THE MINIMUM REAR SETBACK FOR THE PRINCIPAL STRUCTURE CAN BE REDUCED FROM 20' TO 14'. FOR AN OPEN DECK, THE SETBACK FROM THE REAR PROPERTY LINE CAN BE REDUCED FROM 10' TO 5'.

MAPLE LAWN FARMS

SITE DEVELOPMENT PLAN

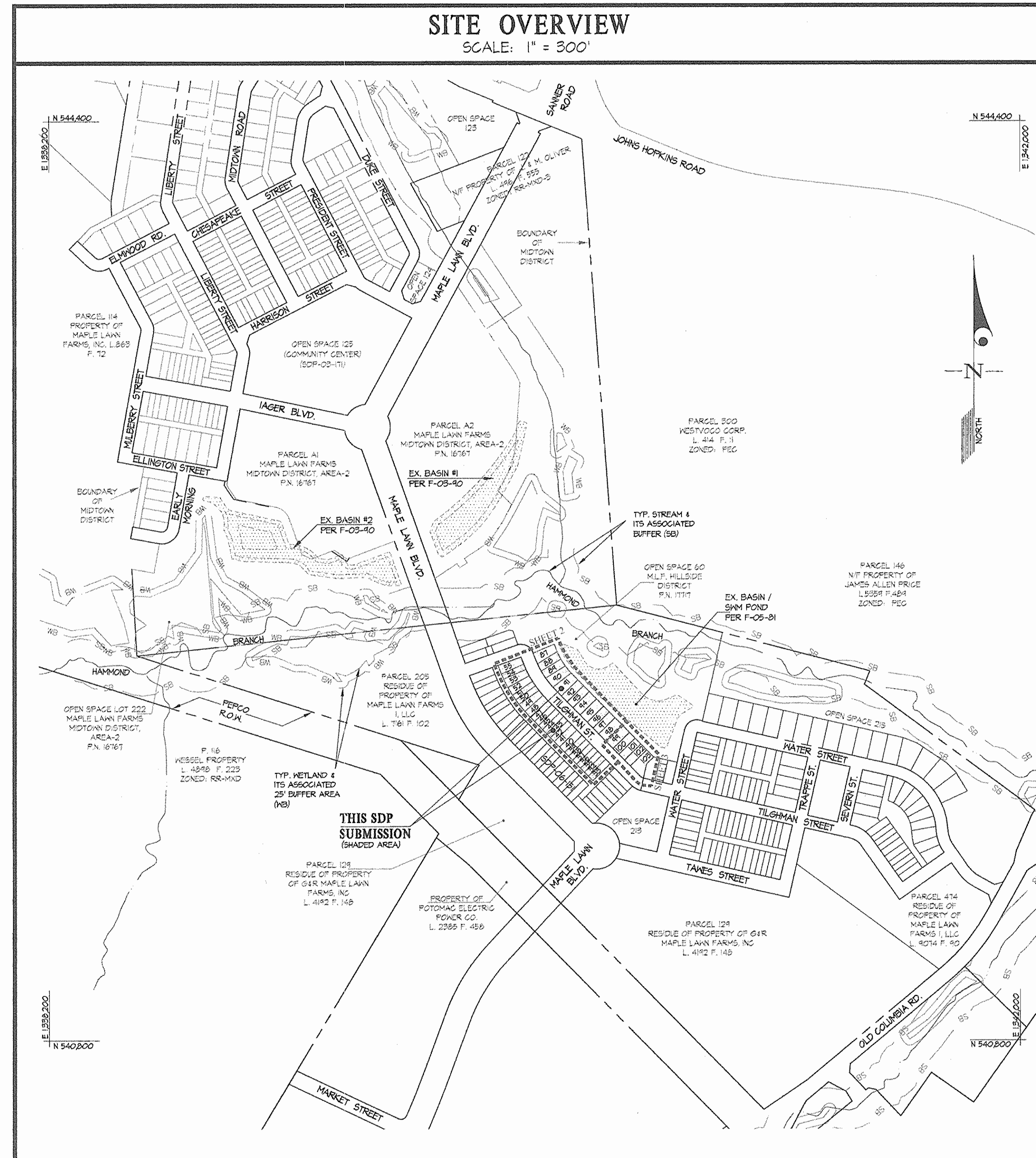
HILLSIDE DISTRICT -- AREA 1

LOTS 33-55 and 87-103

FIFTH ELECTION DISTRICT

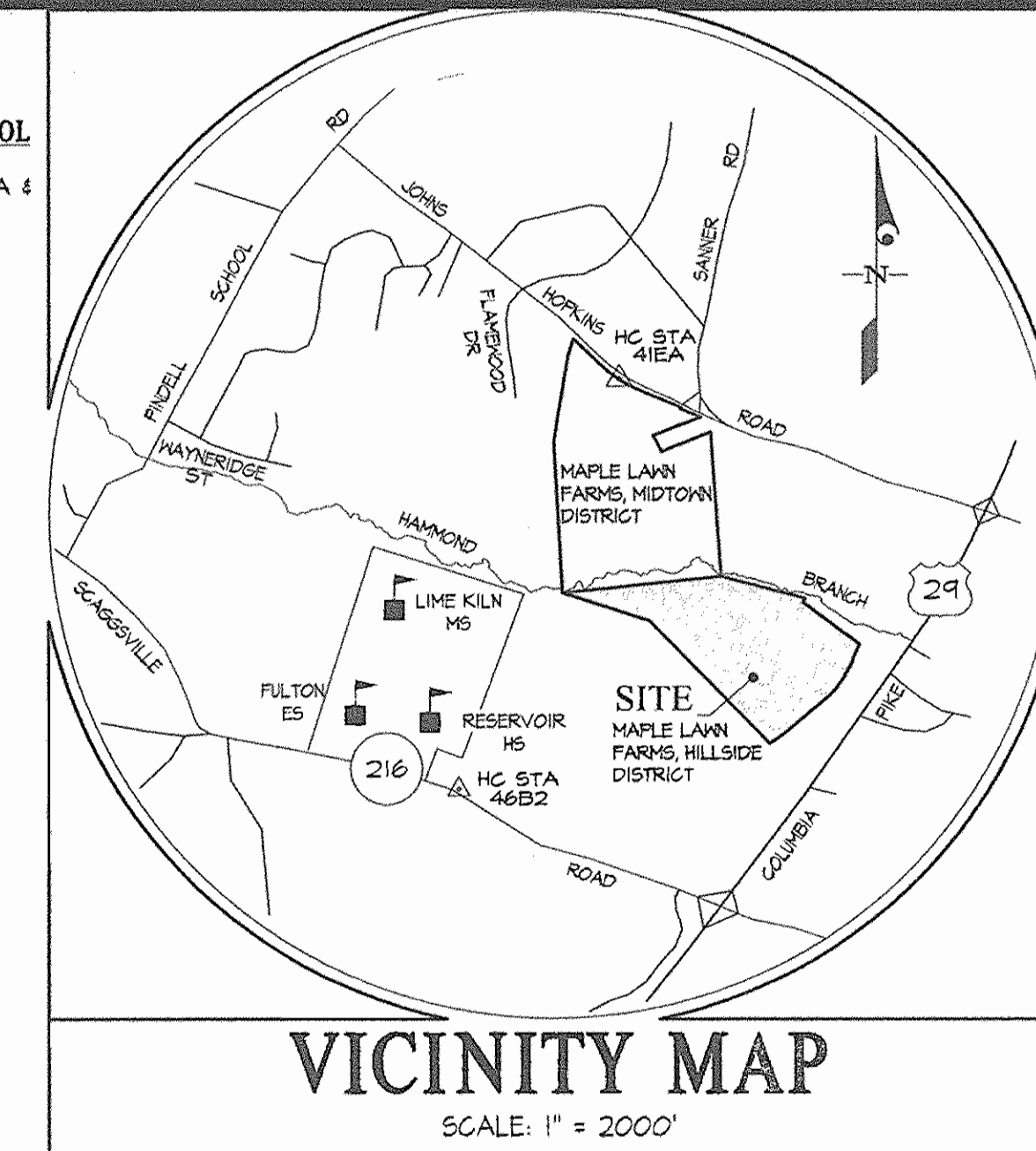
HOWARD COUNTY, MARYLAND

SITE OVERVIEW
SCALE: 1" = 300'



HOWARD COUNTY CONTROL

NAD83 HORIZONTAL DATA & NVD83 VERTICAL DATA
 41EA N 544825.809
 E 1834217.444
 ELV.=407.053
 46B2 N 539487.1271
 E 1837218.484
 ELV.=474.671



OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS

PHASE NUMBER (AND NAME)	APPROVED DPZ FILE No.	PHASE AREA GROSS ACRES	REQUIRED OPEN SPACE (50% OF GROSS AC.)	OPEN SPACE PROVIDED IN AC. (6)	REQUIRED ACTIVE OPEN SPACE IN AC. **	ACTIVE RECREATION O.S. PROVIDED IN AC. (6) ***
1 (BUSINESS DISTRICT, AREA-1)	F-05-01	51.98	18.14	21.15 (40.1%)	1.82	
2 (MIDTOWN DISTRICT, AREA-1)	F-05-40	37.43	19.10	15.75 (42.1%)	1.51	1.52 (41.1%)
3 (MIDTOWN DISTRICT, AREA-2)	F-04-42	58.80	29.58	22.85 (39.0%)	2.06	
4a (HILLSIDE DISTRICT, AREA-1)	F-05-81	15.47	5.41	6.70 (43.3%)	0.54	0.24 (4.3%)
4b (MIDTOWN DISTRICT, AREA-3)	F-05-134	0.00	0.00	0.00	0.00	
4c (BUSINESS DISTRICT, AREA-2)	F-05-12/11/13	3.00	1.05	0.00	0.10	
4d (HILLSIDE DISTRICT, AREA-2)	F-06-43	0.00	0.00	0.00	0.00	
TOTAL		166.68	58.33	66.45 (39.9%)	5.83	1.81 (11.8%)

* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACRES.
 ** 50% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.
 *** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACRES).
 (1) 1.52 AC. = COMMUNITY CENTER (0.5 - 5.01 AC.), 0.5 (0.95 AC.) AND 0.5 (0.96 AC.)
 (2) 0.24 AC. = PATHWAYS
 OPEN SPACE LOTS 126 AND 230 ARE CONSIDERED RECREATIONAL. SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

THIS PLAN HAS SET UP TO ALLOW MULTIPLE GRADING PERMITS, IN ACCORDANCE WITH APPLICABLE POLICY FOR MLF.

LOT GROUPS	DISTURBED AREA	LANDSCAPE SURETY AMOUNT	LANDSCAPE INSPECTION FEES PAID
33-55	1.45 AC.	\$ 4,470.00	\$ 100.00
87-103	136 AC.	\$ 4,980.00	\$ 100.00
TOTAL	2.81 AC.	\$ 9,450.00	\$ 200.00

WITHIN 1 YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMITS TO INITIATE THE CONSTRUCTION ON THIS SDP. THE BUILDER SHALL APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 2 YEARS OF ITS APPROVAL.

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN / SITE DETAILS
- SEDIMENT & EROSION CONTROL PLAN
- SEDIMENT CONTROL NOTES & DETAILS
- LANDSCAPE PLAN NOTES & DETAILS
- LANDSCAPE PLAN, NOTES & DETAILS

ADDRESS CHART

LOT No.	STREET ADDRESS	LOT No.	STREET ADDRESS
33	7158 TILGHMAN STREET	87	7114 TILGHMAN STREET
34	7156	88	7121
35	7154	89	7123
36	7152	90	7125
37	7150	91	7127
38	7148	92	7129
39	7146	93	7131
40	7144	94	7133
41	7142	95	7135
42	7140	96	7137
43	7138	97	7139
44	7136	98	7141
45	7134	99	7143
46	7132	100	7145
47	7130	101	7147
48	7128	102	7149
49	7126	103	7151
50	7124		
51	7122		
52	7120		
53	7118		
54	7116		
55	7114		
56	7112		
57	7110		
58	7108		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 2/21/07
 Chief, Division of Land Development: *[Signature]* Date: 2/21/07
 Chief, Development Engineering Division: *[Signature]* Date: 2/15/07

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 10/26/06
 vs.

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3808 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BALT: 410-880-1829 DC/VA: 301-588-2524 FAX: 301-421-4185	PREPARED FOR: BUILDER/LOT OWNER: MILLER AND SMITH AT MAPLE LAWN L.L.C. 8401 GREENSBORO DRIVE, SUITE 300 MCLEAN, VIRGINIA 22102 PH: 703-821-2500 x 236 attn: COLLEEN DWELLEY	COVER SHEET MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 1: LOT Nos. 33-55 and 87-103 (SFA RESIDENTIAL USE) PLAT Nos. 1716, 18063 & 18674 ELECTION DISTRICT No. 5	SCALE: AS SHOWN DATE: JAN/07	ZONING: MXD-3 TAX MAP - GRID: 41	G. L. W. FILE No.: 06013 SHEET: 1 OF 7
			HOWARD COUNTY, MARYLAND	DATE: 10/26/06	REVISION: _____ BY: _____ APPR: _____

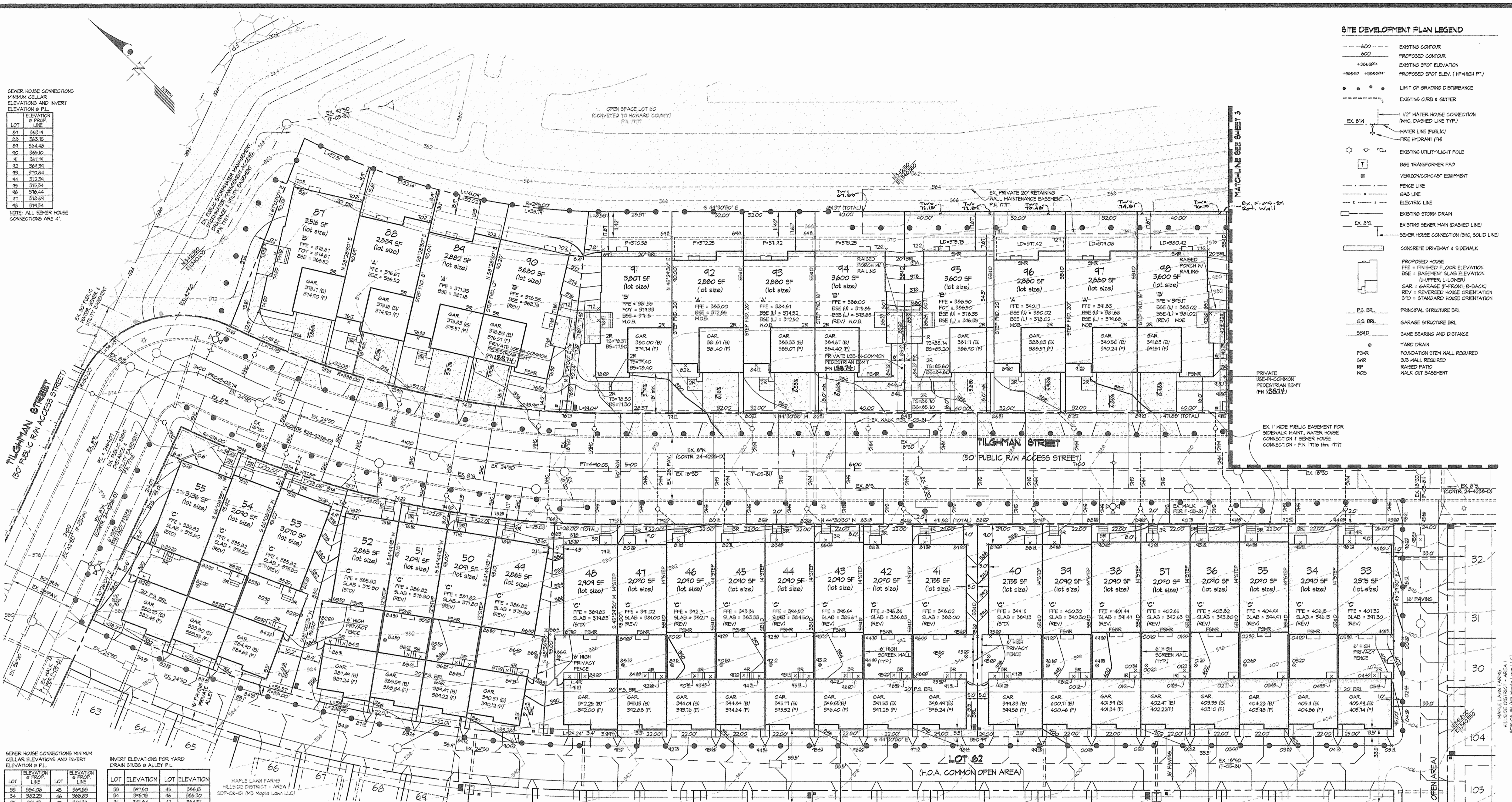
SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATION @ P.L.

LOT	ELEVATION @ PROP. LINE
87	363.11
88	365.75
89	364.48
90	365.12
91	362.71
92	366.96
93	370.84
94	372.28
95	375.24
96	376.44
97	378.64
98	379.24

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

SITE DEVELOPMENT PLAN LEGEND

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- 364.00X --- EXISTING SPOT ELEVATION
- 360.00 --- PROPOSED SPOT ELEV. (H=HIGH FT)
- --- LIMIT OF GRADING DISTURBANCE
- --- EXISTING CURB & GUTTER
- EX 8" W --- 1/2" WATER HOUSE CONNECTION (MHC, DASHED LINE TYP.)
- --- WATER LINE (PUBLIC)
- --- FIRE HYDRANT (FH)
- --- EXISTING UTILITY/LIGHT POLE
- --- BSE TRANSFORMER PAD
- --- VERTICOM/COMCAST EQUIPMENT
- --- FENCE LINE
- --- ELECTRIC LINE
- --- EXISTING STORM DRAIN
- --- EXISTING SEWER MAIN (DASHED LINE)
- --- SEWER HOUSE CONNECTION (S.H.C., SOLID LINE)
- --- CONCRETE DRIVEWAY & SIDEWALK
- --- PROPOSED HOUSE
- --- FFE = FINISHED FLOOR ELEVATION
- --- BSE = BASEMENT SLAB ELEVATION (H=UPPER, L=LOWER)
- --- GAR = GARAGE (F=FRONT, B=BACK)
- --- REV = REVERSED HOUSE ORIENTATION
- --- STD = STANDARD HOUSE ORIENTATION
- --- P.S. BR. --- PRINCIPAL STRUCTURE BR.
- --- G.S. BR. --- GARAGE STRUCTURE BR.
- --- SBAD --- SAME BEARING AND DISTANCE
- --- YARD DRAIN
- --- FSNR --- FOUNDATION STEM WALL REQUIRED
- --- SNR --- SUB WALL REQUIRED
- --- RP --- RAISED PATIO
- --- HOB --- HALK OUT BASEMENT



SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATION @ P.L.

LOT	ELEVATION @ PROP. LINE
33	364.08
34	362.25
35	361.65
36	360.05
37	374.28
38	377.68
39	377.28
40	375.19
41	374.38
42	372.88
43	371.68
44	370.88

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

INVERT ELEVATIONS FOR YARD DRAIN STUBS @ ALLEY P.L.

LOT	ELEVATION	LOT	ELEVATION
33	371.60	45	366.15
34	366.25	46	365.20
35	365.84	47	364.51
36	364.84	48	363.22
37	384.10	49	381.41
38	383.18	50	380.96
39	382.32	51	379.52
40	381.28	52	378.22
41	380.14	53	376.88
42	380.11	54	375.42
43	380.21	55	373.91
44	381.68		

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: 10/26/06
BY: [Signature]

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 2/21/07
 Chief, Division of Land Development: [Signature] Date: 2/14/07
 Chief, Development Engineering Division: [Signature] Date: 2/5/07

- NOTES:
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
 - BRICK POINT ALL BUILDINGS CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL H.O.A.'S TO THE SUBJECT LOTS OF THIS SDP ARE 1 1/2" PER CONTRACT #24-4238-D. THE WATER METER FOR EACH HOUSE SHALL BE LOCATED INSIDE THE BUILDING.
 - SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 1419 FOLIO 242 THROUGH 366).
 - DRIVEWAY APRONS ON TILGHMAN STREET SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPN DET. R-6-01. ALSO SEE GENERAL NOTE 17 ON SHEET 1 FOR OTHER REQUIREMENTS (IF APPLICABLE) REGARDING DRIVEWAYS.

- ALL BUILDING WALLS WITHIN 10' OF A BSE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
- ALL YARD DRAIN INLETS ARE 12" (NYLOPLAST INLINE DRAIN MODEL NO. 2712AG OR EQV.). CONNECT ALL YARD DRAIN INLETS TO THE EXISTING STORM DRAIN STUBS IN THE ALLEY USING ADS N-12 (PIPE TYPE 'S') PIPES. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN (8" MIN) FROM YARD INLET TO THE STORM DRAIN STUBS. PROVIDE 10' MIN COVER OVER THE HOPE PIPES. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPLASH BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.
- THE INTERIOR TOWNHOUSE UNITS ARE EITHER THE "ADDISON" OR THE "AMHERST" MODEL. THE END UNITS ARE EITHER THE "WINDHAM" OR THE "WINDSOR" MODEL (SEE SHEET 3 FOR HOUSE FOOTPRINTS).



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4166

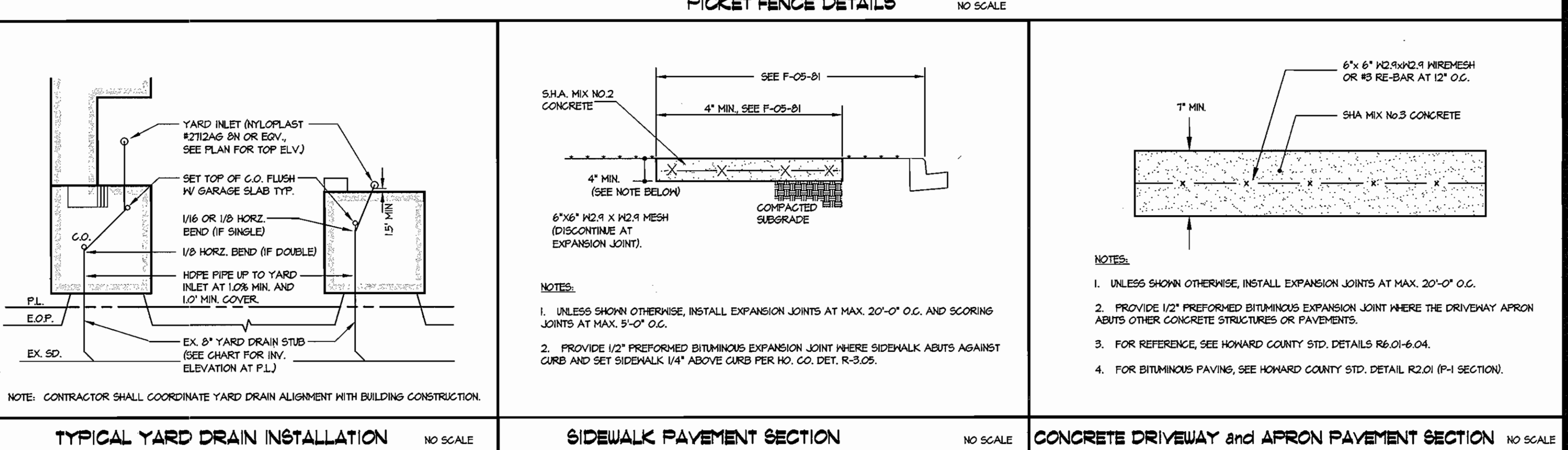
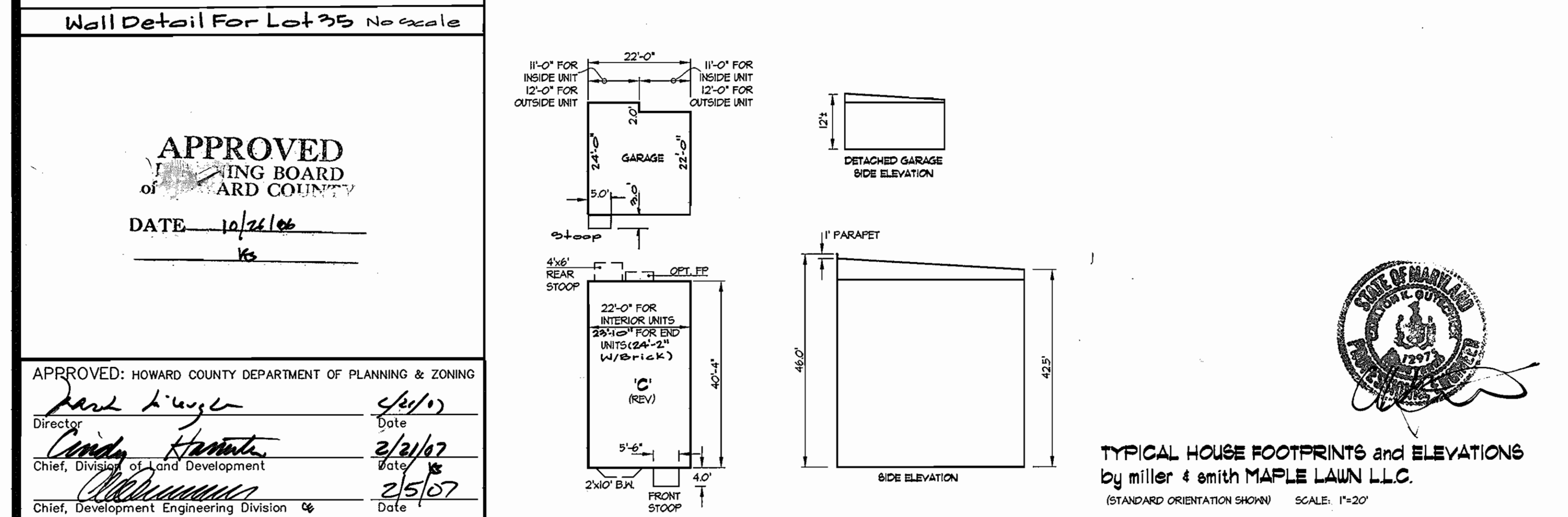
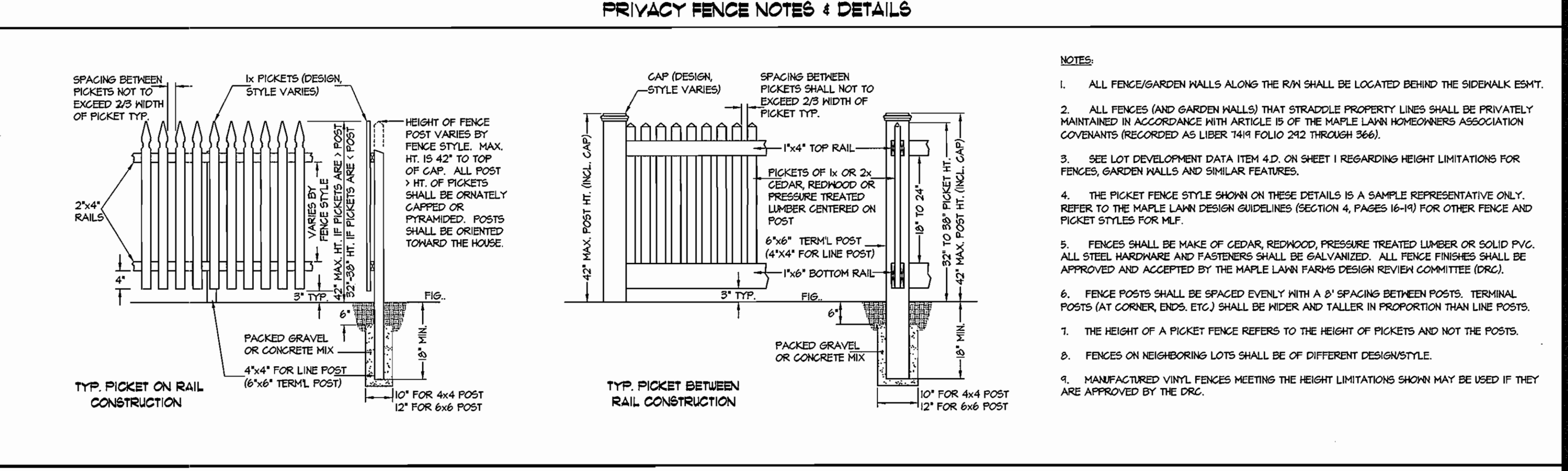
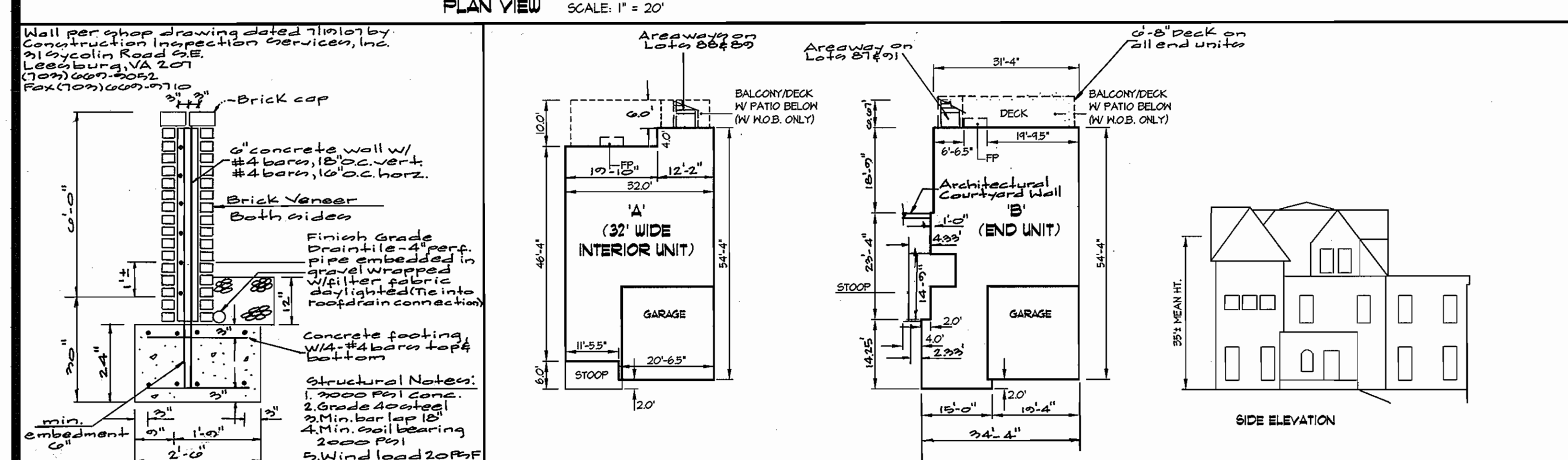
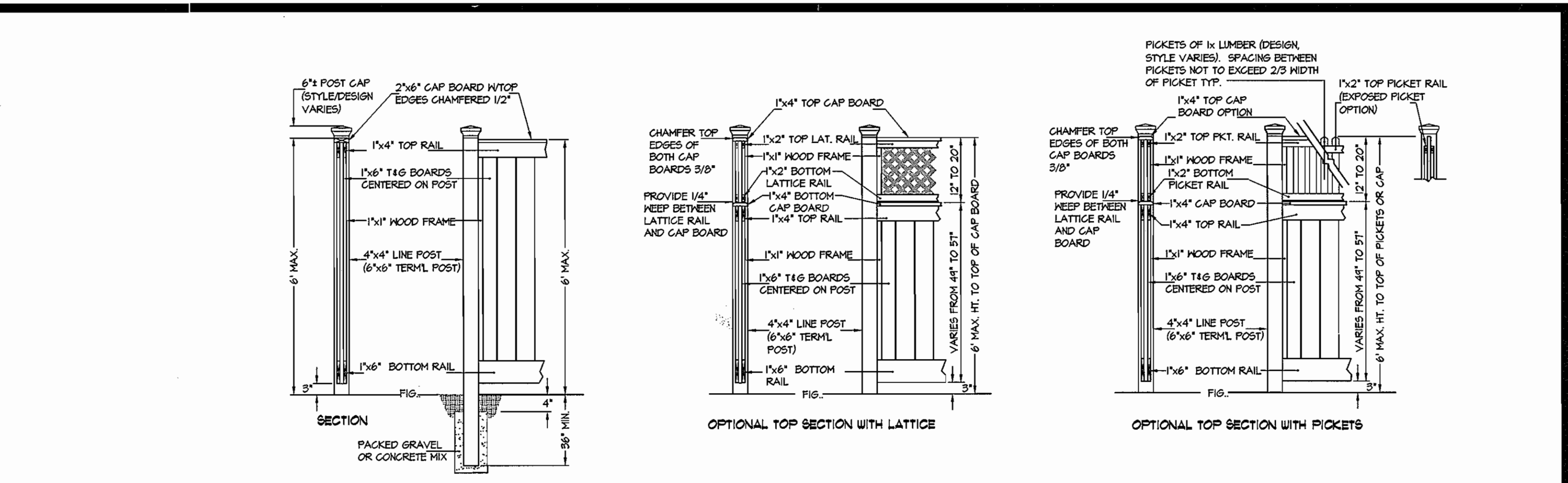
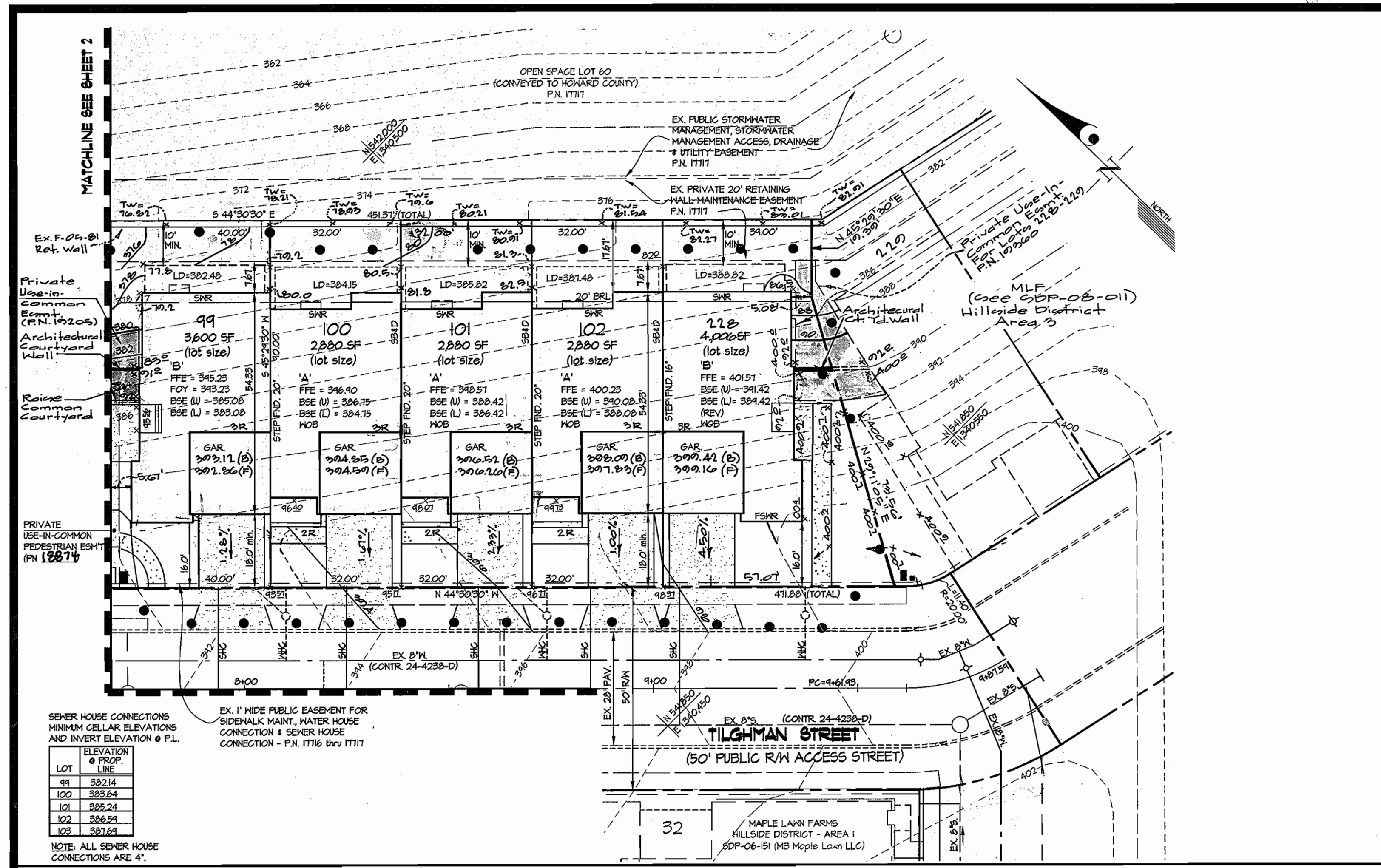
DATE	REVISION	BY	APPR.

PREPARED FOR:
BUILDER/OWNER:
MILLER and SMITH of MAPLE LAWN LLC
8401 GREENSBORO DRIVE, SUITE 300
MCLEAN, VIRGINIA 22102
PH: 703-821-2500 x 236
attn: COLLEEN DWELLEY

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA 1: LOT Nos. 33-55 and 87-103
(SFA RESIDENTIAL USE)
PLAT Nos. 17716, 18063 & 18274

ELECTION DISTRICT No. 5

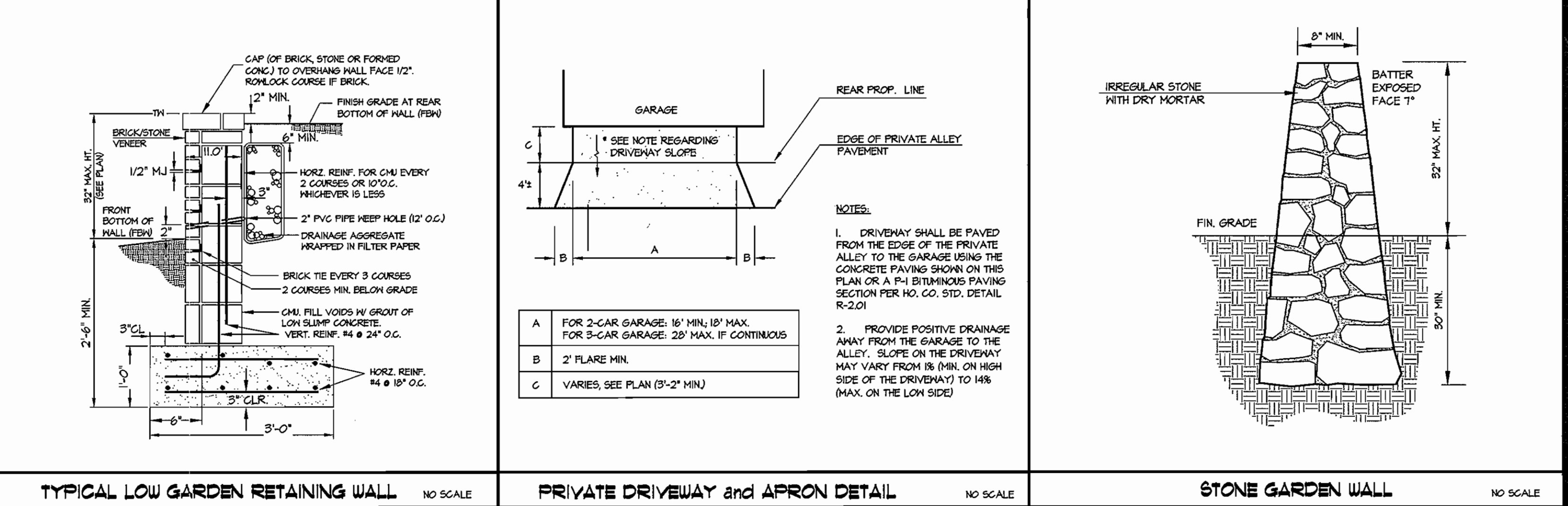
SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
JAN/07	41	2 OF 7



APPROVED
 OF HOWARD COUNTY
 DATE: 10/26/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *David K. Hoyer* 4/21/06
 Chief, Division of Land Development: *Andy Krametz* 2/21/07
 Chief, Development Engineering Division: *William* 2/5/07

DATE	REVISION	BY	APPR.
02/27/09	Rev. Garage elev. for Lots 101 & 102		
01/16/09	Rev. Garage elev. for Lots 99-101		
01/12/08	Rev. Lot 102 to 101B; rev. p.l. added count. lot 101 & 102 & rev. grading		
3/12/07	Rev. A, B & C House Footprints, Lot 99-102; Update House Footprint lead walks		



PREPARED FOR:
 BUILDER/LOT OWNER:
 MILLER AND SMITH OF MAPLE LAWN LLC
 8401 GREENSBORO DRIVE, SUITE 300
 MCKEAN, VIRGINIA 22102
 PH: 703-821-2500 x 236
 attn: COLLEEN DWELLEY

SITE DEVELOPMENT PLAN / SITE DETAILS

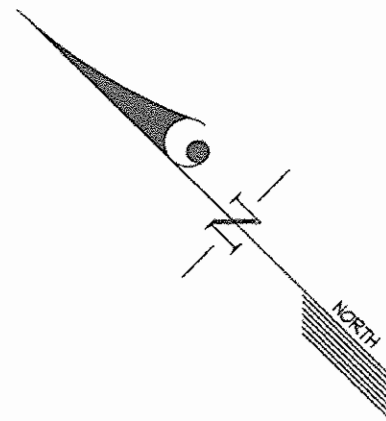
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 1: LOT Nos. 33-55 and 87-103 ± 222-227
 (SFA RESIDENTIAL USE)
 PLAT Nos. 17716, 18063 & 18214 and 19205 and 19200
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
JAN/07	41	3 OF 7

ELECTION DISTRICT No. 5

SEDIMENT CONTROL LEGEND

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- • • • • LIMIT OF GRADING DISTURBANCE
- SF — SILT FENCE
- SSF — SUPER SILT FENCE
- ☐ SCE STABILIZED CONSTRUCTION ENTRANCE



BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Colleen McCall
MILLER AND SMITH OF MAPLE LAWN, LLC.

1/18/07
DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

John R. Robertson

1/22/07
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson
HOWARD S.C.D. 1/23/07
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

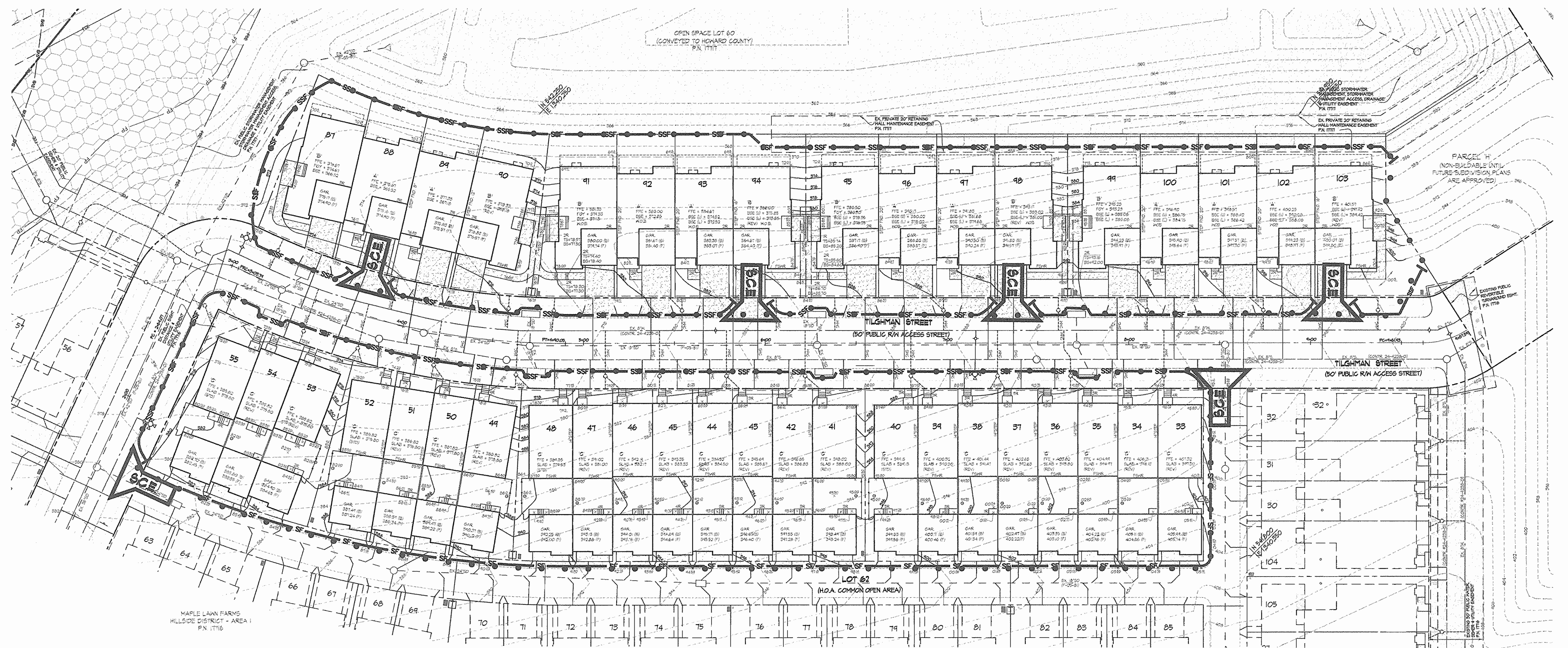
Jim Mann
NATURAL RESOURCES CONSERVATION SERVICE 1/31/07
DATE

**APPROVED
PLANNING BOARD
of HOWARD COUNTY**

DATE 10/26/06
KS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frank L. Taylor 2/2/07
Director Date
David Hamilton 2/21/07
Chief, Division of Land Development Date
William J. Williams 2/5/07
Chief, Development Engineering Division Date



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY.

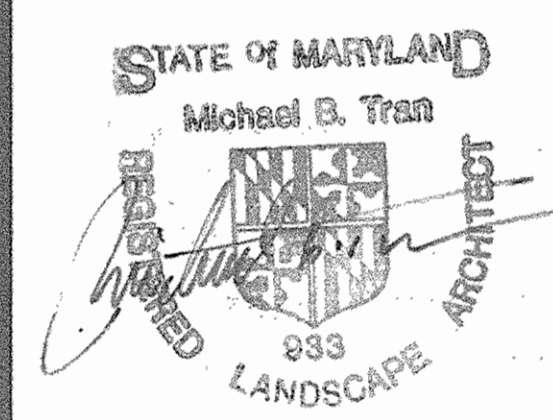
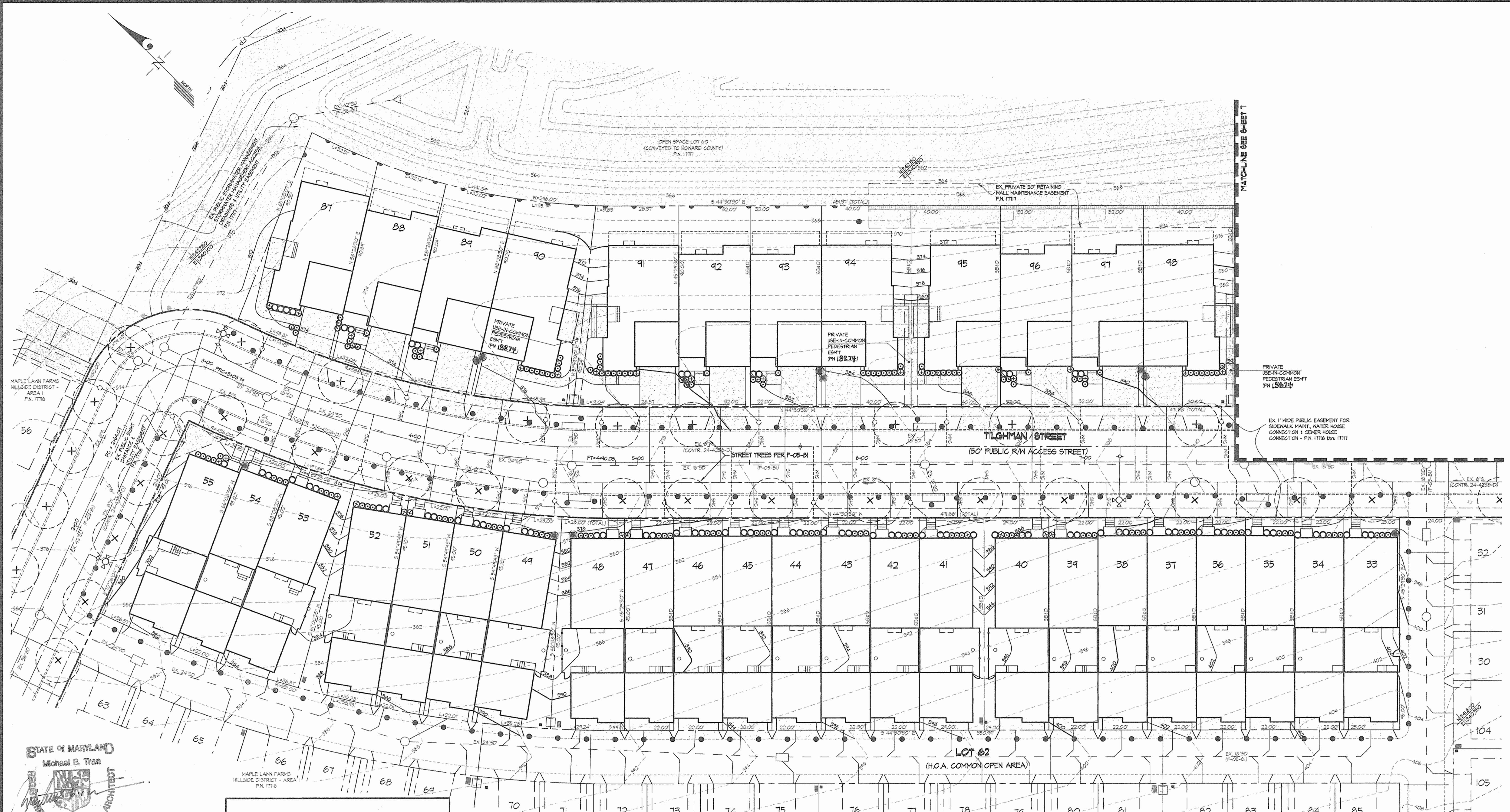
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186
L:\CADD\DRAWINGS\04001\06013\SDP-SFA\06013-SNE.dwg DES. DRN. CHK.

DATE	REVISION	BY	APP'R.

PREPARED FOR:
BUILDER/LOT OWNER:
MILLER AND SMITH OF MAPLE LAWN, LLC.
8401 GREENSBORO DRIVE, SUITE 300
MCLEAN, VIRGINIA 22102
PH: 703-821-2500 x 236
attn: COLLEEN DWELLEY

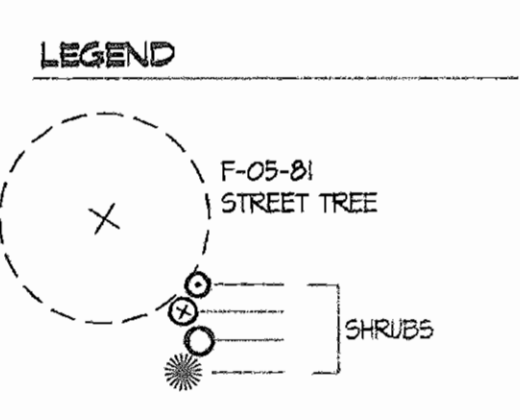
SEDIMENT CONTROL PLAN
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA I: LOT Nos. 33-55 and 87-103
PLAT Nos. 1776, 18063 & 18274
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
JAN/07	41	4 OF 7



APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE 10/24/16



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: Frank J. Geyer Date: 2/21/17

Chief, Division of Land Development: Andy Harris Date: 2/21/17

Chief, Development Engineering Division: [Signature] Date: 2/21/17

THIS PLAN IS FOR PLANTING PURPOSES ONLY.

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VK: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
BUILDER/LOT OWNER:
MILLER and SMITH at MAPLE LAWN L.L.C.
8401 GREENSBORO DRIVE, SUITE 300
MCLEAN, VIRGINIA 22102
PH: 703-821-2500 x 236
attn: COLLEEN DWELLEY

LANDSCAPE PLAN
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA I: LOT Nos. 33-55 and 87-103
(SFA RESIDENTIAL USE)
PLAT Nos. 17716, 18063 & 18874

ELECTION DISTRICT No. 5

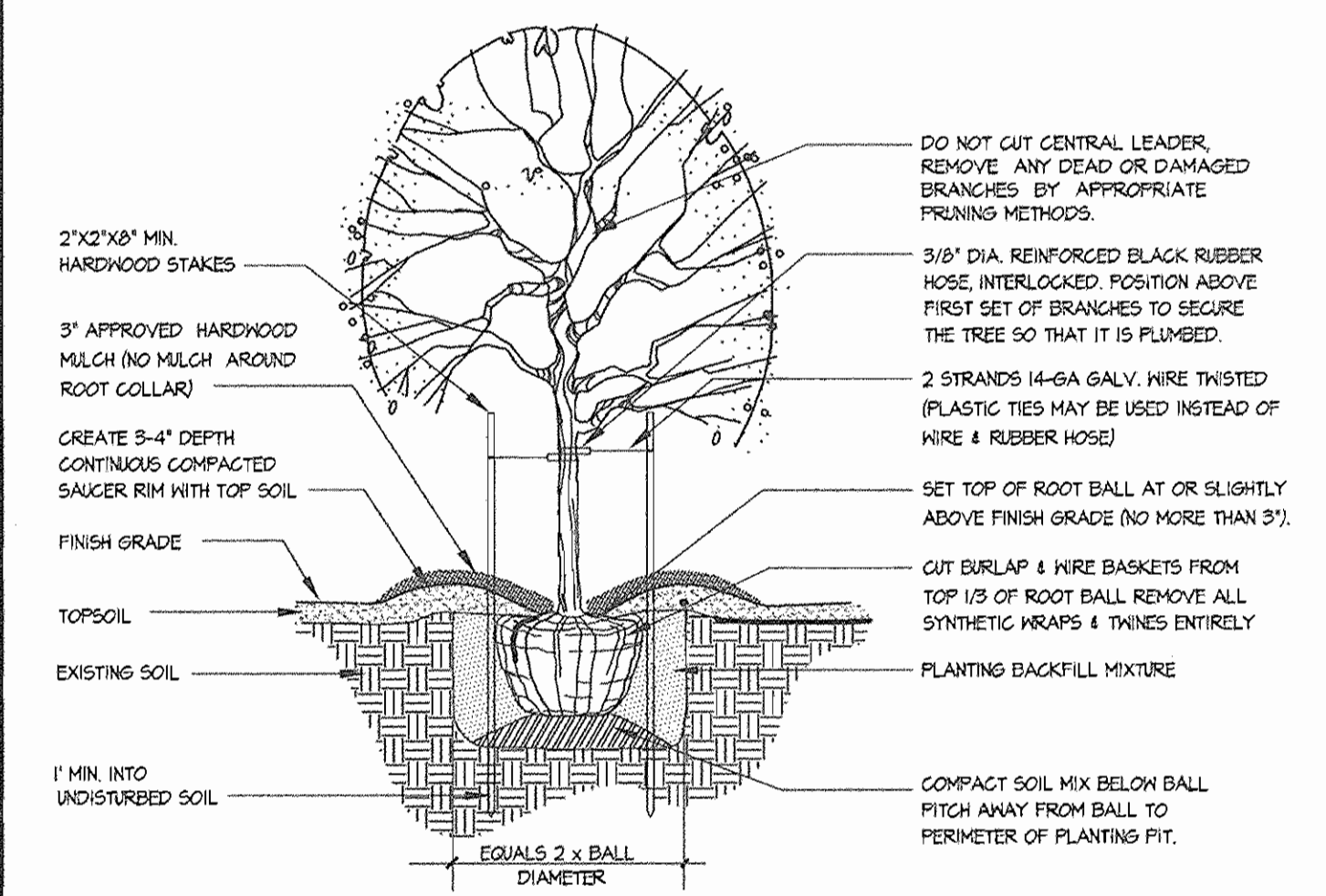
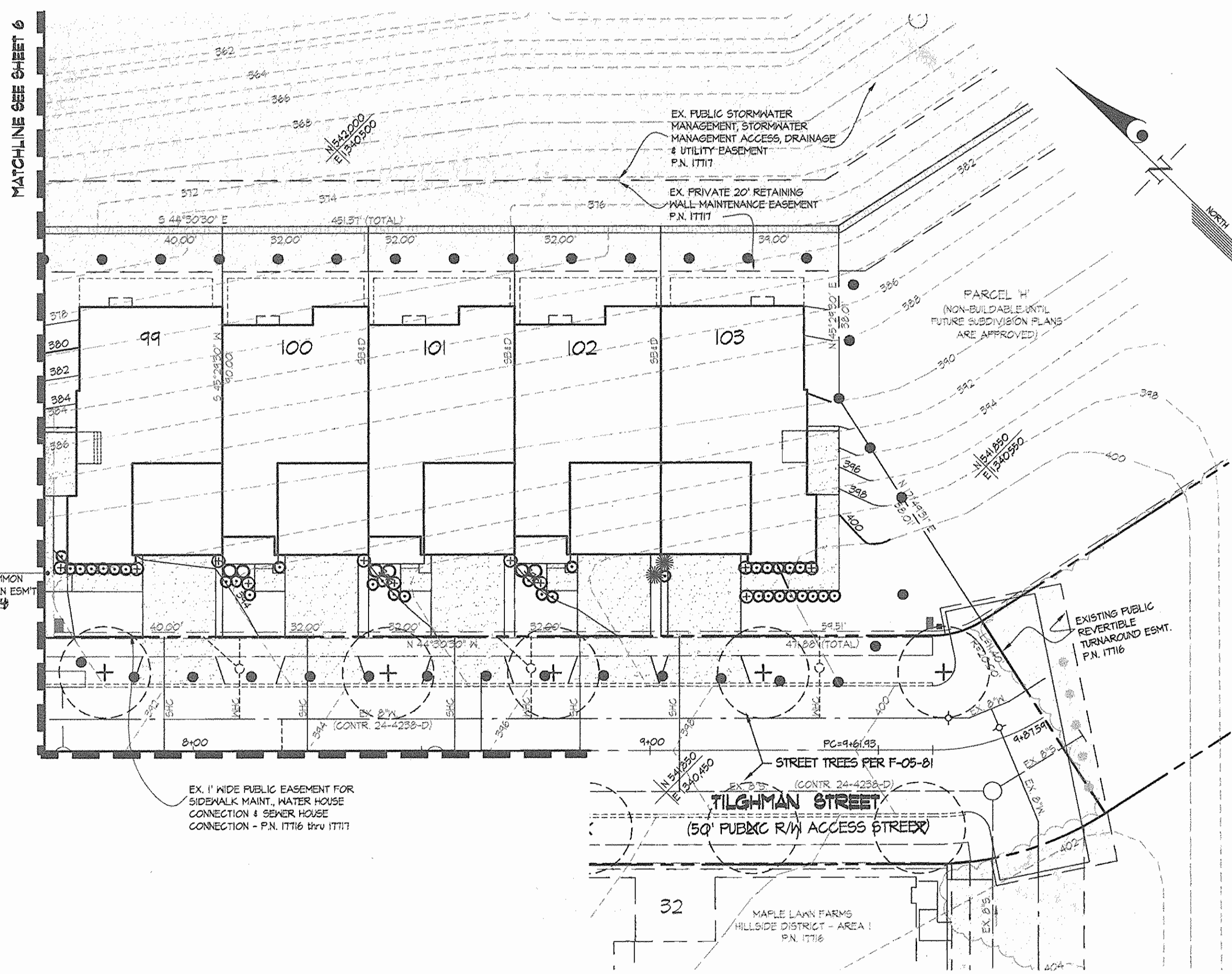
SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
JAN/07	41	6 OF 7

HOWARD COUNTY, MARYLAND

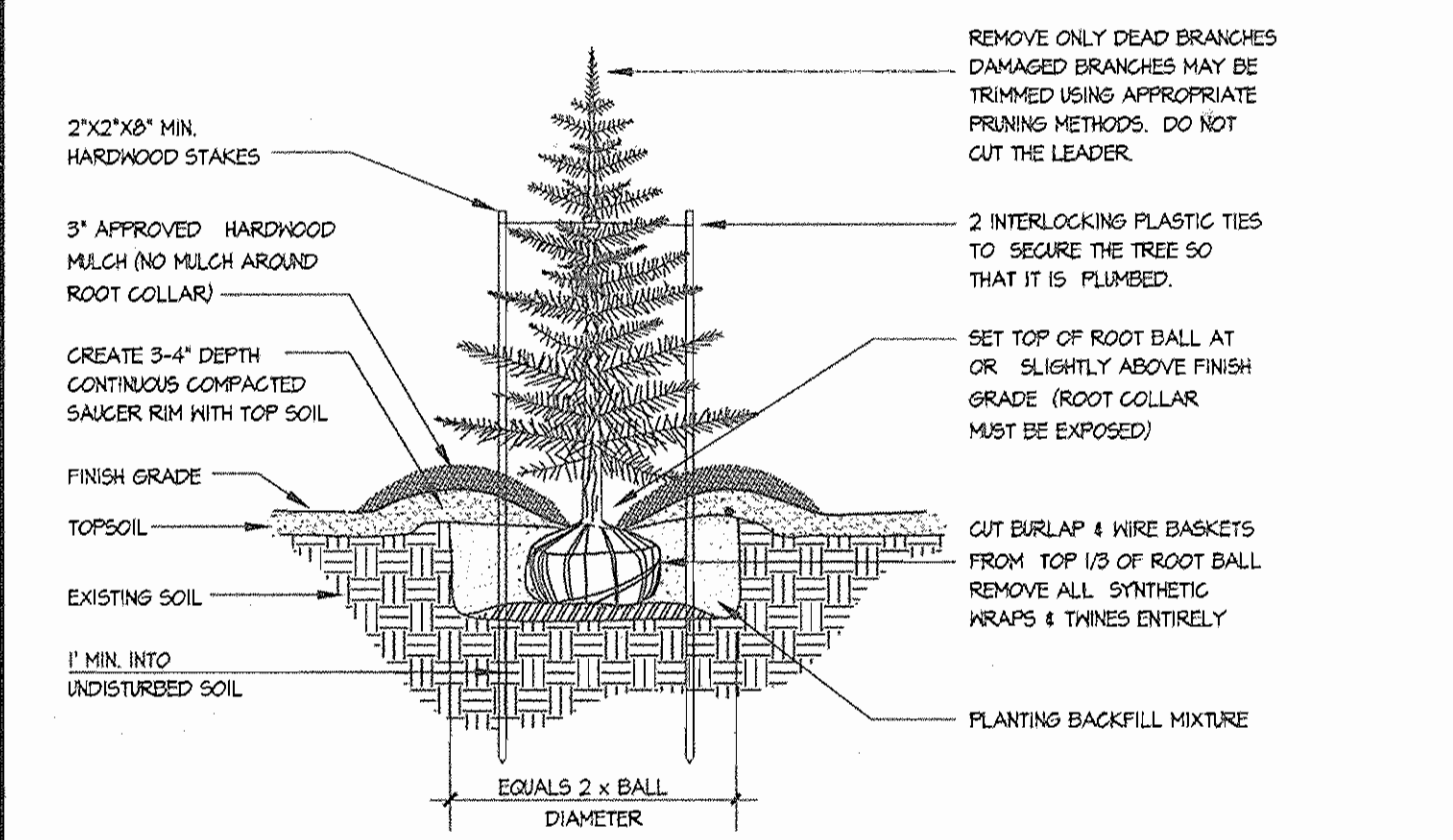
LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.024 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-01-11 AND PB CASE NO. 393.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO. 1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOUDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDED SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 5).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- "SCHEDULE-C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$14,850.00 FOR THE LOTS PER THIS SDP AS FOLLOWS:
 315 SHRUBS AT \$47.00/SHRUB = \$14,850.00
 FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-318-2290. SEE THE CHART BELOW FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.

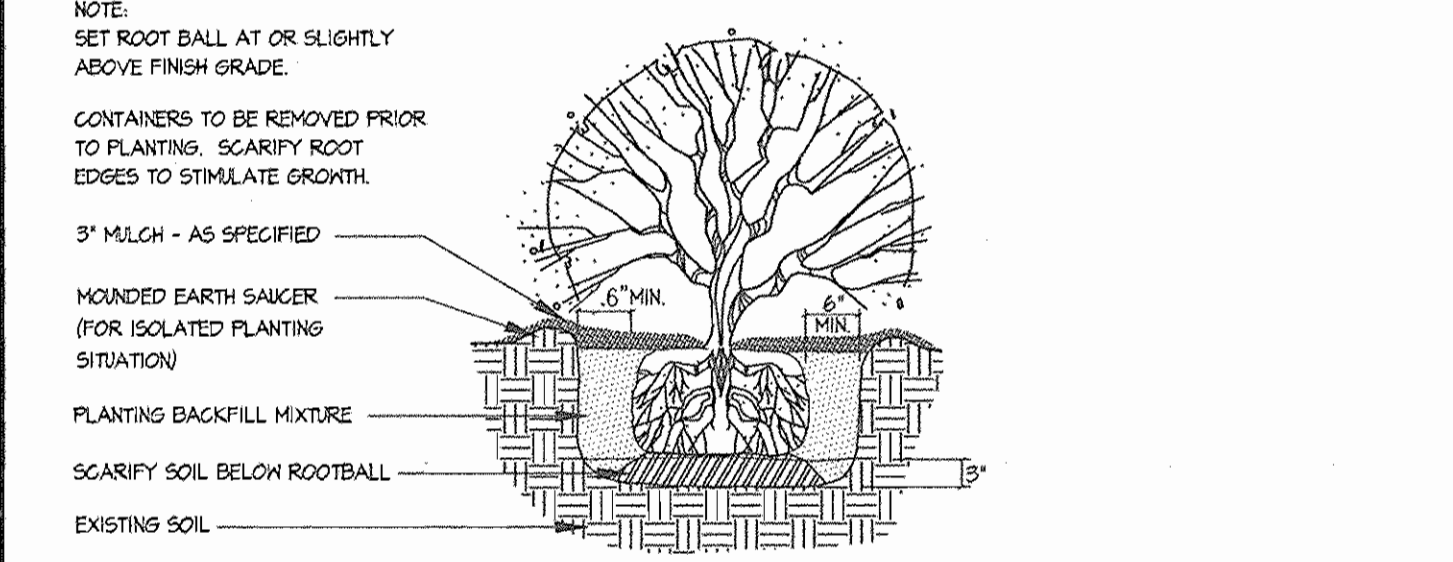
FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-318-2290. SEE THE CHART BELOW FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.



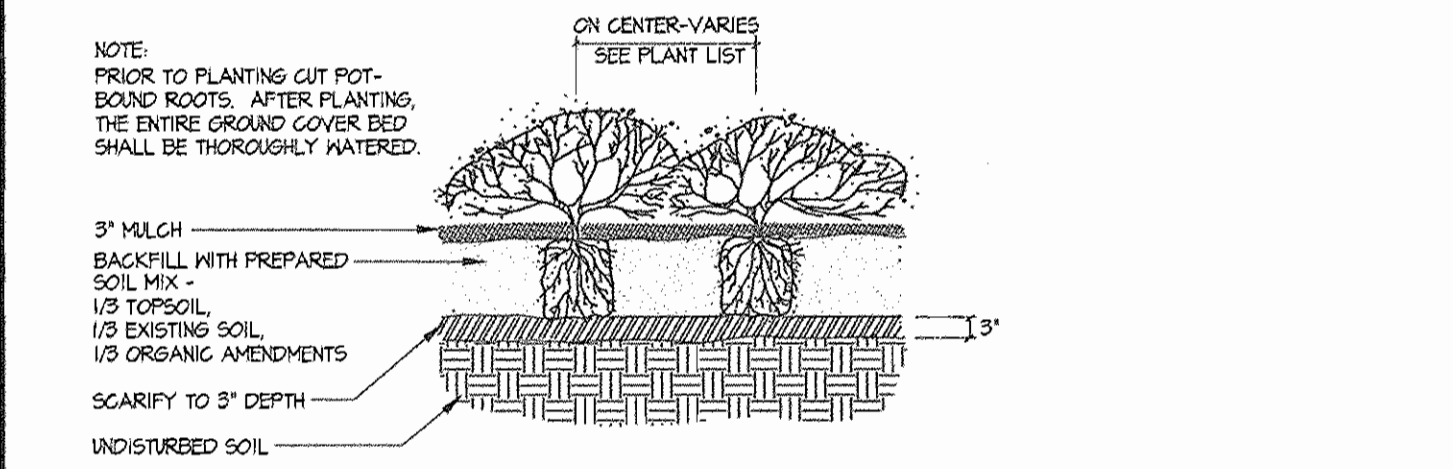
DECIDUOUS TREE PLANTING DETAIL
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



GROUNDCOVER PLANTING DETAIL

RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)				
LOT No.	REQUIRED PLANTINGS SHRUBS IN FRONT YARD AT 1/4 OF LOT WIDTH AT BRL. (SHADE TREES ARE NOT REQUIRED). NO PLANTING IS REQUIRED IN THE SIDE OR REAR YARDS.		PLANTINGS PROVIDED SHRUBS	COMMENTS
	LOT WIDTH	SHRUBS REQUIRED		
33	25'	7	7	
34	22'	6	6	
35	22'	6	6	
36	22'	6	6	
37	22'	6	6	
38	22'	6	6	
39	22'	6	6	
40	21'	6	6	
41	24'	6	6	
42	22'	6	6	
43	22'	6	6	
44	22'	6	6	
45	22'	6	6	
46	22'	6	6	
47	22'	6	6	
48	28'	7	7	
49	25.03'	7	7	
50	22.01'	6	6	
51	22.01'	6	6	
52	25.03'	7	7	
53	28.08'	7	7	
54	22'	6	6	
55	28.45'	6	6	
81	45.81'	12	12	
88	32.08'	6	6	
89	32.01'	6	6	
90	45.81'	12	12	
91	47.41'	12	12	
92	32'	6	6	
93	32'	6	6	
94	40'	10	10	
95	40'	10	10	
96	32'	6	6	
97	32'	6	6	
98	40'	10	10	
99	40'	10	10	
100	32'	6	6	
101	32'	6	6	
102	32'	6	6	
103	10.81'	18	18	

LANDSCAPE SURETY PER LOT		
LOT No.	PLANT QUANTITY SHRUBS	SURETY AMOUNT
33	7	\$210.00
34	6	\$180.00
35	6	\$180.00
36	6	\$180.00
37	6	\$180.00
38	6	\$180.00
39	6	\$180.00
40	6	\$180.00
41	6	\$180.00
42	6	\$180.00
43	6	\$180.00
44	6	\$180.00
45	6	\$180.00
46	6	\$180.00
47	6	\$180.00
48	7	\$210.00
49	7	\$210.00
50	6	\$180.00
51	6	\$180.00
52	7	\$210.00
53	7	\$210.00
54	6	\$180.00
55	6	\$180.00
81	12	\$360.00
88	6	\$180.00
89	6	\$180.00
90	12	\$360.00
91	12	\$360.00
92	6	\$180.00
93	6	\$180.00
94	10	\$300.00
95	10	\$300.00
96	6	\$180.00
97	6	\$180.00
98	10	\$300.00
99	10	\$300.00
100	6	\$180.00
101	6	\$180.00
102	6	\$180.00
103	18	\$540.00
TOTAL	315	\$14,850.00

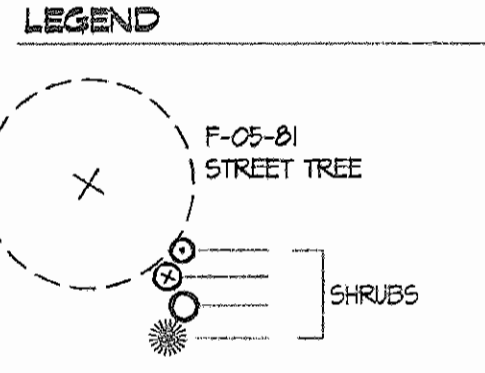
NOTE: AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

THIS PLAN IS FOR PLANTING PURPOSES ONLY.

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.024 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MFL LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 NAME: Colleen McCall DATE: 1/10/07

STATE OF MARYLAND
 Michael B. Tran
 REGISTERED LANDSCAPE ARCHITECT
 333

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: 10/24/06
 [Signature]



PLANT LIST				
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
○	178	ALL 18" - 24" SPREAD	AZALEA VAR. 'SUNPO PINK', 'SUNPO WHITE', 'KAEMPO', COTONEASTER DAMMERI 'CORAL BEAUTY', CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS 'TOM THUMB', TOM THUMB COTONEASTER JONIFERUS HORIZONTALIS VAR. 'JANIPER VAR. 'BAK HAREBOR', 'ANDORRA', 'MILTONI BLUE RUG', JONIFERUS PROCUMBENS 'NANA', 'DIARF', JAPANESE GARDEN JANIPER	ALL CONTAINERIZED
⊙	41	ALL 24" - 30" SPREAD	AZALEA VAR. 'DELMARE VALLEY WHITE', 'WINDY RED', 'WIND ORANGE', BERBERIS THUNDERBOLT ATROPURPUREA 'CRIMSON PYRAM', 'CRIMSON FISHY BARBERRY', DEUTZIA GRACILIS, SLENDER DEUTZIA ILEX CRENATA 'HELLE', 'DIARF', JAPANESE HOLLY ILEX GLABRA 'COMPACTA', 'DIARF', INKBERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPPONICA 'SNOWMOUND', 'SNOWMOUND SPIREA	ALL CONTAINERIZED
○	84	ALL 24" - 30" SPREAD & 25' - 3' HT.	EVONYMUS ALATIS 'COMPACTA', DIARF 'INSEDIUM', EVONYMUS KLATSCHOVICUS 'MANHATTAN', 'MANHATTAN EVONYMUS MAHONIA BEALEI / LEATHERLEAF MAHONIA OSMANTHUS HETEROPHYLLUS 'GALTIFFE', 'SWEET HOLLY RHODODENDRON HYBRID VAR. 'GAT', 'ALEX', 'GAT', 'GRANDIFLORA', 'ENGLISH ROSEM', 'ROSEM ELEGANS', RHODODENDRON 'F.M.', 'F.M. RHODODENDRON TAXUS CUSPIDATA 'NANA', 'DIARF', JAPANESE YEW VIBURNUM CALESII / KOREAN SPICE ARBORVITAE	ALL CONTAINERIZED
●	12	ALL 3" - 4" HT.	ILEX VERTICILLATA VAR. 'HINTERBERRY HOLLY VAR. 'CARDINAL', 'JIM DANDY', 'RED SPRITE', 'WINTER RED', 'SPARKLEBERRY', JONIFERUS CHINENSIS 'BLUE POINT', 'BLUE POINT JANIPER TAXUS MEDIA 'NIGRA', 'NIGRA YEW TAXUS OCCIDENTALIS 'EMERALD GREEN', 'EMERALD GREEN ARBORVITAE	ALL CONTAINERIZED

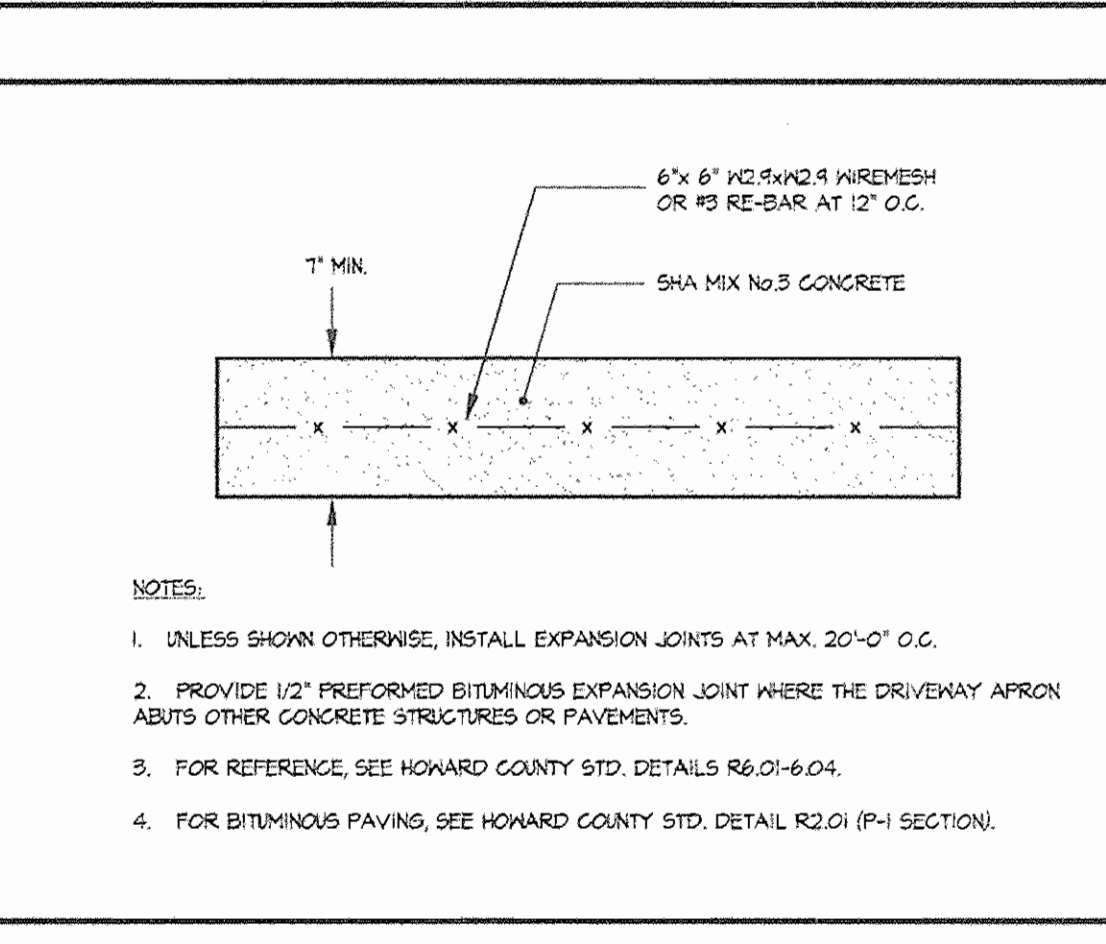
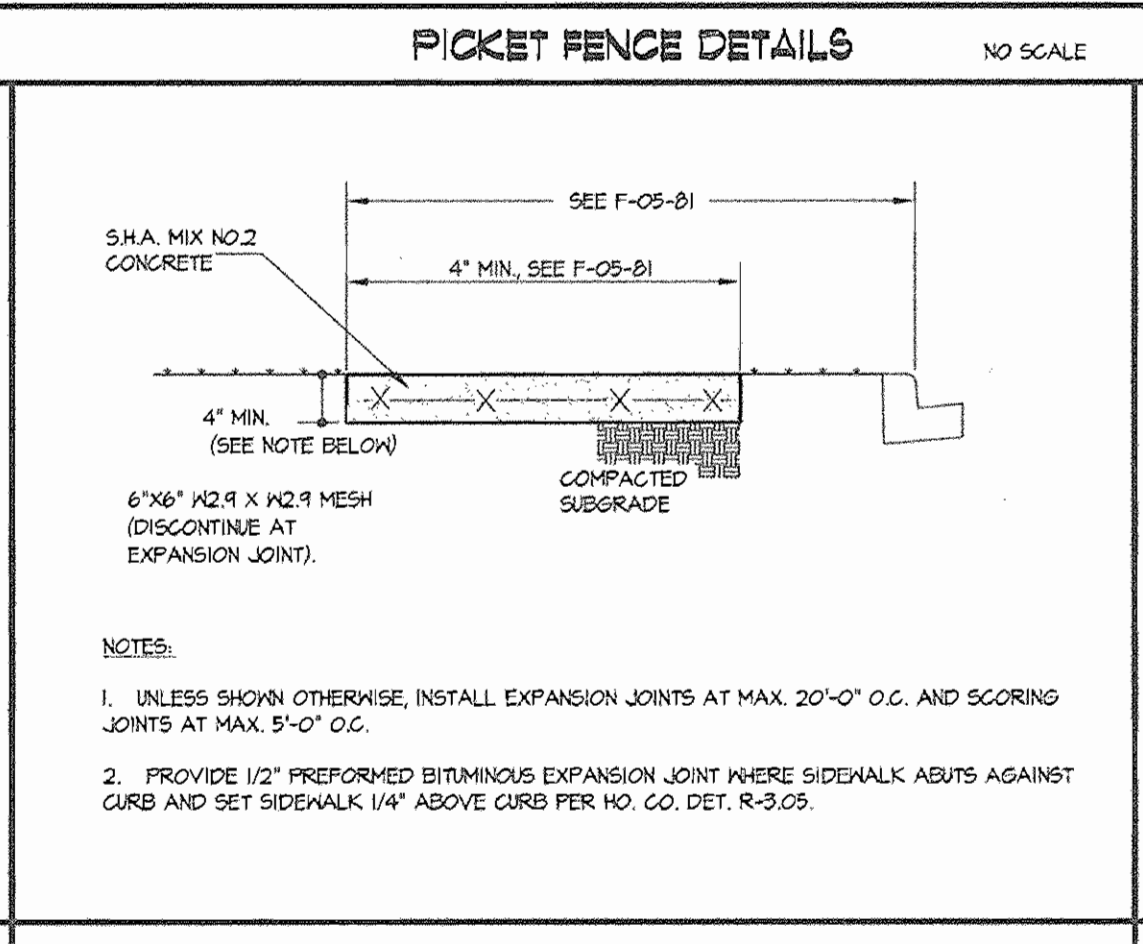
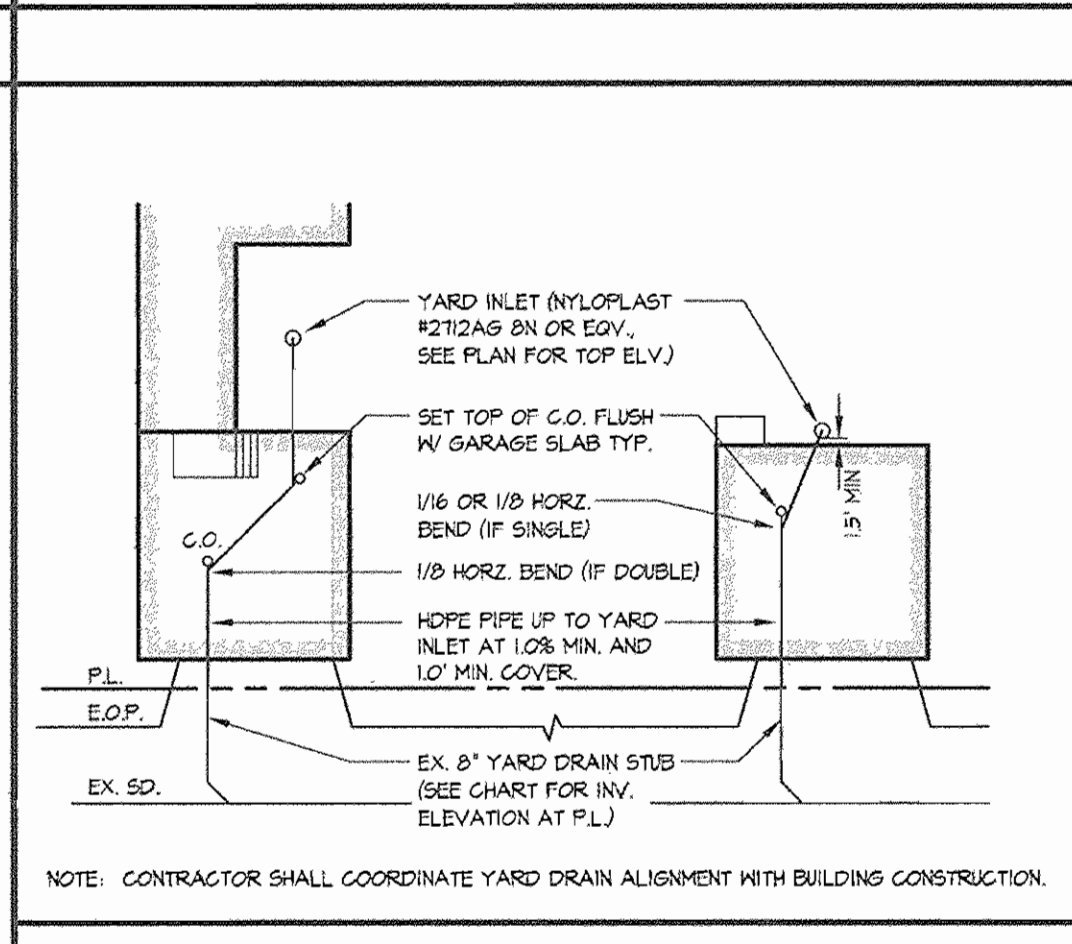
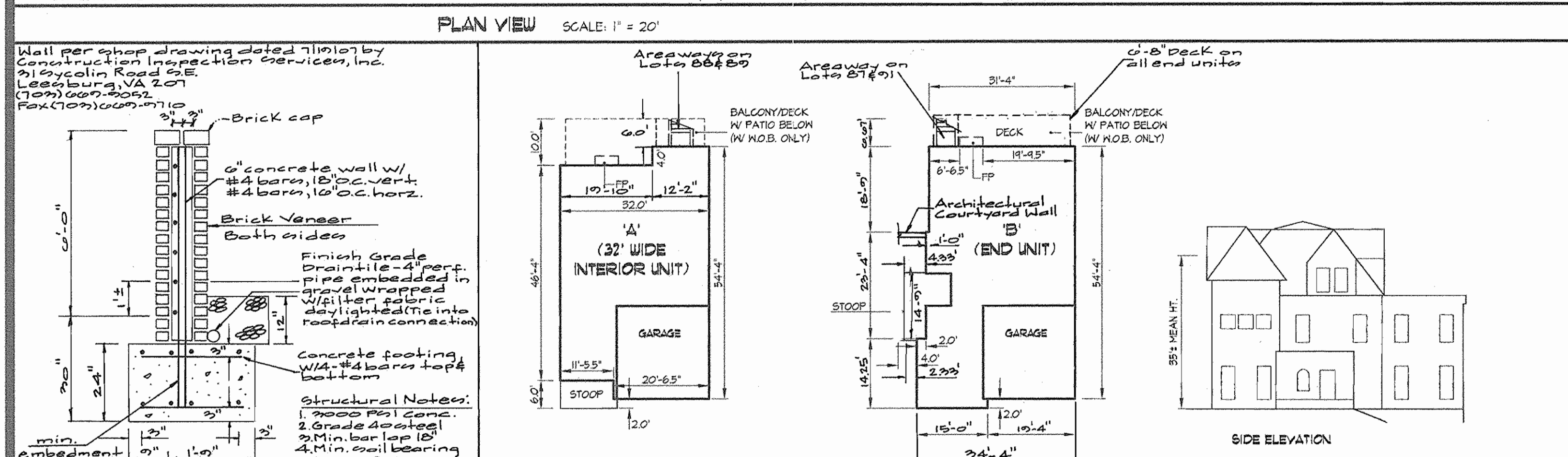
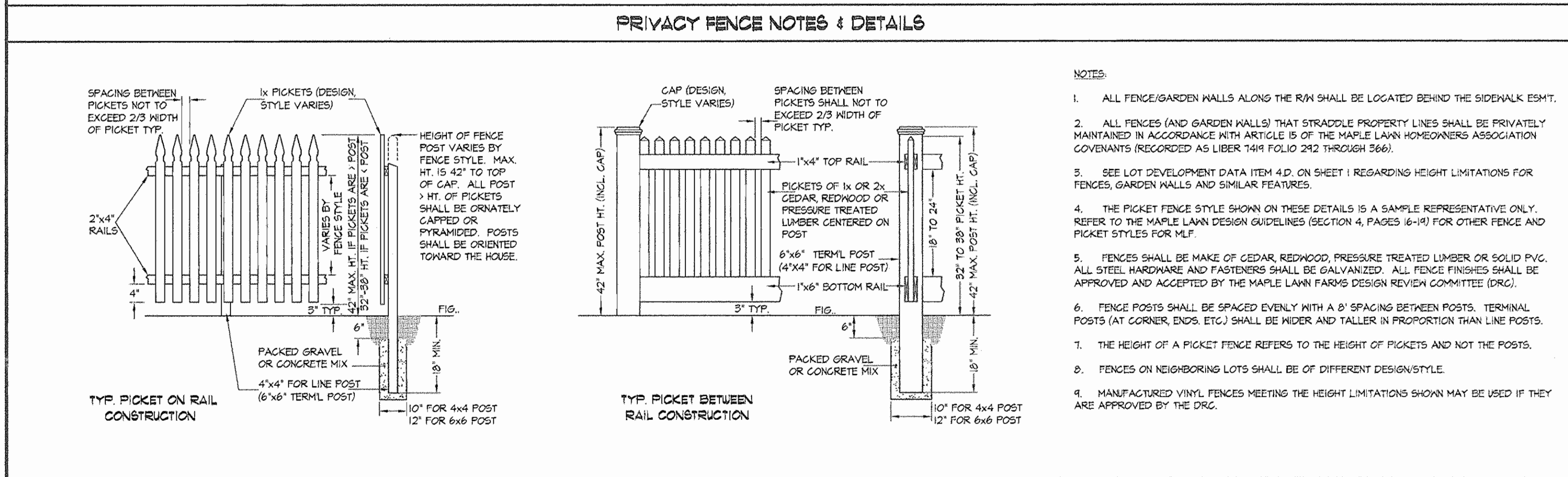
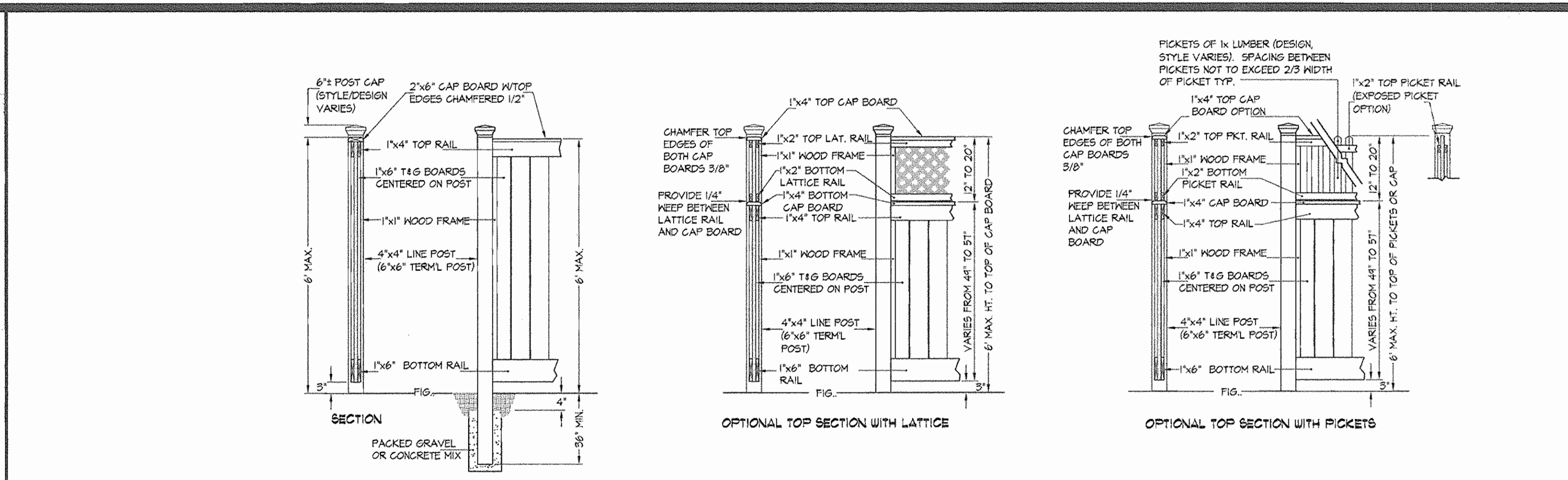
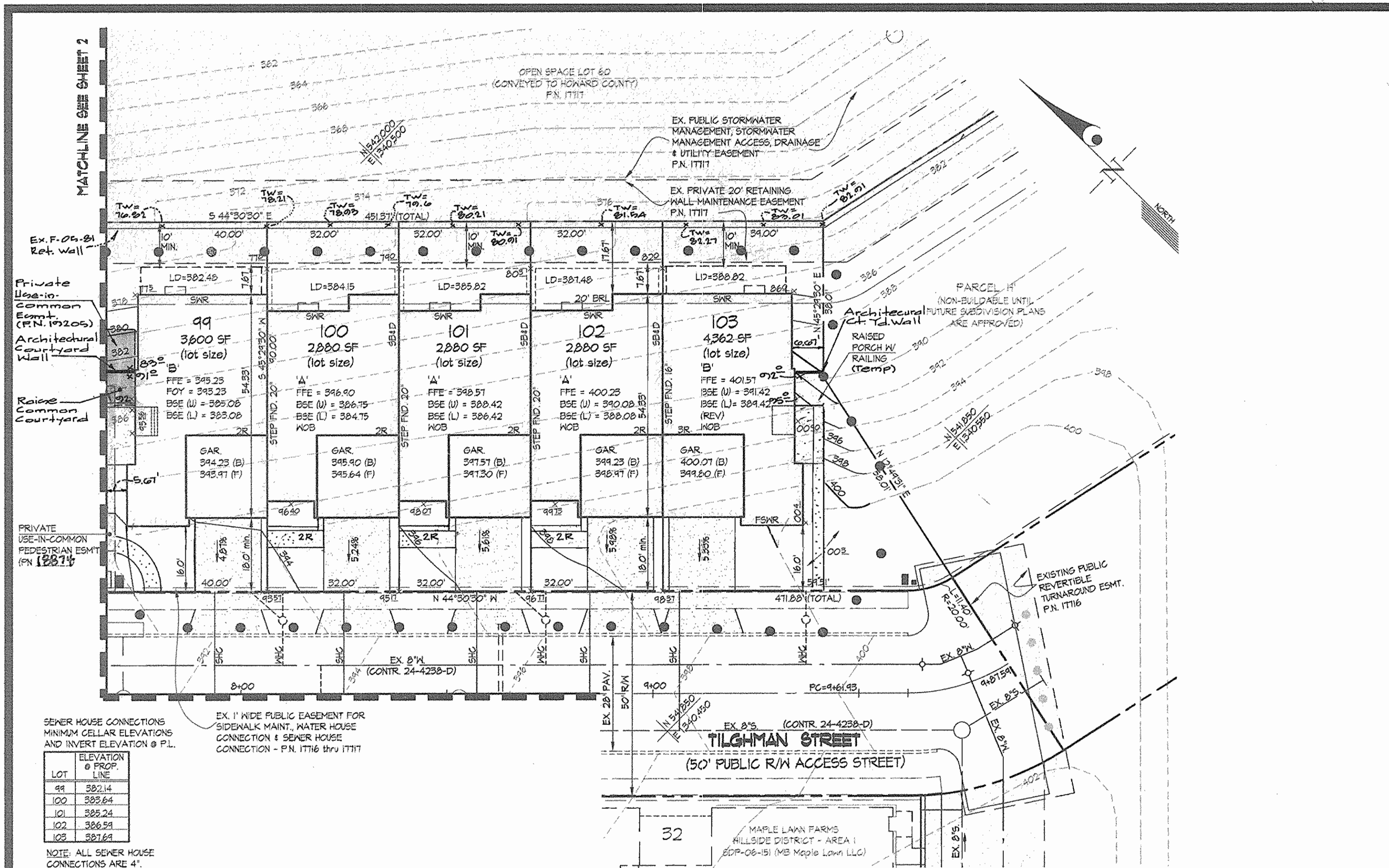
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signatures]
 Director: [Signature] Date: 2/21/07
 Chief, Division of Land Development: [Signature] Date: 2/21/07
 Chief, Development Engineering Division: [Signature] Date: 2/5/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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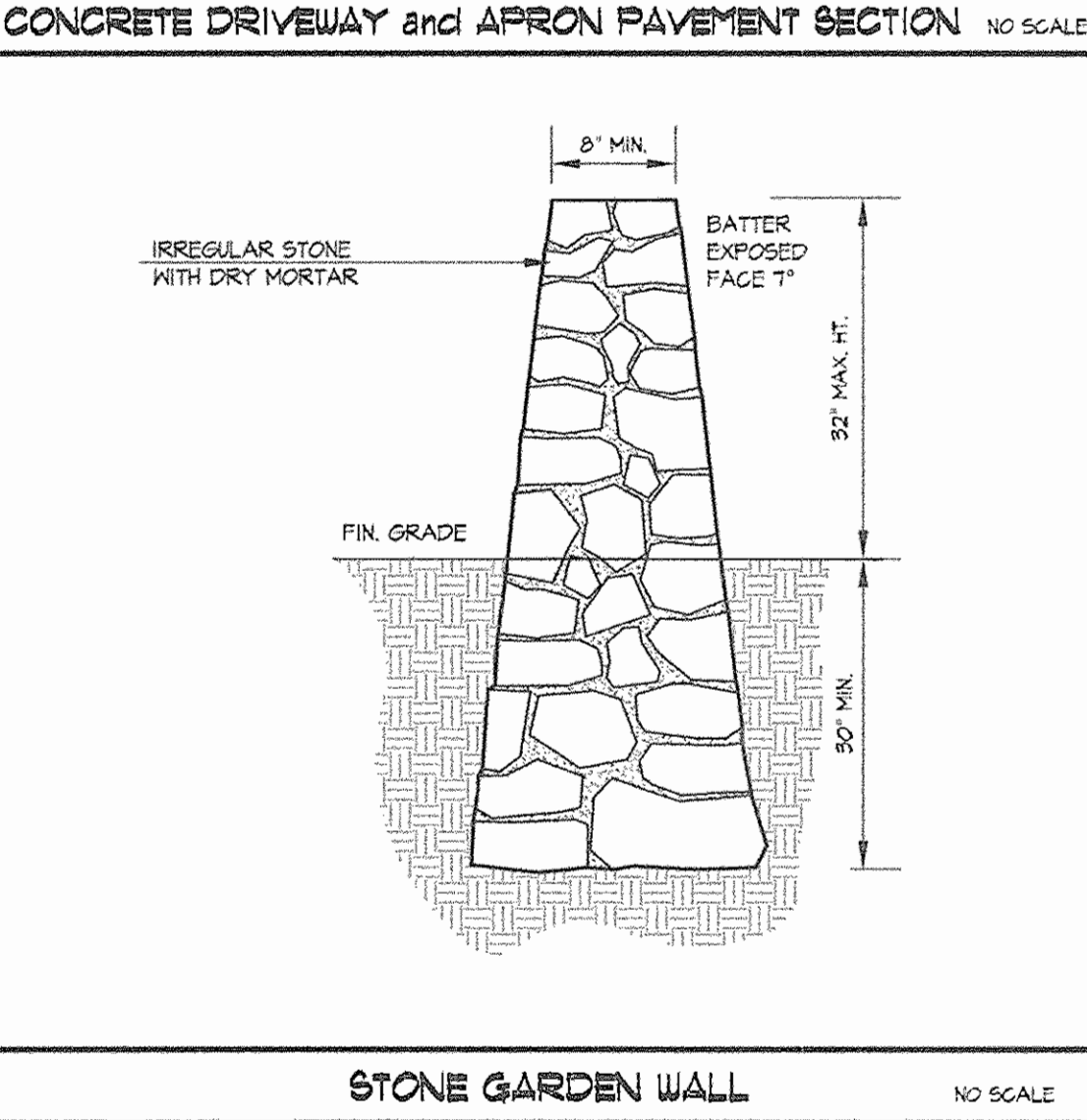
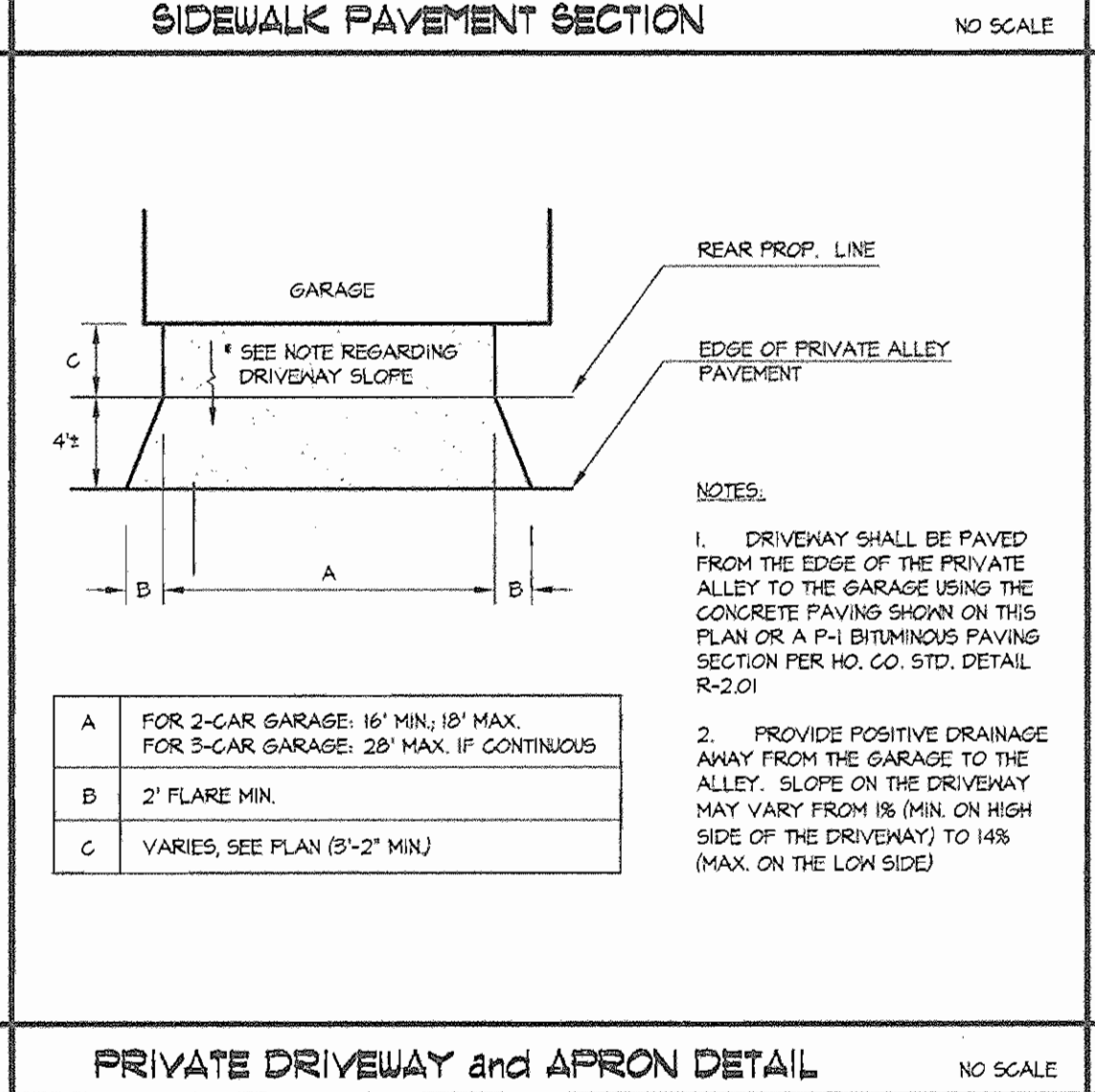
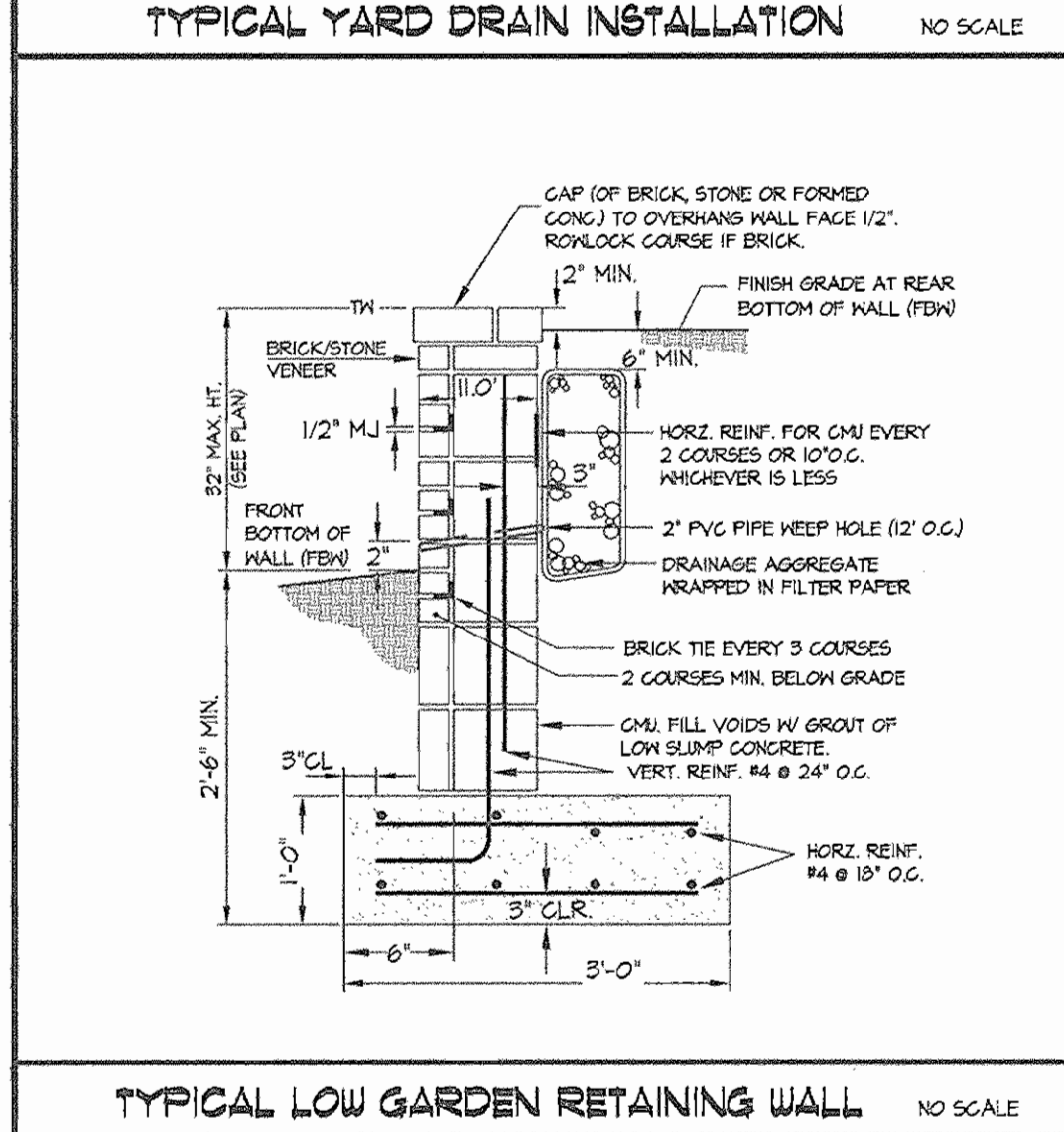
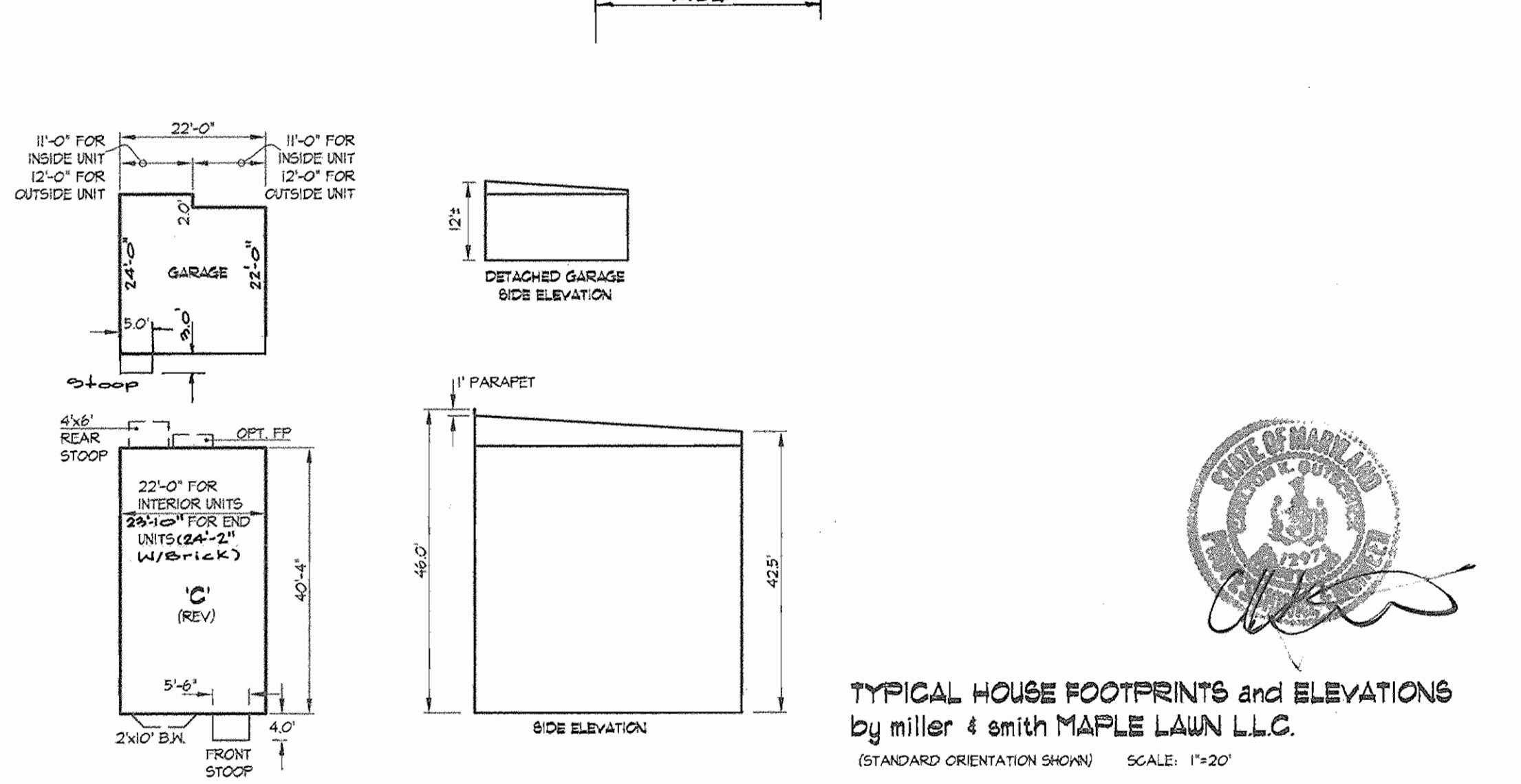
NO.	REVISION	DATE	BY	APP'R.

LANDSCAPE PLAN
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA I: LOT Nos. 33-55 and 87-103
 (SFA RESIDENTIAL USE)
 PLAT Nos 1716, 1806 & 1874
 PREPARED FOR:
 BUILDER/OWNER:
 MILLER and SMITH at MAPLE LAWN L.L.C.
 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: 703-821-2500 x 236
 atn: COLLEEN DWELLEY

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
JAN/07	41	7 OF 7



APPROVED
 OF HOWARD COUNTY
 DATE: 10/21/06
 16



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 4/6/07
 Chief, Division of Land Development: [Signature] Date: 2/3/07
 Chief, Development Engineering Division: [Signature] Date: 2/5/07

DATE	REVISION	BY	APP'R.
3/20/07	Rev. 'A', 'B' & 'C' House Footprints, Lot 99-103; Update House Footprints, lead walkway, etc.	[Signature]	[Signature]

PREPARED FOR: BUILDER/LOT OWNER: MILLER AND SMITH OF MAPLE LAWN LLC.
 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: 703-821-2500 x 236
 otn: COLLEEN DWELLEY

SITE DEVELOPMENT PLAN / SITE DETAILS
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA I: LOT Nos. 33-55 and 87-103 4-2.2.2 - 2.2.7
 (SFA RESIDENTIAL USE)
 PLAT Nos. 1716, 18063 & 18814 and 19205

SCALE: AS SHOWN	ZONING: MXD-3	G. L. W. FILE NO.: 06013
DATE: JAN/07	TAX MAP - GRID: 41	SHEET: 3 OF 7

ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATIONS & P.L.

LOT	ELEVATION @ PROP. LINE
87	365.14
88	365.15
89	365.16
90	365.17
91	365.18
92	365.19
93	365.20
94	365.21
95	365.22
96	365.23
97	365.24
98	365.25

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

SITE DEVELOPMENT PLAN LEGEND

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- +366.000 EXISTING SPOT ELEVATION
- +366.000 PROPOSED SPOT ELEV. (HP+HIGH FT)
- LIMIT OF GRADING DISTURBANCE
- EXISTING CURB & GUTTER
- EX 2" W 1 1/2" WATER HOUSE CONNECTION (W/C DASHED LINE TYP.)
- WATER LINE (PUBLIC)
- FIRE HYDRANT (FH)
- EXISTING UTILITY/LIGHT POLE
- BGE TRANSFORMER PAD
- VERTICAL/CANCAST EQUIPMENT
- FENCE LINE
- GAS LINE
- ELECTRIC LINE
- EXISTING STORM DRAIN
- EXISTING SEWER MAIN (DASHED LINE)
- SEWER HOUSE CONNECTION (SAC, SOLID LINE)
- CONCRETE DRIVEWAY & SIDEWALK
- PROPOSED HOUSE
- FFE = FINISHED FLOOR ELEVATION
- BSE = BASEMENT SLAB ELEVATION
- (U) = UPPER, (L) = LOWER
- GAR = GARAGE (F=FRONT, B=BACK)
- REV = REVERSED HOUSE ORIENTATION
- STD = STANDARD HOUSE ORIENTATION
- Flow = Flow direction (shown wall Req.)
- P.S. BRL PRINCIPAL STRUCTURE BRL
- G.S. BRL GARAGE STRUCTURE BRL
- SBLD SAME BEARING AND DISTANCE
- YARD DRAIN
- FSHR FOUNDATION STEM WALL REQUIRED
- SNR SUB WALL REQUIRED
- RP RAISED PATIO
- NOB WALK OUT BASEMENT



SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATIONS & P.L.

LOT	ELEVATION @ PROP. LINE
33	364.08
34	364.09
35	364.10
36	364.11
37	364.12
38	364.13
39	364.14
40	364.15
41	364.16
42	364.17
43	364.18
44	364.19

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

INVERT ELEVATIONS FOR YARD DRAIN SUBS @ ALLEY P.L.

LOT	ELEVATION	LOT	ELEVATION
33	361.60	45	366.15
34	361.61	46	366.16
35	361.62	47	366.17
36	361.63	48	366.18
37	361.64	49	366.19
38	361.65	50	366.20
39	361.66	51	366.21
40	361.67	52	366.22
41	361.68	53	366.23
42	361.69	54	366.24
43	361.70	55	366.25
44	361.71		

- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - NOTE: ALL INCHES TO THE SUBJECT LOTS OF THIS SOP ARE 1/2" PER CONTRACT #24-4238-D. THE WATER METER VALVES ARE LOCATED IN THE ROW PER CONTRACT #14-4128-D.
 - SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 7419 FOLIO 242 THROUGH 366).
 - DRIVEWAY APRONS ON TILGHMAN STREET SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPM DET. R-6-01. ALSO SEE GENERAL NOTE #1 ON SHEET # FOR OTHER REQUIREMENTS (IF APPLICABLE) REGARDING DRIVEWAYS.

- ALL BUILDING WALLS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
- ALL YARD DRAIN INLETS ARE 12" (NYLOPLAST INLINE DRAIN MODEL NO. 212AG OR EQV.) CONNECT ALL YARD DRAIN INLETS TO THE EXISTING STORM DRAIN SUBS IN THE ALLEY USING ADS N-12 (HDPE, TYPE 15) PIPES. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE SUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN (18 MM) FROM YARD INLET TO THE STORM DRAIN SUBS. PROVIDE 10' MIN. COVER OVER THE HDPE PIPES. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPLASH BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 2/21/07

Chief, Division of Land Development: *[Signature]* Date: 2/21/07

Chief, Development Engineering Division: *[Signature]* Date: 2/25/07

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: 10/26/06

BY: *[Signature]*



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
08/10/07	lots 87 to 98 update footprint & walkway; lots 33-55 new gar. unit unit stepping & P.L.		

PREPARED FOR:
BUILDER/ART. OWNER:
MILLER SMITH & MAPLE LAWN LLC
8401 GREENSBORO DRIVE, SUITE 300
MCLEAN, VIRGINIA 22102
PH: 703-821-2500 x 236
attn: COLLEEN DWELLEY

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
HILLSIDE DISTRICT - AREA I: LOT Nos. 33-55 and 87-103 & 212 - 217
(SPA RESIDENTIAL USE)
PLAT Nos. 17716, 18063, 18274 & 10205

SCALE: 1"=20'
ZONING: MXD-3
DATE: JAN/07
TAX MAP - GRID: 41
SHEET: 2 OF 7

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
JAN/07	41	2 OF 7

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1020 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-297-TITIT AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:**
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
TAX MAP: 41
ELECTION DISTRICT: 5
ZONING: MXD-3 PER ZB-983M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO PER THE 2/02/04 COMPREHENSIVE ZONING PLAN
AREA OF BUILDABLE LOTS Nos. 33-55 & 87-103 FOR THIS SITE DEVELOPMENT PLAN: 252± ACRES
FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos. S-01-17, ZB-983M, PB-253, MP-01-11, NP-03-02, P-03-01, F-03-02, F-04-01, F-04-02, SDF-04-82(12/12) (MIDTOWN AREA-1 SDF), SDF-05-62(6/5/15/16/16/55/56) (MIDTOWN AREA-2 SDF), F-05-81 (PLOT 1716), F-05-82, F-05-02, F-05-194, F-05-112(113), F-06-43 (PLOT 18063), F-06-219 AND F-07-112 (P.N. 18271), P-17-210
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-05-81 AND G/LM SURVEY IN MARCH 2006.
- COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 41EA 4 46B2.
- STORMWATER MANAGEMENT FOR BOTH QUALITY (MQU) AND QUANTITY (QV) HAS BEEN SATISFIED BY A REGIONAL FACILITY CONSTRUCTED UNDER F-05-81 ON OPEN SPACE LOT 60. THE POND WILL BE PUBLICLY OWNED AND MAINTAINED.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY HIS CONTRACT NO. 24-4230-D). WATER METERS ARE LOCATED IN THE METER VAULTS WITHIN THE PUBLIC ROAD RIGHT OF WAY. SEWER HOUSE CONNECTION (SHC) ELEVATIONS ARE SHOWN AT THE PROPERTY LINE.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION. FOR DRIVEWAY ENTRANCE WITHIN THE PUBLIC ROADWAYS, SEE HOWARD COUNTY DEW STD. R-6.01.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS (Nos. 131-144 AND 164-179) SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE MIDTOWN DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY APPROVAL AND IMPLEMENTATION OF F-05-81 AND F-06-43. ~~ALL FOREST CONSERVATION REGULATIONS WERE ADDRESSED UNDER F-06-43.~~
- FINANCIAL SURETY (\$4,500.00) FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEETS 6 & 7) TO SATISFY S-01-17 DEVELOPMENT CRITERIA AND SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 7 AND THE GRADING PERMIT CHART ON SHEET 1.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12'0" SERVING MORE THAN ONE RESIDENCE
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH R AND C/P COATINGS (1-1/2" MIN.)
C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS.
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (MSD LOADING)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
G. PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY.
- NO KNOWING, KNOWING WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 12B.1 OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
- AS A CONSEQUENCE OF THE SKETCH PLAN S-01-17 APPROVAL PRIOR TO 11-15-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 133.D.2.2 OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERLAP PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPPED.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- ON 10/26/06, THE HOWARD COUNTY PLANNING BOARD APPROVED THIS SDP WITH THE FOLLOWING REQUESTED SETBACK REDUCTIONS:
1) FROM A 20' REAR SETBACK TO A MINIMUM OF 15' FOR THE PRINCIPAL STRUCTURES AND DECKS FROM 10' MINIMUM TO 8'1" LOCATED ON LOTS 87 THRU 103, AND
2) FROM A 10' MINIMUM SIDE TO SIDE SETBACK TO 6'6" FOR THE UNITS LOCATED ON LOTS 48, 49, 52 AND 53 AS REQUIRED BY THE MLF DEVELOPMENT CRITERIA.

LOT DEVELOPMENT DATA

- GENERAL SITE ANALYSIS DATA**
 - PRESENT ZONING: MXD-3 PER ZB-983M
 - PROPOSED USE OF SITE: 40 SFA RESIDENTIAL DWELLINGS
 - PUBLIC WATER & SEWER TO BE UTILIZED (CONTRACT 24-4230-D)
 - PARKING REQUIRED PER 306.193.D.2.a: 2 SPACES/UNIT x 40 = 80 SPACES
PARKING PROVIDED: 80 GARAGE SPACES (ALL LOTS HAVE A 2-CAR GARAGE) + 34 DRIVEWAY SPACES (FOR LOTS 87-103) = 114 SPACES TOTAL.
(SEE NOTE 2) ABOVE REGARDING PARKING.)
 - RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-05-81 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- AREA TABULATION**
 - AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 1,077,614 SF OR 252± AC.
 - AREA OF THIS PLAN SUBMISSION: 252± ACRES
 - AREA OF DISTURBANCE BY THIS SDP: 2,281 ACRES
- LOT DESIGNATION**

LOT TYPE	LOT NUMBERS	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FROM BRL	MAX. BUILDING HT.
TOWNHOUSE	33-55 & 87-103	N/A	N/A	50' (MEAN HT.)
- STRUCTURE SETBACKS PER F-05-81 AND PLAT 1714 & 19-00-0-160**

LOT TYPE	FRONT SETBACK	SIDE SETBACK	MINIMUM REAR SETBACKS *
TOWNHOUSE	0	NONE	20' TO PRINCIPAL STRUCTURE; 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.

 - BETWEEN SFA BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK, 50' BACK TO FRONT AND 6' FOR ALL OTHER CONDITIONS.
 - OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
 - FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.W.) SHALL BE 30' APART.
 - EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 12B.1 APPLIES, EXCEPT FOR THE FOLLOWING:
 - PORCHES MAY ENCRoACH INTO THE FRONT YARD TO WITHIN 2' FROM THE PROPERTY LINE OR RIGHT-OF-WAY FOR TOWNHOUSES, COTTAGES AND MANORS. PORCHES MAY ENCRoACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM RIGHT-OF-WAY FOR COTTAGES AND MANORS, WHERE A SIDE YARD ADJUTS AN OPEN SPACE OR PASSAGE PORCHES MAY ENCRoACH TO WITHIN 1' FROM SIDE PROPERTY LINE FOR COTTAGES AND MANORS.
 - STOOPS AND STEPS MAY ENCRoACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
 - GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 45" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES.

* PER CONCEPT SITE PLAN APPROVED BY THE PLANNING BOARD ON 9/29/06 FOR TOWNHOUSES ON LOTS 87-103, THE MINIMUM REAR SETBACK FOR THE PRINCIPAL STRUCTURE CAN BE REDUCED FROM 20' TO 14'. FOR AN OPEN DECK, THE SETBACK FROM THE REAR PROPERTY LINE CAN BE REDUCED FROM 10' TO 3'.

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 10/26/06
BY ls

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Mark A. Leyle 2/21/07
 Chief, Division of Land Development: Andy Hammett 2/21/07
 Chief, Development Engineering Division: David Williams 2/5/07

MAPLE LAWN FARMS

SITE DEVELOPMENT PLAN

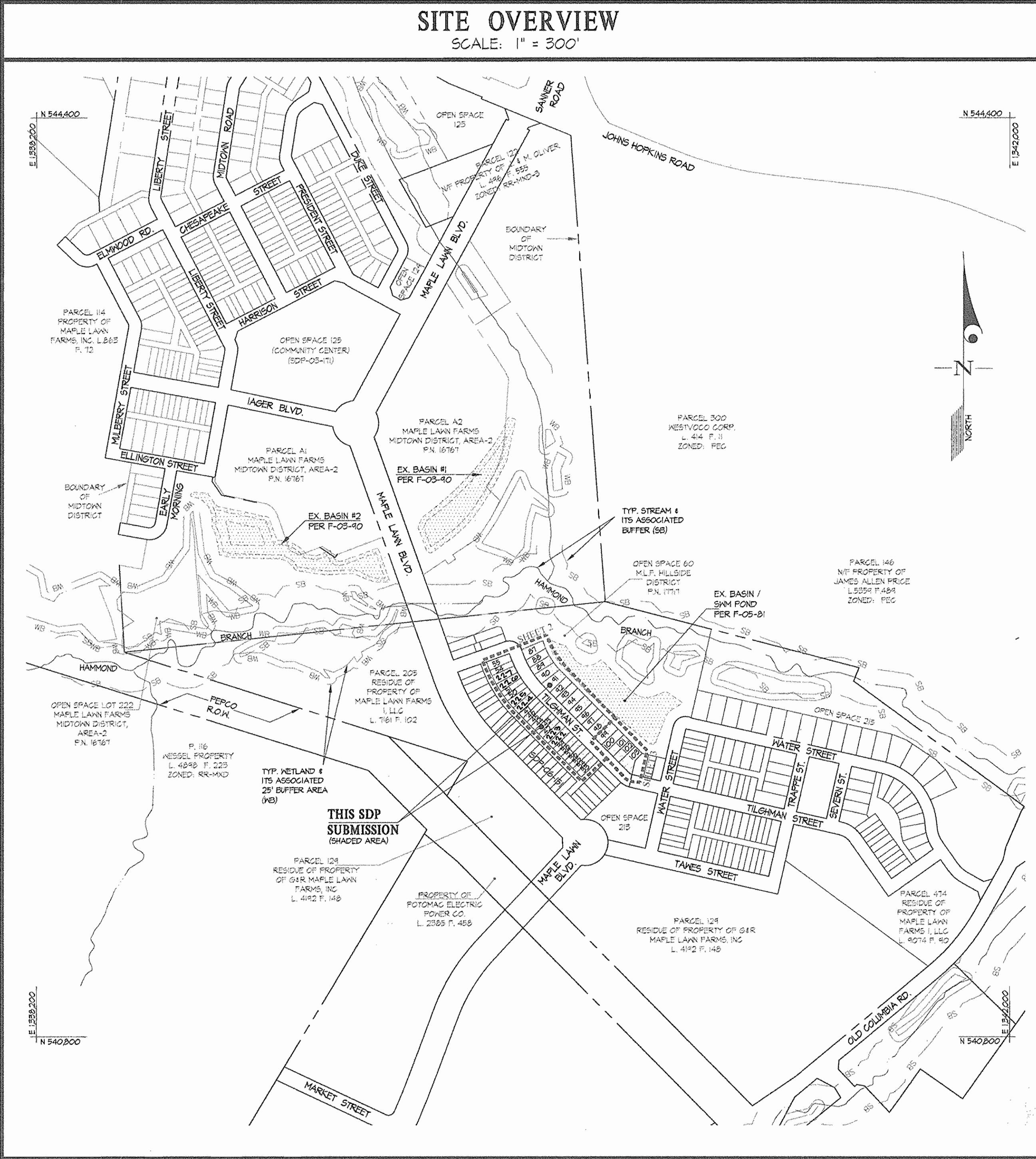
HILLSIDE DISTRICT -- AREA 1

LOTS 33-55 , 87-103 and 222-227

FIFTH ELECTION DISTRICT

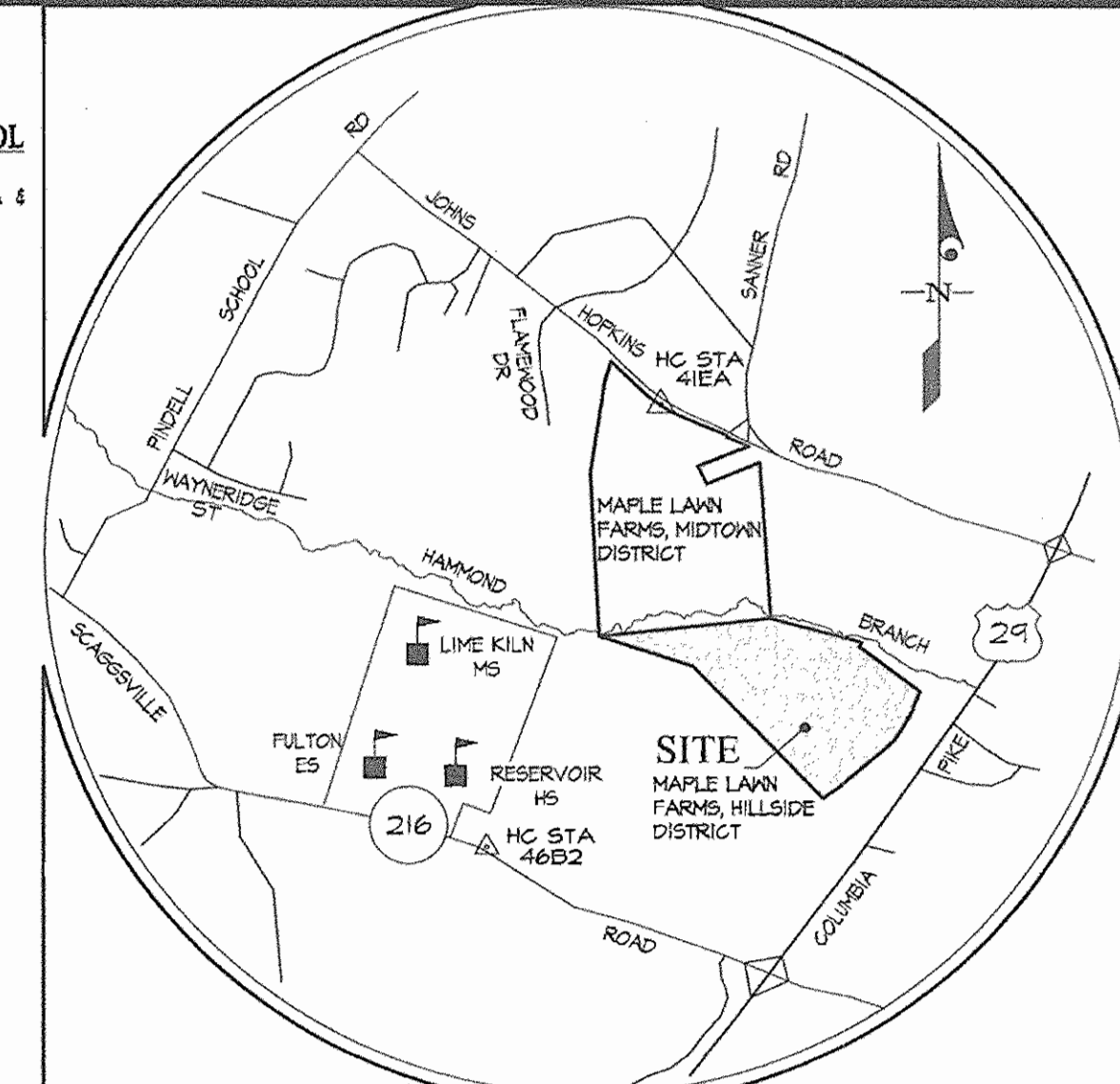
HOWARD COUNTY, MARYLAND

SITE OVERVIEW
SCALE: 1" = 300'



HOWARD COUNTY CONTROL

NAD83 HORIZONTAL DATA & NVD83 VERTICAL DATA
 41EA N 544825.204
 E 1394217.444
 ELV.: 407.053
 46B2 N 534481.727
 E 1397218.484
 ELV.: 474.671



VICINITY MAP
SCALE: 1" = 2000'

OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS

PHASE NUMBER (AND NAME)	APPROVED DPZ FILE NO.	PHASE AREA GROSS ACRES	REQUIRED OPEN SPACE (30% OF GROSS AC.)	OPEN SPACE PROVIDED IN AC. (R) *	REQUIRED ACTIVE OPEN SPACE IN AC. **	ACTIVE RECREATION O.S. PROVIDED IN AC. (R) ***
1 (BUSINESS DISTRICT, AREA-1)	F-03-01	51.88	15.56	21.15 (40.7)	1.82	
2 (MIDTOWN DISTRICT, AREA-1)	F-03-40	37.48	11.24	15.75 (42.1)	1.31	1.52 (41.7) (1)
3 (MIDTOWN DISTRICT, AREA-2)	F-04-42	58.80	17.64	22.88 (38.9)	2.06	
4a (HILLSIDE DISTRICT, AREA-1)	F-05-81	15.41	4.62	6.70 (43.3)	0.54	0.29 (4.3) (2)
4b (MIDTOWN DISTRICT, AREA-3)	F-05-194	0.00	0.00	0.00	0.00	
4c (BUSINESS DISTRICT, AREA-2)	F-05-121(13)	3.00	0.90	0.00	0.10	
4c (MIDTOWN DISTRICT, AREA-2)	F-05-121(13)	3.00	0.90	0.00	0.00	
5a (HILLSIDE DISTRICT, AREA-1)	F-06-43	0.00	0.00	0.00	0.00	
TOTAL		166.68	50.33	66.45 (39.9)	5.83	1.81 (1.8)

* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACRES.
 ** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.
 *** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACRES).
 (1) 752 AC. + COMMUNITY CENTER (0.5, 125 - 5.01 AC.), 0.5, 126 (0.35 AC.) AND 0.5, 230 (1.86 AC.)
 (2) 0.29 AC. + PATHWAYS
 OPEN SPACE LOTS 126 AND 230 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

THIS PLAN HAS SET UP TO ALLOW MULTIPLE GRADING PERMITS, IN ACCORDANCE WITH APPLICABLE POLICY FOR MLF.

LOT GROUPS	DISTURBED AREA	LANDSCAPE SURETY AMOUNT	LANDSCAPE INSPECTION FEES PAID
33-55, 111-117	1.45 AC	\$ 1,000.00	\$ 1,000.00
87-103	1.56 AC	\$ 4,950.00	\$ 1,000.00
TOTAL	2.81 AC	\$ 4,950.00	\$ 2,000.00

WITHIN 1 YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMITS TO INITIATE THE CONSTRUCTION ON THIS SDP. THE BUILDER SHALL APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 2 YEARS OF ITS APPROVAL.

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN / SITE DETAILS
- SEDIMENT & EROSION CONTROL PLAN
- SEDIMENT CONTROL, NOTES & DETAILS
- LANDSCAPE PLAN, NOTES & DETAILS
- LANDSCAPE PLAN, NOTES & DETAILS

ADDRESS CHART

LOT No.	STREET ADDRESS	LOT No.	STREET ADDRESS
33	T150 TILGHMAN STREET	87	T119 TILGHMAN STREET
34	T156	88	T121
35	T154	89	T123
36	T152	90	T125
37	T150	91	T127
38	T148	92	T129
39	T146	93	T131
40	T144	94	T133
41	T142	95	T135
42	T138	96	T145
43	T136	97	T147
44	T134	98	T149
45	T132	99	T151
46	T130	100	T153
47	T128	101	T155
48	T126	102	T157
49	T124	103	T159
50	T122		
51	T120		
52	T118		
53	T116		
54	T114		
55	T112		



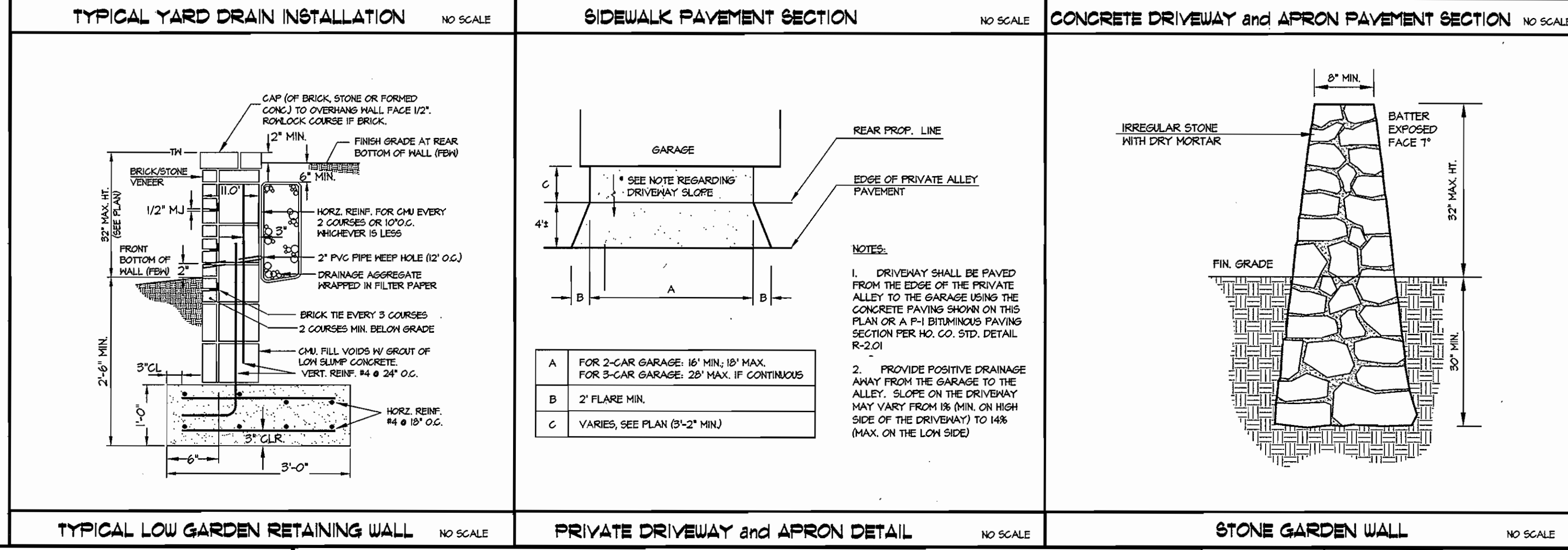
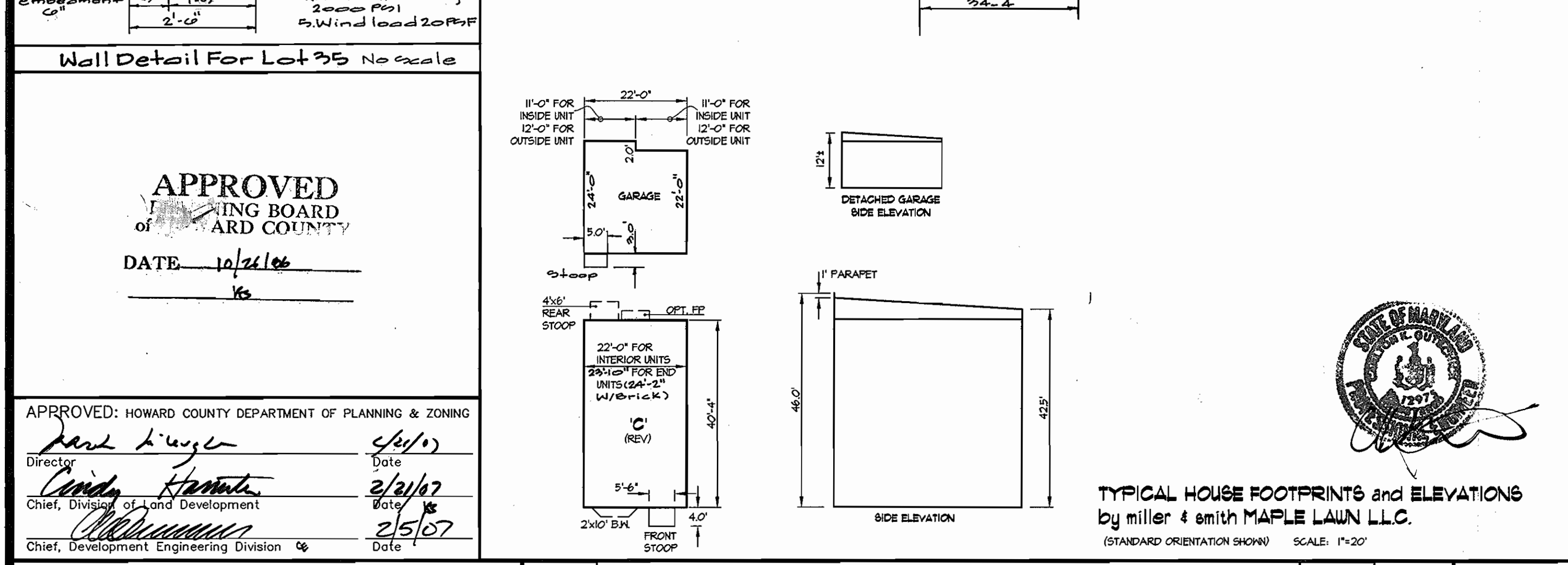
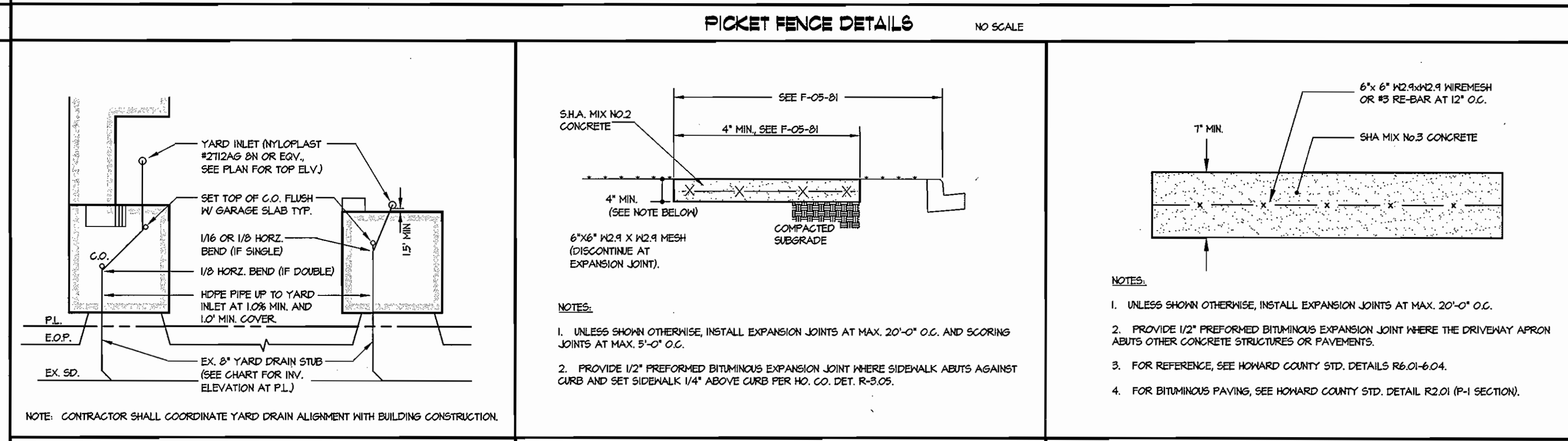
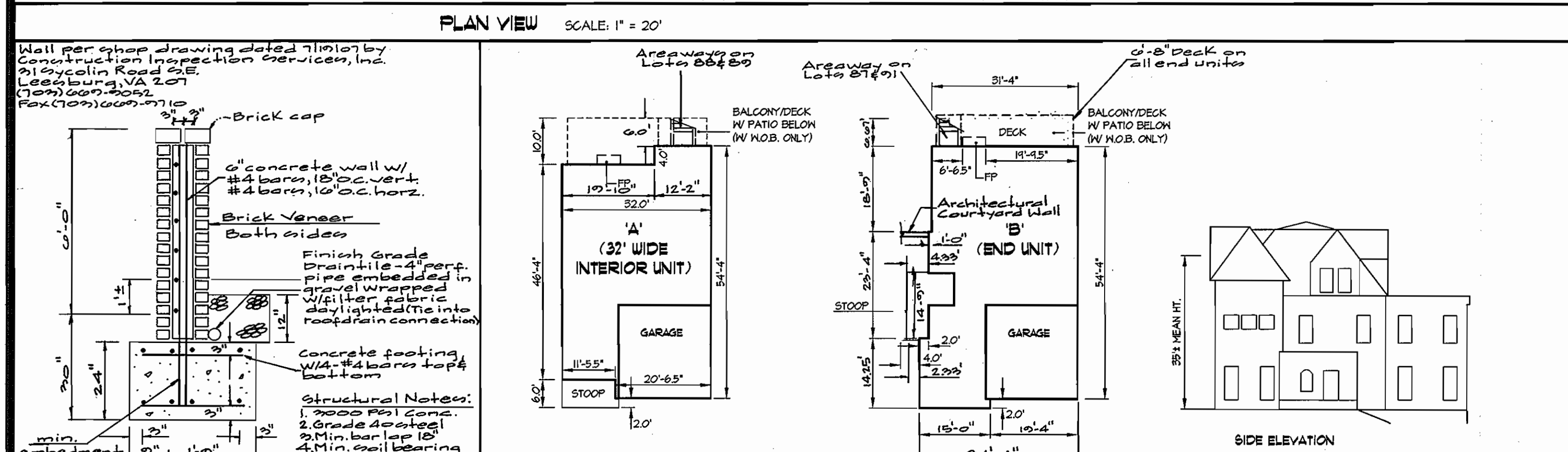
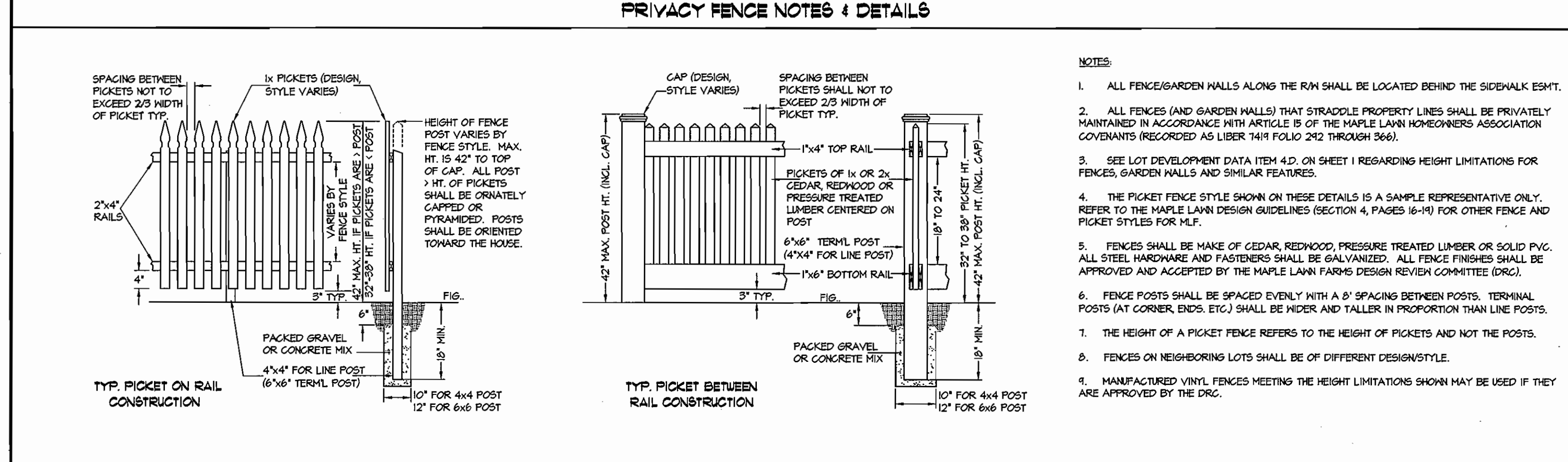
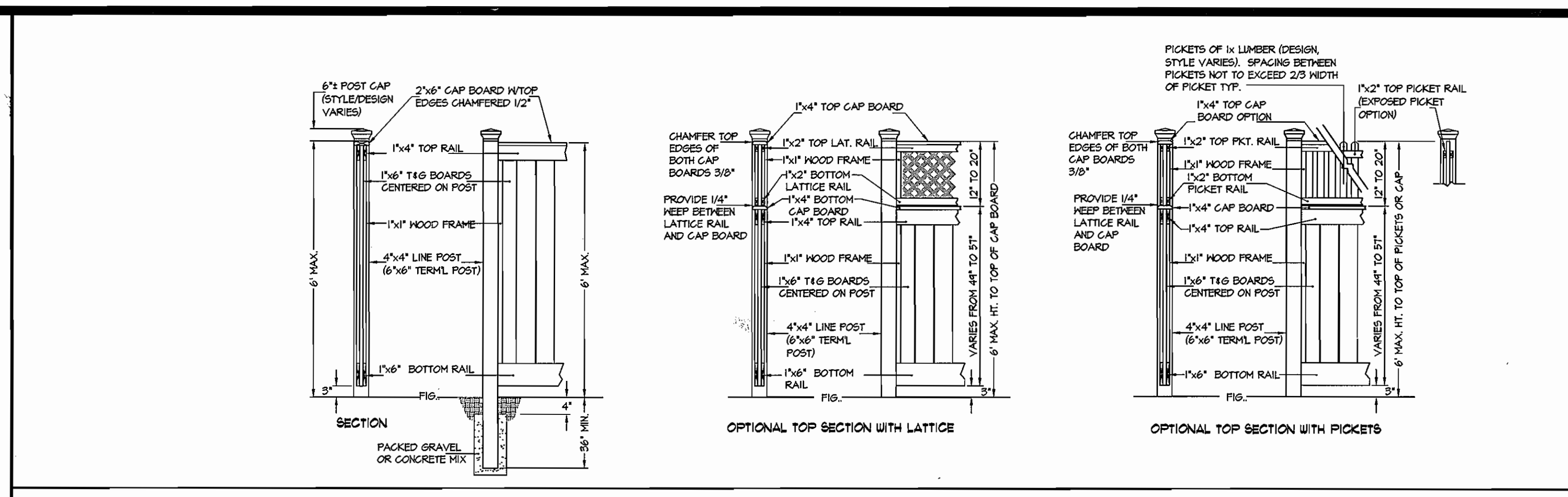
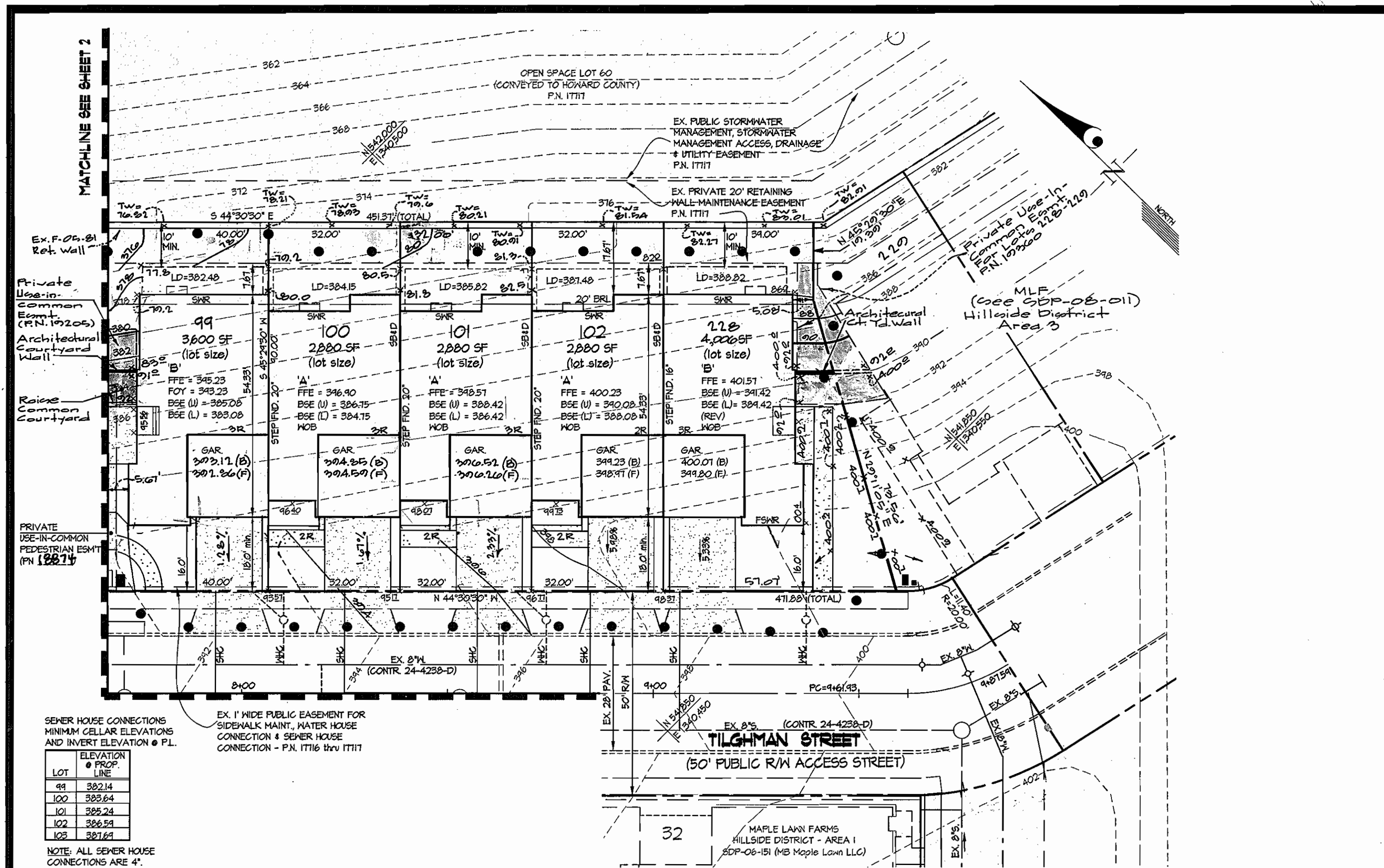
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
10/26/07	rev. title block info.		

PREPARED FOR:
 BUILDER/LOT OWNER:
 MILLER AND SMITH OF MAPLE LAWN LLC
 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: 703-821-2500 x 236
 atn.: COLLEEN DWELLEY

COVER SHEET
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 1: LOT Nos. 33-55, 87-103 & 222-227.
 (SFA RESIDENTIAL USE)
 PLAT Nos. 1716, 18063, 18274 & 10205
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
JAN/07	41	1 OF 7



GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186			PREPARED FOR: BUILDER/LOT OWNER: MILLER and SMITH of MAPLE LAWN LLC. 8401 GREENSBORO DRIVE, SUITE 300 MCLEAN, VIRGINIA 22102 PH: 703-821-2500 x 235 ctn: COLLEEN DWELLEY			SITE DEVELOPMENT PLAN / SITE DETAILS MAPLE LAWN FARMS HILLSIDE DISTRICT - AREA 1: LOT Nos. 33-55 and 87-103 & 222 - 227 (SFA RESIDENTIAL USE) PLAT Nos. 17716, 18063 & 18214 and 19205 and 19300 HOWARD COUNTY, MARYLAND			SCALE: AS SHOWN ZONING: MXD-3 G. L. W. FILE No.: 06013		
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING Director: <i>David K. Hager</i> Date: 4/21/07 Chief, Division of Land Development: <i>Andy Hammett</i> Date: 2/21/07 Chief, Development Engineering Division: <i>William J. ...</i> Date: 2/5/07			REVISION:			DATE: 10/21/06			SHEET: 3 OF 7		

