

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUMBING STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 318-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MIS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

- 4. PROJECT BACKGROUND: LOCATION: TAX MAP #41, GRID 2I; ZONING: MXD-3; ELECTION DISTRICT: 5TH; SITE AREA: 8,558 SQ. AC.
5. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 318-4900 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
6. PROPOSED USE, OFFICE AND MEDICAL BUILDINGS

- 14. ALL PLAN DIMENSIONS ARE TO FACE OF BUILDINGS UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
15. EXISTING TOPOGRAPHY IS SHOWN PER FIELD SURVEY INFORMATION BY GUTSCHICK, LITTLE WEBER, P.A. BY DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
16. COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD 83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 41EA, 41EB, 41EA AND NO. 46BZ.

- 17. PROPERTY IS ZONED MXD-3 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN. PER ZB-4958 WAS APPROVED 02/09/01 GRANTING APPROVAL TO FDP.
18. SEE DEPARTMENT OF PLANNING AND ZONING FILE NUMBERS: S-01-11, ZB 4958, FB-555, NP-03-11 (1), SF-05-02, F-04-01, F-05-02, F-04-78, F-04-89, F-04-82, F-05-81, F-05-92, F-05-194, F-05-142, F-06-41, F-06-28, F-06-234, SF-03-140, AND SF-05-17.

- 19. WATER AND SEWER SERVICE IS PUBLIC.
20. ALL EXISTING WATER AND SEWER IS PER CONTRACT Nos. 24-4105-D, 24-4238-D, AND 44-4401-D.
21. ALL EXISTING PUBLIC STORM DRAIN IS PER F-03-90.

- 22. STORMWATER MANAGEMENT IS BEING PROVIDED BY AN ON-SITE FACILITY AND STORMCCEPTOR ON THIS SITE PLAN. THE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED. THE POUD WILL BE A TYPE P-2 POND WITH AN "A" HAZARDOUS CLASS.
23. RECORDING REFERENCE: PLAT NO. 18744 & 18795 (F-06-234)
24. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
25. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.

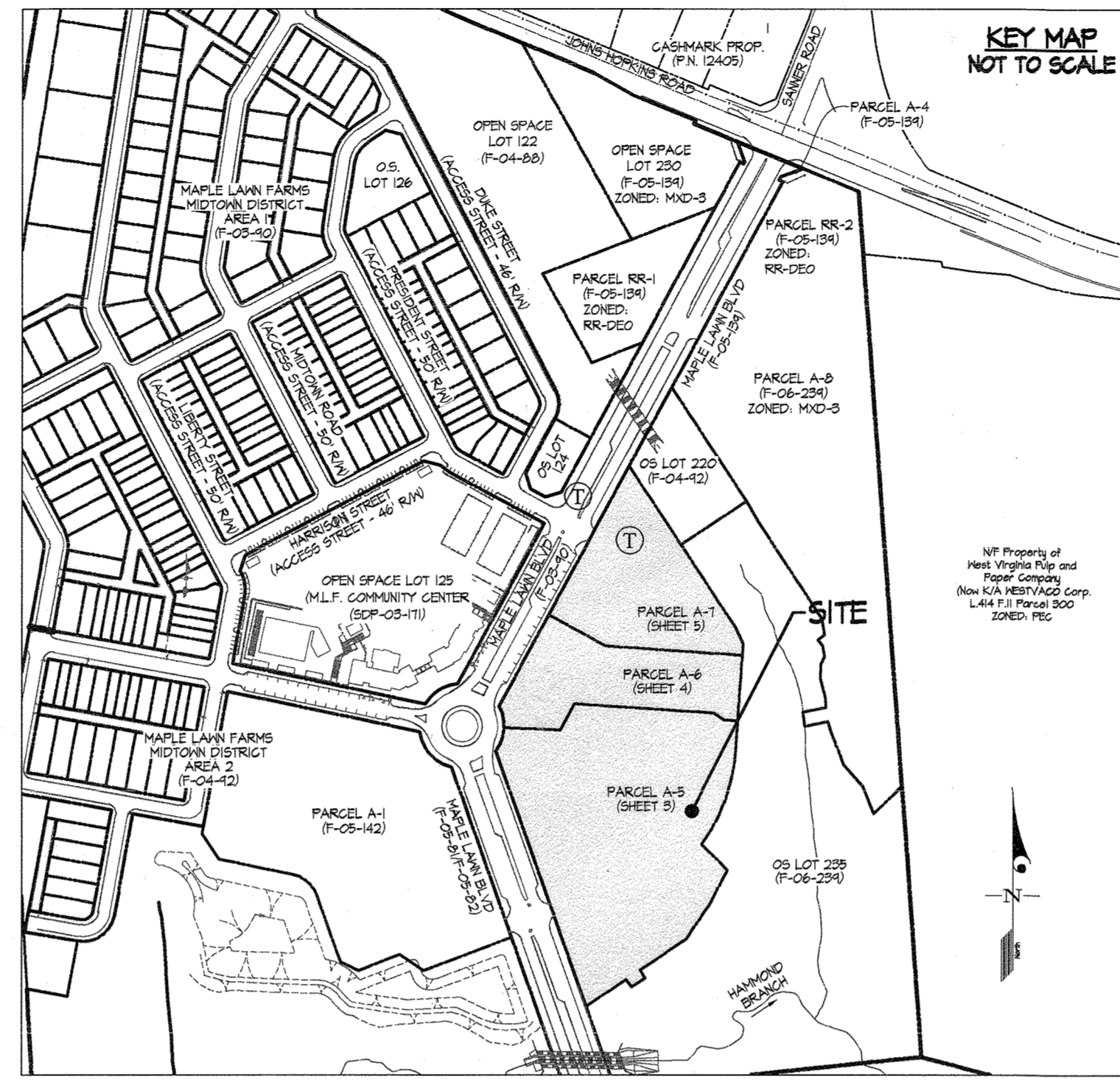
- 26. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
27. THERE ARE NO FLOOD PLAIN, 2% STEEP SLOPES, STREAMS, WETLANDS OR BUFFERS LOCATED WITHIN PARCELS A-5, A-6 OR A-7.
28. THIS PROPERTY WAS BROUGHT INTO THE METROPOLITAN DISTRICT ON AUGUST 8, 2001.
29. BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER FB CASE NO. 355 AND S-01-11.
30. AS A CONSEQUENCE OF THE SKETCH PLAN S-01-11 APPROVAL PRIOR TO NOVEMBER 15, 2001, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

- 31. PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-4958 AND THE DECISION AND ORDER FOR FB CASE NO. 355 (S-01-11)
32. THE TRAFFIC STUDY WAS APPROVED AS PART OF SKETCH PLAN S-01-11.
33. WATER AND SEWER HOUSE CONNECTION LIMITS SHOWN ON THESE PLANS IS FROM THE ROAD R/W TO WITHIN 5' OF THE BUILDING. REFER TO ARCHITECTURALS FOR REMAINDER ON CONSTRUCTION.
34. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1002 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR PHASE 3 OF THIS PROJECT WITH AN AFFORESTATION OBLIGATION OF 0.45 ACRE AND RETENTION IN THE AMOUNT OF 0.21 ACRE WILL BE FULFILLED BY PROVIDING 10.48 ACRES OF CREDITED AFFORESTATION. 10.06 ACRES OF EXCESS FOREST CONSERVATION WILL BE UTILIZED IN FUTURE PHASES. FOREST CONSERVATION SURETY IN THE AMOUNT OF \$250,000.00 WAS PROVIDED WITH THE DPM, DEVELOPER'S AGREEMENT AND UNDER F-04-92.

- 35. ALL EASEMENTS (PUBLIC AND PRIVATE) SHOWN ON THESE PLANS ARE PER RECORDED PLAT 18744 & 18795 (F-06-234), UNLESS OTHERWISE NOTED.
36. BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL USE, A NOISE STUDY IS NOT REQUIRED.
37. BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM W/ AN INSIDE METER.
38. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IS POSTED WITH THE DEVELOPER'S AGREEMENT AND GRADING PERMIT APPLICATION IN THE AMOUNT OF \$26,500.00 COMBINED TOTAL. FOR THE BREAK-DOWN OF THE LANDSCAPE SURETY AMOUNT, SEE SHEET 20.

- 39. ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS. SEE SHEET 1 FOR ADDITIONAL LIGHT FIXTURE DETAILS.
40. THE SHARED ACCESS AND PARKING REQUIREMENT FOR PARCELS "A-5" THRU "A-7" IS COVERED BY SECTION 10.11, ACCESS AND PARKING EASEMENT IN "AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITION AND RESTRICTIONS FOR MAPLE LAWN COMMERCIAL ASSOCIATION, INC." AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 1164 AT FOLIO 353.

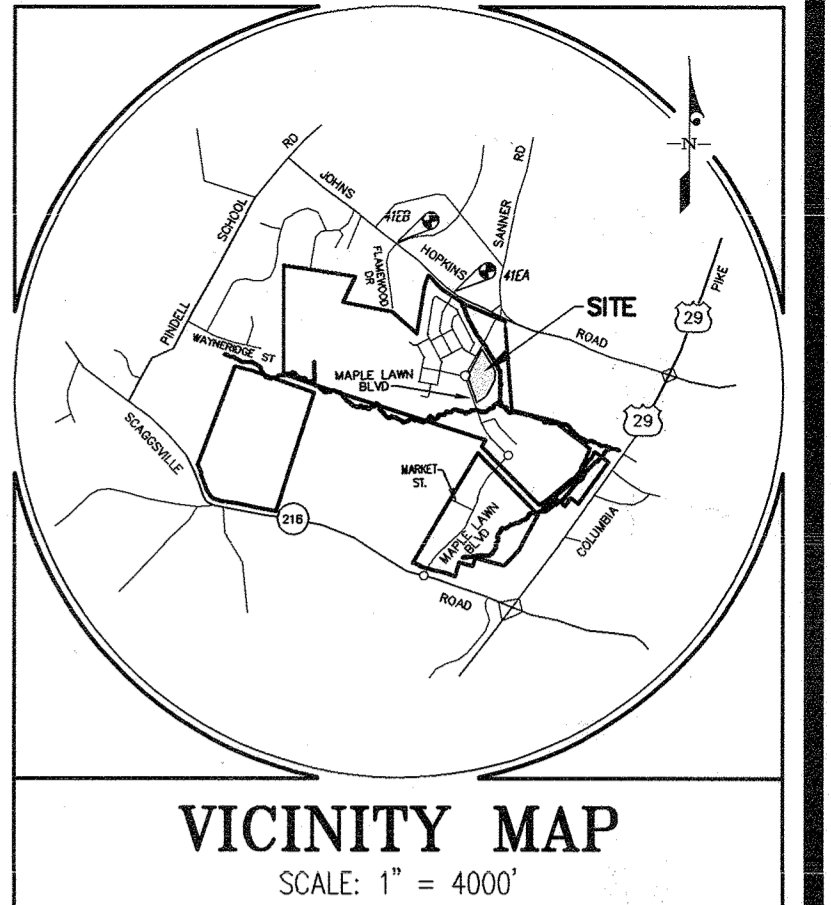
SITE DEVELOPMENT PLAN MAPLE LAWN FARMS PARCELS A-5, A-6, AND A-7



SHEET INDEX

- 1. COVER SHEET
2. SITE DEVELOPMENT PLAN (OVERALL PLAN "A" = 40)
3. SITE DEVELOPMENT PLAN - PARCEL A-5
4. SITE DEVELOPMENT PLAN - PARCEL A-6
5. SITE DEVELOPMENT PLAN - PARCEL A-7
6. SITE DETAILS
7. SITE / HANDICAP ACCESSIBILITY DETAILS
8. SEDIMENT CONTROL PLAN (OVERALL PLAN "A" = 40)
9. SEDIMENT CONTROL NOTES AND DETAILS
10. SEDIMENT CONTROL NOTES, POND CONVERSION PLAN AND SOIL BORING LOGS
11. STORM DRAIN DRAINAGE AREA MAP (OVERALL PLAN "A" = 40)
12. STORM DRAIN AND UTILITY PROFILES
13. STORM DRAIN PROFILES
14. UTILITY PROFILES
15. STORMWATER MANAGEMENT DRAINAGE AREA MAP (OVERALL PLAN "A" = 40)
16. STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS
17. STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS
18. STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS
19. LANDSCAPE PLAN
20. LANDSCAPE DETAILS AND NOTES
21. RETAINING WALL DETAILS AND NOTES

Table with 2 columns: FILE NUMBER and AREA OF RETAIL. Rows include SDP 04-96 (10,941 S.F.), SDP 05-08 (9,312 S.F.), SDP 05-26 (0), SDP 05-41 (0), SDP 06-67 (0), SDP 06-148 (0), and a TOTAL of 20,253 S.F.



A SITE ANALYSIS DATA CHART

Table with 3 columns: PARCEL A-5, PARCEL A-6, PARCEL A-7, and TOTAL. Rows include GROSS AREA OF PARCEL, LIMIT OF DISTURBED AREA, ZONING, PROPOSED USE, BUILDING COVERAGE (% OF GROSS ACREAGE), and FLOOR AREA RATIO (FAR).

NOTE: 1. A MAXIMUM OF 19,408 SQUARE FEET WILL BE USED FOR MEDICAL OFFICE IN BUILDING 3. 2. A MAXIMUM OF 19,026 SQUARE FEET WILL BE USED FOR MEDICAL OFFICE IN BUILDING 4.

EMPLOYMENT

- PARCEL SIZE: NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.
HEIGHT: MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD.
COMMERCIAL BUILDINGS AT THE CORNER OF JOHN HOPKINS ROAD AND SANNER ROAD (MAPLE LAWN BOULEVARD) PARCELS A-5 NOT EXCEED THREE STORIES.

EMPLOYMENT (CONT.)

SETBACKS (ALSO SEE 'PROPERTY BOUNDARY SETBACKS') THE MINIMUM SETBACK FOR PROJECT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS: 50' FROM THE BOUNDARY LINE ALONG JOHN HOPKINS ROAD OR ROUTE 216. 10' FROM THE RIGHT-OF-WAY OF SANNER ROAD (MAPLE LAWN BOULEVARD).
NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BLVD AS NOTED ABOVE. EXCEPT THAT NO STRUCTURE SHALL BE CLOSER THAN 15' TO ANY CURB OR EDGE OF A ROAD, DRIVE, OR PARKING AREA, 10' FROM ANY OTHER PROPERTY LINE.

PERMITTED USES

- THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS: EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE FOR B-1 AND M-1 DISTRICTS, AS PER PETITIONER'S POB EXHIBIT TB, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS; FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINNERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.
THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE FOR B-1 AND M-1 DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS COMPREHENSIVE SKETCH PLAN PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED.

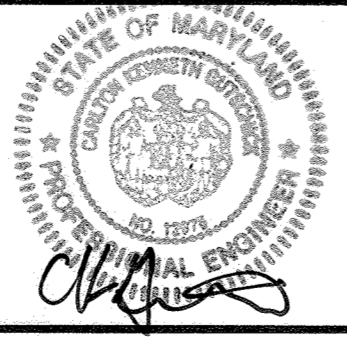
RESTRICTIONS

- NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
CEMETERIES, MAUSOLUMS & CREMATORIUMS ARE NOT PERMITTED.
A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.

FLOOR AREA RATIO (FAR)

OVERALL LIMIT IS 0.33 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 12975 EXPIRATION DATE: MAY 26, 2018



PARKING TABULATION

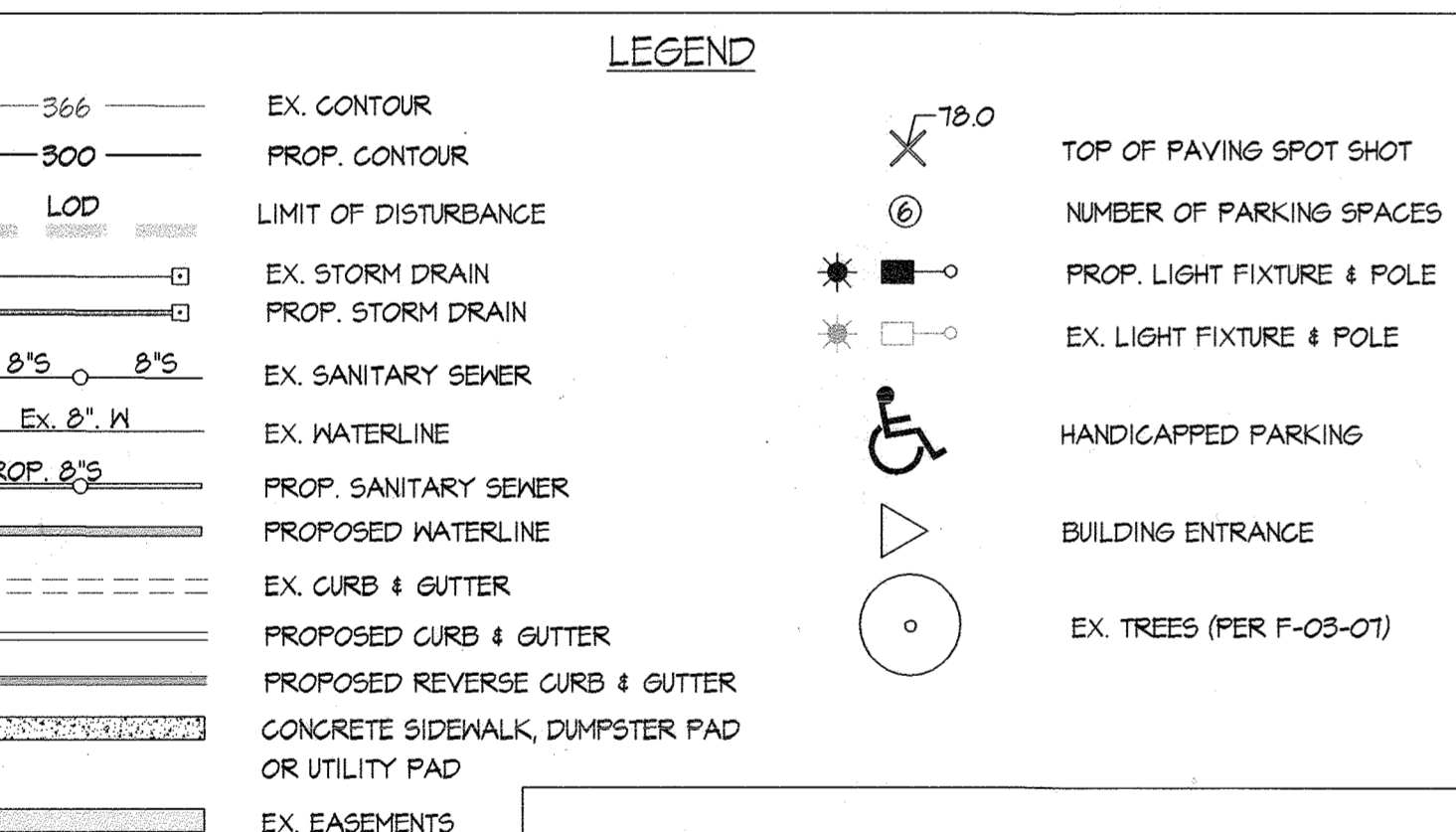
Table with 3 columns: PARCEL A-5, PARCEL A-6, PARCEL A-7, and TOTAL. Rows include TOTAL GROSS FLOOR AREA, NET LEASABLE AREA, FLOOR AREA FOR MEDICAL USE, FLOOR AREA FOR OFFICE USE, TOTAL NUMBER OF SPACES PROVIDED, and VAN ACCESSIBLE SPACES PROVIDED.

DISTRIBUTION OF PARKING SPACES

Table with 3 columns: PARCEL A-5, PARCEL A-6, PARCEL A-7, and TOTAL. Rows include TOTAL NUMBER OF SPACES, ON STREET PARALLEL SPACES, ON-SITE PARALLEL SPACES, and ON-SITE HEAD IN SPACES.

FLOOR AREA RATIO (FAR) TRACKING CHART

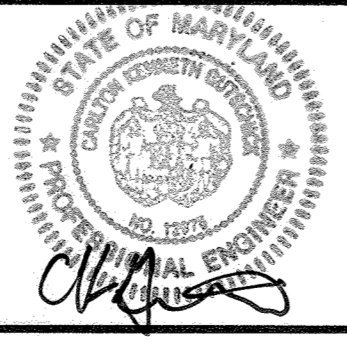
Table with 3 columns: FILE #, PARCEL AREA, and FAR. Rows include SDP 04-44 (OFFICE BUILDING 1), SDP 04-96 (RETAIL BLDG. 1 & BANK), SDP 05-08 (RETAIL BLDG. 2 & GAS STATION), SDP 05-036 (OFFICE BUILDING 2), SDP 05-047 (OFFICE BUILDING 3), SDP 06-067 (OFFICE BUILDING 4), SDP 06-148 (MEDICAL AND 3 OFFICE), and REMAINING UNRECORDED EMPLOYMENT LAND.



APPROVED PLANNING BOARD OF HOWARD COUNTY

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT. APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 12975 EXPIRATION DATE: MAY 26, 2018



GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS. 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK

PREPARED FOR: G&R MAPLE LAWN INC. 1829 REISTERSTOWN ROAD SUITE 300 WOODHOLME CENTER BALTIMORE, MD 21208 ATTN: MARK BENNETT 410-484-8400

REVISED SITE DEVELOPMENT PLAN - COVER SHEET

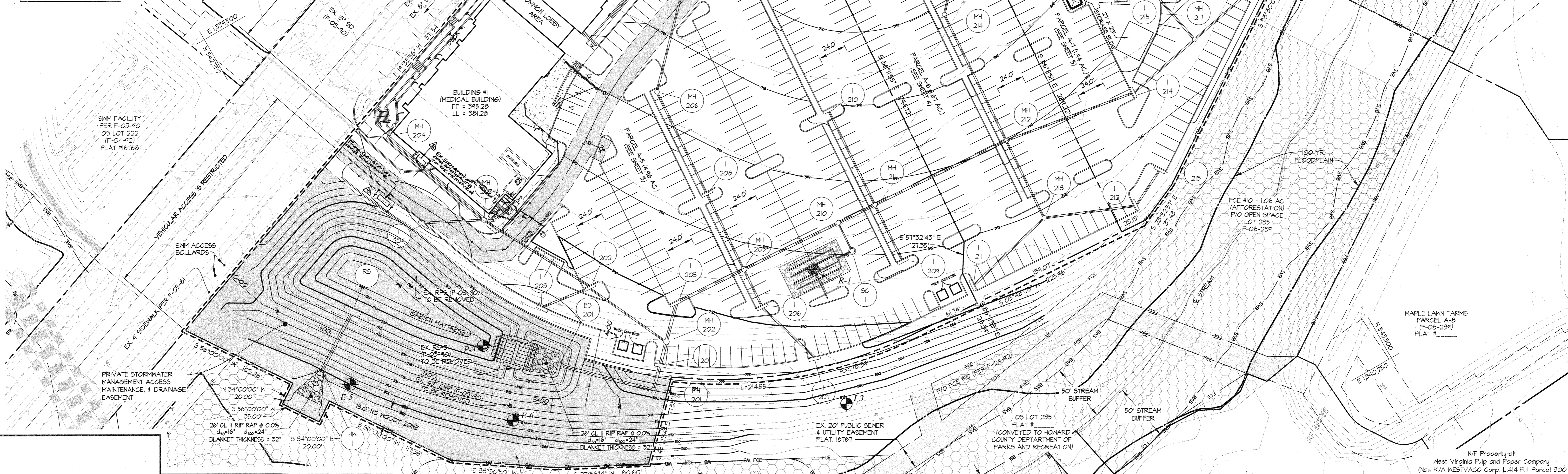
MAPLE LAWN FARMS MIDTOWN DISTRICT - AREA 2 MEDICAL & GENERAL OFFICE BUILDINGS PARCELS A-5, A-6, & A-7 PLAT NO. 18744 & 18795 (F-06-239)

Table with 3 columns: SCALE, ZONING, G. L. W. FILE NO. Rows include AS SHOWN, MXD-3, 05015; DATE: JULY, 2016; TAX MAP: 41-21; SHEET: 1 OF 21.

| From No. | To No. | PIPE     | LENGTH | From No. | To No. | PIPE     | LENGTH |
|----------|--------|----------|--------|----------|--------|----------|--------|
| I-210    | MH-214 | 15" HDPE | 120 LF | I-210    | MH-211 | 15" HDPE | 80 LF  |
| I-217    | MH-214 | 15" HDPE | 39 LF  | I-204    | MH-211 | 15" HDPE | 51 LF  |
| MH-214   | I-216  | 18" HDPE | 30 LF  | MH-211   | MH-210 | 24" HDPE | 31 LF  |
| I-216    | MH-217 | 18" HDPE | 54 LF  | MH-210   | MH-205 | 24" HDPE | 26 LF  |
| DECK #6  | MH-218 | 10" HDPE | 84 LF  | D-201    | MH-204 | 12" HDPE | 26 LF  |
| DECK #5  | MH-218 | 10" HDPE | 105 LF | MH-204   | MH-207 | 12" HDPE | 41 LF  |
| MH-210   | I-216  | 10" HDPE | 45 LF  | DECK #2  | MH-207 | 8" HDPE  | 8 LF   |
| I-215    | MH-217 | 15" HDPE | 52 LF  | MH-207   | MH-206 | 12" HDPE | 114 LF |
| MH-217   | I-214  | 18" HDPE | 67 LF  | MH-206   | I-208  | 12" HDPE | 44 LF  |
| I-214    | MH-212 | 18" HDPE | 114 LF | I-208    | MH-205 | 15" HDPE | 64 LF  |
| DECK #4  | MH-216 | 8" HDPE  | 137 LF | I-207    | I-206  | 15" HDPE | 61 LF  |
| DECK #3  | MH-216 | 8" HDPE  | 145 LF | I-206    | MH-205 | 15" HDPE | 32 LF  |
| MH-216   | D-202  | 10" HDPE | 34 LF  | MH-205   | I-205  | 30" HDPE | 34 LF  |
| D-202    | MH-215 | 10" HDPE | 54 LF  | I-205    | MH-202 | 30" HDPE | 31 LF  |
| RD-228   | RD-221 | 8" HDPE  | 30 LF  | DECK #1  | MH-204 | 15" HDPE | 10 LF  |
| RD-227   | RD-226 | 8" HDPE  | 30 LF  | RD-208   | MH-204 | 4" HDPE  | 10 LF  |
| RD-226   | RD-225 | 8" HDPE  | 30 LF  | RD-204   | MH-205 | 4" HDPE  | 10 LF  |
| RD-225   | RD-224 | 10" HDPE | 30 LF  | MH-204   | MH-203 | 15" HDPE | 108 LF |
| RD-224   | MH-215 | 10" HDPE | 30 LF  | I-204    | MH-203 | 15" HDPE | 44 LF  |
| RD-280   | RD-224 | 8" HDPE  | 30 LF  | RD-208   | RD-202 | 6" HDPE  | 28 LF  |
| DECK #1  | MH-215 | 8" HDPE  | 76 LF  | RD-202   | RD-201 | 6" HDPE  | 42 LF  |
| MH-215   | MH-214 | 12" HDPE | 104 LF | DECK #4  | MH-203 | 8" HDPE  | 22 LF  |
| MH-214   | MH-212 | 12" HDPE | 70 LF  | MH-203   | I-202  | 18" HDPE | 105 LF |
| I-213    | I-212  | 15" HDPE | 35 LF  | I-202    | I-202  | 15" HDPE | 34 LF  |
| I-212    | MH-215 | 15" HDPE | 76 LF  | I-202    | MH-202 | 18" HDPE | 78 LF  |
| I-211    | MH-215 | 15" HDPE | 81 LF  | MH-202   | I-201  | 30" HDPE | 17 LF  |
| MH-213   | MH-212 | 18" HDPE | 71 LF  | I-201    | MH-201 | 30" HDPE | 13 LF  |
| MH-212   | MH-211 | 24" HDPE | 122 LF | MH-201   | ES-201 | 30" HDPE | 82 LF  |
| DECK #1  | MH-203 | 8" HDPE  | 22 LF  | DECK #1  | MH-203 | 8" HDPE  | 22 LF  |

HDPE-HIGH DENSITY POLYETHYLENE  
 \* DECK #1 INCLUDES DRAINAGE FROM RD-206 THROUGH RD-214  
 \* DECK #2 INCLUDES DRAINAGE FROM RD-220 THROUGH RD-223  
 NOTES:  
 1. SEE SHEETS 3, 4, AND 5 FOR GRADING AROUND BUILDINGS 1, 2, 3, AND 4 RESPECTIVELY.  
 2. FOR POND GRADING AND DETAILS, SEE SHEET 6.  
 3. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.

SEE SHEET 1 FOR LEGEND OF SYMBOLS USED ON THIS PLAN.



APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Valerie Zeff* 10-31-16  
 Chief, Division of Land Development *Kapriel Wood* 10-31-16  
 Chief, Development Engineering Division *Oliver* 10-13-16

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-399-2524 FAX: 301-421-4186

| DATE     | REVISION   | BY  | APPR. |
|----------|--|-----|-------|
| 8-10-21  | Rev. whc and sd connection to bldg 3   | whc |       |
| 5-24-17  | Relocated Generator and Enclosure  | st  | DBV   |
| 07-11-16 | REPLACEMENT SHEET - REVISED BUILDING 344 FOOTPRINTS, UTILITY ROOMS, DECKS & UTILITIES. | st  | DBV   |
| 01-11-12 | SHOVED PAVILION & STORAGE BUILDING   | MSJ | DEV   |
| 11-26-07 | ADDED OUTSIDE ACCESS FOR PROP. TENANT  | MSJ | DEV   |
|          | REVISED BUILDING 344 FOOTPRINTS, REMOVED GREASE INTERCEPTOR & REVISED STORM DRAINS     | MSJ | DEV   |

PREPARED FOR:  
 G&R MAPLE LAWN INC  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

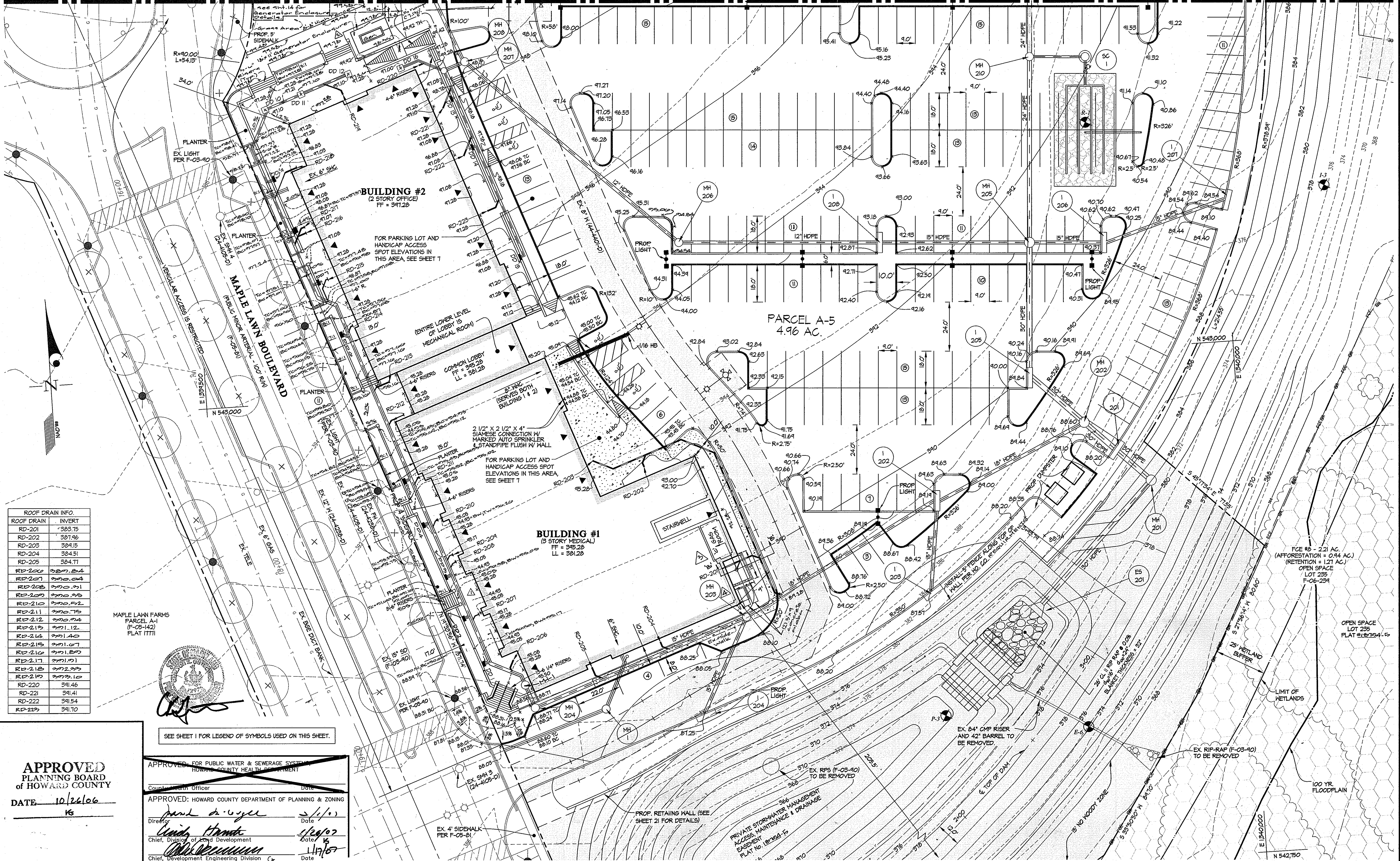
REVISÉ - SITE DEVELOPMENT PLAN  
**MAPLE LAWN FARMS**  
**MIDTOWN DISTRICT - AREA 2**  
**MEDICAL & GENERAL OFFICE BUILDINGS**  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 18794 & 18795 (F-06-239)  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

| SCALE      | ZONING         | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=40'     | MXD-3          | 05015             |
| DATE       | TAX MAP - GRID | SHEET             |
| JULY, 2016 | 41-21          | 2 OF 21           |

PURPOSE NOTE:  
 THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 12975 EXPIRATION DATE: MAY 26, 2018  
 7/14/16





| ROOF DRAIN | INVERT |
|------------|--------|
| RD-201     | 338.75 |
| RD-202     | 337.96 |
| RD-203     | 334.15 |
| RD-204     | 334.51 |
| RD-205     | 334.71 |
| RD-206     | 330.84 |
| RD-207     | 330.04 |
| RD-208     | 330.91 |
| RD-209     | 330.95 |
| RD-210     | 330.92 |
| RD-211     | 330.75 |
| RD-212     | 330.74 |
| RD-213     | 331.12 |
| RD-214     | 331.40 |
| RD-215     | 331.67 |
| RD-216     | 331.80 |
| RD-217     | 331.01 |
| RD-218     | 332.33 |
| RD-219     | 332.10 |
| RD-220     | 341.46 |
| RD-221     | 341.41 |
| RD-222     | 341.54 |
| RD-223     | 341.70 |



SEE SHEET 1 FOR LEGEND OF SYMBOLS USED ON THIS SHEET.

**APPROVED**  
PLANNING BOARD  
OF HOWARD COUNTY

DATE: 10/26/06

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Paul de Vryll* Date: 11/10

Chief, Division of Land Development: *Conrad Hantz* Date: 12/20/07

Chief, Development Engineering Division: *Chris Williams* Date: 11/17/07

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-899-2524 FAX: 301-421-4186

| NO. | DATE     | REVISION  | BY | APP. |
|-----|----------|---|----|------|
| 1   | 11.14.11 | Revise outside access details   | JK |      |
| 2   | 11.01.11 | Added outside access for Prop. Tenant   | JK |      |
| 3   | 11.22.07 | Add generator and generator enclosure   | JK | REV  |
| 4   | 11.22.07 | Rev. storm drain walls along Bldg. Enclosure setbacks along north side of Bldg. | JK | REV  |

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

**SITE DEVELOPMENT PLAN - PARCEL A-5**

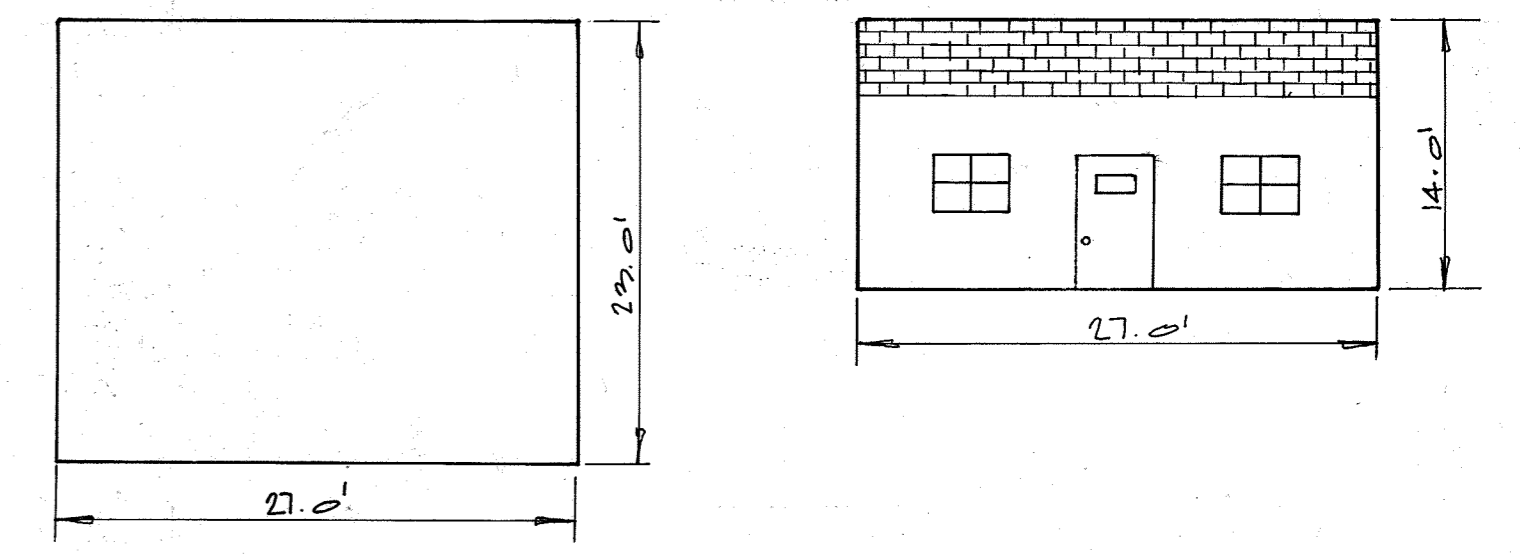
**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 12-1724-5 (F-06-239)

ELECTION DISTRICT No. 5

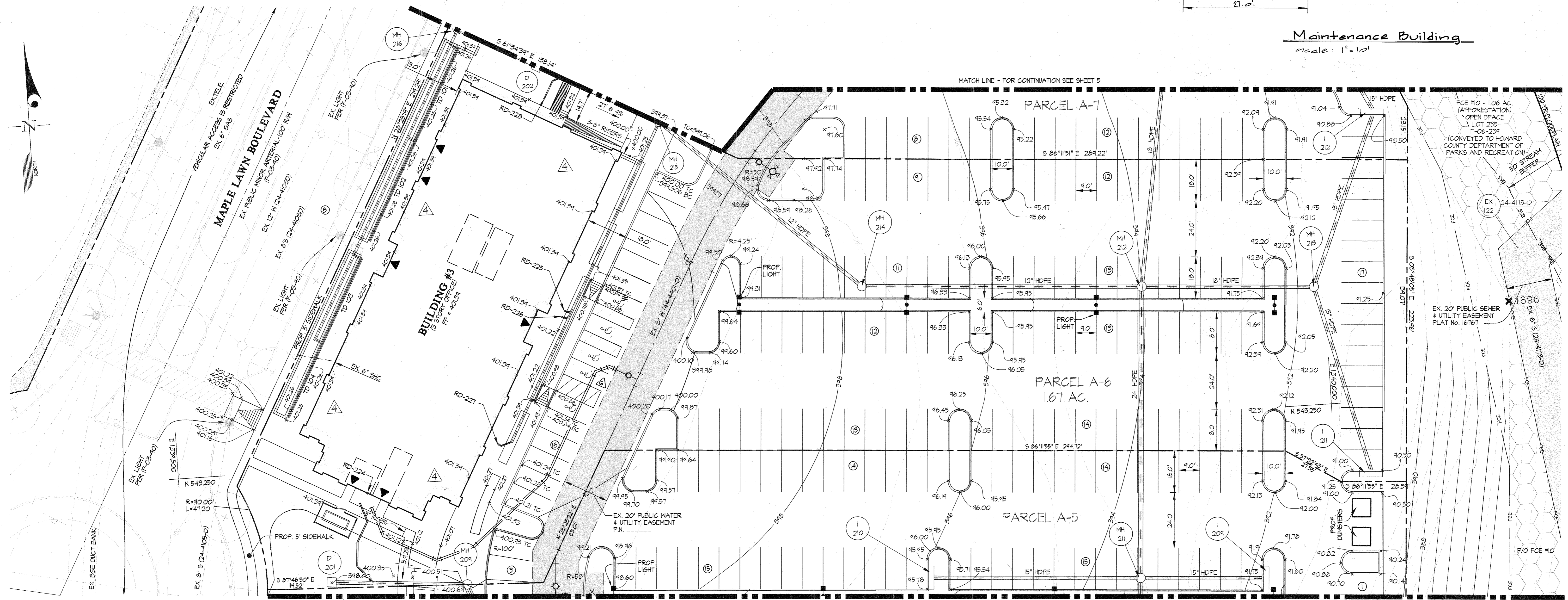
| SCALE       | ZONING         | G. L. W. FILE No. |
|-------------|----------------|-------------------|
| 1"=20'      | MXD-3          | 05015             |
| DATE        | TAX MAP - GRID | SHEET             |
| SEPT., 2006 | 41-21          | 3 OF 21           |

HOWARD COUNTY, MARYLAND

N 543.500  
E 139.1750



Maintenance Building  
scale: 1"=10'



MATCH LINE - FOR CONTINUATION SEE SHEET 3

MATCH LINE - FOR CONTINUATION SEE SHEET 5

| LEGEND |  |
|--------|--|
|        | EX. CONTOUR                                    |
|        | PROP. CONTOUR                                  |
|        | LIMIT OF DISTURBANCE                           |
|        | EX. STORM DRAIN                                |
|        | PROP. STORM DRAIN                              |
|        | EX. SANITARY SEWER                             |
|        | EX. WATERLINE                                  |
|        | PROP. SANITARY SEWER                           |
|        | PROPOSED WATERLINE                             |
|        | EX. CURB & GUTTER                              |
|        | PROPOSED CURB & GUTTER                         |
|        | PROPOSED REVERSE CURB & GUTTER                 |
|        | CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD |
|        | EX. EASEMENTS                                  |
|        | TOP OF PAVING SPOT SHOT                        |
|        | NUMBER OF PARKING SPACES                       |
|        | PROP. LIGHT FIXTURE & POLE                     |
|        | EX. LIGHT FIXTURE & POLE                       |
|        | HANDICAPPED PARKING                            |
|        | BUILDING ENTRANCE                              |
|        | EX. TREES (PER F-03-01)                        |

PURPOSE NOTE:  
THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director *Valerie Zeff* 10-31-16  
Chief, Division of Land Development *Kate Schick* 10-31-16  
Chief, Development Engineering Division *John E. Ebert* 10-13-16

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12975 EXPIRATION DATE: MAY 26, 2018  
7/14/16 *[Signature]*

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

| DATE     | REVISION  | BY  | APPR. |
|----------|---|-----|-------|
| 8-10-11  | Rev. bldg. entrances, WHC & OD connection for bldg. 3                                   | LJP | AT    |
| 1-18-16  | Added Maintenance Plan - Elev.  | AT  | DEV   |
| 07-11-16 | REPLACEMENT SHEET - REVISED FOOTPRINT FOR BUILDING 3, UTILITY ROOMS, DECKS & UTILITIES. | AT  | DEV   |
| 11-26-07 | REV. BUILD. FOOTPRINTS, 6\"/>   | MSJ | DEV   |

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

REVISED - SITE DEVELOPMENT PLAN - PARCEL A-6  
**MAPLE LAWN FARMS  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS**  
PARCELS A-5, A-6, & A-7  
PLAT No. 18794 & 18795 (F-06-239)  
ELECTION DISTRICT No. 5

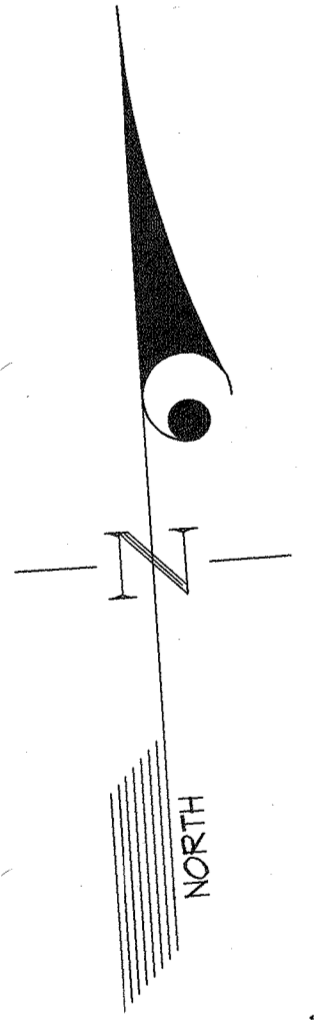
| SCALE      | ZONING         | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=20'     | MXD-3          | 05015             |
| DATE       | TAX MAP - GRID | SHEET             |
| JULY, 2016 | 41-21          | 4 OF 21           |

MAPLE LAWN FARMS  
PARCEL A-8  
(F-06-234)  
PLAT No.

FCE #10 - 1.06 AC.  
(AFFORESTATION)  
OPEN SPACE  
LOT 235  
F-06-234  
(CONVEYED TO HOWARD  
COUNTY DEPARTMENT OF  
PARKS AND RECREATION)

**LEGEND**

|  |  |
|--|--|
| 366  | EX CONTOUR                                     |
| 300  | PROP. CONTOUR                                  |
| LOD  | LIMIT OF DISTURBANCE                           |
| EX STORM DRAIN                                 | EX STORM DRAIN                                 |
| PROP. STORM DRAIN                              | PROP. STORM DRAIN                              |
| EX SANITARY SEWER                              | EX SANITARY SEWER                              |
| EX 8" W  | EX WATERLINE                                   |
| PROP. 8" S                                     | PROP. SANITARY SEWER                           |
| PROPOSED WATERLINE                             | PROPOSED WATERLINE                             |
| EX CURB & GUTTER                               | EX CURB & GUTTER                               |
| PROPOSED CURB & GUTTER                         | PROPOSED CURB & GUTTER                         |
| PROPOSED REVERSE CURB & GUTTER                 | PROPOSED REVERSE CURB & GUTTER                 |
| CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD | CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD |
| EX EASEMENTS                                   | EX EASEMENTS                                   |
| X 78.0   | TOP OF PAVING SPOT SHOT                        |
| ⊙  | NUMBER OF PARKING SPACES                       |
| ★  | PROP. LIGHT FIXTURE & POLE                     |
| ★  | EX LIGHT FIXTURE & POLE                        |
| ♿  | HANDICAPPED PARKING                            |
| △  | BUILDING ENTRANCE                              |
| ○  | EX TREES (PER F-05-07)                         |



N 548,750  
E 1339,500

N 543,500  
E 1339,500



OPEN SPACE LOT 125  
COMMUNITY CENTER  
SDP-05-171

**BUILDING #4**  
(2 STORY OFFICE)  
FF = 344.25

**PARCEL A-7**  
1.94 AC.

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 04/09/2015

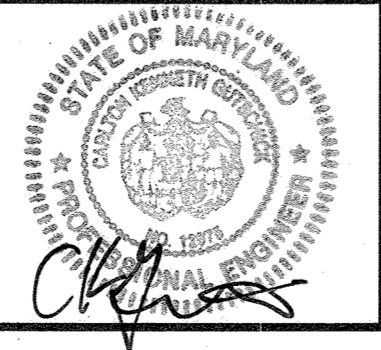
APPROVED, FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*William Jaffe* 10-31-16  
Director Date

*Kevin J. ...* 10-31-16  
Chief, Division of Land Development Date

*...* 10-13-16  
Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 12975  
EXPIRATION DATE: MAY 26, 2018  
7/11/16



| ROOF DRAIN INFO |        | ROOF DRAIN INFO |        |
|-----------------|--------|-----------------|--------|
| ROOF DRAIN      | INVERT | ROOF DRAIN      | INVERT |
| RD-231          | 343.31 | RD-236          | 344.17 |
| RD-232          | 343.06 | RD-234          | 344.54 |
| RD-233          | 343.60 | RD-240          | 344.61 |
| RD-234          | 343.73 | RD-241          | 344.17 |
| RD-235          | 344.10 | RD-242          | 340.28 |
| RD-236          | 344.27 | RD-245          | 340.52 |
| RD-237          | 344.61 |                 |        |

PURPOSE NOTE:  
THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES  
TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4.  
THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

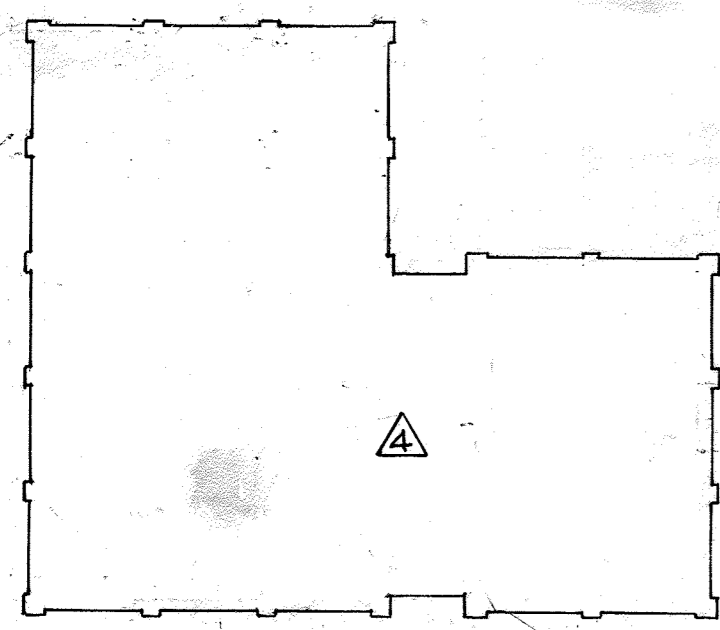
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TELE: 301-421-4024 BALT: 410-880-1920 DC/VA: 301-989-2524 FAX: 301-421-4186

| NO.      | DATE | DESCRIPTION  | BY  | APPR. |
|----------|------|--|-----|-------|
| 8-10-11  |      | Rev. Bldg. entrances   | klp |       |
| 07-11-16 |      | REPLACEMENT SHEET - REV. FOOTPRINT FOR BUILDING 4, UTILITY ROOMS, DECKS & UTILITIES.<br>SHOWN PAVILION AND STORAGE BUILDING. | SE  | DEV   |
| 11-28-07 |      | REV. BUILD. FOOTPRINTS, 6" W/C TO BLDG., ROOF & DECK DRAINS & PARK ISL. & ADDED UTILITY ROOMS.                               | MSJ | DEV   |
|          |      | REVISION   |     | APPR  |

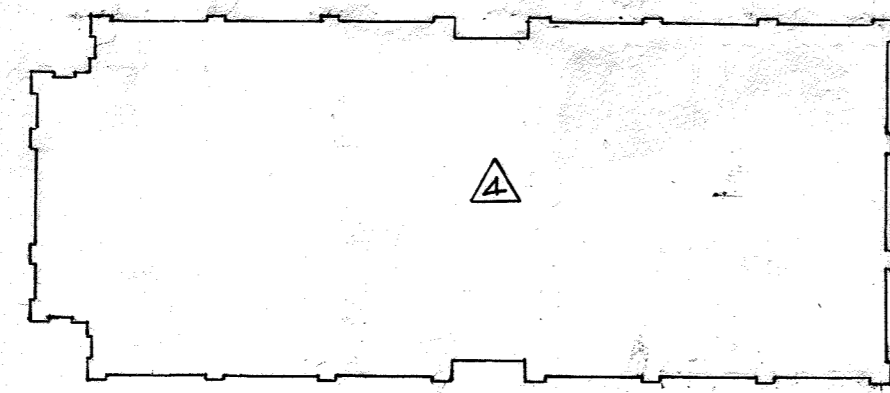
PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

REVISED - SITE DEVELOPMENT PLAN - PARCEL A-7  
**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 18794 & 18795 (F-06-239)

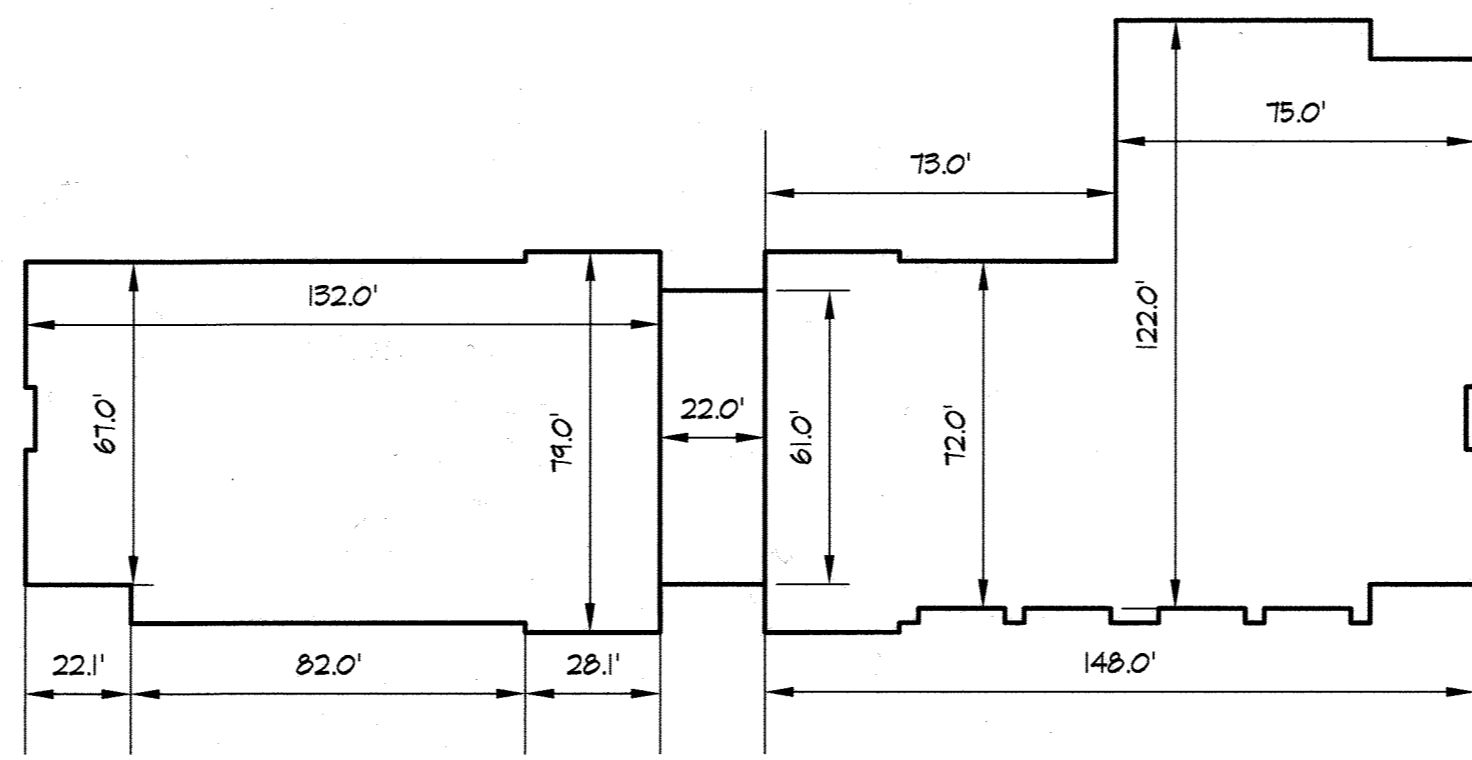
| SCALE      | ZONING         | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=20'     | MXD-3          | 05015             |
| DATE       | TAX MAP - GRID | SHEET             |
| JULY, 2016 | 41-21          | 5 OF 21           |



BUILDING 4  
SCALE: 1"=40'

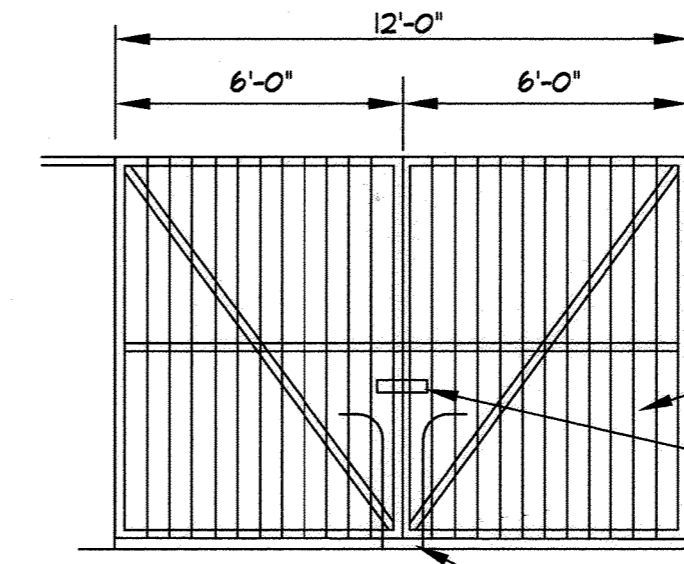
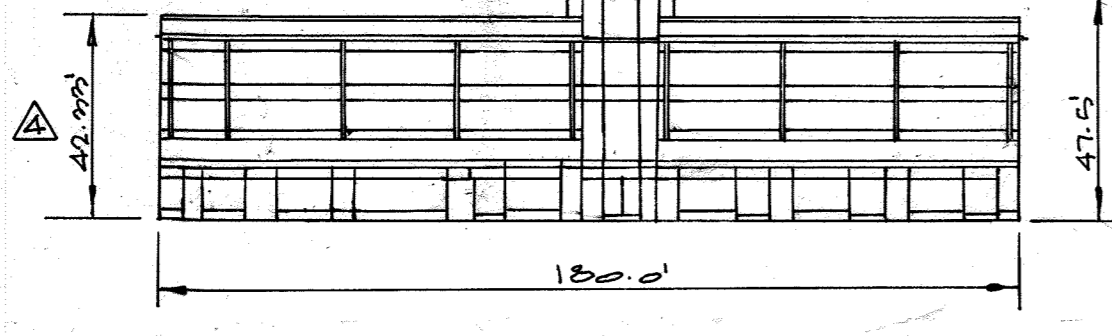
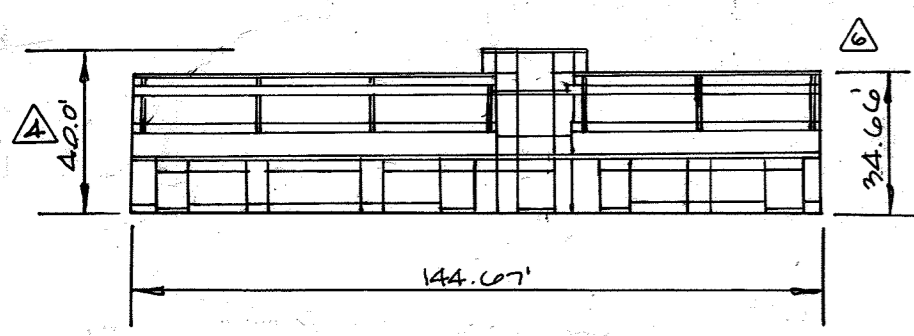


BUILDING 3  
SCALE: 1"=40'



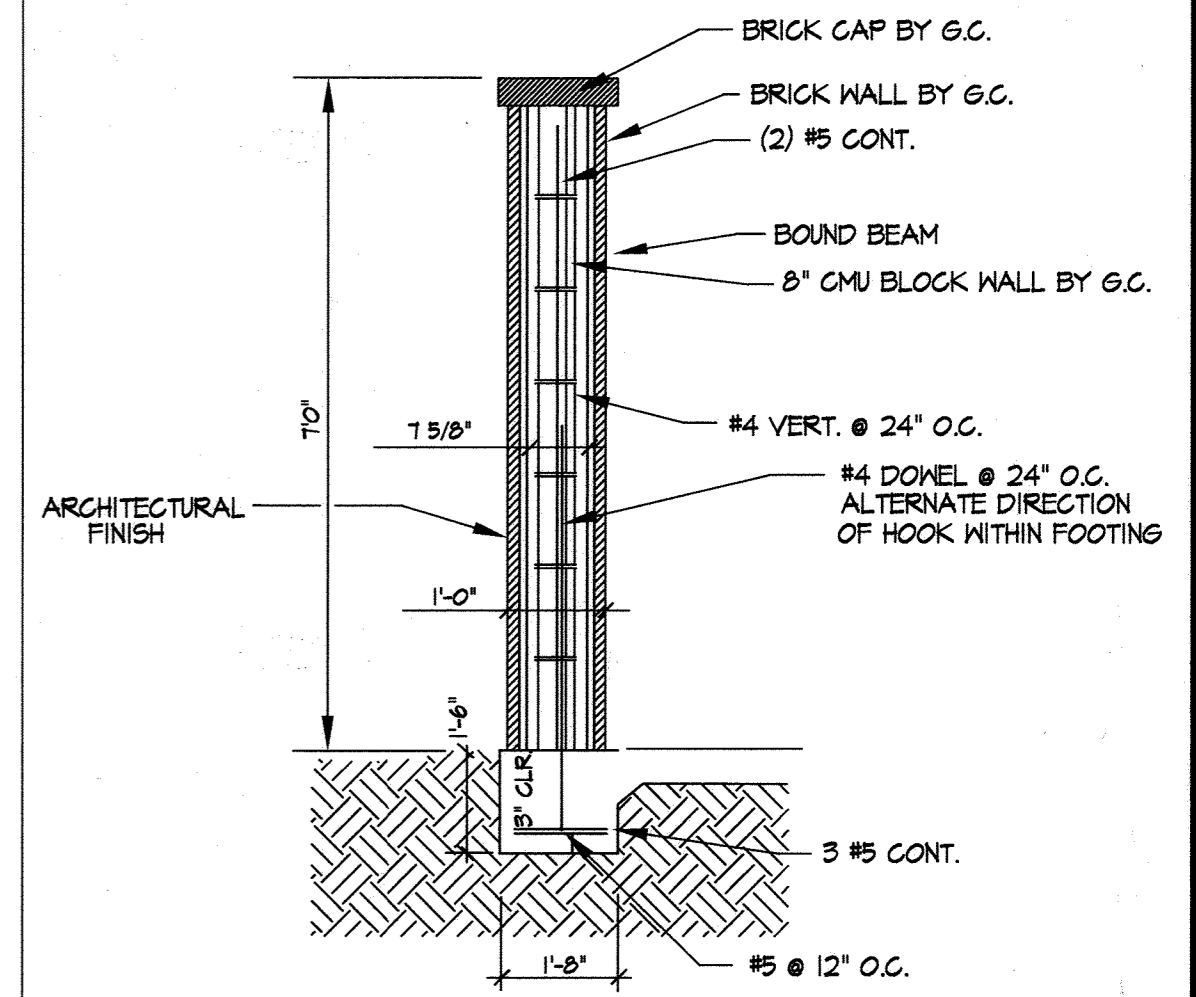
BUILDING 2  
SCALE: 1"=40'

BUILDING 1  
SCALE: 1"=40'

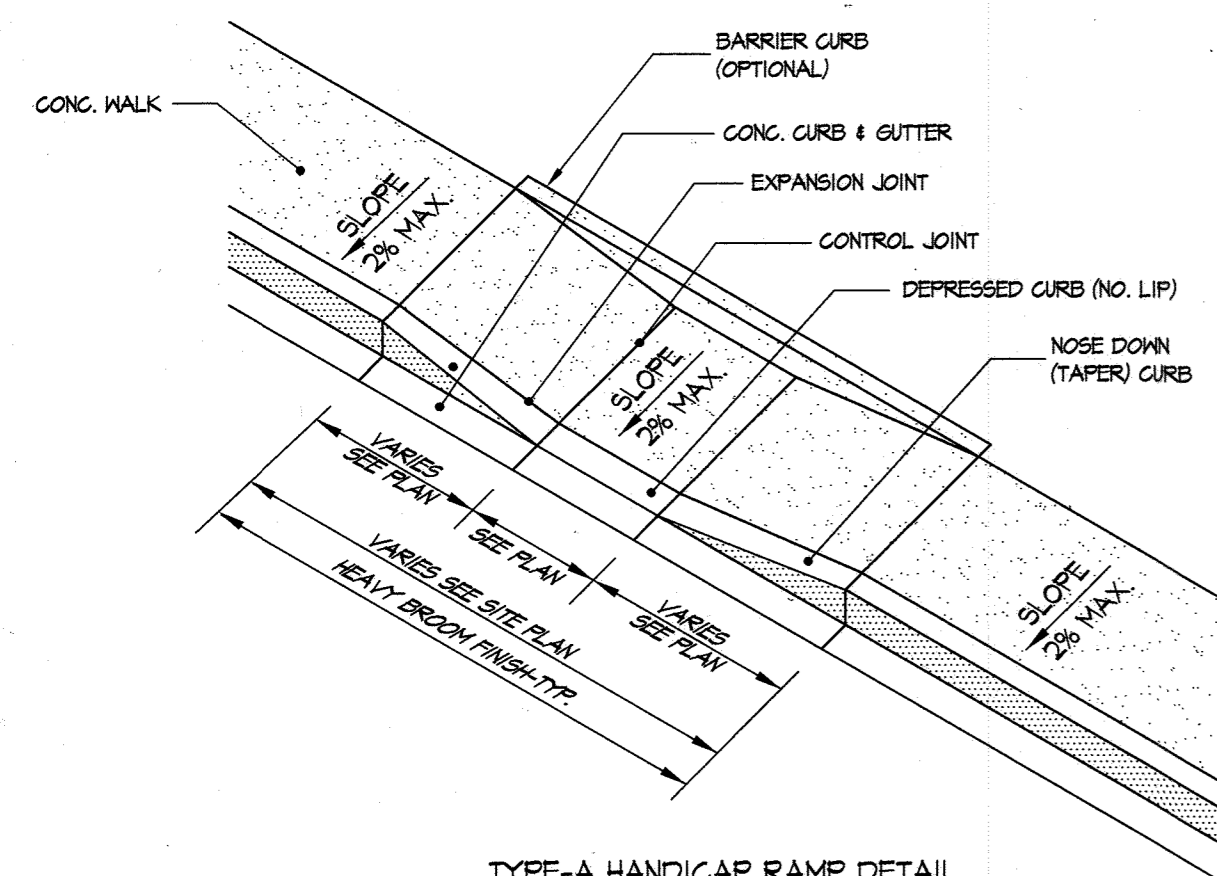


Elevation of Gates  
For Trash Enclosure  
N.T.S.

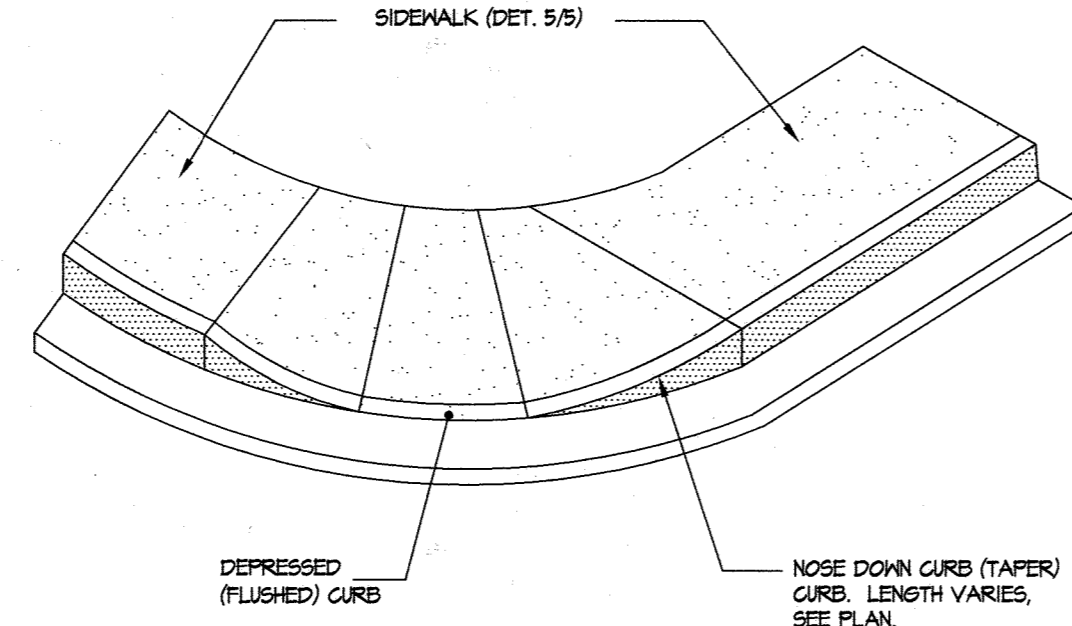
- TS 2 x 2 x 3/16 GATE FRAME AND BRACING PTD. FIN.
- (2) 3 1/2 x 3 1/2 PLATE STEEL PTD. FIN.
- 8" CMU BLOCK WALL WITH E.I.F.S. PTD.
- CORRUGATED METAL (SEE ROOFING SPEC.)
- PROVIDE LATCH TO LOCK ON INSIDE OF GATE
- 4 1/4 x 4 1/4 ST. BALL BEARING HEAVY DUTY BUTT HINGE (3 PER GATE)
- 5/8" DIA. GALV. STL. ROD PROVIDE STEEL SLEEVE IN CONC. TO RECEIVE STEEL FLUSH BOLT (ROD)



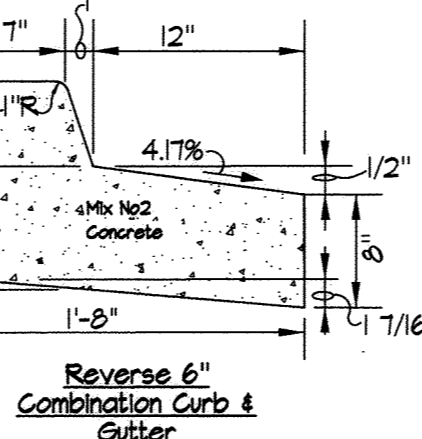
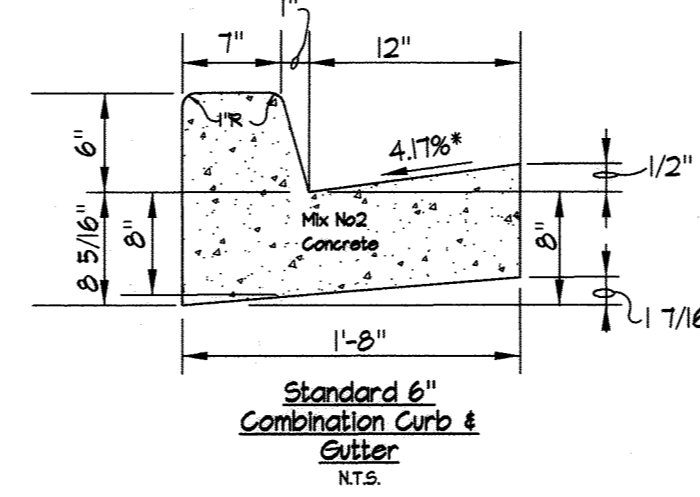
Section of Stone Wall  
For Trash Enclosure  
N.T.S.



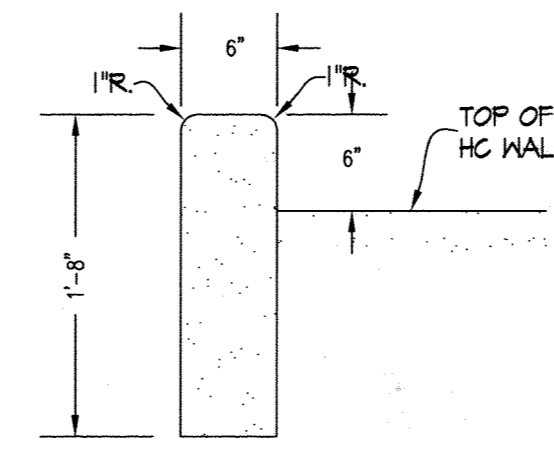
TYPE-A HANDICAP RAMP DETAIL  
SCALE: N.T.S.



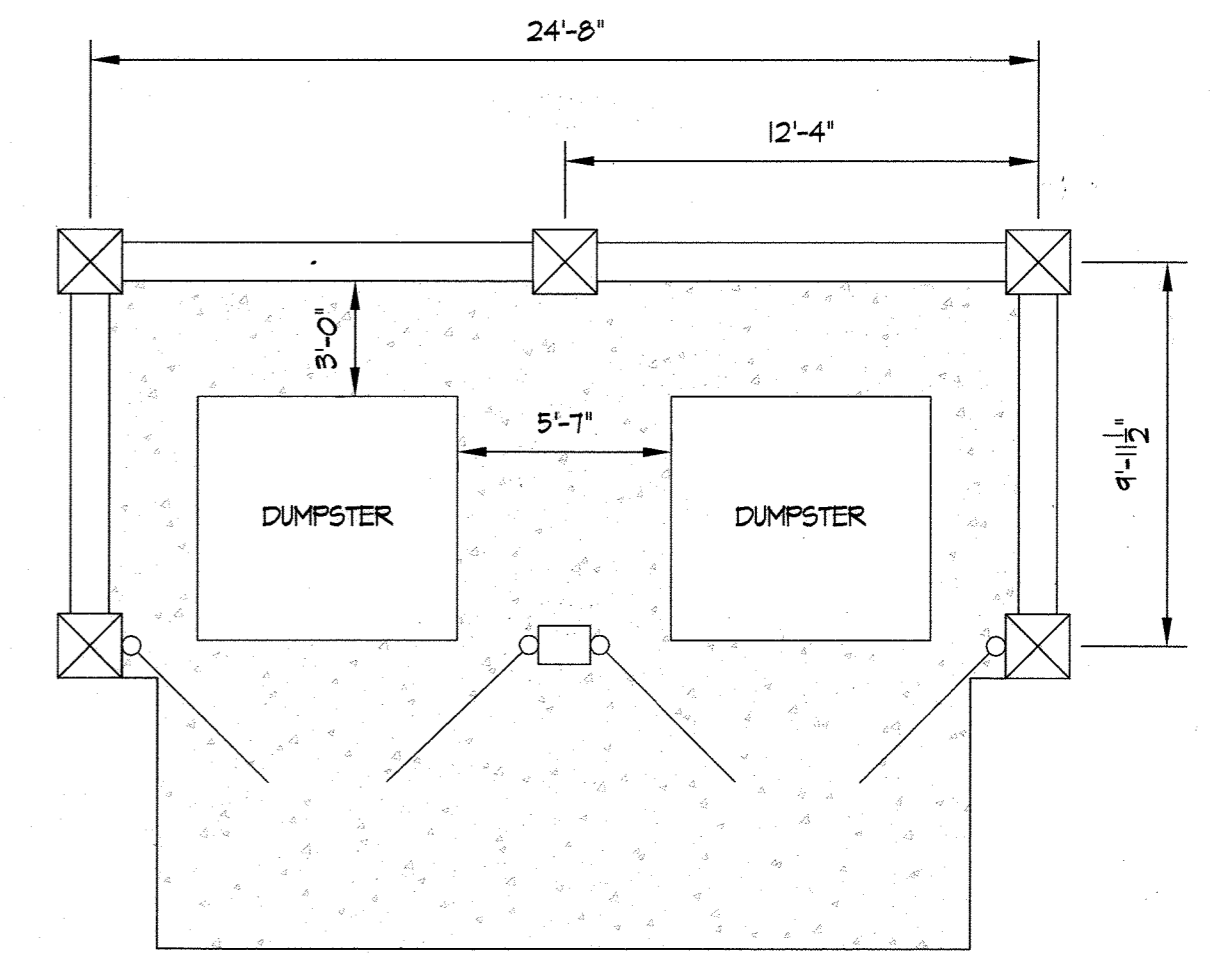
TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION  
SCALE: N.T.S.



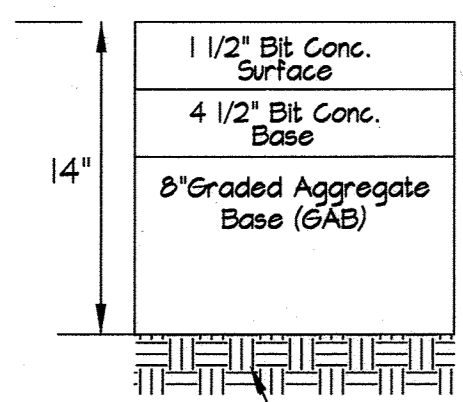
N.T.S.



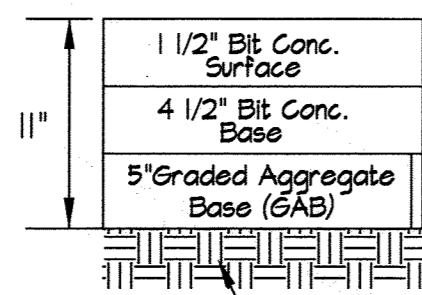
6" HC SIDEWALK BARRIER CURB  
SCALE: N.T.S.



TRASH ENCLOSURE DETAIL  
SCALE: 1"=5'



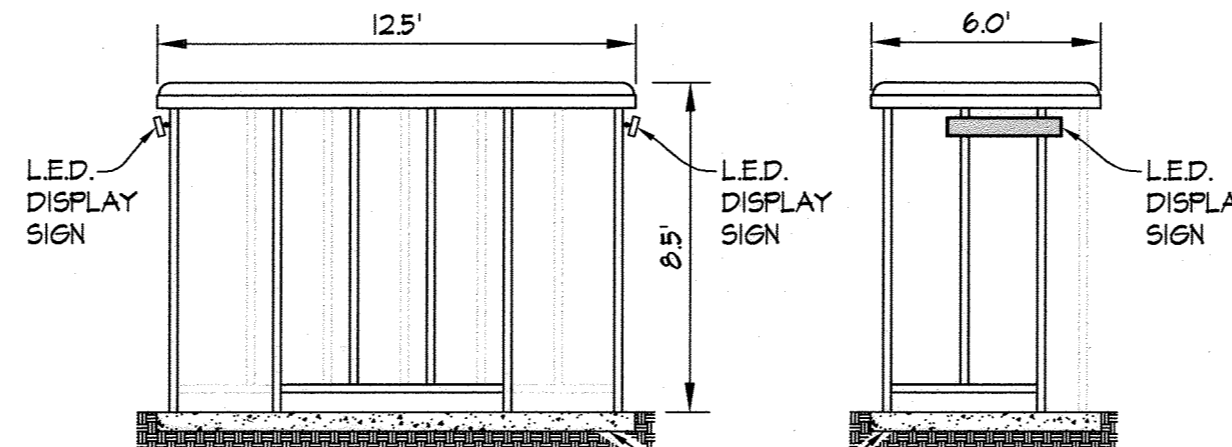
Approved subgrade with a CBR value = 3.



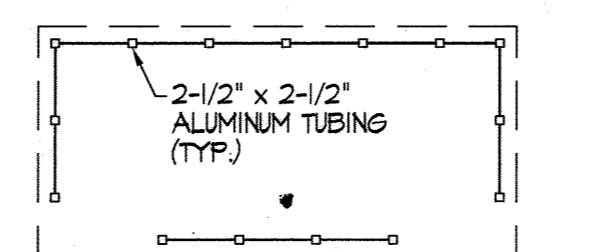
Approved subgrade with a CBR value = 6.

P-3 Granular Base  
N.T.S.

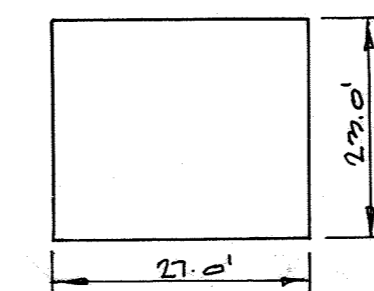
Note: Depending on the CBR values obtained in the field, the paving sections may be revised, if approved by a professional soils engineers. These substitutions must also be approved by the Howard County Department of Public Works.



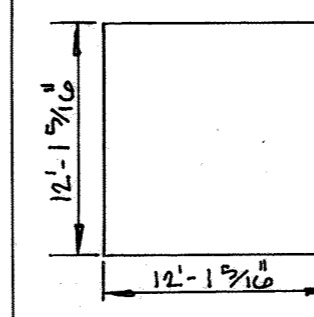
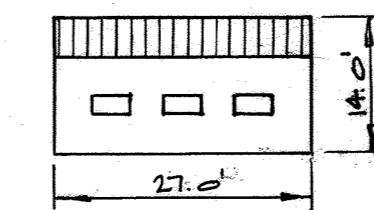
LED DISPLAY SIGN  
BUS SHELTER DETAIL  
SCALE: 1"=5'



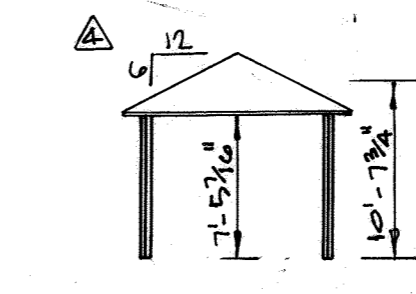
NOTES  
1. CONCRETE PAD TO BE CONSTRUCTED IN A MANNER SIMILAR TO THE CONCRETE PAD SHOWN IN HO. CO. DETAIL R-11.01



MAINTENANCE BUILDING



PAVILION - SLAB



PAVILION - FRONT ELEVATION

Scale: 1"=10'

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY

DATE 10/26/06  
vs

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director *Mark A. Lynch* Date 2/1/12

Chief, Division of Land Development *Chris Hume* Date 1/26/12

Chief, Development Engineering Division *Chris Hume* Date 1/17/12

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE 04-09-2015



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

| DATE     | REVISION   | BY  | APP'R. |
|----------|--|-----|--------|
| 08-17-11 | Rev Bldg. height for Bldg. 4                           | kjp | REV    |
| 11-22-10 | Rev Bldg Elev. & added the Maintenance Bldg & Pavilion | WGL | REV    |
| 11-22-07 | Rev Bldg Footprint per Arch. changes                   | WGL | REV    |

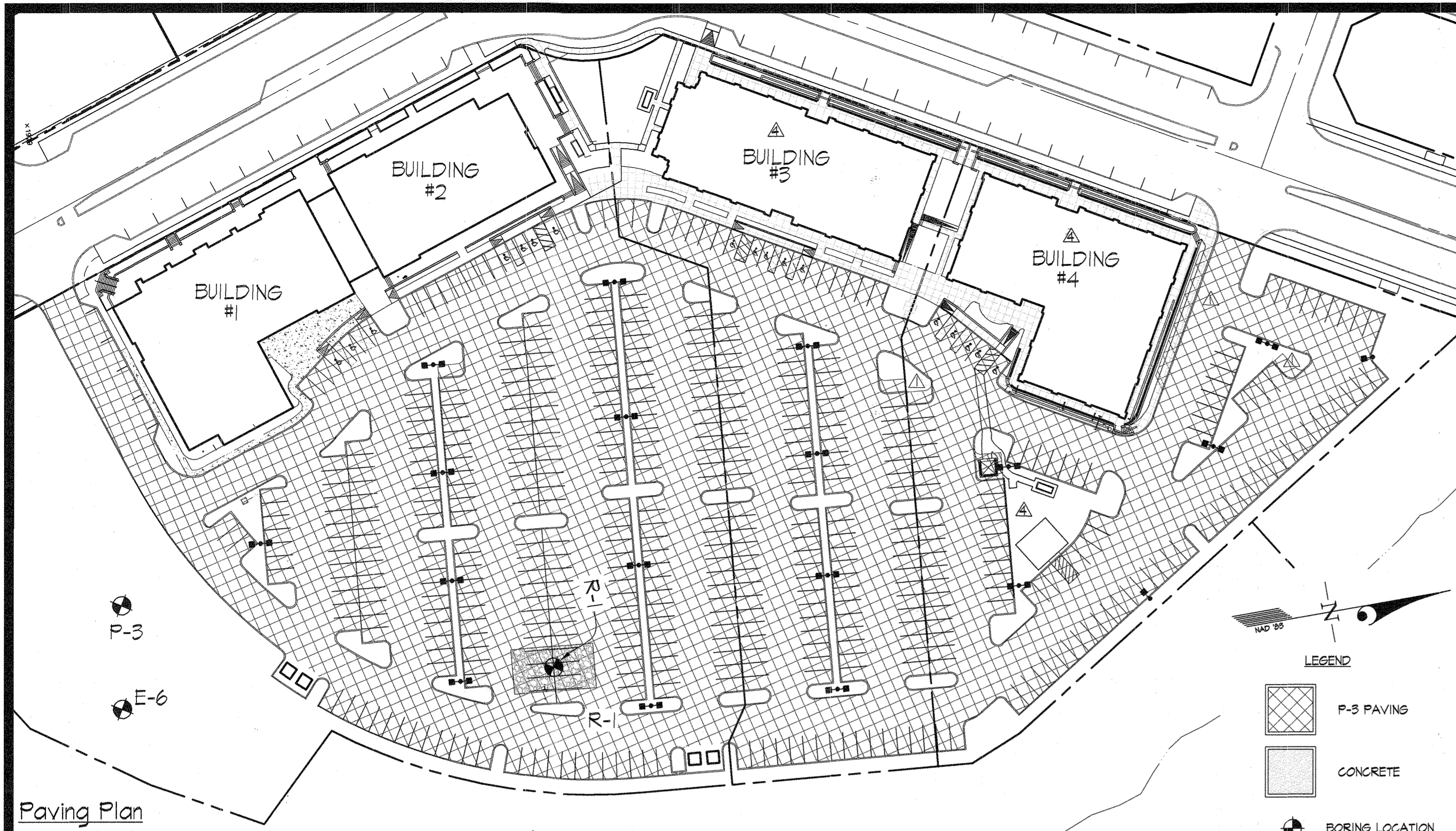
PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

**SITE DETAILS**  
**MAPLE LAWN FARMS**  
**MIDTOWN DISTRICT - AREA 2**  
**MEDICAL & GENERAL OFFICE BUILDINGS**  
PARCELS A-5, A-6, & A-7  
PLAT No. 12-202-5 (P-06-239)

| SCALE       | ZONING         | G. L. W. FILE No. |
|-------------|----------------|-------------------|
| AS SHOWN    | MXD-3          | 05015             |
| DATE        | TAX MAP - GRID | SHEET             |
| SEPT., 2006 | 41-21          | 6 OF 21           |

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



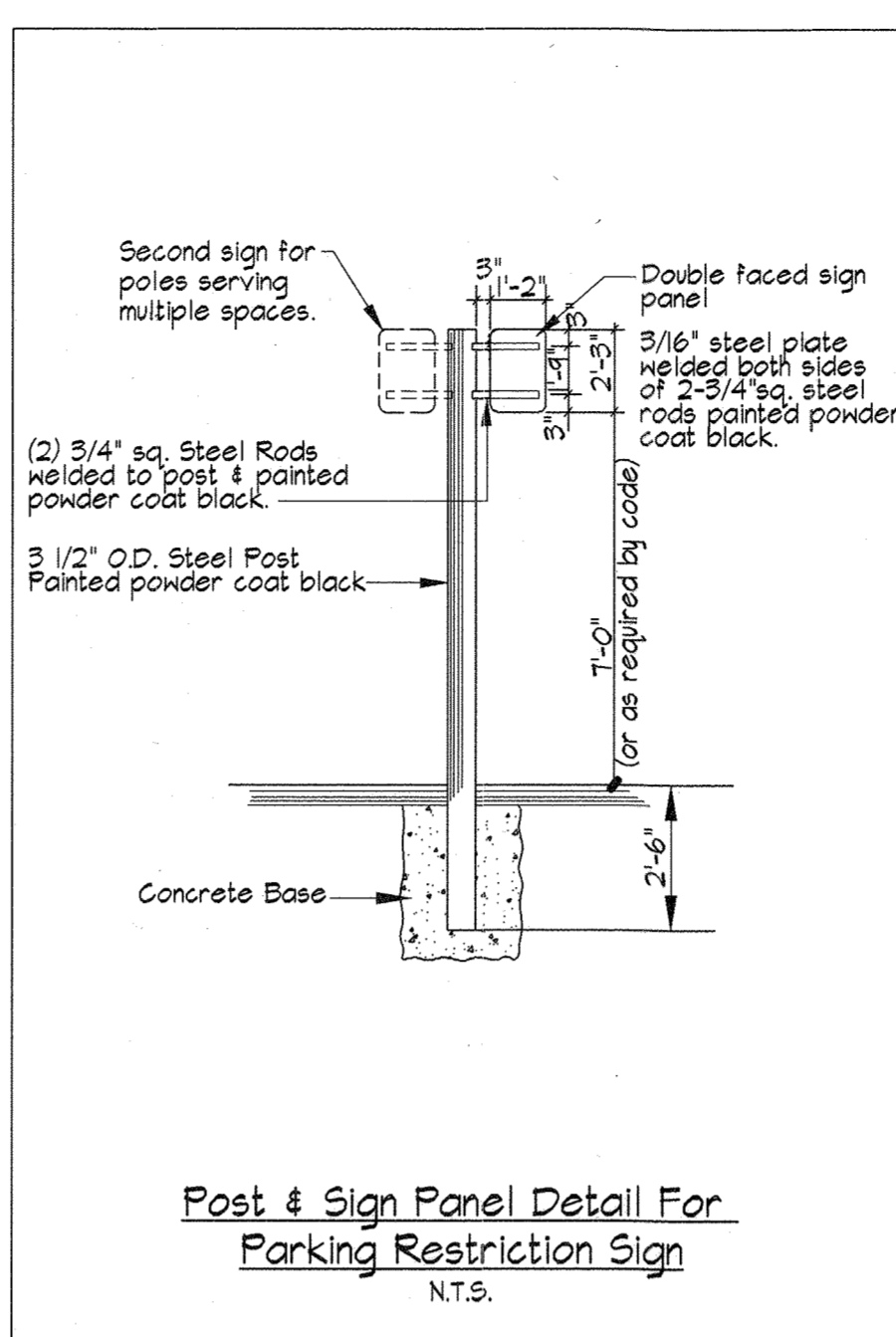
Paving Plan  
SCALE: 1"=60'

**LANDSCAPE LIGHTING FIXTURE SCHEDULE**

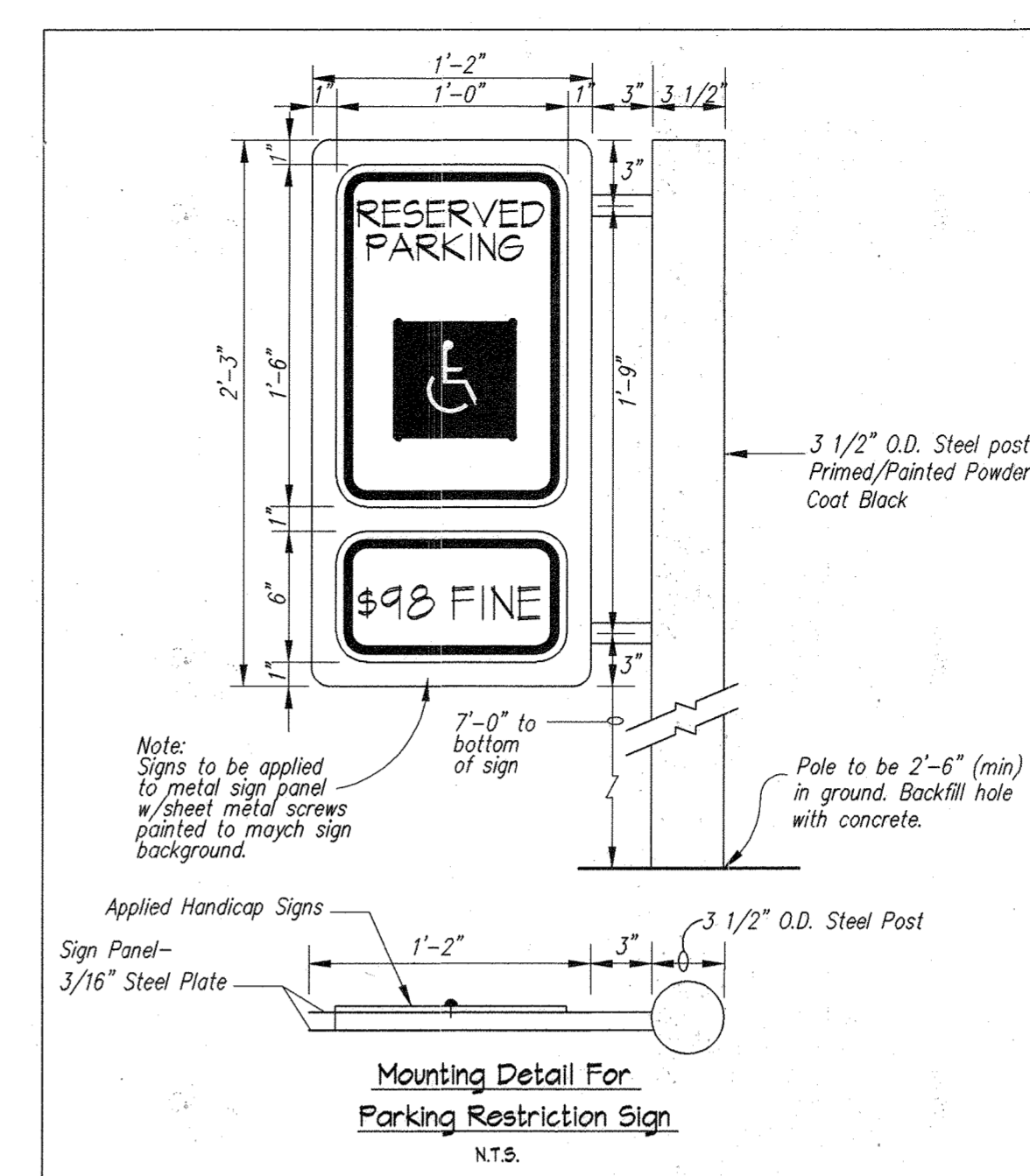
| TYPE | MANUFACTURER | CATALOG NUMBER           | WATTAGE | LAMP                 | MOUNTING                  | NOTES   | SYMBOL |
|------|--------------|--------------------------|---------|----------------------|---------------------------|---|--------|
| A    | GARDCO       | G-18-2-Q-250PSMH-20B-BLP | 250 W   | HIGH PRESSURE SODIUM | 23' STRAIGHT POLE (BLACK) | FIXTURE TYPE: GULLWING SHIELD TYPE: SEMI-CUTOFF | ■●■    |
| B    | GARDCO       | G-18-1-Q-250PSMH-20B-BLP | 250 W   | HIGH PRESSURE SODIUM | 23' STRAIGHT POLE (BLACK) | FIXTURE TYPE: GULLWING SHIELD TYPE: SEMI-CUTOFF | ■●     |

**EXTERIOR LIGHT NOTES**

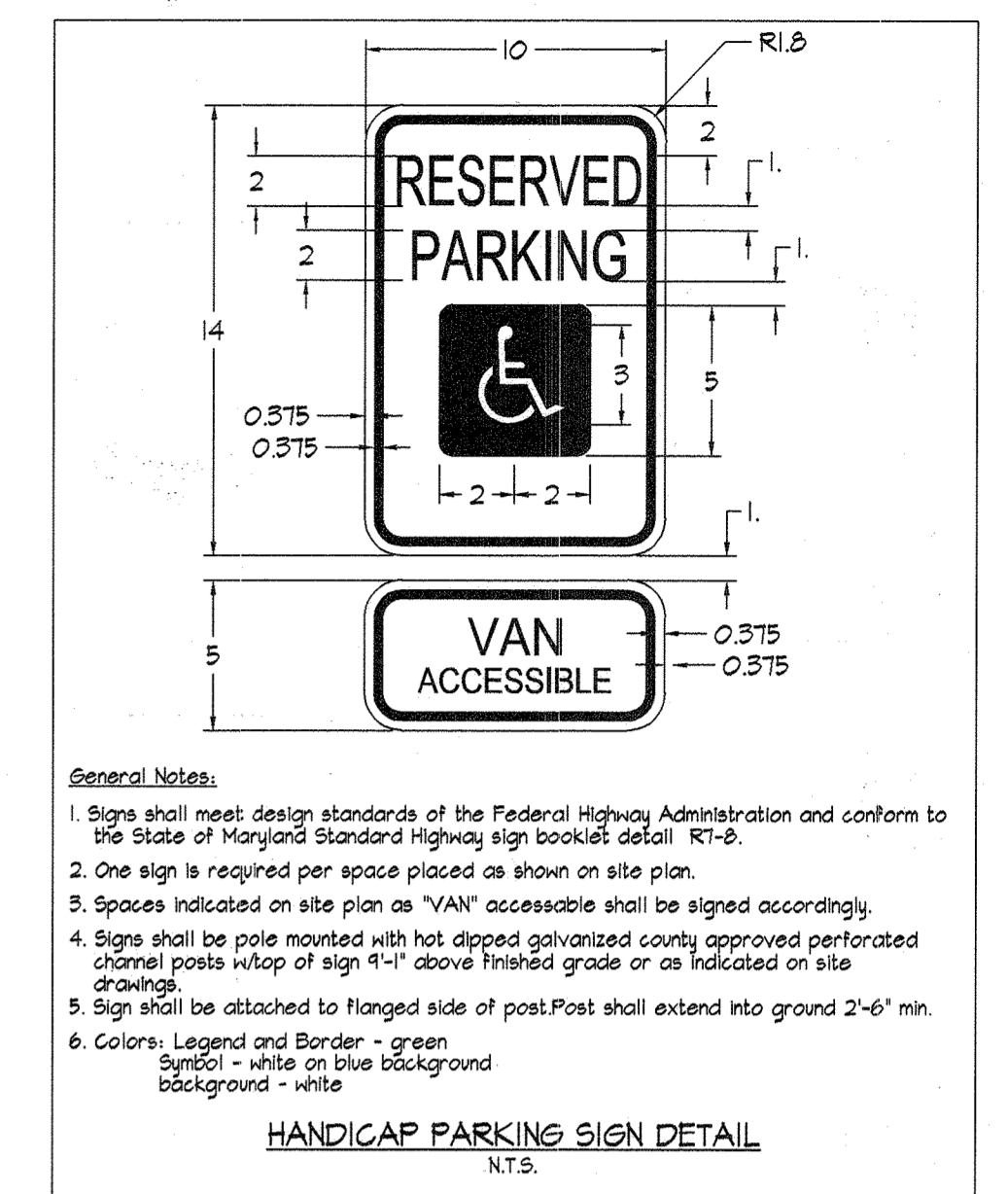
- A partially shielded fixture must be constructed and installed in such a manner that less than 25 percent of the light is projected above the horizontal plane through the lowest part of the lamp, as certified by the lighting manufacturer or a photometric test report.
- Light trespass onto a property in the "RR" zoning district, or onto a property in the MXD district designated for development of equivalent land uses, shall be limited to 0.1 foot candles.



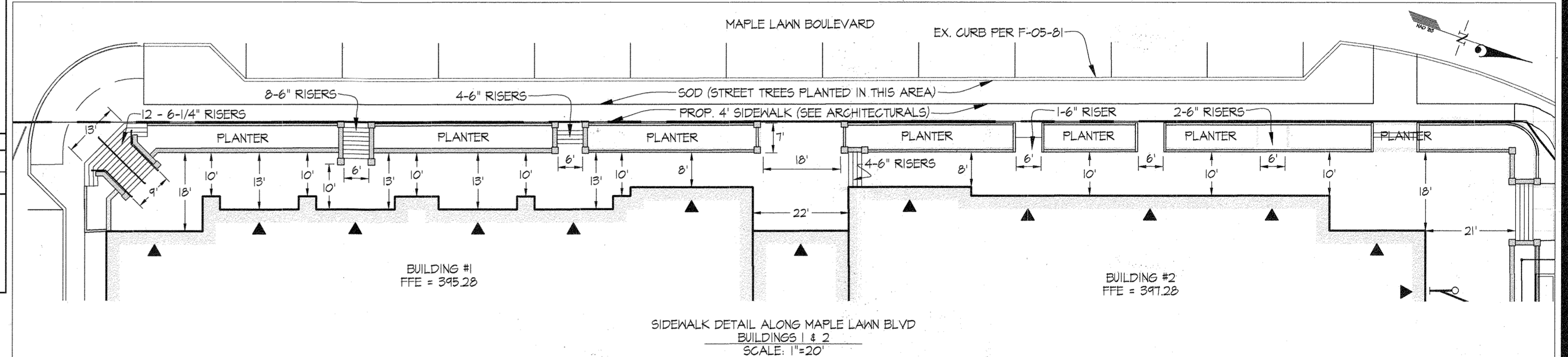
Post & Sign Panel Detail For  
Parking Restriction Sign  
N.T.S.



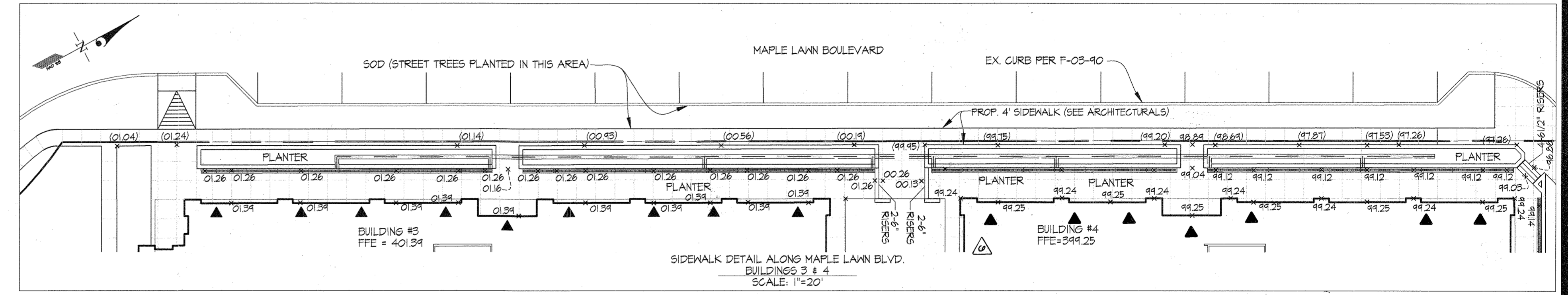
Mounting Detail For  
Parking Restriction Sign  
N.T.S.



HANDICAP PARKING SIGN DETAIL  
N.T.S.



SIDEWALK DETAIL ALONG MAPLE LAWN BLVD  
BUILDINGS 1 & 2  
SCALE: 1"=20'



SIDEWALK DETAIL ALONG MAPLE LAWN BLVD  
BUILDINGS 3 & 4  
SCALE: 1"=20'

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 12975  
EXPIRATION DATE: MAY 26, 2018

7/11/16  
*Chad E. Weber*  
Professional Engineer

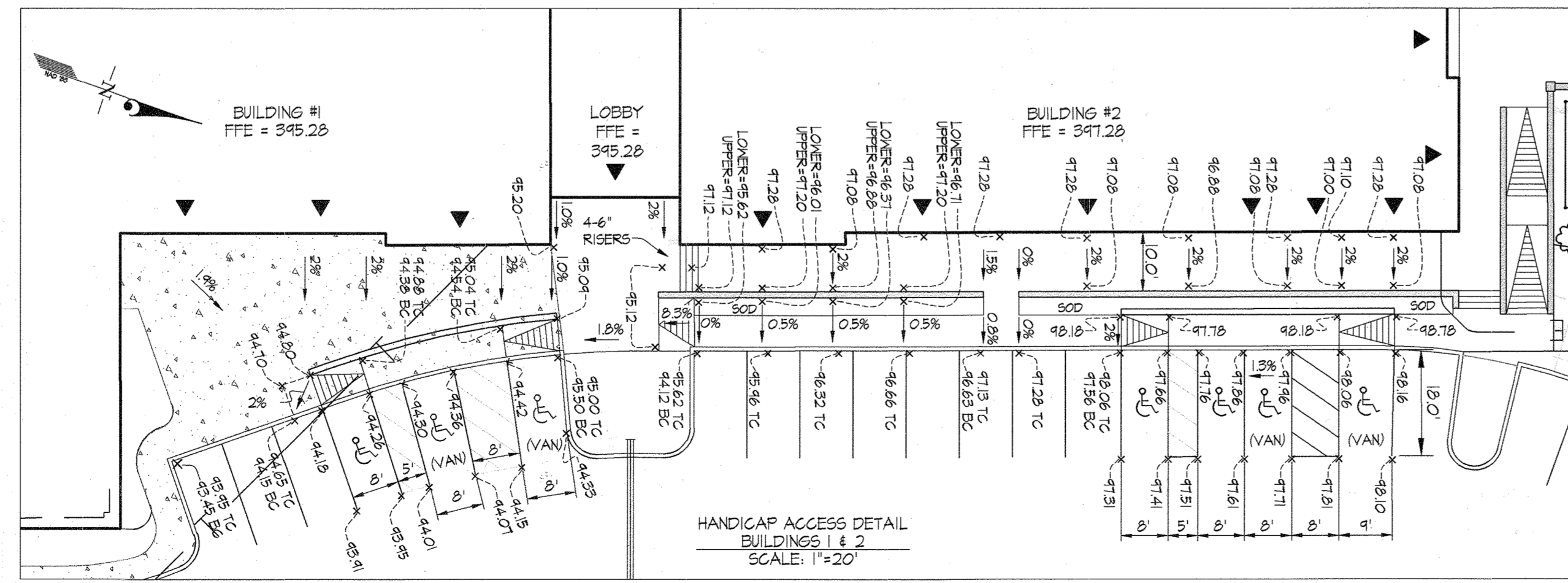
APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 04/09/2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

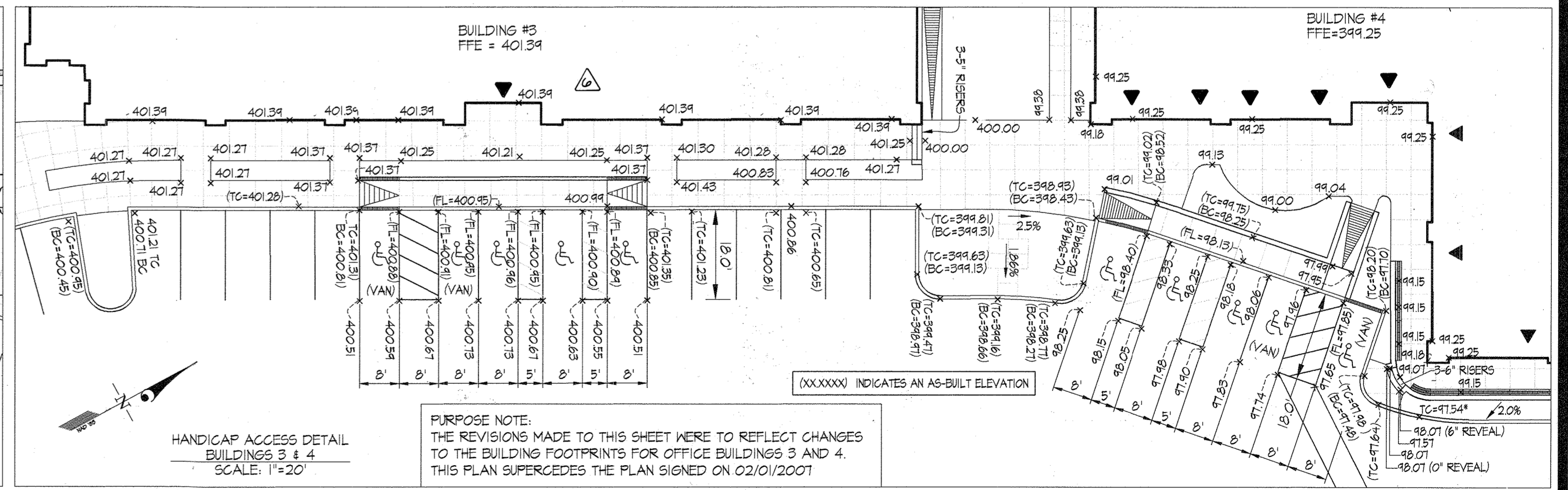
*William J. Miller* 10-31-10  
Director Date

*Kate Schuch* 10-31-16  
Chief, Division of Land Development Date

*Chad E. Weber* 10-13-16  
Chief, Development Engineering Division Date



HANDICAP ACCESS DETAIL  
BUILDINGS 1 & 2  
SCALE: 1"=20'



HANDICAP ACCESS DETAIL  
BUILDINGS 3 & 4  
SCALE: 1"=20'

PURPOSE NOTE:  
THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES  
TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4.  
THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

| DATE     | REVISION  | BY  | APP'R |
|----------|---|-----|-------|
| 02-10-11 | Rev. entrance locations for Bldgs. 3 & 4  | WJP | DEV.  |
| 07-11-16 | REPLACEMENT SHEET - REV. FOOTPRINTS AND HANDICAP ACCESS DETAIL, SHOWED PAVILION AND STORAGE BUILDING. | ST  | DEV.  |
| 11-26-07 | REV. BUILD. FOOTPRINTS & WALKS PER ARCH. CHANGES & REV. CURB  | MSJ | DEV.  |

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

REVISED - SITE / HANDICAP ACCESSIBLTY DETAILS

**MAPLE LAWN FARMS  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS**  
PARCELS A-5, A-6, & A-7  
PLAT No. 18794 & 18795 (F-06-239)

ELECTION DISTRICT No. 5

| SCALE      | ZONING         | G. L. W. FILE NO. |
|------------|----------------|-------------------|
| AS SHOWN   | MXD-3          | 05015             |
| DATE       | TAX MAP - GRID | SHEET             |
| JULY, 2016 | 41-21          | 7 OF 21           |

HOWARD COUNTY, MARYLAND

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/we certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

*John M. Robertson*  
 Howard Soil Conservation District  
 9/30/16  
 Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

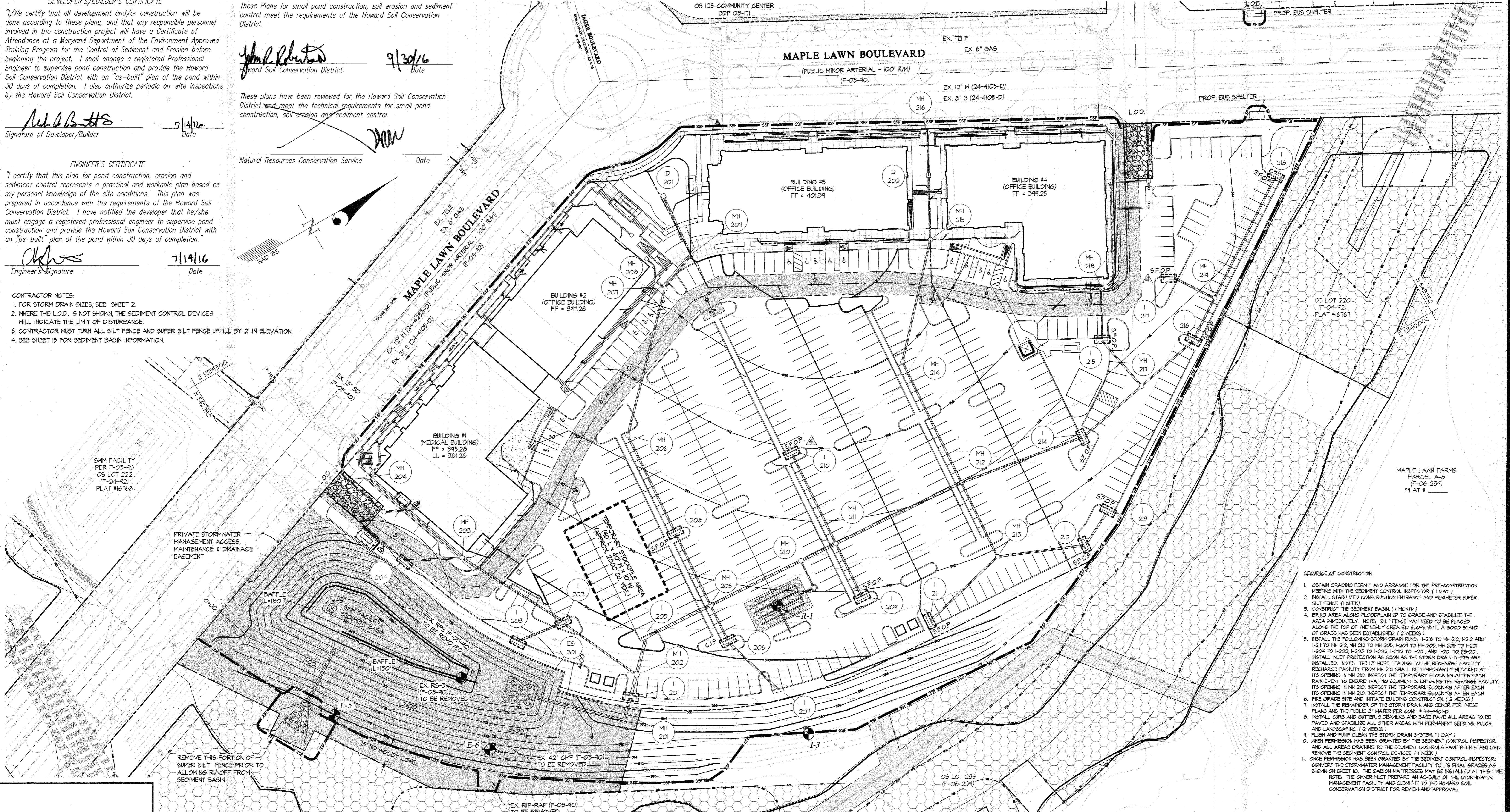
*John M. Robertson*  
 Natural Resources Conservation Service  
 Date

*Richard B. HS*  
 Signature of Developer/Builder  
 7/14/16  
 Date

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

*Chk*  
 Engineer's Signature  
 7/14/16  
 Date

- CONTRACTOR NOTES:**
- FOR STORM DRAIN SIZES, SEE SHEET 2.
  - WHERE THE L.O.D. IS NOT SHOWN, THE SEDIMENT CONTROL DEVICES WILL INDICATE THE LIMIT OF DISTURBANCE.
  - CONTRACTOR MUST TURN ALL SILT FENCE AND SUPER SILT FENCE UPHILL BY 2' IN ELEVATION.
  - SEE SHEET 15 FOR SEDIMENT BASIN INFORMATION.



- SEQUENCE OF CONSTRUCTION:**
- OBTAIN GRADING PERMIT AND ARRANGE FOR THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR. (1 DAY)
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PERIMETER SUPER SILT FENCE. (1 WEEK)
  - CONSTRUCT THE SEDIMENT BASIN. (1 MONTH)
  - BRING AREA ALONG FLOODPLAIN UP TO GRADE AND STABILIZE THE AREA IMMEDIATELY. NOTE: SILT FENCE MAY NEED TO BE PLACED ALONG THE TOP OF THE NEWLY CREATED SLOPE UNTIL A GOOD STAND OF GRASS HAS BEEN ESTABLISHED. (2 WEEKS)
  - INSTALL THE FOLLOWING STORM DRAIN RUNS: 1-216 TO MH 212, 1-212 TO MH 212, MH 212 TO MH 205, 1-201 TO MH 205, MH 205 TO 1-201, 1-204 TO 1-202, 1-202 TO 1-201, 1-201 TO 1-201, AND 1-201 TO 15-201. INSTALL INLET PROTECTION AS SOON AS THE STORM DRAIN INLETS ARE INSTALLED. NOTE: THE 12" HOPE LEADINGS TO THE RECHARGE FACILITY RECHARGE FACILITY FROM MH 210 SHALL BE TEMPORARILY BLOCKED AT ITS OPENING IN MH 210. INSPECT THE TEMPORARY BLOCKING AFTER EACH RAIN EVENT TO ENSURE THAT NO SEDIMENT IS ENTERING THE RECHARGE FACILITY. ITS OPENING IN MH 210. INSPECT THE TEMPORARY BLOCKING AFTER EACH RAIN EVENT TO ENSURE THAT NO SEDIMENT IS ENTERING THE RECHARGE FACILITY. ITS OPENING IN MH 210. INSPECT THE TEMPORARY BLOCKING AFTER EACH RAIN EVENT TO ENSURE THAT NO SEDIMENT IS ENTERING THE RECHARGE FACILITY. ITS OPENING IN MH 210.
  - INSTALL THE REMAINDER OF THE STORM DRAIN AND SEWER PER THESE PLANS AND THE PUBLIC 8" WATER PER CONT. # 44-440-D.
  - INSTALL CURBS AND GUTTER SIDEWALKS AND BASE PAVES ALL AREAS TO BE PAVED AND STABILIZE ALL OTHER AREAS WITH PERMANENT SEEDINGS, MULCH, AND LANDSCAPING. (2 WEEKS)
  - FLUSH AND PUMP CLEAN THE STORM DRAIN SYSTEM. (1 DAY)
  - ONCE PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, AND ALL AREAS DRAINING TO THE SEDIMENT CONTROLS HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROL DEVICES. (1 WEEK)
  - WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, CONVERT THE STORMWATER MANAGEMENT FACILITY TO ITS FINAL GRADES AS SHOWN ON SHEET 10. THE GABION MATRESSES MAY BE INSTALLED AT THIS TIME. NOTE: THE OWNER MUST PREPARE AN AS-BUILT OF THE STORMWATER MANAGEMENT FACILITY AND SUBMIT IT TO THE HOWARD SOIL CONSERVATION DISTRICT FOR REVIEW AND APPROVAL.

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer Date  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director 10-31-16  
 Chief, Division of Land Development 10-31-16  
 Chief, Development Engineering Division 10-13-16

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 12975 EXPIRATION DATE: MAY 26, 2018  
 7/14/16 *Chk*

PURPOSE NOTE:  
 THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2001

SEE SHEET 9 FOR SEQUENCE OF CONSTRUCTION DURING BUILDINGS 3 & 4 IMPROVEMENTS.

- LEGEND**
- STONE CONSTRUCTION ENTRANCE
  - SUPER SILT FENCE
  - LIMIT OF DISTURBANCE
  - 100 YR. FLOODPLAIN
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - 15' (MIN) NO-WOODY ZONE
  - C.I.P. CURB INLET PROTECTION
  - S.F.O.P. SILT FENCE ON PAVEMENT

THE PURPOSE OF THIS PLAN IS TO SHOW SEDIMENT CONTROL ONLY !!

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

| DATE     | DESCRIPTION  | BY  | APPR. |
|----------|--|-----|-------|
| 5-24-17  | Relocated Generator and Enclosure, added super silt fence                    | ST  | DEM   |
| 07-11-16 | REPLACEMENT SHEET - REV. SEDIMENT CONTROLS FOR BUILDINGS 3 & 4 CONSTRUCTION. | ST  | DEM   |
| 11-28-07 | REV. CURB, REMOVED GREASE TRAP & ADDED PURPOSE NOTE                          | MSJ | DEM   |
|          | REVISION   | BY  | APPR. |

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

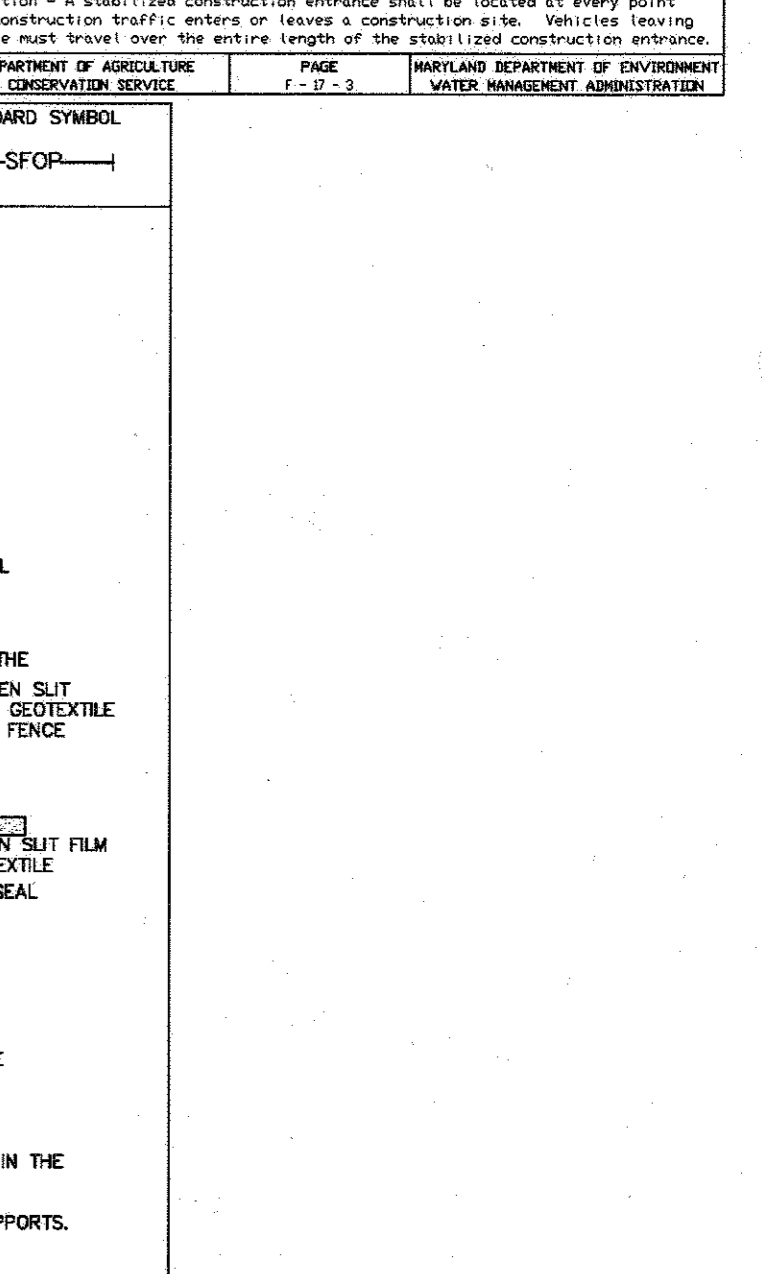
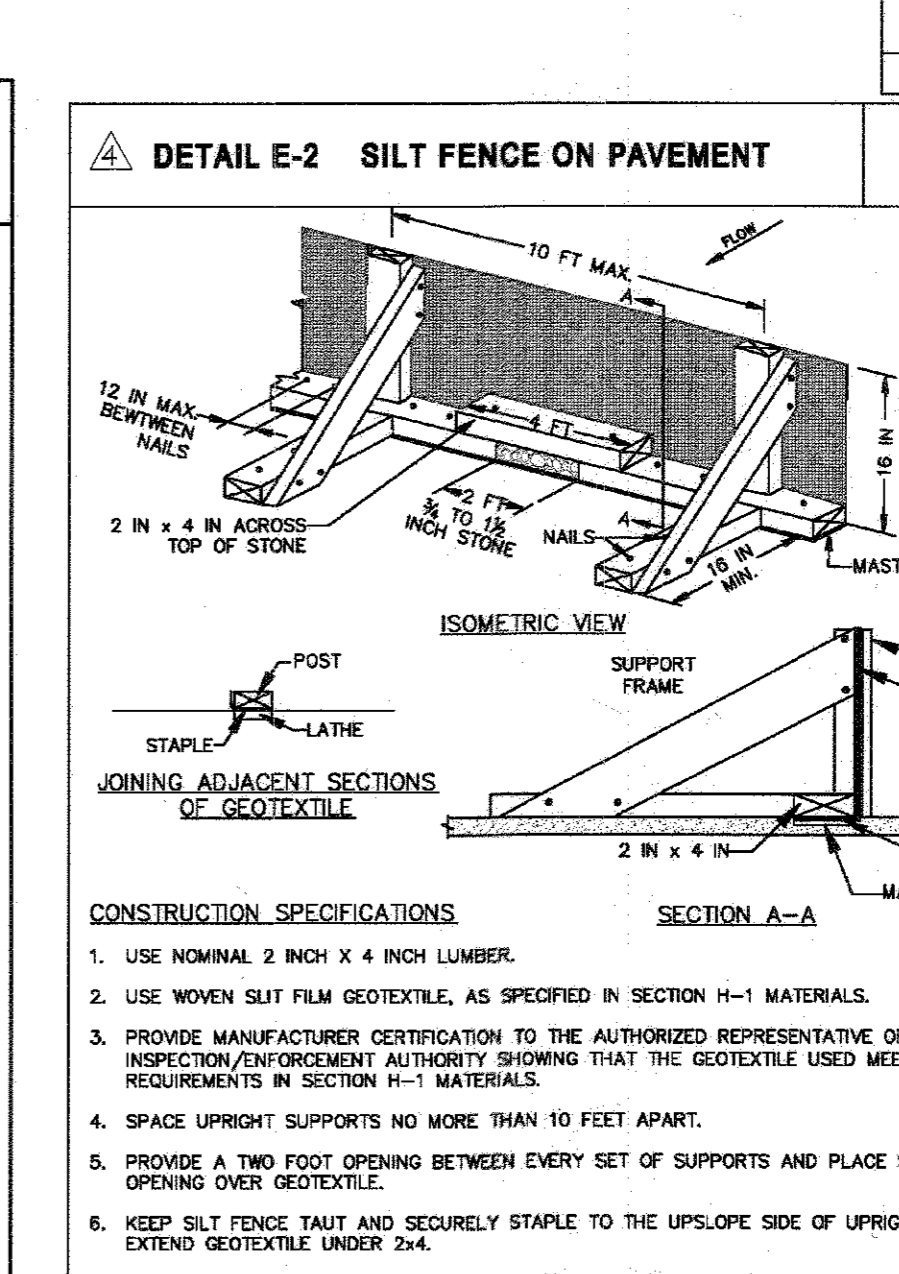
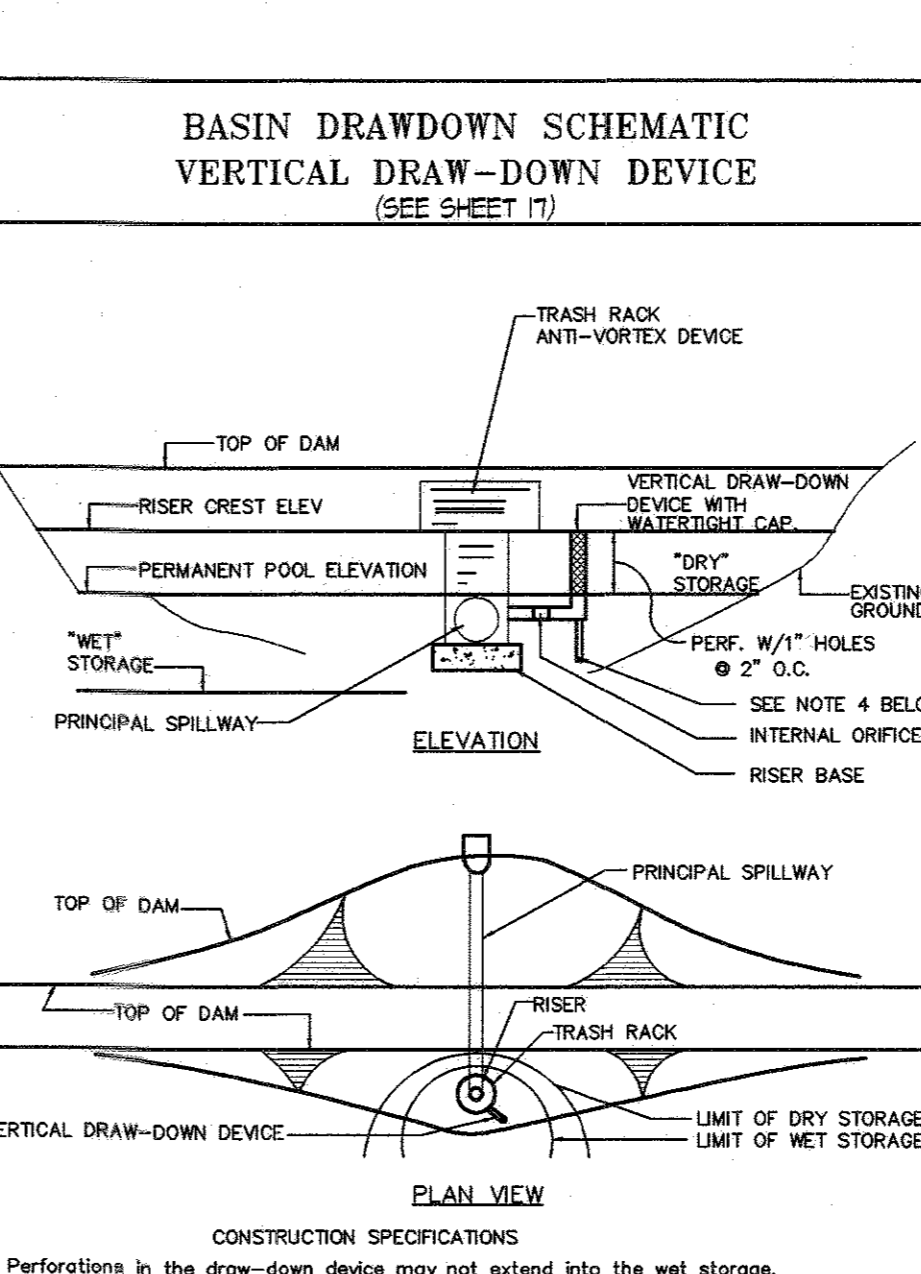
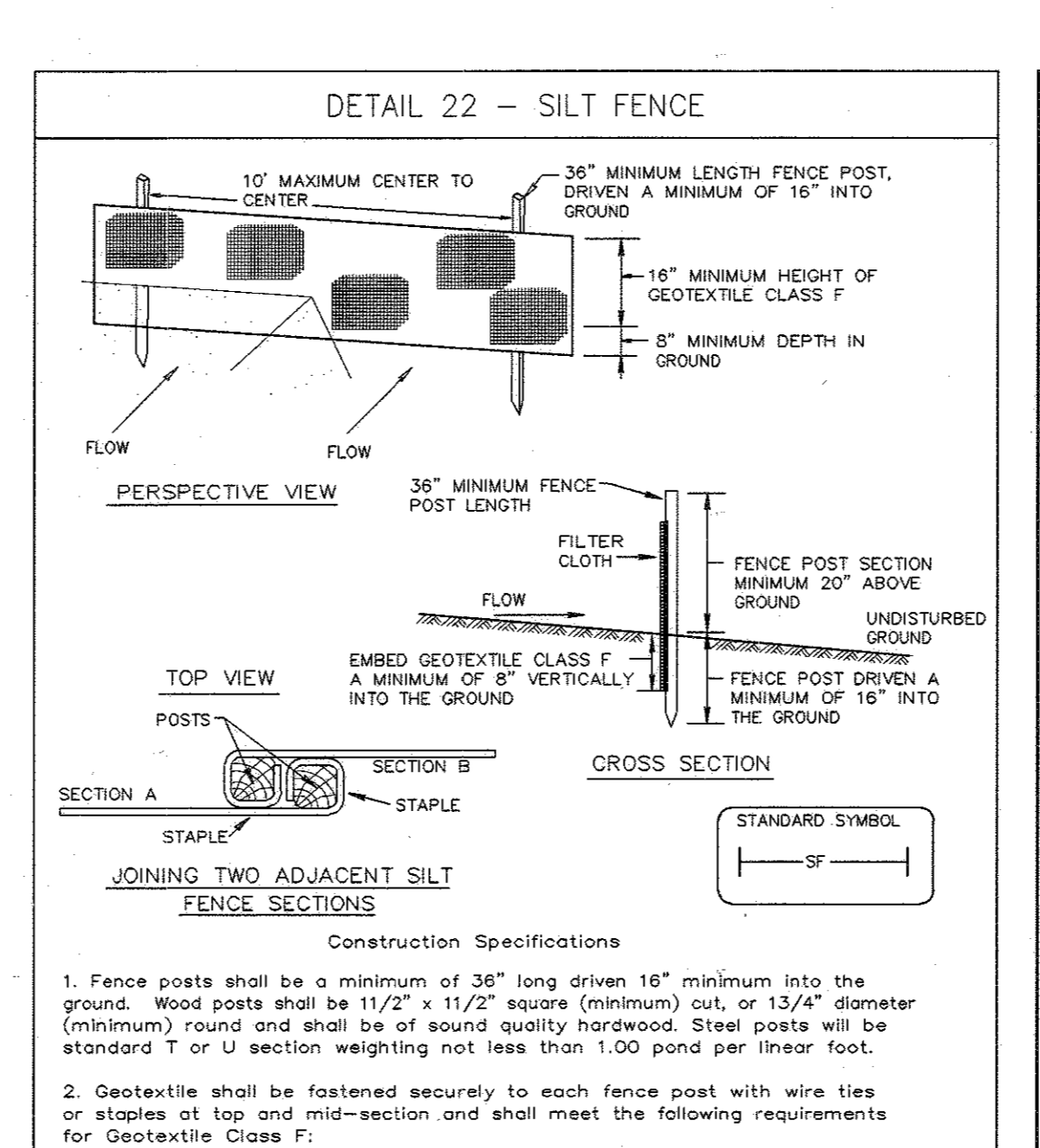
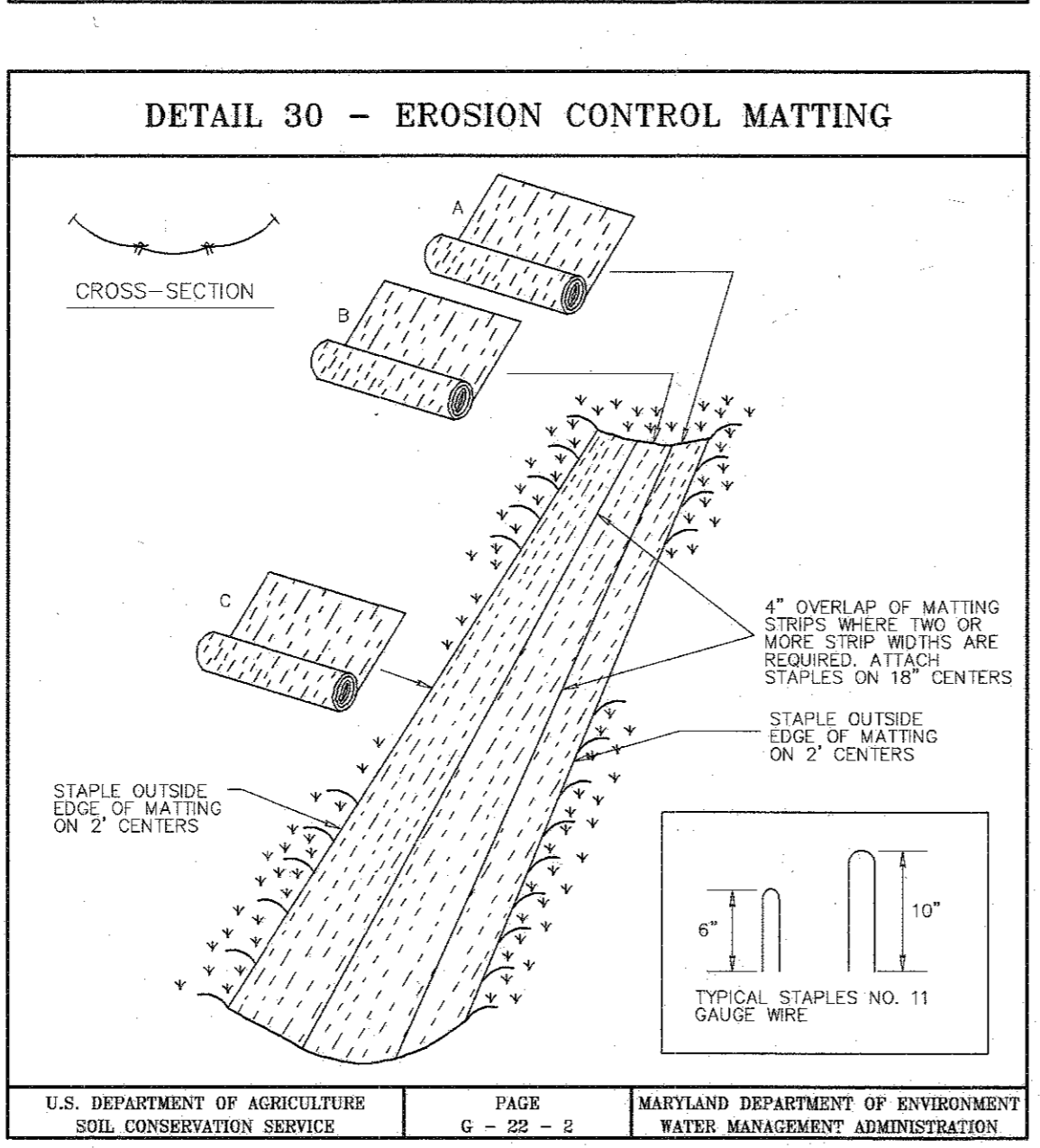
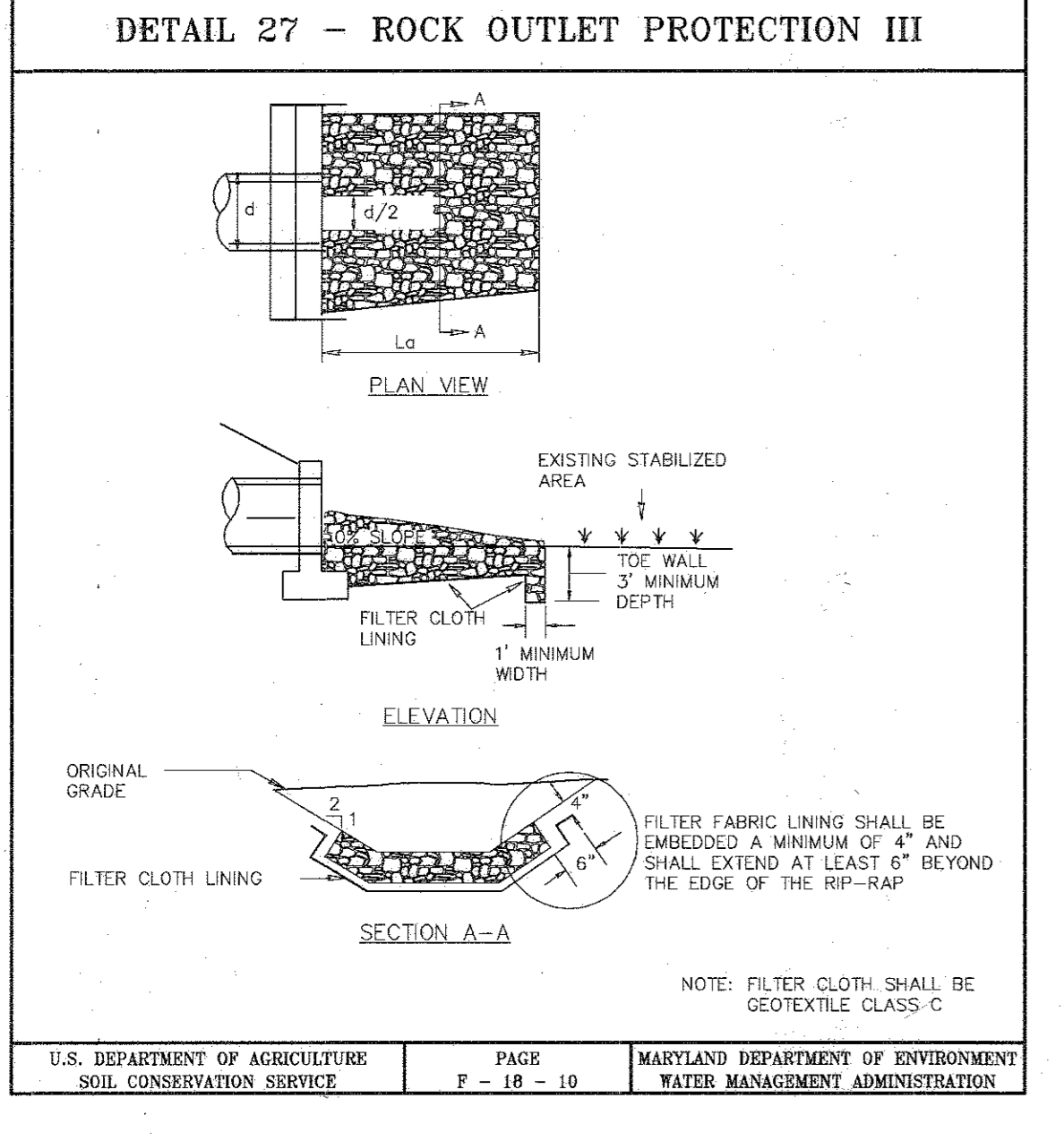
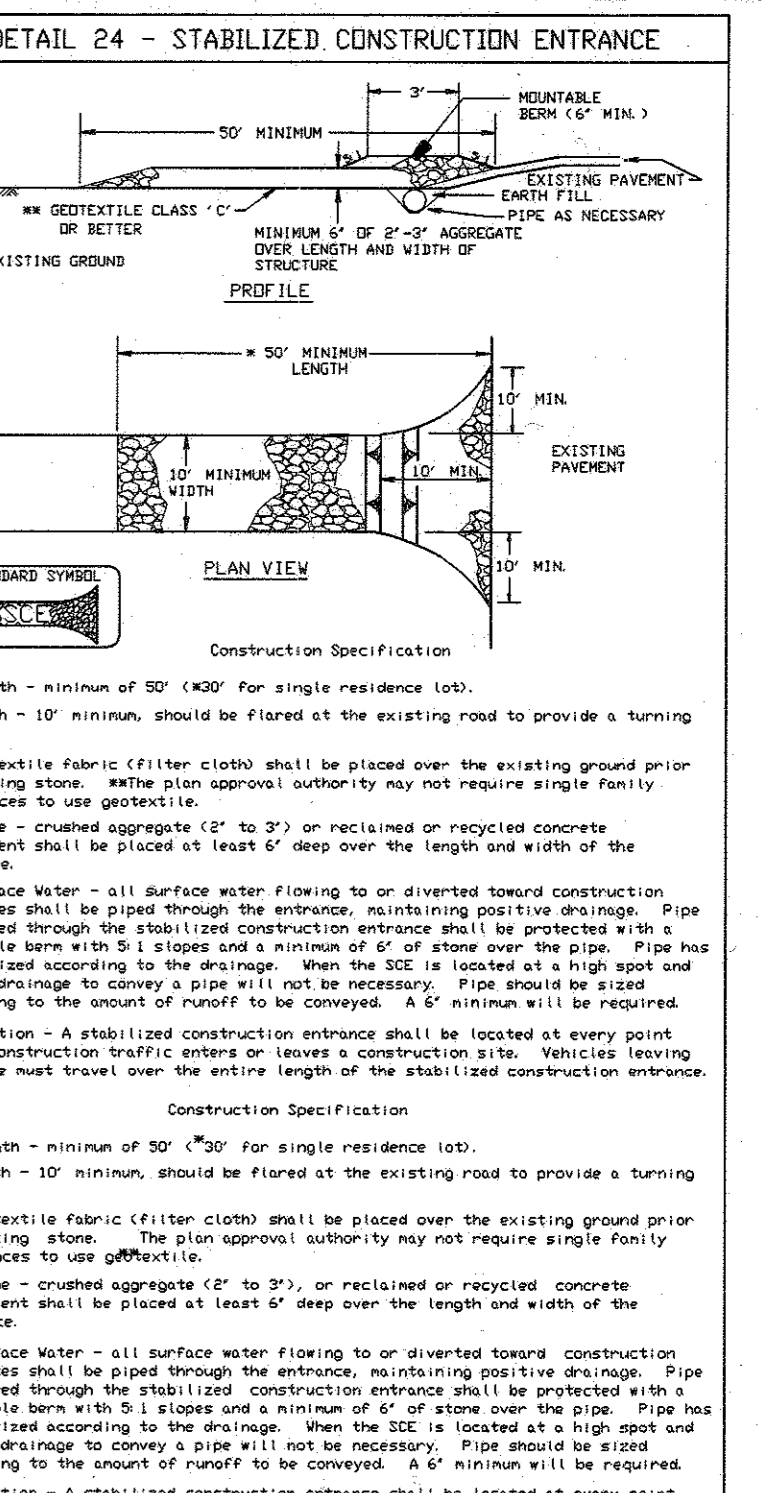
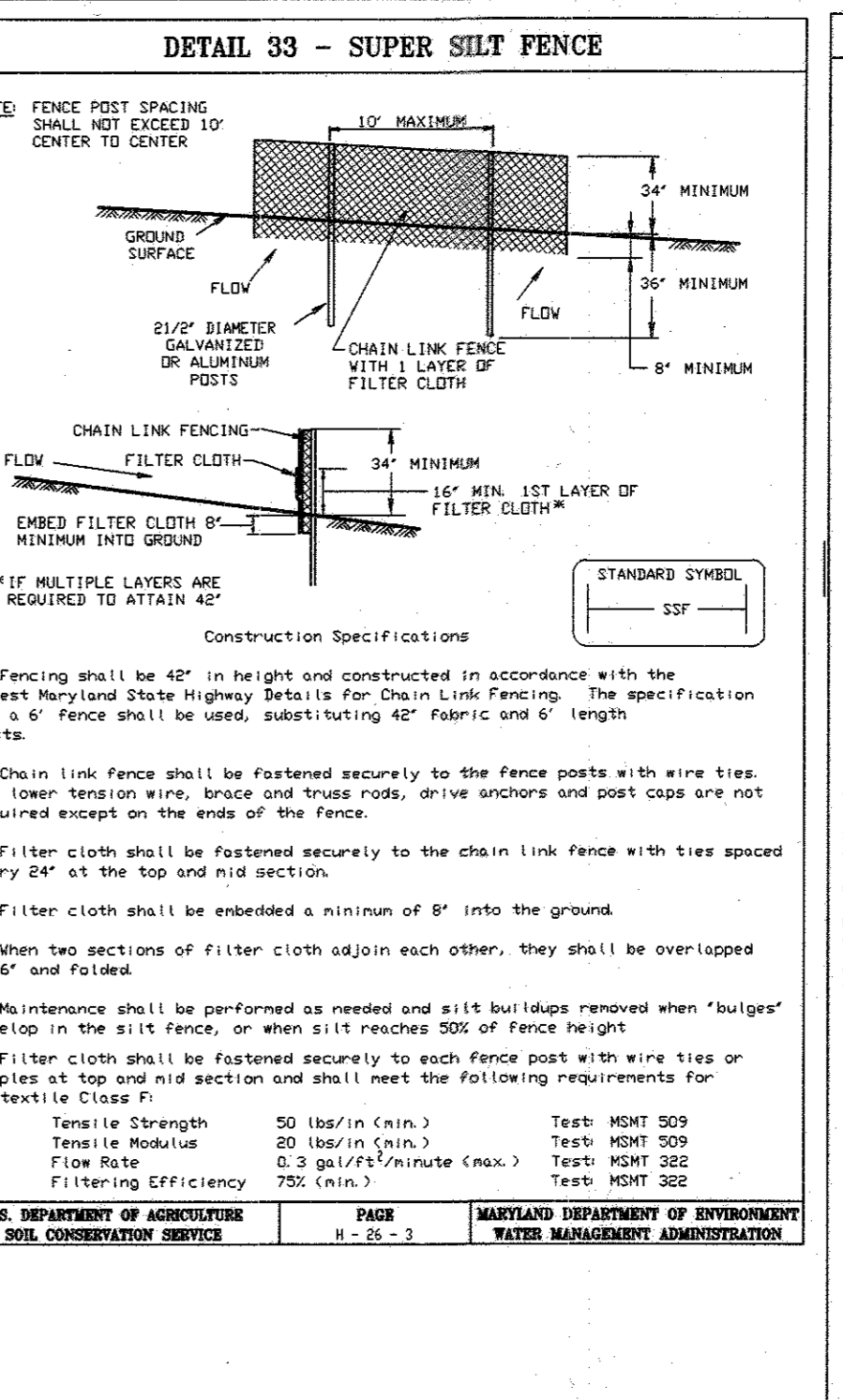
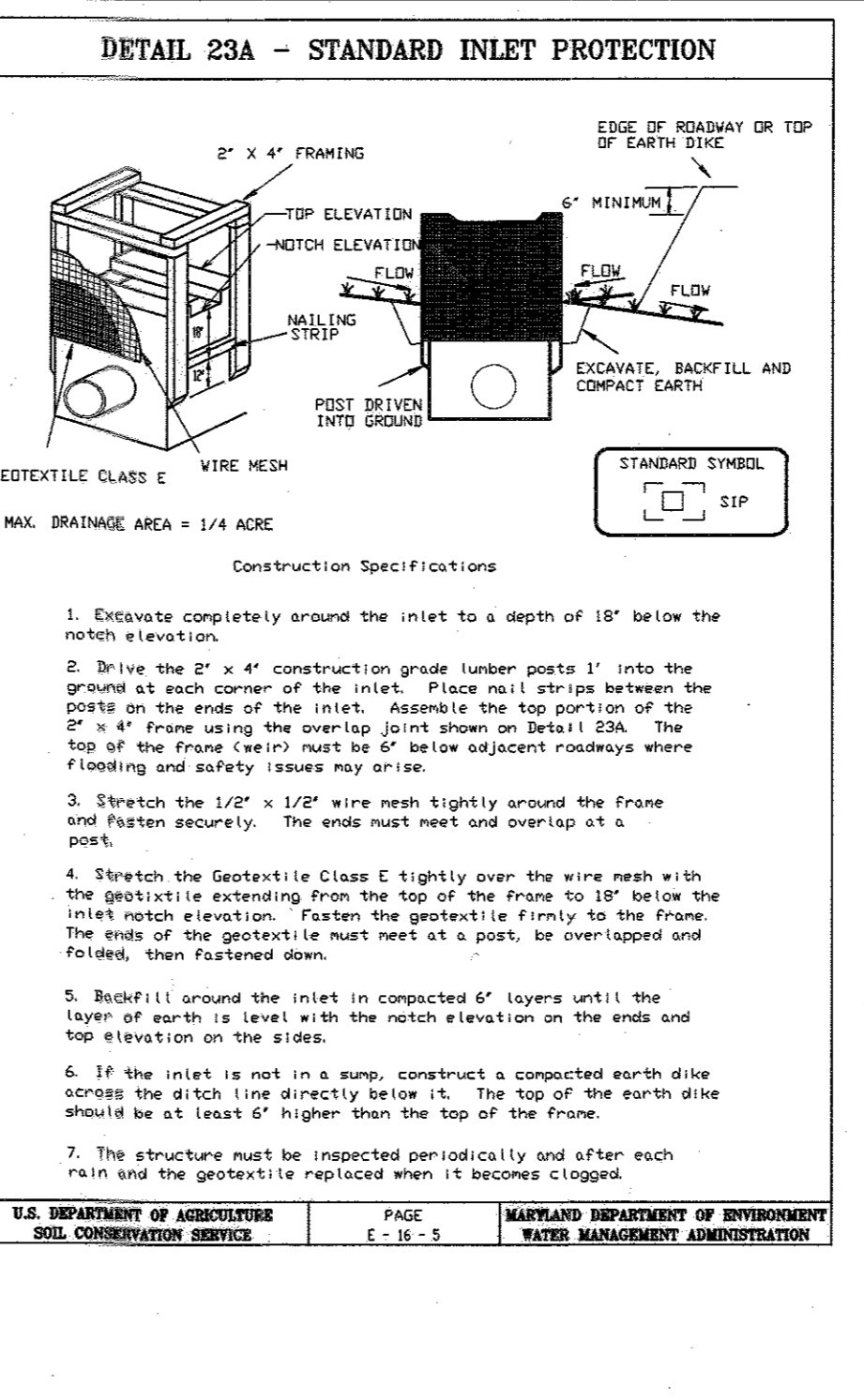
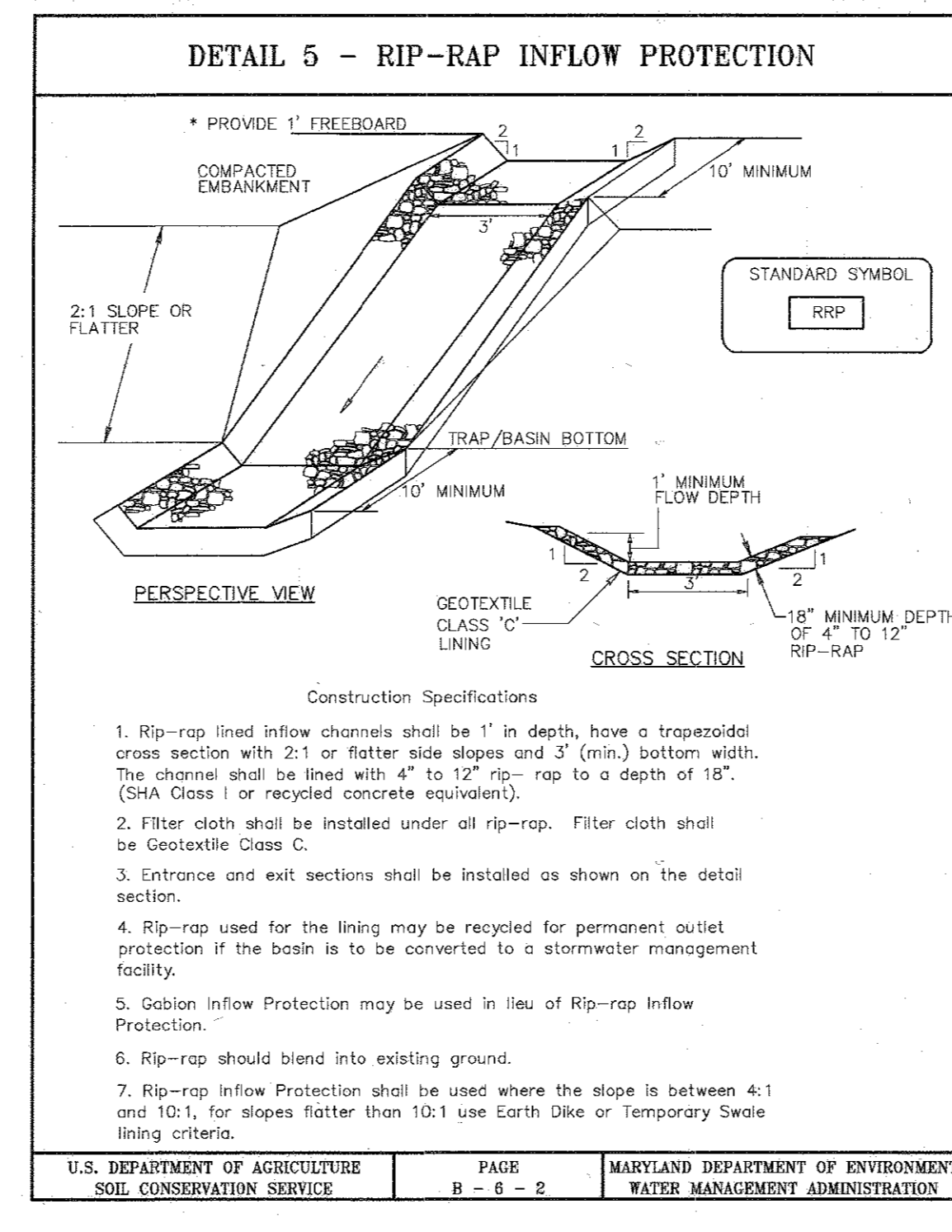
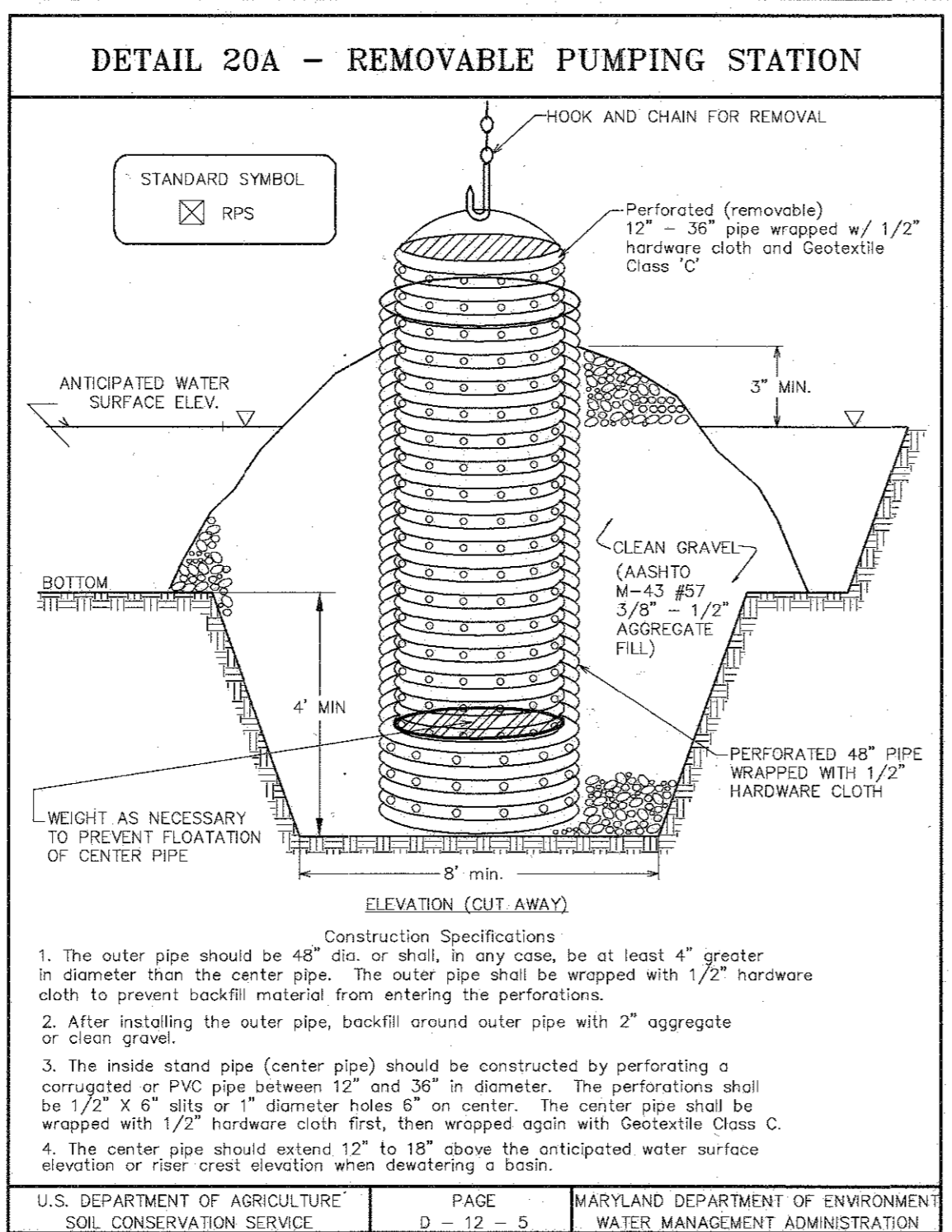
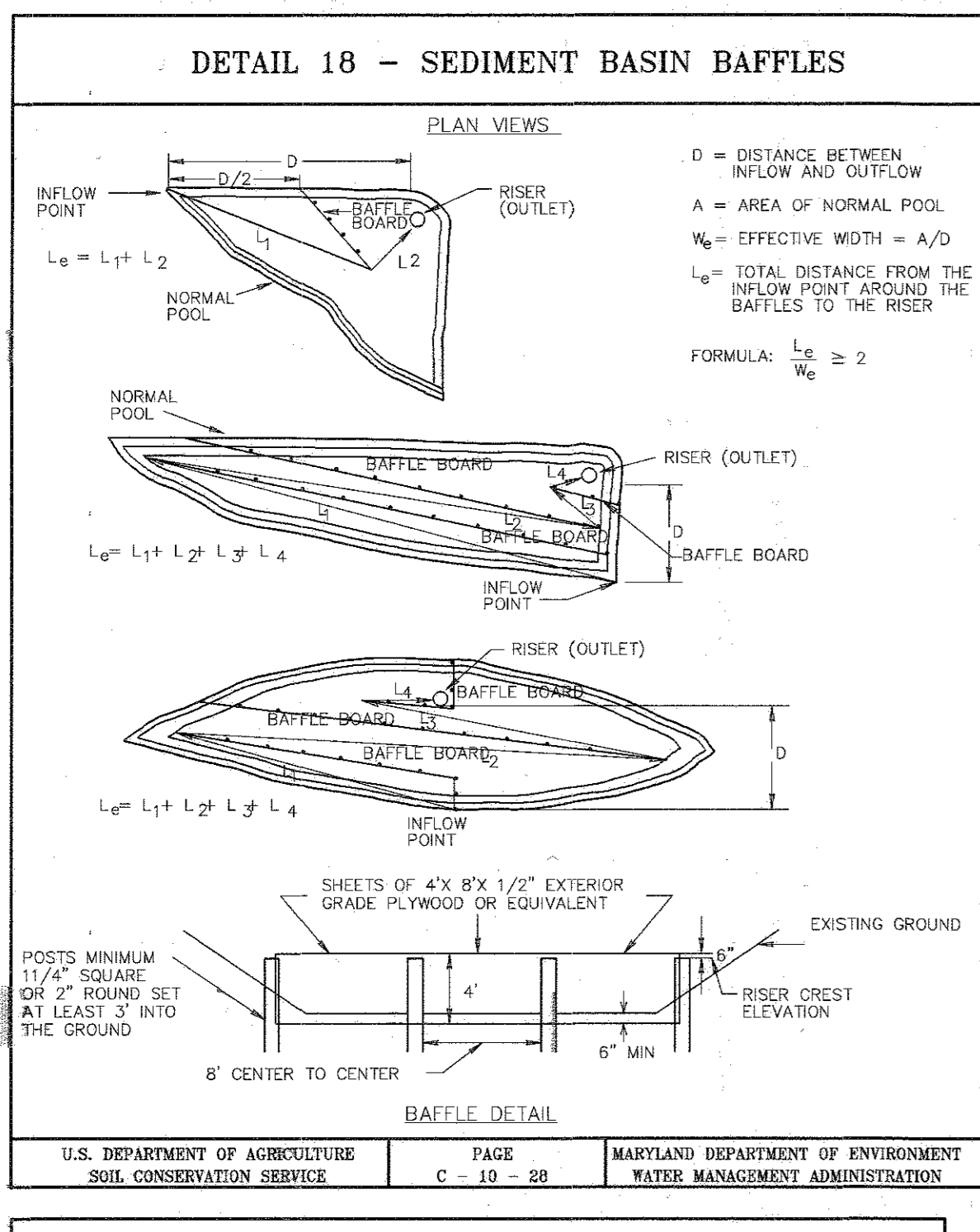
REVISED - SEDIMENT CONTROL PLAN  
**MAPLE LAWN FARMS**  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 18794 & 18795 (F-06-239)

| SCALE      | ZONING         | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=40'     | MXD-3          | 05015             |
| DATE       | TAX MAP - GRID | SHEET             |
| JULY, 2016 | 41-21          | 8 OF 21           |

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND





These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Natural Resources Conservation Service \_\_\_\_\_ Date \_\_\_\_\_

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

*John R. Roberts* 9/30/16  
Howard Soil Conservation District

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Valerie J. Joffe* 10-31-16  
Director  
*Katrina Deane* 10-31-16  
Chief, Division of Land Development  
*John E. ...* 10-11-16  
Chief, Development Engineering Division

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 12975  
EXPIRATION DATE: MAY 26, 2018  
7/14/16

ENGINEER'S CERTIFICATE  
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."  
*John E. ...* 7/14/16  
Engineer's Signature Date

DEVELOPER'S/BUILDER'S CERTIFICATE  
"We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."  
*Mark Bennett* 7/14/16  
Signature of Developer/Builder Date

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 04/09/2015

GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
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PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

REVISI - SEDIMENT CONTROL NOTES AND DETAILS  
MAPLE LAWN FARMS  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT NO. 18794 & 18795 (F-06-239)  
HOWARD COUNTY, MARYLAND

SCALE AS SHOWN  
ZONING MXD-3  
G. L. W. FILE NO. 05015  
DATE TAX MAP - GRID SHEET  
JULY, 2016 41-21 9 OF 21

PURPOSE NOTE:  
THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

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**SEDIMENT CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 5 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 7 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. I, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G). Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

**7. Site Analysis:**

|                                      |                |
|--------------------------------------|----------------|
| Total Area of Site                   | 8.5 Acres      |
| Area Disturbed                       | 8.4 Acres      |
| Area to be rooted or paved           | 6.2 Acres      |
| Area to be vegetatively stabilized   | 2.1 Acres      |
| Total Cut                            | 12,000 Cu. YDS |
| Total Fill                           | 12,000 Cu. YDS |
| Off-site waste/borrow area location: | ON-SITE        |

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment control must be provided, if deemed necessary by the Howard County DPM Sediment Control Inspector.

10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

**NOTE: TOTAL CUT AND FILL QUANTITIES ARE FOR PLAN PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EARTHWORK AT TIME OF CONTRACT**

**TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

**Seeded Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

**Soil Amendments:** Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

**Seeding:** For periods March 1 thru May 15, and from August 1 thru October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**Mulching:** Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of untreated, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

**PERMANENT SEEDING NOTES**

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

**Seeded Preparation:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

**Soil Amendments:** In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 square feet) and 600lbs per acre 10-10-10 fertilizer (14 lbs/1000sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (4 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

**Seeding:** For the periods March 1 thru May 15 and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000 sq ft) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs per acre (.05 lbs/1000 sq ft) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**Mulching:** Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

**Maintenance:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

**DUST CONTROL DEFINITION**

Controlling dust blowing and movement on construction sites and roads.

**PURPOSE**

To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

**CONDITIONS WHERE PRACTICE APPLIES**

This practice is applicable to areas subject to dust blowing and movements where on and off-site damage is likely without treatment.

**SPECIFICATIONS TEMPORARY METHODS**

- Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, silt fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need retreatment.

**PERMANENT METHODS**

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsailing - Covering with less erosive soil materials. See standards for topsailing.
- Stone - Cover surface with crushed stone or coarse gravel.

**STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION**

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**PURPOSE**

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**CONDITIONS WHERE PRACTICE APPLIES**

- This practice is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supply of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

**CONSTRUCTION AND MATERIAL SPECIFICATIONS**

1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-ARS in cooperation with Maryland Agricultural Experimental Station.

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2" in diameter.
- Topsoil must be free of plant parts such as bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

For sites having disturbed areas under 5 acres:

- Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

- For sites having disturbed areas over 5 acres:
  - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
    - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.2 or higher.
    - Organic content of topsoil shall be not less than 1.5 percent by weight.
    - Topsoil having soluble salt greater than 500 parts per mill shall not be used.
    - No sod or seed shall be placed on soil which has been with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of photo-toxic materials.
  - Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

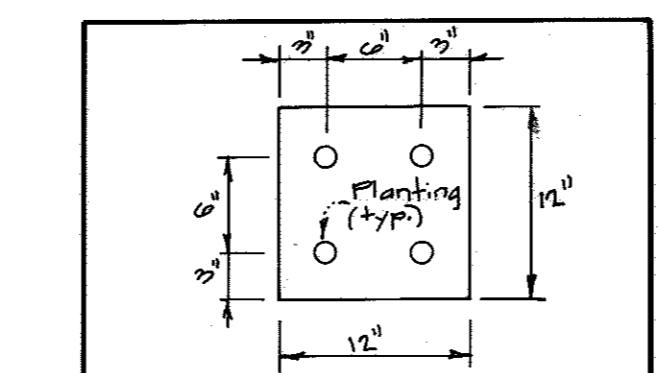
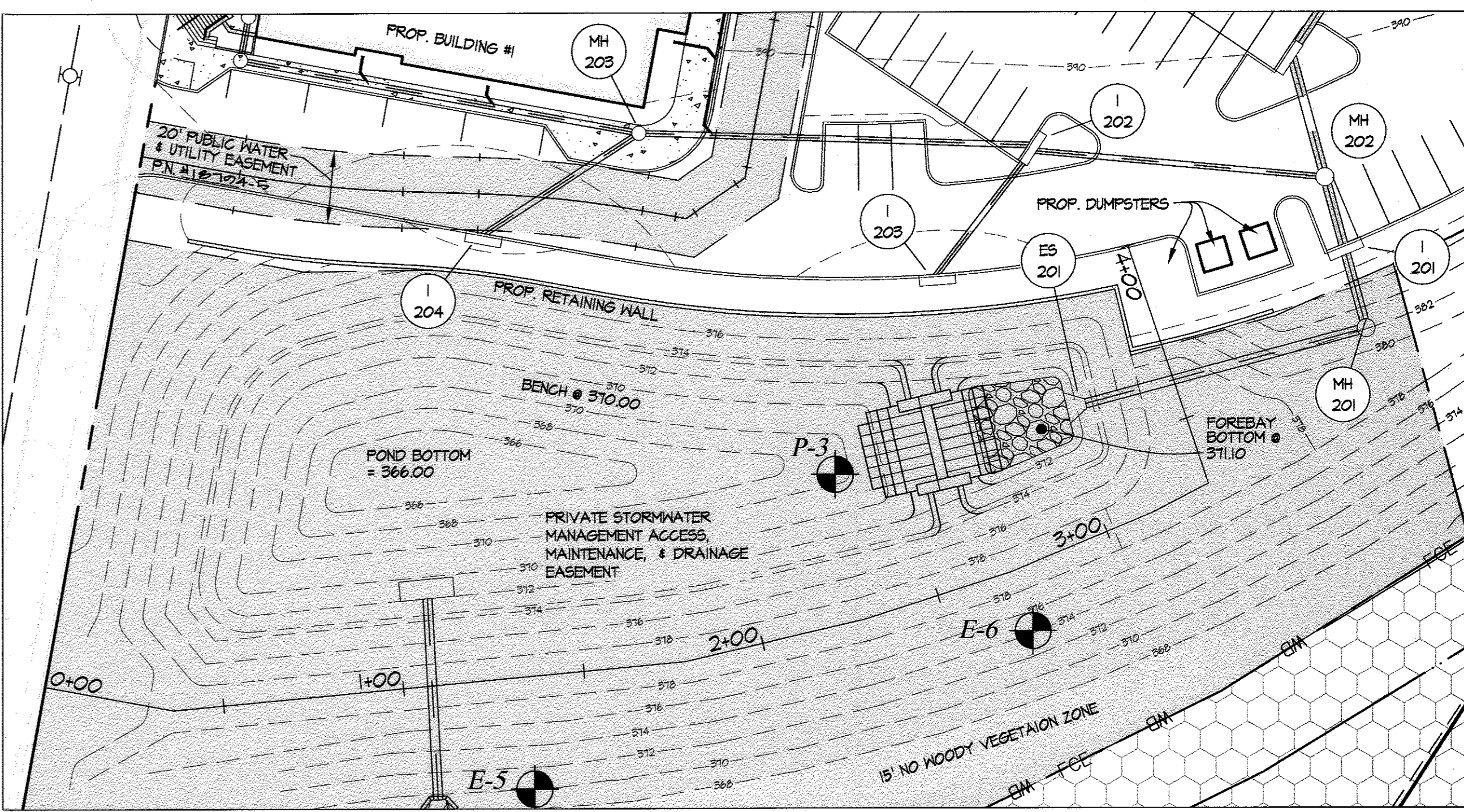
**V. Topsoil Application**

- When topsailing, maintain needed erosion and sediment control practices such as diversion, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsailed, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsailing or other operations shall be corrected in order to prevent the formation of depressions or water.
- Topsoil shall not be placed while the topsoil or subsoil is frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

**VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:**

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
  - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
  - Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
  - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at a rate of 4lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.



Contractor to provide one or more of the following for aquatic benches: (min. 4 per sq. ft. of area)

- Water Lily
- Vegetable Duck Potato
- Wild Celery
- Coarse Grass
- Redhead Grass

Plant type may be dependent upon availability.

HILLIS-GARNER ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 3

| DATE     | DEPTH     | SOIL DESCRIPTION   | WATER DEPTH | TESTS | REMARKS |
|----------|-----------|--|-------------|-------|---------|
| 08/21/06 | 1.0-3.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 1'      |
| 08/21/06 | 3.0-6.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 2'      |
| 08/21/06 | 6.0-9.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 3'      |
| 08/21/06 | 9.0-12.0  | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 4'      |
| 08/21/06 | 12.0-15.0 | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 5'      |

HILLIS-GARNER ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 2 of 3

| DATE     | DEPTH     | SOIL DESCRIPTION   | WATER DEPTH | TESTS | REMARKS |
|----------|-----------|--|-------------|-------|---------|
| 08/21/06 | 1.0-3.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 1'      |
| 08/21/06 | 3.0-6.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 2'      |
| 08/21/06 | 6.0-9.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 3'      |
| 08/21/06 | 9.0-12.0  | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 4'      |
| 08/21/06 | 12.0-15.0 | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 5'      |

HILLIS-GARNER ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 3 of 3

| DATE     | DEPTH     | SOIL DESCRIPTION   | WATER DEPTH | TESTS | REMARKS |
|----------|-----------|--|-------------|-------|---------|
| 08/21/06 | 1.0-3.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 1'      |
| 08/21/06 | 3.0-6.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 2'      |
| 08/21/06 | 6.0-9.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 3'      |
| 08/21/06 | 9.0-12.0  | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 4'      |
| 08/21/06 | 12.0-15.0 | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 5'      |

HILLIS-GARNER ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 1

| DATE     | DEPTH     | SOIL DESCRIPTION   | WATER DEPTH | TESTS | REMARKS |
|----------|-----------|--|-------------|-------|---------|
| 08/21/06 | 1.0-3.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 1'      |
| 08/21/06 | 3.0-6.0   | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 2'      |
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HILLIS-GARNER ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 1

| DATE     | DEPTH     | SOIL DESCRIPTION   | WATER DEPTH | TESTS | REMARKS |
|----------|-----------|--|-------------|-------|---------|
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HILLIS-GARNER ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION Page 1 of 1

| DATE     | DEPTH     | SOIL DESCRIPTION   | WATER DEPTH | TESTS | REMARKS |
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| 08/21/06 | 12.0-15.0 | Light brown, silty, sandy clay loam with some roots (SM) | 1.0         | 1     | 5'      |

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer/Builder: *[Signature]* Date: 11-2-06

**APPROVED**

PLANNING BOARD OF HOWARD COUNTY DATE: 04.09.2010

Signature: *[Signature]* Date: 11-2-06

**ENGINEER'S CERTIFICATE**

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Signature: *[Signature]* Date: 11-2-06

**APPROVED**

PLANNING BOARD OF HOWARD COUNTY DATE: 04.09.2010

Signature: *[Signature]* Date: 11-2-06

**APPROVED**

PLANNING BOARD OF HOWARD COUNTY DATE: 10/26/06

Signature: *[Signature]* Date: 11/2/07

**APPROVED**

FOR PUBLIC WATER & SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Signature: *[Signature]* Date: 11/2/07

**APPROVED**

HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Signature: *[Signature]* Date: 11/2/07

**APPROVED**

NATURAL RESOURCES CONSERVATION SERVICE

Signature: *[Signature]* Date: 11/2/07

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3809 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK BURTONTOWN, MARYLAND 20886

TEL: 301-421-4024 FAX: 301-421-4186

1-20-2016

Rev notes for improvements Buildings 3 & 4

DATE REVISION BY APPR.

PREPARED FOR: G&R MAPLE LAWN INC 1829 REISTERSTOWN ROAD SUITE 300 WOODHOLME CENTER BALTIMORE, MD 21208 ATTN: CHARLIE O'DONOVAN 410-484-8400

**SEDIMENT CONTROL NOTES, POND CONVERSION PLAN, AND SOIL BORING LOGS**

**MAPLE LAWN FARMS MIDDLETOWN DISTRICT - AREA 2 MEDICAL & GENERAL OFFICE BUILDINGS PARCELS A-5, A-6, & A-7 PLAT No. 10224-19 (F-06-239)**

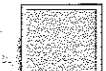
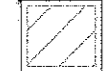
ELECTION DISTRICT No. 5

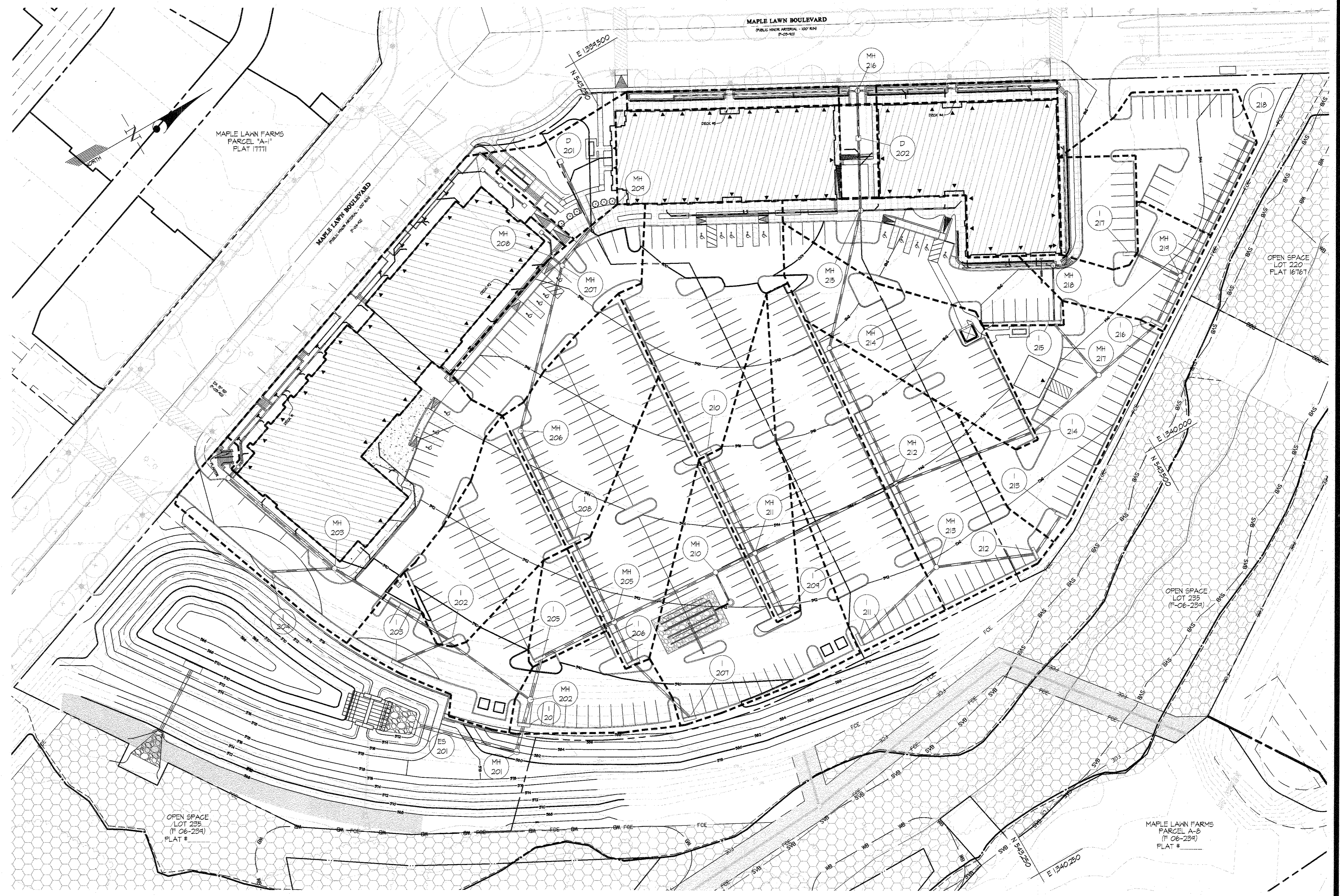
SCALE: AS SHOWN ZONING: MXD-3 G. L. W. FILE No. 05015

DATE: SEPT., 2006 TAX MAP - GRD SHEET 41-21 10 OF 21

HOWARD COUNTY, MARYLAND

| DRAINAGE AREA INFORMATION |          |           |        |
|---------------------------|----------|-----------|--------|
| INLET                     | AREA     | 'C' VALUE | % IMP. |
| I-201                     | 0.17 Ac. | 0.81      | 90%    |
| I-202                     | 0.26 Ac. | 0.81      | 90%    |
| I-203                     | 0.22 Ac. | 0.81      | 90%    |
| I-204                     | 0.56 Ac. | 0.81      | 90%    |
| I-205                     | 0.08 Ac. | 0.81      | 90%    |
| I-206                     | 0.27 Ac. | 0.81      | 90%    |
| I-207                     | 0.41 Ac. | 0.81      | 90%    |
| I-208                     | 0.44 Ac. | 0.81      | 90%    |
| I-209                     | 0.21 Ac. | 0.81      | 90%    |
| I-210                     | 0.34 Ac. | 0.81      | 90%    |
| I-211                     | 0.34 Ac. | 0.81      | 90%    |
| I-212                     | 0.38 Ac. | 0.81      | 90%    |
| I-213                     | 0.36 Ac. | 0.81      | 90%    |
| I-214                     | 0.31 Ac. | 0.81      | 90%    |
| I-215                     | 0.30 Ac. | 0.81      | 90%    |
| I-216                     | 0.15 Ac. | 0.81      | 90%    |
| I-217                     | 0.12 Ac. | 0.81      | 90%    |
| I-218                     | 0.23 Ac. | 0.81      | 90%    |
| D-201                     | 0.15 Ac. | 0.81      | 90%    |
| D-202                     | 0.05 Ac. | 0.81      | 90%    |

 AREAS TO BE PICKED UP BY DECK DRAINS  
 TOTAL AREA = 0.31 AC. (100% IMPERVIOUS)  
 AREAS TO BE PICKED UP BY ROOF DRAINS  
 TOTAL AREA = 1.24 AC. (100% IMPERVIOUS)



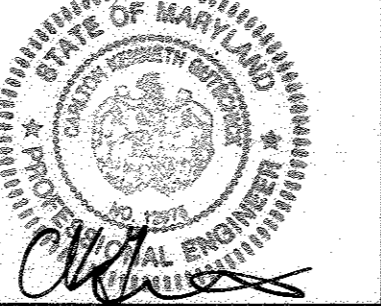
APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director Natalie J. Taylor Date 10-31-16

Chief, Division of Land Development Kurtis A. Lunden Date 10-31-16  
 Chief, Development Engineering Division Chad E. Cole Date 10-13-16

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS  
 WERE PREPARED OR APPROVED BY ME  
 AND THAT I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE  
 LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2018  
7/11/16



PURPOSE NOTE:  
 THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES  
 TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4.  
 THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/10/2007

THE PURPOSE OF THIS PLAN IS TO SHOW STORM DRAIN DRAINAGE DIVIDES ONLY !!

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTANSVILLE OFFICE PARK  
 BURTANSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

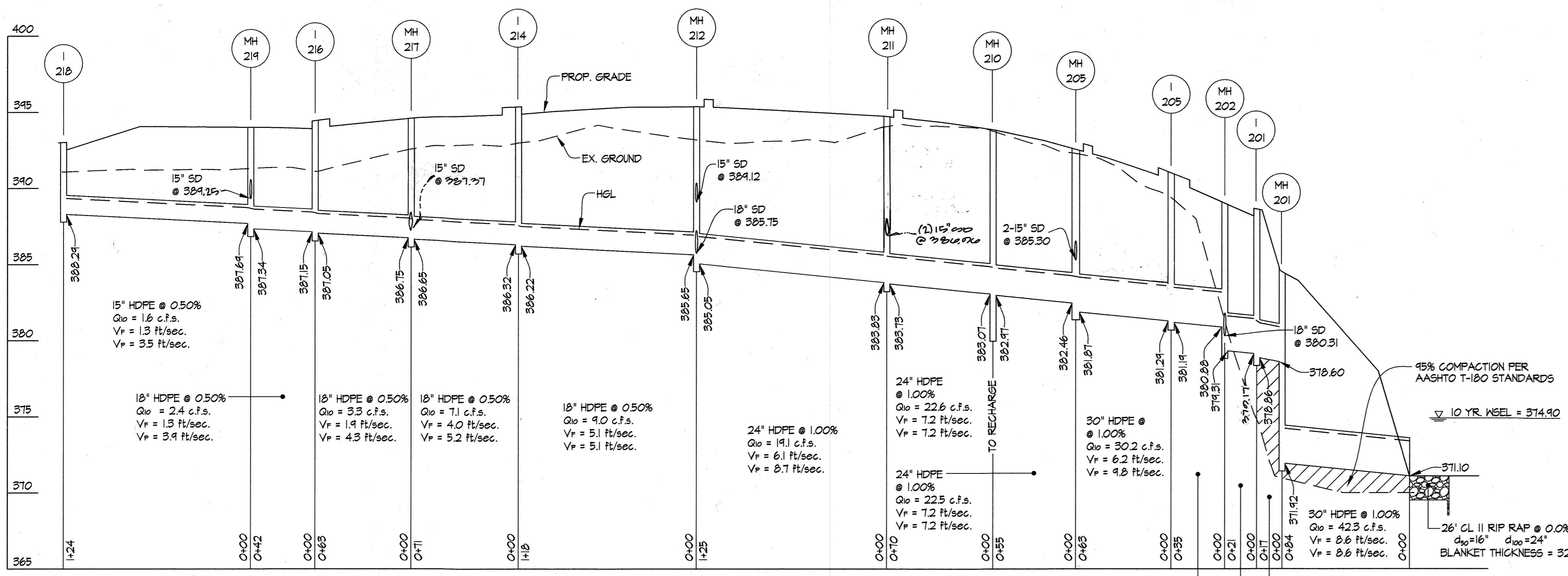
| DATE     | REVISION  | BY  | APPR. |
|----------|---|-----|-------|
| 07-11-16 | REPLACEMENT SHEET - REV. BUILDING FOOTPRINTS, SHOW PAVILION AND STORAGE BUILDING. | gf  | DEV.  |
| 01-11-12 | ADDED OUTSIDE ACCESS FOR PROP. TENANT.  | MSJ | DEV.  |
| 11-26-07 | REV. CURB IN PARKING LOT & ADDED PURPOSE NOTE.                                    | MSJ | DEV.  |

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

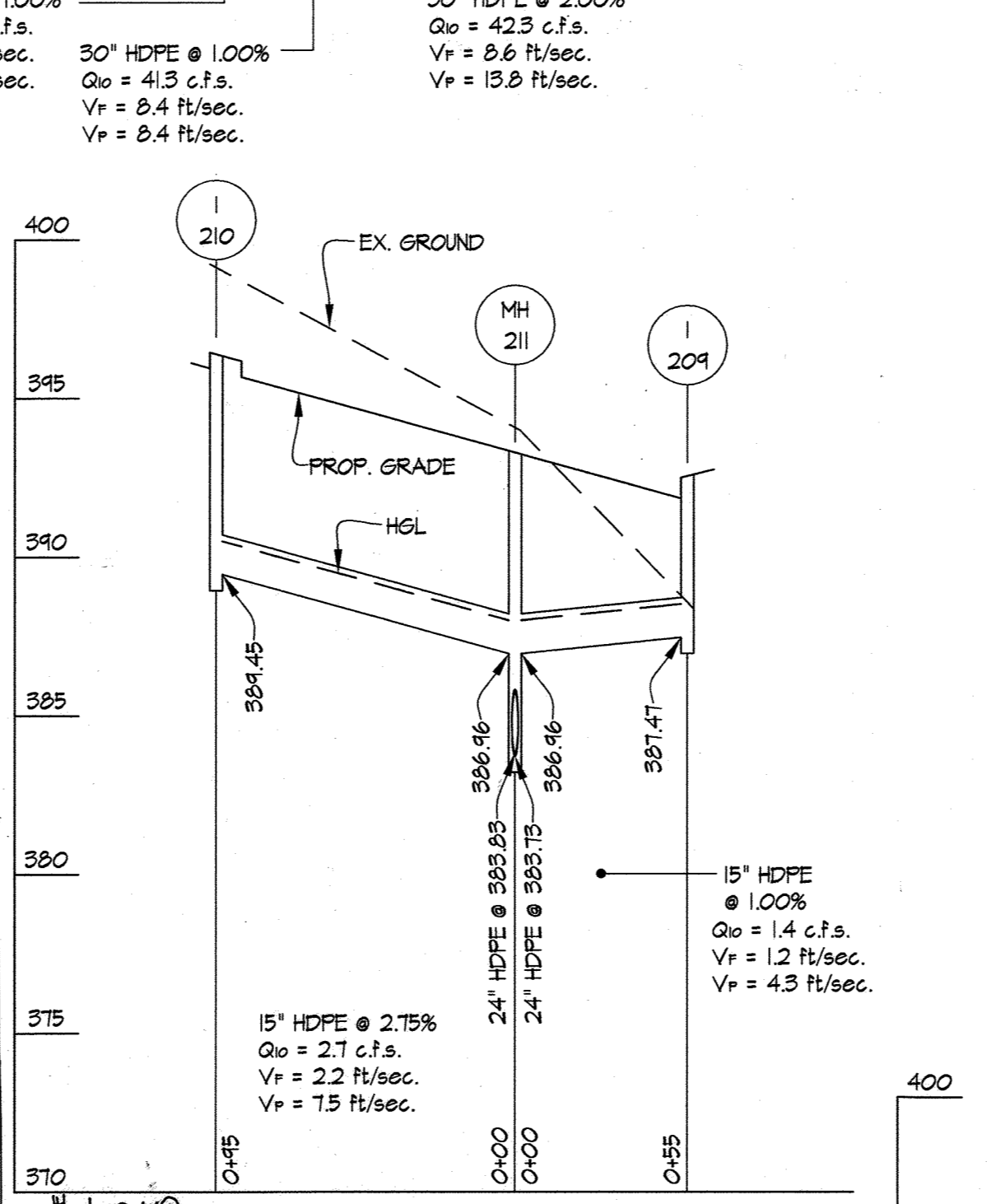
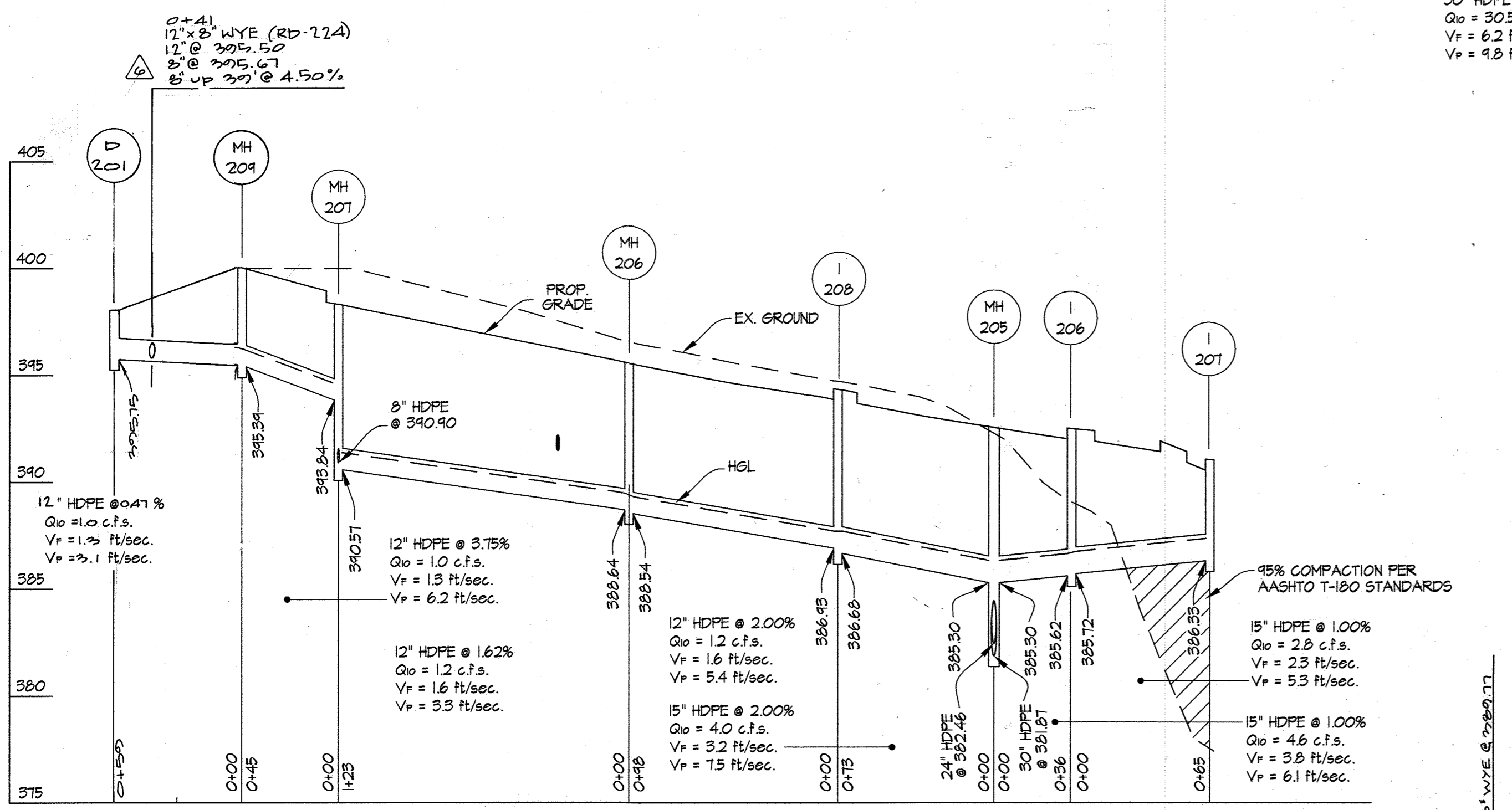
REVISED - STORM DRAIN DRAINAGE AREA MAP  
**MAPLE LAWN FARMS  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS**  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 18794 & 18795 (F-06-239)  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

| SCALE      | ZONING         | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=40'     | MXD-3          | 05015             |
| DATE       | TAX MAP - GRID | SHEET             |
| JULY, 2016 | 41-21          | 11 OF 21          |

L:\CADD\DRAWINGS\2020\15015\SUP\15015-01-26.sheet.11.dwg 10/31/2006 11:07:43 AM EST



| STRUCTURE SCHEDULE |                  |                |               |        |                  |        |                 |                      |         |
|--------------------|------------------|----------------|---------------|--------|------------------|--------|-----------------|----------------------|---------|
| NO                 | TYPE             | WIDTH (INSIDE) | TOP ELEVATION |        | INVERT ELEVATION |        | STD. DETAIL     | LOCATIONS            | REMARKS |
|                    |                  |                | UPPER         | LOWER  | UPPER            | LOWER  |                 |                      |         |
| I-201              | A-10 INLET       | 2'-6"          | 388.80        | 388.70 | 379.17           | 378.86 | HO. CO. SD 4.41 | N 542,984 E 1339,899 |         |
| I-205              | A-10 INLET       | 2'-6"          | 340.54        | 340.34 | 328.19           | 328.19 | HO. CO. SD 4.41 | N 542,984 E 1339,899 |         |
| I-206              | A-10 INLET       | 2'-6"          | 341.06        | 340.87 | 328.12           | 328.62 | HO. CO. SD 4.40 | N 542,968 E 1339,724 |         |
| I-207              | A-10 INLET       | 2'-6"          | 343.64        | 343.60 | ---              | 328.33 | HO. CO. SD 4.40 | N 543,052 E 1339,934 |         |
| I-208              | A-10 INLET       | 2'-6"          | 343.61        | 343.57 | 328.69           | 328.69 | HO. CO. SD 4.40 | N 543,064 E 1340,000 |         |
| I-209              | A-10 INLET       | 2'-6"          | 342.57        | 342.25 | ---              | 328.47 | HO. CO. SD 4.40 | N 543,171 E 1339,965 |         |
| I-210              | A-10 INLET       | 2'-6"          | 346.41        | 346.28 | ---              | 328.45 | HO. CO. SD 4.40 | N 543,186 E 1339,821 |         |
| I-211              | A-10 INLET       | 2'-6"          | 341.38        | 341.00 | ---              | 328.68 | HO. CO. SD 4.41 | N 543,177 E 1339,965 |         |
| I-212              | A-10 INLET       | 2'-6"          | 341.24        | 341.00 | 328.73           | 328.58 | HO. CO. SD 4.41 | N 543,186 E 1339,821 |         |
| I-213              | A-10 INLET       | 2'-6"          | 341.62        | 341.58 | ---              | 328.08 | HO. CO. SD 4.41 | N 543,302 E 1339,974 |         |
| I-214              | A-10 INLET       | 2'-6"          | 343.46        | 343.17 | 328.32           | 328.22 | HO. CO. SD 4.41 | N 543,220 E 1340,015 |         |
| I-215              | A-10 INLET       | 2'-6"          | 345.26        | 345.10 | 328.41           | 328.04 | HO. CO. SD 4.41 | N 543,481 E 1339,871 |         |
| I-216              | A-10 INLET       | 2'-6"          | 343.74        | 343.50 | 328.15           | 328.05 | HO. CO. SD 4.41 | N 543,404 E 1340,004 |         |
| I-217              | A-10 INLET       | 2'-6"          | 344.44        | 344.70 | ---              | 328.72 | HO. CO. SD 4.41 | N 543,420 E 1339,940 |         |
| I-218              | A-10 INLET       | 2'-6"          | 343.65        | 343.50 | ---              | 328.24 | HO. CO. SD 4.41 | N 543,420 E 1339,940 |         |
| MH-201             | STANDARD MANHOLE | 5'-0"          | ---           | 328.22 | 378.60           | 371.42 | HO. CO. G 5.13  | N 542,941 E 1339,954 |         |
| MH-202             | STANDARD MANHOLE | 5'-0"          | ---           | 328.84 | 328.88           | 374.31 | HO. CO. G 5.13  | N 542,965 E 1339,925 |         |
| MH-205             | STANDARD MANHOLE | 5'-0"          | ---           | 341.32 | 328.30           | 328.87 | HO. CO. G 5.13  | N 543,054 E 1339,905 |         |
| MH-206             | STANDARD MANHOLE | 4'-0"          | ---           | 344.60 | 328.04           | 328.54 | HO. CO. G 5.12  | N 543,066 E 1339,784 |         |
| MH-207             | STANDARD MANHOLE | 4'-0"          | ---           | 348.42 | 343.84           | 328.97 | HO. CO. G 5.12  | N 543,161 E 1339,636 |         |
| MH-209             | STANDARD MANHOLE | 4'-0"          | ---           | 400.00 | 345.44           | 345.34 | HO. CO. G 5.12  | N 543,091 E 1339,908 |         |
| MH-210             | STANDARD MANHOLE | 5'-0"          | ---           | 342.86 | 328.07           | 328.05 | HO. CO. G 5.13  | N 543,180 E 1339,913 |         |
| MH-211             | STANDARD MANHOLE | 4'-0"          | ---           | 343.35 | 328.06           | 328.73 | HO. CO. G 5.12  | N 543,306 E 1339,921 |         |
| MH-212             | STANDARD MANHOLE | 4'-0"          | ---           | 344.00 | 328.12           | 328.05 | HO. CO. G 5.12  | N 543,301 E 1339,996 |         |
| MH-213             | STANDARD MANHOLE | 4'-0"          | ---           | 341.82 | 328.87           | 328.52 | HO. CO. G 5.12  | N 543,301 E 1339,996 |         |
| MH-217             | STANDARD MANHOLE | 4'-0"          | ---           | 343.14 | 328.37           | 328.65 | HO. CO. G 5.12  | N 543,504 E 1339,830 |         |
| MH-218             | STANDARD MANHOLE | 4'-0"          | ---           | 346.00 | 328.11           | 328.24 | HO. CO. G 5.12  | N 543,502 E 1339,832 |         |
| MH-219             | STANDARD MANHOLE | 4'-0"          | ---           | 343.56 | 328.25           | 328.34 | HO. CO. G 5.12  | N 543,587 E 1339,891 |         |
| D-201              | YARD INLET       | ---            | 343.00        | ---    | ---              | 345.75 | HO. CO. G 5.12  | N 543,201 E 1339,563 |         |



1 COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.  
 2 NYLOPLAST - ADS DRAIN BASIN OR APPROVED EQUAL.  
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-XXXX D

| PIPE SCHEDULE |      |                 |         |
|---------------|------|-----------------|---------|
| SIZE          | TYPE | QUANTITY (L.F.) | REMARKS |
| 10"           | HDPE | 84              |         |
| 15"           | HDPE | 600             |         |
| 18"           | HDPE | 360             |         |
| 24"           | HDPE | 250             |         |
| 30"           | HDPE | 220             |         |
| 36"           | HDPE | 151             |         |
| 42"           | HDPE | 315             |         |

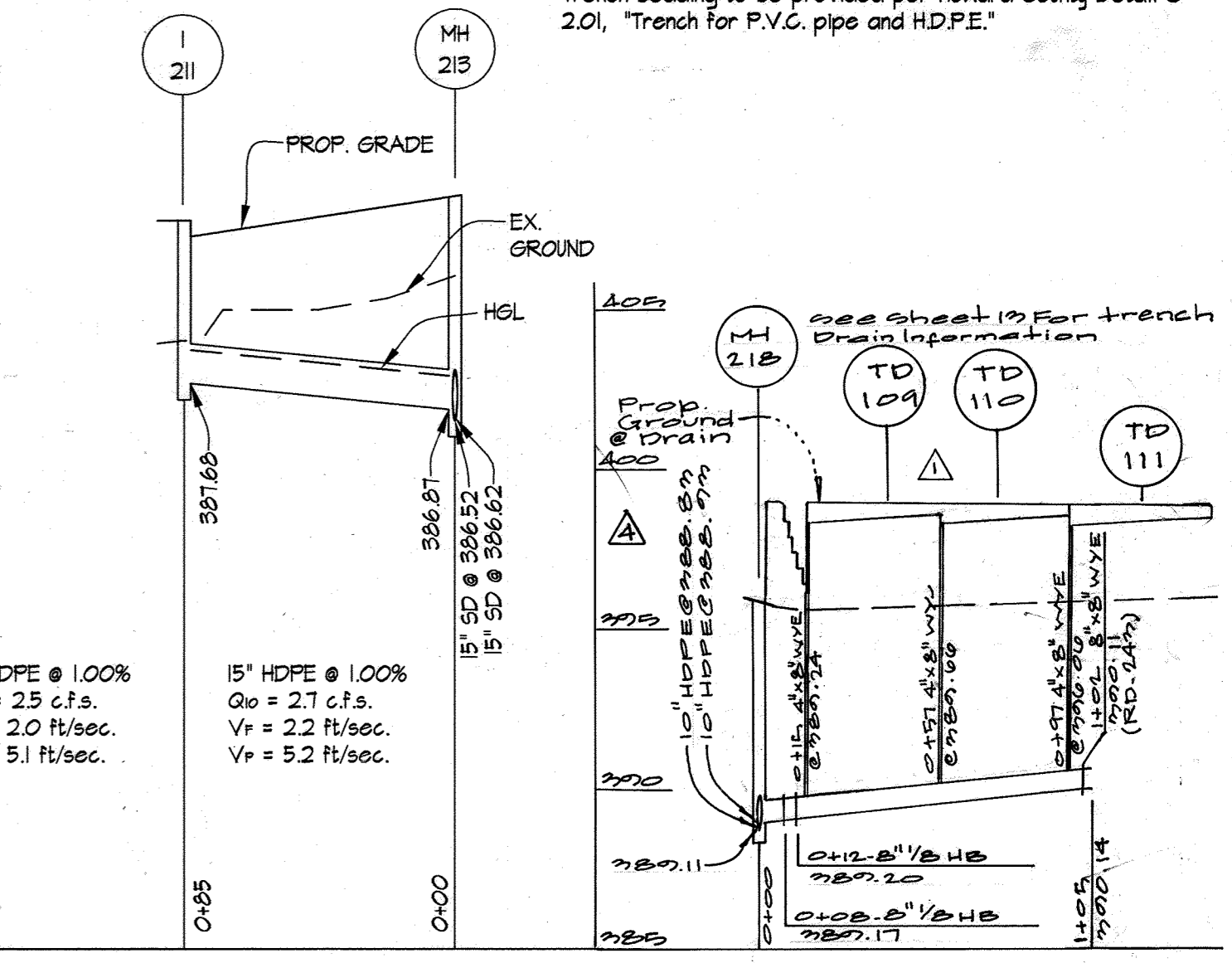
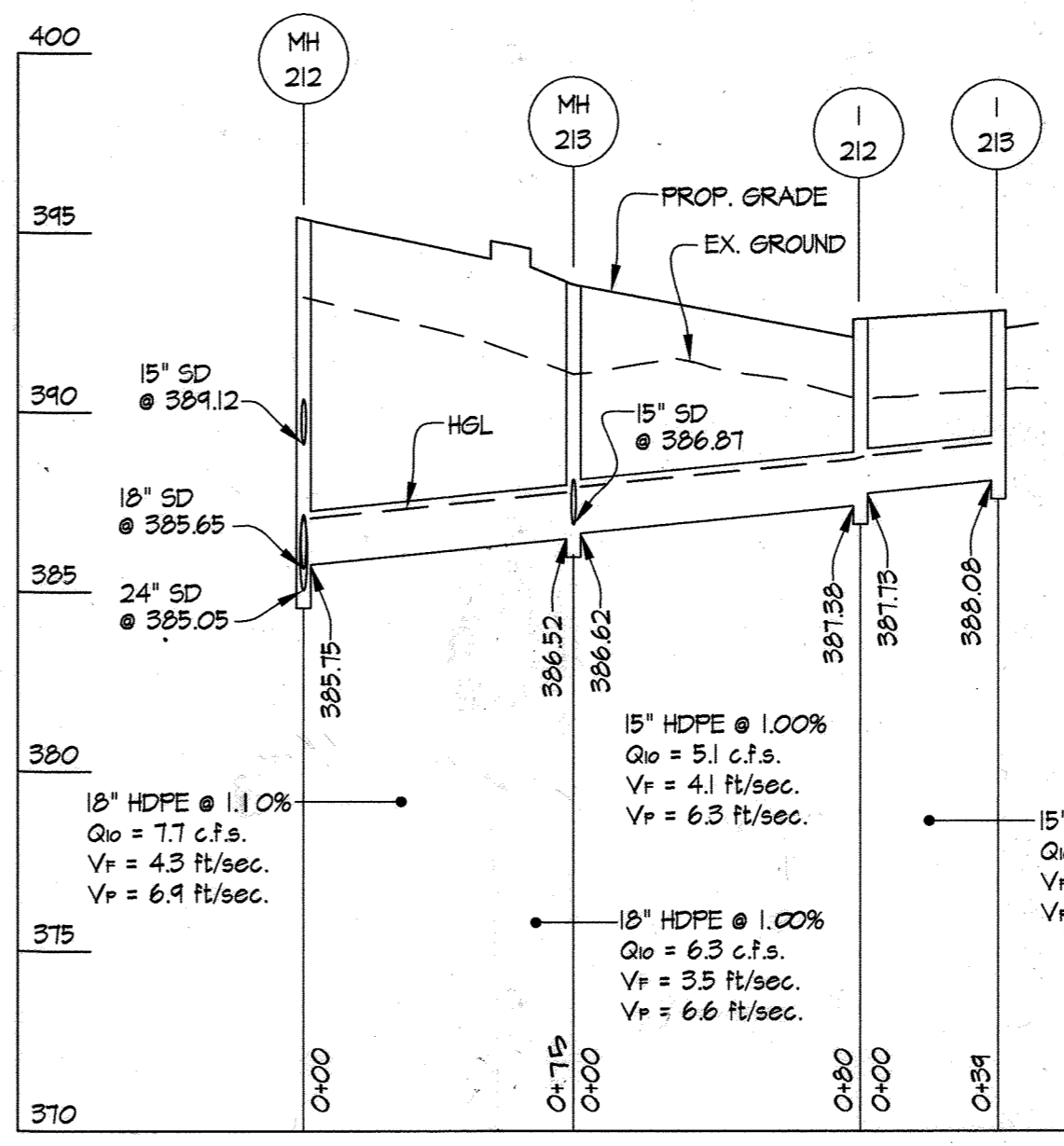
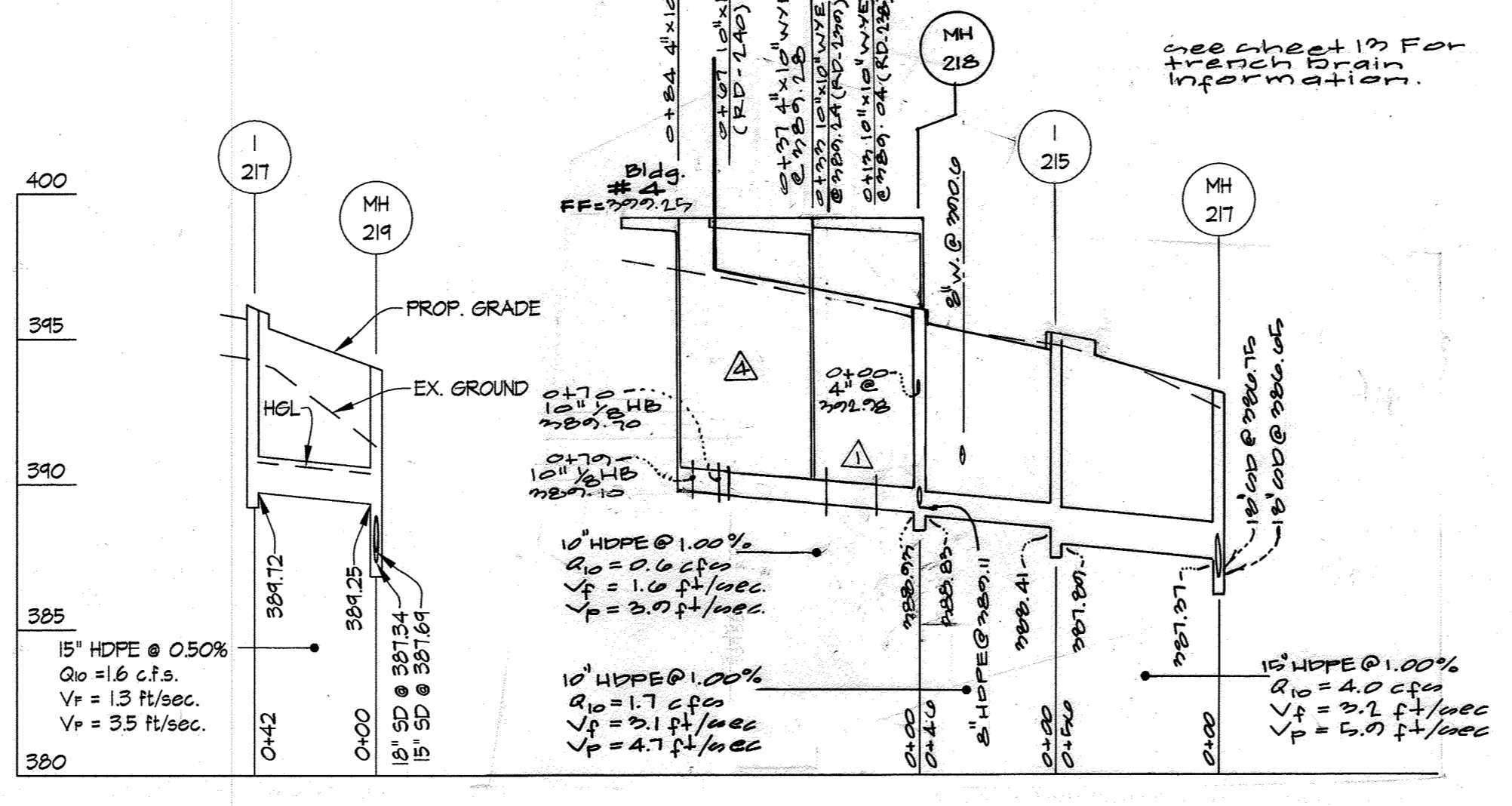
• HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-2, by Hancock or an approved equal.  
 • Trench bedding to be provided per Howard County Detail 6 2.01, "Trench for P.V.C. pipe and HDPE."

APPROVED  
 PLANNING BOARD of HOWARD COUNTY  
 DATE 04.09.2016



APPROVED  
 PLANNING BOARD  
 of HOWARD COUNTY  
 DATE 10/26/06

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director  
 Chief, Development Engineering Division



GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BERTHLEMSVILLE OFFICE PARK  
 BERTHLEMSVILLE, MARYLAND 20868  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

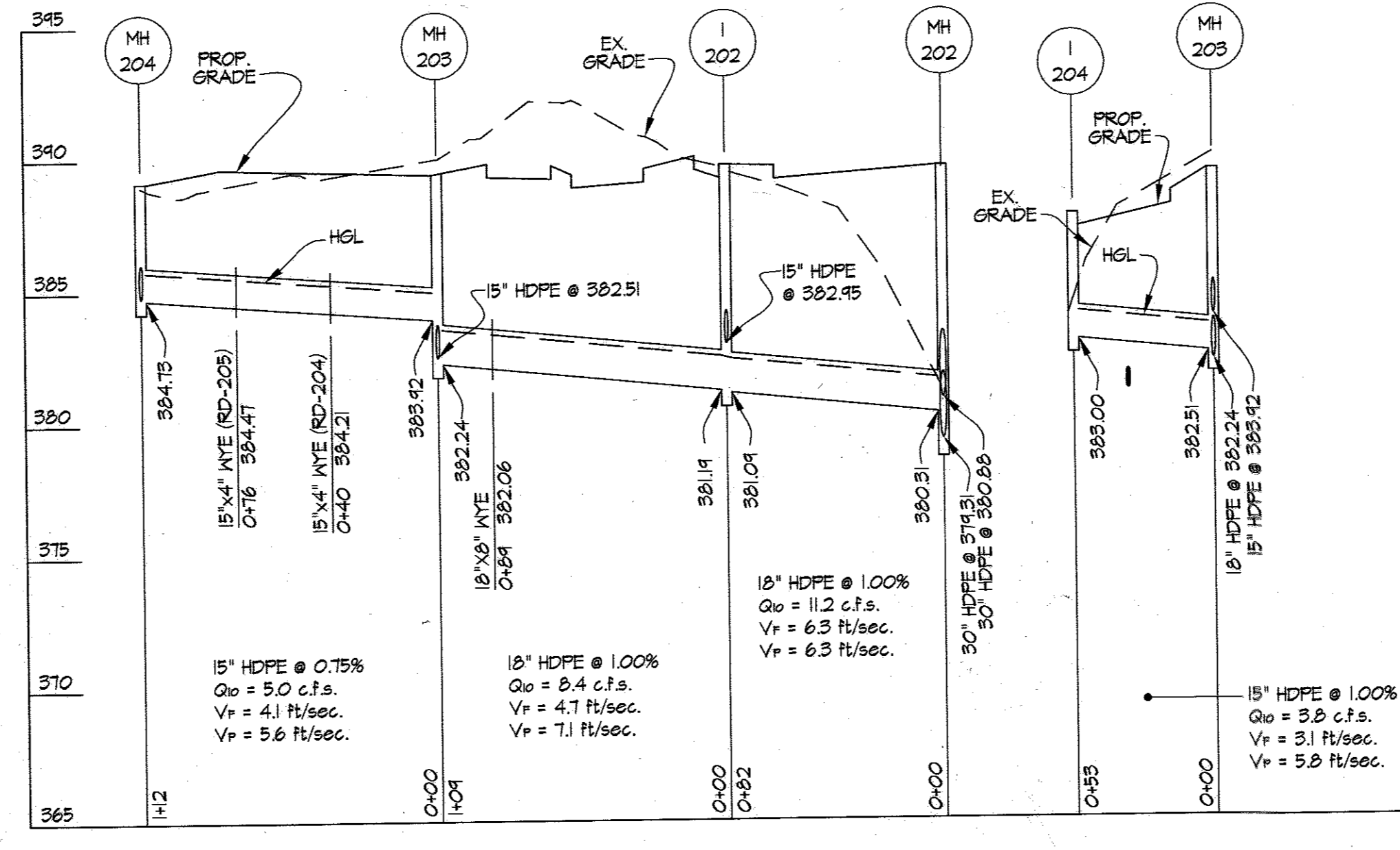
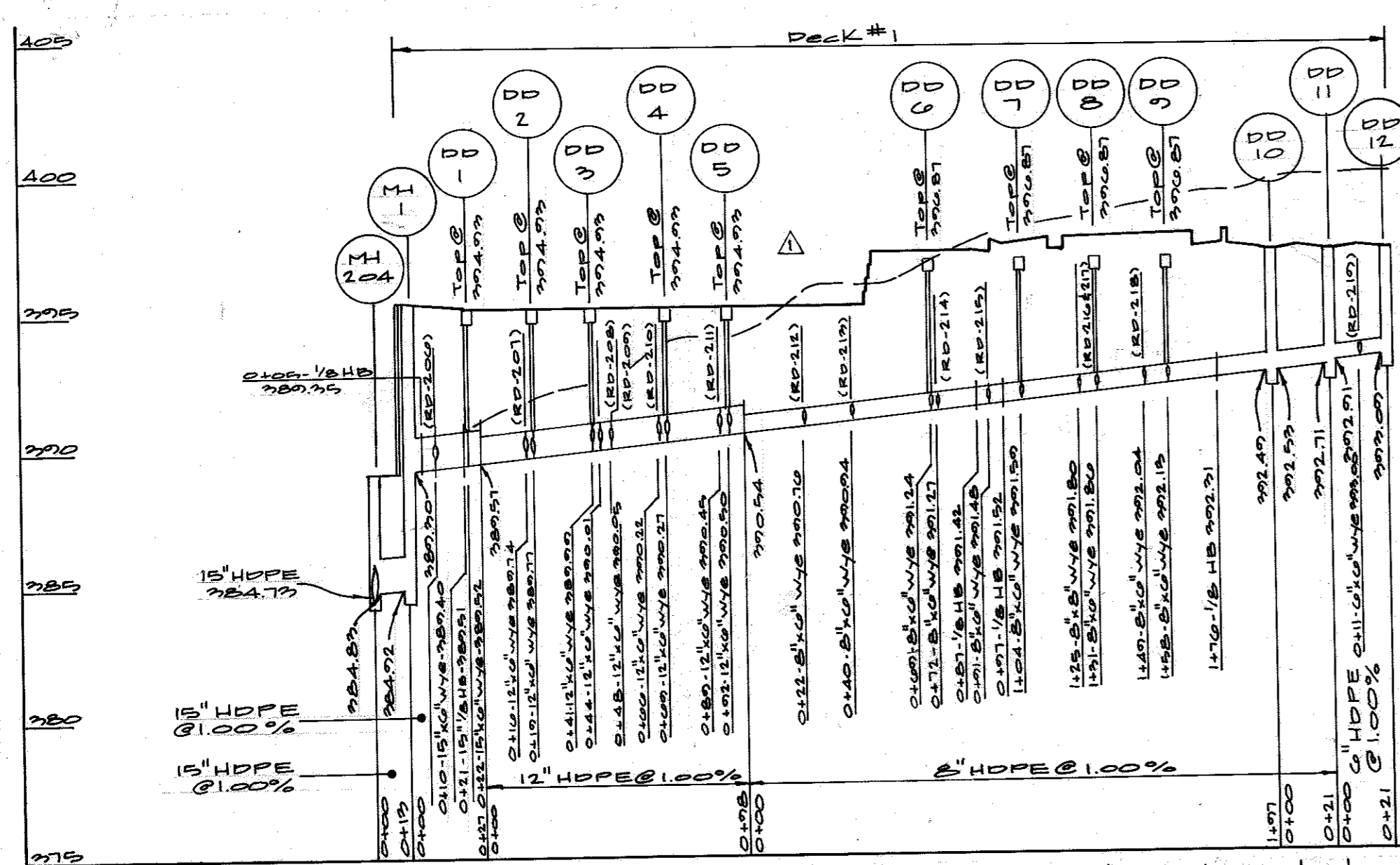
PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

STORM DRAIN PROFILES  
 MAPLE LAWN FARMS  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 12704-5 (F-06-239)

SCALE: AS SHOWN  
 ZONING: MXD-3  
 G. L. W. FILE No.: 05015  
 DATE: SEPT., 2006  
 TAX MAP - GRID: 41-21  
 SHEET: 12 OF 21

| NO. | DATE     | REVISION   | BY  | APPR. |
|-----|----------|--|-----|-------|
| 1   | 11-20-07 | Rev. which to Bldg's #44, Removed drainage Interceptor & Removed Drain Detail    | KLW | DEV   |
| 2   | 11-20-07 | Rev. storm drain Profiles, Deck drains, Roof drains, etc. using Per Plan changes | KLW | DEV   |
| 3   | 11-20-07 | Rev. roof drain connection for Bldg's #  | KLW | DEV   |

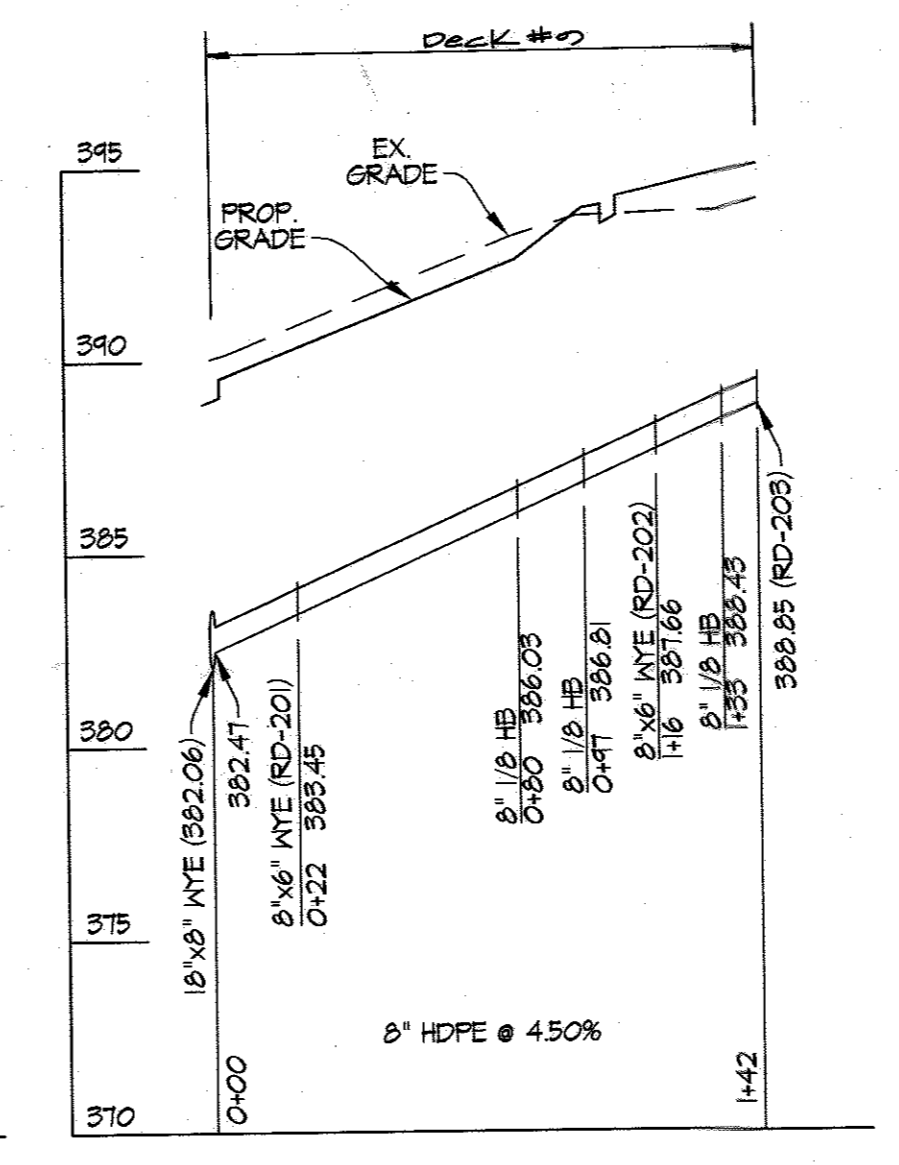
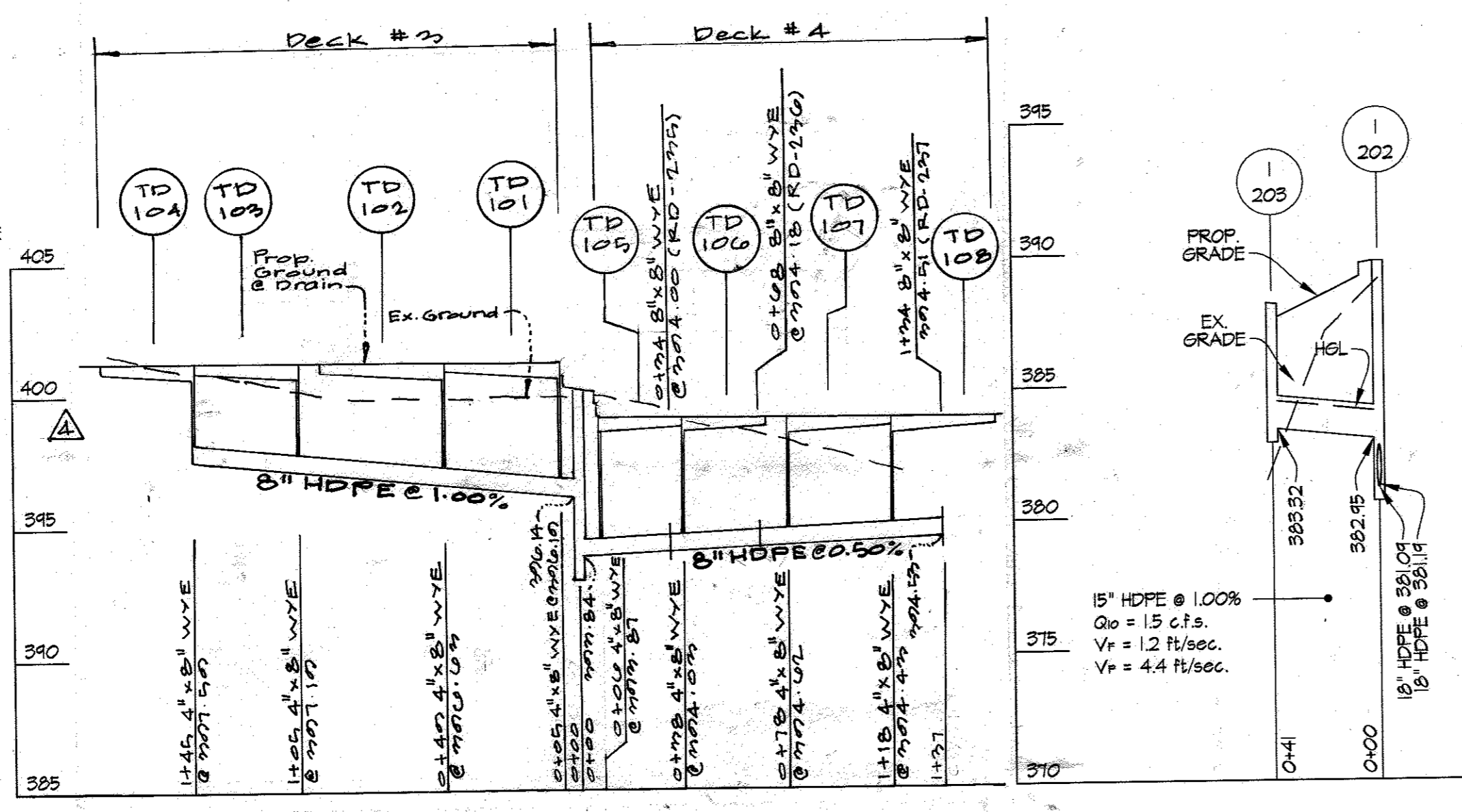
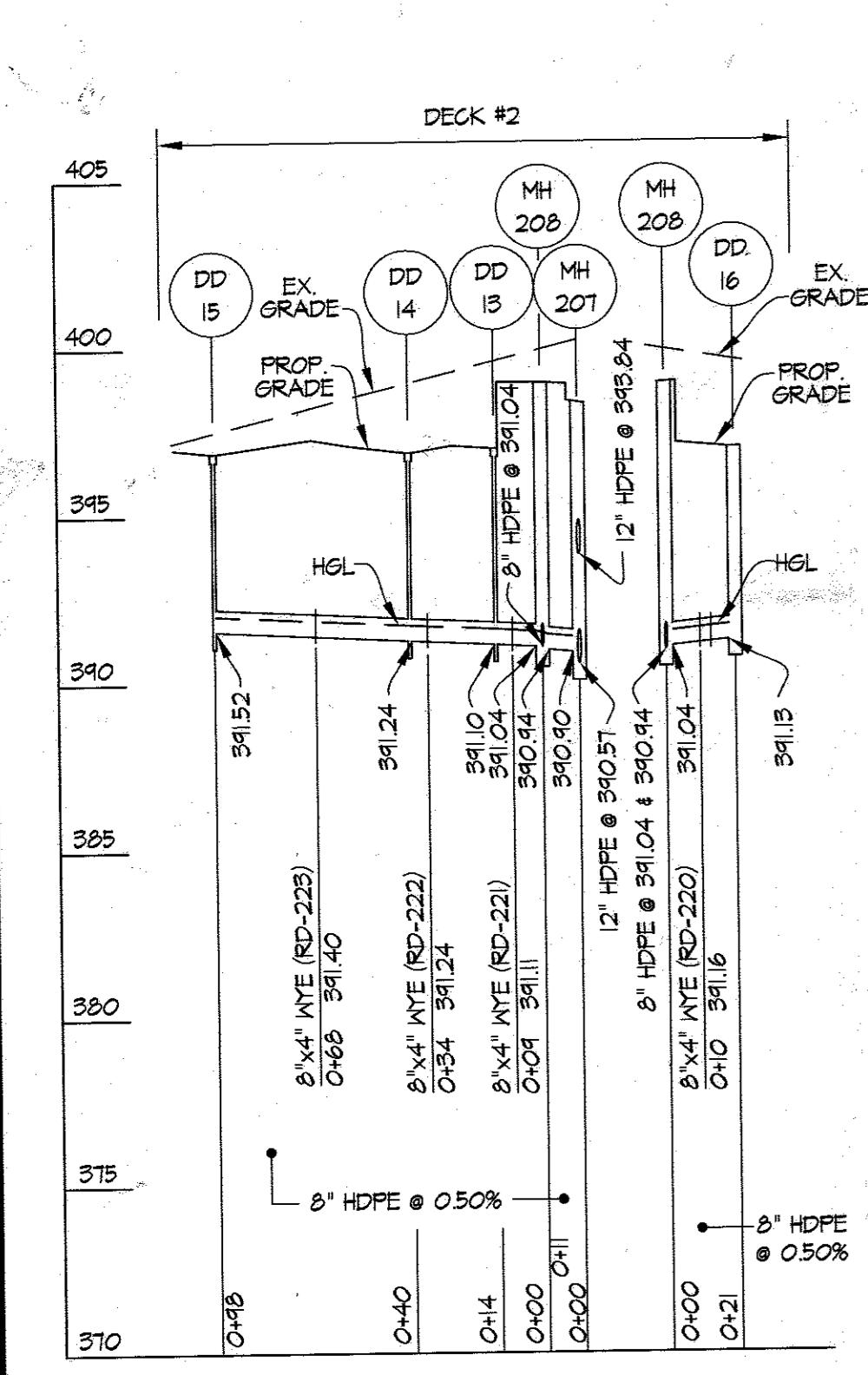
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| STRUCTURE SCHEDULE |                  |                |               |        |                  |        |                 |                       |         |
|--------------------|------------------|----------------|---------------|--------|------------------|--------|-----------------|-----------------------|---------|
| NO                 | TYPE             | WIDTH (INSIDE) | TOP ELEVATION |        | INVERT ELEVATION |        | STD. DETAIL     | LOCATIONS             | REMARKS |
|                    |                  |                | UPPER         | LOWER  | UPPER            | LOWER  |                 |                       |         |
| I-202              | A-10 INLET       | 2'-6"          | 389.44        | 389.69 | 382.95           | 381.09 | HO. CO. SD 4.40 | N 542,917 E 1,339,883 |         |
| I-203              | A-10 INLET       | 2'-6"          | 388.07        | 388.07 | ---              | 383.32 | HO. CO. SD 4.40 | N 542,927 E 1,339,844 |         |
| I-204              | A-10 INLET       | 2'-6"          | 387.75        | 387.75 | ---              | 383.00 | HO. CO. SD 4.40 | N 542,808 E 1,339,654 |         |
| MH-1               | Standard Manhole | 2'-0"          | 394.40        | ---    | 384.11           | 384.72 | HO. CO. G-5.12  | N 542,855 E 1,339,144 |         |
| MH-202             | STANDARD MANHOLE | 4'-0"          | 388.89        | ---    | 380.88           | 379.31 | HO. CO. G 5.12  | N 542,965 E 1,339,925 |         |
| MH-203             | STANDARD MANHOLE | 4'-0"          | 389.47        | ---    | 383.42           | 382.24 | HO. CO. G 5.12  | N 542,885 E 1,339,767 |         |
| MH-204             | STANDARD MANHOLE | 4'-0"          | 389.04        | ---    | 384.83           | 384.73 | HO. CO. G 5.12  | N 542,840 E 1,339,639 |         |
| MH-207             | STANDARD MANHOLE | 4'-0"          | 398.24        | ---    | 393.84           | 390.57 | HO. CO. G 5.12  | N 543,161 E 1,339,636 |         |
| MH-208             | STANDARD MANHOLE | 4'-0"          | 399.00        | ---    | 391.04           | 390.94 | HO. CO. G 5.12  | N 543,148 E 1,339,610 |         |
| MH-212             | STANDARD MANHOLE | 4'-0"          | 394.00        | ---    | 384.12           | 385.03 | HO. CO. G 5.12  | N 543,301 E 1,339,996 |         |
| MH-214             | STANDARD MANHOLE | 4'-0"          | 397.70        | ---    | 391.43           | 391.38 | HO. CO. G 5.12  | N 543,343 E 1,339,712 |         |
| MH-215             | STANDARD MANHOLE | 4'-0"          | 399.86        | ---    | 392.91           | 392.58 | HO. CO. G 5.12  | N 543,435 E 1,339,636 |         |
| MH-216             | STANDARD MANHOLE | 4'-0"          | 400.13        | ---    | 396.14           | 397.67 | HO. CO. G 5.12  | N 543,490 E 1,339,927 |         |
| D-202              | STANDARD MANHOLE | 4'-0"          | 399.50        | ---    | 393.33           | 393.23 |                 | N 543,418 E 1,339,666 |         |

NOTE: Elevations shown are to invert of main unless otherwise noted.

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.  
 NYLOPLAST - ADS DRAIN BASIN OR APPROVED EQUAL.  
 ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: #44-4401-D (water) and #24-4103-D (sewer).



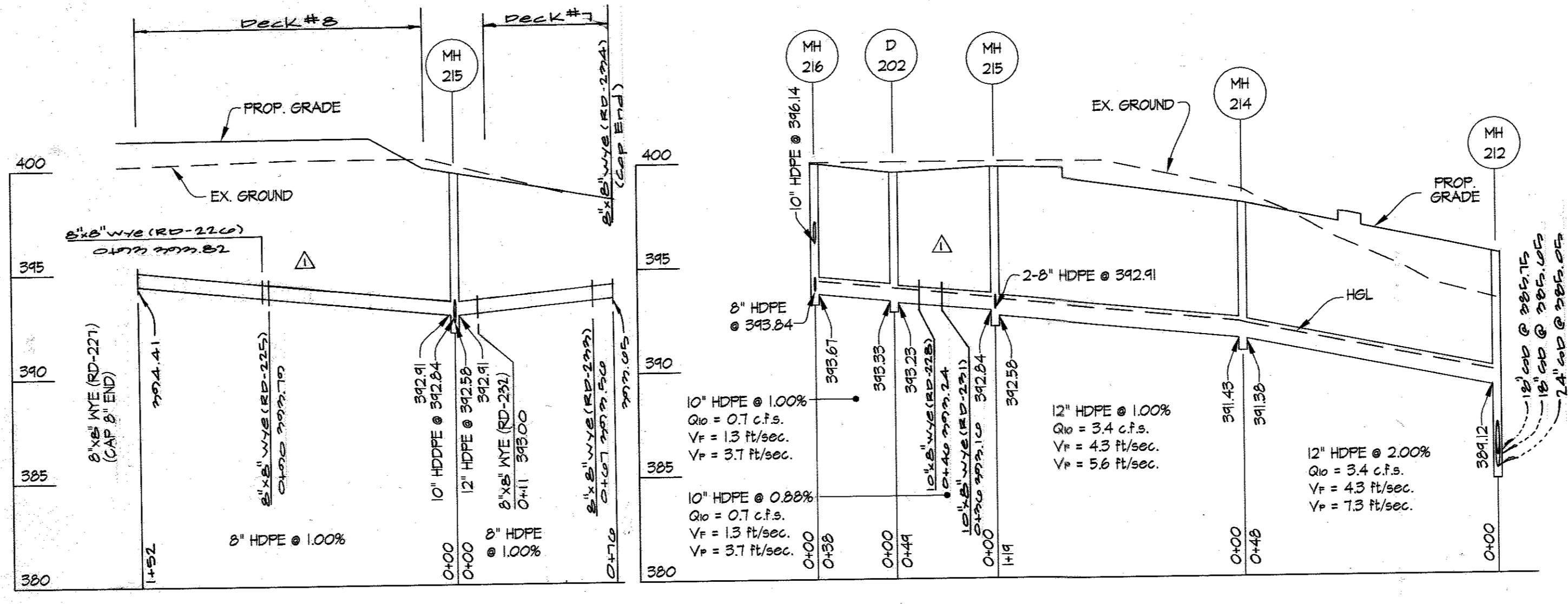
| DECK DRAIN* | STRUCTURE |         | DECK DRAIN* | STRUCTURE |         |
|-------------|-----------|---------|-------------|-----------|---------|
|             | TOP       | INV @ E |             | TOP       | INV @ E |
| DD-1        | 394.93    | 389.52  | DD-13       | 397.00    | 391.10  |
| DD-2        | 394.93    | 389.77  | DD-14       | 397.00    | 391.28  |
| DD-3        | 394.93    | 390.00  | DD-15       | 397.00    | 391.52  |
| DD-4        | 394.93    | 390.29  | DD-16       | 397.00    | 391.73  |
| DD-5        | 394.93    | 390.59  |             |           |         |
| DD-6        | 396.87    | 391.31  |             |           |         |
| DD-7        | 396.87    | 391.60  |             |           |         |
| DD-8        | 396.87    | 391.23  |             |           |         |
| DD-4        | 396.87    | 392.29  |             |           |         |
| DD-10       | 397.10    | 392.64  |             |           |         |
| DD-11       | 397.10    | 392.82  |             |           |         |
| DD-12       | 397.10    | 393.00  |             |           |         |

\*All Deck Drains to be Nyloplast-ADS Drain Basin or Approved Equal.

| PIPE SCHEDULE |      |               |         |
|---------------|------|---------------|---------|
| SIZE          | TYPE | QUANTITY (LF) | REMARKS |
| 15"           | HDPE | 240           |         |
| 12"           | HDPE | 101           |         |
| 6"            | HDPE | 21            |         |
| 8"            | HDPE | 1000          |         |
| 10"           | HDPE | 87            |         |
| 12"           | HDPE | 205           |         |

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-12 by Hancox or an approved equal.  
 Trench bedding to be provided per Howard County Detail G 2.01.  
 \*Trench for P.V.C. pipe and HDPE.\*

| Trench Drain | Top    | Grate Length | inv @ E | Trench Drain | Top    | Grate Length | inv @ E |
|--------------|--------|--------------|---------|--------------|--------|--------------|---------|
| TD-101       | 401.26 | 44 L.F.      | 396.19  | TD-108       | 401.26 | 40 L.F.      | 394.49  |
| TD-102       | 401.26 | 48 L.F.      | 396.69  | TD-109       | 399.14 | 40 L.F.      | 389.24  |
| TD-103       | 401.26 | 40 L.F.      | 397.19  | TD-110       | 399.14 | 40 L.F.      | 390.00  |
| TD-104       | 401.26 | 36 L.F.      | 397.59  | TD-111       | 399.14 | 40 L.F.      | 390.00  |
| TD-105       | 401.26 | 32 L.F.      | 397.87  | TD-112       | 399.15 | 38 L.F.      | 392.78  |
| TD-106       | 401.26 | 32 L.F.      | 397.87  | TD-113       | 399.15 | 36 L.F.      | 392.78  |
| TD-107       | 401.26 | 40 L.F.      | 397.62  | TD-114       | 399.15 | 20 L.F.      | 389.77  |



APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 04.09.2010

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 10/26/06

STATE OF MARYLAND  
 DEPARTMENT OF PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 Director: *Martha DeLoyle* Date: 2/1/07  
 Chief, Division of Land Development: *Carly Hamilton* Date: 1/26/07  
 Chief, Development Engineering Division: *John DeLoyle* Date: 1/17/07

GLWGUTSCHICK LITTLE & WEBER, P.A.  
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 3609 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
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 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

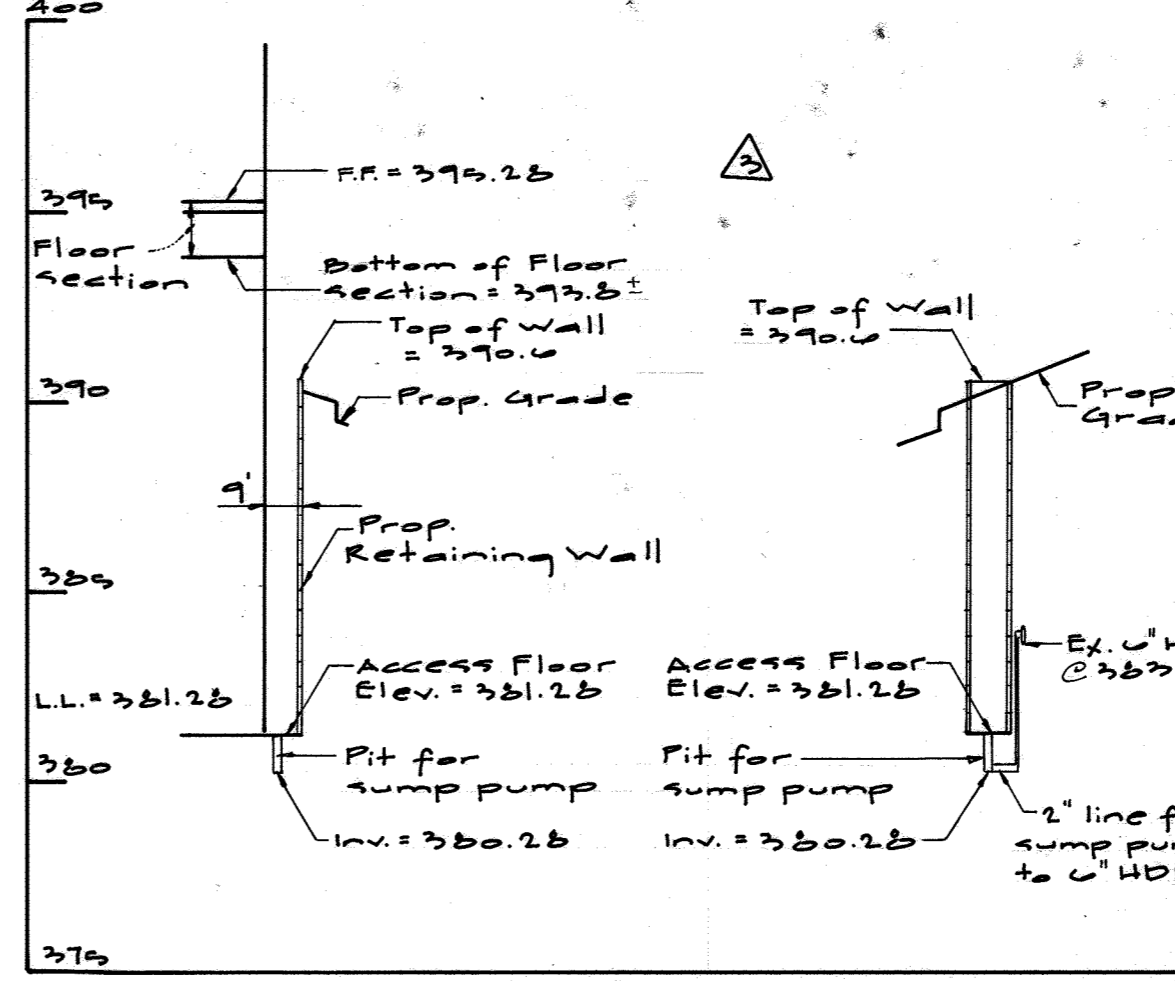
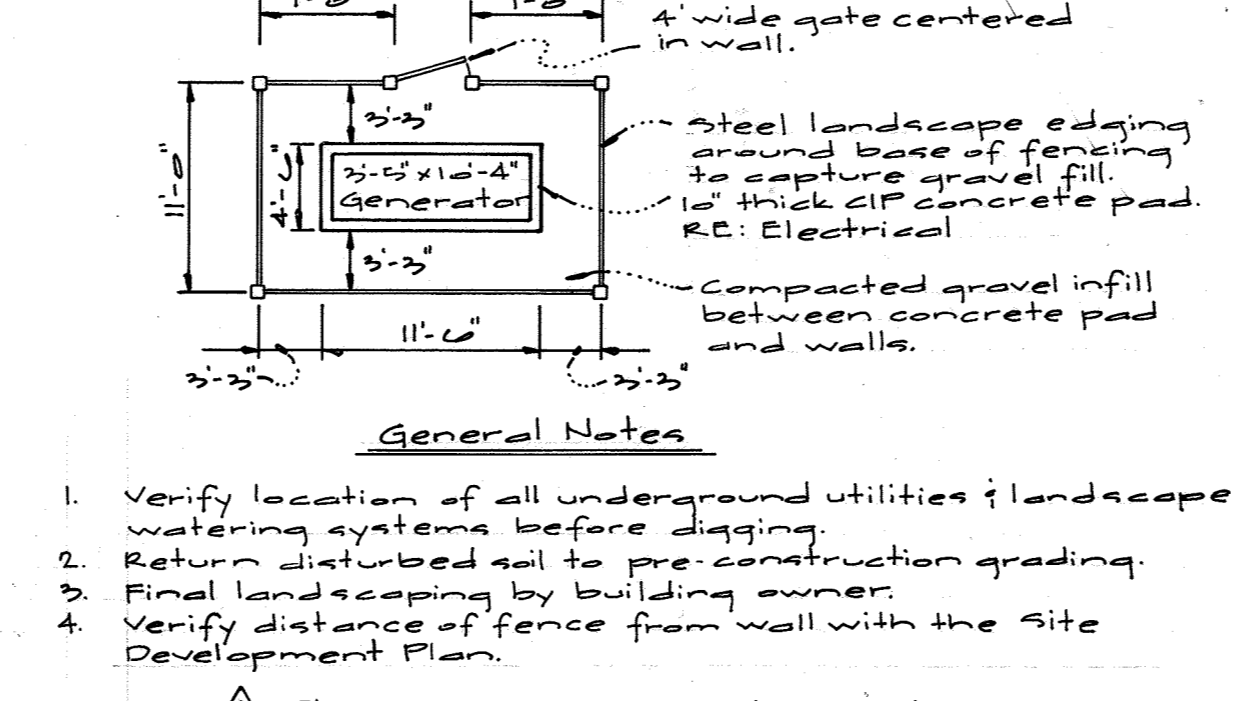
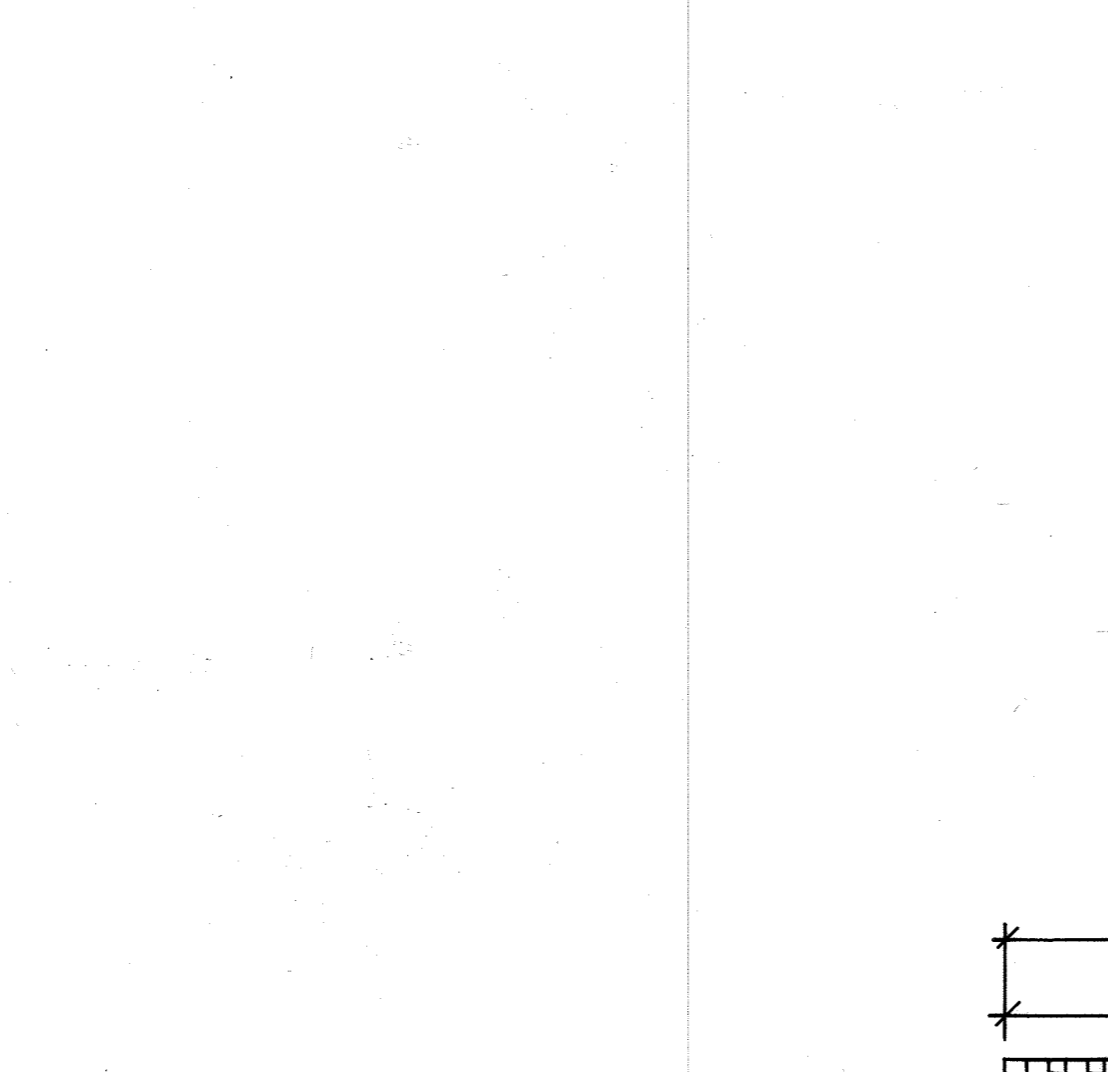
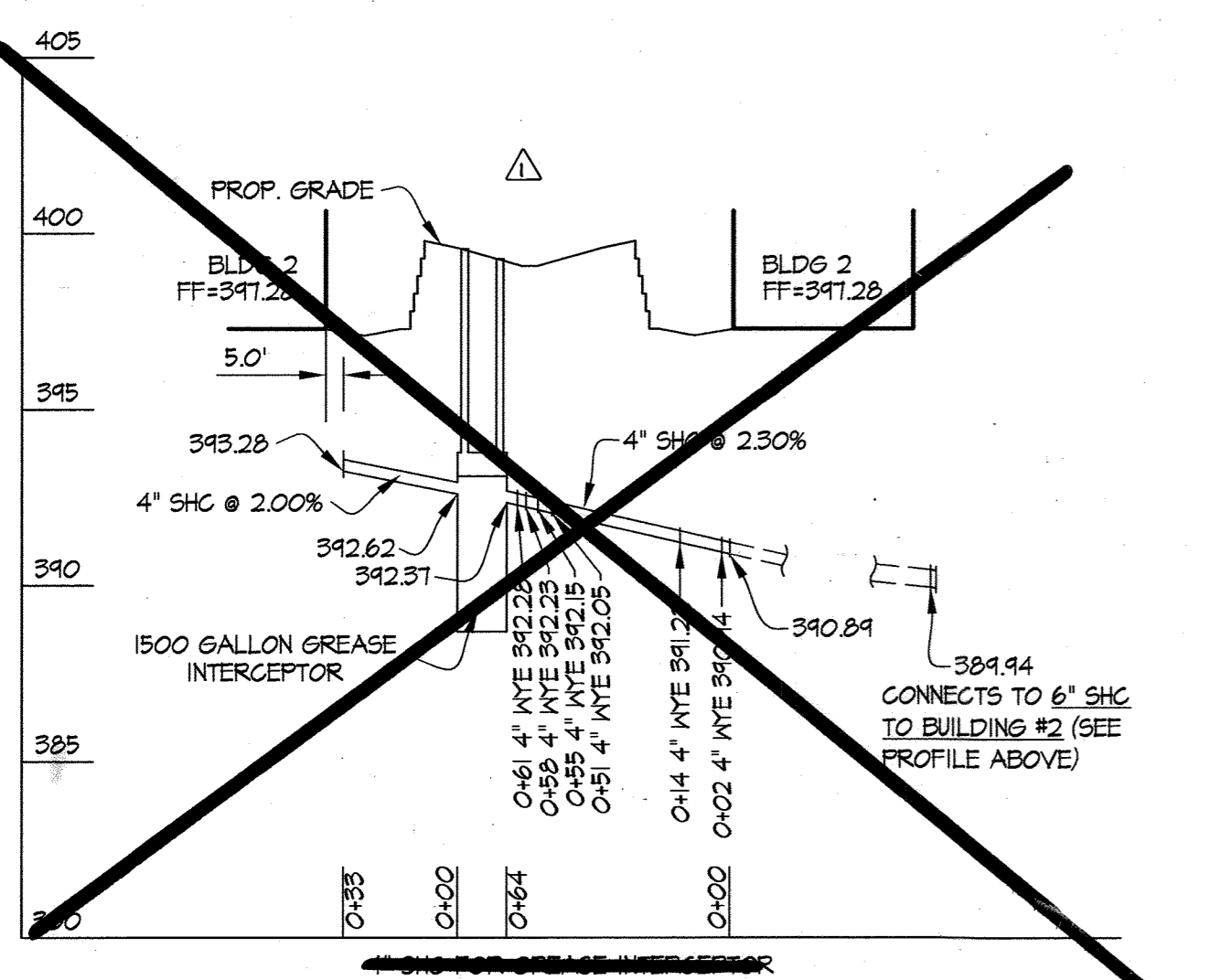
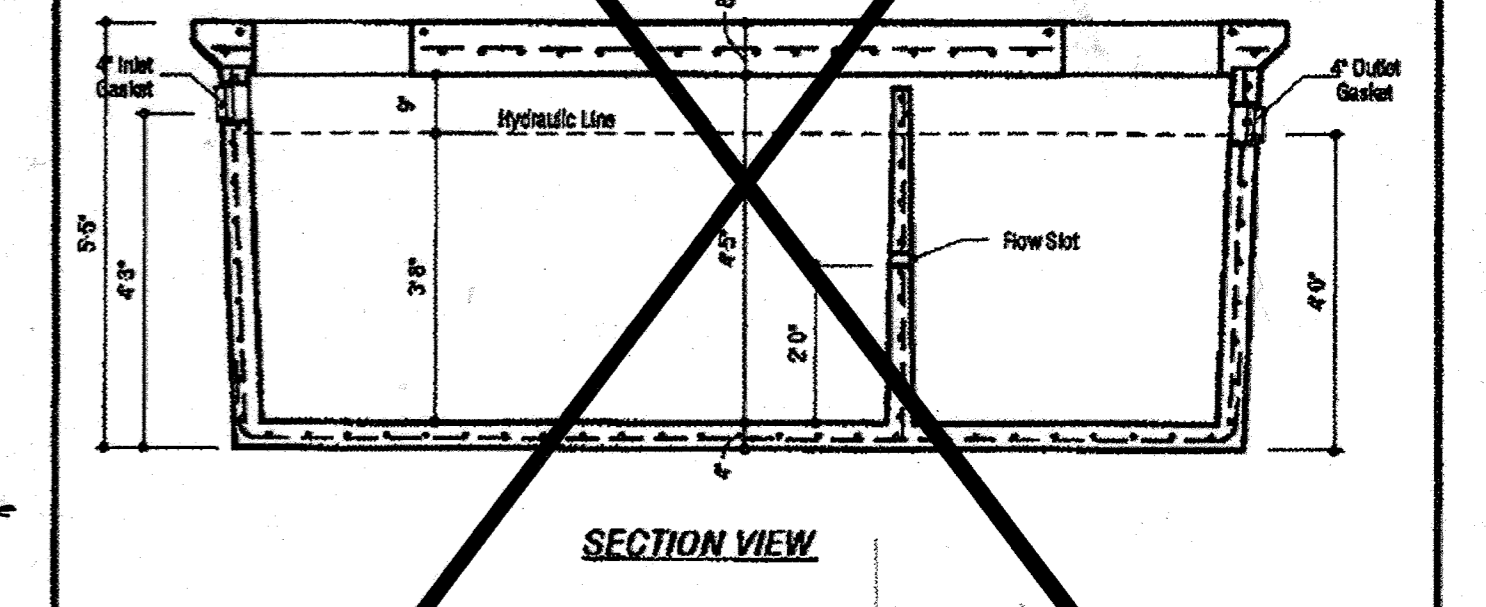
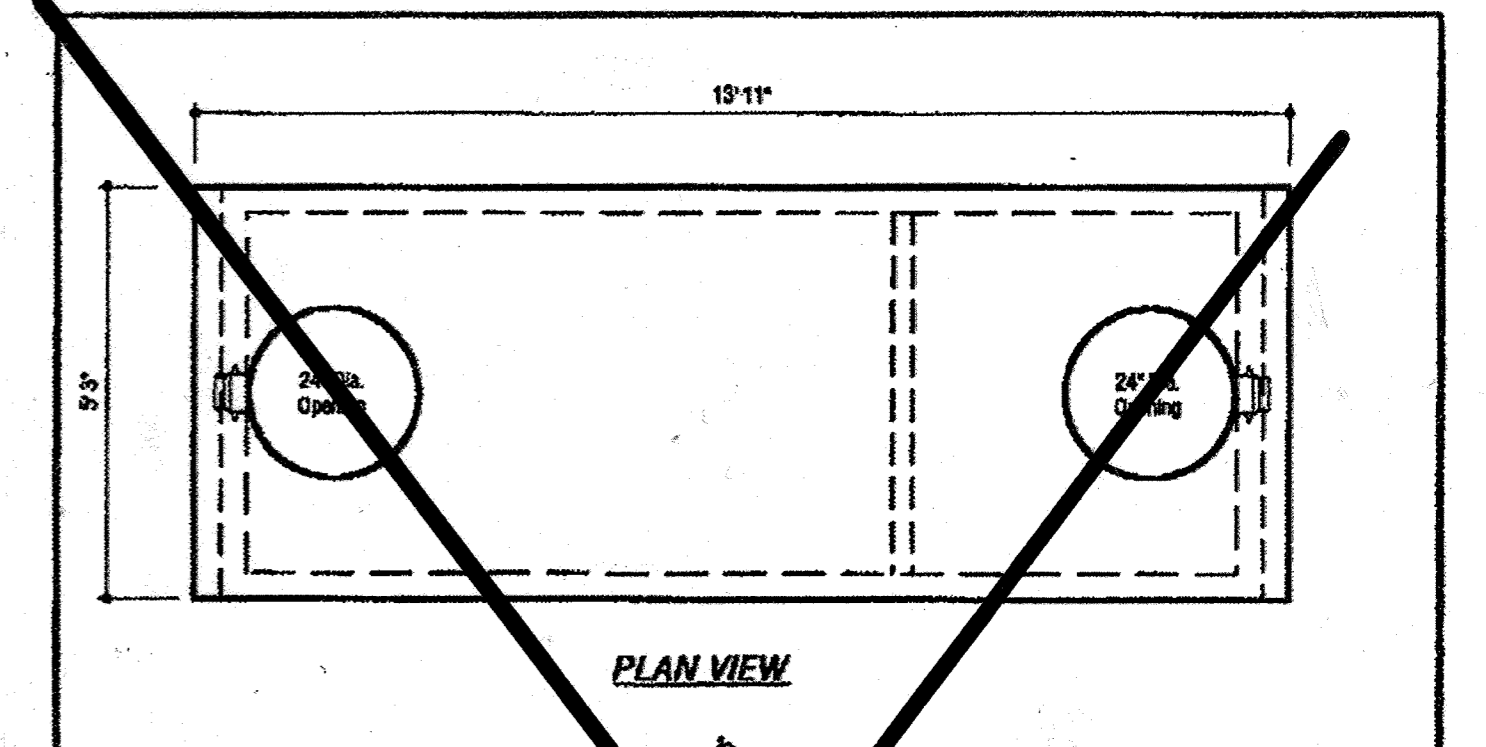
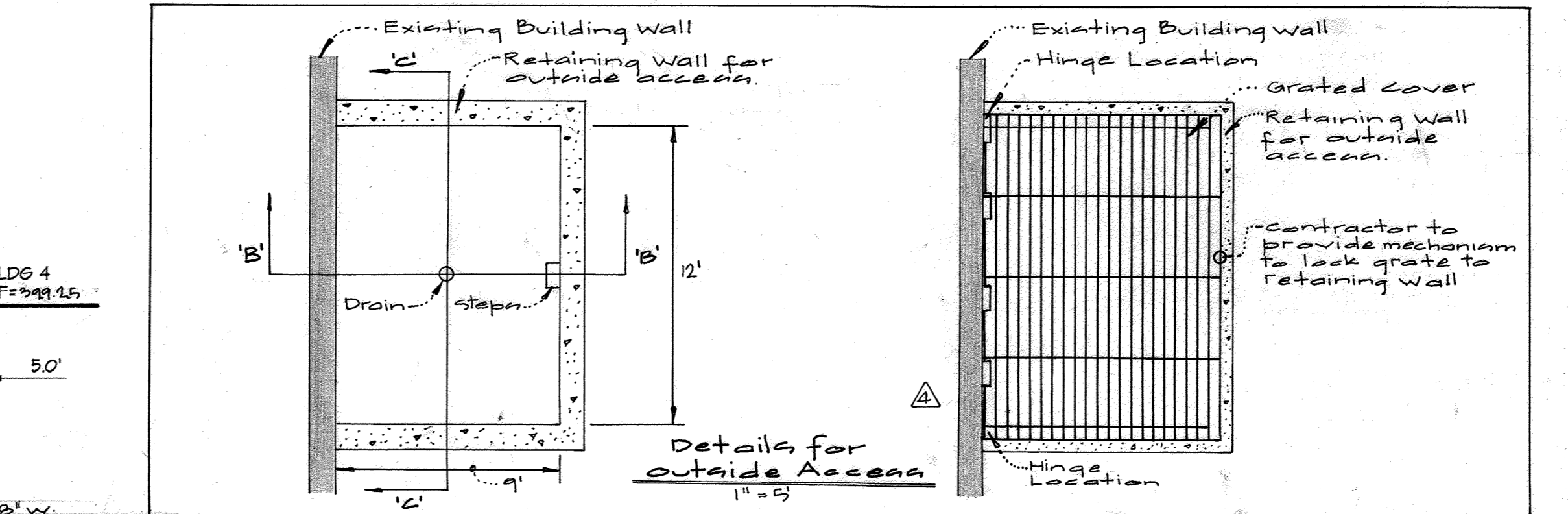
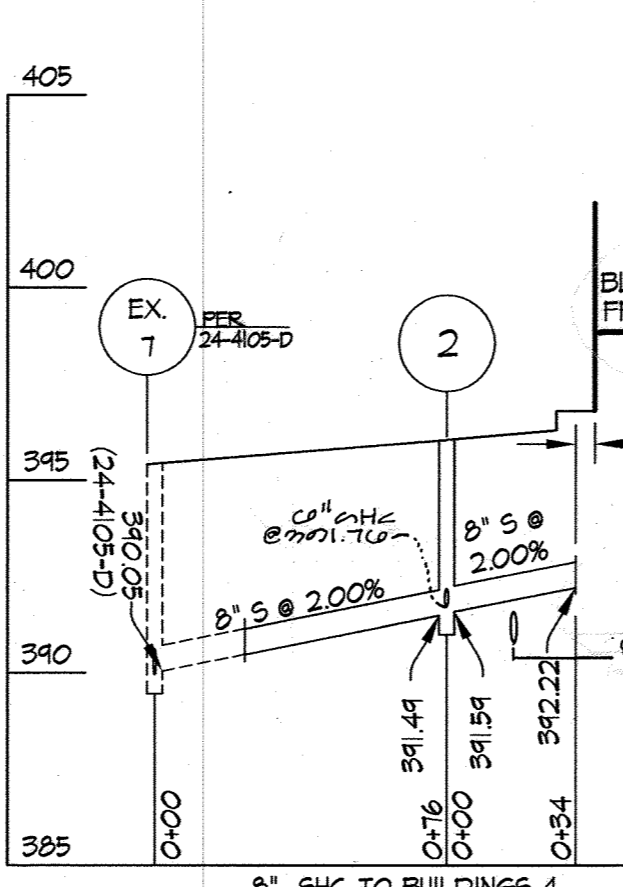
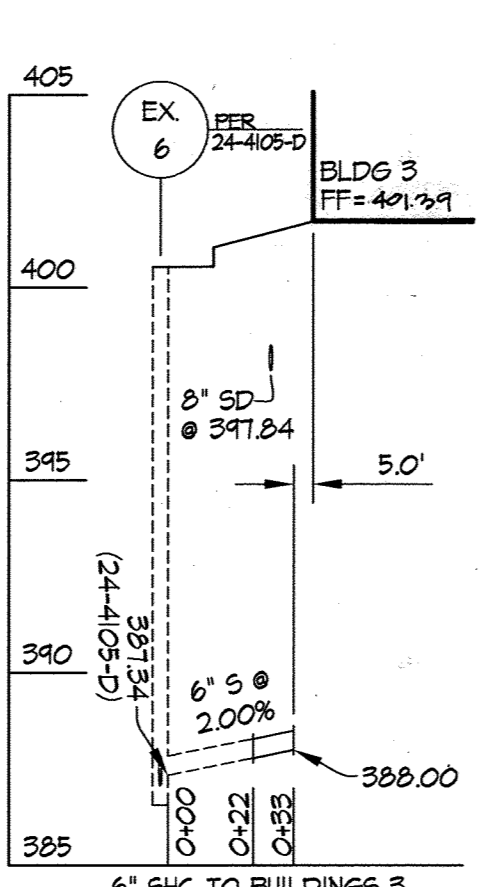
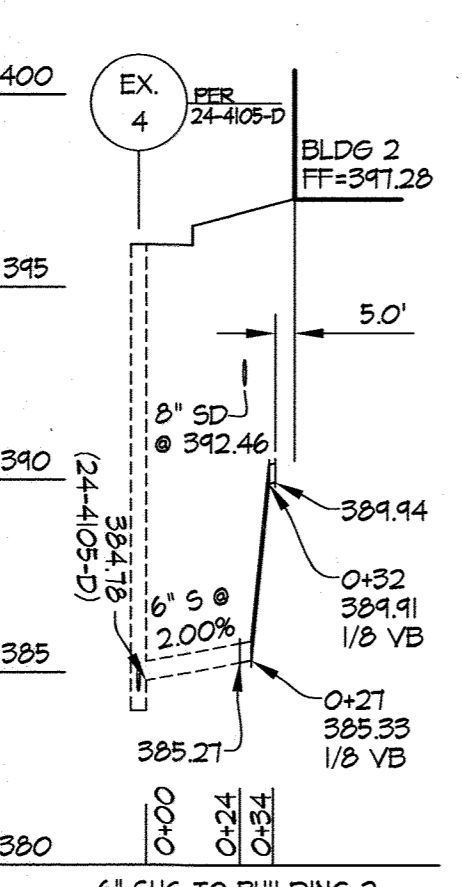
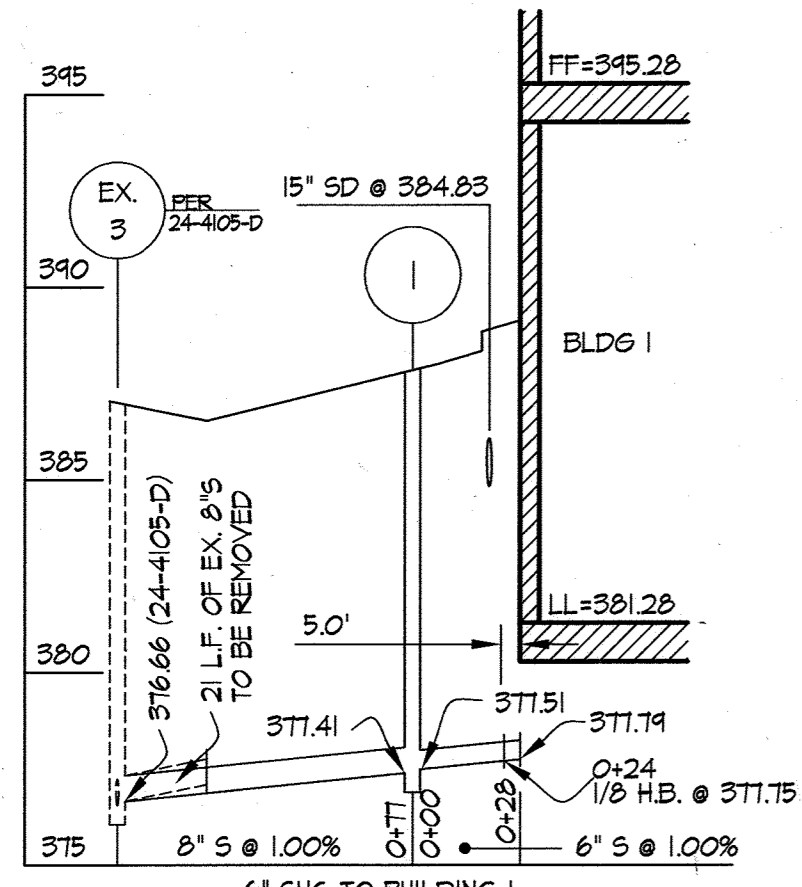
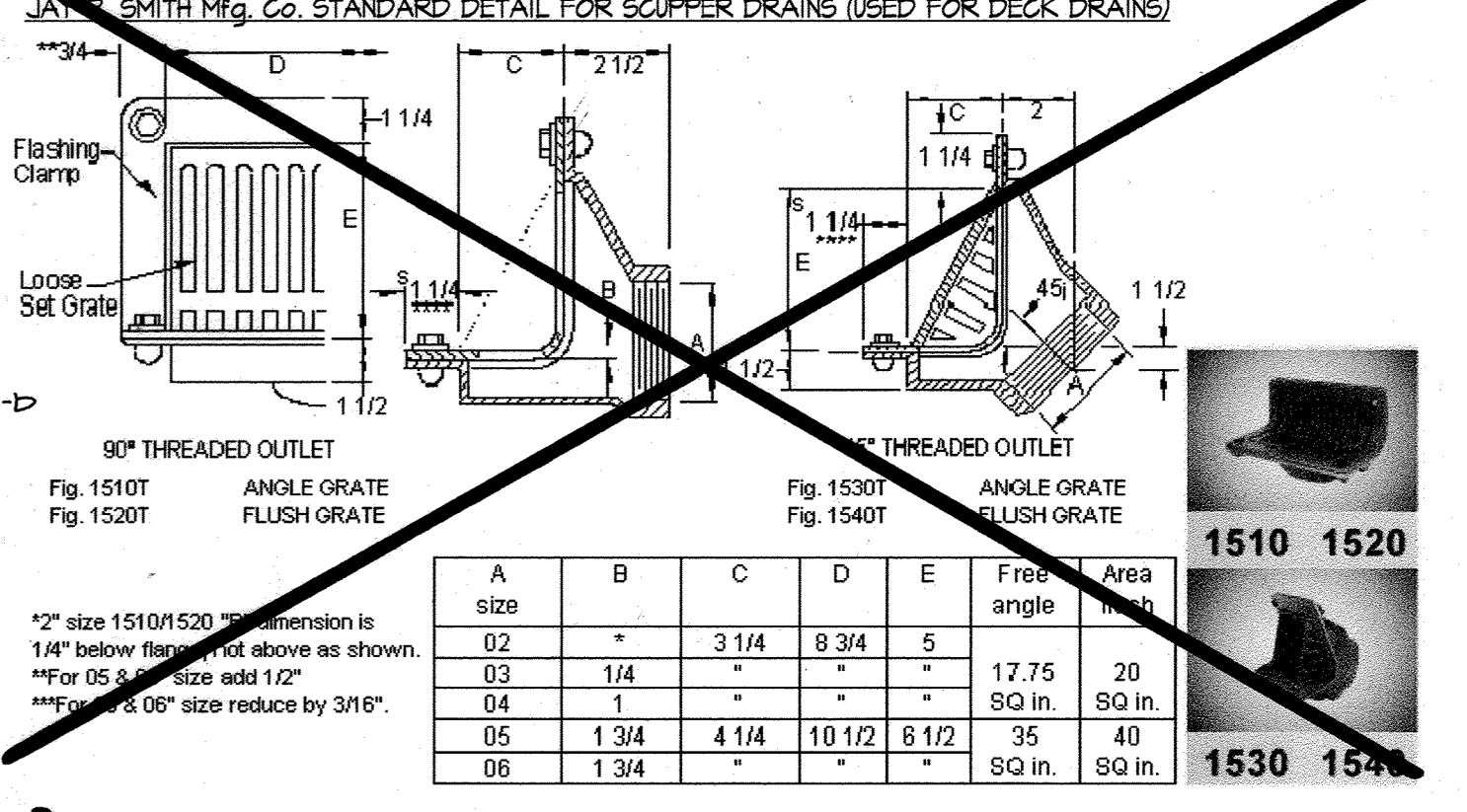
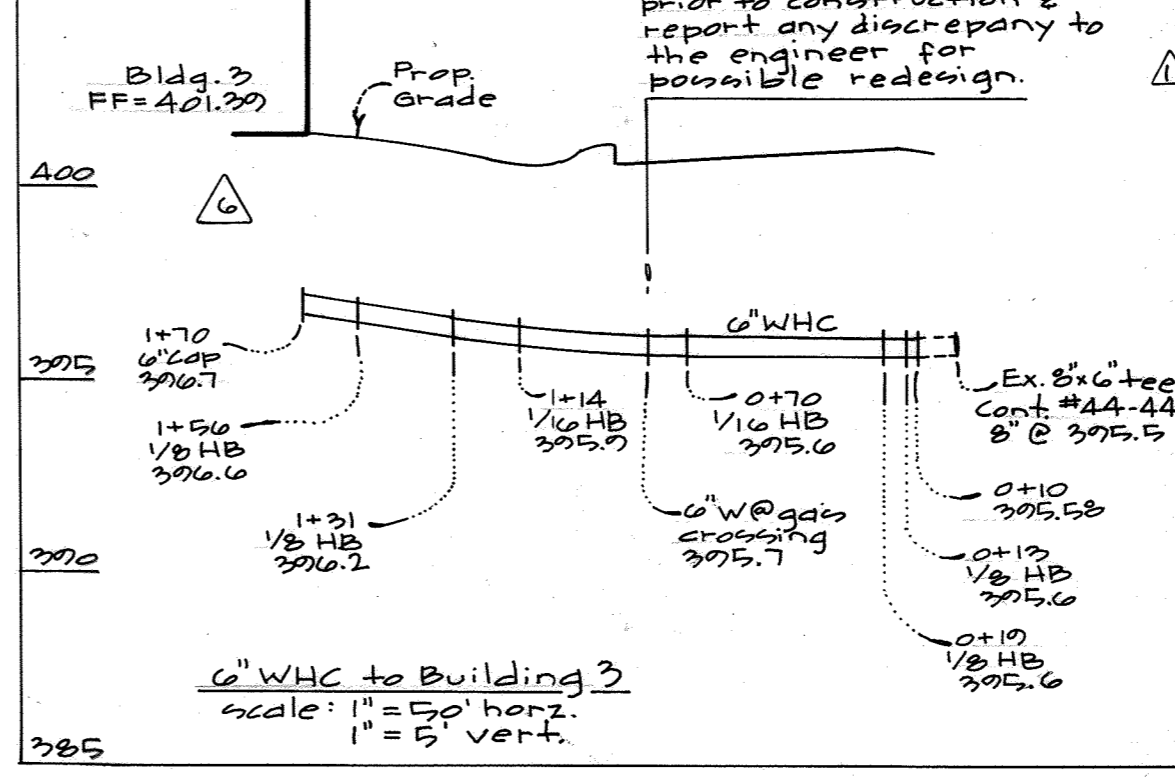
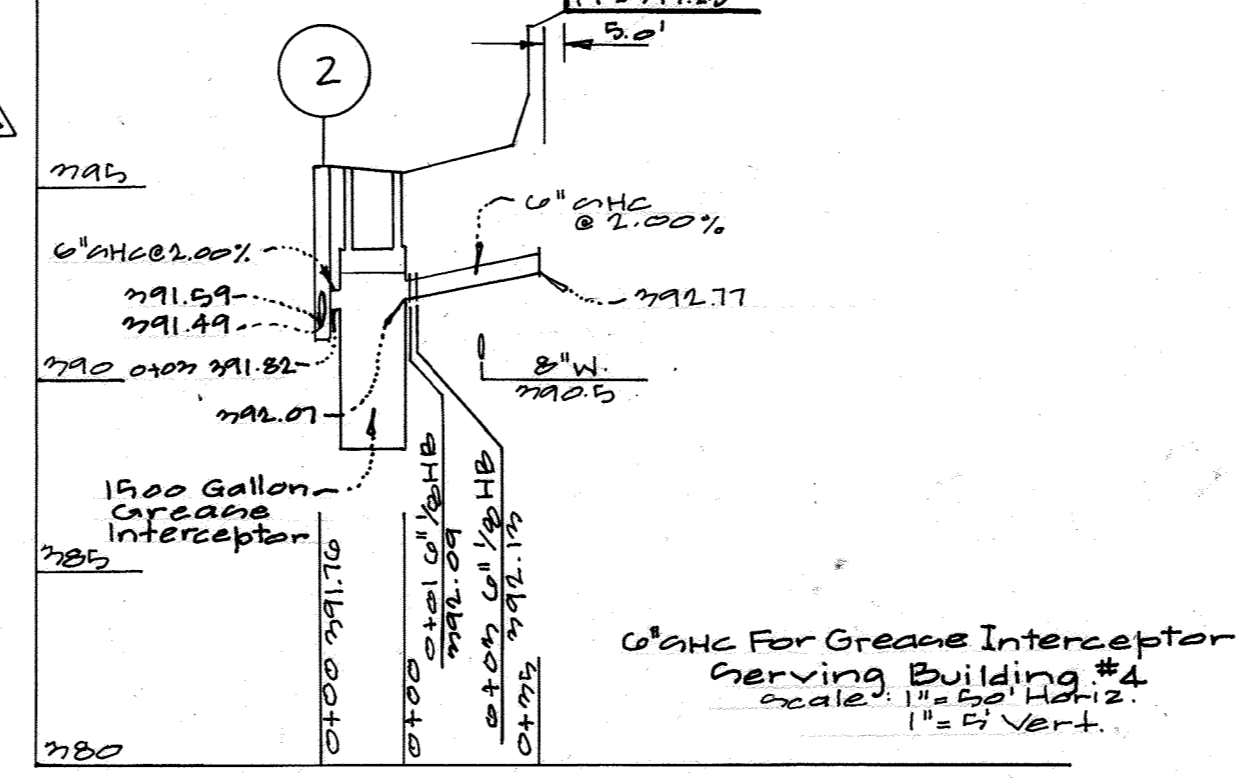
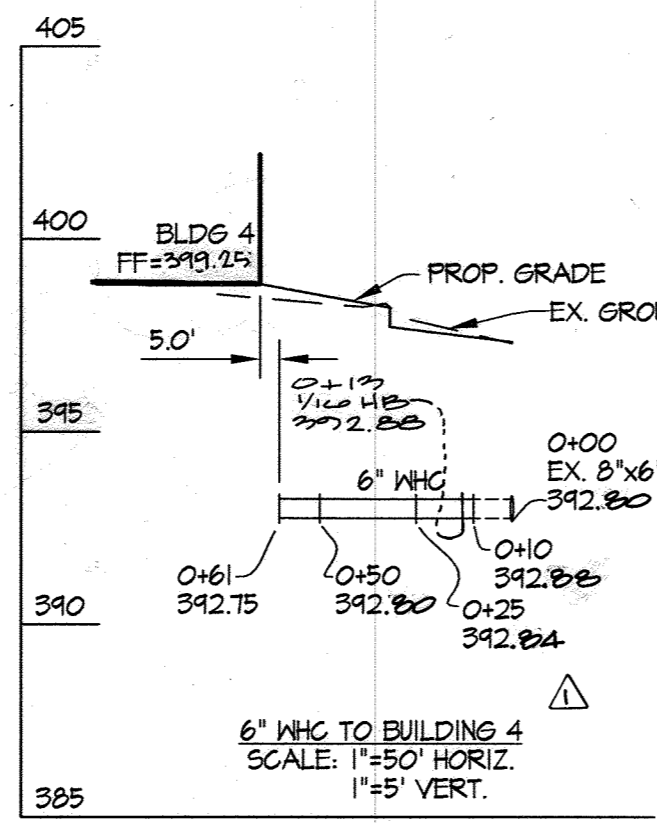
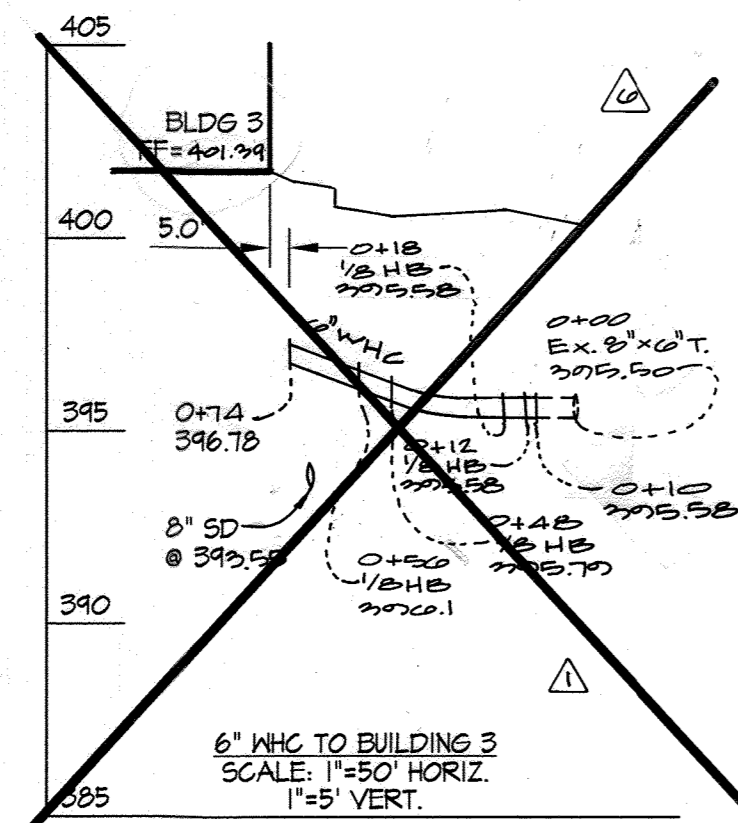
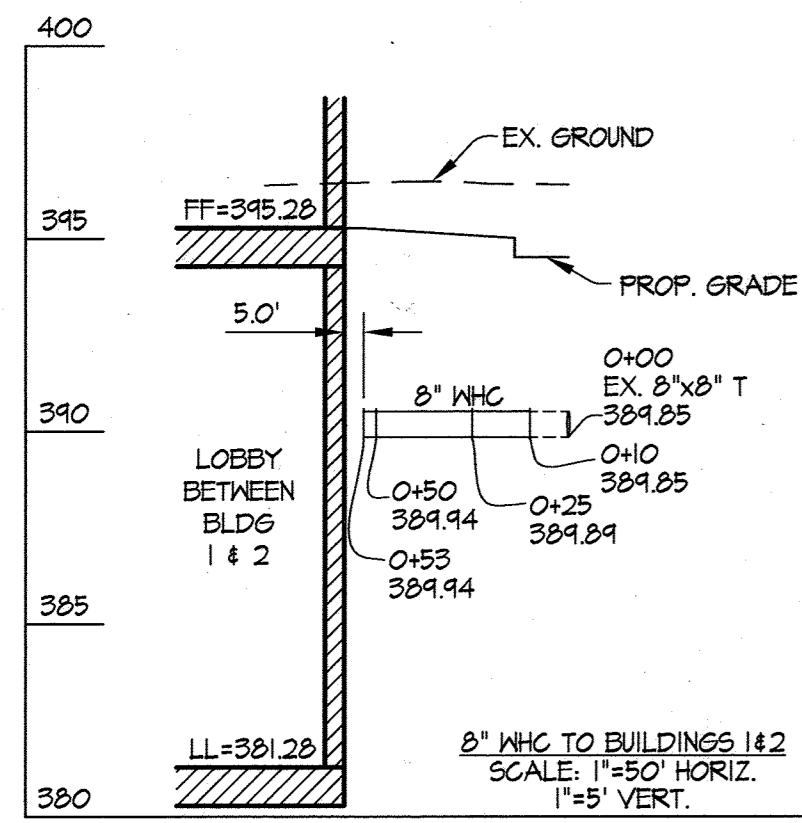
PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

STORM DRAIN PROFILES  
 MAPLE LAWN FARMS  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 12-24-5 (F-06-239)

| SCALE       | ZONING         | G. L. W. FILE No. |
|-------------|----------------|-------------------|
| AS SHOWN    | MXD-3          | 05015             |
| DATE        | TAX MAP - GRID | SHEET             |
| SEPT., 2006 | 41-21          | 13 OF 21          |

| DATE       | REVISION  | BY  | APPR. |
|------------|---|-----|-------|
| 11-21-2010 | Rev. storm drain profiles, Deck Drains & Roof Drains Per Plan changes | G+  | Dev   |
| 11-22-07   | Rev. storm drain profiles, Deck Drains & Roof Drains Per Plan changes | WJL | DEV   |

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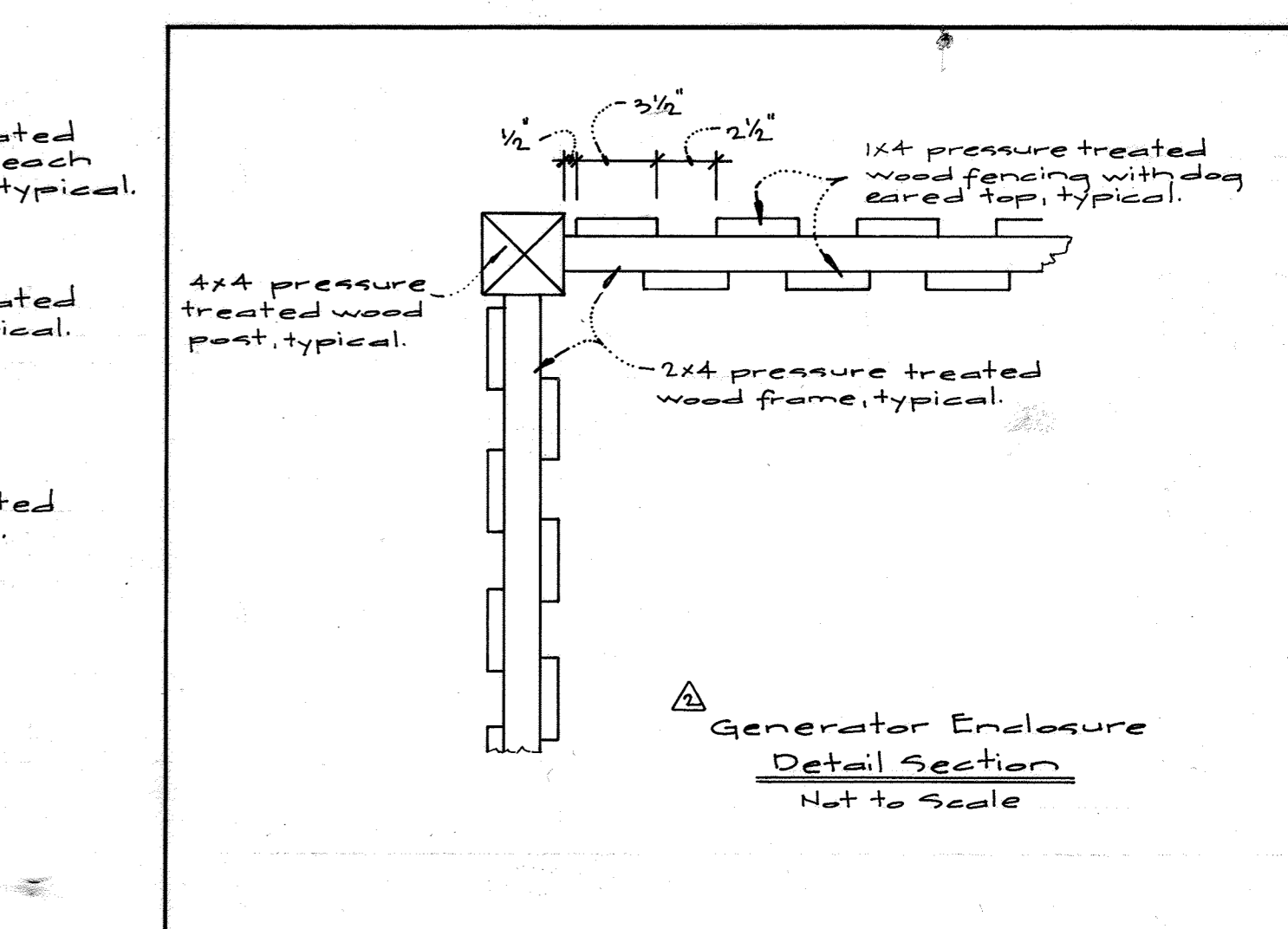
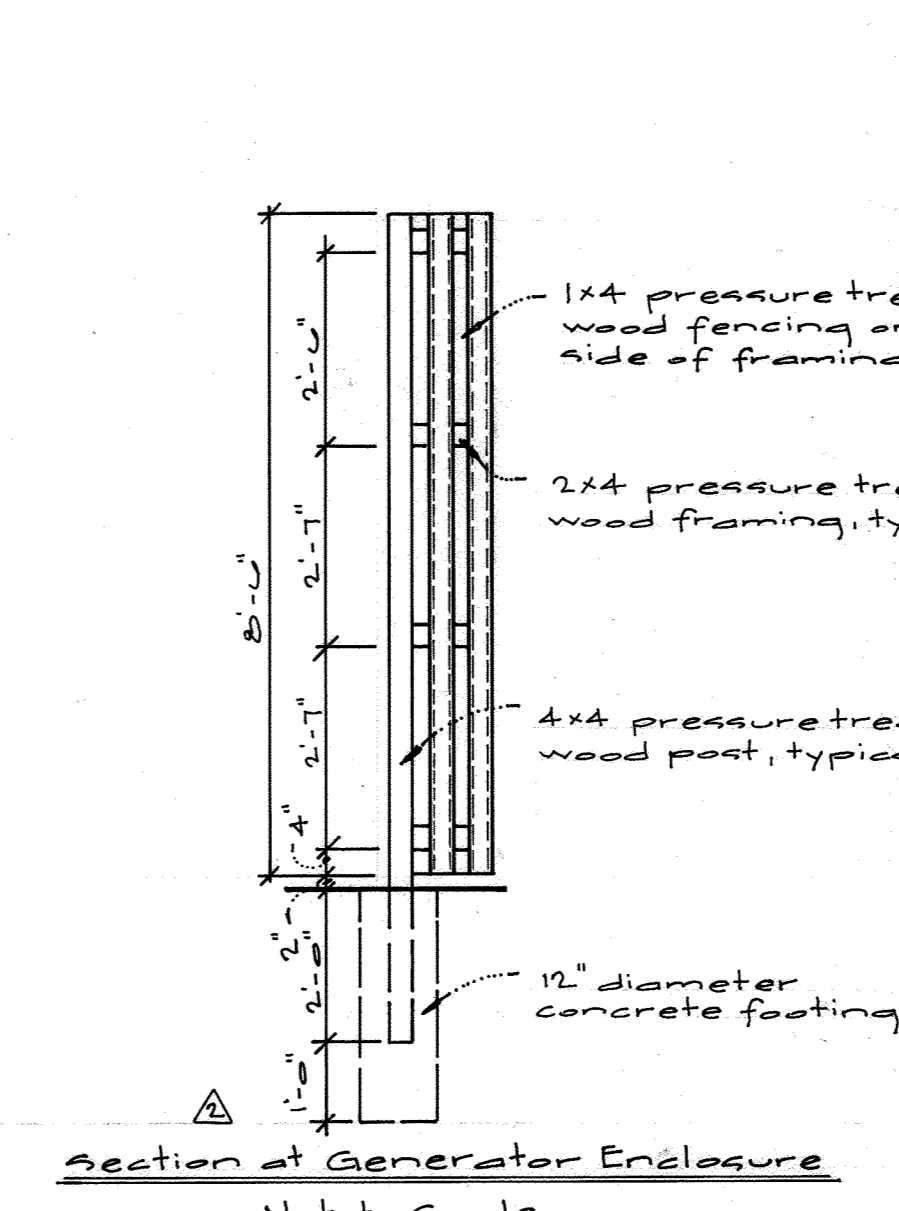
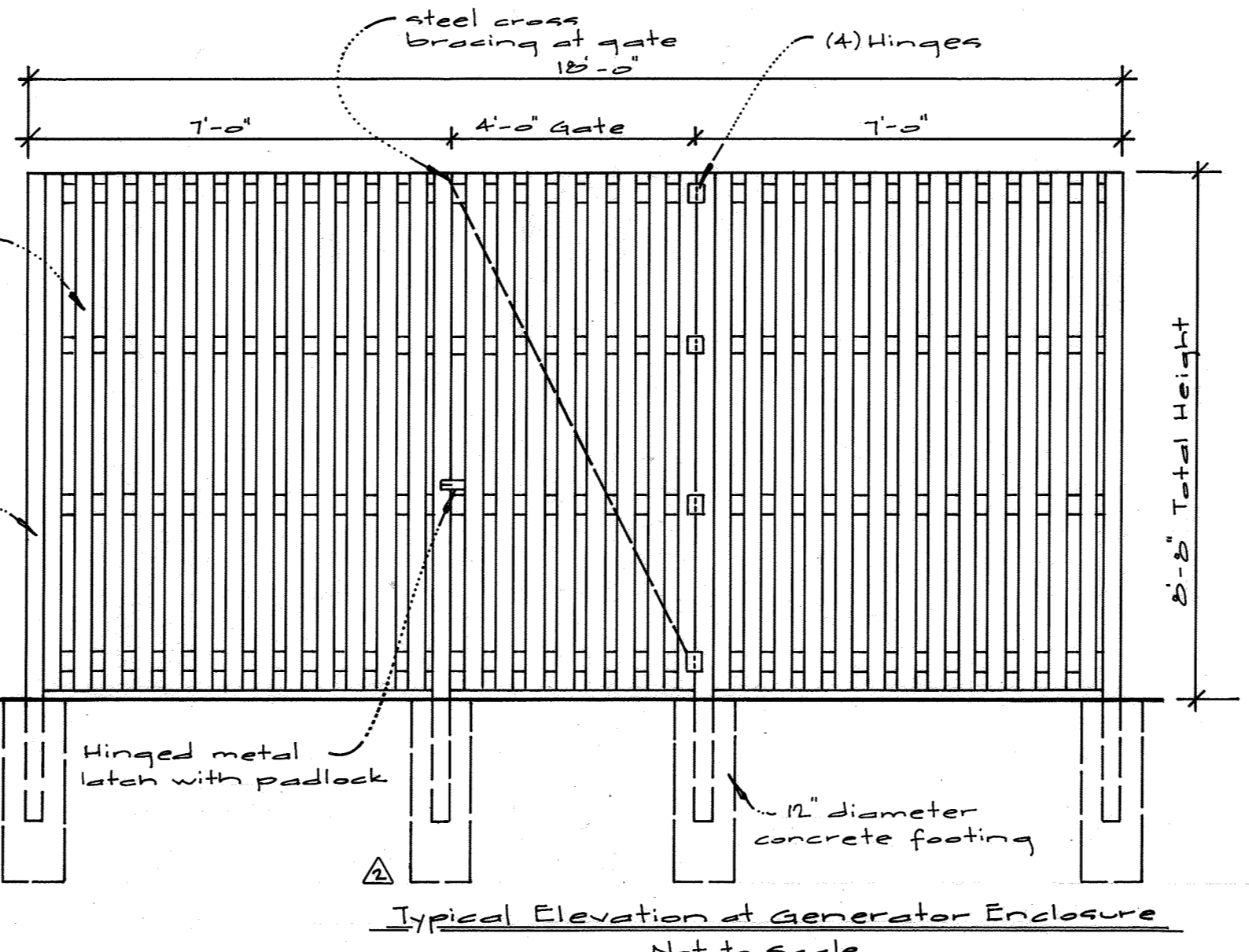


**DESIGN DATA & GENERAL NOTES**

- Concrete strength = 4000 psi @ 28 days. Density = 150 pcf.
- Cement - Portland Type I/II ASTM C 150-92.
- Aggregates & plasticizers - ASTM C 200-85 & C 494-92.
- Reinforcing per ASTM A 618, Grade 60, concrete. Min. 1-1/2" cover.
- Walls, base, & top slab - designed for HS-20 loading.
- Top slab is solid reinforced concrete.
- Minimum 5' of soil cover over top slab.

**MBI**  
Meyer Bros., Inc.  
6264 Rosa Road  
Elkridge, Maryland 21075  
Tel. 410.796.1434  
Fax. 410.796.1438  
www.meyerbros.com

**1500 GALLON TANK**  
Heavy Traffic Rated  
Stock Item (Approx. Wt. - 16,000 lbs.)  
Dwg. No. 1500TH No Scale Jan. 1, 2000



**APPROVED**  
PLANNING BOARD of HOWARD COUNTY  
DATE 04.09.2015

**APPROVED** FOR PUBLIC WATER & SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

**APPROVED** HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: David H. Lyell Date: 3/1/03  
Chief, Division of Land Development: Christy Harvath Date: 1/26/07  
Chief, Development Engineering Division: William J. ... Date: 1/17/07

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
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| NO.       | DATE | REVISION   | BY  | APPR. |
|-----------|------|--|-----|-------|
| 0-10-1201 |      | Rev. WHC for Bldg 3  |     |       |
| 1-22-2010 |      | Added Grease Interceptor Per plan changes                                | gt  | DEV   |
| 12-19-12  |      | Revise Outside Access details  | gt  | DEV   |
| 01-11-12  |      | Added storm drain for outside access details                             | dev | DEV   |
| 03/20/13  |      | Add generator enclosure details  | dev | DEV   |
| 11/26/13  |      | Rev. which to bldg 3 removed grease interceptor and removed drain detail | dev | DEV   |

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**UTILITY PROFILES**  
**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 10-22-05 (F-06-239)

SCALE: AS SHOWN  
ZONING: MXD-3  
DATE: SEPT., 2006  
TAX MAP - GRID: 41-21  
SHEET: 14 OF 21

G. L. W. FILE NO. 05015

HOWARD COUNTY, MARYLAND  
ELECTION DISTRICT No. 5

L:\CADD\DRAWINGS\02001\05015\SDP\05015SD14.dwg 12/17/2006 2:11:06 PM EST

STORMWATER MANAGEMENT SUMMARY FOR FACILITY AT ENTRANCE FROM OLD COLUMBIA ROAD  
 DRAINAGE AREA = 7.5 AC. OR 0.011 SQ. MILES

PRE-DEVELOPMENT  
 CURVE NUMBER = 71 TIME OF CONCENTRATION = 0.25 HOURS

POST-DEVELOPMENT  
 CURVE NUMBER = 96 TIME OF CONCENTRATION = 0.11 HOURS

WATER QUALITY VOLUME REQUIRED: 19,449 C.F. PROVIDED: 23,246 C.F.  
 RECHARGE VOLUME REQUIRED: 2,913 C.F. PROVIDED: 2,970 C.F.  
 CHANNEL PROTECTION VOLUME REQUIRED: 38,518 C.F. PROVIDED: 42,888 C.F.  
 1 YEAR DISCHARGE = 0.41 C.F.S.  
 100 YEAR DISCHARGE = 60.11 C.F.S.

1. THE FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED. AN OPEN SPACE LOT WILL BE CONVEYED TO A COMMERCIAL OWNER'S ASSOCIATION.
2. THE FACILITY WILL BE A P-2 WET POND WITH EXTENDED DETENTION.
3. THE FACILITY HAS AN 'A' POND CLASSIFICATION.

SEDIMENT BASIN (SWM FACILITY) INFORMATION

|  |                                |
|--|--------------------------------|
| PRE-DEVELOPMENT DRAINAGE AREA                    | 7.5 ACRES                      |
| POST-DEVELOPMENT DRAINAGE AREA                   | 7.5 ACRES                      |
| TOTAL STORAGE REQUIRED (NET VOLUME @ 1 YR. TSSM) | 64,161 C.F.                    |
| TOTAL STORAGE PROVIDED                           | 64,161 C.F.                    |
| RISER DIMENSIONS                                 | 15' X 4'                       |
| BARREL SIZE                                      | 30" RCCP                       |
| RISER CREST ELEVATION                            | 314.30                         |
| EMBANKMENT ELEVATION (TOP OF DAM)                | 318.00                         |
| OUTLET ELEVATION (LIMIT OF NET VOLUME)           | 311.20                         |
| CLEANOUT ELEVATION                               | 308.60                         |
| BOTTOM ELEVATION                                 | 306.00                         |
| BOTTOM DIMENSIONS                                | VARIABLES                      |
| PRE-DEVELOPMENT 1 YEAR DISCHARGE                 | 3.75 C.F.S.                    |
| POST-DEVELOPMENT 1 YEAR DISCHARGE (UNMANAGED)    | 20.49 C.F.S.                   |
| POST-DEVELOPMENT 1 YEAR DISCHARGE (MANAGED)      | 0.40 C.F.S. @ 314.16           |
| NET VOLUME REQUIRED                              | 13,500 CF                      |
| NET VOLUME PROVIDED                              | 23,856 CF @ 311.20             |
| DRY VOLUME REQUIRED                              | 40,911 CF                      |
| DRY VOLUME PROVIDED                              | 40,911 CF @ 314.16             |
| DESIGN \ DESIGN                                  | 6.65 C.F.S./2.64 C.F.S. = 2.52 |

PRE-DEVELOPMENT

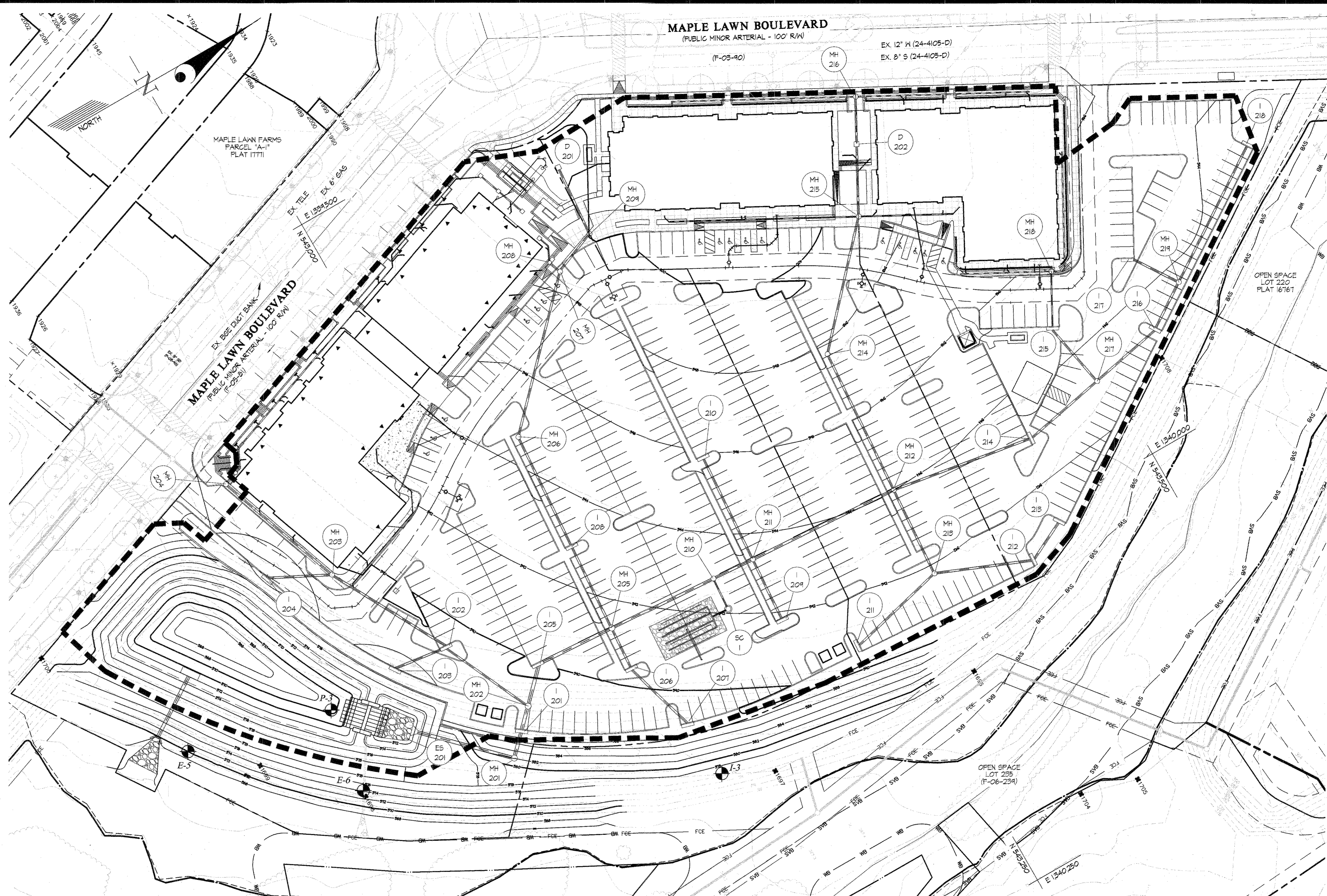
| SEGMENT   | DESCRIPTION   | TIME     |
|-----------|---|----------|
| (A) - (B) | 100' OVERLAND FLOW @ 3.0% (GRASS, n=0.24)             | 0.22 HR. |
| (B) - (C) | 440' SHALLOW CONC. FLOW (UNPAVED) @ 8.2% (v=4.6/SEC.) | 0.03 HR. |
|           | TOTAL   | 0.25 HR. |

POST DEVELOPMENT

| SEGMENT   | DESCRIPTION                | TIME     |
|-----------|----------------------------|----------|
| (A) - (B) | 5 MINUTES TO FIRST INLET   | 0.08 HR. |
| (B) - (C) | 670' PIPE FLOW @ 1.0'/SEC. | 0.03 HR. |
| (C) - (D) |                            |          |
|           | TOTAL                      | 0.11 HR. |

|        | POND SUMMARY |                      |                       |
|--------|--------------|----------------------|-----------------------|
|        | BEFORE       | UNMANAGED            | MANAGED               |
|        |              | FINAL SWM @ POND     |                       |
| 1 YR   | 3.75 C.F.S.  | 21.06 C.F.S.         | 0.41 C.F.S. @ 314.21  |
| 2 YR   | 6.65 C.F.S.  | 26.38 C.F.S.         | 3.91 C.F.S. @ 314.41  |
| 10 YR  | 11.91 C.F.S. | 49.06 C.F.S.         | 33.92 C.F.S. @ 314.90 |
| 100 YR |              | 63.16 C.F.S.         | 60.11 C.F.S. @ 315.19 |
|        |              | TEMPORARY SWM @ POND |                       |
| 1 YR   | 3.75 C.F.S.  | 21.06 C.F.S.         | 0.40 C.F.S. @ 314.26  |
| 2 YR   | 6.65 C.F.S.  | 26.38 C.F.S.         | 3.91 C.F.S. @ 314.41  |
| 10 YR  | 11.91 C.F.S. | 49.06 C.F.S.         | 33.93 C.F.S. @ 314.90 |

NOTE: SEE SHEET #8 FOR SEDIMENT BASIN GRADING.



APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Nathan Joffe* 10-31-16  
 Chief, Division of Land Development *Karl Schaefer* 10-31-16  
 Chief, Development Engineering Division *Phil Edelman* 10-13-16

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS  
 WERE PREPARED OR APPROVED BY ME  
 AND THAT I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE  
 LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO.: 12975  
 EXPIRATION DATE: MAY 26, 2018  
 7/14/16 *Old*

PURPOSE NOTE:  
 THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES  
 TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4.  
 THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

THE PURPOSE OF THIS PLAN IS TO SHOW STORMWATER DRAINAGE AREAS ONLY !!

**GLW** GUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-889-2524 FAX: 301-421-4186

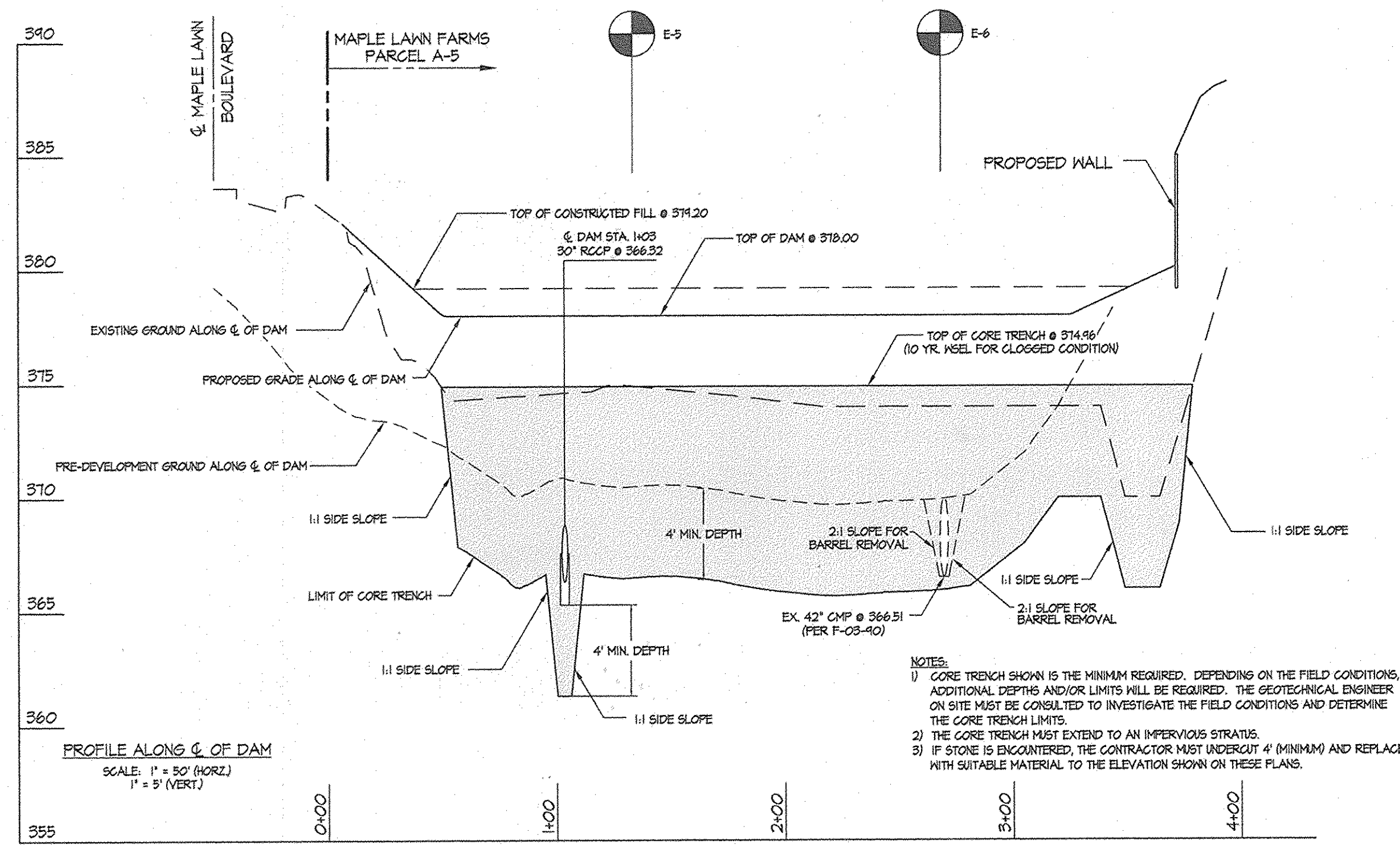
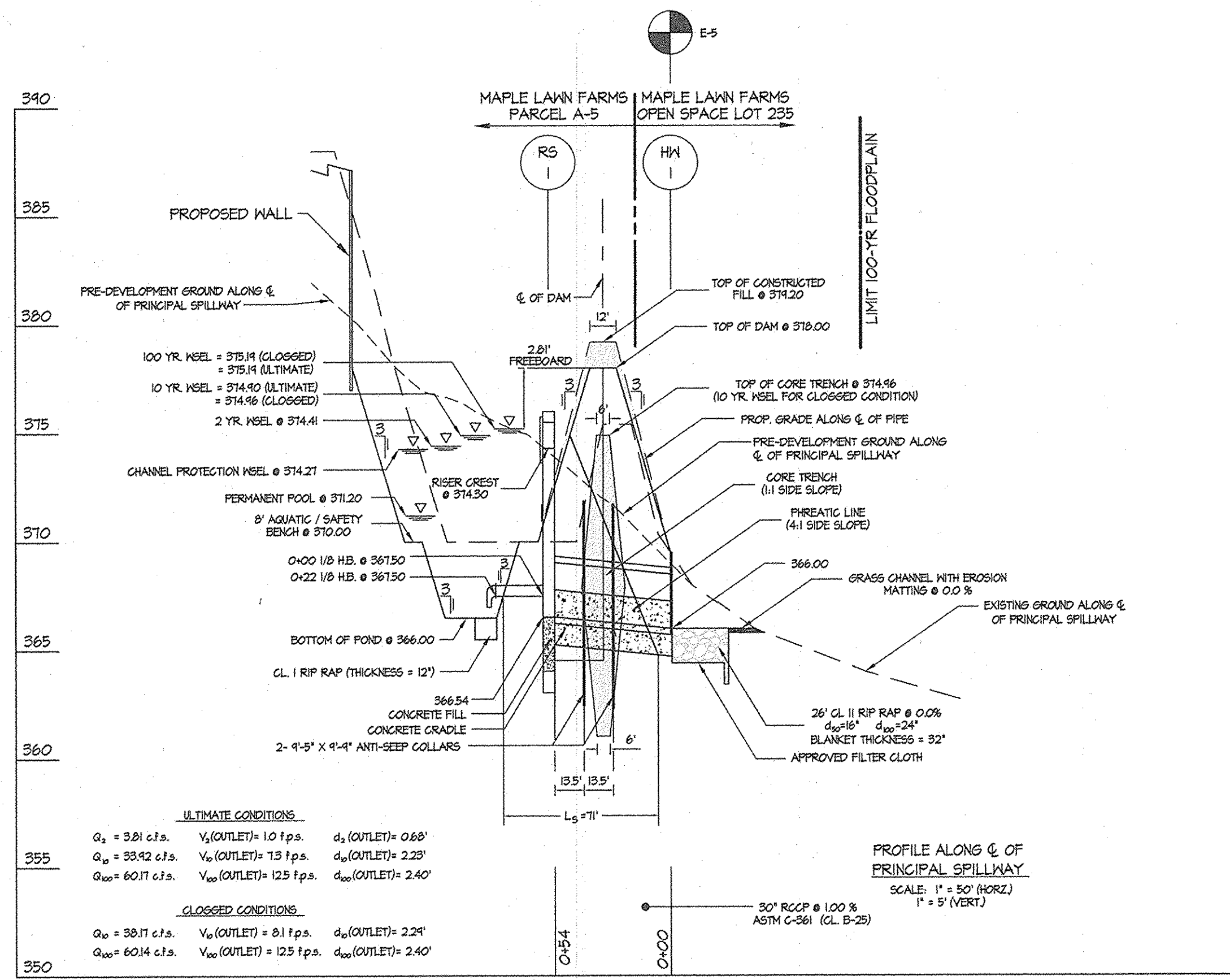
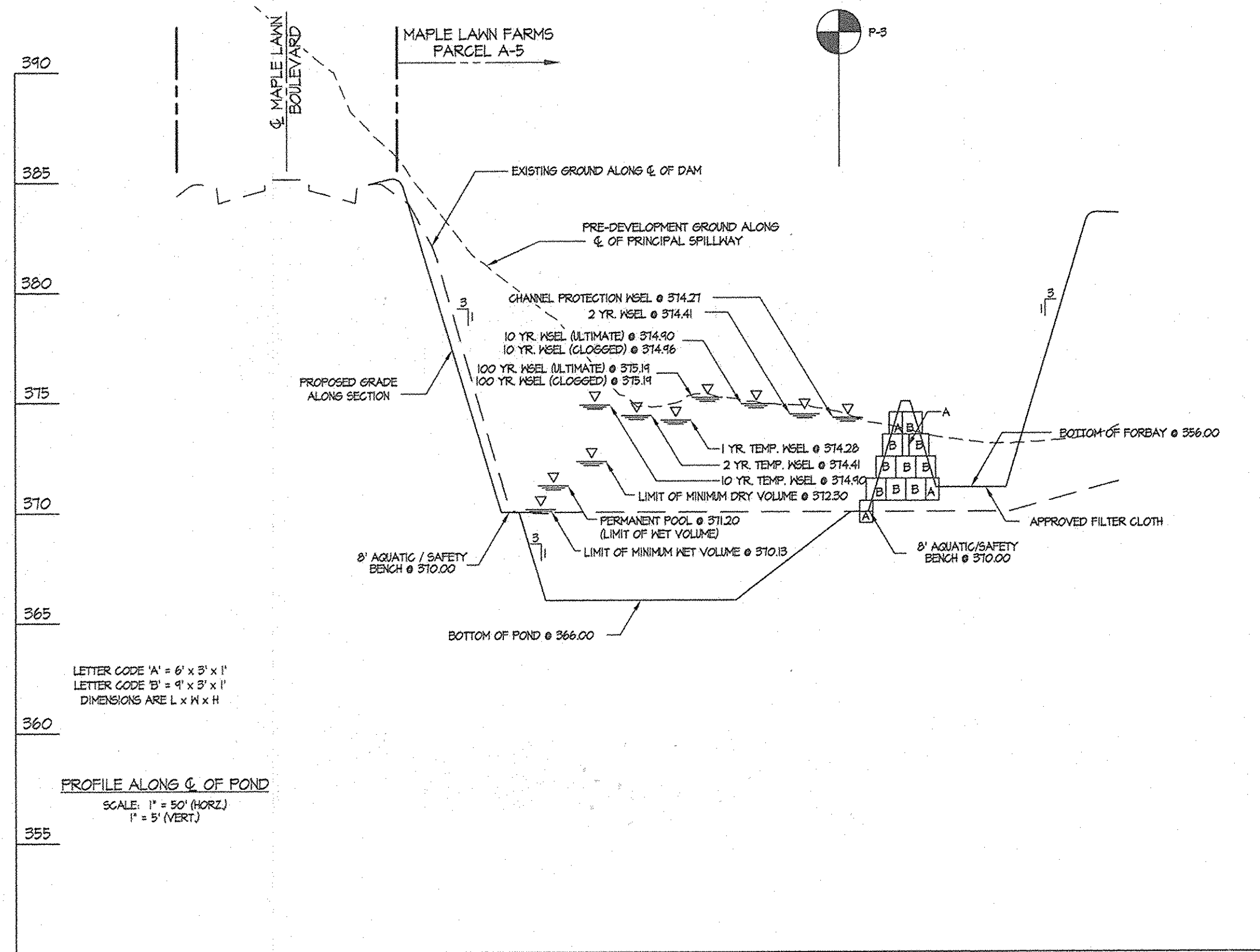
| DATE     | REVISION  | BY  | APPR. |
|----------|---|-----|-------|
| 07-11-16 | REPLACEMENT SHEET - REV. BUILD. FOOTPRINTS, SHOWED PAVILION AND STORAGE BUILDING. | ST  | DEV.  |
| 11-28-07 | REV. CURB IN PARKING LOT, REMOVED GREASE INTERCEPTOR & ADDED PURPOSE NOTE.        | MSJ | DEV.  |

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

REVISED - STORMWATER MANAGEMENT DRAINAGE AREA MAP  
**MAPLE LAWN FARMS**  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6 & A-7  
 PLAT No. 18794 & 18795 (F-06-239)  
 HOWARD COUNTY, MARYLAND

| SCALE      | ZONING         | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=40'     | MXD-3          | 05015             |
| DATE       | TAX MAP - GRID | SHEET             |
| JULY, 2016 | 41-21          | 15 OF 21          |

L:\CAD\DRAWINGS\2001\5015\SDP\05015\SDP\05015\SDP\05015.dwg 10/31/2005 11:20:54 AM EST



DEVELOPER'S/BUILDER'S CERTIFICATE  
 "I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer/Builder: *[Signature]*  
Date: 11-2-06

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Signature: *[Signature]*  
Date: 1/16/07  
Howard Soil Conservation District

ENGINEER'S CERTIFICATE  
 "I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Engineer's Signature: *[Signature]*  
Date: 11/2/06

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Signature: *[Signature]*  
Date: 1/16/07  
Natural Resources Conservation Service

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 10/26/06

Approved For Public Water & Sewerage...  
 Approved: Howard County Planning & Zoning  
 Director: *[Signature]* Date: 2/1/07  
 Chief, Division of Land Development: *[Signature]* Date: 1/26/07  
 Chief, Development Engineering Division: *[Signature]* Date: 1/17/07

GLW GUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
 BURTONVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS  
**MAPLE LAWN FARMS**  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 12724-E (F-06-239)

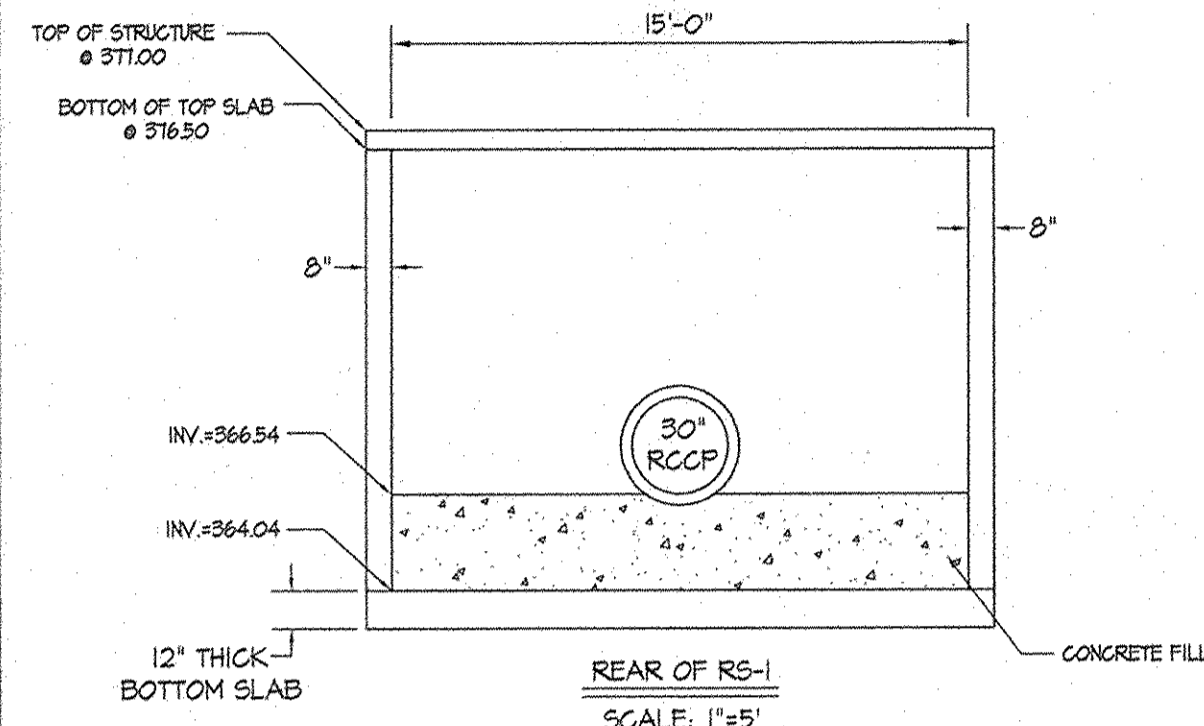
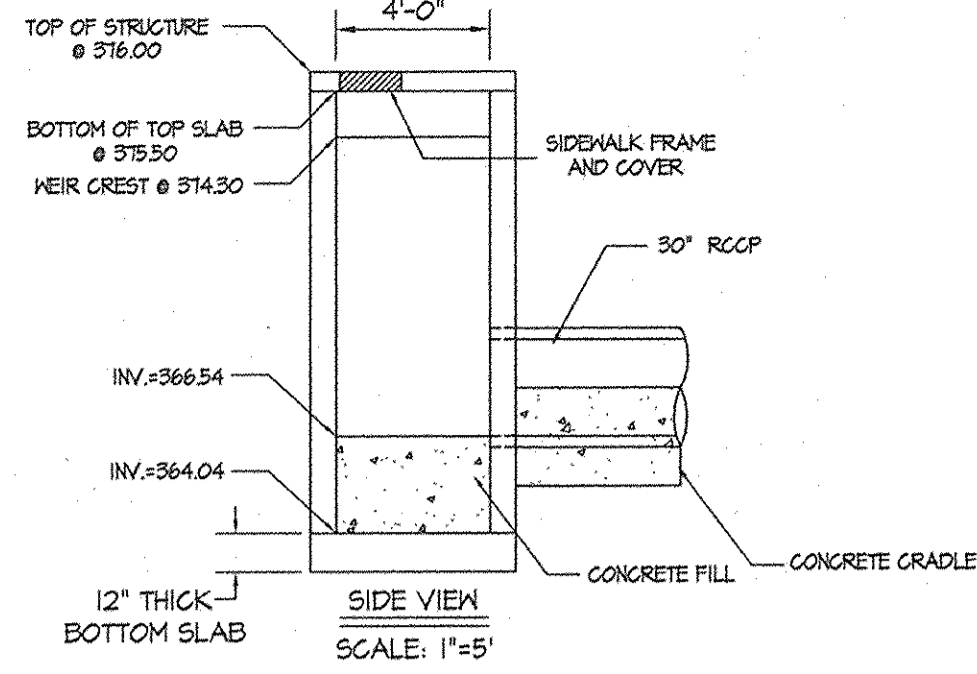
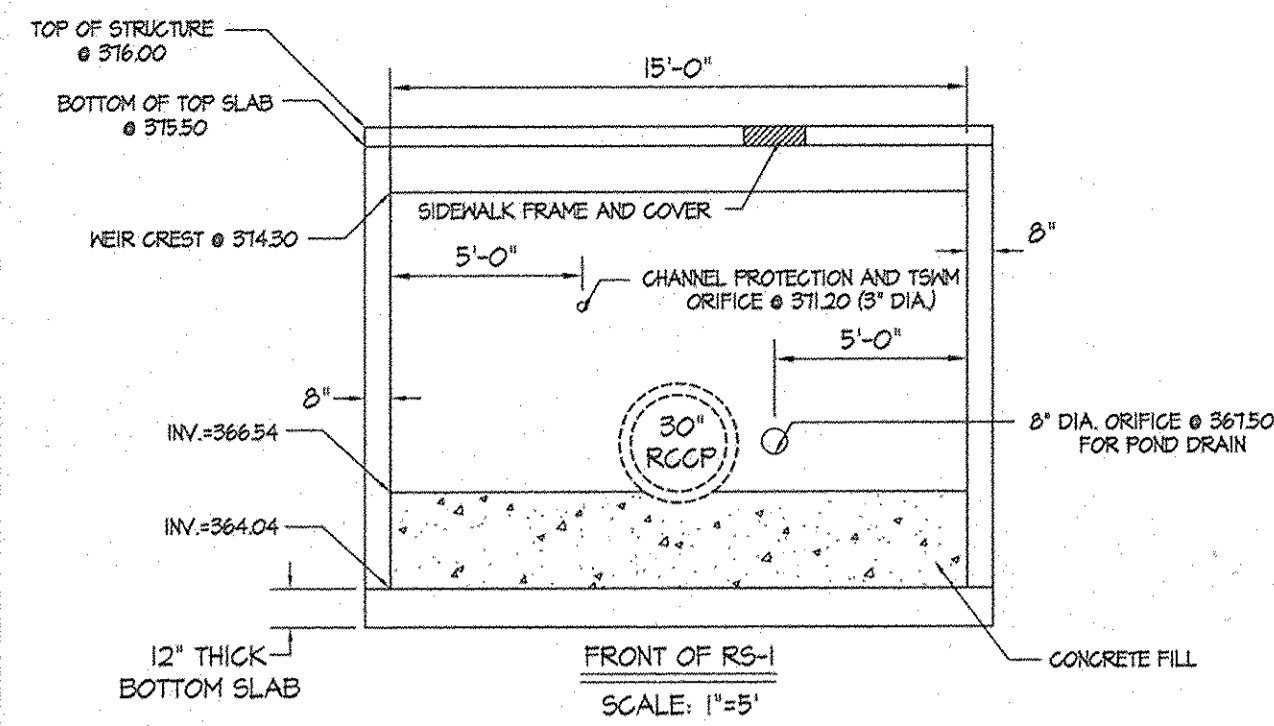
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| SCALE       | ZONING         | G. L. W. FILE No. |
| AS SHOWN    | MXD-3          | 05015             |
| DATE        | TAX MAP - GRID | SHEET             |
| SEPT., 2006 | 41-21          | 16 OF 21          |

|          |          |          |      |          |    |       |
|----------|----------|----------|------|----------|----|-------|
| DES. DEV | DRN. AWL | CHK. DEV | DATE | REVISION | BY | APPR. |
|          |          |          |      |          |    |       |

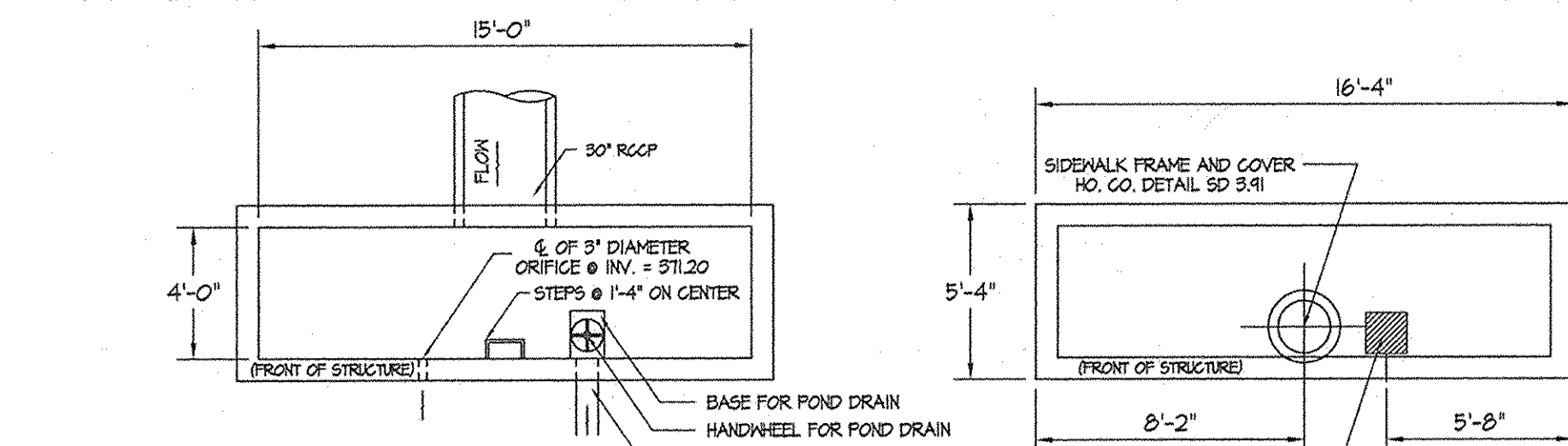
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

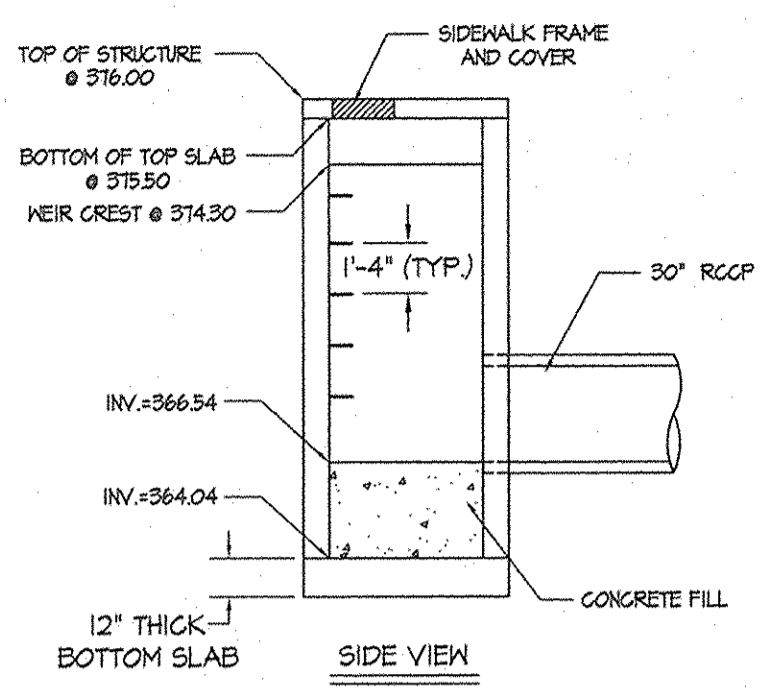




- NOTES:  
 1. WEIR OPENINGS WILL BE PROVIDED ON THE FRONT AND BOTH SIDES OF RS-1  
 2. CONTRACTOR MUST PROVIDE RUBBER GASKETS AT THE PIPE JOINTS ALONG 30\"/>

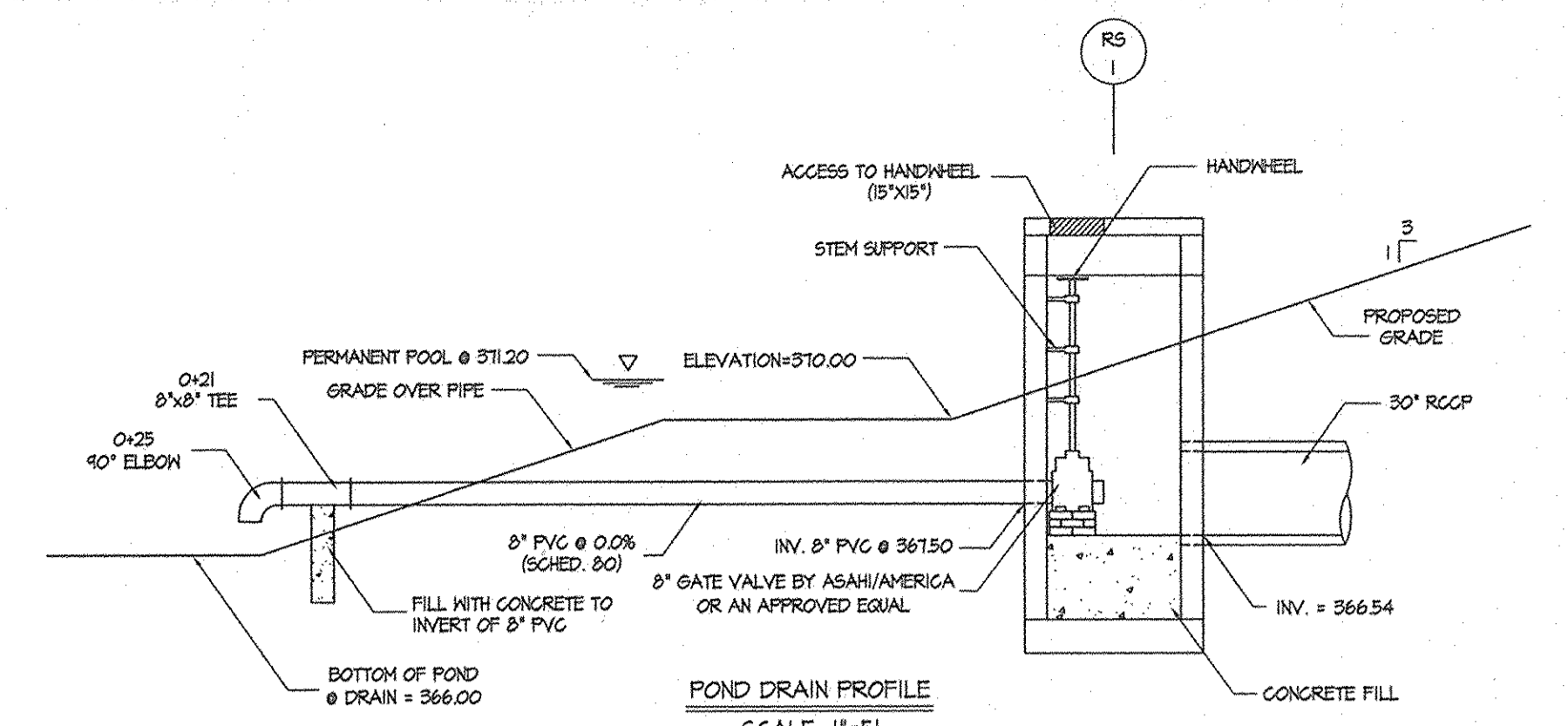


PLAN VIEWS



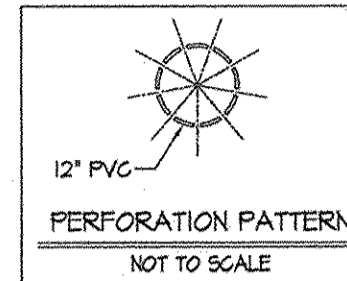
DETAILS FOR LOCATION OF STEPS AND MANHOLE FRAME AND COVER

SCALE: 1"=5'



POND DRAIN PROFILE

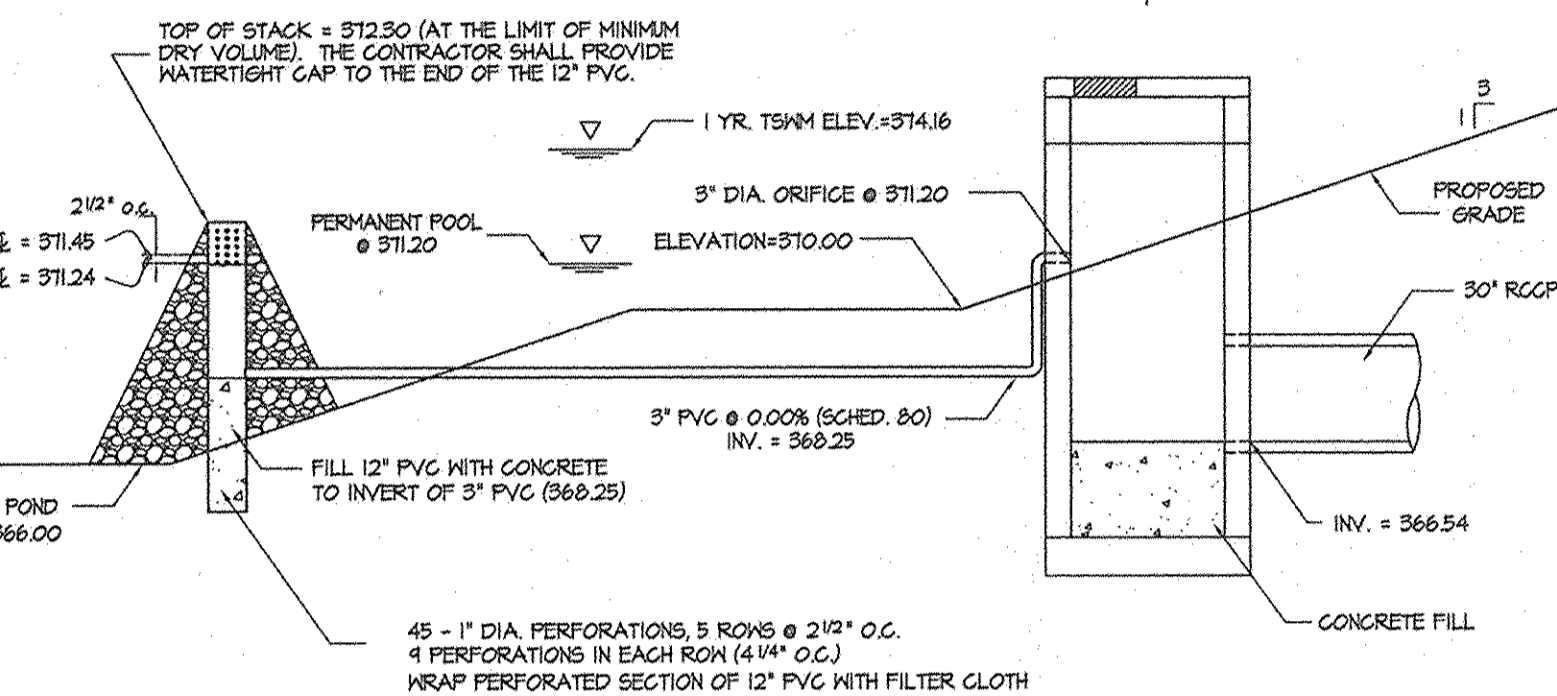
SCALE: 1"=5'



PERFORATION PATTERN

SEE SHEET #1 FOR DRAIN DOWN DEVICE DETAIL (MDE G-10-50)

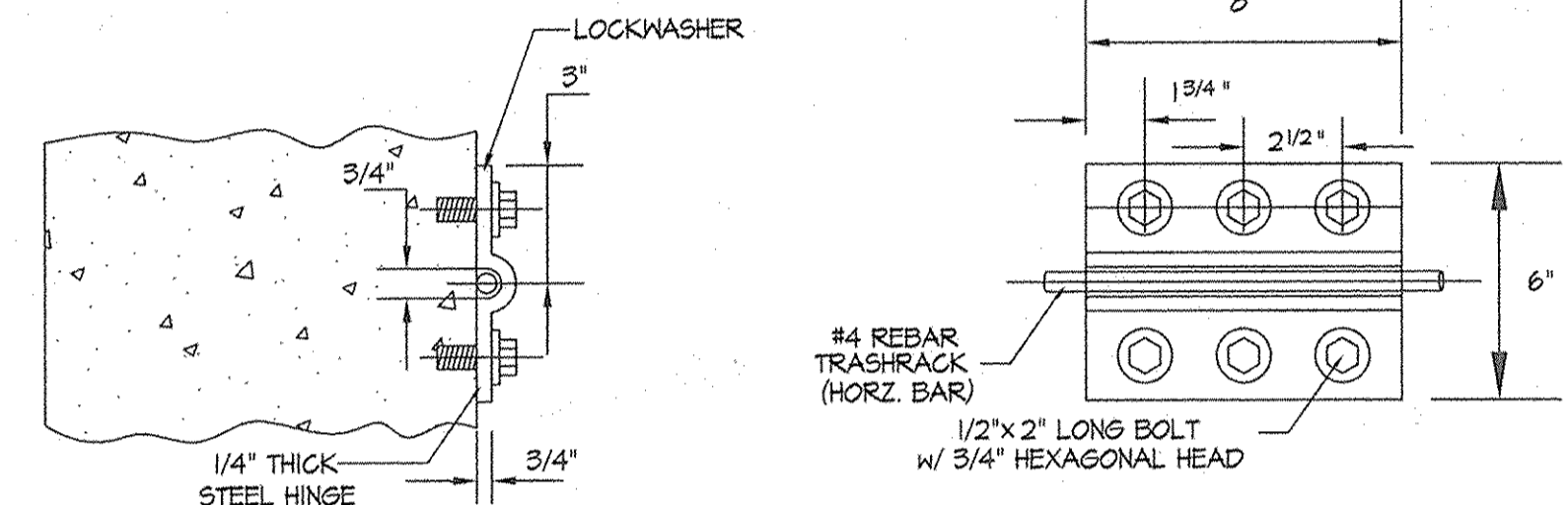
BEGIN PERFORATED SECTION OF 12\"/>



DEWATERING DEVICE DETAIL

SCALE: 1"=5'

NOTE: THE DEWATERING DEVICE IS TO BE USED DURING CONSTRUCTION ONLY. AFTER ALL OF THE CONTRIBUTING AREAS HAVE BEEN STABILIZED, AND THE BASIN HAS BEEN CONVERTED TO A POND, THE DEWATERING DEVICE MAY BE REMOVED.



HINGE DETAIL

NOT TO SCALE

NOTE: TRASH RACK MOUNTINGS TO BE GALVANIZED AFTER MANUFACTURING

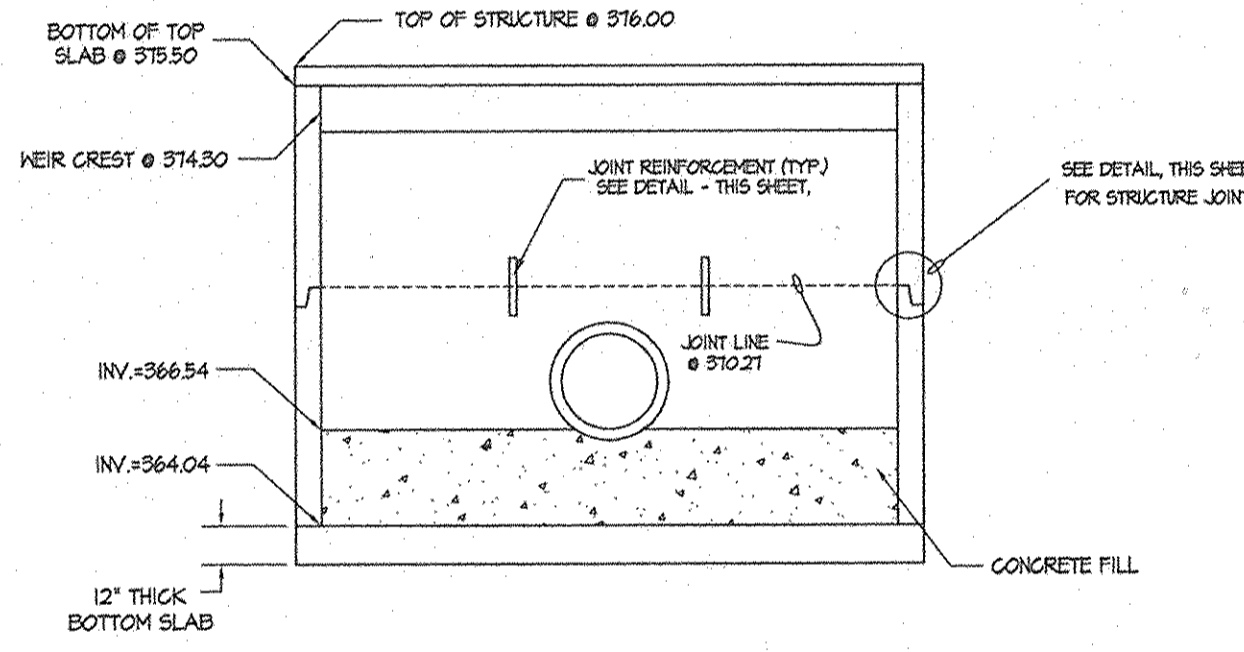
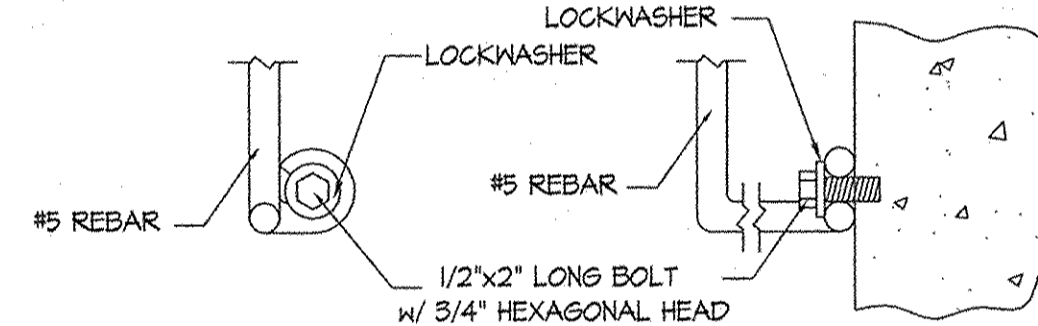
SIDE VIEW

FRONT VIEW

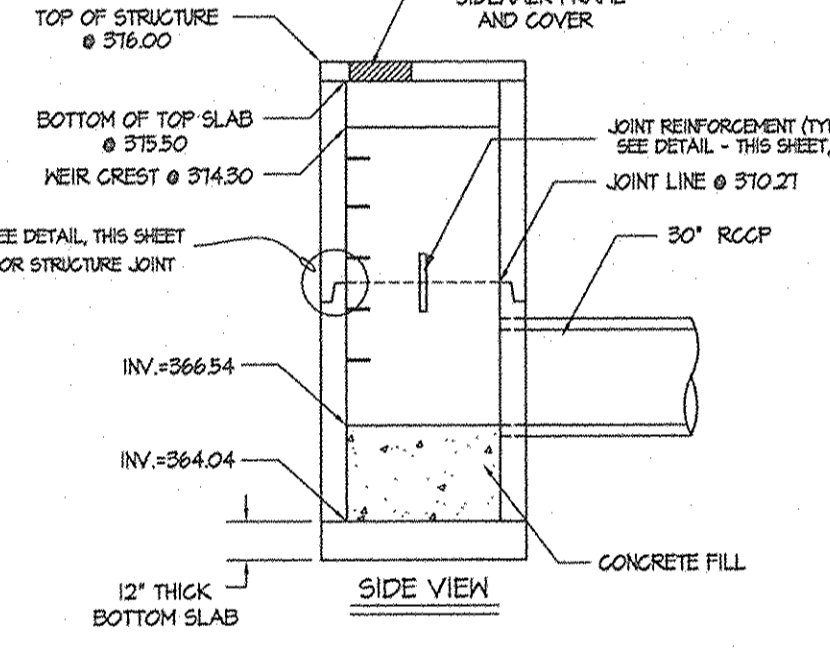
DETAIL FOR SECURING TRASH RACK

NOT TO SCALE

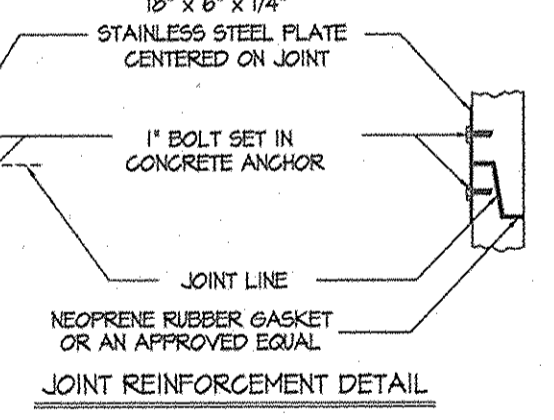
NOTE: TRASH RACK MOUNTINGS TO BE GALVANIZED AFTER MANUFACTURING



- NOTES:  
 1. CONTRACTOR TO WRAP RISER STRUCTURE WITH FILTER CLOTH TO ELEVATION 571.00  
 2. JOINT REINFORCEMENT (STRAPPING) SHALL BE LOCATED ON THE INSIDE OF THE STRUCTURE.



SIDE VIEW

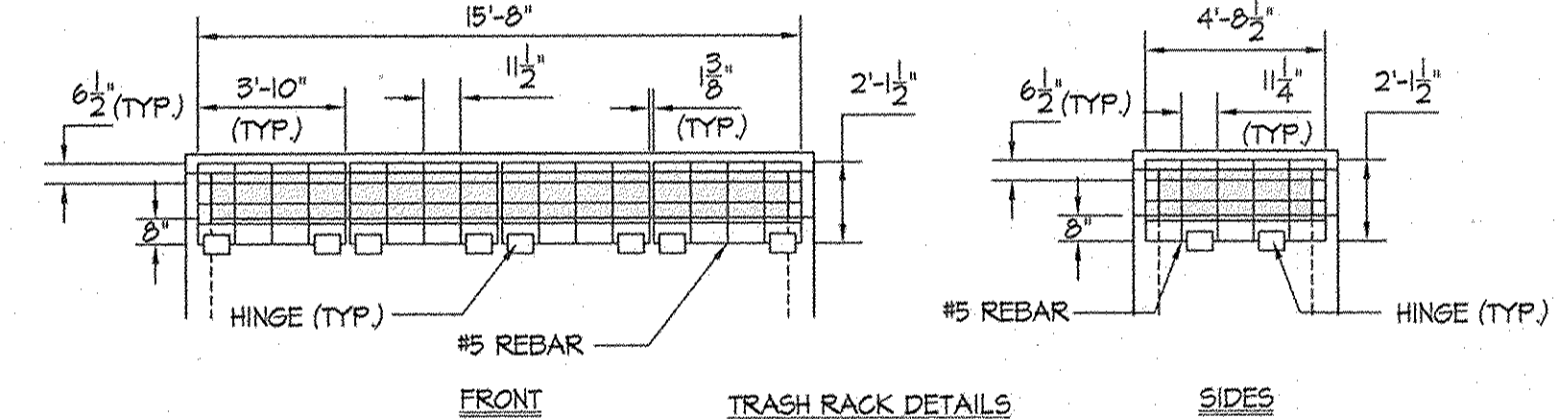


JOINT REINFORCEMENT (STRAPPING) DETAIL

NOT TO SCALE

JOINT REINFORCEMENT (STRAPPING) DETAIL

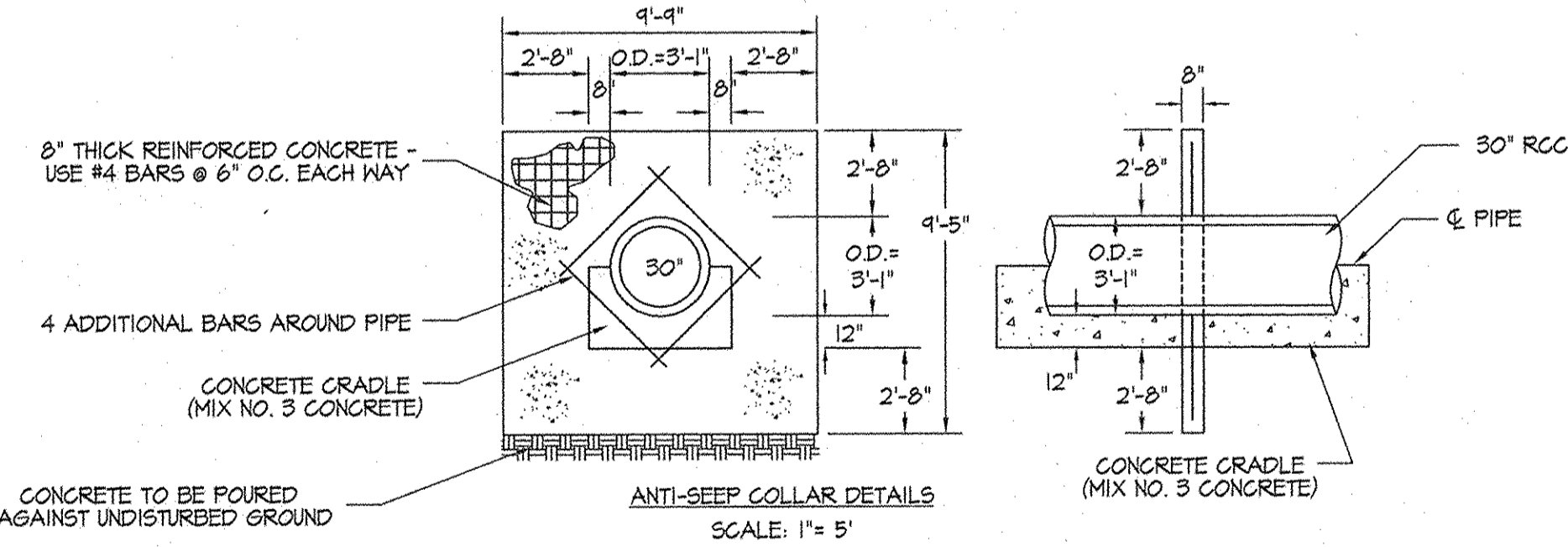
SCALE: 1"=5'



TRASH RACK DETAILS

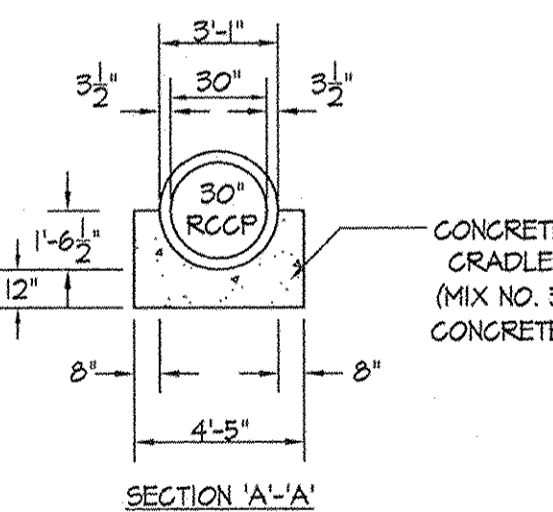
SCALE: 1"=5'

- NOTES:  
 1. TRASH RACK MOUNTINGS TO BE GALVANIZED AFTER FABRICATION  
 2. REBAR MUST BE GALVANIZED AND PAINTED BATTLESHIP GRAY.



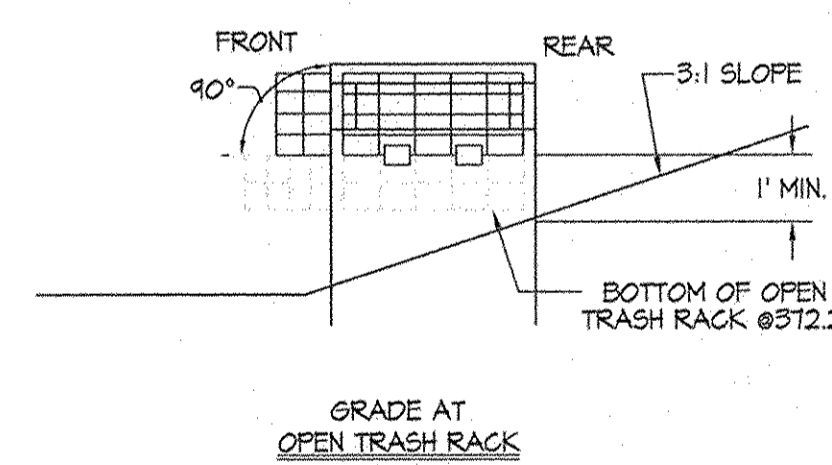
ANTI-SLEEP COLLAR DETAILS

SCALE: 1"=5'



CONCRETE CRADLE DETAIL

SCALE: 1"=5'



GRADE AT OPEN TRASH RACK

APPROVED  
 PLANNING BOARD  
 of HOWARD COUNTY

DATE: 10/26/06

Approved For Public Water & Sewerage System  
 Approved: *[Signature]* 2/1/07  
 Approved: *[Signature]* 1/26/07  
 Approved: *[Signature]* 1/17/07

DEVELOPER'S/BUILDER'S CERTIFICATE  
 "I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer/Builder: *[Signature]* Date: 11-2-06

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Signature of Engineer: *[Signature]* Date: 11/2/06



These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.  
 Signature: *[Signature]* Date: 1/4/07  
 Signature: *[Signature]* Date: 1/4/07

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.  
 Signature: *[Signature]* Date: 1/4/07

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| DES. DEV | DRN. AWL | CHK. DEV | DATE | REVISION | BY | APP'R. |
|----------|----------|----------|------|----------|----|--------|
|          |          |          |      |          |    |        |

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS  
**MAPLE LAWN FARMS**  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 12-2-2-1 (F-06-239)  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

| SCALE       | ZONING         | G. L. W. FILE No. |
|-------------|----------------|-------------------|
| AS SHOWN    | MXD-3          | 05015             |
| DATE        | TAX MAP - GRID | SHEET             |
| SEPT., 2006 | 41-21          | 17 OF 21          |

**Operation & Maintenance Schedule  
(For privately owned & maintained  
Retention Pond)**

- Routine Maintenance (by H.O.A.)**
- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
  - Top and side slopes of the embankment shall be mowed a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.
  - Debris and litter shall be removed during regular mowing operations as needed.
  - Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.

- Non-Routine Maintenance (by County)**
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
  - Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond, is half-full of sediment or when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.

**CONSTRUCTION SPECIFICATIONS**

These specifications are appropriate to all ponds facility number 1 & 3. All references to ASTM and AASHTO specifications apply to the most recent version.

**Site Preparation**

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 20 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

**Earth Fill**

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, slumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer.

Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

**Placement -** Areas in which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8-inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

**Compaction -** The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out.

When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within ±2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

**Embankment Core -** The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10-year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

**Structure Backfill**

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 313 as modified. The mixture shall have a 100-200 psi; 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level of the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

**Stabilization**

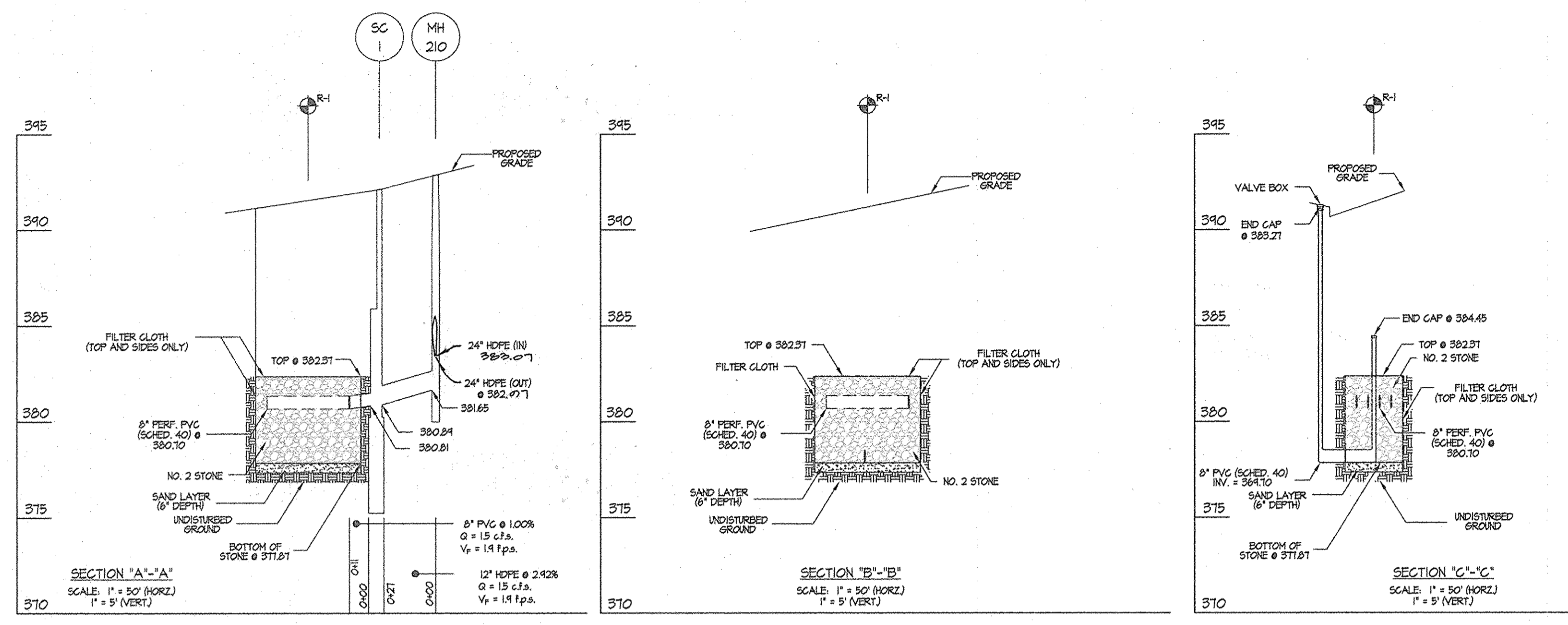
All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching.

**Erosion and Sediment Control**

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

**OPERATION AND MAINTENANCE**

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.



**Precast Concrete Stormceptor® Order Request Form**

\* TO BE FILLED OUT AND RETURN TO US

| CONTRACTOR INFORMATION |                          |
|------------------------|--------------------------|
| Name                   | CS&R INC.                |
| Address                | 430 WEST FREDERICK ROAD  |
| City                   | THURMONT                 |
| State                  | MARYLAND                 |
| Zip Code               | 21783                    |
| Contact                | MIKE HANSEN/ENGINEER     |
| Phone                  | 410-771-4411             |
| Fax                    |                          |
| OWNER INFORMATION      |                          |
| Name                   | SPRINGDALE & ASSOC. INC. |
| Address                |                          |
| City                   |                          |
| State                  |                          |
| Zip Code               |                          |
| Contact                | MIKE HANSEN/ENGINEER     |
| Phone                  | 410-771-4411             |
| Fax                    |                          |

APPROXIMATE DRAINAGE AREA FOR THIS UNIT

| Stormceptor® Model | Insert Size |
|--------------------|-------------|
| 900                | 18"         |
| 1200               | 24"         |
| 1800               | 36"         |
| 2400               | 48"         |
|                    | CUSTOM      |

PLEASE FILL OUT COMPLETELY AND FAX TO: CSR Hydro Conduit  
ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900  
FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG, PHONE (703)971-1900

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer/Builder: *[Signature]* Date: 11-2-06

**ENGINEER'S CERTIFICATE**

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Engineer's Signature: *[Signature]* Date: 11/2/06

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation District: *[Signature]* Date: 1/16/07

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Natural Resources Conservation Service: *[Signature]* Date: 1/16/07

Approved For Public Water & Sewerage Construction, Howard County Health Department.

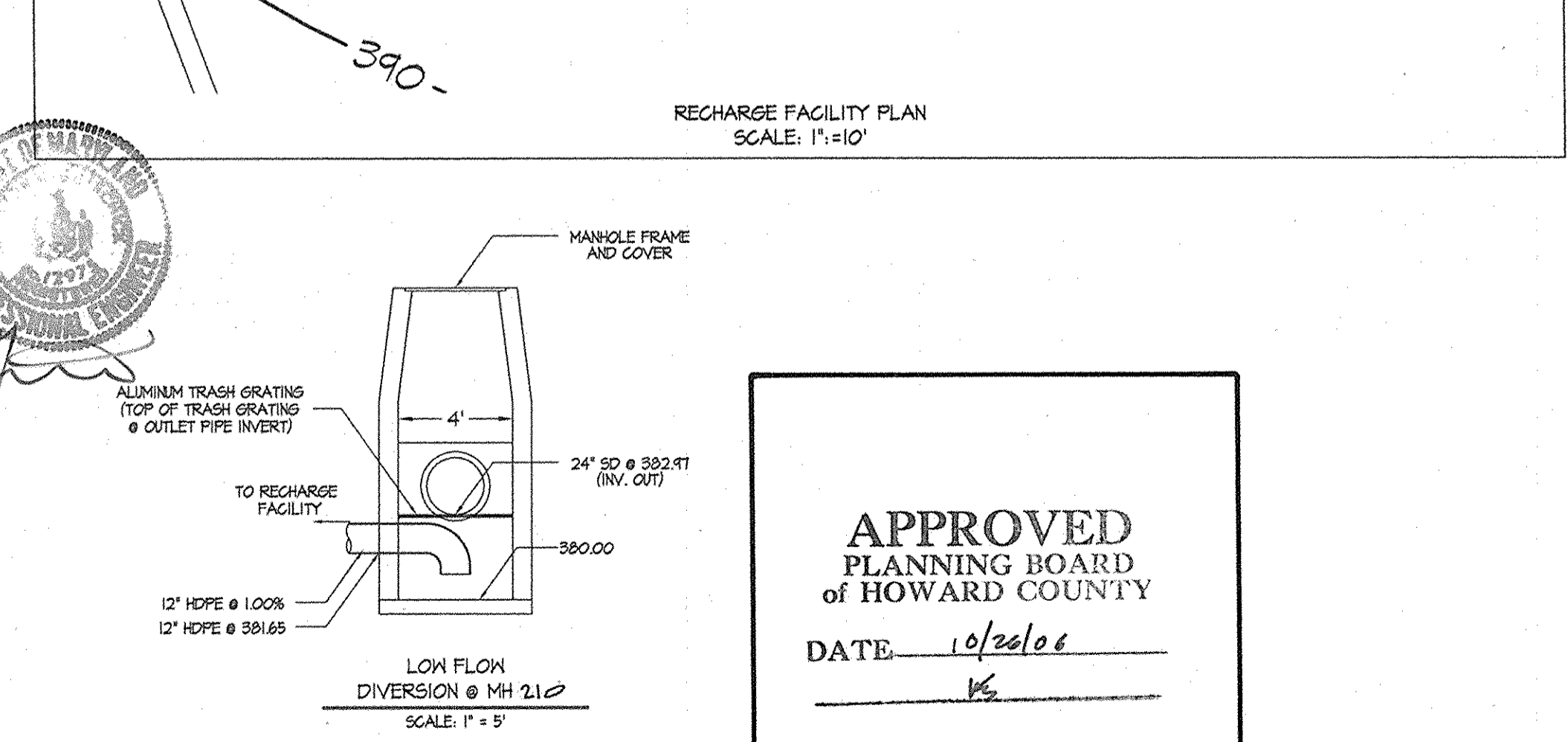
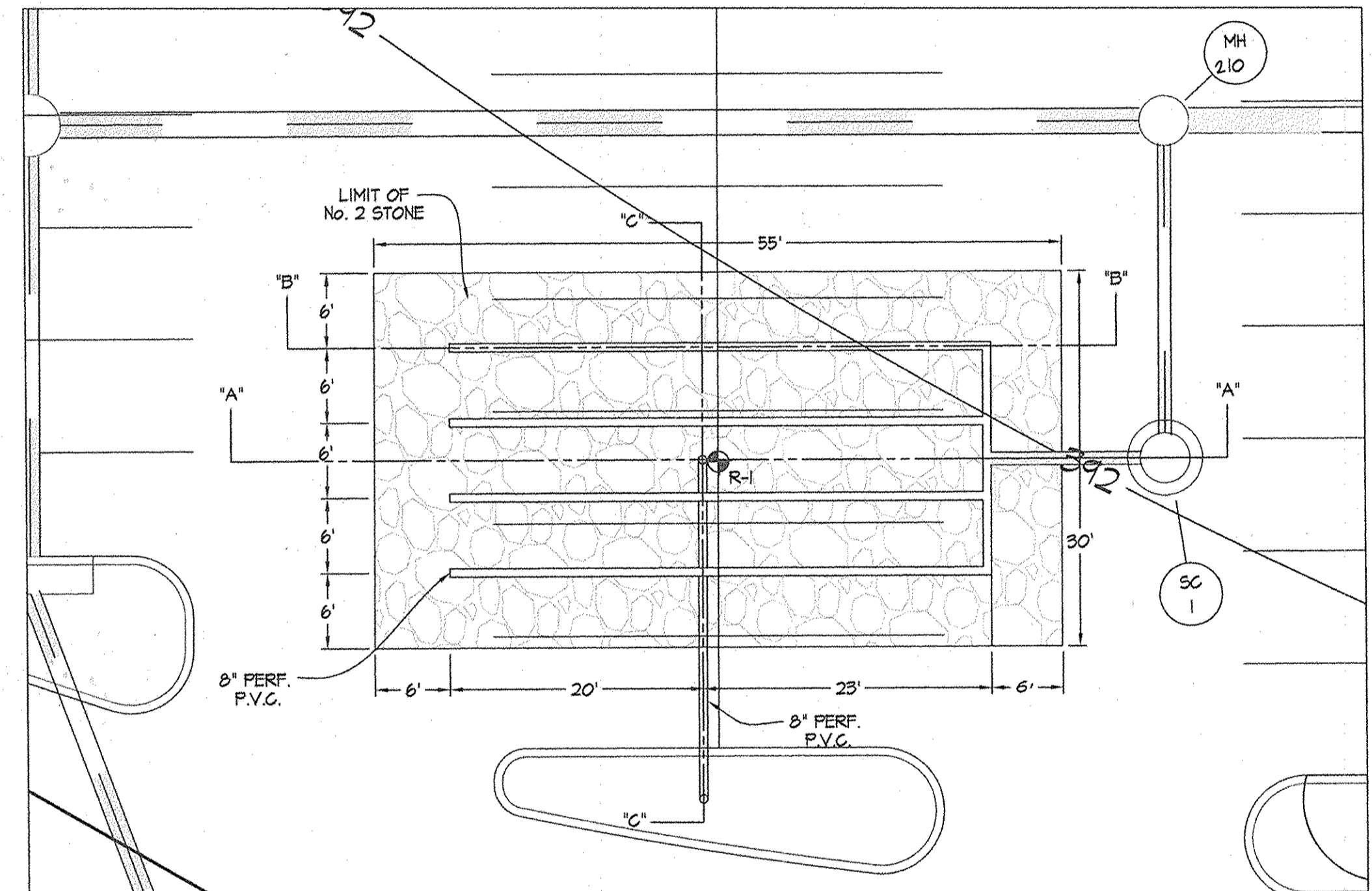
Health Officer: *[Signature]* Date: 1/16/07

Approved: Howard County Department of Planning & Zoning

Director: *[Signature]* Date: 1/16/07

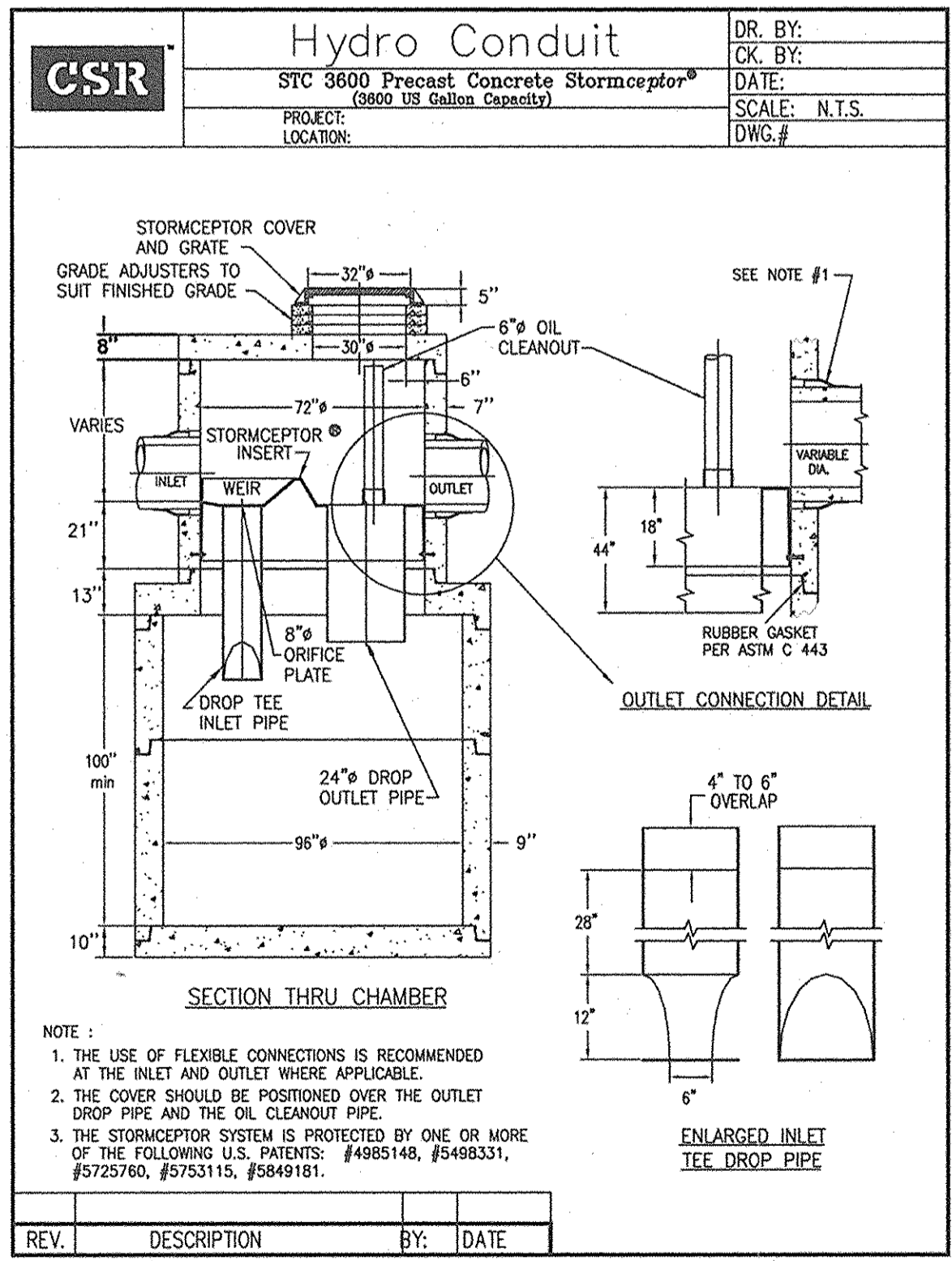
Chief, Division of Land Development: *[Signature]* Date: 1/16/07

Chief, Development Engineering Division: *[Signature]* Date: 1/17/07



**APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY**

DATE: 10/26/06  
*[Signature]*



**Materials - (Aluminum Pipe) -** This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211 with watertight coupling bands or flanges. Aluminum Pipe, when used with flowable fill or when soil and/or water conditions warrant for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The pH of the surrounding soils shall be between 4 and 5.

**2. Coupling bands, anti-seep collars, and sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thickness.**

**3. Connections -** All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.

**All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be re-rolled an adequate number of corrugations to accommodate the bandwidth. The following type connections are acceptable for pipes less than 24 inches in diameter: flanges on both ends of the pipe with a circular 3/8 inch closed call neoprene gasket, prepunched to the flange bolt circle, sandwiched between adjacent flanges; a 12-inch wide standard lap type band with 12-inch wide by 3/8-inch thick closed call circular neoprene gasket; and a 12-inch wide hugger type band with o-ring gaskets having a minimum diameter of 1/2 inch greater than the corrugation depth. Pipes 24 inches in diameter and larger shall be connected by a 24 inch long annular corrugated band using a minimum of 4 (four) rods and lugs, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed call circular neoprene gasket will be installed with 12 inches on the end of each pipe. Flanged joints with 3/8 inch closed call gaskets the full width of the flange is also acceptable.**

**Horizontally corrugated pipe shall have either continuously welded seams or have lock seams with internal caulking or a neoprene band.**

**Bedding -** The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

**5. Backfilling shall conform to "Structure Backfill".**

**6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.**

**Plastic Pipe -** The following criteria shall apply for plastic pipe:

**1. Materials -** PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch shall meet the requirements of AASHTO M252 Type S, and 12" through 24" inch shall meet the requirements of AASHTO M254 Type S.

**2. Joints and connections to anti-seep collars shall be completely watertight.**

**3. Bedding -** The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

**4. Backfilling shall conform to "Structure Backfill".**

**5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.**

**Concrete**

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, Mix No. 3.

**Rock Riprap**

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311.

**Geotextile**

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09, Class C.

**Care of Water during Construction**

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level of the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

**Stabilization**

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching.

**Erosion and Sediment Control**

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

**OPERATION AND MAINTENANCE**

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.

|   |                         |          |          |      |          |    |       |  |   |   |
|---|-------------------------|----------|----------|------|----------|----|-------|--|---|---|
| <b>GLWGUTSCHICK LITTLE &amp; WEBER, P.A.</b><br>CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS<br>3909 NATIONAL DRIVE, SUITE 250 - BURTONSVILLE OFFICE PARK<br>BURTONSVILLE, MARYLAND 20866<br>TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186 | DES. DEV                | DRN. AWL | CHK. DEV | DATE | REVISION | BY | APPR. | PREPARED FOR:<br>G&R MAPLE LAWN INC.<br>1829 REISTERSTOWN ROAD<br>SUITE 300 WOODHOLME CENTER<br>BALTIMORE, MD 21208<br>ATTN: CHARLIE O'DONOVAN<br>410-484-8400 | <b>STORMWATER MANAGEMENT PROFILES, NOTES, AND DETAILS</b><br><br><b>MAPLE LAWN FARMS</b><br><b>MIDTOWN DISTRICT - AREA 2</b><br><b>MEDICAL &amp; GENERAL OFFICE BUILDINGS</b><br>PARCELS A-5, A-6, & A-7<br>PLAT NO. 12702-S (F-06-239) | SCALE: 1"=20'<br>ZONING: MXD-3<br>SHEET: 18 OF 21 |
|   | ELECTION DISTRICT NO. 5 |          |          |      |          |    |       | HOWARD COUNTY, MARYLAND  |   |   |

**LEGEND**

- SHRUBS
- EVERGREEN TREES
- ORNAMENTAL FLOWERING TREE
- CANOPY SHADE TREE
- F-04-02 STREET TREE
- PARKING LOT LIGHT FIXTURE

Note: Trees in new Generator location to be relocated on site.

**THIS PLAN IS FOR PLANTING PURPOSES ONLY!!**

**DEVELOPER'S / BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 6.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE APPROVED MAPLE LAWN FARMS LANDSCAPE DESIGN DEVELOPMENT CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

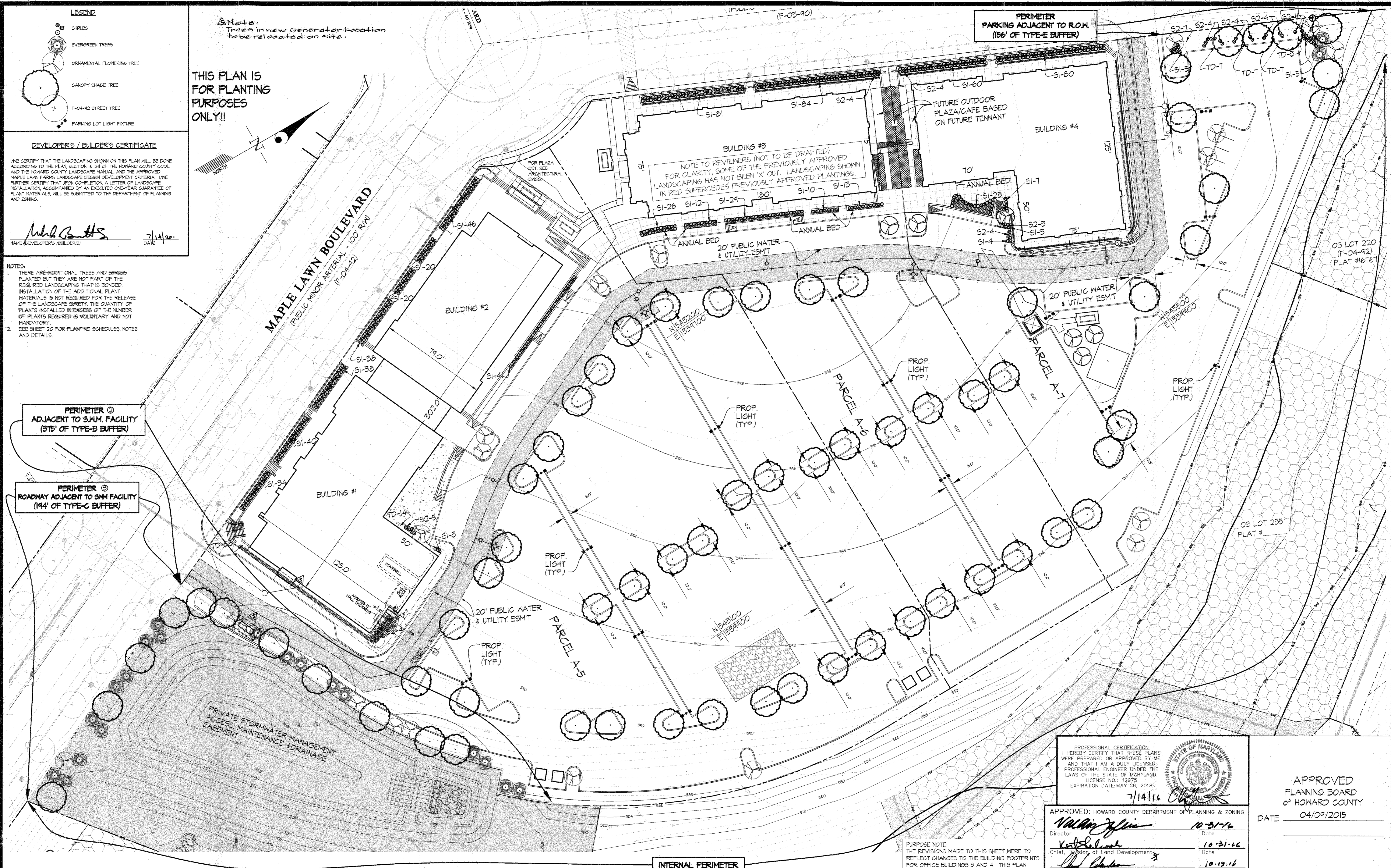
*Mark Bennett*  
NAME (DEVELOPER'S / BUILDER'S)      7/14/16  
DATE

- NOTES:**
- THERE ARE ADDITIONAL TREES AND SHRUBS PLANTED BUT THEY ARE NOT PART OF THE REQUIRED LANDSCAPING THAT IS BONDED. INSTALLATION OF THE ADDITIONAL PLANT MATERIALS IS NOT REQUIRED FOR THE RELEASE OF THE LANDSCAPE SURETY. THE QUANTITY OF PLANTS INSTALLED IN EXCESS OF THE NUMBER OF PLANTS REQUIRED IS VOLUNTARY AND NOT MANDATORY.
  - SEE SHEET 20 FOR PLANTING SCHEDULES, NOTES AND DETAILS.

PERIMETER ②  
ADJACENT TO SWM FACILITY  
(375' OF TYPE-B BUFFER)

PERIMETER ③  
ROADWAY ADJACENT TO SWM FACILITY  
(194' OF TYPE-C BUFFER)

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**INTERNAL PERIMETER**

PURPOSE NOTE:  
THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007.

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 12075  
EXPIRATION DATE: MAY 26, 2018  
7/14/16

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Valerie J. ...* 10-31-16  
Date: 10-31-16  
Chief, Division of Land Development: *...*  
Date: 10-17-16  
Chief, Development Engineering Division: *...*  
Date:

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 04/09/2015

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

| DATE     | REVISION   | BY  | APPR. |
|----------|--|-----|-------|
| 5-24-17  | Relocated Generator and Enclosure. Added note for trees.                         | g+  | DEV.  |
| 7-11-16  | REPLACEMENT SHEET - REV. BUILDING FOOTPRINTS, SHOW PAVILION AND STORAGE BUILDING | g+  | DEV.  |
| 01-11-12 | REVISE LANDSCAPING IN AREA OF STORAGE BLDG.                                      | g+  | DEV.  |
| 11-26-07 | ADDED OUTSIDE ACCESS AND REVISED LANDSCAPING.                                    | MSJ | DEV.  |
|          | REV. CURB IN PARKING LOT & REMOVED GREASE INTERCEPTOR                            | MSJ | DEV.  |
|          |  | BY  | APPR. |

PREPARED FOR:  
C&R MAPLE LAWN INC  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

REVISED - LANDSCAPE PLAN  
**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 18794 & 18795 (F-06-239)

| SCALE      | ZONING         | G. L. W. FILE No. |
|------------|----------------|-------------------|
| 1"=30'     | MXD-3          | 05015             |
| DATE       | TAX MAP - GRID | SHEET             |
| JULY, 2016 | 41-21          | 19 OF 21          |

PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig ball, burlap and transport all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the Architectural Review Committee.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

Table with columns: CALIPER, HEIGHT, SPREAD, SIZE OF BALL. Lists specifications for various tree sizes from 3"-3.5" to 5.5"-6".

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The Architectural Review Committee may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides, depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule:

Table with columns: PLANT SIZE, ROOT BALL, FIT DIAMETER, FIT DEPTH. Lists planting specifications for various tree sizes.

Table with columns: PLANT SIZE, ROOT BALL, FIT DIAMETER, FIT DEPTH. Lists planting specifications for various tree sizes.

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or gayed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 galvanized or galvanized steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.

All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The Architectural Review Committee shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

All sodding shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

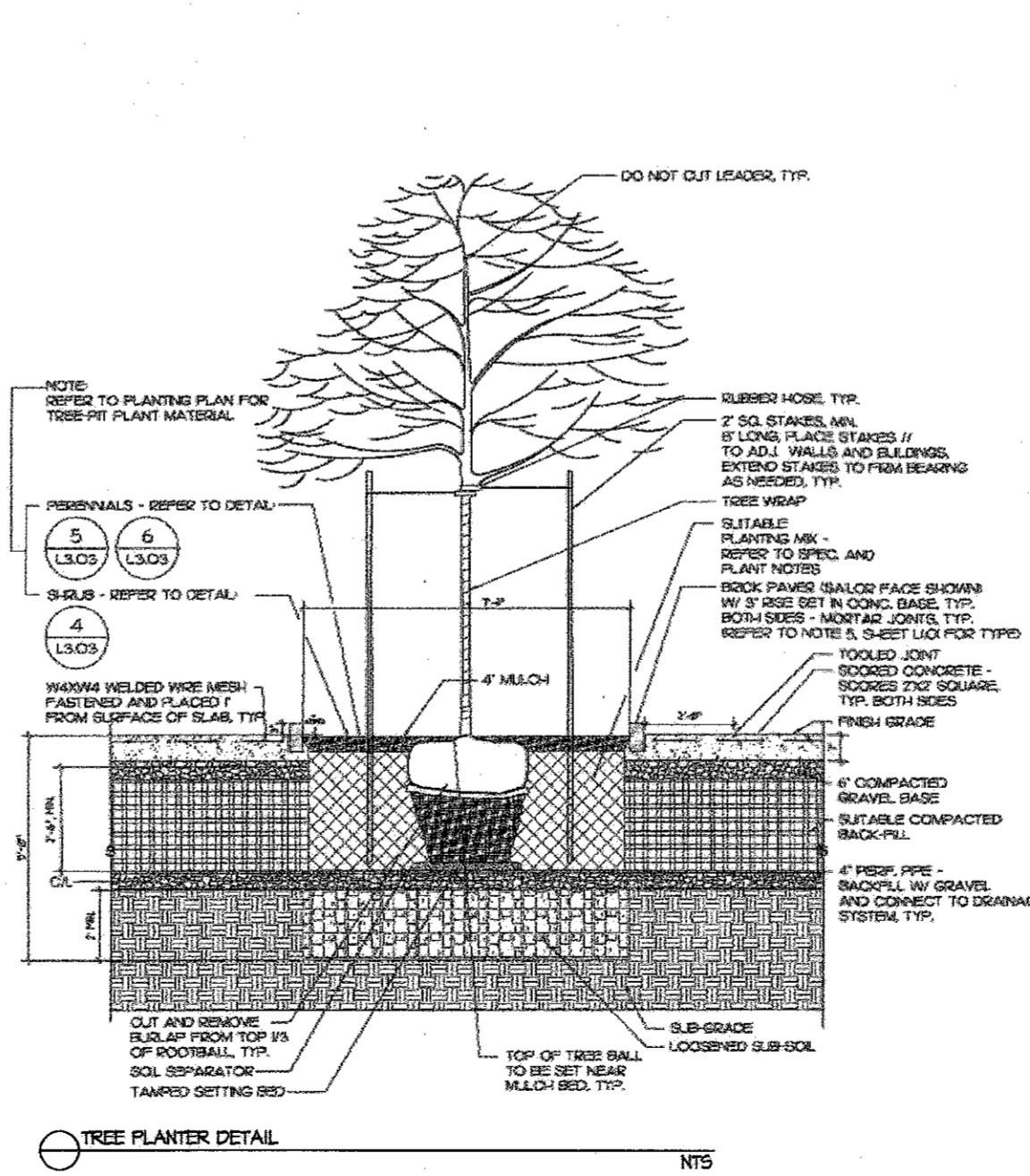
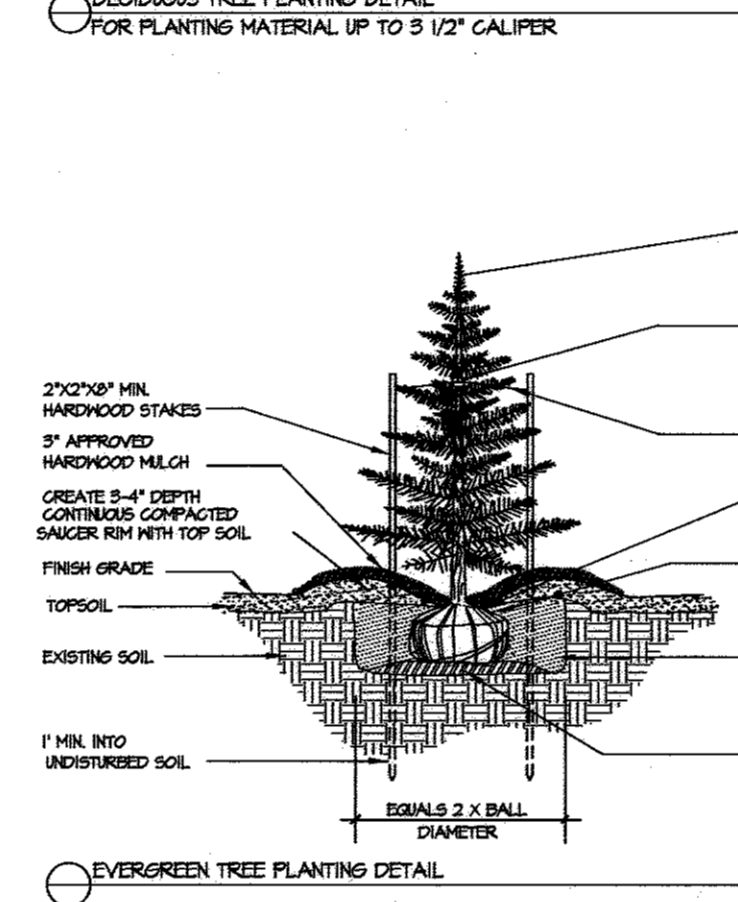
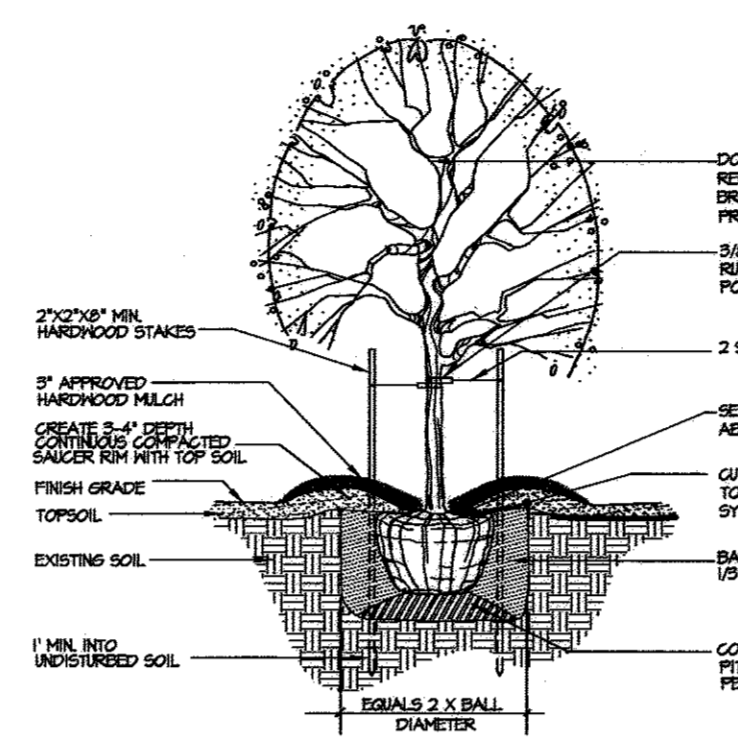
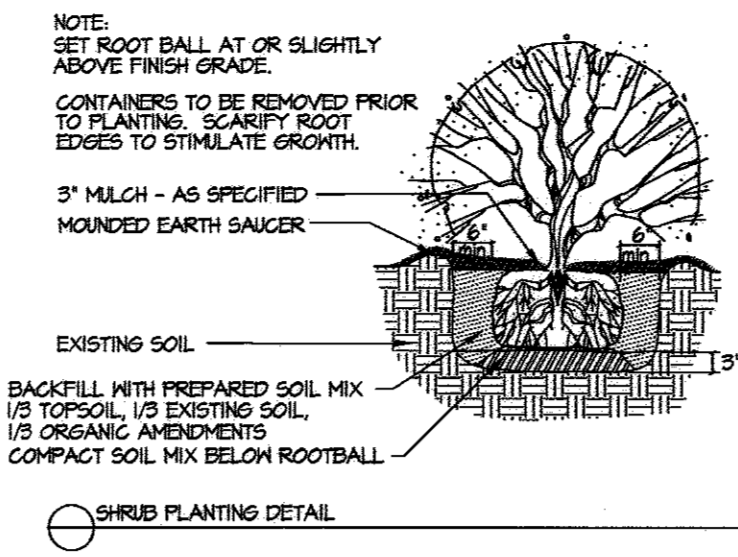
All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of Improved strain Kentucky bluegrass, such as, Columbia, Viola, or Escort.

LANDSCAPE NOTES

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 6.12.4 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL...
2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK...
3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK...
4. PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY...
5. ALL PLANT MATERIAL SHALL BE FULL HEAVY, WELL FORMED, SYMMETRICAL AND CONFORM TO THE AAN SPECIFICATIONS...
6. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DEPT. AND THE OWNER OR HIS REPRESENTATIVE...
7. ALL AREAS DESTROYED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED OR RELEASD SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION...
8. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SH SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS...
9. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDED HARDWOOD MULCH PER THE PLANTING DETAILS...
10. DO NOT PLANT WITHIN THE PUBLIC WATER SEWER AND UTILITY EASEMENT...
12. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL CONFORM WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL...
13. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE...
14. ALL PLANT MATERIAL SHALL BE FULL HEAVY, WELL FORMED, SYMMETRICAL AND CONFORM TO THE AAN SPECIFICATIONS...
15. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DEPT. AND THE OWNER OR HIS REPRESENTATIVE...
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19. DO NOT PLANT WITHIN THE PUBLIC WATER SEWER AND UTILITY EASEMENT.

Table listing plant quantities: 30 SHRUBS AT \$100/SHRUB = \$3,000.00, 40 SHRUB TREES AT \$800/TREE = \$32,000.00, 14 EVERGREEN TREES AT \$150/TREE = \$2,100.00.

12. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL CONFORM WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL...
13. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE...
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19. DO NOT PLANT WITHIN THE PUBLIC WATER SEWER AND UTILITY EASEMENT.



NOTE: THERE ARE ADDITIONAL TREES AND SHRUBS PLANTED BUT THEY ARE NOT PART OF THE REQUIRED LANDSCAPING THAT IS BONDED. INSTALLATION OF THE ADDITIONAL PLANT MATERIALS IS NOT REQUIRED FOR THE RELEASE OF THE LANDSCAPE SURETY. THE QUANTITY OF PLANTS INSTALLED IN EXCESS OF THE NUMBER OF PLANTS REQUIRED IS VOLUNTARY AND NOT MANDATORY.

\* 11. Schedule 'A', Schedule 'B' & Schedule 'D' are provided for landscape surety calculation purposes. Financial Security (Cap \$20,000.00 combined total) for the required landscaping is posted with the developer's agreement and grading permit applications as follows:

- A. \$12,000.00 with the developer's agreement for the following:
- 4 shade trees at \$300/tree (sch.-A perimeter-1, sch.-B & D)
- 36 shrubs at \$100/shrub (sch.-D)
- 19 evergreen trees at \$150/tree (sch.-D)
- 53 shrubs at \$30/shrub (sch.-A, Building 1&2 and perimeter-1)
B. \$2,400.00 with building-3 grading permit for 23 shrubs at \$100/shrub (sch.-A)
C. \$2,700.00 with building-4 grading permit for 00 shrubs at \$30/shrub (sch.-A)

SCHEDULE-A: PERIMETER LANDSCAPE EDGE

Table with columns: CATEGORY, BUILDING LENGTHS (REAR 4 SIDES), ADJACENT TO ROADWAYS (MAPLE LAWN BLVD), ADJACENT TO STORMWATER MANAGEMENT FACILITY. Includes rows for linear feet of roadway, credit for ex. vegetation, number of plants required, and substitutions made.

LANDSCAPE SURETY FOR REQUIRED PLANTS PER SCHEDULE-A: 4 SHADE TREES at \$300/TREE = \$1,200.00, 36 SHRUBS at \$30/SHRUB = \$10,800.00

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F)

SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING

Table with columns: NUMBER OF PARKING SPACES, NUMBER OF TREES REQUIRED, NUMBER OF TREES PROVIDED. Lists 520 spaces, 26 shade trees, and 16 ornamentals.

LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-B: 26 SHADE TREES at \$300/TREE = \$7,800.00

SCHEDULE D -- STORMWATER MANAGEMENT AREA LANDSCAPING

Table with columns: LOCATION, ADJACENT BUILDING #, ADJACENT MAPLE LAWN BLVD, LINEAR FEET OF PERIMETER, BUFFER TYPE, NUMBER OF TREES REQUIRED, NUMBER OF TREES PROVIDED. Lists 375 LF perimeter, 5 shade trees, and 10 evergreen trees.

LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-D: 13 SHADE TREES at \$300/TREE = \$3,900.00, 14 EVERGREEN TREES at \$150/TREE = \$2,100.00

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-G)

PLANT LIST

Table with columns: SYMBOL, QUANTITY PROVIDED, SIZE, NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUILDER, COMMENTS. Lists various plant species like Acer, Quercus, Zelkova, etc.

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE 04-09-2010



APPROVED PLANNING BO OF HOWARD COUNTY DATE 10/26/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. Includes signatures and dates for approval.

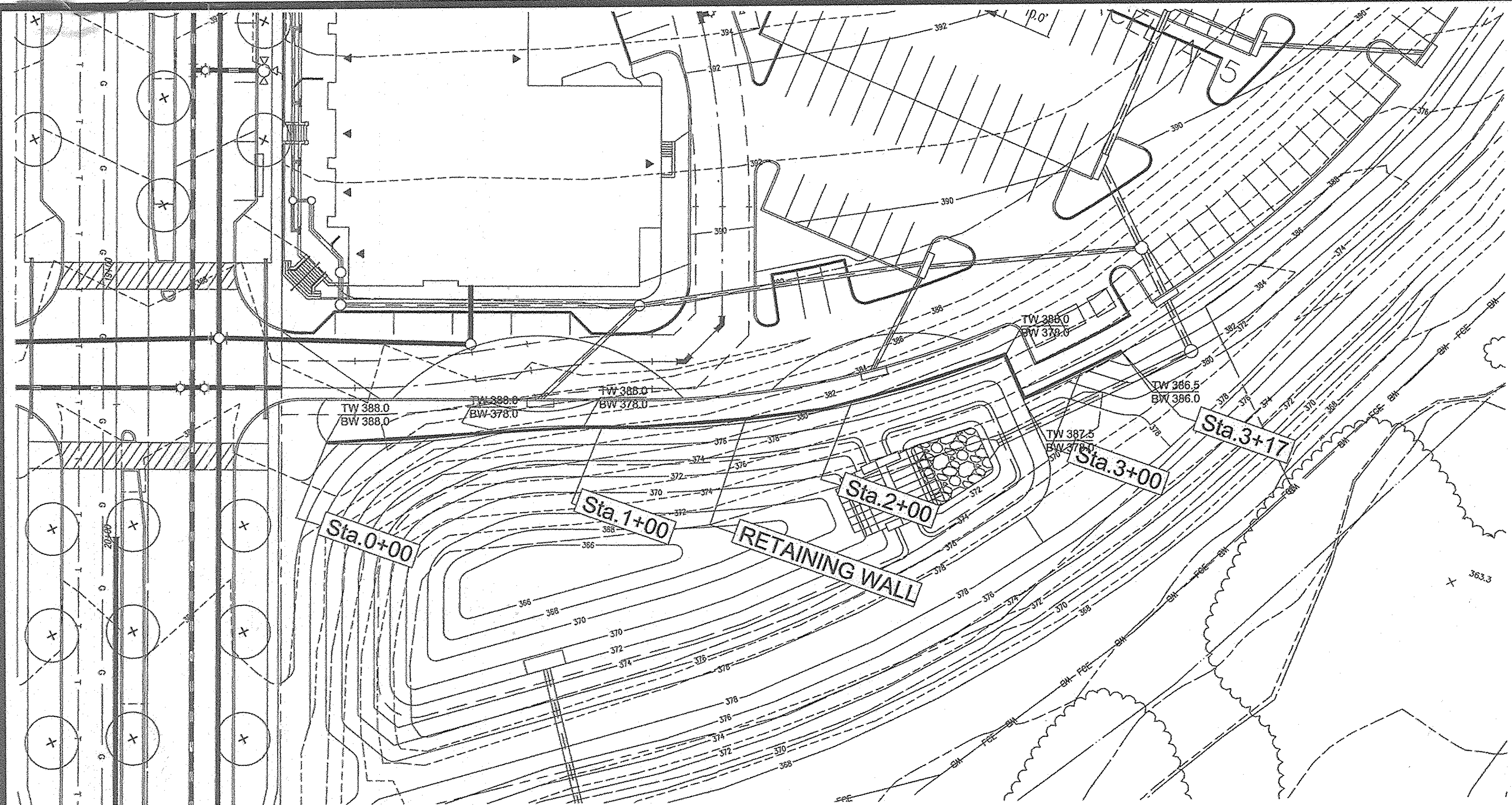
GLWGUTSCHICK LITTLE & WEBER, PA. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS. 3809 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK

Table with columns: DATE, REVISION, BY, APPR. Lists revision 1 on 10-26-06 and revision 2 on 04-13-07.

PREPARED FOR: G&R MAPLE LAWN INC. 1829 REISTERSTOWN ROAD SUITE 300 WOODHOLME CENTER BALTIMORE, MD 21208

LANDSCAPE DETAILS AND NOTES MAPLE LAWN FARMS MIDDTOWN DISTRICT - AREA 2 MEDICAL & GENERAL OFFICE BUILDINGS

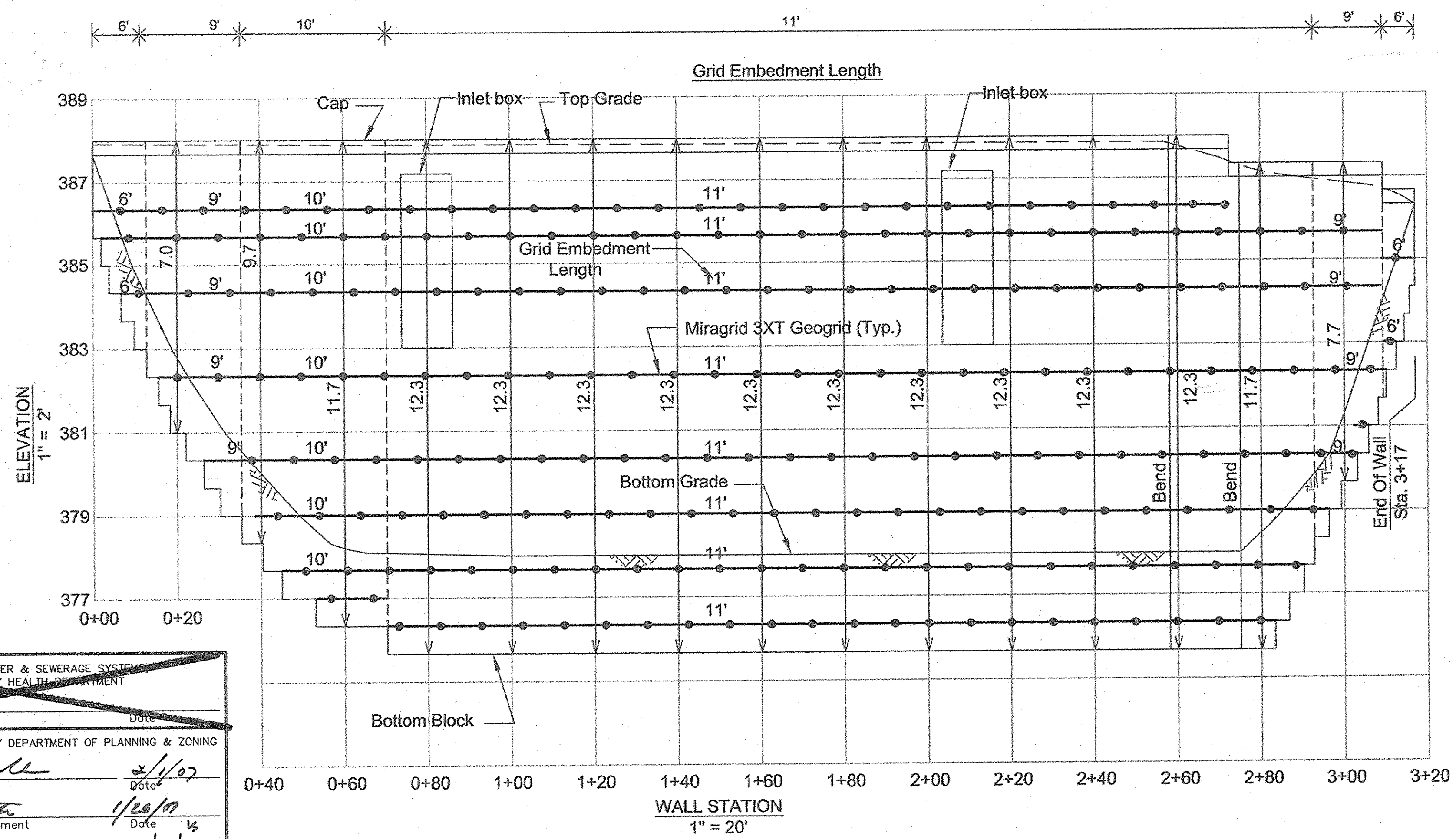
Table with columns: SCALE, ZONING, G. L. W. FILE NO., DATE, TAX MAP - GRID, SHEET. Lists AS SHOWN, MXD-3, 05015, SEPT., 2006, 41-21, 20 OF 21.



**WALL LOCATION PLAN**  
1" = 30'

- NOTES:**
- 1.) No trees shall be planted within 10 feet of the top of the retaining wall.
  - 2.) Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
  - 3.) The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
  - 4.) The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
  - 5.) One soil boring is required every one hundred feet along the length of the wall. Copies of the boring reports shall be provided to the Howard County Inspector prior to the start of the construction.

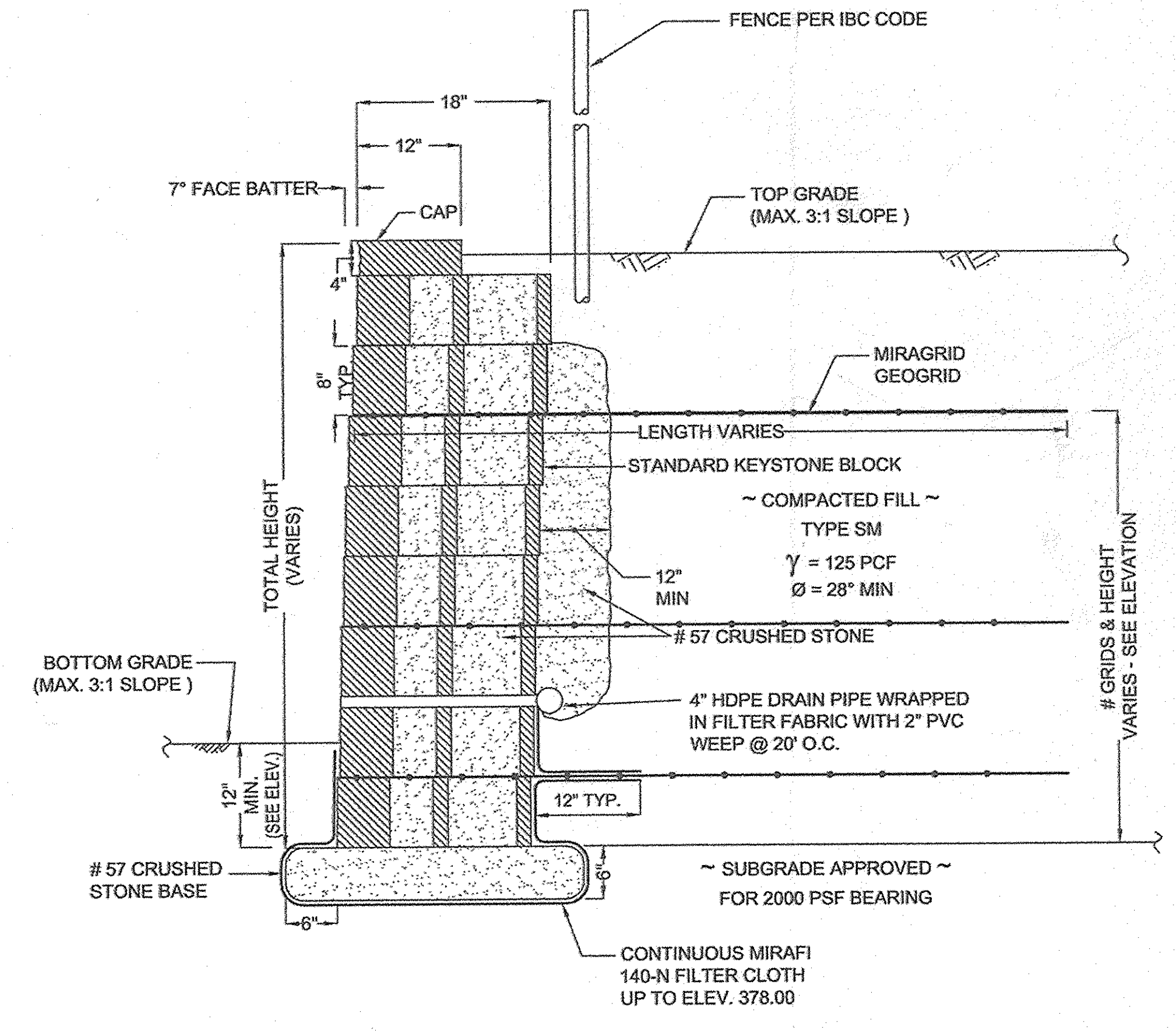
Note: Install Inlet Box During Wall Construction. Backfill Between the Inlet Box and Wall Block with CR-6. Trim Geogrids at Face of Inlet Box as Needed.



**WALL STATION**  
1" = 20'

**SPECIFICATIONS**  
**KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL**

- PART 1: GENERAL**
- 1.01 Description**
- A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
- B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
- C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.
- 1.02 Delivery, Storage and Handling**
- A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
- B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.
- PART 2: PRODUCTS**
- 2.01 Modular Concrete Retaining Wall Units**
- A. Modular concrete units shall conform to the following architectural requirements:  
 face color - concrete gray - standard manufacturer's color may be specified by the Owner.  
 face finish - sculptured rock face in angular in-planter configuration. Other face finishes will not be allowed without written approval of Owner.  
 bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.  
 exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
- B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
- C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:  
 compressive strength = 3000 psi minimum;  
 absorption = 8 3/4% maximum (9% in northern states) for standard weight aggregates;  
 dimensional tolerance = ± 1/8" from nominal unit dimensions not including rough split face, ± 1/16" unit height - top and bottom planes;  
 unit size - 8" (H) x 18" (W) x 18" (D) minimum;  
 unit weight - 100 lbs/uni minimum for standard weight aggregates;  
 inter-unit shear strength - 1000 plf minimum at 2 psi normal pressure;  
 geogrid/peak connection strength - 1000 plf minimum at 2 psi normal force.
- D. Modular concrete units shall conform to the following constructability requirements:  
 vertical setback = 1/8" per course (near vertical) or 1" per course for the design;  
 alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;  
 maximum horizontal gap between erected units shall be - 1/2 inch.
- 2.02 Shear Connectors**
- A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-impregnated fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
- B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.
- 2.03 Base Leveling Pad Material**
- A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.
- 2.04 Unit Drainage Fill**
- A. Unit drainage fill shall consist of #57 crushed stone.
- 2.05 Reinforced Backfill**
- A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:
- | Sieve Size | Percent Passing |
|------------|-----------------|
| 2 inch     | 100-75          |
| 3/4 inch   | 100-75          |
| No. 40     | 0-50            |
| No. 200    | 0-45            |
- Plasticity Index (PI) ≤ 15 and Liquid Limit < 40 per ASTM D-4318.
- B. Material can be site excavated limits where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.
- 2.06 Geogrid Soil Reinforcement**
- A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.
- 2.07 Drainage Pipe**
- A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.
- PART 3: EXECUTION**
- 3.01 Excavation**
- A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.
- 3.02 Base Leveling Pad**
- A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6' in front and behind the modular wall unit.  
 B. Leveling pad shall be prepared to insure full contact to the base surfaces of the concrete units.
- 3.03 Modular Unit Installation**
- A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.  
 B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.  
 C. Install shear/connecting devices per manufacturer's recommendations.  
 D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.  
 E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.
- 3.04 Structural Geogrid Installation**
- A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.  
 B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.  
 C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.  
 D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.
- 3.05 Reinforced Backfill Placement**
- A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.  
 B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.  
 C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.  
 D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.  
 E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.  
 F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.  
 G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.
- 3.06 Cap Installation**
- A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.
- 3.07 Field Quality Control**
- A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.  
 B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



**TYPICAL WALL SECTION**  
N.T.S.

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE: 10/26/06

**APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS**  
HOWARD COUNTY HEALTH DEPARTMENT

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

Director: Frank P. Wynn, Date: 2/1/07

Chief, Division of Land Development: Cindy Hunter, Date: 1/26/10

Chief, Development Engineering Division: [Signature], Date: 1/17/07

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

RETAINING WALL DETAILS AND NOTES

**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 8722-2 (F-06-239)

**HILLIS-CARNES**  
ENGINEERING ASSOCIATES  
10975 Guilford Road, Suite A Annapolis Junction, MD  
(410) 890-4788 Fax: (410) 890-4098



|             |                |                   |
|-------------|----------------|-------------------|
| SCALE       | ZONING         | G. L. W. FILE No. |
| AS SHOWN    | MXD-3          | 05015             |
| DATE        | TAX MAP - GRID | SHEET             |
| SEPT., 2006 | 41-21          | 21 OF 21          |

| DES. HC | DRN. AWL | CHK. DEV | DATE | REVISION | BY | APPR. |
|---------|----------|----------|------|----------|----|-------|
|         |          |          |      |          |    |       |

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, barlop and transport all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards).

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the Architectural Review Committee.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

Table with 4 columns: CALIPER, HEIGHT, SPREAD, SIZE OF BALL. Rows show measurements for various tree sizes and calipers.

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each.

5. Plant Inspection

The Architectural Review Committee may upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from August 15th to December 15th. No planting shall be done when ground is frozen or excessively moist.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist.

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

Table with 4 columns: PLANT SIZE, ROOT BALL, PIT DIAMETER, PIT DEPTH. Rows show specifications for different plant sizes.

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or gayed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eyes and eyes with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable, cadmium plated steel, with galvanized "eyes" hitches of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached Typical Tree Staking Detail.

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practices. Broken or twisted branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in

diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The Architectural Review Committee shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

All sods shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victa, or Escort.

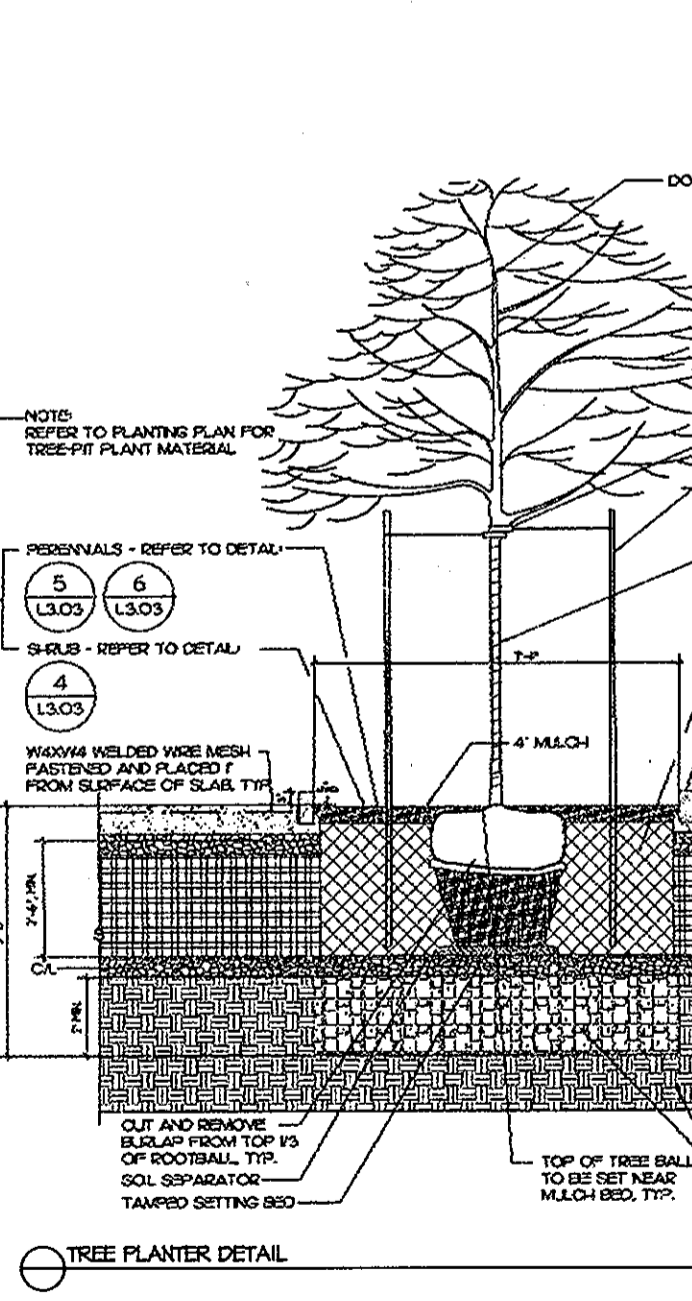
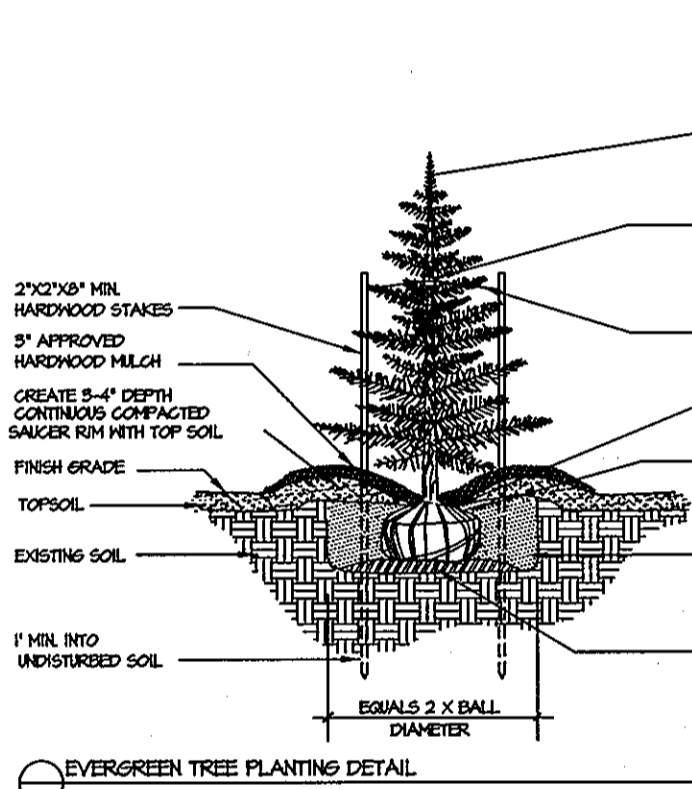
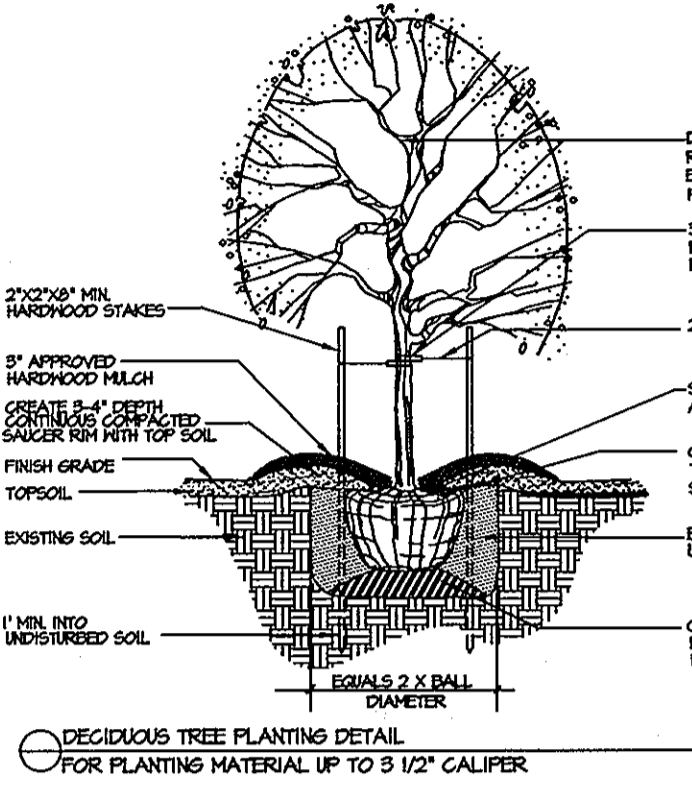
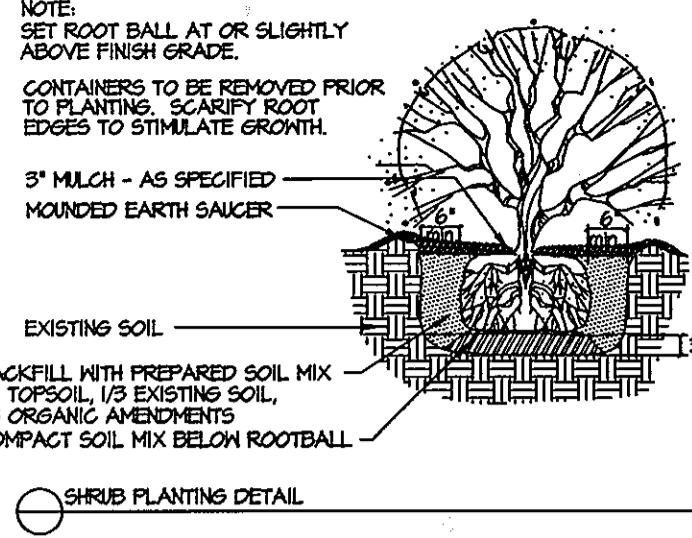
LANDSCAPE NOTES

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.024 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL. ALTERNATIVE COMPLIANCE PLEAS THE LANDSCAPE DESIGN CRITERIA OF S-0411 AND PD CASE NO. 395.
2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
4. PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
5. ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE AAN SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
6. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.

- 1. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.
2. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
3. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
4. DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.

\* SCHEDULE "A", SCHEDULE "B" AND SCHEDULE "D" ARE PROVIDED FOR LANDSCAPE SURETY PURPOSES. FINANCIAL SURETY (OF \$ 26,500.00 COMBINED TOTAL) FOR THE REQUIRED LANDSCAPE SURETY IS POSTED WITH THE DEVELOPER'S AGREEMENT AND GRADING PERMIT APPLICATIONS AS FOLLOWS:
A \$ 2,100.00 with the developer's agreement for the following:
- \$ 17,900.00 for 43 shade trees at \$ 400/tree (each - A perimeter, 1, each - B & D)
- \$ 2,850.00 for 17 evergreen trees at \$ 150/tree (each - A)
- \$ 5,750.00 for 170 shrubs at \$ 30/shrub (each - A, Building 1 & 2 and perimeter - I)
B \$ 2,400.00 with building-3 grading permit for 23 shrubs at \$ 100/shrub (each - A)
C \$ 2,070.00 with building-4 grading permit for 97 shrubs at \$ 20/shrub (each - A)

12. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER BEARING REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DELAY OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-515-2250.



NOTE: THERE ARE ADDITIONAL TREES AND SHRUBS PLANTED BUT THEY ARE NOT PART OF THE REQUIRED LANDSCAPING THAT IS BONDED. INSTALLATION OF THE ADDITIONAL PLANT MATERIALS IS NOT REQUIRED FOR THE RELEASE OF THE LANDSCAPE SURETY. THE QUANTITY OF PLANTS INSTALLED IN EXCESS OF THE NUMBER OF PLANTS REQUIRED IS VOLUNTARY AND NOT MANDATORY.

SCHEDULE-A: PERIMETER LANDSCAPE EDGE

Table with columns: CATEGORY, BUILDING LENGTHS (REAR & SIDES), ADJACENT TO ROADWAYS (MAPLE LAWN BLVD.), ADJACENT TO STORMWATER MANAGEMENT FACILITY. Rows include Landscape Buffer Type, Linear Feet of Roadway/Perimeter Frontage, Credit for Ex Vegetation, etc.

LANDSCAPE SURETY FOR REQUIRED PLANTS PER SCHEDULE-A:
4 SHADE TREES at \$300/TREE = \$ 1,200.00
361 SHRUBS at \$30/ SHRUB = \$10,830.00

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F).

SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING

Table with columns: NUMBER OF PARKING SPACES, NUMBER OF TREES REQUIRED, NUMBER OF TREES PROVIDED. Rows include Shade Trees, Other Trees (2:1 substitution).

LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-B: 26 SHADE TREES at \$300/TREE = \$ 7,800.00

SCHEDULE D -- STORMWATER MANAGEMENT AREA LANDSCAPING

Table with columns: LOCATION, ADJACENT BUILDING #, ADJACENT MAPLE LAWN BLVD., LINEAR FEET OF PERIMETER, BUFFER TYPE, NUMBER OF TREES REQUIRED, NUMBER OF TREES PROVIDED.

LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-D:
13 SHADE TREES at \$300/TREE = \$ 3,900.00
14 EVERGREEN TREES at \$150/TREE = \$ 2,850.00

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-G).

PLANT LIST

Table with columns: SYMBOL, QUANTITY PROVIDED, SIZE, NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER, COMMENTS. Rows include Canopy Shade Trees, Ornamental Tree, Evergreen Trees, Shrubs.

LANDSCAPE DETAILS AND NOTES

Maple Lawn Farms Medical & General Office Buildings. Includes address, contact info, and project details like scale, zoning, and file number.

Approval stamps and signatures. Includes 'APPROVED PLANNING BC OF HOWARD COUNTY' and signatures of Howard County Department of Planning & Zoning officials.

GLW Gutschick Little & Weber, P.A. Logo and contact information: 3909 NATIONAL DRIVE - SUITE 250 - BERTONSVILLE OFFICE PARK, BERTONSVILLE, MARYLAND 20866.

Revision table with columns: DATE, REVISION, BY, APPR. Includes a revision entry for 'Rev. landscape surety note' dated 5-19-00.

PREPARED FOR: G&R MAPLE LAWN INC. 1829 REISTERSTOWN ROAD, SUITE 300 WOODHOLME CENTER, BALTIMORE, MD 21208. ATTN: CHARLIE O'DONOVAN 410-484-8400.