

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS
- OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
  - MISS UTILITY 1-800-257-7777
  - BELL ATLANTIC TELEPHONE CO. 725-9976
  - HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
  - AT&T CABLE LOCATION DIVISION: 393-3553
  - B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
  - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
  - STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:
  - TOTAL AREA OF SITE: 17,837 SF (0.41 AC)
  - AREA OF PLAN SUBMISSION: 17,837 SF (0.41 AC)
  - TOTAL NUMBER OF BUILDABLE LOTS: 2
  - TOTAL NUMBER OF OPEN SPACE LOTS: 0
  - PRESENT ZONING: R-ED
  - LIMIT OF DISTURBANCE: 17,837 SF (0.41 AC)
  - PROPOSED USE OF SITE: SINGLE FAMILY DETACHED DWELLING
  - TOTAL UNITS ALLOWED: 2
  - TOTAL UNITS PROPOSED: 2
- PROJECT BACKGROUND:
  - LOCATION: TAX MAP: 38 PARCEL: 288
  - ZONING: R-ED
  - C. WEHLAND PROPERTY
  - DEED REFERENCE: LIBER 385 FOLIO 232
  - DPZ REFERENCES: F 04-07
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT OF WAY INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENT NO'S. 37C3 AND 37CA.
- THE PROPERTY BOUNDARY IS BASED ON A FIELD ROAD BOUNDARY SURVEY BY FREDERICK WARD ASSOCIATES, INC. IN APRIL 2003. THE EXISTING FEATURES AND TOPOGRAPHY SHOWN HEREON ARE BASED ON AN AERIAL PHOTOGRAMMETRIC SURVEY PREPARED BY FREDERICK WARD ASSOCIATES, INC. IN APRIL 2003.
- ACCESS TO WATER HAS BEEN PROVIDED UNDER CONTRACT NO. 2-W. ACCESS TO SEWER HAS BEEN PROVIDED UNDER CONTRACT NO. 10-1216.
- THERE ARE NO STEEP SLOPES LOCATED ON THIS PROPERTY.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
  - A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
  - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
  - C) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
  - D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
  - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
  - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
  - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- NO STREAMS OR WETLANDS EXIST ON LOT 2 OR LOT 3.
- NO 100 YEAR FLOODPLAINS EXISTS ON SITE.
- THIS SITE PLAN CONFORMS TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.06 (OPEN SECTION).
- FOREST CONSERVATION REQUIREMENTS FOR THIS SUBDIVISION WAS MET THROUGH ON-SITE AFFORESTATION IN THE AMOUNT OF 0.28 AC. AFFORESTATION SURETY IN THE AMOUNT OF \$6,098.40 WAS PAID AS PART OF THE DPW, DEVELOPER'S AGREEMENT FOR THIS PROJECT, PER F-04-007.
- STORMWATER MANAGEMENT FACILITIES WILL BE REQUIRED ON LOTS 2 AND 3 IN ACCORDANCE WITH THE DESIGN MANUALS. Cpv (QUANTITY CONTROL): EXEMPT, THE O1 IS LESS THAN 2 CFS. Rev AND WQV FOR LOTS 2 AND 3 PROVIDED BY SHEET FLOW TO BUFFER CREDIT.
- THIS SUBDIVISION IS NOT LOCATED WITHIN THE ELK RIDGE HISTORIC DISTRICT.
- THE NOISE CONTOUR DRAWN ON THIS PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY 1992, AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 dBA EXPOSURE. THE 65 dBA EXPOSURE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- WAIVER OF DESIGN MANUAL, VOLUME III, SECTION 2.5.2H, WHICH REQUIRES SIGHT DISTANCE AT AN ENTRANCE TO A PUBLIC ROAD TO BE IN ACCORDANCE WITH FIGURE 2.17 OF THE REFERENCED SECTION OF THE DESIGN MANUAL VOLUME III APPROVED JANUARY 30, 2003.
- SUBJECT PROPERTY ZONED R-ED PER 02/02/04 COMPREHENSIVE ZONING PLAN.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL, AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- IN ACCORDANCE WITH SECTION 16.124(G) OF THE COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, THIS SUBDIVISION FULFILLS ITS LANDSCAPING REQUIREMENTS THROUGH RETENTION OF EXISTING TREES AND SHRUBS ALONG THE PROPERTY BOUNDARIES.
- WATER AND SEWER SERVICE TO LOTS 2 AND 3 WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 16.122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND SEWER ALLOWANCE WILL BE GRANTED AT THE TIME OF THE ISSUING OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME. ACCESS TO WATER HAS BEEN PROVIDED UNDER CONTRACT 2-W, ACCESS TO SEWER HAS BEEN PROVIDED UNDER CONTRACT 10-1216.
- PER SUPPLEMENTAL INFORMATION, LANDSCAPE AND FOREST CONSERVATION PLAN IN ACCORDANCE WITH SECTION 16.124(G) OF THE COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, THIS SUBDIVISION FULFILLS ITS LANDSCAPING REQUIREMENTS THROUGH RETENTION OF EXISTING TREES AND SHRUBS ALONG THE PROPERTY BOUNDARIES.
- NOISE WALL TO BE CONSTRUCTED UNDER F-04-007. CONTRACTOR TO ASSURE POSITIVE DRAINAGE UNDER WALL. THE NOISE WALL TO BE CONSTRUCTED UNDER F-04-007 AND A SURETY FOR THIS WALL WILL BE POSTED UNDER THE DEVELOPER'S AGREEMENT.

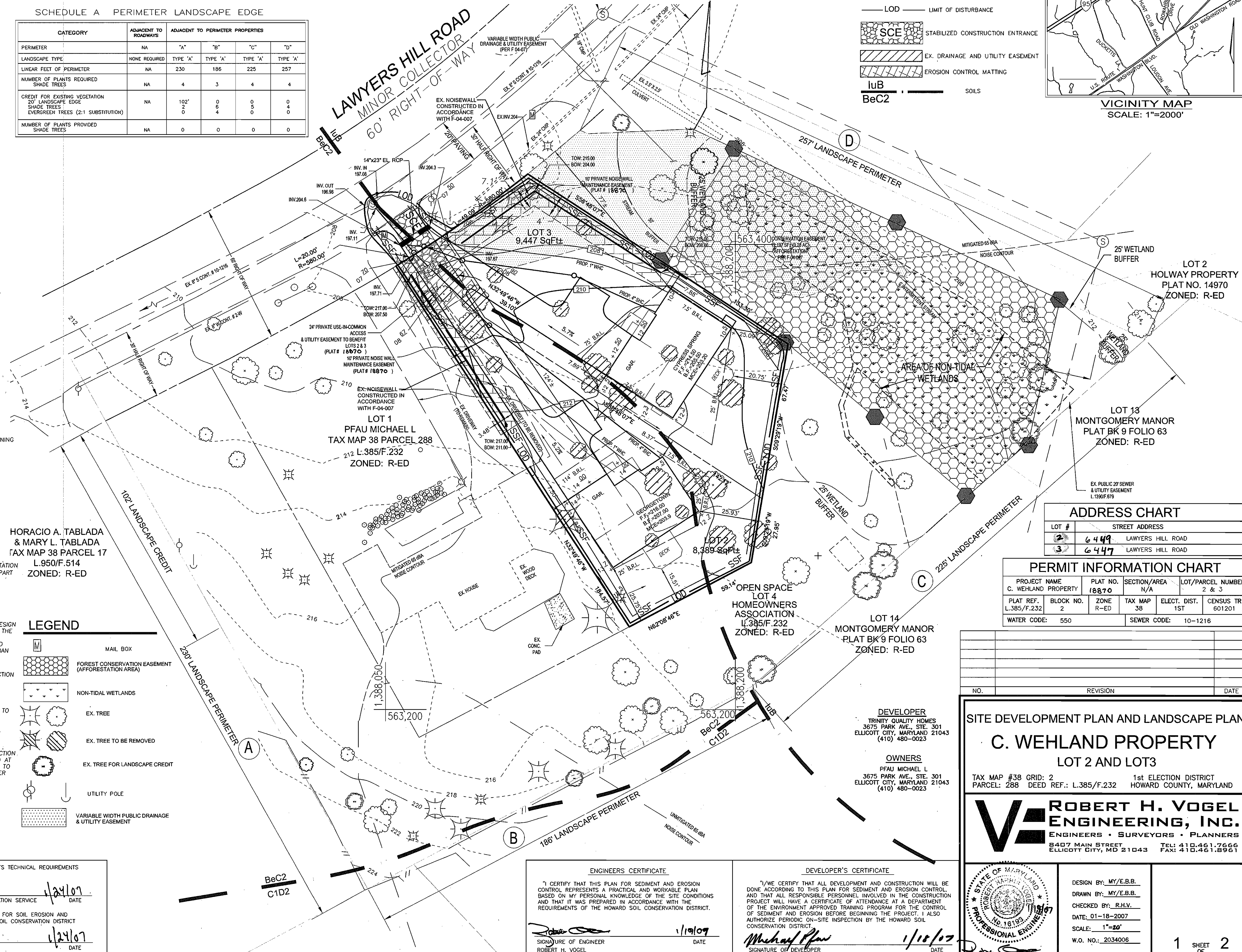
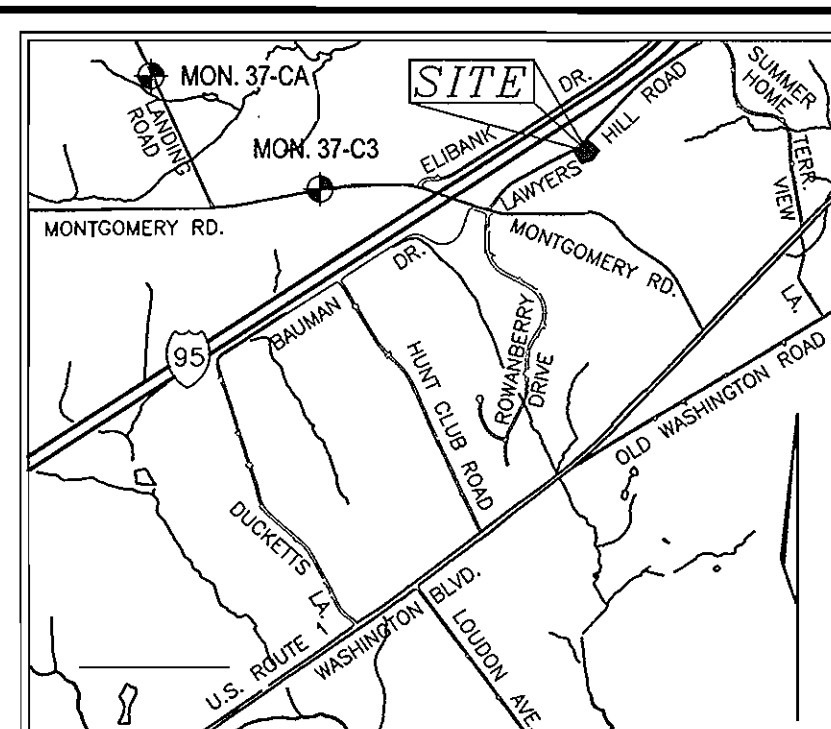
# SITE DEVELOPMENT PLAN C. WEHLAND PROPERTY

**SCHEDULE A PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES			
		NA	"A"	"B"	"C"
PERIMETER	NA	"A"	"B"	"C"	"D"
LANDSCAPE TYPE	NONE REQUIRED	TYPE 'A'	TYPE 'A'	TYPE 'A'	TYPE 'A'
LINEAR FEET OF PERIMETER	NA	230	186	225	257
NUMBER OF PLANTS REQUIRED SHADE TREES	NA	4	3	4	4
CREDIT FOR EXISTING VEGETATION 20' LANDSCAPE EDGE SHADE TREES EVERGREEN TREES (2:1 SUBSTITUTION)	NA	102'	0	0	0
NUMBER OF PLANTS PROVIDED SHADE TREES	NA	0	0	0	0

**LEGEND**

- 585 EXISTING 2 FT CONTOUR
- 580 EXISTING 10 FT CONTOUR
- 582 PROPOSED 2 FT CONTOUR
- 580 PROPOSED 10 FT CONTOUR
- SSF-SSF SUPER SILT FENCE
- LOD LIMIT OF DISTURBANCE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- EX. DRAINAGE AND UTILITY EASEMENT
- EROSION CONTROL MATTING
- IuB SOILS
- BeC2 SOILS



**HORACIO A. TABLADA & MARY L. TABLADA**  
TAX MAP 38 PARCEL 17  
L.950/F.514  
ZONED: R-ED

**LEGEND**

- MAIL BOX
- FOREST CONSERVATION EASEMENT (AFFORESTATION AREA)
- NON-TIDAL WETLANDS
- EX. TREE
- EX. TREE TO BE REMOVED
- EX. TREE FOR LANDSCAPE CREDIT
- UTILITY POLE
- VARIABLE WIDTH PUBLIC DRAINAGE & UTILITY EASEMENT

**ADDRESS CHART**

LOT #	STREET ADDRESS
2	6449 LAWYERS HILL ROAD
3	6447 LAWYERS HILL ROAD

**PERMIT INFORMATION CHART**

PROJECT NAME	PLAT NO.	SECTION/AREA	LOT/PARCEL NUMBER
C. WEHLAND PROPERTY	18870	N/A	2 & 3
PLAT REF.	BLOCK NO.	ZONE	TAX MAP
L.385/F.232	2	R-ED	38
WATER CODE:	550	ELECT. DIST.	1ST
SEWER CODE:	10-1216	CENSUS TR.	601201

**SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN**  
**C. WEHLAND PROPERTY**  
LOT 2 AND LOT 3

TAX MAP #38 GRID: 2  
PARCEL: 288 DEED REF.: L.385/F.232 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8966

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

DATE: 2/23/07

DATE: 1/24/07

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT

**ENGINEERS CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

1/19/07

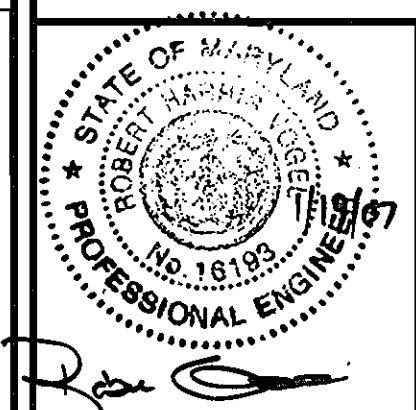
ROBERT H. VOGEL

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.

1/18/07

MICHAEL L. PFAU



DESIGN BY: MY/E.B.B.  
DRAWN BY: MY/E.B.B.  
CHECKED BY: R.H.V.  
DATE: 01-18-2007  
SCALE: 1"=20'  
W.G. NO.: 2034006

1 SHEET OF 2



## 21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

### DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

### PURPOSE

To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

### CONDITIONS WHERE PRACTICE APPLIES

I. This practice is limited to areas having 2:1 or flatter slopes where:

- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- The original soil to be vegetated contains material toxic to plant growth.
- The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

### CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
- Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

III. For sites having disturbed areas under 5 acres:

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

iii. For sites having disturbed areas over 5 acres:

- On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
  - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
  - Organic content of topsoil shall be not less than 1.5 percent by weight.
  - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
  - No sod or seed shall be placed on soil soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

NOTE: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments specified in 20.0 Vegetative Stabilization-Section I-Vegetative Stabilization Methods and Materials.

### V. Topsoil Application

i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

## PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Preferred-Apply 2 tons per acre dolomitic limestone (92 lbs./100 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
- Acceptable-Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 50 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

## TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

## SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
- All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

Site Analysis :	TOTAL
Total Area	17,837 SF
Area Disturbed	17,837 SF
Area to be roofed or paved	6100 SF
Area to be vegetatively stabilized	11,737 SF
Total Cut	310 CY
Total Fill	310 CY
Offsite waste/borrow area location	

- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
- Estimates of earthwork quantities are provided solely for the purpose of calculating fees.
- To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

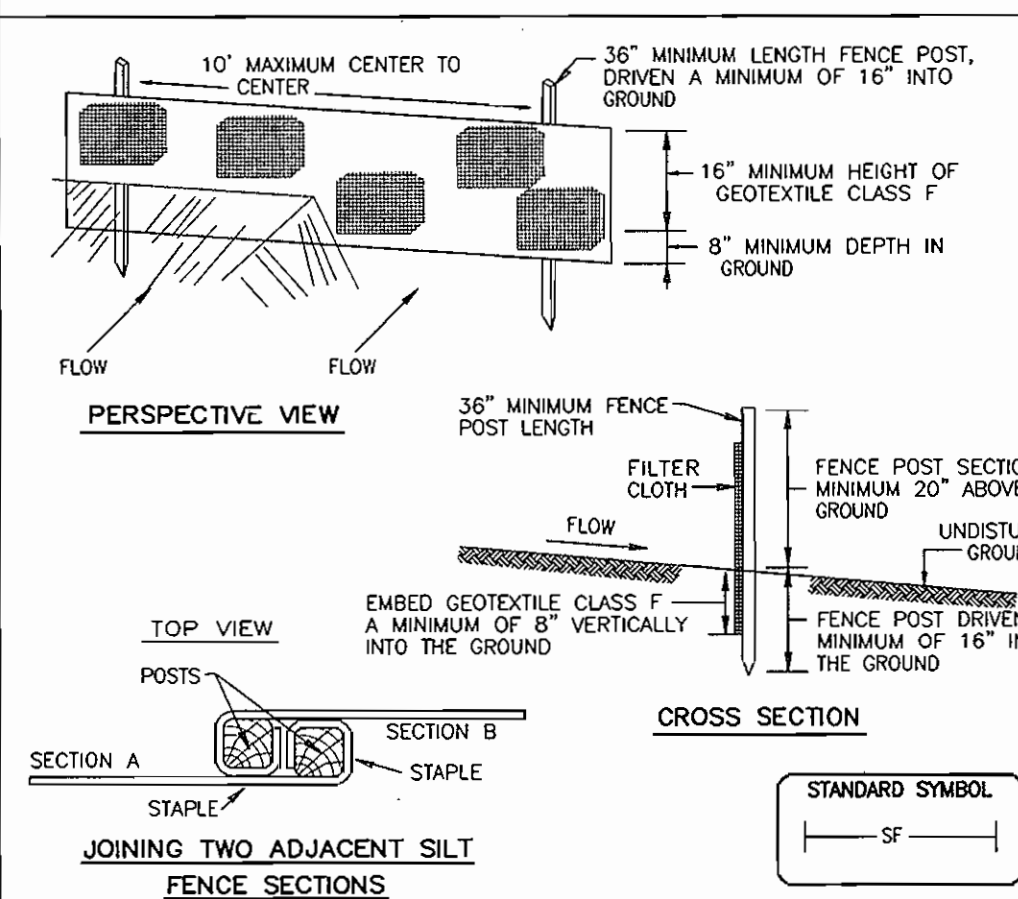
## SEQUENCE OF CONSTRUCTION

- Obtain grading permit.
- Notify Howard County Bureau Of Inspections and Permits (410.313.1880) at least 24 hours before starting any work.
- Construct Stabilized Construction Entrances. (1 day)
- Install silt fence and erosion control matting. (2 days)
- After obtaining permission from the sediment control inspector to proceed, rough grade site. (4 days)
- Construct house. The first floor elevation cannot be more than 1' higher or 0.2' lower than the elevations shown on this plan. The foundation footprint must be within the generic block. (3 months)
- Construct NoiseWall (F-04-007)
- Upon stabilization of all disturbed areas and with the approval of the sediment control inspector, remove all sediment control devices.

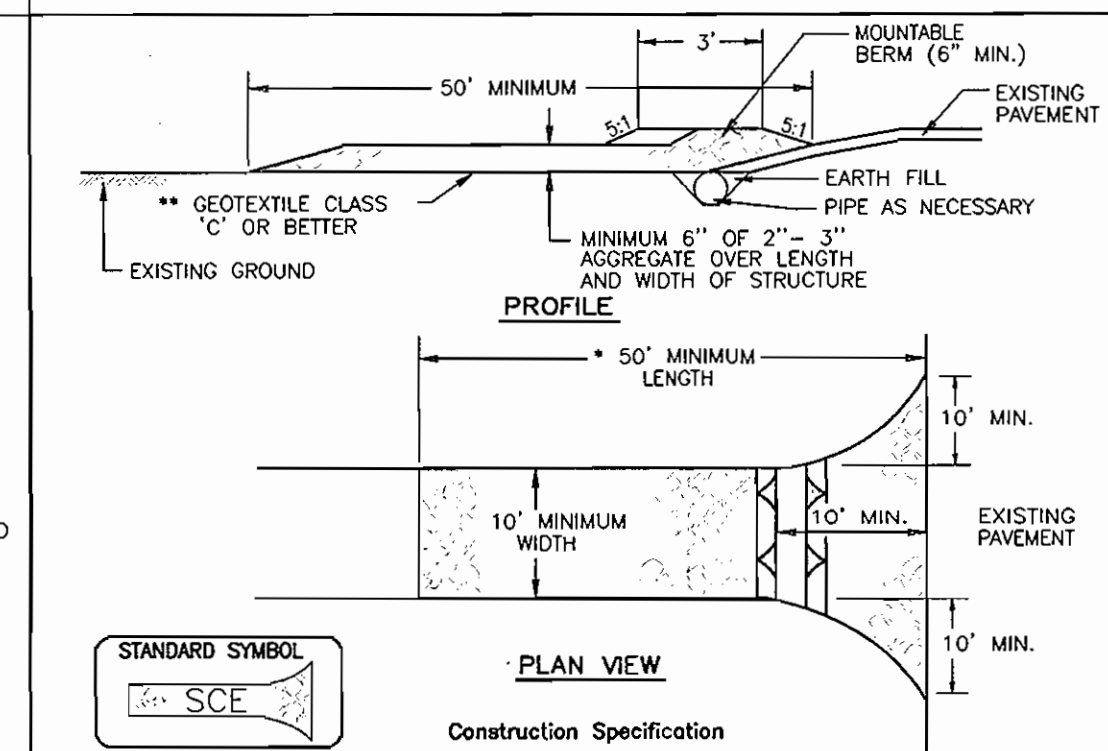
## NOTES

- DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLIED WITH.

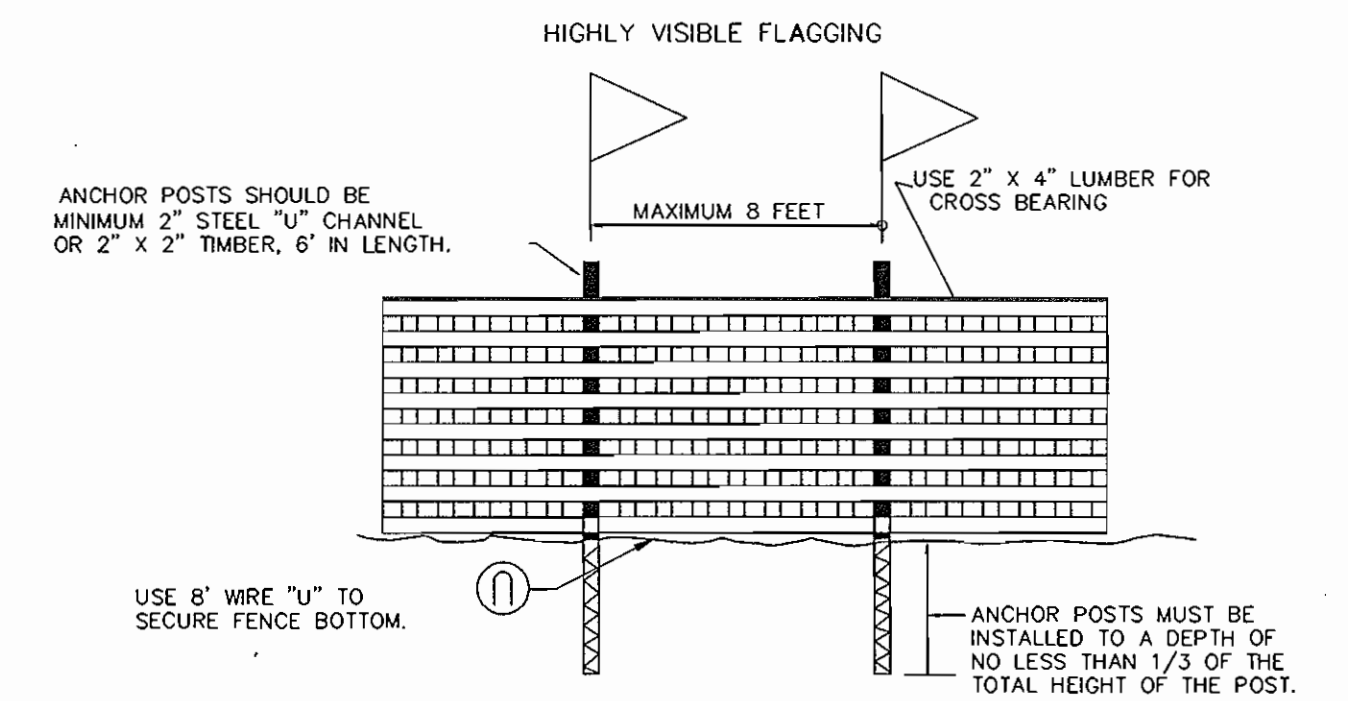
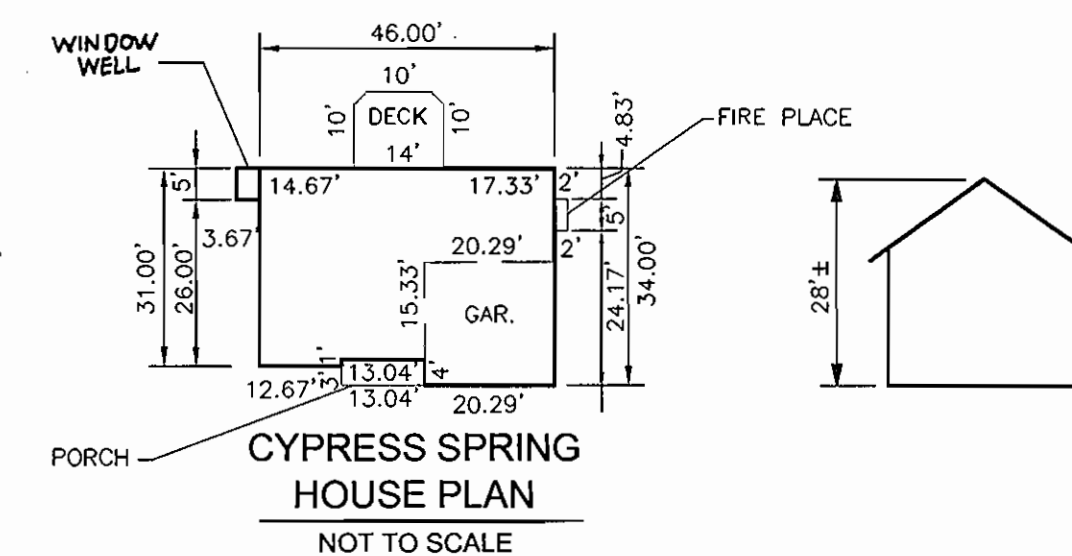
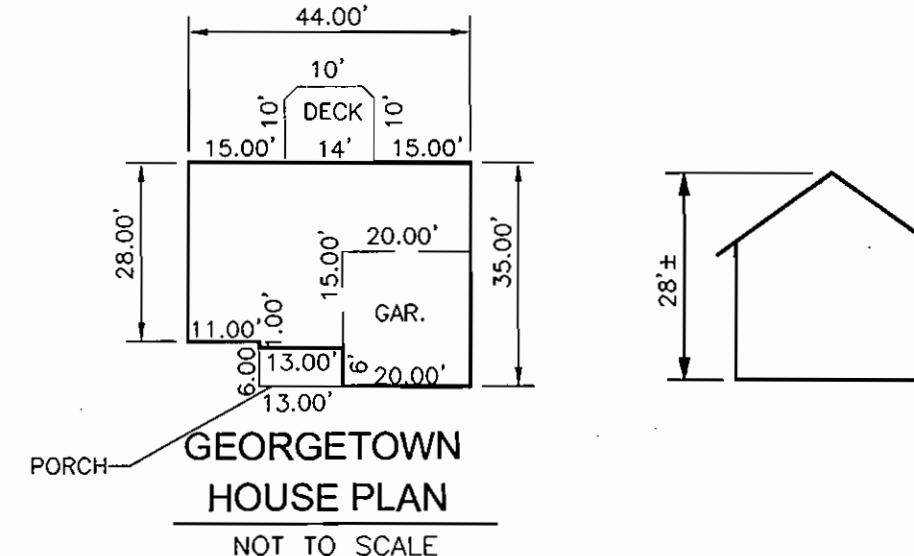
### DETAIL 22 - SILT FENCE



### DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Construction Specifications
- Length - minimum of 50' (\* 30' for a single residence lot).
  - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
  - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
  - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
  - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
  - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.



- NOTES:
- Forest protection device only.
  - Retention area will be set as part of the review process.
  - Boundaries of retention area should be staked and flagged prior to installing device.
  - Roof damage should be avoided.
  - Protection signage should be used.
  - Device should be maintained throughout construction.
- BLAZE ORANGE PLASTIC MESH  
TYPICAL TREE PROTECTION FENCE DETAIL  
NO SCALE

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 19 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 1/16/07

DATE: 2/23/07

DATE: 2/23/07

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

DATE: 1/24/07

DATE: 1/24/07

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 1/19/07

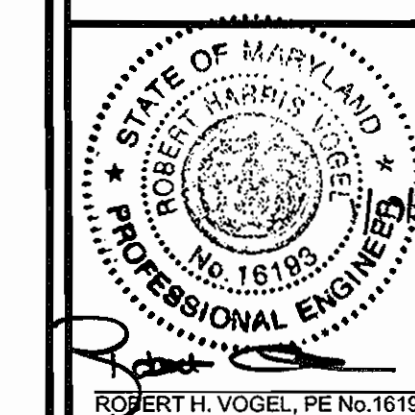
DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 1/18/07

DEVELOPER  
TRINITY QUALITY HOMES  
3675 PARK AVE., STE. 301  
ELLICOTT CITY, MARYLAND 21043  
(410) 480-0023

OWNERS  
PFAU MICHAEL L  
3675 PARK AVE., STE. 301  
ELLICOTT CITY, MARYLAND 21043  
(410) 480-0023



DESIGN BY: MY/E.B.B.

DRAWN BY: MY/E.B.B.

CHECKED BY: R.H.V.

DATE: APRIL 2006

SCALE: AS SHOWN

W.O. NO.: 2034006

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