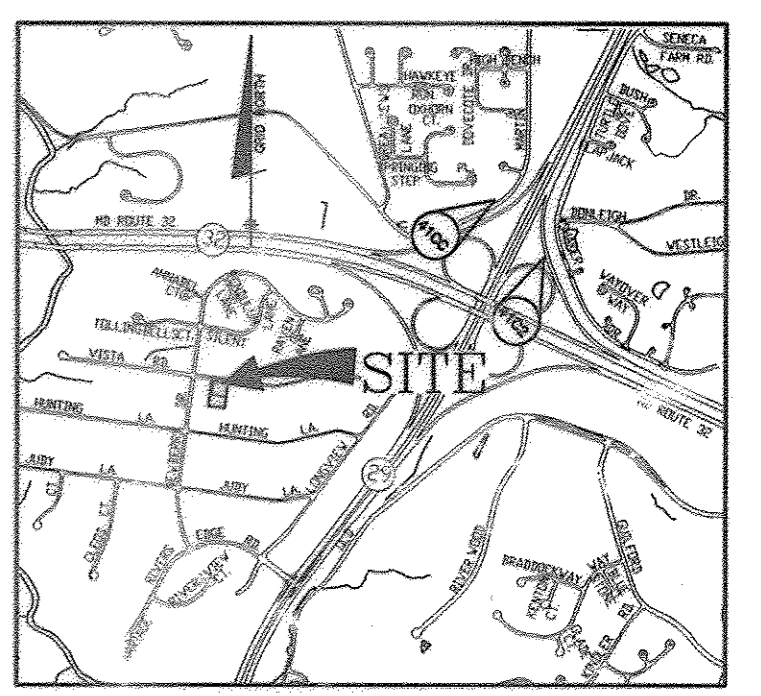


ADDRESS CHART	
LOT No.	STREET ADDRESS
100	10707 VISTA ROAD

SHC TABLE	
LOT NO.	MIN. CELLAR
100	351.7

BENCH MARKS NAD '83	
HO. CO. 410C	ELEV. 400.00
STAMPED DISC ON CONCRETE MONUMENT BEING 44.4' SOUTH OF FIRE HYDRANT 16.8' EAST OF G&E POLE #280034, 17' NORTH EAST OF GUY WIRE	
N 552,494.27	E 1,347,062.44
HO. CO. 4102	ELEV. 395.17
STAMPED DISC ON CONCRETE MONUMENT BEING 100' NORTH EAST OF OVERPASS BRIDGE 11.6' SOUTH OF HIGHWAY SIGN	
N 551,616.42	E 1,348,104.24



- ### GENERAL NOTES
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2-2-04 COMPREHENSIVE ZONING PLAN.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT (410)331-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 - EXISTING TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY BENCHMARK ENGINEERING INC. DATED MARCH, 2005. CONTOUR INTERVAL IS 2 FEET.
 - HORIZONTAL AND VERTICAL DATUM ARE NAD '83 - HO. CO. MONUMENTS 410C AND 4102.
 - EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM CONTRACT DRAWINGS # 34-1810-D AND # 30-3123 AND FIELD SURVEY LOCATIONS. IF NECESSARY, CONTRACTOR SHALL ADJUST ANY 3R ALL STRUCTURE TOP ELEVATIONS TO MATCH SDP GRADES.
 - STORMWATER MANAGEMENT IS PROVIDED BY THE USE OF ROOF-TOP DISCONNECTION AND GRASS CHANNEL CREDIT IN ACCORDANCE WITH THE DESIGN PROVIDED UNDER F-06-03A.
 - THERE ARE TWO (2) WETLANDS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS, STEEP SLOPES OR 100-YEAR FLOODPLAIN LOCATED WITHIN THIS LIMIT OF SUBMISSION.
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR BECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - [W] INDICATES WALKOUT BASEMENT.
 - PREVIOUS HOWARD COUNTY FILE NUMBERS: F-06-034, F-06-38, WP-08-050
 - THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO INSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
 - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
 - BRL INDICATES BUILDING RESTRICTION LINE.
 - FOR DRIVEWAY ENTRANCE DETAIL SEE HOWARD COUNTY STANDARD DETAIL R-6-C.
 - DRIVEWAY SLOPES SHOWN ARE AVERAGE. THE SLOPE AT THE OUTSIDE EDGES COULD BE FLATTER OR STEEPER DEPENDING ON GRADE OF ROADWAY.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A RESIDENTIAL OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE);
 - SURFACE - 4" OF COMPACT CRUSHER RUN BASE WITH 1/2" AND 3/4" COATING (1.1-1.7%);
 - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10' GRADE CH' (E AND MINIMUM 45' TURNING RADIUS);
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 T/LOADING);
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YR FLOODPLAIN WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY;
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
 - THIS PLAN CONFORMS WITH THE 5TH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LENSES AND PERMITS FOR A BUILDING PERMIT TO INITIATE CONSTRUCTION ON THIS LOT WITHIN ONE (1) YEAR OF SIGNATURE APPROVAL OF THIS SITE DEVELOPMENT PLAN.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FOREST CONSERVATION OBLIGATION IN ACCORDANCE WITH SECTION 16.1202 OF THE HOWARD COUNTY CODES AND FOREST CONSERVATION MANUAL FOR THIS SITE HAVE BEEN MET BY THE PAYMENT OF \$1,000 PER ACRE IN THE AMOUNT OF \$4,900.00 (75 PER SQUARE FOOT) FOR 0.15 ACRE AFForestation OBLIGATION AS PART OF F-06-034.
 - PERIMETER LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL SHALL BE PROVIDED AS SHOWN ON THIS PLAN. SEE "LANDSCAPING NOTES".
 - WAIVER PETITION WP-08-08-38 WAS REVIEWED AND APPROVED BY THE DIRECTOR OF PLANNING AND ZONING ON DECEMBER 2, 2008 TO WAIVE SECTIONS 16.152 (B)(2)(C), 16.152 (B)(2)(D), 16.152 (B)(2)(E), 16.152 (B)(2)(F), 16.152 (B)(2)(G), 16.152 (B)(2)(H), 16.152 (B)(2)(I), 16.152 (B)(2)(J), 16.152 (B)(2)(K), 16.152 (B)(2)(L), 16.152 (B)(2)(M), 16.152 (B)(2)(N), 16.152 (B)(2)(O), 16.152 (B)(2)(P), 16.152 (B)(2)(Q), 16.152 (B)(2)(R), 16.152 (B)(2)(S), 16.152 (B)(2)(T), 16.152 (B)(2)(U), 16.152 (B)(2)(V), 16.152 (B)(2)(W), 16.152 (B)(2)(X), 16.152 (B)(2)(Y), 16.152 (B)(2)(Z), 16.152 (B)(2)(AA), 16.152 (B)(2)(AB), 16.152 (B)(2)(AC), 16.152 (B)(2)(AD), 16.152 (B)(2)(AE), 16.152 (B)(2)(AF), 16.152 (B)(2)(AG), 16.152 (B)(2)(AH), 16.152 (B)(2)(AI), 16.152 (B)(2)(AJ), 16.152 (B)(2)(AK), 16.152 (B)(2)(AL), 16.152 (B)(2)(AM), 16.152 (B)(2)(AN), 16.152 (B)(2)(AO), 16.152 (B)(2)(AP), 16.152 (B)(2)(AQ), 16.152 (B)(2)(AR), 16.152 (B)(2)(AS), 16.152 (B)(2)(AT), 16.152 (B)(2)(AU), 16.152 (B)(2)(AV), 16.152 (B)(2)(AW), 16.152 (B)(2)(AX), 16.152 (B)(2)(AY), 16.152 (B)(2)(AZ), 16.152 (B)(2)(BA), 16.152 (B)(2)(BB), 16.152 (B)(2)(BC), 16.152 (B)(2)(BD), 16.152 (B)(2)(BE), 16.152 (B)(2)(BF), 16.152 (B)(2)(BG), 16.152 (B)(2)(BH), 16.152 (B)(2)(BI), 16.152 (B)(2)(BJ), 16.152 (B)(2)(BK), 16.152 (B)(2)(BL), 16.152 (B)(2)(BM), 16.152 (B)(2)(BN), 16.152 (B)(2)(BO), 16.152 (B)(2)(BP), 16.152 (B)(2)(BQ), 16.152 (B)(2)(BR), 16.152 (B)(2)(BS), 16.152 (B)(2)(BT), 16.152 (B)(2)(BU), 16.152 (B)(2)(BV), 16.152 (B)(2)(BW), 16.152 (B)(2)(BX), 16.152 (B)(2)(BY), 16.152 (B)(2)(BZ), 16.152 (B)(2)(CA), 16.152 (B)(2)(CB), 16.152 (B)(2)(CC), 16.152 (B)(2)(CD), 16.152 (B)(2)(CE), 16.152 (B)(2)(CF), 16.152 (B)(2)(CG), 16.152 (B)(2)(CH), 16.152 (B)(2)(CI), 16.152 (B)(2)(CJ), 16.152 (B)(2)(CK), 16.152 (B)(2)(CL), 16.152 (B)(2)(CM), 16.152 (B)(2)(CN), 16.152 (B)(2)(CO), 16.152 (B)(2)(CP), 16.152 (B)(2)(CQ), 16.152 (B)(2)(CR), 16.152 (B)(2)(CS), 16.152 (B)(2)(CT), 16.152 (B)(2)(CU), 16.152 (B)(2)(CV), 16.152 (B)(2)(CW), 16.152 (B)(2)(CX), 16.152 (B)(2)(CY), 16.152 (B)(2)(CZ), 16.152 (B)(2)(DA), 16.152 (B)(2)(DB), 16.152 (B)(2)(DC), 16.152 (B)(2)(DD), 16.152 (B)(2)(DE), 16.152 (B)(2)(DF), 16.152 (B)(2)(DG), 16.152 (B)(2)(DH), 16.152 (B)(2)(DI), 16.152 (B)(2)(DJ), 16.152 (B)(2)(DK), 16.152 (B)(2)(DL), 16.152 (B)(2)(DM), 16.152 (B)(2)(DN), 16.152 (B)(2)(DO), 16.152 (B)(2)(DP), 16.152 (B)(2)(DQ), 16.152 (B)(2)(DR), 16.152 (B)(2)(DS), 16.152 (B)(2)(DT), 16.152 (B)(2)(DU), 16.152 (B)(2)(DV), 16.152 (B)(2)(DW), 16.152 (B)(2)(DX), 16.152 (B)(2)(DY), 16.152 (B)(2)(DZ), 16.152 (B)(2)(EA), 16.152 (B)(2)(EB), 16.152 (B)(2)(EC), 16.152 (B)(2)(ED), 16.152 (B)(2)(EE), 16.152 (B)(2)(EF), 16.152 (B)(2)(EG), 16.152 (B)(2)(EH), 16.152 (B)(2)(EI), 16.152 (B)(2)(EJ), 16.152 (B)(2)(EK), 16.152 (B)(2)(EL), 16.152 (B)(2)(EM), 16.152 (B)(2)(EN), 16.152 (B)(2)(EO), 16.152 (B)(2)(EP), 16.152 (B)(2)(EQ), 16.152 (B)(2)(ER), 16.152 (B)(2)(ES), 16.152 (B)(2)(ET), 16.152 (B)(2)(EU), 16.152 (B)(2)(EV), 16.152 (B)(2)(EW), 16.152 (B)(2)(EX), 16.152 (B)(2)(EY), 16.152 (B)(2)(EZ), 16.152 (B)(2)(FA), 16.152 (B)(2)(FB), 16.152 (B)(2)(FC), 16.152 (B)(2)(FD), 16.152 (B)(2)(FE), 16.152 (B)(2)(FF), 16.152 (B)(2)(FG), 16.152 (B)(2)(FH), 16.152 (B)(2)(FI), 16.152 (B)(2)(FJ), 16.152 (B)(2)(FK), 16.152 (B)(2)(FL), 16.152 (B)(2)(FM), 16.152 (B)(2)(FN), 16.152 (B)(2)(FO), 16.152 (B)(2)(FP), 16.152 (B)(2)(FQ), 16.152 (B)(2)(FR), 16.152 (B)(2)(FS), 16.152 (B)(2)(FT), 16.152 (B)(2)(FU), 16.152 (B)(2)(FV), 16.152 (B)(2)(FW), 16.152 (B)(2)(FX), 16.152 (B)(2)(FY), 16.152 (B)(2)(FZ), 16.152 (B)(2)(GA), 16.152 (B)(2)(GB), 16.152 (B)(2)(GC), 16.152 (B)(2)(GD), 16.152 (B)(2)(GE), 16.152 (B)(2)(GF), 16.152 (B)(2)(GG), 16.152 (B)(2)(GH), 16.152 (B)(2)(GI), 16.152 (B)(2)(GJ), 16.152 (B)(2)(GK), 16.152 (B)(2)(GL), 16.152 (B)(2)(GM), 16.152 (B)(2)(GN), 16.152 (B)(2)(GO), 16.152 (B)(2)(GP), 16.152 (B)(2)(GQ), 16.152 (B)(2)(GR), 16.152 (B)(2)(GS), 16.152 (B)(2)(GT), 16.152 (B)(2)(GU), 16.152 (B)(2)(GV), 16.152 (B)(2)(GW), 16.152 (B)(2)(GX), 16.152 (B)(2)(GY), 16.152 (B)(2)(GZ), 16.152 (B)(2)(HA), 16.152 (B)(2)(HB), 16.152 (B)(2)(HC), 16.152 (B)(2)(HD), 16.152 (B)(2)(HE), 16.152 (B)(2)(HF), 16.152 (B)(2)(HG), 16.152 (B)(2)(HH), 16.152 (B)(2)(HI), 16.152 (B)(2)(HJ), 16.152 (B)(2)(HK), 16.152 (B)(2)(HL), 16.152 (B)(2)(HM), 16.152 (B)(2)(HN), 16.152 (B)(2)(HO), 16.152 (B)(2)(HP), 16.152 (B)(2)(HQ), 16.152 (B)(2)(HR), 16.152 (B)(2)(HS), 16.152 (B)(2)(HT), 16.152 (B)(2)(HU), 16.152 (B)(2)(HV), 16.152 (B)(2)(HW), 16.152 (B)(2)(HX), 16.152 (B)(2)(HY), 16.152 (B)(2)(HZ), 16.152 (B)(2)(IA), 16.152 (B)(2)(IB), 16.152 (B)(2)(IC), 16.152 (B)(2)(ID), 16.152 (B)(2)(IE), 16.152 (B)(2)(IF), 16.152 (B)(2)(IG), 16.152 (B)(2)(IH), 16.152 (B)(2)(II), 16.152 (B)(2)(IJ), 16.152 (B)(2)(IK), 16.152 (B)(2)(IL), 16.152 (B)(2)(IM), 16.152 (B)(2)(IN), 16.152 (B)(2)(IO), 16.152 (B)(2)(IP), 16.152 (B)(2)(IQ), 16.152 (B)(2)(IR), 16.152 (B)(2)(IS), 16.152 (B)(2)(IT), 16.152 (B)(2)(IU), 16.152 (B)(2)(IV), 16.152 (B)(2)(IW), 16.152 (B)(2)(IX), 16.152 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16.152 (B)(2)(TD), 16.152 (B)(2)(TE), 16.152 (B)(2)(TF), 16.152 (B)(2)(TG), 16.152 (B)(2)(TH), 16.152 (B)(2)(TI), 16.152 (B)(2)(TJ), 16.152 (B)(2)(TK), 16.152 (B)(2)(TL), 16.152 (B)(2)(TM), 16.152 (B)(2)(TN), 16.152 (B)(2)(TO), 16.152 (B)(2)(TP), 16.152 (B)(2)(TQ), 16.152 (B)(2)(TR), 16.152 (B)(2)(TS), 16.152 (B)(2)(TT), 16.152 (B)(2)(TU), 16.152 (B)(2)(TV), 16.152 (B)(2)(TW), 16.152 (B)(2)(TX), 16.152 (B)(2)(TY), 16.152 (B)(2)(TZ), 16.152 (B)(2)(UA), 16.152 (B)(2)(UB), 16.152 (B)(2)(UC), 16.152 (B)(2)(UD), 16.152 (B)(2)(UE), 16.152 (B)(2)(UF), 16.152 (B)(2)(UG), 16.152 (B)(2)(UH), 16.152 (B)(2)(UI), 16.152 (B)(2)(UJ), 16.152 (B)(2)(UK), 16.152 (B)(2)(UL), 16.152 (B)(2)(UM), 16.152 (B)(2)(UN), 16.152 (B)(2)(UO), 16.152 (B)(2)(UP), 16.152 (B)(2)(UQ), 16.152 (B)(2)(UR), 16.152 (B)(2)(US), 16.152 (B)(2)(UT), 16.152 (B)(2)(UU), 16.152 (B)(2)(UV), 16.152 (B)(2)(UW), 16.152 (B)(2)(UX), 16.152 (B)(2)(UY), 16.152 (B)(2)(UZ), 16.152 (B)(2)(VA), 16.152 (B)(2)(VB), 16.152 (B)(2)(VC), 16.152 (B)(2)(VD), 16.152 (B)(2)(VE), 16.152 (B)(2)(VF), 16.152 (B)(2)(VG), 16.152 (B)(2)(VH), 16.152 (B)(2)(VI), 16.152 (B)(2)(VJ), 16.152 (B)(2)(VK), 16.152 (B)(2)(VL), 16.152 (B)(2)(VM), 16.152 (B)(2)(VN), 16.152 (B)(2)(VO), 16.152 (B)(2)(VP), 16.152 (B)(2)(VQ), 16.152 (B)(2)(VR), 16.152 (B)(2)(VS), 16.152 (B)(2)(VT), 16.152 (B)(2)(VU), 16.152 (B)(2)(VV), 16.152 (B)(2)(VW), 16.152 (B)(2)(VX), 16.152 (B)(2)(VY), 16.152 (B)(2)(VZ), 16.152 (B)(2)(WA), 16.152 (B)(2)(WB), 16.152 (B)(2)(WC), 16.152 (B)(2)(WD), 16.152 (B)(2)(WE), 16.152 (B)(2)(WF), 16.152 (B)(2)(WG), 16.152 (B)(2)(WH), 16.152 (B)(2)(WI), 16.152 (B)(2)(WJ), 16.152 (B)(2)(WK), 16.152 (B)(2)(WL), 16.152 (B)(2)(WM), 16.152 (B)(2)(WN), 16.152 (B)(2)(WO), 16.152 (B)(2)(WP), 16.152 (B)(2)(WQ), 16.152 (B)(2)(WR), 16.152 (B)(2)(WS), 16.152 (B)(2)(WT), 16.152 (B)(2)(WU), 16.152 (B)(2)(WV), 16.152 (B)(2)(WW), 16.152 (B)(2)(WX), 16.152 (B)(2)(WY), 16.152 (B)(2)(WZ), 16.152 (B)(2)(XA), 16.152 (B)(2)(XB), 16.152 (B)(2)(XC), 16.152 (B)(2)(XD), 16.152 (B)(2)(XE), 16.152 (B)(2)(XF), 16.152 (B)(2)(XG), 16.152 (B)(2)(XH), 16.152 (B)(2)(XI), 16.152 (B)(2)(XJ), 16.152 (B)(2)(XK), 16.152 (B)(2)(XL), 16.152 (B)(2)(XM), 16.152 (B)(2)(XN), 16.152 (B)(2)(XO), 16.152 (B)(2)(XP), 16.152 (B)(2)(XQ), 16.152 (B)(2)(XR), 16.152 (B)(2)(XS), 16.152 (B)(2)(XT), 16.152 (B)(2)(XU), 16.152 (B)(2)(XV), 16.152 (B)(2)(XW), 16.152 (B)(2)(XZ), 16.152 (B)(2)(YA), 16.152 (B)(2)(YB), 16.152 (B)(2)(YC), 16.152 (B)(2)(YD), 16.152 (B)(2)(YE), 16.152 (B)(2)(YF), 16.152 (B)(2)(YG), 16.152 (B)(2)(YH), 16.152 (B)(2)(YI), 16.152 (B)(2)(YJ), 16.152 (B)(2)(YK), 16.152 (B)(2)(YL), 16.152 (B)(2)(YM), 16.152 (B)(2)(YN), 16.152 (B)(2)(YO), 16.152 (B)(2)(YP), 16.152 (B)(2)(YQ), 16.152 (B)(2)(YR), 16.152 (B)(2)(YS), 16.152 (B)(2)(YT), 16.152 (B)(2)(YU), 16.152 (B)(2)(YV), 16.152 (B)(2)(YW), 16.152 (B)(2)(YZ), 16.152 (B)(2)(ZA), 16.152 (B)(2)(ZB), 16.152 (B)(2)(ZC), 16.152 (B)(2)(ZD), 16.152 (B)(2)(ZE), 16.152 (B)(2)(ZF), 16.152 (B)(2)(ZG), 16.152 (B)(2)(ZH), 16.152 (B)(2)(ZI), 16.152 (B)(2)(ZJ), 16.152 (B)(2)(ZK), 16.152 (B)(2)(ZL), 16.152 (B)(2)(ZM), 16.152 (B)(2)(ZN), 16.152 (B)(2)(ZO), 16.152 (B)(2)(ZP), 16.152 (B)(2)(ZQ), 16.152 (B)(2)(ZR), 16.152 (B)(2)(ZS), 16.152 (B)(2)(ZT), 16.152 (B)(2)(ZU), 16.152 (B)(2)(ZV), 16.152 (B)(2)(ZW), 16.152 (B)(2)(ZX), 16.152 (B)(2)(ZY), 16.152 (B)(2)(ZZ).

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (3-3-1800)
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) CALENDAR DAY FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) 500 (SEC. 54), TEMPORARY SEEDING (SEC. 52) MULCHING (SEC. 52), TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE (THIS SUBMISSION)	1.0	ACRES
AREA DISTURBED	0.5	ACRES
AREA TO BE ROOFED OR PAVED	0.12	ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.38	ACRES
TOTAL CUT	500	CY
TOTAL FILL	500	CY
OFFSITE WASTE/BORROW AREA LOCATION	*	

PERMANENT SEEDBED PREPARATIONS

- SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
- SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ON OF THE FOLLOWING SCHEDULES:
 - PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (82 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. 1% OF SEEDING, APPLY 400 LBS PER AC. 20-20-20 UREA-FORM FERTILIZER (8 LBS/1000 SQ FT).
 - ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (82 LBS/1000 SQ FT) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

TEMPORARY SEEDBED PREPARATIONS

- SEEDING: FOR PERIODS MARCH 1 THROUGH APRIL 30 AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 2 1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.1 LBS/1000 SQ FT) FOR THE PERIOD MAY 1 THROUGH AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.7 LBS/1000 SQ FT) FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28. PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.
- MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 2 1/2 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

SEQUENCE OF CONSTRUCTION

- 1) OBTAIN GRADING PERMIT.
- 2) INSTALL SEDIMENT CONTROLS THAT ARE NOTED TO BE INSTALLED UNDER THIS SDP.
- 3) INSTALL AND PERMANENTLY STABILIZE USE-IN-COMMON DRIVEWAY AND DITCH WITH WRITTEN APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 4) EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDBED NOTES.
- 5) CONSTRUCT HOUSE, BACKFILL AND CONSTRUCT DRIVEWAY.
- 6) FINAL GRADE AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDBED NOTES.
- 7) WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Donald A. Mason 1/29/08
ENGINEER - DONALD A. MASON, P.E. # 21443 DATE

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Klutznick 6/12/08
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John R. Klutznick 6/12/08
DATE

John R. Klutznick 6/12/08
DATE

John R. Klutznick 6/12/08
DATE

TOPSOIL SPECIFICATIONS

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting texture subsoils and shall contain less than 5% by volume of cinders, stones, brick, concrete fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nutgrass, poison ivy, dandelion, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content or topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

TOPSOIL APPLICATION

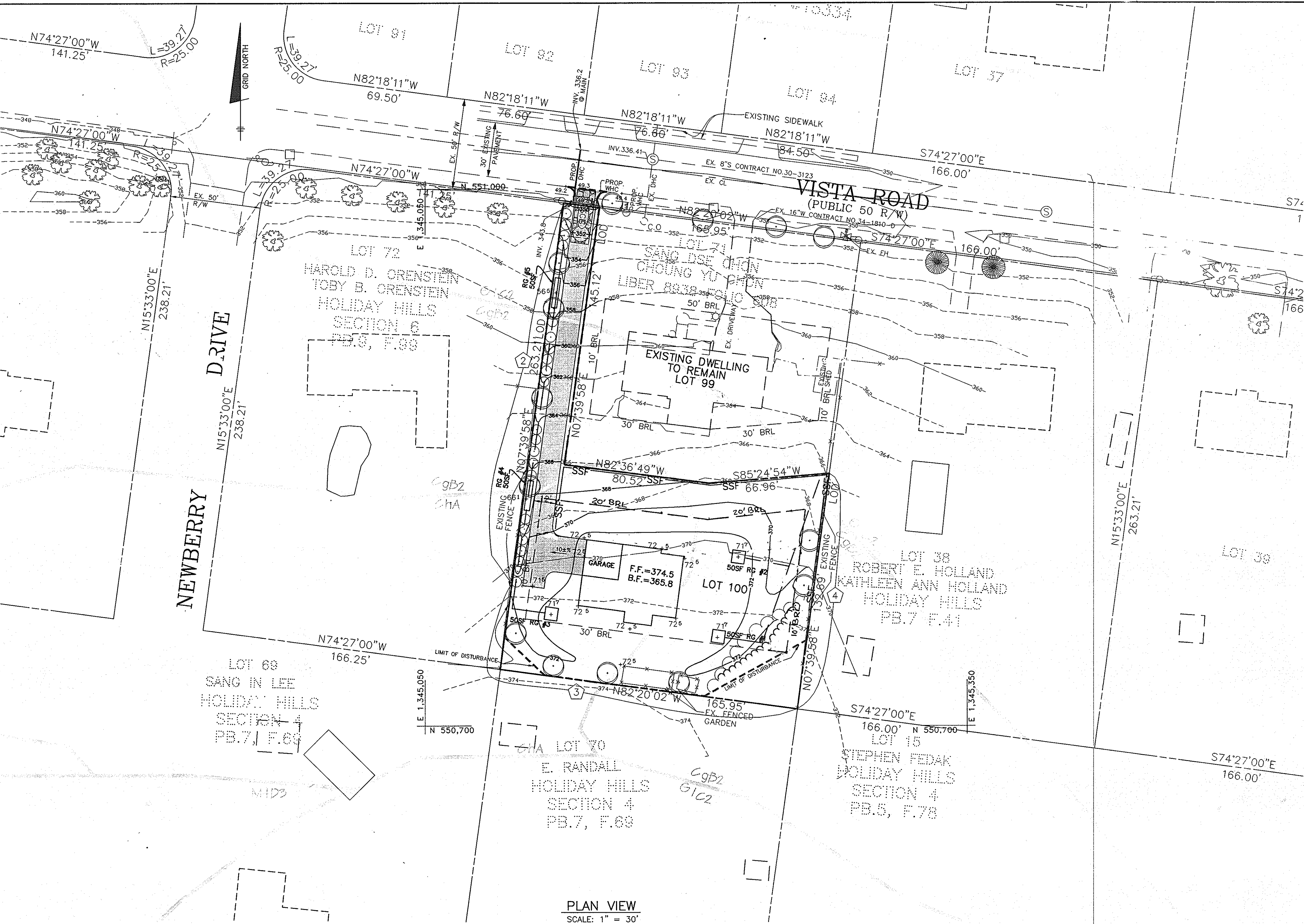
- When topdressing, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, silt traps, slope stiles and sediment traps and basins.
- Grades on the areas to be topdressed, which have been previously established, shall be maintained, about 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topdressing or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or soddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

ALTERNATIVE FOR PERMANENT SEEDING

- Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 - Composted Sludge Material for use on a soil conditioner for areas having distributed areas over 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.05.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

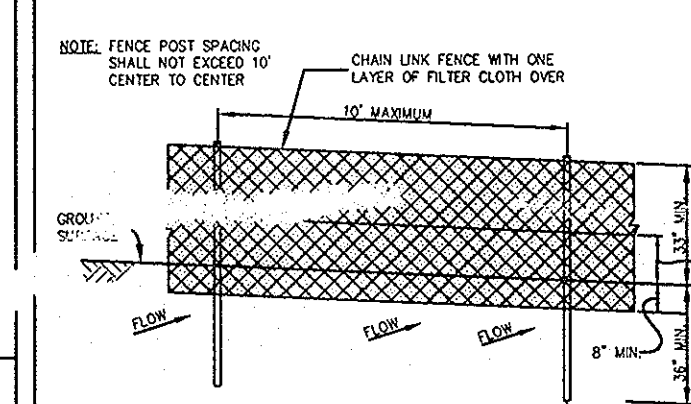
REFERENCES

Guidelines Specifications, Soil Preparation and Seeding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1973.



PLAN VIEW
SCALE: 1" = 30'

DETAIL 33 - SUPER SILT FENCE



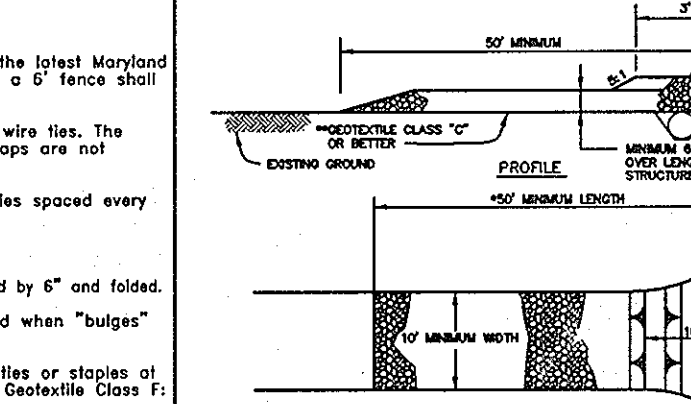
CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 5' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and cross rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" of the top and mid section.
- Filter cloth shall be embedded a minimum of 6" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples of top and mid section and shall meet the following requirements for Geotextile Class 1:

SUPER SILT FENCE DESIGN CRITERIA

Slope	Slope Stagger	Slope Length (Maximum)	Silt Fence Length (Minimum)
0 - 10%	0 - 10ft	Unlimited	Unlimited
10 - 20%	10ft - 5ft	200 feet	1,500 feet
20 - 33%	5ft - 3ft	100 feet	1,000 feet
33 - 50%	3ft - 2ft	100 feet	500 feet
50% +	2ft +	50 feet	250 feet

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATIONS

- Length - minimum of 50' (30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Concrete fabric (other cloth) shall be placed over the existing ground prior to placing stone. The stone placed directly may not require single layer resistance to use geotextile.
- Stone - crushed aggregate (1" to 3") or maximum or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrance shall be shed through the entrance, including gutter drainage. The installed through the stabilized construction entrance shall be protected with a recycled fabric with 1/2" stone and a minimum of 6" of stone over the stone. The stone to be used according to the change. When the Silt is located at a high spot and has no drainage to lower a pipe will be necessary. The stone shall be placed according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - a stabilized construction entrance shall be located at every spot where construction traffic enters or leaves a construction site. Vehicle turning the site level over the entire length of the stabilized construction entrance.

LEGEND

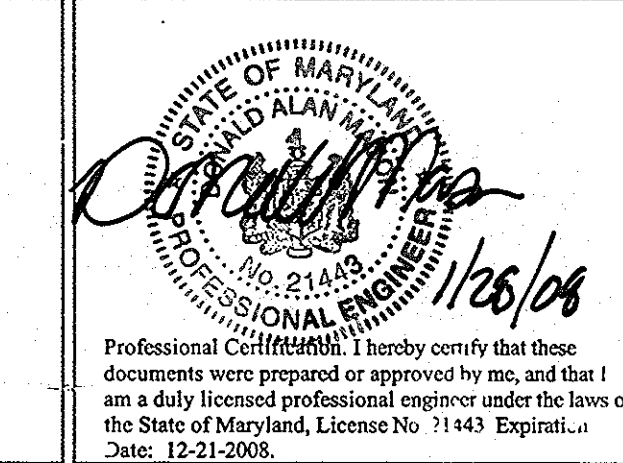
- SOILS CLASSIFICATION: AbC1
- SOILS DELINEATION: [Symbol]
- EXISTING CONTOURS: [Symbol]
- PROPOSED CONTOURS: [Symbol]
- EXISTING WOODS LINE: [Symbol]
- PROPOSED WOODS LINE: [Symbol]
- EXISTING STRUCTURE: [Symbol]
- PROPOSED STRUCTURE: [Symbol]
- SUPER SILT FENCE: [Symbol]
- LIMIT OF DISTURBANCE: [Symbol]

BENCHMARK ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE SUITE 418
ELLICOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 FAX: 410-465-8644
www.bei-civilengineering.com

OWNER:

SANG DAE CHON
10705 VISTA ROAD
COLUMBIA, MD. 21044-4223
410-531-2235



PROJECT:

HOLIDAY HILLS
SECTION 6
LOT 100

LOCATION:

TAX MAP 41, GRID: 5 PARCEL: 304
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE:

GRADING AND SEDIMENT AN
EROSION CONTROL PLAN
(SINGLE FAMILY DWELLING)

DATE:

NOVEMBER 2005
JANUARY 2008

PROJECT NO.:

1641

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DESIGN:

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DRAFT:

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JANUARY 2008

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