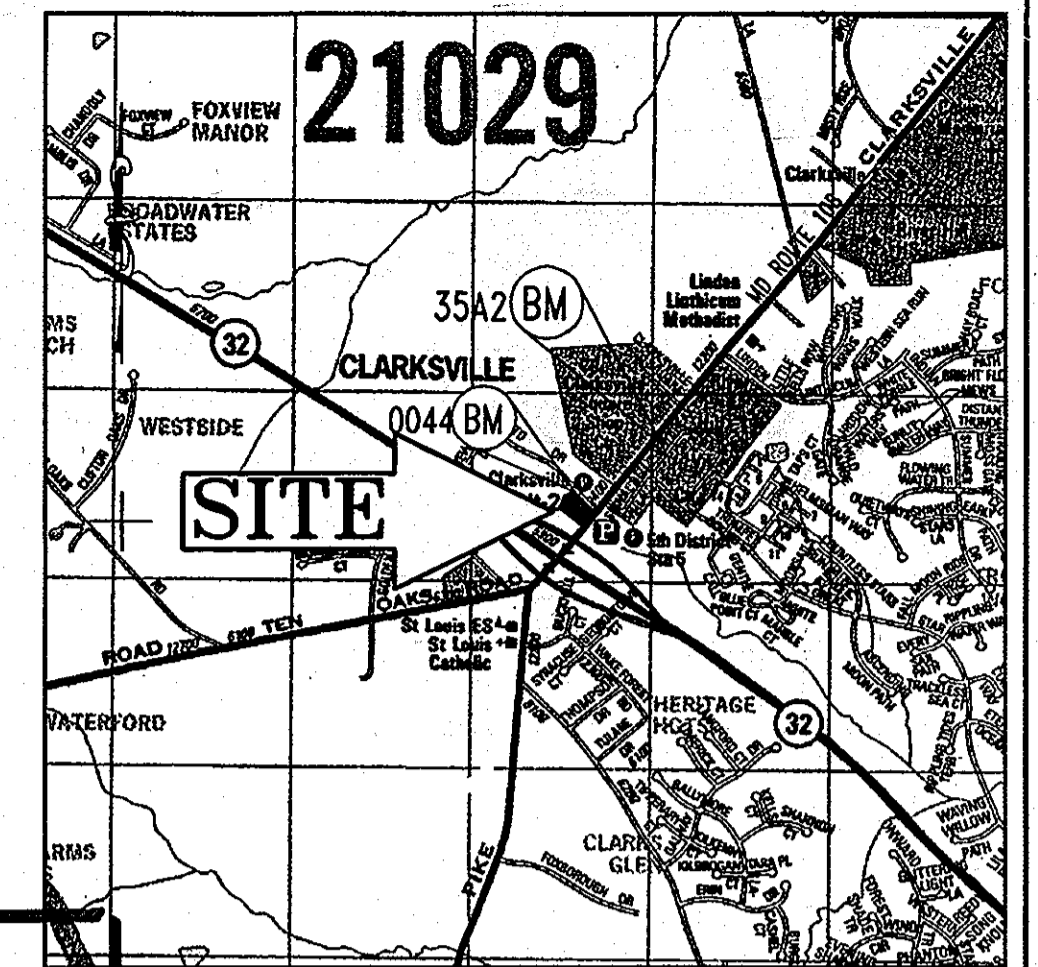


JDH CAPITAL SITE DEVELOPMENT PLANS

12400 AUTO DRIVE
TAX MAP 34, GRID 6, PARCEL 365-A
CLARKSVILLE
HOWARD COUNTY, MARYLAND



LOCATION MAP
COPYRIGHT AND THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'

COUNTY CONTROL INFORMATION

STATION 0044 (OLD STATION "348B")
HOWARD COUNTY ALUMINUM DISK SET ON A CONCRETE MONUMENT ONE THE
SOUTHEAST CORNER OF MD ROUTE 108 AND GREAT STAR DRIVE.
ELEV. = 484.56

STATION 35A2
CONCRETE MONUMENT ON THE EAST SIDE OF MD RTE. 108 ACROSS FROM THE
CLARKSVILLE LEARNING CENTER.

BENCHMARK INFORMATION

DRILLHOLE SET APPROXIMATELY 300 FEET NORTHWEST
FROM THE INTERSECTION OF AUTO DRIVE AND MD ROUTE
108. ELEVATION 482.75 (REFER TO EXISTING CONDITIONS
AND DEMOLITION PLAN FOR LOCATION).

AS-BUILT CERTIFICATION FOR PSWM

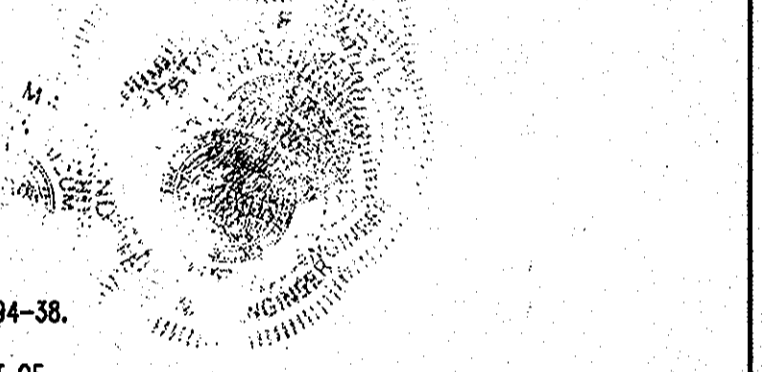
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN
WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND
COMPLIES WITH THE APPROVED PLANS AND
SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING
DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT
CLOGGING OF THE UNDERGROUND FACILITY.

Ryan C. Lintell
RYAN C. LINTELL
MARYLAND PE LICENSE NO. 28606
DATE

GENERAL NOTES:

- THIS PLAN REFERENCES A SURVEY BY CONTROL POINT ASSOCIATES: 22830 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20154 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, AUTOMOTIVE PROPERTIES, LLC, 12421 AUTO DRIVE, PARCEL A, HOLWECK SUBDIVISION, PLAT# 11179, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED 12/20/05, REVISED 12/28/05 PROJECT NO.: S056224-SR
 - THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY CONTROL POINT ASSOCIATES DATED 12/20/05.
 - EXISTING UTILITIES ARE BASED ON A SURVEY BY CONTROL POINT ASSOCIATES, INC. DATED 12/20/05.
 - THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY TRAFFIC GROUP DATED MARCH 10, 2006 AND HAS NOT BEEN APPROVED.
 - THE SUBJECT PROPERTY IS ZONED B-2 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN.
 - EXISTING USE: USED CAR DEALERSHIP
PROPOSED USE: WALGREENS PHARMACY WITH DRIVE THRU
 - BUILDING HEIGHT: 32' 11-1/2'
MAXIMUM HEIGHT ALLOWED: 40'-0"
 - PARKING:
REQUIRED -
DRUG STORE:
FIVE SPACES/1,000 SF OF FLOOR AREA
5 x (16,800/1,000) = 84 SPACES
TOTAL PARKING REQUIRED = 84 SPACES
TOTAL PARKING PROVIDED = 65 SPACES (INCLUDING 3 HANDICAP SPACES)
*PER A LETTER DATED APRIL 26, 2006, FROM HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DIVISION OF LAND DEVELOPMENT, A REDUCTION OF 19 TOTAL REQUIRED PARKING SPACES HAS BEEN GRANTED.
 - REFUSE SHALL BE DISPOSED OF DAILY IN TRASH RECEPTACLES. TRASH REMOVAL WILL BE PRIVATELY CONTRACTED.
 - SETBACKS:
- | | REQUIRED | PROPOSED |
|-------------------------|----------|----------|
| MD ROUTE 108: | | |
| USE & STRUCTURE SETBACK | 30' | 82.17' |
| PARKING SETBACK | 10' | 12.17' |
| AUTO DRIVE: | | |
| USE & STRUCTURE SETBACK | 30' | 76.30' |
| PARKING SETBACK | 10' | 10.00' |
| PRIVATE STREET: | | |
| USE & STRUCTURE SETBACK | NONE | 51.40' |
| REAR: | | |
| | NONE | 30.52' |

- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35A2 AND 0044 WERE USED FOR THIS PROJECT.
- THERE ARE NO WETLANDS ON THIS SITE.
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION REGULATIONS AND THE 2004 ZONING REGULATIONS.
- RELATED FILE APPLICATIONS: SDP-97-96, F-94-38
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$12,390 FOR 27 SHADE TREES, 0 EVERGREEN TREES, AND 143 SHRUBS.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16-124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROJECT WERE ADDRESSED WITH F-94-38.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED. (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1)



SHEET INDEX

NO.	SHEET
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS AND DEMOLITION PLAN
4	SITE PLAN
5	GRADING PLAN
6	EROSION AND SEDIMENT CONTROL PLAN
8-9	EROSION AND SEDIMENT CONTROL DETAILS
10	STORMDRAIN DRAINAGE AREA MAPS
11	STORMWATER MANAGEMENT NOTES AND DETAILS
12	SWM DRAINAGE AREA MAP
13-15	UTILITY PROFILES
16	LANDSCAPE PLAN
17	LANDSCAPE NOTES AND DETAILS
18	LIGHTING PLAN
19-21	CONSTRUCTION DETAILS
22	BUILDING FOOTPRINT
23	BORING PLAN

SITE ANALYSIS DATA CHART

PROJECT AREA: PARCEL 365-A = 1.30 ACRES = 56,628 S.F.

LIMIT OF DISTURBED AREA: 55,628 S.F. (1.30 AC.)

PRESENT ZONING: B-2 (GENERAL BUSINESS DISTRICT)

PROPOSED USE: WALGREENS PHARMACY WITH DRIVE-THRU

FLOOR AREA: 1ST FLOOR = 12,800 S.F.
2ND FLOOR = 4,000 S.F.
TOTAL FLOOR AREA = 16,800 S.F.

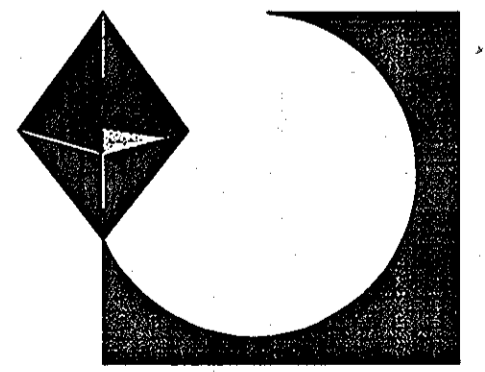
MAXIMUM NUMBER OF EMPLOYEES: 10

PARKING SPACES REQUIRED: 84 (SEE GENERAL NOTE 8 OF THIS SHEET)

PARKING SPACES PROVIDED: 65 (INCLUDING 3 HANDICAP SPACES)

BUILDING COVERAGE OF SITE: 0.38 ACRES (29.67% OF GROSS AREA)

APPLICABLE DPZ FILE REFERENCES: SDP-97-96, F-94-38



PREPARED BY:

BOHLER ENGINEERING, P.C.
810 GLENEAGLES COURT, SUITE 300
TOWSON, MARYLAND 21286
(410) 821-7900
ATTN: MATTHEW T. ALLEN, P.E.

MISS UTILITY



BEFORE YOU DIG CALL
1-800-257-7777
PROTECT YOURSELF, GIVE TWO
WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OCCUPATIONAL SAFETY AND HEALTH
ACT OF 1970 AND ALL RULES AND
REGULATIONS THEREOF APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO
HAVE ALL EXISTING UTILITIES MARKED 48
HOURS PRIOR TO ANY CONSTRUCTION.

UTILITY CONTACT INFORMATION:

NATURAL GAS AND ELECTRIC
BALTIMORE GAS AND ELECTRIC
7517 PARKWAY DRIVE
SOUTH HANOVER, MD 21076
PHONE: (410) 859-9383

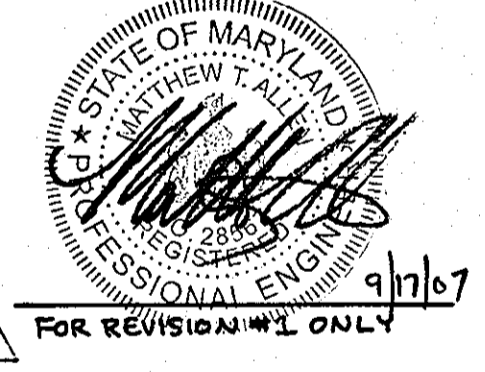
TELEPHONE
VERIZON
7133 RUTHERFORD ROAD
BALTIMORE, MD 21244
PHONE: (410) 224-5286

STORMWATER MANAGEMENT
HOWARD COUNTY PLANNING
AND ZONING DEPARTMENT
3430 COURTHOUSE DRIVE
ELLCOTT CITY, MD 21043
PHONE: (410) 313-2350

WATER AND SANITARY SEWER
HOWARD COUNTY PUBLIC WORKS BUREAU
OF UTILITIES
8250 OLD MONTGOMERY ROAD
COLUMBIA, MD 21045
PHONE: (410) 313-4910

EROSION AND SEDIMENT CONTROL
DEPARTMENT OF INSPECTIONS,
LICENSES & PERMITS
3430 COURTHOUSE DRIVE
ELLCOTT CITY, MD 21043
PHONE: (410) 313-2350

PLANNING AND ZONING
HOWARD COUNTY PLANNING
AND ZONING DEPARTMENT
3430 COURTHOUSE DRIVE
ELLCOTT CITY, MD 21043
PHONE: (410) 313-2350



APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 12/15/06
CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 12/18/06
DIRECTOR DATE: 12/20/06

APPROVED: FOR PUBLIC WATER AND PUBLIC
SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
365-A	12400 AUTO DRIVE, CLARKSVILLE, HOWARD COUNTY, MD 21029

PERMIT INFORMATION CHART

PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.
HOLWECK SUBDIVISION		365-A
PLAT RECORDATION	BLOCK #	ZONING
1119	6	B-2
TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
54	5th	6023.02
WATER CODE	SEWER CODE	
J07	6653000	

NO.	DATE	REVISION DESCRIPTION
1	9/17/07	Revised building footprint (Sheet 7)

OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC, 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217

DEVELOPER: JDH CAPITAL, 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

PROJECT: JDH CAPITAL
PARCEL A, HOLWECK SUBDIVISION
12400 AUTO DRIVE
CLARKSVILLE, HOWARD COUNTY, MARYLAND

AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2
PARCEL 365-A L. 3900, F. 465
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: COVER SHEET

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
1810 GLENEAGLES COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7900 FAX: (410) 821-7907 | www.bohlereng.com

DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MD0502039
DATE: 8/17/06
SCALE: N.T.S.
DRAWING NO. 1 OF 23

MATTHEW T. ALLEN
PROFESSIONAL ENGINEER NO. 28606

LEGEND
FOR ENTIRE PLAN SET
(NOT TO SCALE)

EXISTING

ONSITE PROPERTY LINE / R.O.W. LINE
NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE
EASEMENT LINE
SETBACK LINE
CONCRETE CURB & GUTTER
STORM SEWER
SANITARY SEWER MAIN
SANITARY SEWER LATERAL
UG WATER LINE
UG ELECTRIC LINE
UG GAS LINE
OVERHEAD WIRE
UG TELEPHONE LINE
UG CABLE LINE

PROPOSED

TYPICAL SPILL TRANSITION DEPRESSED

SPOT ELEVATIONS
CONTOUR LINE
HYDRANT
SANITARY MANHOLE
STORM MANHOLE
WATER METER
WATER VALVE
GAS VALVE
GAS METER
TYPICAL END SECTION
HEADWALL OR ENDWALL
YARD INLET
CURB INLET
CLEAN OUT
SANITARY LABEL
STORM LABEL
TYPICAL LIGHT
ACORN LIGHT
TRAFFIC LIGHT
UTILITY POLE
TYPICAL SIGN
TYPICAL NOTE TEXT
PARKING COUNTS
ELECTRIC MANHOLE
TELEPHONE MANHOLE
ELECTRIC BOX
ELECTRIC PEDESTAL
MONITORING WELL
TEST PIT
BENCHMARK
BORING
UTILITY POLE W/LIGHT
POLE LIGHT
HEAVY DUTY ASPHALT PAVING
EASEMENT

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

ISSUED FOR CONSTRUCTION

SIGNATURE DATE SIGNATURE DATE SIGNATURE DATE

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING, P.C. FOR CONSTRUCTION WITHOUT (3) SIGNATURES

BEPK PROJECT # REVISION #/DATE

DEMOLITION NOTES

- 1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY: 22630 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20164 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, AUTOMOTIVE PROPERTIES, LLC, 12421 AUTO DRIVE, PARCEL A, HOLWECK SUBDIVISION, PLAT# 11179, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED 12/20/05 REVISED 12/28/05 PROJECT NO.: S056224.SR
2. BOHLER ENGINEERING, P.C. IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
3. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER ENGINEERING, P.C. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
4. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
A. ENSURING THAT COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
B. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL AND/OR TREE PROTECTION MEASURES PRIOR TO SITE DISTURBANCE.
C. LOCATING (VERTICALLY AND HORIZONTALLY) ALL UTILITIES AND SERVICES, INCLUDING, BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
D. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
E. FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
F. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
G. A COMPLETE INSPECTION FOR CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
5. BOHLER ENGINEERING, P.C. IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
6. THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
7. IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
8. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
9. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS - OF - WAY.
10. CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
11. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE APPLICABLE PROPERTY OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
12. USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS.
13. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
14. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
15. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
16. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK OUTS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATIONS ARE TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATIONS, SIZE AND TYPE BY THE PROPER UTILITY COMPANY AND OR CONTRACTOR.
17. ELEVATIONS ARE BASED UPON NAVD 88, REF. HOWARD COUNTY CONTROL STATIONS 0044 (OLD STATION 348B) & 3542. MARYLAND STATE PLANE GRID NORTH REFERENCES HOWARD COUNTY SURVEY CONTROL STATIONS 0044 & 3542, NAD83.
18. PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "C" (AREA OF MINIMAL FLOODING PER MAP ENTITLED "NATIONAL FLOODING INSURANCE PROGRAM" FIRM-FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, PANEL 32 OF 45", COMMUNITY-PANEL NUMBER 240044 0032 B, MAP REVISED 12-4-86.

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

SITE PLAN GENERAL NOTES

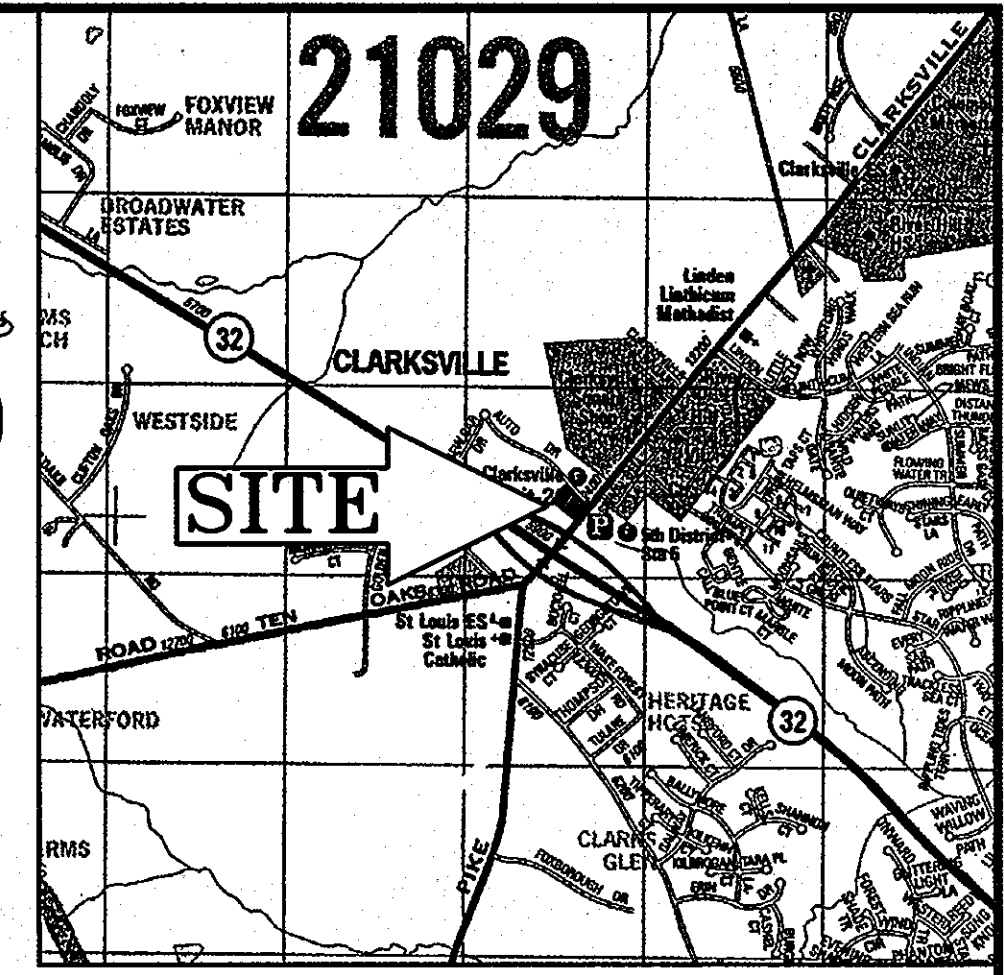
- 1. THIS PLAN IS BASED ON A SURVEY PREPARED BY: 22630 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20164 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, AUTOMOTIVE PROPERTIES, LLC, 12421 AUTO DRIVE, PARCEL A, HOLWECK SUBDIVISION, PLAT# 11179, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED 12/20/05 REVISED 12/28/05 PROJECT NO.: S056224.SR
2. ALL ELEVATIONS SHOWN ARE BASED ON THE SURVEYOR'S BENCHMARK, AS REFERENCED IN THE SURVEY, AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE DOCUMENTS AND FAMILIARIZING HIMSELF WITH SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.
3. APPLICANT: JDH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217 ATTN: MARK BALL PHONE: 704-357-1220
4. OWNER: AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217
5. PARCEL DATA: TAX MAP: 34 GRID: 6 PARCEL: 365-A
6. BULK REQUIREMENTS:
SETBACKS: REQUIRED PROPOSED
RD ROUTE 108:
USE & STRUCTURE SETBACK 30' 82.17'
PARKING SETBACK 10' 12.17'
AUTO DRIVE:
USE & STRUCTURE SETBACK 30' 76.30'
PARKING SETBACK 10' 10.00'
PRIVATE STREET:
USE & STRUCTURE SETBACK NONE 51.40'
REAR: NONE 12.80'
ZONE: B-2 (BUSINESS GENERAL)
7. PARKING REQUIREMENTS:
REQUIRED -
DRUG STORE:
FIVE SPACES/1,000 SF OF FLOOR AREA
5 x (16,800/1,000) = 84 SPACES
TOTAL PARKING REQUIRED = 84 SPACES
TOTAL PARKING PROVIDED = 65 SPACES (INCLUDING 3 HANDICAP SPACES)
*PER A LETTER DATED APRIL 26, 2006, FROM HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DIVISION OF LAND DEVELOPMENT, A REDUCTION OF 19 TOTAL REQUIRED PARKING SPACES HAS BEEN GRANTED.
8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
9. THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
10. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
11. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY BOHLER ENGINEERING, P.C. IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
12. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
13. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING, P.C. AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, P.C. IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
14. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY BOHLER ENGINEERING, P.C. IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
15. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
16. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
17. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
18. CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF PAVEMENT, STRUCTURES, ETC. TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
19. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND FOR NOTIFYING CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
20. ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
21. BOHLER ENGINEERING, P.C. IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND BOHLER ENGINEERING, P.C. WHEN A CONFLICT IS IDENTIFIED.
22. BOHLER ENGINEERING, P.C. IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAVE THEY BEEN RETAINED FOR SUCH PURPOSES.
23. ALL CONTRACTORS MUST CARRY STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, P.C., AND ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING, P.C. WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE HARMLESS BOHLER ENGINEERING, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
24. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, P.C., NOR THE PRESENCE OF BOHLER ENGINEERING, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. BOHLER ENGINEERING, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

SITE PLAN GENERAL NOTES CONTINUE

- 25. BOHLER ENGINEERING, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF BOHLER ENGINEERING, P.C. IN WRITING BY THE CONTRACTOR. BOHLER ENGINEERING, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
26. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, BOHLER ENGINEERING, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
27. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
28. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
GRADING & UTILITY NOTES
1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO BOHLER ENGINEERING, P.C.. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. ALL PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
4. DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
5. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
7. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
8. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
9. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT COMPLETED BY ECS-MID-ATLANTIC, LLC., TITLED REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION DATED NOVEMBER 16, 2005, PROJECT NO. 02-3962. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTON REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DETERMINED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
10. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
11. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
12. PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
13. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
14. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO BOHLER ENGINEERING, P.C. IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
15. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
16. REFER TO SITE PLAN FOR ADDITIONAL NOTES.
17. IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY BOHLER ENGINEERING, P.C. IN WRITING OF ANY CONFLICTS.
18. CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
19. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THEN 6" LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1)

AS-BUILT CERTIFICATION FOR PSWM
NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
[Signature] DATE
[Signature] DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] DATE 12/15/06
CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] DATE 12/15/06
CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] DATE 12/15/06
DIRECTOR
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT
NO. DATE REVISION DESCRIPTION
OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217
DEVELOPER: JDH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217
PROJECT: JDH CAPITAL PARCEL A, HOLWECK SUBDIVISION 12400 AUTO DRIVE CLARKSVILLE, HOWARD COUNTY, MARYLAND
AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2 PARCEL 365-A L 3900, F. 465 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
TITLE: GENERAL NOTES
BOHLER ENGINEERING, P.C.
DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: M062039
DATE: 8/17/06
SCALE: N.T.S.
DRAWING NO. 2 OF 23
SDP-06-080



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20694276
 SCALE: 1"=2000'

AS-BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 FRANCIS LINTHICUM
 PROFESSIONAL ENGINEER
 DATE: 11/21/11

REFER TO GENERAL NOTES SHEETS FOR ALL APPLICABLE DEMOLITION NOTES

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION

OWNERS:
 AUTO DRIVE RETAIL INVESTORS, LLC.
 3735 BEAM ROAD, SUITE B
 CHARLOTTE, NC 28217

DEVELOPER:
 JDH CAPITAL
 3735 BEAM ROAD
 SUITE B
 CHARLOTTE, NC 28217

PROJECT: JDH CAPITAL
 PARCEL A, HOLWECK SUBDIVISION
 12400 AUTO DRIVE
 CLARKSVILLE, HOWARD COUNTY, MARYLAND

AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2
 PARCEL 365-A L. 3900, F. 465
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: EXISTING CONDITIONS AND DEMOLITION PLAN

BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SERVICES
 4810 CLARKSBURG COURT, SUITE 300, TOWSON, MD 21286
 (410) 841-9900 FAX: (410) 841-7997

DESIGNED BY: J.A.D.
 DRAWN BY: R.L.B.
 PROJECT NO.: MDS2039
 DATE: 8/17/06
 SCALE: 1"=20'
 DRAWING NO. 3 OF 23

LEGEND



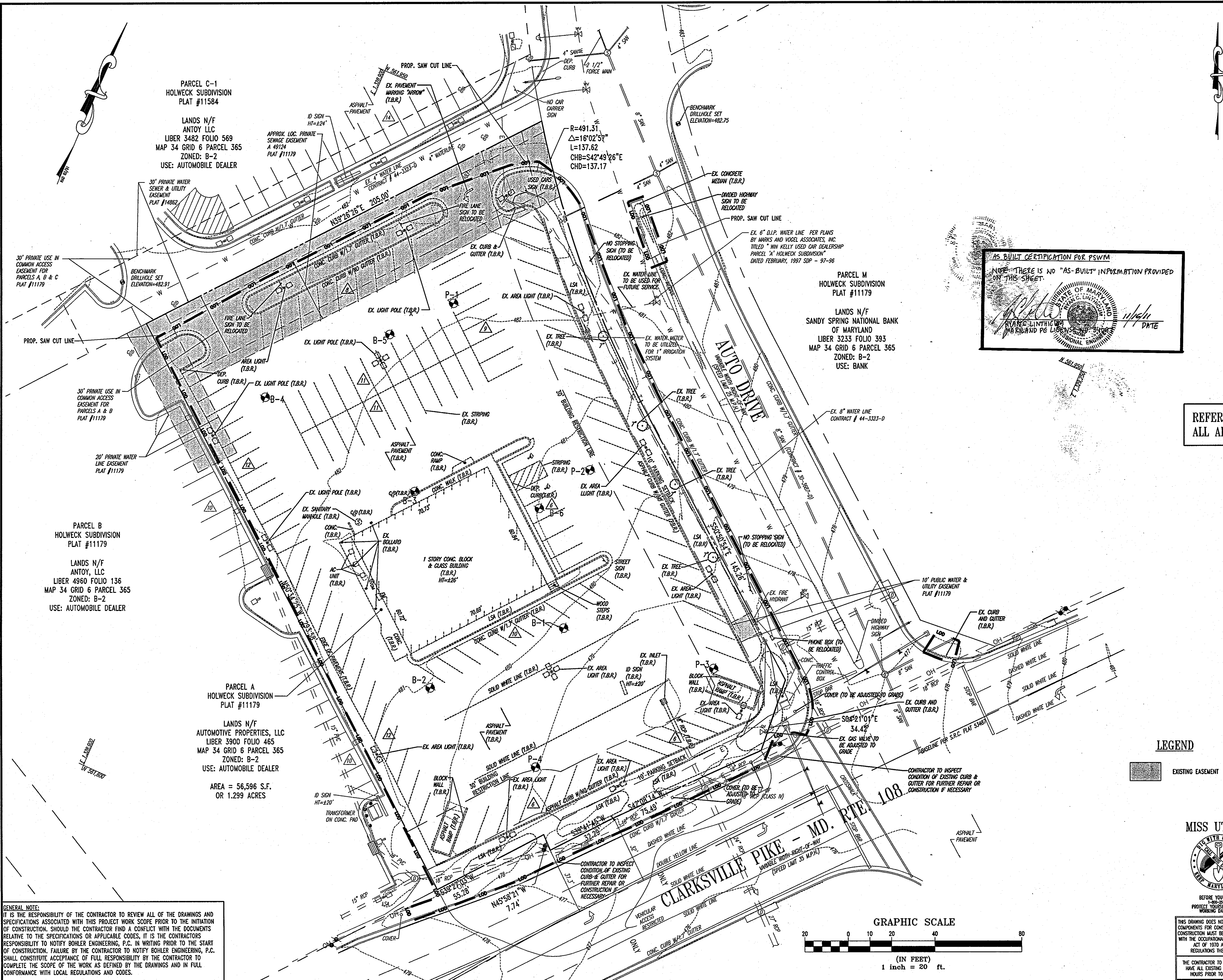
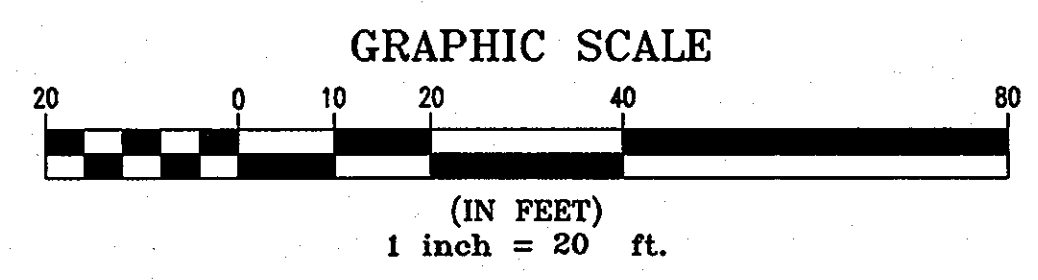
MISS UTILITY



BEFORE YOU DIG CALL 1-800-955-7777
 PROJECT YOURSELF - GIVE TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.



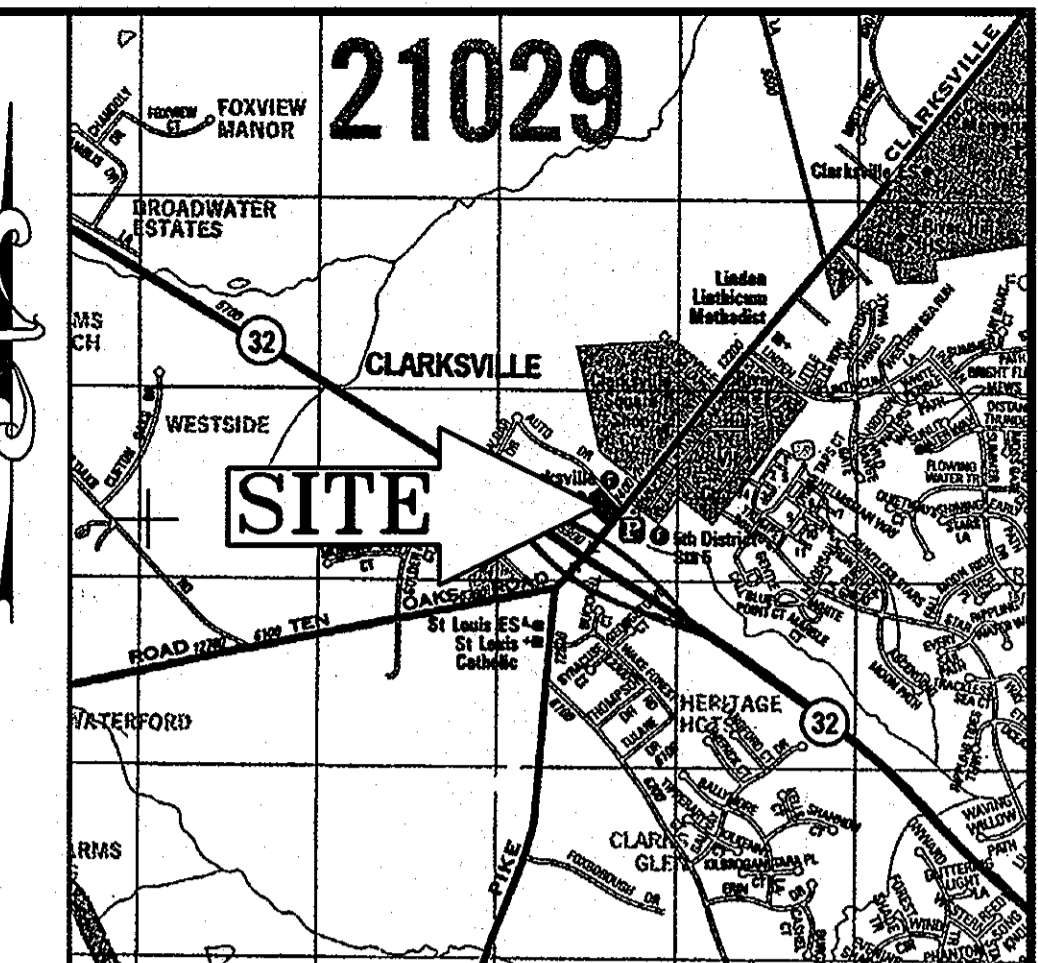
GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

PARCEL C-1
 HOLWECK SUBDIVISION
 PLAT #11584
 LANDS N/F
 ANTOY LLC
 LIBER 3482 FOLIO 569
 MAP 34 GRID 6 PARCEL 365
 ZONED: B-2
 USE: AUTOMOBILE DEALER

PARCEL M
 HOLWECK SUBDIVISION
 PLAT #11179
 LANDS N/F
 SANDY SPRING NATIONAL BANK
 OF MARYLAND
 LIBER 3233 FOLIO 393
 MAP 34 GRID 6 PARCEL 365
 ZONED: B-2
 USE: BANK

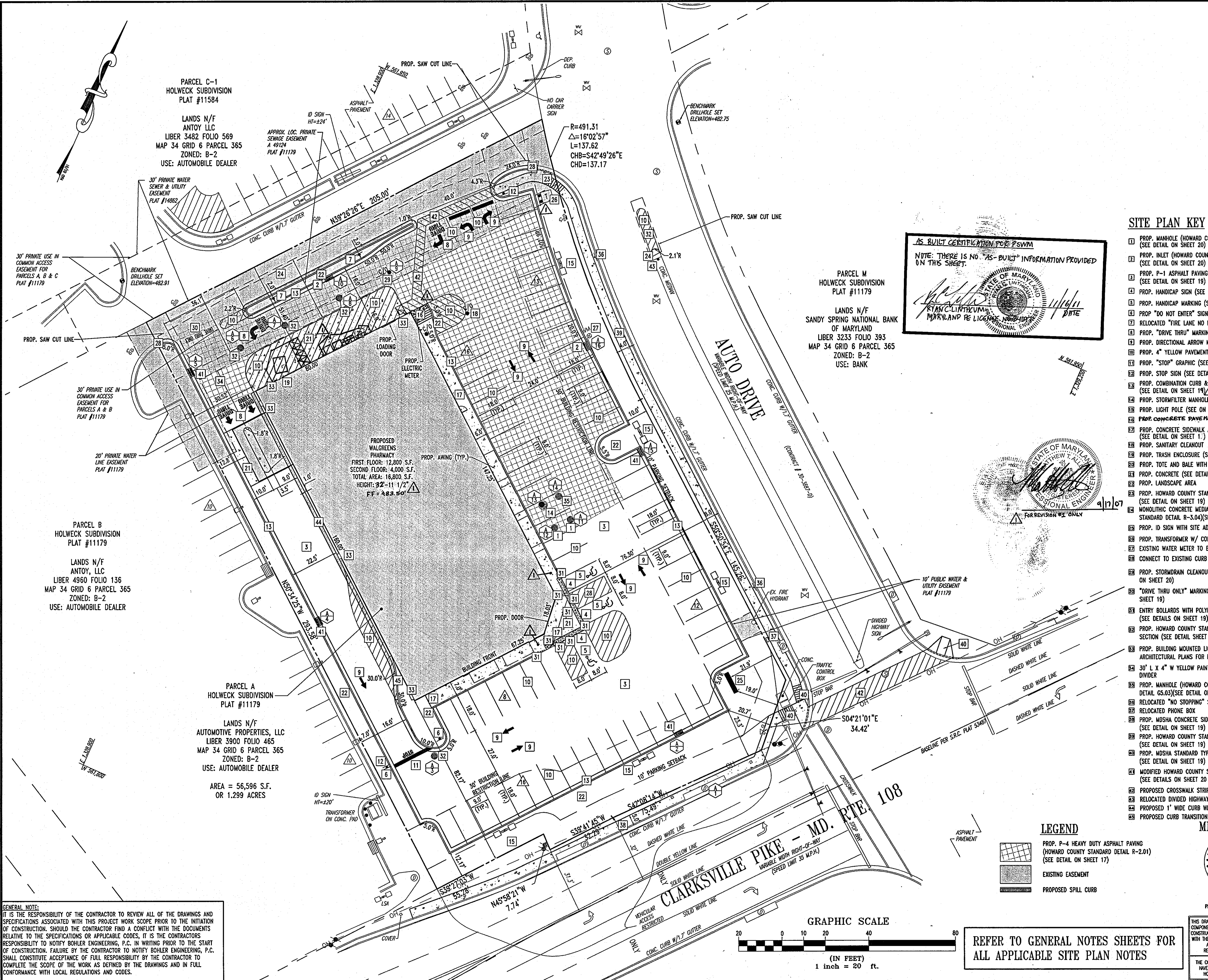
PARCEL B
 HOLWECK SUBDIVISION
 PLAT #11179
 LANDS N/F
 ANTOY, LLC
 LIBER 4960 FOLIO 136
 MAP 34 GRID 6 PARCEL 365
 ZONED: B-2
 USE: AUTOMOBILE DEALER

PARCEL A
 HOLWECK SUBDIVISION
 PLAT #11179
 LANDS N/F
 AUTOMOBILE PROPERTIES, LLC
 LIBER 3900 FOLIO 465
 MAP 34 GRID 6 PARCEL 365
 ZONED: B-2
 USE: AUTOMOBILE DEALER
 AREA = 56,596 S.F.
 OR 1.299 ACRES



LOCATION MAP

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PERMIT USE NO. 20602153-5
SCALE: 1"=2000'



PARCEL C-1
HOLWECK SUBDIVISION
PLAT #11584

LANDS N/F
ANTOY LLC
LIBER 3482 FOLIO 569
MAP 34 GRID 6 PARCEL 365
ZONED: B-2
USE: AUTOMOBILE DEALER

PARCEL M
HOLWECK SUBDIVISION
PLAT #11179

LANDS N/F
SANDY SPRING NATIONAL BANK
OF MARYLAND
LIBER 3233 FOLIO 393
MAP 34 GRID 6 PARCEL 365
ZONED: B-2
USE: BANK

AS-BUILT CERTIFICATION FOR P-SWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

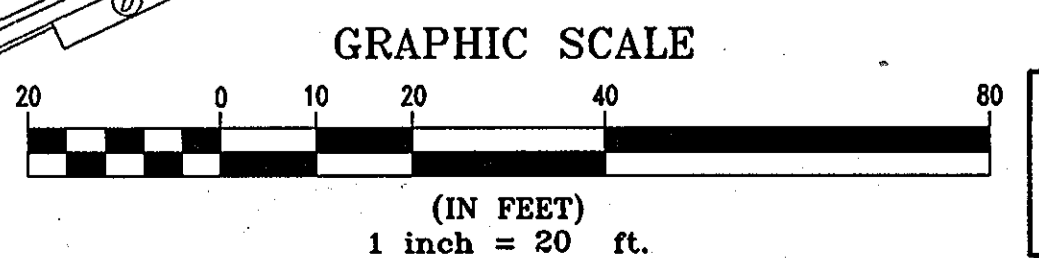
SITE PLAN KEY

- 1 PROP. MANHOLE (HOWARD COUNTY STANDARD DETAIL GS.12) (SEE DETAIL ON SHEET 20)
- 2 PROP. INLET (HOWARD COUNTY STANDARD DETAIL SD-4.22) (SEE DETAIL ON SHEET 20)
- 3 PROP. P-1 ASPHALT PAVING (HOWARD COUNTY STANDARD DETAIL R-2.01) (SEE DETAIL ON SHEET 19)
- 4 PROP. HANDICAP SIGN (SEE DETAIL ON SHEET 19)
- 5 PROP. HANDICAP MARKING (SEE DETAIL SHEET 19)
- 6 PROP. "DO NOT ENTER" SIGN (SEE DETAIL SHEET 19)
- 7 RELOCATED "FIRE LANE NO PARKING" SIGN
- 8 PROP. "DRIVE THRU" MARKING (SEE DETAIL ON SHEET 19)
- 9 PROP. DIRECTIONAL ARROW MARKING (SEE DETAIL ON SHEET 19)
- 10 PROP. 4" YELLOW PAVEMENT MARKING
- 11 PROP. "STOP" GRAPHIC (SEE DETAIL ON SHEET 19)
- 12 PROP. STOP SIGN (SEE DETAIL ON SHEET 19)
- 13 PROP. COMBINATION CURB & GUTTER (HOWARD COUNTY STANDARD DETAIL R-3.01) (SEE DETAIL ON SHEET 19)
- 14 PROP. STORMFILTER MANHOLE (SEE DETAIL ON SHEET 11)
- 15 PROP. LIGHT POLE (SEE ON SHEET 18)
- 16 PROP. CONCRETE PAVEMENT WITH 2" DETECTABLE SURFACE (SEE DETAIL ON SHEET 21)
- 17 PROP. CONCRETE SIDEWALK ALONG BUILDING (HOWARD COUNTY STANDARD DETAIL R-3.06) (SEE DETAIL ON SHEET 19)
- 18 PROP. SANITARY CLEANOUT
- 19 PROP. TRASH ENCLOSURE (SEE DETAIL ON SHEET 20)
- 20 PROP. TOTE AND BALE WITH ENCLOSURE (SEE DETAIL ON SHEET 20)
- 21 PROP. CONCRETE (SEE DETAIL ON SHEET 19)
- 22 PROP. LANDSCAPE AREA
- 23 PROP. HOWARD COUNTY STANDARD HANDICAP RAMP (SEE DETAIL ON SHEET 19)
- 24 MONOLITHIC CONCRETE MEDIAN (HOWARD COUNTY STANDARD DETAIL R-3.04) (SEE DETAIL ON SHEET 19)
- 25 PROP. ID SIGN WITH SITE ADDRESS AND MANUAL READER BOARD (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 26 PROP. TRANSFORMER W/ CONCRETE PAD AND BOLLARDS AS SHOWN
- 27 EXISTING WATER METER TO BE UTILIZED AS AN IRRIGATION METER
- 28 CONNECT TO EXISTING CURB FOR GRADE & LOCATION
- 29 PROP. STORMDRAIN CLEANOUT (SEE DETAIL ON SHEET 20)
- 30 "DRIVE THRU ONLY" MARKING (SEE DETAIL ON SHEET 19)
- 31 ENTRY BOLLARDS WITH POLYETHYLENE COVERS (SEE DETAILS ON SHEET 19)
- 32 PROP. HOWARD COUNTY STANDARD P-4 PAVING SECTION (SEE DETAIL SHEET 19)
- 33 PROP. BUILDING MOUNTED LIGHT (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 34 30" L X 4" W YELLOW PAINT STRIPE LANE DIVIDER
- 35 PROP. MANHOLE (HOWARD COUNTY STANDARD DETAIL GS.03) (SEE DETAIL ON SHEET 20)
- 36 RELOCATED "NO STOPPING" SIGN
- 37 RELOCATED PHONE BOX
- 38 PROP. MOSHA CONCRETE SIDEWALK (SEE DETAIL ON SHEET 19)
- 39 PROP. HOWARD COUNTY STANDARD CONCRETE SIDEWALK (SEE DETAIL ON SHEET 19)
- 40 PROP. MOSHA STANDARD TYPE A HANDICAP RAMP (SEE DETAIL ON SHEET 19)
- 41 MODIFIED HOWARD COUNTY STANDARD INLET (SEE DETAILS ON SHEET 20 & 21)
- 42 PROPOSED CROSSWALK STRIPING
- 43 RELOCATED DIVIDED HIGHWAY SIGN
- 44 PROPOSED 1" WIDE CURB WITH GUTTER
- 45 PROPOSED CURB TRANSITION (SEE SHEET 21 FOR DETAIL)

9/17/07

LEGEND

- PROP. P-4 HEAVY DUTY ASPHALT PAVING (HOWARD COUNTY STANDARD DETAIL R-2.01) (SEE DETAIL ON SHEET 17)
- EXISTING EASEMENT
- PROPOSED SPILL CURB



REFER TO GENERAL NOTES SHEETS FOR ALL APPLICABLE SITE PLAN NOTES

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/15/06
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 12/18/06
CHIEF-DIVISION OF LAND DEVELOPMENT DATE

[Signature] 12/21/06
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

OWNERS:
AUTO DRIVE RETAIL INVESTORS, LLC. JDH CAPITAL
3735 BEAM ROAD, SUITE B 3735 BEAM ROAD
CHARLOTTE, NC 28217 CHARLOTTE, NC 28217

PROJECT: JDH CAPITAL
PARCEL A, HOLWECK SUBDIVISION
12400 AUTO DRIVE
CLARKSVILLE, HOWARD COUNTY, MARYLAND
AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2
PARCEL 365-A L 3900, F. 465
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: SITE PLAN

BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SERVICES
4510 GREENHURST COURT, SUITE 200, TOWSON, MD 21286
(410) 821-2000 FAX (410) 821-2987

DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MD052039
DATE: 8/17/06
SCALE: 1"=20'
DRAWING NO. 4 OF 23

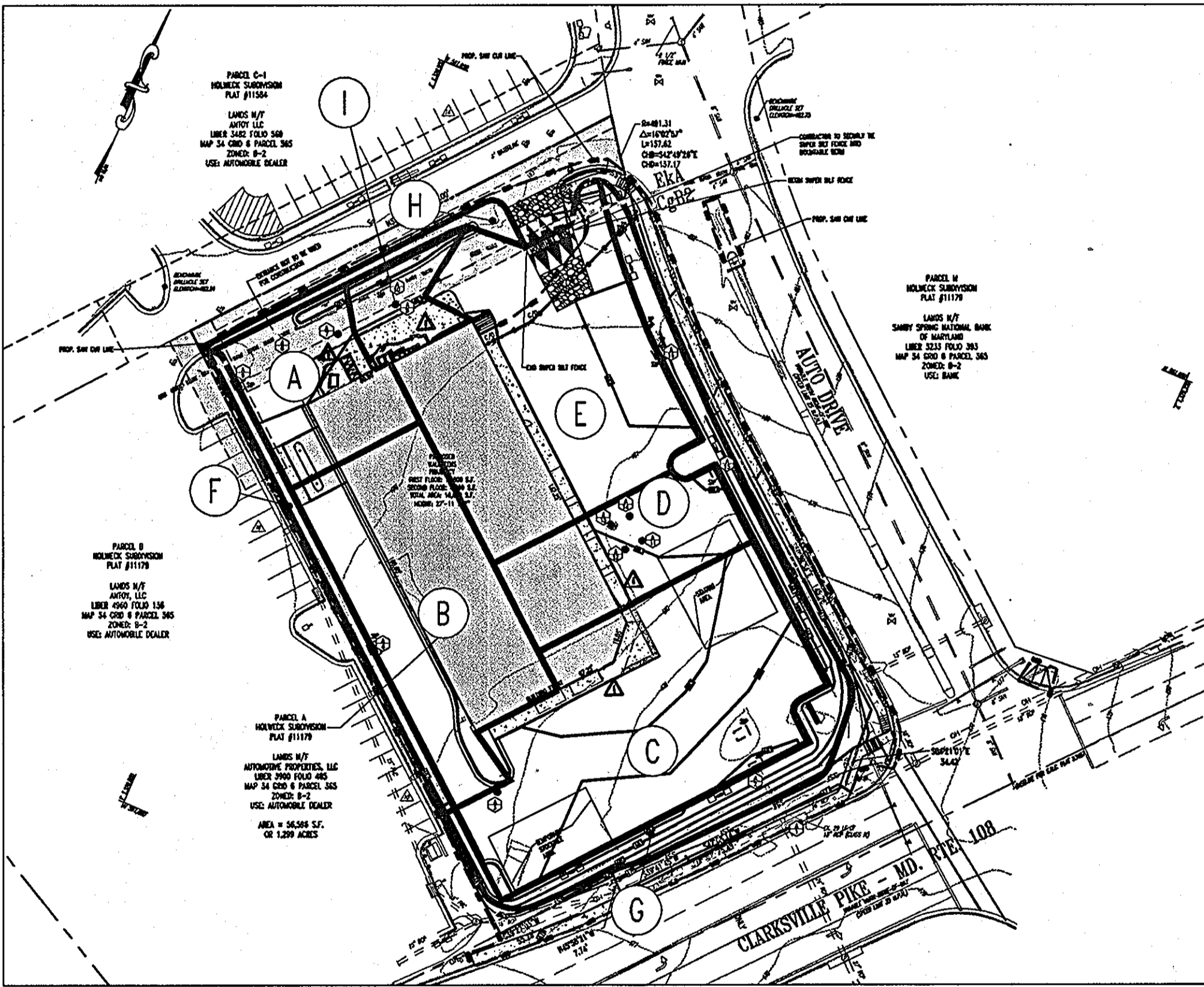
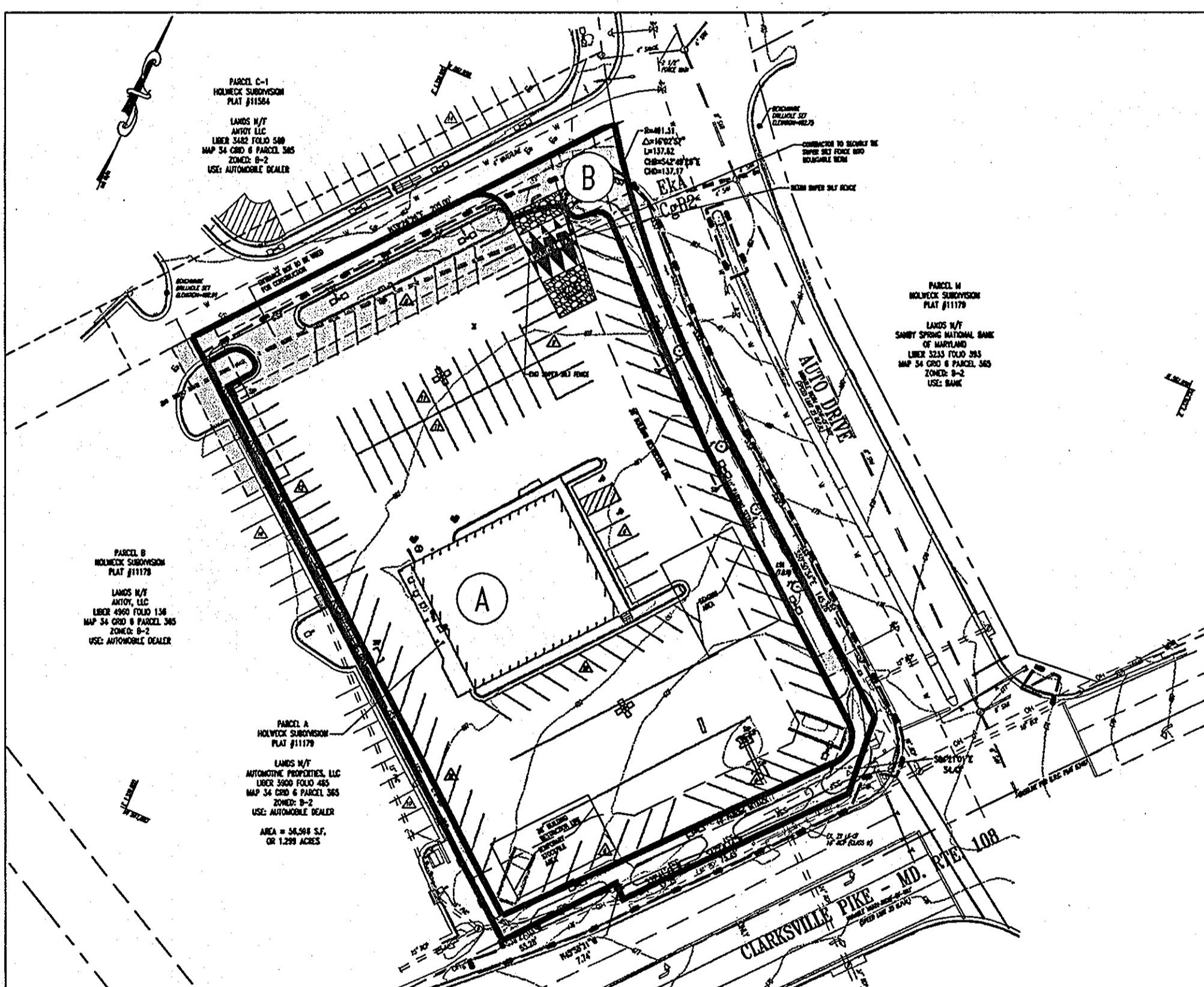
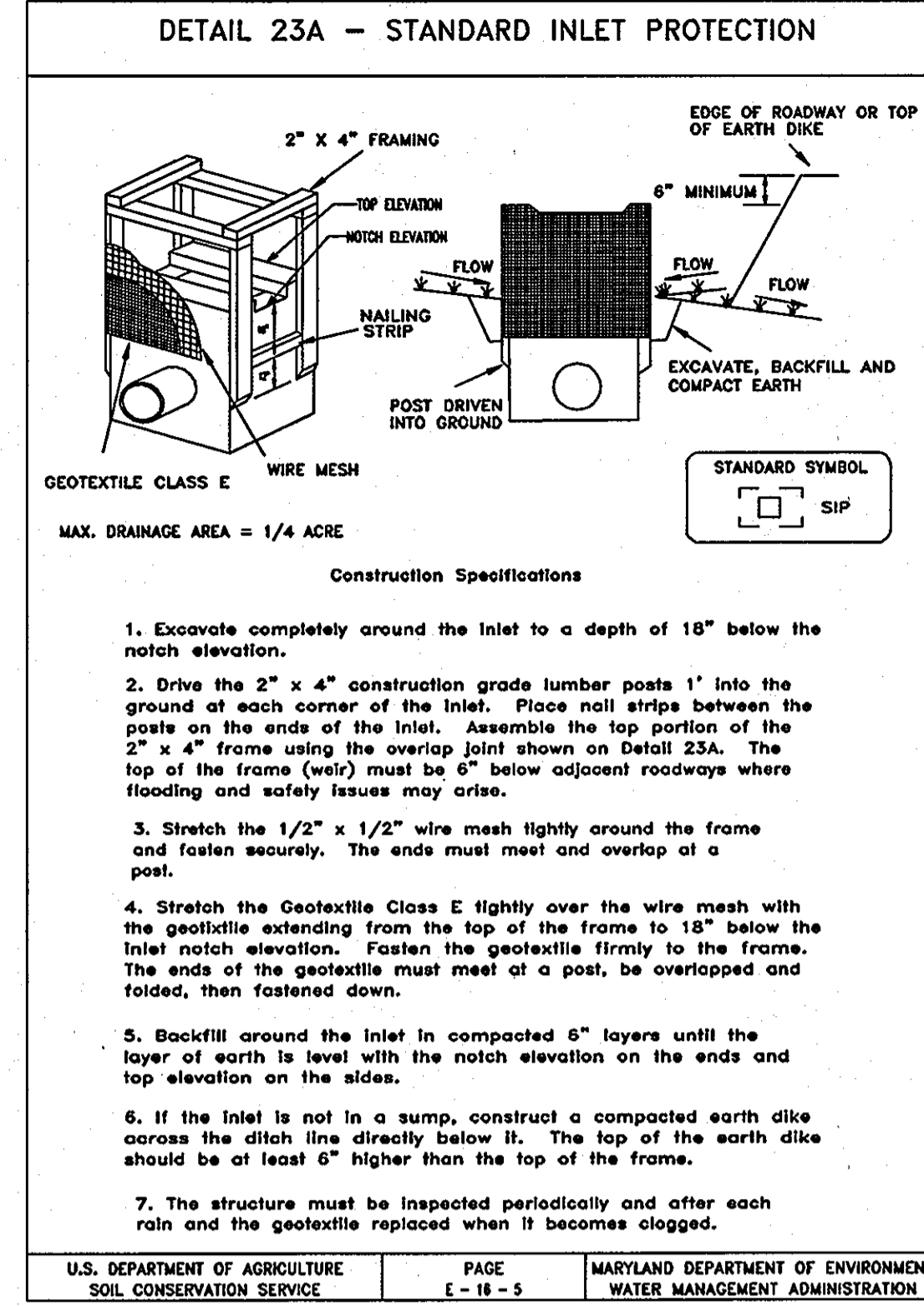
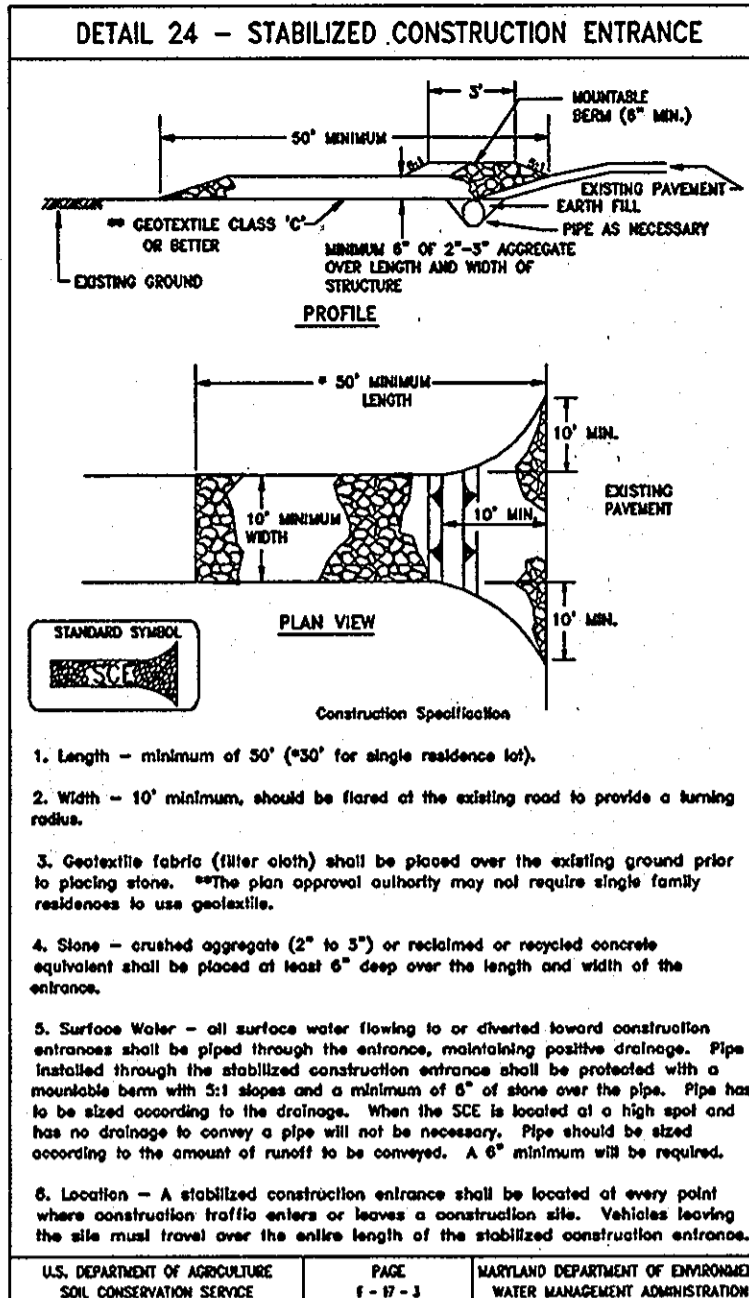
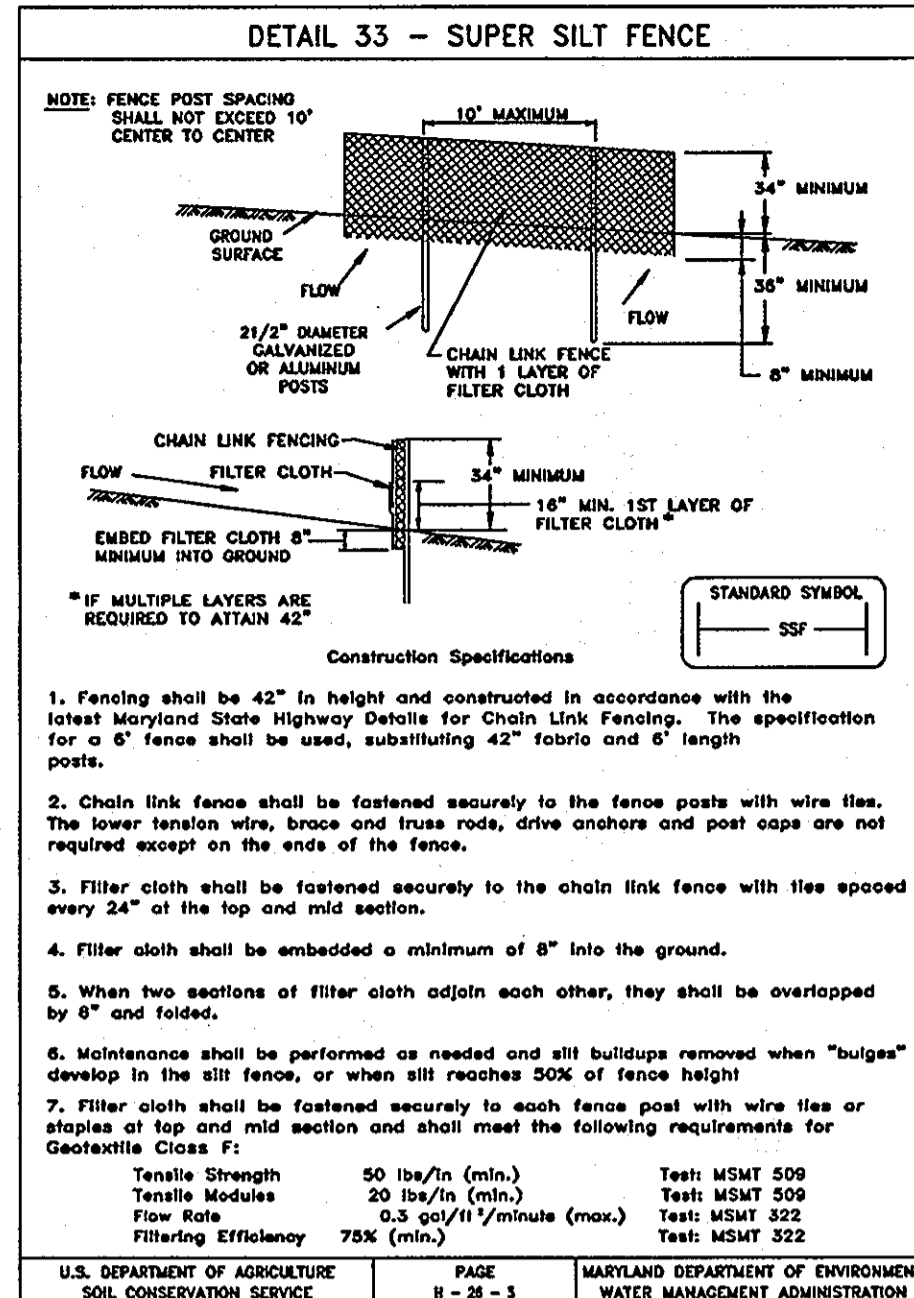
GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

BEFORE YOU DIG CALL
1-800-552-7277
PROTECT YOURSELF. GIVE TWO
WORKING DAYS NOTICE.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

SUPER SILT FENCE			
Design Criteria			
Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet



EXISTING E&S DRAINAGE AREAS
SCALE: 1"=50'

PROPOSED E&S DRAINAGE AREAS
SCALE: 1"=50'

- A** IMPERVIOUS AREA = 46,610 S.F. OR 1.07 AC.
PERVIOUS AREA = 770 S.F. OF 0.02 AC.
TOTAL AREA = 47,380 S.F. OR 1.09 AC.
TO SIP
- B** IMPERVIOUS AREA = 1,307 S.F. OR 0.03 AC.
PERVIOUS AREA = 9,148 S.F. OF 0.21 AC.
TOTAL AREA = 10,455 S.F. OR 0.24 AC.
TO 70% LF. OF SSF
- C** IMPERVIOUS AREA = 13,106 S.F. OR 0.3 AC.
PERVIOUS AREA = 270 S.F. OF 0.01 AC.
TOTAL AREA = 13,376 S.F. OF 0.31 AC.
TO SIP
- D** IMPERVIOUS AREA = 2,418 S.F. OR 0.06 AC.
PERVIOUS AREA = 1,968 S.F. OR 0.04 AC.
TOTAL AREA = 4,387 S.F. OR 0.10 AC.
TO SIP
- E** IMPERVIOUS AREA = 12,302 S.F. OR 0.27 AC.
PERVIOUS AREA = 23 S.F. OF 0.01 AC.
TOTAL AREA = 12,325 S.F. OR 0.28 AC.
TO SIP
- F** IMPERVIOUS AREA = 0 S.F. OR 0 AC.
PERVIOUS AREA = 1,110 S.F. OF 0.03 AC.
TOTAL AREA = 1,110 S.F. OF 0.03 AC.
TO SIP
- G** IMPERVIOUS AREA = 0 S.F. OR 0 AC.
PERVIOUS AREA = 5,370 S.F. OR 0.12 AC.
TOTAL AREA = 5,370 S.F. OR 0.12 AC.
TO 480 LF OF SSF
- H** IMPERVIOUS AREA = 967 S.F. OR 0.02 AC.
PERVIOUS AREA = 0 S.F. OR 0 AC.
TOTAL AREA = 967 S.F. OR 0.02 AC.
TO 160 LF OF SSF
- I** IMPERVIOUS AREA = 966 S.F. OR 0.02 AC.
PERVIOUS AREA = 698 S.F. OR 0.01 AC.
TOTAL AREA = 1,664 S.F. OR 0.03 AC.
TO SIP

AS BUILT CERTIFICATION FOR PFSWM
NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
[Signature]
RYAN C. LINTH
MARYLAND PROFESSIONAL ENGINEER

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
[Signature] 10/26/06
SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE
PRINT NAME: *[Name]*

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
[Signature] 10/26/06
SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE
PRINT NAME: GARY DAVIES

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
[Signature] 12/16/06
HOWARD - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
[Signature] 12/16/06
HOWARD SCD DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 12/15/06
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 12/17/06
CHIEF-DIVISION OF LAND DEVELOPMENT DATE

[Signature] 12/20/06
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

NO. 9/17/07 DATE
REVISION DESCRIPTION: Remove entrance ramp and A-9 Inlet

OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217

DEVELOPER: JKH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

PROJECT: WALGREENS
PARCEL A, HOLWEEK SUBDIVISION
12400 AUTO DRIVE
CLARKSVILLE, HOWARD COUNTY, MARYLAND

AREA 1.299 AC. TAX MAP 34 GRID 7 6 ZONED B-2
PARCEL 365-A L 3900, F. 465

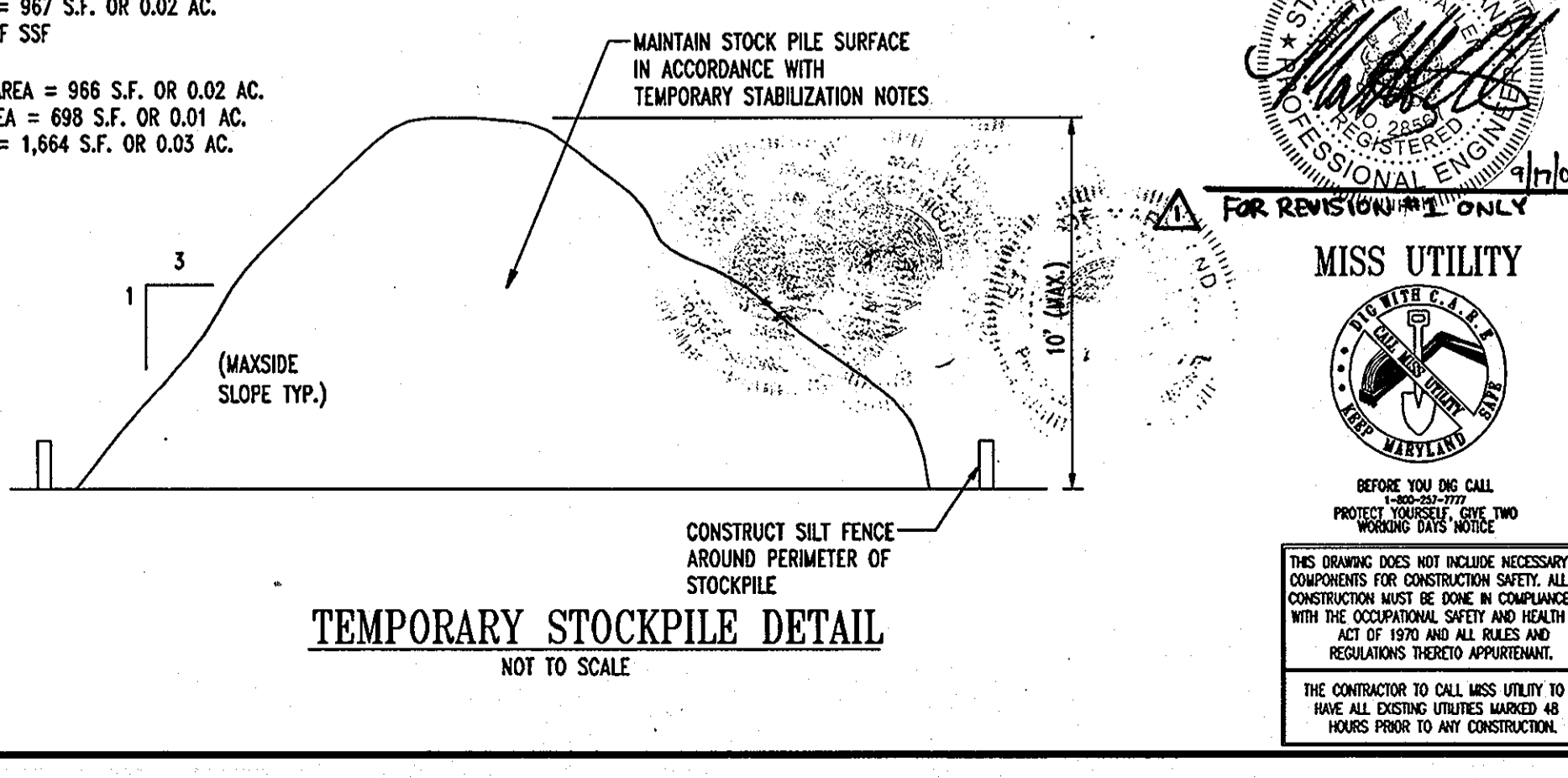
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: EROSION AND SEDIMENT CONTROL DETAILS

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
1110 GLENMOUNT COURT, SUITE 300, TOWSON, MD 21286
410-641-7000 FAX 410-641-7001

DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MD052039
DATE: 8/17/06
SCALE: 1"=20'
DRAWING NO. 8 OF 23

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



TEMPORARY STOCKPILE DETAIL
NOT TO SCALE

STATE OF MARYLAND
PROFESSIONAL ENGINEER
RYAN C. LINTH
10/26/06

MISS UTILITY
FOR REVISION ONLY

BEFORE YOU CALL
FOR REVISIONS, PLEASE
READ THE NOTES
ON THIS DRAWING

THIS DRAWING DOES NOT INCLUDE NECESSARY CONDITIONS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN CONFORMANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL APPLICABLE REGULATIONS THEREOF APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION WITH SOD

- SPECIFICATIONS:**
- CLASS OF TURFGRASS SOD SHALL BE MARYLAND STATE CERTIFIED, OR MARYLAND STATE APPROVED SOD.
 - SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
 - STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
 - INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIERS WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5 PERCENT. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
 - SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
 - SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.

SITE PREPARATION:
FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TEST. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN UNDER B, BELOW.

A. PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.

B. WHERE THE SOIL IS ACID OR COMPOSED OF HEAVY CLAYS, GROUND LIME SHALL BE SPREAD AT THE RATE OF 2 TONS PER ACRE (100 LBS./1000 SQ. FT.) IN ALL SOILS 1,000 POUNDS PER ACRE OR 25 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 FERTILIZER OR EQUIVALENT SHALL BE UNIFORMLY APPLIED AND MIXED INTO THE TOP 3 INCHES OF SOIL WITH THE REQUIRED LIME.

C. ALL AREAS RECEIVING SOD SHALL BE UNIFORMLY FINE GRADED. HARD PACKED EARTH SHALL BE SCARIFIED PRIOR TO PLACEMENT OF SOD.

SOD INSTALLATION:

A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING SOD.

B. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH COULD CAUSE AIR DRYING OF THE ROOTS.

C. ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. SECURE THE SOD BY TAMPING AND PEGGING OR OTHER APPROVED METHODS.

D. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO INSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD AREA THOROUGHLY WET. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN EIGHT HOURS.

SOD MAINTENANCE:

A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHOULD BE DONE DURING THE HEAT OF THE DAY TO PREVENT WILTING.

B. AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND INSURE ESTABLISHMENT.

C. FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF SHALL BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION, PRIOR TO THE START OF ANY CONSTRUCTION. (313-2231)
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THEREOF.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7 OF "HOWARD COUNTY DESIGN MANUAL", STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7. SITE ANALYSIS:

TOTAL SITE AREA - 56,628 S.F.
AREA DISTURBED - 56,628 S.F.
TOTAL CUT - 50 CU. YDS.
TOTAL FILL - 2,990 CU. YDS.
OFFSITE WASTE/BORROW LOCATION - TO BE RELOCATED BY THE DEVELOPER TO AN APPROVED LOCATION WITH AN APPROVED PERMIT AND SEDIMENT CONTROL PLAN

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

TOPSOIL CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

i. TOPSOIL SHALL BE LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDEHS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, NUTSEED, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED, IN THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENTATION CONTROL.

iii. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIME SHALL BE SPREAD AT THE RATE OF 4-8 TONS PER ACRE (200-400 LBS./1000 SQ. FT.) PRIOR TO PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONDUCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

i. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

IV. TOPSOIL APPLICATION

i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

ii. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.

iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

V. THESE TOPSOIL SPECIFICATIONS HAVE BEEN EDITED FROM THE 1994 EROSION AND SEDIMENT CONTROL STANDARDS TO FIT THIS PROJECT. IT IS STILL THE INTENTION TO FOLLOW THE REFERENCED 1994 EROSION AND SEDIMENT CONTROLS STANDARDS IN THEIR ENTIRETY.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).

SOILS AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)

SEEDING: FOR PERIODS MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 2 1/3 BU. PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ. FT.). FOR THE PERIOD MAY 1 THROUGH AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70-90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LBS. PER ACRE 30-0-0 AREAFORM FERTILIZER (9 LBS./1000 SQ. FT.)

2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOILS.

SEEDING: FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREA. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATION GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES, WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

2. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SPECIFIED. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SET FORTH IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

2. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDEHS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

B. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, JOHNSON GRASS, NUT SEED, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIME SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

3. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES.

A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION SECTION I-VEGETATIVE STABILIZATION METHODS AND MATERIALS.

4. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:

- PH FOR TOPSOIL SHALL BE BETWEEN 6.0 THAN 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
- ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
- TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
- NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

5. TOPSOIL APPLICATION

A. WHEN TOP SOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

B. GRADES ON THE AREAS TO BE TOP SOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.

C. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE RESULTING FROM SURFACE TOP SOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

D. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

6. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, SLUDGE AND AMENDMENTS COMMERCIAL BELOW:

A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A.1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.

A.2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.

A.3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

B. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTE. REVISED 1973.

PERMANENT SEEDING SUMMARY

NO.	SPECIES	SEED MIXTURE (HARDNESS ZONE 6B) FROM TABLE 25		SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
		APPLICATION RATE (LB/AC)				N	P ₂ O ₅	K ₂ O	
9	TALL FESCUE (86%)	120 LBS./AC. 2.9 LBS./1,000 S.F.		3/1 - 5/15 8/15 - 10/15	1"	90 LB/AC (2.0 LB/1000 SF)	175 LB/AC (4 LB/1000 SF)	175 LB/AC (4 LB/1000 SF)	2 TONS/AC (100 LB/1000 SF)
	PCA TRIVIALIS (7%)	10 LBS./AC. 23 LBS./1,000 S.F.							
	BROODPOOT TREEFOOT (7%)	10 LBS./AC. 23 LBS./1,000 S.F.			1"				

NOTE: FOR STANDARD AND SPECIFICATION FOR VEGETATIVE STABILIZATION, SEE SECTION G - "VEGETATIVE PRACTICES" IN THE "1994 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."

TEMPORARY SEEDING SUMMARY

NO.	SPECIES	SEED MIXTURE (HARDNESS ZONE 6B) FROM TABLE 26		SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-10-10)	LIME RATE
		APPLICATION RATE (LB/AC)					
1	BARLEY	122 LBS./AC. 2.5 BU./1,000 S.F.		3/1 - 4/30 8/15 - 10/15	1"-2"		
2	ANNUAL RYEGRASS	50 LBS./AC. 1.15 BU./1,000 S.F.		3/1 - 4/30 8/15 - 11/1	1/4"-1/2"	600 LB/AC (15 LB/1000 SF)	2 TONS/AC (100 LB/1000 SF)
3	TALL FESCUE	120 LBS./AC.		3/1 - 5/15	1"		

NOTE: SOD IS TO BE USED ON ALL STABILIZATION WITHIN THE PROPERTY BOUNDARY

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Signature: *Matthew T. Moore* DATE: 10/26/06
PRINT NAME: Matthew T. Moore, PE
CHIEF-DIVISION OF LAND DEVELOPMENT

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Gary Davies* DATE: 10/26/06
PRINT NAME: GARY DAVIES

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Signature: *Jim Muzler* DATE: 12/1/06
USDA - NATURAL RESOURCES CONSERVATION SERVICE

Signature: *John K. Roberts* DATE: 12/1/06
HOWARD SCD

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *Matthew* DATE: 12/15/06
CHIEF-DEVELOPMENT ENGINEERING DIVISION

Signature: *Cindy Hamstra* DATE: 12/18/06
CHIEF-DIVISION OF LAND DEVELOPMENT

Signature: *Mark W. Wyle* DATE: 12/20/06
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

OWNERS: JDH CAPITAL
3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

DEVELOPER: JDH CAPITAL
3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

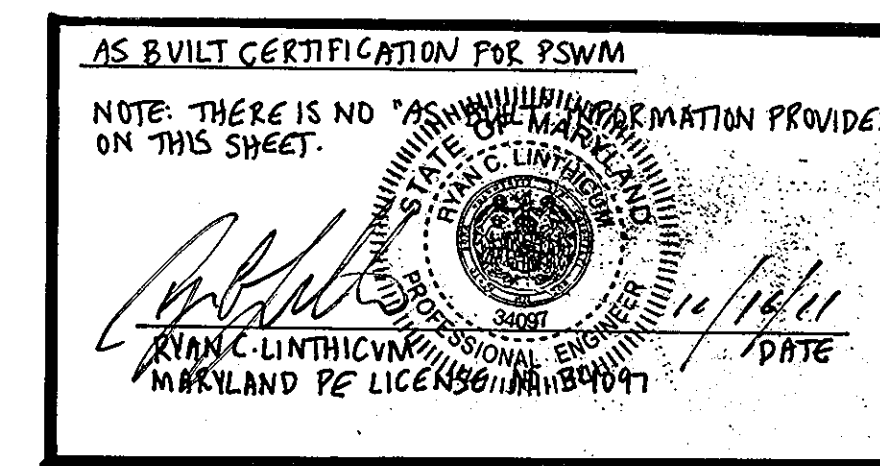
PROJECT: JDH CAPITAL
PARCEL A, HOLWECK SUBDIVISION
12400 AUTO DRIVE CLARKSVILLE, HOWARD COUNTY, MARYLAND

AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2
PARCEL 365-A L 3900, F. 465
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: EROSION AND SEDIMENT CONTROL DETAILS

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
810 GLENDALE COURT, SUITE 300, TOWSON, MD 21286
(410) 253-7000 FAX (410) 253-7001

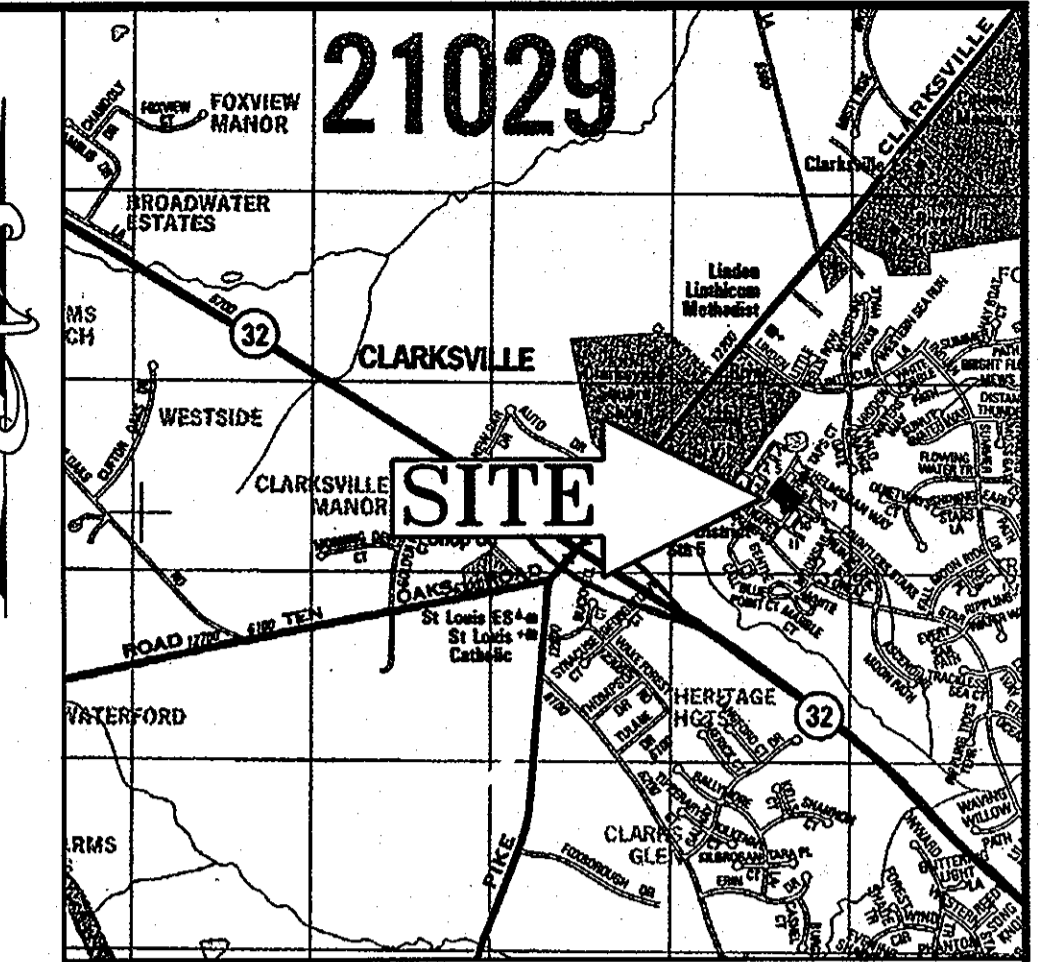
DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MD052039
DATE: 8/17/06
SCALE: N.T.S.
DRAWING NO. 9 OF 23



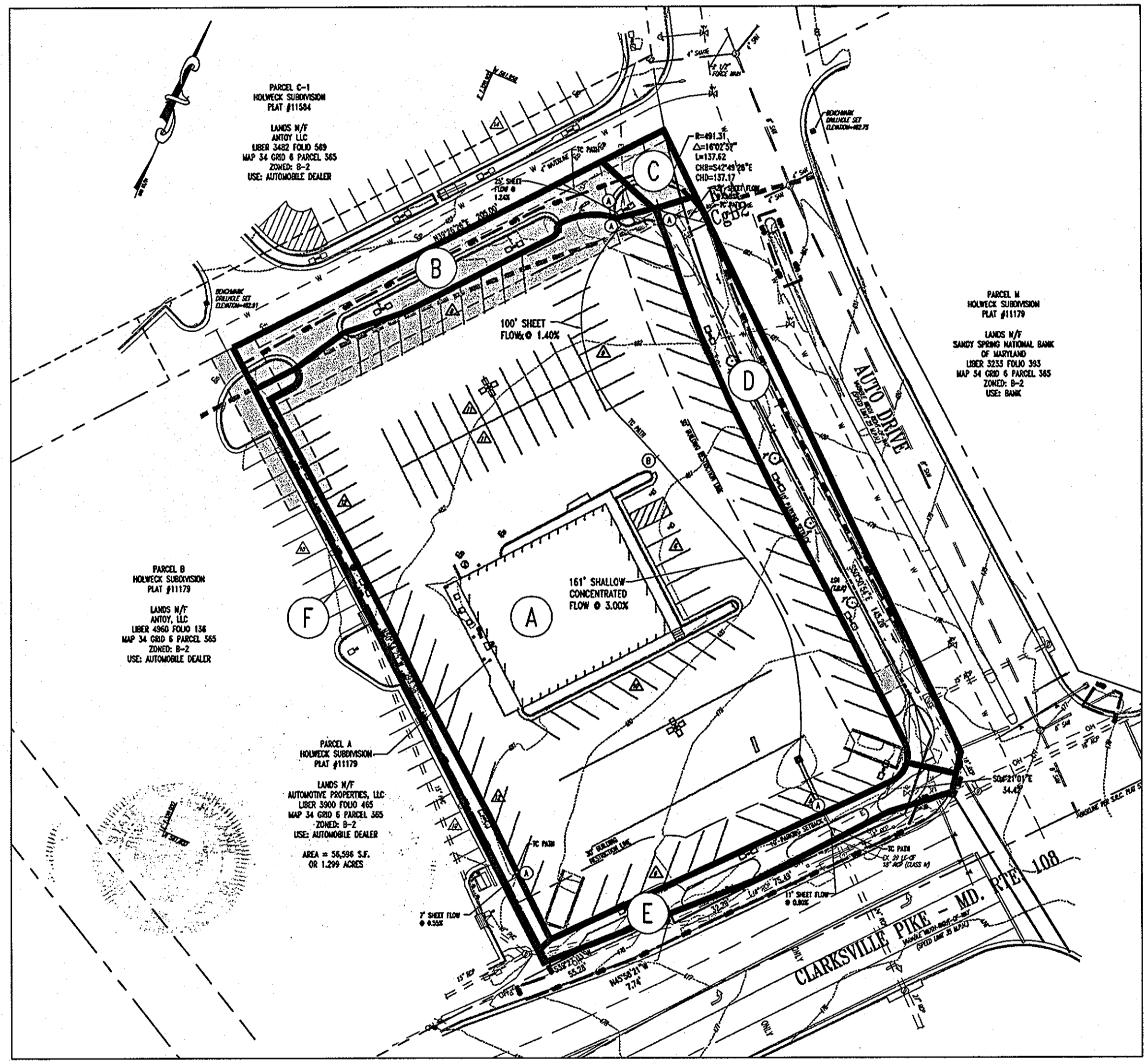
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

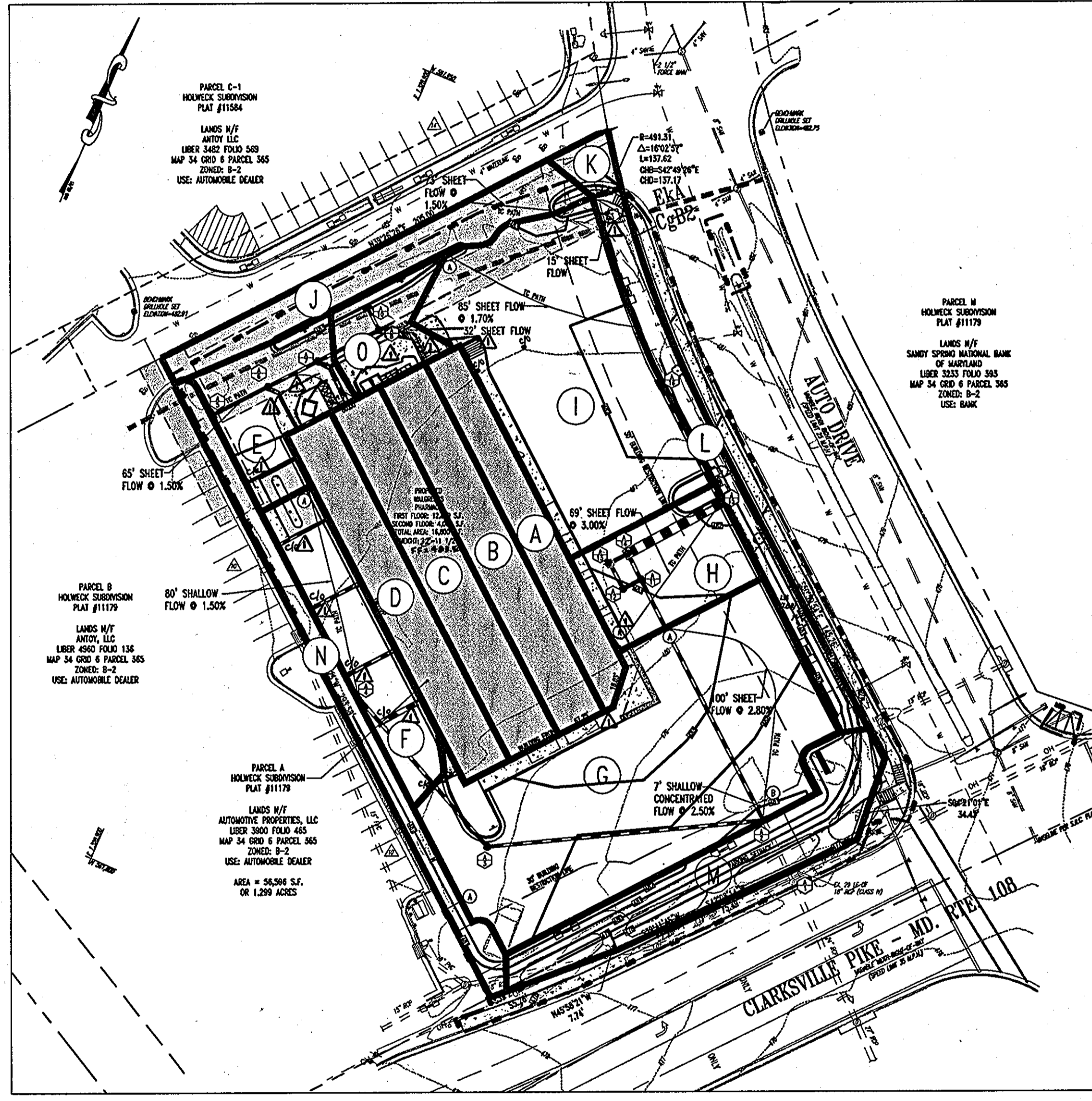
AS BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 [Signature]
 [Professional Engineer Seal]
 MARYLAND REGISTERED PROFESSIONAL ENGINEER
 DATE: 10/17/07



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'



EXISTING STORMDRAIN DRAINAGE AREAS
 SCALE: 1"=40'



PROPOSED STORMDRAIN DRAINAGE AREAS
 SCALE: 1"=40'

A	IMPERVIOUS AREA = 44,867 S.F. OR 1.03 AC. PERVIOUS AREA = 436 S.F. OF 0.01 AC. TOTAL AREA = 45,303 S.F. OR 1.04 AC.	D	IMPERVIOUS AREA = 0 S.F. OR 0.00 AC. PERVIOUS AREA = 2,614 S.F. OF 0.06 AC. TOTAL AREA = 2,614 S.F. OR 0.06 AC.
B	IMPERVIOUS AREA = 2,614 S.F. OR 0.06 AC. PERVIOUS AREA = 871 S.F. OF 0.02 AC. TOTAL AREA = 3,485 S.F. OR 0.08 AC.	E	IMPERVIOUS AREA = 0 S.F. OR 0.00 AC. PERVIOUS AREA = 2,613 S.F. OF 0.06 AC. TOTAL AREA = 2,613 S.F. OR 0.06 AC.
C	IMPERVIOUS AREA = 437 S.F. OR 0.01 AC. PERVIOUS AREA = 436 S.F. OF 0.01 AC. TOTAL AREA = 873 S.F. OR 0.02 AC.	F	IMPERVIOUS AREA = 0 S.F. OR 0.00 AC. PERVIOUS AREA = 1,742 S.F. OF 0.04 AC. TOTAL AREA = 1,742 S.F. OR 0.04 AC.

A	IMPERVIOUS AREA = 2,170 S.F. OR 0.05 AC. PERVIOUS AREA = 0 S.F. OF 0 AC. TOTAL AREA = 2,170 S.F. OR 0.05 AC.	E	IMPERVIOUS AREA = 2,178 S.F. OR 0.05 AC. PERVIOUS AREA = 336 S.F. OF 0.01 AC. TOTAL AREA = 2,514 S.F. OR 0.06 AC.	I	IMPERVIOUS AREA = 8,277 S.F. OR 0.19 AC. PERVIOUS AREA = 323 S.F. OF 0.01 AC. TOTAL AREA = 8,600 S.F. OR 0.20 AC.	M	IMPERVIOUS AREA = 0 S.F. OR 0 AC. PERVIOUS AREA = 2,514 S.F. OR 0.06 AC. TOTAL AREA = 2,514 S.F. OR 0.06 AC.
B	IMPERVIOUS AREA = 4,800 S.F. OR 0.11 AC. PERVIOUS AREA = 0 S.F. OF 0 AC. TOTAL AREA = 4,800 S.F. OR 0.11 AC.	F	IMPERVIOUS AREA = 3,050 S.F. OR 0.07 AC. PERVIOUS AREA = 0 S.F. OF 0 AC. TOTAL AREA = 3,050 S.F. OR 0.07 AC.	J	IMPERVIOUS AREA = 3,565 S.F. OR 0.08 AC. PERVIOUS AREA = 871 S.F. OF 0.02 AC. TOTAL AREA = 4,436 S.F. OR 0.10 AC.	N	IMPERVIOUS AREA = 0 S.F. OR 0 AC. PERVIOUS AREA = 3,050 S.F. OR 0.07 AC. TOTAL AREA = 3,050 S.F. OR 0.07 AC.
C	IMPERVIOUS AREA = 3,680 S.F. OR 0.08 AC. PERVIOUS AREA = 0 S.F. OF 0 AC. TOTAL AREA = 3,680 S.F. OF 0.08 AC.	G	IMPERVIOUS AREA = 11,326 S.F. OR 0.26 AC. PERVIOUS AREA = 323 S.F. OF 0.01 AC. TOTAL AREA = 11,649 S.F. OF 0.27 AC.	K	IMPERVIOUS AREA = 11,326 S.F. OR 0.26 AC. PERVIOUS AREA = 323 S.F. OF 0.01 AC. TOTAL AREA = 11,649 S.F. OF 0.27 AC.	O	IMPERVIOUS AREA = 871 S.F. OR 0.02 AC. PERVIOUS AREA = 1,944 S.F. OF 0.05 AC. TOTAL AREA = 2,815 S.F. OR 0.07 AC.
D	IMPERVIOUS AREA = 2,240 S.F. OF 0.05 AC. PERVIOUS AREA = 0 S.F. OF 0 AC. TOTAL AREA = 2,240 S.F. OF 0.05 AC.	H	IMPERVIOUS AREA = 3,050 S.F. OF 0.07 AC. PERVIOUS AREA = 323 S.F. OF 0.01 AC. TOTAL AREA = 3,373 S.F. OF 0.08 AC.	L	IMPERVIOUS AREA = 0 S.F. OR 0 AC. PERVIOUS AREA = 3,050 S.F. OR 0.07 AC. TOTAL AREA = 3,050 S.F. OR 0.07 AC.		

NOTE:
 ALL SOILS ARE CLASSIFICATION TYPE B

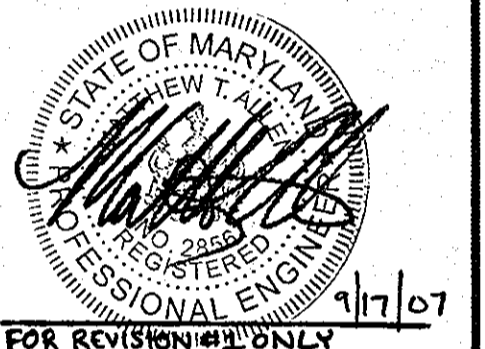
SOIL TYPES

CgB2 CHESTER SILT LOAM, 3-8% SLOPES
 MODERATELY ERODED

EkA ELOAK SILT LOAM, 0-3% SLOPES
 UNERODED OR SLIGHTLY ERODED

LEGEND

--- SOILS DELINEATION
 EKA SOILS TYPE



NOTE: A 'C' VALUE OF 0.72 WAS USED FOR ALL DRAINAGE AREAS

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Signature: [Signature] DATE: 10/21/06
 PRINT NAME: GARY DAVIES

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature] DATE: 10/27/06
 PRINT NAME: GARY DAVIES

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Signature: [Signature] DATE: 12/16/06
 HOWARD SCD

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: [Signature] DATE: 12/16/06
 HOWARD SCD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: [Signature] DATE: 12/15/06
 CHIEF-DEVELOPMENT ENGINEERING DIVISION

Signature: [Signature] DATE: 12/19/06
 CHIEF-DIVISION OF LAND DEVELOPMENT

Signature: [Signature] DATE: 12/15/06
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

Signature: [Signature] DATE: []
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

NO. 1 DATE: 9/17/07 REVISION DESCRIPTION: Revised drainage area map for stormwater management. REVISION DESCRIPTION: A-3

OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217

DEVELOPER: JGH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

PROJECT: JGH CAPITAL PARCEL A, HOLWICK SUBDIVISION 12400 AUTO DRIVE CLARKSVILLE, HOWARD COUNTY, MARYLAND AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2 PARCEL 385-A L 3900, F. 465 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: STORMDRAIN DRAINAGE AREA MAPS

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 4810 GREENGLADES COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7987 | www.bohlereng.com

DESIGNED BY: J.A.D.
 DRAWN BY: R.L.B.
 PROJECT NO.: MD052039
 DATE: 8/17/06
 SCALE: 1"=40'
 DRAWING NO. 10 OF 25

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

MISS UTILITY

BEFORE YOU DIG CALL 1-800-367-7777
 PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

StormFilter™ Specifications
PRECAST FILTER UNIT

PART 1 GENERAL

1.1 Description
The Contractor shall furnish and install the StormFilter stormwater treatment system, complete and operable as shown and as specified herein, in accordance with the requirements of the plans and contract documents.
StormFilter stormwater treatment system shall consist of an underground Pre-Cast or Cast-In-Place structure that houses passive siphon-actuated, radial-flow media-filled filter cartridges.
The radial-flow filter cartridges shall be rechargeable, and shall incorporate a self-actuated surface cleaning mechanism to increase the effective life of the filter media and to reduce the accumulation of material on the cartridge interface.
Each radial-flow filter cartridge shall operate at a predetermined flow rate through the use of an integrated flow control orifice located within each filter cartridge.

1.2 Manufacturer
The StormFilter stormwater treatment system shall be of a type that has been installed and in use successfully for a minimum of five (5) or more years. StormFilter stormwater treatment system shall be supplied by Stormwater Management, Inc. (SMI), 22021-5 NE Airport Way, Portland, OR 97220 (503) 548-4667, without exception.

1.3 Related Sections
A. Section []

1.4 Submittals
A. Submit shop drawings for StormFilter stormwater treatment system vault, filter media cartridges and accessory equipment including principal dimensions, filter placement, location of piping and unit foundation.
B. Submit StormFilter stormwater treatment system Operation and Maintenance Manual upon request.

PART 2 PRODUCTS

2.1 Internal Components
All internal components including ABS and PVC manifold piping, filter cartridge(s), filter media (as specified on the plans in the StormFilter data block or by the Engineer), flow spreaders, and energy dissipaters shall be provided by Stormwater Management, Inc.

A. PVC manifold pipe and fittings shall meet ASTM D1785. ABS manifold pipe and fittings shall meet ASTM F-628.
B. Filter cartridge bottom pan, inner ring, and hood shall be constructed from spun linear low-density polyethylene (LLDPE). Filter cartridge screen shall consist of galvanized 1" x 1/4" welded wire fabric (16 gauge minimum) with a bonded PVC coating. Internal parts shall consist of PVC or ABS pipe and fittings. Siphon-piping float shall be constructed from linear low-density polyethylene. Outer filter fabric shall be 30 x 8.5 clear fiberglass mesh. Inner filter fabric shall be 10 x 8.5 clear fiberglass mesh over Enkamat 7210 or woven polyethylene with a US Standard Sieve #20 opening size. All miscellaneous nuts, bolts, screws, and other fasteners shall be stainless steel.

An orifice plate shall be supplied with each cartridge to restrict flow rate to a maximum of between 5-15 GPM per specific design requirements.
C. Filter media shall be provided by SMI or approved alternate source. Filter media shall consist of one or more of the following, as specified in the StormFilter data block, or by the Engineer:

1. **Perlite Media:** Perlite media shall be made of natural siliceous-volcanic rock free of any debris or foreign matter. The perlite media shall have a bulk density ranging from 6.5 to 8.5 lb/ft³ and particle sizes ranging from 0.06 to 0.50 inches.
2. **CSF Leaf Media:** CSF leaf media shall be made exclusively of fallen deciduous leaves with less than 5% by dry weight of woody or green yard debris materials. Filter media shall be granular and shall contain less than 0.5% foreign material such as glass or plastic contaminants. Media shall be dry at the time of installation.

The CSF leaf media shall have a bulk density ranging from 40 to 50 lb/ft³ and particle sizes ranging from 0.05 to 0.625 inches for at least 90% of particles. Maximum level of dust for filter media shall be defined as: media passing through a US Standard Sieve #4 shall have no more than 10% (by mass of dry media) passing a US Standard Sieve #45.

3. YXCSF Leaf Media: YXCSF leaf media shall be made exclusively of fallen deciduous leaves with less than 5% by dry weight of woody or green yard debris materials. Filter media shall be granular and shall contain less than 0.5% foreign material such as glass or plastic contaminants. Media shall be dry at the time of installation.
4. The YXCSF leaf media shall have a bulk density ranging from 45 to 65 lb/ft³. Particle size range is dependent upon manufacturing conditions at the time of production. Media produced for this project shall have a particle size between 0.05 and 0.25 inches for 90% of particles. Maximum level of dust for filter media shall be defined as: media passing through a US Standard Sieve #4 shall have no more than 10% (by mass of dry media) passing a US Standard Sieve #45.

5. Zeolite Media: Zeolite media shall be made of naturally occurring clinoptilolite, which has a geological structure of potassium-calcium-sodium aluminosilicate.
6. The zeolite media shall have a bulk density ranging from 44 to 50 lb/ft³, particle sizes ranging from 0.125 to 0.25 inches, and a cation exchange capacity ranging from 1.0 to 2.2 meq/g.

7. Iron-Infused Media: Iron-infused media shall be made from phenolic resin mixed with iron particles and polymerized to form open cellular foam. The stock materials must be free of debris with the iron particles being non-reactive and non-toxic.
8. The iron-infused media shall have a bulk density ranging from 20 to 30 lb/ft³ and particle sizes ranging from 0.0 to 0.5 inches.

9. Granular Activated Carbon: Granular activated carbon (GAC) shall be made of lignite coal that has been steam activated. The GAC media shall have a bulk density ranging from 24 to 26 lb/ft³ and particle sizes ranging from 0.07 to 0.19 inches.
10. Zeolite-Perlite-Granular Activated Carbon (ZPG): ZPG is a mixed media that shall be composed of a 1.4 lb outer layer of 100% Perlite (see above) and an inner layer consisting of 7% of 100% Zeolite (see above) and 10% Granular Activated Carbon (see above).

11. CSF Leaf - Granular Activated Carbon: CSF/GAC is a mixed media that shall be composed of a 1.4 lb outer layer of 100% CSF Leaf media (see above) and an inner layer consisting of 7% of 100% Granular Activated Carbon (see above).

D. Flow spreader shall be constructed of spun LLDPE.
E. Energy dissipater shall be constructed of polyethylene.

2.2 Precast Concrete Vault Components

- A. Precast concrete vault shall be provided according to ASTM C478.
- B. Vault joint sealant shall be Con Seal CS-101 or Engineer approved.
- C. Frames and covers shall be gray cast iron and shall meet AASHTO H-20 loading requirements, and shall be provided according to ASTM A48.
- D. Steps shall be constructed of copolymer polypropylene conforming to ASTM D-4101. Steps shall be driven into preformed or drilled holes once concrete is cured. Steps shall meet the requirements of ASTM C-478 and AASHTO M-199. The 1/2" Grade 60 deformed reinforcing bar shall meet ASTM A-615.
- E. Ladders shall be constructed of aluminum and steel reinforced copolymer polypropylene conforming to ASTM D-4101. Ladder shall bolt in place and may be equipped with a pull-up ladder extender that shall extend a minimum of 24 inches above the top rung of ladder. Ladder shall meet all ASTM C-497 load requirements.
- F. Doors shall have hot-dipped galvanized frame and covers. Covers shall have diamond plate finish. Each door to be equipped with a recessed lift handle and a locking latch with 3/8" penthead hold-down bolts. Penthead wrench to be provided for each set of doors, upon request. Doors shall meet H-20 loading requirements for incidental traffic minimum.

2.3 Contractor Provided Components

All contractor-provided components shall meet the requirements of this section, the plans specifications and contract documents. In the case of conflict, the more stringent specification shall apply.

- A. Crushed rock base material shall be six-inch minimum layer of 1/4-inch minus rock. Compact undisturbed sub-grade materials to 95% of maximum density at +2% of optimum moisture content. Unsuitable material below sub-grade shall be replaced to engineer's approval.
- B. Concrete shall have an unconfined compressive strength at 28 days of at least 3000 psi, with 1/4-inch slump rock, a 4-inch slump maximum, and be placed within 90 minutes of initial mixing.
- C. Silicone Sealant shall be pure RTV silicone conforming to Federal Specification Number TT 9001543A or TT 900230C or Engineer approved.
- D. Grout shall be non-shrink grout meeting the requirements of Corps of Engineers CRD-C588. Specimens molded, cured and tested in accordance with ASTM C-109 shall have minimum compressive strength of 6,200 psi. Grout shall not exhibit visible bleeding.
- E. Backfill material shall be 1/4-inch minus crushed rock, or approved equal.

PART 3 EXECUTION

- 3.1 Precast Concrete Vault
 - A. Place precast manhole on crushed rock base material that has been placed in maximum 12-inch lifts, loose thickness, and compact to at least 95-percent of the maximum dry density as determined by the standard Proctor compaction test, ASTM D698, at moisture content from 0- to 2-percent above optimum water content.
 - B. Contractor to grout all inlet and outlet pipes flush with manhole interior wall.
 - C. Inlet and outlet pipes shall be stubbed in and connected to precast concrete manhole according to Engineer's requirements and specifications.

3.2 When required, ballast shall be to the dimensions specified by the engineer and noted on the data block. Ballast shall not encase the inlet and/or outlet piping. Provide 12" clearance from outside diameter of pipe.

3.3 Clean Up
A. Remove all excess materials, rocks, roots, or foreign material, leaving the site in a clean, complete condition approved by the engineer. All filter components shall be free of any foreign materials including concrete and excess sealant.

3.4 Filter Cartridges
A. Construction site runoff shall be directed around the StormFilter unit. Filter cartridges shall not be placed online until the project site is clean and stabilized. The project site includes any surface that contributes storm drainage to the StormFilter™. All impermeable surfaces shall be clean and free of dirt and debris. All catch basins, manholes and pipes shall be free of dirt and sediments.

B. SMI will deliver filter cartridges complete with filter media preinstalled into vaults. Plugs will be provided for all manifold fittings not equipped with a filter cartridge.
C. Contractor shall prevent construction runoff from entering the StormFilter vault.

StormFilter Major Maintenance/Cartridge Replacement Data Sheet

Date: _____ Personnel: _____
Location: _____ System Size: _____
System Type: Vault Cast-In-Place Linear

List Safety Procedures and Equipment Used: _____

System Observations
Media Months In Service: _____

Oil and Grease in Forebay: Yes No _____
Sediment Depth in Forebay: _____
Sediment Depth on Vault Floor: _____
Structural Damage: _____

Drainage Area Report
Excessive Oil and Grease Loading: Yes No Source: _____
Sediment Accumulation on Pavement: Yes No Source: _____
Erosion of Landscaped Areas: Yes No Source: _____

StormFilter Cartridge Replacement Maintenance Activities
Remove Trash and Debris: Yes No Details: _____
Replace Cartridges: Yes No Details: _____
Sediment Removed: Yes No Details: _____
Quantity of Sediment Removed (estimate?): _____

Minor Structural Repairs: Yes No Details: _____
Residuals (debris, sediment) Disposal Methods: _____

Notes: _____

www.stormwater360.com Toll-free: 800.548.4667 9 of 9
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StormFilter Minor Maintenance and Inspection Data Sheet

Date: _____ Personnel: _____
Location: _____ System Size: _____
System Type: Vault Cast-In-Place Linear

System Observations
Media Months In Service: _____

Oil and Grease in Forebay: Yes No _____
Sediment Depth in Forebay: _____
Sediment Depth on Vault Floor: _____
Structural Damage: _____

Estimated Flow from Drainage Pipes (if available): _____
Cartridges Submerged: Yes No How Deep: _____

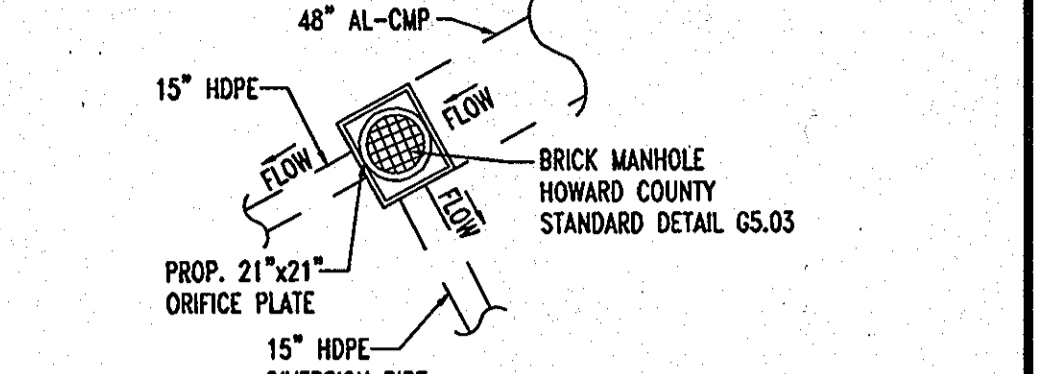
StormFilter Minor Maintenance Activities (check off if done and give description)
Trash and Debris Removal: _____
Minor Structural Repairs: _____

Drainage Area Report
Excessive Oil and Grease Loading: Yes No Source: _____
Sediment Accumulation on Pavement: Yes No Source: _____
Erosion of Landscaped Areas: Yes No Source: _____
Items Needing Further Work: _____

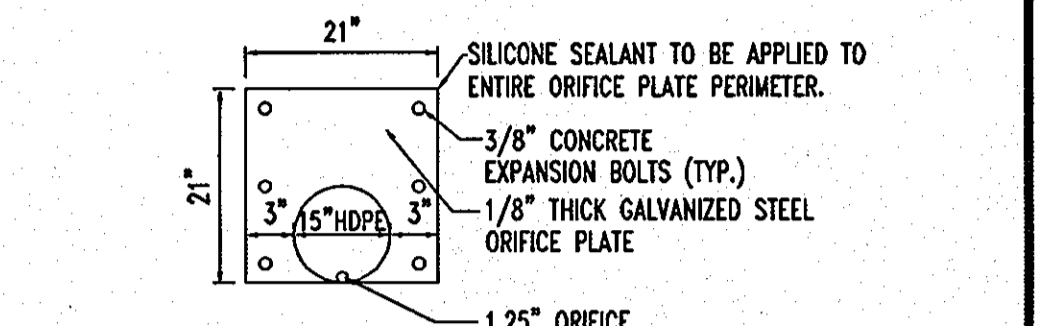
Other Comments: _____

Review the condition reports from the previous minor and major maintenance visits.

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PLAN VIEW (STRUCTURE A-14)
NOT TO SCALE

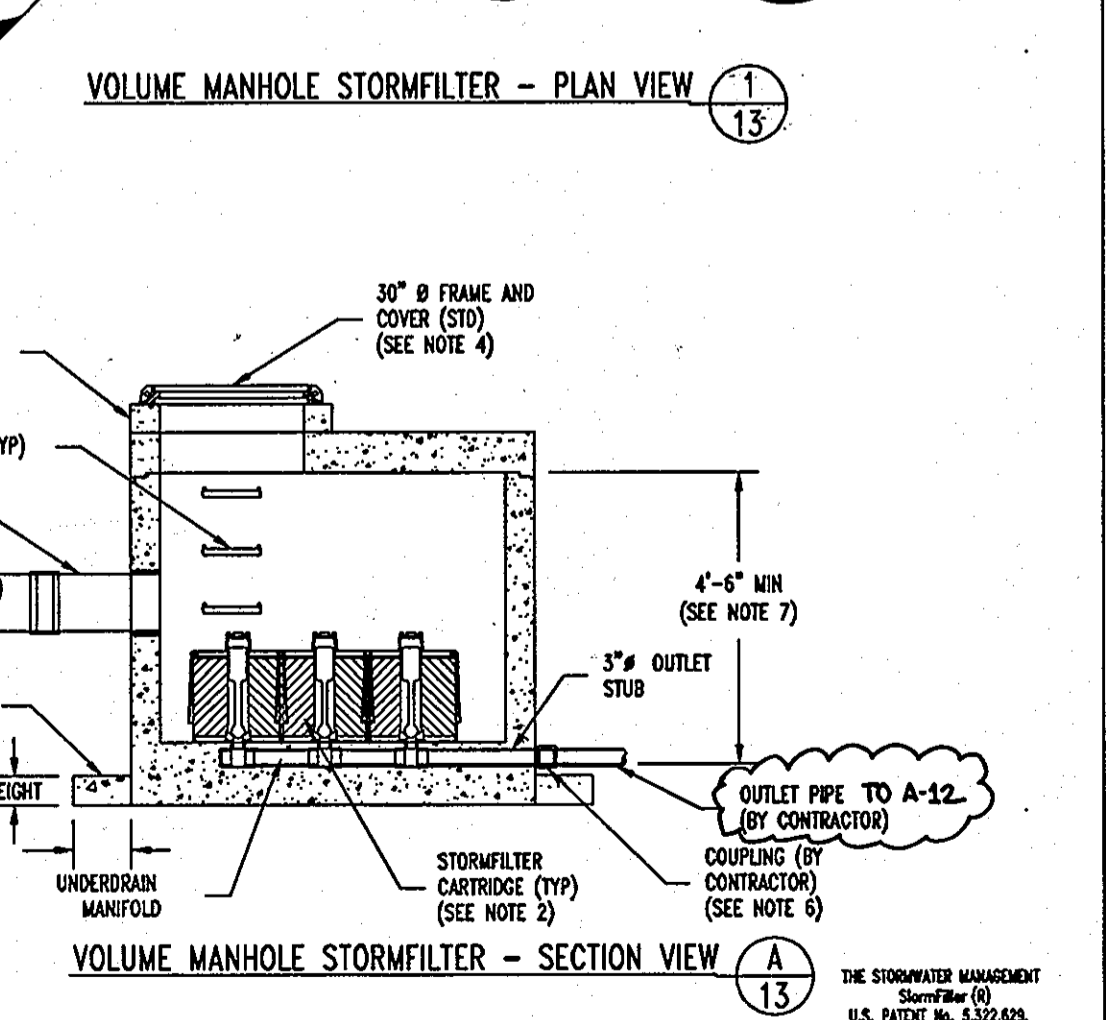
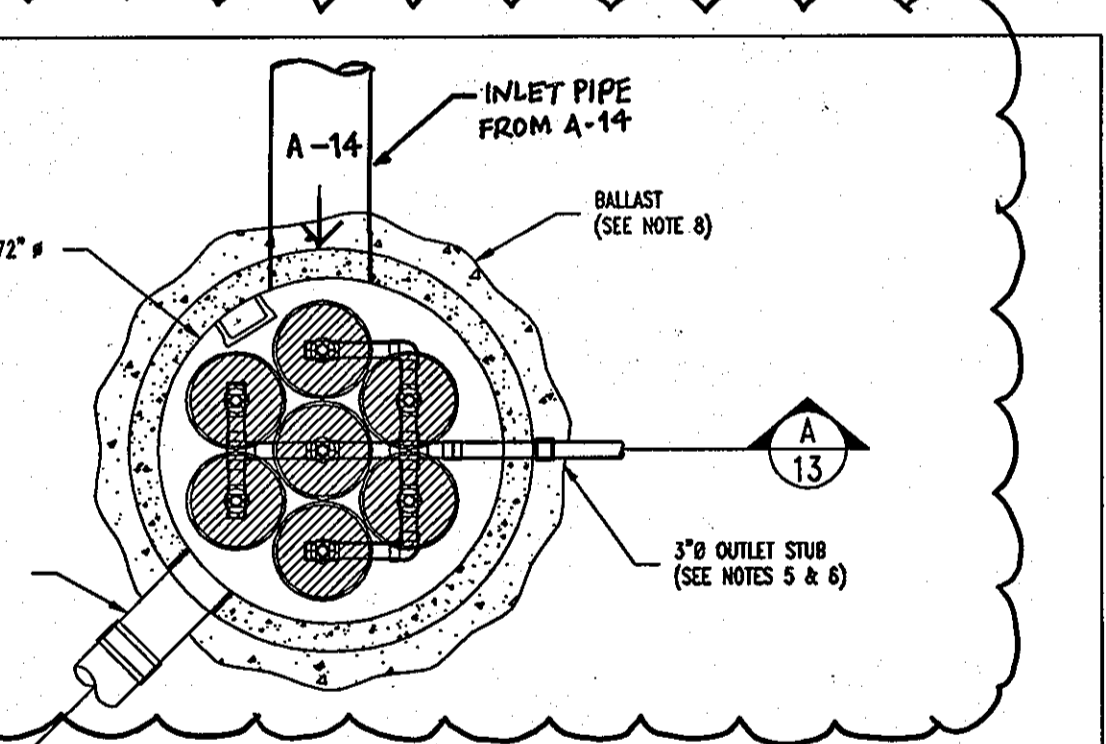


ORIFICE PLATE DETAIL FOR STRUCTURE A-14
NOT TO SCALE

NOTE: 1/8" STEEL THICK ORIFICE PLATE TO BE BOLTED TO THE UPSTREAM END OF THE 15" PIPE AND LOCATED INSIDE STRUCTURE A-14

NOTE: ALL PIPE CONNECTIONS WILL REQUIRE RUBBER GASKETS TO PROVIDE A WATERTIGHT JOINT

NOTE: ALL DEBRIS IS TO BE KEPT OUT OF THE FACILITY DURING AND AFTER CONSTRUCTION



72" VOLUME MANHOLE STORMFILTER
PLAN AND SECTION VIEWS
STANDARD DETAIL

Stormwater360 DATE: 09/29/05 SCALE: NONE FILE NAME: VSF7-72M-DTL DRAWN: M/W CHECKED: 1/2

GENERAL NOTES

- 1) STORMFILTER BY STORMWATER360, WEST: PORTLAND, OREGON (800) 548-4667; EAST: SCARBOROUGH, ME (877) 907-8876; MID-ATLANTIC: ELKRDGE, MD (866) 740-3318.
- 2) FILTER CARTRIDGE(S) TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.
- 3) PRECAST MANHOLE STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C478. DETAIL REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
- 4) STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.
- 5) STORMFILTER REQUIRES 2.5 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT S360. MINIMUM ANGLE BETWEEN INLET AND OUTLET IS 45°.
- 6) INLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. CONNECTION TO DOWNSTREAM PIPING TO BE MADE USING A FLEXIBLE COUPLING AS REQUIRED. COUPLING BY FERROD OR EQUAL AND PROVIDED BY CONTRACTOR.
- 7) PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS. IF A SMALLER SYSTEM IS REQUIRED, CONTACT S360 FOR OTHER OPTIONS.
- 8) ANTI-FLOTATION BALLAST TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. IF REQUIRED, BALLAST TO BE SET AROUND THE PERIMETER OF THE STRUCTURE.
- 9) ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR MORE INFORMATION.

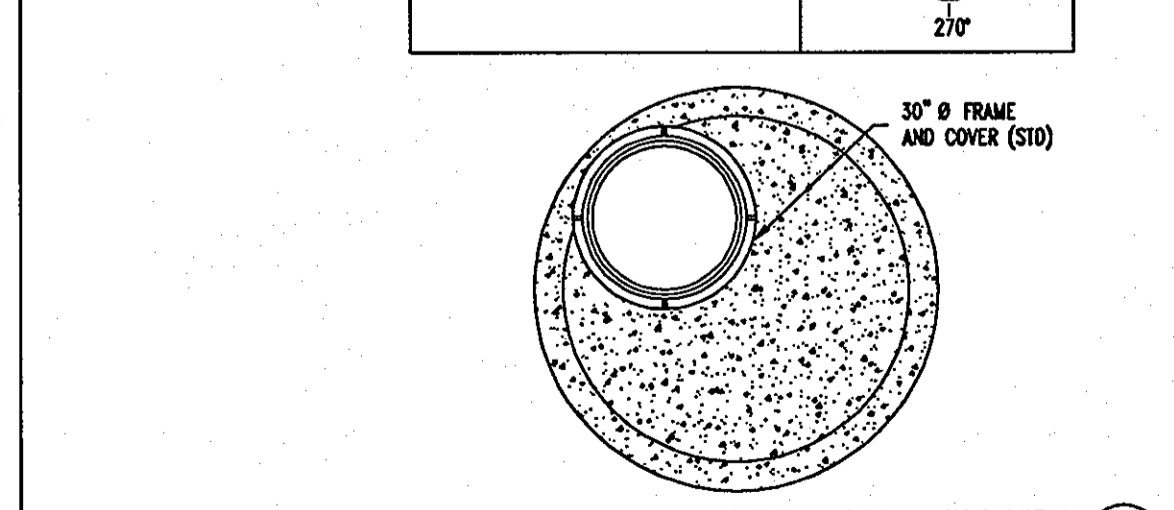
PRECAST VOLUME MANHOLE STORMFILTER DATA

STRUCTURE ID	XXX
WATER QUALITY FLOW RATE (cfs)	XXX
WATER QUALITY VOLUME (cfs)	XXX
PEAK FLOW RATE (cfs)	XXX
RETURN PERIOD OF PEAK FLOW (min)	XXX
# OF CARTRIDGES REQUIRED	XX
CARTRIDGE FLOW RATE (15 or 7.5 gpm)	XXX
MEDIA TYPE (CSF, PERLITE, ZPG)	XXX
RIM ELEVATION	XXXX

PIPE DATA:	IE	ORIENTATION	MATERIAL	DIAMETER
INLET PIPE #1	XXX"X"	X"	XXX	XX"
INLET PIPE #2	XXX"X"	X"	XXX	XX"
OUTLET STUB	XXX"X"	0"	XXX	3"

ANTI-FLOTATION BALLAST	WIDTH	HEIGHT
	XX"	XX"

NOTES/SPECIAL REQUIREMENTS: _____
PIPE ORIENTATION KEY:
90°
180°
270°



72" VOLUME MANHOLE STORMFILTER
TOP VIEW, DATA AND NOTES
STANDARD DETAIL

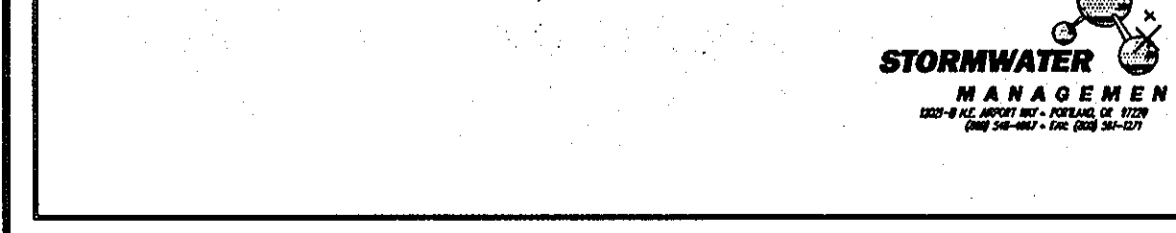
Stormwater360 DATE: 09/29/05 SCALE: NONE FILE NAME: VSF7-72M-DTL DRAWN: M/W CHECKED: 2/2

AS-BUILT CERTIFICATION FOR PSWM
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLETES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND FACILITY.
DATE: 11/16/11

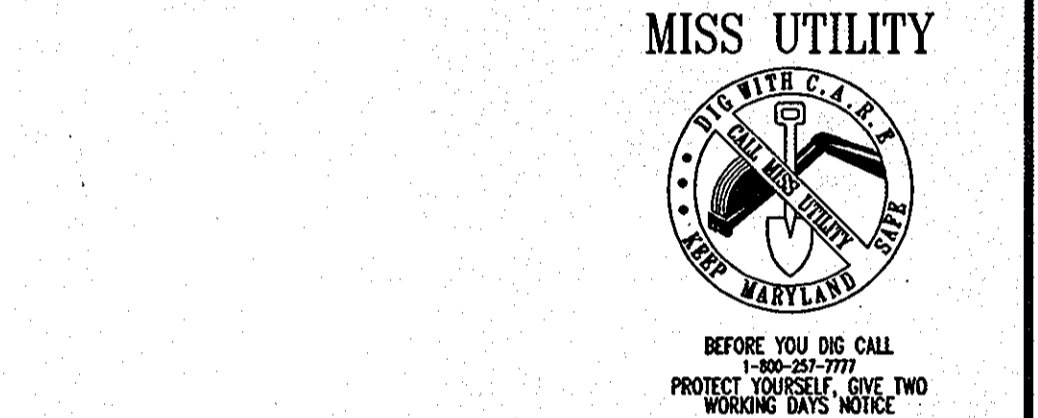
STORMFILTER MAINTENANCE NOTES

1. ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. MAINTENANCE FREQUENCY IS DEPENDENT UPON SITE CHARACTERISTICS AND POLLUTANT LOADING. TYPICAL MAINTENANCE INTERVAL IS 12 TO 18 MONTHS.
2. STORMFILTER MAINTENANCE INVOLVES REMOVAL AND REPLACEMENT OF FILTER CARTRIDGES, REMOVAL OF ACCUMULATED SEDIMENT, AND VAULT INSPECTION.
3. FULL MAINTENANCE SERVICES MAY BE PROVIDED BY STORMWATER MANAGEMENT, INC. REPLACEMENT CARTRIDGES ARE ALSO AVAILABLE FROM STORMWATER MANAGEMENT ON AN EXCHANGE BASIS TO FACILITATE OWNER-PROVIDED MAINTENANCE ACTIVITY.
4. SPENT FILTER MEDIA AND/OR SEDIMENT REMOVED DURING MAINTENANCE SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE WASTE DISPOSAL REGULATIONS.
5. REFER TO STORMFILTER OPERATION & MAINTENANCE GUIDELINES FOR MORE DETAILED INFORMATION OR CONTACT STORMWATER MANAGEMENT AT 800.548.4667.

NOTES/SPECIAL REQUIREMENTS: _____



GENERAL NOTE:
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BEFORE YOU DIG CALL
1-800-251-7777
PROTECT YOURSELF. ONE TWO WORKING DAYS NOTICE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
CHIEF-DIVISION OF LAND DEVELOPMENT
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

NO. DATE REVISION DESCRIPTION
OWNER: AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217
DEVELOPER: JKH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

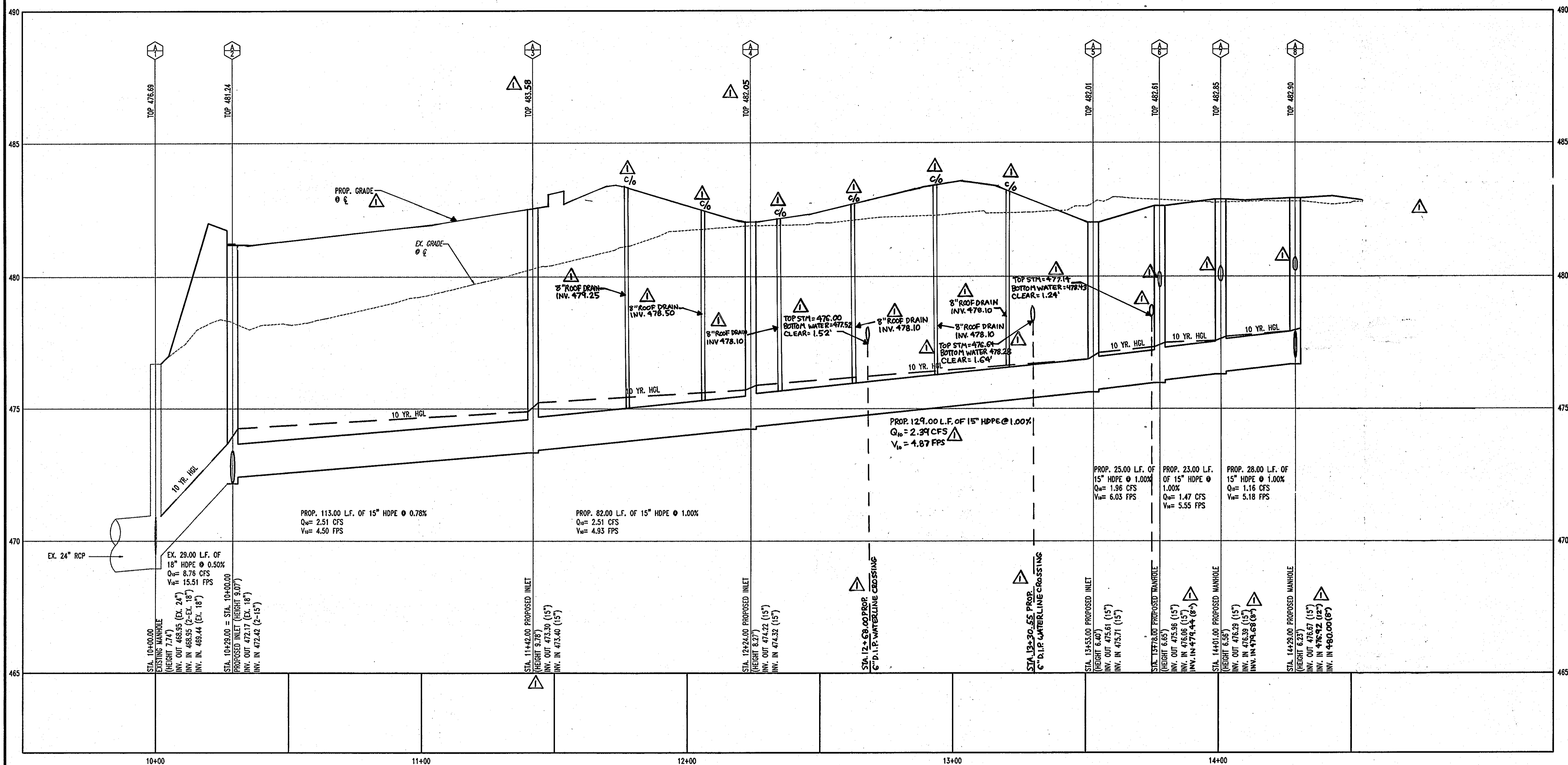
PROJECT: JKH CAPITAL
PARCEL A, HOLWECK SUBDIVISION
12400 AUTO DRIVE
CLARKSVILLE, HOWARD COUNTY, MARYLAND
AREA 1.299 AC. TAX MAP 34 GRID 12 ZONED B-2
PARCEL 365-A L 3900, F. 465
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: STORMWATER MANAGEMENT NOTES AND DETAILS

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
1919 CLARKSVILLE COUNTY CENTER SQ. TOWSON, MD 21286
(410) 481-7900 FAX (410) 481-7987 E: info@bohlereng.com

DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MDS02639
DATE: 8/17/06
SCALE: N.T.S.
DRAWING NO. 11 OF 23

SDP-06-080



STORMDRAIN PROFILE A-1 TO A-9
SCALE: HORIZ. 1"=20'
VERT. 1"=2'

PIPE SCHEDULE

DESCRIPTION	LENGTH
12" HDPE	66 L.F.
15" HDPE	550 L.F.
8" HDPE	37 L.F.
48" AL-CMP (12 GAUGE WITH 2-2/3" x 1/2" CORRUGATIONS)	43 L.F.

NO.	DESCRIPTION	INVERT IN	INVERT OUT	TOP
1	EXISTING INLET	468.95 (2'-18")	468.95 (24")	476.69
2	PROPOSED PRECAST INLET (SEE DETAIL ON SHEET 20)	472.42 (2'-15")	472.17 (18")	481.24
3	PROPOSED MANHOLE HOWARD COUNTY STD. G 5.12	473.40 (15")	473.30 (15")	482.58
4	PROPOSED PRECAST INLET (SEE DETAIL ON SHEET 20)	474.32 (15")	474.22 (15")	482.08
5	PROPOSED PRECAST INLET (SEE DETAIL ON SHEET 21)	475.71 (15")	475.61 (15")	482.01
6	PROPOSED MANHOLE HOWARD COUNTY STD. G 5.12	476.06 (15")	475.96 (15")	482.61
7	PROPOSED MANHOLE HOWARD COUNTY STD. G 5.12	476.39 (15")	476.29 (15")	482.85
8	PROPOSED MANHOLE HOWARD COUNTY STD. G 5.12	477.25 (2'-8")	476.67 (15")	482.90
9	NOT USED	---	---	---
10	PROPOSED TYPE 'S' INLET HOWARD COUNTY STD. G 4.22	---	477.03 (12")	482.67
11	PROPOSED MANHOLE HOWARD COUNTY STD. G 5.12	478.23 (15" BYPASS)	472.97 (15")	482.61
12	PROPOSED MANHOLE HOWARD COUNTY STD. G 5.12	473.01 (15")	473.01 (15")	482.76
13	PROPOSED PRIVATE STORMFILTER (SEE DETAIL ON SHEET 11)	475.37 (15")	475.02	482.75
14	PROPOSED MANHOLE HOWARD COUNTY STD. G 5.03	475.37 (48")	478.29 (15" BYPASS)	482.59
15	PROPOSED PRECAST INLET (SEE DETAIL ON SHEET 21)	477.38 (12")	475.37 (48")	481.72
16	PROPOSED TYPE 'S' INLET HOWARD COUNTY STD. G 4.22	---	477.66 (12")	481.35

AS BUILT CERTIFICATION FOR SWM
NOTE: THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET.
RYAN C. LINTHICUM
MARYLAND P.E. LICENSE NO. 34041

GENERAL NOTE:
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
CHIEF-DIVISION OF LAND DEVELOPMENT
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

NO. 1 DATE 9/17/07 REVISION DESCRIPTION

OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC. DEVELOPER: JDH CAPITAL
3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217

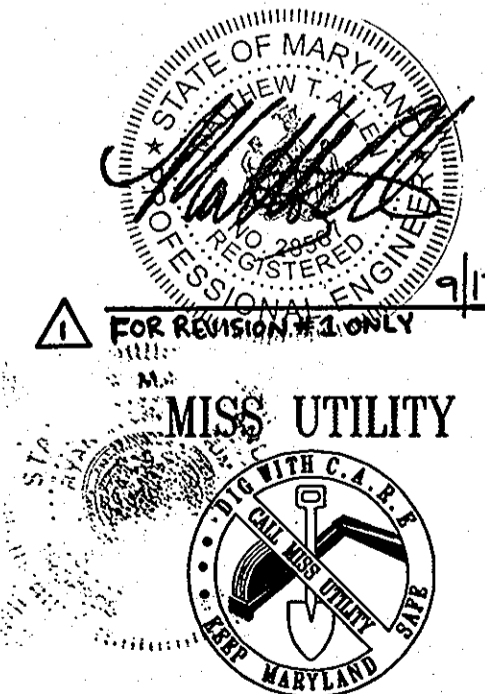
PROJECT: JDH CAPITAL
PARCEL A, HOLWECK SUBDIVISION
12400 AUTO DRIVE
CLARNSVILLE, HOWARD COUNTY, MARYLAND

AREA 1.239 AC. TAX MAP 34 GRID 6 ZONED B-2
PARCEL 365-A L. 3900, F. 465
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: UTILITY PROFILES

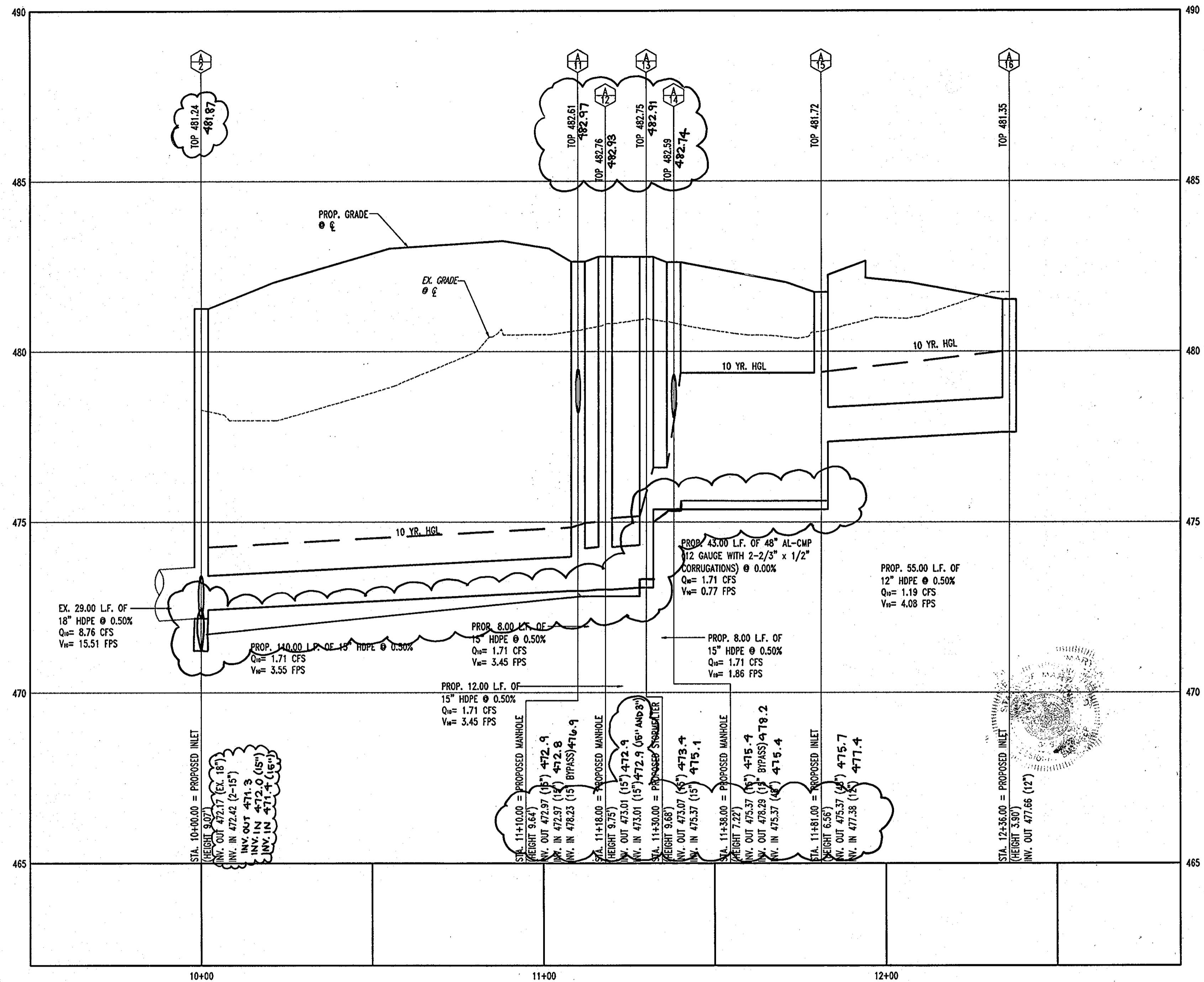
BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
810 GLENKILGESS COURT, SUITE 300, TOWSON, MD 21286
4101 BELT ROAD, SUITE 400, BELTSVILLE, MD 21115

DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MD052039
DATE: 8/17/06
SCALE: AS SHOWN
DRAWING NO. 13 OF 23



BEFORE YOU DIG CALL MISS UTILITY
PROTECT YOURSELF, DIG TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.



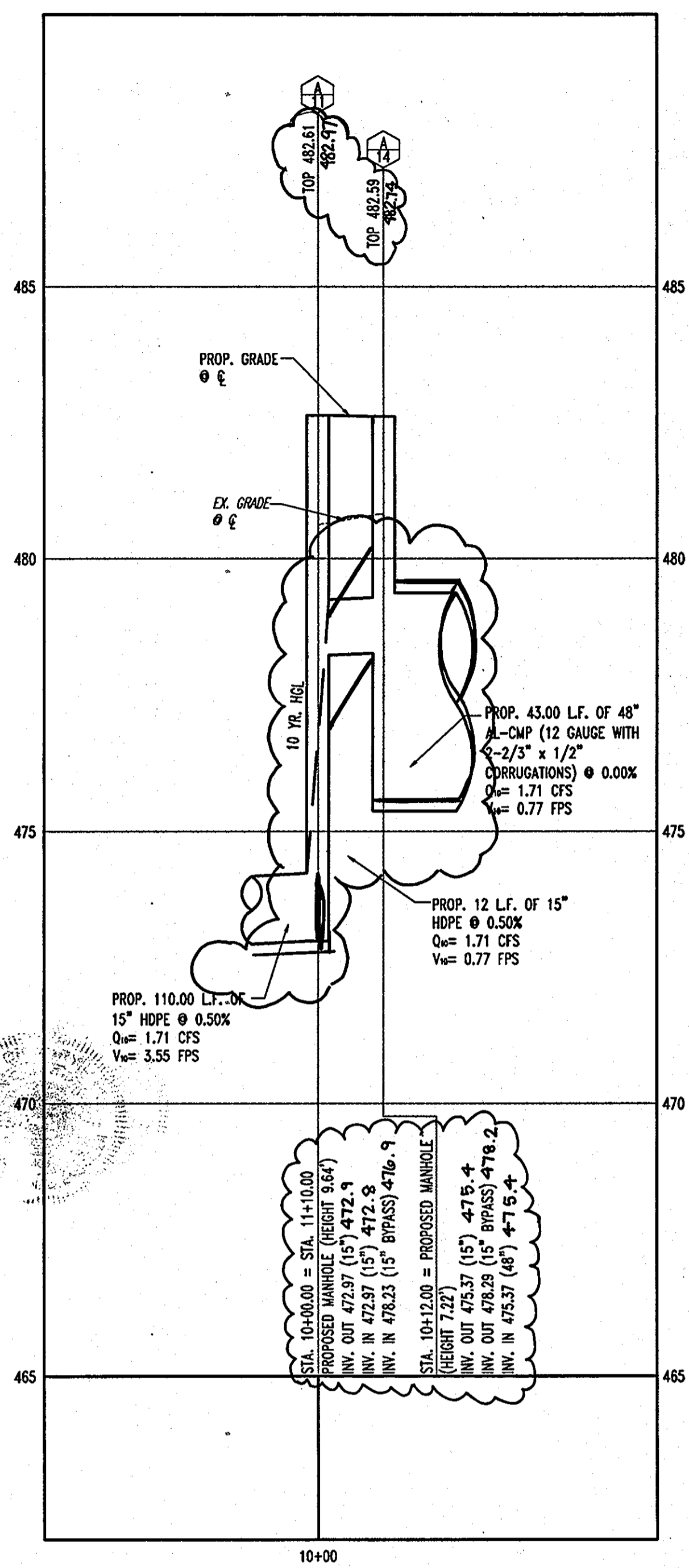
STORMDRAIN PROFILE A-2 TO A-16

SCALE: HORIZ. 1"=20'
VERT. 1"=2'

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

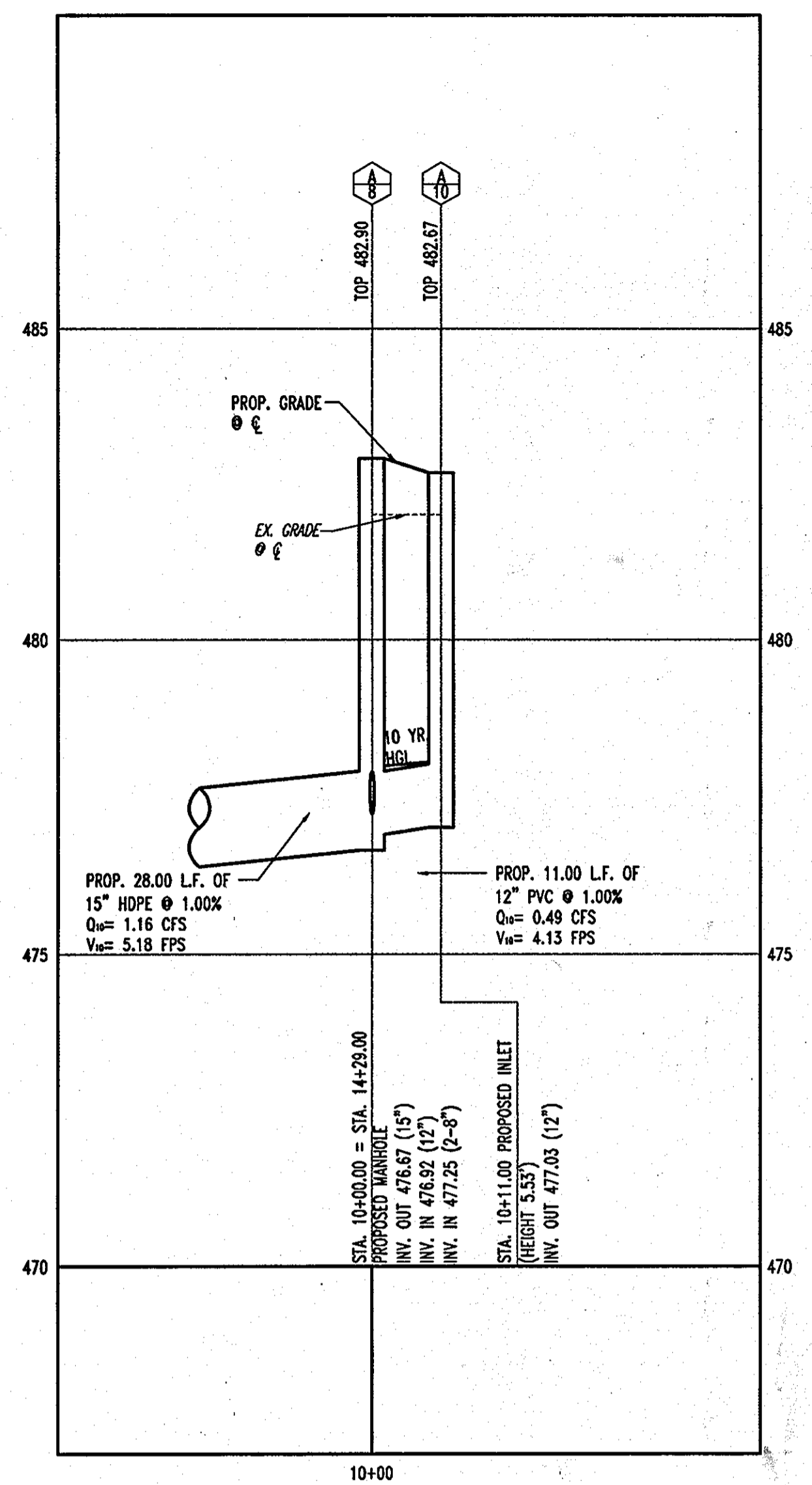
AS-BUILT STRUCTURE TABLE

NO.	DESIGN TOP	AS-BUILT TOP	DESIGN INV IN	AS-BUILT INV IN	DESIGN INV OUT	AS-BUILT INV OUT
A-2	479.71	481.00	472.20	472.0	472.20	471.3
A-3	481.82	482.33	475.43	474.0	473.33	474.0
A-11	481.43	482.71	478.39	476.9	472.76	472.9
			472.76	472.8		
A-12	481.62	482.93	472.81	472.9	472.81	472.4
A-13	481.54	482.91	475.76	475.1	472.86	471.9
A-14	481.29	482.74	475.16	475.4	473.69	473.2
			475.16	475.4		
A-15	480.80	481.73	477.71	477.4	475.76	475.7
A-16	480.51	481.43			478.01	477.6



STORMDRAIN PROFILE A-11 TO A-14

SCALE: HORIZ. 1"=20'
VERT. 1"=2'



STORMDRAIN PROFILE A-8 TO A-10

SCALE: HORIZ. 1"=20'
VERT. 1"=2'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 12/15/08 DATE
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 [Signature] 12/18/08 DATE
 CHIEF-DIVISION OF LAND DEVELOPMENT
 [Signature] DATE
 DIRECTOR [Signature] DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE

NO.	DATE	REVISION DESCRIPTION
OWNERS:		DEVELOPER:
AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217		JDH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

PROJECT: JDH CAPITAL
 PARCEL A, HOLWECK SUBDIVISION
 12400 AUTO DRIVE
 CLARKSVILLE, HOWARD COUNTY, MARYLAND
 AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2
 PARCEL 365-A L 3900, F. 465
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: UTILITY PROFILES

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 4810 CLEMENSVILLE COURT, SUITE 300, TOWSON, MD 21286
 (410) 881-7000 FAX (410) 881-7001 | BOHLERENGINEERING.COM

DESIGNED BY: J.A.D.
 DRAWN BY: R.L.B.
 PROJECT NO.: MD052039
 DATE: 8/17/06
 SCALE: AS SHOWN
 DRAWING NO. 14 OF 23

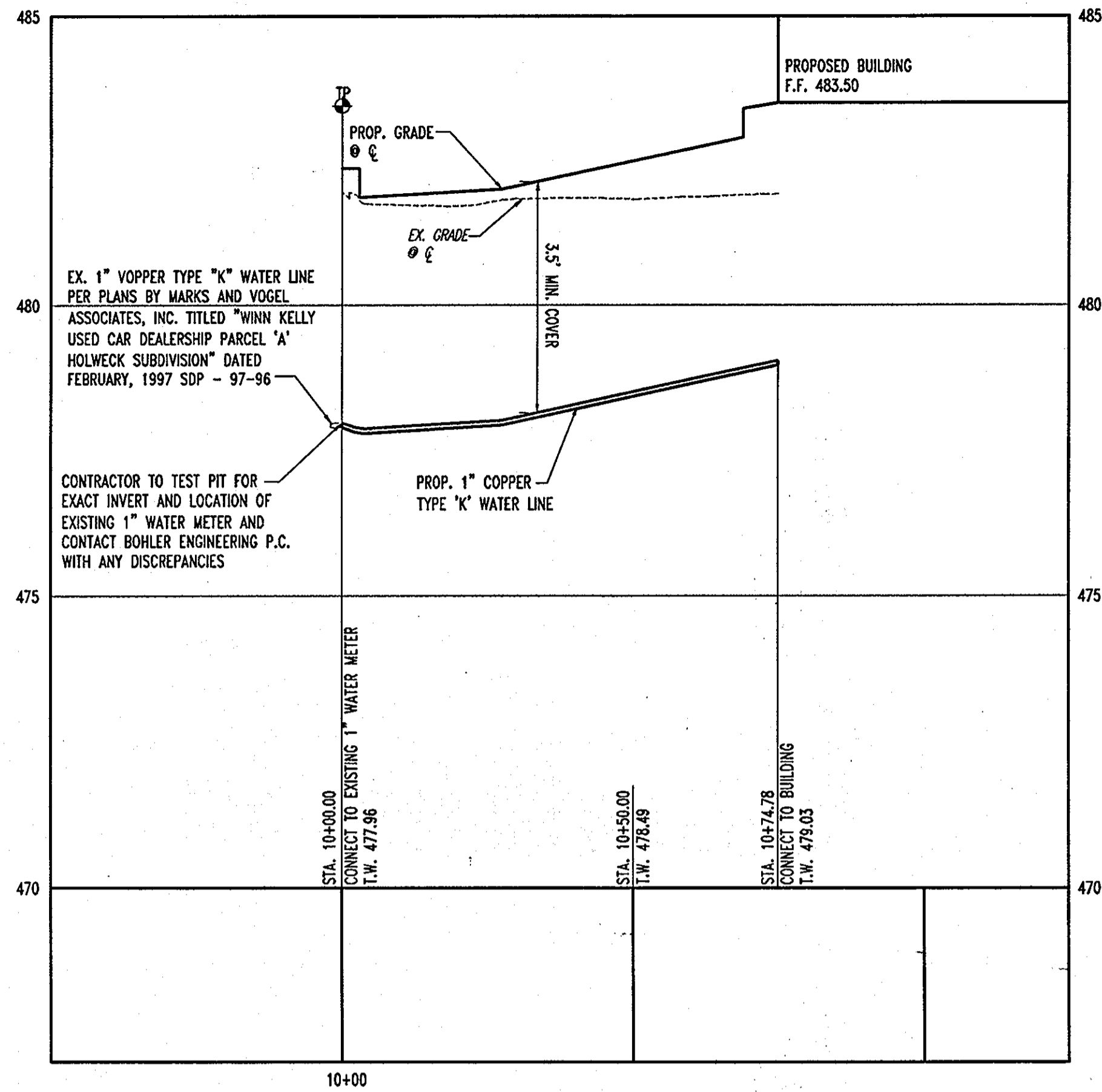
AS-BUILT CERTIFICATION FOR PSWM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENT TO PREVENT CLOGGING OF THE UNIMPROVED FACILITY.

[Signature]
 MARYLAND PROFESSIONAL ENGINEER
 DATE: 1/16/11

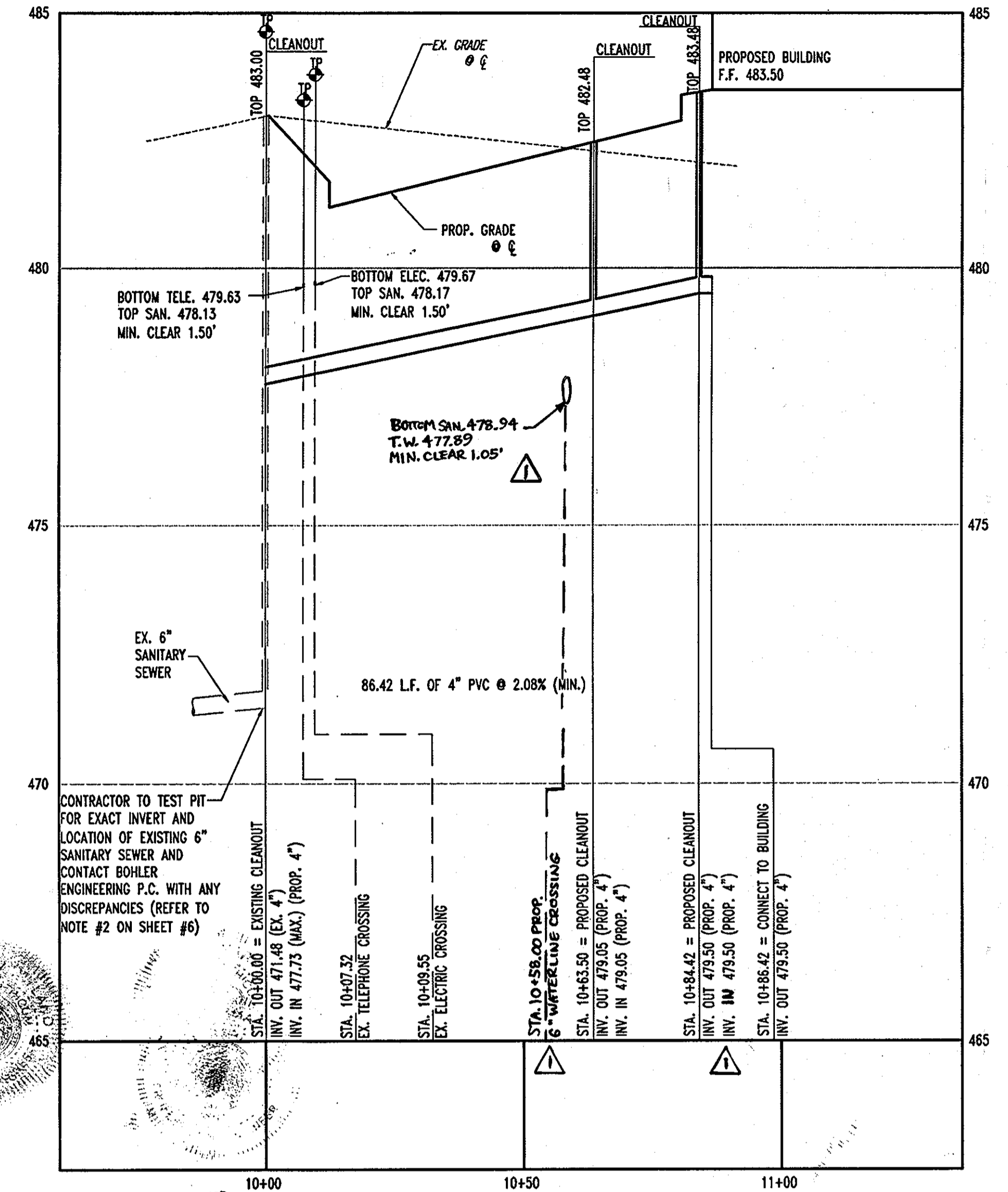
MISS UTILITY
 BEFORE YOU DIG CALL 1-800-393-7777
 PROTECT YOURSELF. DIVE TWO WORKING DAYS NOTICE.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.

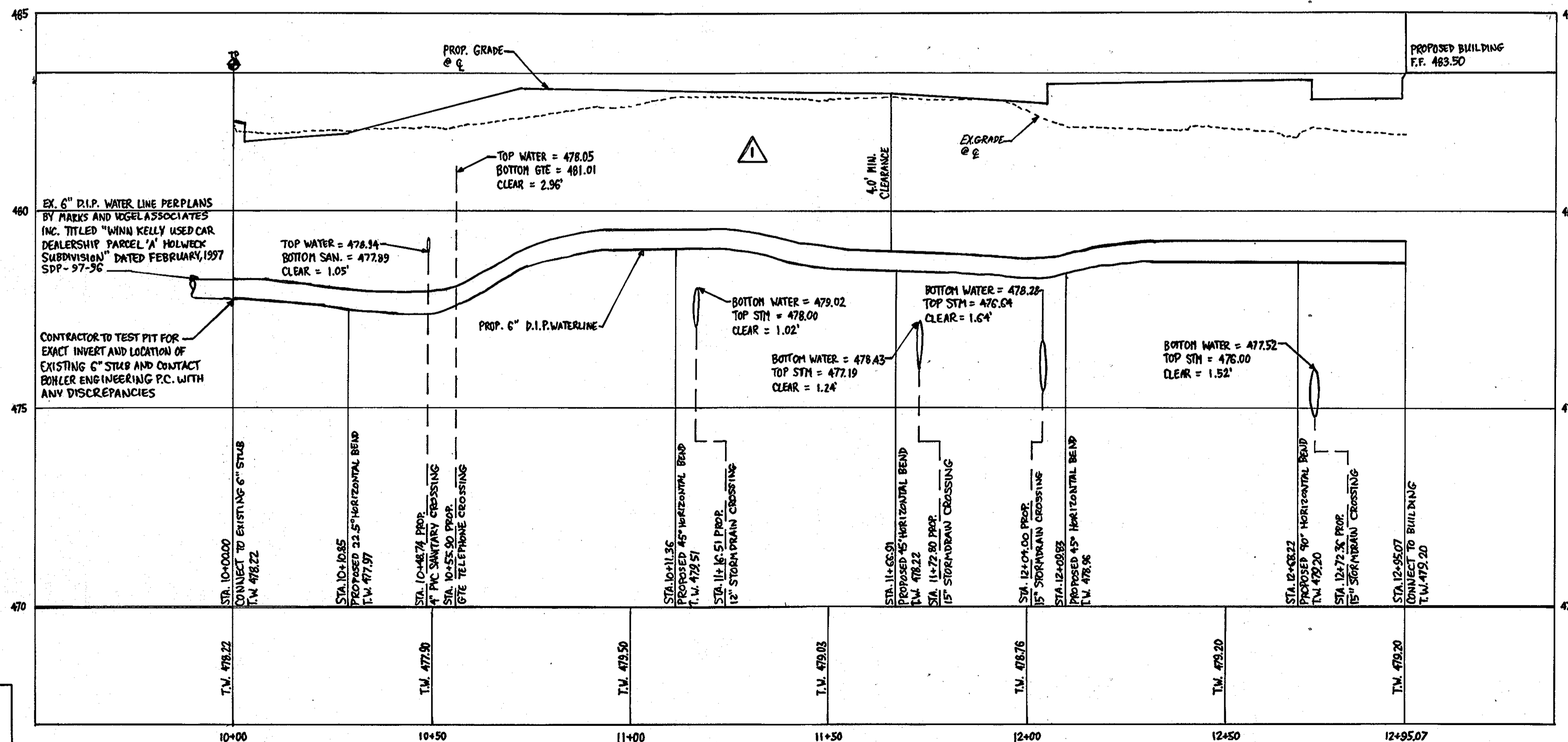
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.



1" IRRIGATION LINE PROFILE
SCALE: HORIZ. 1"=20'
VERT. 1"=2'



SANITARY SEWER PROFILE
SCALE: HORIZ. 1"=20'
VERT. 1"=2'



6" FIRE AND DOMESTIC LINE PROFILE
SCALE: HORIZ. 1"=20'
VERT. 1"=2'

AS BUILT CERTIFICATION FOR PSWM
NOTE: THERE IS NO ADDITIONAL INFORMATION PROVIDED ON THIS SHEET.
[Signature]
RYAN C. LINTZ, PROFESSIONAL ENGINEER
MARYLAND REG. LICENSE # 134091
DATE 11/16/11

GENERAL NOTE:
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 12/15/06
CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] 12/19/06
CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] 12/19/06
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

9/17/07
NO. DATE REVISION DESCRIPTION
OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217
DEVELOPER: JDH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

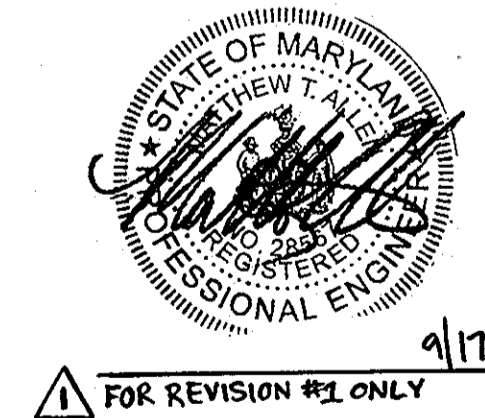
PROJECT: JDH CAPITAL
PARCEL A, HOLWECK SUBDIVISION
12400 AUTO DRIVE
CLARKSVILLE, HOWARD COUNTY, MARYLAND

AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2
PARCEL 365-A L 3900, F. 465
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

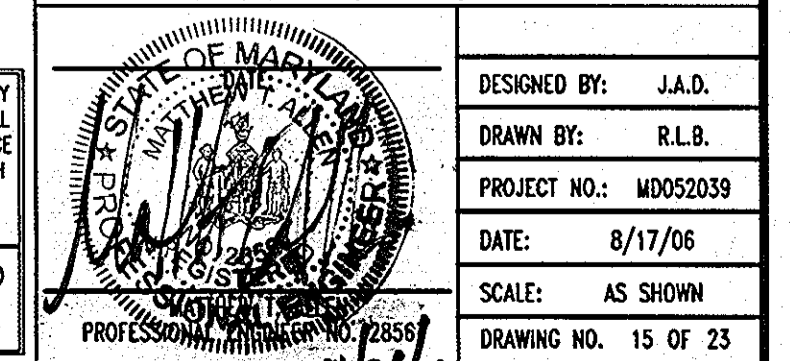
TITLE: UTILITY PROFILES

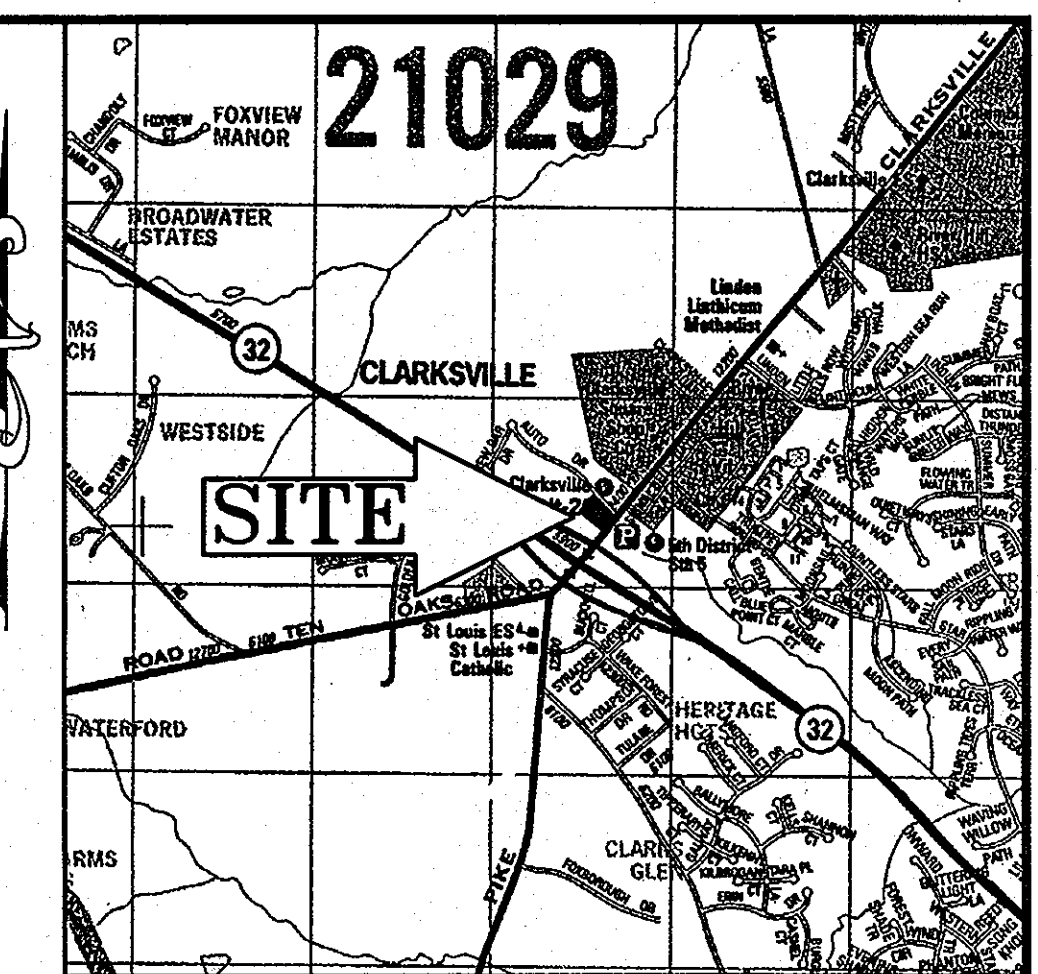
BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
4510 GLENMOUNT COURT, SUITE 300
TOWSON, MD 21286
(410) 851-7000 FAX (410) 851-7001

DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MD052039
DATE: 8/17/06
SCALE: AS SHOWN
DRAWING NO. 15 OF 23



BEFORE YOU DIG CALL 800-368-5777
PROTECT YOURSELF. DIVE TWO WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE.
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.





LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'

LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
DECIDUOUS TREE(S)					
ARA	5	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG COLUMNAR RED MAPLE	2 1/2-3" CAL.	B+B
GBPS	9	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY BRAND GINKGO	2 1/2-3" CAL.	B+B
GTIS	7	GLEDITSIA TRIACANTHOS VAR. INTERNIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2-3" CAL.	B+B
ORNAMENTAL TREE(S)					
CK	3	CORNUS KOUSA	KOUSA DOGWOOD	8'-10'	B+B
CLCC	3	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD'	CRIMSON CLOUD HAWTHORN	2-2 1/2" CAL.	B+B
DECIDUOUS SHRUB(S)					
AXG	24	ABELIA x GRANDIFLORA	GLOSSY ABELIA	18-24"	#3 CAN
FXI	10	FORSYTHIA X INTERMEDIA 'SPECTABILIS'	SHOWY BORDER FORSYTHIA	3-4"	B+B
VCA	30	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	30-36"	B+B
EVERGREEN SHRUB(S)					
ICS	30	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	24-30"	#3 CAN
TH	20	TAXUS MEDIA 'HICKSII'	HICKS YEW	30-36"	B+B
TMD	29	TAXUS MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	24-30"	B+B
	79				

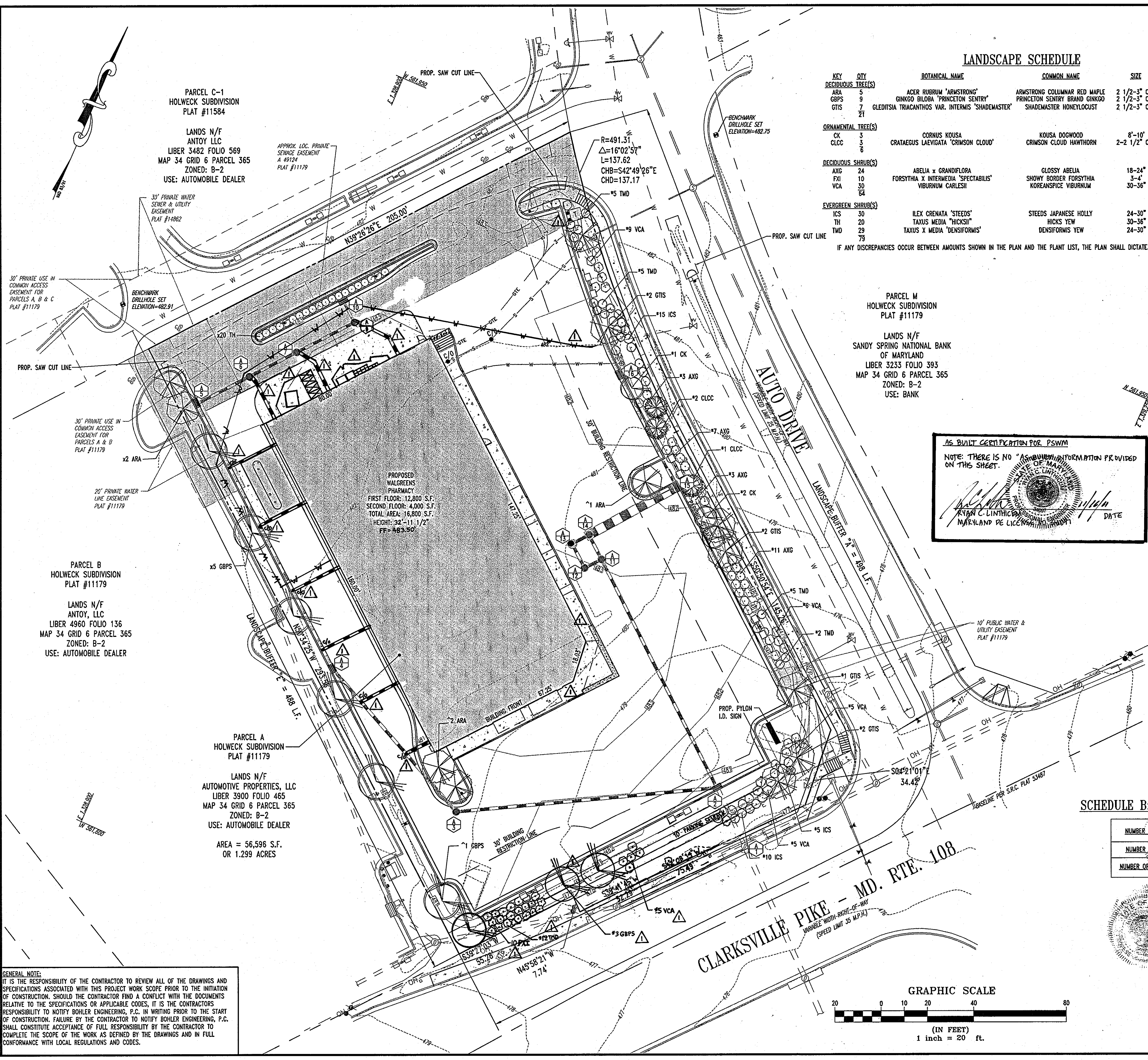
IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

SCHEDULE A: PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS "A"	ADJACENT TO PERIMETER PROPERTIES "B"
LANDSCAPE TYPE	E	A
LINEAR FEET OF FRONTAGE	488 LINEAR FEET	498 LINEAR FEET
CREDIT FOR EXISTING VEGETATION	NONE	NONE
CREDIT FOR WALL, FENCE, OR BERM	NONE	NONE
NUMBER OF PLANTS REQUIRED		
SHADE TREES	13 SHADE TREES (1 TREE/40 LF.)	9 SHADE TREES (1 TREE/60 LF.)
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES
SHRUBS	122 SHRUBS (1 SHRUB/4 LF.)	0 SHRUBS
NUMBER OF PLANTS PROVIDED		
SHADE TREES	10 SHADE TREES (3 GBPS, 7 GTIS)	7 SHADE TREES (2 ARA, 5 GBPS)
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES
OTHER TREES (2:1 substitution)	6 OTHER TREES (3 CK, 3 CLCC)	0 OTHER TREES
SHRUBS	123 SHRUBS (24 AXG, 10 FXI, 30 ICS, 29 TMD, 30 VCA)	20 SHRUBS (10:1 substitution) (20 TH)

NOTE: FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$12,390 FOR 27 SHADE TREES, 0 EVERGREEN TREES, AND 143 SHRUBS.

AS BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO "AS BUILT" INFORMATION PROVIDED ON THIS SHEET.
 RYAN C. LINTHICUM, PROFESSIONAL ENGINEER
 MARYLAND PE LICENSE #111179
 DATE: 8/14/06



PARCEL C-1
 HOLWECK SUBDIVISION
 PLAT #11584
 LANDS N/F
 ANTOY LLC
 LIBER 3482 FOLIO 569
 MAP 34 GRID 6 PARCEL 365
 ZONED: B-2
 USE: AUTOMOBILE DEALER

PARCEL M
 HOLWECK SUBDIVISION
 PLAT #11179
 LANDS N/F
 SANDY SPRING NATIONAL BANK
 OF MARYLAND
 LIBER 3233 FOLIO 393
 MAP 34 GRID 6 PARCEL 365
 ZONED: B-2
 USE: BANK

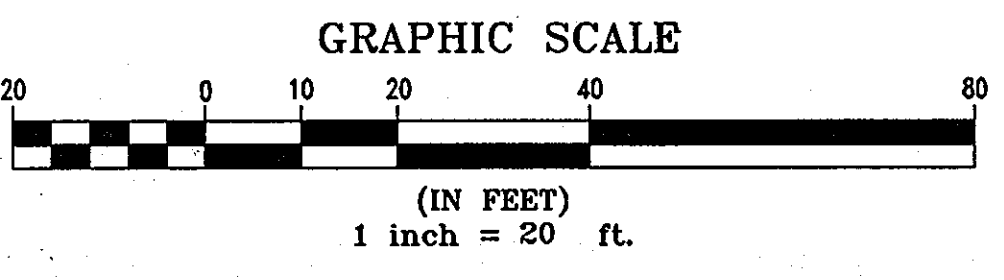
PARCEL B
 HOLWECK SUBDIVISION
 PLAT #11179
 LANDS N/F
 ANTOY, LLC
 LIBER 4960 FOLIO 136
 MAP 34 GRID 6 PARCEL 365
 ZONED: B-2
 USE: AUTOMOBILE DEALER

PARCEL A
 HOLWECK SUBDIVISION
 PLAT #11179
 LANDS N/F
 AUTOMOTIVE PROPERTIES, LLC
 LIBER 3900 FOLIO 465
 MAP 34 GRID 6 PARCEL 365
 ZONED: B-2
 USE: AUTOMOBILE DEALER
 AREA = 56,396 S.F.
 OR 1.299 ACRES

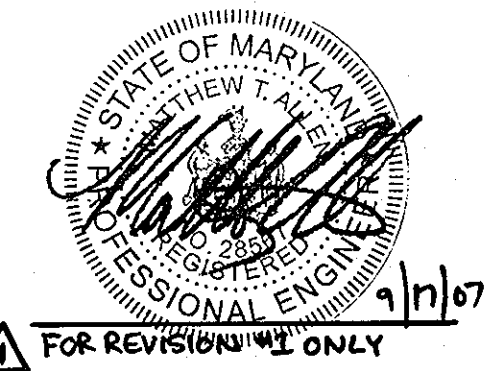
GENERAL NOTE:
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SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	64 PARKING SPACES
NUMBER OF TREES REQUIRED	4 TREES (1 TREE/20 SPACES)
NUMBER OF TREES PROVIDED	4 SHADE TREES (3 ARA, 1 GBPS)



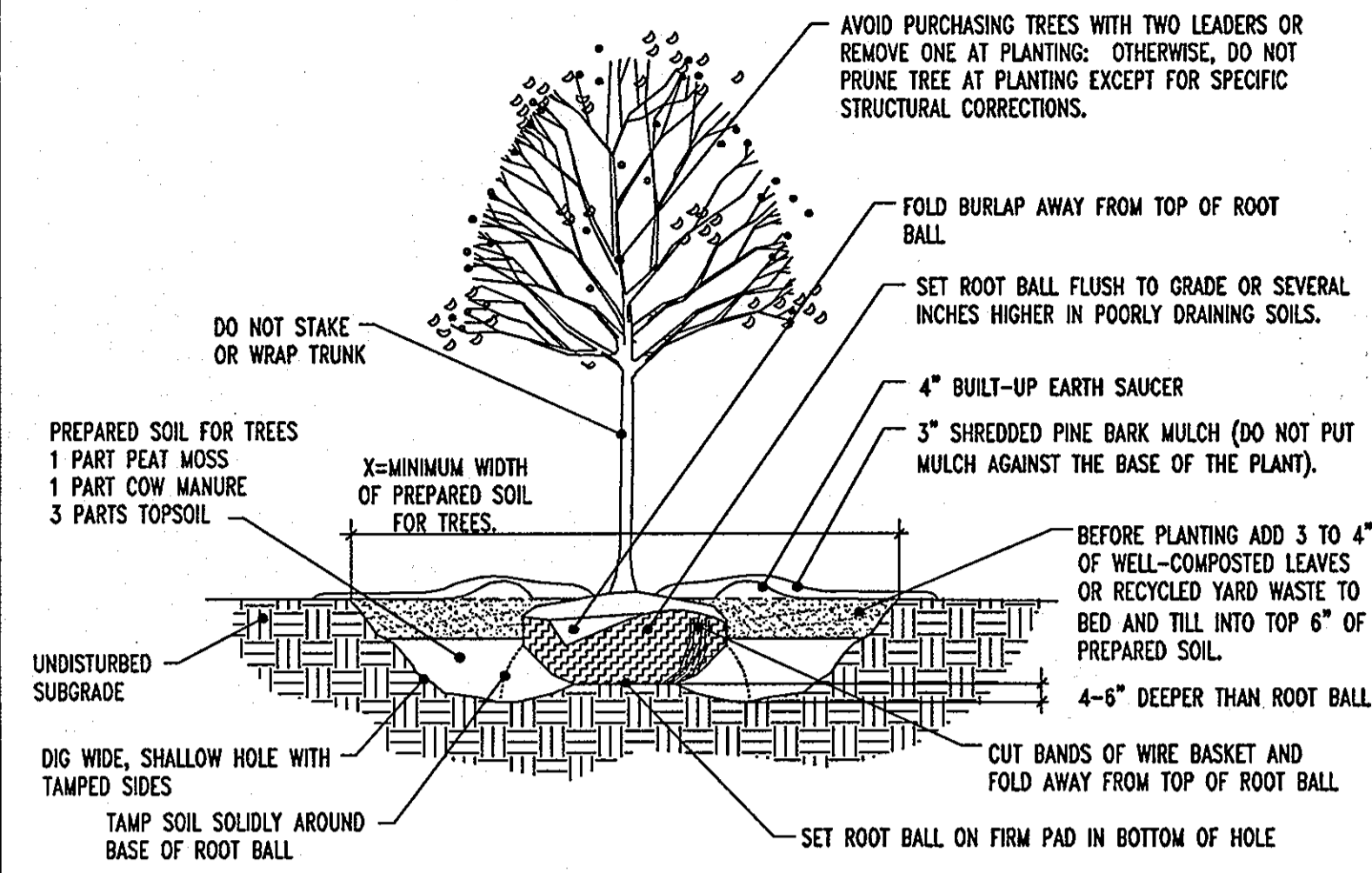
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DIRECTOR



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

NO. 1 DATE: 9/17/07
 REVISION DESCRIPTION: Moved 3 trees and group of shrubs left
 OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC.
 DEVELOPER: JDH CAPITAL
 PROJECT: JDH CAPITAL
 AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2
 TITLE: LANDSCAPE PLAN

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 4310 CLARKSVILLE COURT, SUITE 300, TOWSON, MD 21286
 (410) 851-7900 FAX (410) 851-7901
 DESIGNED BY: J.A.D.
 DRAWN BY: R.L.B.
 PROJECT NO.: MD052039
 DATE: 8/17/06
 SCALE: 1"=20'
 DRAWING NO. 16 OF 23



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE

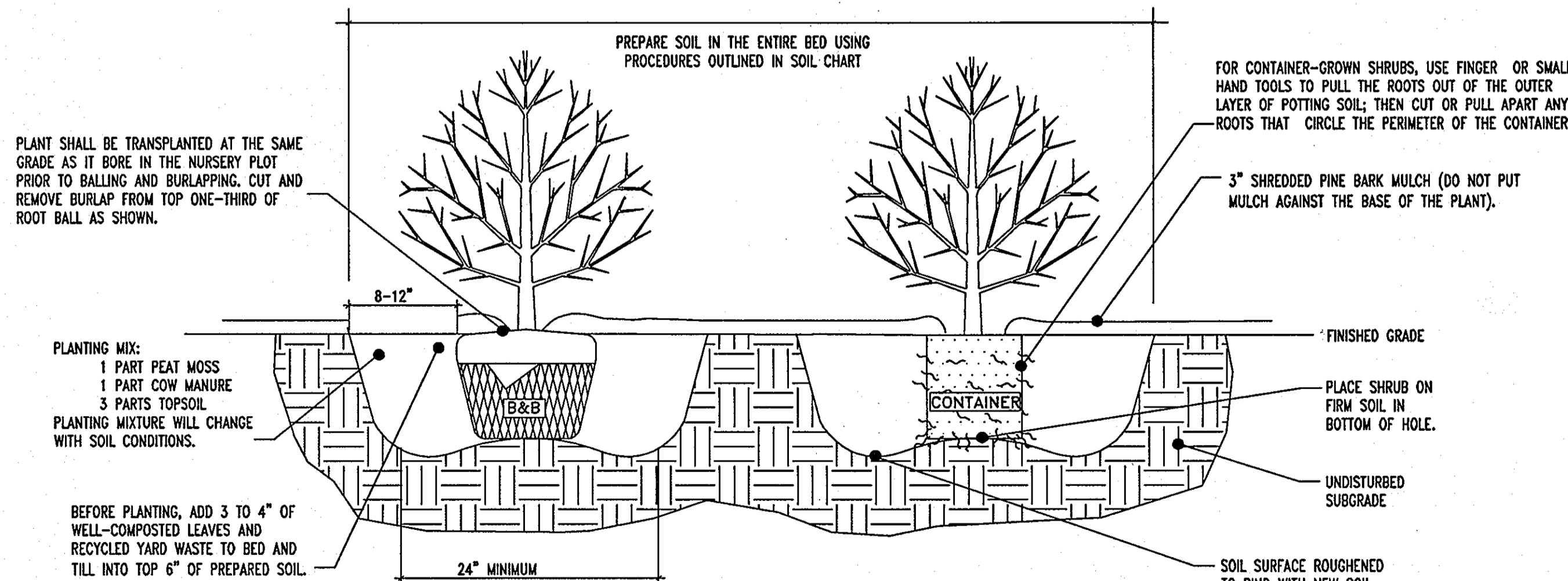
NOTES FOR DICIDUOUS AND EVERGREEN TREE PLANTINGS:

- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM TOP OF ROOT BALL.
- PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.

GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS

POST-CONSTRUCTION SOIL CONDITION	MIN./ WIDTH PREPARED SOIL FOR TREES (X)	TYPE OF PREPARATION
GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED, TOPSOIL LAYER INTACT)	6 FT. OR TWICE THE WIDTH OF THE ROOT BALL, WHICHEVER IS GREATER	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE.
COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER DISTURBED BUT NOT ELIMINATED)	15 FT.	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE; ADD COMPOSTED ORGANIC CONTENT UP TO 5% DRY WEIGHT.
GRADED SUBSOILS AND CLEAN FILLS WITH CLAY CONTENT BETWEEN 5 & 35%	20 FT.	MINIMUM TREATMENT: LOOSEN EXISTING SOIL TO WIDTHS AND DEPTHS SHOWN, ADD COMPOSTED ORGANIC MATTER TO BRING ORGANIC CONTENT UP TO 5% DRY WEIGHT. OPTIMUM TREATMENT: REMOVE TOP 8-10 IN. OR THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN, ADD 8-10 IN. OF LOAM TOPSOIL.
POOR QUALITY FILLS, HEAVY CLAY SOILS, SOILS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL	20 FT.	REMOVE EXISTING SOILS TO THE WIDTHS AND DEPTHS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL.

REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

GENERAL NOTE:
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PLANTING NOTES:

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INSOFARE AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHICH ARE IN ACCORDANCE WITH LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PROOF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE HOWARD COUNTY LANDSCAPE ARCHITECT. THE HOWARD COUNTY ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATES
PLANTS	3/15 TO 12/15
LAWN	3/15 TO 6/15
	9/15 TO 12/1

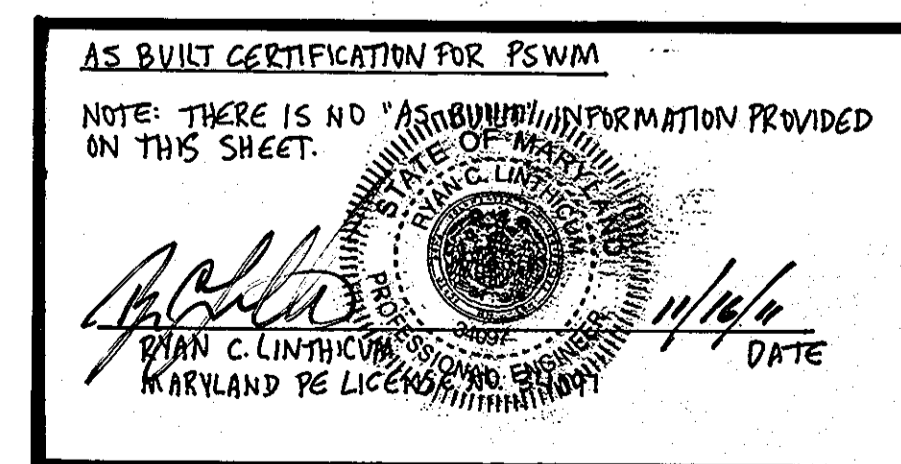
FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH PLANTING THESE TREES IN THIS SEASON:

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CARPINUS VARIETIES	PYRUS VARIETIES
CRATEGUS VARIETIES	QUERCUS VARIETIES
KOELRUTHERIA	SALIX WEEPING VARIETIES
LIQUID AMBER STYRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA	ZELKOVA VARIETIES
PLATANUS ACERIFOLIA	

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL OF THE HOWARD COUNTY ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.
- ALL DISTURBED AREAS TO BE TREATED WITH 4" TOPSOIL & SEEDED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
- THE CONTRACTOR IS TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. THE CONTRACTOR IS TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACK FLOW PREVENTION, METERS AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN.

PLANTING SPECIFICATIONS:

- SCOPE OF WORK
A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS
A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
B. PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
C. TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOTS.
D. MULCH - DOUBLE SHREDDED HARDWOOD BARK MULCH.
- FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS
A. ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROHUMUS".
B. ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE "GRO-POWER" AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1); NITROGEN 5%, PHOSPHATE 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
- GENERAL WORK PROCEDURES
A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE KEPT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEP CLEAN AT THE END OF EACH DAY'S WORK.
- WEEDING
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- TOPSOILING
A. CONTRACTOR TO PROVIDE FOUR INCHES (4") MINIMUM THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A FOUR INCH (4") COMPACTED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
- SOIL CONDITIONING
A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
20 POUNDS "GRO-POWER"
100 POUNDS AGRICULTURAL GYPSUM
20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP
THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.5.
MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- PLANTING
A. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
A. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
1 PART PEAT MOSS
1 PART COW MANURE BY VOLUME
3 PARTS TOPSOIL BY VOLUME
21 GRAM "AGRIFORM" PLANTING TABLETS AS FOLLOWS:
2 TABLETS PER 1 GAL. PLANT
3 TABLETS PER 5 GAL. PLANT
4 TABLETS PER 15 GAL. PLANT
LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER
- MAINTENANCE (ALTERNATE BID)
A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
B. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief-Development Engineering Division: *[Signature]* 12/15/06
 Chief-Division of Land Development: *[Signature]* 12/15/06
 Director: *[Signature]* 12/15/06
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER: _____ DATE: _____
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION

OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217
 DEVELOPER: JDH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

PROJECT: JDH CAPITAL PARCEL A, HOLWICK SUBDIVISION 12400 AUTO DRIVE CLARKSVILLE, HOWARD COUNTY, MARYLAND

AREA 1.299 AC. TAX MAP 34 GRID 6 ZONED B-2 PARCEL 365-A L 3900, F. 465 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: LANDSCAPE NOTES AND DETAILS

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENBOROUGH COURT, SUITE 300, TOWSON, MD 21286
 (410) 281-7777 FAX (410) 281-7778

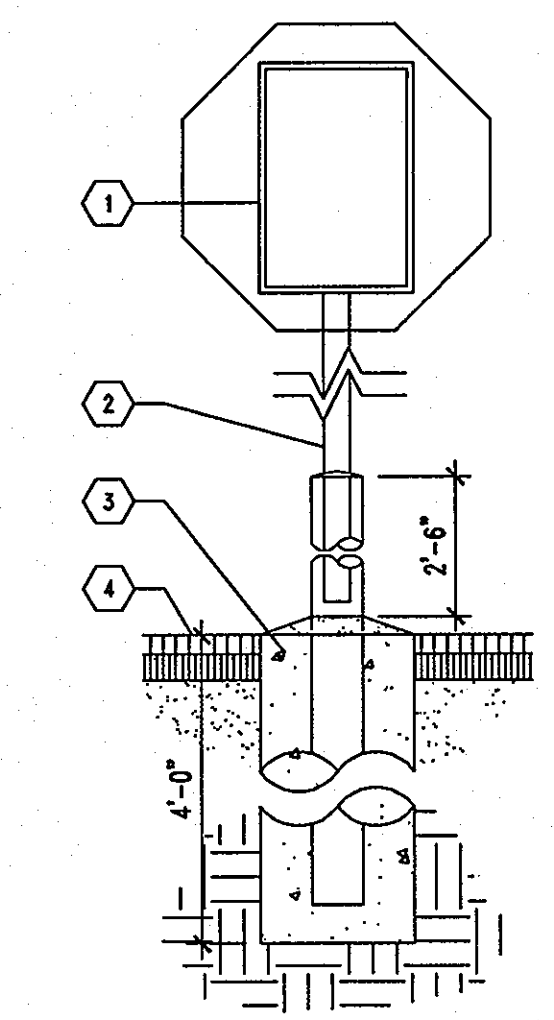
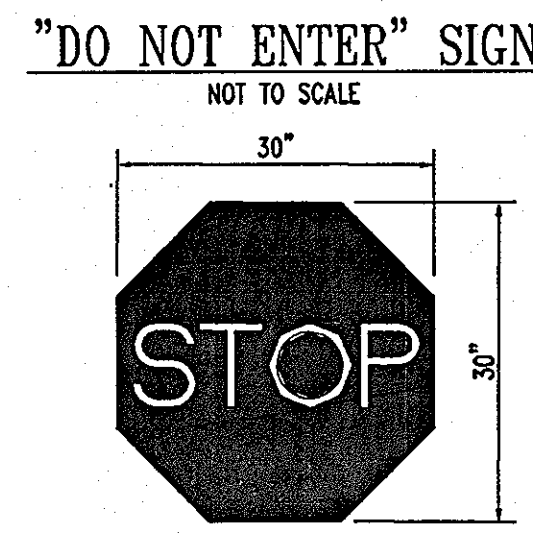
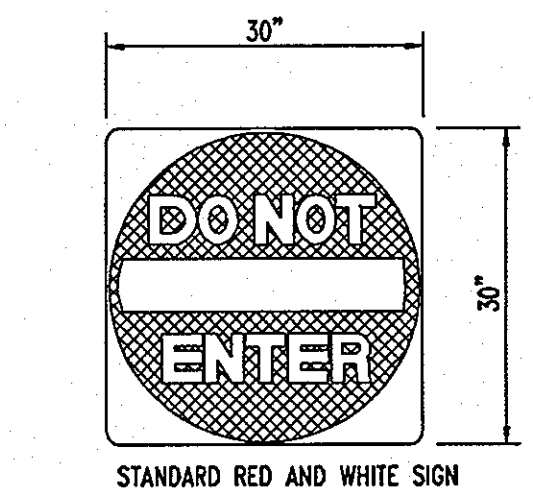
DESIGNED BY: J.A.D.
 DRAWN BY: R.L.B.
 PROJECT NO.: MD052039
 DATE: 8/17/06
 SCALE: N.T.S.
 DRAWING NO. 17 OF 23

BEFORE YOU DIG CALL 800-287-2777
 PROTECT YOURSELF, OVE TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN CONFORMANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

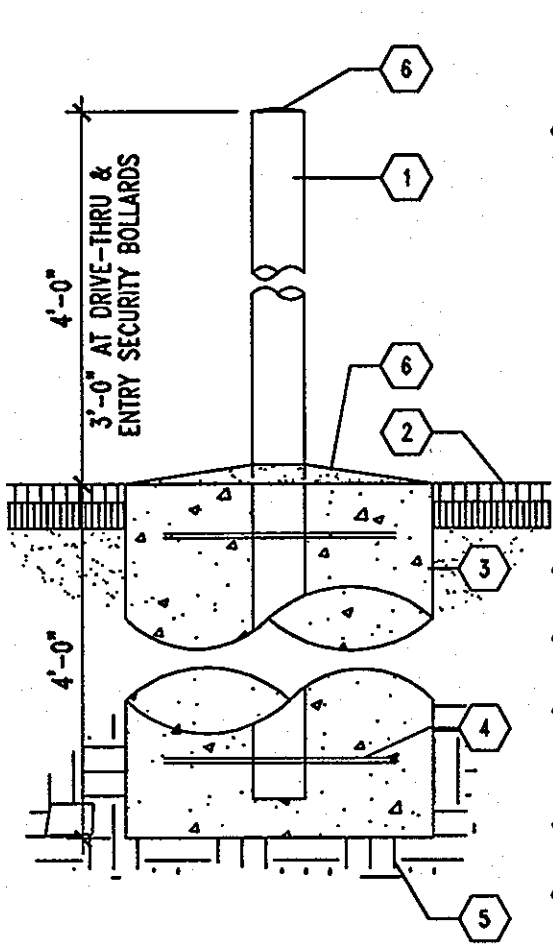
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

SDP-06-080



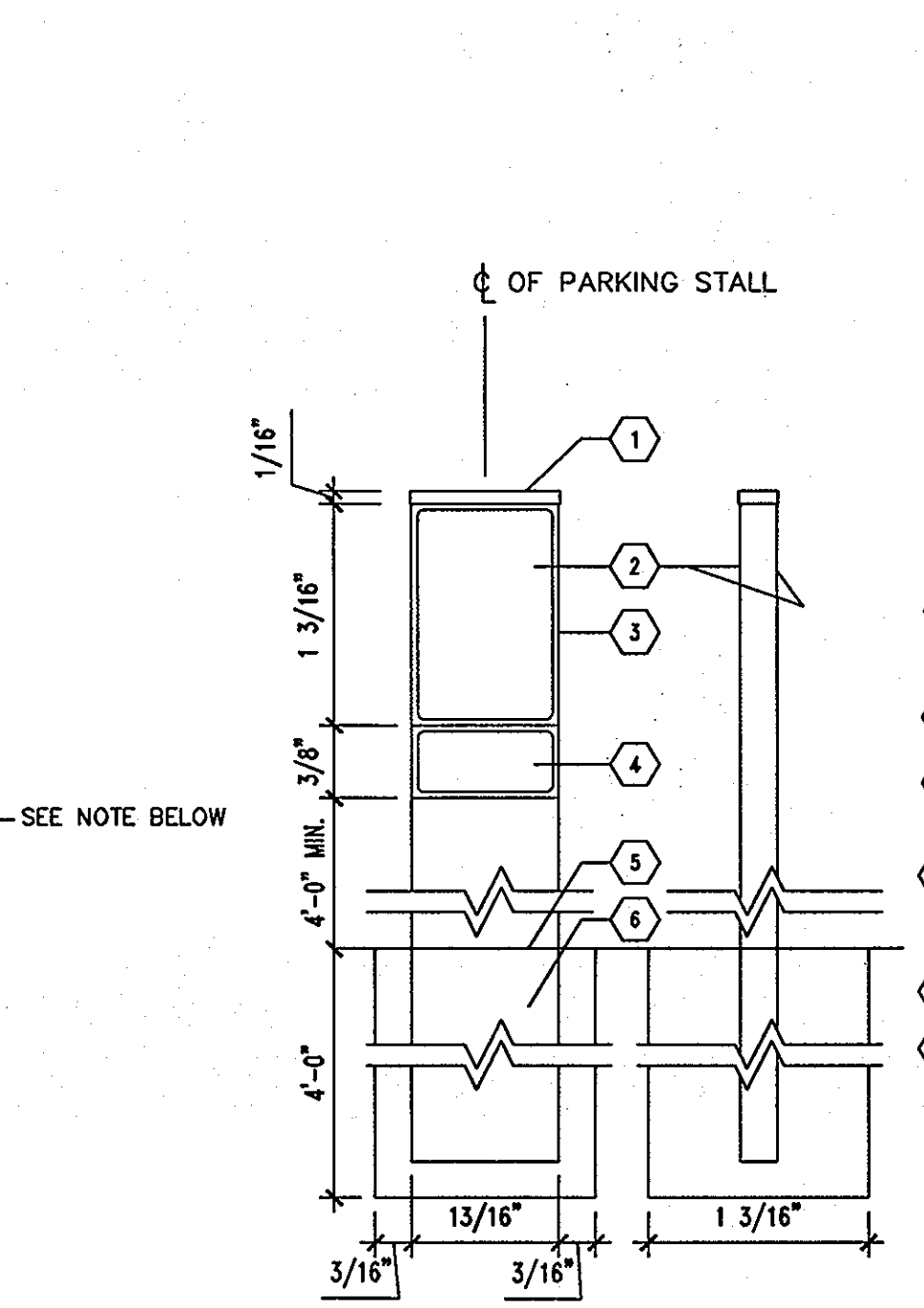
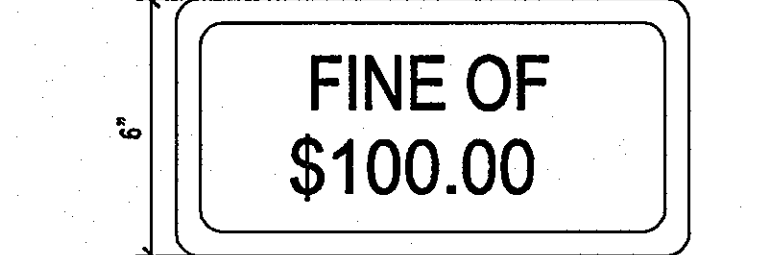
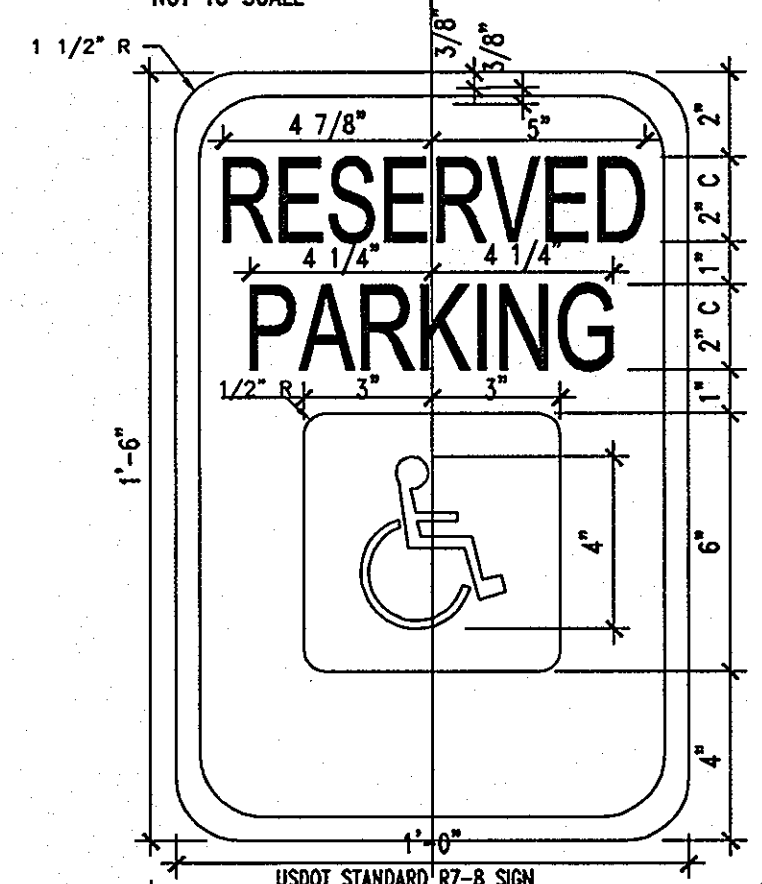
TRAFFIC DIRECTION SIGN (FREESTANDING)
NOT TO SCALE

- KEYED NOTES**
- 1 TRAFFIC DIRECTIONAL SIGN.
 - 2 2" X 2" STEEL TUBE EXTENDED INTO CONCRETE FILLED 4" PIPE.
 - 3 12" CONCRETE FOUNDATION 6" BELOW FROST LINE (4 FT. MINIMUM BELOW FIN. GRADE).
 - 4 FINISHED GRADE.



TYPICAL PIPE BOLLARD
NOT TO SCALE

- KEYED NOTES**
- 1 6" STANDARD STL. PIPE CONCRETE FILLED IN RECEIVING LOCATIONS INCLUDING UTILITIES, TRASH ENCLOSURE, AND SPRINKLER RISERS (EXCEPTION: 4" STL. PIPE AT DRIVE-THRU AND FRONT WALK). PROVIDE 1/4" WELDED CLOSURE PLATE AT BOTTOM. PAINT PIPES YELLOW. BOLLARDS ON WALK AND DRIVE-THRU TO RECEIVE GRAY POLYETHYLENE COVER (FROM IDEAL SHIELD - 313-842-7290).
 - 2 TOP OF PAVEMENT.
 - 3 24" CONCRETE FOUNDATION. USE SONOTUBE FORM.
 - 4 3/8" WELDED HOOPS. 16" TOP, BOTTOM, AND CENTER.
 - 5 SOLID UNDISTURBED SOIL.
 - 6 PROVIDE PITCH, SMOOTH CONCRETE FINISH.

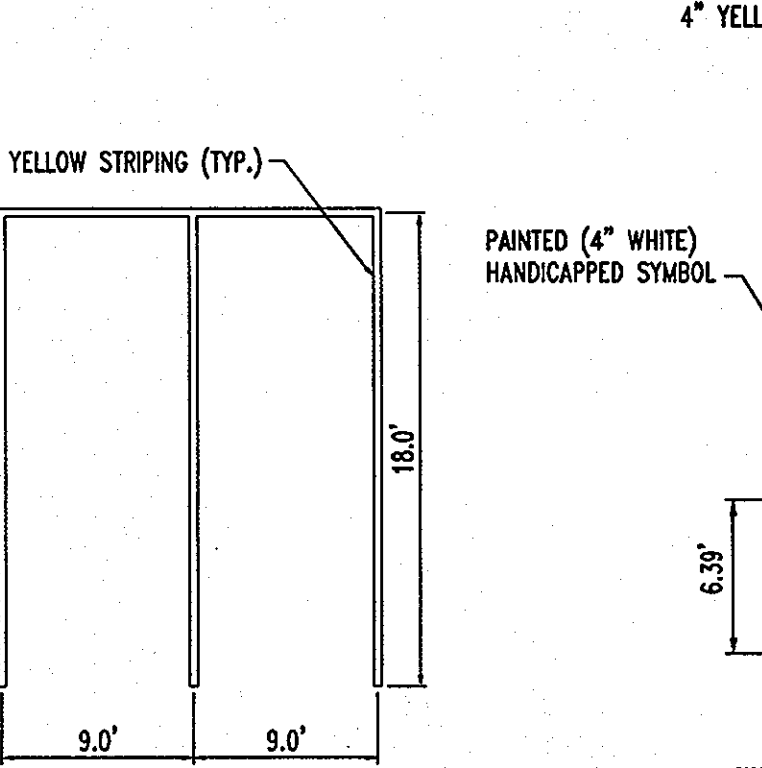


ACCESSIBLE PARKING SIGN AND POST (FREESTANDING)
NOT TO SCALE

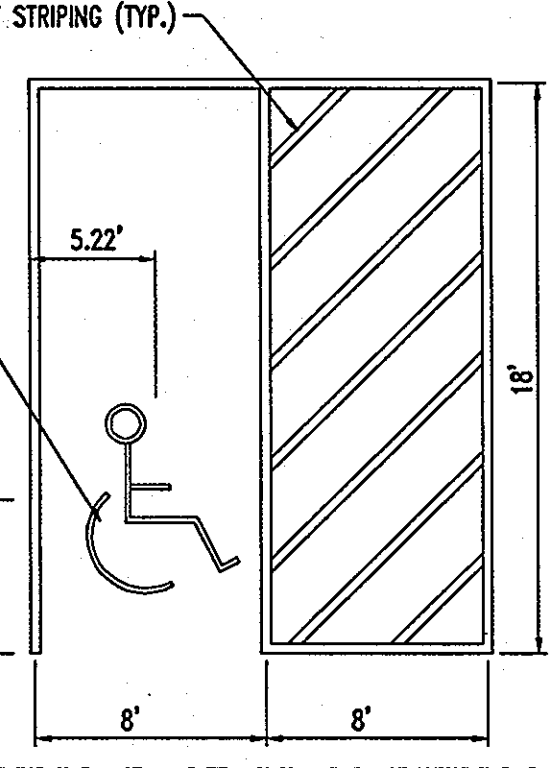
- KEYED NOTES**
- 1 PREFABRICATED WELDED CAP W/ STAINLESS STEEL SCREWS.
 - 2 STANDARD USDOT R7-8 SIGN (BOTH SIDES).
 - 3 2" X 12" STEEL TUBE - PAINT ENAMEL WHITE (FILL W/ CONC.).
 - 4 SUPPLEMENTAL SIGNS, "VAN ACCESSIBLE" AND/OR "\$-FINE AS APPLICABLE."
 - 5 FINISHED GRADE.
 - 6 18" DIA. CONCRETE FOOTER BELOW FROST LINE (4'-0" MIN.).

NOTE (R7-8 SIGN): THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONSULT WITH LOCAL REGULATIONS.

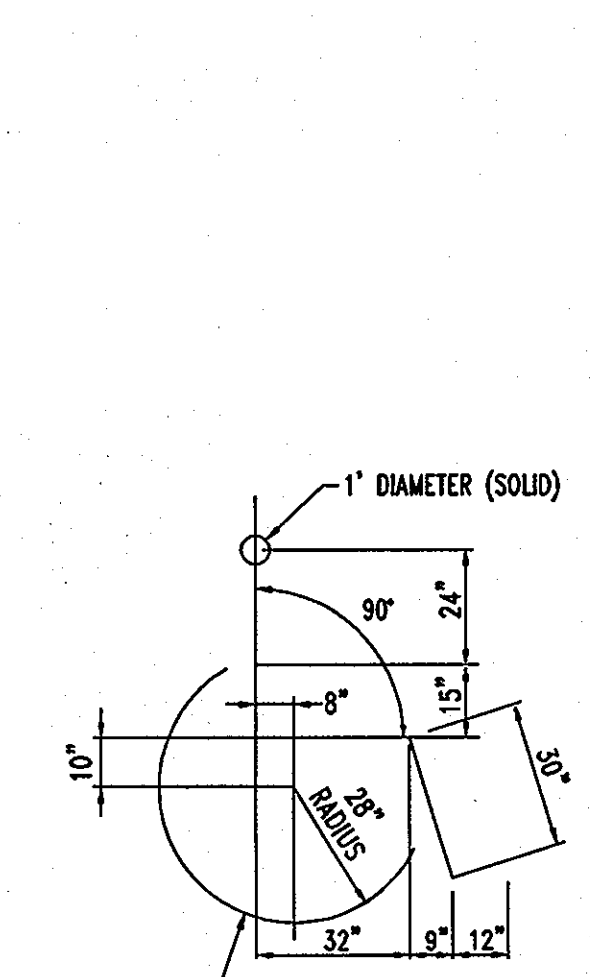
HANDICAP PARKING SIGN
NOT TO SCALE



STRIPING MARKINGS
NOT TO SCALE



HANDICAP STALL MARKINGS
NOT TO SCALE

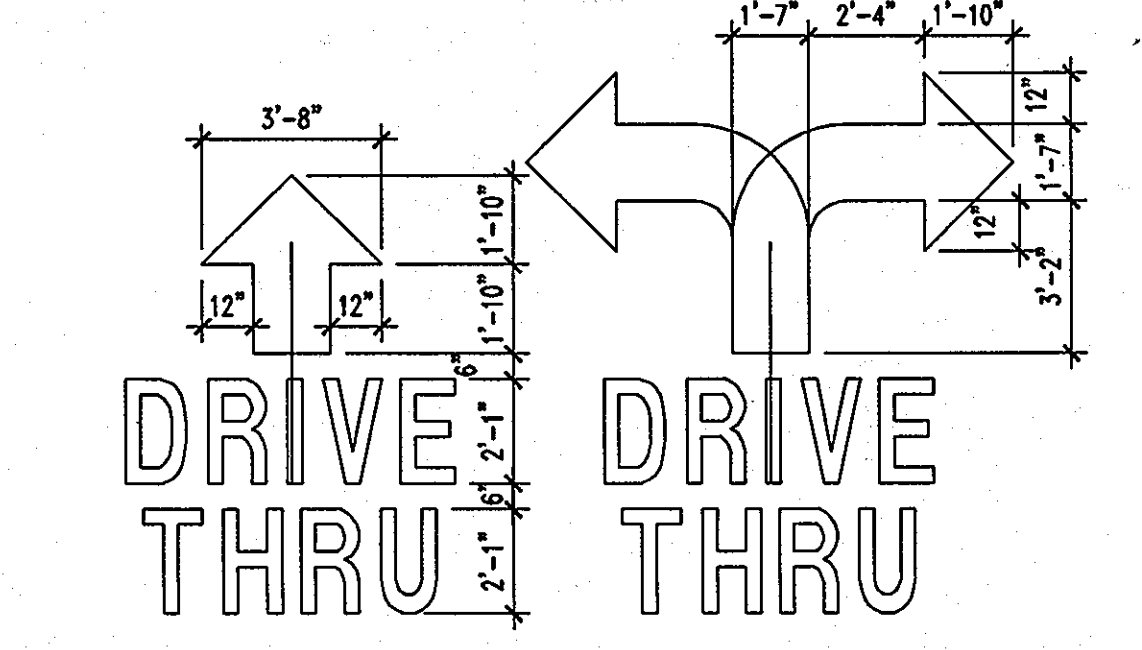


HANDICAP SYMBOL DETAIL
NOT TO SCALE

DRIVE THRU ONLY

- NOTES:**
1. PAINT COLOR TO BE "YELLOW" FOR ARROW AND LETTERS. "DRIVE-THRU" AND "STOP" LETTERS TO BE ELONGATED HELEVETICA MEDIUM - 4" WIDE STROKES.
 2. PAINT 2" BLACK OUTLINE AROUND ARROW AND LETTERS FOR PROJECTS WITH CONCRETE PARKING LOTS.

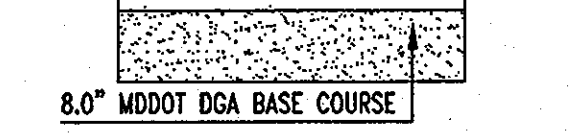
"DRIVE THRU ONLY" PAVEMENT MARKING



- NOTES:**
1. PAINT COLOR TO BE "YELLOW" FOR ARROW AND LETTERS. "DRIVE-THRU" AND "STOP" LETTERS TO BE ELONGATED HELEVETICA MEDIUM - 4" WIDE STROKES.
 2. PAINT 2" BLACK OUTLINE AROUND ARROW AND LETTERS FOR PROJECTS WITH CONCRETE PARKING LOTS.

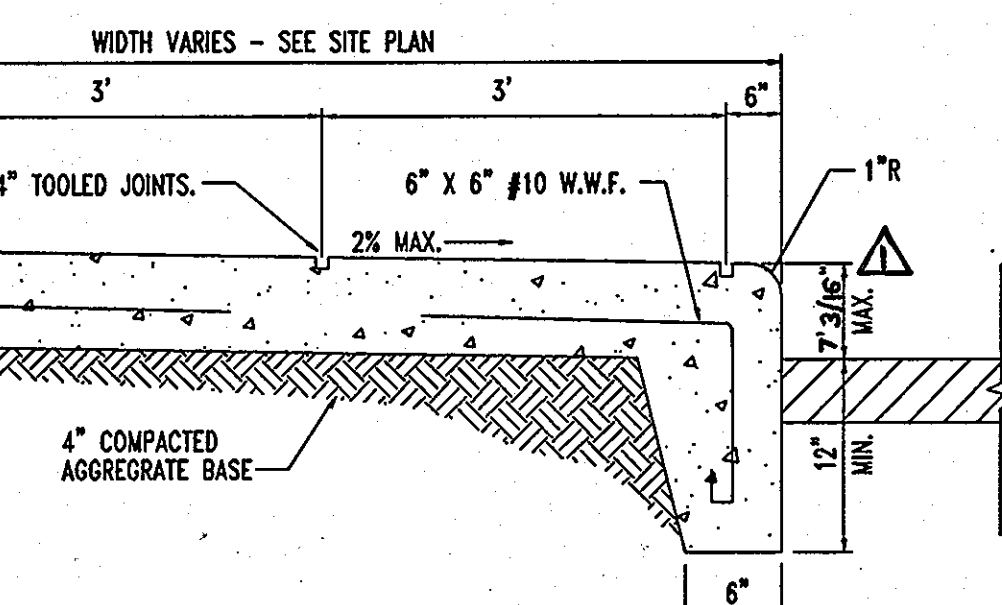
PAVEMENT MARKINGS
NOT TO SCALE

CONCRETE PAVING DETAIL

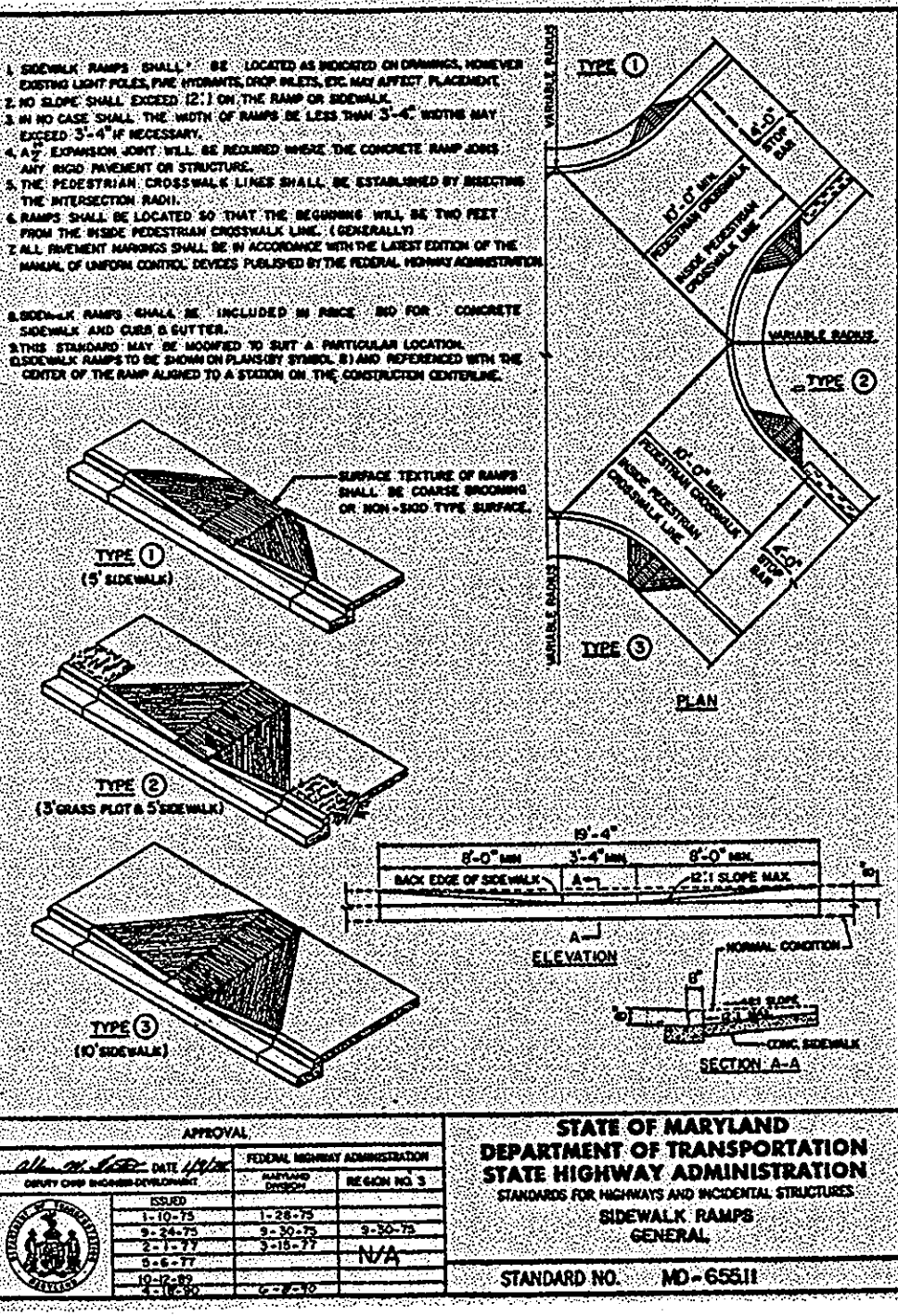


CONCRETE PAVING DETAIL
NOT TO SCALE

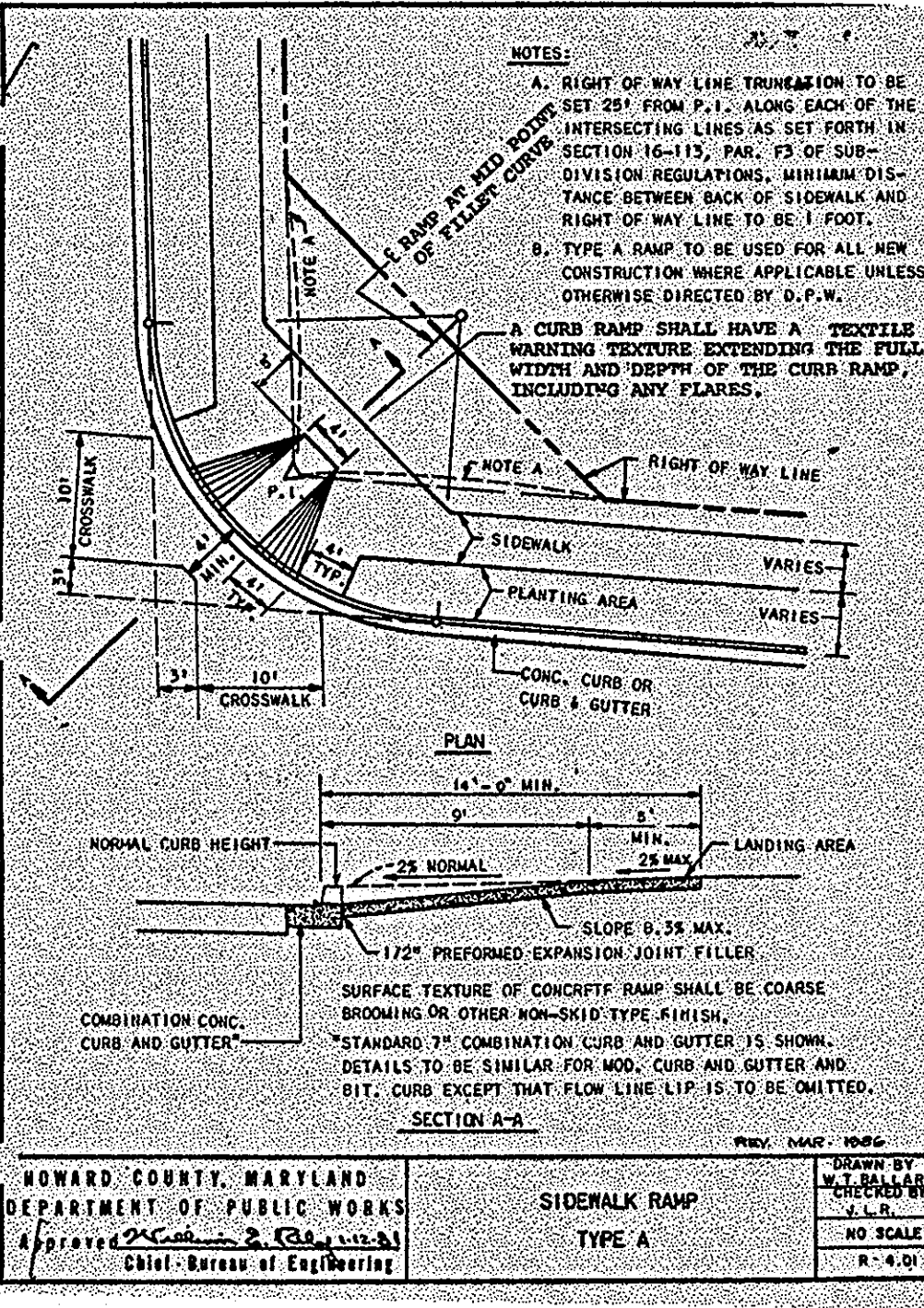
*NOTE: A CBR VALUE OF FOUR HAS BEEN RECOMMENDED FOR THIS PROJECT.



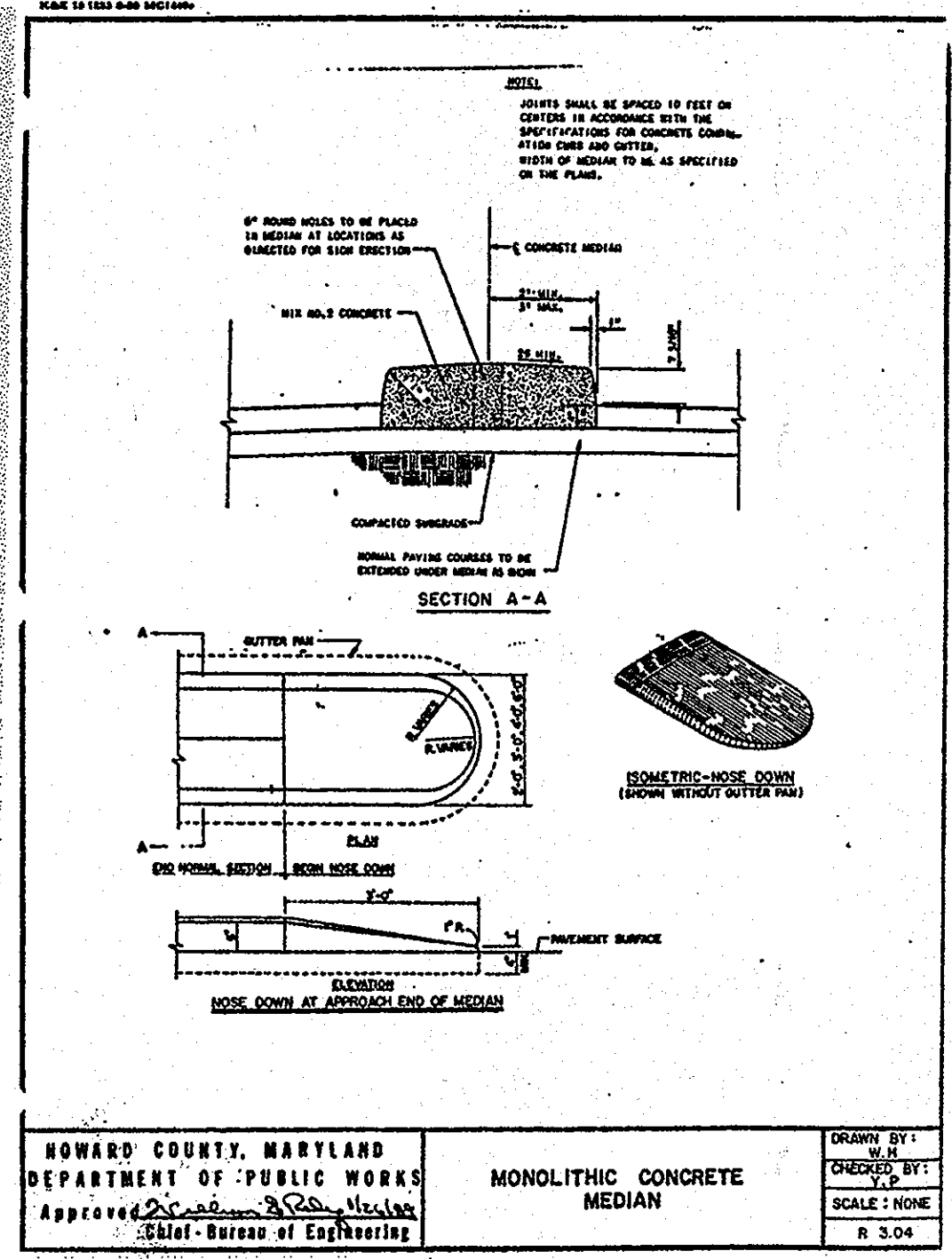
TYPICAL BUILDING PERIMETER SIDEWALK
NOT TO SCALE



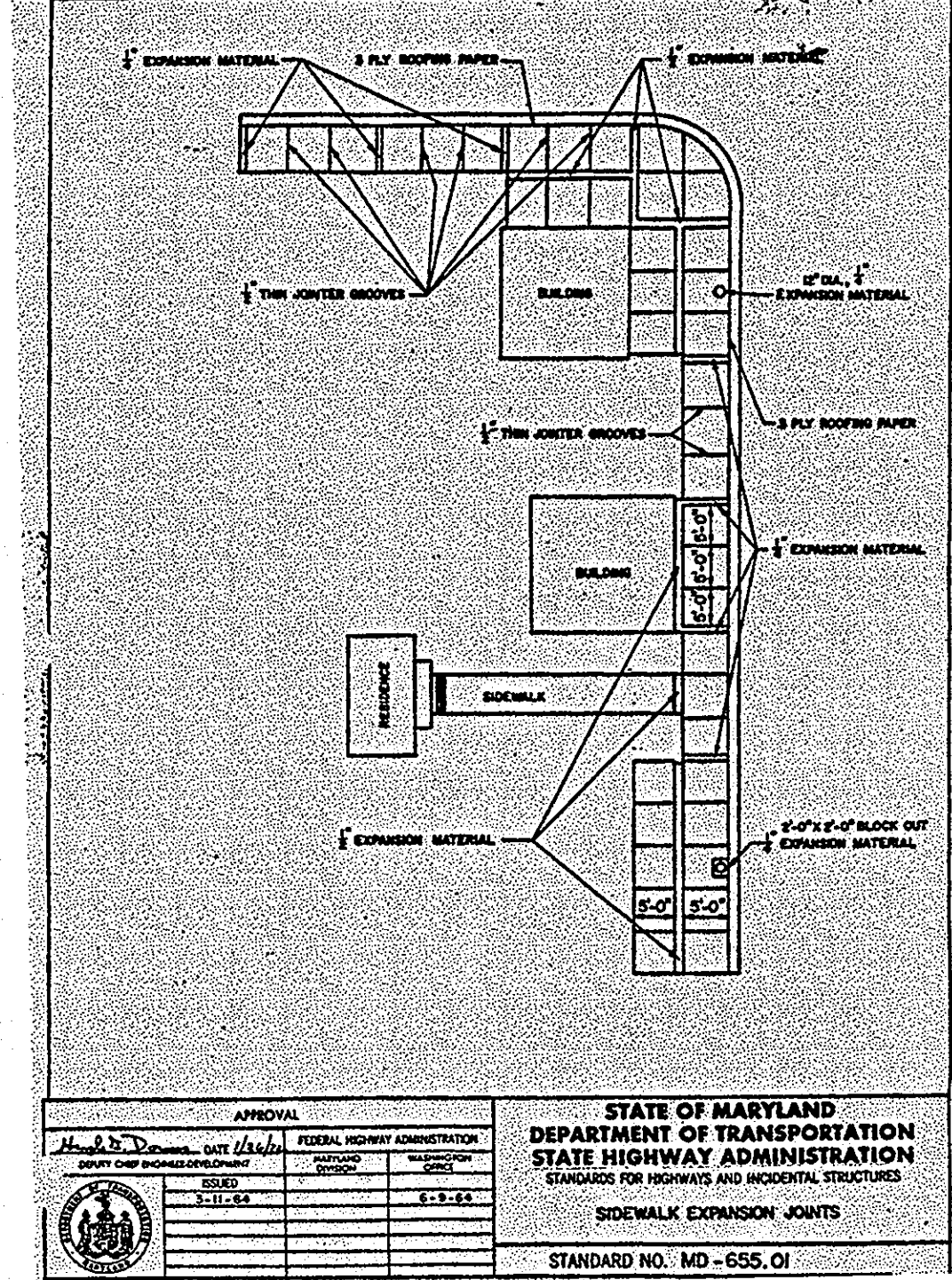
STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION
STANDARDS FOR HIGHWAYS AND ROADWAY STRUCTURES
SIDEWALK RAMP
GENERAL
STANDARD NO. MD-05511



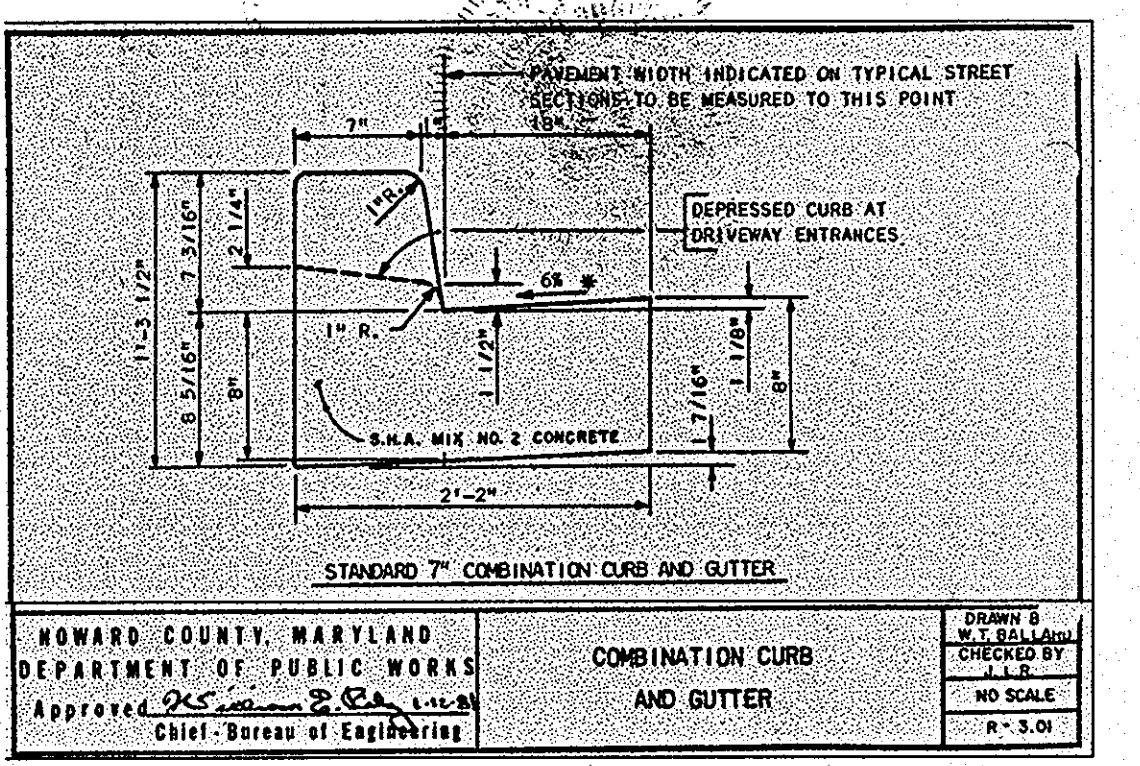
STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION
STANDARDS FOR HIGHWAYS AND ROADWAY STRUCTURES
SIDEWALK RAMP
TYPE A
STANDARD NO. MD-655.01



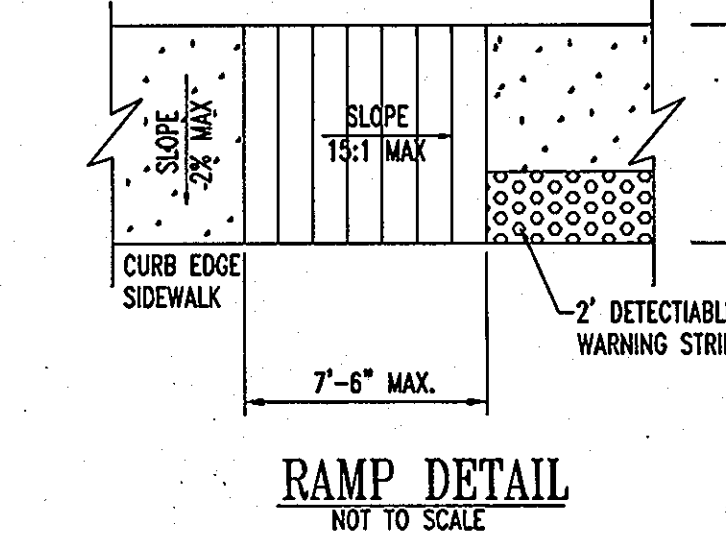
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
MONOLITHIC CONCRETE
MEDIAN
DESIGNED BY: J.L.B.
CHECKED BY: J.L.B.
NO SCALE
SCALE: NONE
R-3.04



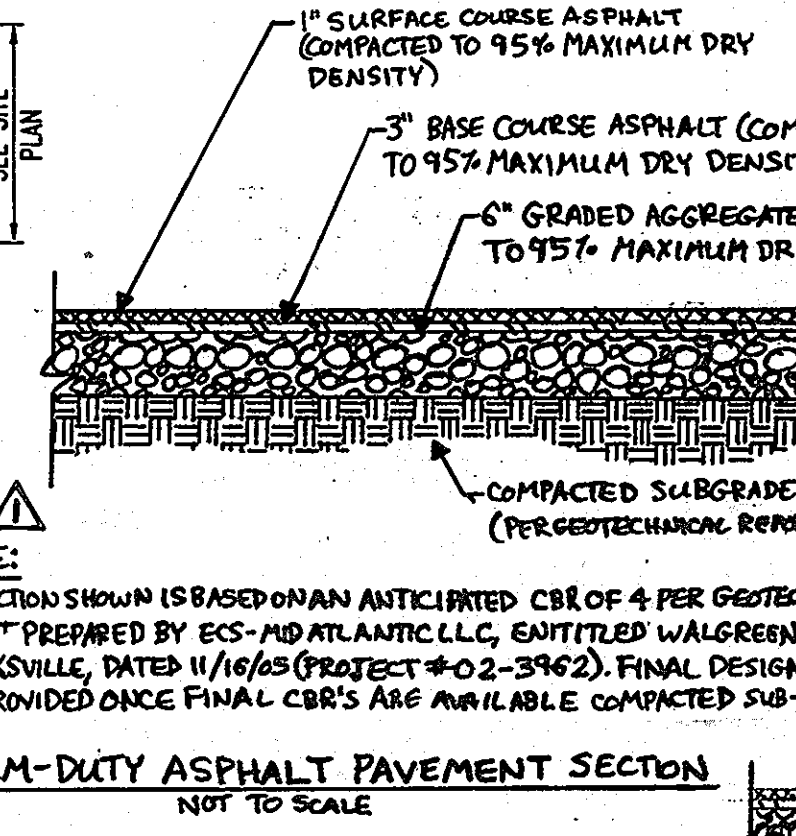
STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION
STANDARDS FOR HIGHWAYS AND ROADWAY STRUCTURES
SIDEWALK EXPANSION JOINTS
STANDARD NO. MD-655.01



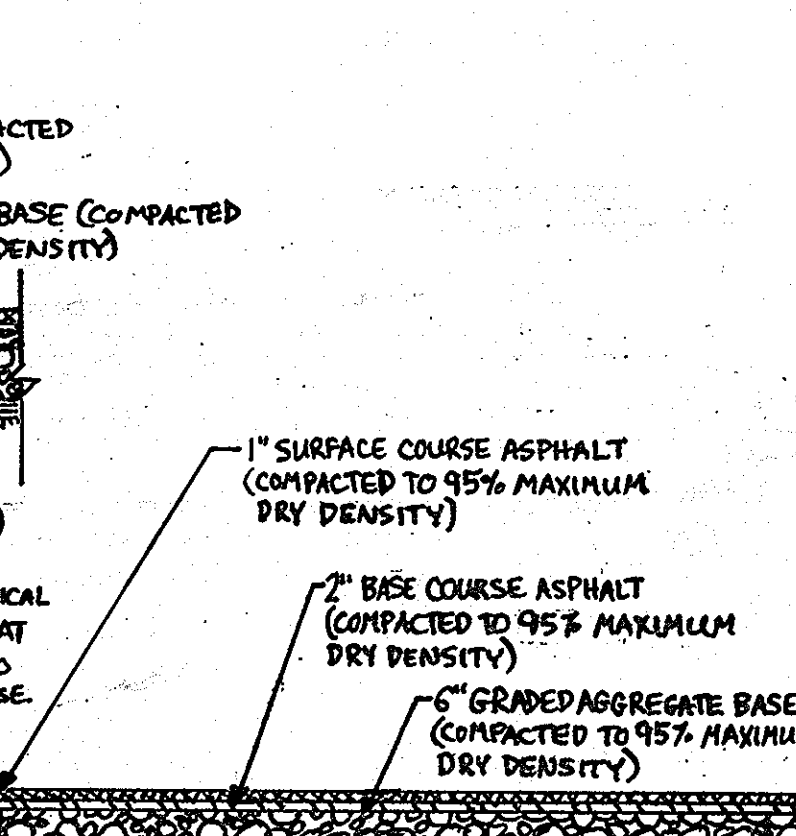
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
COMBINATION CURB AND GUTTER
DESIGNED BY: J.L.B.
CHECKED BY: J.L.B.
NO SCALE
SCALE: NONE
R-3.04



RAMP DETAIL
NOT TO SCALE



MEDIUM-DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

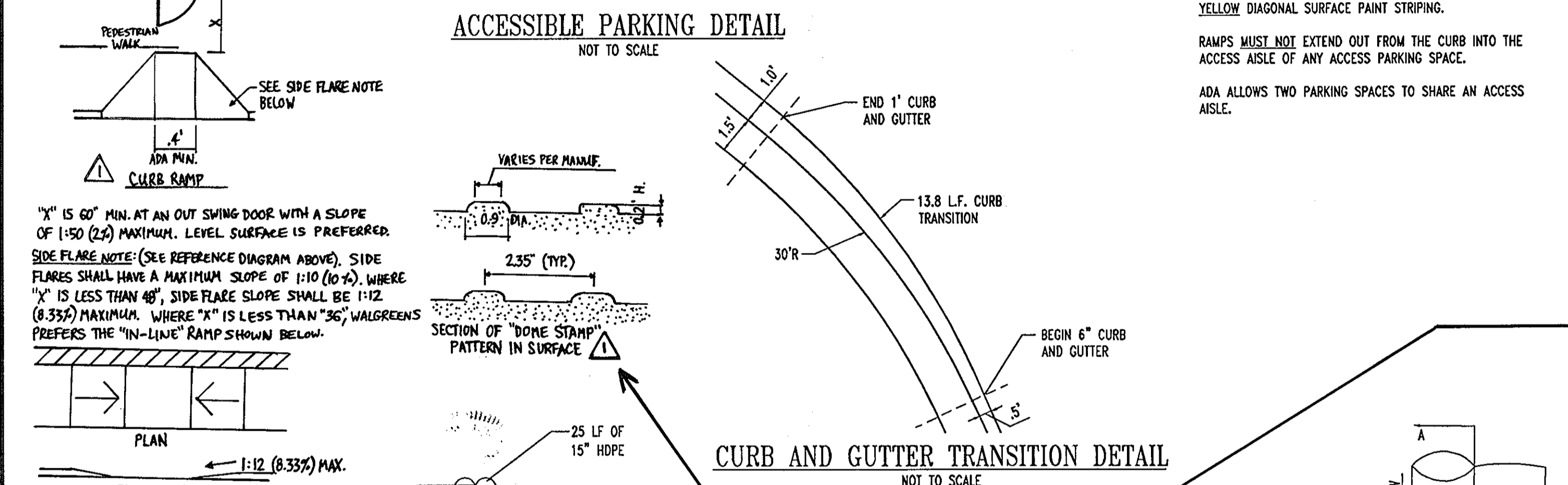
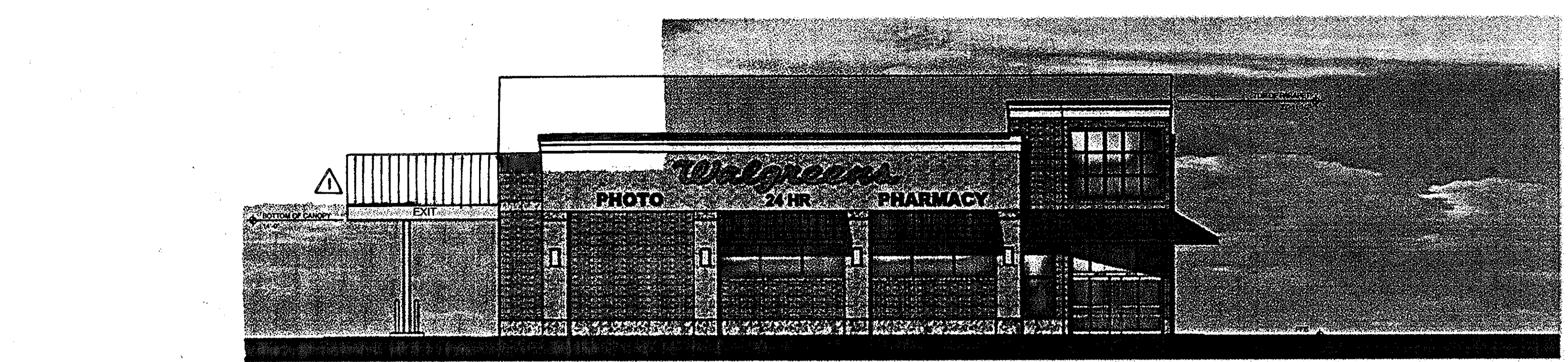
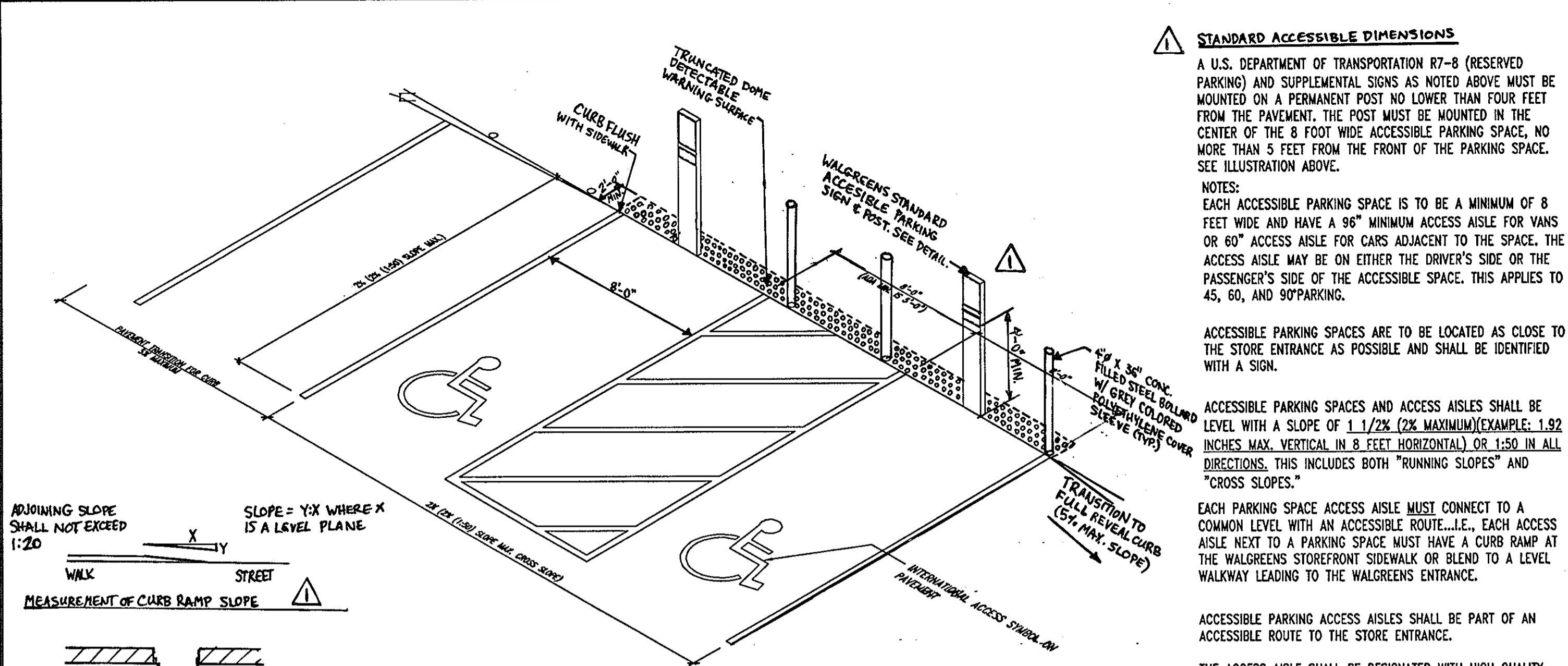


STANDARD-DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE

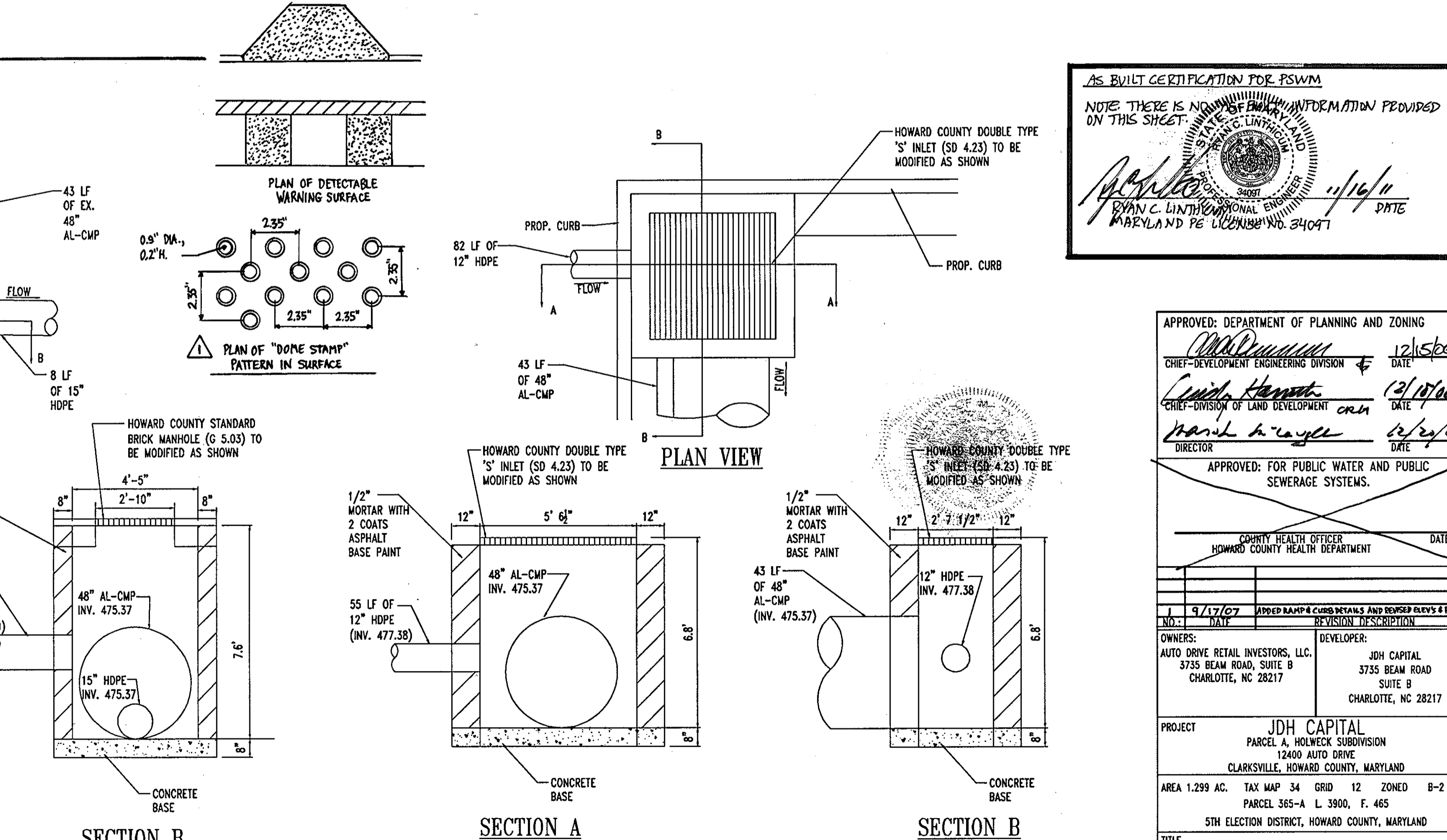
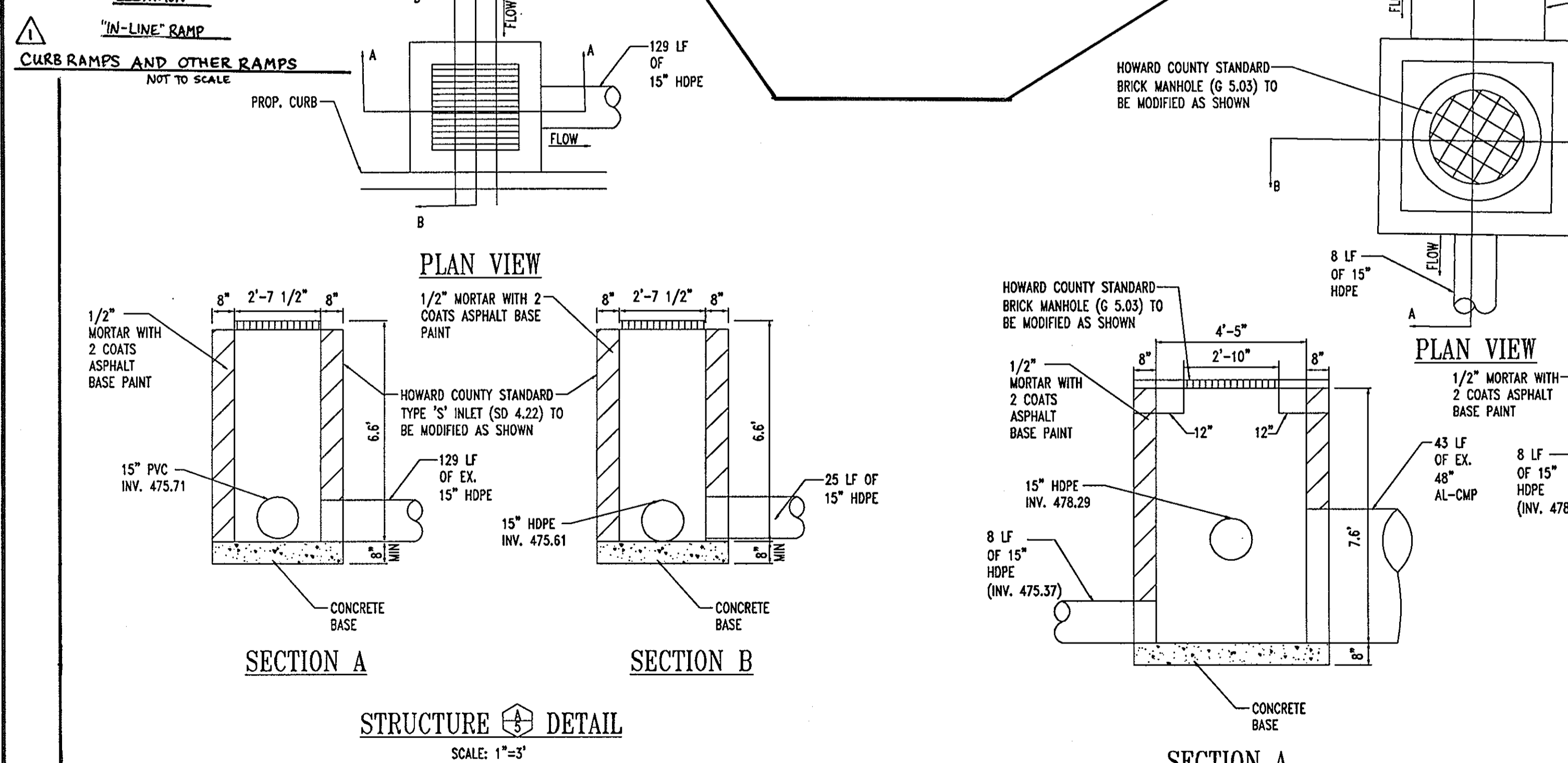
AS BUILT CERTIFICATION FOR FSWM
NOTE: THERE IS NO ADDITIONAL INFORMATION PROVIDED ON THIS SHEET.
DATE: 11/16/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
CHIEF-DIVISION OF LAND DEVELOPMENT
DIRECTOR
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT		DATE
NO. 9/17/07	REVISED ASPHALT PAVEMENT AND SIDEWALK	REVISION DESCRIPTION
DATE		
OWNERS:	DEVELOPER:	
AUTO DRIVE RETAIL INVESTORS, LLC.	JDH CAPITAL	
3735 BEAM ROAD, SUITE B	3735 BEAM ROAD	
CHARLOTTE, NC 28217	CHARLOTTE, NC 28217	
PROJECT:	JDH CAPITAL	
PARCEL A, HOLWICK SUBDIVISION	12400 AUTO DRIVE	
CLARKSVILLE, HOWARD COUNTY, MARYLAND		
AREA 1.239 AC.	TAX MAP 34 GRD 12 ZONED B-2	
PARCEL 365-A L. 3900, F. 465		
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
TITLE	CONSTRUCTION DETAILS	
BOHLER ENGINEERING, P.C.		
*PROFESSIONAL ENGINEERING SERVICES *810 GLENARCADE COURT, SUITE 300, TOWSON, MD 21286 *601 67TH AVE. SUITE 201, BOWEN, MD 21030		
DESIGNED BY:	J.L.B.	
DRAWN BY:	J.L.B.	
PROJECT NO.:	MD052039	
DATE:	8/17/06	
SCALE:	N.T.S.	
DRAWING NO.	19 OF 23	



BUILDING ELEVATIONS
 NOT TO SCALE



GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE OF THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

NOTES:
 A CURB RAMP(S) MUST BE PROVIDED ALONG AN ACCESSIBLE PATH FROM THE PARKING LOT TO WALGREENS CURBED SIDEWALK.
 A CURB RAMP(S) MUST ALSO BE PROVIDED IN THE PARKING LOT AT ALL INTERMEDIATE AND PERIMETER CURBS ALONG THE ACCESSIBLE ROUTE CONNECTING TO PUBLIC SIDEWALKS.
 A RAMP IS ANY SLOPE GREATER THAN 1:20 (5%) AND SHALL HAVE A MAXIMUM SLOPE OF 1:12 (8.33%). THE MAXIMUM SLOPE IS 1" OF RISE PER FOOT OF DISTANCE TRAVELED. ALL SLOPED AREAS OF THE RAMP ARE TO HAVE AN INTEGRAL RED COLOR.
 THE CLEAR WIDTH OF ANY RAMP IS A MINIMUM OF 36".

CURB RAMPS AND OTHER RAMPS
 NOT TO SCALE

STRUCTURE DETAIL
 SCALE: 1"=3"

SECTION A
 SCALE: 1"=3"

SECTION B
 SCALE: 1"=3"

SECTION AT CURB RAMP WITH ALTERNATE TRUNCATED PAVERS W/ DOMES

Annotations include: 'CURB RAMPS HAVE A MAXIMUM RISE OF 6" AND DO NOT REQUIRE HANDRAILS. ANY RAMP WITH GREATER THAN A 6" RISE SHALL HAVE HANDRAILS ON BOTH SIDES AND CURBED EDGE PROTECTION ON BOTH SIDES. EDGE PROTECTION CONSISTS OF CURBS, WALLS, RAILINGS, OR PROJECTING SURFACES THAT PREVENT PEOPLE FROM SLIPPING OFF THE RAMP.', 'CURB RAMPS MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP INCLUDING ANY FLARES. THE DETECTABLE SURFACE MUST CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (AFTER LIGHT-ON-DARK OR DARK-ON-LIGHT). SEE ABOVE DETAIL.', 'LATEX OR EPOXY MODIFIED CEMENT MORTAR LEVELING COURSE.', '1/2" (W/ PAVERS) 1/2" SEALED GROUT JOINTS', '1.6" MIN. OR FULL RAMP', 'SCALE: 1"=3"

AS BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO OTHER INFORMATION PROVIDED ON THIS SHEET.
 [Signature]
 DYAN C. LINTHROP, PROFESSIONAL ENGINEER
 MARYLAND REG. LICENSE NO. 34047 DATE 1/16/11

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 12/15/06
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 [Signature] 12/17/06
 CHIEF-DIVISION OF LAND DEVELOPMENT
 [Signature] 12/22/06
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED RAMP & CURB DETAILS AND REVERSED ELEVATIONS PRESENTED IN THIS SHEET

NO.	DATE	REVISION DESCRIPTION
1	9/17/07	ADDED RAMP & CURB DETAILS AND REVERSED ELEVATIONS PRESENTED IN THIS SHEET

OWNERS: AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217
DEVELOPER: JDH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217

PROJECT: JDH CAPITAL PARCEL A, HOLWECK SUBDIVISION 12400 AUTO DRIVE CLARKSVILLE, HOWARD COUNTY, MARYLAND

AREA: 1.299 AC. TAX MAP 34 GRID 12 ZONED B-2 PARCEL 365-A L 3900, F. 465 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

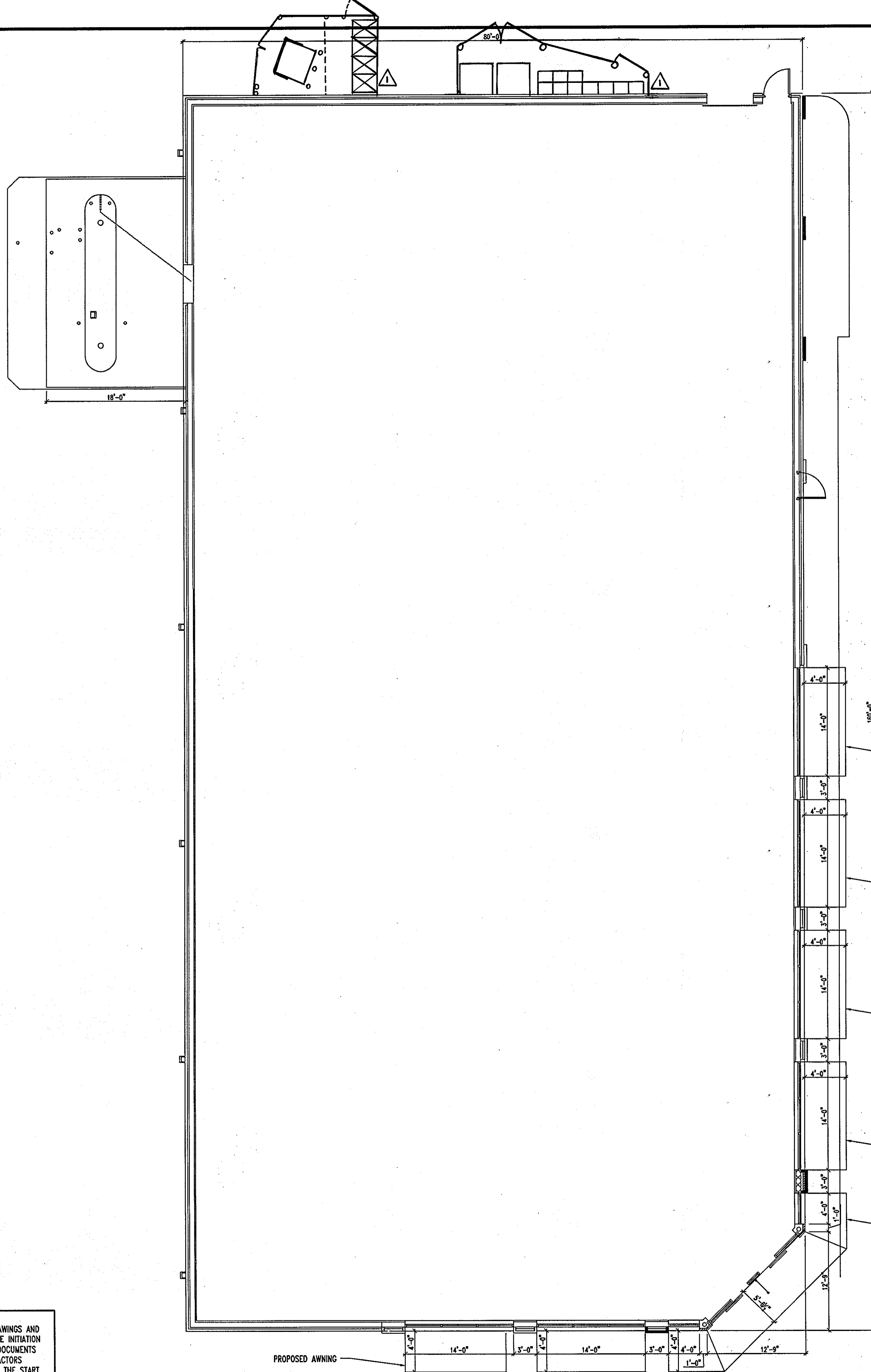
TITLE: CONSTRUCTION DETAILS

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 810 GLENKILGESS COURT, SUITE 300, TOWSON, MD 21286
 (410) 851-7000 FAX (410) 851-7001

DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MD052039
DATE: 8/17/06
SCALE: N.T.S.

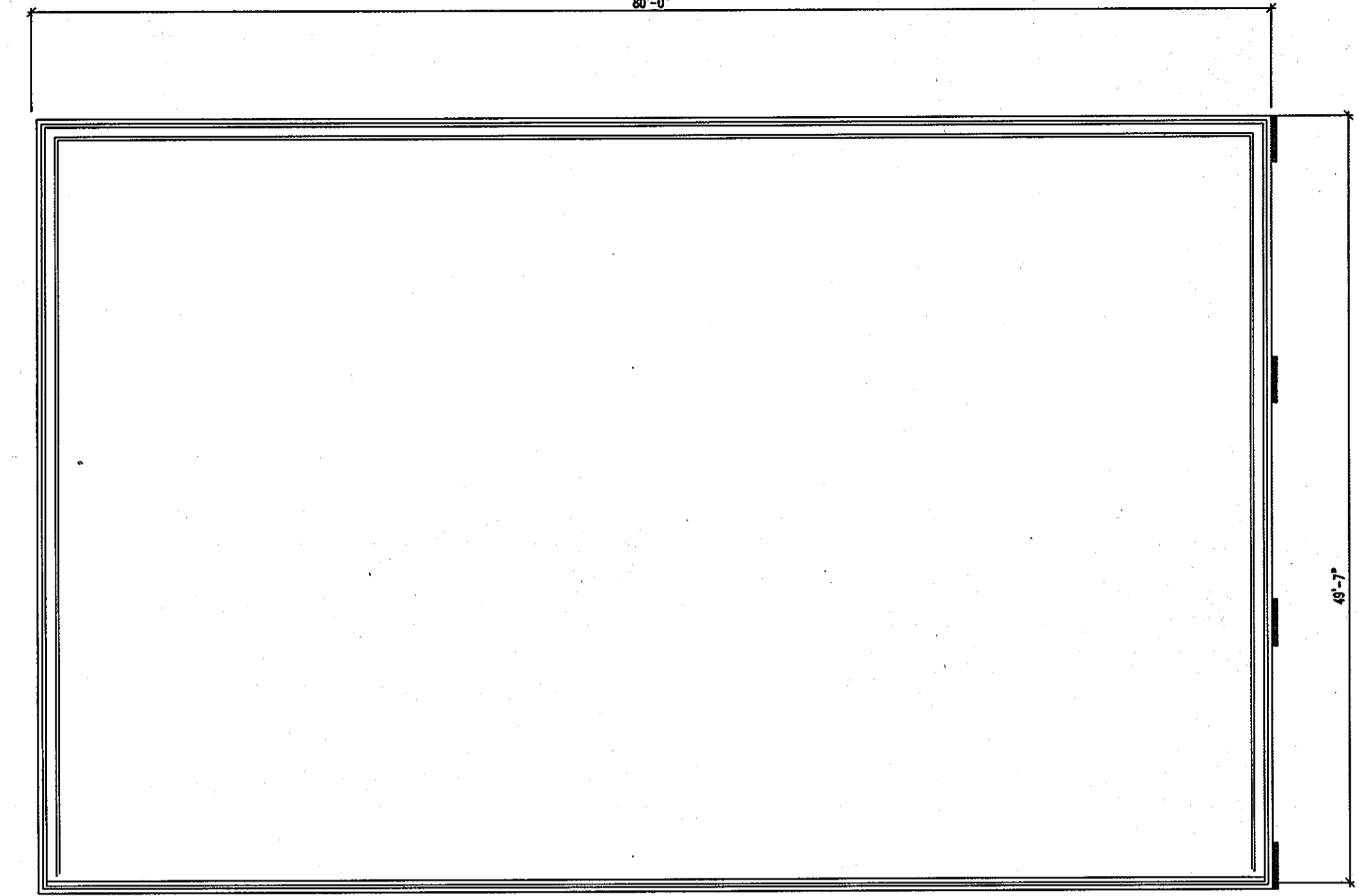
DRAWING NO. 21 OF 23

SDP-06-080



FIRST FLOOR BUILDING FOOT PRINT
SCALE: 1/8"=1'

GENERAL NOTE:
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SECOND FLOOR BUILDING FOOT PRINT
SCALE: 1/8"=1'

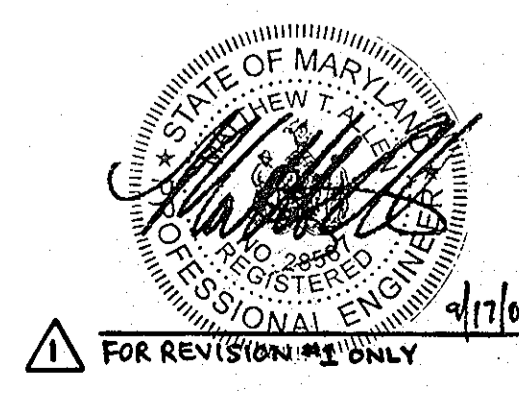
NOTE: REFER TO COMPLETE AND APPROVED ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

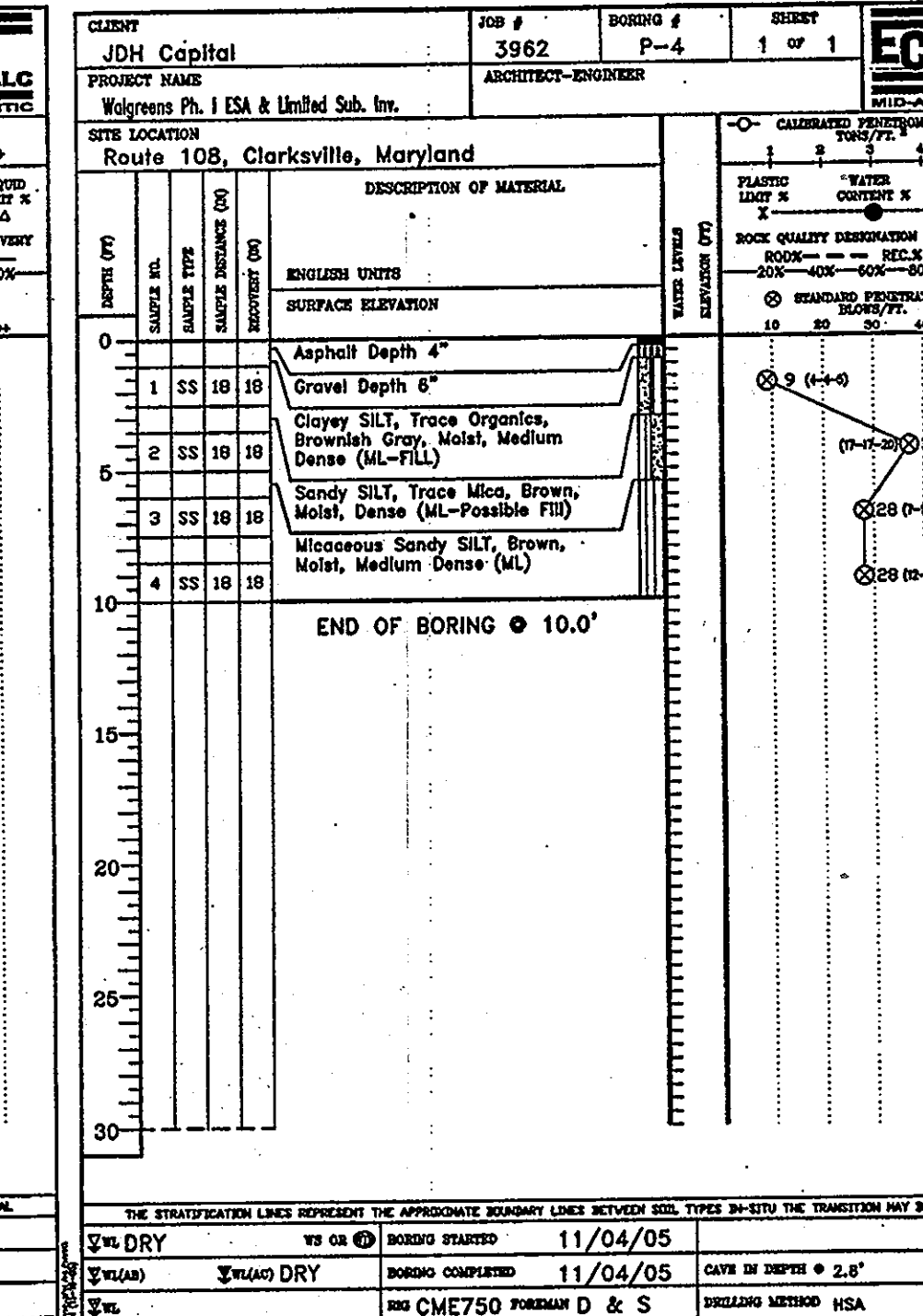
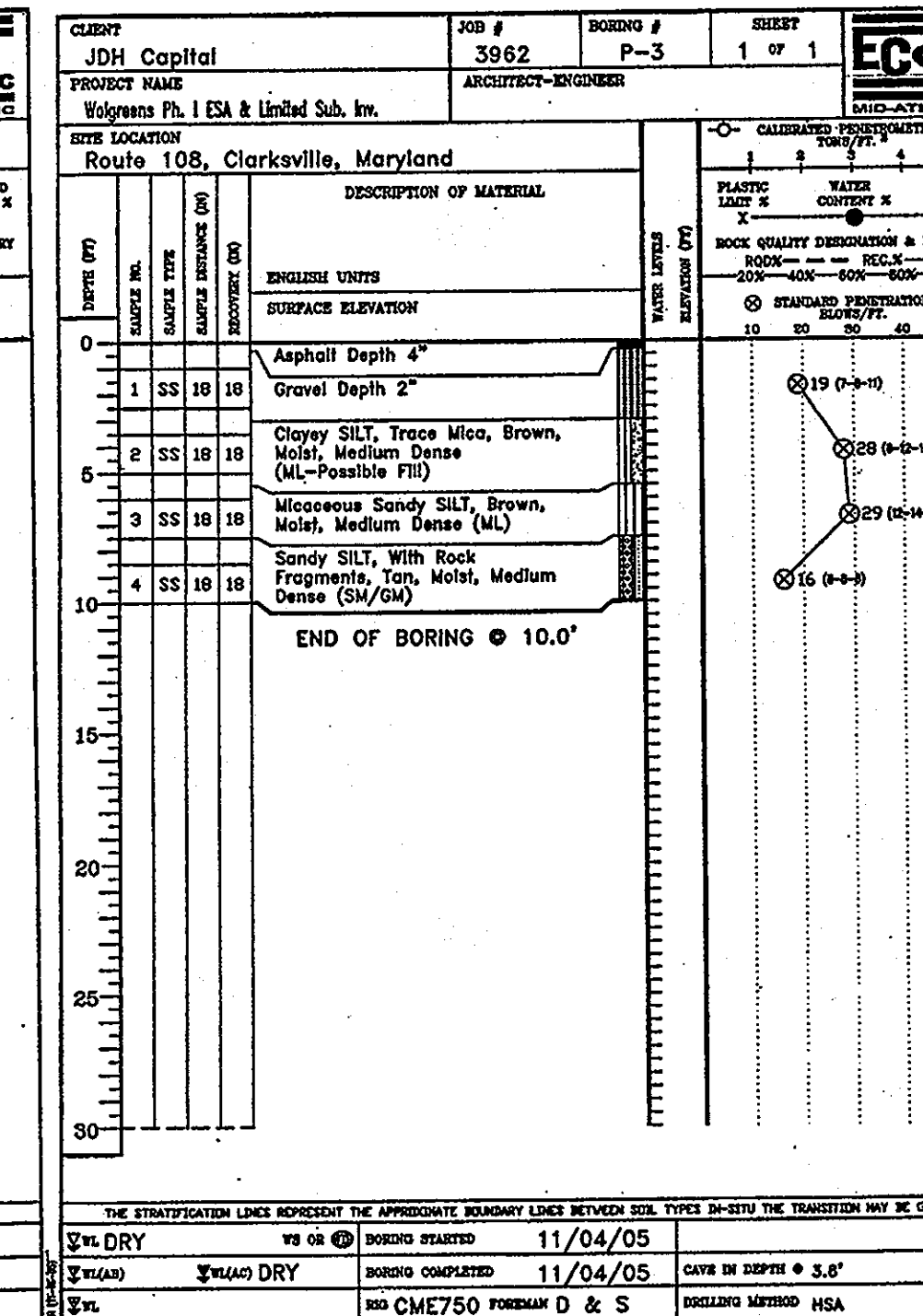
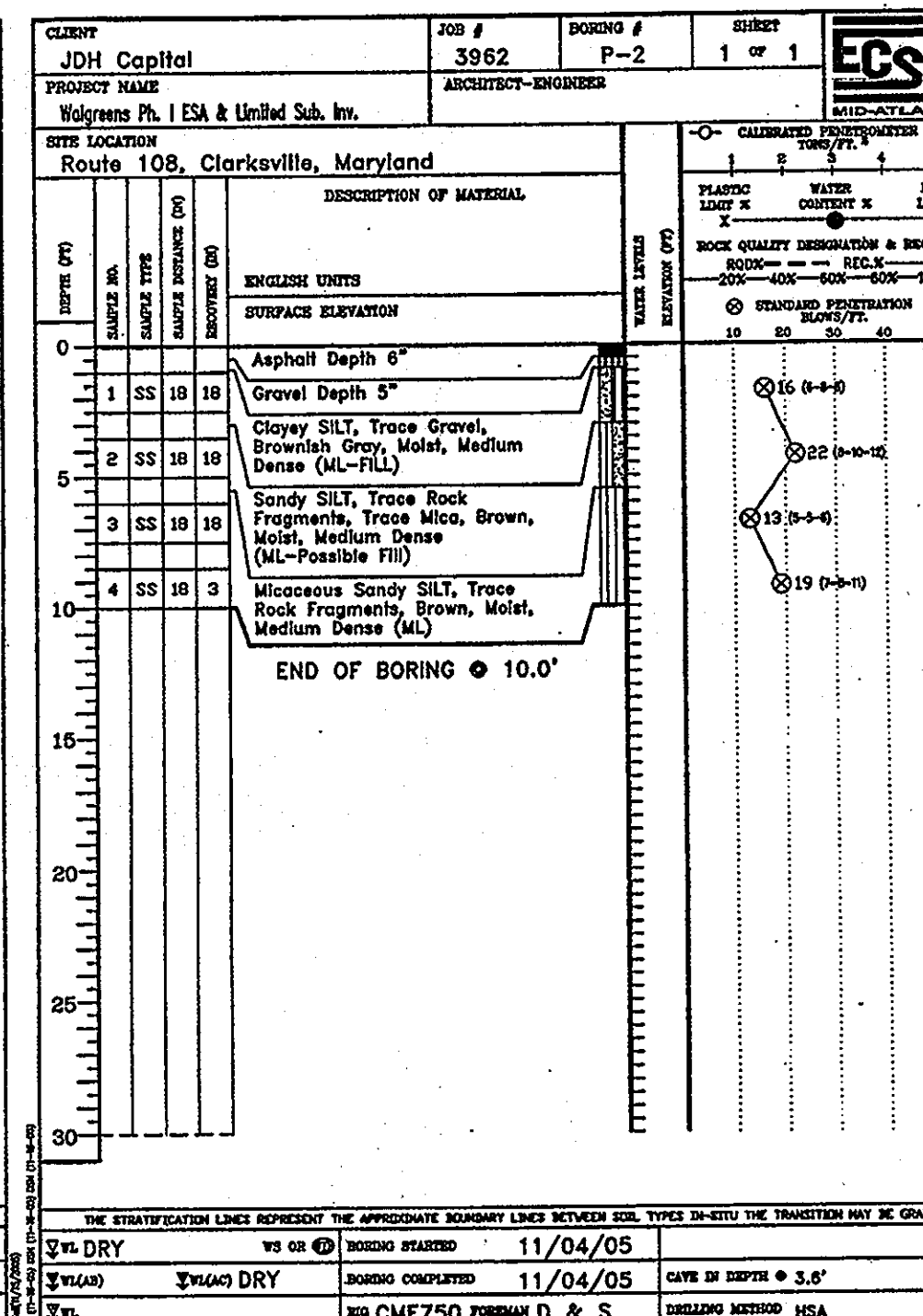
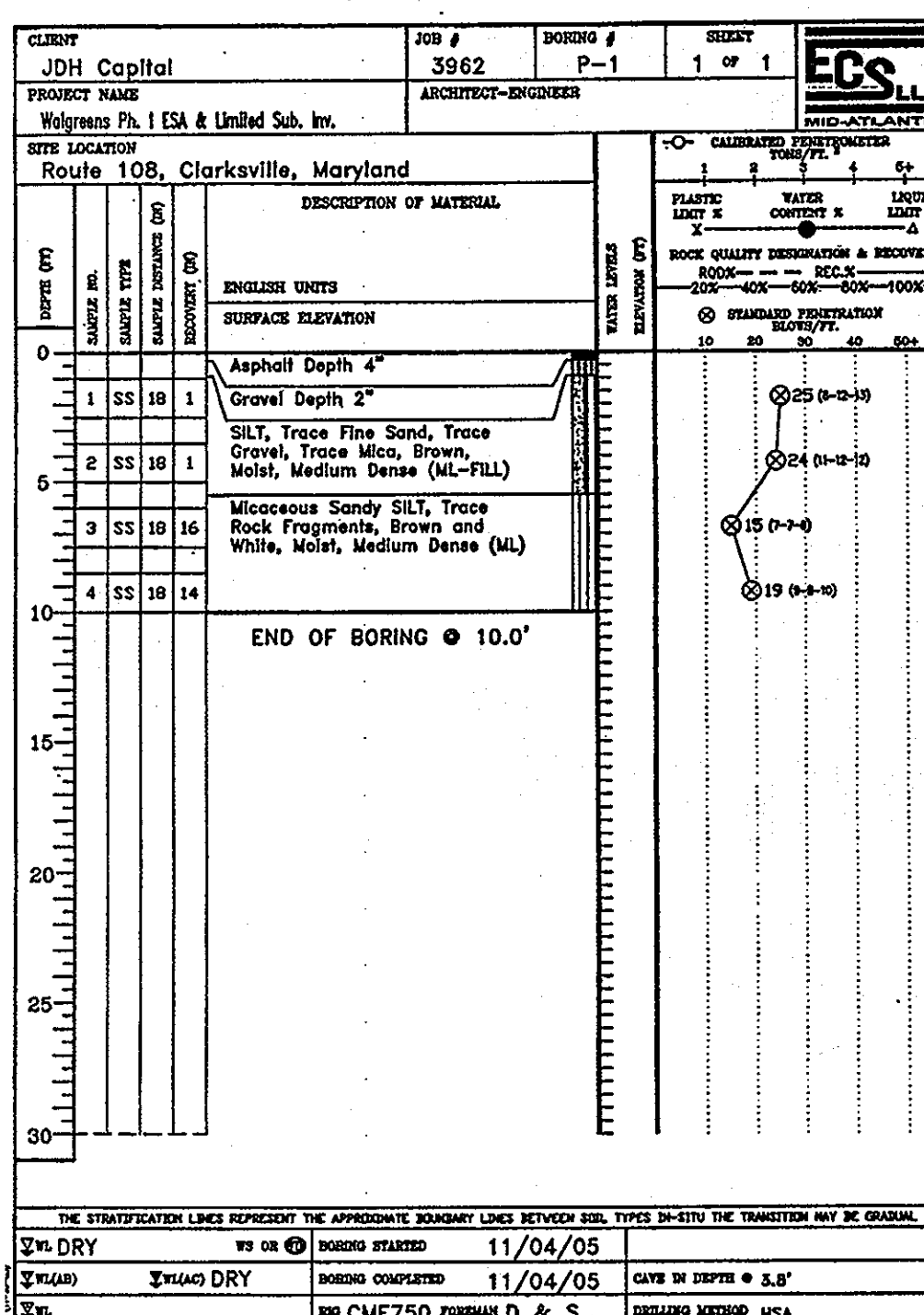
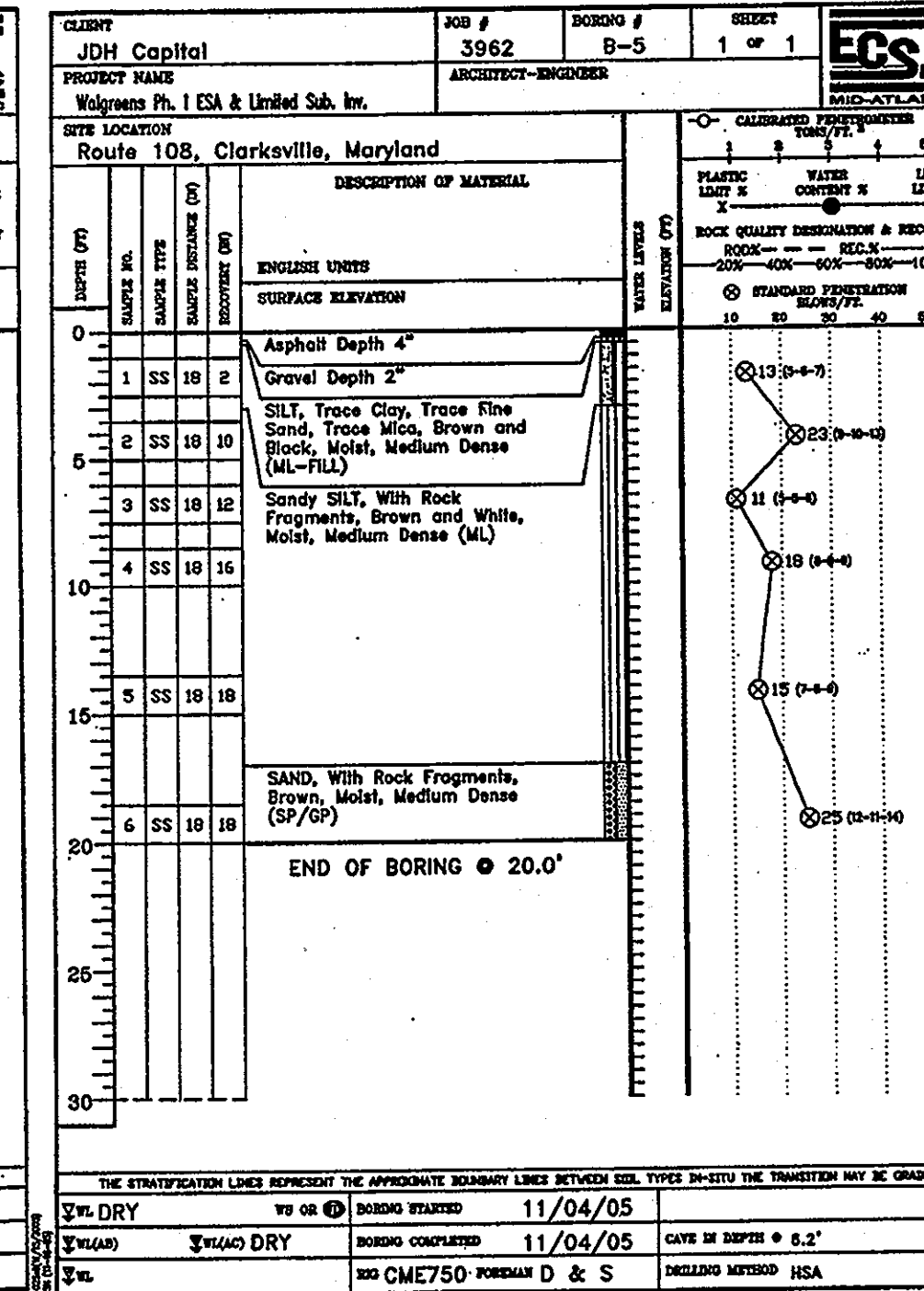
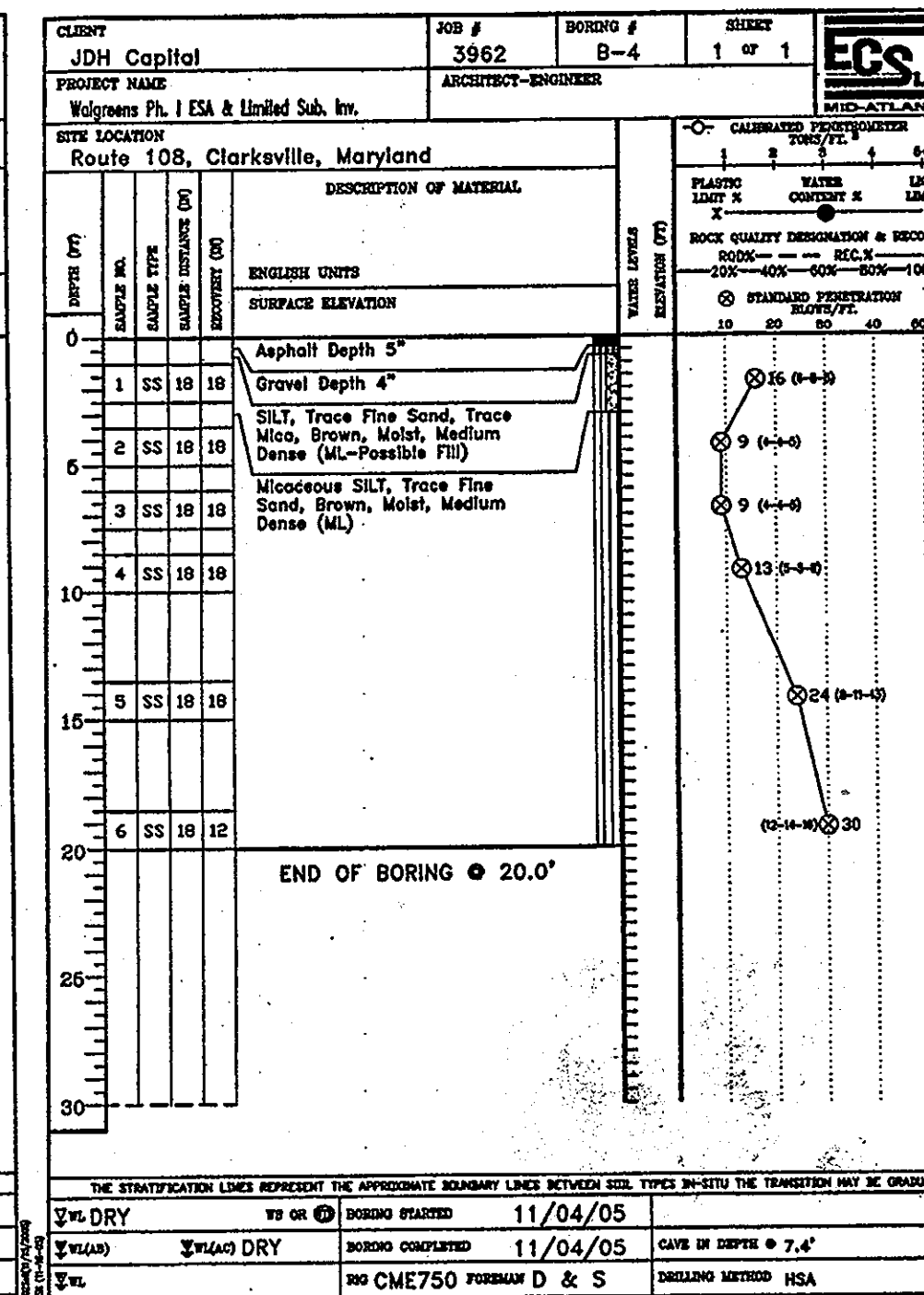
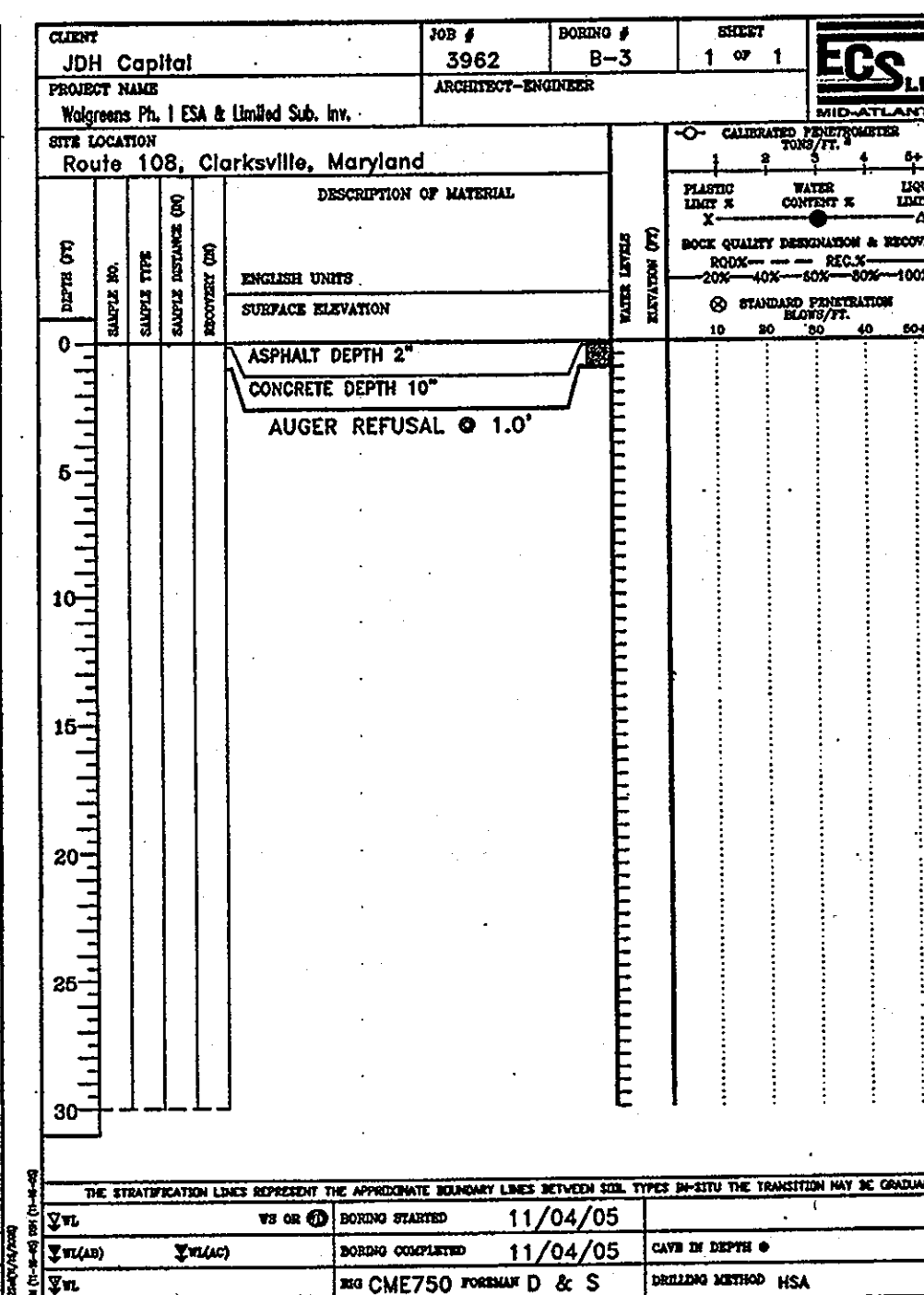
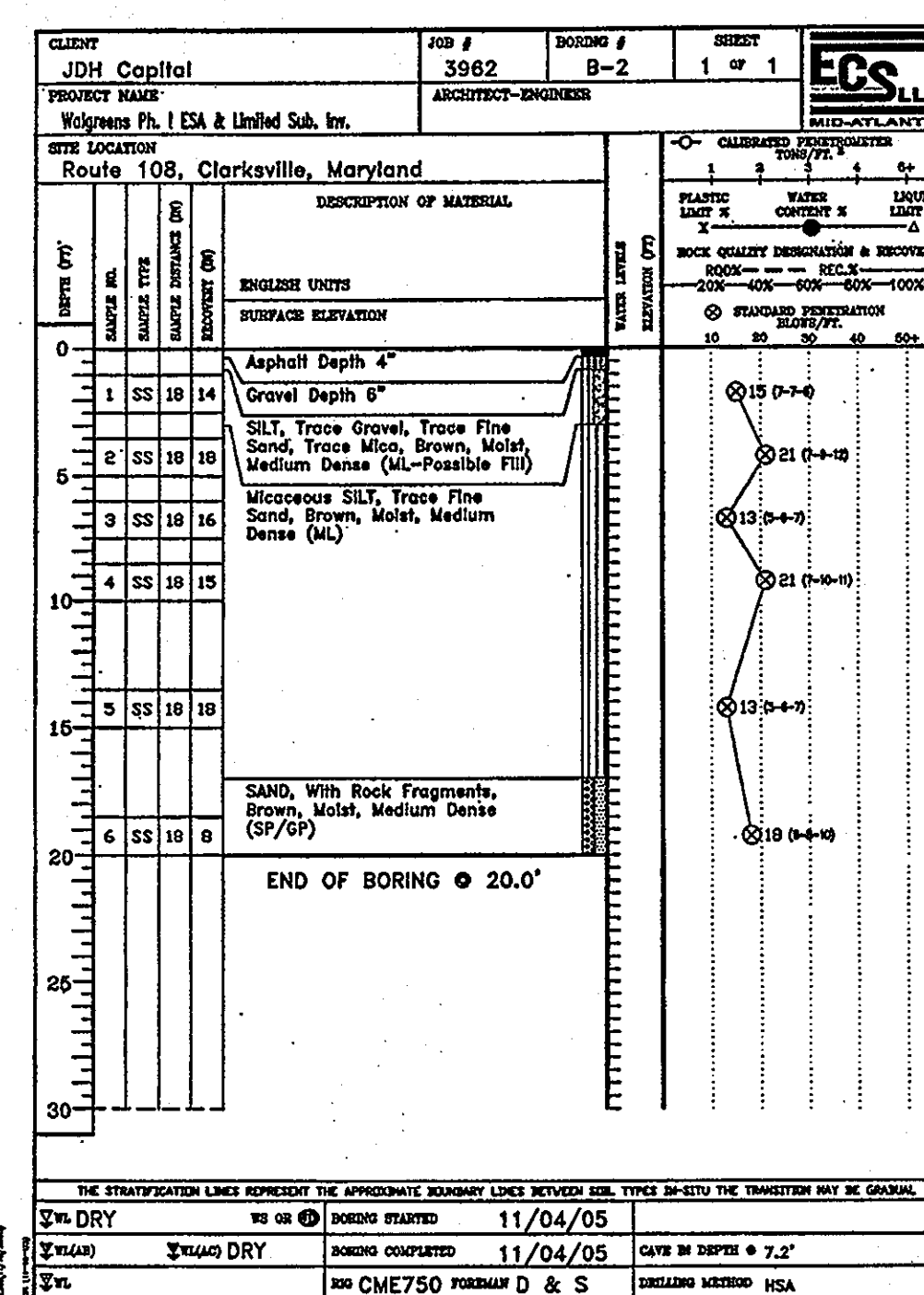
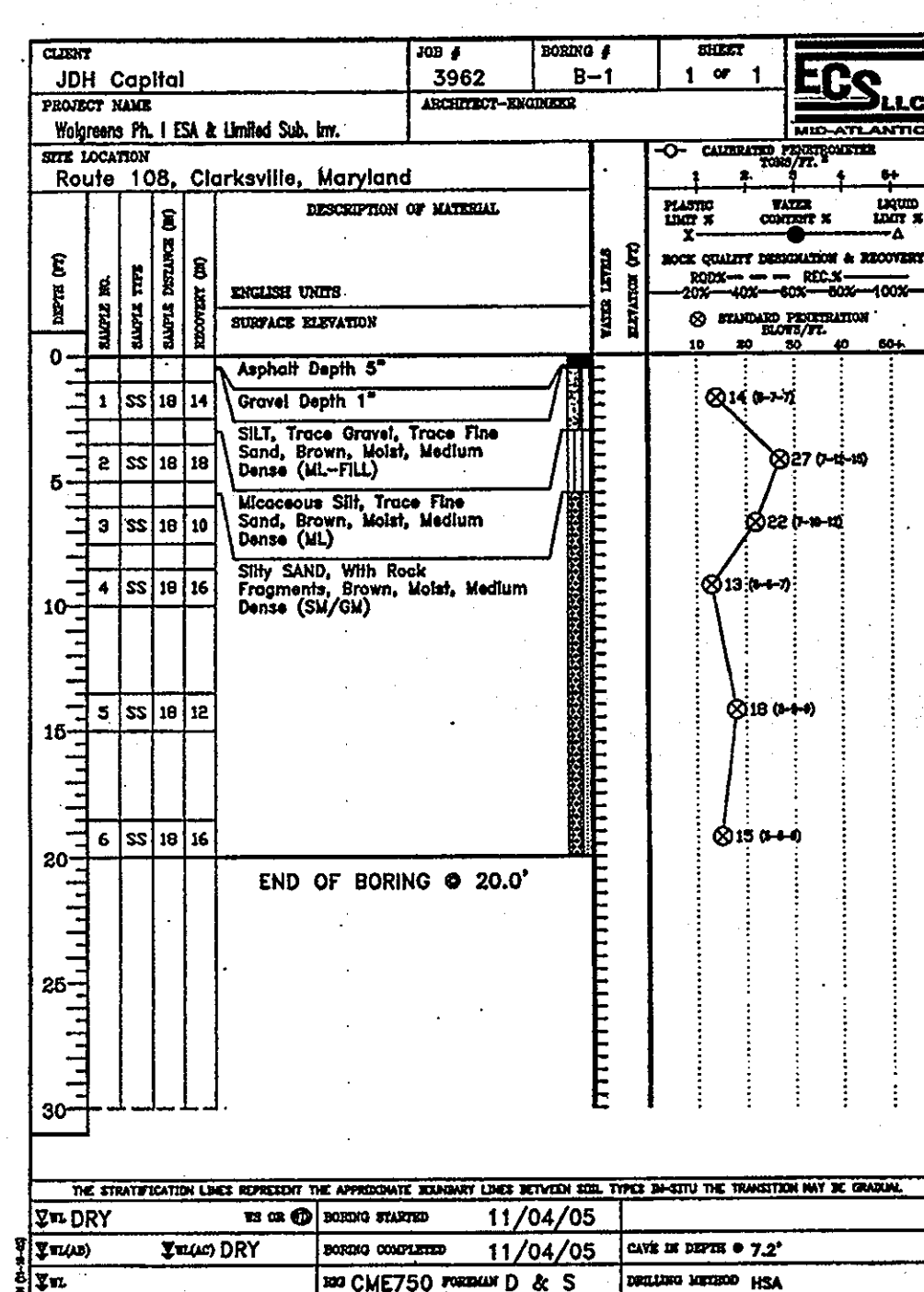
AS BUILT CERTIFICATION FOR PSWM
NOTE: THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET.

[Signature]
RYAN C. LINTHICUM
MARYLAND PE LICENSE NO. 34097

[Signature]
DATE: 8/17/06

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> CHIEF-DEVELOPMENT ENGINEERING DIVISION	DATE: 8/15/06
<i>[Signature]</i> CHIEF-DIVISION OF LAND DEVELOPMENT	DATE: 12/15/06
<i>[Signature]</i> DIRECTOR	DATE: 12/20/06
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.	
COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT	
DATE: _____	
NO. 1	9/17/07 Revised dumpster and Auto Drive encl.
DATE	REVISION DESCRIPTION
OWNERS:	DEVELOPER:
AUTO DRIVE RETAIL INVESTORS, LLC. 3735 BEAM ROAD, SUITE B CHARLOTTE, NC 28217	JDH CAPITAL 3735 BEAM ROAD SUITE B CHARLOTTE, NC 28217
PROJECT: JDH CAPITAL PARCEL A, HOLWECK SUBDIVISION 12400 AUTO DRIVE CLARKSVILLE, HOWARD COUNTY, MARYLAND	
AREA 1.299 AC. TAX MAP 34 GRID 12 ZONED B-2 PARCEL 365-A L 3900, F. 465 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
TITLE: BUILDING FOOTPRINT	
BOHLER ENGINEERING, P.C. PROFESSIONAL ENGINEERING SERVICE 9110 GLENDALES COURT, SUITE 300 TOWSON, MD 21286 (410) 821-7900 FAX: (410) 821-7907	
DESIGNED BY: J.A.D.	DRAWN BY: R.L.B.
PROJECT NO.: MD052039	DATE: 8/17/06
SCALE: AS SHOWN	DRAWING NO. 22 OF 23



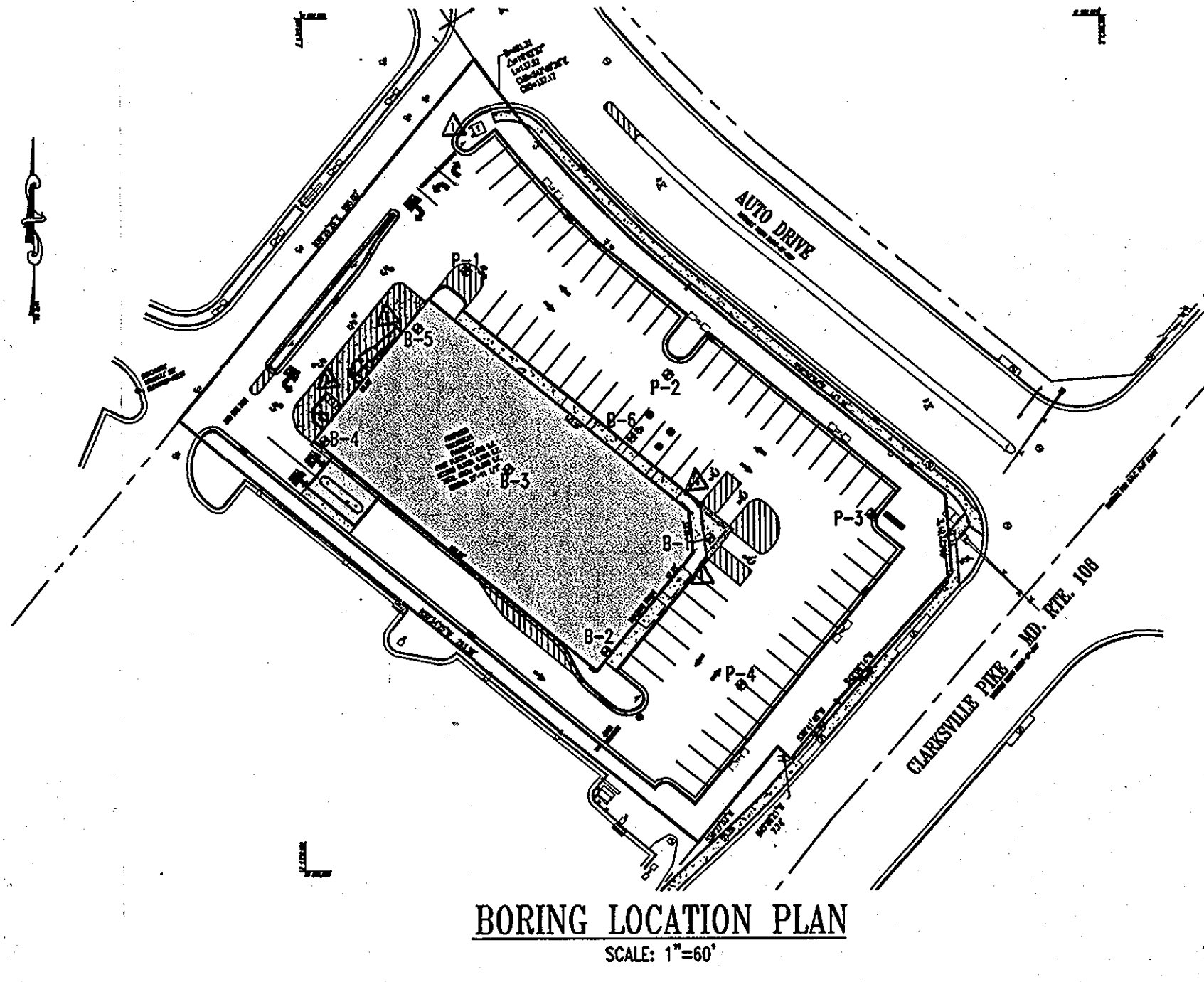


AS BUILT CERTIFICATION FOR PSWM
NOTE: THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET.
DATE: 11/16/11
MARYLAND PE LICENSE NO. 34047

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 12/15/06
APPROVED: DIVISION OF LAND DEVELOPMENT
DATE: 12/16/06
APPROVED: DIRECTOR
DATE: 12/16/06

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
COUNTY HEALTH OFFICER
DATE: 9/17/07
NO. 17107
REVISION DESCRIPTION
OWNER: AUTO DRIVE RETAIL INVESTORS, LLC
DEVELOPER: JDH CAPITAL
PROJECT: JDH CAPITAL
AREA: 1.299 AC. TAX MAP 34 GRID 12 ZONED B-2
TITLE: BORING PLAN

BOHLER ENGINEERING, P.C.
DESIGNED BY: J.A.D.
DRAWN BY: R.L.B.
PROJECT NO.: MD052039
DATE: 8/17/06
SCALE: N.T.S.
DRAWING NO. 23 OF 23
SDP-06-080



GENERAL NOTE:
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