

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS.
- AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS, C & P TELEPHONE COMPANY 725-9976 HOWARD COUNTY BUREAU OF UTILITIES 313-3556 AT&T CABLE LOCATION DIVISION 393-3553 BSC&E CO. CONTRACTOR SERVICES 393-4820 STATE HIGHWAY ADMINISTRATION 531-6223 STATE HIGHWAY ADMINISTRATION 531-6223
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS, APPROXIMATE LOCATION OF EXISTING UTILITIES SHALL BE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES AND PROVIDE INFORMATION OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- MINIMUM OF 28 DAYS STRENGTH OF 3500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE MDTM STANDARD SPECIFICATIONS FOR TRAFFIC CONTROL DEVICES (MUTCD) FOR ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN BEDDING SHALL BE CLASS "C", VOLUME I OF HOWARD COUNTY DESIGN MANUAL.
- COORDINATES AND ELEVATION ARE BASED ON THE FOLLOWING HOWARD COUNTY MONUMENTS: 3889 N 561.066 341 E 1.389,534,145 388A N 562,553,293 E 1,380,967,941
- A NOISE STUDY PREPARED BY MARRS GROUP WAS SUBMITTED AND APPROVED WITH THE SKETCH PLAN SUBMITTAL (S-04-011)
- CONCRETE CURB SECTIONS DETAIL SEE SHEETS 4 & 9 PLATE R-3.01
- CONCRETE CURB SECTIONS DETAIL SEE SHEETS 4 & 9 PLATE R-3.01
- CONCRETE CURB SECTIONS DETAIL SEE SHEETS 4 & 9 PLATE R-3.03
- PAVING BARRIERS TO BE CONFINED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- PUBLIC WATER METERS ARE SHOWN ON SITE DEVELOPMENT PLANS CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM THE CURB, CONTRACTOR TO USE CONCRETE BARRIER CURBS (HC PLATE R-3.03)
- EXISTING TOPOGRAPHY IS BASED ON AERIAL TOPOGRAPHIC SURVEY CONDUCTED BY WINGS AERIAL MAPPING CO., INC. IN 2002 AND SUPPLEMENTED BY FIELD SURVEYS BY WINGS AERIAL MAPPING CO., INC. IN 2004
- THIS PROJECT IS SERVED BY PUBLIC WATER AND PUBLIC SEWER (CONTRACT NO. MD-105C-V312)
- THE CONTRACTOR WILL REMOVE EX. CURB AND GUTTER AS NOTED ON THE SITE PLAN. THE CONTRACTOR WILL LEAVE A CLEAN EDGE AT EXISTING PAVING FOR TIE-IN OF PROPOSED PAVING.
- THE CONTRACTOR WILL CONSTRUCT ALL CONCRETE CURB AND GUTTER WHERE SHOWN ON THE SITE PLAN TO BE FULLY DERESSED OUTSIDE OF THE CURB.
- OUTDOOR LIGHTING TO BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- ALL 2:1 SLOPES TO BE STABILIZED WITH SEDIMENT AND EROSION CONTROL MATTING.
- ALL UTILITIES INSTALLED SHALL RECEIVE FULL TRENCH COMPACTION (95%) PER AASHTO SPECIFICATIONS.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL WATER MAIN TIE, BENDS, CAPS, ETC. SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION REGULATIONS STORMWATER QUALITY & CHANNEL PROTECTION TO BE PROVIDED FOR PHASE 1 IN AN OPEN POND WHICH WILL DISCHARGE INTO THE DRAINAGE SYSTEM
- THE REQUIRED LANDSCAPING AND FOREBAYS FOR THE SWM DESIGN HAVE BEEN DEFERRED UNTIL THE FACILITY IS CONVERTED TO ITS FINAL DESIGN UPON THE COMPLETION OF PHASE II OF THE PROJECT
- REQUIRED NO. OF MH UNITS FOR PHASE I: 4 ON-SITE UNITS & 5 OFF-SITE UNITS AS OUTLINED IN: MHU AGREEMENT RECORDED IN LIBER 15 881 FOLIO 155 MHU COVENANTS RECORDED IN LIBER 15 881 FOLIO 163
- ON 10/26/06 MDE ISSUED A LETTER OF AUTHORIZATION TO ALLOW CONSTRUCTION ACTIVITY IN THE TWO WETLAND AND BUFFER AREAS IDENTIFIED AND SHOWN ON THESE DRAWINGS. IN THE TWO ISOLATED NONTIDAL WETLAND AND BUFFER AREAS IDENTIFIED AND SHOWN ON THESE DRAWINGS (AUTHORIZATION #20063225/06--NT--3130)
- THE FOREST PRESERVATION OBLIGATION FOR THIS PLAN AND ALL OTHER PHASES OF ELKRIDGE CROSSING PHASES 1 & 2 SHALL BE PROVIDED BY THE CONTRACTOR. 5.27 ACRES OF OFFSITE RETENTION (ONLY 50% ACREAGE CREDIT) AND 3.83 ACRES OF OFFSITE REFORESTATION AT ELLICOTT MEADOWS, TM 16, BLK 22, PARCEL 99
- THE TOWNHOUSE UNITS ARE REQUIRED TO DISPLAY THEIR ADDRESSES ON THE FRONT AND REAR OF EACH UNIT
- LANDSCAPE SURETY FOR THIS PLAN IN THE AMOUNT OF \$50,760.00 HAS BEEN POSTED AS A PART OF THE DEVELOPER'S AGREEMENT
- TRASH COLLECTION FOR THIS PROJECT WILL BE PROVIDED BY A PRIVATE CONTRACTOR. TRASH PICKUP WILL BE FROM DUMPSTERS AS LOCATED AND SHOWN ON PLANS.

NOTE:

TOPOGRAPHICAL SURVEY PREPARED BY: WINGS AERIAL MAPPING CO., INC. 919 BAYDA HARBOUR PASADENA, MARYLAND 21122 PHONE: 410-444-4312

BOUNDARY SURVEY PREPARED BY: WINGS AERIAL MAPPING CO., INC. 919 BAYDA HARBOUR PASADENA, MARYLAND 21122 PHONE: 410-444-4312

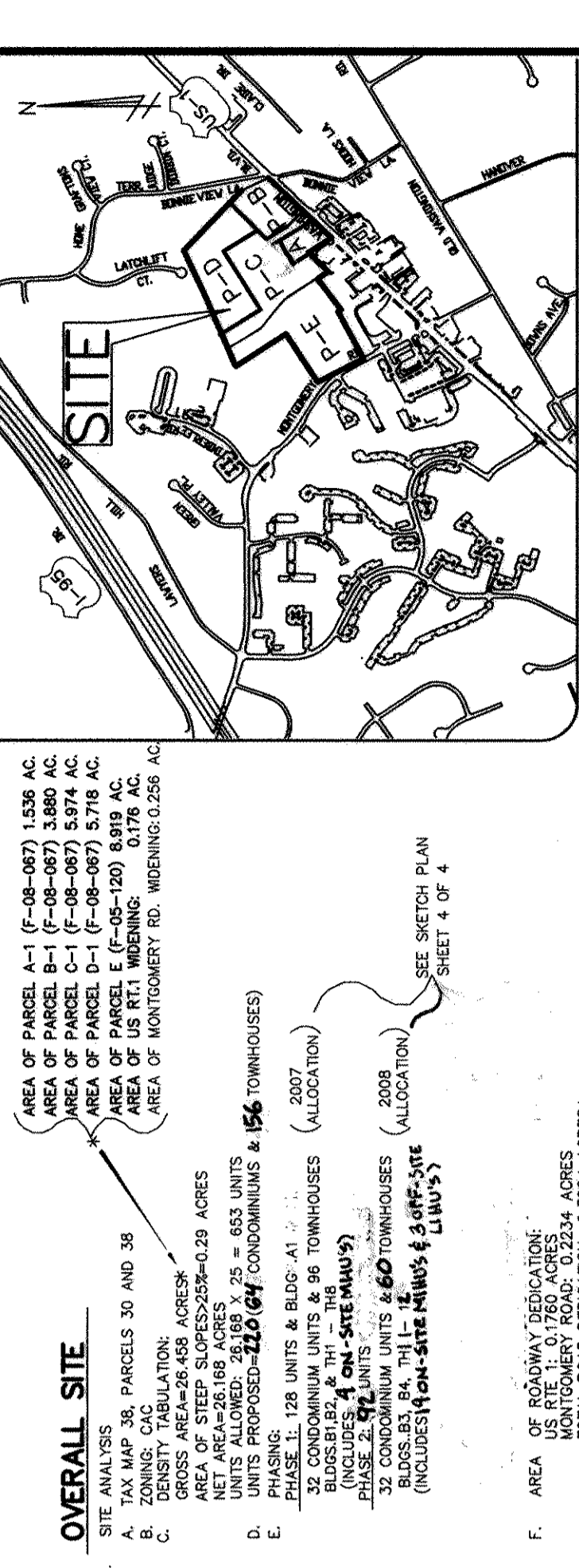
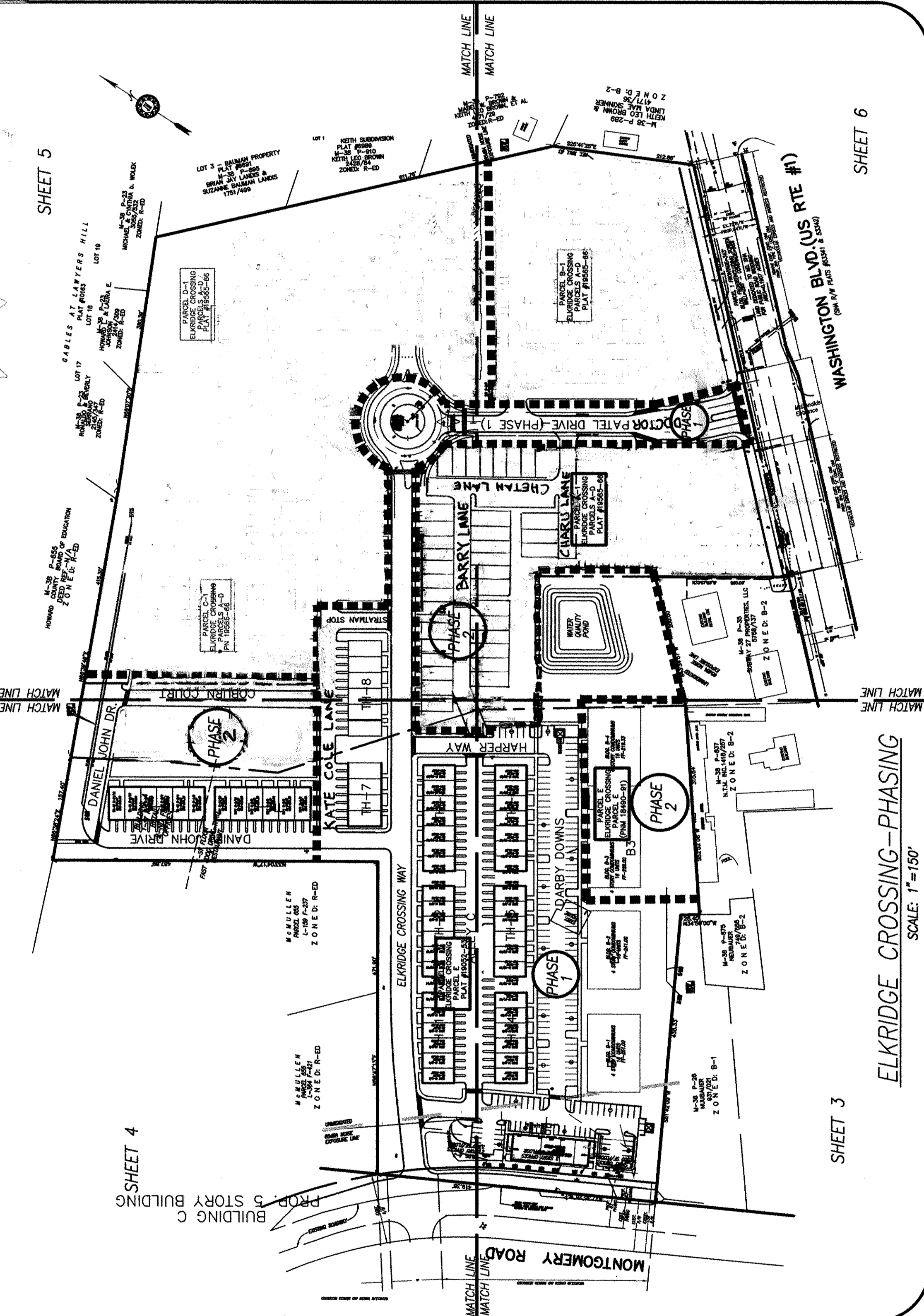
DEPARTMENT OF PLANNING AND ZONING

APPROVED: *[Signature]* DATE: 3/16/09

CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] DATE: 2/27/09

DIRECTOR



VICINITY MAP

SITE ANALYSIS - PHASE TWO

PARKING DATA:
TOWNHOUSE BUILDINGS: 114 & LOTS 1-35
TOTAL 82 UNITS REQUIRED @ 2/UNIT = 164 SPACES
PARKING PROVIDED @ 2/UNIT = 164 SPACES
1 SPACE IN GARAGE UNDER BLDGS 1 SPACE IN LOTS 1-35 1 SPACE IN GARAGE

NOTE: THE GARAGES SHALL BE USED FOR PARKING ONLY IN ACCORDANCE WITH ZONING SECTION 133D.2.d

OVERALL SITE:
1. SITE ANALYSIS
A. TAX MAP 38, PARCELS 30 AND 38
B. GROSS AREA: 26.48 ACRES
C. GROSS AREA: 26.48 ACRES
D. NET AREA: 26.48 ACRES
E. PHASING
F. AREA OF ROADWAY DEDICATION: 1.10 ACRES
G. AMENITY AREA PROVIDED: 26.45 AC X 1062.05 AC
H. AMENITY AREA PROVIDED: 2.65 AC

CONDOMINIUM BUILDINGS B3-B4
NO. OF UNITS PER BUILDING: 18
TOTAL NO. OF UNITS FOR BLDGS. B3-B4: 32 UNITS
PARKING REQUIRED: 32 @ 2/UNIT = 64 SPACES
SHARED PARKING ADJUSTMENT - PARKING LOTS A & B, PHASE 1
TOTAL PARKING REQUIRED FOR BLDGS. A1-B1-B4: 164 SPACES
SHARED PARKING ADJUSTMENT PER SECTION 133E.1.a
PARKING PROVIDED IN PARKING LOTS A & B = 164 SPACES
OVERFLOW PARKING: 164 + 2 = 166

SITE DATA - PHASE TWO
1. TOTAL AREA: 8.320 ACRES
2. SITE BUILDING COVERAGE: 1.306/8.320 = 15.7%
3. TOTAL DISTURBED AREA: 362.419 SF OR 8.32 ACRES
4. TOTAL DISTURBED AREA: 362.419 SF OR 8.32 ACRES
5. TOTAL DISTURBED AREA: 362.419 SF OR 8.32 ACRES
6. COMMERCIAL DISTURBED AREA: 0 SF OR 0 ACRES
7. PROJECT BACKGROUND: HOWARD COUNTY, MD.
TAX MAP: 38, PARCEL 38, PROPERTY NO. 01-168150
TAX MAP: 38, PARCEL 38, PROPERTY NO. 01-168485
ZONED: CAC
8. AMENITY OPEN SPACE PROVIDED: 0.63 ACRES
9. DEVELOPER/OWNER WILL EXECUTE A COVENANT PROVIDING MODERATE INCOME HOUSING
10. SKETCH PLAN FOR "ELKRIDGE CROSSINGS-04-011" APPROVED ON DEC. 10, 2004

COMMERCIAL AREA REQUIREMENTS

PHASE NO.	UNITS PROPOSED	AREA REQUIRED	AREA PROVIDED	SOP NO.
1 - 2007	128	7,616 SF	19,320 SF	04-017
2 - 2008	92	5,474 SF	0 SF	06-078
TOTAL	220	13,090 SF	19,320 SF	

(A MINIMUM OF 70 SQ. FT. OF COMMERCIAL AREA IS REQUIRED FOR EACH OF RESIDENTIAL UNITS FOR SECTION 127.5(b)(3)(c).)

PHASES 1 & 2 P.A.R.K.I.N.G.

PHASE	UNITS	REQUIRED	PROVIDED
1	128	128	128
2	92	92	92
TOTAL	220	220	220

* 156 SPACES = 512, 312 + 156 = 477, 477 + 46 = 544
* 156 SPACES = 512, 312 + 166 = 478, 478 + 46 = 544

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER OF MARYLAND, LICENSE NUMBER 165971, EXPIRATION DATE: 08-15-2019.

COVER SHEET

NO.	DATE	DESCRIPTION
1	9/01/07	PER APPROVED REQUINES
2	7/21/14	REVISED TO ADD BLDG D PLAN 1
3	11/14/17	TO 2 STORES & ALL ABOUT CONDITIONS
		2 ADD 26 PLANNING SPACES

OWNER:
PARCEL 30 - GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA, MD 21045
TEL: 410-730-3961

DEVELOPER:
GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA, MD 21045
TEL: 410-730-3961

PLANS PREPARED BY:
JURI MAISTE - SITE DESIGN CONSULTANT
2933 Chesapeake Avenue, Baltimore, Maryland 21284
Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
780 N. Piedmont Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-660-1602 Fax: 410-660-0827

PHASE TWO
ELKRIDGE - CROSSING
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

REMOVED SDF-06-078

JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chentock Avenue, Baltimore, Maryland 21234
Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSSON ENGINEERING, LLC
730 N Patuxent Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

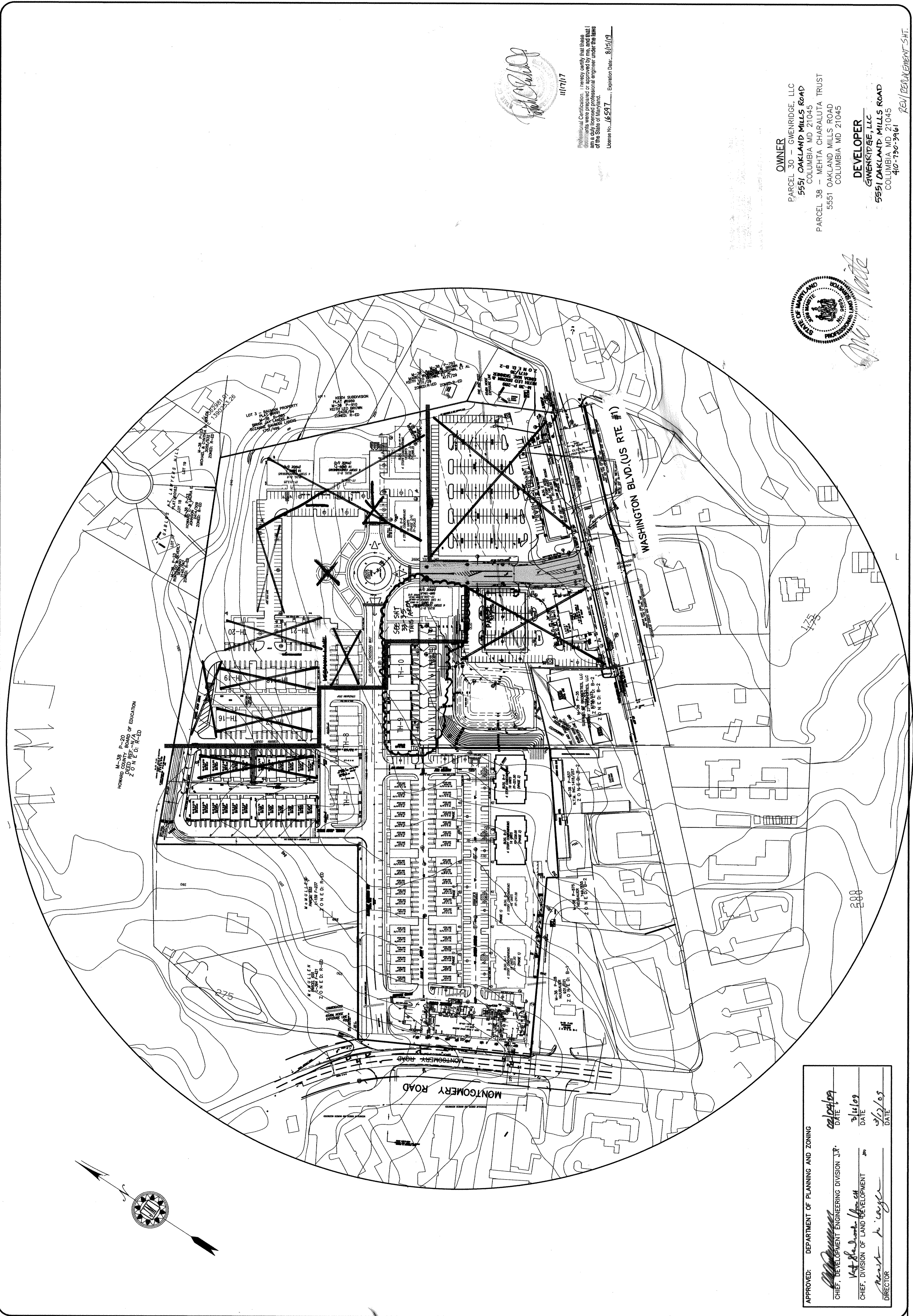
ELKRIDGE-CROSSING-PHASE TWO
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
EXISTING FEATURES WITHIN 200' OF SITE

DATE	REVISION	BY
9/10/07	PER APPROVED REVISIONS	JM
9/10/08	PARKING, SIDE D & CHANGES	JM
11/11/17	TO REFLECT AS BUILT CHANG	RAM

SCALE: 1"=100'

DATE: sept. 14, 2006

DRAWN: J.M.



Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 16597 - Expiration Date: 8/15/19

11/17/17

OWNER
PARCEL 30 - GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045

PARCEL 38 - MEHTA CHARALUTA TRUST
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045

DEVELOPER
GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
410-730-2961



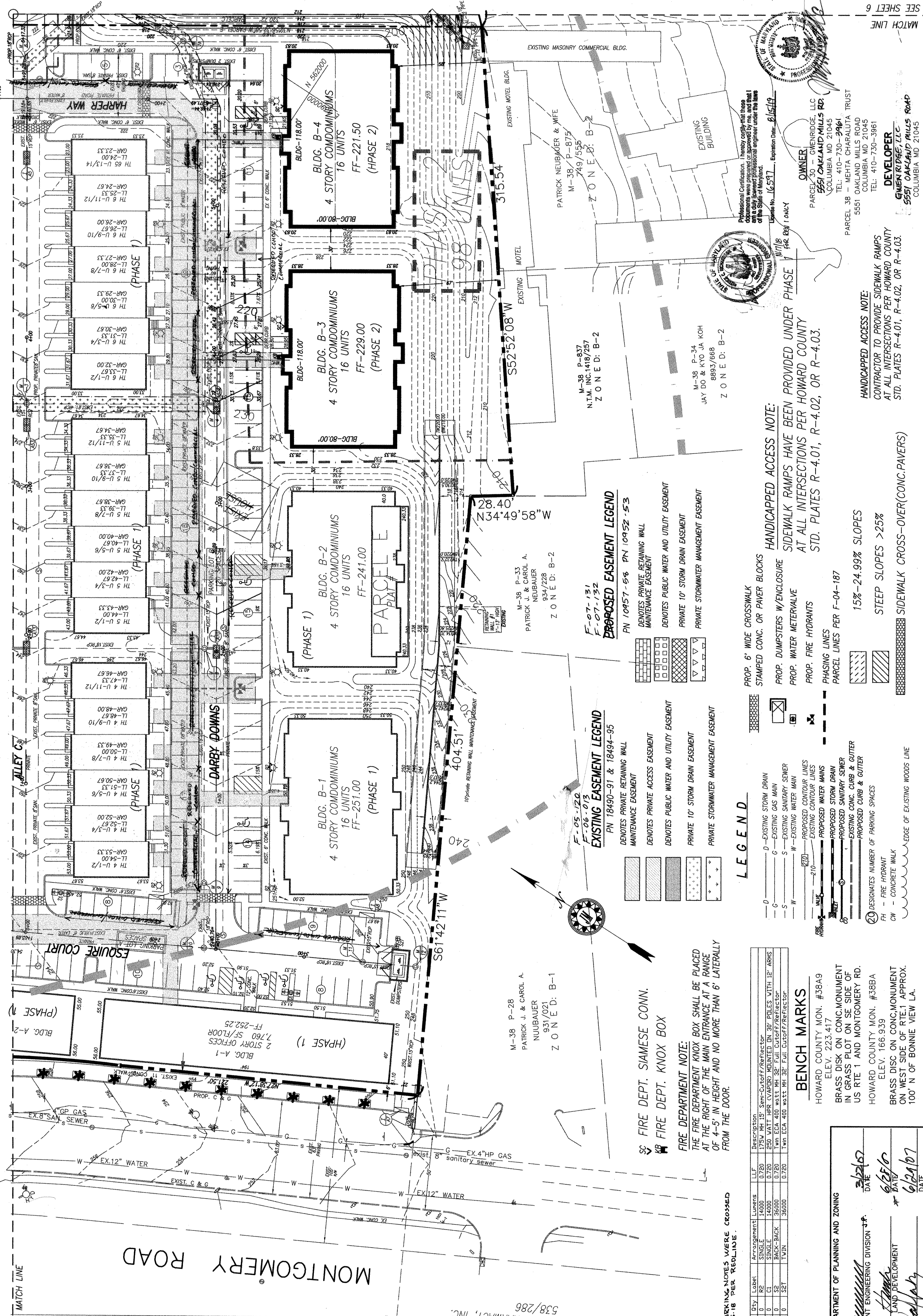
APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE: 10/14/19

DATE: 10/14/19

DATE: 10/14/19

DATE: 10/14/19



PARCEL E
PLAT #18490-91

SCALE: 1"=30'
DATE: SEPT. 14, 2008
DRAWN: J.M.

DATE	REVISION
11/11/17	TO REFLECT AS-BUILT CONDITIONS
	APP 42 PARKING SPACES
	REVISION

ELKRIDGE-CROSSING-PHASE TWO
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SITE DEVELOPMENT PLAN-1

JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chetock Avenue, Baltimore, Maryland 21234
Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
730 W. Padonia Road, State 101, Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

OWNER
PARCEL 30 - GWENRIDGE, LLC
5551 OAKLAND MILLS RD.
COLUMBIA MD 21045
TEL: 410-730-3961

DEVELOPER
JURI MAISTE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3961

PROFESSIONAL CERTIFICATION:
I hereby certify that the engineering documents were prepared or supervised by me or under my direct supervision and I am a duly licensed professional engineer under the laws of the State of Maryland.
Licenses No. 165371 Expiration Date: 6/15/19

HANDICAPPED ACCESS NOTE:
CONTRACTOR TO PROVIDE SIDEWALK RAMPS AT ALL INTERSECTIONS PER HOWARD COUNTY STD. PLATES R-4.01, R-4.02, OR R-4.03.

HANDICAPPED ACCESS NOTE:
SIDEWALK RAMPS HAVE BEEN PROVIDED UNDER PHASE 1 AT ALL INTERSECTIONS PER HOWARD COUNTY STD. PLATES R-4.01, R-4.02, OR R-4.03.

PROPOSED EASEMENT LEGEND
PN 10457-56 PN 10452-53
DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
DENOTES PUBLIC WATER AND UTILITY EASEMENT
PRIVATE 10' STORM DRAIN EASEMENT
PRIVATE STORMWATER MANAGEMENT EASEMENT

EXISTING EASEMENT LEGEND
PN 18490-91 & 18494-95
DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
DENOTES PRIVATE ACCESS EASEMENT
DENOTES PUBLIC WATER AND UTILITY EASEMENT
PRIVATE 10' STORM DRAIN EASEMENT
PRIVATE STORMWATER MANAGEMENT EASEMENT

LEGEND
D - EXISTING STORM DRAIN
G - EXISTING GAS MAIN
S - EXISTING SANITARY SEWER
W - EXISTING WATER MAIN
PROPOSED STORM DRAIN
PROPOSED GAS MAIN
PROPOSED SANITARY SEWER
PROPOSED WATER MAIN
EXISTING CONC. CURB & GUTTER
PROPOSED CONC. CURB & GUTTER
DESIGNATES NUMBER OF PARKING SPACES
FH - FIRE HYDRANT
CW - CONCRETE WALK
EDGE OF EXISTING WOODS LINE

BENCH MARKS
HOWARD COUNTY MON. #58A9
ELEV. 223.417
BRASS DISK ON CONC. MONUMENT IN GRASS PLOT ON SE SIDE OF US RTE 1 AND MONTGOMERY RD.
HOWARD COUNTY MON. #38BA
ELEV. 166.939
BRASS DISK ON CONC. MONUMENT ON WEST SIDE OF RTE. 1 APPROX. 100' N OF BONNIE VIEW LA.

RESEVED PARKING NOTES WERE CROSS-SECTIONED ONLY ON 6'-5.16 PER ROWLINE.

Symbol	Qty	Label	Arrangement	Lumens	Description
REF	0	REF	SINGLE	14000	175V MH 15" Semi-Cutoff/Reflector
CL	0	CL	SINGLE	14000	250 WATT HPR C/VAPOR MOUNTED ON 30' POLES WITH 12" ARMS
BACK-3	0	BACK-3	BACK-3	36000	TWIN EGR. 400 WATT MH 36" FULL CUTOFF/REFLECTOR
SET	0	SET	TWIN	36000	TWIN EGR. 400 WATT MH 36" FULL CUTOFF/REFLECTOR

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

DATE: 3/27/07
DATE: 6/25/08
DATE: 6/27/07

FIRE DEPARTMENT NOTE:
THE FIRE DEPARTMENT KNOX BOX SHALL BE PLACED AT THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATEROALLY FROM THE DOOR.

SC FIRE DEPT. SIAMESE CONN.
WB FIRE DEPT. KNOX BOX

APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/22/07

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/20/07

DIRECTOR
 DATE: 6/29/07

ADDRESS CHART

B-3	7250 DARBY DOWNS
B-4	7270 DARBY DOWNS
D	6205 DOCTOR PATEL DRIVE
E	6200 DOCTOR PATEL DRIVE

TH12 U1/2	7128/7130 DANIEL JOHN DRIVE
U3/4	7132/7134 DANIEL JOHN DRIVE
U5/6	7136/7138 DANIEL JOHN DRIVE
U7/8	7140/7142 DANIEL JOHN DRIVE
U9/10	7144/7146 DANIEL JOHN DRIVE
U11/12	7148/7150 DANIEL JOHN DRIVE
TH13 U1/2	7121/7129 COBURN COURT
U3/4	7231/7133 COBURN COURT
U5/6	7135/7137 COBURN COURT
U7/8	7139/7141 COBURN COURT
U9/10	7143/7145 COBURN COURT
U11/12	7147/7149 COBURN COURT
TH14 U1/2	7101/7103 COBURN COURT
U3/4	7105/7107 COBURN COURT
U5/6	7109/7111 COBURN COURT
U7/8	7113/7115 COBURN COURT
U9/10	7117/7119 COBURN COURT
U11/12	7121/7125 COBURN COURT

LOT#	ADDRESS
1	7288 ELKBRIDGE CROSSING WAY
2	7240 ELKBRIDGE CROSSING WAY
3	7242 ELKBRIDGE CROSSING WAY
4	7244 ELKBRIDGE CROSSING WAY
5	7246 ELKBRIDGE CROSSING WAY
6	7248 ELKBRIDGE CROSSING WAY
7	7250 ELKBRIDGE CROSSING WAY
8	7304 ELKBRIDGE CROSSING WAY
9	7306 ELKBRIDGE CROSSING WAY
10	7308 ELKBRIDGE CROSSING WAY
11	7310 ELKBRIDGE CROSSING WAY
12	7312 ELKBRIDGE CROSSING WAY
13	7314 ELKBRIDGE CROSSING WAY
14	7316 ELKBRIDGE CROSSING WAY
15	6237 DOCTOR PATEL DRIVE
16	6235 DOCTOR PATEL DRIVE
17	6233 DOCTOR PATEL DRIVE
18	6231 DOCTOR PATEL DRIVE
19	6229 DOCTOR PATEL DRIVE
20	6227 DOCTOR PATEL DRIVE
21	6225 DOCTOR PATEL DRIVE
22	6223 DOCTOR PATEL DRIVE
23	7205 BARRY LANE
24	7207 BARRY LANE
25	7209 BARRY LANE
26	7211 BARRY LANE
27	7213 BARRY LANE
28	7215 BARRY LANE
29	7217 BARRY LANE
30	7219 BARRY LANE
31	7221 BARRY LANE
32	7223 BARRY LANE
33	7225 BARRY LANE
34	7227 BARRY LANE
35	7116 CHARD LANE
36	7114 CHARD LANE

Symbol	Qty	Label	Arrangement	Quantity	Description	Lot
○	0	CS	SINGLE	1400	250' WATT 100V CLEARLY MOUNTED ON 30' POLES WITH 12" ARCS	0.720
○	0	S2	BACK-TO-BACK	3600	1000' ECA 400' WATT MH 32" FULL CUTOFF/REFLECTOR	0.720
○	0	SPT	TWIN	3600	TWIN ECA 400' WATT MH 32" FULL CUTOFF/REFLECTOR	0.720

OWNER
 BARCLAY OVERBROSE LLC
 555 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-0810

DEVELOPER
 GWENRIDGE, LLC
 555 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3361

LEGEND

- D - EXISTING STORM DRAIN
- G - EXISTING GAS MAIN
- S - EXISTING SANITARY SEWER
- W - EXISTING WATER MAIN
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED CONC. CURB & GUTTER
- PROPOSED CURE & GUTTER
- DESIGNATES NUMBER OF PARKING SPACES
- FW - FIRE HYDRANT
- CW - CONCRETE WALK
- EDGE OF EXISTING WOODS LINE
- PROP. 6' WIDE CROSSWALK
- STAMPED CONC. OR PAVER BLOCKS
- PROP. DUMPSTERS W/ENCLOSURE
- PROP. WATER METEVALVE
- PROP. FIRE HYDRANTS
- PHASING LINES
- PARCEL LINES PER F-04-187
- 15% - 24.99% SLOPES
- STEEP SLOPES >25%
- SIDEWALK CROSS-OVER (CONC./PAVERS)

EASEMENT LEGEND

- PN 18490-91 & 18494-95 DENOTES PRIVATE RETAINING WALLS MAINTENANCE EASEMENT
- PN 19052-53 & 19057-58 DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
- PN 19052-53 & 19057-58 DENOTES PUBLIC WATER AND UTILITY EASEMENT
- PRIVATE 10' STORM DRAIN EASEMENT
- PRIVATE STORMWATER MANAGEMENT EASEMENT

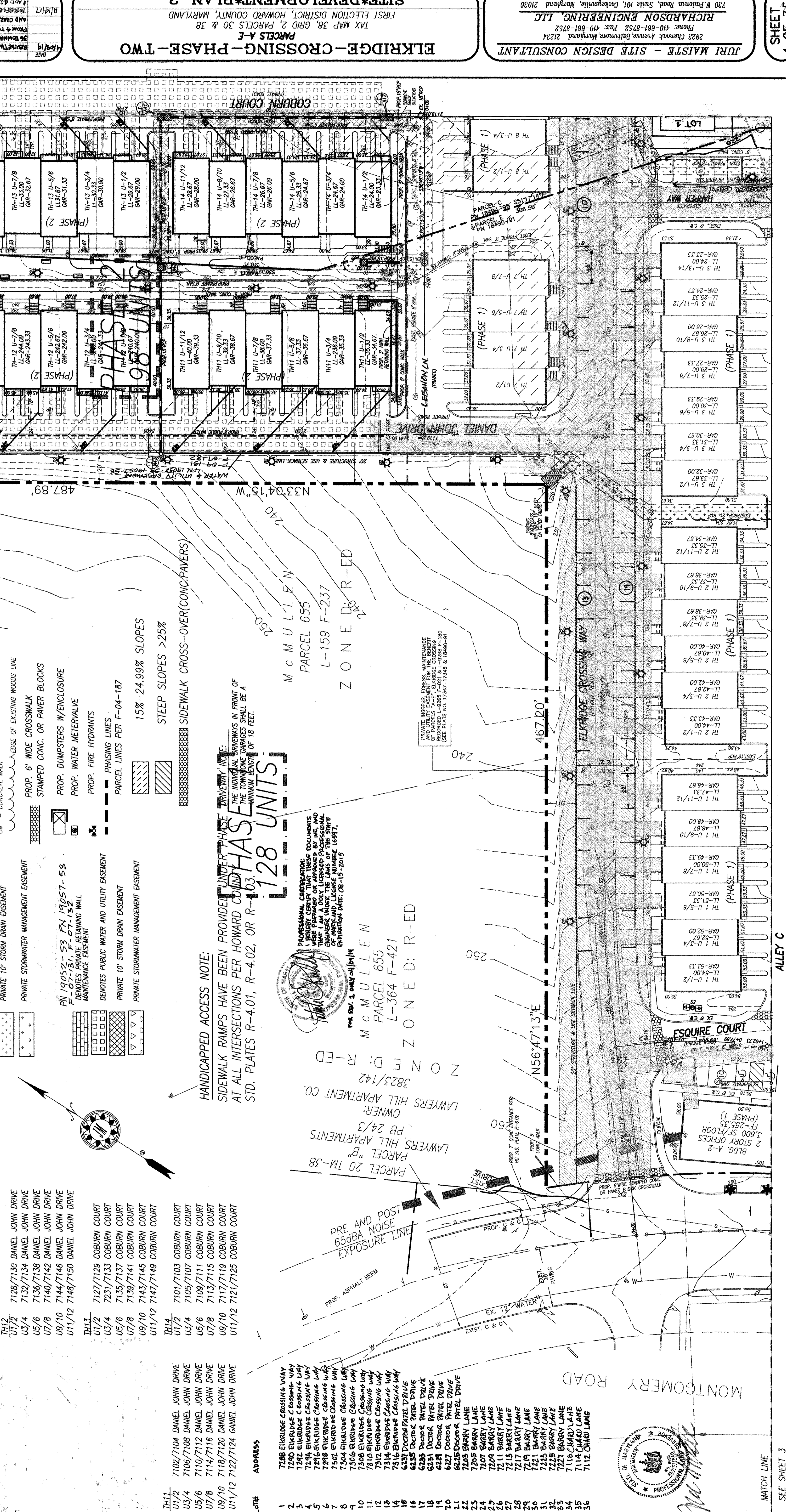
AMENITY ARE #4 PER APPROVED SKETCH PLAN S-04-011 AREA = 0.27 ACRES

128 UNITS

PHASES

PHASE 1
 TH 1 U-1/2
 TH 1 U-3/4
 TH 1 U-5/6
 TH 1 U-7/8
 TH 1 U-9/10
 TH 1 U-11/12

PHASE 2
 TH 2 U-1/2
 TH 2 U-3/4
 TH 2 U-5/6
 TH 2 U-7/8
 TH 2 U-9/10
 TH 2 U-11/12



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND UNDER THE TITLE OF CIVIL ENGINEER. MY LICENSE NUMBER IS 16971. EXPIRATION DATE: 08-15-2015

[Signature]
 MCMULLEN
 PARCEL 655
 L-364 F-421

ZONE D: R-ED

HANDICAPPED ACCESS NOTE:
 SIDEWALK RAMPS HAVE BEEN PROVIDED UNDER PHASE 1 AT ALL INTERSECTIONS PER HOWARD COUNTY STD. PLATES R-4.01, R-4.02, OR R-103. MINIMUM LENGTH OF 18 FEET.

REVISIONS

NO.	DATE	DESCRIPTION
1	07/19/06	REVISED SDR-06-078

ELKBRIDGE-CROSSING-PHASE-TWO

SITE*DEVELOPMENT*PLAN-2

FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 TAX MAP 38, GRID 2, PARCELS 30 & 38

PARCELS A-E

JURI MAISTE - SITE DESIGN CONSULTANT

2923 CHENOOK AVENUE, BALTIMORE, MARYLAND 21234
 Phone: 410-661-8752 Fax: 410-661-8752

RICHARDSON ENGINEERING, LLC

730 W. PATENT ROAD, SUITE 101, COCKEYSVILLE, MARYLAND 21030
 Phone: 410-560-1502 Fax: 410-560-0827

REVISIONS

NO.	DATE	DESCRIPTION
1	07/19/06	REVISED SDR-06-078

SCALE: 1"=30'

DATE: SEPT. 19, 2006

DRAWN: J.M.

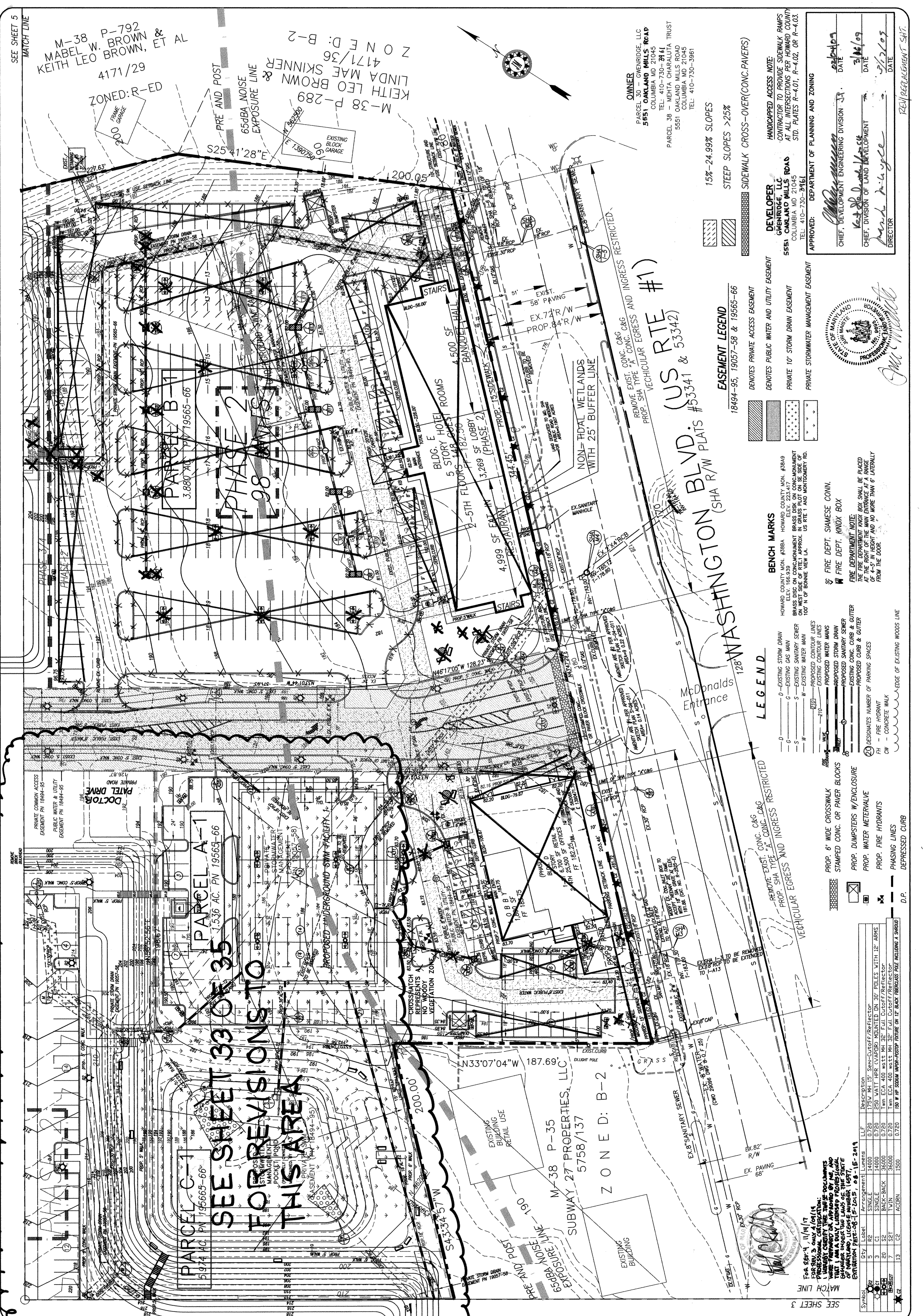
SCALE: 1" = 30'
NOVEMBER 20, 2006
DRAWN: J.M.

DATE	REVISION
12/03/07	PER APPROVED REVISIONS
4/19/14	REVISED TO ADD AND REMOVE
4/19/14	REVISED TO ADD AND REMOVE
4/19/14	REVISED TO ADD AND REMOVE
4/19/14	REVISED TO ADD AND REMOVE

ELKRIDGE CROSSING PHASE-2
PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SITE DEVELOPMENT PLAN-4

JURI MAISTE - SITE DESIGN CONSULTANT
 2923 Chemok Avenue, Baltimore, Maryland 21234
 Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
 730 W. Prater Road, State 101, Cockeysville, Maryland 21030
 Phone: 410-660-1502 Fax: 410-660-0827

SHEET 6 OF 35
 SDP-06-078



OWNER
 PARCEL 30 - GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3141
 PARCEL 38 - WERTHA CHARALOTA TRUST
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3161

DEVELOPER
 GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3161

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CONTRACTOR TO PROVIDE SIDEWALK RAMPS AT ALL INTERSECTIONS PER HOWARD COUNTY STD. PLATES R-4.01, R-4.02, OR R-4.03.

DATE 11/14/17
DATE 2/16/09
DATE 5/12/09

REVISION SHEET

EASEMENT LEGEND
 18494-95, 19057-58 & 19565-66
 DENOTES PRIVATE ACCESS EASEMENT
 DENOTES PUBLIC WATER AND UTILITY EASEMENT
 PRIVATE 10' STORM DRAIN EASEMENT
 PRIVATE STORMWATER MANAGEMENT EASEMENT

15%-24.99% SLOPES
STEEP SLOPES >25%
SIDEWALK CROSS-OVER (CONC. PAVERS)

BENCH MARKS
 HOWARD COUNTY MON. #388A HOWARD COUNTY MON. #28A9
 ELEV. 166.939 ELEV. 223.417
 BRASS DISC ON CONC. FOUNDATION
 100' N. OF BONNE VIE LN. APPROX. US RTE 1 AND MONTGOMERY RD.

LEGEND
 D - EXISTING STORM DRAIN
 G - EXISTING GAS MAIN
 S - EXISTING SANITARY SEWER
 W - EXISTING WATER MAIN
 W-210 - PROPOSED WATER MAINS
 W-210 - PROPOSED STORM DRAIN
 W-210 - PROPOSED SANITARY SEWER
 W-210 - PROPOSED CONC. CURB & GUTTER
 W-210 - PROPOSED CURB & GUTTER
 W-210 - DESIGNATES NUMBER OF PARKING SPACES
 FH - FIRE HYDRANT
 CW - CONCRETE WALK
 --- EDGE OF EXISTING WOODS LINE

LEGEND
 --- REMOVE EXIST. CONC. C&G
 --- PROP. SHA TYPE "A" CONC. C&G
 --- VEHICULAR EGRESS AND INGRESS RESTRICTED

VEHICULAR EGRESS AND INGRESS RESTRICTED
 REMOVE EXIST. CONC. C&G
 PROP. SHA TYPE "A" CONC. C&G
 VEHICULAR EGRESS AND INGRESS RESTRICTED

VEHICULAR EGRESS AND INGRESS RESTRICTED
 REMOVE EXIST. CONC. C&G
 PROP. SHA TYPE "A" CONC. C&G
 VEHICULAR EGRESS AND INGRESS RESTRICTED

VEHICULAR EGRESS AND INGRESS RESTRICTED
 REMOVE EXIST. CONC. C&G
 PROP. SHA TYPE "A" CONC. C&G
 VEHICULAR EGRESS AND INGRESS RESTRICTED

VEHICULAR EGRESS AND INGRESS RESTRICTED
 REMOVE EXIST. CONC. C&G
 PROP. SHA TYPE "A" CONC. C&G
 VEHICULAR EGRESS AND INGRESS RESTRICTED

VEHICULAR EGRESS AND INGRESS RESTRICTED
 REMOVE EXIST. CONC. C&G
 PROP. SHA TYPE "A" CONC. C&G
 VEHICULAR EGRESS AND INGRESS RESTRICTED

VEHICULAR EGRESS AND INGRESS RESTRICTED
 REMOVE EXIST. CONC. C&G
 PROP. SHA TYPE "A" CONC. C&G
 VEHICULAR EGRESS AND INGRESS RESTRICTED

Qty	Label	Description	Units
1	LLF	12" Single/Reflector	1500
2	CL	12" Single/Reflector	1500
3	CL	12" Single/Reflector	1500
4	CL	12" Single/Reflector	1500
5	CL	12" Single/Reflector	1500
6	CL	12" Single/Reflector	1500
7	S2T	12" Single/Reflector	1500
8	S2T	12" Single/Reflector	1500
9	S2T	12" Single/Reflector	1500
10	S2T	12" Single/Reflector	1500
11	S2T	12" Single/Reflector	1500
12	S2T	12" Single/Reflector	1500
13	C2	12" Single/Reflector	1500
14	C2	12" Single/Reflector	1500
15	C2	12" Single/Reflector	1500
16	C2	12" Single/Reflector	1500
17	C2	12" Single/Reflector	1500
18	C2	12" Single/Reflector	1500
19	C2	12" Single/Reflector	1500
20	C2	12" Single/Reflector	1500
21	C2	12" Single/Reflector	1500
22	C2	12" Single/Reflector	1500

SEE SHEET 33
 SEE SHEET 3

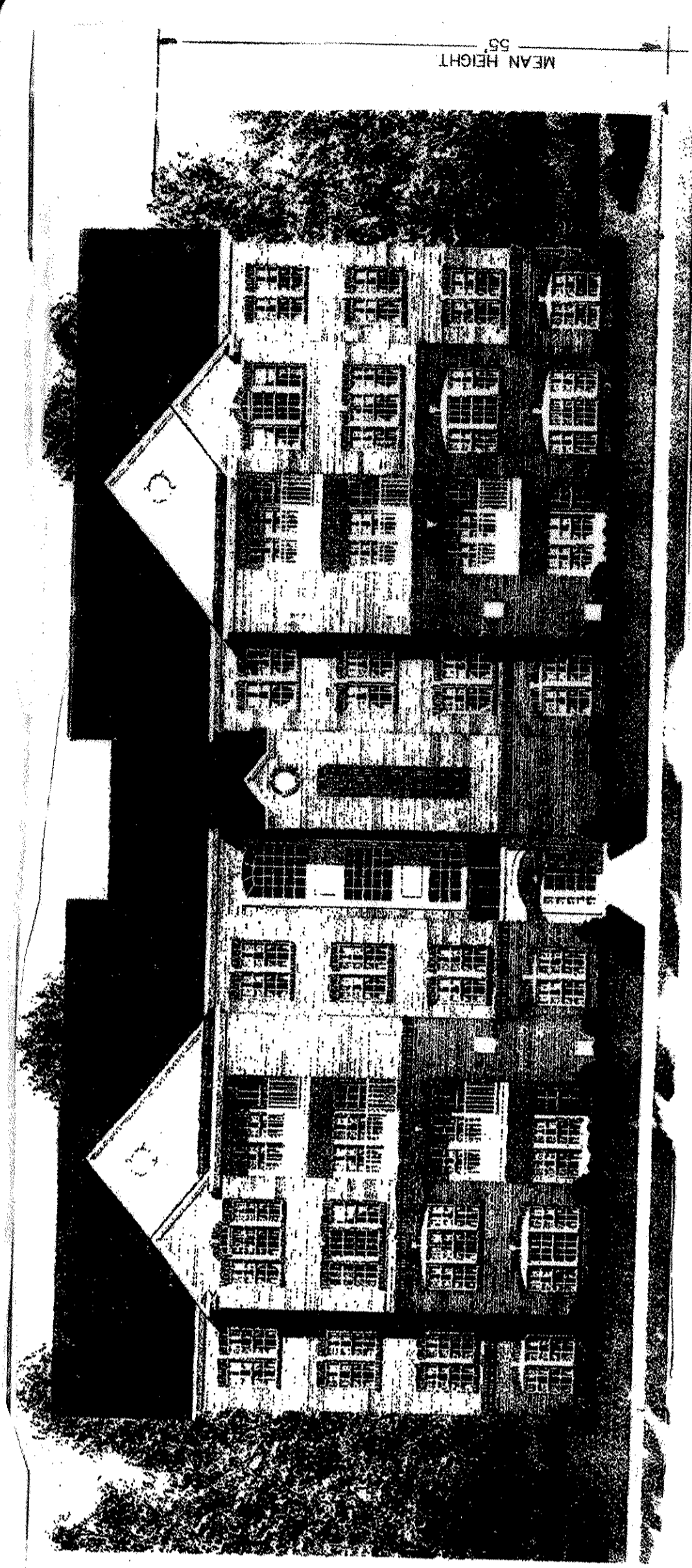
SCALE: 1"=30'
DATE: NOV. 20, 2006
DRAWN: J.M.

DATE	REVISION
11/21/14	REVISED TO Q, 10, 10A, & BLDG. F TO
	26 Drawings & CHANGE ORDER 7
	FROM 4 TO 3 STORIES AND ALL OTHER
	AND CHANGES
	TO REFLECT AS-BUILT CONDITIONS
	REVISION

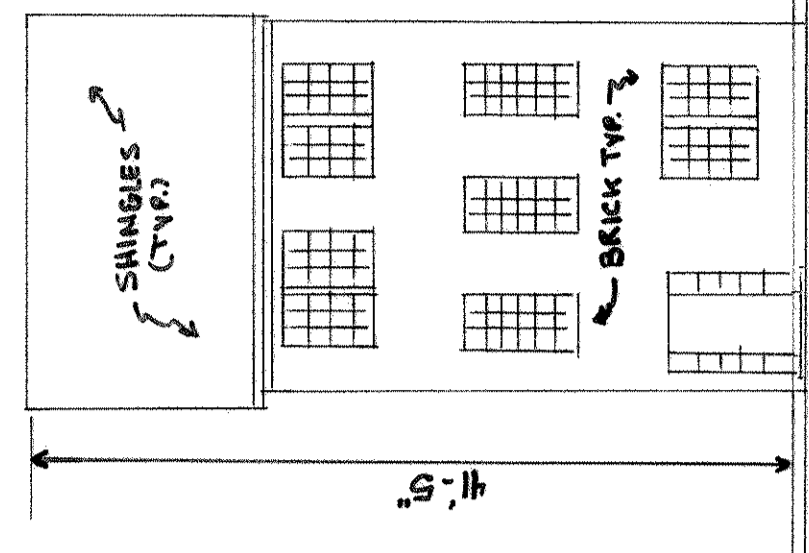
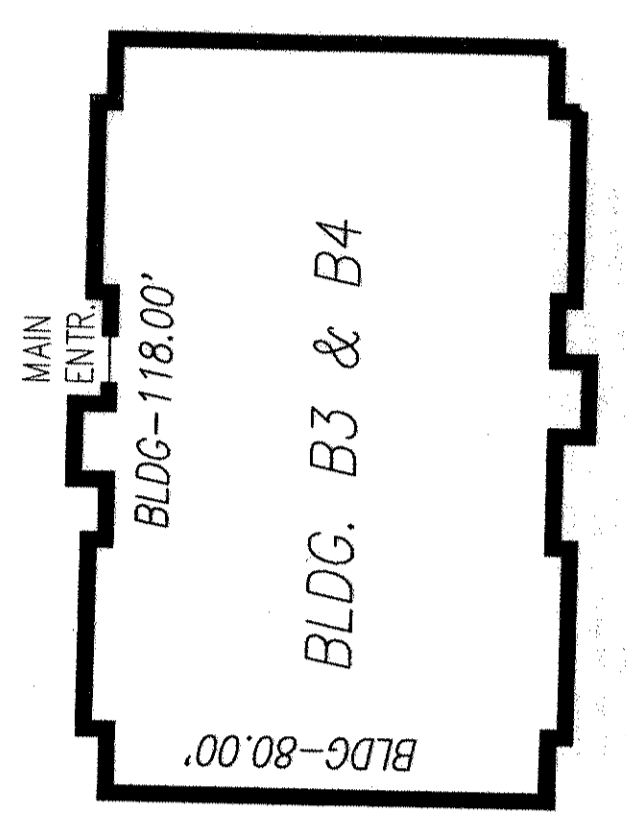
ELKRIDGE-CROSSING-PHASE-TWO
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
BUILDING ELEVATIONS

JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chetock Avenue, Baltimore, Maryland 21234
Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
730 W. Piedmont Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

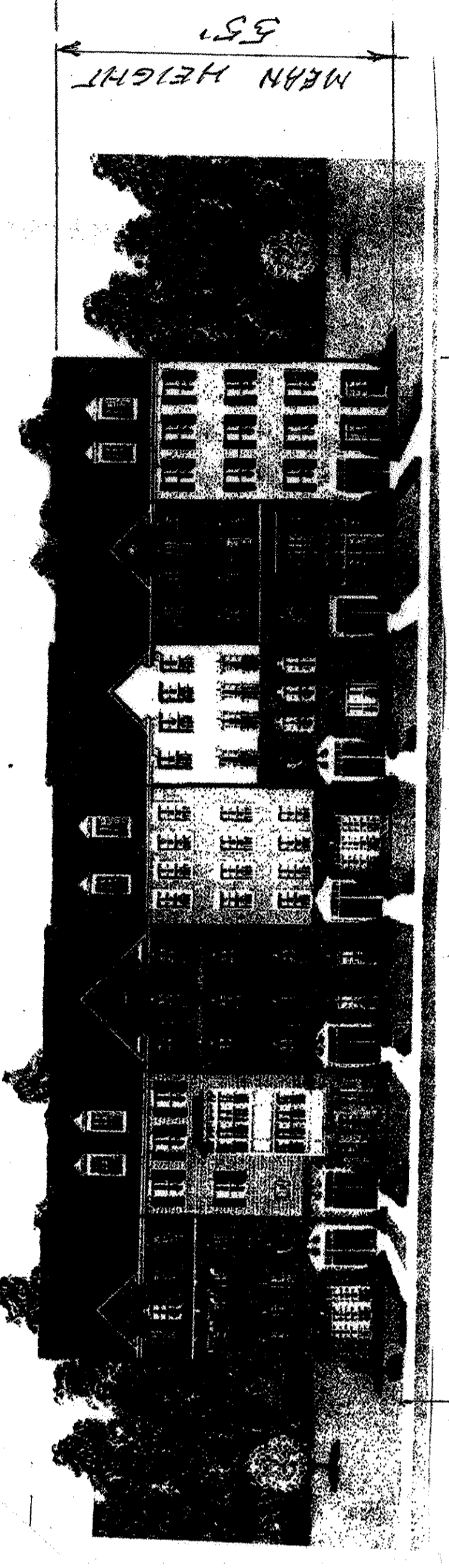
SHEET 7 OF 35
SDP-06-078



ELEVATION BUILDING B3 & B4
NTS

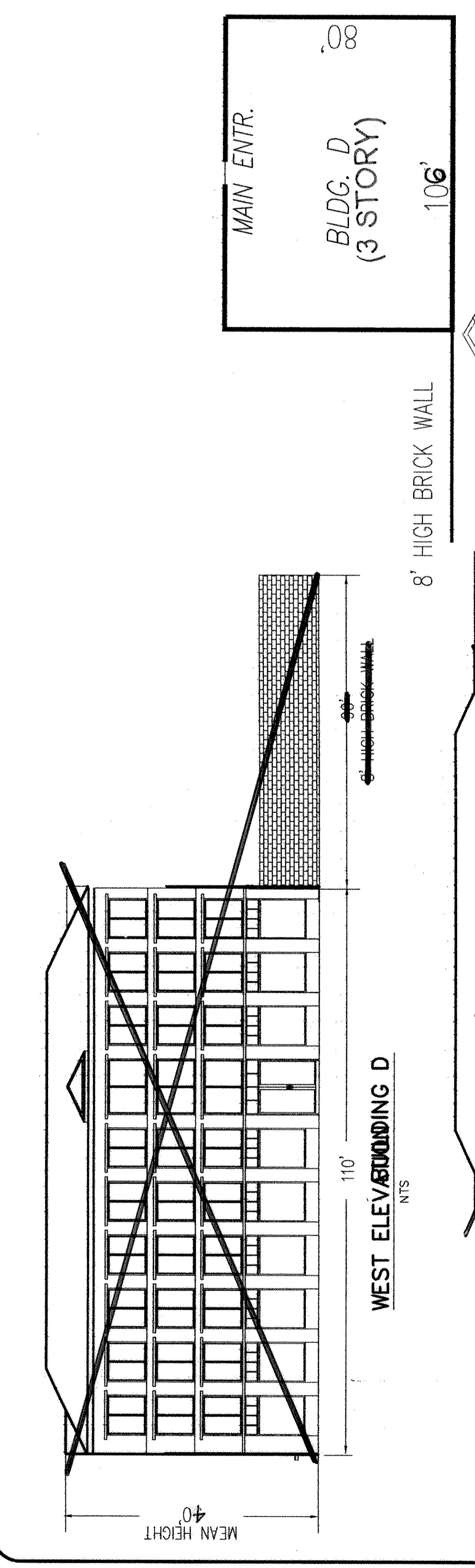
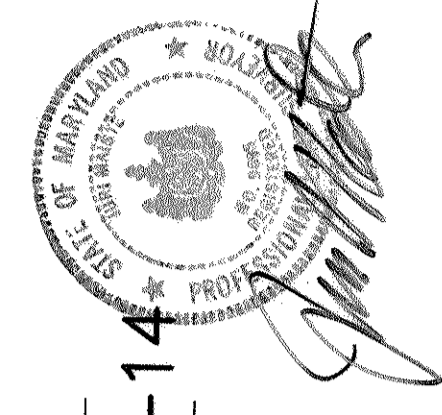


TOWNHOUSES LOTS 1-36 FRONT ELEV.

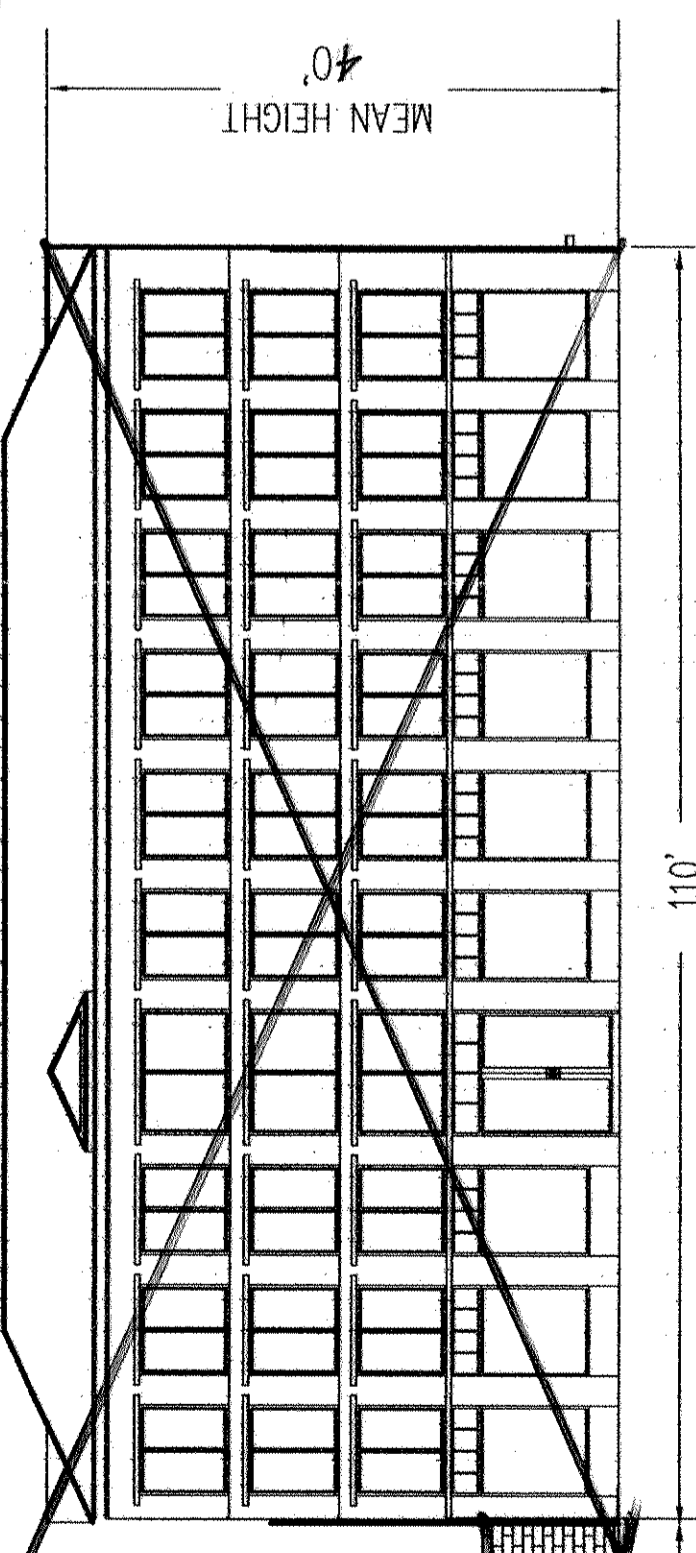
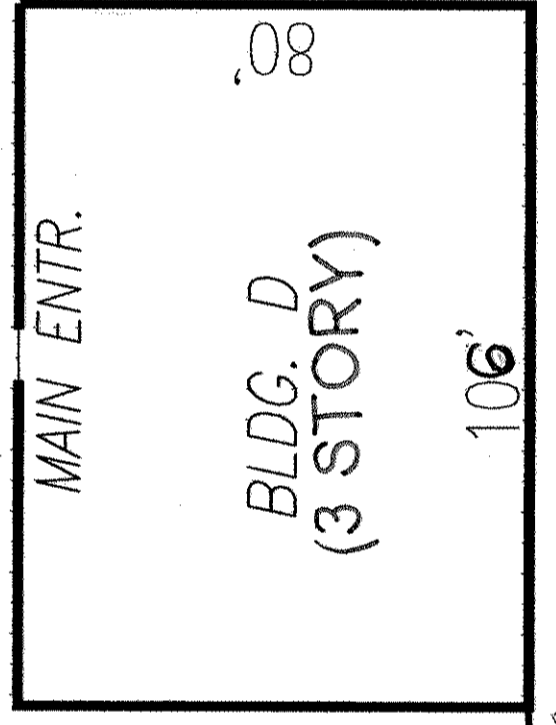


ELEVATION TOWNHOUSE BUILDINGS 11-14
NTS

FOR REV. 2 ONLY 11/14/17
FOR REV. 1 ONLY 7/21/14
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF MARYLAND LICENSE NUMBER 116577
EXPIRATION DATE: 08-15-2015, 08-15-19

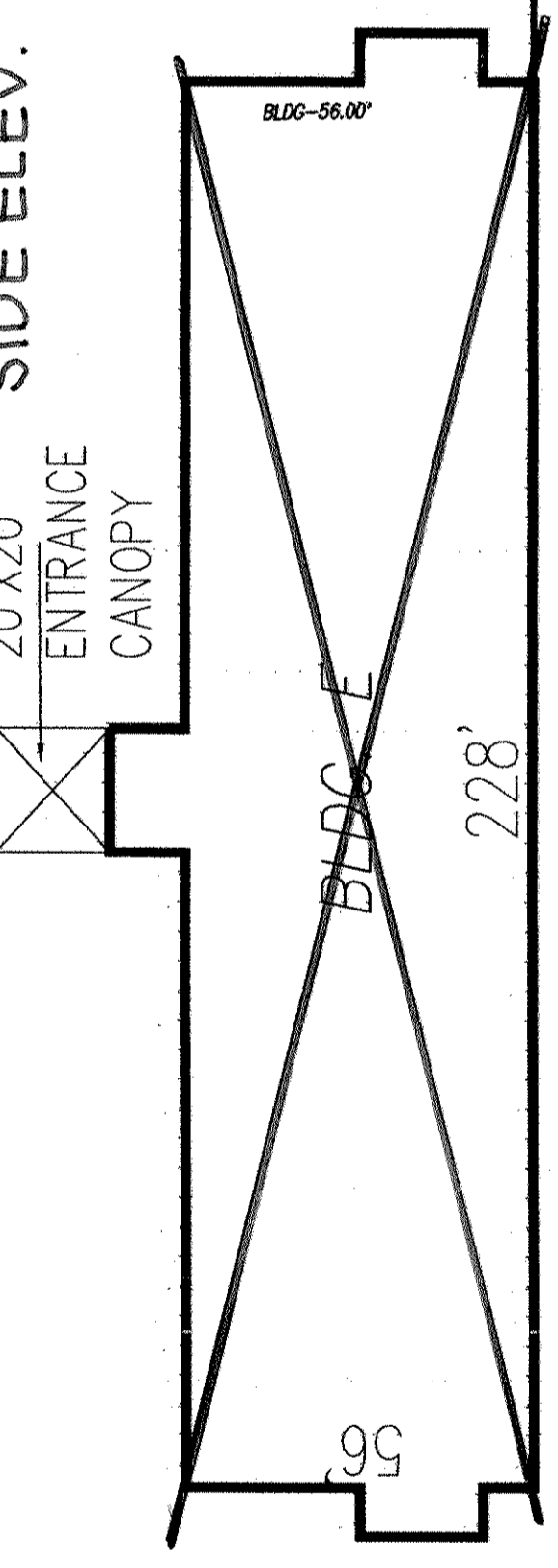


WEST ELEVATION BUILDING D
NTS

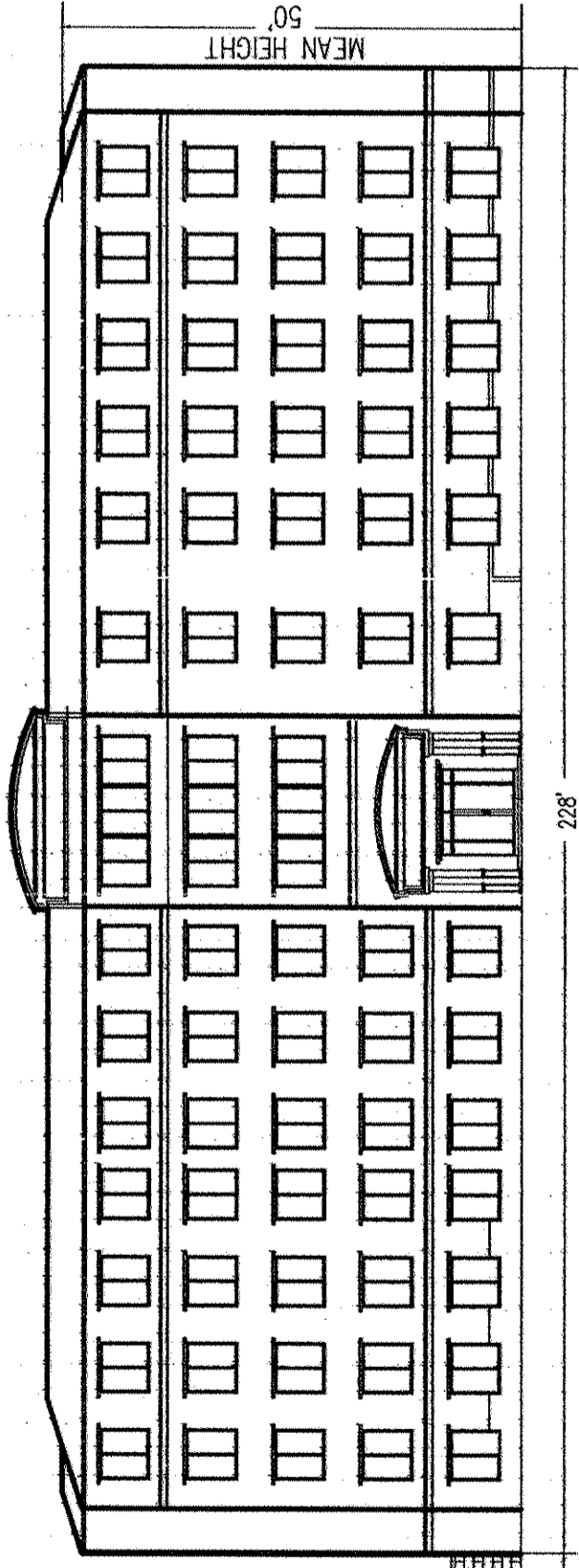


EAST ELEVATION (RTE.1) BUILDING D
NTS

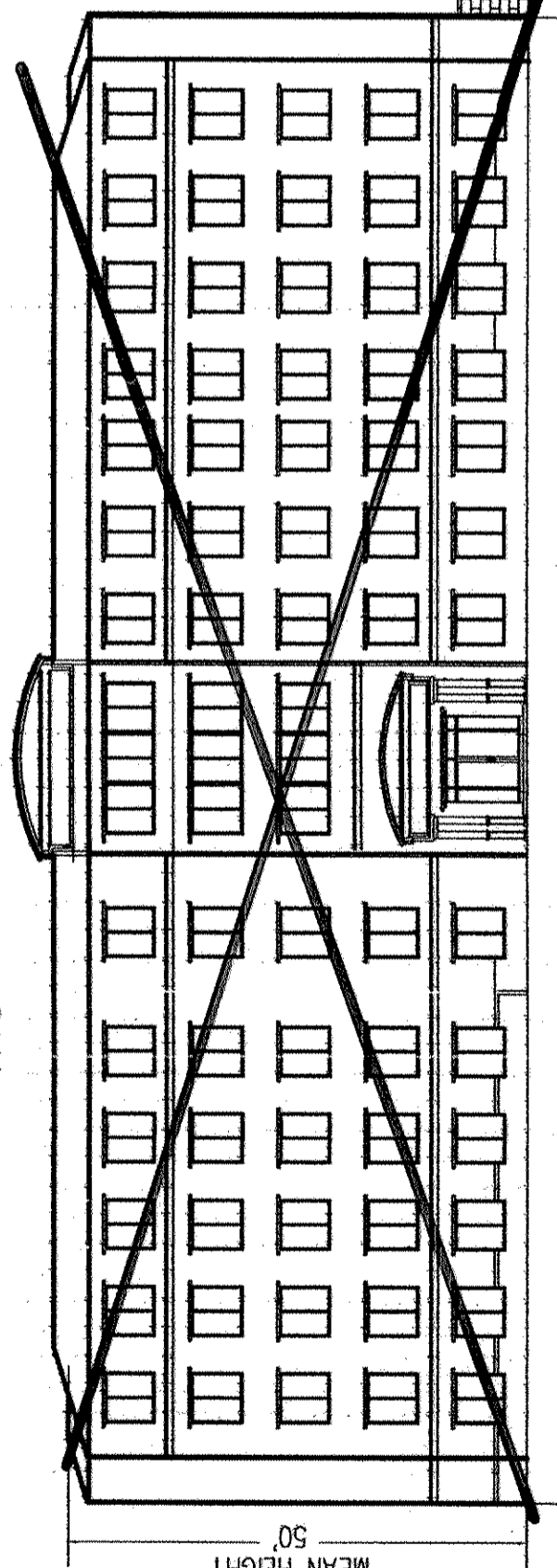
TOWNHOUSES LOTS 1-36 SIDE ELEV.
20'X20' ENTRANCE CANOPY



SIDE ELEVATION



WEST ELEVATION BUILDING E
NTS



EAST ELEVATION (RTE. 1) BUILDING E
NTS

OWNER
PARCEL 30 - GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3461
PARCEL 38 - MEHTA CHARALUTA TRUST
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3861

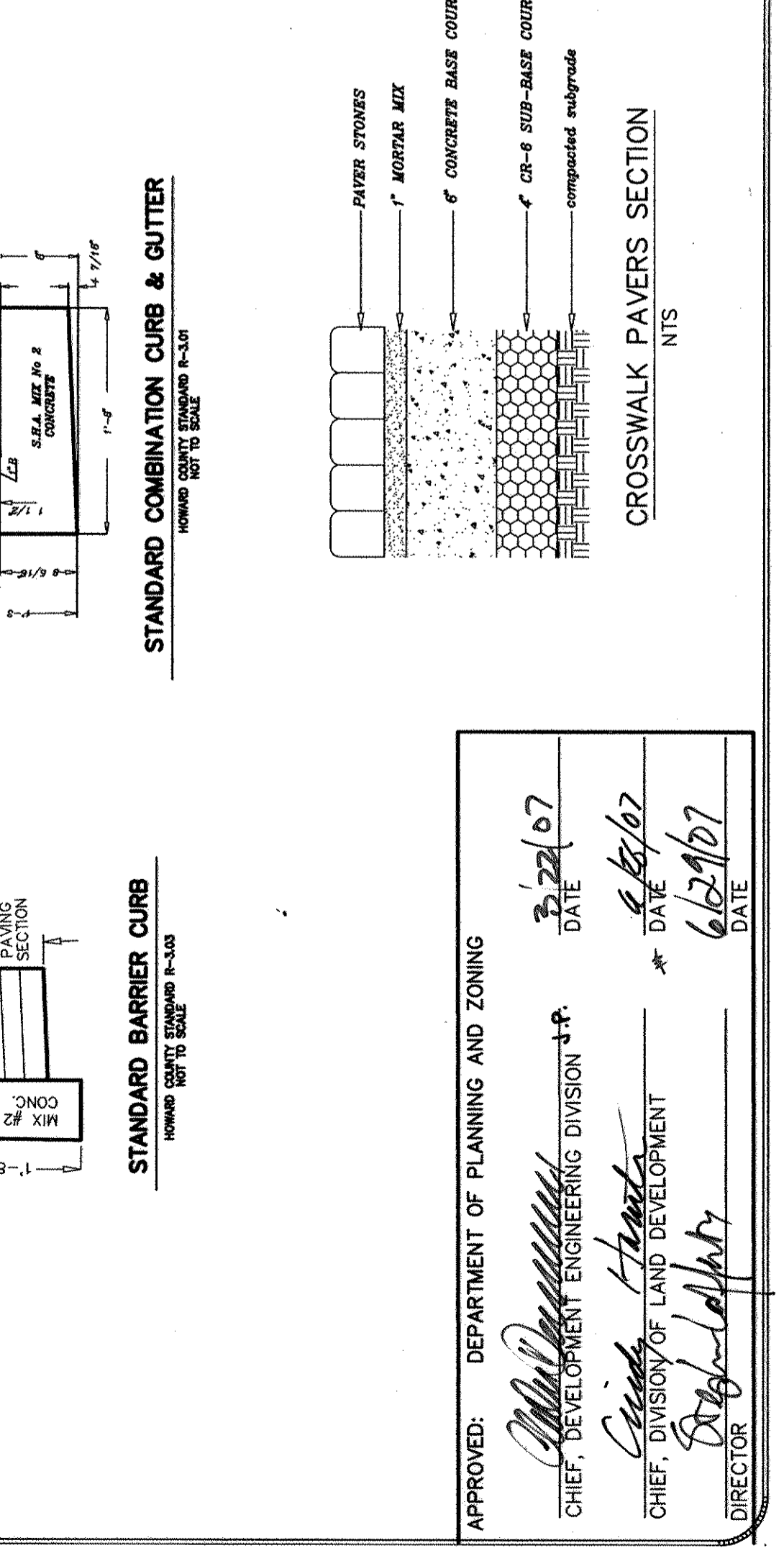
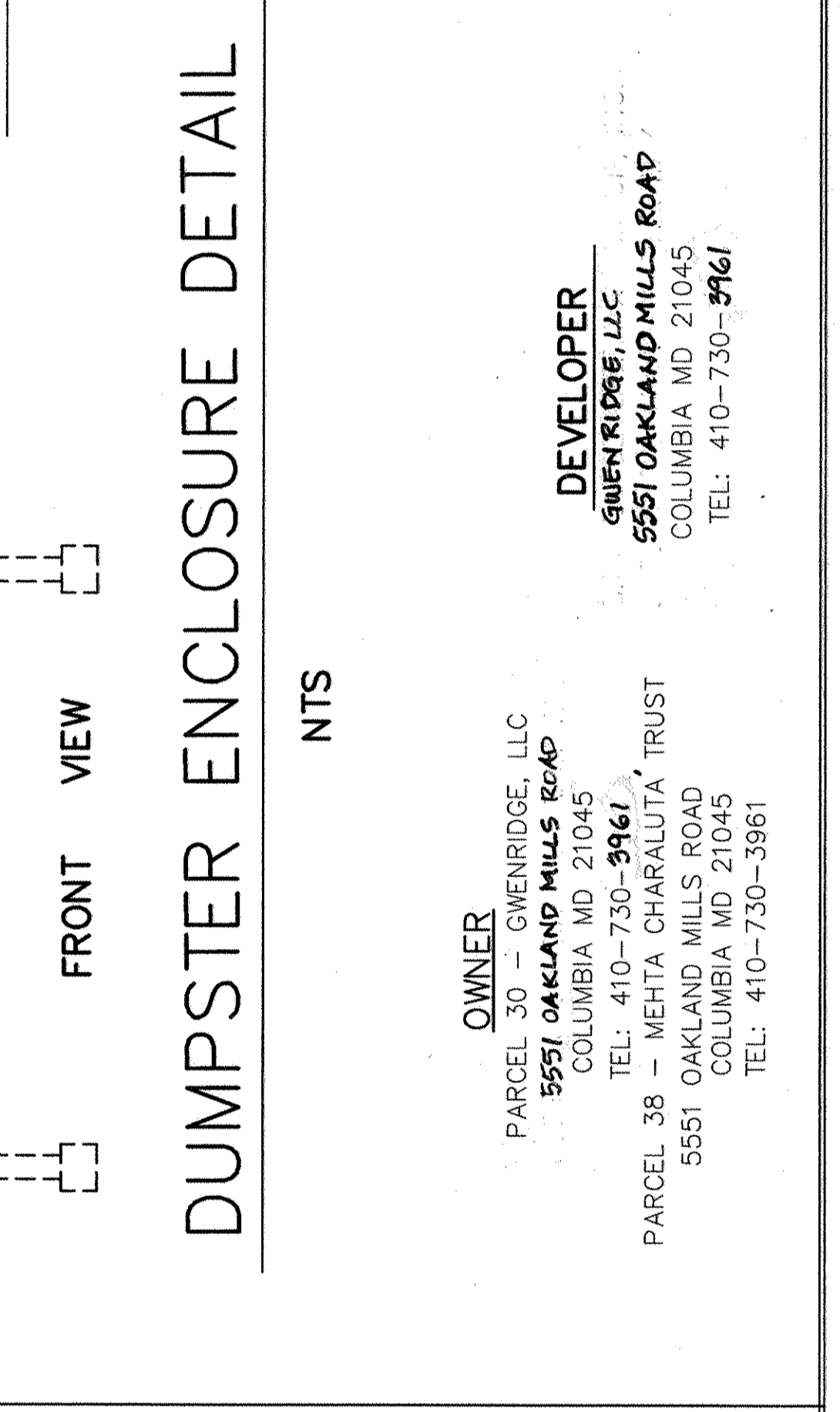
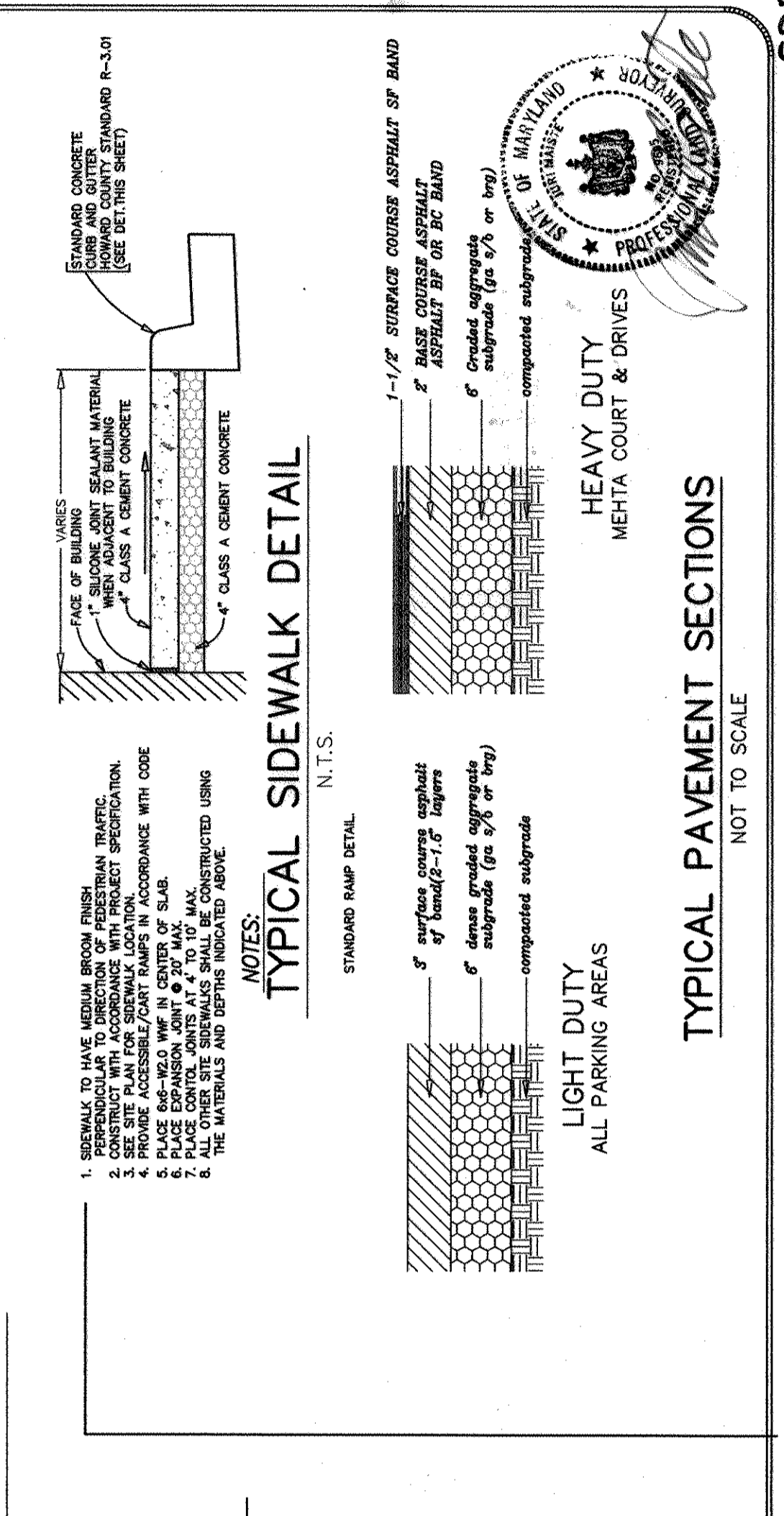
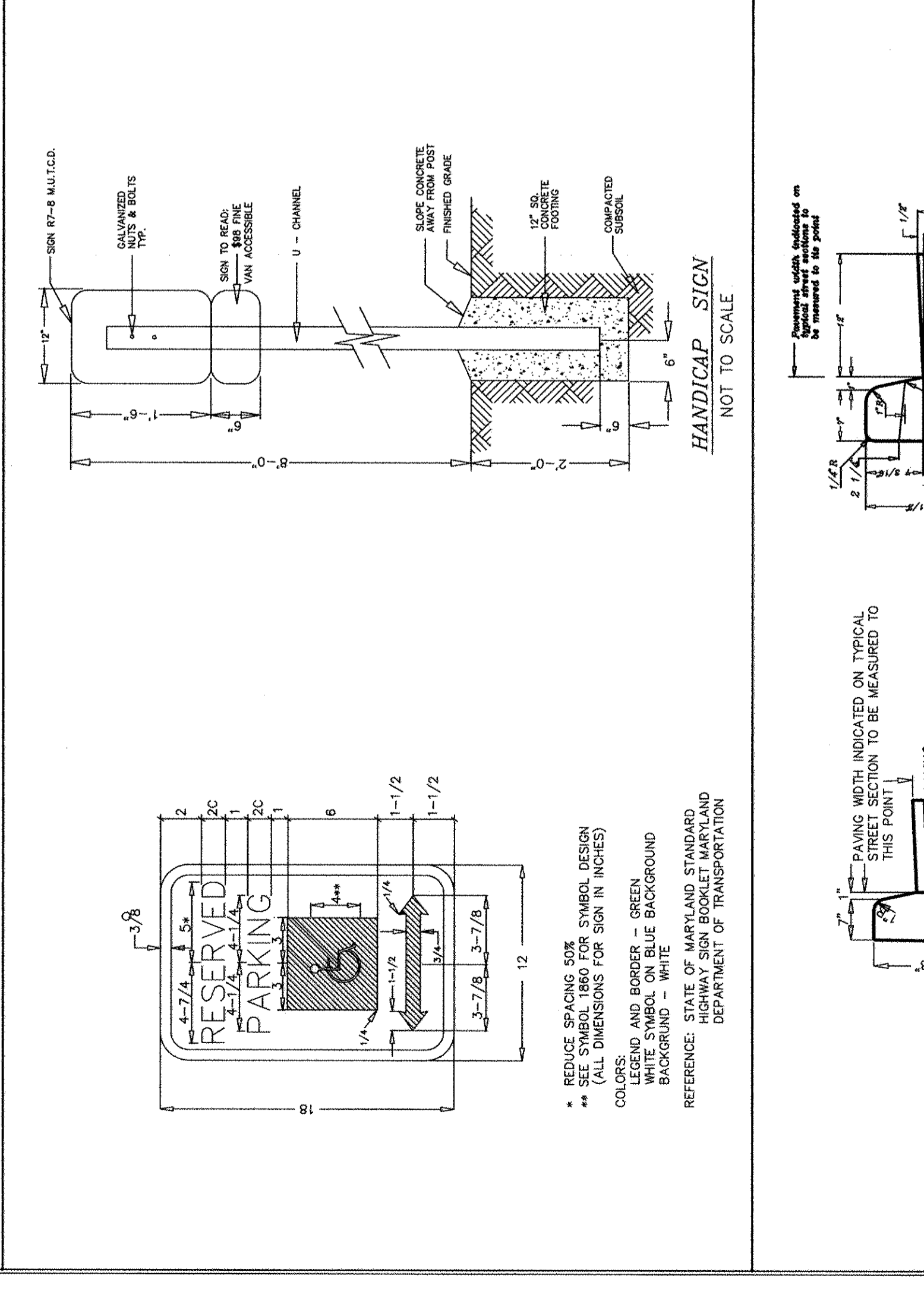
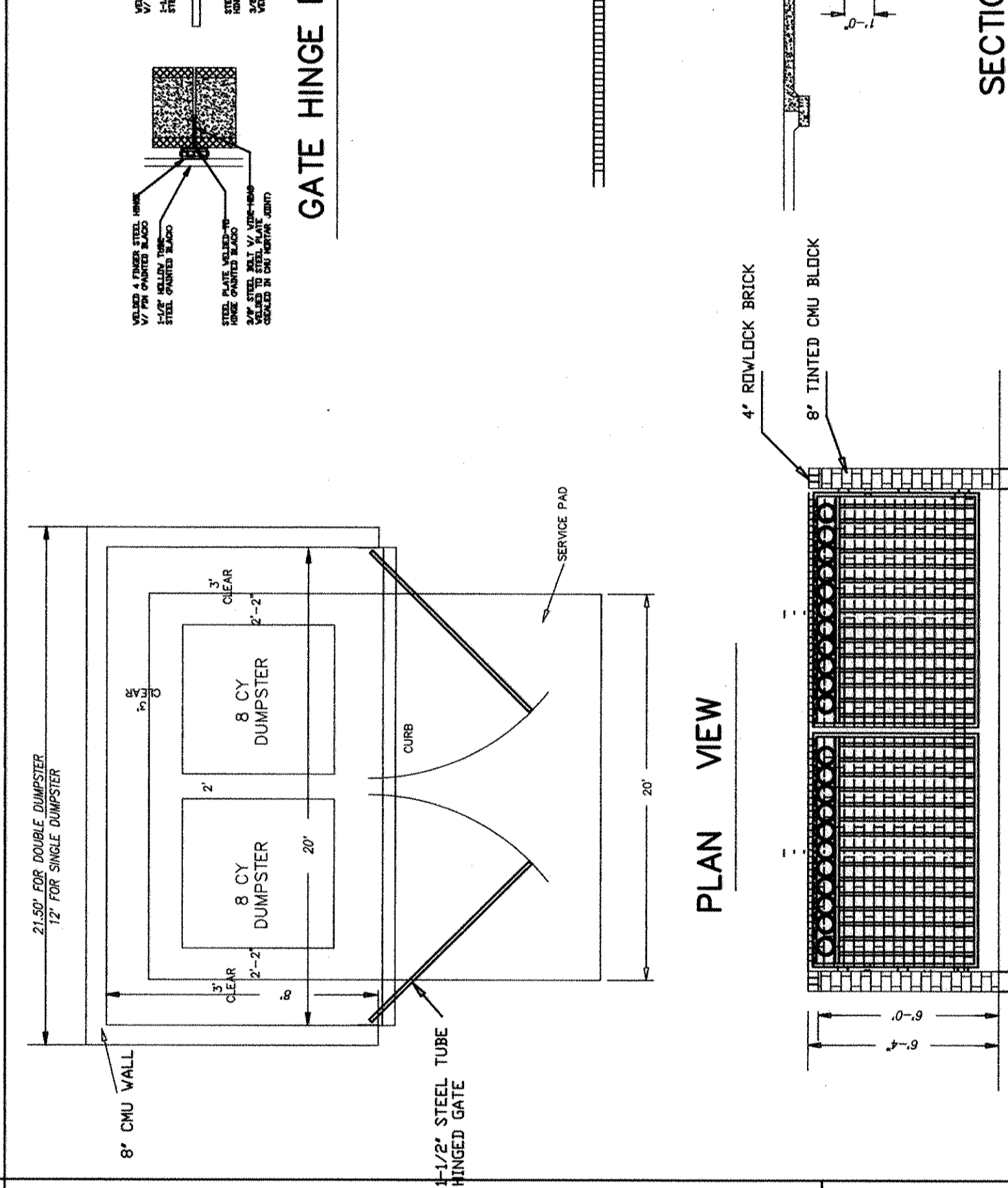
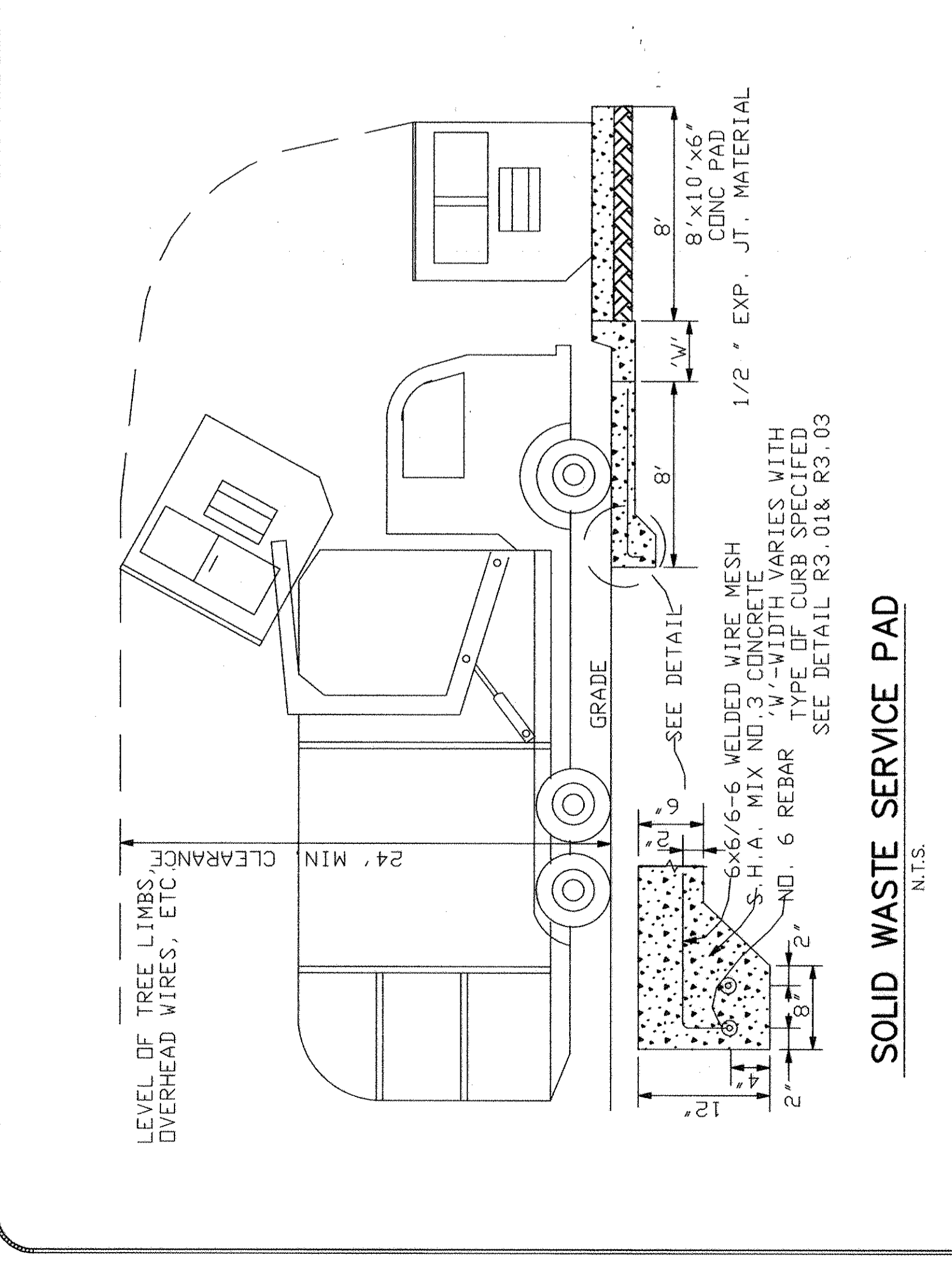
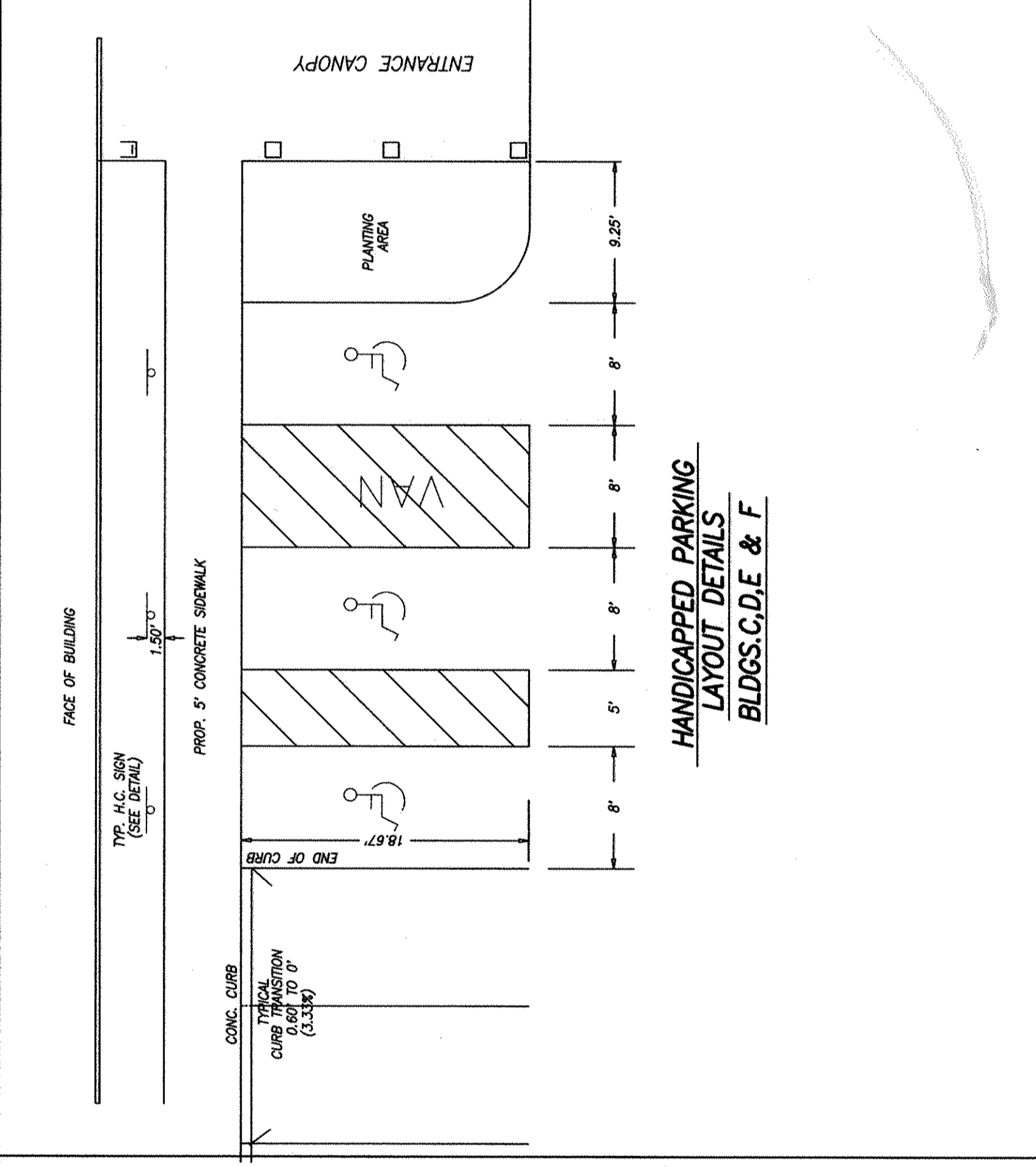
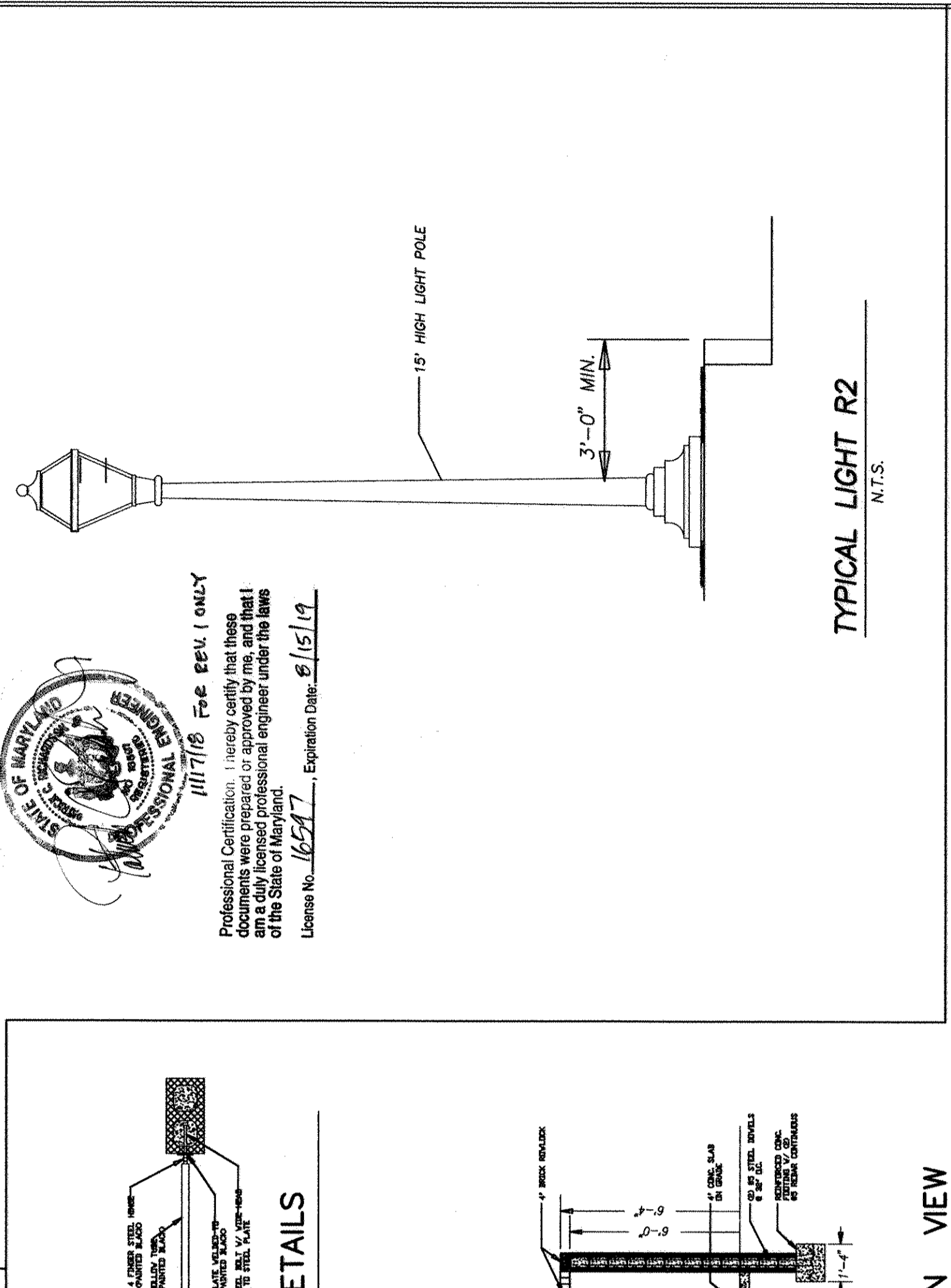
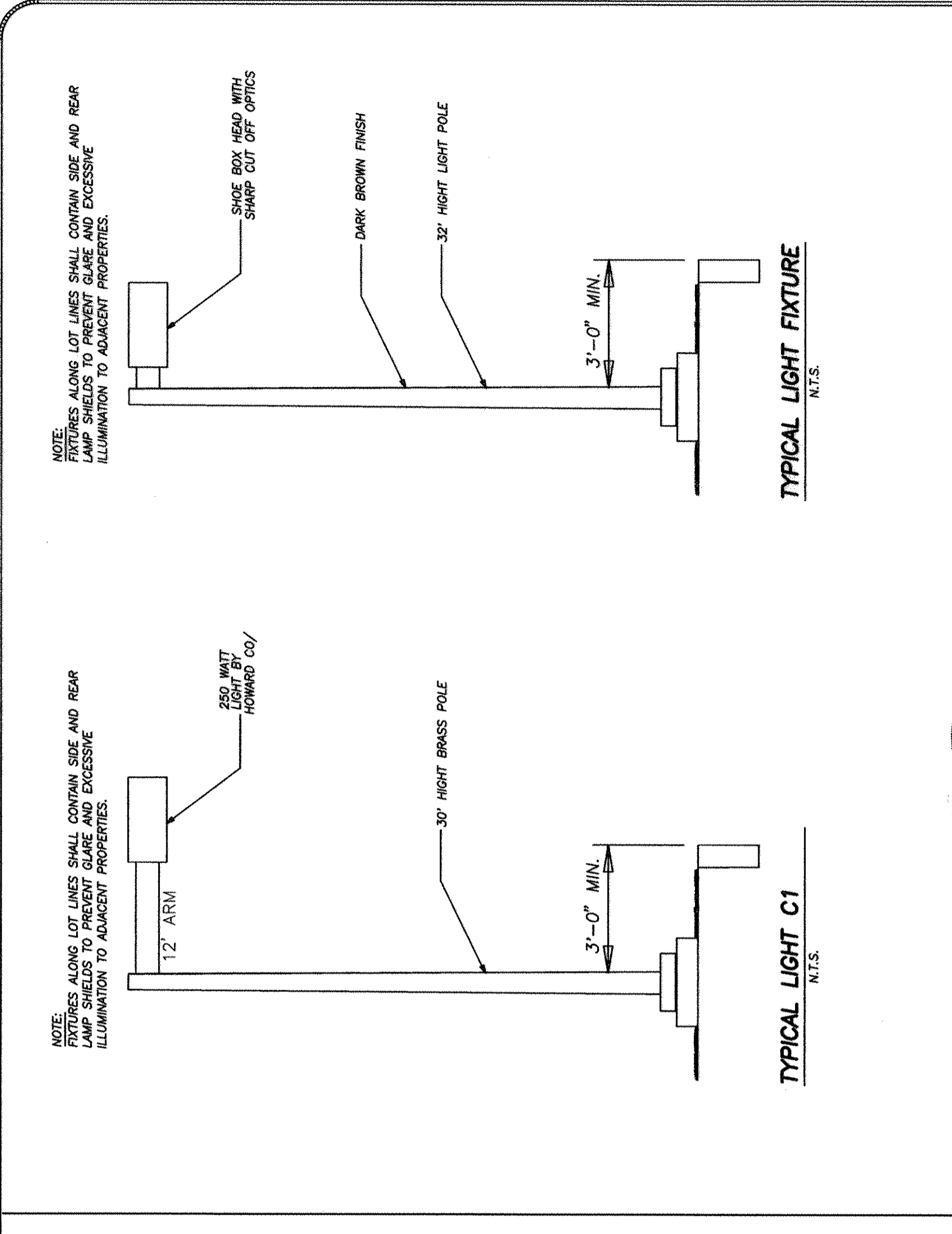
DEVELOPER
GWENRIDGE LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3461

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 3/22/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 6/28/06
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 6/29/07
DIRECTOR

JURI MAISTE - SITE DESIGN CONSULTANT
2932 Chetock Avenue, Baltimore, Maryland 21234
Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
730 W. Piedmont Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

ELKRIDGE-CROSSING-PHASE-TWO
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
CONSTRUCTION-DETAILS

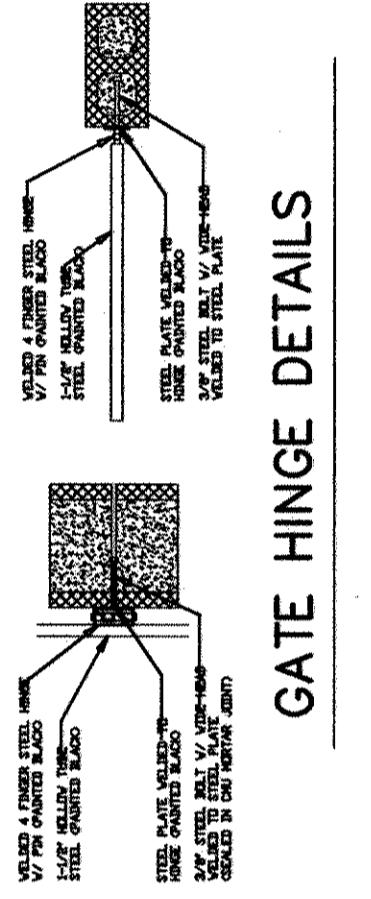
DATE: MARCH 24, 2006
SCALE: 1" = 30'
DRAWN: J.M.
REVISION
DATE
BY
To Reflect As-Built Construction



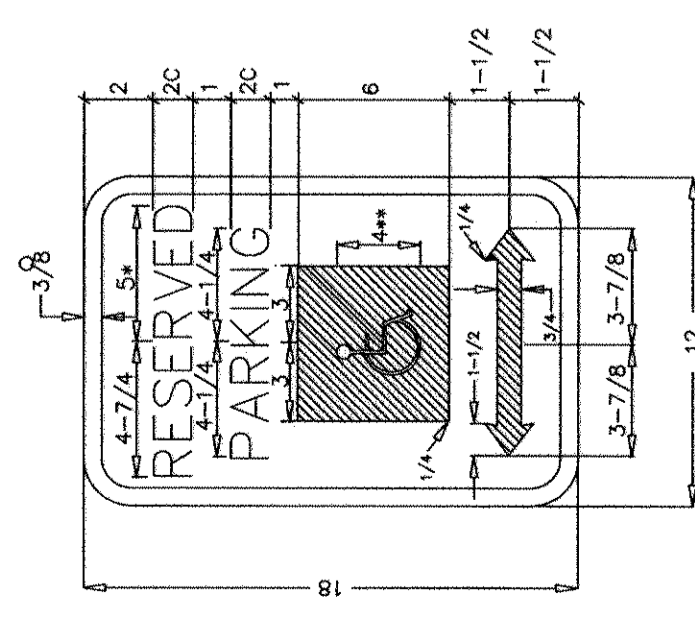
APPROVED: _____
DEPARTMENT OF PLANNING AND ZONING
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 3/22/07
CHIEF DIVISION OF LAND DEVELOPMENT
DATE: 6/12/07
DIRECTOR
DATE: 6/29/07

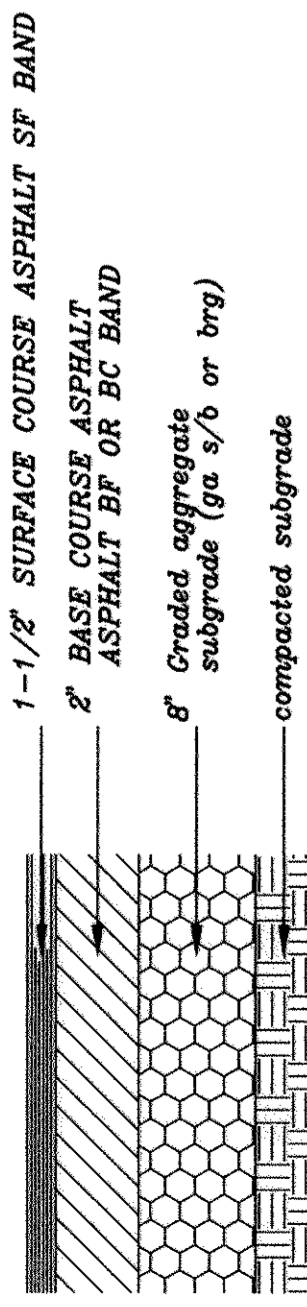


Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 16547, Expiration Date: 8/15/19



REDUCE SPACING SIZE
** SEE SYMBOL 1860 FOR SYMBOL DESIGN (ALL DIMENSIONS FOR SIGN IN INCHES)
COLORS AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE
REFERENCE: STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET, MARYLAND DEPARTMENT OF TRANSPORTATION





TYPICAL PAVEMENT SECTION
NTS

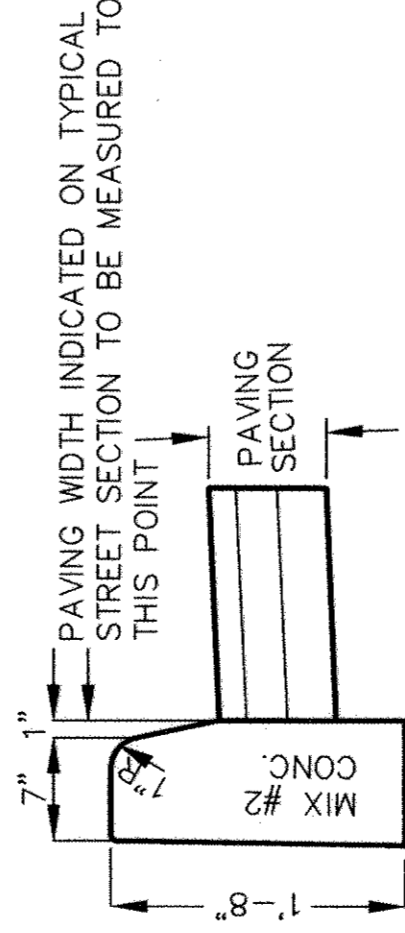
OWNER
PARCEL 30 - GERRARDOS, LLC
3551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3461

DEVELOPER
GERRARDOS, LLC
3551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3461

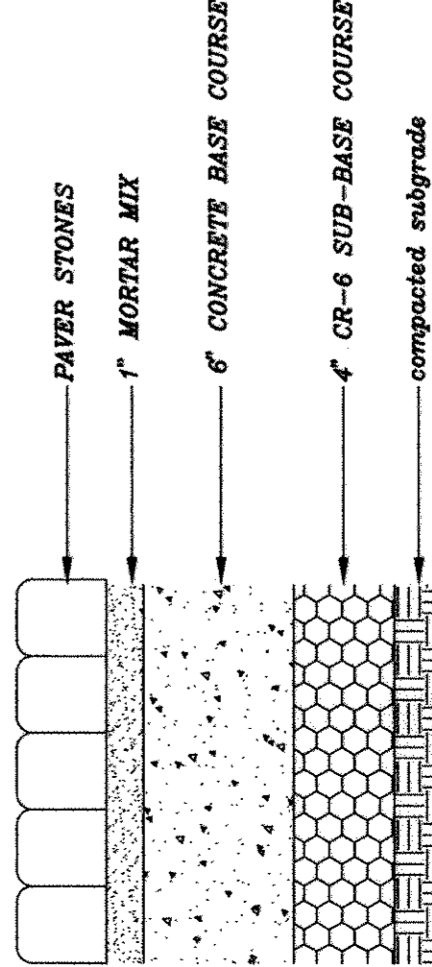
PARCEL 38 - WERTHA CHARALUTA TRUST
3551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3461

NOTES:

1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC.
2. CONSTRUCT IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
3. SEE SITE PLAN FOR SIDEWALK LOCATION.
4. PROVIDE ACCESSIBLE/CART RAMPS IN ACCORDANCE WITH STANDARD RAMP DETAIL.
5. PLACE 6x6-W2.0 WWF IN CENTER OF SLAB.
6. PLACE EXPANSION JOINT @ 20' MAX.
7. PLACE CONTROL JOINTS AT 4' TO 10' MAX.
8. ALL OTHER SITE SIDEWALKS SHALL BE CONSTRUCTED USING THE MATERIALS AND DEPTHS INDICATED ABOVE.



STANDARD BARRIER CURB
HOWARD COUNTY STANDARD R-303
NOT TO SCALE



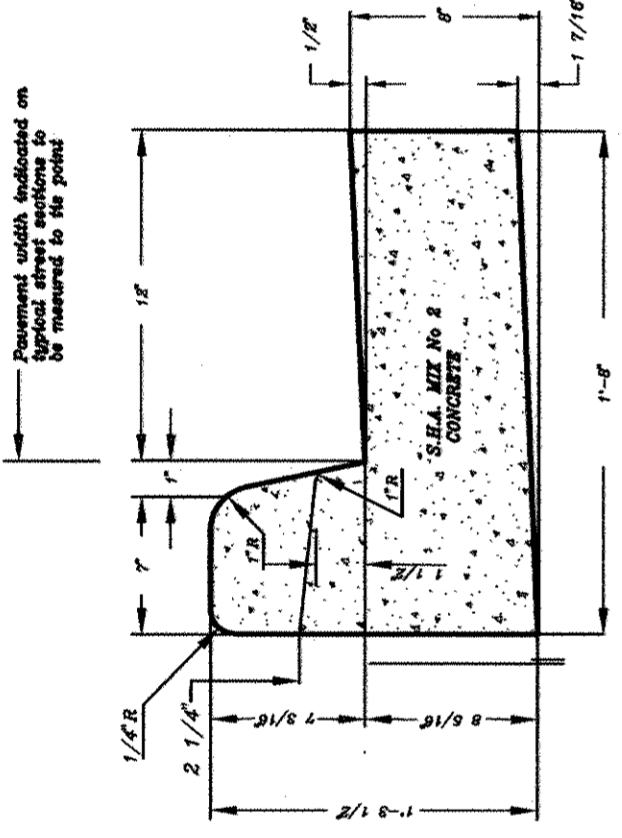
CROSSWALK PAVERS SECTION
NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 3/16/09

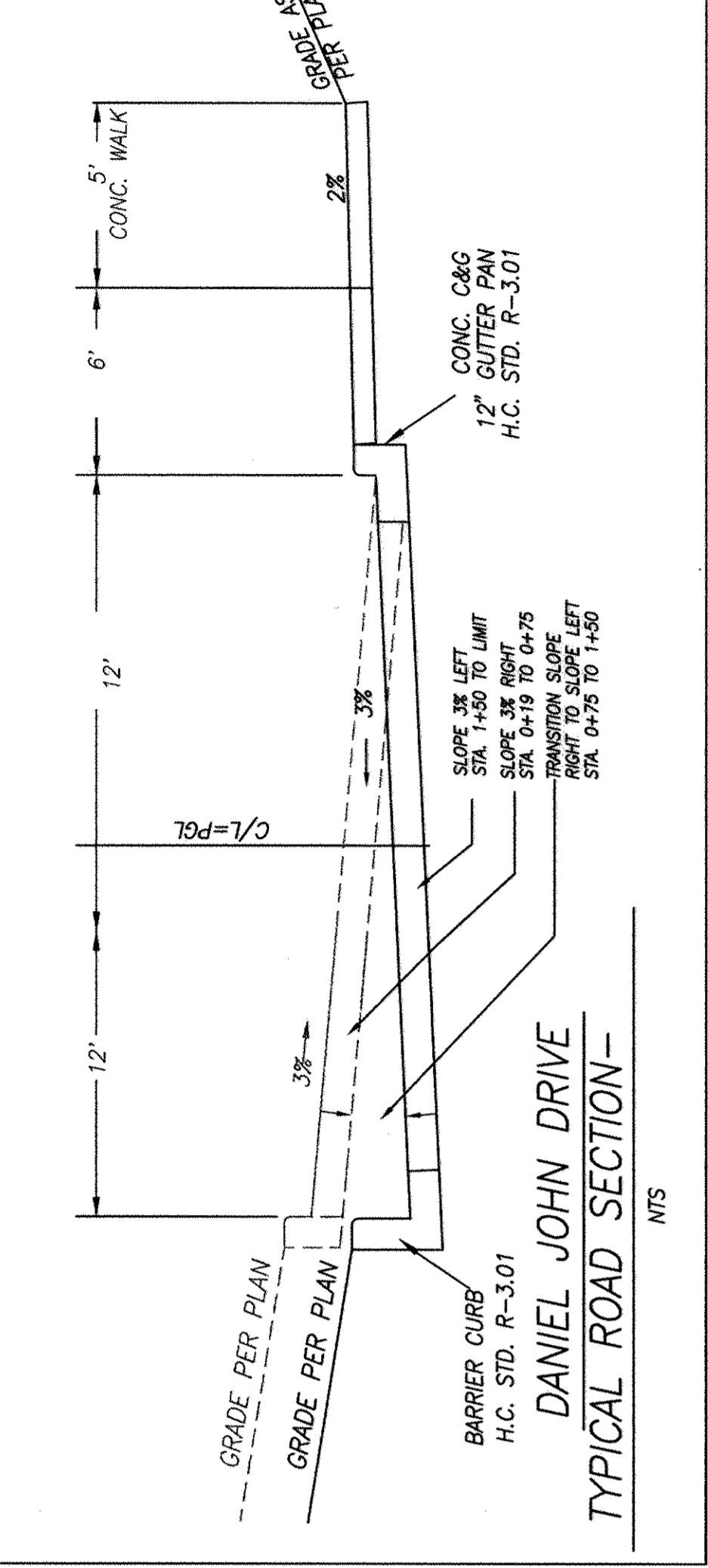
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 3/12/09

DIRECTOR
DATE: 3/12/09

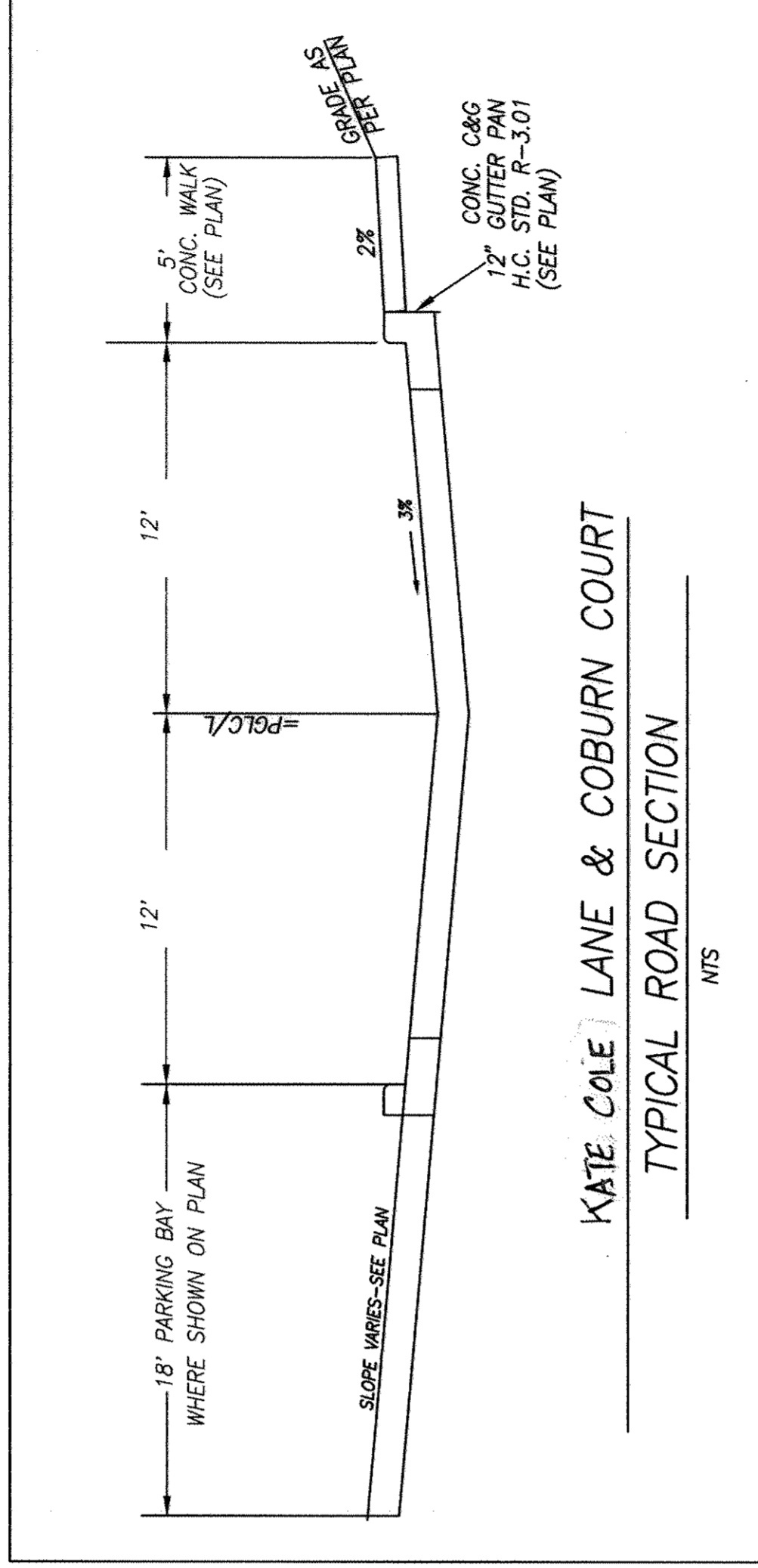


STANDARD COMBINATION CURB & GUTTER
HOWARD COUNTY STANDARD R-301
NTS

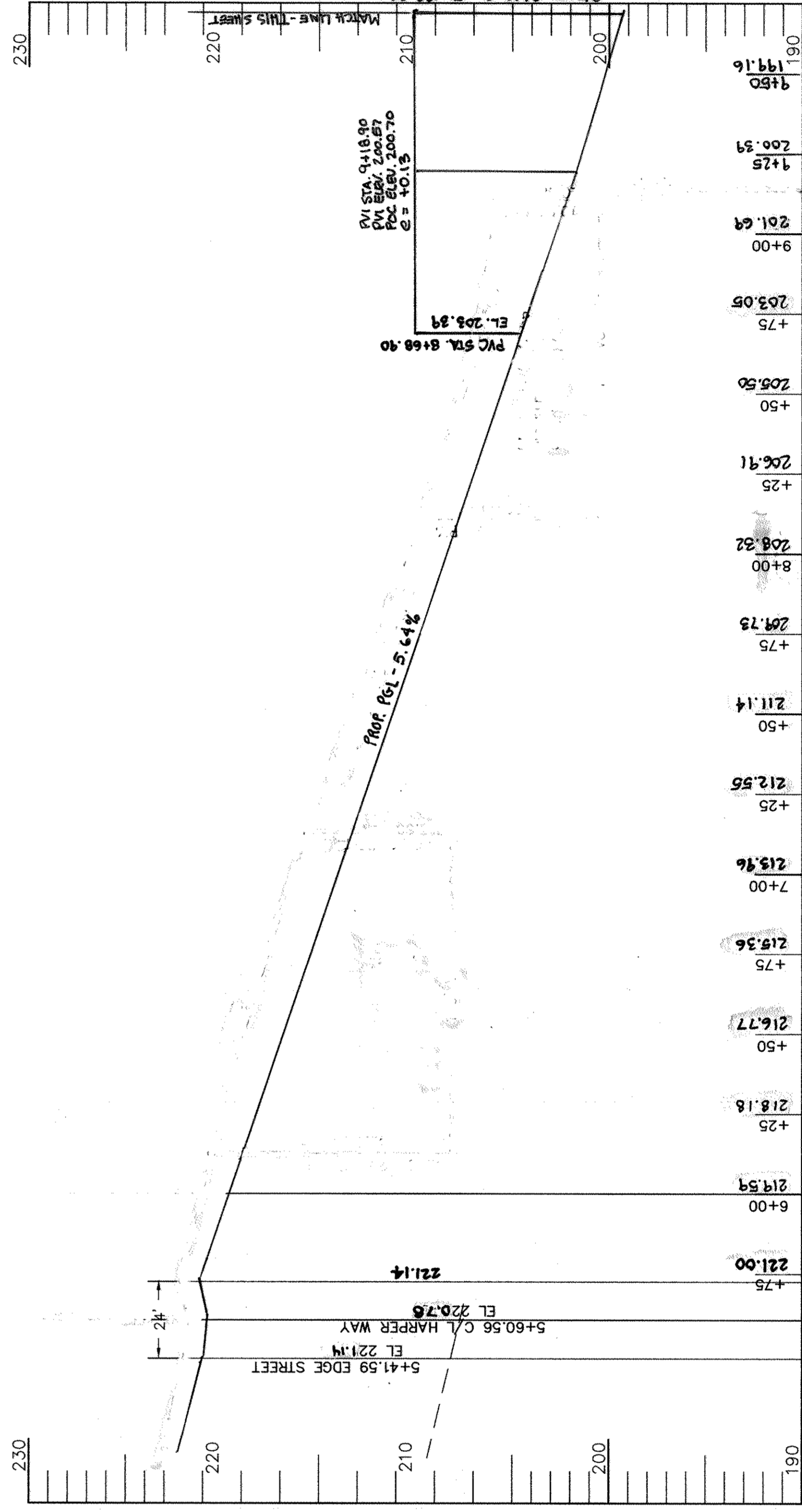
GUTTER RUN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIAL AT THE SAME RATE AND IN THE SAME DIRECTION AS THE ADJACENT SIDEWALK. THE GUTTER SHALL BE CONSTRUCTED TO THE SIDE OF THE SIDEWALK AND SHALL BE CONSTRUCTED TO THE SIDE OF THE SIDEWALK WHICH IS GREATER THAN OR EQUAL TO THE SIDEWALK.



TYPICAL ROAD SECTION - DANIEL JOHN DRIVE
NTS



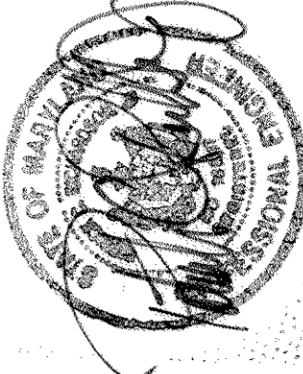
TYPICAL ROAD SECTION - KATE COLE LANE & COBURN COURT
NTS



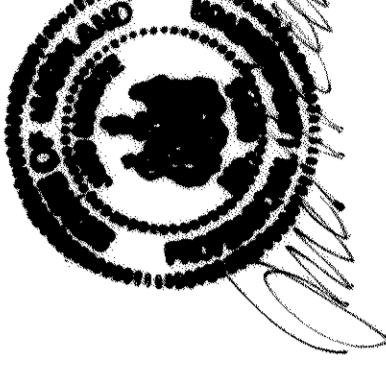
BENCH MARKS
LLV: 223.417
HOWARD COUNTY MON. #38A9

BRASS DISK ON CONC. MONUMENT IN GRASS PLOT ON SE SIDE OF US RTE 1 AND MONTGOMERY RD. HOWARD COUNTY ELEV. #685.939

BRASS DISK ON CONC. MONUMENT ON WEST SIDE OF RTE.1 APPROX. 100' N OF BONNIE VIEW LA.



JURI MAISTE, P.E.
Professional Engineer
No. 111417
State of Maryland
Exp. 06/30/14
For Rev. 2, Only A.04/14
Professional Certification:
I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 10871.
EXPIRATION DATE: 06-30-2014



ALLEY C
PRIVATE ROAD

DATE: MARCH 24, 2008
DRAWN: J.M.
SCALE: AS SHOWN

ELKRIDGE-CROSSING-PHASE TWO
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ROAD-SECTIONS, -DETAILS- & -PROFILES

JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chencok Avenue, Baltimore, Maryland 21234
Phone: 410-681-8752 Fax: 410-681-8752
RICHARDSON ENGINEERING, LLC
730 W. Piedmont Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

SDP-06-078
SHEET 9 OF 35

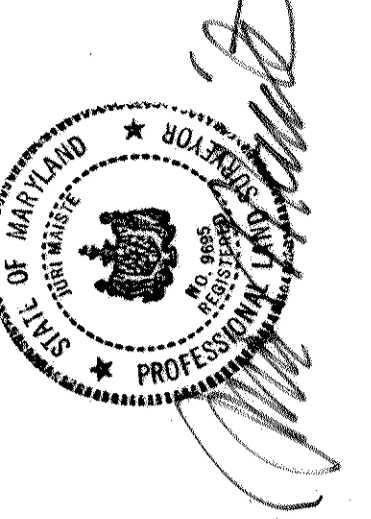
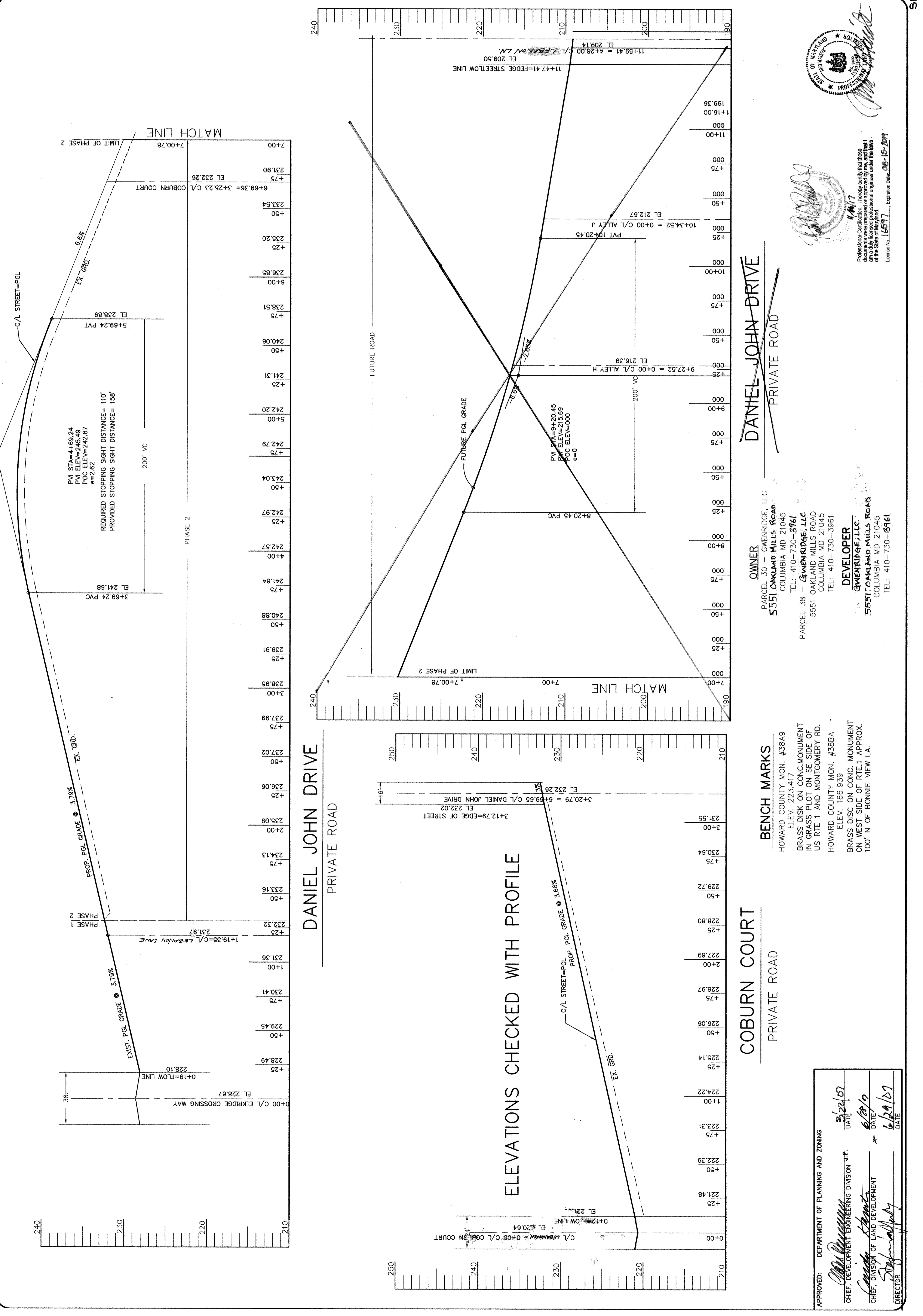
REVISED SDP-06-078

ELKRIDGE-CROSSING-PHASE-TWO
PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
PRIVATE ROAD*PROFILES

JURI MAISTE - SITE DESIGN CONSULTANT
 2823 (Howard County) Herring Hill, Hagerstown, Maryland 21751
 Telephone: 410-680-1802; Fax: 410-680-0827
RICHARDSON ENGINEERING, LLC
 730 W. Piedmont Road, Suite 101, Cockeysville, Maryland 21030
 Telephone: 410-681-8722; Fax: 410-681-8722

SCALE: 1"=30'-HOR.
 1"=5'-VERT.
 DATE: SEPT. 14, 2008
 DRAWN: J.M.

DATE	REVISION
11/14/17	To REFLECT AS BUILT Conditions



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

DATE: 6/22/07
 DATE: 6/29/07
 DATE: 6/29/07

SCALE: 1"=30'
DATE: AUG. 20, 2007
DRAWN: J.M.

DATE	REVISION
9/21/07	PER APPROVED REQUIRE REVISIONS
10/12/07	REVISIONS TO 10/12/07
1/09/14	REVISED TO 10/12/07
5/6/14	REVISED TO 10/12/07
5/6/14	REVISED TO 10/12/07
5/6/14	REVISED TO 10/12/07

ELKRIDGE-CROSSING-PHASE-2
PARCELS A-D
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
DRAINAGE AREA MAP

JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chesapeake Avenue, Baltimore, Maryland 21284
Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-660-1502 Fax: 410-660-0827
REVISED 5DP-06-078

SHEET 11 OF 35
5DP-06-078

DRAINAGE AREA DATA

D.A. NO.	AREA (ACRES)	"C" SOILS TYPE
A1	4.03	C
A2	0.33	C
A3	0.22	C
A4	0.28	C
A5	0.38	C
A6	0.84	C
A7	0.54	C
A8	0.33	C
A9	0.16	C
A10	0.68	C
A11	0.14	C
A12	0.31	C
A13	0.56	C
A15	0.37	C
A16	0.16	C
A17	0.38	C
A18	0.42	C
A19	0.44	C
A20	0.07	C
A21	0.23	C
A21A	0.25	C
A22	0.32	C
A23	0.51	C
A24	0.38	C
A25	0.64	C
A26	1.25	C
A27	1.24	C
A28	0.34	C
A29	0.98	C
A30	0.57	C
A31	0.42	C
A32	0.42	C
A33	0.21	C
A34	0.20	C
A35	0.28	C
A36	2.49	C
A37	5.22	C
A38	0.17	C
A39	0.27	C
A40	0.35	C
A41	1.23	C
A42	0.46	C
A43	0.33	C
A44	0.25	C
A45	0.85	C
A46	0.35	C
A46A	0.27	C
A47	0.18	C
A48	0.29	C
A48A	0.48	C
A49	0.86	C
A50	0.15	C
A51	0.81	C
A52	0.62	C
A53	0.42	C
A54	0.22	C
A55	0.10	C
B1	0.29	C
B2	0.47	C
B3	0.14	C
B4	0.57	C
B5	0.73	C
B6	0.42	C
B7	0.10	C
B8	0.48	C
B9	0.20	C
B10	0.36	C
B11	0.13	C
B12	0.52	C
B13	0.18	C
B14	0.22	C
B14A	0.10	C
B14B	0.15	C
B14C	0.17	C
B15	0.28	C
B16	0.52	C
B17	0.51	C



OWNER
PARCEL 30 - GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-0810

DEVELOPER
GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3161



LEGEND:

- (A11) AREA NUMBER
- - - - - EXISTING CONTOURS
- ZONING DIVIDE
- DRAINAGE AREAS
- PROPERTY LINES

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS
WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL
SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NUMBER 111417,
EXPIRES DATE: 08-15-2017 / 08-15-2019

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION J.M.
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 8/20/07
DATE: 8/20/07
DATE: 8/20/07

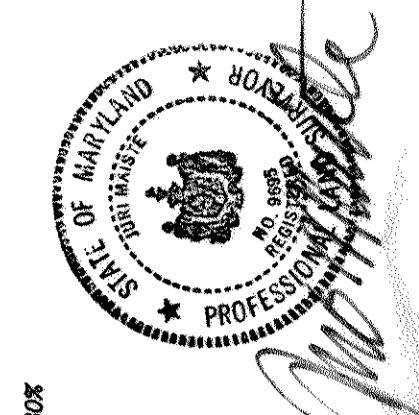
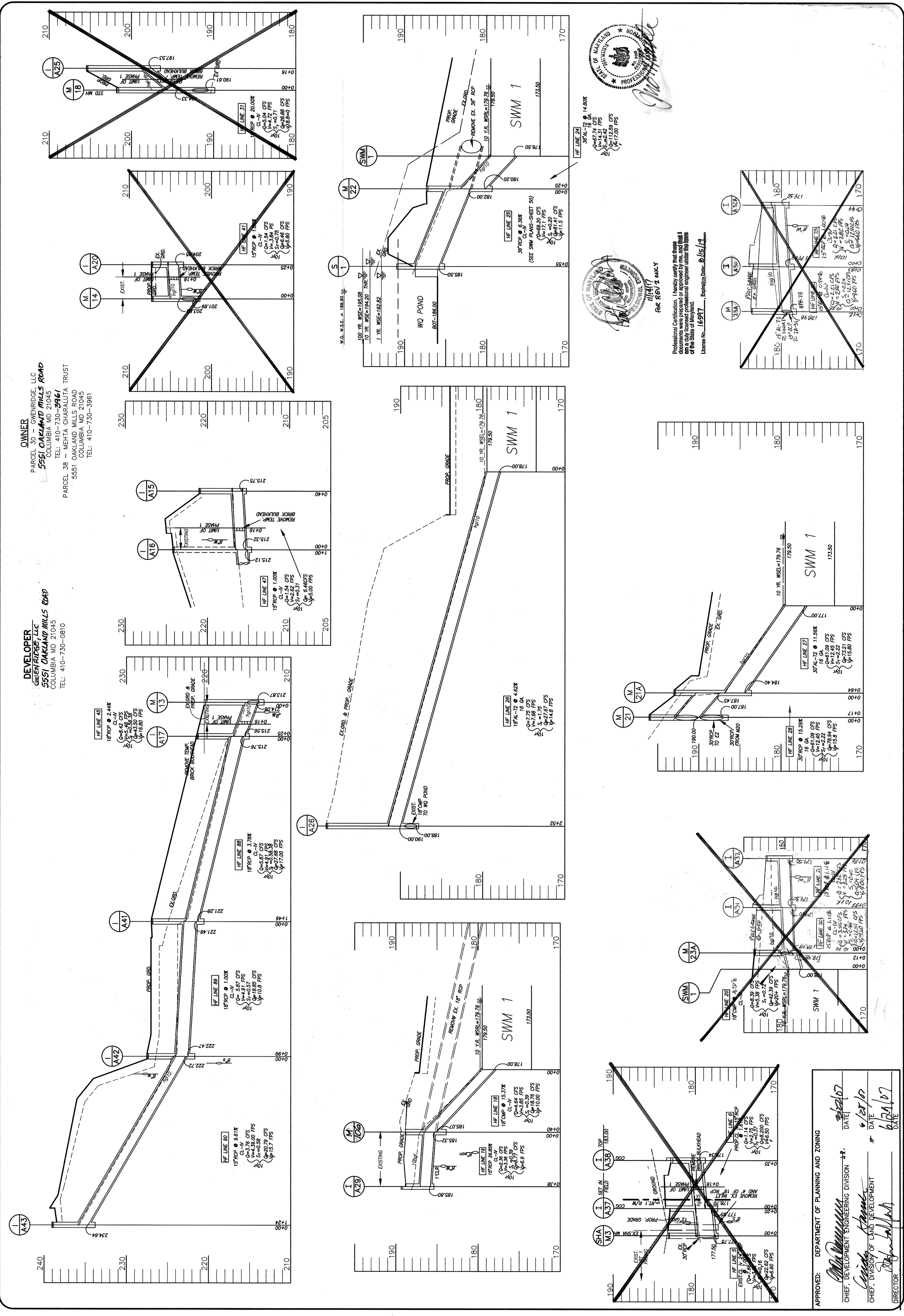
REVISION REQUIRED - MEANT - SHS

JURI MAISTE - SITE DESIGN CONSULTANT
 2923 Chetook Avenue, Baltimore, Maryland 21234
 Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
 730 W. Redons Road, Suite 101, Cockeysville, Maryland 21030
 Phone: 410-560-1502 Fax: 410-560-0827

ELKRIDGE-CROSSING-PHASE-TWO
PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
STORM DRAIN PROFILES

SCALE: 1"=30'-HOR.
 1"=5'-VERT.
 DATE: NOV. 20, 2006
 DRAWN: J.M.

DATE	REVISION
11/20/07	TO REFLECT AS-BUILT CONDITIONS
09/28/06	STORM DRAIN PROFILES



Professional Certification: I hereby certify that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 16517, Expiration Date: 06/15/14
 For REV 2 ONLY

DEVELOPER
 GAVENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-0810

OWNER
 OMNER
 PARCEL 30 - GAVENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-5467
 PARCEL 38 - MEHTA CHARALUTA TRUST
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3961

APPROVED: _____ DATE: 6/22/07
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/20/07
 DATE: 6/20/07

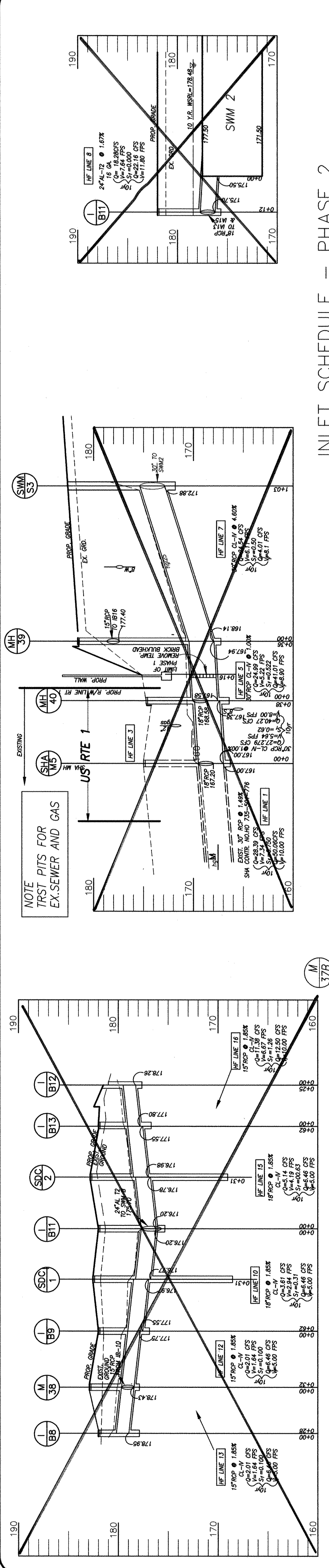
DEPARTMENT OF PLANNING AND ZONING

SCALE: 1"=30'-HORIZ.
1"=5'-VERT.
DATE: NOV. 20, 2006
DRAWN: J.M.

DATE	REVISION
8/20/07	PER APPROVED REDLINE REVISIONS
9/01/07	STRUCTURE SCHEDULE
11/14/17	TO REFLECT AS-BUILT CONDITIONS

ELKRIDGE-CROSSING-PHASE-TWO
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
STORM*DRAIN*PROFILES

JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chennock Avenue, Baltimore, Maryland 21284
Phone: 410-661-8752 Fax: 410-661-8753
RICHARDSON ENGINEERING, LLC
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827
REVISED SDP-06-078

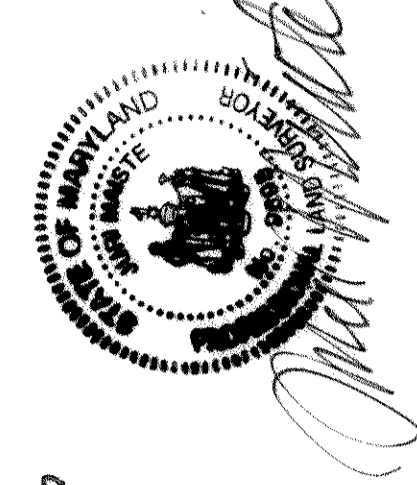
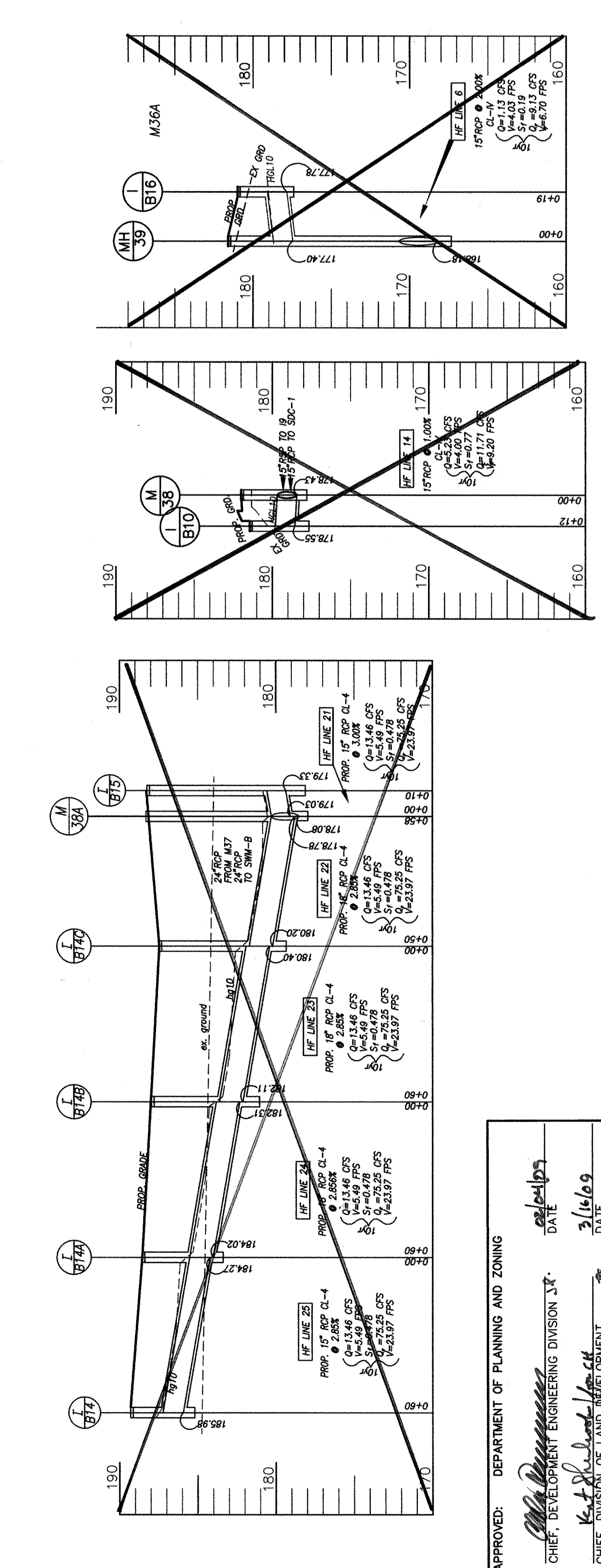


INLET SCHEDULE - PHASE 2

NO.	TYPE	H.C. DETAIL	TOP ELEV. UPPER/LOWER	INV. IN		INV. OUT	REMARKS	NO.
				1	2			
IA-15	S	EXISTING	221.00	---	15'-215.76	15'-215.56	IA-15	
IA-17	SS	EXISTING	221.57	---	18'-215.76	18'-215.56	IA-17	
IA-19	A-10	SD 4.41	TC-206.40	---	15'-197.53	15'-197.53	SUMP	
IA-30	A-10	SD 4.41	TC-183.85	---	15'-179.04	15'-179.04	SUMP	
IA-31	A-10	SD 4.41	TC-184.05	---	15'-179.10	15'-179.10	SUMP	
IA-32	S	SD 4.22	182.35	---	15'-179.50	15'-179.50	SUMP	
IA-32A	S	SD 4.22	182.35	---	15'-179.50	15'-179.50	SUMP	
IA-38	A-10	SD 4.41	TC-182.40	---	15'-179.49	15'-179.49	SUMP	
IA-38A	CUSTOM	---	182.00	---	15'-179.34	15'-179.34	SUMP	
IA-41	SS	EXISTING	226.93	---	18'-221.48	18'-221.28	IA-41	
IA-42	D	EXISTING	227.60(THROAT)	---	18'-222.72	18'-222.47	IA-42	
IA-43	A-10	EXISTING	TC 239.23/238.84	---	15'-234.64	15'-234.64	IA-43	
IB-8	SS	SD 4.23	182.00	---	15'-178.95	15'-178.95	SUMP	
IB-9	SS	SD 4.23	182.00	---	15'-177.75	15'-177.55	IB-9	
IB-10	A-10	SD 4.41	TC-182.10	---	15'-178.55	15'-178.55	IB-10	
IB-11	SS	SD 4.23	182.00	---	18'-176.20	18'-175.70	IB-11	
IB-12	A-10	SD 4.41	TC-181.60	---	15'-178.26	15'-178.26	SUMP	
IB-13	SS	SD 4.23	182.00	---	18'-177.80	18'-177.55	IB-13	
IB-14	S	SD 4.22	189.25	---	15'-185.98	15'-185.98	IB-14	
IB-14A	S	SD 4.22	188.60	---	15'-184.02	15'-184.02	IB-14A	
IB-14B	S	SD 4.22	188.00	---	18'-182.31	18'-182.11	IB-14B	
IB-14C	S	SD 4.22	187.550	---	18'-180.40	18'-180.20	IB-14C	
IB-15	S	SD 4.22	188.25	---	15'-179.33	15'-179.33	IB-15	
IB-16	A-10	SD 4.41	TC-181.60	---	15'-177.78	15'-177.78	SUMP	

STRUCTURE SCHEDULE - PHASE 2

NO.	TYPE	RIM / TOP	INV. IN			INV. OUT	H.C. DETAIL
			1	2	3		
M21A	STD. MH	191.70	30"-187.45	---	---	30"-184.40	G5.12
M22	STD. MH	187.60	36"-182.00	---	---	36"-180.20	G5.12
M23A	STD. MH	183.75	15"-178.73	15"-178.73	---	18"-178.48	G5.12
M37	STD. MH	180.40	24"-179.91	---	---	24"-176.71	G5.12
M-37A	STD. MH	180.15	24"-184.99	---	---	184.79	G5.12
M-37B	FUTURE MH	202.15	15"-178.26	15"-178.26	---	24"-189.69	G5.12
M38	STD. MH	182.70	15"-178.26	---	---	15"-178.43	G5.12
M38A	STD. MH	188.30	24"-178.28	18"-178.78	15"-179.03	24"-178.08	G5.12
M39	STD. MH	189.50	15"-177.40	130"-168.14	---	30"-167.94	G5.12
SDC-1	WO MH	182.50	18"-176.97	---	---	18"-176.77	STC-2400
SDC-2	WO MH	182.50	18"-176.98	---	---	18"-176.78	STC-2400
S-1	SWM-MH	SEE SWM PLANS	---	---	---	36"-185.88	PRECAST
S-2	SWM-MH	185.00	36"-173.00	---	---	36"-172.88	PRECAST
S-3	SWM-MH	184.00	30"-173.00	---	---	30"-172.88	PRECAST



Professional Certification (Professional Engineer) that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 16517 - Expiration Date: 08-15-2011

OWNER
PARCEL 30 - GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3961

DEVELOPER
GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3961

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 02/10/07

CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature]
DATE: 3/16/09

CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature]
DATE: 5/12/05

DIRECTOR: [Signature]

JURI MAISTE - SITE DESIGN CONSULTANT
 2923 Cheapeake Avenue, Baltimore, Maryland 21234
 Phone: 410-681-8752 Fax: 410-681-8752

RICHARDSON ENGINEERING, LLC
 730 W. Flanders Road, Suite 101, Cockeysville, Maryland 21030
 Phone: 410-680-1502 Fax: 410-680-0827

ELKRIDGE-CROSSING-PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

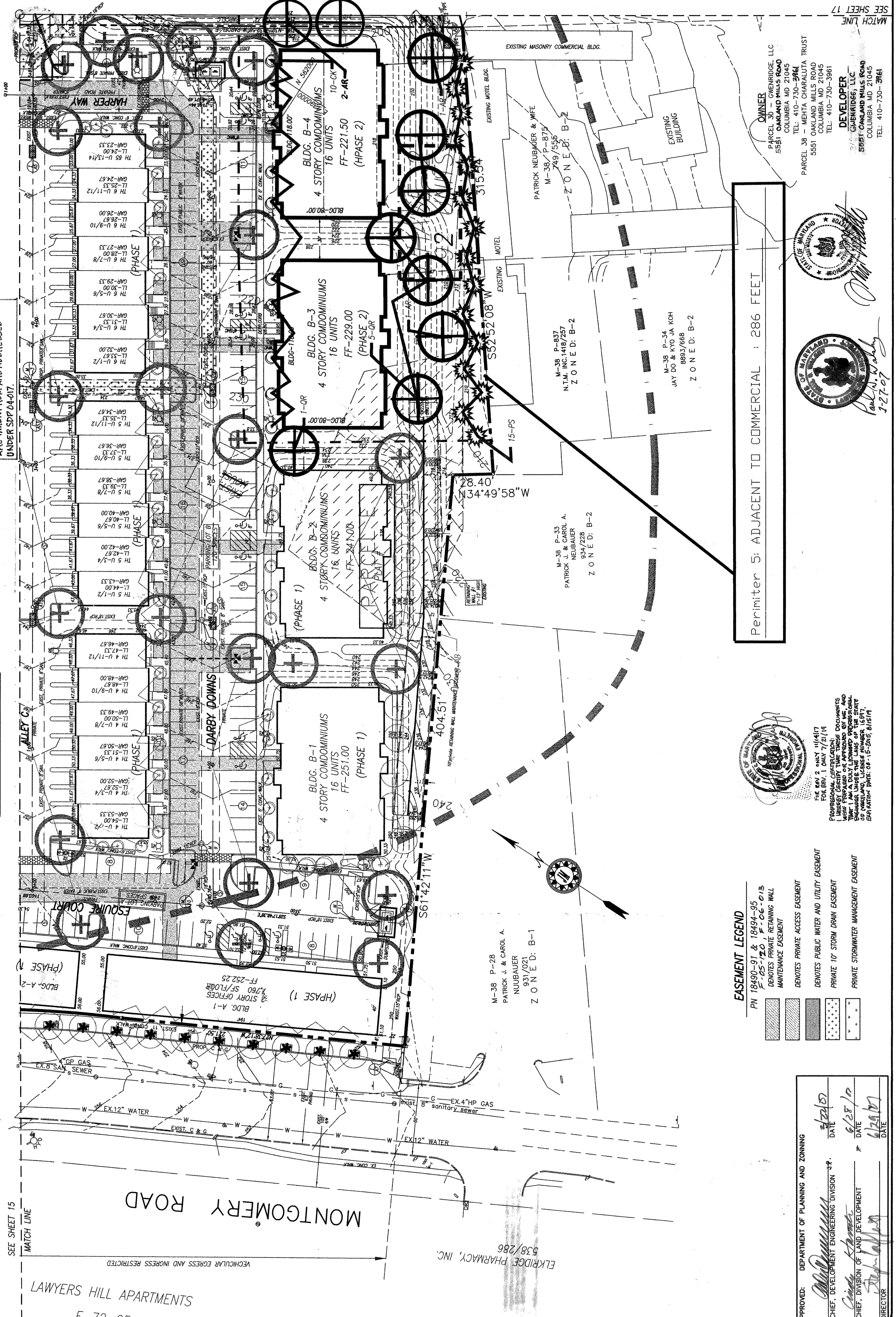
LANDSCAPE PLAN-1

SCALE: 1"=30'

DATE: SEPT. 14, 2006

DRAWN: J.M.

DATE	REVISION
7/21/14	REVISED TO 10, 10A, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
11/14/17	TO REVERT AS PLANT QUANTITIES REMAINS



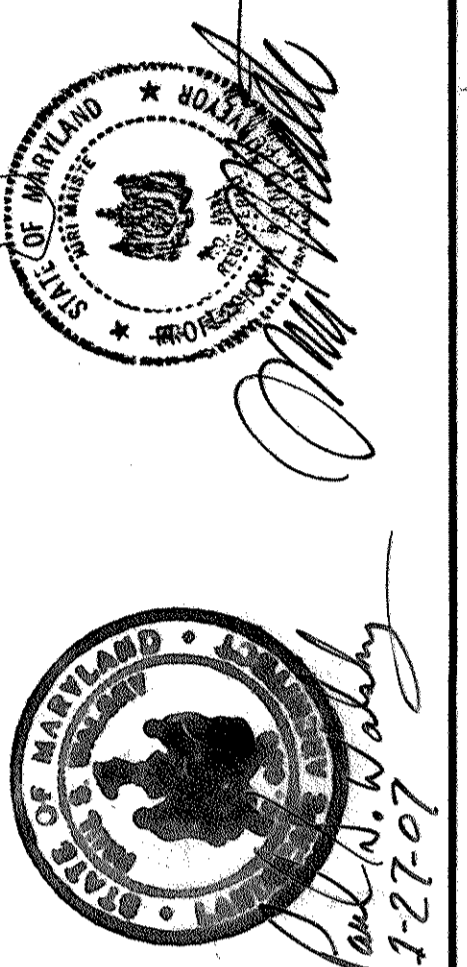
NOTE:
 SCREENED TREES THAT DO NOT HAVE
 LABELS WITH COUNT AND TYPE SHOWN
 ARE TAKEN FROM AND ADDRESSED
 UNDER SDP 04-017.

PARCEL E
 PLAT #18490-91

Perimeter 5: ADJACENT TO COMMERCIAL : 286 FEET

OWNER
 PARCEL 30 - GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-2464

DEVELOPER
 PARCEL 38 - MEHTA CHARALITA TRUST
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3961



Professional Certifications: Documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland. My No. is 15-2065 & 15171
 F&E REV. 2 ONLY 11/14/17
 F&E (REV. 1) ONLY 7/21/14

EASEMENT LEGEND

	PN 18490-91 & 18494-95 F-05-120, F-06-013 DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
	DENOTES PRIVATE ACCESS EASEMENT
	DENOTES PUBLIC WATER AND UTILITY EASEMENT
	PRIVATE 10' STORM DRAIN EASEMENT
	PRIVATE STORMWATER MANAGEMENT EASEMENT

M-38 P-28
 PATRICK J. & CAROL A.
 NUUBAUER
 934/021
 ZONED: B-1

M-38 P-33
 PATRICK J. & CAROL A.
 NUUBAUER
 934/228
 ZONED: B-2

M-38 P-837
 N.T.M. INC. 1418/257
 ZONED: B-2

M-38 P-34
 JAY DO & KYO JA KOH
 8893/668
 ZONED: B-2

APPROVED: _____
 DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: _____
 DATE: 9/22/07

CHIEF, DIVISION OF LAND DEVELOPMENT: _____
 DATE: 6/28/10

DIRECTOR: _____
 DATE: 6/29/07

SEE SHEET 15
 MATCH LINE

MONTGOMERY ROAD

LAWYERS HILL APARTMENTS
 F-72-05

ELKRIDGE PHARMACY, INC.
 538/286

MATCH LINE
 SEE SHEET 17

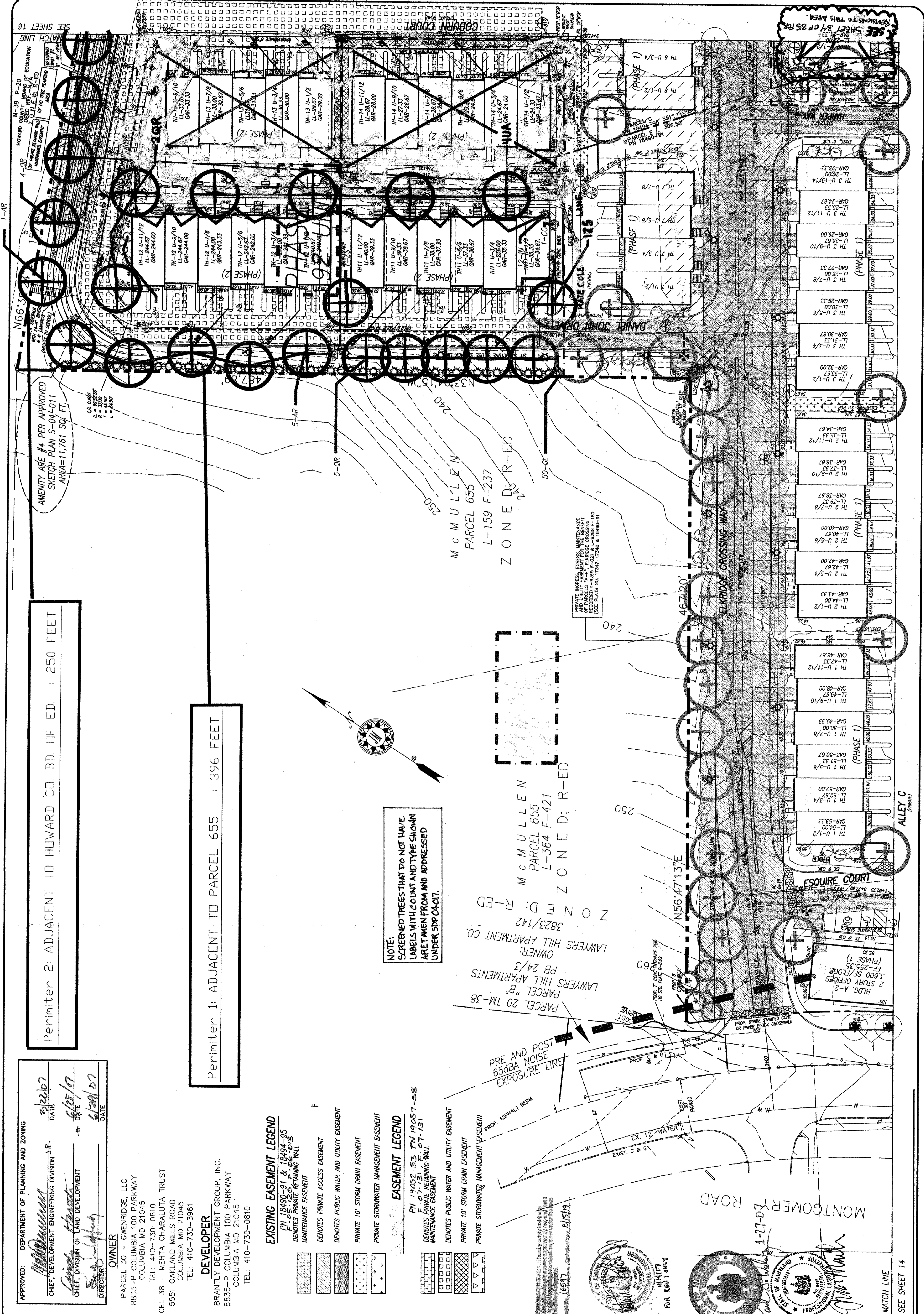
DATE: SEPT. 14, 2006
 SCALE: 1"=30'
 DRAWN: J.M.

DATE	REVISION	BY

ELKRIDGE-CROSSING-PHASE-TWO
LANDSCAPE PLAN-2
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
PARCELS A-E

JURI MAISTE - SITE DESIGN CONSULTANT
 2922 Chermack Avenue, Baltimore, Maryland 21234
 Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030
 Phone: 410-560-1502 Fax: 410-560-0827

15 OF 35
 SDP-06-078



Perimeter 2: ADJACENT TO HOWARD CO. BD. OF ED. : 250 FEET

Perimeter 1: ADJACENT TO PARCEL 655 : 396 FEET

NOTE:
 SCREENED TREES THAT DO NOT HAVE LABELS WITH COUNT AND TYPE SHOWN ARE TYPICAL FROM AND ADDRESSED UNDER SDP 04-01.

OWNER:
 LAWYERS HILL APARTMENT CO.
 3823/142
 ZONE D: R-ED
 MCMULLEN
 PARCEL 655
 L-364 F-421
 ZONE D: R-ED

APPROVED: [Signature]
 CHIEF, DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 8/22/07
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 8/29/07
 DIRECTOR

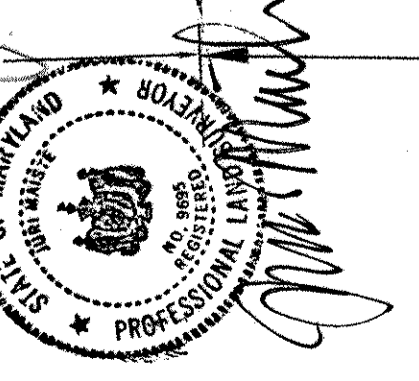
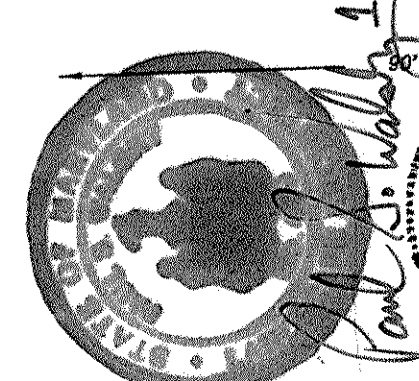
OWNER
 PARCEL 30 - GWENRIDGE, LLC
 8835-P COLUMBIA 100 PARKWAY
 COLUMBIA MD 21045
 TEL: 410-730-0810
 PARCEL 38 - MEHTA CHARALUTA TRUST
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3961

DEVELOPER
 BRANTLY DEVELOPMENT GROUP, INC.
 8835-P COLUMBIA 100 PARKWAY
 COLUMBIA MD 21045
 TEL: 410-730-0810

EXISTING EASEMENT LEGEND
 PN 18490-91 & 18494-95
 DENOTES PRIVATE RETAINING WALL
 MAINTENANCE EASEMENT
 DENOTES PRIVATE ACCESS EASEMENT
 DENOTES PUBLIC WATER AND UTILITY EASEMENT
 PRIVATE 10' STORM DRAIN EASEMENT
 PRIVATE STORMWATER MANAGEMENT EASEMENT

EASEMENT LEGEND
 PN 19052-53 TN 19057-58
 F. 07.131 F. 07.131
 DENOTES PRIVATE RETAINING WALL
 MAINTENANCE EASEMENT
 DENOTES PUBLIC WATER AND UTILITY EASEMENT
 PRIVATE 10' STORM DRAIN EASEMENT
 PRIVATE STORMWATER MANAGEMENT EASEMENT

PRE AND POST
 EXPOSURE
 659A
 PROP. ASPHALT BERM
 EX. 12" WATER
 EXIST. C & G



MATCH LINE
 SEE SHEET 14

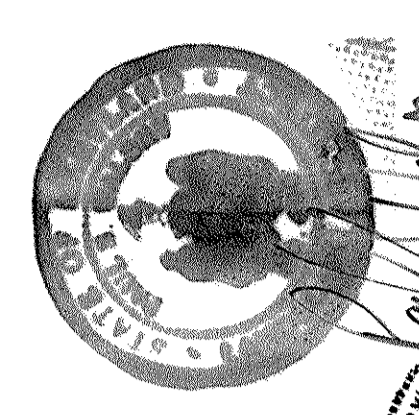
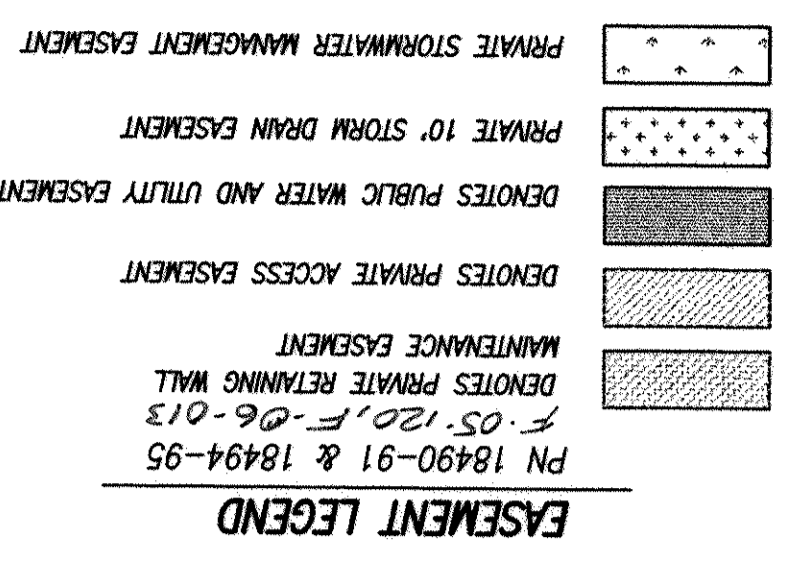
JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chesapeake Avenue, Baltimore, Maryland 21234
Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-660-1502 Fax: 410-660-0827
REVISED SDP-06-078

ELKRIDGE-CROSSING-PHASE TWO
LANDSCAPE PLAN-3
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
PARCELS A-E

DATE: SEPT. 14, 2006
SCALE: 1"=30'
DRAWN: J.M.
DATE: 6/22/07
DATE: 6/20/07
DATE: 6/22/07

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

OWNER
PARCEL 30 - GRENORIDGE, LLC
29501 OAKLAND MILLS ROAD
COLUMBIA, MD 21045
TEL: 410-730-5161
PARCEL 38 - META CHARALOTA TRUST
5551 OAKLAND MILLS ROAD
COLUMBIA, MD 21045
TEL: 410-730-3961
DEVELOPER
GRENORIDGE, LLC
5591 OAKLAND MILLS ROAD
COLUMBIA, MD 21045
TEL: 410-730-5161

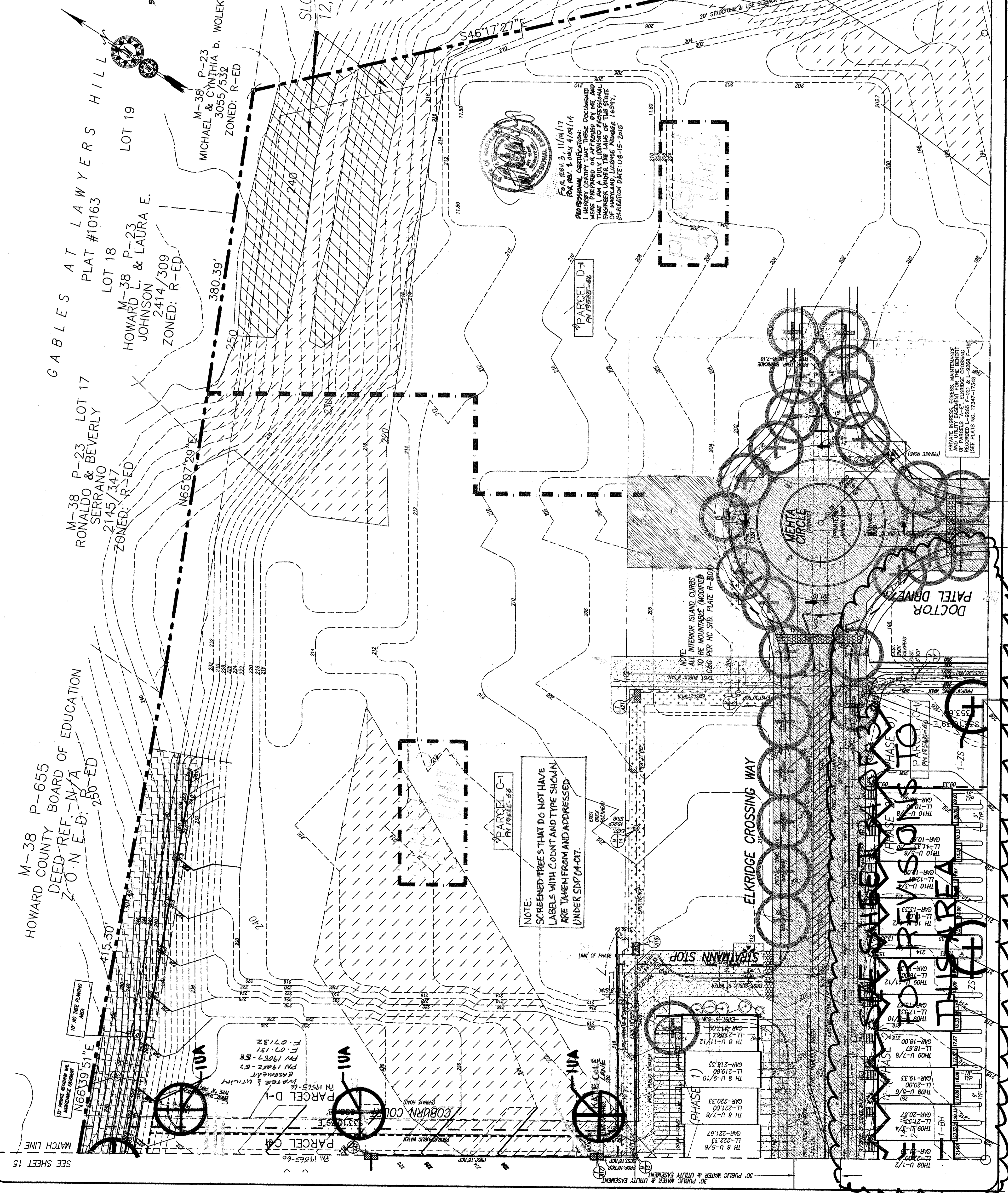


Perimeter 3: ADJACENT TO RESIDENTIAL: 216 FEET

KEITH SUBDIVISION
PLAT #6989
M-38 P-910
LOT KEITH LEO BROWN
2428/84
ZONED: R-ED
M-38 P-792
MABEL W. BROWN & AL
4171/29
ZONED: R-ED

LOT 3 - BAUMAN PROPERTY
PLAT #6691
M-38 P-895
BRIAN JAY LANDIS &
SUZANNE BAUMAN LANDIS
1751/499

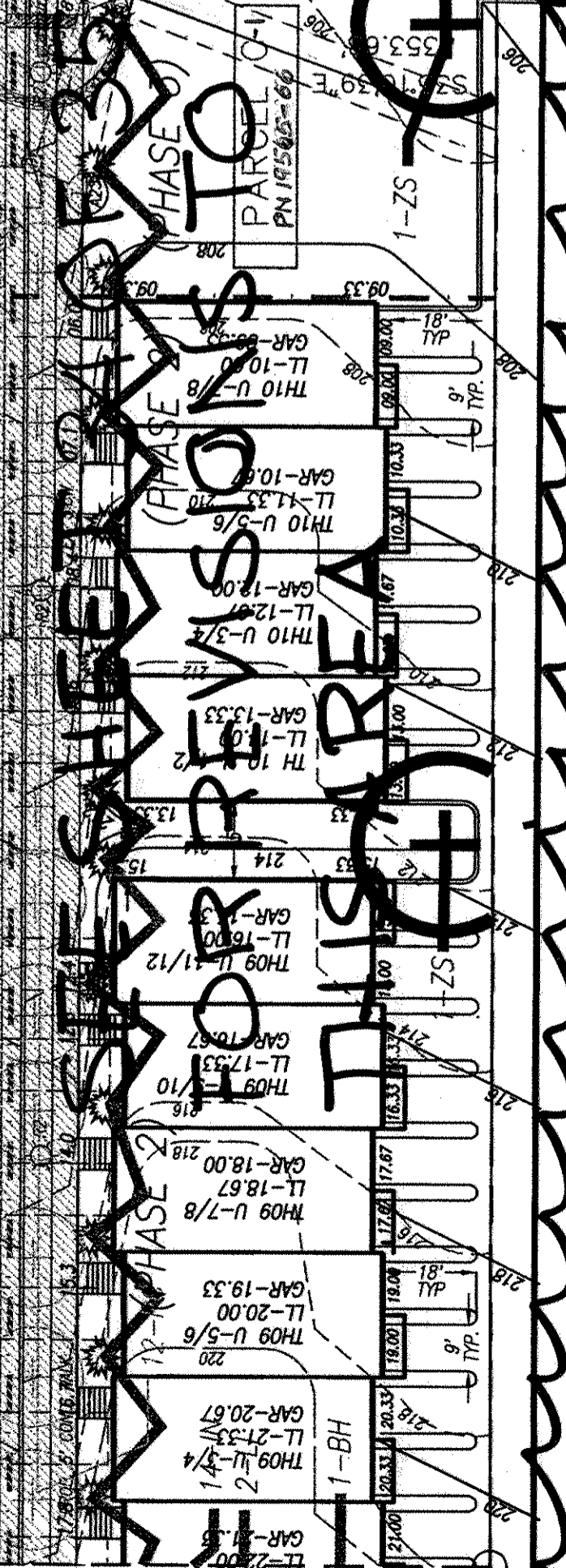
PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR REVIEWED BY ME, AND
I AM AN ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NUMBER 11107,
EXPIRATION DATE: 08-15-2015



NOTE:
SCREENED TREES THAT DO NOT HAVE
LABELS WITH COUNT AND TYPE SHOWN
ARE TAKEN FROM AND ADDRESSED
UNDER SDP 04-017.

NOTE:
ALL INTERIOR ISLAND CURBS
TO BE MOUNTAIN (MODIFIED)
C&G PER HC STD. PLATE R-301

PRIVATE INGRESS, EGRESS, MAINTENANCE
EASEMENT FOR THE BENEFIT
OF PARCELS L-9265 F-021 & L-9266 F-18
(SEE PLATS NO. 17247-17248)



MATCH LINE
SEE SHEET 17

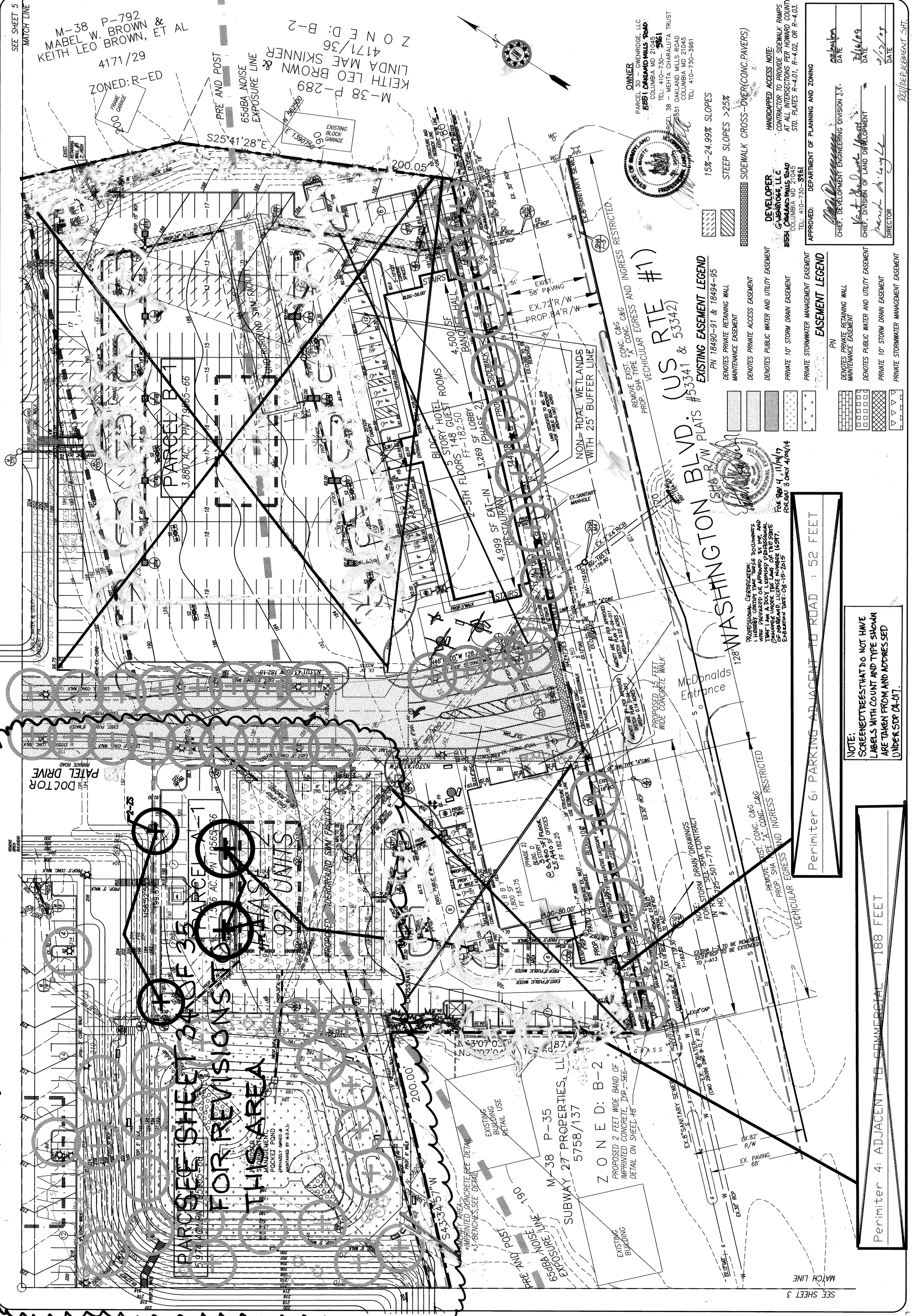
SEE SHEET 15

JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chesapeake Avenue, Baltimore, Maryland 21234
Phone: 410-661-8752 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
730 W Padonia Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-560-1502 Fax: 410-560-0827

ELKRIDGE CROSSING PHASE-2
PARCELS A-E
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
TAX MAP 38, GRID 2, PARCELS 30 & 38
LANDSCAPE PLAN

REVISION
DATE APPROVED
DATE
BY
APPROVED
DATE
BY
REVISION
DATE APPROVED
DATE
BY
APPROVED
DATE
BY

SCALE: 1"=30'
NOVEMBER 20, 2006
DRAWN: J.M.



APPROVED: [Signature]
DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION J.C.
DATE: [Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: [Signature]
DIRECTOR
DATE: [Signature]

DEVELOPER
G. MAISTE & ASSOCIATES, LLC
2100 W. PATODIA ROAD
COLUMBIA, MD 21046
TEL: 410-730-5161

CONTRACTOR TO PROVIDE SIDEWALK RAMPS
AT ALL INTERSECTIONS PER HOWARD COUNTY
STD. PLATES R-4.01, R-4.02, OR R-4.03.

EXISTING EASEMENT LEGEND
PN 18490-91 & 18494-95
DENOTES PRIVATE RETAINING WALL
MAINTENANCE EASEMENT
DENOTES PRIVATE ACCESS EASEMENT
DENOTES PUBLIC WATER AND UTILITY EASEMENT
PRIVATE 10' STORM DRAIN EASEMENT
PRIVATE STORMWATER MANAGEMENT EASEMENT

EASEMENT LEGEND
PN
DENOTES PRIVATE RETAINING WALL
MAINTENANCE EASEMENT
DENOTES PUBLIC WATER AND UTILITY EASEMENT
PRIVATE 10' STORM DRAIN EASEMENT
PRIVATE STORMWATER MANAGEMENT EASEMENT

PERIMETER 6: PARKING ADJACENT TO ROAD - 52 FEET

PERIMETER 4: ADJACENT TO COMMERCIAL - 188 FEET

NOTE:
SCREENED TREES THAT DO NOT HAVE
LABELS WITH COUNT AND TYPE SHOWN
ARE TAKEN FROM AND ADDRESSED
UNDER SDP 04-017.

SEE SHEET 3
MATCH LINE

SEE SHEET 5
MATCH LINE

CATEGORY	SCHEDULE 'A'				ADJACENT TO PERIMETER PROPERTIES				
	A	B	C	E	A	C	E	A	
LANDSCAPE TYPE:									
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	536	396	216	188	250	216	188	286	88
CREDIT FOR EXISTING VEGETATION	NO	NO	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR EXISTING WALL/NONE	NO	NO	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED:									
LARGE TREES	9 (1:60)	0 (1:60)	3 (1:40)	3 (1:40)	10 (1:40)	5 (1:60)	4 (1:60)	5 (1:60)	3 (1:40)
EVERGREEN TREES	0 (1:40)	0 (1:40)	20 (1:20)	22 (2:00)	20 (1:20)	20 (1:20)	20 (1:20)	22 (1:20)	22 (1:20)
SHRUBS									
NUMBER OF PLANTS PROVIDED:									
LARGE TREES					10	5	2 (2 LESS 4 STATED)	5	6 (6 OVER 6 (LAND) TREES)
EVERGREEN TREES					20	20	4	20	22
OTHER TREES (2:1 SUBSTITUTION)									
SHRUBS									88

RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING	
CATEGORY	SINGLE FAMILY ATTACHED (1 TREE PER UNIT)
NUMBER OF DWELLING UNITS	60
NUMBER OF TREES REQUIRED	60
NUMBER OF TREES PROVIDED:	
LARGE TREES (1:40)	90
EVERGREEN TREES (1:20)	
NUMBER OF TREES PROVIDED:	
SHADE TREES (1:50)	32
OTHER TREES (2:1 SUBSTITUTION)	11
	6
	10

ENDS OF RESIDENTIAL UNITS ADJACENT TO INTERNAL ROADS	
LANDSCAPE TYPE:	LENGTH OF INTERNAL ROAD: 350 LIN. FT.
NUMBER OF PLANTS REQUIRED:	
LARGE TREES (1:40)	9
EVERGREEN TREES (1:20)	18
NUMBER OF TREES PROVIDED:	
SHADE TREES (1:50)	7
OTHER TREES (2:1 SUBSTITUTION)	45

PARKING LOT INTERNAL LANDSCAPING		
CATEGORY	RESIDENTIAL (1:10)	NON-RESIDENTIAL (1:20)
NUMBER OF PARKING SPACES	30	0
NUMBER OF TREES REQUIRED	4	0
NUMBER OF TREES PROPOSED	3	0
SHADE TREES		
OTHER TREES (2:1 SUBSTITUTION)		

OWNER
PARCEL 30 - GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3961

DEVELOPER
GWENRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA MD 21045
TEL: 410-730-3961

FOR PAR. 2, 11/14/17
FOR REV. 1, ONLY 7/12/17
PROFESSIONAL CERTIFICATION DOCUMENTS
UNDER PREPARATION AS APPROVED BY ME AND
THAT I AM A DAILY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NUMBER: 1555409
EXPIRES: 09-15-2015

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE: 7/22/17

CHIEF, DIVISION OF LAND DEVELOPMENT

DATE: 6/23/17

DIRECTOR

DATE: 6/23/17

CATEGORY	SCHEDULE 'A'				ADJACENT TO PERIMETER PROPERTIES				
	A	B	C	E	A	C	E	A	
LANDSCAPE TYPE:									
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	536	396	216	188	250	216	188	286	88
CREDIT FOR EXISTING VEGETATION	NO	NO	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR EXISTING WALL/NONE	NO	NO	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED:									
LARGE TREES	9 (1:60)	0 (1:60)	3 (1:40)	3 (1:40)	10 (1:40)	5 (1:60)	4 (1:60)	5 (1:60)	3 (1:40)
EVERGREEN TREES	0 (1:40)	0 (1:40)	20 (1:20)	22 (2:00)	20 (1:20)	20 (1:20)	20 (1:20)	22 (1:20)	22 (1:20)
SHRUBS									
NUMBER OF PLANTS PROVIDED:									
LARGE TREES					10	5	2 (2 LESS 4 STATED)	5	6 (6 OVER 6 (LAND) TREES)
EVERGREEN TREES					20	20	4	20	22
OTHER TREES (2:1 SUBSTITUTION)									
SHRUBS									88

Victor Stanley, Inc.
810 BOWEN DR - BOWEN, MD 20748 USA
TEL: 410-653-0088 - FAX: 410-291-2797
WEB SITE: <http://Victor-Stanley.com>

DATE: 2000.52
REV. 2/16/99
REV. 2/16/99

PRODUCT SPECIFICATIONS
RBF-28
Standard 8' Length

(For your convenience and economy, this bench is shipped fully assembled)

All fabricated components are steel reinforced, electroplated and coated with 100% polyester powder coatings.

(1) 1/4" x 1 1/2" Structural S100 Steel Sats

All dimensions are in inches x

All specifications are subject to change. Please contact factory for details.

Fully welded joints throughout.

Finished end units are made of 1 1/2" x 2" solid steel tubular steel bars, welded and ground.

(1) 5/8" dia. vector bolt holes

It is not recommended to locate under trees and such in place.

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BENCH DETAIL
NOT TO SCALE

ROAD PAVING
CONCRETE CURB FACE
CONCRETE CURB
1/4 INCH JOINT
1 INCH BAND, SMOOTH TROWELED

'LARGE COBBLESTONE' PATTERN BY DESIGN/CONCRETE OR APPROVED EQUAL, COLOR - "OUTBACK" BY DAVISCOLOR OR APPROVED EQUAL

1 INCH BAND, SMOOTH TROWELED

STANDARD CONCRETE, SEE SHA SPECS

NOTES:
1) ALL CONCRETE SHALL BE 5 INCH THICK, WITH 6 X 6 W WIRE MESH, 4 INCH CR6 BASE OVER COMPACTED SUBGRADE, SHA STANDARDS.

PLAN
ROUTE 1 CONCRETE WALK DETAIL
NOT TO SCALE

- PLANTING NOTES**
1. PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
 2. ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, INSECT PEST EGGS, ABRASIONS OF THE BARK, PLANT DISEASE, OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES SHALL BE FRESH CUT; NO HEELING IN PLANTS OR PLANTS FROM OLD STORAGE WILL BE ACCEPTED.
 3. UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR FORESTRY STOCK OF NURSERYMAN, INCLUDING THE AMERICAN ASSOCIATION OF NURSERYMEN, AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, SEPTEMBER, 1981, INCLUDING ALL APPENDIX.
 4. UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" (HEREIN-AFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, SEPTEMBER, 1981, INCLUDING ALL APPENDIX.

PLANTING LEGEND

SHADE TREE

FLOWERING TREE

EVERGREEN TREE

PHASE 1 PLANT

EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

ATTACH GUY SPRAY TREE WITH REINFORCED GARDEN HOSE

DOUBLE STRAND #12 GAUGE WIRE 2 TWISTS/FT.

GROUND LINE TO BE THE SAME AS NURSERY

REMOVE TOP 1/4" OF BURLAP

4" BERM WITH WATER

2" WOOD MULCH LAYER

FINISHED GRADE

REMOVE TOP 1/4" OF BURLAP

SEE SPECIFICATIONS FOR ALL MATERIAL AND ADDITIONAL REQUIREMENTS

DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

#12 GAUGE WIRE TWISTED PLANTING MIXTURE

PLANTING MIXTURE

ROOT BALL

STAKE

2" THICK MULCH

GROUND LINE TO BE THE SAME AS NURSERY

REMOVE TOP 1/4" OF BURLAP

4" BERM WITH WATER

2" WOOD MULCH LAYER

FINISHED GRADE

REMOVE TOP 1/4" OF BURLAP

SEE SPECIFICATIONS FOR ALL MATERIAL AND ADDITIONAL REQUIREMENTS

5. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UTILITIES AND MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANTING MATERIALS TO AVOID CONFLICTS WITH UTILITIES.
6. PLANTING BED SHALL BE MULCHED WITH 3" OF SHREDED HARDWOOD BARK MULCH. GROUND COVER BEDS SHALL BE MULCHED TO A DEPTH OF 2".
7. ALL AREAS WITHIN THE CONTRACT LIMIT NOT COVERED BY BUILDING PAVING, PLANTING BEDS OR OTHERWISE DESIGNATED ON THE PLANS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH "1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PERMANENT SEEDING SPECIFICATIONS (SEE SHEET 6), INCLUDING ALL APPENDIX, AS DIRECTED BY THE OWNER. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE.
8. PLANTING MIX SHALL BE DONE AS FOLLOWS:
DECIDUOUS PLANTS - TWO PARTS TOP SOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD 10-0-10 FERTILIZER PER CUBIC YARD OF PLANTING MIX.
EVERGREEN PLANTS - TWO PARTS TOP SOIL, ONE PART WELLS OR APPROVED ORGANIC MATERIAL, 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX.
TOPSOIL SHALL CONFORM TO LANDSCAPE GUIDELINES.
9. THIS PLAN IS INTENDED FOR INFORMATION ON GRADING, SIDEWALK CONTROL, LAYOUT, ETC.
10. CONTRACTOR TO ADJUST PLANTINGS AS REQUIRED WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT. THE BUILDING AREA PLANTS SHALL BE ADJUSTED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
11. ANY CHANGES TO THE SITE LAYOUT SHALL REQUIRE THE REDESIGN OF THE PLANTING BY THE LANDSCAPE ARCHITECT.
12. THE CENTER OF MEHTA CIRCLE SHALL BE PLANTED WITH ANNUALS AS FOLLOWS: 200 WAVE PETUNIA IN SPRING AND 200 PANSETIES IN THE FALL AND MAINTAINED BY THE HOME OWNER'S ASSOC.
13. LANDSCAPE SURETY FOR THIS PLAN IN THE AMOUNT OF \$50,780.00 HAS BEEN AS A PART OF THE DEVELOPER'S AGREEMENT.
14. THE LANDSCAPE SHALL BE 09-06-17 AND MEHTA CIRCLE IS COMPLETED BY THE LANDSCAPE ARCHITECT. THIS APPLICABLE FOR ALL PLANTS TO BE PLANTED BY 09-06-17 AND 1/16/2018. THE LANDSCAPE ARCHITECT'S SITE DEVELOPMENT PLANS AND/OR REVISED PLANS WILL BE EFFECTIVE TO MEET ALL LANDSCAPE REQUIREMENTS PER THE CURRENT LANDSCAPE MANUAL.

LANDSCAPE PLAN--DETAILS
PARCELS A-D AND HARPER PROPERTY
TAX MAP 38, GRID 2, PARCELS 30 & 38
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

ELKRIDGE CROSSING - PHASE TWO

DATE: 11/14/17

SCALE: AS SHOWN

DATE: SEPT. 14, 2006

DRW: P.M.

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME/COMMON NAME	MINIMUM SIZE	ROOT	REMARKS
AR	12	ACER RUBRUM / RED SUNSET / RED SUNSET MAPLE	2 1/2" - 3" CAL.	B&B	
QR	19	QUERCUS RUBRA / RED OAK	2 1/2" - 3" CAL.	B&B	
UA	7	ULMUS AMER. 'VALLEY FORGE' / VALLEY FORGE AMER. ELM	2 1/2" - 3" CAL.	B&B	
ZS	7	ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN ZELKOVA	2 1/2" - 3" CAL.	B&B	
BH	14	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	8-10" HGT.	B&B	MULTI-STEM
CC	1	CERCUS CANADENSIS / EASTERN REDBUD	8-10" HGT.	B&B	
CK	10	CORNUS KOUSA / KOUSA DOGWOOD	6-7" HGT.	B&B	
LI	6	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ GRAPEMYRTLE	9-10" HGT.	B&B	MULTI-STEM
CL	50	CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS	6-8" HGT.	B&B	
IN	56	ILEX X 'NELLIE R. STEVENS' / NELLIE STEVENS HOLLY	6-8" HGT.	B&B	
PS	20	PINUS STROBUS / EASTERN WHITE PINE	6-8" HGT.	B&B	

JURI MAISTE - SITE DESIGN CONSULTANT
2923 Chesnut Avenue, Baltimore, Maryland 21234
Phone: 410-661-8782 Fax: 410-661-8782

RICHARDSON ENGINEERING, LLC
730 W. Piedmont Road, Suite 101, Cockeysville, Maryland 21030
Phone: 410-661-8782 Fax: 410-661-8782

REVISED SDP-06-078

18 OF 35 SHEET

SDP-06-078

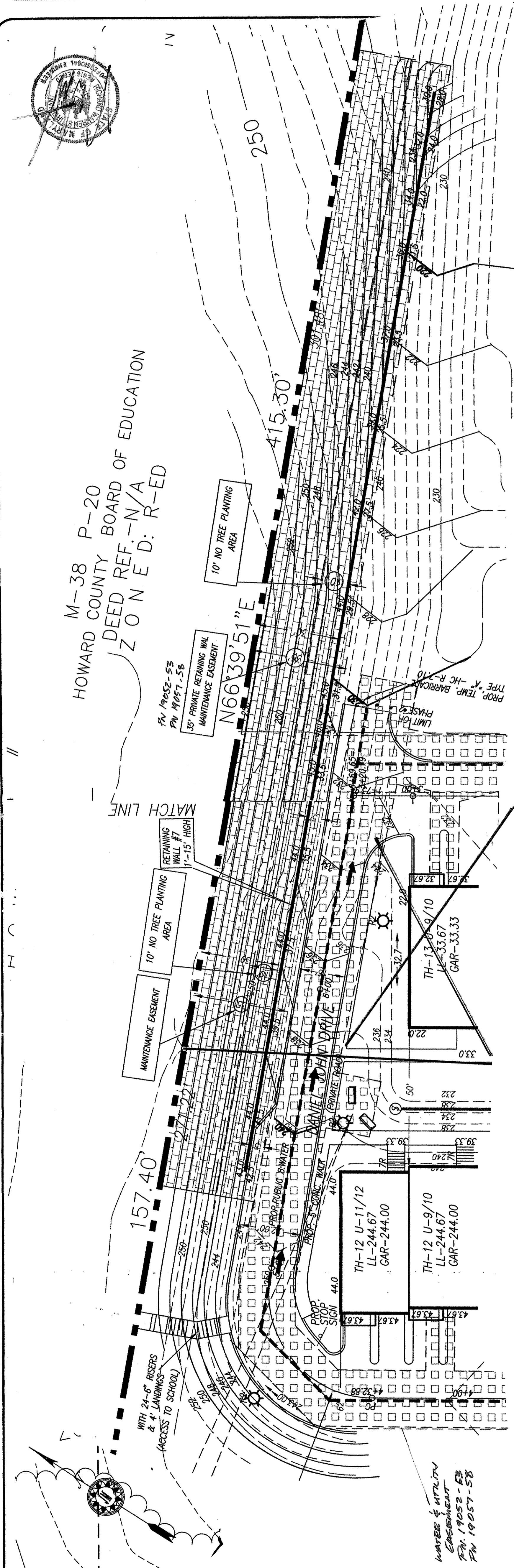
ELKBRIDGE CROSSING PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 RETAINING WALL PLAN AND DETAILS

HILLS-CARNES
 ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A
 Annapolis Junction, MD
 (410) 880-7888 Fax: (410) 880-0988

SHEET
 19 OF 35
 SDP-06-078

DATE: FEB. 03, 2008
 HCEA # 06032-C/02105-A
 SCALE: AS SHOWN
 DRAWN: H.M.

DATE	REVISION
11/14/17	To Correct Surveying Errors

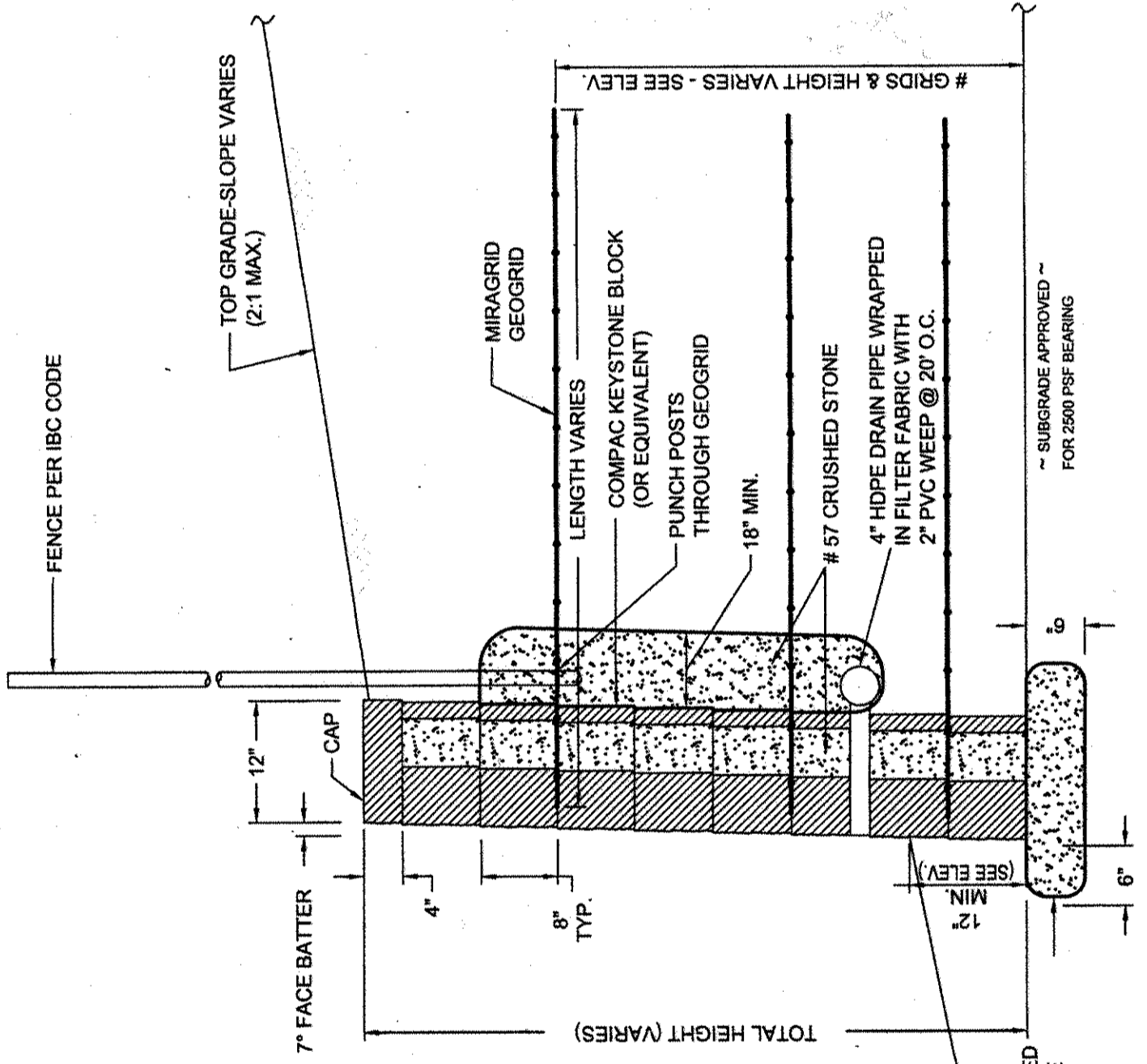


RETAINING #7 WALL LOCATION PLAN
 1" = 20'

- NOTES:
- 1.) No trees shall be planted within 10 feet of the top of the retaining wall.
 - 2.) Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
 - 3.) The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-389.
 - 4.) The suitability of fill material shall be confirmed by the on-site soils technician. Each 8' lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.

SPECIFICATIONS
 MODULAR CONCRETE BLOCK RETAINING WALL

- PART 1: GENERAL
- 1.01 Description shall include foundation and construction of a MODULAR BLOCK Retaining Wall System in accordance with these specifications and in accordance with the drawings, including but not limited to, the following:
 - A. Work includes preparing foundation soil, leveling and leveling leveling construction drawings, including but not limited to, the following:
 - a. Work location and strength, as indicated on the construction drawings.
 - A. Contractor shall check all materials upon delivery to ensure that the proper type, grade, color, and condition has been received and to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.
 - 1.02 Delivery, Storage and Handling
 - A. Contractor shall check all materials upon delivery to ensure that the proper type, grade, color, and condition has been received and to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.
- PART 2: PRODUCTS
- 2.01 Modular Concrete Retaining Wall Units
 - A. Modular concrete units shall conform to the following architectural specifications:
 - Face color - concrete gray - standard manufacturer's color may be specified by the Owner.
 - Finish - standard manufacturer's finish.
 - Face finish shall be smooth.
 - Units shall be uniform in size and shape.
 - Units shall be uniform in color.
 - Units shall be uniform in texture.
 - Units shall be uniform in finish.
 - Units shall be uniform in appearance.
 - Units shall be uniform in color.
 - Units shall be uniform in texture.
 - Units shall be uniform in finish.
 - Units shall be uniform in appearance.
 - B. Units shall be uniform in size and shape.
 - C. Units shall be uniform in color.
 - D. Units shall be uniform in texture.
 - E. Units shall be uniform in finish.
 - F. Units shall be uniform in appearance.
 - 2.02 Shear Connectors (if Applicable)
 - A. Shear connectors shall be installed in accordance with the manufacturer's recommendations.
- PART 3: EXECUTION
- 3.01 Excavation
 - A. Contractor shall excavate to the lines and grades shown on the drawings and shall provide adequate shoring and bracing for excavation for inspecting and approving the excavation prior to placement of leveling material or fill soil.
 - 3.02 Base Leveling Pad
 - A. Leveling pad material shall be placed on the base and grade shown on the drawings and shall be compacted to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular concrete units.
 - B. Leveling pad shall be prepared to insure full contact to the base surface of the modular concrete units.
 - 3.03 Modular Unit Installation
 - A. First course of units shall be placed on the leveling pad and shall be level and plumb. All units shall be in full contact with the base and extend laterally a minimum of 6" in front and behind the modular concrete units.
 - B. Layout of corners and curves shall be in accordance with manufacturer's recommendations.



TYPICAL WALL SECTION
 N.T.S.

FOR REVIEW ONLY 11/17/17
 HILLS-CARNES ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A
 Annapolis Junction, MD 20701
 (410) 880-7888
 FAX: (410) 880-0988
 C-8-15-2019

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/25/19
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/27/17
 DIRECTOR

OWNER
 PARCEL 30 - OWENBRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-5161
 DEVELOPER
 PARCEL 38 - OWENBRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3961



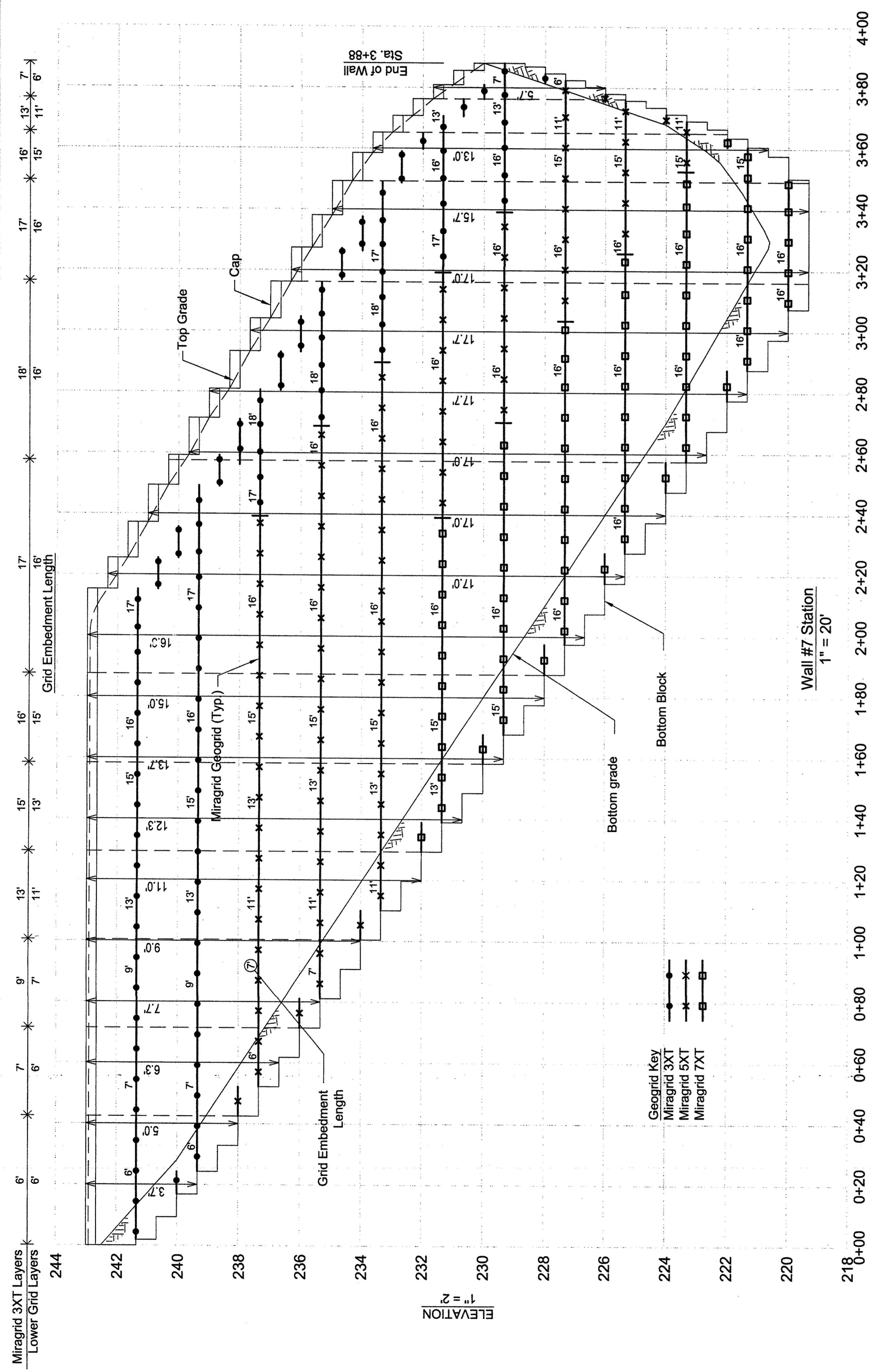
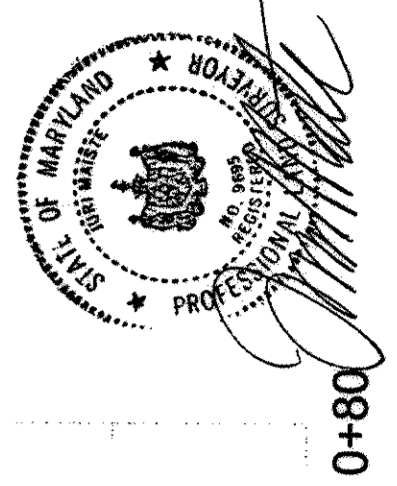
SCALE: AS SHOWN
 HCEA # 06032-C/02105-A
 DATE: FEB. 03, 2006
 DRAWN: H.M.

DATE	REVISION
11/14/17	To correct Assumed Elevation

ELKRIDGE CROSSING PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 RETAINING WALL #4, #5 AND #7 ELEVATIONS

HILLS-CARNES
 ENGINEERING ASSOCIATES
 10875 Guilford Road, Suite A
 Annapolis Junction, MD
 (410) 880-4788 Fax: (410) 880-0988

SHEET
 20 OF 35
 SDP-06-078



OWNER
 PARCEL 30 - GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3961

DEVELOPER
 GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA MD 21045
 TEL: 410-730-3961



11/14/17 Fee Rev. (only) 4/11/17
 Professional Certificate: I hereby certify that the design documents were prepared, checked, and approved by me or under my direct supervision and I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 16597 Expiration Date: 08-15-2019

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

DATE: 3/22/17
 DATE: 6/25/17
 DATE: 6/29/17

SCALE: 1"=50'
 DATE: JUNE 15, 2006
 DRAWN: CND

DATE	REVISION	BY
09-22-08	BUILDING TRAIL AND PARKING	CND
4/17/14	REVISE TRAIL TO 10.0' & GRAB F TO	
	FROM 4 TO 3 STRONGS AND ALL METERS	
	AND CLARIFY	
	TO CORRECT ASSAULT COMMENTS	

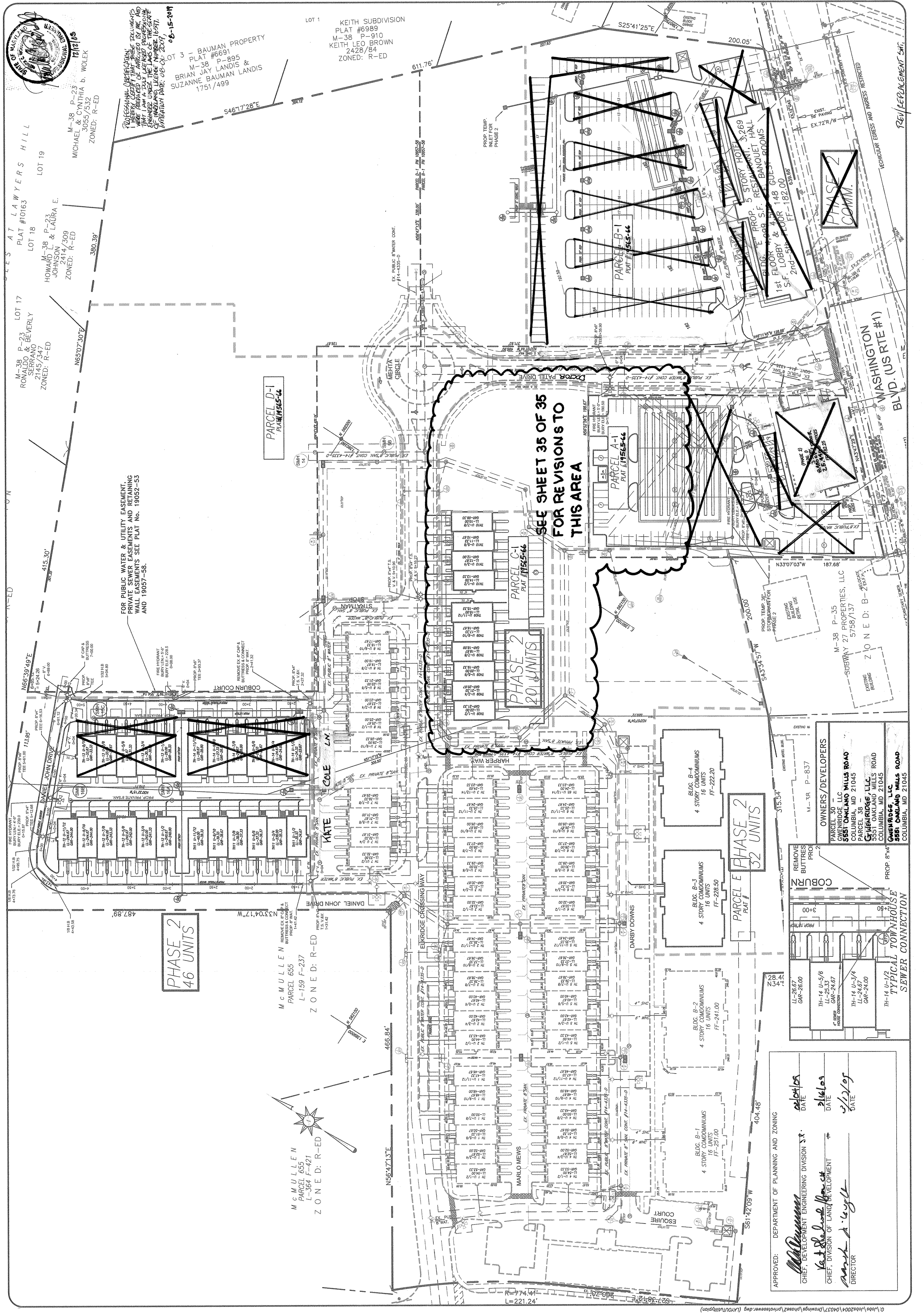
ELKBRIDGE-CROSSING-PHASE TWO

UTILITY PLAN

PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

JURI MAISTE - SITE DESIGN CONSULTANT
 2923 Chennock Avenue, Baltimore, Maryland 21234
 Phone: 410-661-8782 Fax: 410-661-8782
RICHARDSON ENGINEERING, LLC
 30 E. Padonia Road, Suite 600, Timonium, Maryland 21093
 Phone: 410-560-1502 Fax: 410-901-1208

SDP-06-078
 SHEET 21 OF 35



SEAS AT LAWYERS HILL
 LOT 17
 M-38 P-23
 ROMILDO & BEVERLY
 SERRANO
 2145/547
 ZONED: R-ED

LOT 18
 M-38 P-23
 HOWARD L. & LAURA E.
 JOHNSON
 2414/309
 ZONED: R-ED

LOT 19
 M-38 P-23
 MICHAEL & CYNTHIA b. WOLEK
 3055/532
 ZONED: R-ED

OT 3 - BAUMAN PROPERTY
 PLAT #6691
 M-38 P-895
 BRIAN JAY LANDIS &
 SUZANNE BAUMAN LANDIS
 1751/499

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS
 WERE PREPARED BY ME OR UNDER MY
 SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE STATE
 OF MARYLAND LICENSE NUMBER 16971.
 EXPIRATION DATE: 06-01-2007
 06-15-2014

KEITH SUBDIVISION
 PLAT #6889
 M-38 P-910
 KEITH LEO BROWN
 2428/84
 ZONED: R-ED

SEE SHEET 35 OF 35
 FOR REVISIONS TO
 THIS AREA

FOR PUBLIC WATER & UTILITY EASEMENT,
 PRIVATE SEWER EASEMENTS AND RETAINING
 WALL EASEMENTS SEE PLAT NO. 19052-53
 AND 19057-58.

OWNERS/DEVELOPERS
 PARCEL 30
 SWENRIDGE LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 38
 SWENRIDGE LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 39
 SWENRIDGE LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045

REMOVE BUTTRES PROJECT
 COBURN
 TH-14 U-5/6
 LI-25.33
 GAF-24.67
 4" SEWER
 TH-14 U-3/4
 GAF-24.00
 TH-14 U-1/2
 GAF-24.00
 TYPICAL TOWNHOUSE
 SEWER CONNECTION

APPROVED: _____
 DATE: 3/2/09
 DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION S.R.
 DATE: 3/2/09
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3/2/09
 DIRECTOR

REVISIONS AND IMPROVEMENTS

JURI MAISTE - SITE DESIGN CONSULTANT
 2923 Chenook Avenue, Baltimore, Maryland 21234
 Phone: 410-661-8752 Fax: 410-661-8752
 RICHARDSON ENGINEERING, LLC
 30 E. Padonia Road, Suite 500, Timonium, Maryland 21093
 Phone: 410-560-1502 Fax: 443-901-1208

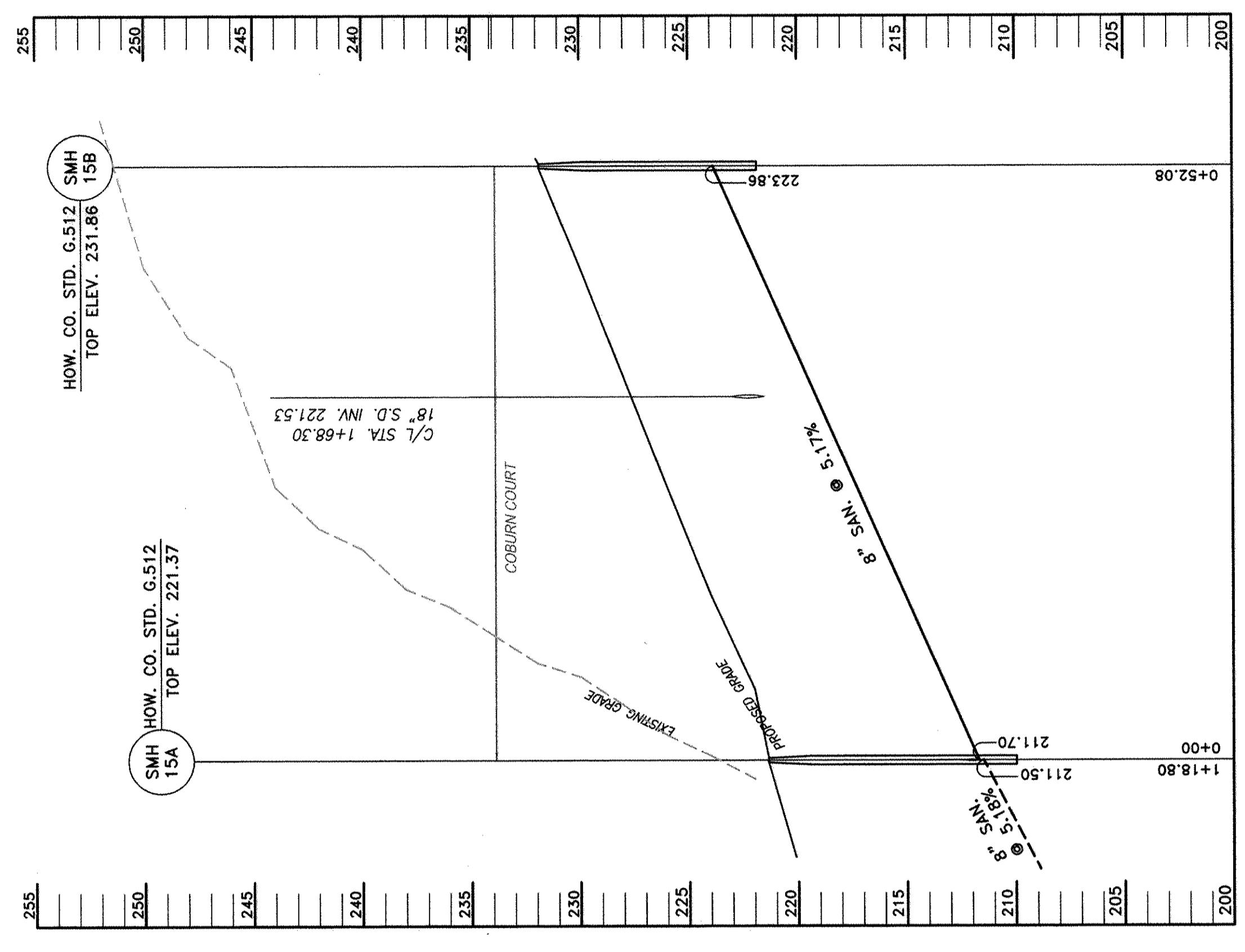
ELKRIDGE-CROSSING-PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 PROFILES-SEWER

DATE: JUNE 15, 2006
 SCALE: HORIZ=1"=50' VERT=1"=5'
 DRAWN: CND

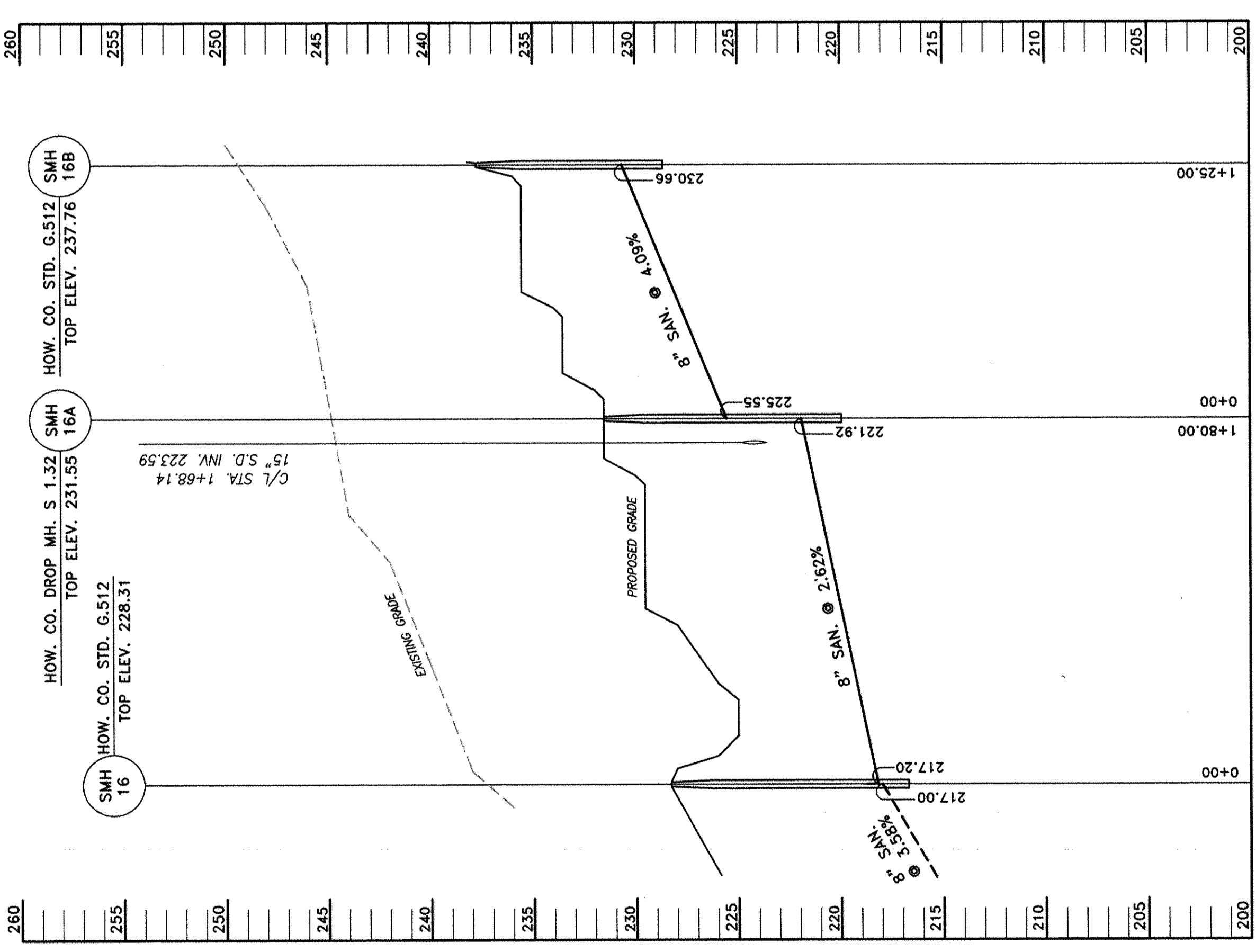
OWNERS/DEVELOPERS
 PARCEL 30 - OWENRIDGE LLC
 5651 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 38 - OWENRIDGE LLC
 5651 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 OWENRIDGE LLC
 5651 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045



SMH 15A TO SMH 15C

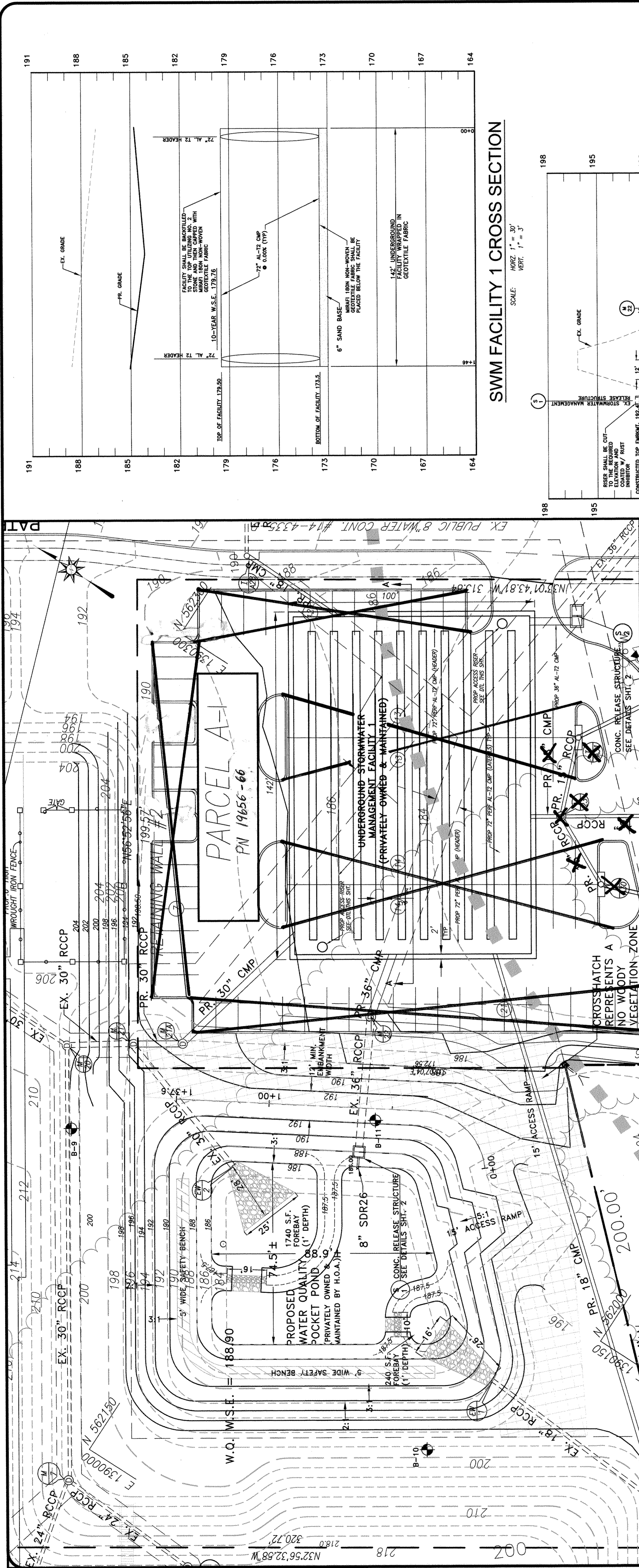


SMH 16 TO SMH 16B



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

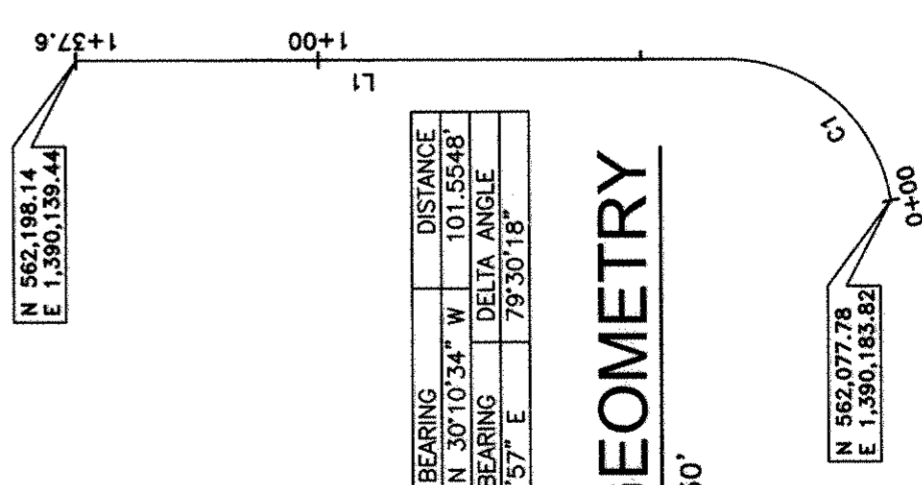
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 DATE: 6/25/07
 DATE: 6/29/07



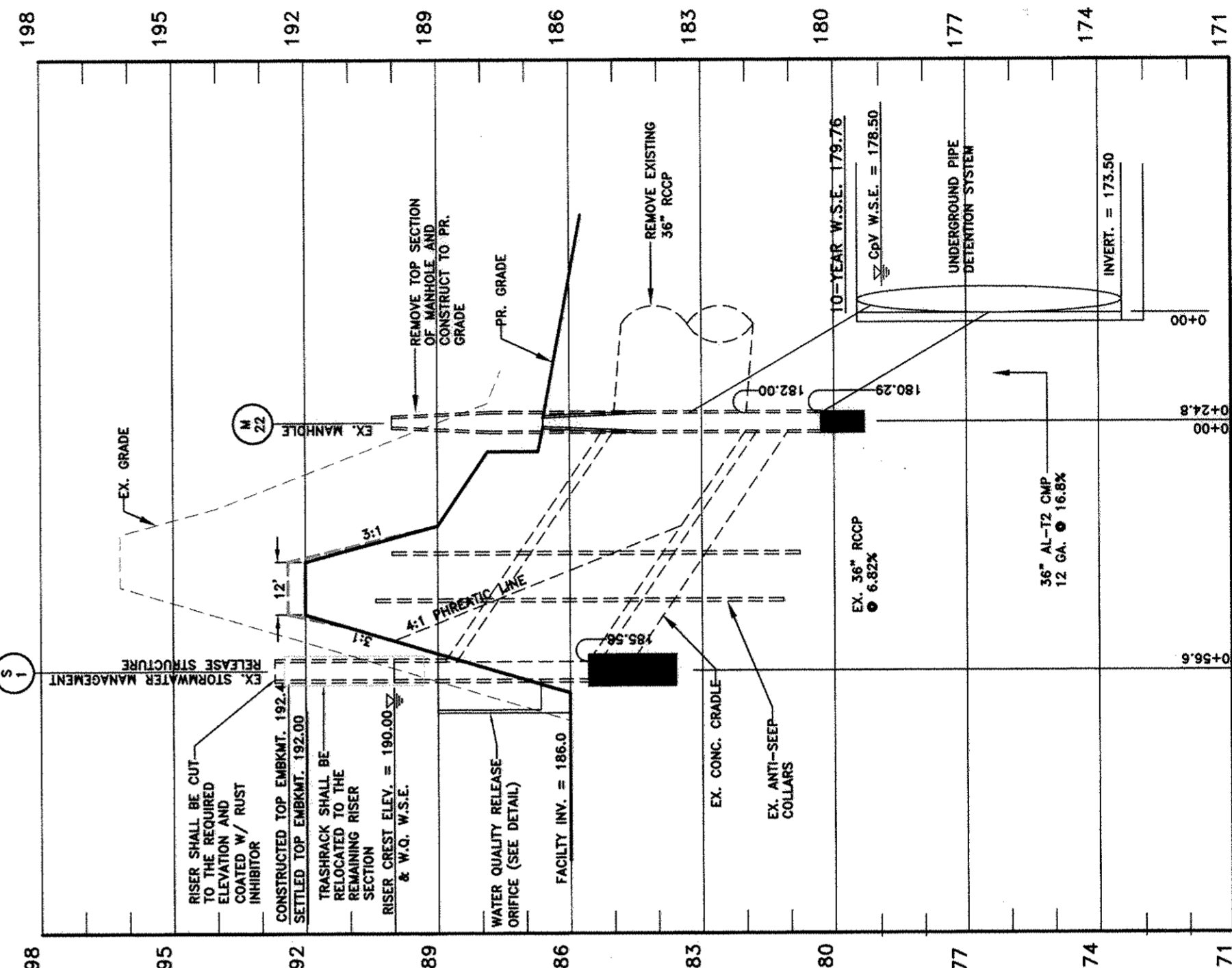
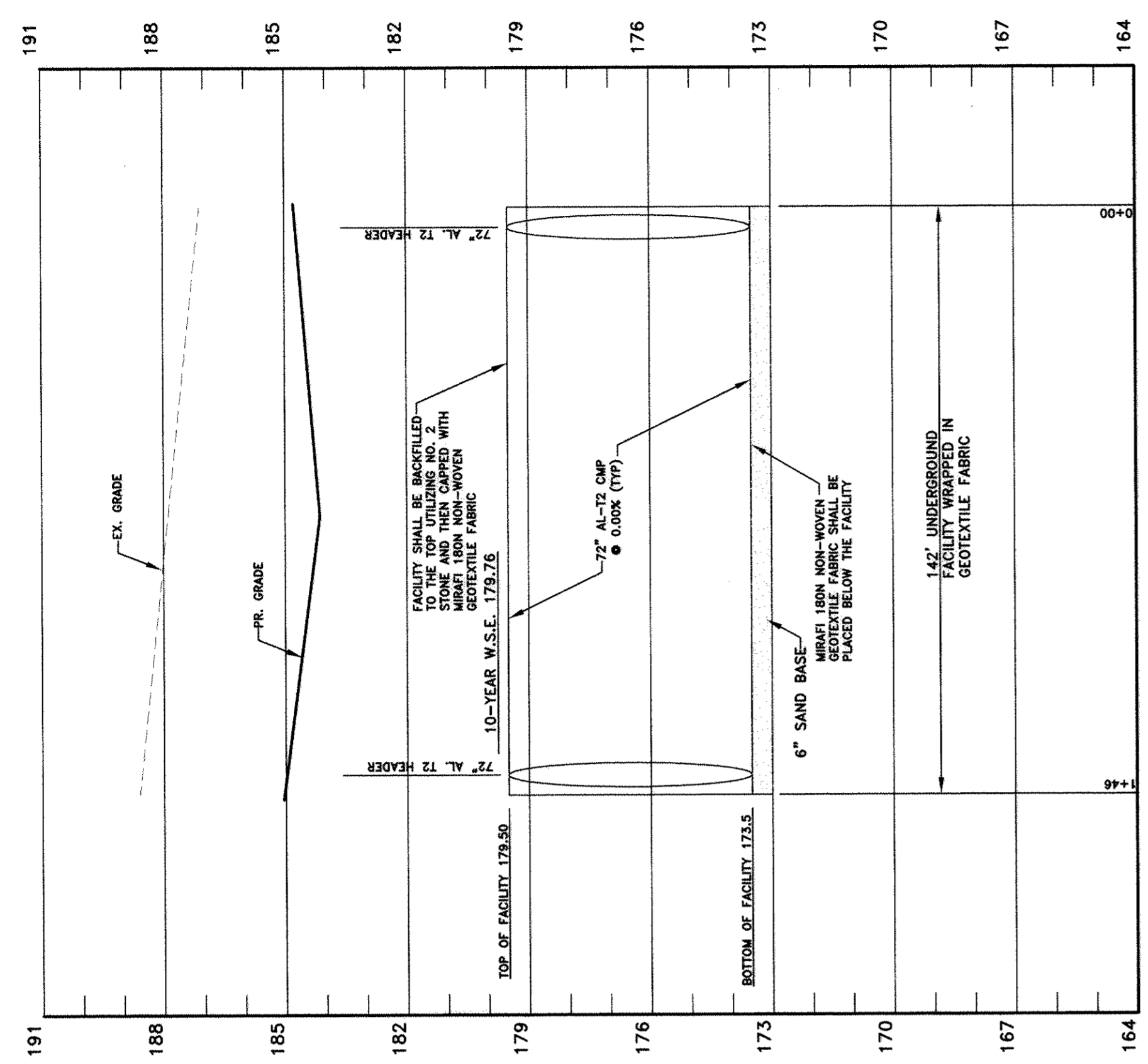
WATER QUALITY AND STORMWATER MANAGEMENT FACILITY 1 PLAN

NOTE:
 FOR REMOTE STORM DRAIN EASEMENTS
 AND PRIVATE STORM WATER MANAGEMENT
 EASEMENTS SEE PN 19052-53 & PN 19057-58
 E-07/181, F-07/182

SCALE: 1" = 20'



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 5/22/07
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/25/07
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/29/07
 DIRECTOR



WATER QUALITY OUTLET PROFILE



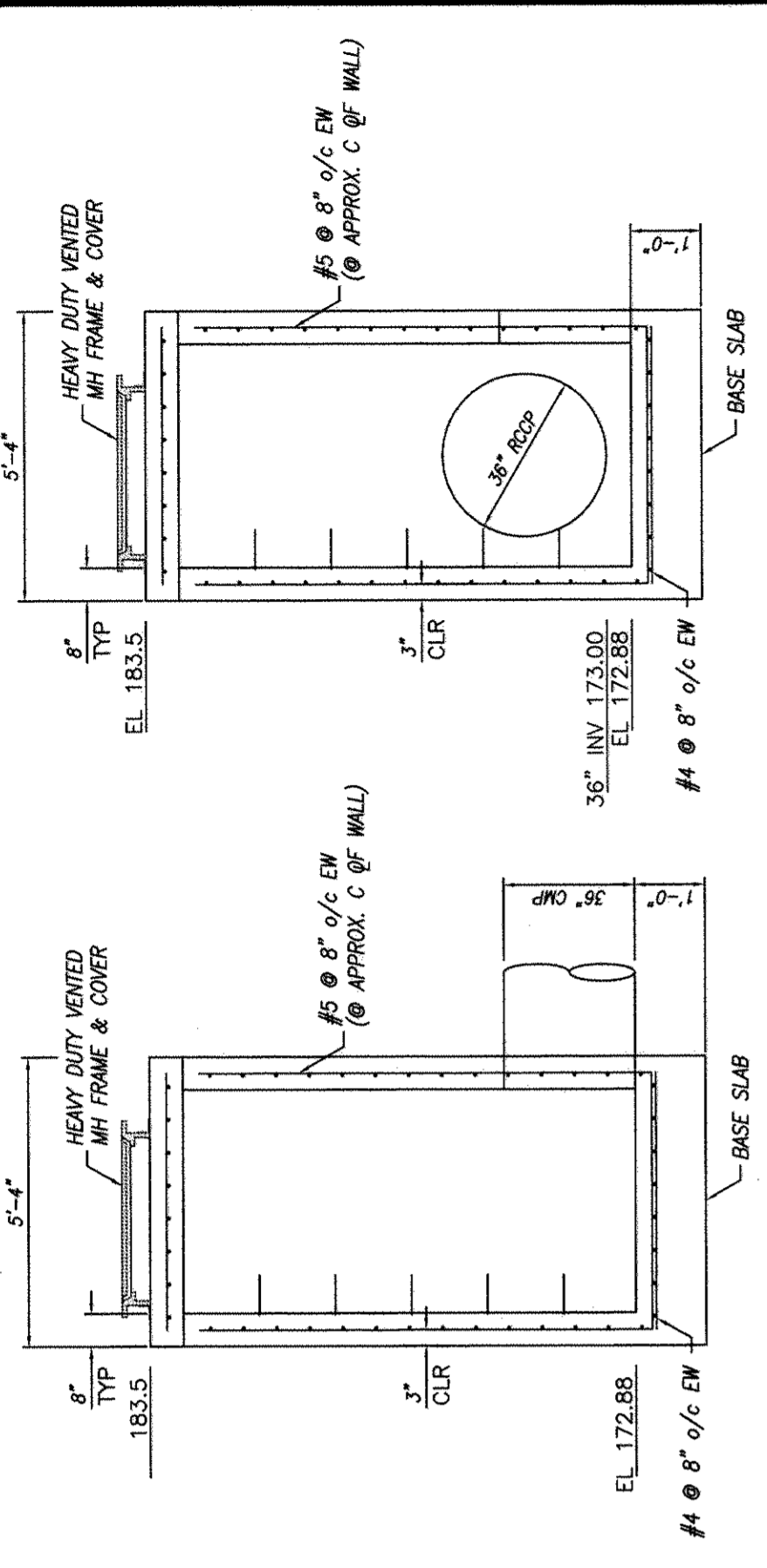
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS, AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

SIGNATURE: _____ DATE: _____
 P.E. NO.: _____

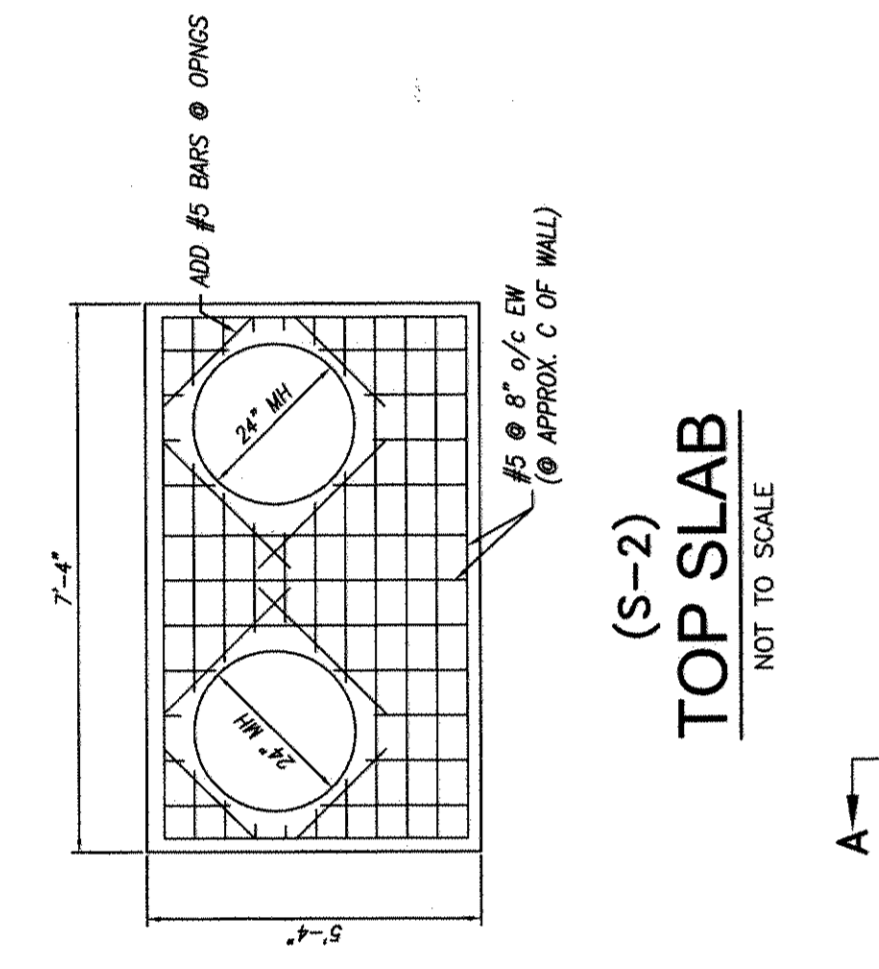
OWNERS/DEVELOPERS
 PARCEL 30 - GWENTIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 38 - GWENTIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 GWENTIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045

DATE	REVISION	BY

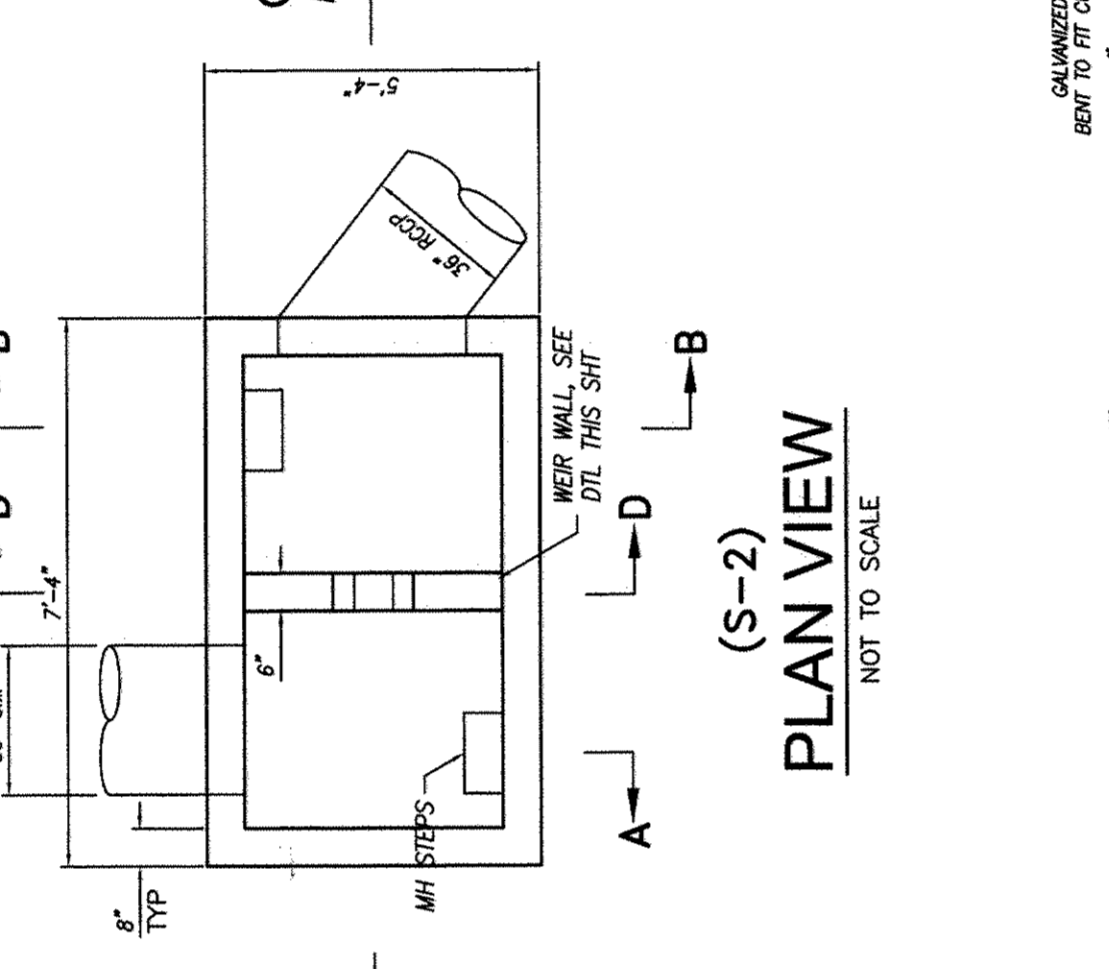
OWNERS/DEVELOPERS
 PARCEL 30 -
 SWENRIDGE LLC
 3525 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 38 -
 GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045



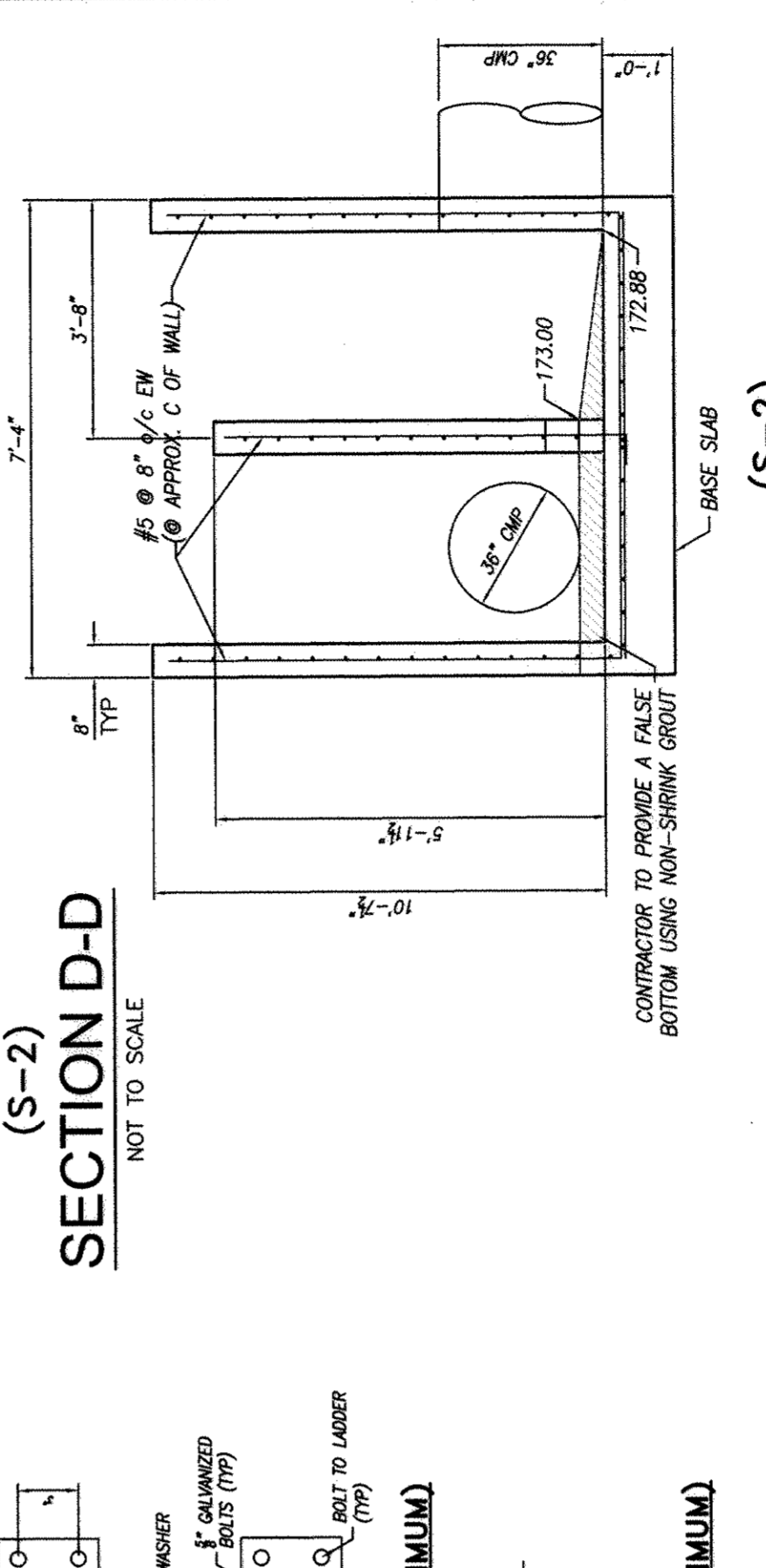
SECTION A-A
 (S-2)
 NOT TO SCALE



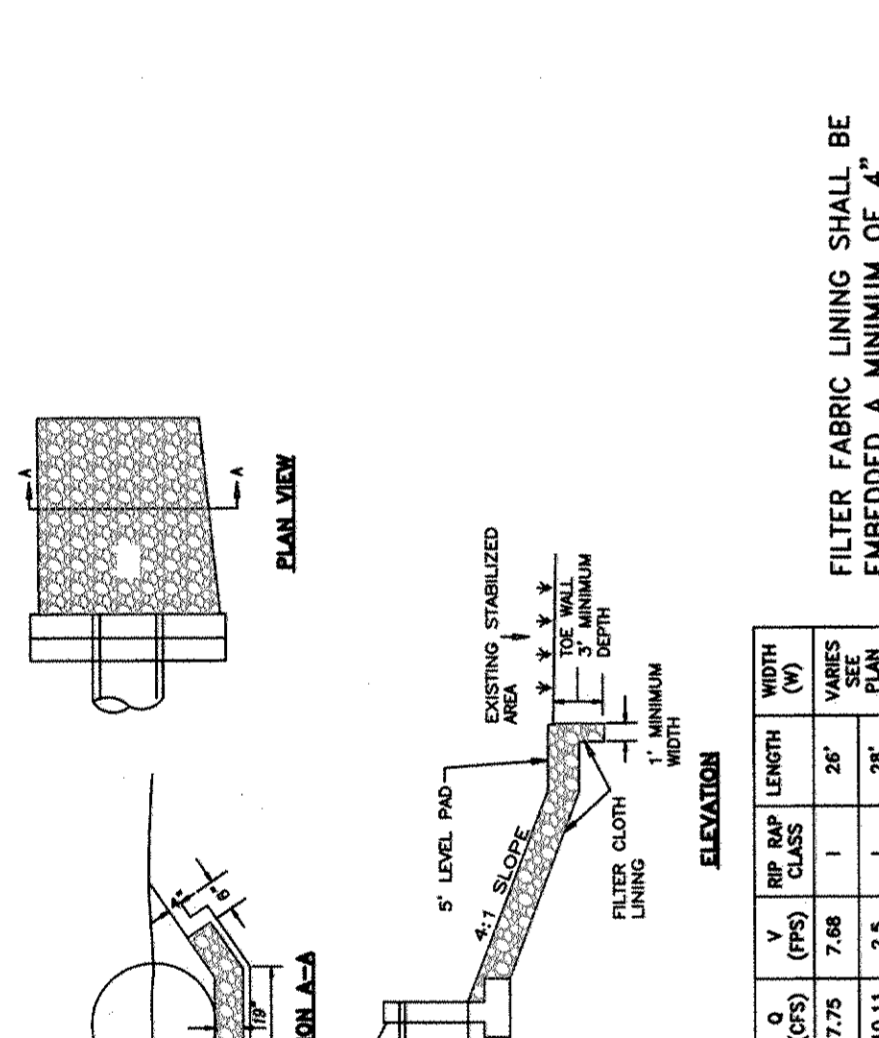
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 (S-2)
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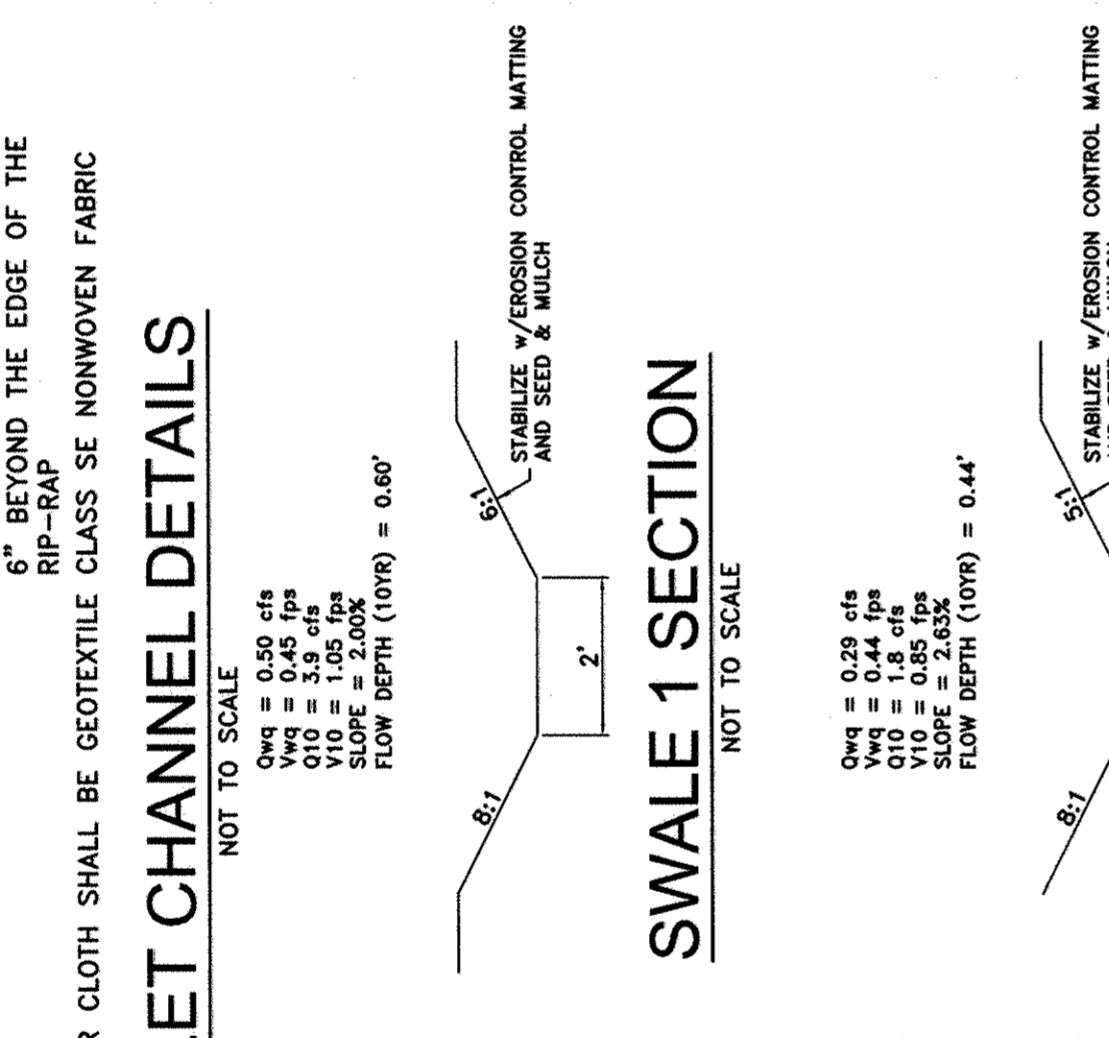
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 (S-2)
 NOT TO SCALE



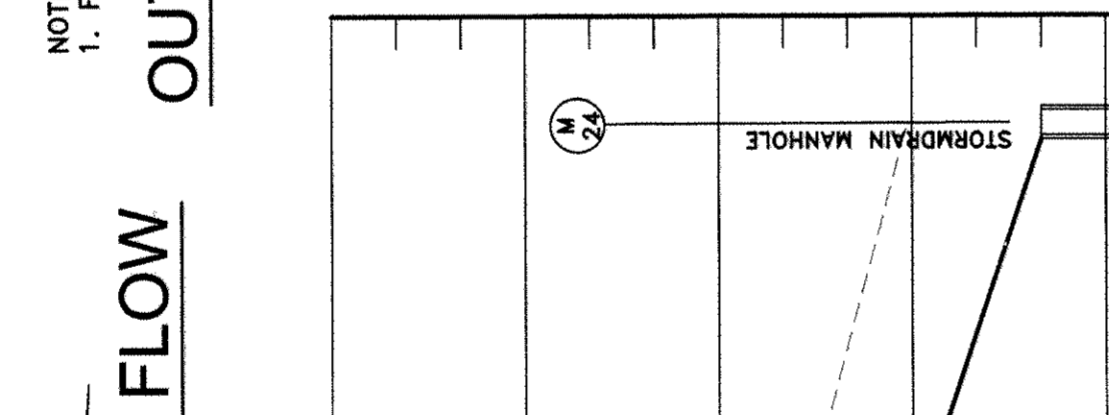
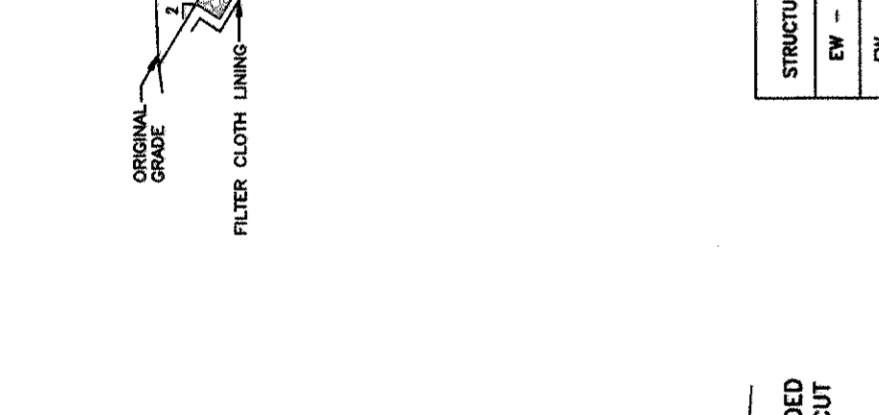
SECTION D-D
 (S-2)
 NOT TO SCALE



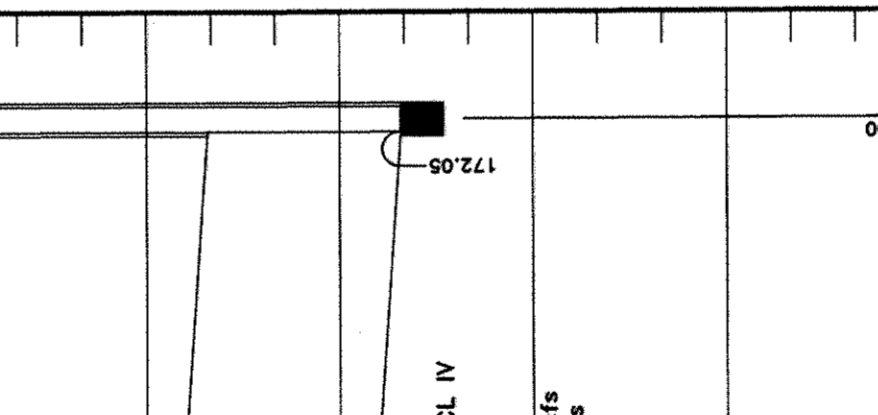
TOP SLAB
 (S-2)
 NOT TO SCALE



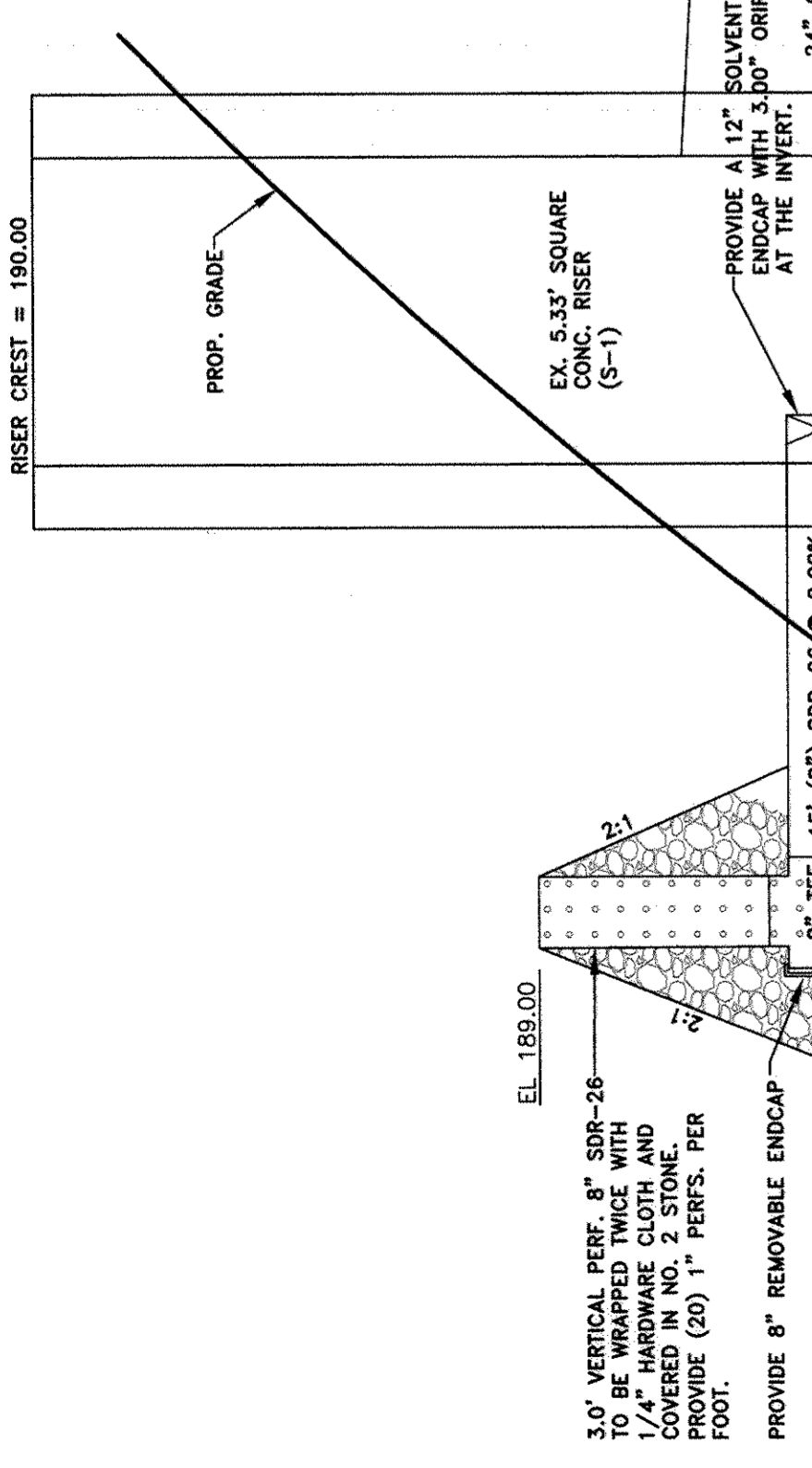
PLAN VIEW
 (S-2)
 NOT TO SCALE



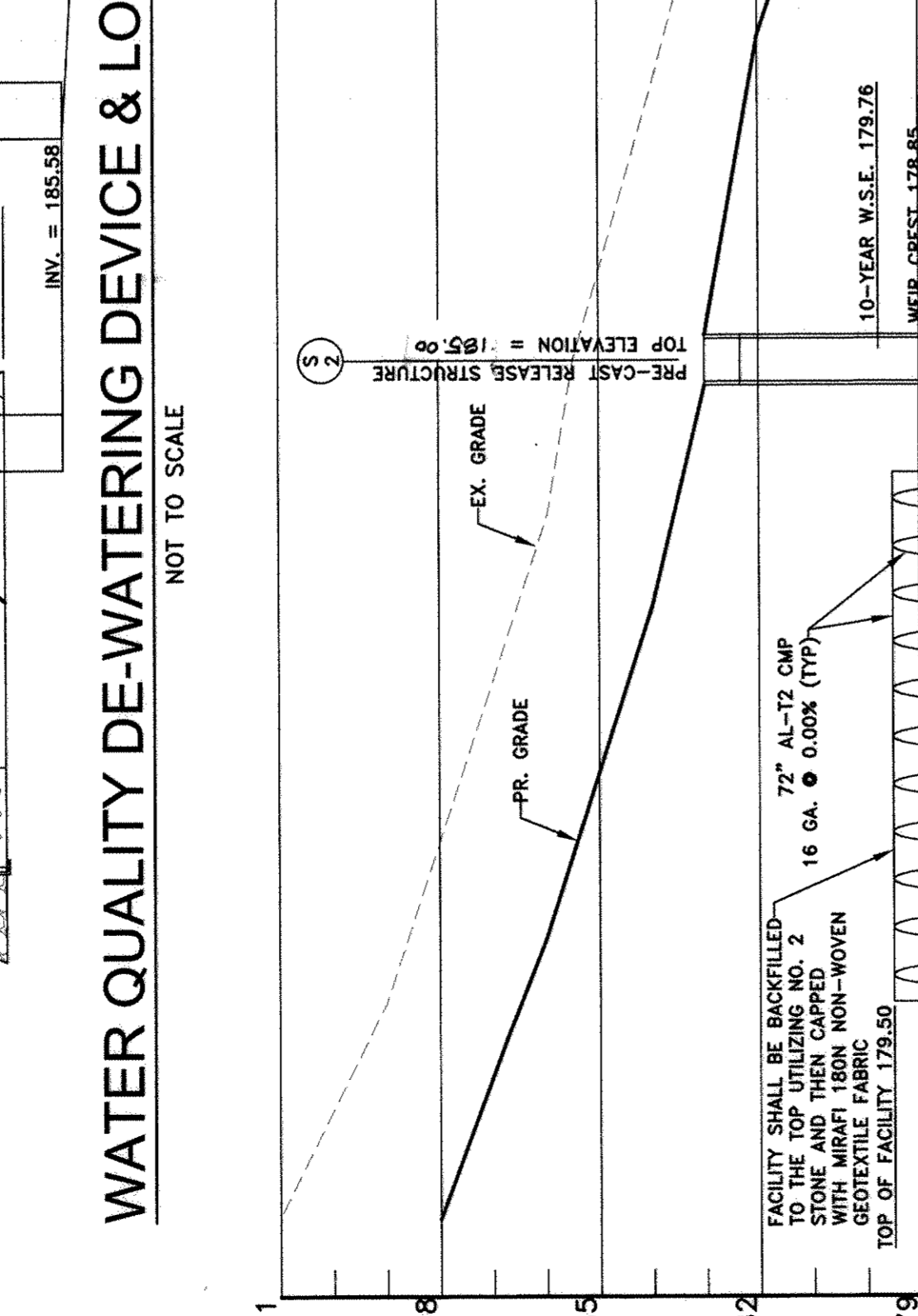
SWALE 1 SECTION
 NOT TO SCALE



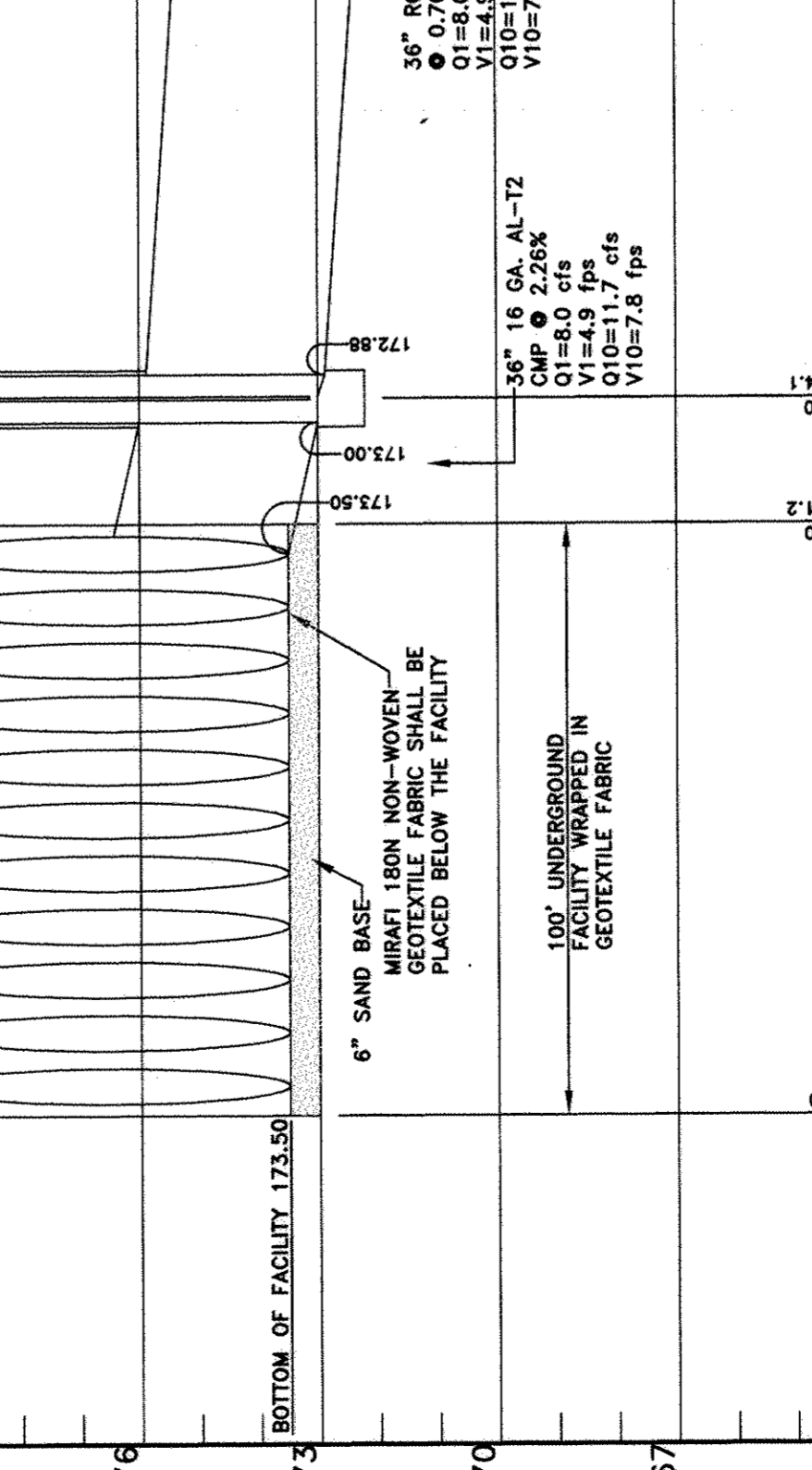
SWALE 2 SECTION
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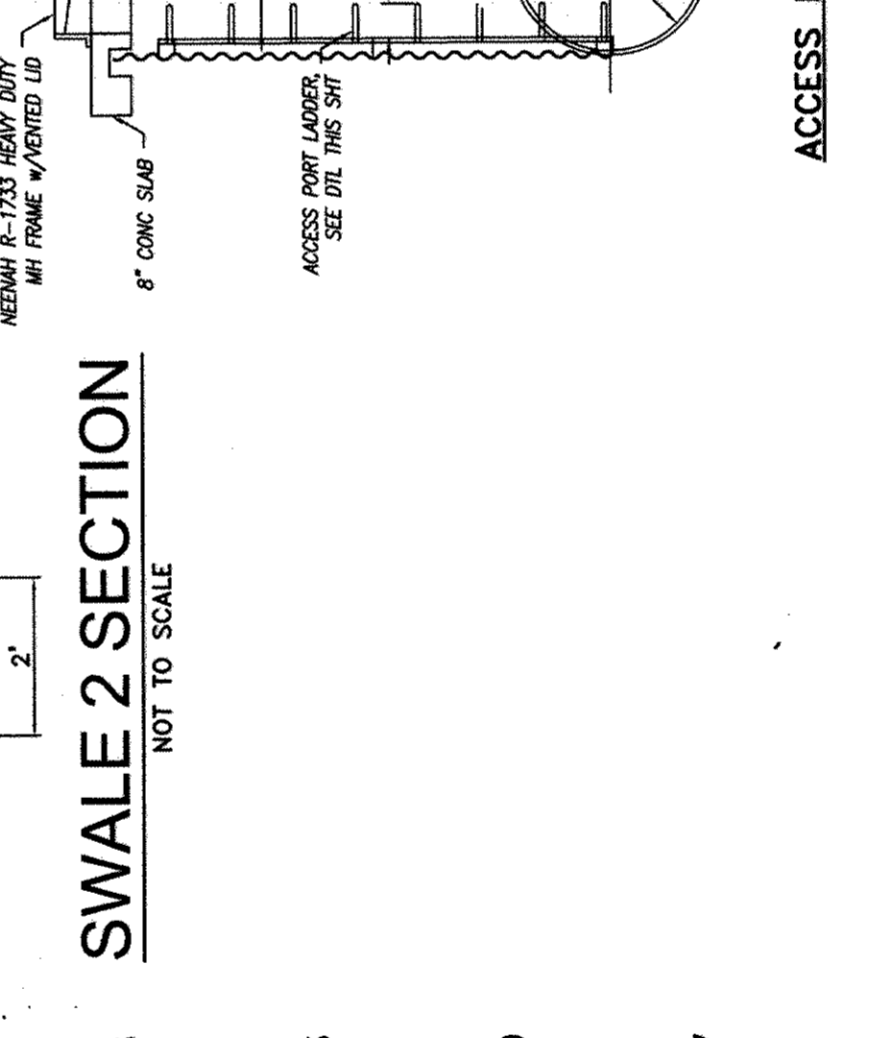
WATER QUALITY DE-WATERING DEVICE & LOW FLOW
 NOT TO SCALE



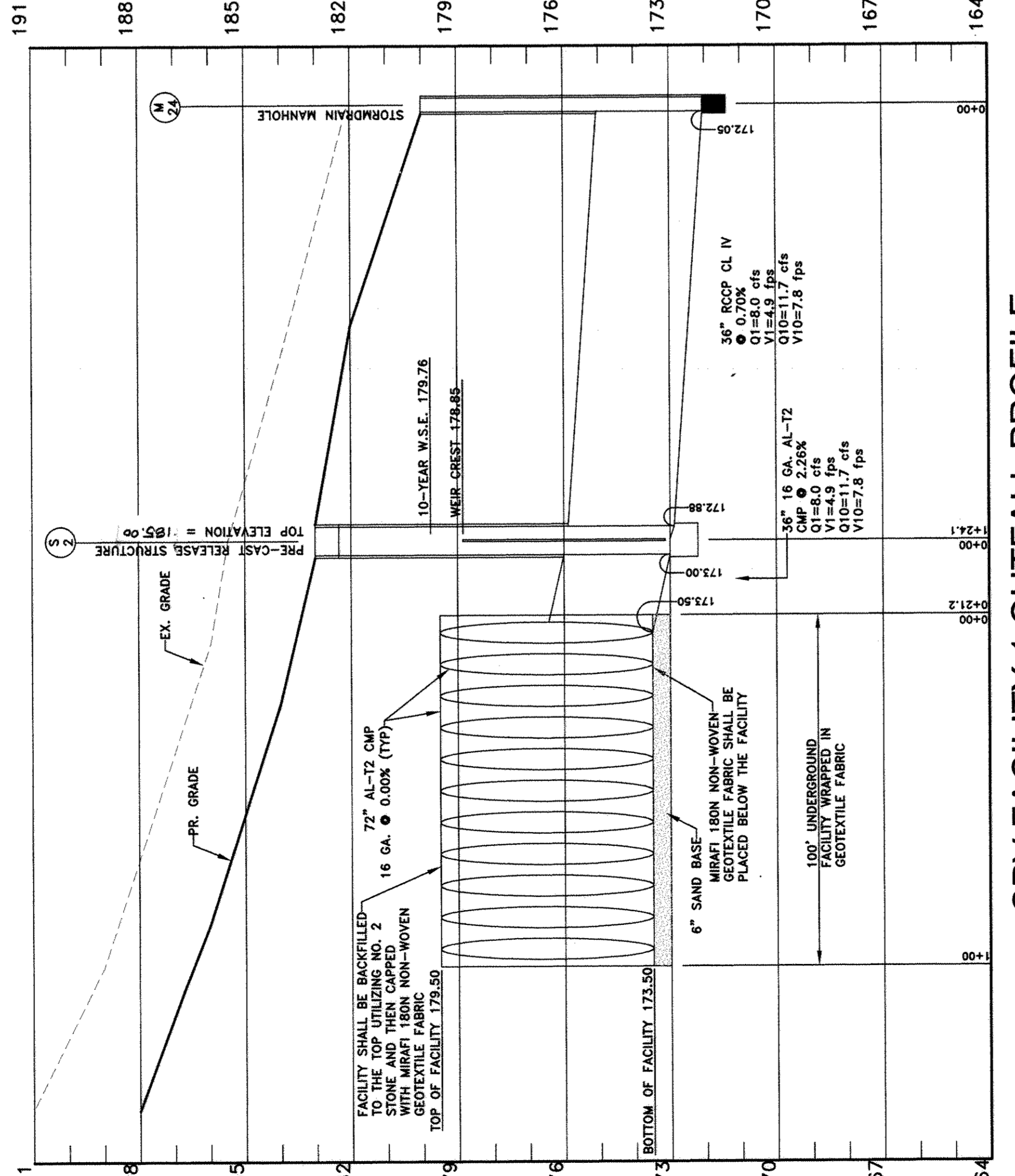
OUTLET CHANNEL DETAILS
 NOT TO SCALE



ACCESS PORT SECTION
 NOT TO SCALE



ACCESS RISER
 NOT TO SCALE



CPV FACILITY 1 OUTFALL PROFILE
 SCALE: HORIZ. 1" = 30'
 VERT. 1" = 3'

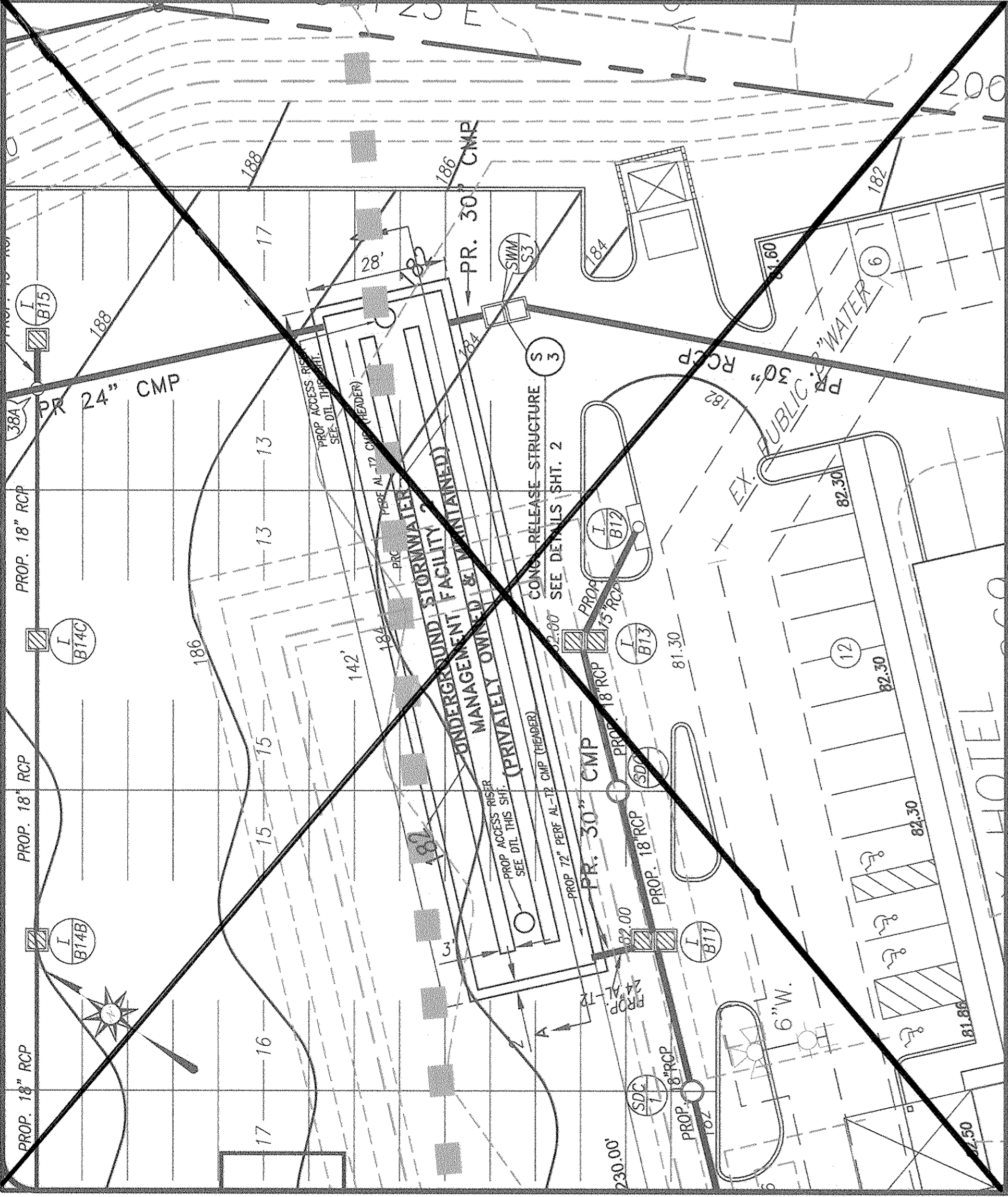
- STRUCTURAL NOTES**
1. CONCRETE CONSTRUCTION SHALL BE DESIGNED, REINFORCED AND CONSTRUCTED IN ACCORDANCE WITH ACT 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
 2. CONCRETE SHOWN ON THIS DRAWING SHALL BE SH4 MIX No. 3.
 3. REINFORCING STEEL SHALL BE DEFORMED STEEL BARS CONFORMING TO ASTM A615, GRADE 60.
 4. THE CONTRACTOR WILL FURNISH THE STRUCTURE AS A PRECAST UNIT.
 5. PROVIDE A 12" CONCRETE COLLAR AT ALL PIPE CONNECTIONS TO THE RELEASE STRUCTURES.

- NOTES:**
1. FILTER CLOTH SHALL BE GEOTEXTILE CLASS SE NONWOVEN FABRIC

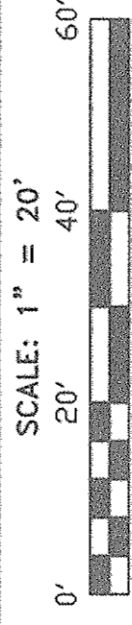
FILTER FABRIC LINING SHALL BE EMBEDDED A MINIMUM OF 4" AND SHALL EXTEND AT LEAST 6" BEYOND THE EDGE OF THE RIP-RAP

STRUCTURE	CS	VS	LENGTH (FT)	WIDTH (FT)	VARIABLES
EW - 1	7.25	7.68	1	24"	SEE PLAN
EW - 2	10.11	2.5	1	24"	SEE PLAN

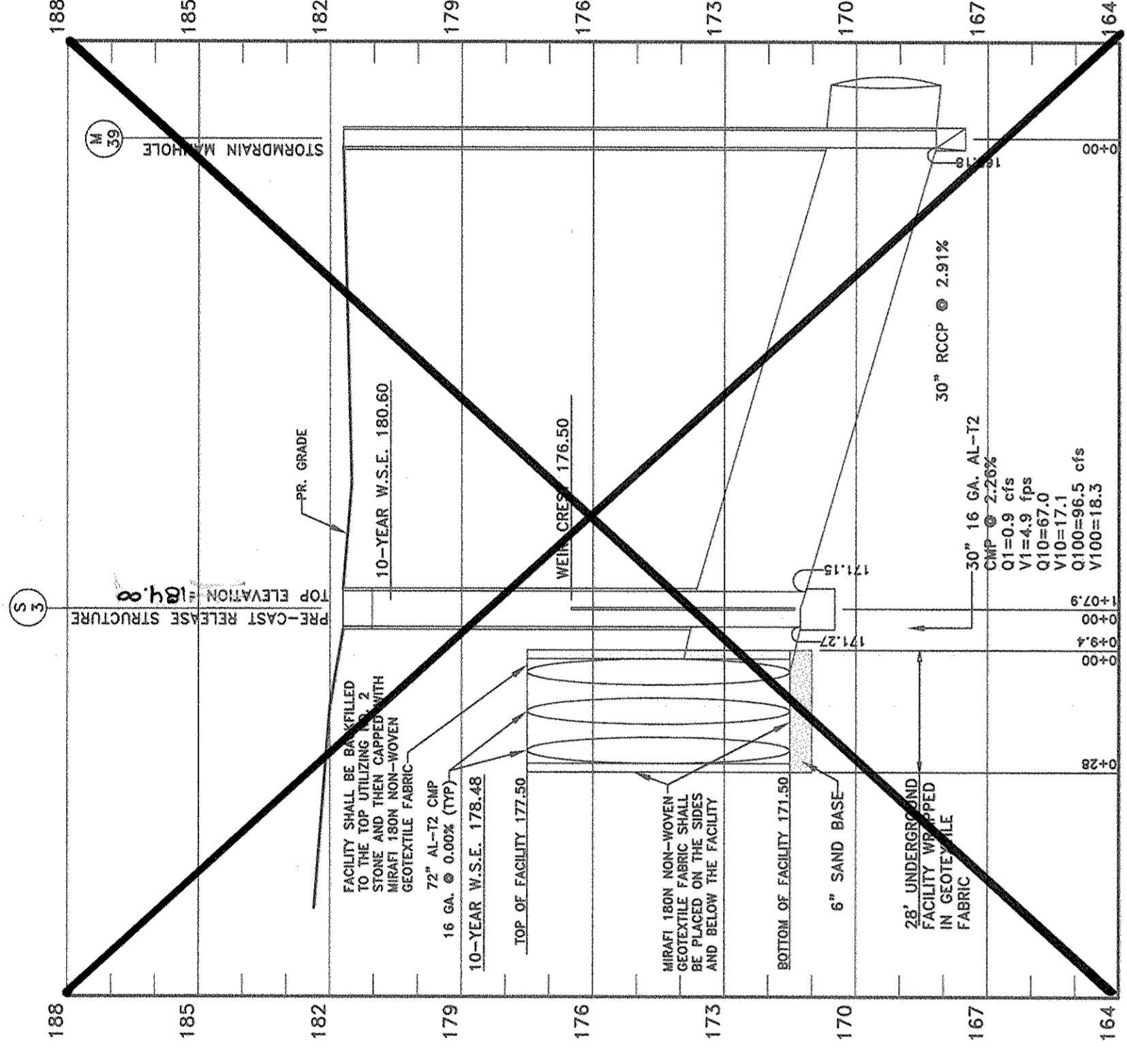
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 3/22/07
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/20/07
 DIRECTOR
 DATE: 6/29/07



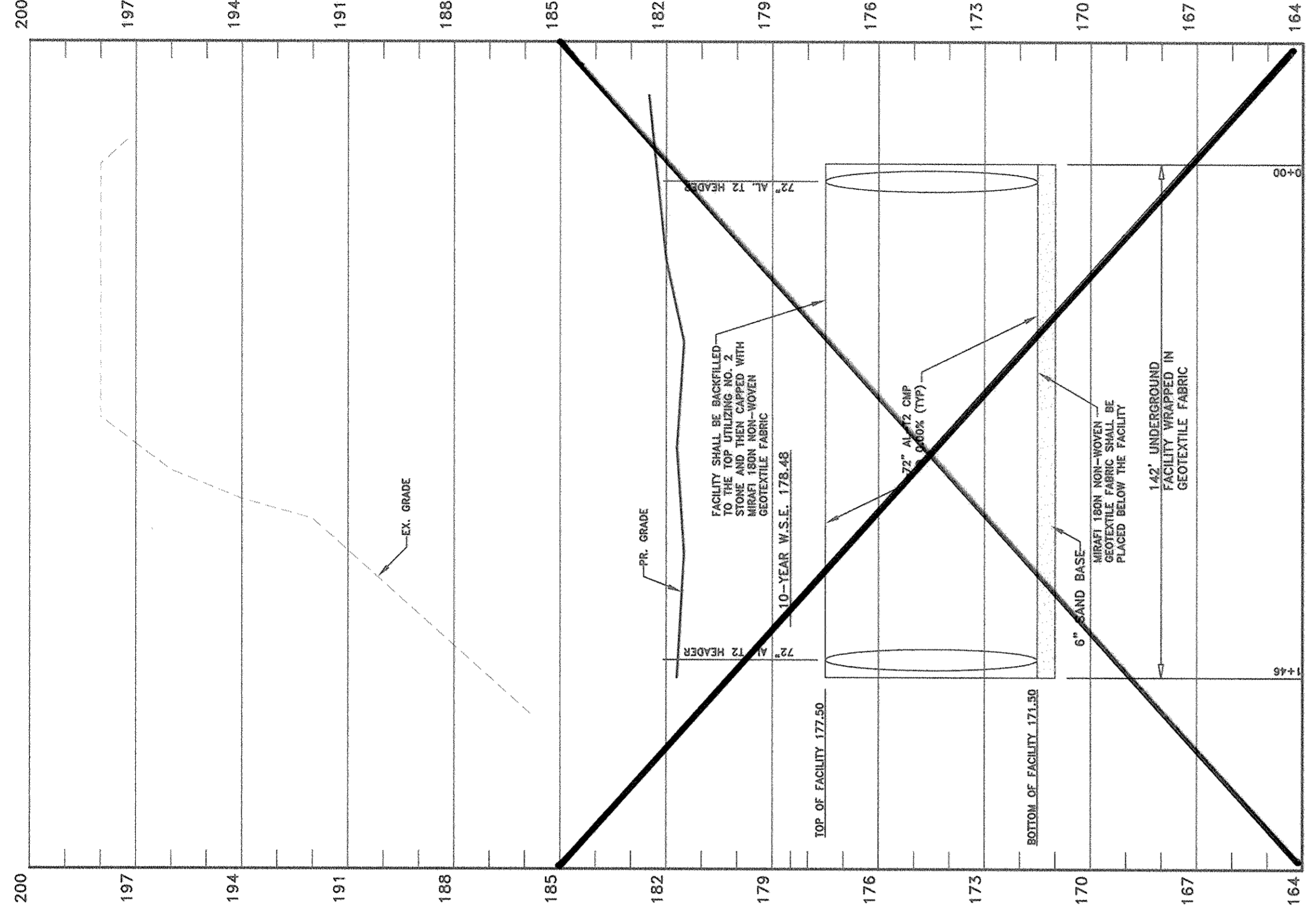
STORMWATER MANAGEMENT FACILITY 2 PLAN



NOTE: PRIVATE STORMDRAIN EASEMENTS FOR STORMWATER MANAGEMENT EASEMENTS. SEE PN 19052-55 & 19057-58



SWM FACILITY 2 OUTLET PROFILE



SWM FACILITY 2 CROSS SECTION A-A

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS, AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.



JURI MAISTE - SITE DESIGN CONSULTANT
 2923 Chesaok Avenue, Baltimore, Maryland 21234
 Phone: 410-661-8752 Fax: 410-661-8752
 RICHARDSON ENGINEERING, LLC
 30 E. Patuxent Road, Suite 500, Pimontum, Maryland 21093
 Phone: 410-660-1502 Fax: 410-901-1208

OWNERS/DEVELOPERS	
PARCEL 30 -	GWENRIDGE LLC
5551 CARLAND MILLS ROAD	COLUMBIA, MD 21045
PARCEL 38 -	CLC
5551 OAKRIDGE MILLS ROAD	COLUMBIA, MD 21045
QUERIDGE, LLC	5551 OAKRIDGE MILLS ROAD
5551 OAKRIDGE MILLS ROAD	COLUMBIA, MD 21045
REV. PERMANENT EMT	

NOTE: THE UNDERGROUND FACILITIES SHALL BE KEPT CLEAR OF TRASH AND DEBRIS BOTH DURING AND AFTER CONSTRUCTION.

APPROVED:	DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 3/12/09
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE: 3/12/09
DIRECTOR	DATE: 3/12/09

DRAWN: J.D.
 DATE: November 10, 2006
 SCALE: AS SHOWN

ELKRIDGE-CROSSING-PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 STORMWATER MANAGEMENT PLAN, PROFILES & DETAILS

CONSTRUCTION SPECIFICATIONS

A. SITE PREPARATION
 AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT, AND STRUCTURAL WORKS SHALL BE CLEARED OF ALL TREES, BRUSH, AND STUMPS TO A MINIMUM OF 10 FEET ABOVE THE TOP OF THE EMBANKMENT. ROOTS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED. CHANNEL BANKS AND SHARP BENDS SHALL BE SLOPED TO NO STEEPER THAN 1:1. ALL TREES SHALL BE CLEARED AND GRUBBED WITHIN 15 FEET OF THE TOE OF EMBANKMENT.

AREAS TO BE COVERED BY THE RESERVOIR WILL BE CLEARED OF ALL TREES, BRUSH, AND STUMPS TO A MINIMUM OF 10 FEET ABOVE THE TOP OF THE EMBANKMENT. THE EMBANKMENT SHALL BE CLEARED OF ALL OBSTRUCTIONS TO THE FILL STRUCTURE.

B. EARTH FILL
 ALL CLEARED AND GRUBBED MATERIAL SHALL BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE DAM AND RESERVOIR AS DIRECTED BY THE OWNER OR AUTHORITY. ALL MATERIAL SHALL BE PLACED IN A SUITABLE LOCATION FOR USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

C. STRUCTURE BACKFILL
 BACKFILL ADJACENT TO PRESS OR STRUCTURES SHALL BE OF THE TYPE AND QUALITY SPECIFIED FOR THAT SPECIFIED FOR THE ADDING FILL MATERIAL. THE BACKFILL SHALL BE COMPACTED TO THE PROPER DENSITY AND THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY OPERATED EQUIPMENT. THE MATERIAL MUST BE FULLY COMPACTED ALL SPACES BETWEEN THE STRUCTURE AND THE BACKFILL. THE BACKFILL SHALL BE MEASURED HORIZONTALLY TO ANY PART OF A STRUCTURE UNDER NO CIRCUMSTANCES SHALL THERE BE A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE.

D. PIPE CONDUITS
 ALL PIPES SHALL BE CIRCULAR IN CROSS SECTION.
 1. CORRUGATED METAL PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR CORRUGATED METAL PIPE.
 A. MATERIALS (POLYMER COATED STEEL PIPE) - STEEL PIPES WITH POLYMER COATING SHALL BE TYPE 2 ALUMINIZED STEEL PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATIONS M-245 & M-246 WITH INTERIOR COUPING BANDS OR FLANGES.

MATERIALS (ALUMINUM COATED STEEL PIPE) - THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATIONS M-274 OR M-274.1 WHEN USED WITH INTERIOR COUPING BANDS OR FLANGES. ALUMINUM PIPE WHEN USED WITH FLOWABLE FILL OR WHEN USED WITH INTERIOR COUPING BANDS OR FLANGES SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATION M-150 TYPE A ALUMINUM COATING. SURFACES THAT ARE TO BE IN CONTACT WITH FLOWABLE FILL SHALL BE SMOOTH AND FREE OF OBSTRUCTIONS. THE PIPE SHALL BE PLACED IN CONTACT WITH FLOWABLE FILL AND SHALL BE PROTECTED BY BRITANNIA COATING COMPACTED ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE FINISHED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT.

E. GENERAL
 ALL STORMWATER FACILITIES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.

F. CONSTRUCTION INSPECTOR
 THE CONSTRUCTION INSPECTOR SHALL BE DESIGNATED BY THE OWNER AND SHALL BE A REGISTERED PROFESSIONAL ENGINEER. THE CONSTRUCTION INSPECTOR SHALL PROVIDE THE ENGINEER WITH A MINIMUM OF TWO WEEKS ADVANCE NOTICE OF THE DATE THAT HE WILL BE AVAILABLE TO INSPECT THE WORK. THE CONSTRUCTION INSPECTOR SHALL ALSO PROVIDE THE ENGINEER WITH A LIST OF ALL MATERIALS TO BE INCORPORATED INTO THE WORK, ALONG WITH THEIR SOURCES OF SUPPLY. THE ENGINEER SHALL BE GIVEN SUFFICIENT NOTICE OF ALL UPCOMING INSPECTIONS AND SHALL BE GIVEN SUFFICIENT NOTICE OF ALL UPCOMING INSPECTIONS AND SHALL BE GIVEN SUFFICIENT NOTICE OF ALL UPCOMING INSPECTIONS AND SHALL BE GIVEN SUFFICIENT NOTICE OF ALL UPCOMING INSPECTIONS.

G. CARE OF WATER DURING CONSTRUCTION
 ALL WORK ON PERMANENT STRUCTURES SHALL BE CARRIED OUT IN AREAS FREE FROM WIND-BLOWN DIRT, SAND, AND OTHER DEBRIS. THE CONSTRUCTION INSPECTOR SHALL BE RESPONSIBLE FOR THE NECESSARY FENCING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, AFTER HAVING SERVED THEIR PURPOSES. ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED AS SOON AS THEY ARE NO LONGER REQUIRED AND SHALL BE MAINTAINED AT ALL TIMES TO PREVENT INTERFERENCE WITH THE FLOW OF WATER TO THE STRUCTURE. ALL TEMPORARY PROTECTIVE WORKS SHALL BE MAINTAINED AT ALL TIMES TO PREVENT INTERFERENCE WITH THE FLOW OF WATER TO THE STRUCTURE. ALL TEMPORARY PROTECTIVE WORKS SHALL BE MAINTAINED AT ALL TIMES TO PREVENT INTERFERENCE WITH THE FLOW OF WATER TO THE STRUCTURE.

H. CONSTRUCTION INSPECTOR
 THE CONSTRUCTION INSPECTOR SHALL BE DESIGNATED BY THE OWNER AND SHALL BE A REGISTERED PROFESSIONAL ENGINEER. THE CONSTRUCTION INSPECTOR SHALL PROVIDE THE ENGINEER WITH A MINIMUM OF TWO WEEKS ADVANCE NOTICE OF THE DATE THAT HE WILL BE AVAILABLE TO INSPECT THE WORK. THE CONSTRUCTION INSPECTOR SHALL ALSO PROVIDE THE ENGINEER WITH A LIST OF ALL MATERIALS TO BE INCORPORATED INTO THE WORK, ALONG WITH THEIR SOURCES OF SUPPLY. THE ENGINEER SHALL BE GIVEN SUFFICIENT NOTICE OF ALL UPCOMING INSPECTIONS AND SHALL BE GIVEN SUFFICIENT NOTICE OF ALL UPCOMING INSPECTIONS AND SHALL BE GIVEN SUFFICIENT NOTICE OF ALL UPCOMING INSPECTIONS.

I. INSPECTION
 INSPECTION OF ALL MATERIALS AND THEIR ASSOCIATED CERTIFICATIONS PRIOR TO THEIR INSTALLATION/PLACEMENT IN THE PROJECTED WORK.
 2. INSPECTION AND RELATED TESTING OF THE CONSTRUCTION OF THE DAM (INCLUDING THE EMBANKMENT, WEIR, AND OTHER STRUCTURES) SHALL CONFORM TO THE REQUIREMENTS OF THE EMERGENCY SPILLWAY AND OTHER CRITICAL FLOW CHANNELS.

INSPECTION OF ALL OTHER SIGNIFICANT CONSTRUCTION/INSTALLATION ITEMS FOR THE PROPOSED FACILITY AND RELATED PIPING, INCLUDING BACKFILLING AND SOIL COMPACTED. THE ENGINEER SHALL ALSO DIRECT THE INSPECTION OF THE DAM IN ORDER TO COMPENSATE FOR UNUSUAL SOIL CONDITIONS, AND THE REMOVAL AND REPLACEMENT OF DEFECTIVE FILL.

J. ACCESS PORT SECTION
 ACCESS PORT SECTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.

K. ACCESS RISER
 ACCESS RISER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.

L. RUNG (MINIMUM)
 RUNG (MINIMUM) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.

M. RUNG (MINIMUM)
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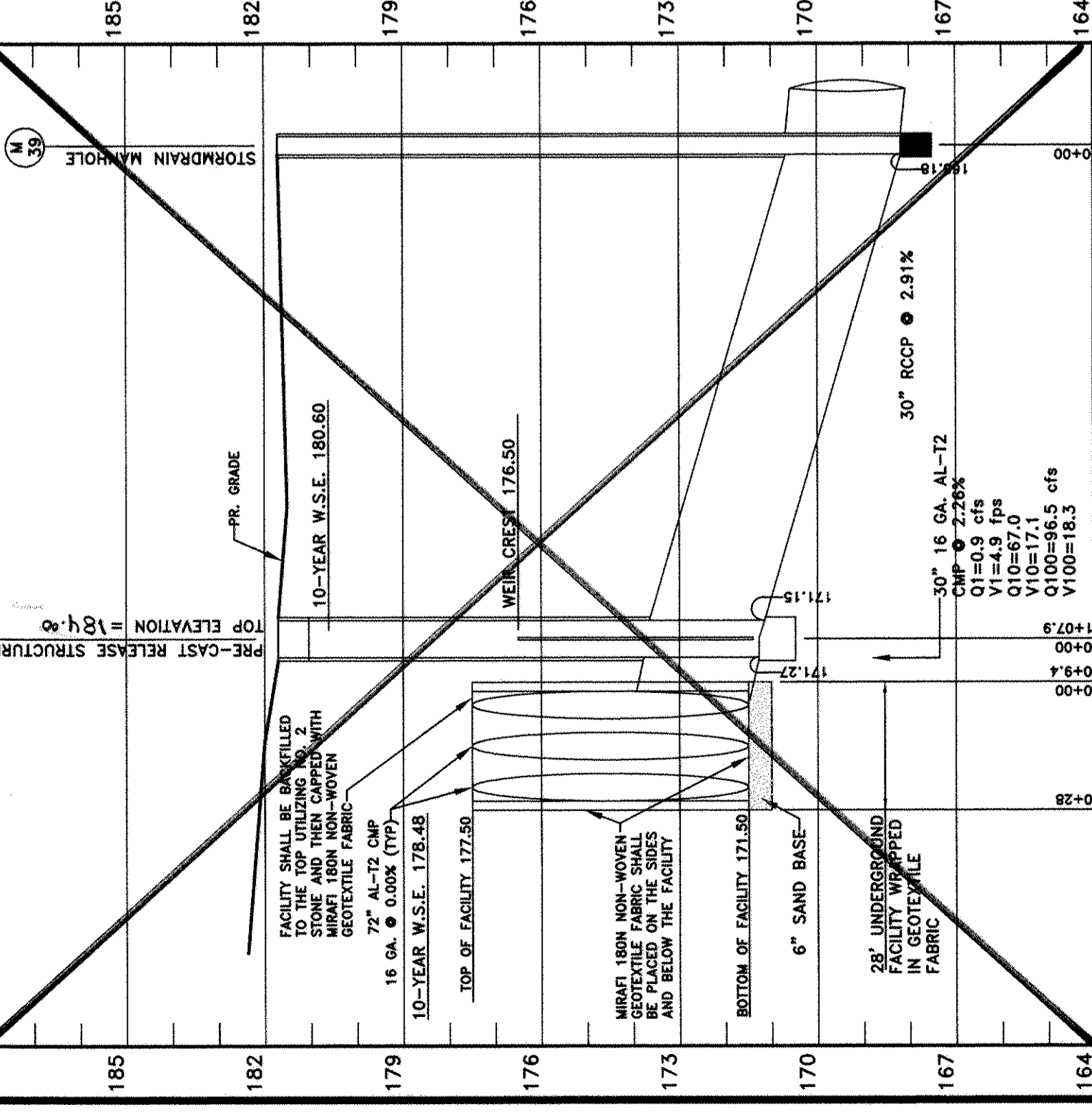
N. WEIR WALL
 WEIR WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.

O. TOP SLAB
 TOP SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.

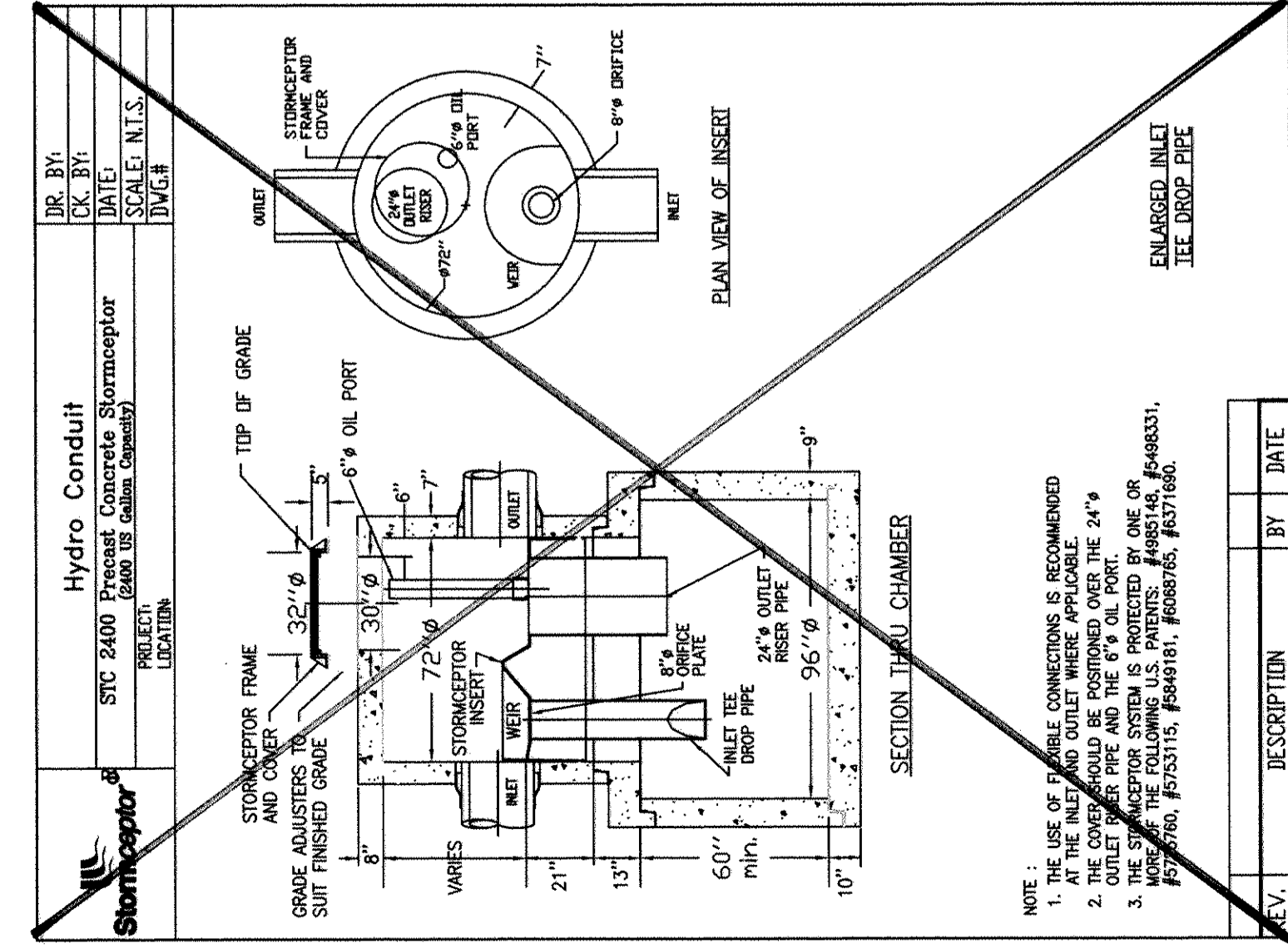
P. SECTION A-A
 SECTION A-A SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.

Q. SECTION B-B
 SECTION B-B SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.

R. SECTION C-C
 SECTION C-C SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EMBANKMENT AND THE USFS NATURAL RESOURCES CONSERVATION SERVICE MARYLAND CONSERVATION PRACTICE STANDARD POND CODE 378 (JANUARY 2000). THESE CONSTRUCTION SPECIFICATIONS SHALL BE USED IN CONJUNCTION WITH THE STANDARD DRAWINGS AND SPECIFIC DETAILS FOR THESE DRAWINGS SHALL NOT RELIEVE ANY OF THE REQUIREMENTS OF THESE AND OTHER RELEVANT CODES.



SWM 2 OUTFALL PROFILE
 SCALE: HORIZ. 1" = 30'
 VERT. 1" = 3'



SECTION THRU CHAMBER

NOTE: 1. THE USE OF FIBERGLASS CONNECTIONS IS RECOMMENDED. 2. THE CONNECTION SHALL BE POSITIONED OVER THE 24" DIA. OUTLET PIPE AND THE 6" DIA. RISER PIPE. 3. THE CONNECTION SHALL BE POSITIONED OVER THE 24" DIA. OUTLET PIPE AND THE 6" DIA. RISER PIPE.

APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/22/07
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/29/07
 DIRECTOR

DATE: September 12, 2006
 SCALE: AS SHOWN

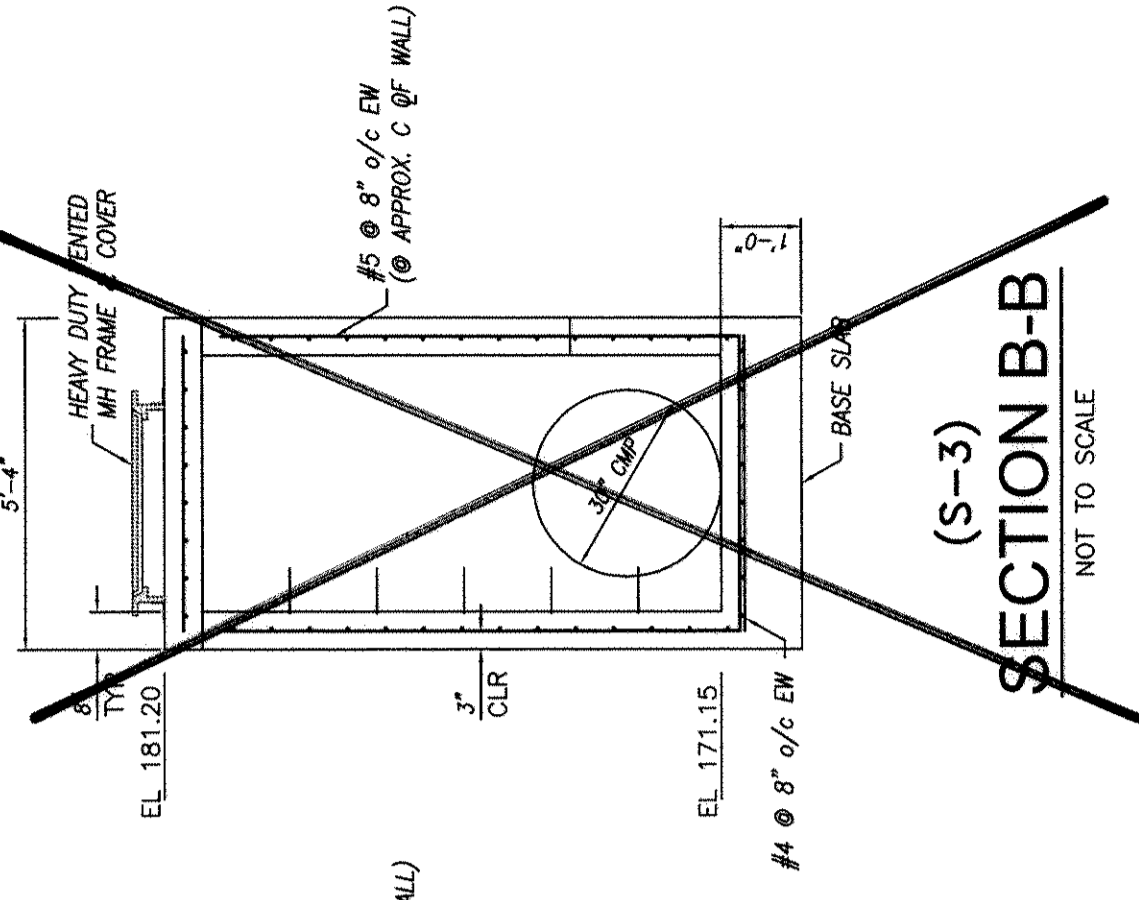
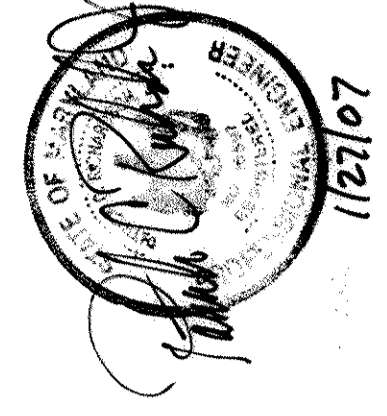
ELKBRIDGE - CROSSING - PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

ELKBRIDGE - CROSSING - PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

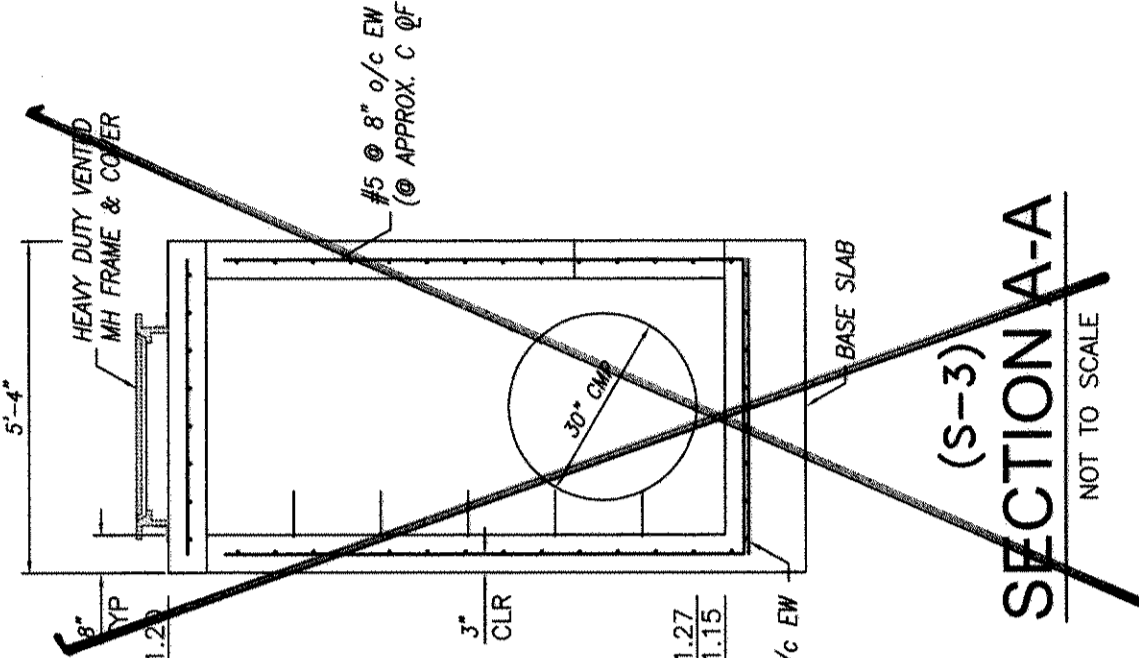
JURI MAISTE - SITE DESIGN CONSULTANT
 2928 Chantock Avenue, Baltimore, Maryland 21234
 Phone: 410-661-8752 Fax: 410-661-8752
 RICHARDSON ENGINEERING, LLC
 30 E. Padonora Road, Suite 500, Timonium, Maryland 21093
 Phone: 410-560-1502 Fax: 443-901-1208

SHEET 26 OF 35
 SDP-06-078

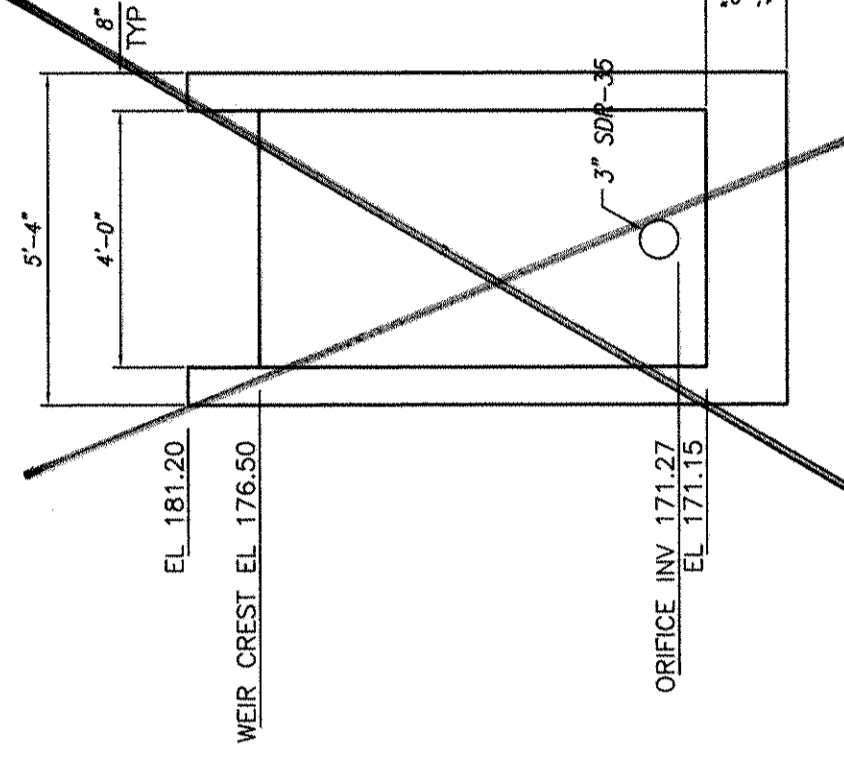
OWNERS/DEVELOPERS
 PARCEL 30 - OWENRIDGE LLC
 5551 OAKLAND MILLS ROAD, COLUMBIA, MD 21045
 PARCEL 38 - CHAMBERLAIN MILLS ROAD
 5551 OAKLAND MILLS ROAD, COLUMBIA, MD 21045
 CHAMBERLAIN MILLS ROAD
 COLUMBIA, MD 21045



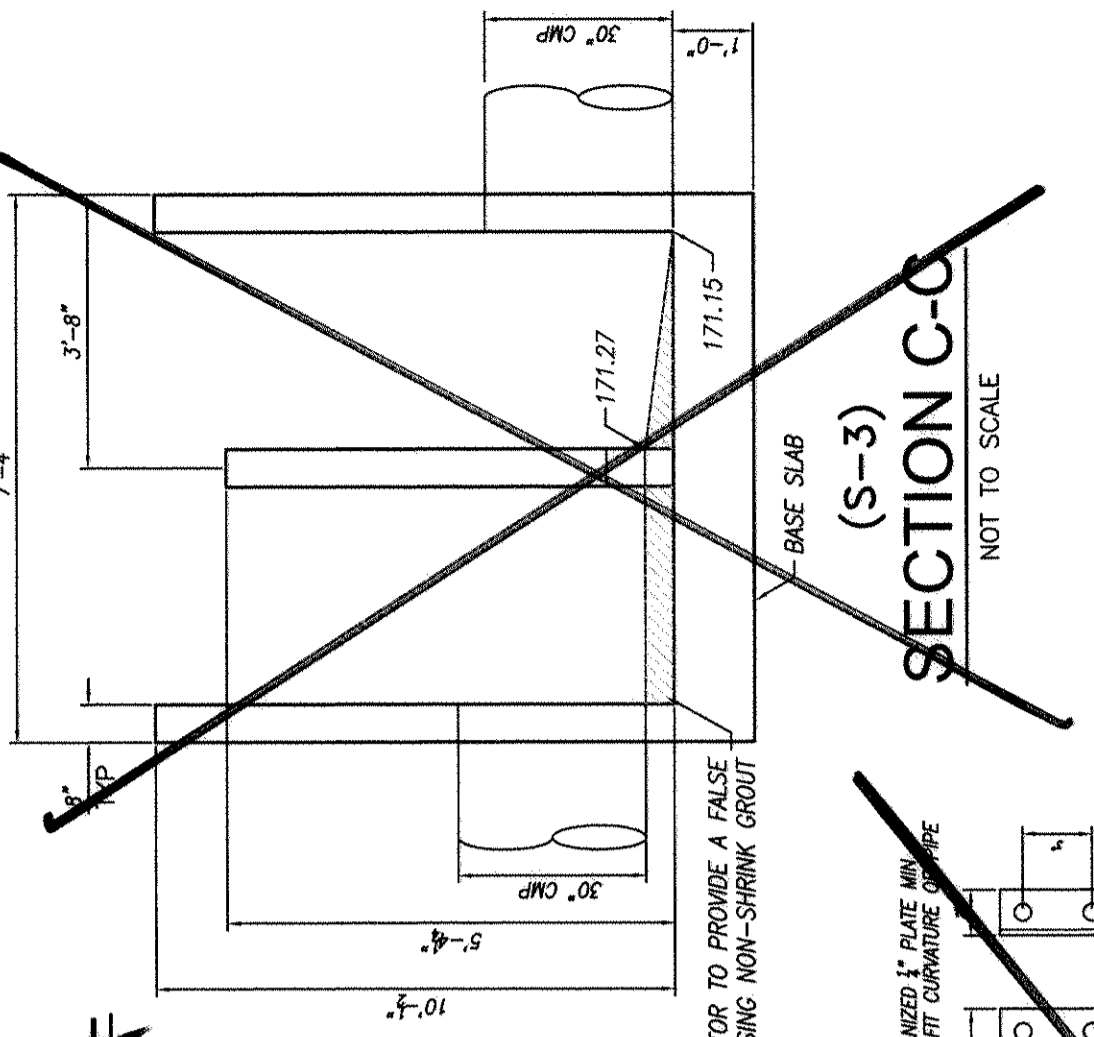
SECTION B-B
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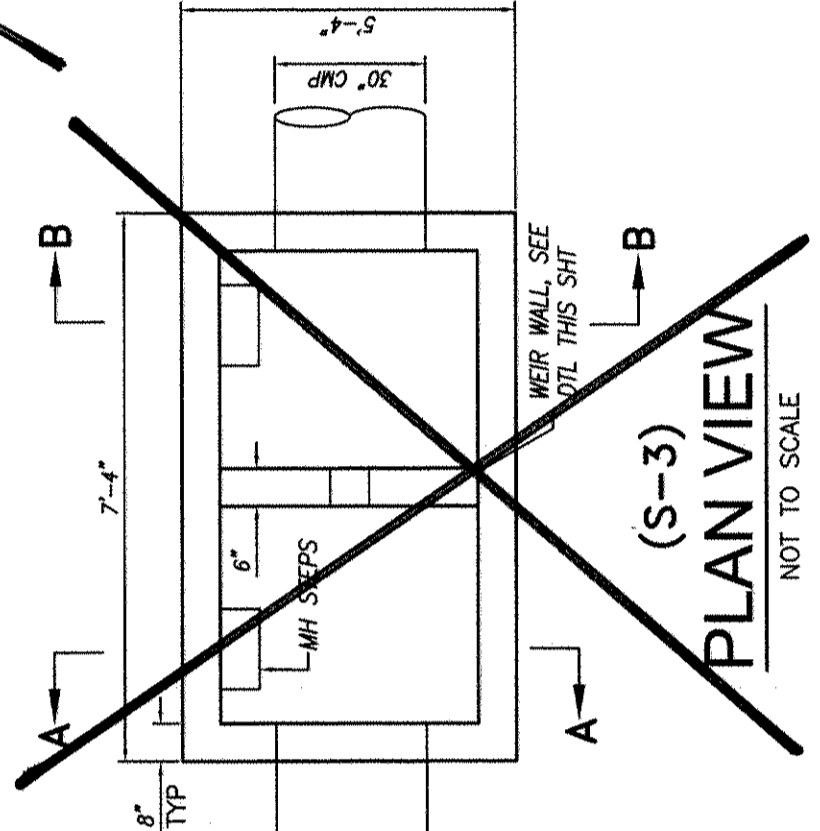
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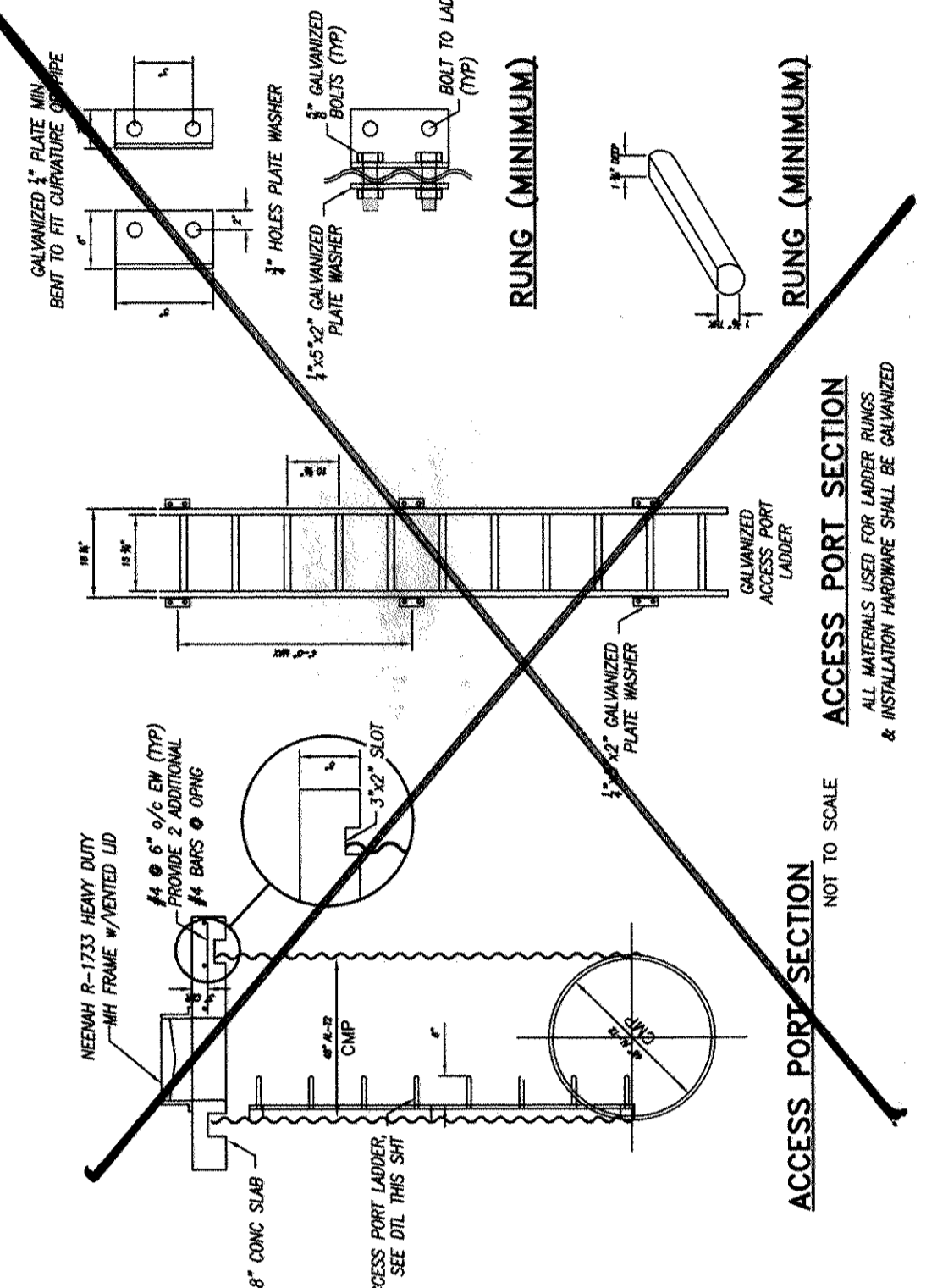
WEIR WALL
 NOT TO SCALE



SECTION C-C
 NOT TO SCALE



PLAN VIEW
 NOT TO SCALE

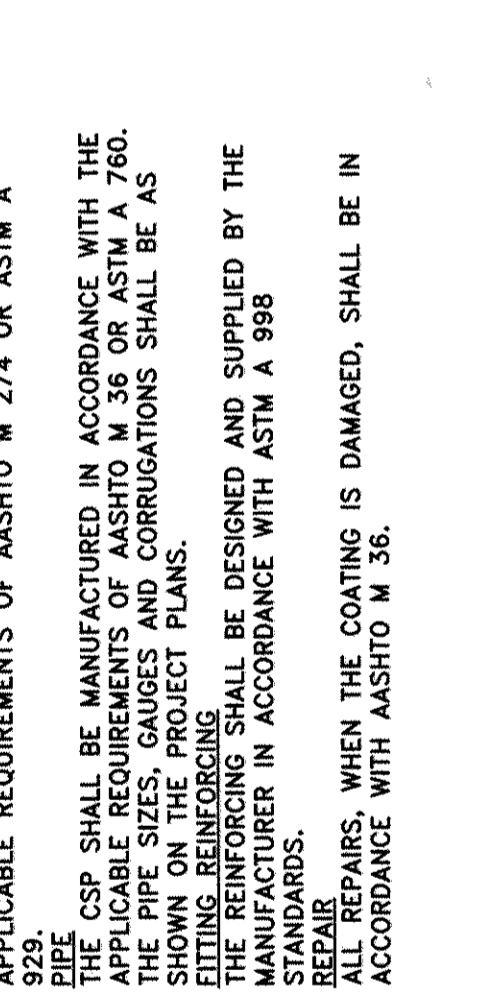


ACCESS PORT SECTION
 NOT TO SCALE

ACCESS RISER
 NOT TO SCALE



RUNG (MINIMUM)
 NOT TO SCALE



RUNG (MINIMUM)
 NOT TO SCALE

DATE: September 12, 2008
 DRAWN: J.D.
 SCALE: AS SHOWN

REVISION
 1/1/17 7a Renect Asbuilt Conditions
 BY

ELKRIDGE-CROSSING-PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 STORMWATER MANAGEMENT EX DRAINAGE AREA MAP

JURI MAISTE - SITE DESIGN CONSULTANT
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 30 E. Padonia Road, Suite 500, Timonium, Maryland 21093
 Phone: 410-560-1502 Fax: 443-901-1208

SHEET
 27 OF 35
 SDP-06-078

RECORD OF SOIL EXPLORATION

NO.	DATE	DEPTH (FEET)	SOIL TYPE	REMARKS
1	8-24-08	0-12	CL	Light brown, silty clay with some sand.
2	8-24-08	12-18	CL	Light brown, silty clay with some sand.
3	8-24-08	18-24	CL	Light brown, silty clay with some sand.
4	8-24-08	24-30	CL	Light brown, silty clay with some sand.
5	8-24-08	30-36	CL	Light brown, silty clay with some sand.
6	8-24-08	36-42	CL	Light brown, silty clay with some sand.
7	8-24-08	42-48	CL	Light brown, silty clay with some sand.
8	8-24-08	48-54	CL	Light brown, silty clay with some sand.
9	8-24-08	54-60	CL	Light brown, silty clay with some sand.
10	8-24-08	60-66	CL	Light brown, silty clay with some sand.

RECORD OF SOIL EXPLORATION

NO.	DATE	DEPTH (FEET)	SOIL TYPE	REMARKS
1	8-24-08	0-12	CL	Light brown, silty clay with some sand.
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3	8-24-08	18-24	CL	Light brown, silty clay with some sand.
4	8-24-08	24-30	CL	Light brown, silty clay with some sand.
5	8-24-08	30-36	CL	Light brown, silty clay with some sand.
6	8-24-08	36-42	CL	Light brown, silty clay with some sand.
7	8-24-08	42-48	CL	Light brown, silty clay with some sand.
8	8-24-08	48-54	CL	Light brown, silty clay with some sand.
9	8-24-08	54-60	CL	Light brown, silty clay with some sand.
10	8-24-08	60-66	CL	Light brown, silty clay with some sand.

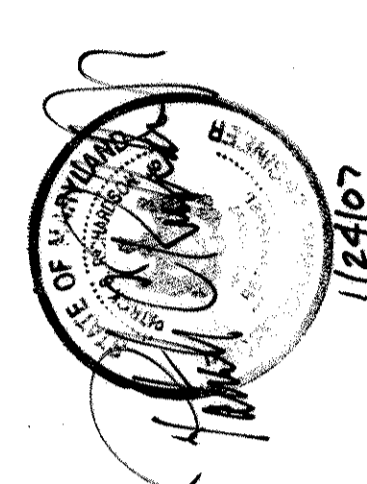
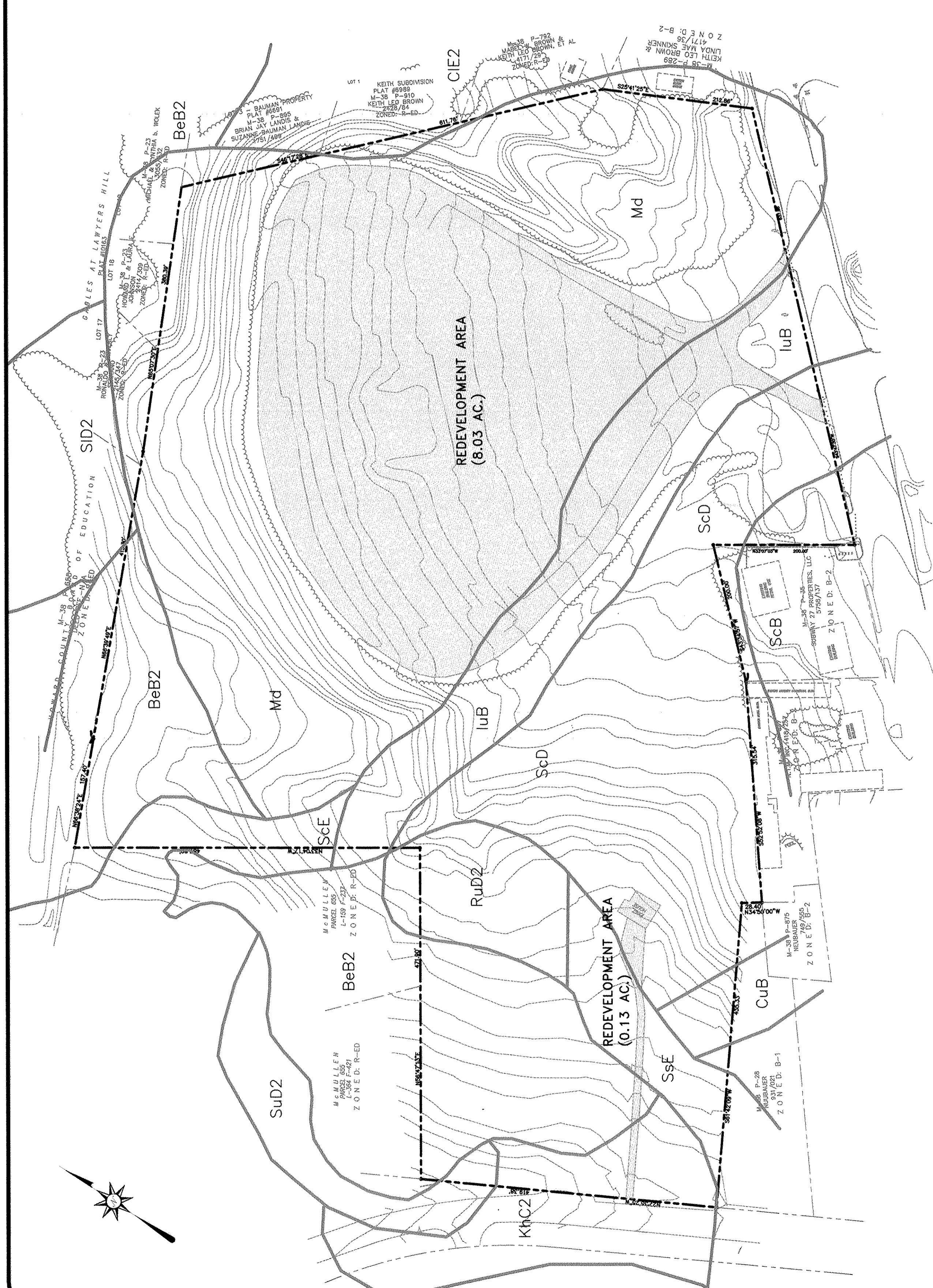
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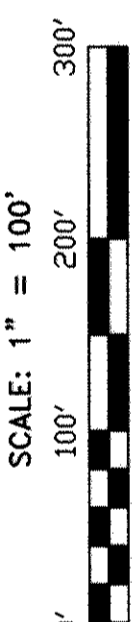
SOILS DATA

ID	NAME	SOIL GROUP
Br	BELTSVILLE	C
Cl	CHILLUM	B
Cu	CODORUS	C
Lu	IUKA	C
Kh	KEWPORT	C
Kd	KENNESAW	C
Sc	SAND & CLAY	B
Ss	SASSAFRAS	B
Su	SUNNYSIDE	B

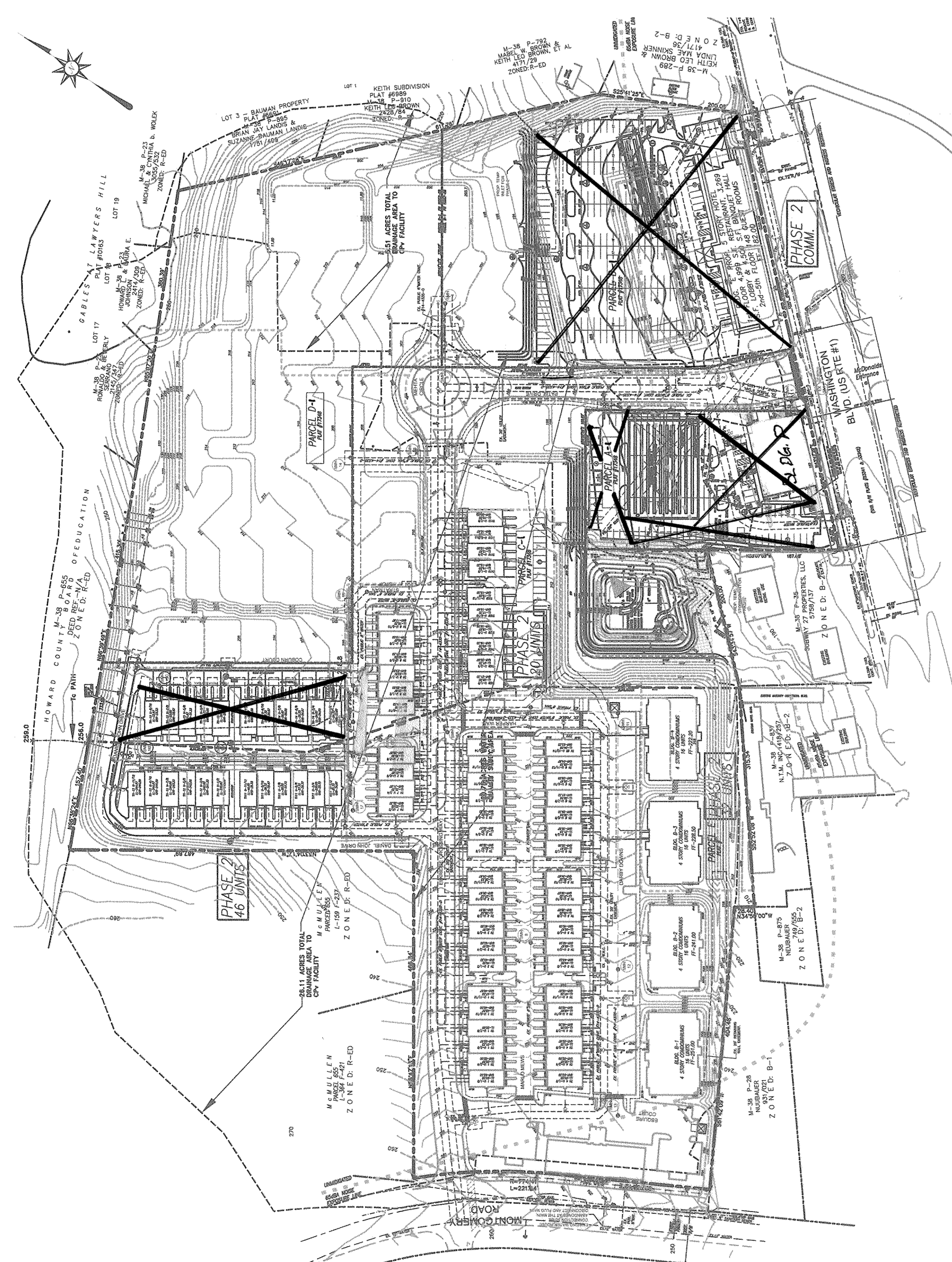
OWNERS/DEVELOPERS
 PARCEL 30
 GWENRIDGE, LLC
 5557 I. CARLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 38
 GWENRIDGE, LLC
 5557 I. CARLAND MILLS ROAD
 COLUMBIA, MD 21045
 GWENRIDGE, LLC
 5557 I. CARLAND MILLS ROAD
 COLUMBIA, MD 21045



EXISTING DRAINAGE AREA MAP



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 2/22/07
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 1/28/07
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/29/07
 DIRECTOR



PROPOSED DRAINAGE AREA MAP

SCALE: 1" = 100'
0' 100' 200' 300'

- ### SWM DATA
- TYPE OF FACILITIES - **POCKET POND (P5)
 - UNDERGROUND PIPE DETENTION, STORMCEPTORS
 - UNDERGROUND PIPE DETENTION - CLASS A
 - WATERSHED AREA TO FACILITIES - 21.88 AC TO POND, 26.11 AC TO CPV FACILITY 1, 5.658 AC TO CPV FACILITY 2
 - POND FREEBOARD = 2.00'
 - WATER QUALITY REQUIRED = 0.45 AC-FT
 - WATER QUALITY PROVIDED = 0.76 AC-FT
 - MAINTENANCE RESPONSIBILITY - PRIVATE (ALL FACILITIES)
 - CPV PROVIDED IN UNDERGROUND DETENTION FACILITIES
 - FACILITY 1 CPV REQUIRED = 1.28 AC-FT
 - FACILITY 1 CPV PROVIDED = 1.28 AC-FT
 - FACILITY 2 CPV PROVIDED = 0.33 AC-FT
 - FACILITY 2 CPV PROVIDED = 0.33 AC-FT
 - Op = NOT REQUIRED, Qr = NOT REQUIRED

**DUE TO M.A.A. REGULATIONS THE POND WILL HAVE TO BE A DRY POND, THEREFORE 24 HOUR EXTENDED DETENTION HAS BEEN PROVIDED FOR THE WATER QUALITY VOLUME.

SOILS DATA

ID	NAME	SOIL GROUP
Bf	BELTSVILLE	C
Cl	CHILLUM	B
Cu	CODORUS	C
Iu	IUKA	C
Kh	KEYPORT	C
Md	MADE	C
Sc	SASSAFRAS	G
Ss	SASSAFRAS	B
Su	SUNNYSIDE	B

WATER QUALITY POND MAINTENANCE SCHEDULE

- THE FACILITY SHALL BE INSPECTED AND CLEANED TWICE ANNUALLY - MARCH AND SEPTEMBER. VISUAL INSPECTION OF UNDERGROUND DETENTION STRUCTURES SHALL BE COMPLETED BY THE OWNER ONCE A YEAR. THE OWNER SHALL KEEP NOTES OF EACH INSPECTION.
- REMOVE OIL AND SEDIMENT THROUGH THE 24-INCH DIAMETER OUTLET RISER PIPE. ALTERNATIVELY, YOU MAY REMOVE FLOATABLES AND HYDROCARBONS THROUGH THE 6-INCH OIL INSPECTION PORT. MATERIALS REMOVED SHALL BE DISPOSED OF AT AN APPROVED WASTE MANAGEMENT FACILITY.
- VEGETATION SHALL BE MAINTAINED TO A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE STRUCTURE.
- VISIBLE SIGNS OF DETERIORATION OF THE STRUCTURE SHALL BE REPAIRED AS SOON AS POSSIBLE.
- ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER, OR THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.

WATER QUALITY POND MAINTENANCE SCHEDULE

- THE FACILITY SHALL BE INSPECTED TWICE ANNUALLY - MARCH AND SEPTEMBER. VISUAL INSPECTION OF ALL COMPONENTS SHALL BE COMPLETED BY THE OWNER. ALL DRAINS SHALL BE OPENED BY THE OWNER ONCE A YEAR. THE OWNER SHALL KEEP NOTES OF EACH INSPECTION.
- GRASS AREAS SHALL BE MAINTAINED BY MOWING, LIMING AND FERTILIZING, AS A MINIMUM ONCE A YEAR. MOWING SHALL BE PERFORMED EVERY TWELVE (12) INCHES TALL.
- VEGETATION SHALL BE MAINTAINED TO A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE STRUCTURE. VEGETATION SHALL BE MAINTAINED TO A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE STRUCTURE.
- VEGETATION SHALL BE MAINTAINED TO A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE STRUCTURE.
- ALL APURTANCES SHALL BE KEPT FREE OF TRASH.
- VISIBLE SIGNS OF DETERIORATION OF THE RISER, BARREL AND EMERGENCY SPILLWAY SHALL BE REPAIRED AS SOON AS POSSIBLE.
- SOIL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER, OR THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.

SEQUENCE OF CONSTRUCTION

- SEE THE SEWERY AND EROSION CONTROL PLANS FOR THE TUNING OF CONVERSION OF THE EXISTING SEDIMENT BASIN TO THE WATER QUALITY FACILITY AND FOR THE ELIMINATION OF EXISTING SEDIMENT BASIN #2 AND CONSTRUCTION OF UNDERGROUND FACILITY #2.
- AS SHOWN ON THESE PLANS, THE CONVERSION OF THE WATER QUALITY FACILITY SHALL BE PERFORMED AS FOLLOWS:
 - REMOVING ALL EXISTING SEDIMENT AND EROSION CONTROL PLANS AND DE-WATER THE FACILITY.
 - RECONSTRUCTION OF THE UNDERGROUND DETENTION FACILITY #1.
 - UPON COMPLETION OF CONSTRUCTION OF UNDERGROUND FACILITY #1, ALL DRAINAGE SHALL BE DIVERTED DIRECTLY TO THE UNDERGROUND FACILITY.
 - RECONSTRUCTION OF THE UNDERGROUND DETENTION FACILITY #2.
 - UPON COMPLETION OF CONSTRUCTION OF THE FINAL WATER QUALITY FACILITY, THE SUMP PIT SHALL REMAIN UNTIL ALL GRADING OF THE POND HAS BEEN COMPLETED AND STABILIZATION OF THE FACILITY IS IMMINENT.
 - THE RISER AND DE-WATERING DEVICE SHALL BE MONITORED AS REQUIRED.
 - ALL EXISTING UNDERGROUND FACILITIES SHALL BE STABILIZED THE INFLOW STRUCTURES SHALL BE FINIALIZED TO ALLOW FLOW INTO THE FACILITY.
 - THE UNDERGROUND PIPE DETENTION FACILITIES SHALL BE CONSTRUCTED AS FOLLOWS:
 - EXCAVATE TO THE REQUIRED DEPTH AND PLACE THE 6" SAND BEDDING FOLLOWED BY THE FILTER FABRIC.
 - BEGIN PLACEMENT OF THE DETENTION PIPES WHILE SIMULTANEOUSLY CONSTRUCTING THE RELEASE STRUCTURE AND PLACING THE FILTER FABRIC.
 - ONCE THE PIPES HAVE BEEN PLACED AND THE Voids FILLED TO THE DESIGN ELEVATION THE FILTER FABRIC SHALL BE FOLDED OVER THE FACILITY AND THE FACILITY IS TO BE SEALED WITH A MINIMUM OF 2" OVERLAPS OF THE FABRIC.
 - ANY FILL PLACED OVER THE FACILITY SHALL BE COMPACTED TO SUB-GRADE.

NOTE: ALL PUBLIC WATER & UTILITY EASEMENTS, PRIVATE SEWER EASEMENTS, PRIVATE STORM DRAIN EASEMENTS, PRIVATE STORM WATER MANAGEMENT EASEMENTS AND PRIVATE RETAINING WALL EASEMENTS SEE PN 19052-53 & PN 19057-58 - F-07-131, F-07-132.

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR CHECKED BY ME OR AN ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NUMBER 16577, EXPIRATION DATE 08-01-2007, 08/01/2014



CPV FACILITIES MAINTENANCE SCHEDULE

- THE FACILITIES SHALL BE INSPECTED MONTHLY. VISUAL INSPECTION OF ALL COMPONENTS SHALL BE COMPLETED BY THE OWNER. THE OWNER SHALL KEEP NOTES OF EACH INSPECTION.
- THE FACILITY SHALL BE KEPT FREE OF TRASH INCLUDING ALL AREAS DISCHARGING INTO THE FACILITY DURING AND AFTER RAINFALL.
- CORRECTIVE MAINTENANCE IS REQUIRED ANYTIME A FACILITY DOES NOT DRAIN WITHIN 48 HOURS.
- VEGETATION SHALL BE MAINTAINED TO A MINIMUM OF 12 INCHES ABOVE THE TOP OF THE FACILITY.
- ALL MAINTENANCE SHALL BE REPORTED TO THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS. THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS SHALL BE ADVISED BY THE OWNER, THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.

OWNERS/DEVELOPERS

PARCEL 30 - GLENBRIDGE LLC	5551 OAKLAND MILLS ROAD
PARCEL 31 - GLENBRIDGE LLC	5551 OAKLAND MILLS ROAD
PARCEL 32 - GLENBRIDGE LLC	5551 OAKLAND MILLS ROAD
PARCEL 33 - GLENBRIDGE LLC	5551 OAKLAND MILLS ROAD
PARCEL 34 - GLENBRIDGE LLC	5551 OAKLAND MILLS ROAD
PARCEL 35 - GLENBRIDGE LLC	5551 OAKLAND MILLS ROAD

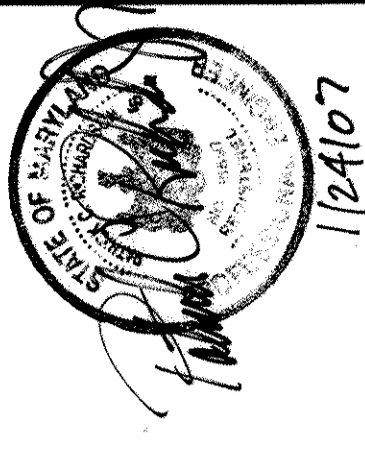
APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
 DATE: 02/04/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION SS
 DATE: 3/14/09
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3/12/09
 DIRECTOR *[Signature]*

DATE: September 12, 2006
 DRAWN: J.D.
 SCALE: AS SHOWN

DATE	REVISION
09-09-08	TO CORRECT SURVEY CONVERSION DATA
	PARKING BLDG. "D" & UTILITIES
	CND
	BY

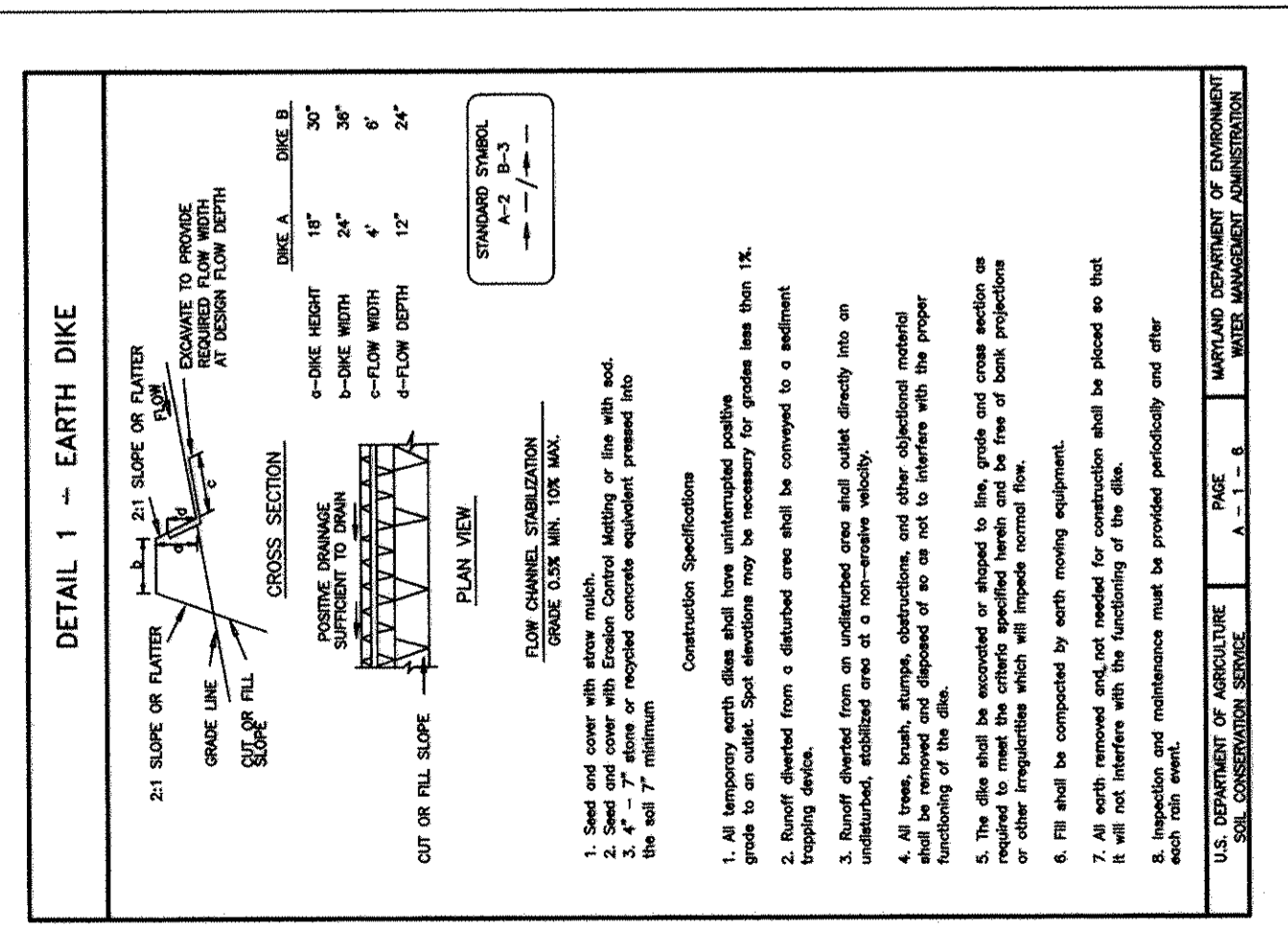
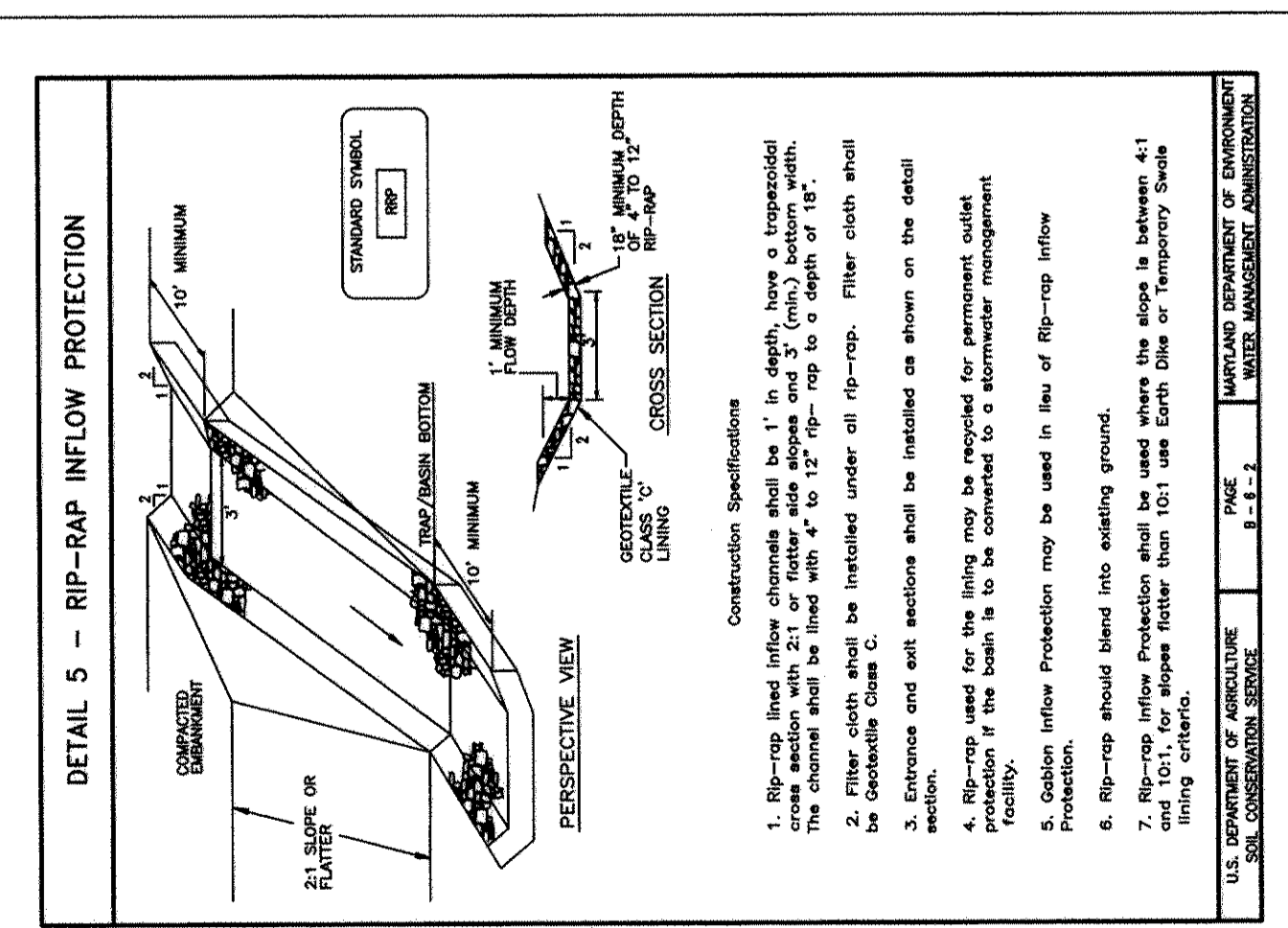
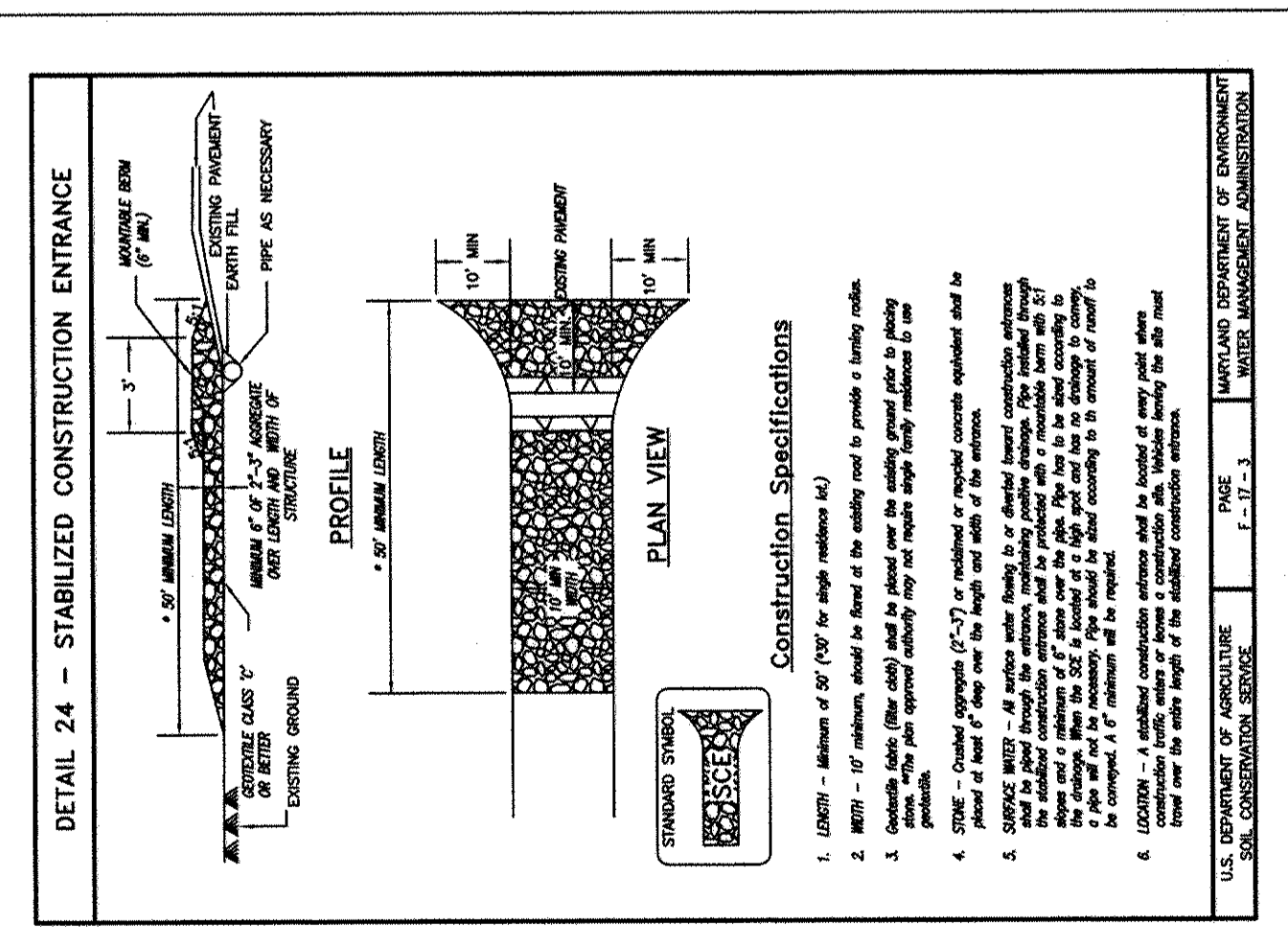
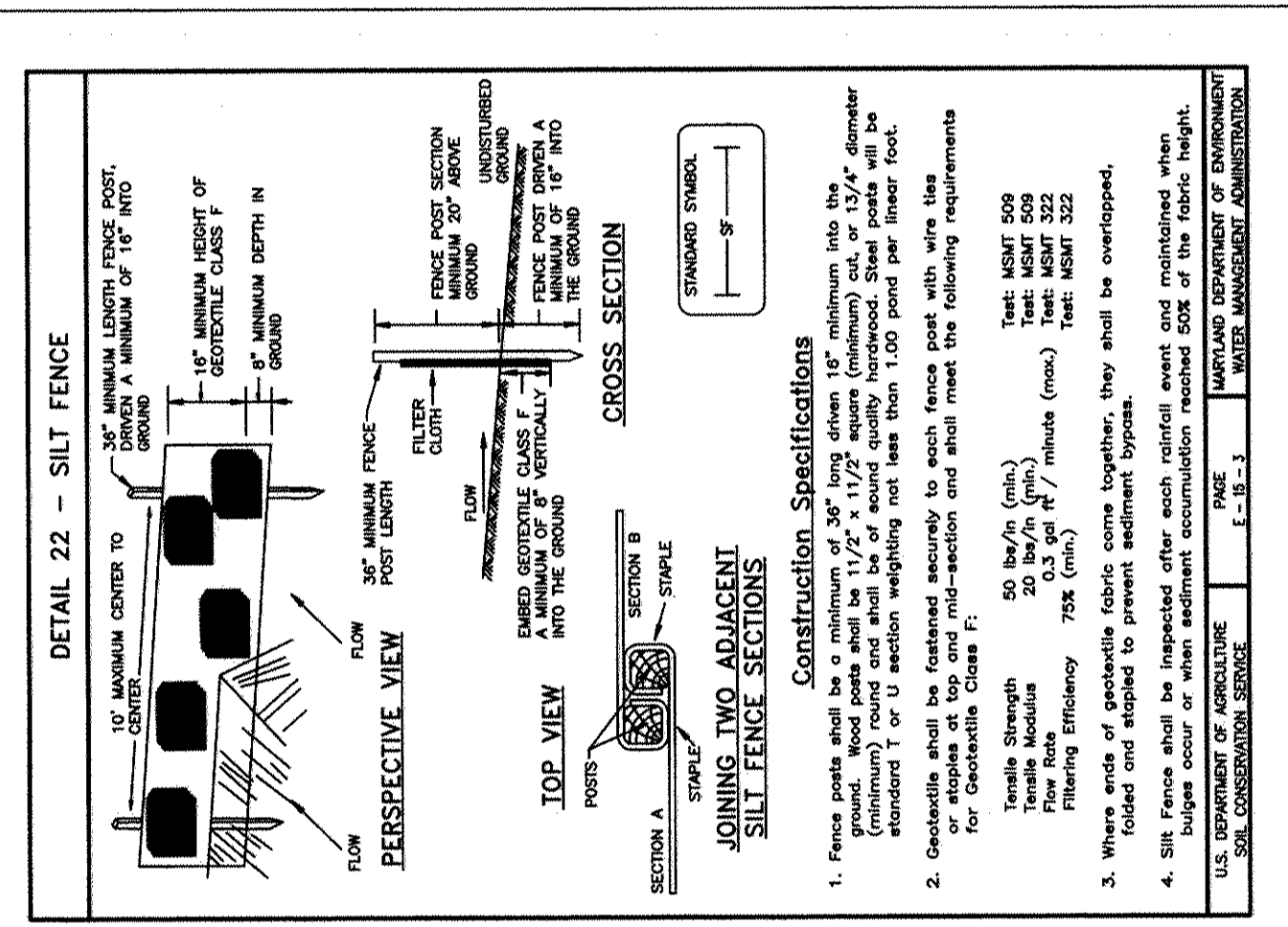
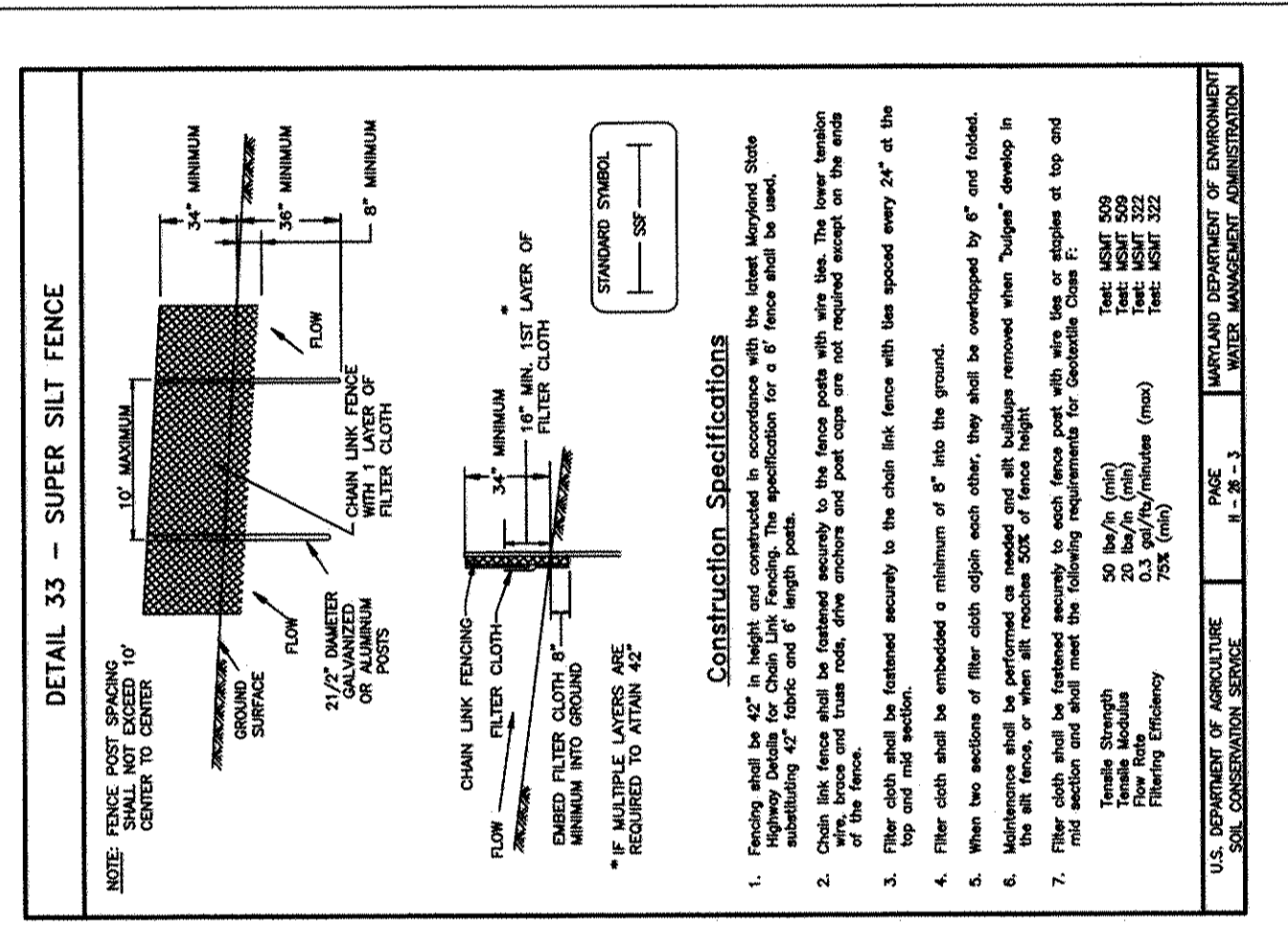
ELKRIDGE-CROSSING-PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 STORMWATER MANAGEMENT PR. DRAINAGE AREA MAP

JURI MAISTE - SITE DESIGN CONSULTANT
 2928 Chennock Avenue, Baltimore, Maryland 21234
 RICHARDSON ENGINEERING, LLC
 30 E. Piedmont Road, Suite 500, Timonium, Maryland 21093
 Phone: 410-661-8752 Fax: 410-661-8758



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE: 3/22/07
 CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE: 6/29/07
 DIRECTOR *[Signature]* DATE: 6/29/07

Reviewed for Howard SCD and meets Technical Requirements
[Signature] Date: 4/4/07
 This development plan is approved for soil erosion and sediment control by the
 Howard Soil Conservation District.
[Signature] Date: 4/19/07
 JMDA - Natural Resources/Conservation Service



OWNERS/DEVELOPERS
 PARCEL 30 -
 GWENRIDGE LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 38 -
 SEVEN MOUNTAINS LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 GLENFLOE LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045

SEDIMENT CONTROL NOTES

- THE CONTRACTOR/OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. NO FURTHER CONSTRUCTION ACTIVITY SHALL TAKE PLACE UNTIL ALL REQUIRED PERMITS HAVE BEEN OBTAINED.
- THE LIMITS OF DISTURBANCE SHALL BE CLEARLY DELINEATED IN THE SPECIFICATIONS OF THE SITE TO BE AVOIDED.
- NO WORK BEYOND LIMITS OF DISTURBANCE IS TO BE ALLOWED.
- ALL SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY. UPON COMPLETION OF INSTALLATION OF PERMETER SEDIMENT CONTROL PRACTICES, THE SITE MUST BE INSPECTED BY DPW. NO ADDITIONAL CONSTRUCTION ACTIVITY WILL BE AUTHORIZED WITHOUT THE APPROVAL OF DPW.
- ALL POINTS OF INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF MUD INTO PUBLICWAYS. DURING CONSTRUCTION, EVERY MEANS WILL BE TAKEN TO CONTROL SOIL EROSION AND SILTATION. IF NECESSARY, A WASH RACK MAY NEED TO BE ESTABLISHED.
- EARTH DIKES, SEDIMENT TRAPS AND MULCH ARE TO BE INSTALLED AS SHOWN ON THESE DRAWINGS. FIELD CHANGES TO THESE SPECIFICATIONS ARE TO BE APPROVED BY THE SITE INSPECTOR PRIOR TO INSTALLATION. MAJOR CHANGES TO THE APPROVED PLAN WILL REQUIRE REAPPROVAL BY THE HOWARD SOIL CONSERVATION DISTRICT.
- SEVEN CALENDAR DAYS ON SLOPES GREATER THAN 3:1 AND ALL WATERWAYS, AND TO THE SURFACE OF ALL PERMETER CONTROLS. DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS OF THE PROJECT SITE.
- SEDIMENT TRAPS/BASINS SHALL BE BUILT TO DESIGN SPECIFICATIONS SHOWN. IF THE BASIN IS TO BE USED AS A FUTURE SWM POND, THE BASIN WILL BE BUILT IN ACCORDANCE WITH THE LATEST MD-378 SPECIFICATIONS. SPECIFIED MATERIALS MUST BE USED. NO CHANGES OR MODIFICATIONS WILL BE MADE WITHOUT WRITTEN AUTHORIZATION OF THE HOWARD SOIL CONSERVATION DISTRICT.
- TEMPORARY FENCING SHALL BE PLACED AROUND ALL SEDIMENT BASINS, TRAPS, AND PONDS DURING CONSTRUCTION AND SITE GRADING.
- AT THE END OF EACH WORKING DAY ALL SEDIMENT CONTROL PRACTICES WILL BE INSPECTED AND LEFT OPERATIONAL. A WEEKLY LOG WILL BE KEPT IN ACCORDANCE WITH NO/IMPDES REGULATIONS. A COPY OF THE APPROVED SEDIMENT CONTROL PLANS SHALL BE AVAILABLE AT THE SITE AT ALL TIMES.
- CUT AND/OR FILL SHALL BE DONE IN CONFORMANCE WITH 1994 EROSION AND SEDIMENT CONTROL SPECIFICATIONS.
- SURFACE FLOWS OVER CUTS AND FILL SLOPES SHALL BE CONTROLLED BY EITHER REDIRECTING FLOWS FROM TRAVELING THE SLOPES OR BY INSTALLING MECHANICAL DEVICES TO SAFELY CONVEY WATER DOWN SLOPES WITHOUT CAUSING EROSION.
- OFF-SITE WASTE OR BORROW AREAS SHALL HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN PRIOR TO THE IMPORT OR EXPORT OF MATERIAL TO THE PROJECT SITE.
- ALL MATERIAL ORIGINATING FROM THE DEVELOPMENT OF THE PROPERTY AND DEPOSITED ON THE PUBLIC RIGHT-OF-WAY SHALL BE IMMEDIATELY REMOVED.
- STORM DRAIN SPECIFICATIONS AND OUTLETS SHALL BE PROTECTED PER 1994 EROSION AND SEDIMENT CONTROL SPECIFICATIONS.
- TOPSOILING, LIMING, FERTILIZING, SEEDING, MULCHING, SADDLING, ETC. ARE ALL ESSENTIAL PARTS OF SEDIMENT CONTROL AND MUST BE COMPLETED ALONG WITH ALL OTHER PRACTICES.
- TRAPMENTS TO BE REMOVED SHALL BE AS PER THE 1994 EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS.
- PRIOR TO REMOVAL OR CONVERSION OF SEDIMENT BASINS TO SWM FACILITIES, THE STORM DRAINS WILL BE FISHED.
- SEDIMENT CONTROL PRACTICES WILL BE MAINTAINED UNTIL ALL DISTURBED AREAS FOR WHICH PRACTICES ARE REQUIRED HAVE BEEN RESTORED TO ORIGINAL CONDITION. SEDIMENT CONTROL PRACTICES MAY BE REMOVED ONLY WITH THE AUTHORIZATION OF DPW. ALL DISTURBED AREAS RESULTING FROM THE REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE STABILIZED IMMEDIATELY, REMOVED PRIOR TO INSPECTOR APPROVAL CONSTITUTES A VIOLATION.

Permanent Seeding Summary

No.	Species	Application Rate (lb/acre)	Seeding Method	Fertilizer Rate (lb/acre)		Fertilizer Rate (lb/acre)
				10-30-30	10-30-30	
1	PERMANENT SEEDING (10-30-30)	150	4" x 4" x 4"	150	150	150
2	PERMANENT SEEDING (10-30-30)	110	4" x 4" x 4"	110	110	110

Temporary Seeding Summary

No.	Species	Application Rate (lb/acre)	Seeding Method	Fertilizer Rate (lb/acre)		Fertilizer Rate (lb/acre)
				10-30-30	10-30-30	
1	TEMPORARY SEEDING (10-30-30)	140	4" x 4" x 4"	140	140	140
2	TEMPORARY SEEDING (10-30-30)	80	4" x 4" x 4"	80	80	80
3	TEMPORARY SEEDING (10-30-30)	30	4" x 4" x 4"	30	30	30

SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT

- SITE PREPARATION
- STABILIZE AS PER STANDARD RESPONSIBILITY NOTE #3.
- TEMPORARY PERMETER DIKES AND SILT TRAPS, ETC., ARE TO BE PROVIDED AS PER THIS PLAN PRIOR TO GRADING OPERATIONS WITH LOCATION ADJUSTMENTS TO BE MADE IN THE FIELD AS NECESSARY AND TO BE MAINTAINED AT THE END OF THE WORKING DAY. THE MINIMUM AREA PRACTICAL SHALL BE DISTURBED FOR THE MINIMUM AMOUNT OF TIME POSSIBLE.
- PERMANENT SEEDING:
 - AREA TO BE SEEDING SHALL BE LOOSE AND FRAGILE TO A DEPTH OF AT LEAST 3" IN ORDER TO BE LOOSEENED BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING OCCURS. APPLY 2 TONS OF DOLOMITIC LIMESTONE AND 1,000 POUNDS OF 10-20-20 FERTILIZER PER ACRE. HARROW OR DISK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF AT LEAST 3" INCHES ON SLOPES FLATTER THAN 3:1. NO ATTEMPT SHOULD BE MADE TO DRAG ANY DISKED AREA TO MAKE THE SOIL SURFACE SMOOTH AFTER DISKING.
 - SEEDING: APPLY THE FOLLOWING SEED MIXTURES BETWEEN 1 FEBRUARY AND 31 OCTOBER: KENTUCKY 31 TALL FESCUE 100 POUNDS PER ACRE, RED TOP 15 POUNDS PER ACRE, SERICA LESPEDEZA 30 POUNDS PER ACRE ANNUAL RYE GRASS 25 POUNDS PER ACRE, CRYSTAL BROMUS 15 POUNDS PER ACRE, UNIFORM 60 100 POUNDS PER ACRE, CYCLONE SEED DRILL, CULTIPACKER, SEEDER OR HYDROSEEDER (SLURRY INCLUDES SEEDS AND FERTILIZER. RECOMMENDED ON SLOPES ONLY). MAXIMUM SEED DEPTH SHOULD BE 1/4" IN CLAYEY SOILS AND 1/2" IN SANDY SOILS WHEN USING OTHER THAN THE HYDROSEEDER METHOD. IRRIGATE IF SOIL MOISTURE IS DEFICIENT TO SUPPORT ADEQUATE GROWTH. UNTIL VEGETATION IS FIRMLY ESTABLISHED.
 - MULCHING: MULCH SHALL BE UNCHOPPED, UNROTTED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE FREE OF PROHIBITED NOXIOUS WEEDS.
 - GUARANTEED PERMANENT VEGETATIVE STABILIZATION OF ALL AREAS AFFECTED BY THE EXECUTION OF THIS CONTRACT IS REQUIRED. AREAS NOT STABILIZED WITH A VIABLE STAND OF PERMANENT VEGETATIVE COVER MUST BE OVERSEEDED, LIMED AND FERTILIZED AND, IF NECESSARY, STRAW MULCHED AND TACKED BY NO LATER THAN THE FOLLOWING GROWING SEASON FOLLOWING INITIAL STABILIZATION EFFORTS.
- TEMPORARY SEEDING:
 - 150 POUNDS OF DOLOMITIC LIMESTONE PER 1,000 SQUARE FEET
 - FERTILIZER PERMIXTURE 10-30-30 PER 1,000 SQUARE FEET
 - SEED: PERMANENT SEEDING 10-30-30 PER 1,000 SQUARE FEET
 - FERTILIZER PERMIXTURE 10-30-30 PER 1,000 SQUARE FEET
 - MILLET - 0.92 POUNDS PER 1,000 SQUARE FEET (MAY 1 THROUGH AUGUST 15)
- NO FILLERS WILL BE PLACED ON FROZEN GROUND. ALL FILL TO BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS. EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8". ALL FILL IN ROADWAYS AND PARKING AREAS IS TO BE COMPACTED TO 90% DENSITY; COMPACTION TO BE DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR). ANY FILL WITHIN BUILDING AREA IS TO BE COMPACTED TO A MINIMUM OF 95% AS DETERMINED BY METHODS PREVIOUSLY MENTIONED. ALL OTHER FILLERS SHALL BE COMPACTED SUFFICIENTLY SO AS TO BE STABLE AND PREVENT EROSION AND SLIPPAGE.
- PERMANENT SOD:
 - BE KENTUCKY 31 TALL FESCUE, STATE APPROVED SOD; LIME AND FERTILIZE PER PERMANENT SEEDING SPECIFICATIONS AND LIGHTLY BRIGATE SOIL PRIOR TO LAYING SOD. SOD IS TO BE LAID ON THE CONTOUR WITH ALL ENDS TIGHTLY SHUTTING. JOINTS ARE TO BE STAGGERED BETWEEN ROWS. WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH THE SOIL. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE APPLIED ON FROZEN GROUND.
- PERMANENT SOD:
 - BE KENTUCKY 31 TALL FESCUE, STATE APPROVED SOD; LIME AND FERTILIZE PER PERMANENT SEEDING SPECIFICATIONS AND LIGHTLY BRIGATE SOIL PRIOR TO LAYING SOD. SOD IS TO BE LAID ON THE CONTOUR WITH ALL ENDS TIGHTLY SHUTTING. JOINTS ARE TO BE STAGGERED BETWEEN ROWS. WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH THE SOIL. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE APPLIED ON FROZEN GROUND.

TOPSOIL SPECIFICATIONS

- OBTAIN GRADING PERMIT, NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, PERMITS AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
 - 410-313-2455.
 - INSPECT SEDIMENT CONTROLS INSTALLED AS PART OF PHASE 1 (SDP 04-17) TO ASSURE THEY ARE IN GOOD WORKING ORDER AND INSTALLED AT LOCATION SHOWN ON PLAN. (2 DAYS)
 - BEGIN CONSTRUCTION OF PHASE 2 WORK AS SHOWN ON THE PLANS. EACH AREA CAN BE WORKED INDEPENDENTLY EXCEPT AS NOTED IN THE SEQUENCE(S).
 - BUILDING E (150 DAYS)
 - INSTALL SUPER SILT FENCE PER PHASE 2 PLAN.
 - CONSTRUCT PROPOSED UTILITY CONNECTIONS AND INSTALL STORM DRAIN FROM MAIN TO TEMPORARY INLET AT M-41 LOCATION.
 - DEWATER AND REMOVE SEDIMENT BASIN #2 WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR.
 - BEGIN BUILDING CONSTRUCTION.
 - FINE GRADE AND STABILIZE ALL AREAS.
 - INSTALL PAVING SUBGRADE FOR PARKING LOT.
 - PAVE ROADS AND PARKING AREAS AND INSTALL SIDEWALKS.
 - SEED AND MULCH ALL DISTURBED AREAS.
 - TOWNHOUSES 11-14. (120 DAYS)
 - INSTALL PROPOSED SUPER SILT FENCE PER PHASE 2 PLAN.
 - CONSTRUCT PROPOSED UTILITY CONNECTIONS.
 - INSTALL STORM DRAINS AND BEGIN HOUSE CONSTRUCTION.
 - FINE GRADE AND STABILIZE ALL AREAS.
 - INSTALL SUBBASE IN PAVED AREAS.
 - PAVE ROADS AND PARKING AREAS AND INSTALL SIDEWALKS.
 - SEED AND MULCH ALL DISTURBED AREAS.
 - TOWNHOUSES 15-16. (120 DAYS)
 - CONSTRUCT PROPOSED UTILITY CONNECTIONS AND MAINS.
 - INSTALL STORM DRAINS AND BEGIN HOUSE CONSTRUCTION.
 - FINE GRADE AND STABILIZE ALL AREAS.
 - INSTALL SUBBASE IN PAVED AREAS.
 - PAVE ROADS AND PARKING AREAS AND INSTALL SIDEWALKS.
 - SEED AND MULCH ALL DISTURBED AREAS.
 - BUILDINGS B-3 & B-4 (120 DAYS)
 - CONSTRUCT PROPOSED UTILITY CONNECTIONS.
 - BEGIN BUILDING CONSTRUCTION.
 - FINE GRADE AND STABILIZE ALL AREAS.
 - INSTALL SIDEWALKS.
 - SEED AND MULCH ALL DISTURBED AREAS.
 - ONCE THE 4 AREAS HAVE BEEN STABILIZED AND THE UNDERGROUND PIPE STORAGE SYSTEM HAS BEEN INSTALLED, THEN CONVERT THE SEDIMENT BASIN #1 TO PERMANENT STORMWATER MANAGEMENT FACILITY PER THE SEQUENCE INCLUDED IN THE STORMWATER MANAGEMENT PLANS INCLUDED IN THIS SDP. (180 DAYS)
 - BUILDING D (120 DAYS)
 - INSTALL SILT FENCE PER PHASE 2 PLAN.
 - CONSTRUCT PROPOSED UTILITY CONNECTIONS. CONSTRUCT TEMPORARY STORM DRAIN FROM M-16 TO S-1.
 - BEGIN BUILDING CONSTRUCTION AND CONSTRUCT Cpv FACILITY.
 - FINE GRADE AND STABILIZE ALL AREAS.
 - INSTALL PAVING SUBGRADE AND SIDEWALKS.
 - PAVE ROADS AND PARKING AREAS AND INSTALL SIDEWALKS.
 - SEED AND MULCH ALL DISTURBED AREAS.
 - FINE GRADE REMAINING AREAS AND PROVIDE PERMANENT STABILIZATION. (8 DAYS)
 - REMOVE SEDIMENT CONTROL MEASURES WITH APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (SEE NOTE)
 - STABILIZE AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL MEASURE REMOVAL.
- NOTE: SEDIMENT CONTROL BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS S.D.P. 04-17 AND GOOD PRACTICE. PRIOR TO STARTING WORK ON THIS PHASE OF CONSTRUCTION, THE SEDIMENT BASIN #1 SHALL NOT BE CONVERTED FOR STORMWATER MANAGEMENT UNTIL THE COMPLETION OF PHASE II. BASIN #2 SHALL NOT BE REMOVED UNTIL THE CONTRIBUTING AREA IS PERMANENTLY STABILIZED.

SEQUENCE OF OPERATIONS

- OBTAIN GRADING PERMIT, NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, PERMITS AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE.
 - 410-313-2455.
 - INSPECT SEDIMENT CONTROLS INSTALLED AS PART OF PHASE 1 (SDP 04-17) TO ASSURE THEY ARE IN GOOD WORKING ORDER AND INSTALLED AT LOCATION SHOWN ON PLAN. (2 DAYS)
 - BEGIN CONSTRUCTION OF PHASE 2 WORK AS SHOWN ON THE PLANS. EACH AREA CAN BE WORKED INDEPENDENTLY EXCEPT AS NOTED IN THE SEQUENCE(S).
 - BUILDING E (150 DAYS)
 - INSTALL SUPER SILT FENCE PER PHASE 2 PLAN.
 - CONSTRUCT PROPOSED UTILITY CONNECTIONS AND INSTALL STORM DRAIN FROM MAIN TO TEMPORARY INLET AT M-41 LOCATION.
 - DEWATER AND REMOVE SEDIMENT BASIN #2 WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR.
 - BEGIN BUILDING CONSTRUCTION.
 - FINE GRADE AND STABILIZE ALL AREAS.
 - INSTALL PAVING SUBGRADE FOR PARKING LOT.
 - PAVE ROADS AND PARKING AREAS AND INSTALL SIDEWALKS.
 - SEED AND MULCH ALL DISTURBED AREAS.
 - TOWNHOUSES 11-14. (120 DAYS)
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 - CONSTRUCT PROPOSED UTILITY CONNECTIONS. CONSTRUCT TEMPORARY STORM DRAIN FROM M-16 TO S-1.
 - BEGIN BUILDING CONSTRUCTION AND CONSTRUCT Cpv FACILITY.
 - FINE GRADE AND STABILIZE ALL AREAS.
 - INSTALL PAVING SUBGRADE AND SIDEWALKS.
 - PAVE ROADS AND PARKING AREAS AND INSTALL SIDEWALKS.
 - SEED AND MULCH ALL DISTURBED AREAS.
 - FINE GRADE REMAINING AREAS AND PROVIDE PERMANENT STABILIZATION. (8 DAYS)
 - REMOVE SEDIMENT CONTROL MEASURES WITH APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (SEE NOTE)
 - STABILIZE AREAS DISTURBED AS A RESULT OF SEDIMENT CONTROL MEASURE REMOVAL.
- NOTE: SEDIMENT CONTROL BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS S.D.P. 04-17 AND GOOD PRACTICE. PRIOR TO STARTING WORK ON THIS PHASE OF CONSTRUCTION, THE SEDIMENT BASIN #1 SHALL NOT BE CONVERTED FOR STORMWATER MANAGEMENT UNTIL THE COMPLETION OF PHASE II. BASIN #2 SHALL NOT BE REMOVED UNTIL THE CONTRIBUTING AREA IS PERMANENTLY STABILIZED.

DATE: September 12, 2009	SCALE: NTS
DRAWN: CND	

ELKRIDGE-CROSSING-PHASE TWO
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SED. & EROSION CONTROL NOTES

JURI MAISTE - SITE DESIGN CONSULTANT
2928 Chenoweth Avenue, Baltimore, Maryland 21294
Phone: 410-661-8753 Fax: 410-661-8752
RICHARDSON ENGINEERING, LLC
30 F. Richardson Road, Suite 500, Timonium, Maryland 21093
Phone: 410-560-1502 Fax: 443-901-1208

SHEET 30 OF 35
SDP-06-07B

- MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION 313-1855.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A) 7 CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING. SOIL MULCH CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 - TOTAL AREA OF SITE 1,118,532 SF / 25,678 AC.
 - AREA DISTURBED 349,135 SF / 8.038 AC.
 - ROOFED OR PAVED 803,415 SF / 18,421 AC.
 - VEGETATIVELY STABILIZED 148,000 CU. YDS
 - TOTAL FILL 148,000 CU. YDS
 - OFFSITE WASTE/BORROW AREA LOCATION
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER STRUCTURES. PERMITS MUST BE OBTAINED PRIOR TO BEGINNING ANY WORK OF EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

Reviewed for Howard SOI and meets Technical Requirements
Juri Maiste
USDA - Natural Resources Conservation Service
Date 4/4/07
This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
Juri Maiste
USDA - Natural Resources Conservation Service
Date 4/4/07

ENGINEER'S CERTIFICATE
I, CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Juri Maiste
1/24/07
SIGNATURE OF ENGINEER (Print name below signature) DATE

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL BE TRAINED IN THE CONSTRUCTION OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
Juri Maiste
1/24/07
SIGNATURE OF DEVELOPER (Print name below signature) DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Juri Maiste
DATE 3/29/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Juri Maiste
DATE 6/29/07
CHIEF, DIVISION OF LAND DEVELOPMENT
Juri Maiste
DATE 6/29/07
DIRECTOR

OWNERS/DEVELOPERS
PARCEL 30 - GLENBRIDGE LLC
5551 OAKLAND MILLS ROAD
COLUMBIA, MD 21045
PARCEL 38 - GLENBRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA, MD 21045
PARCEL 39 - GLENBRIDGE, LLC
5551 OAKLAND MILLS ROAD
COLUMBIA, MD 21045

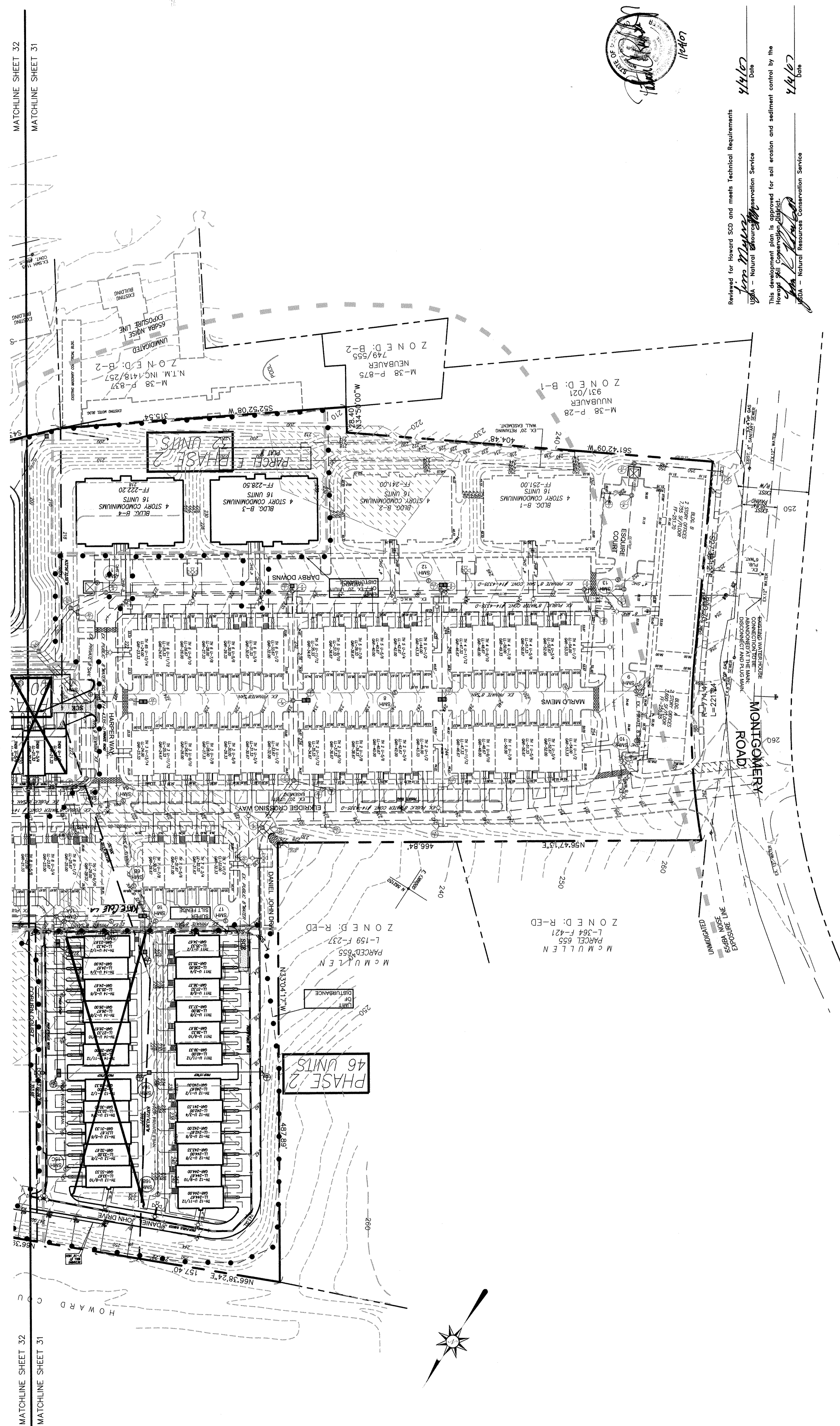
JURI MAISTE - SITE DESIGN CONSULTANT
 2923 Chenook Avenue, Baltimore, Maryland 21234
 Phone: 410-661-8752 Fax: 410-661-8752
 RICHARDSON ENGINEERING, LLC
 30 E. Padonia Road, Suite 500, Timonium, Maryland 21093
 Phone: 410-560-1502 Fax: 443-901-1208

ELKRIDGE-CROSSING-PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SED. & EROSION CONTROL PLAN

DATE: September 12, 2006
 SCALE: 1"=50'
 DRAWN: CND
 REVISION: 11/17/17
 BY: [Signature]

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 9/22/06
 CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 9/29/06
 DIRECTOR: [Signature] DATE: 10/29/07

Reviewed for Howard SCD and meets Technical Requirements
 Date: 4/14/07
 [Signature]
 Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the
 Howard Soil Conservation District.
 Date: 4/14/07
 [Signature]
 Natural Resources Conservation Service



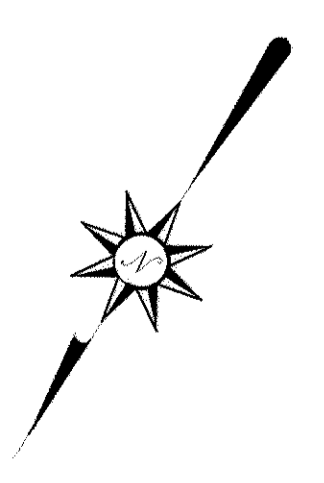
OWNERS/DEVELOPERS
 PARCEL 30
 GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 38
 GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 CHEN RIDGE, LLC
 5501 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045

LEGEND

[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING PAVED AREAS
[Symbol]	EXISTING BUILDING
[Symbol]	PROPOSED PAVING
[Symbol]	PROPOSED CONTOUR
[Symbol]	SILT FENCE
[Symbol]	SUPER SILT FENCE
[Symbol]	LIMIT OF DISTURBANCE

MATCHLINE SHEET 32
 MATCHLINE SHEET 31

MATCHLINE SHEET 32
 MATCHLINE SHEET 31



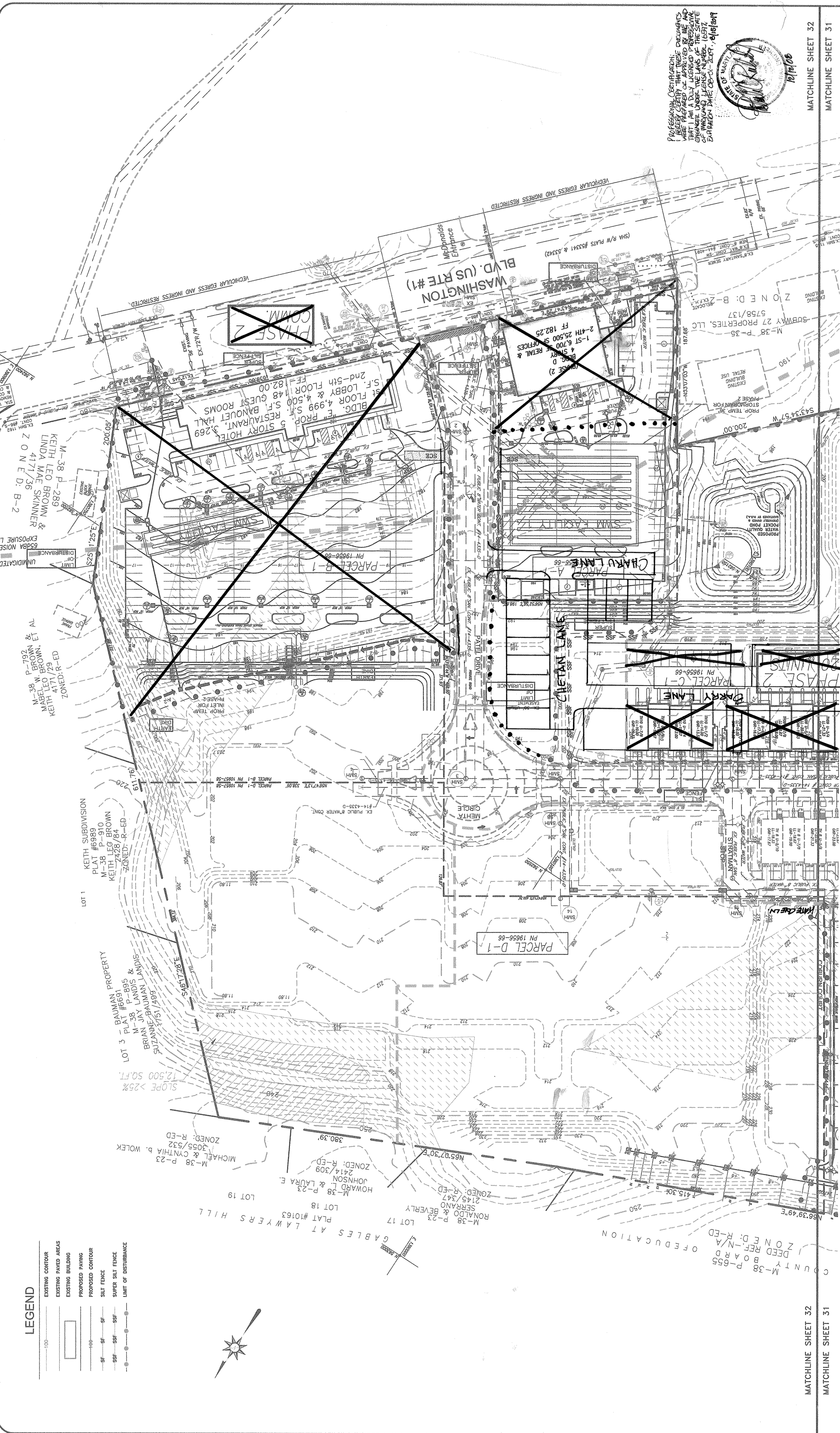
\\085\0852004\04037\Drawings\Sheets\DWG (LAYOUT)

JURI MAISTE - SITE DESIGN CONSULTANT
2933 Chenaqua Avenue, Baltimore, Maryland 21294
Phone: 410-681-8752 Fax: 410-681-8752
RICHARDSON ENGINEERING, LLC
930 E. Patonville Road, Suite 500, Timonium, Maryland 21093
Phone: 410-660-1502 Fax: 443-901-1208

ELKRIDGE-CROSSING-PHASE TWO
PARCELS A-E
TAX MAP 38, GRID 2, PARCELS 30 & 38
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SED. & EROSION CONTROL PLAN

SCALE: 1"=50'
DATE: September 12, 2006
DRAWN: CND

Revision table with columns for DATE, REVISION, and BY.



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED OR APPROVED BY ME AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER 10571 EXPIRATION DATE 08-01-2007

EXISTING FROM SDR 04-17
SEDIMENT BASIN NO. 2
STORAGE VOLUME: 14,877 AC.
EXISTING D.A.: 21.88 AC.
STORAGE RECD.: 53,454 C.F.
WET STORAGE RECD.: 29,800 C.F.
WET STORAGE PROVIDED: 29,800 C.F.
WET STORAGE DEFICIT: 0 C.F.
DRY STORAGE PROVIDED: 27,257 C.F.
DRY STORAGE DEFICIT: 0 C.F.
CLEAN OUT PROVIDED: 13,296 C.F.
CLEAN OUT DEFICIT: 0 C.F.
SIDE SLOPE: 3:1
BARRELL PER SIZE: 30"
STORAGE DEPTH: 4.0' (EMBANKMENT ELEV.)
TOP ELEVATION: 184.0
EX. GROUND AT SPILLWAY: 184
BOTTOM ELEV.: 179

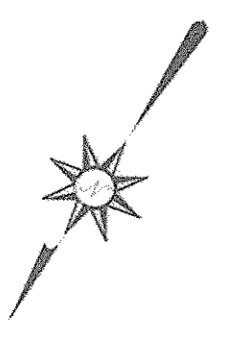
EXISTING FROM SDR 04-17
SEDIMENT BASIN NO. 2
STORAGE VOLUME: 14,877 AC.
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BARRELL PER SIZE: 30"
STORAGE DEPTH: 4.0' (EMBANKMENT ELEV.)
TOP ELEVATION: 184.0
EX. GROUND AT SPILLWAY: 184
BOTTOM ELEV.: 179

OWNERS/DEVELOPERS
PARCEL 30 - SWENRIDGE LLC
5551 OAKLAND MILLS ROAD
COLUMBIA, MD 21045
PARCEL 38 - SWENRIDGE LLC
5551 OAKLAND MILLS ROAD
COLUMBIA, MD 21045

Reviewed toward SCD and meets Technical Requirements
Howard Soil Conservation District
USA - Natural Resources Conservation Service
Date: 10/2/09

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 3/16/09
DATE: 3/16/09
DATE: 3/16/09

LEGEND table with symbols for existing contour, existing paved areas, existing building, proposed paving, proposed contour, silt fence, super silt fence, and limit of disturbance.



MATCHLINE SHEET 32

MATCHLINE SHEET 31

MATCHLINE SHEET 32

MATCHLINE SHEET 31

#	DATE	REVISION
2	3/24/15	LOTS 15-21 & 22-33 TO 36 T41 PER
1	11/12/14	PERKINS TO INSURE WALL ON GRID UNITS
1	11/14/14	TO REJECT AS-BUILT CONDITIONS PER

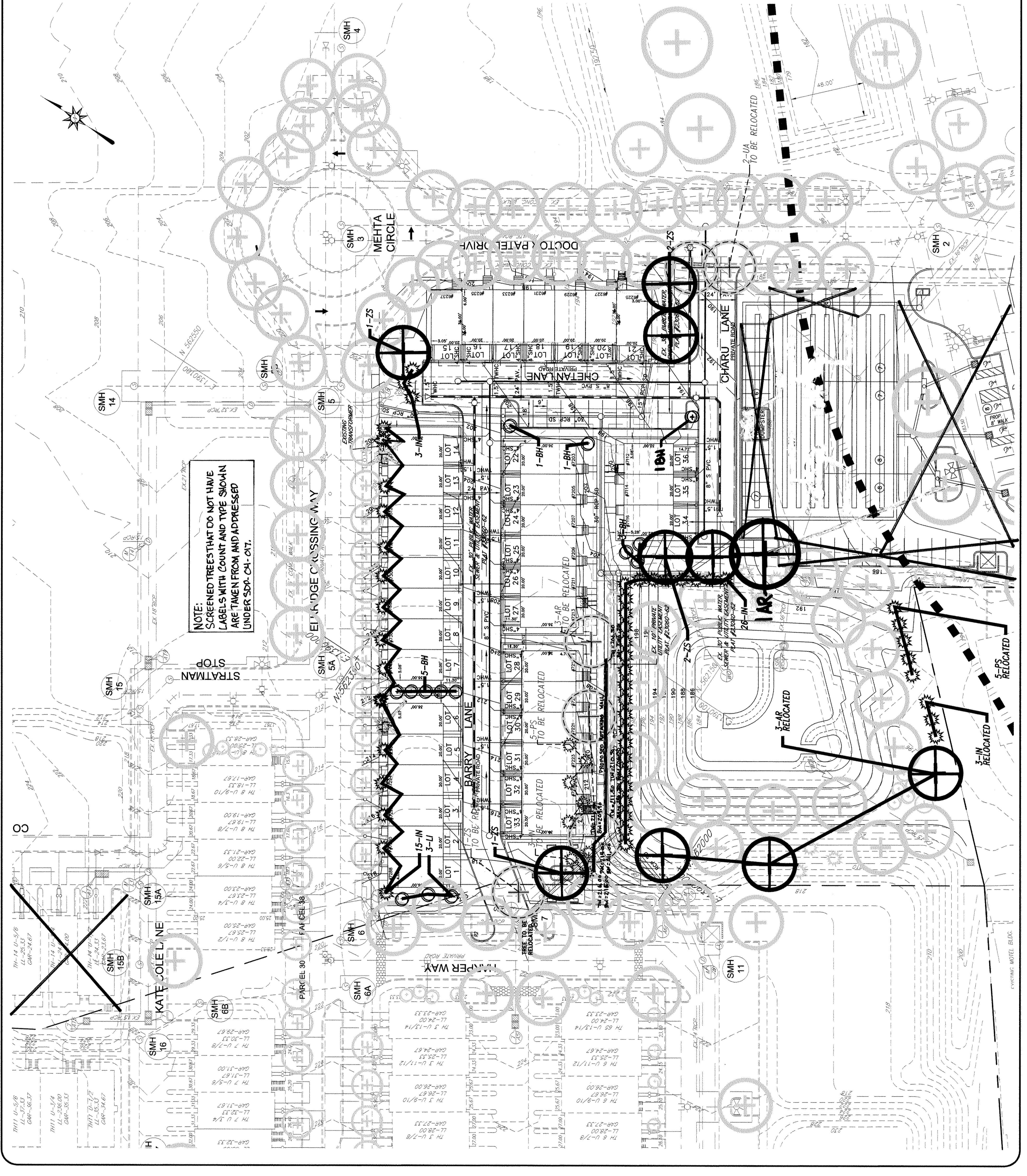
SCALE: 1" = 30'
DATE: 07-21-14
DRAWN: SE



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS
 WERE PREPARED BY ME OR UNDER MY
 SUPERVISION AND I AM A LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE STATE
 OF MARYLAND. LICENSE NUMBER 121714
 EXPIRATION DATE: 08-15-2015, 12/17/14

OWNERS/DEVELOPERS
PARCEL 30 - GWNDRIDGE LLC 5551 OAKLAND MILLS ROAD COLUMBIA, MD 21045
PARCEL 38 - GWNDRIDGE, L.L.C. 5551 OAKLAND MILLS ROAD COLUMBIA, MD 21045
PARCEL 30 & 38 - RICHARDSON ENGINEERING, LLC 5551 OAKLAND MILLS ROAD COLUMBIA, MD 21045

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 12-18-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: *J.P.*
 DATE: 1-05-15
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/5/15
 DIRECTOR: *John L. DeLoyle*

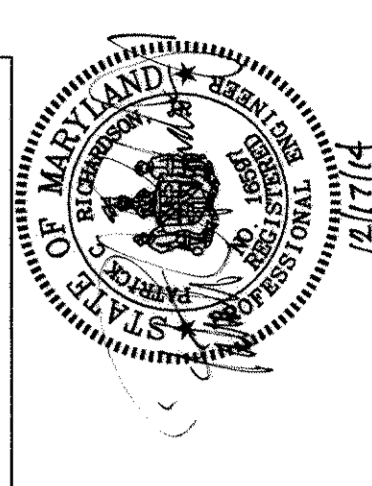


SDP-06-078

ELKRIDGE-CROSSING-PHASE TWO
 PARCELS A-E
 TAX MAP 38, GRID 2, PARCELS 30 & 38
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
UTILITY PLAN - 36 UNITS

DATE	REVISION
11/14/17	TO REFLECT REVISIONS TO RCP
11/12/15	APP REMAINING WALL BY LOTS 26-33 RCP
11/11/15	REVISION TO INSIDE WALL ON GRID LINES
11/11/15	REVISION TO INSIDE WALL ON GRID LINES

SCALE: 1" = 30'
 DATE: 07-21-14
 DRAWN: SE



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS
 WERE PREPARED OR APPROVED BY ME, AND
 THAT I AM A LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE STATE
 OF MARYLAND. LICENSE NUMBER 16597.
 EXPIRATION DATE: 08-15-2015 TO 08-15-2019

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 12-18-14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION J.P.
 DATE: 1-05-15
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1-15-15
 DIRECTOR

OWNERS/DEVELOPERS
 PARCEL 30 -
 GWENRIDGE LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 38 -
 GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045
 PARCEL 30 & 38 -
 GWENRIDGE, LLC
 5551 OAKLAND MILLS ROAD
 COLUMBIA, MD 21045

