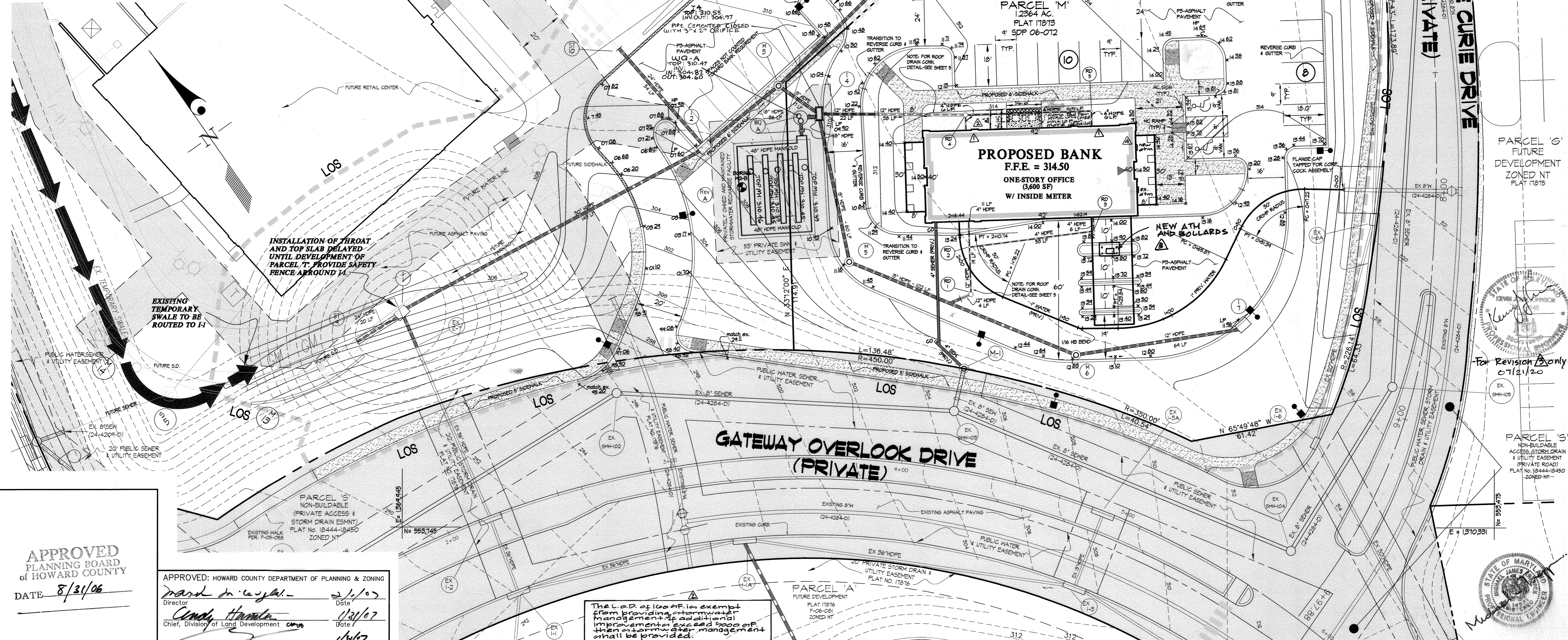
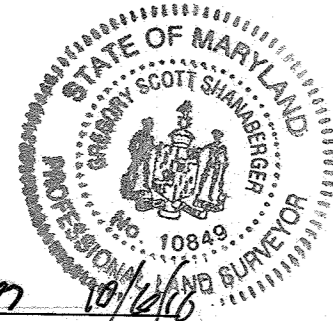


SITE PLAN GENERAL NOTES

1. ALL PAVING IS P-3 PAVEMENT PER DETAIL SHEET-3.
2. ALL PROPOSED UTILITIES SHOWN ARE TO BE PRIVATELY OWNED AND MAINTAINED.
3. ALL PROPOSED GRADING SHOWN IN THE VICINITY OF "EXISTING LANDSCAPING" IS TO BE COORDINATED WITH PAUL CAVANAUGH OF HRD TO AVOID REPLACEMENT/RELOCATION.
4. EXISTING MASS GRADING SHOWN IS PER F-05-056 WITH THE ADDITION OF AS-BUILT INFORMATION PROVIDED BY HRD-GENERAL GROWTH PROPERTIES.
5. THE RECHARGE FACILITY (REV-A) PROVIDES THE REV REQUIREMENT FOR ALL OF PARCELS M, T, AND U.

AS-BUILT
Paul Cavanaugh
 STANABERGEN & LANE
 3726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MARYLAND 21043



INSTALLATION OF THROAT AND TOP SLAB DELAYED UNTIL DEVELOPMENT OF PARCEL T. PROVIDE SAFETY FENCE AROUND IT.

EXISTING TEMPORARY SWALE TO BE ROUTED TO I-1

GATEWAY OVERLOOK DRIVE (PRIVATE)

**PROPOSED BANK
 F.F.E. = 31450
 ONE-STORY OFFICE
 (3,600 SF)
 W/ INSIDE METER**

NEW ATM AND BOLLARDS

**APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY**
 DATE 8/31/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director *Marcin Wojcik* Date 2/1/07
 Chief, Division of Land Development *Cindy Hamilton* Date 1/3/07
 Chief, Development Engineering Division *Chris* Date 1/26/07

The L.O.D. of 100 SF is exempt from providing stormwater management if additional improvements exceed 2000 SF. When on stormwater management shall be provided.

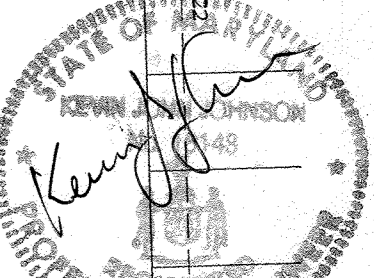
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3609 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
4/15/2011	add new atm	klp	
7/14/2011	new ATM and Bollards	JBA	
10/21/2011	Addition of cone equipment pad in area wall for HVAC units	gt	mjt
8/21/17	Addition of cone equipment leads for HVAC units	mjt	mjt
		BY	APPR.

PREPARED FOR:
 GENERAL GROWTH PROPERTIES
 HOWARD RESEARCH AND DEVELOPMENT CORPORATION
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 PAUL CAVANAUGH
 410-992-6284

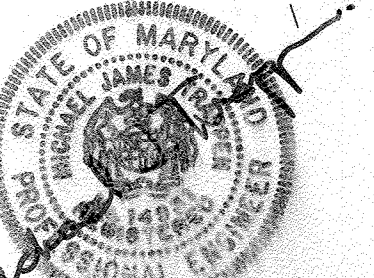
SITE DEVELOPMENT PLAN
**BENSON EAST
 PARCEL M
 & PART OF PARCELS T AND U
 PLAT No. 17873**

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NEW TOWN	05084
DATE	TAX MAP - GRID	SHEET
OCT, 2006	37 - 43	2 OF 9



For Revision Only
 07/21/20

PARCEL 'S'
 NON-BUILDABLE
 ACCESS, STORM DRAIN
 & UTILITY EASEMENT
 (PRIVATE ROAD)
 PLAT No. 18444-18450
 ZONED NT



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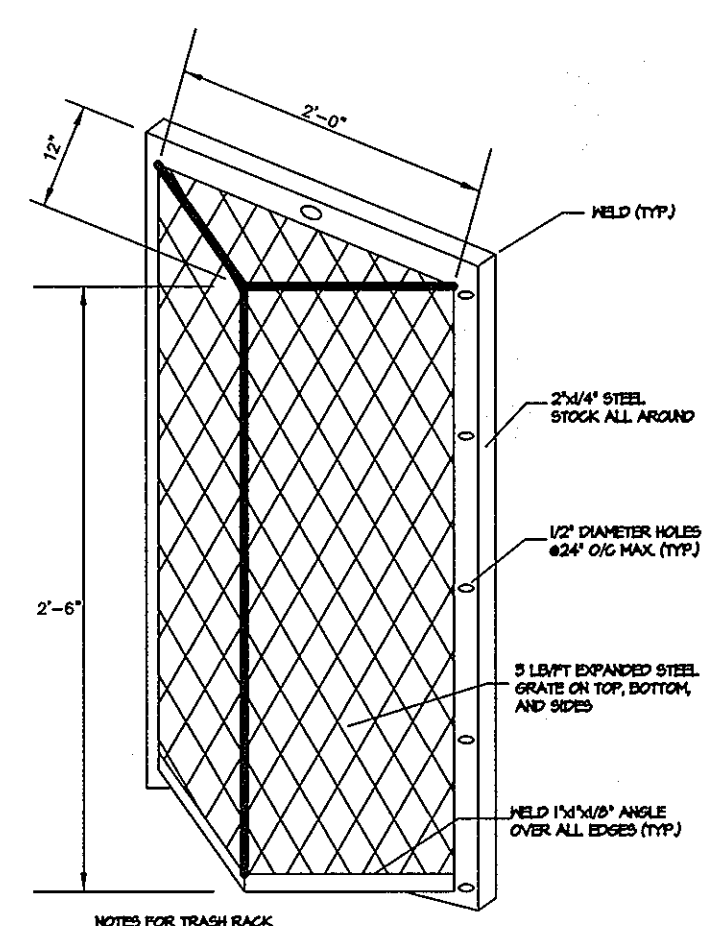
DRAINAGE AREA SUMMARY TABLE

STRUCTURE (No.)	AREAS			COMPOSITE C FACTOR	% IMP. (%)
	TOTAL (acres)	PERVIOUS (acres)	IMPERVIOUS (acres)		
I-1	0.16	0.02	0.14	0.86	85.0
I-2	0.19	0.03	0.16	0.86	85.0
I-4	0.73	0.11	0.62	0.86	85.0
I-7	0.37	0.06	0.31	0.86	85.0
ST-8	0.08	0.00	0.08	0.97	100.0
ST-9	2.29	0.23	2.06	0.90	90.0
ST-10	3.55	0.53	3.02	0.86	85.0
I-11	0.08	0.01	0.07	0.86	85.0
ST-12	0.93	0.14	0.79	0.86	85.0

SITE HAS BEEN MASS GRADED - ALL SOILS ASSUMED 'C'.

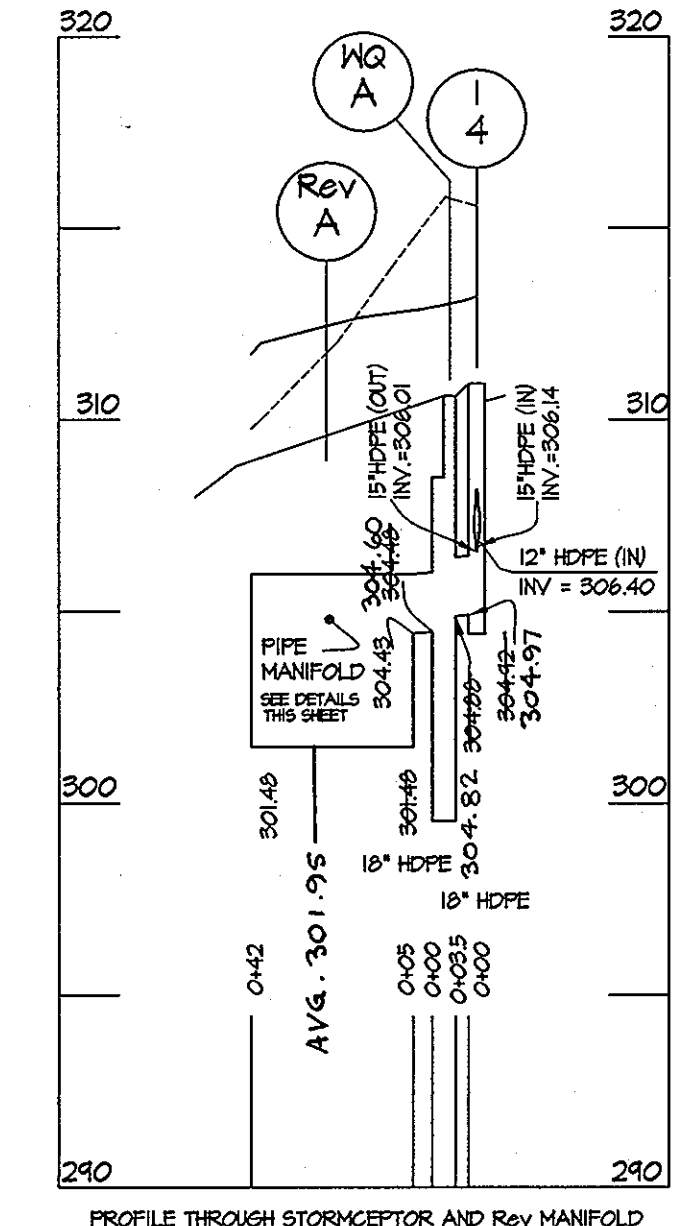


STORM DRAIN DRAINAGE AREA MAP
SCALE: 1" = 50'

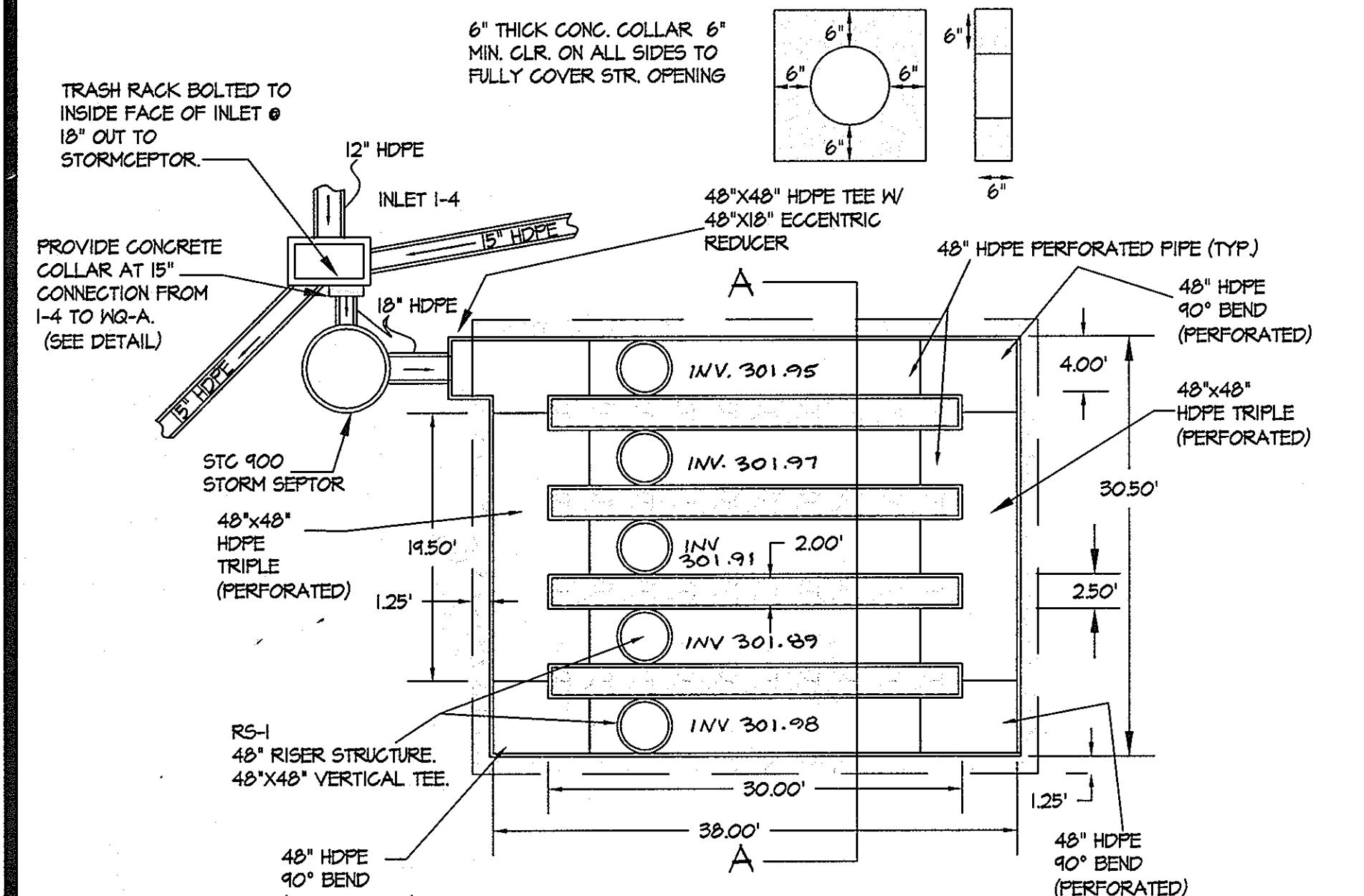


1. TRASH RACK TO BE CENTERED OVER OPENING.
2. STEEL TO CONFORM TO ASTM A-36.
3. ALL SURFACES TO BE COATED WITH ZINC OXIDE GALVANIZING COMPOUND AFTER WELDING.
4. TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2" MASONRY ANCHORS. TRASH RACK TO BE REMOVABLE.

DETAIL FOR TRASH RACK PROTECTION FOR STRUCTURES I-4
NTS



PROFILE THROUGH STORMCEPTOR AND REV PIPE MANIFOLD
SCALE: VERT. 1" = 5'

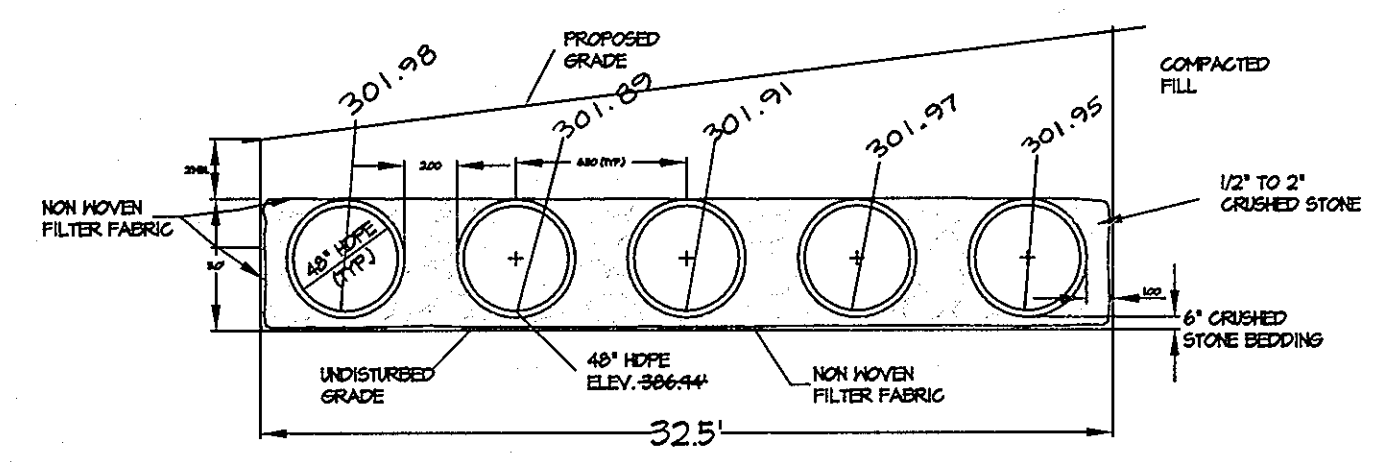


LIMITS OF EXCAVATION AND SEGREGATE PLACEMENT TO BE SHOWN WITH NON-MOVEN FILTER FABRIC

* 48" HDPE PERFORATED PIPE SHALL HAVE PERFORATIONS FROM ADS N-12 PIPE PER AASHTO CLASS 2 PERFORATION (OR APPROVED EQUAL). PERFORATIONS = MAX SLOT LENGTH 0.34" SPACED AT 5" LONGITUDINALLY.

Rev PIPE MANIFOLD
SCALE: 1" = 10'

AS-BUILT
SEAN BERGER & LARSON
3726 TOWN & COUNTRY BLVD.
SUITE 201
ELLCOTT CITY, MARYLAND 21043



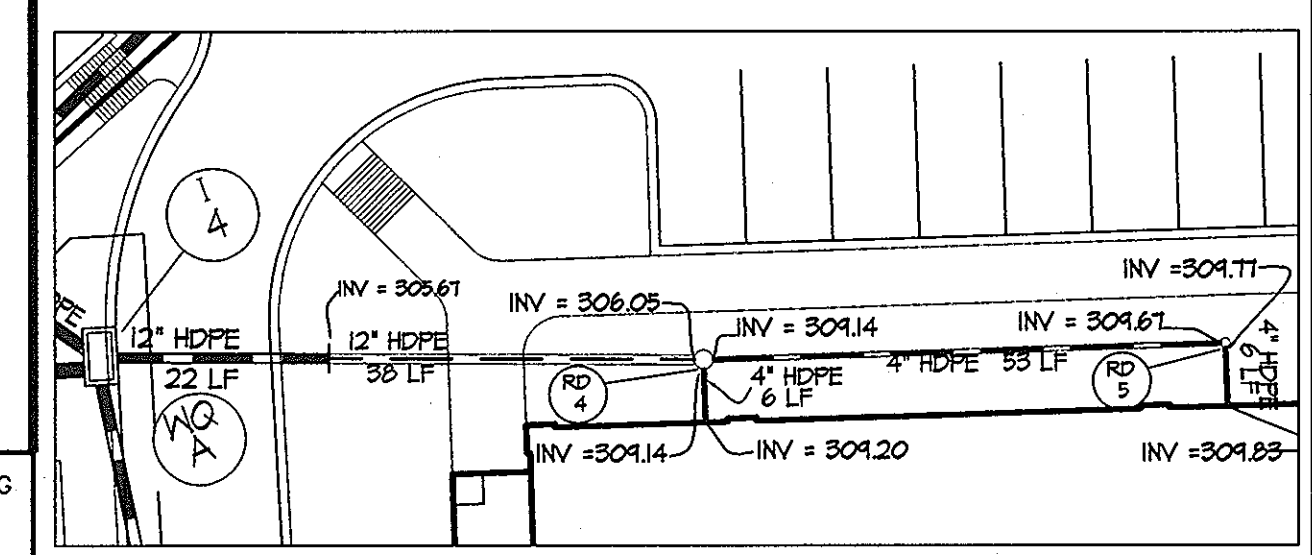
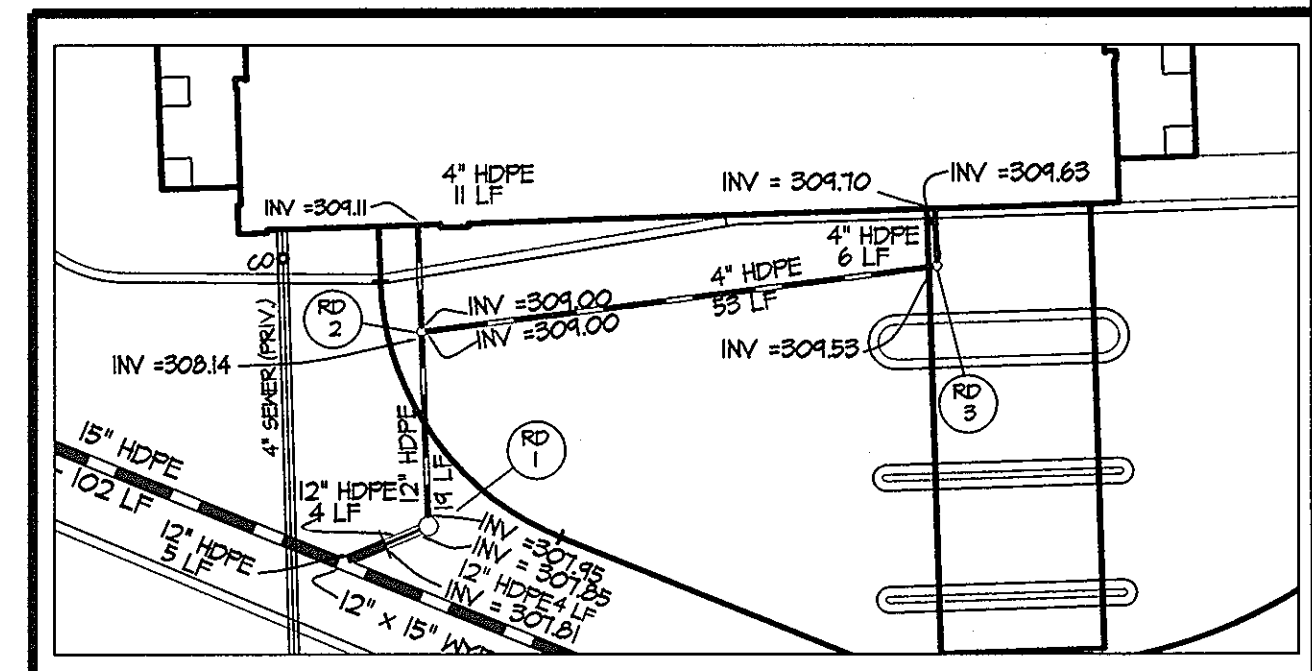
Rev PIPE MANIFOLD SECTION A-A
SCALE: 1" = 5'

OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND STORAGE MANIFOLD

FACILITY COMPONENT REQUIRING MAINTENANCE	MAINTENANCE ACTIVITY	WHEN MAINTENANCE ACTIVITY IS REQUIRED	EXPECTED FACILITY PERFORMANCE AFTER MAINTENANCE
STRUCTURE AND STORAGE MANIFOLD	TRASH AND DEBRIS REMOVAL & SEDIMENT REMOVAL	FLOATABLE OBJECTS OR OTHER DEBRIS IS PRESENT IN THE UNDERGROUND MANIFOLD SYSTEM.	CAPACITY IS MAXIMIZED.
PIPING FITTINGS AND CONTROL DEVICES.	ENSURE ALL FITTINGS ARE SECURE AND THAT ALL CONTROLS ARE UNLOCKED. FLUSH WITH WATER.	DRAINAGE SYSTEM IS OBSTRUCTED BY DEBRIS OR SEDIMENT.	SYSTEM FLOWS FREELY.

ROOF DRAIN STRUCTURE SCHEDULE

NO.	TYPE	DIAMETER (INSIDE)	TOP ELEVATION	INVERT ELEVATION		
				1	2	3
RD-1	NYLOPLAST DRAIN BASIN	12"	312.8	301.85	301.95	---
RD-2	NYLOPLAST DRAIN BASIN	12"	313.4	308.14	304.00	304.00
RD-3	NYLOPLAST DRAIN BASIN	6"	313.9	304.53	304.63	---
RD-4	NYLOPLAST DRAIN BASIN	12"	314.4	306.05	304.14	304.14
RD-5	NYLOPLAST DRAIN BASIN	6"	314.4	304.61	304.71	---



ROOF DRAIN CONNECTION DETAILS
SCALE: 1" = 20'

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 8/21/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Wanda M. Gage* 2/11/07
Chief, Division of Land Development: *Chris Hamilton* 1/21/07
Chief, Development Engineering Division: *qvz* 12/1/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-939-2524 FAX: 301-421-4186

PREPARED FOR:
GENERAL GROWTH PROPERTIES
RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
PAUL CAVANAUGH
410-992-6284

STORM DRAIN DRAINAGE AREA MAP & RECHARGE FACILITY DETAILS
BENSON EAST
PARCEL M
& PART OF PARCELS T AND U
PLAT No. 17873
HOWARD COUNTY, MARYLAND

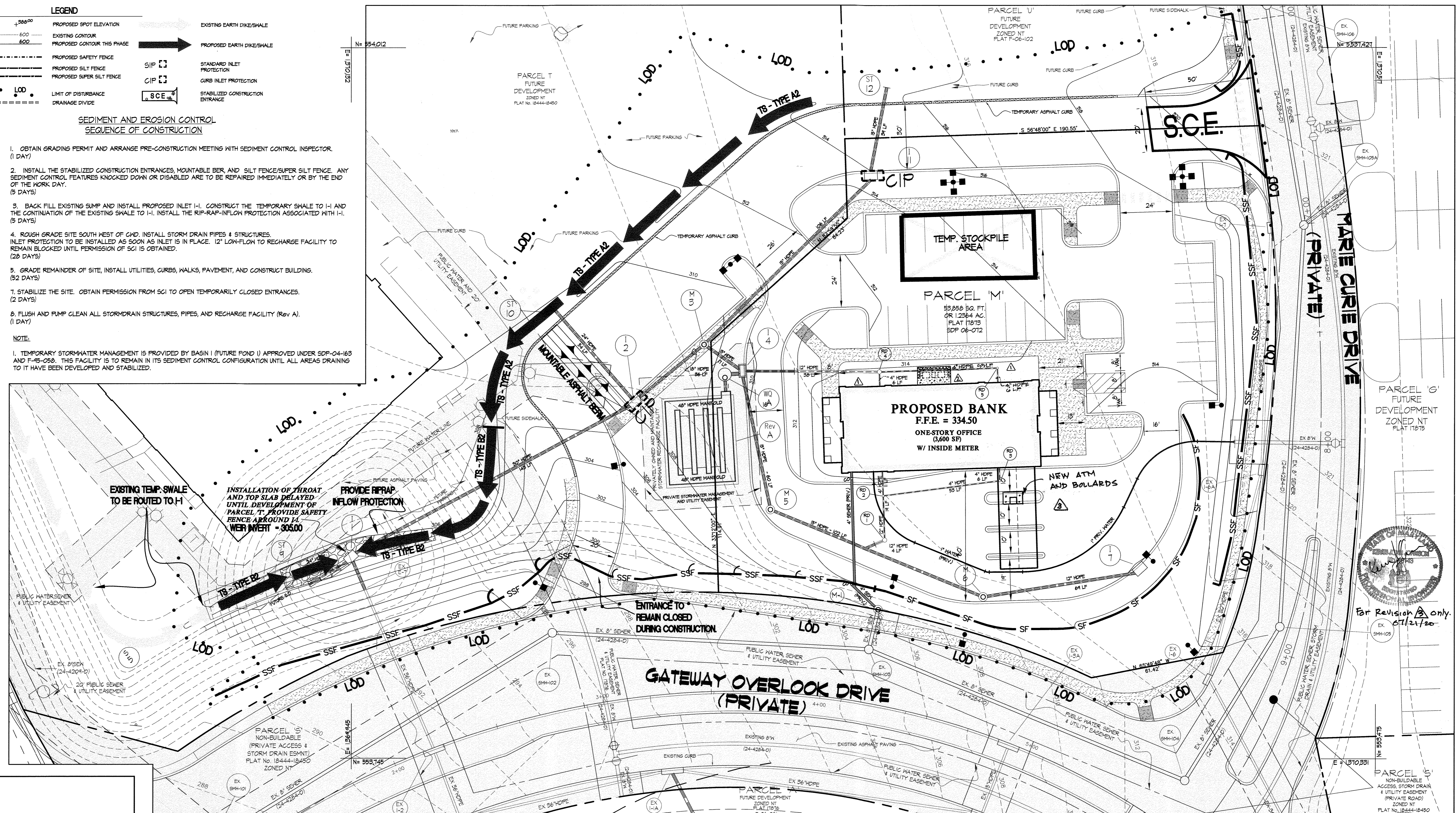
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NEW TOWN	05084
DATE	TAX MAP - GRID	SHEET
OCT., 2006	37 - 43	5 OF 9

LEGEND

1,500.00	PROPOSED SPOT ELEVATION	EXISTING EARTH DIKE/SHALE
600	EXISTING CONTOUR	PROPOSED EARTH DIKE/SHALE
600	PROPOSED CONTOUR THIS PHASE	SIP
---	PROPOSED SAFETY FENCE	CIP
---	PROPOSED SILT FENCE	STANDARD INLET PROTECTION
---	PROPOSED SUPER SILT FENCE	CURB INLET PROTECTION
•	LOD	STABILIZED CONSTRUCTION ENTRANCE
---	DRAINAGE DIVIDE	

SEDIMENT AND EROSION CONTROL SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT AND ARRANGE PRE-CONSTRUCTION MEETING WITH SEDIMENT CONTROL INSPECTOR. (1 DAY)
 - INSTALL THE STABILIZED CONSTRUCTION ENTRANCES, MOUNTABLE BER AND SILT FENCE/SUPER SILT FENCE. ANY SEDIMENT CONTROL FEATURES KNOCKED DOWN OR DISABLED ARE TO BE REPAIRED IMMEDIATELY OR BY THE END OF THE WORK DAY. (5 DAYS)
 - BACK FILL EXISTING SUMP AND INSTALL PROPOSED INLET I-1. CONSTRUCT THE TEMPORARY SWALE TO I-1 AND THE CONTINUATION OF THE EXISTING SWALE TO I-1. INSTALL THE RIP-RAP-INFLOW PROTECTION ASSOCIATED WITH I-1. (5 DAYS)
 - ROUGH GRADE SITE SOUTH WEST OF CND. INSTALL STORM DRAIN PIPES & STRUCTURES. INLET PROTECTION TO BE INSTALLED AS SOON AS INLET IS IN PLACE. 12" LOW-FLOW TO RECHARGE FACILITY TO REMAIN BLOCKED UNTIL PERMISSION OF SGI IS OBTAINED. (28 DAYS)
 - GRADE REMAINDER OF SITE, INSTALL UTILITIES, CURBS, WALKS, PAVEMENT, AND CONSTRUCT BUILDING. (52 DAYS)
 - STABILIZE THE SITE. OBTAIN PERMISSION FROM SGI TO OPEN TEMPORARILY CLOSED ENTRANCES. (2 DAYS)
 - FLUSH AND PUMP CLEAN ALL STORMDRAIN STRUCTURES, PIPES, AND RECHARGE FACILITY (REV A). (1 DAY)
- NOTE:**
- TEMPORARY STORMWATER MANAGEMENT IS PROVIDED BY BASIN I (FUTURE POND I) APPROVED UNDER SDP-04-163 AND F-45-032. THIS FACILITY IS TO REMAIN IN ITS SEDIMENT CONTROL CONFIGURATION UNTIL ALL AREAS DRAINING TO IT HAVE BEEN DEVELOPED AND STABILIZED.



APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 8/21/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Paul H. Coyle 2/1/07
Director

Cindy Hunte 1/2/07
Chief, Division of Land Development

1/3/07
Chief, Development Engineering Division

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

Jan M. Miller 1/2/07
Natural Resources Conservation Service

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.

John R. Watson 1/3/07
Howard S.C.D.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Michael J. Treppen 10/19/06
Signature of Registered Engineer

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE SCD.

PAUL G. CAVANAUGH 08.13.2006
SIGNATURE OF DEVELOPER/BUILDER

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
7.14.20	New ATM and Bollards	JBA	
10.21.17	Addition of 1 cone equipment pad; screen wall for HVAC units	JH	mjt
8.21.17	Addition of 2 cone equipment pads for HVAC units	JH	mjt

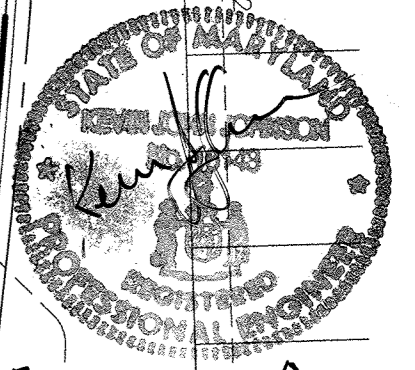
PREPARED FOR:
GENERAL GROWTH PROPERTIES
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10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
PAUL CAVANAUGH
410-992-6284

SEDIMENT AND EROSION CONTROL PLAN

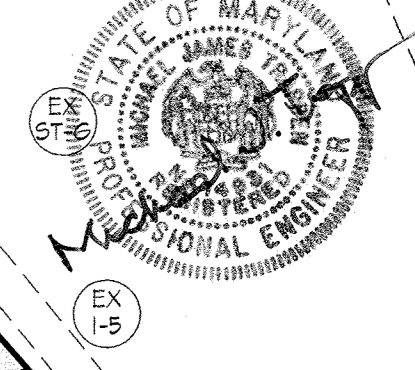
**BENSON EAST
PARCEL M
& PART OF PARCELS T AND U
PLAT No. 17873**

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
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For Revision only.
07/21/20



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STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE WHERE:
A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PROVIDE VEGETATIVE GROWTH.
B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUOUS SUPPLIED OF MOISTURE AND PLANT NUTRIENTS.
C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

- II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMICIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CONDIMERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

B. TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERNARDIA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:

- 1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
3. TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED.
4. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHOTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMICIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

V. TOPSOIL APPLICATION

A. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, EARTH Dikes, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
B. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"-8" HIGHER IN ELEVATION.

C. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER.

D. TOPSOIL SHALL NOT BE PLACED WHERE THE TOPSOIL OR SUBSOIL IS FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW.

A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

- 1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCHING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQUARE FEET) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (9 LBS/1000 SQ FT).
2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30 AND AUGUST 1 THRU OCTOBER 15, SEED WITH 80 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/1000 SQ FT) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 6 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCHING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ FT). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 15 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED, WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 6 FT OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

NOTE:

THESE SEEDING NOTES ARE THE MINIMUM REQUIRED FOR SEDIMENT CONTROL. REFER TO PROJECT SPECIFICATIONS FOR SEEDING REQUIREMENTS OF OTHER AREAS OF THE SITE.

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 313-1855

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.

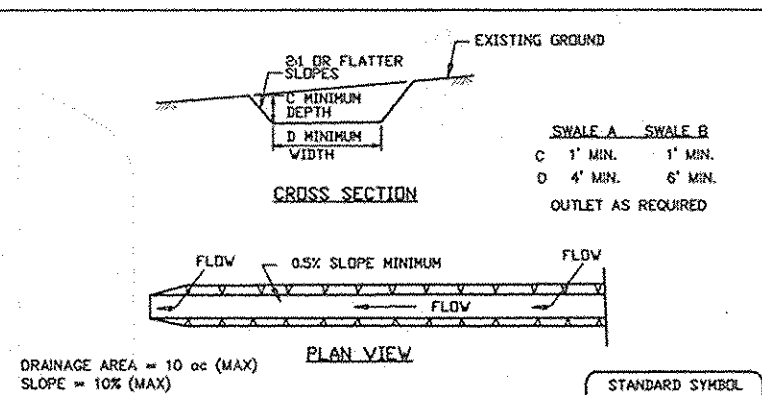
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, Dikes AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOD, TEMPORARY SEEDINGS AND MULCHING (SEC. 6). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

DETAIL 2 - TEMPORARY SWALE

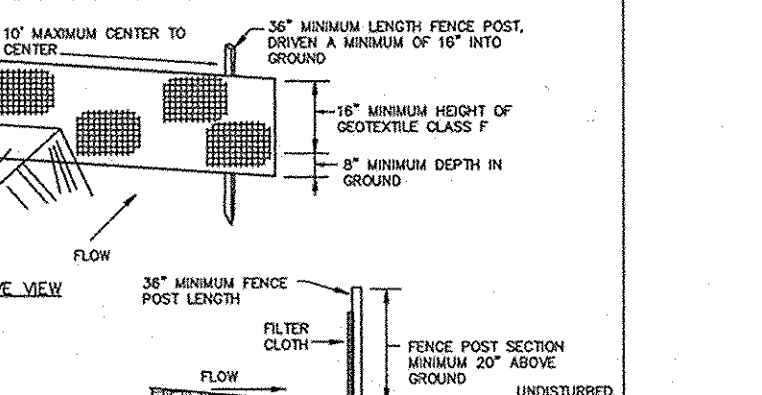


Construction Specifications
1. All temporary swales shall have unimproved positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.

- 2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed established area at a non-erosive velocity.
4. All trees, brush, stumps, obstructions, and other objectional material shall be removed and disposal of so as not to interfere with the proper functioning of the swale.
5. The swale shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of both protrusions or other irregularities which will impede normal flow.
6. Fill, if necessary, shall be compacted by earth moving equipment.
7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the swale.
8. Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE A-2-4 WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE

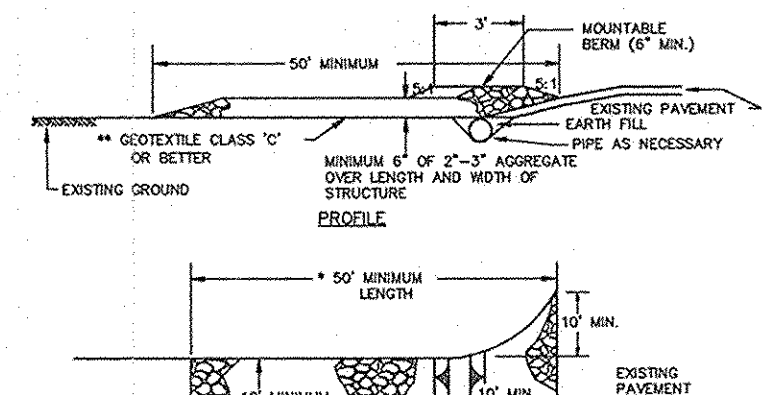


Construction Specifications
1. Fence posts shall be a minimum of 36\"/>

- 2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
Tensile Strength: 50 lbs/ft (min.) Test: MSMT 509
Tensile Modulus: 20 lbs/ft (min.) Test: MSMT 509
Flow Rate: 0.3 gal/ft / min (max.) Test: MSMT 322
Filtering Efficiency: 75% (min.) Test: MSMT 322
3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
4. Silt fence shall be inspected after each rainfall event and maintained when before or when sediment accumulation reaches 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE A-19-3 WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

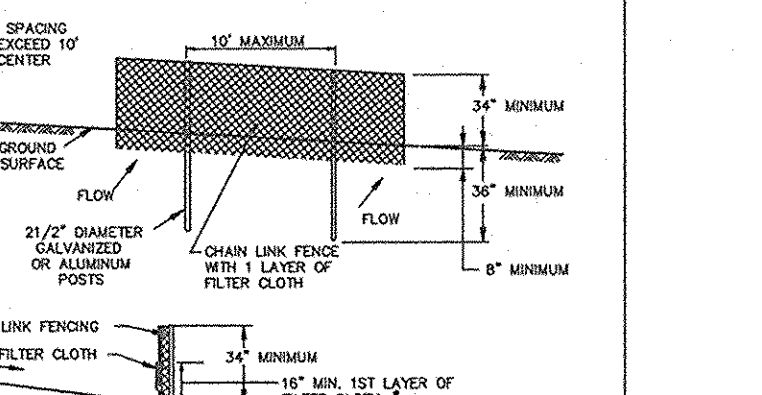


Construction Specifications
1. Length - minimum of 50' (30' for slope resistance lot).

- 2. Width - 10' minimum, should be formed of the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. *The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2\"/>

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE P-17-3 WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE

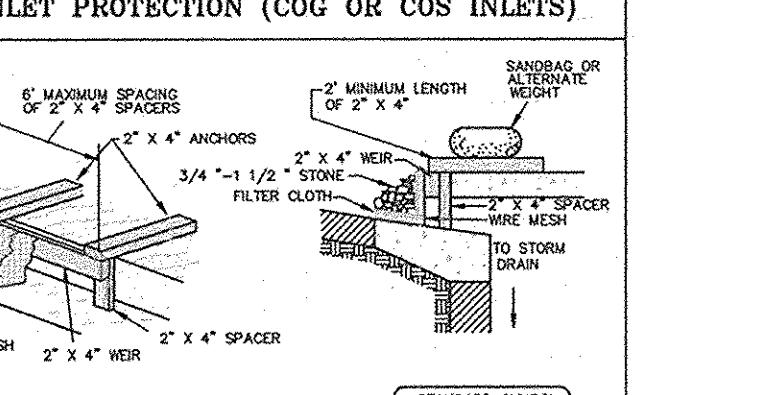


Construction Specifications
1. Fencing shall be 42\"/>

- 2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brags and trim rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24\"/>

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE E-26-3 WATER MANAGEMENT ADMINISTRATION

DETAIL 23C CURB INLET PROTECTION (COC OR COS INLETS)



Construction Specifications
1. Attach a continuous piece of wire mesh (30\"/>

- 2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2\"/>

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE E-18-6B WATER MANAGEMENT ADMINISTRATION

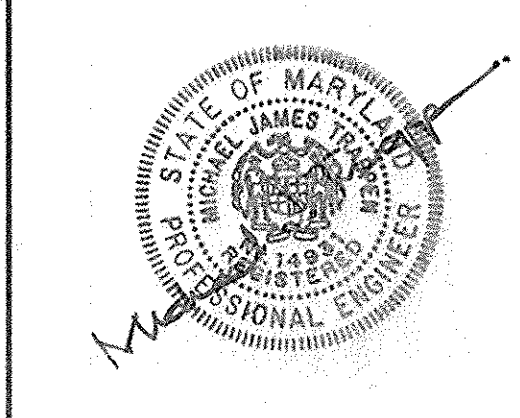
APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE 8/21/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 8/1/06
Chief, Division of Land Development: [Signature] Date: 12/1/07
Chief, Development Engineering Division: [Signature] Date: 12/6/07

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.
[Signature] Date: 1/3/07
This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District.
[Signature] Date: 1/31/07

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] DATE: 10/19/06

DEVELOPER'S/BUILDER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZ PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] DATE: Oct. 18, 2006



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL. 301-421-4024 BALT. 410-850-1820 DC/VA. 301-989-2524 FAX 301-421-4186

Table with columns: DES., DRN., JNG, CHK., DATE, REVISION, BY, APPR.

PREPARED FOR:
GENERAL GROWTH PROPERTIES
HOWARD RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
PAUL CAVANAUGH
410-992-6284

SEDIMENT CONTROL NOTES
SCALE: NONE
ZONING: NEW TOWN
G. L. W. FILE NO.: 05084
DATE: OCT., 2006
TAX MAP - GRID: 37 - 43
SHEET: 7 OF 9

SEDIMENT CONTROL NOTES
SCALE: NONE
ZONING: NEW TOWN
G. L. W. FILE NO.: 05084
DATE: OCT., 2006
TAX MAP - GRID: 37 - 43
SHEET: 7 OF 9

PLANT SCHEDULE

TYPE	SYMBOL	QUANT.	NAME (BOTANICAL/COMMON)	SIZE & COMMENTS
CANOPY SHADE TREE	(Y)	10	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE ZELKOVA	3.0" CAL., 12'-14" HT. B4B
ORNAMENTAL TREE	PL, PL*	14+2=16	PRUNUS CERASIFERA 'THUNDERCLOUD' / THUNDERCLOUD PLUM	2.5" CAL. MIN. B4B
	PC	5	PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	2.5" CAL. MIN. B4B
	Y*	5	PRUNUS X YEDOENSIS/ YOSHINO CHERRY	2.5" CAL. MIN. B4B
	CM	5	LAGERSTROEMIA INDICA/ GRAPE MYRTLE	2.5" CAL. MIN. B4B
L.G. EVERGREEN SHRUB	DL	1	ILEX X MESERVEAE 'DRAGON LADY' / DRAGON LADY HOLLY	5' - 6' HT.
SHRUBS	BH	52	ILEX HYBRID 'BLUE HOLLY' / BLUE HOLLY	18"-24" in hgt. - container
	TMD	48	TAXUS X MEDIA 'DENSIFORMIS' / DENSIFORMIS YEW	24"-30" in hgt. - container
	BM	81	BUXUS MICROPHYLLA KOREANA 'GREEN VELVET' / GREEN VELVET BOXWOOD	18"-24" in hgt. - container
ANNUAL FLOWERS	(Symbol)	602 SQ.FT.	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILY-TURF	1 GAL CONTAINER AT 12" o.c.

- NOTES:
 1. LANDSCAPING PROVIDED PER HRD- ALTERNATIVE COMPLIANCE.
 2. TREES INDICATED WITH AN ASTERISK (*) ARE PROVIDED AS PRIVATE STREET TREES.

THIS PLAN IS FOR PLANTING PURPOSES ONLY!!

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY

DATE 8/31/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

March D. Loyola 2/1/07
 Director Date
Cindy Hammit 1/21/07
 Chief, Division of Land Development Date
[Signature] 1/21/07
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT. 410-850-1820 DC/VA. 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
7-14-20	New ATM and Bollards	JBA	
11-1-2017	Addition of 1 cone equipment pad + green wall for HVAC units	gt	mjt
8-11-17	Addition of 2 cone equipment pads for HVAC units	gt	mjt

PREPARED FOR:
 GENERAL GROWTH PROPERTIES
 RESEARCH AND DEVELOPMENT CORPORATION
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 PAUL CAVANAUGH
 410-992-6284

LANDSCAPE PLAN
BENSON EAST
 PARCEL M
 & PART OF PARCELS T AND U
 PLAT No. 17873

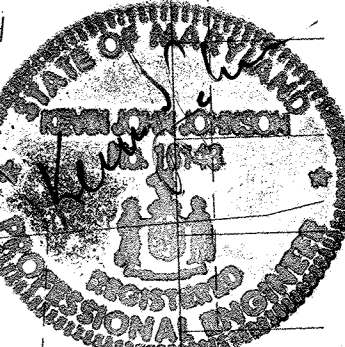
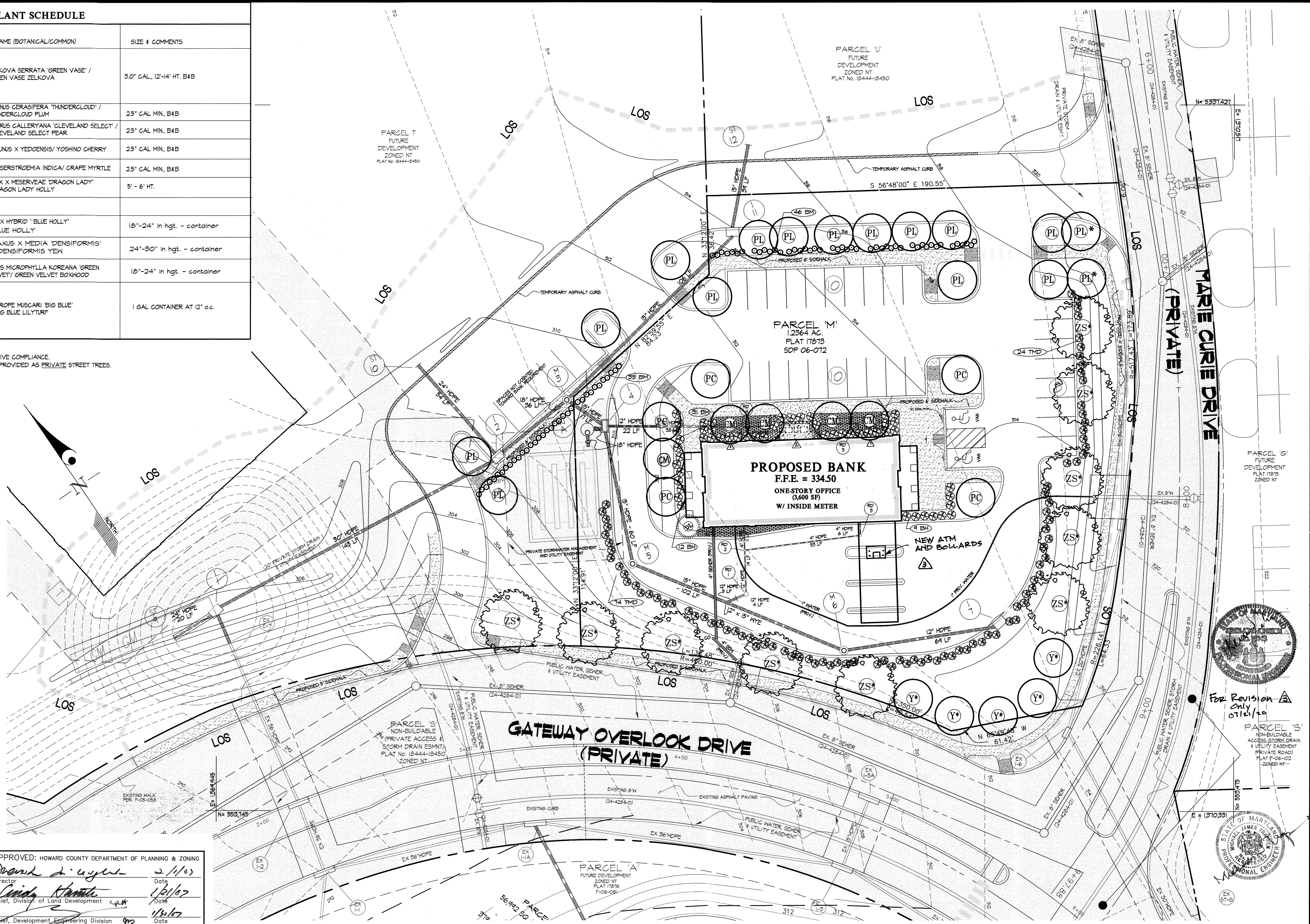
SCALE	ZONING	G. L. W. FILE No.
1"=20'	NEW TOWN	05084
DATE	TAX MAP - GRID	SHEET
OCT, 2006	37 - 43	8 OF 9

DRAWINGS\05084\SDP-01\05084SDP-8 (LS).dwg DES. DRN. JNG CHK.

ELECTION DISTRICT No. 6

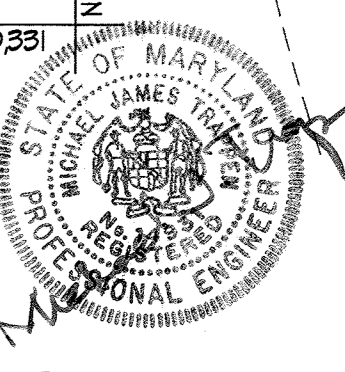
HOWARD COUNTY, MARYLAND

SDP-06-072



For Revision Only 01/21/10

PARCEL S
 NON-BUILDABLE
 ACCESS, STORM DRAIN
 & UTILITY EASEMENT
 (PRIVATE ROAD)
 PLAT F-06-02
 ZONED NT



PLANT MATERIALS AND PLANTING METHODS

A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-furnished root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the ARC.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3"- 3.5"	14'-16'	6'-8'	32" diameter
3.5"- 4"	14'-16'	8'-10'	36" diameter
4"- 4.5"	16'-18'	8'-10'	40" diameter
4.5"- 5"	16'-17'	10'-12'	44" diameter
5"- 5.5"	16'-20'	10'-12'	48" diameter
5.5"- 6"	18'-20'	12'-14'	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The ARC may, upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

2. Digging

All plant material shall be dug, balled and burlapped (B&B) in accordance with the "AAN Standards".

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

- Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.
- All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.
- If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.
- Diameter and depth of tree pits shall generally be as follows:

PIT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3.5" cal.	32"	64"	28"
3.5" - 4" cal.	36"	72"	32"
4" - 4.5" cal.	40"	80"	36"
4.5" - 5" cal.	44"	88"	40"
5" - 5.5" cal.	48"	96"	44"
5.5" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

- Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum 7'-0" for major trees and 5'-0" minimum for minor trees.
- Wire and Cable: Wire shall be #10 galvanized or leaded zinc coated galvanized steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eye and eye with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable cadmium plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.
- Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

- Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practice. Broken or bruised branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in diameter shall be painted with an approved antiseptic tree wound dressing.
- All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.
- After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The ARC shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of the "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

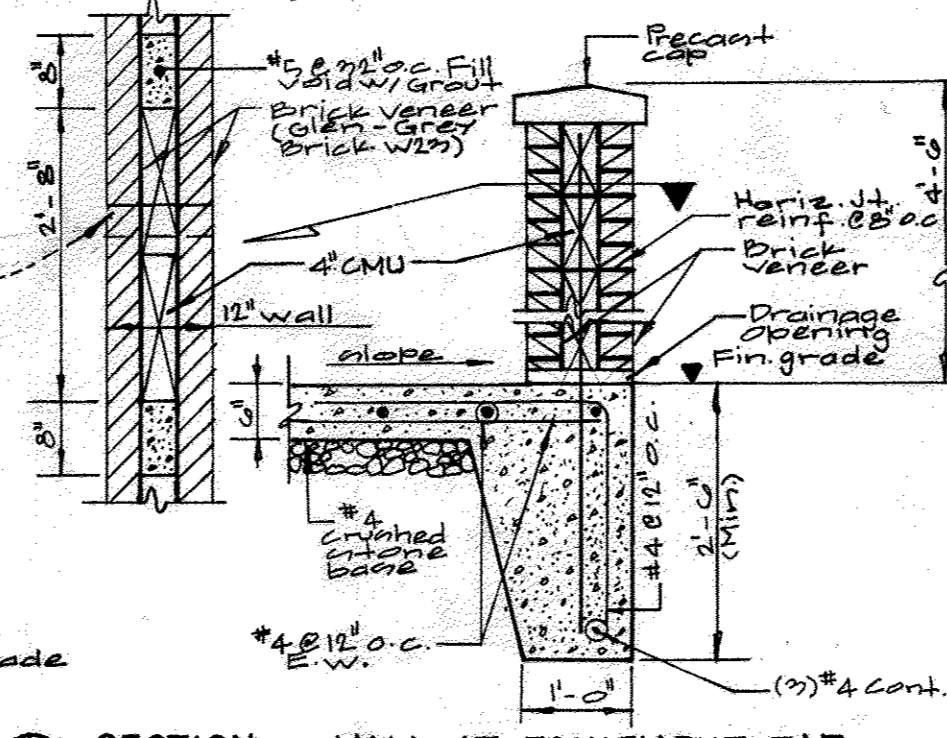
Sodding

All sodding shall be in accordance with the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4' long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Vicia, or Escort.

Structural Notes

- The Contractor shall verify all dimensions prior to starting construction. The Engineer shall be notified of any discrepancies or inconsistencies.
- All concrete shall conform with the requirements of the A.C.I. Building Code requirements for reinforced concrete (ACI 318). Concrete For slabs 4500 Psl.
- Soil bearing capacities assumed are as follows: Bottom Bearing 2000 Psf
- Temporary support and leveling shall be the sole responsibility of the Contractor.
- All work shall be in accordance with the more stringent requirements of the minimum standards listed in the governing Code or as indicated herein. Governing Code shall be I.B.C. 2015.
- The structural drawings and specifications represent the intended structure. They do not indicate the method of construction. The Contractor shall provide all measures necessary to protect the structure during construction, including all bracing and shoring required to resist the actual construction loads.
- Design Live Loads: Equipment slab: 50 Psf Concentrated Load: 2000 Lbs
- Concrete block shall be hollow load-bearing concrete masonry units conforming to ASTM C90.
- Grout shall attain a compressive strength of 3000 Psl. at 28 days. Use sufficient water for grout to flow into all masonry joints without segregation.



LANDSCAPING NOTES

- This plan has been prepared in accordance with the New Town Alternative Compliance provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
- Contractor shall notify all utilities at least (5) five days before starting work. All General Notes, especially those regarding utilities, on Sheet 1 shall apply.
- Field verify underground utility locations and existing conditions before starting planting work. Contact engineer / landscape architect if any relocation is required.
- Plant quantities shown on Plant List are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on the plan and those shown on the plant list, the quantities on the plan shall take precedence.
- All plant material shall be full, heavy, well formed, and symmetrical, and conform to the A.A.N. Specifications, and be installed in accordance with project specifications.
- No substitution shall be made without written consent of the owner or his representative.
- All areas disturbed by construction activities but not otherwise planted, paved, or mulched shall be seeded or sodded in accordance with the project specifications.
- The contractor shall notify the owner in writing if he/she encounters soil drainage conditions which may be detrimental to the growth of the plants.
- All exposed earth within limits of planting beds shall be mulched with shredded hardwood mulch per Planting Details.
- Planting trees within a PUBLIC UTILITY EASEMENT is prohibited.
- Schedule-B (Parking Lot Internal Landscaping) is provided for landscape surety calculation purposes only.
- Tabulation for landscape shown: Required planting by HRD for 1.02 acres of a bank combined at 26 trees/acre = 27 trees

Planting provided:	
Shade Trees	10
Ornamental Trees	31 = 15 E.S.T. (AT 2:1)
Evergreen Trees	0
Shrubs provided:	231 = 23 E.S.T. (AT 10:1)

Total E.S.T. = 48
E.S.T. = Equivalent Shade Tree

- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

SCHEDULE-B: PARKING LOT INTERNAL LANDSCAPING

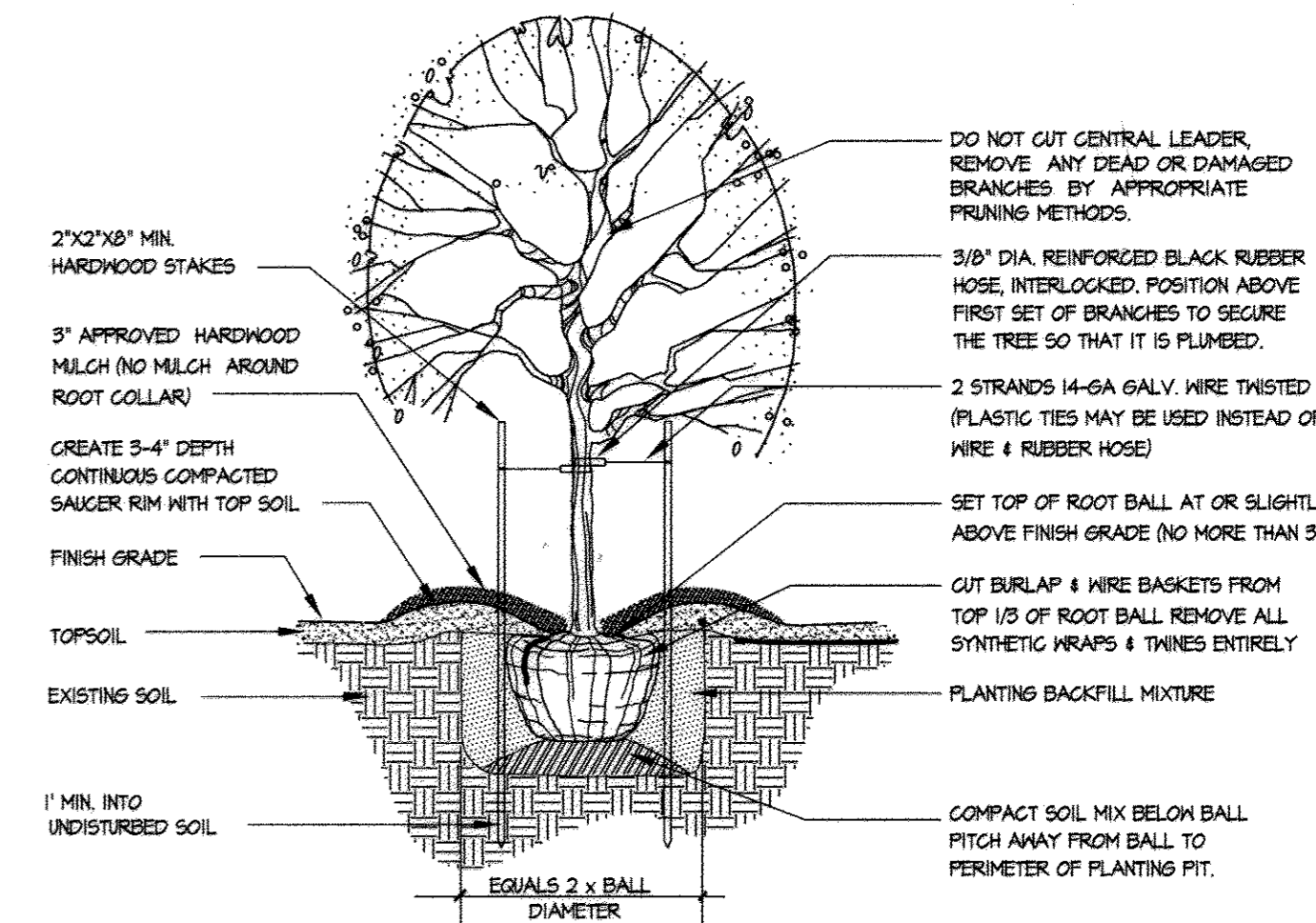
NUMBER OF PARKING SPACES	28 TOTAL SPACES
NUMBER OF SHADE TREES REQUIRED (1 PER 20 SPACES)	2
NUMBER OF TREES PROVIDED	
SHADE TREES	0
OTHER TREES (2:1 SUBSTITUTION)	6 ORNAMENTALS (EQV. TO 3 SHADE TREES)

PRIVATE STREET TREE

LINEAR FEET OF PRIVATE ROADWAY PERIMETER	483' ALONG PARCEL M (MARIE CURIE AND GATEWAY OVERLOOK DRIVE)
REQUIRED NUMBER OF PRIVATE STREET TREE (AT 1 SHADE PER 40 L.F.)	12 SHADE TREES
NUMBER OF TREES PROVIDED	
SHADE TREES	9 SHADE TREES
OTHER TREES (2:1 SUBSTITUTION)	1 FLOWERING TREES (EQV. TO 3.5 SHADE TREES)

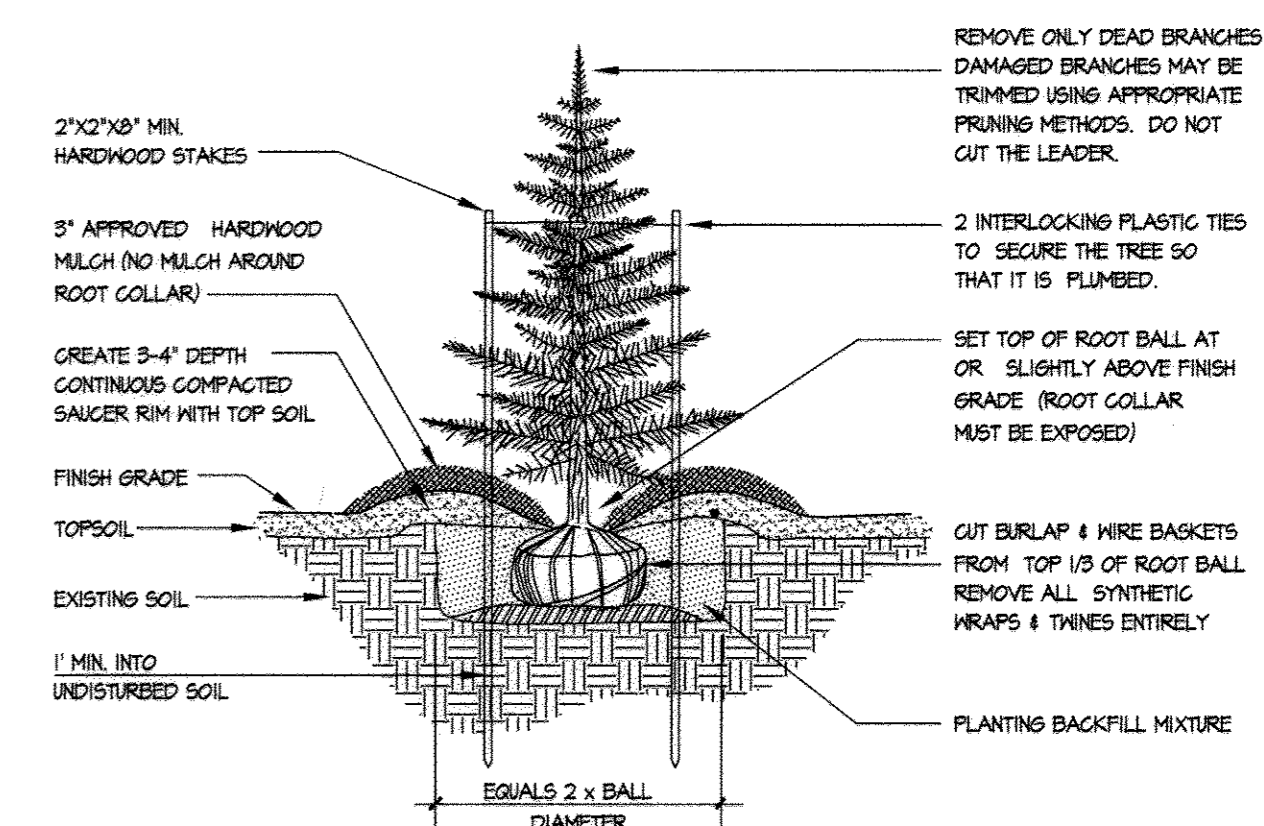
NOTE: FINANCIAL SURETY FOR THE PRIVATE STREET TREES THAT ARE ON THE ADJACENT PARCEL 'T' SHALL BE POSTED WITH THE SDP FOR PARCEL 'T' (SDP-06-10B).

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$4,200.00 IS FOR THE FOLLOWING:
\$ 600.00 FOR 2 SHADE TREES @ \$300/TREE PER SCHEDULE-A
\$3600.00 FOR 12 SHADE TREES @ \$300/TREE FOR PRIVATE STREET TREES
\$4200.00 TOTAL SURETY REQUIRED



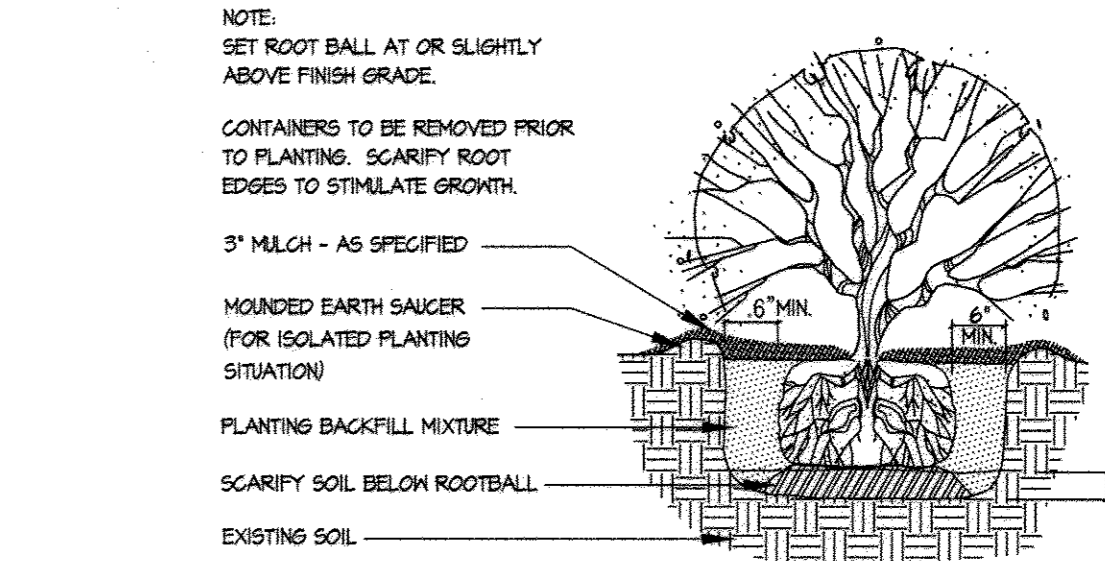
NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 8/21/06

STATE OF MARYLAND
PLANNING BOARD
APPROVED

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED FOR AND APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11888 EXPIRATION DATE 06-30-15

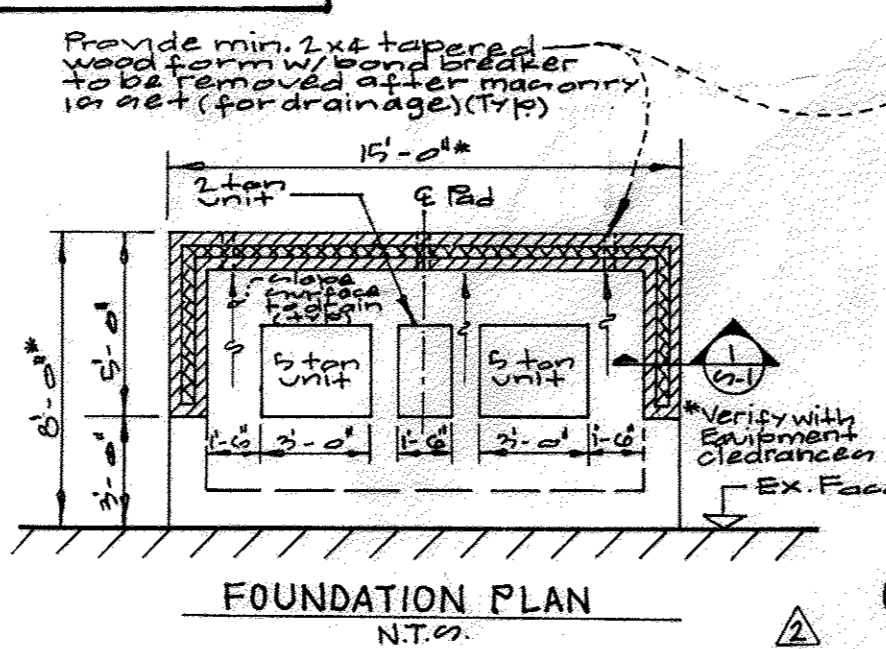
SCREEN WALL ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Joseph P. Longley* 1/1/07
Date: 1/1/07

Chief, Division of Land Development: *Chris Harts* 1/2/07
Date: 1/2/07

Chief, Development Engineering Division: *Chris Harts* 1/2/07
Date: 1/2/07



SECTION - WALL AT EQUIPMENT PAD

SCREEN WALL DETAILS

THIS PLAN FOR LANDSCAPE PURPOSES ONLY

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DRAWINGS\05084_LS-DET.dwg DES. DRN. JNG CHK.

DATE	BY	APPR.	REVISION
11-2-2017	gt.	mjt.	Addition of license equipment pad & screen wall for HVAC units

PREPARED FOR:
GENERAL GROWTH PROPERTIES
RESEARCH AND DEVELOPMENT CORPORATION
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044
PAUL CAVANAUGH
410-992-6284

LANDSCAPE DETAILS, NOTES AND SCHEDULES

SCALE: NEW TOWN
ZONING: NEW TOWN
G. L. W. FILE NO.: 05084

DATE: OCT., 2006
TAX MAP - GRID: 37 - 43
SHEET: 9 OF 9

BENSON EAST
PARCEL M
& PART OF PARCELS T AND U
PLAT No. 17873

HOWARD COUNTY, MARYLAND

ELECTION DISTRICT No. 6