

HOWARD COUNTY GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY ENTREX COMMUNICATION SERVICES, INC. DATED NOVEMBER 8, 2005.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UP ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. THE HOWARD COUNTY MONUMENT NOS. GSC 17AB AND 17DA WERE USED FOR THIS PROJECT.
- WATER SERVICE IS NOT REQUIRED FOR THIS PROJECT. SEWER SERVICE IS NOT REQUIRED FOR THIS PROJECT.
- THE PRIMARY BMP FOR THIS PROJECT IS THE NON-ROOFTOP RUNOFF DISCONNECT CREDIT WHICH TREATS THE MAJORITY OF THE WOV AND ALL OF THE REV. ONE ROCK CHECK DAM FORMING IN A VEGETATED SWALE WILL BE INSTALLED NEAR THE END OF THE DITCH ALONG THE DRIVEWAY TO REDUCE WATER VELOCITIES AND ENHANCE INFILTRATION IN THE DITCH. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES.
- THIS PROJECT DISTURBS 5,585 S.F.
- EXISTING UTILITIES ARE BASED ON FIELD OBSERVATION AND REVIEW OF EXISTING PLANS.
- THERE ARE NO WETLANDS ON THE SITE.
- THE SITE IS LOCATED IN FLOOD ZONE 'C'. THE SITE IS IN A 500 YEAR FLOOD PLANE.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- PROJECT BACKGROUND INFORMATION (UNLESS INCLUDED IN TITLE BLOCK): SUBDIVISION NAME: N/A, TAX MAP: 17, SECTION/AREA: N/A, LOT/PARCEL: 296, ZONING: RC-DEO, BA REFERENCE: 04 - 029 C&V, ELECTION DISTRICT: 03, SITE AREA: 2.04 AC.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. PERIMETER LANDSCAPING SHALL BE PROVIDED FOR THE PROPOSED COMPOUND WITH PLANTINGS OF 10 SHADE TREES, 52 ORNAMENTAL OR EVERGREEN TREES AND NO SHRUBS. SURETY IN THE AMOUNT OF \$10,800 SHALL BE POSTED WITH THE GRADING PERMIT.
- THIS PROJECT COMPLIES WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY ACCOUNTING FOR THE CLEARING OF APPROXIMATELY 1.10 ACRES OF FOREST, AND PROVIDING A FEE-IN-LIEU PAYMENT FOR THE RESULTING 1.17 PLANTING OBLIGATION AT \$0.50 PER SQUARE FOOT (\$25,482.50).
- THE SDP PLAN CONFORMS TO THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS (COUNCIL BILL NO. 45-2003).
- EACH 5TH YEAR AFTER A FACILITY BECOMES OPERATIONAL, THE FACILITY OPERATOR SHALL CONDUCT A SAFETY INSPECTION IN ACCORDANCE WITH THE ELECTRONICS INDUSTRIES ASSOCIATION STANDARD REFERENCE NUMBER 222E AS REFERENCED IN THE HOWARD COUNTY BUILDING CODE, AND RADIATION LEVEL INSPECTION OF THE FACILITY AND WITHIN 60-DAYS OF THE INSPECTION, FILE A REPORT WITH THE DIRECTOR OF INSPECTIONS, LICENSES AND PERMITS AND THE HEALTH OFFICER.
- BA 04-029 C&V DECISION AND ORDER GRANTING CUP ISSUED JUNE 18, 2002; APPEALED TO HOWARD COUNTY CIRCUIT COURT; FINAL DECISION AFFIRMING CUP ISSUED BY COURT JULY 24, 2003 (CASE NO. 13-C-02-50670). THE TERMS AND CONDITIONS OF THE DECISION AND ORDER ARE AS FOLLOWS:
 - THE CONDITIONAL USE SHALL APPLY ONLY TO THE COMMERCIAL COMMUNICATIONS TOWER FACILITY AND ITS ACCESS AS DESCRIBED IN THE PETITION, AND AS DEPICTED ON THE AMENDED CONDITIONAL USE PLAN LABELED AS PETITIONER'S EXHIBIT #3-A SUBMITTED TO THE BOARD ON MAY 19, 2005 AND NOT TO ANY OTHER ACTIVITIES, USES, OR STRUCTURES ON THE SUBJECT PROPERTY.
 - THE VARIANCE SHALL APPLY ONLY TO THE REDUCTION OF THE 150 FOOT SETBACK FROM OTHER RESIDENTIALLY ZONED LOTS TO 125.3 FEET FROM THE SOUTH PROPERTY LINE FOR THE PROPOSED LOCATION OF THE NEW TOWER AND NOT TO ANY OTHER ACTIVITIES, USES, OR STRUCTURES ON THE SUBJECT PROPERTY.
 - THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.
- THE SUBJECT PROPERTY IS ZONED RC-DEO PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENT PRIOR TO USE:
 - WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE);
 - SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/ TAR AND CHIP COATING (1-1/2" MIN.);
 - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45 FT TURNING RADIUS;
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING A 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER THE DRIVEWAY SURFACE;
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.



**SPRINT PCS
CAPITAL DISTRICT**

**SITE NAME: WAVERLY
SITE NUMBER: WA54XC671A
10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163**



1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0960
FAX: (202)408-0961

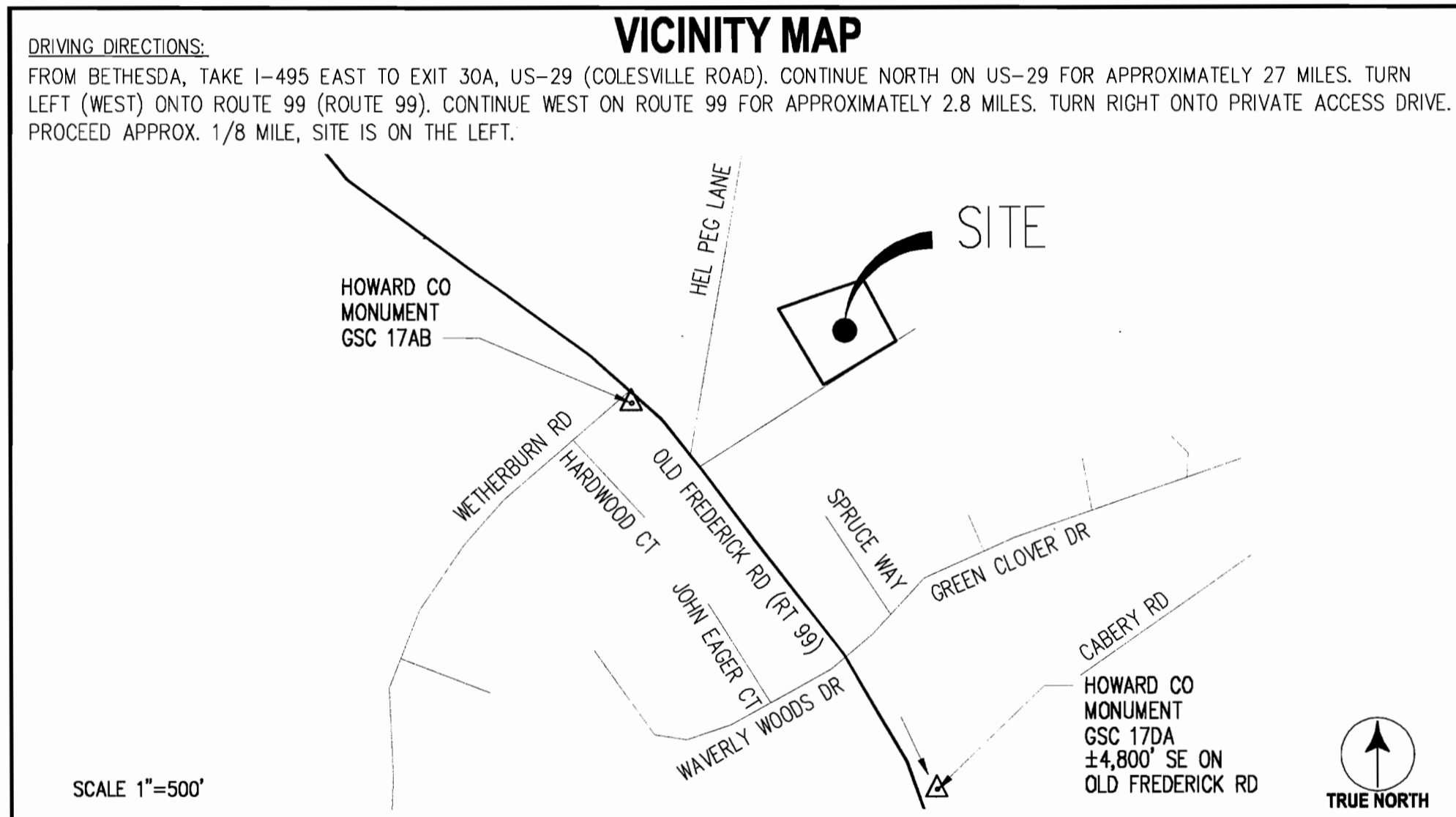
SUBMITTALS

DATE	DESCRIPTION	REV.
11-08-05	SDP SUBMITTAL	
02-02-06	COUNTY COMMENTS	
04-19-06	COUNTY COMMENTS	
06-15-06	COUNTY COMMENTS	

SEAL:



**APC REALTY AND
EQUIPMENT COMPANY, LLC.
d/b/a
SPRINT PCS
CAPITAL DISTRICT**



SHEET INDEX

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SITE ANALYSIS DATA CHART

1:	TOTAL PROJECT AREA: 2.02 ACRES/ 87,991 SQUARE FEET.
2:	AREA OF PLAN SUBMISSION: 0.15 ACRES/ 6,640 SQUARE FEET.
3:	LIMIT OF DISTURBED AREA = 5,585 S.F.
4:	PRESENT ZONING DESIGNATION: RC-DEO - RESIDENTIAL
5:	PROPOSED USES FOR SITE AND STRUCTURES: CIA (COMMERCIAL) 150 FT TELECOMMUNICATION GUYED TOWER, EQUIPMENT CABINETS, 7 FT HIGH WOOD FENCE AND COMPOUND AREA. EXISTING USE: RESIDENTIAL/TELECOMMUNICATIONS
6:	NUMBER OF PARKING SPACES REQUIRED BY HOWARD COUNTY ZONING REGULATIONS FOR EXISTING RESIDENTIAL HOUSE = 2
7:	NUMBER OF PARKING SPACES PROVIDED ON SITE (INCLUDE NUMBER OF HANDICAPPED PARKING SPACES) = 4
8:	BUILDING COVERAGE OF SITE: 0.08 ACRES, 3.7% OF GROSS AREA. EXISTING HOUSE = 1,096 SF EXISTING GARAGE = 942 SF EXISTING SHED 1 = 164 SF EXISTING SHED 2 = 150 SF EXISTING COMM. BLD = 64 SF PROPOSED COMPOUND AREA = 900 SF TOTAL BUILDING AREA = 3,316 SF (0.08 AC) PROPERTY AREA = 87,911 SF (2.02 AC)
9:	APPLICABLE DPZ FILE REFERENCES: BA CASE NO. 04 - 029 C&V.

PROJECT DESCRIPTION

SCOPE OF WORK:	INSTALLATION OF A REPLACEMENT GUYED TOWER, PCS COMMUNICATION EQUIPMENT, SITE IMPROVEMENTS, ELECTRICAL AND TELEPHONE SERVICE. REMOVAL OF EXISTING GUYED TOWER.	APPLICANT:	APC REALTY AND EQUIPMENT COMPANY, LLC. c/b/a SPRINT PCS ONE INTERNATIONAL BLVD. STE. 800 MAHWAH, N.J. 07495
PROPERTY OWNER:	MR. DAVID BRUCE PELLICOT 10348 ROUTE 99 WOODSTOCK, MD 21163-1309 ATTN: MR. DAVID BRUCE PELLICOT (410) 461-1550	LATITUDE:	N 39° 18' 37.587"
		LONGITUDE:	W 76° 52' 08.321"
		GROUND ELEVATION:	492.75' AMSL
ENGINEER:	ENTREX COMMUNICATION SERVICES, INC. 1575 I STREET NW SUITE 350 WASHINGTON, D.C. 20005 MR. MARC A. MARZULLO, PE PHONE: (202) 408-0960	JURISDICTION:	HOWARD COUNTY
		ELECTION DISTRICT:	03
		PROPERTY INFO:	MAP: 17 GRID: 1 PARCEL: 296 LIBER: 3220 FOLIO: 271
		CURRENT ZONING:	RCDEO USE: RESIDENTIAL

SITE DEVELOPMENT PLAN # SDP-06-057 BA CASE NO.: 04 - 029 C&V

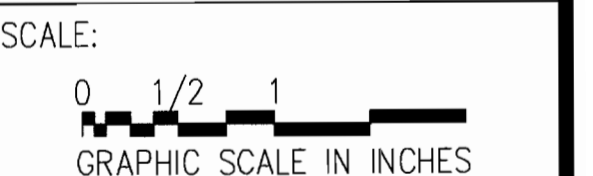
ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
296	10348 OLD FREDERICK ROAD, WOODSTOCK, MD 21163

PERMIT INFORMATION CHART

SUBDIVISION NAME:	N/A	SECTION/AREA:	N/A	LOT/PARCEL NO.:	296
L/F:	3220/271	GRID #:	1	ZONING:	RC-DEO
		TAX MAP NO.:	17	ELEC. DIST.:	03
WATER CODE:	N/A	SEWER CODE:	N/A	CENSUS TRACT:	603000

PROJECT NO: 1015.280
DESIGNER: R.S.
ENGINEER: M.M.



**WAVERLY
WA54XC671A
10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163**

TITLE:
TITLE SHEET

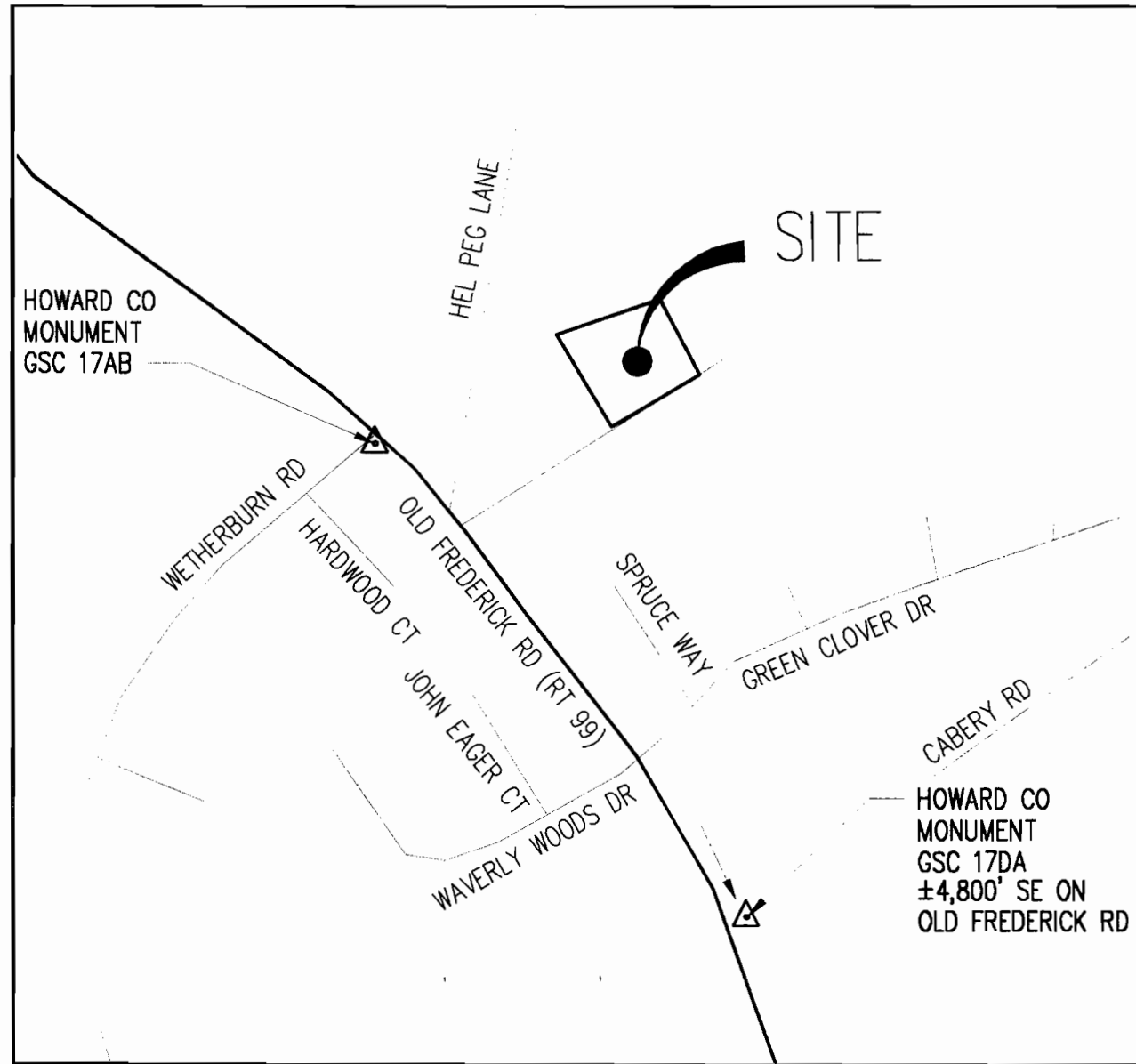
T-1
SHEET NUMBER:
1
SDP-06-057

APPROVALS

APPROVED:	DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 8/9/06
CHIEF, PLANNING AND ZONING DIVISION	DATE: 8/9/06
DIRECTOR	DATE: 8/9/06

**APPROVED: FOR PRIVATE WATER
AND PRIVATE SEWERAGE SYSTEMS**

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT



VICINITY MAP

SCALE: 1"=500'-0"



SURVEY NOTES:

- 1.) SITE NAME: WAVERLY
SITE NUMBER: WA54XC671A
- 2.) THIS IS NOT A BOUNDARY SURVEY AND IS NOT TO BE USED FOR THE TRANSFER OF PROPERTY.
- 3.) THE PARENT PARCEL INFORMATION:
OWNER: MR. DAVID BRUCE PELLICOT
PREMISES ADDRESS: 10348 OLD FREDERICK ROAD WOODSTOCK, MD 21163
MAILING ADDRESS: 10348 OLD FREDERICK ROAD WOODSTOCK, MD 21163
JURISDICTION: HOWARD COUNTY
PROPERTY INFO: PARCEL: 296 TAX MAP: 17 DISTRICT: 03 ACCOUNT NO.: 295680 ZONING: RC-DEO USE: RESIDENTIAL
- 4.) THE RECORDED REFERENCES FOR THE PARENT PARCEL ARE AS FOLLOWS: DEED: LIBER: 3220, FOLIO: 271
- 5.) THE DATUM'S ARE NAD 83 AND NAVD 88, AND THE BEARING BASE IS STATE GRID.
- 6.) THERE ARE NO BURIAL GROUNDS, CEMETERY SITES OR HISTORIC STRUCTURES ON THE PROPERTY.
- 7.) THERE ARE NO OVERHEAD TELEPHONE OR ELECTRIC UTILITY LINES ON THE PROPERTY.
- 8.) THE FLOOD ZONE OF THE PROPOSED GUYED TOWER IS AS FOLLOWS: FLOOD ZONE C, AREA OF MIN. FLOODING. SOURCE, FEMA FLOOD MAP FOR HOWARD COUNTY, MD, COMMUNITY PANEL NUMBER 240044 0017B, REVISED, DEC. 4, 1996.
- 9.) THE DATA COLLECTED AND SHOWN ON THIS DRAWING ARE FOR THE PURPOSES OF CONSTRUCTION OF A GUYED TOWER, ANY NECESSARY ANCILLARY EQUIPMENT AND ALL APPROPRIATE EASEMENTS.
- 10.) THERE ARE NO SCENIC ROADS ABUTTING THE PROPERTY.
- 11.) THIS PROPERTY IS SUBJECT TO ALL MATTERS OF PUBLIC RECORD.
- 12.) THE LOCATION OF THE PROPOSED GUYED TOWER IS AS FOLLOWS: THE VALUES LISTED BELOW ARE WITHIN ±50' HORIZONTAL AND ±20' VERTICAL.
LATITUDE: N 39° 18' 37.587"
LONGITUDE: W 76° 52' 08.321"
ELEVATION: 492.75' AMSL
- 13.) THE TOTAL DISTURBED AREA FOR CONSTRUCTION IS ±5,585 SF.

EXISTING BUILDING SETBACKS	RESIDENCE	GARAGE
FRONT YARD (SOUTH)	169.3'	187.6'
REAR YARD (NORTH)	77.1'	72.5'
SIDE YARD (EAST)	123.0'	75.3'
SIDE YARD (WEST)	139.0'	190.2'

EXISTING GUYED TOWER SETBACKS	ACTUAL
FRONT YARD (SOUTH)	146.1
REAR YARD (NORTH)	124.0
SIDE YARD (EAST)	107.4
SIDE YARD (WEST)	200.3

APPROVALS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/1/06
 CHIEF, COMMUNITY LAND DEVELOPMENT DATE: 8/9/06
 DIRECTOR DATE: 8/9/06

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

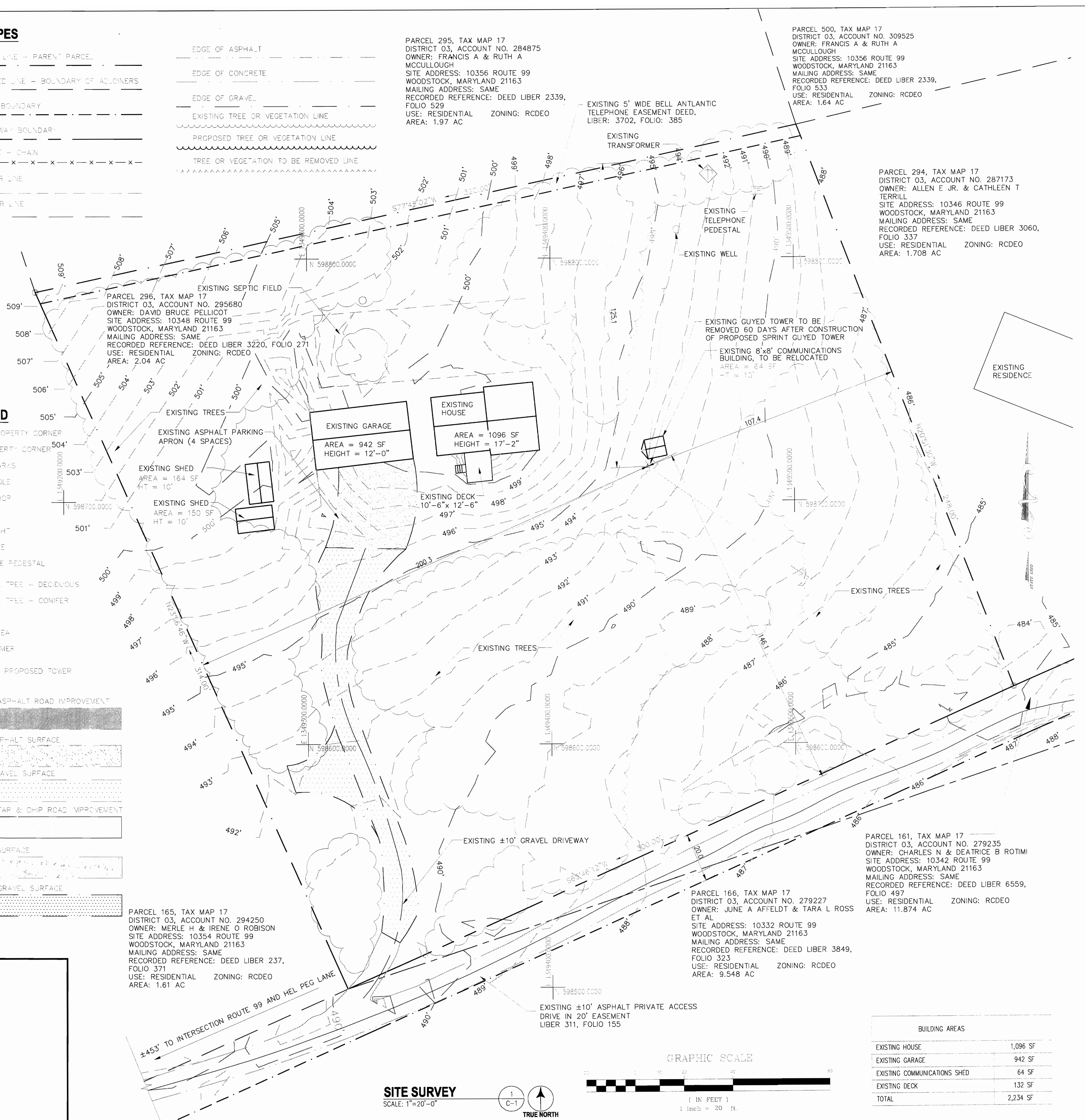
COUNTY HEALTH OFFICE
 HOWARD COUNTY HEALTH DEPARTMENT DATE

LINE TYPES

- BOUNDARY LINE - PARENT PARCEL
- UN-SURVEYED LINE - BOUNDARY OF ADJOINERS
- EASEMENT BOUNDARY
- RIGHT OF WAY BOUNDARY
- FENCE LINE - CHAIN
- 1" CONTOUR LINE
- 5' CONTOUR LINE
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- EDGE OF GRAVEL
- EXISTING TREE OR VEGETATION LINE
- PROPOSED TREE OR VEGETATION LINE
- TREE OR VEGETATION TO BE REMOVED LINE

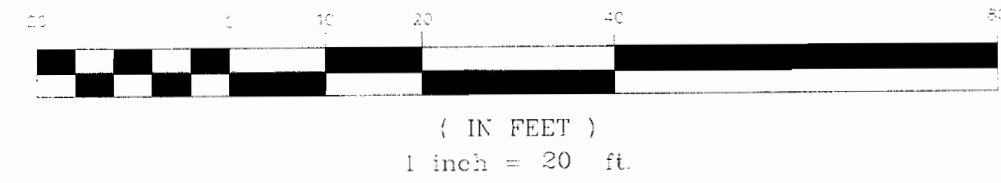
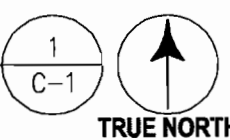
LEGEND

- FOUND PROPERTY CORNER
- SET PROPERTY CORNER
- BENCH MARKS
- UTILITY POLE
- GUY ANCHOR
- SIGN
- FLOOD LIGHT
- LIGHT POLE
- TELEPHONE PEDESTAL
- INDIVIDUAL TREE - DECIDUOUS
- INDIVIDUAL TREE - CONIFER
- BUSH
- GRASS AREA
- TRANSFORMER
- CENTER OF PROPOSED TOWER
- PROPOSED ASPHALT ROAD IMPROVEMENT
- EXISTING ASPHALT SURFACE
- EXISTING GRAVEL SURFACE
- PROPOSED TAR & CHIP ROAD IMPROVEMENT
- CONCRETE SURFACE
- PROPOSED GRAVEL SURFACE



SITE SURVEY

SCALE: 1"=20'-0"



BUILDING AREAS	
EXISTING HOUSE	1,096 SF
EXISTING GARAGE	942 SF
EXISTING COMMUNICATIONS SHED	64 SF
EXISTING DECK	132 SF
TOTAL	2,234 SF

1575 Eye Street, N.W. Suite 350
 WASHINGTON, D.C. 20005
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 FAX: (202)408-0961

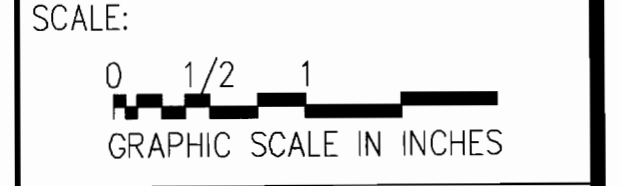
SUBMITTALS

DATE	DESCRIPTION	REV.
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02-02-06	COUNTY COMMENTS	
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06-15-06	COUNTY COMMENTS	

SEAL:

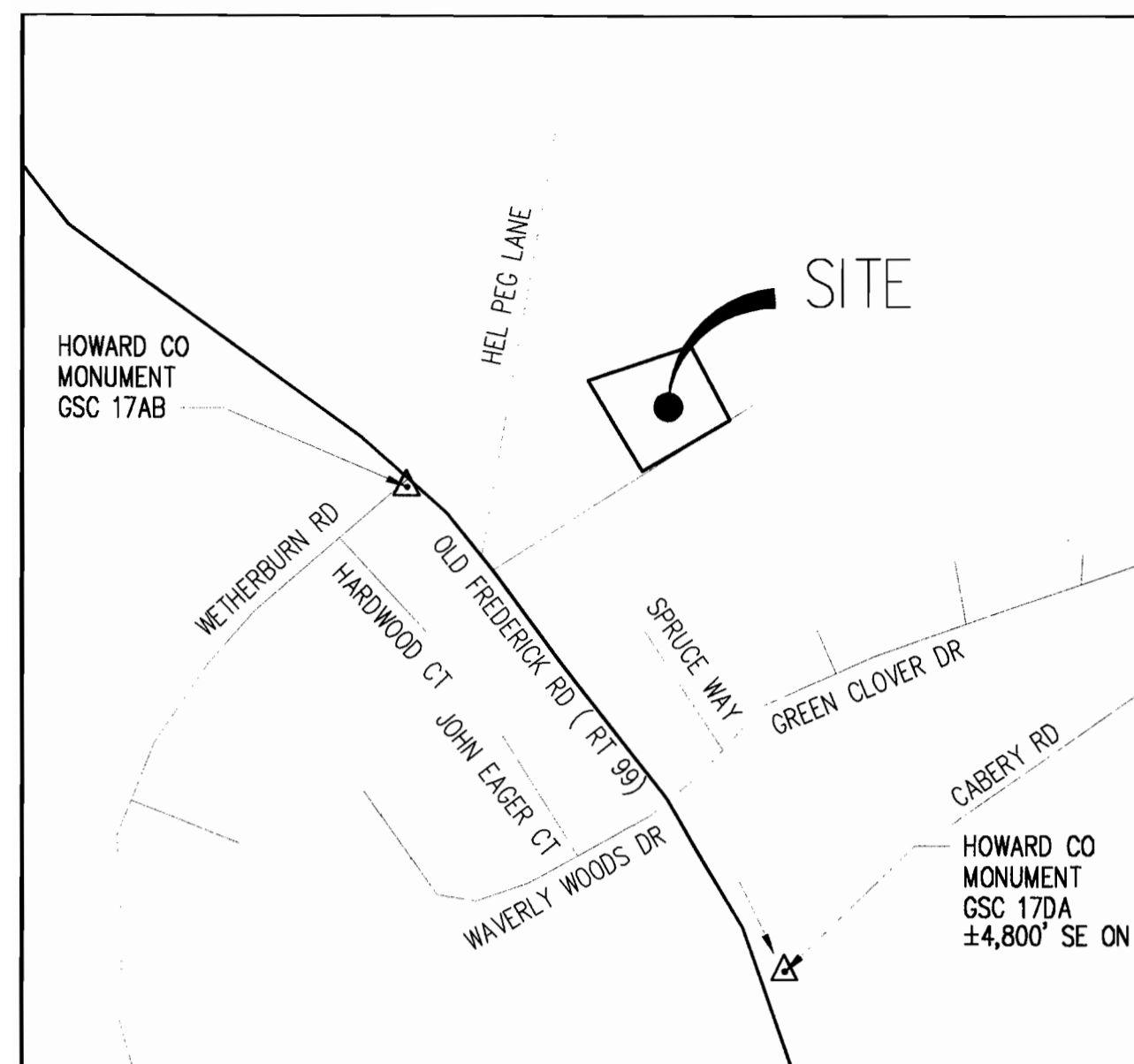
APC REALTY AND EQUIPMENT COMPANY, LLC.
 d/b/a
 SPRINT PCS CAPITAL DISTRICT

PROJECT NO: 1015.280
 DESIGNER: R.S.
 ENGINEER: M.M.



**WAVERLY
 WA54XC671A
 10348 OLD FREDERICK ROAD
 WOODSTOCK, MD 21163**

TITLE:
**EXISTING
 SITE SURVEY**
 SHEET NUMBER:
2
SDP-06-057



VICINITY MAP
SCALE: 1"=500'-0"
TRUE NORTH

SURVEY NOTES:

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SITE NUMBER: WA54XC671A
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OWNER: MR. DAVID BRUCE PELLICOT
PREMISES ADDRESS: 10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163
MAILING ADDRESS: 10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163
JURISDICTION: HOWARD COUNTY
PROPERTY INFO: PARCEL: 296 TAX MAP: 17
DISTRICT: 03 ACCOUNT NO.: 295680
ZONING: RC-DEO USE: RESIDENTIAL
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LATITUDE: N 39° 18' 37.587"
LONGITUDE: W 76° 52' 08.321"
ELEVATION: 492.75' AMSL
- 13.) THE TOTAL DISTURBED AREA FOR CONSTRUCTION IS ±5,585 SF.

PROPOSED REPLACEMENT GUYED TOWER SETBACKS	PROPOSED	REQUIRED
FRONT YARD (SOUTH)	125.3'	150'
REAR YARD (NORTH)	150.0'	150'
SIDE YARD (EAST)	150.0'	150'
SIDE YARD (WEST)	154.2'	150'
CLOSEST OFFSITE RESIDENCE	178.8'	N/A

APPROVALS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 8/1/06
CHIEF, DIVISION OF PLANNING AND DEVELOPMENT
DATE: 8/19/06
DIRECTOR

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

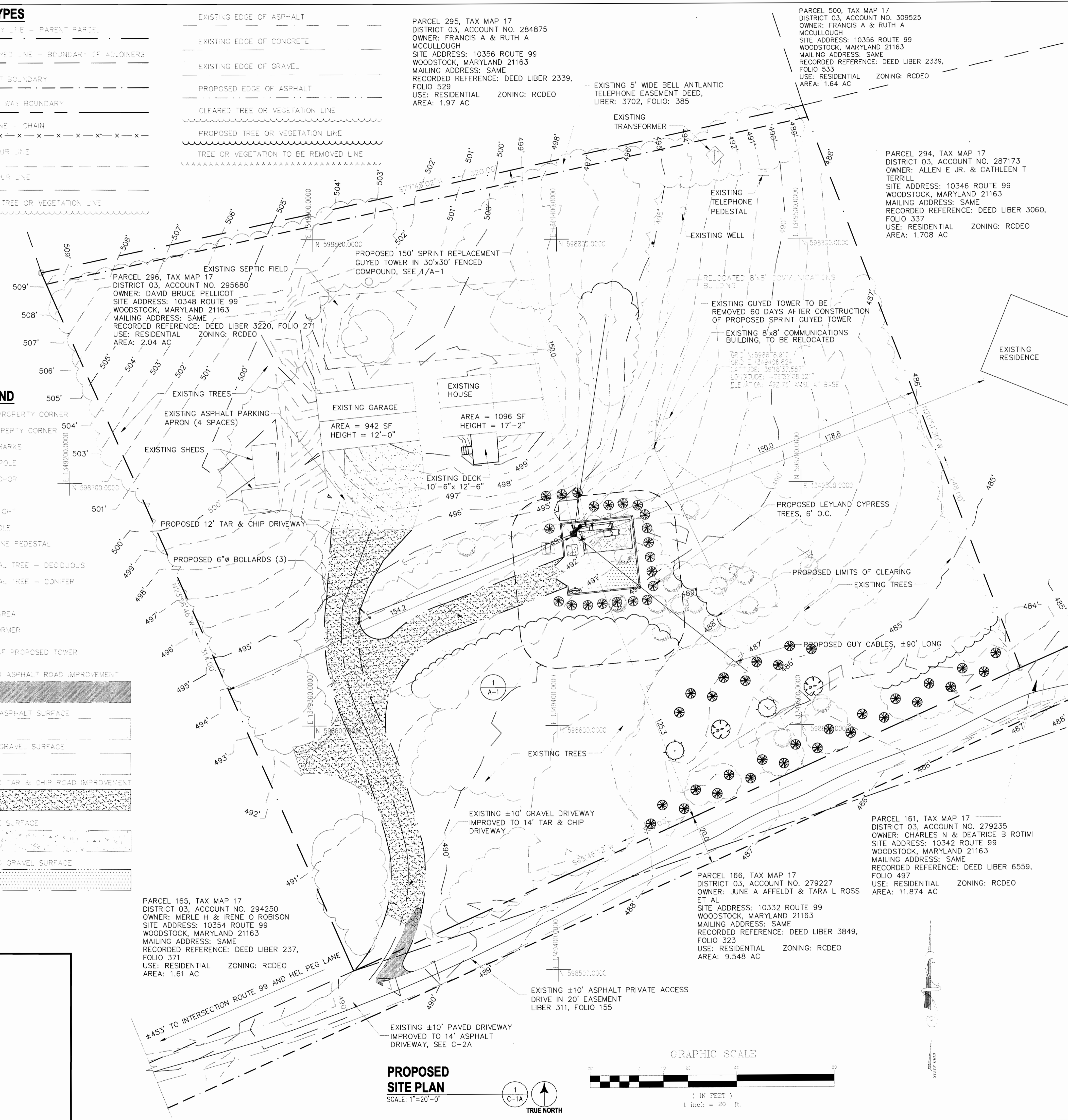
COUNTY HEALTH OFFICER
DATE

LINE TYPES

- BOUNDARY LINE - PARENT PARCEL
- UNSURVEYED LINE - BOUNDARY OF ADJOINERS
- EASEMENT BOUNDARY
- RIGHT OF WAY BOUNDARY
- FENCE LINE - CHAIN
- 1' CONTOUR LINE
- 5' CONTOUR LINE
- EXISTING TREE OR VEGETATION LINE
- EXISTING EDGE OF ASPHALT
- EXISTING EDGE OF CONCRETE
- EXISTING EDGE OF GRAVEL
- PROPOSED EDGE OF ASPHALT
- CLEARED TREE OR VEGETATION LINE
- PROPOSED TREE OR VEGETATION LINE
- TREE OR VEGETATION TO BE REMOVED LINE

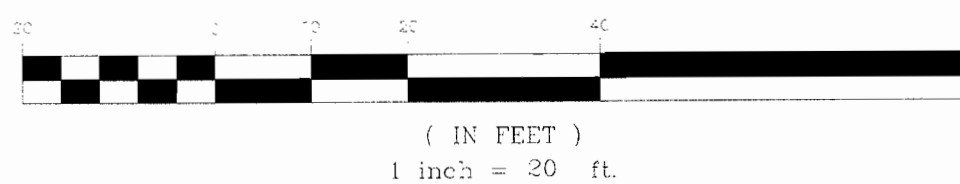
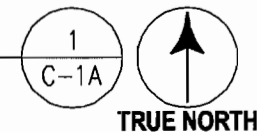
LEGEND

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- UTILITY POLE
- GUY ANCHOR
- SIGN
- FLOOD LIGHT
- LIGHT POLE
- TELEPHONE PEDESTAL
- INDIVIDUAL TREE - DECIDUOUS
- INDIVIDUAL TREE - CONIFER
- BUSH
- GRASS AREA
- TRANSFORMER
- CENTER OF PROPOSED TOWER
- PROPOSED ASPHALT ROAD IMPROVEMENT
- EXISTING ASPHALT SURFACE
- EXISTING GRAVEL SURFACE
- PROPOSED TAR & CHIP ROAD IMPROVEMENT
- CONCRETE SURFACE
- PROPOSED GRAVEL SURFACE



PROPOSED SITE PLAN

SCALE: 1"=20'-0"



entrex
communication services, inc.
1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0960
FAX: (202)408-0961

SUBMITTALS

DATE	DESCRIPTION	REV.
11-08-05	SDP SUBMITTAL	
02-02-06	COUNTY COMMENTS	
04-19-06	COUNTY COMMENTS	
06-15-06	COUNTY COMMENTS	

SEAL:

Sprint
APC REALTY AND EQUIPMENT COMPANY, LLC.
d/b/a SPRINT PCS CAPITAL DISTRICT

PROJECT NO: 1015.280
DESIGNER: R.S.
ENGINEER: M.M.
SCALE:
0 1/2 1
GRAPHIC SCALE IN INCHES

WAVERLY
WA54XC671A
10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163

TITLE:
PROPOSED SITE PLAN
C-1A
SHEET NUMBER:
3
SDP-06-057

Reviewed for Howard SCD and meets Technical Requirements
 Jim Meyer
 USDA - Natural Resources Conservation Service
 Date: 7/27/06

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 Jim R. Whitson
 Howard SCD
 Date: 7/27/06

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Marc A. Marzullo
 Signature of Engineer (print name below signature)
 Date: 7/10/06

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 E.M. Griffiths
 Signature of Developer (print name below signature)
 Date: 7/7/06

LEGEND

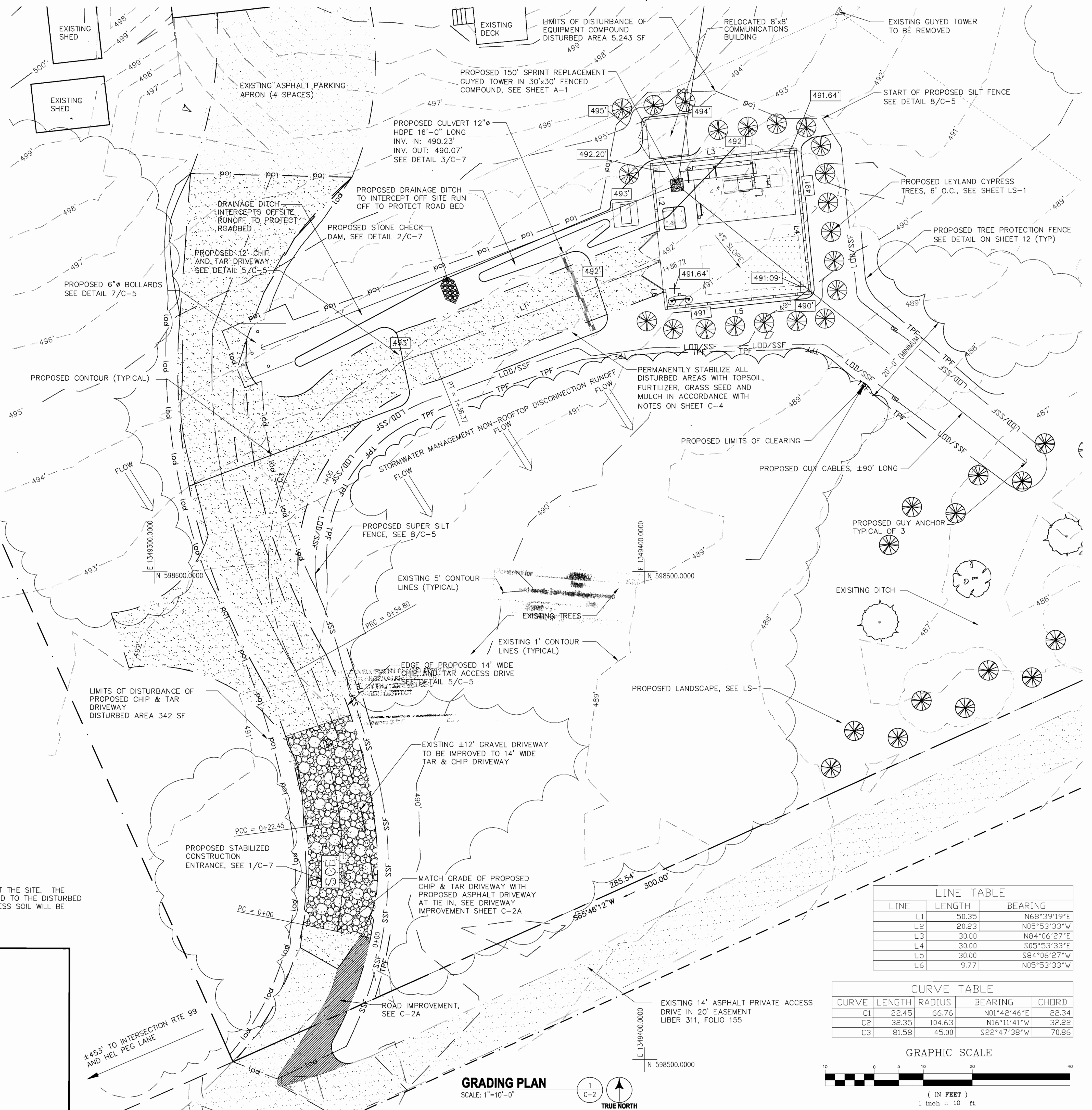
- PROPOSED ASPHALT ROAD IMPROVEMENT
- EXISTING ASPHALT SURFACE
- PROPOSED GRAVEL SURFACE
- PROPOSED TAR & CHIP ROAD IMPROVEMENT
- CONCRETE SURFACE
- SCE SURFACE

LINE TYPES

- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- EXISTING TREE OR VEGETATION LINE
- PROPOSED TREE OR VEGETATION LINE
- BOUNDARY LINE - PARENT PARCEL
- UNSURVEYED LINE - BOUNDARY OF ADJOINERS
- EASEMENT BOUNDARY
- TREE OR VEGETATION TO BE REMOVED LINE
- TREE PROTECTION FENCE

NOTE:

THERE WILL BE NO STOCKPILE AT THE SITE. THE EXCESS SOIL WILL BE DISTRIBUTED TO THE DISTURBED AREAS AND THE REMAINING EXCESS SOIL WILL BE REMOVED FROM THE SITE.

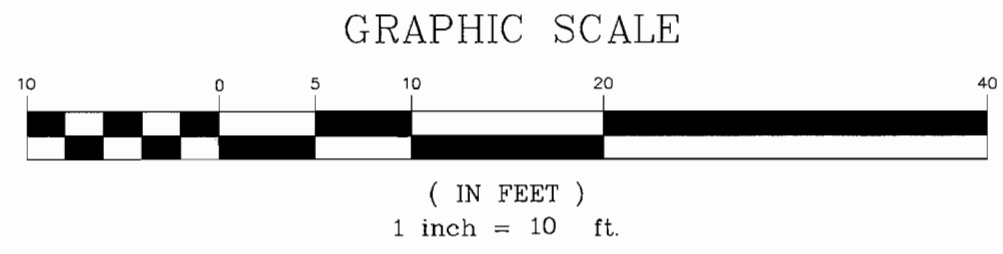


LINE TABLE

LINE	LENGTH	BEARING
L1	50.35	N68°39'19"E
L2	20.23	N05°53'33"W
L3	30.00	N84°06'27"E
L4	30.00	S05°53'33"E
L5	30.00	S84°06'27"W
L6	9.77	N05°53'33"W

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	22.45	66.76	N01°42'46"E	22.34
C2	32.35	104.63	N16°11'41"W	32.22
C3	81.58	45.00	S22°47'38"W	70.86



GRADING PLAN
 SCALE: 1"=10'-0"

APPROVALS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: 8/1/06
 Chief, Planning and Zoning: 8/9/06
 Director: 8/9/06

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
 County Health Officer: _____ DATE: _____
 Howard County Health Department

entrex
 communication services, inc.
 1575 Eye Street, N.W. Suite 350
 WASHINGTON, D.C. 20005
 PHONE: (202)408-0960
 FAX: (202)408-0961

SUBMITTALS

DATE	DESCRIPTION	REV.
11-08-05	SDP SUBMITTAL	
02-02-06	COUNTY COMMENTS	
04-19-06	COUNTY COMMENTS	
06-15-06	COUNTY COMMENTS	

SEAL:

Sprint
 APC REALTY AND EQUIPMENT COMPANY, LLC.
 d/b/a SPRINT PCS
 CAPITAL DISTRICT

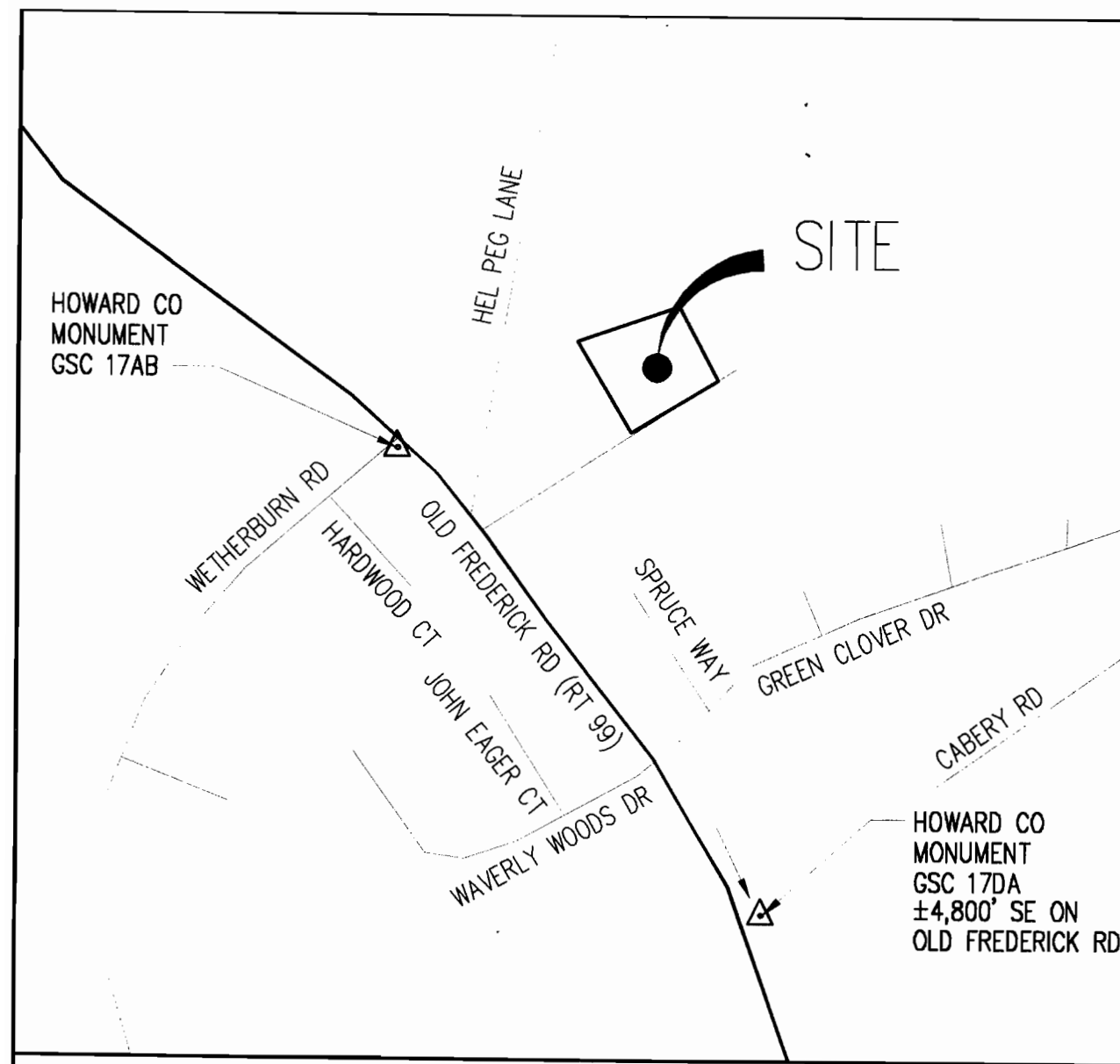
PROJECT NO: 1015.280
 DESIGNER: R.S.
 ENGINEER: M.M.



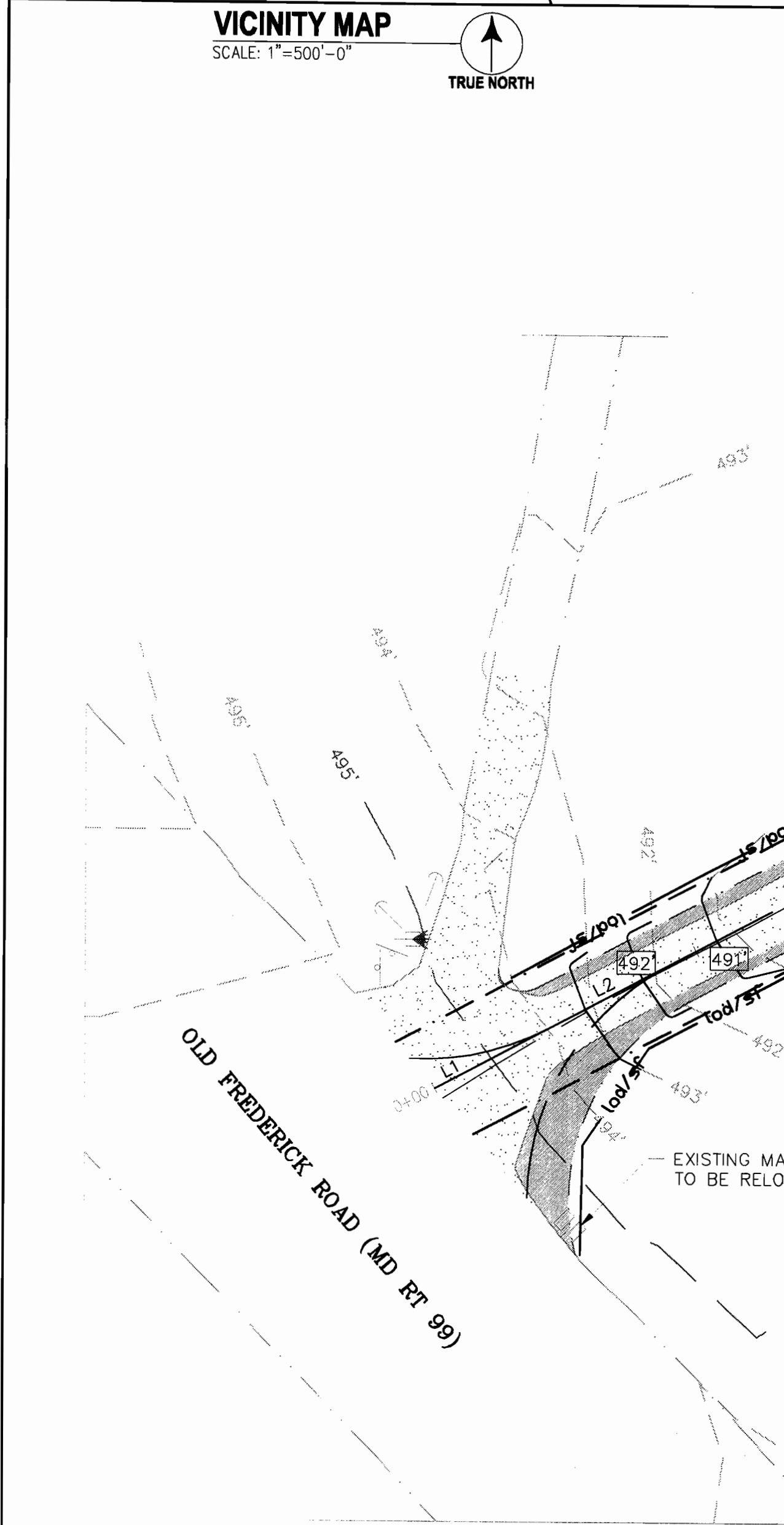
WAVERLY
WA54XC671A
 10348 OLD FREDERICK ROAD
 WOODSTOCK, MD 21163

GRADING PLAN

C-2
 SHEET NUMBER:
4
 SDP-06-057



VICINITY MAP
SCALE: 1"=500'-0"
TRUE NORTH



- LINE TYPES**
- BOUNDARY LINE - PARENT PARCEL
 - UNSURVEYED LINE - BOUNDARY OF ADJOINERS
 - EASEMENT BOUNDARY
 - RIGHT OF WAY BOUNDARY
 - EXISTING EDGE OF ASPHALT
 - EXISTING EDGE OF GRAVEL
 - PROPOSED EDGE OF ASPHALT
 - FENCE LINE - CHAIN
 - 1" CONTOUR LINE EXISTING
 - 5" CONTOUR LINE EXISTING
 - 1" CONTOUR LINE PROPOSED
 - 5" CONTOUR LINE PROPOSED

- LEGEND**
- EXISTING TREE OR VEGETATION LINE
 - PROPOSED TREE OR VEGETATION LINE
 - TREE OR VEGETATION TO BE REMOVED LINE
 - PROPOSED ASPHALT ROAD IMPROVEMENT
 - EXISTING ASPHALT SURFACE
 - EXISTING GRAVEL SURFACE
 - PROPOSED TAR & CHIP ROAD IMPROVEMENT
 - CONCRETE SURFACE
 - PROPOSED GRAVEL SURFACE

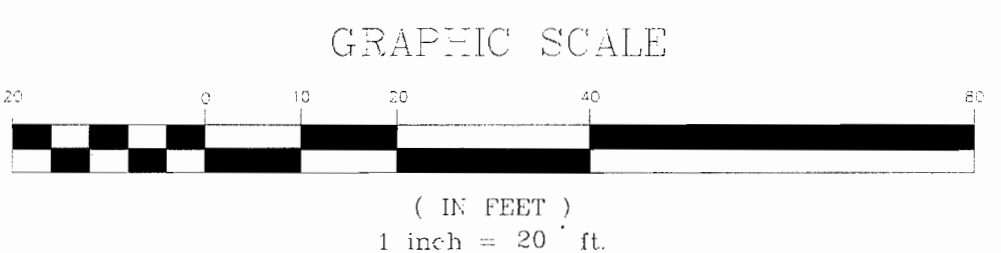
- LEGEND**
- FOUND PROPERTY CORNER
 - SET PROPERTY CORNER
 - BENCH MARK
 - UTILITY POLE
 - SURVEYOR
 - SON
 - FLOOD LIGHT

EXISTING ±10' GRAVEL DRIVEWAY IMPROVED TO 14' TAR & CHIP DRIVEWAY, SEE C-2

EXISTING TREES

FOUND PROPERTY CORNER

PROPOSED DRIVEWAY IMPROVEMENT FROM ±10' WIDE TO 14' WIDE ASPHALT DRIVEWAY, SEE 2/C-2A



LINE TABLE

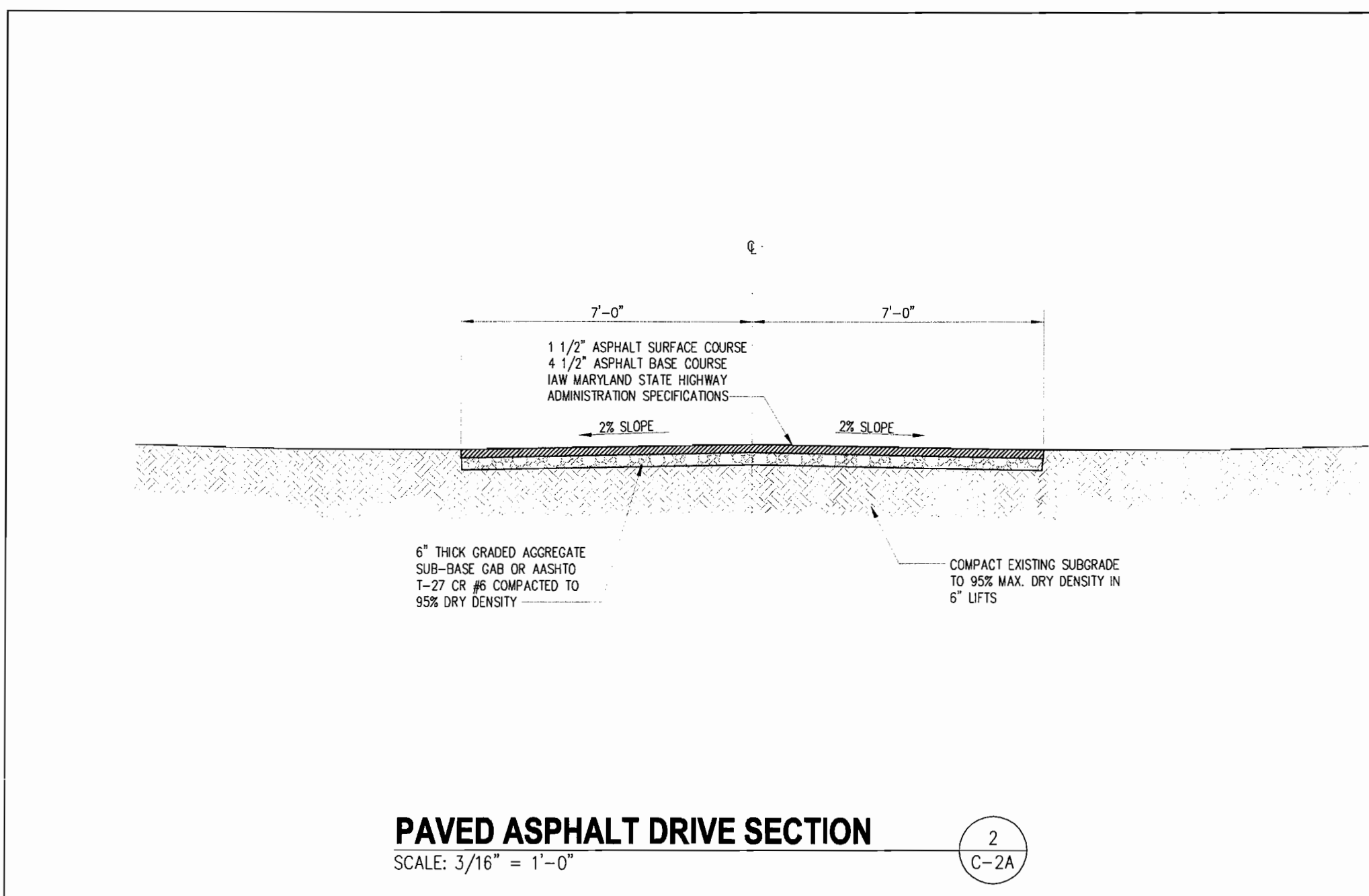
LINE	LENGTH	BEARING
1	21.94	S83°28'43"E
2	23.75	S82°08'43"E
3	334.81	S83°02'42"E
4	57.75	N75°12'38"E
5	40.99	S58°35'45"E

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	48.57	45.00	N31°07'28"E	45.27
C2	24.45	45.00	N77°35'42"E	24.55
C3	13.89	50.00	N58°43'39"E	13.56
C4	7.03	50.00	N71°57'11"E	7.35
C5	45.22	65.75	N52°14'51"E	44.36

Reviewed for: **HOWARD** S.C.D.
and **Technical Requirements**
Signature: *[Signature]* Date: **7/27/06**
USDA, NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Approved: *[Signature]* Date: **7/27/06**
Howard S.C.D.



PAVED ASPHALT DRIVE SECTION
SCALE: 3/16" = 1'-0"

APPROVALS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: **8/1/06**

CHIEF, TECHNICAL DEVELOPMENT: *[Signature]* DATE: **5/19/06**

DIRECTOR: *[Signature]* DATE: **8/9/06**

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER: _____ DATE: _____
HOWARD COUNTY HEALTH DEPARTMENT

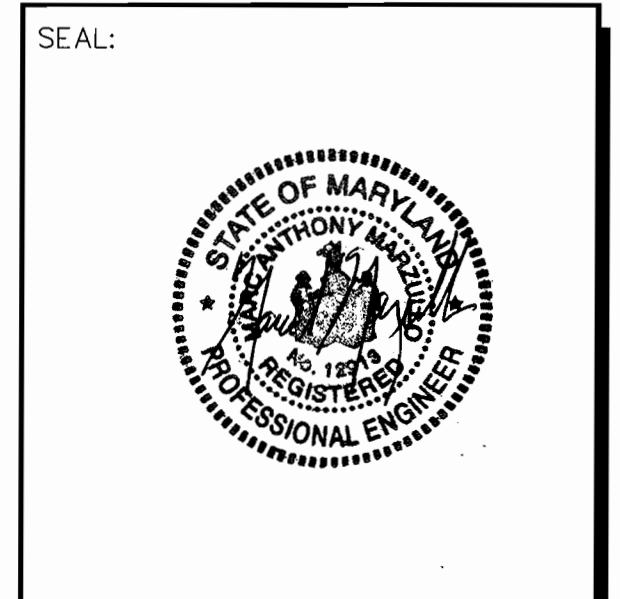
ACCESS DRIVEWAY IMPROVEMENT
SCALE: 1"=20'-0"
TRUE NORTH

entrex
communication services, inc.

1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0960
FAX: (202)408-0961

SUBMITTALS

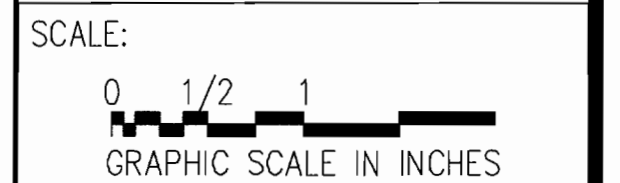
DATE	DESCRIPTION	REV.
11-08-05	SDP SUBMITTAL	
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06-15-06	COUNTY COMMENTS	



Sprint

APC REALTY AND EQUIPMENT COMPANY, LLC.
d/b/a
SPRINT PCS
CAPITAL DISTRICT

PROJECT NO: 1015.28C
DESIGNER: R.S.
ENGINEER: M.M.



WAVERLY
WA54XC671A
10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163

TITLE:
ACCESS DRIVEWAY IMPROVEMENT

C-2A

SHEET NUMBER:
5

SDP-06-057

Reviewed for Howard SCD and meets Technical Requirements

Jim M. ... 7/27/06
USDA - Natural Resources Conservation Service Date

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

John ... 7/27/06
Howard SCD Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer (print name below signature) 7/10/06 Date
Marc A. Marzullo

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of developer (print name below signature) 7/7/06 Date
E. M. Griffiths

STORMWATER MANAGEMENT SUMMARY

STORM WATER CALCULATIONS
LOCATION: HOWARD COUNTY, MD
DESIGN RAINFALL: 1 YR - 24 HR: 2.6 INCHES
10 YR - 24 HR: 5.1 INCHES
HYDROLOGIC SOILS GROUP C
PROJECT TOTAL DRAINAGE AREA: 13,947 SF = 0.32 AC (FROM SHEET C-8 DRAINAGE AREA MAP)
PROJECT DISTURBED SITE AREA: 5,585 SF = 0.13 AC
NEW IMPERVIOUS AREA: 2,200 SF = 0.05 AC
COVER: EXISTING PAVED PARKING LOTS, ROOF, DRIVEWAY, WOODS & OPEN SPACE LAWN
PROPOSED PAVED PARKING LOTS, ROOF, DRIVEWAY, WOODS, GOOD OPEN SPACE LAWN
CURVE NUMBER (CN): 73
W_q WATER QUALITY SWALE: REDUCED TO 23 CFS BY DISCONNECT OF NON-ROOFTOP RUNOFF CREDIT
R₂ RECHARGE VOLUME: 8 CF REDUCED BY NON-ROOFTOP DISCONNECT CREDIT
C_p CHANNEL PROTECTION VOLUME: NOT REQUIRED
Q_o OVERTOP PROTECTION VOLUME: NEGLIGIBLE

THE WQV OF 23 CF IS TREATED BY A GRASS SWALE WITH ROCK CHECK DAM BMP. THE PAVED DRIVE AND GRAVEL COMPOUND RUNOFF IS DIRECTED TO THE PERVIOUS AREAS SURROUNDING IT WHERE IT IS INFILTRATED OR FILTERED BY VEGETATION. STORMWATER MANAGEMENT SATISFIED BY THE NON-STRUCTURAL METHOD OF DISCHARGING THE RUNOFF FROM THE IMPERVIOUS AREAS TO A PERVIOUS AREA. THIS METHOD ALLOWS FOR A CREDIT APPLIED TO THE W_q AND R₂ CALCULATIONS. SPRINT OR A DESIGNATED REPRESENTATIVE WILL MAINTAIN STORMWATER MANAGEMENT.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED OPEN CHANNEL SYSTEMS

- 1. THE OPEN CHANNEL SYSTEM SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
- 2. THE OPEN CHANNEL SHALL BE MOWED A MINIMUM OF AS NEEDED DURING THE GROWING SEASON TO MAINTAIN A MAXIMUM GRASS HEIGHT OF LESS THAN 6 INCHES.
- 3. DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AS NEEDED.
- 4. VISIBLE SIGNS OF EROSION IN THE OPEN CHANNEL SHALL BE REPAIRED AS SOON AS NOTICED.
- 5. REMOVE SILT IN THE OPEN CHANNEL SYSTEM WHEN IT EXCEEDS 25% OF THE ORIGINAL WQV.

NOTE: THE STOCKPILE WILL NOT BE PERMITTED AT THE SITE AND ALL EXCESS SOILS WILL BE HAUL OFFSITE.

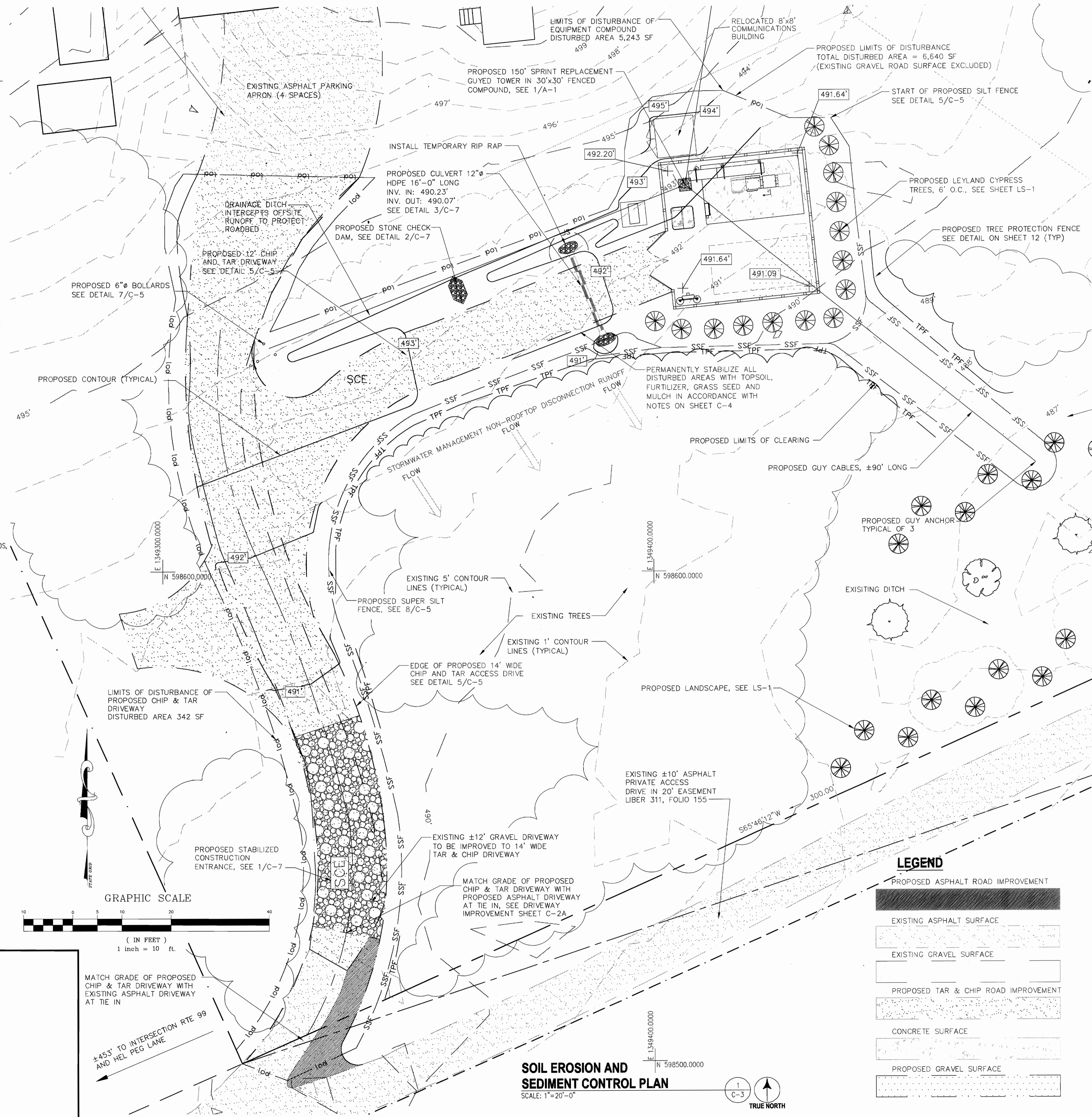
- LINE TYPES
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 - PROPOSED TREE OR VEGETATION LINE
 - EDGE OF ASPHALT
 - EDGE OF CONCRETE
 - BOUNDARY LINE - PARENT PARCEL
 - TREE OR VEGETATION TO BE REMOVED LINE

APPROVALS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION 8/1/06
CHIEF, DIVISION OF LAND DEVELOPMENT 7/19/06
DIRECTOR 8/19/06

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

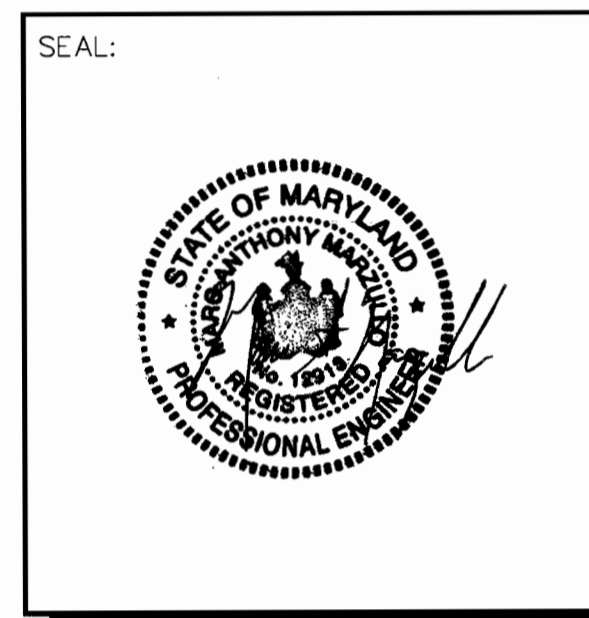
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT DATE



1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0960
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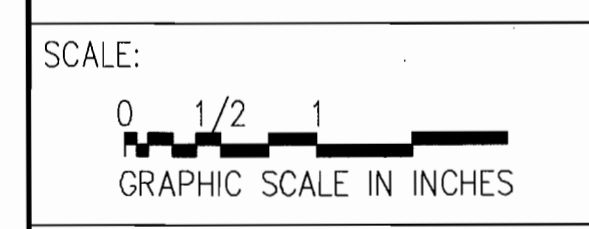
SUBMITTALS

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02-02-06	COUNTY COMMENTS	
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06-15-06	COUNTY COMMENTS	



APC REALTY AND EQUIPMENT COMPANY, LLC.
d/b/a
SPRINT PCS
CAPITAL DISTRICT

PROJECT NO: 1015.280
DESIGNER: R.S.
ENGINEER: M.M.



WAVERLY
WA54XC671A
10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163

SOIL EROSION AND SEDIMENT CONTROL PLAN

C-3

SHEET NUMBER: 6

SDP-06-057

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO LATEST MDC STANDARDS AND SPECIFICATIONS FOR SEDIMENT AND EROSION CONTROL.
- THE CONTRACTOR SHALL APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO ALL DENuded OR DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENuded OR DISTURBED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WHICH WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING, AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
- ALL SEDIMENT AND CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN LAND DISTURBANCE.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND CLEANUP OF THE SEDIMENTATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY A STONE CONSTRUCTION ENTRANCE OR AN APPROVED COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS.
- STOCKPILES OF SOIL AND OTHER ERODIBLE MATERIALS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST, INCLUDING (BUT NOT LIMITED TO) USE OF WATER, MULCH, OR CHEMICAL DUST ADHESIVES AND CONTROL OF CONSTRUCTION SITE TRAFFIC.
- EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDED.

SEQUENCE OF CONSTRUCTION

TASK	DESCRIPTION
1.	OBTAIN GRADING PERMIT
2.	CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (2 DAYS)
3.	CONSTRUCT SILT FENCE (1 DAYS)
4.	INSTALL CULVERT WITH STONES AT THE INLET. INSTALL SUPER SILT FENCE IN FRONT OF STONES (1 DAY)
5.	CONSTRUCT TOWER (10 DAYS)
6.	FINISH GRADE WITHIN THE SITE (2 DAYS)
7.	INSTALL EQUIPMENT (20 DAYS)
8.	CONSTRUCT FENCE (2 DAYS)
9.	STABILIZE WITH TOPSOIL, FERTILIZER AND SEED (10 DAYS) INSTALL EROSION CONTROL MATING AS SHOWN IN CIVIL DETAILS
10.	REMOVE SEDIMENT CONTROL PRACTICES ONLY WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR (5 DAYS)

SYMBOLS

- SF — SF —
SF = SILT FENCE
- TPF — TPF —
TPF = TREE PROTECTION FENCE
- lod — lod —
lod = LIMITS OF DISTURBANCE
- P — P —
POWER
- T — T —
TELEPHONE

AREA TABLE

PROPOSED IMPERVIOUS AREA : 2,200 SF (0.05 AC)
DISTURBED AREA : 5,585 SF (0.13 AC)
GRAVEL : 17 CY

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.

EARTH EXCAVATION NOTES

- EXCAVATED MATERIAL SHALL BE USED AS BACKFILL WHEREVER POSSIBLE. BACKFILL MATERIAL SHALL BE OF A QUALITY SUITABLE TO THE ENGINEER AND FREE OF EXCESS ORGANIC WATER AND BOULDERS.
- BACKFILL SLOPES SHALL BE STEPPED OR SERRATED AND PROCEED IN SIX (6) INCH LIFTS.
- EACH LAYER SHALL BE COMPACTED BY MECHANICAL TAMPERS OR OTHER APPROVED MEANS TO NINETY-FIVE (95) PERCENT OF MAXIMUM DENSITY AS MEASURED BY A.A.S.H.O. T-99.
- COMPACTION TESTING SHALL BE MADE BY AN OWNER APPROVED MATERIALS TESTING FIRM AND THE RESULTS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE DESIGN ENGINEER FOR APPROVAL. TESTS SHALL BE CONDUCTED AT THE RATE OF ONE TEST PER 50 CY OF FILL OR 2000 SF OF SURFACE AREA WHICHEVER IS GREATER. A MINIMUM OF 2 TESTS PER COMPACTED AREA ARE REQUIRED.
- THE BACKFILL SHALL BE PROPERLY GRADED TO BLEND WITH THE EXISTING GROUND AND DRAIN PROPERLY.
- MAXIMUM CUT OR FILL SLOPE
3:1 FOR SEED OR SOD LAWN AREAS
2:1 FOR STABILIZED LOW MAINTENANCE AREAS

APPROVALS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 8/1/06
 CHIEF, DEPARTMENT OF PLANNING AND ZONING DATE 8/1/06
 DIRECTOR DATE 8/9/06

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER DATE
 HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY DRIVEWAY NOTES

- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE);
 - SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.);
 - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 - STRUCTURAL CLEARANCE - MINIMUM 12 FEET;
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.

HOWARD COUNTY CHECKLIST ITEMS

- APFO ROAD TESTS ARE NOT APPLICABLE TO THIS PROJECT.
- APFO MITIGATION PLANS ARE NOT APPLICABLE TO THIS PROJECT.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT. THE PROJECT WILL REQUIRE ONE MAN TRIP TO THE SITE PER MONTH.
- A SIGHT DISTANCE ANALYSIS IS NOT REQUIRED FOR THIS PROJECT. THE SITE ACCESSED THROUGH PRIVATE PROPERTY.
- THERE ARE NO BURIAL GROUNDS OR CEMETERY SITES ON THIS PROPERTY.
- THERE ARE NO SCENIC ROADS ADJACENT TO, OR WITHIN 200 FT OF THE PROPERTY.

HOWARD COUNTY ZONING NOTES & REGULATIONS

- IN ACCORDANCE WITH SECTION 128.E.2.A. OF THE ZONING REGULATIONS, THE TOWER SHALL BE SETBACK A MINIMUM DISTANCE FROM PUBLIC STREET RIGHT-OF-WAY AND OTHER RESIDENTIALLY-ZONED LOTS EQUAL TO THE TOWER HEIGHT (INCLUDING ANTENNAS) MEASURED FROM GROUND LEVEL AND A MINIMUM DISTANCE FROM NON-RESIDENTIALLY-ZONED LOTS EQUAL TO 50 FEET OR ONE-THIRD OF THE TOWER HEIGHT (INCLUDING ANTENNAS) MEASURED FROM GROUND LEVEL, WHICHEVER IS GREATER.
- COMMUNICATION TOWERS SHALL BE GRAY OR A SIMILAR COLOR THAT MINIMIZES VISIBILITY, UNLESS A DIFFERENT COLOR IS REQUIRED BY THE FEDERAL COMMUNICATIONS COMMISSION OR THE FEDERAL AVIATION ADMINISTRATION.
- NO SIGNALS OR LIGHTS SHALL BE PERMITTED ON TOWERS UNLESS REQUIRED BY THE FEDERAL COMMUNICATIONS COMMISSION OR THE FEDERAL AVIATION ADMINISTRATION.
- A COMMUNICATION TOWER THAT IS NO LONGER USED SHALL BE REMOVED FROM THE SITE WITHIN ONE-YEAR OF THE DATE THAT THE USE CEASES.

HOWARD COUNTY SOIL CONSERVATION DISTRICT NOTES

- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERE TO.
- THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS OF WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES AFFECTED BY THIS PLAN.

TOPSOIL SPECIFICATIONS:

FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES
 SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

- TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF BENTONITE, STONES, SLAG, COARSE FRAGMENTS, GRAVEL STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
- TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FERTILIZERS SHALL BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROVED EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS SHALL ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE STATE FERTILIZER LAWS AND SHALL BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTIES OF THE PRODUCT.
- LIME MATERIALS SHALL BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) WHICH CONTAINS AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT AT LEAST 50% WILL PASS THROUGH A #100 MESH SIEVE AND 98-100% WILL PASS THROUGH A #20 MESH SIEVE.
- INCORPORATE LIME AND FERTILIZER INTO THE TOP 3"-5" OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

SECTION II: TEMPORARY SEEDING

- VEGETATION - ANNUAL GRASS OR GRAIN USED TO PROVIDE COVER ON DISTURBED AREAS FOR UP TO 12 MONTHS. FOR LONGER DURATION OF VEGETATIVE COVER, PERMANENT SEEDING IS REQUIRED.
- APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RE-DISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
- SEEDING PREPARATION: --- LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
- SOIL AMENDMENTS: --- APPLY 600 LBS/ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.).
- SEEDING: --- FOR PERIODS MARCH 1 --- APRIL 30 AND FROM AUGUST 15 --- OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.) FOR THE PERIOD MAY 1 --- AUGUST 14, SEED WITH 3 LBS/ACRE OF WEEPING LOVEGRASS (0.7 LBS/1000 SQ. FT.). FO- THE PERIOD NOVEMBER 16 --- FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS/ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.
- MULCHING: --- APPLY 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTED WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPE 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.
- REFER TO THE 1994 MAR4AND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.
- A. SEED MIXTURES - TEMPORARY SEEDING

NO.	SPECIES	FROM TABLE 26)		SEEDING DEPTHS	FERTILIZER RATE (10 - 10 - 10)	LIME RATE
		APPLICATION RATE (LB/1000SF)	SEEDING DATES			
	RYE	3.22	2/1 TO 4/30 8/15 TO 11/30	1 - 2	600 LB/AC (15 LB/1000 SF)	2 TONS/AC (100 LB/1000 SF)
	WEEPING LOVEGRASS	0.09	5/1 - 8/14	1/4 - 1/2		

SECTION III: PERMANENT SEEDING

- SEEDING GRASS AND LEGUMES TO ESTABLISH GROUND COVER FOR A MINIMUM PERIOD OF ONE YEAR ON DISTURBED AREAS GENERALLY RECEIVING LOW MAINTENANCE.
- APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LEIVED VEGETATIVE COVER IS NEEDED.
- SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
- SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
- PREFERRED --- APPLY 2 TONS/ACRE DILOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS/ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LBS/ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ. FT.).
 - ACCEPTABLE --- APPLY 2 TONS/ACRE DILOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 1000 LBS/ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.
- SEEDING --- FOR THE PERIODS MARCH 1 --- APRIL 30, AND AUGUST 1 --- OCTOBER 15, SEED WITH 60 LBS/ACRE (14 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE FOR THE PERIOD MAY 1 --- JULY 31. SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS/ACRE (.05 LBS/1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 --- FEBRUARY 28, PROTECT SITE BY:
- OPTION 1 --- TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.
 OPTION 2 ---USE SOD. OPTION 3 --- SEER: WITH 60 LBS/ACRE KENTUCKY 30 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.
- MULCHING --- APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.
- MAINTENANCE --- INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.
- A. SEED MIXTURES - PERMANENT SEEDING
- III. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREAFORM FERTILIZER (46-0-0) AT 3 1/2 LBS/1000 SQ.FT. (150 LBS/AC), IN ADDITION TO THE ABOVE SOIL AMENDMENTS SHOWN IN THE TABLE BELOW, TO BE PERFORMED AT THE TIME OF SEEDING.

NO.	SPECIES	FROM TABLE 25)		SEEDING DEPTHS	FERTILIZER RATE (10 - 20 - 20)			LIME RATE
		APPLICATION RATE (LB/1000SF)	SEEDING DATES		N	P205	K20	
1	TALL FESCUE (83%) WEEPING LOVEGRASS (2%) PLUS SEROLEA LESPEDEZA (15%)	2.5 0.07 0.46	3/1 TO 5/15 5/16 TO 8/14 8/15 TO 10/15	1/4 - 1/2	90 LB/AC (2 LB/ 1000 SF)	175 LB/AC (4 LB/ 1000 SF)	175 LB/AC (4 LB/ 1000 SF)	2 TONS/AC (100 LB/ 1000 SF)

SEDIMENT CONTROL NOTES:

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 TOTAL AREA OF SITE ---0.02---ACRES
 AREA DISTURBED ---0.13---ACRES
 AREA TO BE ROOFED OR PAVED ---0.05---ACRES
 AREA TO BE VEGETATIVELY STABILIZED ---0.08---ACRES
 TOTAL CUT ---103---CU YDS. (TOP SOIL)
 TOTAL FILL ---0---CU YDS.
 OFFSITE WASTE/BORROW AREA LOCATION: GRAVEL SUPPLY QUARRY
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

Reviewed for Howard SCD and meets Technical Requirements

Jim Meyer 7/27/06
 Date

John R. Robinson 7/27/06
 Date

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Marc A. Marzullo 7/19/06
 Signature of Engineer (print name below signature) Date

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

E. M. Griffiths 7/7/06
 Signature of developer (print name below signature) Date

1575 Eye Street, N.W. Suite 350
 WASHINGTON, D.C. 20005
 PHONE: (202)408-0960
 FAX: (202)408-0961

DATE	DESCRIPTION	REV.
11-08-05	SDP SUBMITTAL	
02-02-06	COUNTY COMMENTS	
04-19-06	COUNTY COMMENTS	
06-15-06	COUNTY COMMENTS	

SEAL:

APC REALTY AND EQUIPMENT COMPANY, LLC.
 db/a
 SPRINT PCS
 CAPITAL DISTRICT

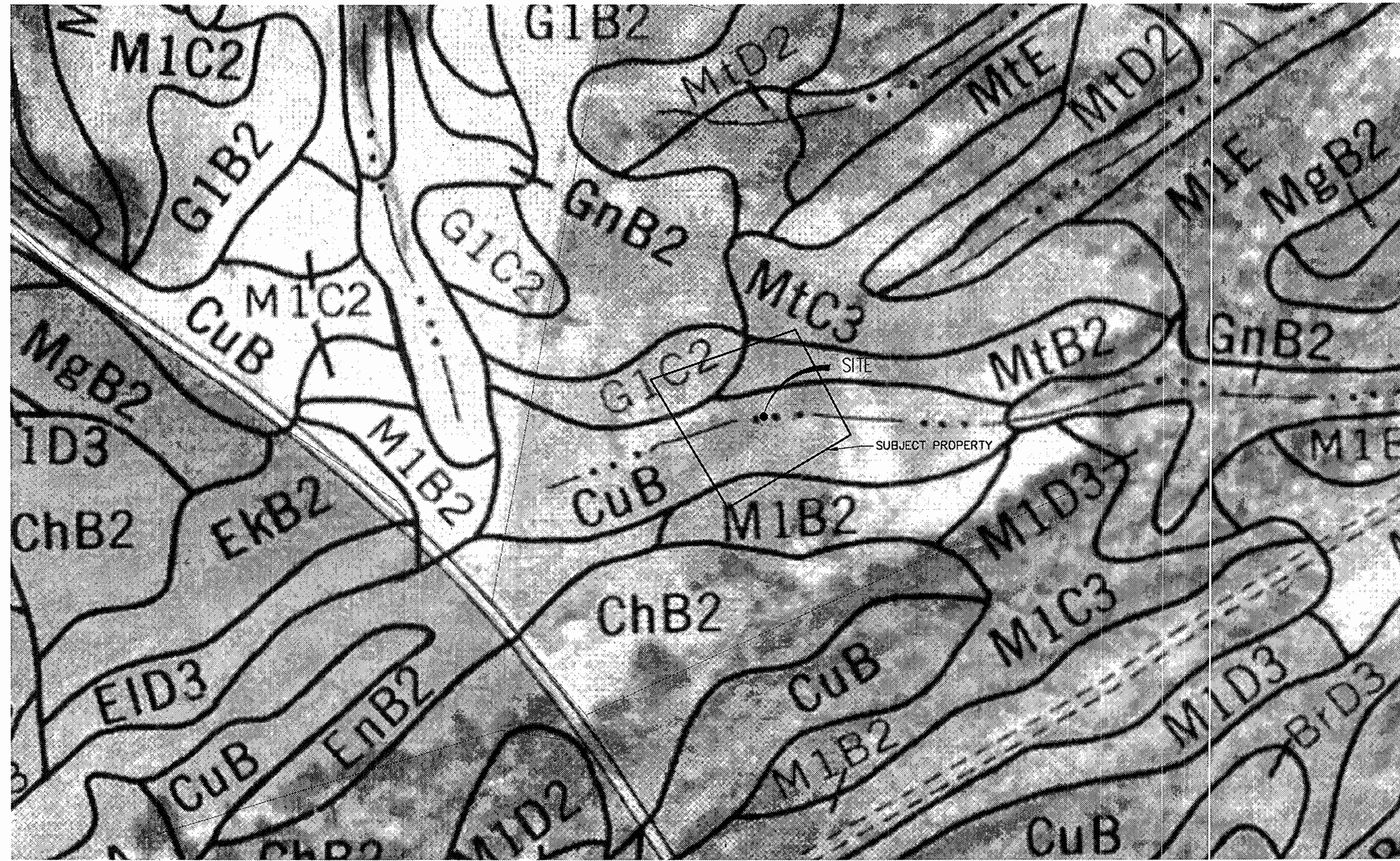
PROJECT NO: 1015.280
 DESIGNER: B.M.
 ENGINEER: M.M.

SCALE:
 0 1/2 1
 GRAPHIC SCALE IN INCHES

WAVERLY
 WA54XC671A
 10348 OLD FREDERICK ROAD
 WOODSTOCK, MD 21163

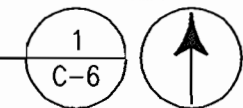
CIVIL NOTES

C-4
 SHEET NUMBER:
 7
 SDP-06-057



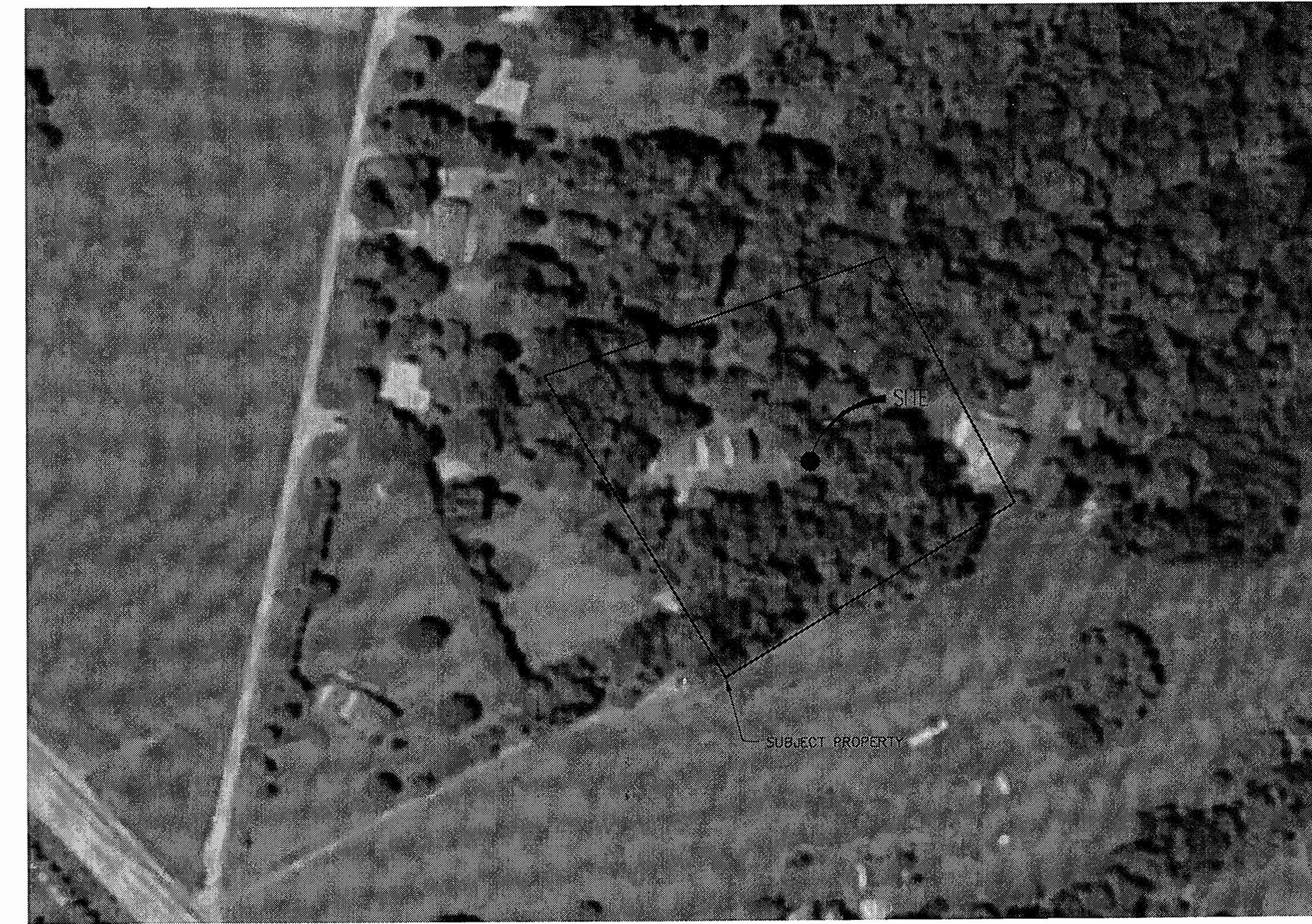
SOILS MAP

SCALE: 1"=200'



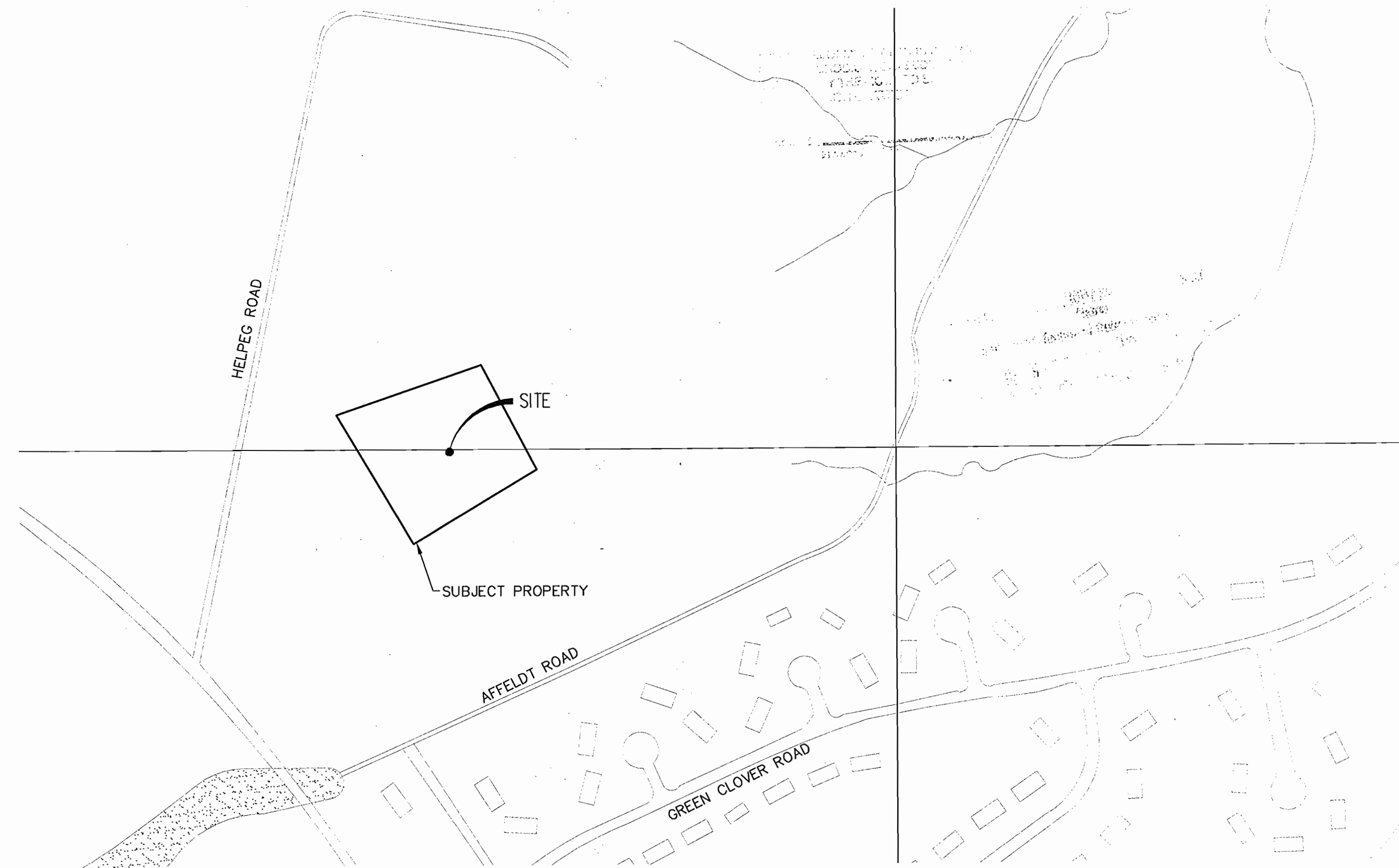
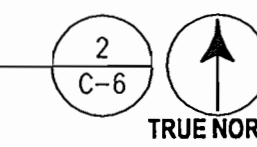
SOILS NOTE

THE SITE WAS FOUND TO BE LOCATED WITH A SOIL TYPE "CuB" (COMUS SILT LOAM) 3% TO 8% SLOPE MODERATELY ERODED.



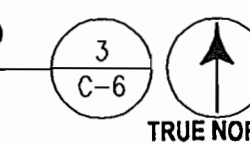
AERIAL PHOTO

SCALE: 1"=100'



FEMA FLOOD MAP

SCALE: 1"=200'



FLOOD MAP NOTE

THE FLOODZONE OF THE PROPOSED GUY TOWER IS AS FOLLOWS:
FLOOD ZONE C, AREA OF MINIMUM FLOODING.
SOURCE: FEMA FLOOD MAP FOR HOWARD COUNTY, MD.
COMMUNITY PANEL NUMBER 240044 00178, REVISED, DECEMBER 4, 1996.

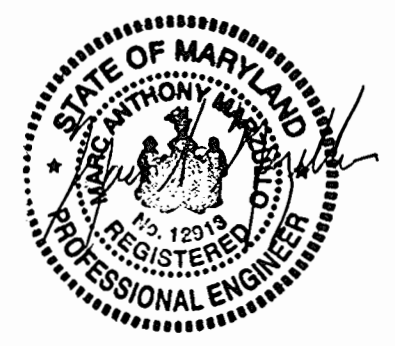


1575 Eye Street, N.W. Suite 350
WASHINGTON, D.C. 20005
PHONE: (202)408-0960
FAX: (202)408-0961

SUBMITTALS

DATE	DESCRIPTION	REV.
11-08-05	SDP SUBMITTAL	
02-02-06	COUNTY COMMENTS	
04-19-06	COUNTY COMMENTS	
06-15-06	COUNTY COMMENTS	

SEAL:



APC REALTY AND
EQUIPMENT COMPANY, LLC.
d/b/a
SPRINT PCS
CAPITAL DISTRICT

PROJECT NO: 1015.280
DESIGNER: R.S.
ENGINEER: M.M.

SCALE:
0 1/2 1
GRAPHIC SCALE IN INCHES

WAVERLY
WA54XC671A
10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163

TITLE:

CIVIL MAPS

C-6

SHEET NUMBER:

9

SDP-06-057

APPROVALS

APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/19/06
APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/19/06
APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
DIRECTOR DATE: 8/19/06

APPROVED: FOR PRIVATE WATER
AND PRIVATE SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT DATE:

GENERAL NOTES

- TOPOGRAPHY SHOWN HAS A 2' CONTOUR INTERVAL AND WAS OBTAINED FROM FIELD RUN AND AERIAL PHOTO PROVIDED BY christopher consultants, llc, AUGUST 2006.
- APPLICABLE DPZ FILE REFERENCES: S 00-13, P 01-15, F 01-177, F 01-185, PB 345, WP 01-60, F 01-204, S 02-20, P 03-15, F 04-22, WP 00-126, F-01-204, F-06-232.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- UTILITIES SHOWN AS EXISTING ARE TAKEN FROM APPROVED WATER AND SEWER PLANS CONTRACT #34-4183-D, APPROVED ROAD CONSTRUCTION PLANS F 04-22, AND ACTUAL FIELD SURVEY.
- FOR DRIVEWAY ENTRANCE DETAILS, REFER TO HO.CO. DESIGN MANUAL VOLUME IV, DETAILS R.6.03 & R.6.05.
- ANY DAMAGE TO COUNTY OWNED RIGHTS-OF-WAY SHALL BE CORRECTED AT OWNER'S EXPENSE.
- STORMWATER MANAGEMENT IS PROVIDED PER: F 01-177 (SHALLOW MARSH) & F 01-204 (EXTENDED DETENTION).
- SIC ELEVATIONS SHOWN ARE AT THE PROPERTY LINES.
- COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MD PLAN COORDINATE SYSTEM: HOWARD COUNTY MONUMENTS 47E4 & 47E3.
- PUBLIC WATER & SEWER IS TO BE UTILIZED. (CONTRACT NO. 34-4183-D)
- IN ACCORDANCE WITH SECTION 126 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- SFA SETBACKS:
 - FRONT: 0' SINCE THE ROADS IN THIS AREA ARE PRIVATE
 - MINIMUM DISTANCE BETWEEN SFA BUILDINGS:
 - FACE TO FACE: 30'
 - FACE TO SIDE/ REAR TO SIDE: 30'
 - SIDE TO SIDE: 15'
 - REAR TO REAR: 60'
 - REAR TO FACE: 100'
- ALL ROADS WITHIN THE DEVELOPMENT ARE PRIVATE.
- THERE ARE NO 100 YR. FLOODPLAINS WITHIN THIS PROPERTY BOUNDARY.
- TRAFFIC STUDY WAS SUBMITTED AND APPROVED AS PART OF THE SKETCH PLAN S 00-13, OCTOBER 19, 2000.
- A NOISE STUDY BY CENTURY ENGINEERING WAS SUBMITTED AND APPROVED FOR THE AREA COVERED BY THIS PLAN UNDER S 00-13, OCTOBER 19, 2000.
- A FOREST STAND DELINEATION PLAN WAS SUBMITTED AND APPROVED FOR THE AREA COVERED BY THIS PLAN UNDER S 00-13 OCTOBER 19, 2000. FOREST CONSERVATION PLANS WERE SUBMITTED AND APPROVED FOR THE AREA COVERED BY THIS PLAN UNDER F 01-177, FEBRUARY 27, 2002 AND F 01-204, JUNE 5, 2002. THE FOREST CONSERVATION REQUIREMENTS FOR STONE LAKE WERE ADDRESSED UNDER F-01-177 AND F-01-204.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$30,100 MUST BE POSTED AS PART OF THE BUILDER'S GRADING PERMIT APPLICATION. (18 SHADE TREES AND 18 EVERGREEN TREES)
- HOWARD COUNTY MONUMENT # 47E4
ELEVATION: 339.26
NORTHING: 535946.138
EASTING: 1955431.146
- HOWARD COUNTY MONUMENT # 47E3
ELEVATION: 298.67
NORTHING: 535018.454
EASTING: 1956707.184
- THE SCENIC ROADS MAP DOES NOT INDICATE ANY SCENIC ROADS WITHIN OR ADJACENT TO THE PROJECT LIMITS
- OPEN SPACE REQUIREMENTS: PROVIDED UNDER F 01-177.
- RECREATION OPEN SPACE REQUIREMENTS: PROVIDED UNDER F 01-177
AMENITY AREA IMPROVEMENTS: PROVIDED UNDER SDP 02-62
- ON JANUARY 16, 2002, WFO-60; WAIVER OF SECTION 16.120.2(2) WAS GRANTED WHICH REQUIRES ALL LOTS TO HAVE FRONTAGE ON A PUBLIC ROAD; AND SECTION 16.120.4(4) WHICH LIMITS THE LENGTH OF A PRIVATE ROAD FOR SFA UNITS TO 200 FEET, SUBJECT TO ONE CONDITION IN THE APPROVAL LETTER.
- THERE ARE 36 TENTATIVE HOUSING UNIT ALLOCATIONS RESERVED FOR THE SFA UNITS ON BULK PARCEL B AS SHOWN ON THE SKETCH PLAN (S-00-13), AND IN ACCORDANCE WITH SECTION 16.106.h.2.(ii) OF THE SUBDIVISION REGULATIONS.
- COMMON OPEN AREA LOT B-36 IS FOR THE PURPOSE OF COMMON INGRESS/EGRESS AND UTILITY CONSTRUCTION AND MAINTENANCE. AN EASEMENT FOR INGRESS/EGRESS, PUBLIC WATER AND SEWER CONSTRUCTION AND MAINTENANCE, AND VARIOUS PUBLIC UTILITIES (GAS, TELEPHONE, ELECTRIC, ETC.) CONSTRUCTION AND MAINTENANCE WILL BE OVERLAYED ON THAT LOT AS PART OF THE FINAL PLAT PROCESS.
- TRASH, MAIL AND SCHOOL BUS SERVICES WILL BE PROVIDED TO EACH LOT WITHIN THE DEVELOPMENT. TRASH SERVICES WILL BE PROVIDED BY THE HOWARD COUNTY REFUSE COLLECTION CONTRACTOR. MAIL SERVICES WILL BE PROVIDED BY THE UNITED STATES POSTAL SERVICE. SCHOOL BUS SERVICE WILL BE PROVIDED BY THE HOWARD COUNTY SCHOOL BUS CONTRACTOR.
- THIS SDP IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE AMENDED ZONING REGULATIONS PER COUNCIL BILL NO. 75-2003. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATION.

LEGEND

PROPOSED BUILDING	[Symbol]
EXISTING BUILDING	[Symbol]
EXISTING SIDEWALK	[Symbol]
EXISTING CURB & GUTTER	[Symbol]
EXISTING STORM DRAIN	[Symbol]
EXISTING WATER	[Symbol]
EXISTING SEWER	[Symbol]
EXISTING CONTOURS	[Symbol]
PROPOSED CONTOUR	[Symbol]
PROPOSED LOT LINE	[Symbol]
PROPERTY LINE	[Symbol]
EXISTING TREELINE	[Symbol]
SUPER SILT FENCE	[Symbol]
LIMIT OF DISTURBANCE	[Symbol]
STABILIZE CONSTRUCTION ENTRANCE	[Symbol]

SITE ANALYSIS DATA CHART

THIS PLAN IS FOR HOUSE SITING AND LOT GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE PRIVATE HOA AREAS ON THE S.D.P. ARE NOT TO BE USED FOR CONSTRUCTION. FOR CONSTRUCTION, SEE APPROVED ROAD CONSTRUCTION PLANS F 04-22 AND/OR APPROVED WATER AND SEWER PLANS CONTRACT # 34-4183-D.

SITE ANALYSIS DATA CHART

- SUBJECT PROPERTY IS ZONED: RE-D (PER COMP. INCLUSIVE PLAN 2/2/2004)
- UNIT TYPE PROPOSED: SINGLE FAMILY ATTACHED
- NUMBER OF LOTS PROPOSED: 39
 - NUMBER OF OPEN SPACE LOTS: 3
 - NUMBER OF TOWNHOUSE LOTS: 36
- NUMBER OF PARKING SPACES REQUIRED: 72 (2 SPACES PER SFA UNIT)
- NUMBER OF OVERFLOW PARKING REQUIRED: 10 (PER DESIGN MANUAL)
- NUMBER OF PARKING SPACES PROVIDED:
 - GARAGES: 72 SPACES
 - DRIVEWAYS: 36 SPACES
 - SURFACE: 2 SPACES
 - TOTAL: 104 SPACES
- NUMBER OF OVERFLOW PARKING SPACES PROVIDED: 57 SPACES (129-72)
 - AREA TABULATION:
 - TOTAL AREA OF PARCEL: 5.671 ACRES
 - TOTAL LOT AREA: 2.946 ACRES
 - TOTAL OPEN SPACE AREA: 1.8142 ACRES
 - TOTAL COMMON OPEN AREA: 0.9663 ACRES
 - LIMIT OF DISTURBANCE AREA: 4.42 ACRES

BENCHMARKS

HOWARD COUNTY MONUMENT # 47E4
ELEVATION: 339.26
NORTHING: 535946.138
EASTING: 1955431.146

HOWARD COUNTY MONUMENT # 47E3
ELEVATION: 298.67
NORTHING: 535018.454
EASTING: 1956707.184

SITE DEVELOPMENT PLAN

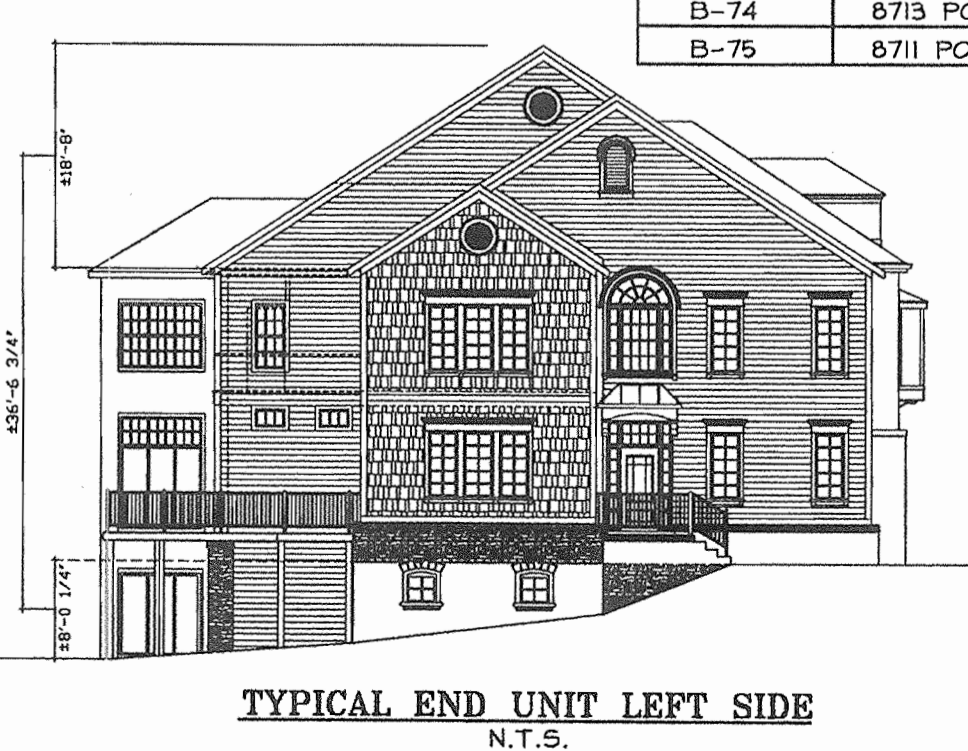
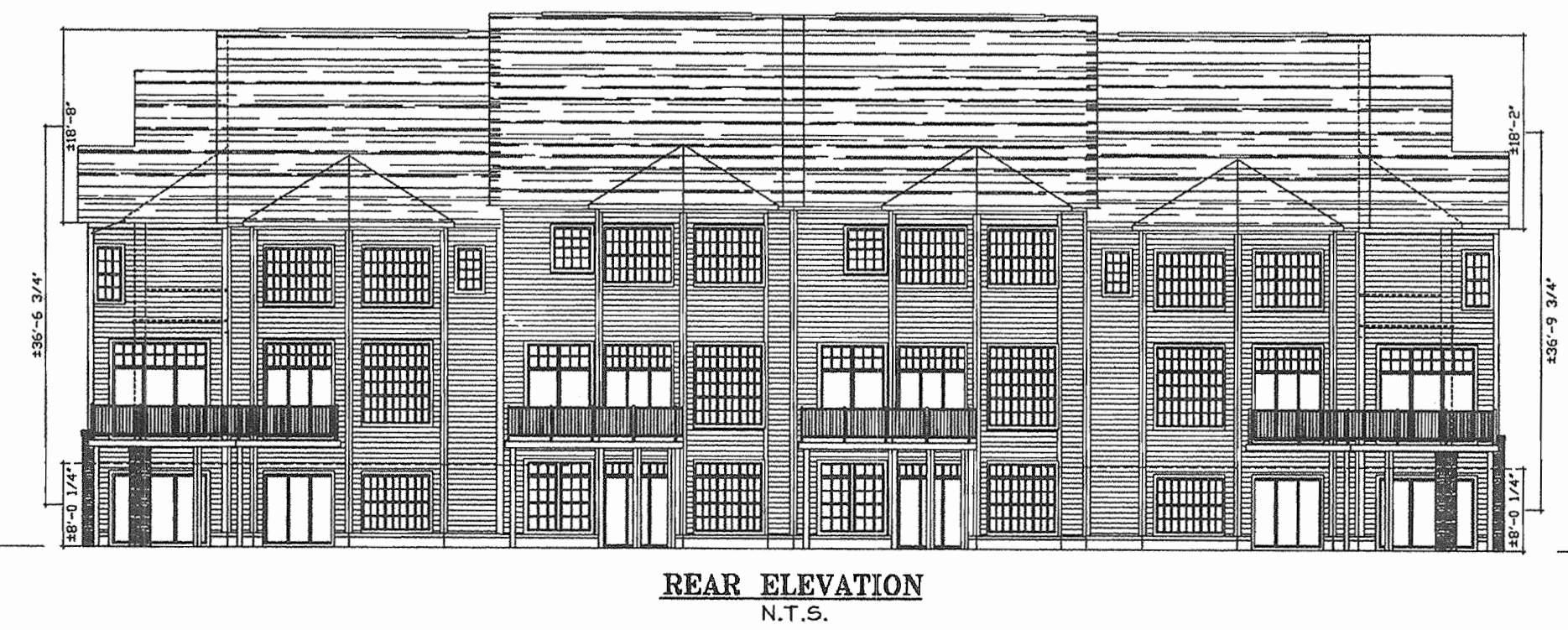
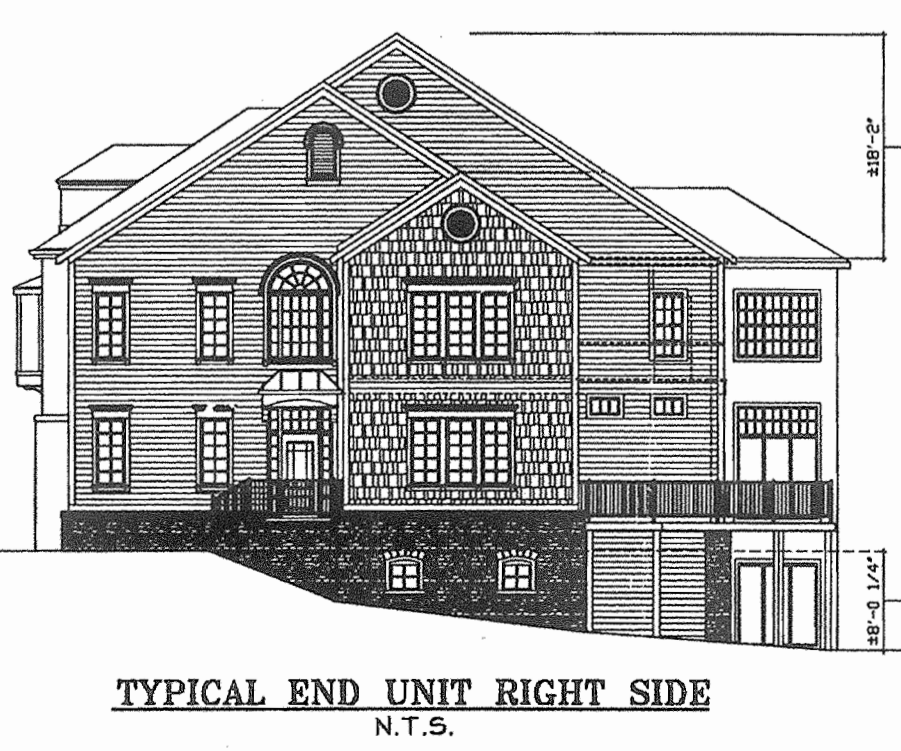
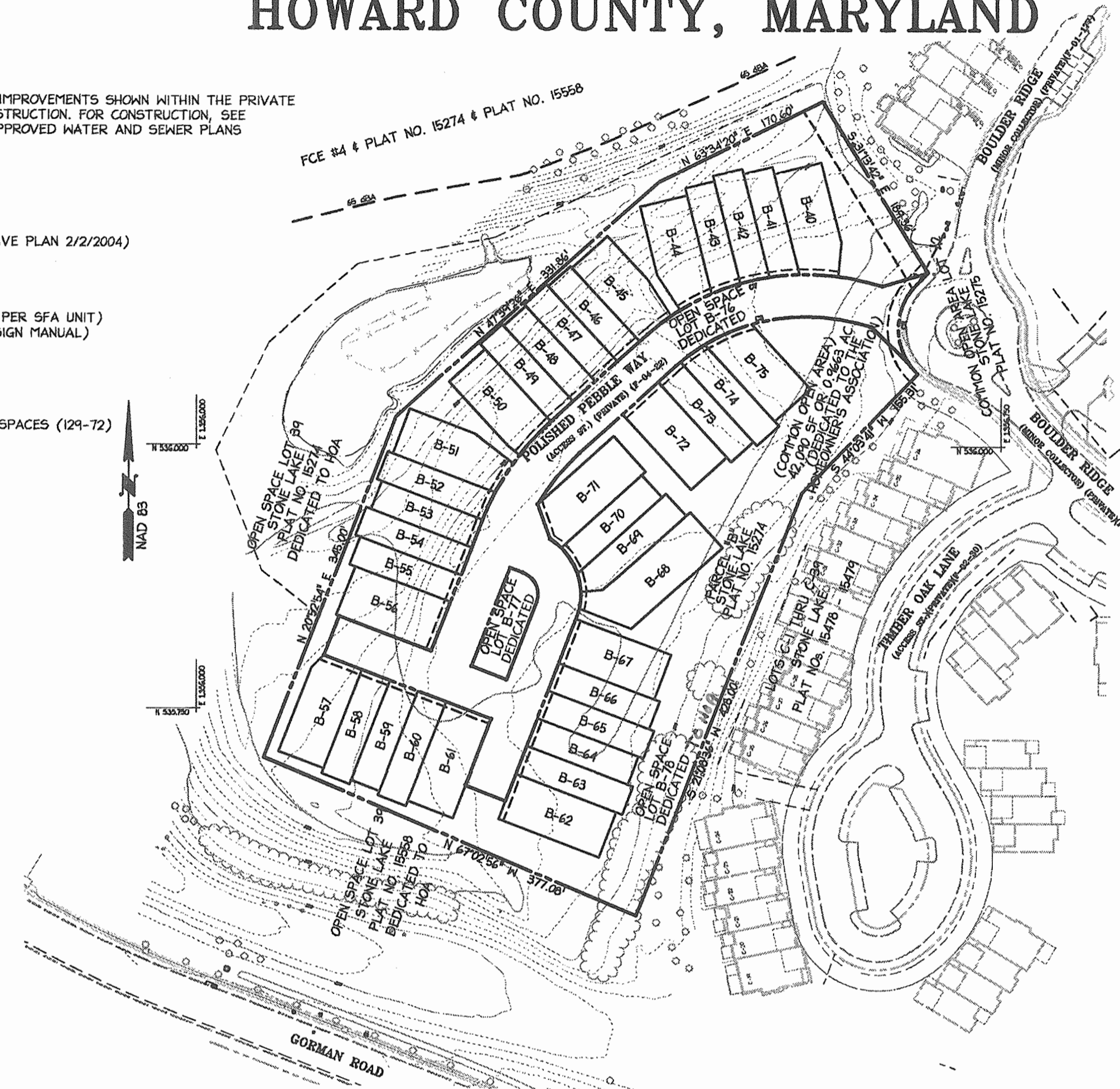
for STONE LAKE

LOTS B-40 THRU B-78

A RESUBDIVISION OF PARCEL B

6TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



SHEET INDEX

NO.	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	EROSION & SEDIMENT CONTROL PLAN
4	EROSION AND SEDIMENT CONTROL NOTES & DETAILS
5	LANDSCAPE PLAN
6	LANDSCAPE PLAN DETAILS

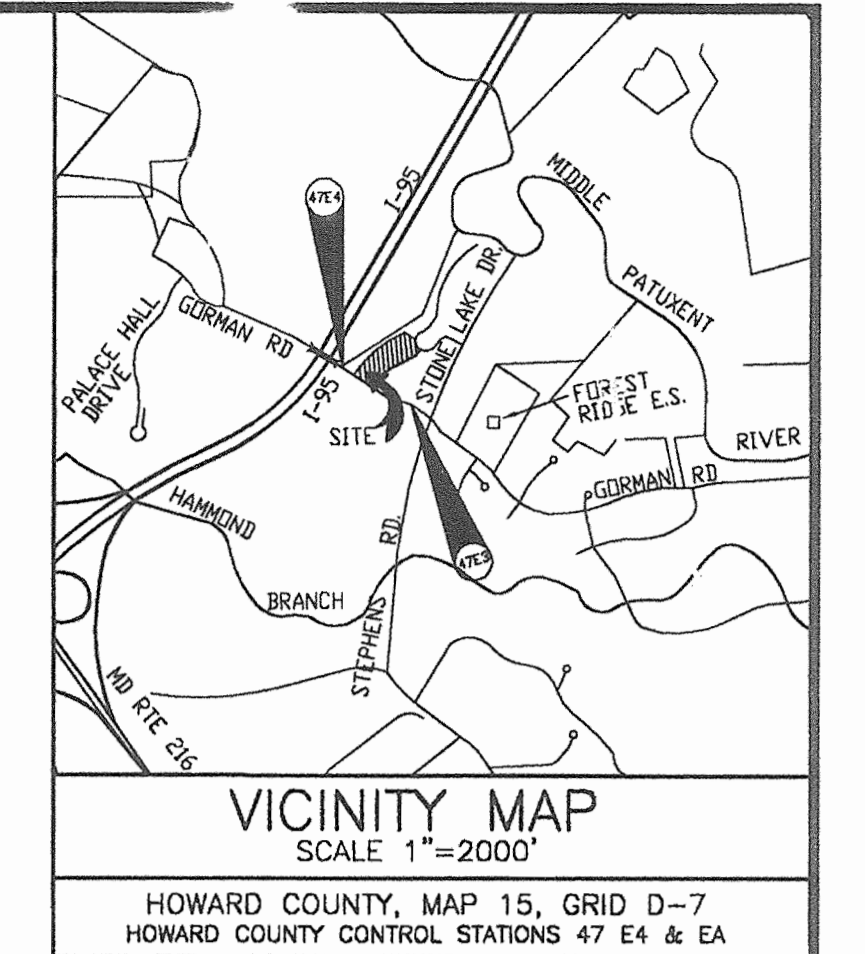
LOT AREA TABLE

LOT NO.	AREA (S.F.)	% LOT COVERAGE
B-40	4,525	44%
B-41	2,874	55%
B-42	2,945	54%
B-43	2,838	56%
B-44	4,310	46%
B-45	4,120	48%
B-46	2,687	59%
B-47	2,743	58%
B-48	2,687	59%
B-49	2,743	58%
B-50	4,141	48%
B-51	4,474	44%
B-52	2,974	53%
B-53	2,817	56%
B-54	2,957	53%
B-55	2,817	56%
B-56	4,750	42%
B-57	4,449	44%
B-58	2,940	54%
B-59	2,828	56%
B-60	2,940	54%
B-61	4,500	44%
B-62	4,500	44%
B-63	2,968	53%
B-64	2,828	56%
B-65	2,968	53%
B-66	2,828	56%
B-67	4,275	46%
B-68	5,868	34%
B-69	3,218	49%
B-70	2,882	55%
B-71	4,663	42%
B-72	4,275	46%
B-73	2,828	56%
B-74	2,935	54%
B-75	4,081	48%

BUILDING AREA:
TYPICAL END UNIT = 1,977 S.F.
TYPICAL INTERIOR UNIT = 1,580 S.F.

ADDRESS CHART

LOT NO.	ADDRESS
B-40	8702 POLISHED PEBBLE WAY
B-41	8704 POLISHED PEBBLE WAY
B-42	8706 POLISHED PEBBLE WAY
B-43	8708 POLISHED PEBBLE WAY
B-44	8710 POLISHED PEBBLE WAY
B-45	8714 POLISHED PEBBLE WAY
B-46	8716 POLISHED PEBBLE WAY
B-47	8718 POLISHED PEBBLE WAY
B-48	8720 POLISHED PEBBLE WAY
B-49	8722 POLISHED PEBBLE WAY
B-50	8724 POLISHED PEBBLE WAY
B-51	8728 POLISHED PEBBLE WAY
B-52	8730 POLISHED PEBBLE WAY
B-53	8732 POLISHED PEBBLE WAY
B-54	8734 POLISHED PEBBLE WAY
B-55	8736 POLISHED PEBBLE WAY
B-56	8738 POLISHED PEBBLE WAY
B-57	8742 POLISHED PEBBLE WAY
B-58	8744 POLISHED PEBBLE WAY
B-59	8746 POLISHED PEBBLE WAY
B-60	8748 POLISHED PEBBLE WAY
B-61	8750 POLISHED PEBBLE WAY
B-62	8747 POLISHED PEBBLE WAY
B-63	8745 POLISHED PEBBLE WAY
B-64	8743 POLISHED PEBBLE WAY
B-65	8741 POLISHED PEBBLE WAY
B-66	8739 POLISHED PEBBLE WAY
B-67	8737 POLISHED PEBBLE WAY
B-68	8733 POLISHED PEBBLE WAY
B-69	8731 POLISHED PEBBLE WAY
B-70	8729 POLISHED PEBBLE WAY
B-71	8727 POLISHED PEBBLE WAY
B-72	8717 POLISHED PEBBLE WAY
B-73	8715 POLISHED PEBBLE WAY
B-74	8713 POLISHED PEBBLE WAY
B-75	8711 POLISHED PEBBLE WAY



SEWER HOUSE CONNECTION TABLE

LOT NO.	INV. @ R.	MIN. CELL. ELEVATION
B-40	298.00	296.70 (C.N.S.)
B-41	298.30	296.72 (C.N.S.)
B-42	298.30	297.08 (C.N.S.)
B-43	298.30	297.07 (C.N.S.)
B-44	298.20	297.19 (C.N.S.)
B-45	294.31	297.62 (C.N.S.)
B-46	294.38	297.66
B-47	294.52	297.80
B-48	294.66	297.94
B-49	294.80	298.08
B-50	95.13	298.41
B-51	296.03	299.41
B-52	295.95	299.23
B-53	295.76	299.06
B-54	295.57	299.16
B-55	296.14	299.34
B-56	296.22	299.42
B-57	297.03	300.23
B-58	296.77	300.95
B-59	296.63	299.81
B-60	296.64	299.84
B-61	296.80	299.84
B-62	297.74	299.57 (C.N.S.)
B-63	297.45	300.25 (C.N.S.)
B-64	297.25	300.12 (C.N.S.)
B-65	297.03	299.97 (C.N.S.)
B-66	296.82	299.82
B-67	296.57	299.62
B-68	296.37	300.07
B-69	296.19	299.57
B-70	296.12	299.23
B-71	296.22	299.50
B-72	294.74	297.94
B-73	294.62	297.30 (C.N.S.)
B-74	294.37	297.67 (C.N.S.)
B-75	294.29	297.59 (C.N.S.)

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Harter
 Chief, Division of Land Development
 Date: 8/10/06

[Signature]
 Chief, Development Engineering Division
 Date: 8/11/06

[Signature]
 Director, Department of Planning and Zoning
 Date: 8/11/06

Date: No. Revision Description

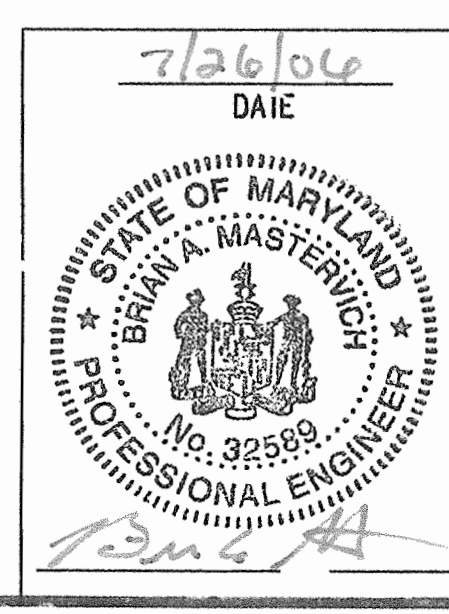
STONE LAKE - LOTS B-40 - B-78
(SFA DWELLINGS)

OWNER / DEVELOPER
 GOODIER BUILDERS 10705 CHARTER DRIVE, SUITE 320
 CONTACT: M. STEVEN APPLER COLUMBIA, MARYLAND 21044
 TEL. (410) 997-7400 FAX (410) 997-6305

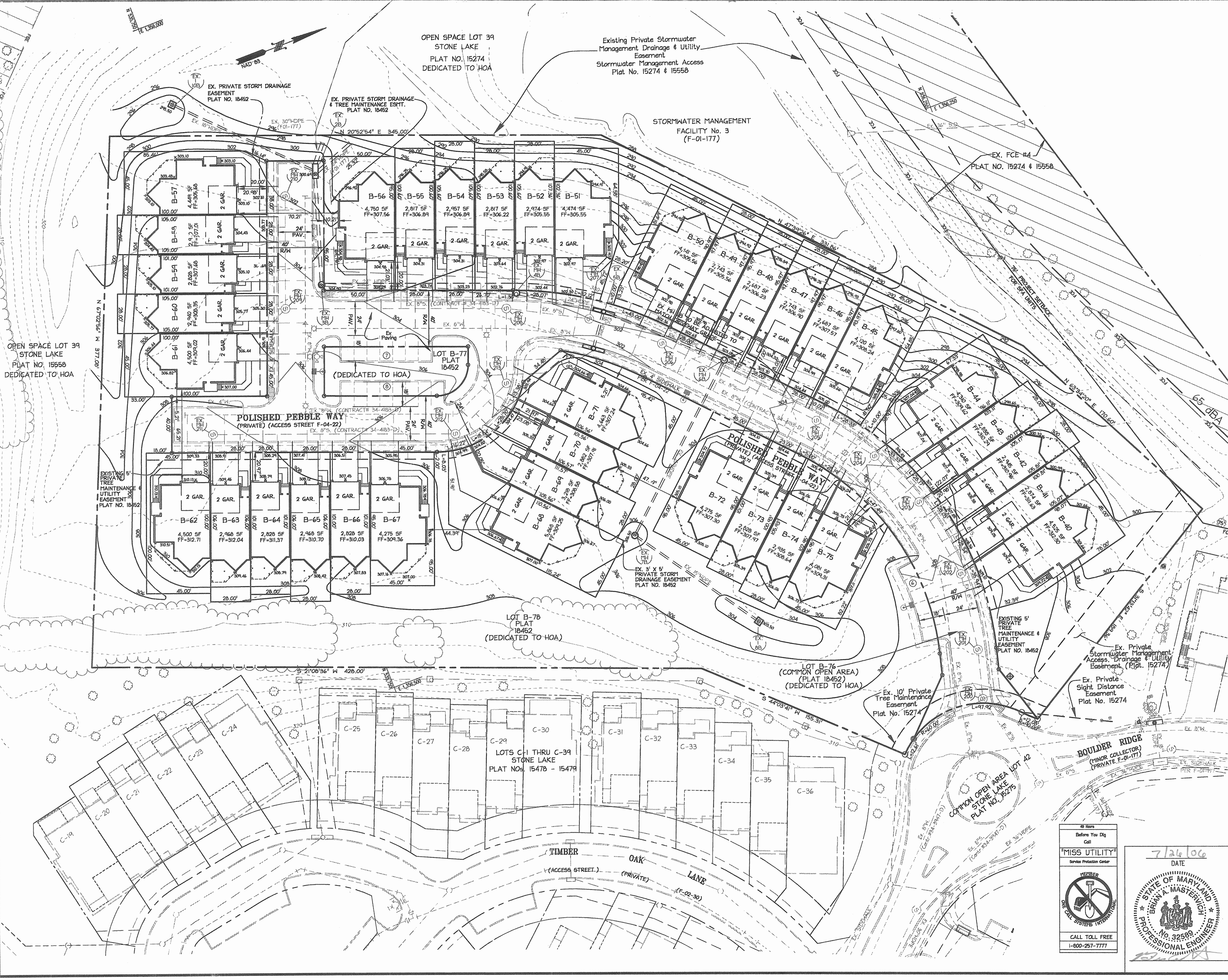
christopher consultants
 engineering surveying land planning
 christopher consultants, llc
 7172 columbiabridge way (suite 100) columbia, md 21046-2900
 410.872.8700 mobile: 410.418.0148 fax 410.872.8683

PERMIT INFORMATION CHART

PROJECT NAME STONE LAKE	LOT/PARCEL NO. B40-B78, PARCEL B	CENSUS TRACT 606902
PLAT NO. 18451-18452	GRID NO. 9/10	ZONE RE-D
WATER CODE #34-4183-D	SEWER CODE #34-4183-D	TAX MAP 47
ELECTION DISTRICT 6TH		
TITLE: CONF & SHEET		
DESIGN: AJK	SCALE: AS SHOWN	PROJECT: 05P-01.00
DRAWN: AJK	DATE: JULY 2006	
CHECKED: BAH	APPROVED: BAH	1 of 6



MDC-406 (SDP)



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development *Chris Harmon* 8/10/06
 Chief, Development Engineering Division *Wally Williams* 8/10/06
 Director, Department of Planning and Zoning *David Laffar* 8/10/06

STONE LAKE : LOTS B-40 - B-78
 (SFA DWELLING)
 OWNER / DEVELOPER
 GODDIER BUILDERS 10705 CHARTER DRIVE, SUITE 320
 COLUMBIA, MARYLAND 21044
 CONTACT: M. STEVEN APPLER TEL. (410) 997-7400 FAX (410) 997-6305

christopher consultants
 engineering surveying land planning
 christopher consultants, inc.
 1712 columbia gateway drive suite 1000 columbia, md 21046-2990
 410.722.8500 fax: 410.722.8500

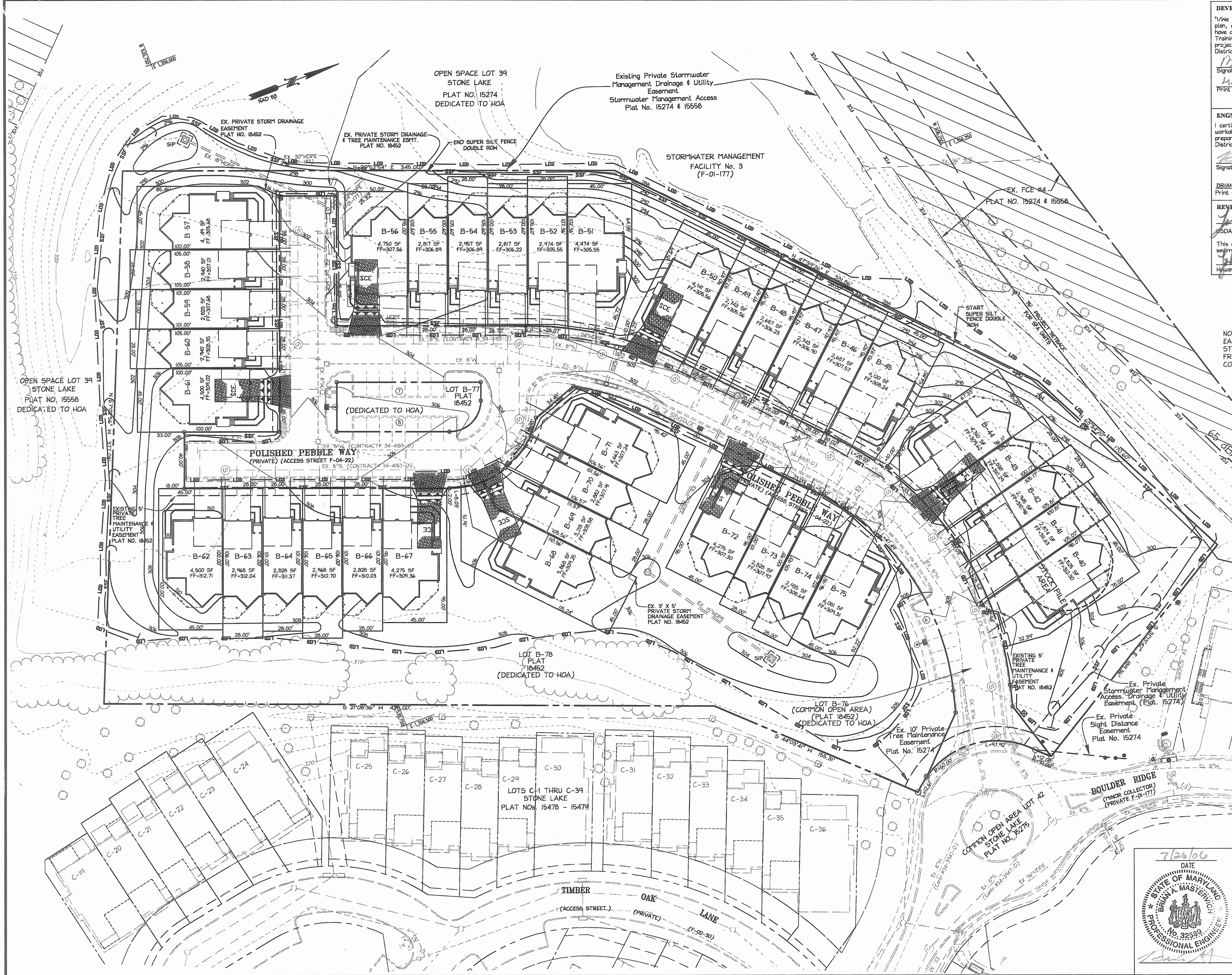
PERMIT INFORMATION CHART				
PROJECT NAME	LOT/PARCEL NO.	CENSUS TRACT		
STONE LAKE	B40-B78, P/O PARCEL B	606902		
PLAT NO.	GRID NO.	ZONE	TAX MAP	ELECTION DISTRICT
18451-18452	4/10	RE-D	47	6TH
WATER CODE	#34-4183-D	SEWER CODE	#34-4183-D	

TITLE:
SITE DEVELOPMENT PLAN
 DESIGN: AJK SCALE: 1" = 30' PROJECT: 05W201.00
 DRAWN: AJK/ADL DATE: JULY 2006
 CHECKED: BAH APPROVED:
2 OF 6
 SDP-06-84



7/26/06
 DATE
 STATE OF MARYLAND
 BRIAN A. MASTERSON
 No. 32589
 PROFESSIONAL ENGINEER

MDC-406(SDP)



DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer: *M. Steven Appler* Date: *7/26/06*
 Print name below signature: **M. STEVEN APPLER**

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: *Brian Mastervich* Date: *7/26/06*
 Print name below signature: **BRIAN MASTERVICH, P.E.**

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.
 Signature: *Jim Moyer* Date: *8/7/06*
 Print name below signature: **JIM MOYER**
 Title: **NSDA-Natural Resources, Conservation Service**

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John R. Rhoton* Date: *8/7/06*
 Print name below signature: **JOHN R. RHOTON**
 Title: **HOWARD SCD**

NOTE:
 EACH GROUP OF HOUSES WHICH CONTAIN AN INDIVIDUAL STABILIZED CONSTRUCTION ENTRANCE MUST OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO STARTING CONSTRUCTION.

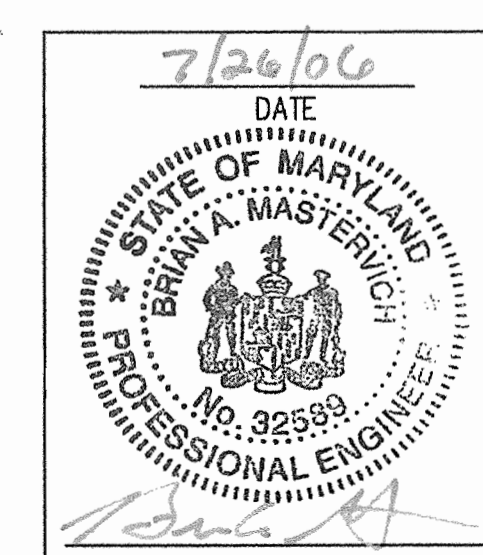
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *Andy Harwin* Date: *8/10/06*
 Chief, Development Engineering Division: *Steve Kelleher* Date: *8/10/06*
 Director, Department of Planning and Zoning: *Steve Kelleher* Date: *8/10/06*

Date: _____ Revision Description: _____
STONE LAKE : LOTS B-40 - B-78 (SFA DWELLING)
OWNER / DEVELOPER:
 GOODIER BUILDERS 10705 CHARTER DRIVE, SUITE 320 COLUMBIA, MARYLAND 21044
 CONTACT: M. STEVEN APPLER TEL. (410) 947-7400 FAX (410) 997-5325

christopher consultants
 engineering - surveying - land planning
 christopher consultants, Inc.
 7172 columbia gateway drive suite 1100, columbia, md 21046-2900
 410.872.8600 - ext:301.801.0148 fax: 410.872.8603

PERMIT INFORMATION CHART

PROJECT NAME	LOT/PARCEL NO.	CENSUS TRACT
STONE LAKE	B40-B78, P/O PARCEL B	606902
PLAT NO.	GRID NO.	ZONE
18451-18452	4/10	RE-D
TAX MAP	ELECTION DISTRICT	
47	6TH	
WATER CODE	SEWER CODE	
#34-4183-D	#34-4183-D	
TITLE:		
EROSION & SEDIMENT CONTROL PLAN		
DESIGN:	AJK	SCALE: 1" = 30'
DRAWN:	AJK, ADL	DATE: JULY 2006
CHECKED:	BAT1	APPROVED:
PROJECT: 05W201.00		3 OF 6



MDC-406(SDP)



QTY	SYM.	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
22	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3 1/2" - 4" CAL.	12-14' HT., BMB
11	QP	QUERCUS PHELLOS	WILLOW OAK	3 1/2" - 4" CAL.	12-14' HT., BMB
15	BN	BETULA NIGRA	'HERITAGE' RIVER BIRCH	3 1/2" - 4" CAL.	12-14' HT., BMB
9	FP	FRAXINUS PENNSYLVANICA	'PATMORE' GREEN ASH	3 1/2" - 4" CAL.	BMB
14	AB	ACER BUERGERANUM	TRIDENT MAPLE	2 1/2" CAL.	BMB
16	AG	ACER GRiseum	PAPERBARK MAPLE	2 1/2" CAL.	BMB
9	CK	CORNUS KOUSA	KOUSA DOGWOOD	2 1/2" CAL.	BMB
10	AC	AMELANCHIER CANADENSIS	SERVICEBERRY	2 1/2" CAL.	BMB
8	CC	CERCIS CANADENSIS	REDBUD	2 1/2" CAL.	BMB
11	PT	PRUNUS YEGODENSIS	YOSHINO CHERRY	2 1/2" CAL.	BMB
8	PA	PRUNUS SUBHIRTILLA	AUTUMNALIS CHERRY	2 1/2" CAL.	BMB
EVERGREEN TREES					
24	IN	ILEX X 'NELLIE STEVENS'	NELLIE STEVENS HOLLY	7-9' HT.	BMB
10	IF	ILEX X ATTENUATA 'FOSTER'	FOSTER HOLLY	7-9' HT.	BMB, FULL TO GROUND
19	CD	CEDRUS DEODORA	DEODAR CEDAR	7-9' HT.	BMB, SPECIMEN
6	CJ	CRYPTOMERIA JAPONICA	'YOSHINO' JAPANESE CEDAR	7-9' HT.	BMB
SHRUBS					
30	PL	PRUNUS LAUROCERASUS	ZABEL LAUREL BUSH	30-36" HT.	3' O.C.
50	EA	EVONYMUS ALATA 'COMPACTA'	DWARF BURNING BUSH	30-36" HT.	3' O.C.

LEGEND	
EXISTING CONTOURS	416
EXISTING STORM DRAIN	EX. 12" RCP
EXISTING SANITARY SEWER	EX. 8" SAN
EXISTING WATER	EX. 6" WATER
EXISTING FENCE	X
PROPERTY LINE	
EX. TREELINE	
PROPOSED CONTOUR	418
PROPOSED SETBACK LINES	
PROPOSED SHADE TREE	+
PROPOSED ORNAMENTAL TREE	+
PROPOSED EVERGREEN TREE	+
PROPOSED SHRUB	o
PROPOSED STREET TREE (PER F 04-22)	+
PROPOSED PARKING LOT TREE (PER F 04-22)	P

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development Date: 8/16/06

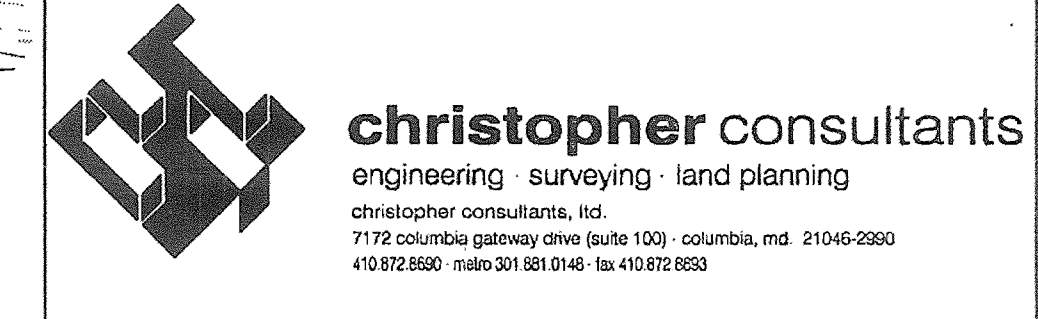
Chief, Development Engineering Division Date: 8/16/06

Director, Department of Planning and Zoning Date: 8/16/06

Date	No.	Revision Description

STONE LAKE : LOTS B-40 - B-78 (SFA DWELLING)

OWNER / DEVELOPER
 GOODIER BUILDERS 10705 CHARTER DRIVE, SUITE 320
 COLUMBIA, MARYLAND 21044
 CONTACT: M. STEVEN APPLER TEL. (410) 947-7400 FAX (410) 997-5305



PERMIT INFORMATION CHART				
PROJECT NAME	LOT/PARCEL NO.	CENSUS TRACT		
STONE LAKE	B40-B78, P/O PARCEL B	6064.02		
PLAT NO.	GRID NO.	ZONE	TAX MAP	ELECTION DISTRICT
15451-15452	9/10	RE-D	47	6TH
WATER CODE	#34-4183-D	SEWER CODE	#34-4183-D	

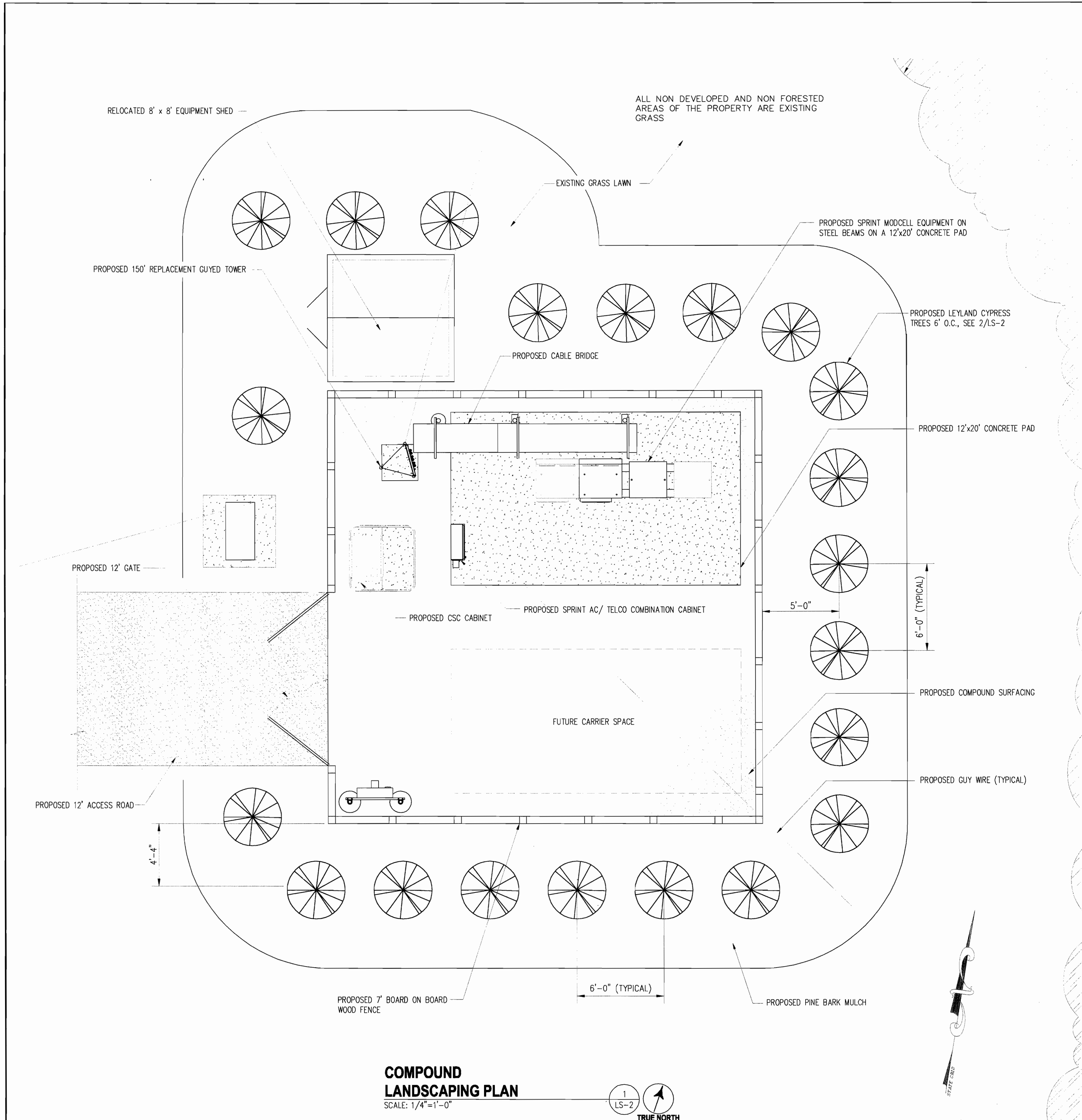
7-27-06
DATE

7-27-06
DATE

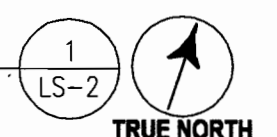
7-27-06
DATE

TITLE: LANDSCAPE PLAN		
DESIGN: LNG	SCALE: 1" = 30'	PROJECT: 05W201.00
DRAWN: ADL/LNG	DATE: 7-27-2006	
CHECKED: BXC	APPROVED:	5 OF 6

MDC-406(SDP)



COMPOUND LANDSCAPING PLAN
SCALE: 1/4"=1'-0"



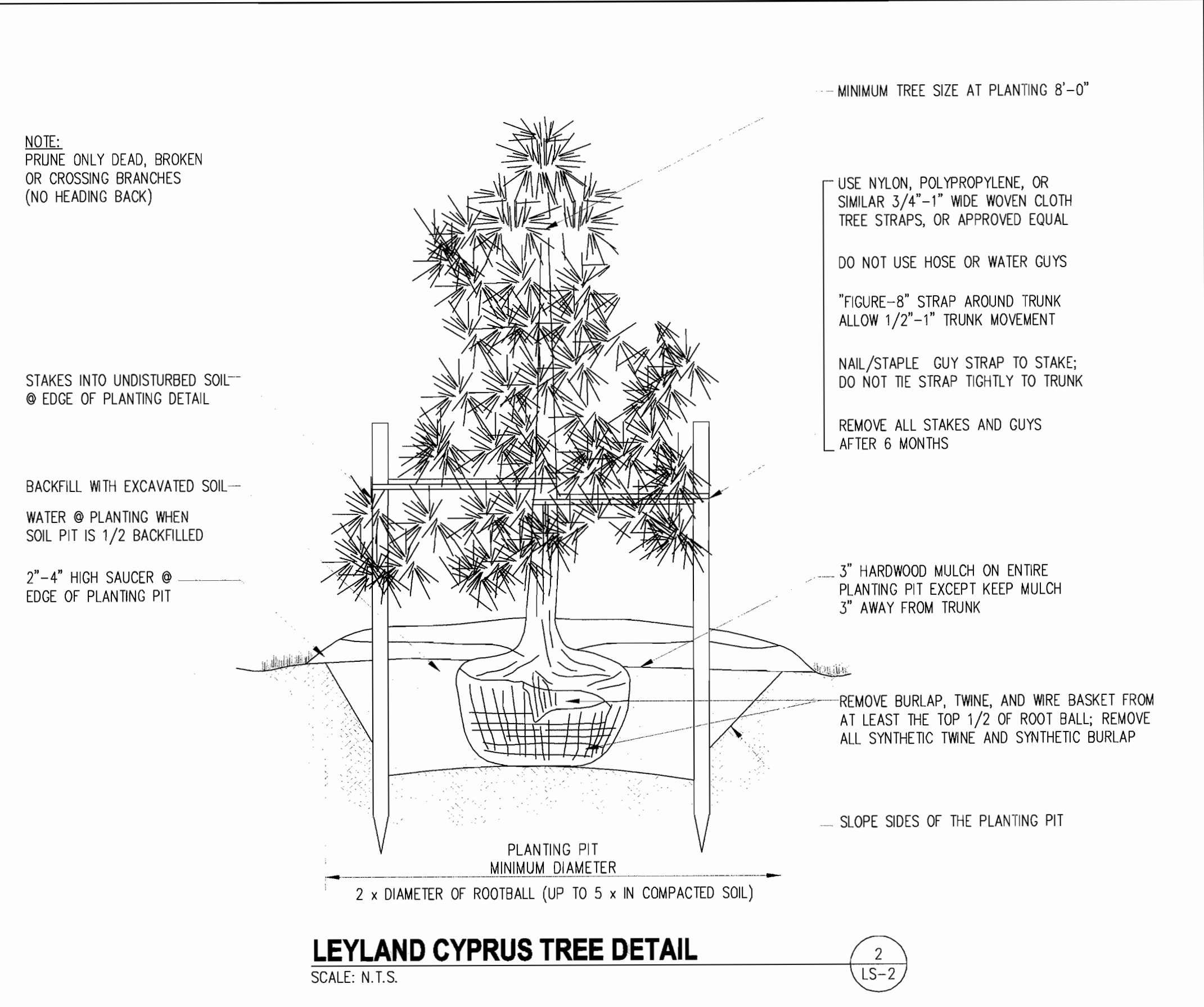
APPROVALS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/1/06
 CHIEF, DIVISION OF LAND USE AND DEVELOPMENT DATE: 8/9/06
 DIRECTOR DATE: 8/9/06

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

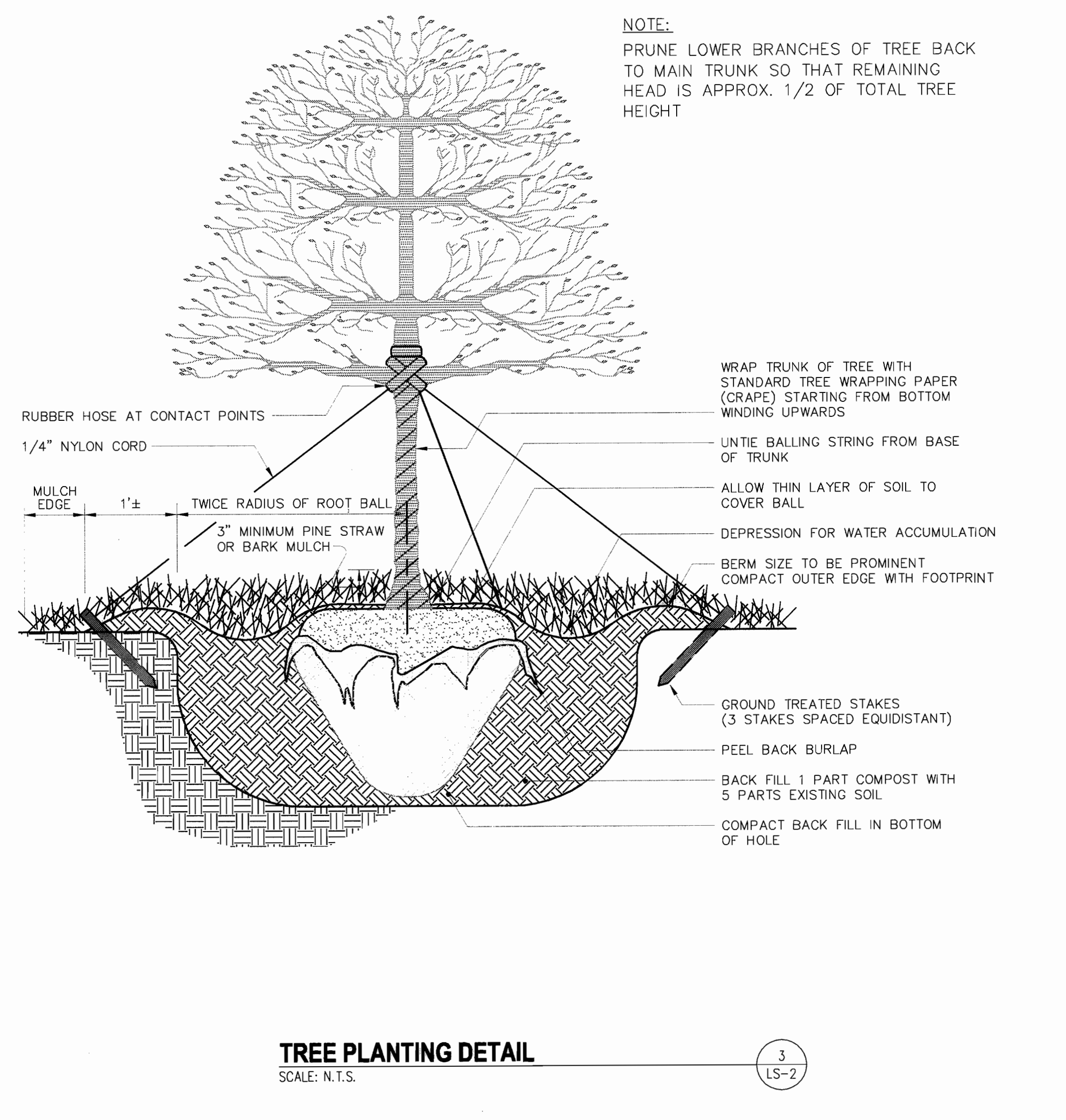
COUNTY HEALTH OFFICER DATE: _____
 HOWARD COUNTY HEALTH DEPARTMENT

PLANT LIST				
QTY.	COMMON NAME	FAMILY NAME	SIZE/REMARKS	
21	LEYLAND CYPRESS	CUPRESSOCYPARIS LEYLANDII	8'-0" MIN. HEIGHT AT PLANTING, FULL, HEALTHY STRAIGHT TRUNK, WELL BRANCHED, SEE DETAIL 2/LS-2.	
1,570 SF	PINE BARK MULCH		3" SETTLED LAYER OF CLEAN PINE BARK MULCH	



LEYLAND CYPRESS TREE DETAIL
SCALE: N.T.S.

MINIMUM TREE SIZE AT PLANTING 8'-0"
 USE NYLON, POLYPROPYLENE, OR SIMILAR 3/4"-1" WIDE WOVEN CLOTH TREE STRAPS, OR APPROVED EQUAL
 DO NOT USE HOSE OR WATER GUYS
 "FIGURE-8" STRAP AROUND TRUNK ALLOW 1/2"-1" TRUNK MOVEMENT
 NAIL/STAPLE GUY STRAP TO STAKE; DO NOT TIE STRAP TIGHTLY TO TRUNK
 REMOVE ALL STAKES AND GUYS AFTER 6 MONTHS



TREE PLANTING DETAIL
SCALE: N.T.S.

NOTE:
 PRUNE LOWER BRANCHES OF TREE BACK TO MAIN TRUNK SO THAT REMAINING HEAD IS APPROX. 1/2 OF TOTAL TREE HEIGHT

entrex
communication services, inc.

1575 Eye Street, N.W. Suite 350
 WASHINGTON, D.C. 20005
 PHONE: (202)408-0960
 FAX: (202)408-0961

SUBMITTALS

DATE	DESCRIPTION	REV.
11-08-05	SDP SUBMITTAL	
02-02-06	COUNTY COMMENTS	
04-19-06	COUNTY COMMENTS	
06-15-06	COUNTY COMMENTS	

SEAL:

Sprint

APC REALTY AND EQUIPMENT COMPANY, LLC.
 d/b/a
 SPRINT PCS
 CAPITAL DISTRICT

PROJECT NO: 1015.280
 DESIGNER: F.Y.
 ENGINEER: M.M.

SCALE:
 0 1/2 1
 GRAPHIC SCALE IN INCHES

WAVERLY WA54XC671A
 10348 OLD FREDERICK ROAD
 WOODSTOCK, MD 21163

TITLE:
COMPOUND LANDSCAPING PLAN, DETAIL AND NOTES

LS-2

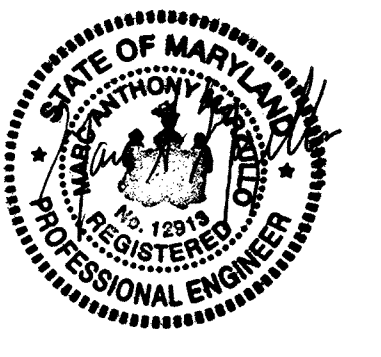
SHEET NUMBER:
15

SDP-06-057

SUBMITTALS

DATE	DESCRIPTION	REV.
11-08-05	SDP SUBMITTAL	
02-02-06	COUNTY COMMENTS	
04-19-06	COUNTY COMMENTS	
06-15-06	COUNTY COMMENTS	

SEAL:



APC REALTY AND EQUIPMENT COMPANY, LLC.
d/b/a
SPRINT PCS
CAPITAL DISTRICT

PROJECT NO: 1015.280
DESIGNER: R.S.
ENGINEER: M.M.

SCALE:
0 1/2 1
GRAPHIC SCALE IN INCHES

**WAVERLY
WA54XC671A
10348 OLD FREDERICK ROAD
WOODSTOCK, MD 21163**

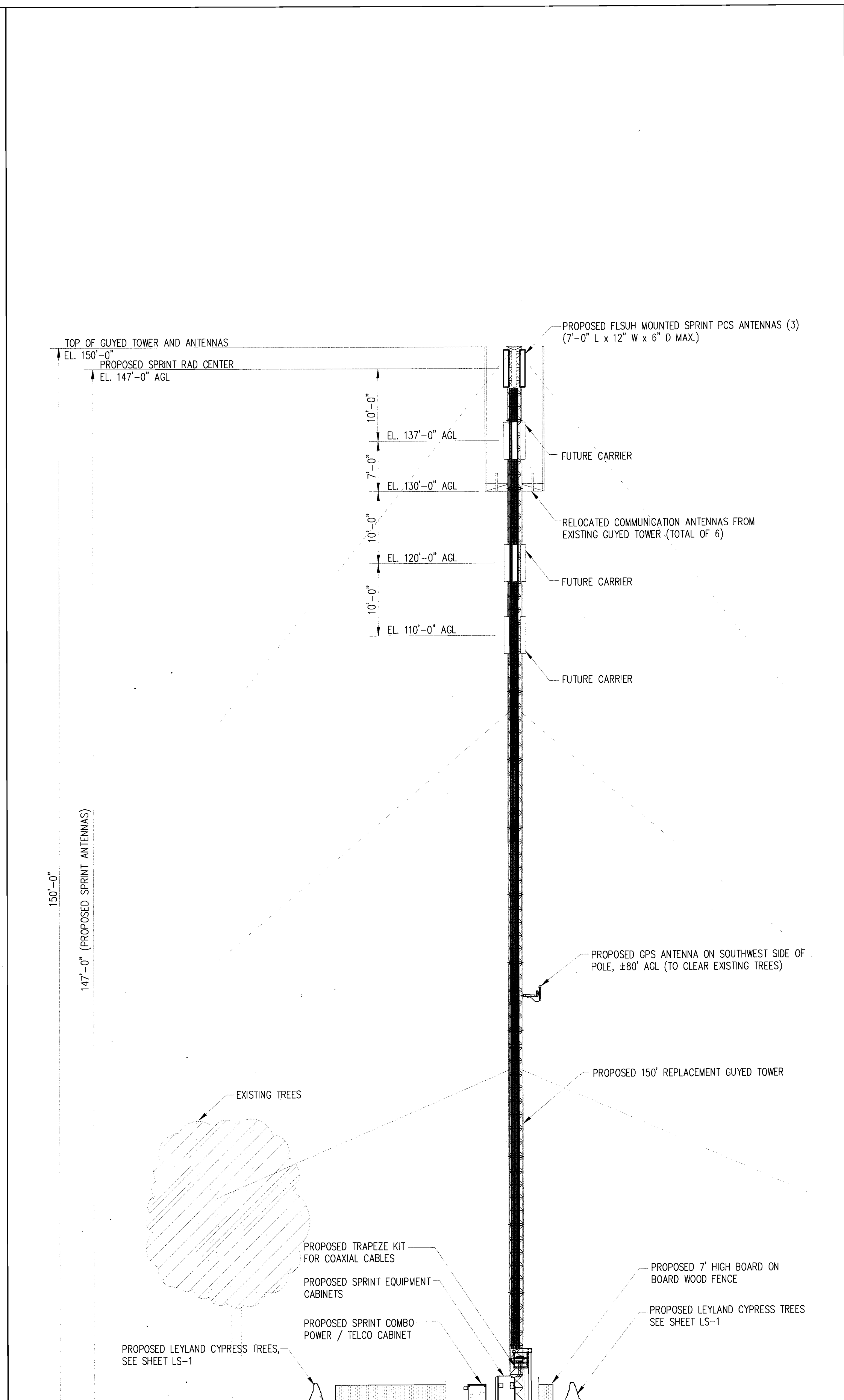
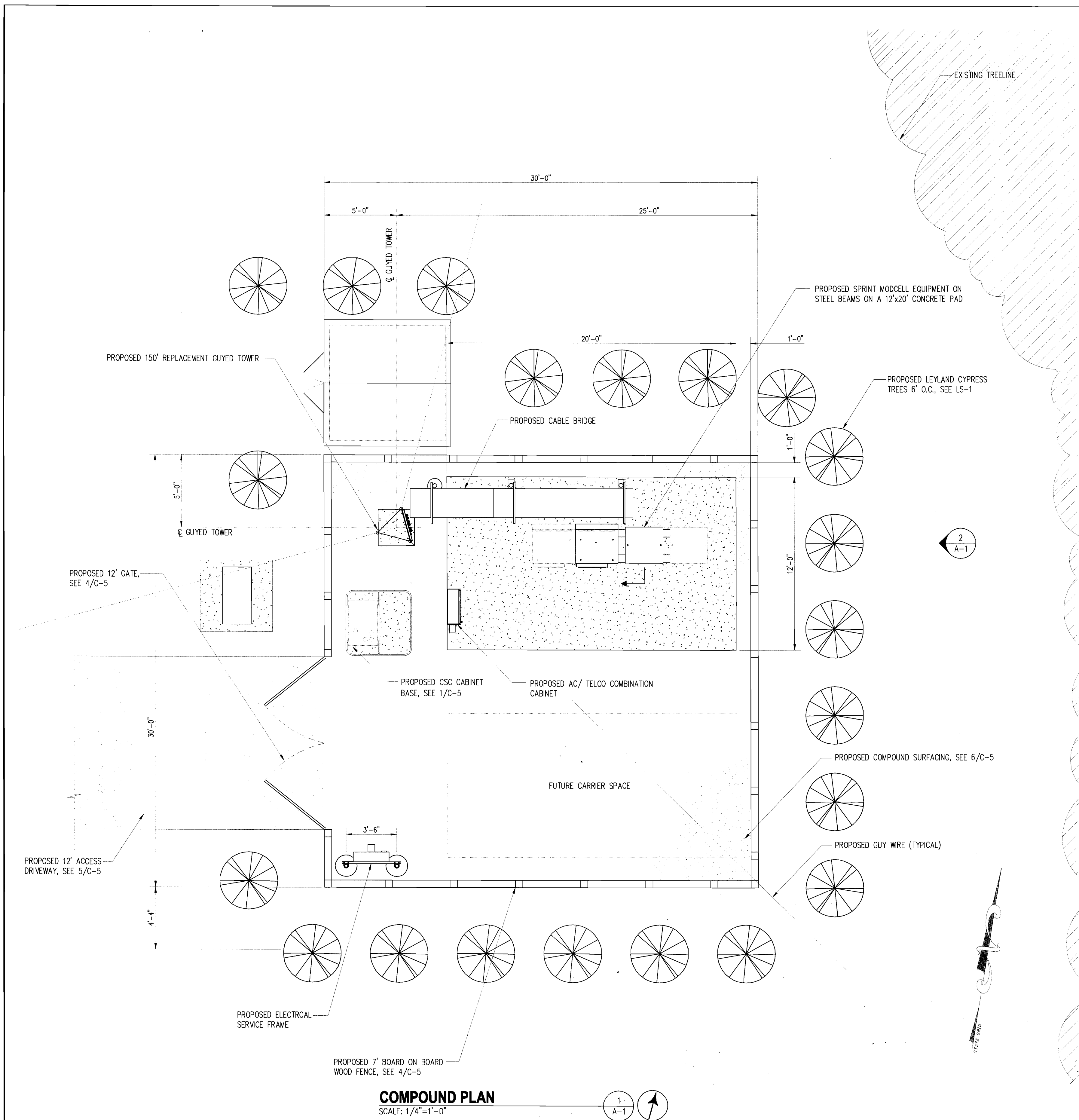
TITLE:
**COMPOUND PLAN
AND TOWER
ELEVATION**

A-1

SHEET NUMBER:

16

SDP-06-057



APPROVALS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/1/06
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 8/1/06
 DIRECTOR DATE: 8/1/06

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER DATE: _____
 HOWARD COUNTY HEALTH DEPARTMENT