

PERMANENT SEEDING NOTES

APPLY PERMANENT SEEDING TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LUSH-LIVED VEGETATIVE COVER IS NEEDED.

SEED BED PREPARATION LOOSEN UPPER THREE INCHES OF SOIL BY RAKING OR DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. Fertilizer to be applied immediately following.

SOIL ADJUSTMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING METHODS:

D) PREFERRED METHOD: APPLY 3 TONS/ACRE OF DOLOMITE LIMESTONE (OR 1.5 TONS/ACRE OF 80% PURE) AND 1.5 TONS/ACRE OF 10-10-10 FERTILIZER (OR 1.5 TONS/ACRE OF 15-15-15 FERTILIZER) TO 2" DEPTH EVERY 30' BY APPLYING 2 TONS OF WELL-ANCHED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.

E) ALTERNATE METHOD: APPLY 1 1/2 TO 2 TONS/ACRE OF 10-10-10 FERTILIZER (OR 1.5 TONS/ACRE OF 15-15-15 FERTILIZER) AND 2 TONS/ACRE OF WELL-ANCHED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.

MULCHING: APPLY 1 1/2 TO 2 TONS/ACRE (TO 20 LBS/1000 SQ FT) OF UNWITTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. AFTER MULCH APPLICATION APPLY LAYER OF ASPHALT OR SLURRY AS SOON AS POSSIBLE IN THE SPRING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NECESSARY RESEEDING AND REPLANTINGS.

TEMPORARY SEDIMENT CONTROL MEASURES

APPLY TEMPORARY SEEDING TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEED BED PREPARATION LOOSEN UPPER THREE INCHES OF SOIL BY RAKING OR DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. Fertilizer to be applied immediately following.

SOIL ADJUSTMENTS: APPLY 1.00 TONS/ACRE OF 10-10-10 FERTILIZER EQUIVALENT TO (1.5 TONS/ACRE OF 15-15-15 FERTILIZER) AND 1.5 TONS/ACRE OF DOLOMITE LIMESTONE (OR 0.75 TONS/ACRE OF 80% PURE) TO 2" DEPTH EVERY 30' BY APPLYING 2 TONS OF WELL-ANCHED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.

MULCHING: APPLY 1 1/2 TO 2 TONS/ACRE (TO 20 LBS/1000 SQ FT) OF UNWITTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. AFTER MULCH APPLICATION APPLY LAYER OF ASPHALT OR SLURRY AS SOON AS POSSIBLE IN THE SPRING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATES AND METHODS NOT COVERED HEREIN.

- REQUIRED SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT.
 - CLEAR AND GRAD FOR INSTALLATION OF TEMPORARY SEDIMENT CONTROL MEASURES, SILT FENCE AND STONE CONSTRUCTION ENTRANCE.
 - INSTALL TEMPORARY SEDIMENT CONTROL MEASURES.
 - UPON APPROVAL OF SEDIMENT CONTROL INSPECTOR CLEAR AND GRAD SITE FOR CONSTRUCTION OF DWELLING, DRIVEWAY AND SIDEWALKS.
 - GRADE SITE AND CONSTRUCT DWELLING, DRIVEWAY AND SIDEWALKS PER THE PLAN.
 - STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH PER SGS STANDARDS NOTES.
 - UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL TEMPORARY SEDIMENT CONTROL MEASURES AND STABILIZE ALL DISTURBED AREAS AS PER PERMANENT SEEDING NOTES.

GENERAL NOTES FOR SEDIMENT CONTROL

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION TELEPHONE: (410) 328-2427.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- OLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN (7) CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES INCLUDING PERMETER SLOPES, AND ALL SLOPES GREATER THAN 3% TO 4% PATHS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TIPS/DAMNS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERMETER IN ACCORDANCE WITH VOL. 1, CHAP. 18, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SECTION G - VEGETATIVE PRACTICES FOR METHODS, AND MATERIALS SECTION I. TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN THE REQUIRED SEEDING RATES DO NOT ALLOW FOR PROPER SEED GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY CONSTRUCTION UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MEASURES MUST BE PROVIDED, IF DEEMED NECESSARY BY HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2.0 ACRES APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF THE INSTALLATION OF PERMETER SEDIMENT CONTROL STRUCTURES, AND BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING AND SEDIMENT CONTROL. APPROVAL OF THE AGENCY IS NOT AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- SITE ANALYSIS:

TOTAL AREA OF SITE	0.06 ACRES
AREA DISTURBED	0.07 ACRES
AREA TO BE GRADED OR PAVED	0.00 ACRES
AREA TO BE VEGETATED OR PLANTED	0.07 ACRES
TOTAL VOLUME OF CUT	74 CY
TOTAL VOLUME OF FILL	74 CY
OFFSITE WASTE/DISSIPATION AREA LOCATION	N/A

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN OF SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON A PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

CHARLES R. CROCKEN, P.E. REG. NO. 7829 DATE 4-16-07

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AS A DEPT. OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE COMMENCING THE PROJECT. I ALSO AUTHORIZE SERVICE ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

DATE 4-12-07

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT

Jim Meyers 4/20/07 DATE

USDA NATURAL RESOURCES CONSERVATION SERVICE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John K. Robinson 4/20/07 DATE

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

4/20/07 DATE

CHIEF DEVELOPMENT ENGINEER'S DIVISION

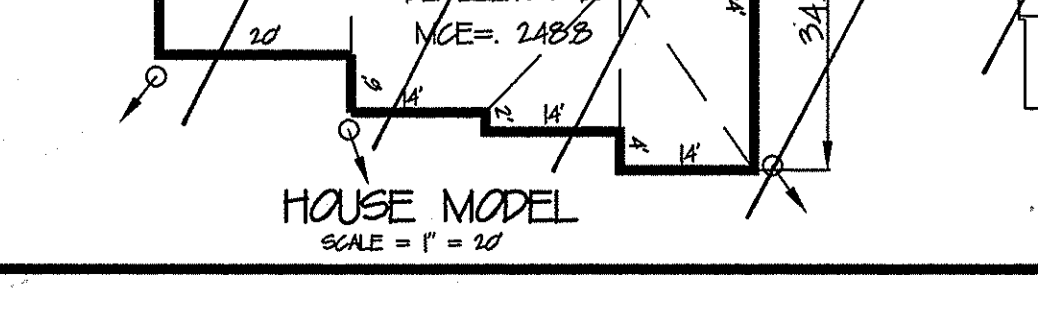
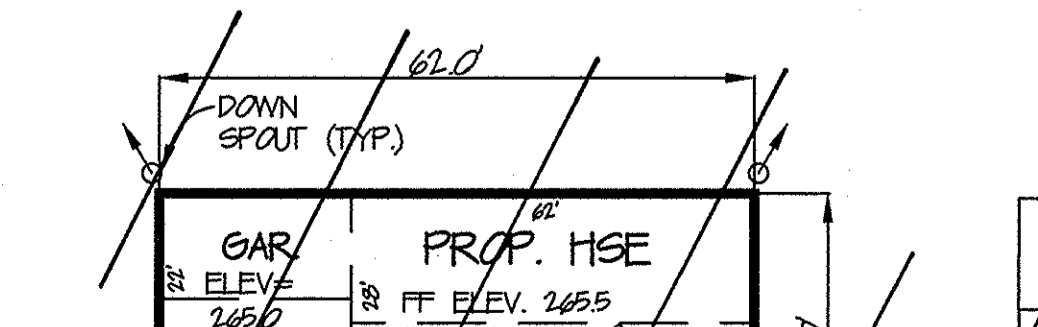
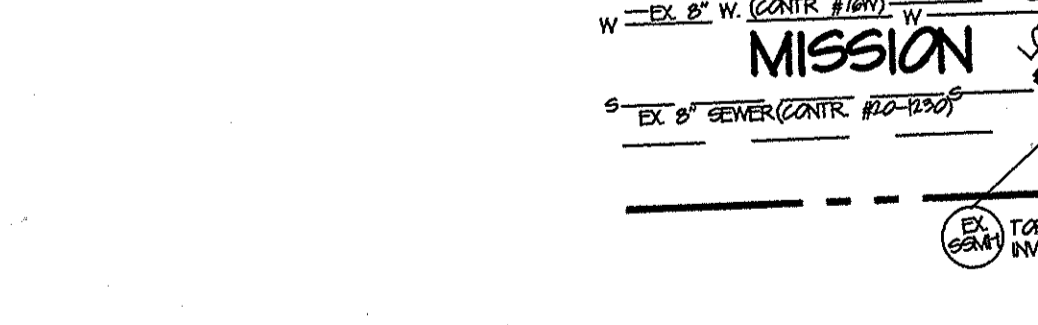
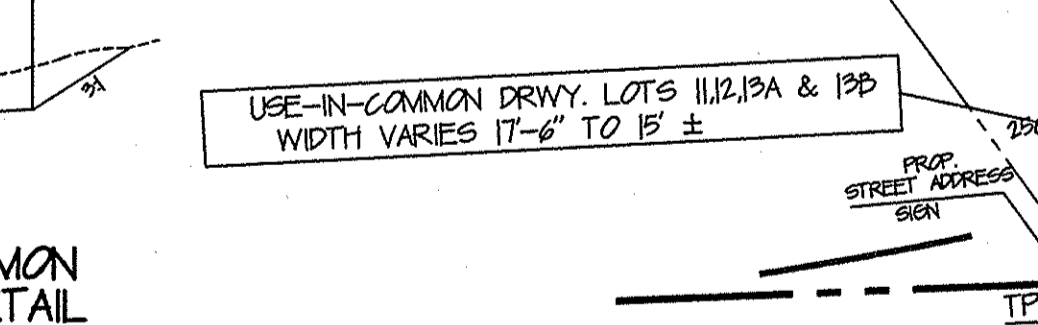
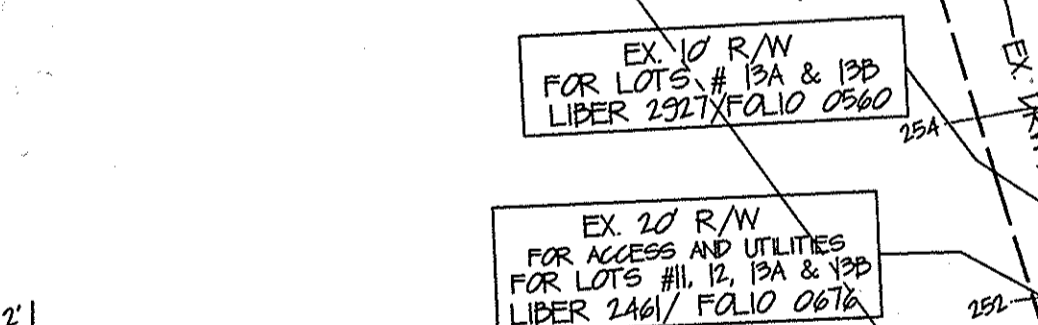
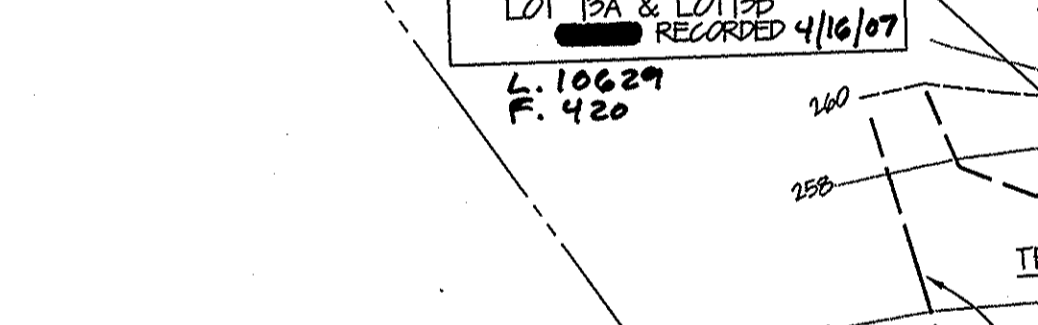
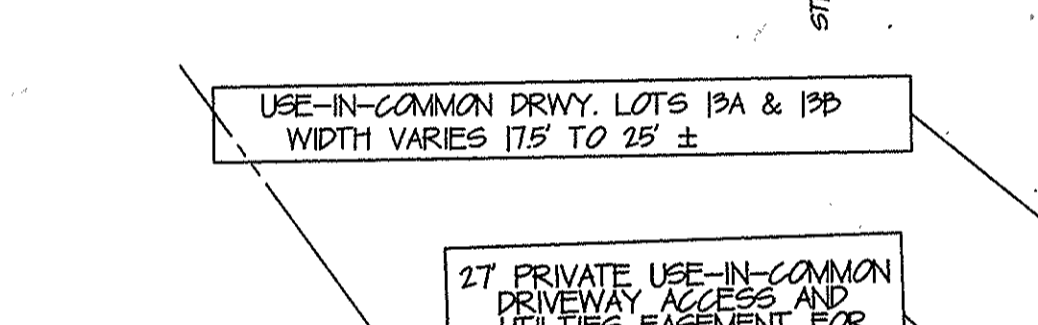
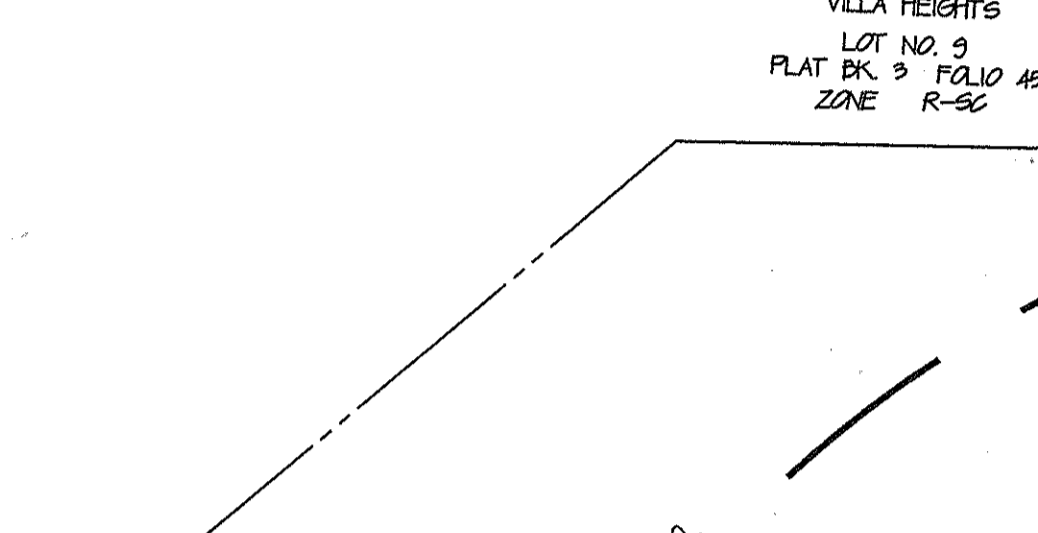
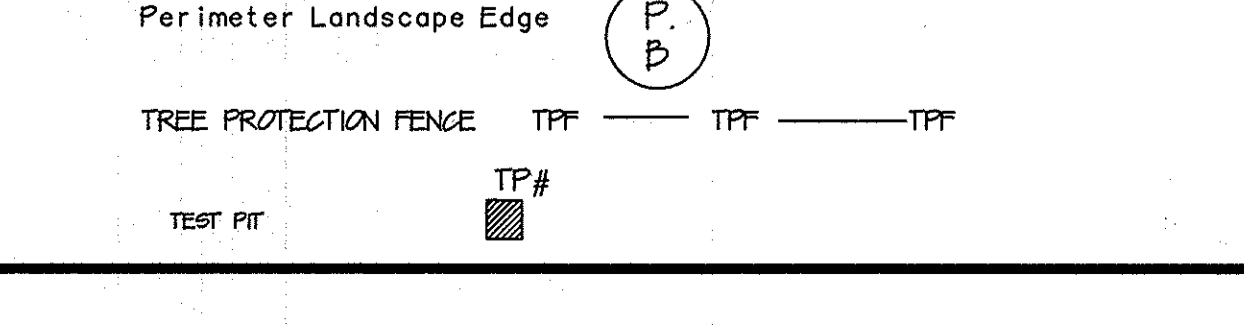
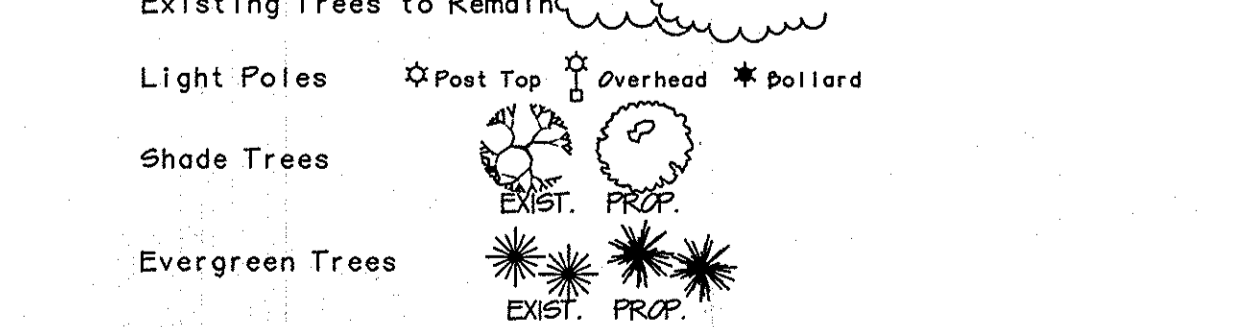
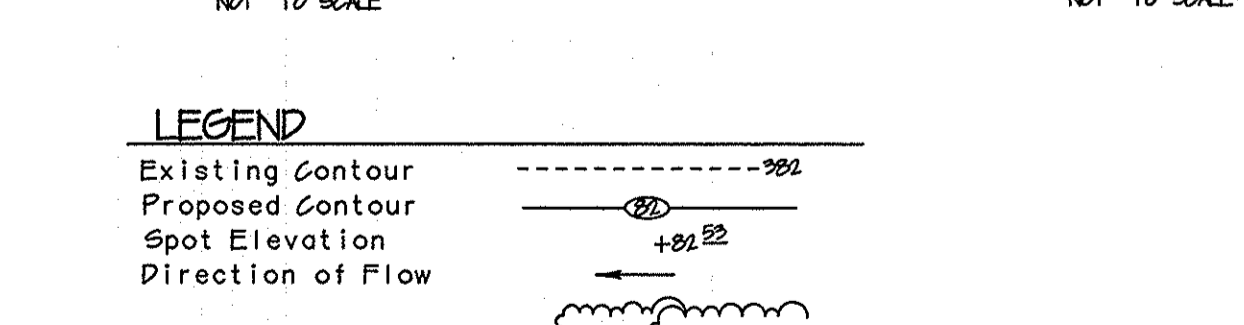
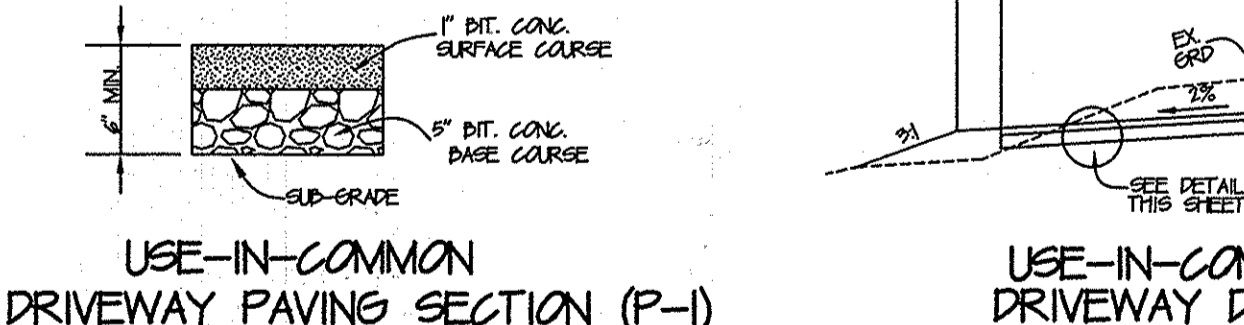
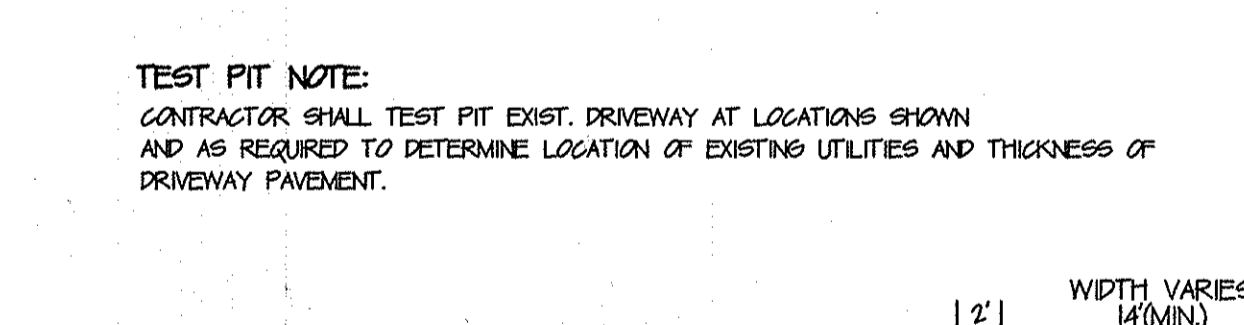
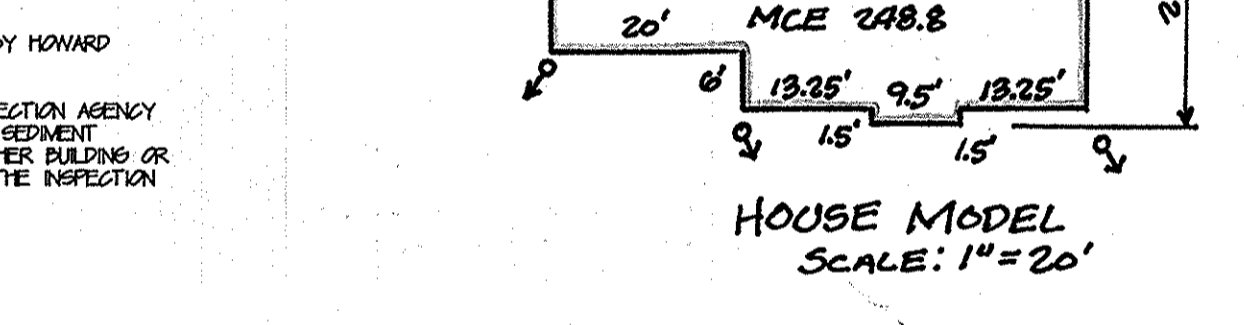
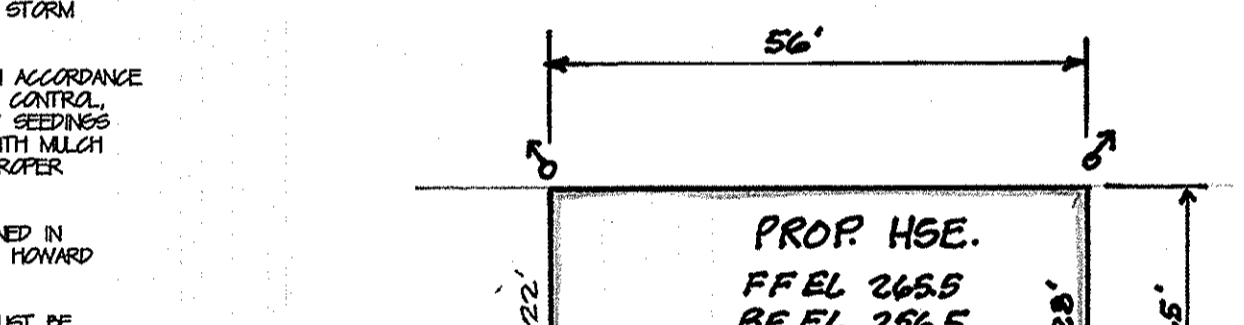
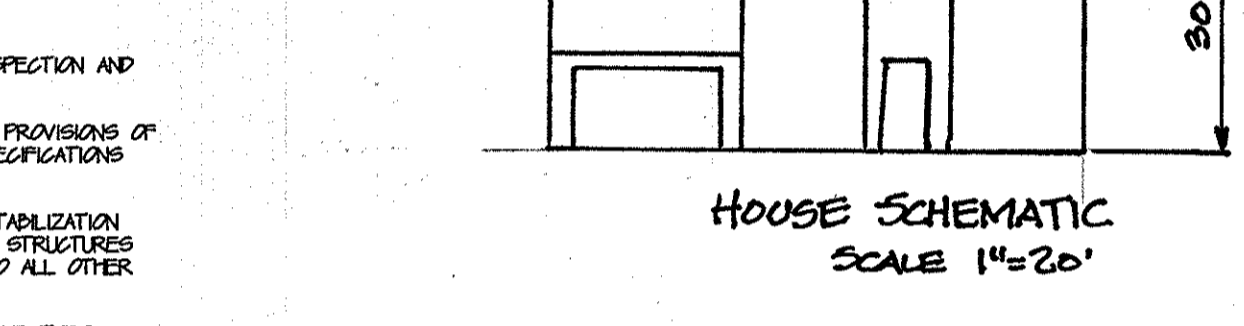
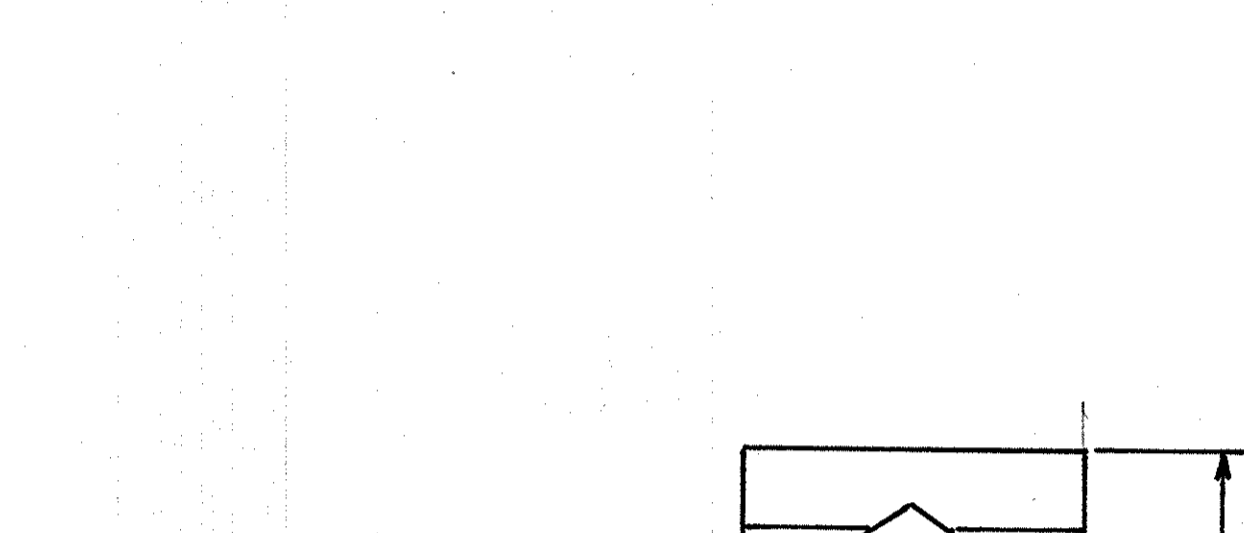
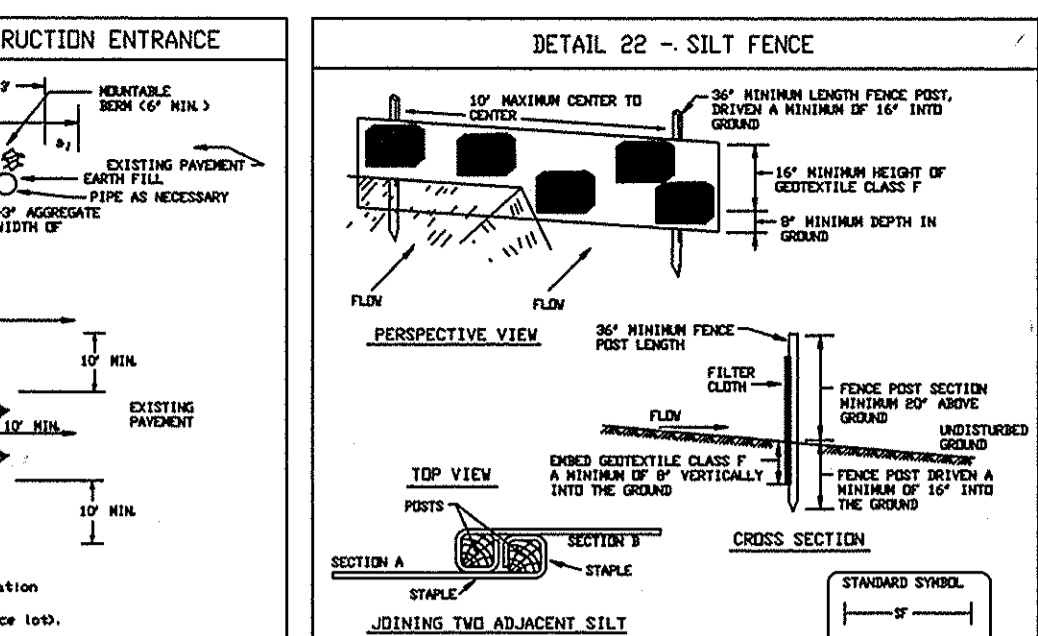
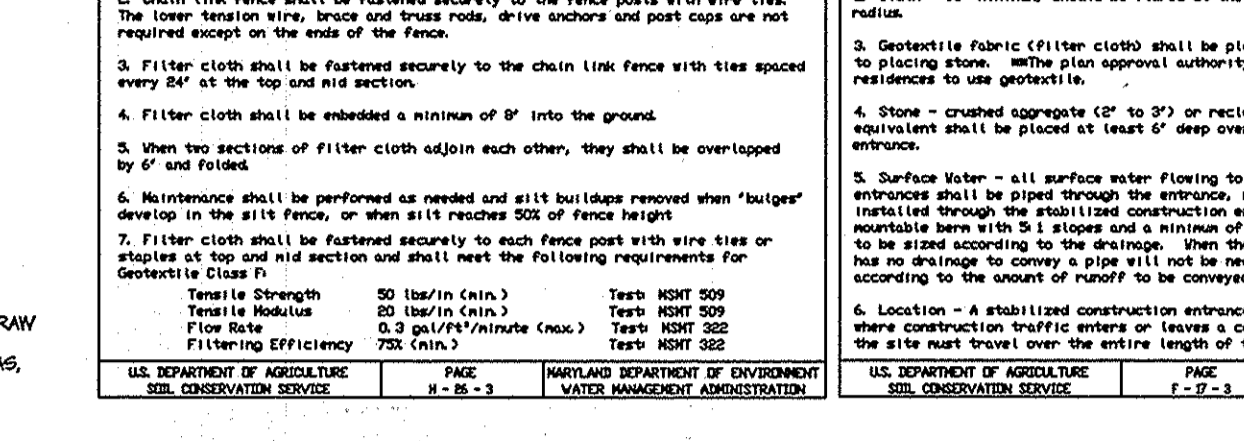
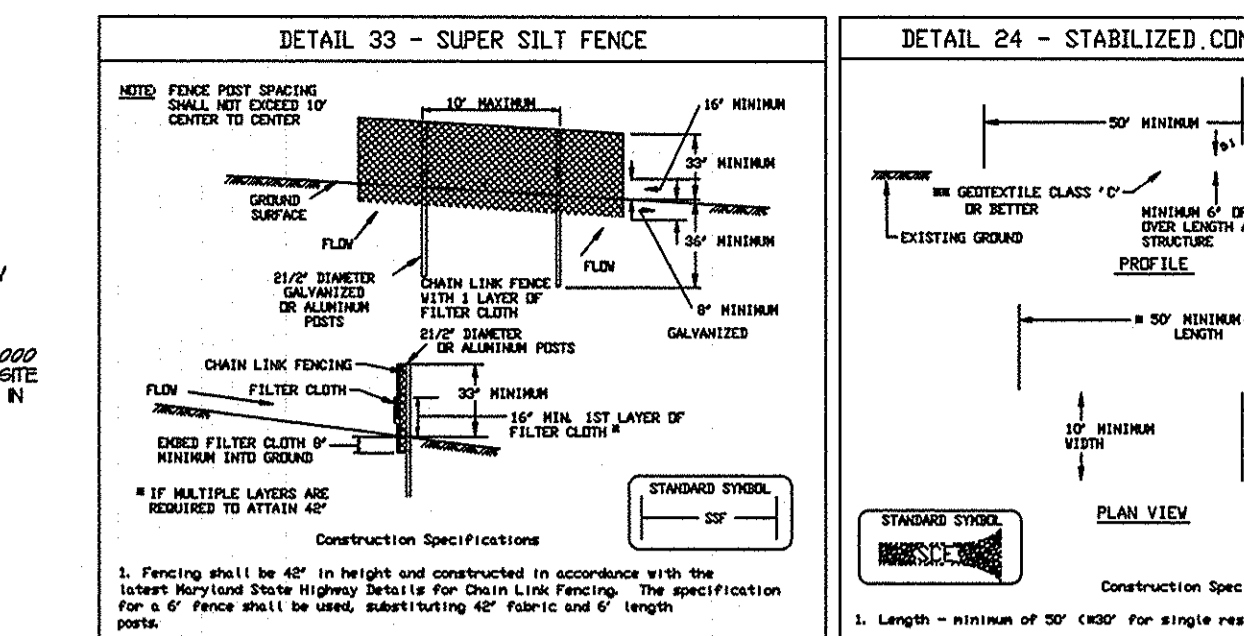
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

5/1/07 DATE

CHIEF DIVISION OF LAND DEVELOPMENT

Masha Moughtin 5/1/07 DATE

DIRECTOR



THIS LIST INCLUDES LANDSCAPE MATERIAL FOR PERMETER LANDSCAPE EDGE

SYMBOL	QUANTITY	BOTANICAL/COMMON NAME	SIZE	REMARKS
(2)	5	ACER RUBRUM 'OUTCROP GLORY' OUTCROP GLORY RED MAPLE	2.5\"/>	

UNLESS OTHERWISE NOTED NO EXISTING TREES ARE TO BE REMOVED FOR THE PLANNED IMPROVEMENTS

LANDSCAPE NOTE:

THE OWNER, DESIGNER, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING. PLANT MATERIALS, BEDDING, FILLING AND WALLS ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION.

DEVELOPER'S/BUILDER'S CERTIFICATE

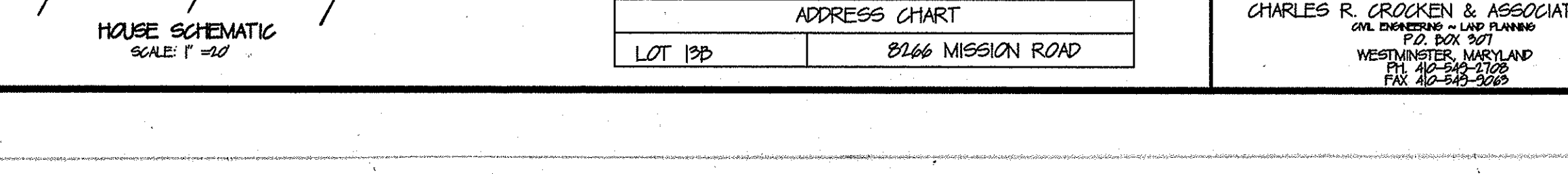
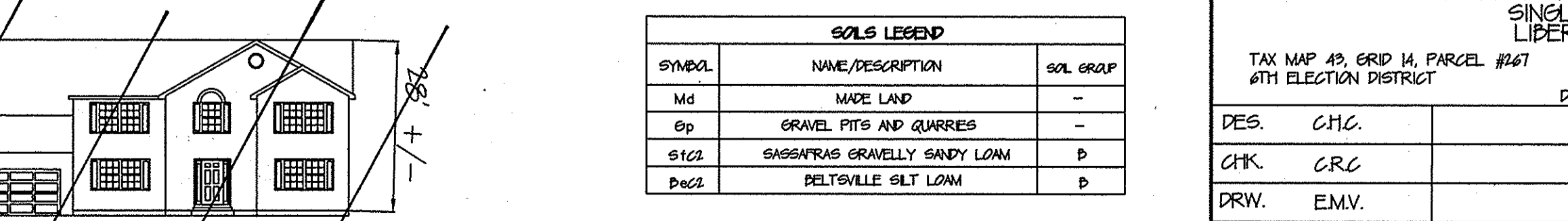
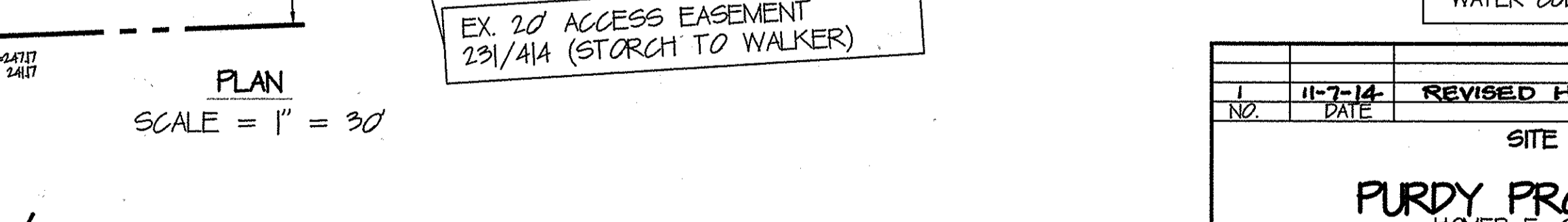
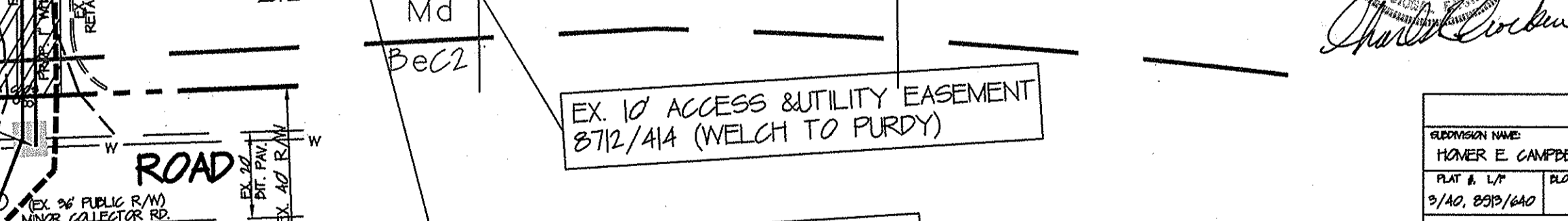
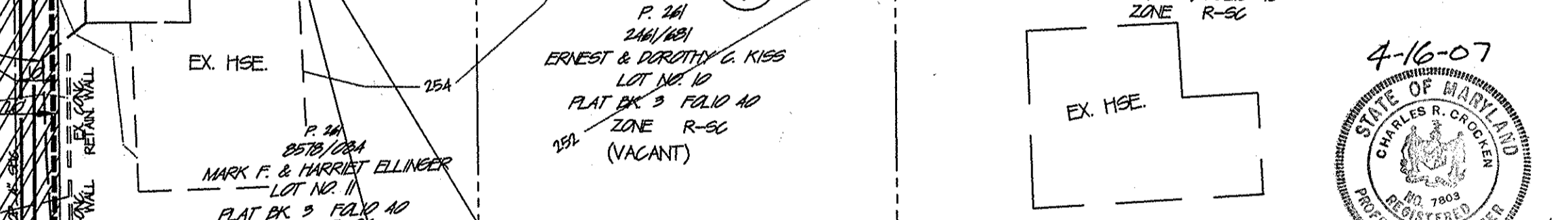
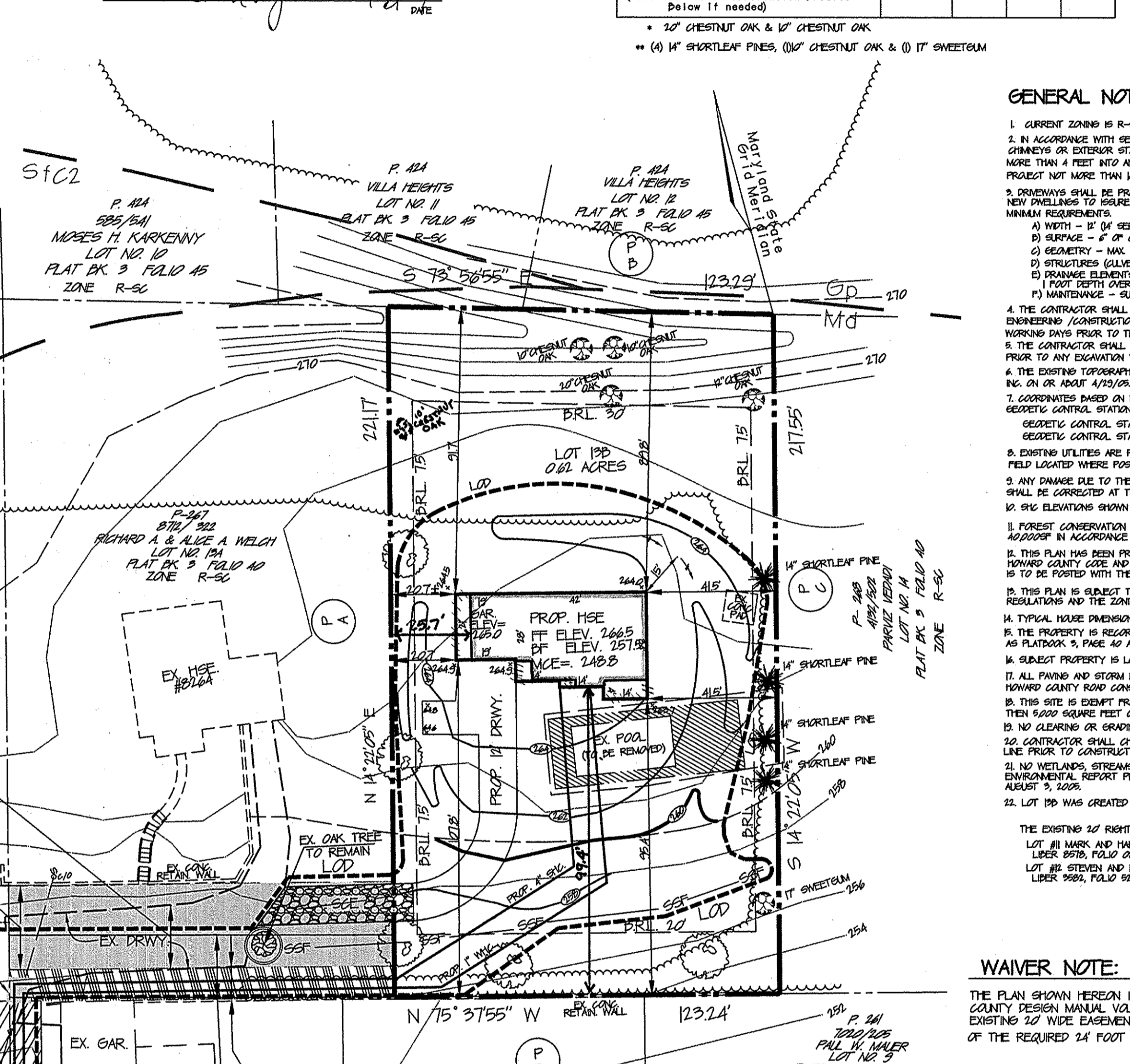
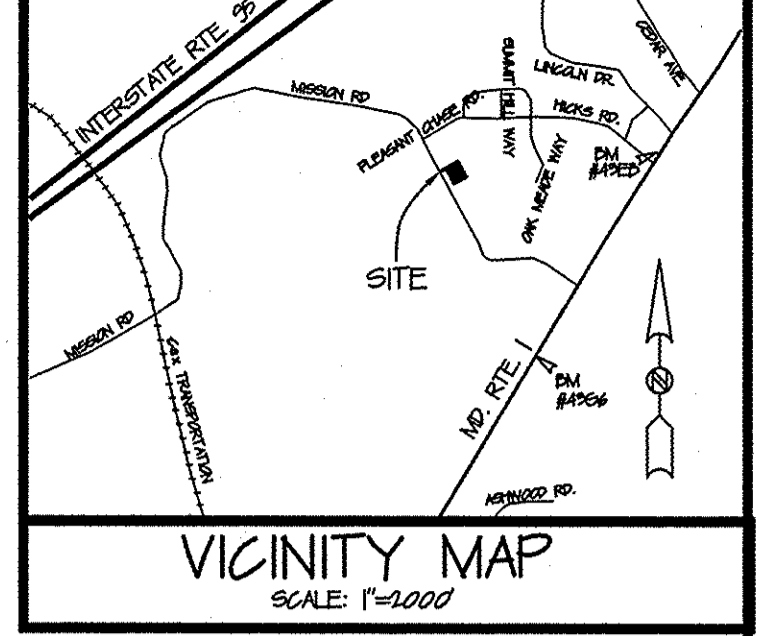
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 2.03 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF NOTICE ACCORDING TO AN DESIGNATED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DATE 4-12-07

SCHEDULE A PERMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERMETER PROPERTIES			
	A	B	C	D
Perimeter/Frontage Designation Landscape Type	A	B	C	D
Linear Feet of Roadway Frontage/Perimeter	221	137	237	137
Number of Plants Required	1 (462)	2 (462)	1 (462)	2 (462)
Shade Trees	-	-	-	-
Evergreen Trees	-	-	-	-
Credit for Existing Vegetation	YES	YES	YES	NO
Shade Trees	1	2a	4a	-
Evergreen Trees	-	-	-	-
Other Trees (A1 Substitution) Shrubs (B1 Substitution) (Describe Plant Substitution Credits Below if needed)	-	-	-	-
Number of Plants Provided	5	-	-	2
Shade Trees	-	-	-	-
Evergreen Trees	-	-	-	-
Other Trees (A1 Substitution) Shrubs (B1 Substitution)	-	-	-	-
LF of 20 Landscape Edge	-	-	-	-
Number of Plants Provided	5	-	-	2
Shade Trees	-	-	-	-
Evergreen Trees	-	-	-	-
Other Trees (A1 Substitution) Shrubs (B1 Substitution)	-	-	-	-

10' CHESTNUT OAK & 10' CHESTNUT OAK
10' SHORLEAF PINE, 10' CHESTNUT OAK & 10' SWEETGUM



- GENERAL NOTES:**
- CURRENT ZONING IS R-5C PER 02/04/04 COMPREHENSIVE ZONING PLAN.
 - IN ACCORDANCE WITH SECTION 2.03 OF THE HOWARD COUNTY REGULATIONS, YARD WIDTHS, CORNERS OR EXTENSION STRAWINGS NOT MORE THAN 10 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS FORCES OR BEANS. OPEN OR ENCLOSED AREA PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRAWINGS WILL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW CONSTRUCTION TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (4' SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 4' OF COMPACTED GRAVEL RUN BASE WITH/AND CHIP COURSE (1/2\"/>
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING (CONSTRUCTION INSPECTION DIVISION AT (410) 328-2771) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - THE EXISTING TOPOGRAPHY IS FIELD RUN PREPARED BY CHARLES R. CROCKEN & ASSOC. INC. ON OR ABOUT 4/23/05.
 - COORDINATES BASED ON MD 793, MARYLAND COORDINATE SYSTEM AS PROMULGATED BY HOWARD COUNTY GEODETIC CONTROL STATIONS AREA AND AROUND:
 - GEODETIC CONTROL STATION NUMBER: N458943 ELEV. 24.91
 - GEODETIC CONTROL STATION NUMBER: N458954 ELEV. 21.96
 - EXISTING UTILITIES ARE LOCATED FROM HOWARD COUNTY UTILITY DRAWINGS AND FIELD LOCATED WHERE POSSIBLE.
 - ANY DAMAGE TO THE CONTRACTOR'S ACTIVITIES DUE TO COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - NO SITE ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
 - FOREST CONSERVATION FOR THIS PROPERTY IS DEEMED SINCE LOT 13B IS LESS THAN 4 ACRES IN ACCORDANCE WITH SECTION 2.03 OF THE HOWARD COUNTY CODE.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 2.03 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. SURETY FOR THE REQUIRED LANDSCAPING IS TO BE PROVIDED WITH THE GRADING PERMITS APPLICATION IN THE AMOUNT OF \$6000.00 FOR DISHARE TREES.
 - THIS PLAN IS SUBJECT TO THE AMENDED CITY EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE ZONING REGULATIONS OF THE HOWARD COUNTY, ALL 04-0000.
 - TYPICAL HOUSE DIMENSIONS AND SCHEMATIC ARE SHOWN ON THIS SHEET.
 - IF THE PROPERTY IS RECORDED IN THE PLAT RECORDS OF HOWARD COUNTY MARYLAND AS PLATBOOK 3, PAGE 40 AND IS PART OF LOT D.
 - IF THE PROPERTY IS LOCATED IN PLATBOOK 3, PAGE 40 AND IS PART OF LOT D.
 - ALL FINISH AND STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY ROAD CONSTRUCTION CODE AND STANDARD SPECIFICATIONS.
 - THIS SITE IS DEEMED FROM STORMWATER QUALITY MANAGEMENT BECAUSE THERE IS 6000 SQUARE FEET OF IMPERVIOUS AREA IS PROPOSED.
 - NO CLEARING OR GRADING PERMITTED BEYOND THE LIMIT OF DISTURBANCE.
 - CONTRACTOR SHALL CHECK THE SEWER HOUSE CONNECTION ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - NO SETBACKS, STRUTS OR FLAGPOLES ARE LOCATED ON THIS PROPERTY PER AN ENVIRONMENTAL REPORT PROVIDED BY MAR-LAN ENVIRONMENTAL ON-SITE INSPECTION DATED AUGUST 9, 2006.
 - LOT 13B WAS CREATED BY DEED LIBER 236, FOLIO 414 DATED APRIL 14, 1992.

THE EXISTING 20' RIGHT OF WAY GRANTED TO:

LOT 11 MARK AND HARRIET ELLINGER LOT 18A RICHARD AND ALICE WELCH LIBER 3676, FOLIO 568 LIBER 3688, FOLIO 567

LOT 18B STEVEN AND DOROTHY SMITH LOT 18C AND MIKE PURDY LIBER 3689, FOLIO 567

WAIVER NOTE:

THE PLAN SHOWN HEREBY IS SUBJECT TO A WAIVER FROM SECTION 2.02 OF THE COUNTY DESIGN MANUAL, VOLUME III, ROADS AND BRIDGES IN ORDER TO USE THE EXISTING 20' WIDE EASEMENT FOR THE EXISTING USE IN COMMON DRIVEWAY IN LIEU OF THE REQUIRED 24' FOOT WIDE EASEMENT. APPROVED: 04/18/2006

4-16-07

CHARLES R. CROCKEN
REGISTERED PROFESSIONAL ENGINEER
NO. 7829

SITE ANALYSIS CHART

AREA OF PARCELS = 0.06 AC.
AREA OF PLAN SUBMISSION = 0.06 AC.

PRESENT ZONING: R-5C
PROPOSED USE OF STRUCTURES: SINGLE FAMILY DETACHED

UNITS ALLOWED = 1
UNITS PROVIDED = 1
OPEN SPACE ON SITE = N/A
HOWARD COUNTY FILE NO'S:

PERMIT INFORMATION				
APPLICATION NAME	SECTION/AREA	LOT/PARCEL #	APPLICANT	DATE
HOWARD E. CAMPBELL SUBDIVISION	N/A	LOT 13B / P267		
PLAT & L.P. #	BLK. #	ZONE	ELECTION YEAR	CENSUS TRACT
5/12, 8/28/02	H	R-5C	#43	608301
WATER CODE: B02		SEWER CODE: 2170000		

NO. 11-7-14 REVISED HOUSE MODEL REVISION CRE

SITE DEVELOPMENT PLAN FOR PURDY PROPERTY, PARCEL 267
HOWARD E. CAMPBELL SUBDIVISION, LOT 13B
SINGLE FAMILY DETACHED
LIBER 8219, FOLIO 640

TAX MAP 43, GRID H, PARCEL #267
6TH ELECTION DISTRICT

DES. CHC.
CHK. CRC.
DRW. EMV.

DATE: 01/18/06

DEVELOPER/OWNERS:
STEVE J/T & CHARLES PURDY
8730 SMITHFIELD PL.
LESSUP MD 20794-9244

PREPARED BY:
CHARLES R. CROCKEN & ASSOCIATES, INC.
ONE WESTVIEW SQUARE
P.O. BOX 307
WESTMINSTER, MARYLAND
FX: 410-538-3285

SCALE: 1" = 30'

SHEET 1 OF 1