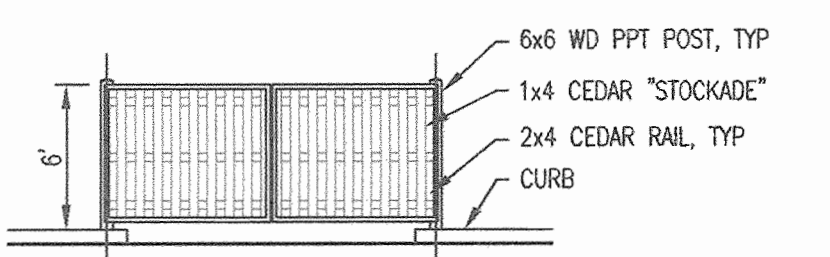
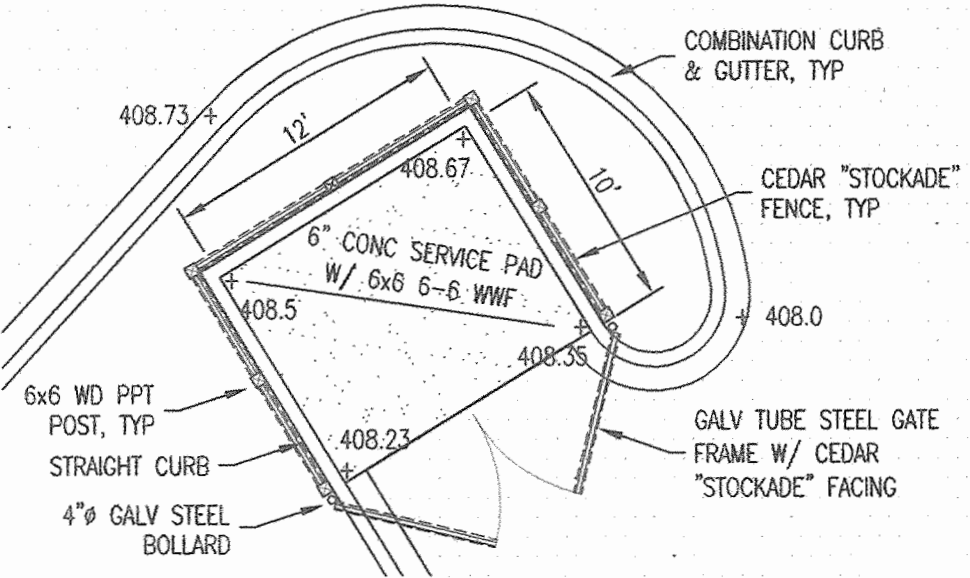


LEGEND

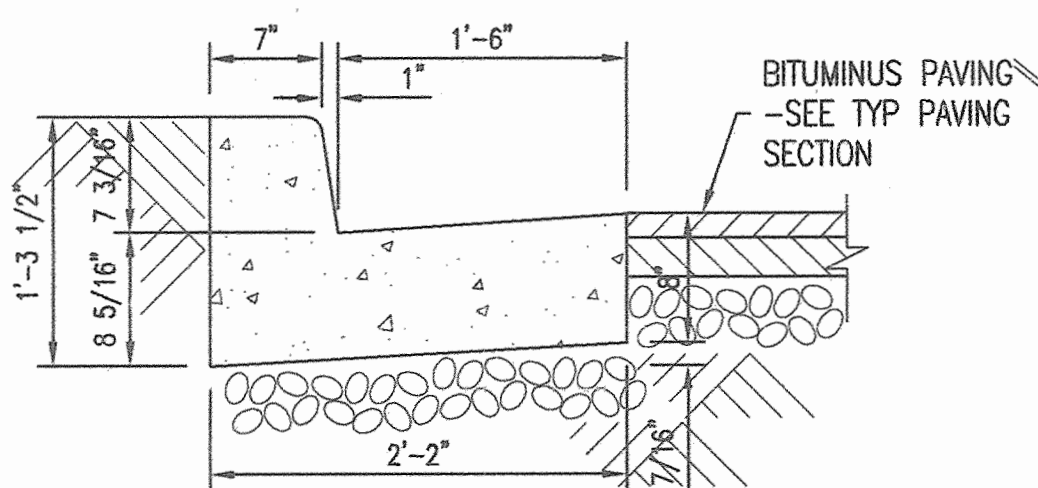
- FIRE HYDRANT
- LIGHT POLE
- GAS VALVE
- GAS CAP
- WATER VALVE
- WATER METER
- WATER CAP
- SEWER CLEANOUT
- ELEC. HANDBOX
- MECH. HANDBOX
- GAS HANDBOX
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- PROPERTY CORNER
- DRAIN INLET
- CONC. CURB
- SIGN
- UTILITY POLE
- OVERHEAD UTILITY WIRES
- UNDERGROUND GAS MAINS
- UNDERGROUND WATER MAINS
- UNDERGROUND SEWER LINES
- UNDERGROUND STORM DRAINS
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- TREE
- FENCE
- TREE
- CONC. CONCRETE
- NEW STORMWATER PIPE
- NEW DRAIN INLET
- NEW P2 PAVING
- NEW CONCRETE PAVING



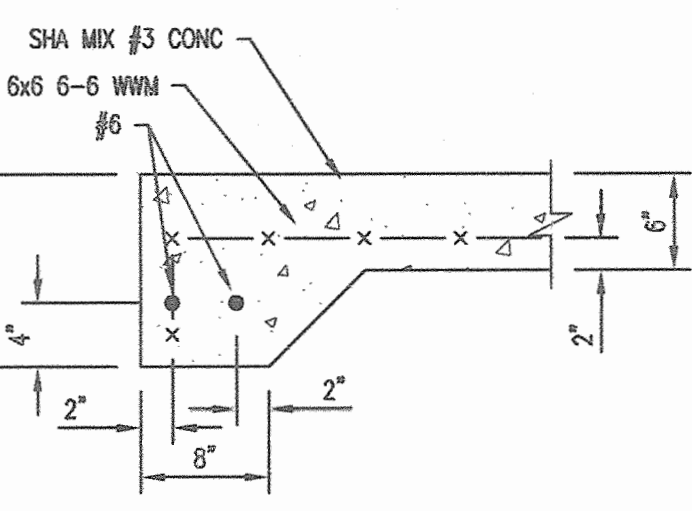
SOLID WASTE ENCLOSURE ELEVATION
1" = 8'



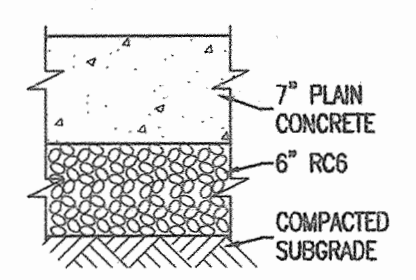
SOLID WASTE ENCLOSURE PLAN
1" = 8'



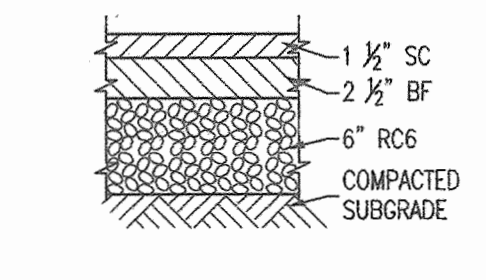
COMBINATION CURB & GUTTER
HO CO MD DPW STD NO R-3.01
1" = 1'-0"



SERVICE PAD EDGE DETAIL
HO CO MD DPW STD NO R-11.01
1" = 1'-0"



PAVING SECTION
CONCRETE APRON AT BLDG
1" = 1'-0"

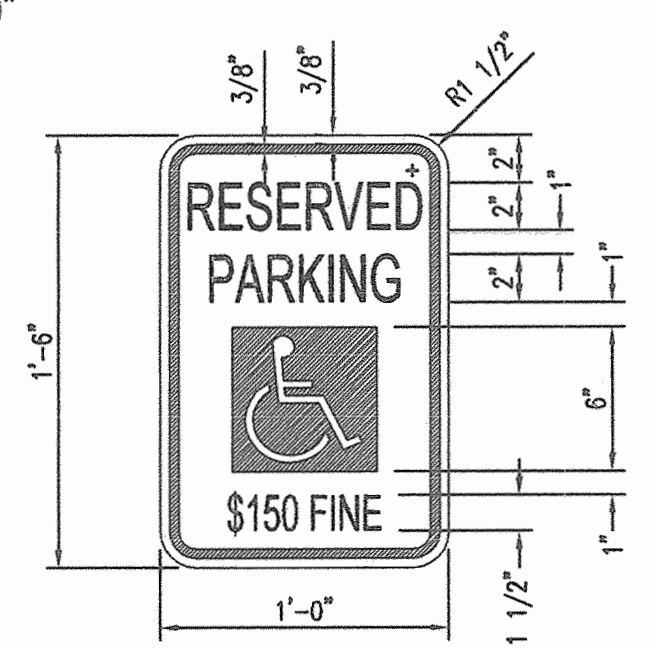


PAVING SECTION P-2
HO CO MD DPW STD NO R-2.01
1" = 1'-0"

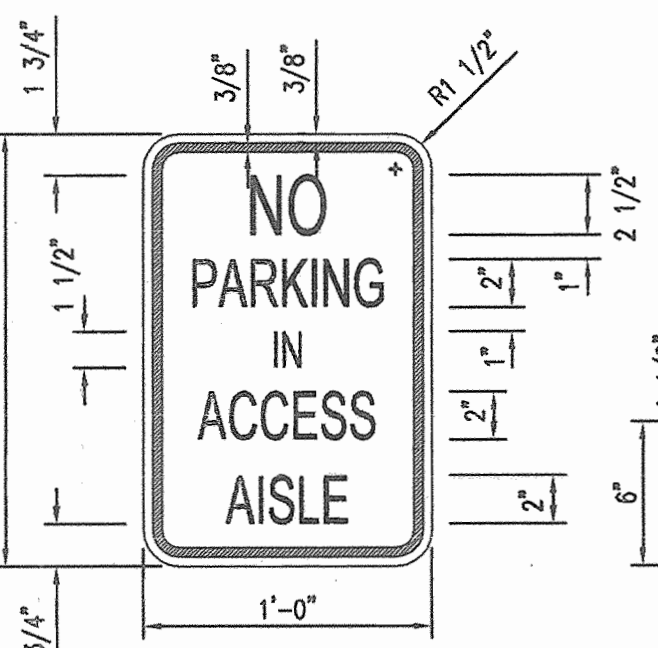
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *[Signature]* Date: 12/16/06
 Chief, Division of Land Development: *[Signature]* Date: 9/7/06
 Director: *[Signature]* Date: 9/16/06

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS
 County Health Officer: _____ Date: _____
 Howard County Health Department

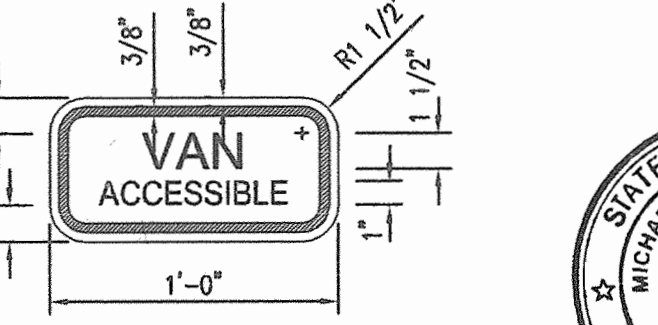
SEAL



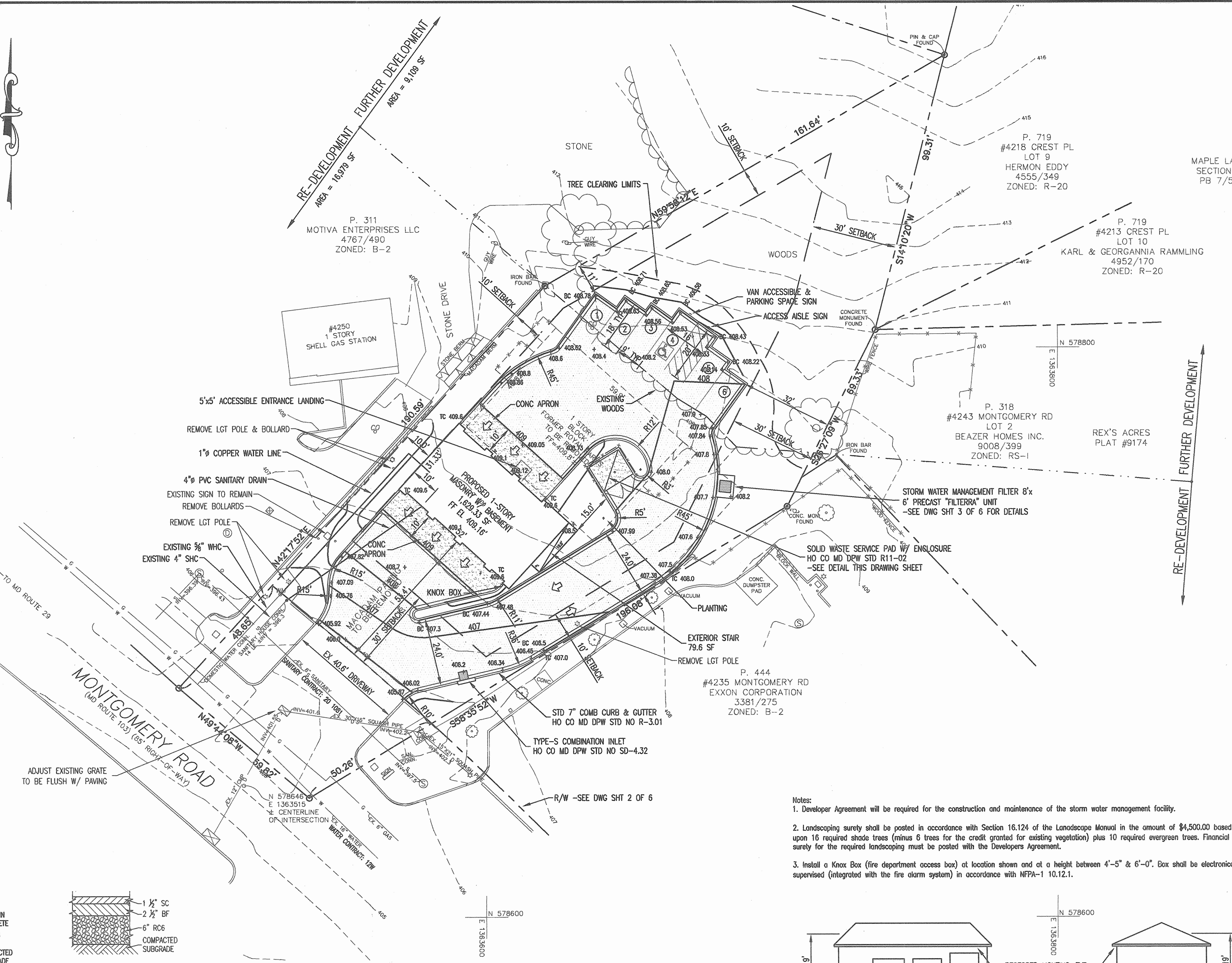
PARKING SPACE SIGN
1" = 8"



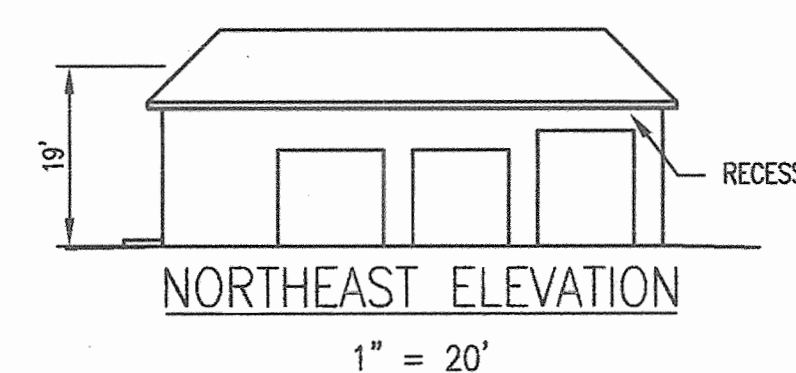
ACCESS ISLE SIGN
1" = 8"



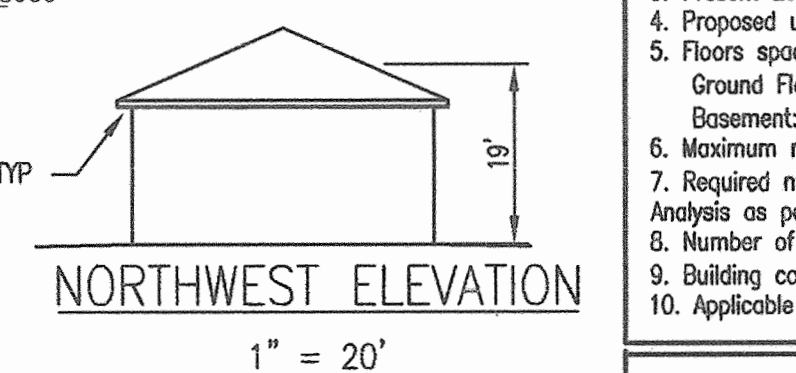
VAN ACCESSIBLE SIGN
1" = 8"



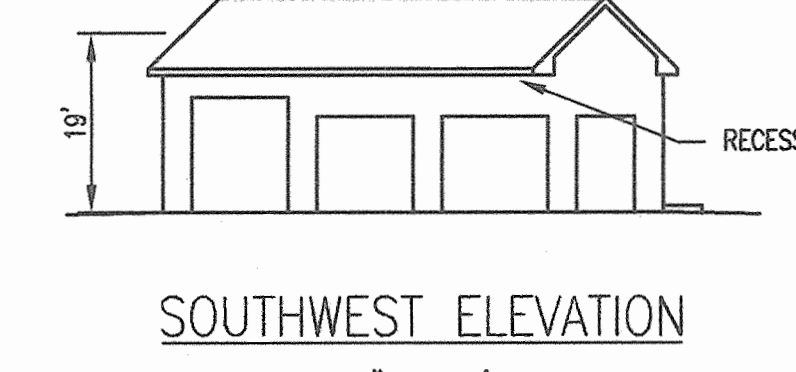
SITE DEVELOPMENT PLAN
1" = 20'



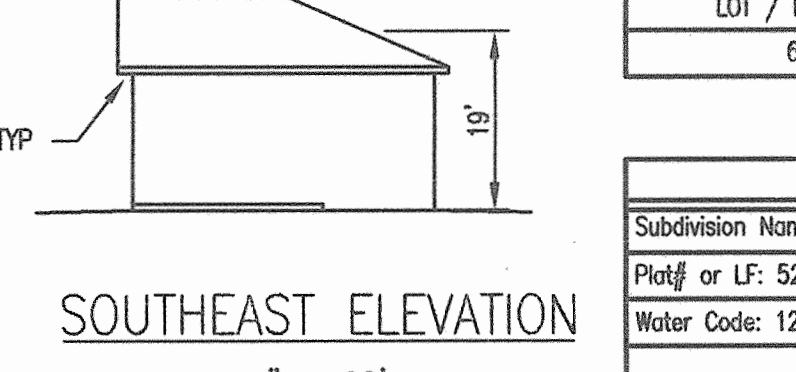
NORTHEAST ELEVATION
1" = 20'



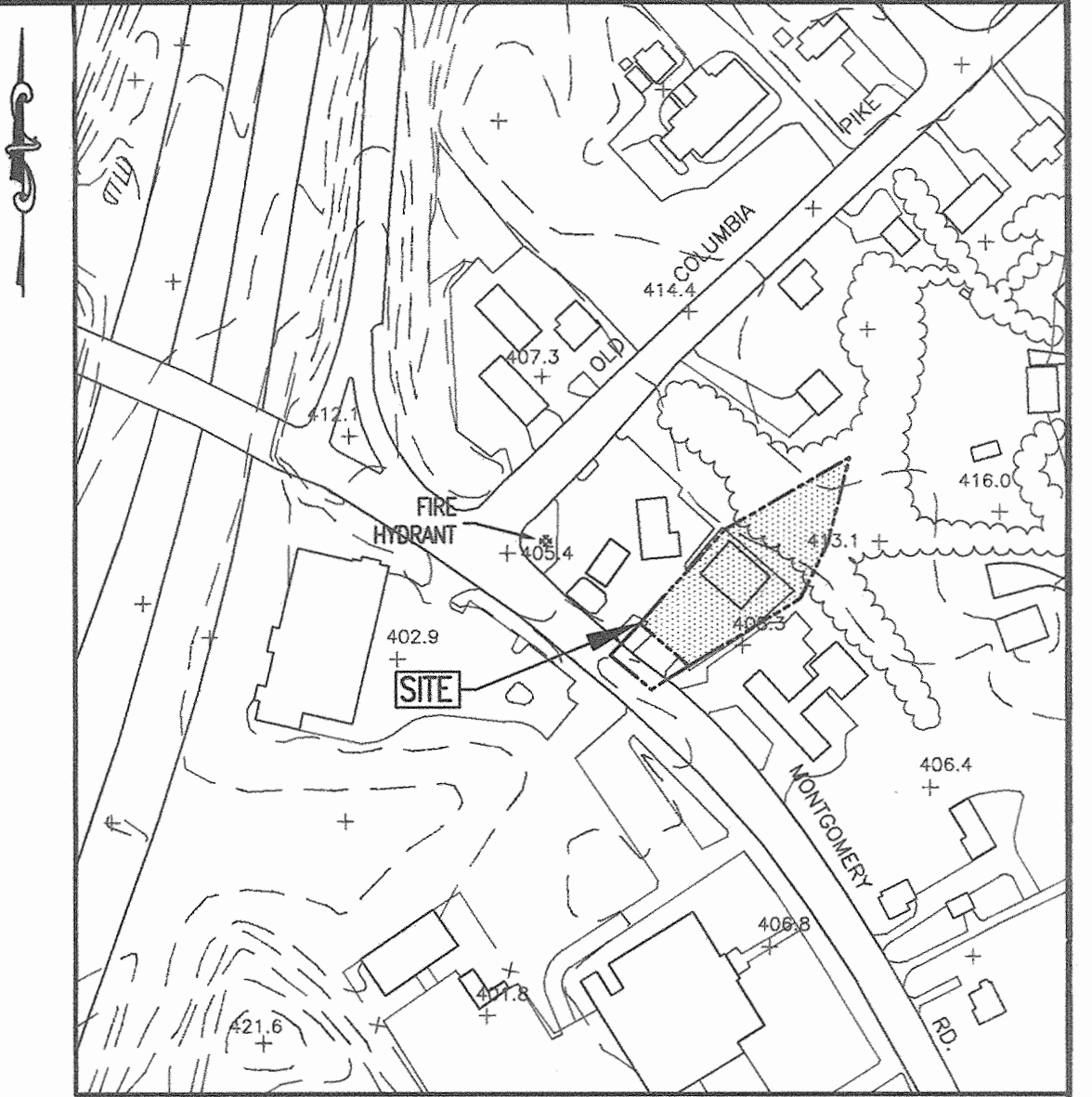
NORTHWEST ELEVATION
1" = 20'



SOUTHWEST ELEVATION
1" = 20'



SOUTHEAST ELEVATION
1" = 20'



VICINITY MAP
1" = 200'

LIST OF DRAWINGS

- 1 OF 6 - SITE DEVELOPMENT PLAN
- 2 OF 6 - TOPOGRAPHIC SURVEY
- 3 OF 6 - STORM WATER MANAGEMENT PLAN
- 4 OF 6 - DRAINAGE AREA PLANS
- 5 OF 6 - EROSION & SEDIMENT CONTROL PLANS, DETAILS & NOTES
- 6 OF 6 - LANDSCAPE PLAN

General Notes:

1. All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
2. The Contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least (5) five working days prior to the start of work.
3. The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
4. Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
5. All plan dimensions are to face of curb unless noted otherwise.
6. The existing topography is taken from field run survey with one foot contour intervals prepared by APR Associates, Inc., dated April 15, 2005.
7. The coordinates shown herein are based upon the Howard County Geodetic Control, which is based upon the Maryland State Plane Coordinate System. Howard County Monuments Nos. 0010 and 2418 were used for this project.
8. Water and sewer are public. Water code: 12W. Sewer code: 20 1081.
9. Stormwater management control is underground Filterra Unit, private ownership and private maintenance responsibility.
10. Existing utilities are based on field run survey by APR Associates, Inc., dated April 15, 2005.
11. There are no floodplains on this site.
12. There are no wetlands on this site.
13. The traffic study for this project was prepared by Traffic Concepts, Inc., dated November 2005, as approved 5/5/06.
14. The subject property is zoned B-2 per the Comprehensive Zoning Plan, dated February 2, 2004.
15. No floodplains, wetlands, streams or associated buffers occur on this site.
16. The total project area is less than 40,000 square feet. This project is exempt from the requirements of Section 16.1202(b)(1)(i) of the Howard County Code for Forest Conservation.
17. This development is considered a "Stormwater Hotspot" in accordance with the MDE SWM Design Manual, Table 2.6 and is exempt from Rev (recharge). This site is considered as "Further Development of a Partially Developed Site". Full management is required and the facility will be privately owned and maintained.
18. Steep slopes of 15% or greater do not occur on this site.
19. Fire protection sprinklers will not be installed.

SITE ANALYSIS DATA CHART	
1. Total Project Area: 26,088 SF or 0.5989 AC.	
2. Limit if Disturbed Area: 16,124 SF	
3. Present Zoning Designation: B-2	
4. Proposed uses for site & structures: Automobile oil change facility	
5. Floors space on each level of building per use:	
Ground Floor: 1,629.33 SF / Automobile Service	
Basement: 1,629.33 SF / Automobile Service	
6. Minimum number of employees per use: 6	
7. Required number of parking spaces on site: Parking reduction (6 spaces) based on Parking Needs Analysis as per Ho. Co. Zoning Regulations Section 133.D.B.	
8. Number of parking spaces provided on site, including handicapped parking spaces: 6	
9. Building coverage of site: 1,629.33 SF or 0.0374+ acres (6.25% of gross site area).	
10. Applicable DPZ file references: PB-18-080 and SDP 70-088-01	

ADDRESS CHART	
LOT / PARCEL #	STREET ADDRESS
677	4215 Montgomery Road

PERMIT INFORMATION CHART			
Subdivision Name: The Shell Oil Company, F-70-86 & SDP-70-68	Lot/Parcel No. 677		
Plat# or LF: 529/404 Grid# 24 Zoning: B-2	Section/Area	Census Tract:	
Water Code: 12W	Tax Map no. 24	Election Distr: 2	#602800
Sewer Code: 20 1081			

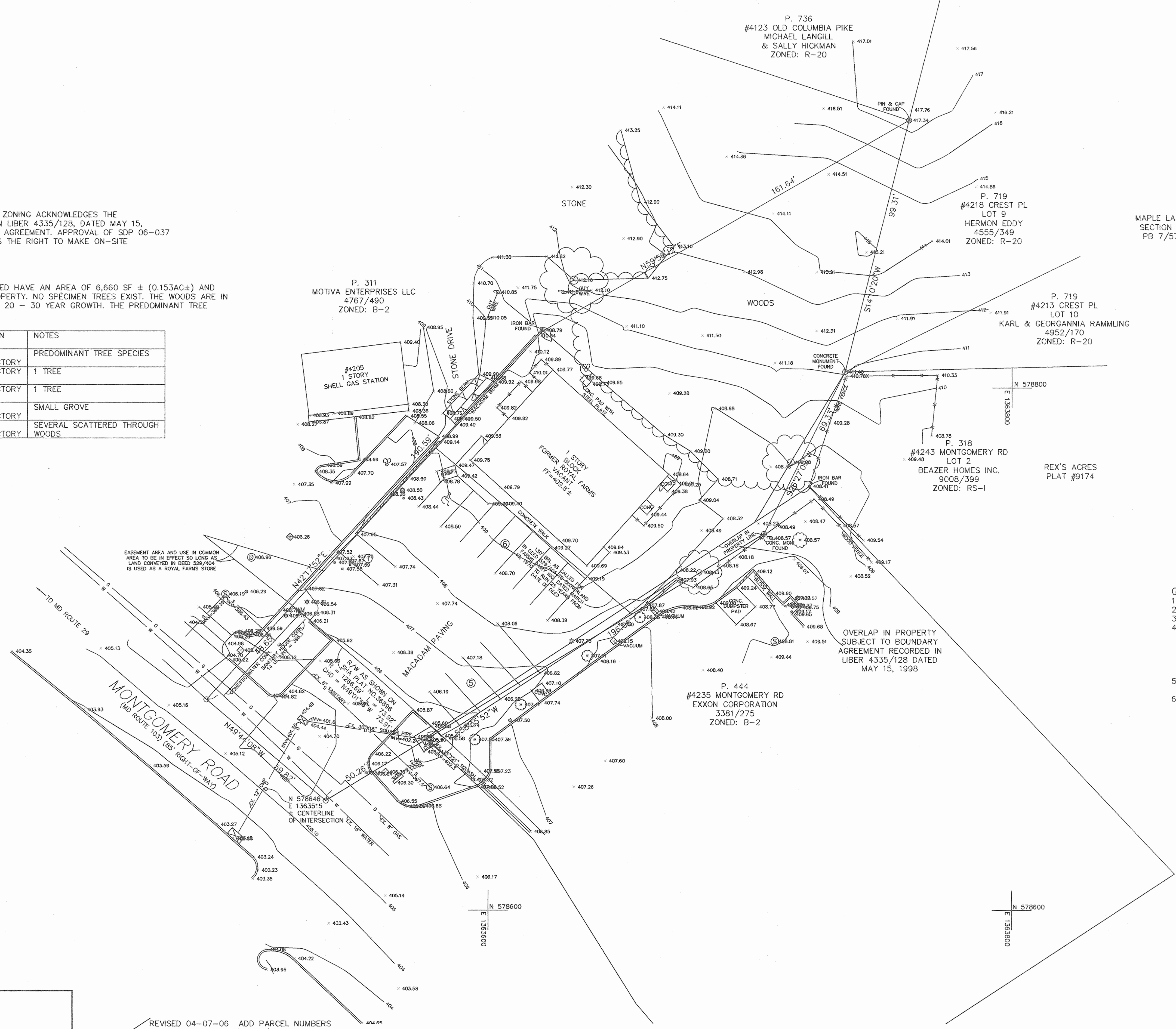
SITE DEVELOPMENT PLAN			
VALVOLINE INSTANT OIL CHANGE BUILDING AT 4215 MONTGOMERY ROAD			
Owner: Two Farms, Inc.			
Deed Reference 529 / 404		Job No: W886	
New Building Construction with Site Improvements			
Election District 2, Howard County, Maryland		Scale: 1" = 20'	
Tax Map 24 Grid 24 Parcel No. 677		Date: April 17, 2006	
Sheet: 1 of 6			



"THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING ACKNOWLEDGES THE EXISTENCE OF THE BOUNDARY AGREEMENT RECORDED IN LIBER 4335/128, DATED MAY 15, 1998 BUT HAS NOT DETERMINED THE LEGALITY OF THIS AGREEMENT. APPROVAL OF SDP 06-037 IS PREMISED ON THE ASSUMPTION THAT VALVOLINE HAS THE RIGHT TO MAKE ON-SITE IMPROVEMENTS AS PROPOSED WITH SDP 06-037"

EXISTING WOODS: THE EXISTING WOODS TO BE PRESERVED HAVE AN AREA OF 6,660 SF ± (0.153AC±) AND ARE LOCATED IN THE NORTHEAST PORTION OF THE PROPERTY. NO SPECIMEN TREES EXIST. THE WOODS ARE IN POOR TO SATISFACTORY CONDITION WITH AN ESTIMATED 20 - 30 YEAR GROWTH. THE PREDOMINANT TREE SPECIES IS ACER NEGUNDO (BOXELDER)

TREE SPECIES	SIZE/CALIPER	CONDITION	NOTES
ACER NEGUNDO (BOXELDER)	2" - 13"	POOR TO SATISFACTORY	PREDOMINANT TREE SPECIES
JUGLANS NIGRA (BLACK WALNUT)	18"	SATISFACTORY	1 TREE
ACER PLATANOIDES (NORWAY MAPLE)	14"	SATISFACTORY	1 TREE
ROBINIA PSEUDOACACIA (BLACK LOCUST)	2" - 12"	POOR TO SATISFACTORY	SMALL GROVE
ACER RUBRUM (RED MAPLE)	1" - 6"	POOR TO SATISFACTORY	SEVERAL SCATTERED THROUGH WOODS



- GENERAL NOTES:
- 1) CURRENT OWNER: CLOVERLAND FARMS DAIRY INC.
 - 2) CURRENT DEED REF.: 529/404
 - 3) AREA OF PROPERTY: 26,088 SF. OR 0.5989 AC±
 - 4) BEARINGS SHOWN HEREON REFER TO THE TRUE MERIDIAN AS ESTABLISHED BY THE STATE OF MARYLAND AND ARE BASED ON THE FOLLOWING HOWARD COUNTY TRAVERSE STATIONS:
0010 N 579,167.018 E 1,360,260.20
2418 N 578,753.499 E 1,362,302.95
 - 5) ELEVATIONS SHOWN HEREON ARE BASED ON HOWARD COUNTY CONTROL POINT 2418 NAVD 88 ELEV.=390.62
 - 6) TAX MAP 24 GRID 24 PARCEL 677

LEGEND

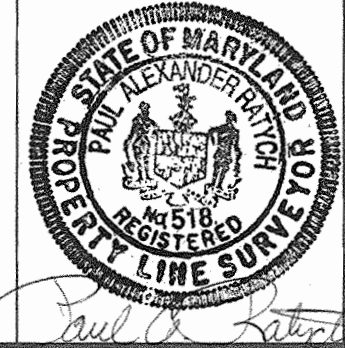
- ⊕ FIRE HYDRANT
- ⊙ LIGHT POLE
- ⊙ GAS VALVE
- ⊙ GAS CAP
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ WATER CAP
- ⊙ SEWER CLEANOUT
- ⊙ ELECTRIC HANDBOX
- ⊙ MECHANICAL HANDBOX
- ⊙ GAS HANDBOX
- ⊙ STORM DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ WATER MANHOLE
- PROPERTY CORNER
- ▭ CONC. CURB
- ⊙ SIGN
- ⊙ UTILITY POLE
- OVERHEAD UTILITY WIRES
- UNDERGROUND GAS MAINS
- UNDERGROUND WATER MAINS
- UNDERGROUND SEWER LINES
- UNDERGROUND STORM DRAINS
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- FENCE
- ⊙ TREE
- ⊙ CONC. CONCRETE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

APPROVED FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department

REVISED 04-07-06 ADD PARCEL NUMBERS
 REVISED 01-26-06 ADD R/W WIDTH, BOUNDARY AGREEMENT, ADJOINING ZONING, & LANDSCAPE NOTE
 REVISED 08-02-05 ADD ADJACENT OWNERS & SANITARY INV.
 REVISED 07-26-05 ADD SANITARY INV. AND REVIEW R/W
 REVISED 05-02-05 ADD SHA R/W & BRL FROM DEED

APR ASSOCIATES, INC.
 LAND SURVEYORS
 7427 Harford Road Baltimore, Maryland 21234-7160
 (410) 444-4312 FAX: (410) 444-1647
 E mail: apr444@erols.com



TOPOGRAPHICAL SURVEY
 MONTGOMERY ROAD
 2nd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 DATE: APRIL 15, 2005 SCALE: 1"=20'

Engineer:
 Michael J. Walkley, P.A.
 2000 Clipper Park Road, Suite 200, Baltimore, MD 21211
 (410) 289-7700

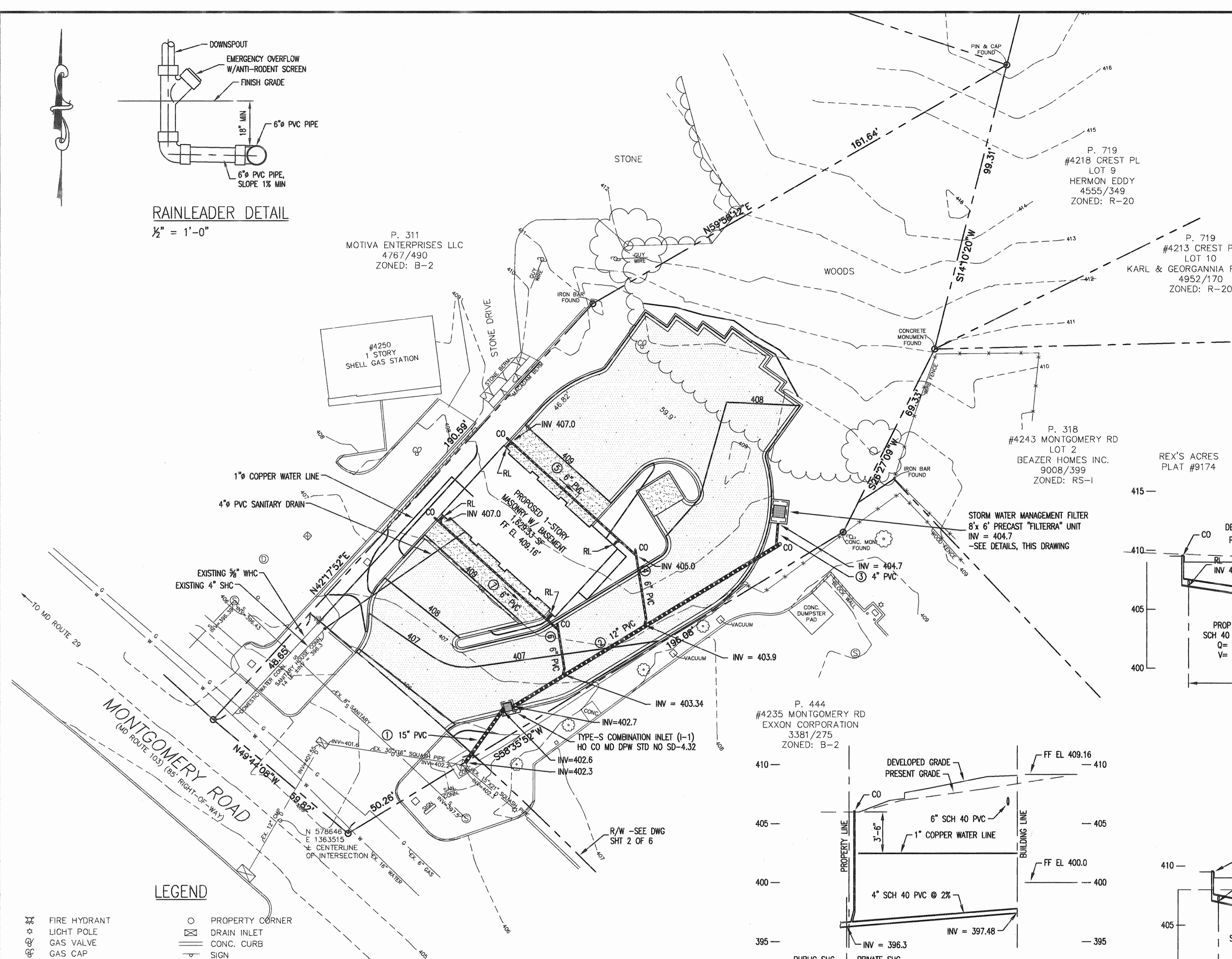
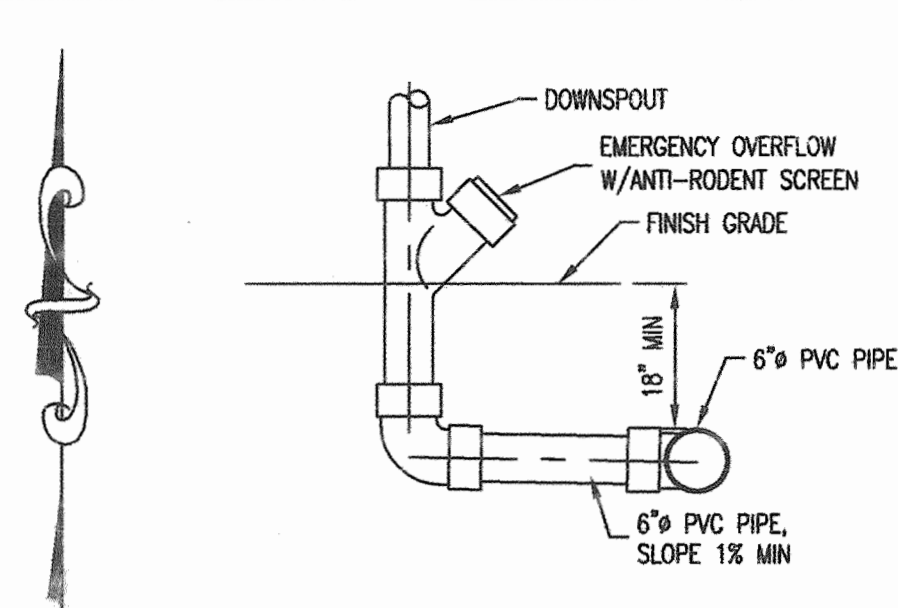
Surveyor:
 APR Associates, Inc.
 7427 Harford Road, Baltimore, MD 21234
 (410) 444-4312

Developer:
 Mid-Monic Lubes, LLC
 54 Jaconnet Street, Suite 100, Newton Highlands, MA 02461
 (617) 243-0404

Owner:
 Two Farms, Inc., Attn: John Kemp
 3611 Roland Ave., Baltimore, MD 21211
 (410) 889-0200

EXISTING CONDITIONS	
VALVOLINE INSTANT OIL CHANGE BUILDING AT 4215 MONTGOMERY ROAD	
Owner: Two Farms, Inc.	Job No: W886
Deed Reference 529 / 404	Scale: 1" = 20'
New Building Construction with Site Improvements	Election District 2, Howard County, Maryland
Date: April 17, 2006	Sheet: 2 of 6
Tax Map 24 Grid 24 Parcel No. 677	

Note: Information shown for existing conditions is based on Topographic Survey - Montgomery Road - 2nd Election District - Howard County, Maryland - dated April 15, 2005 with latest revision date 01-26-06 as prepared by APR Associates, Inc.

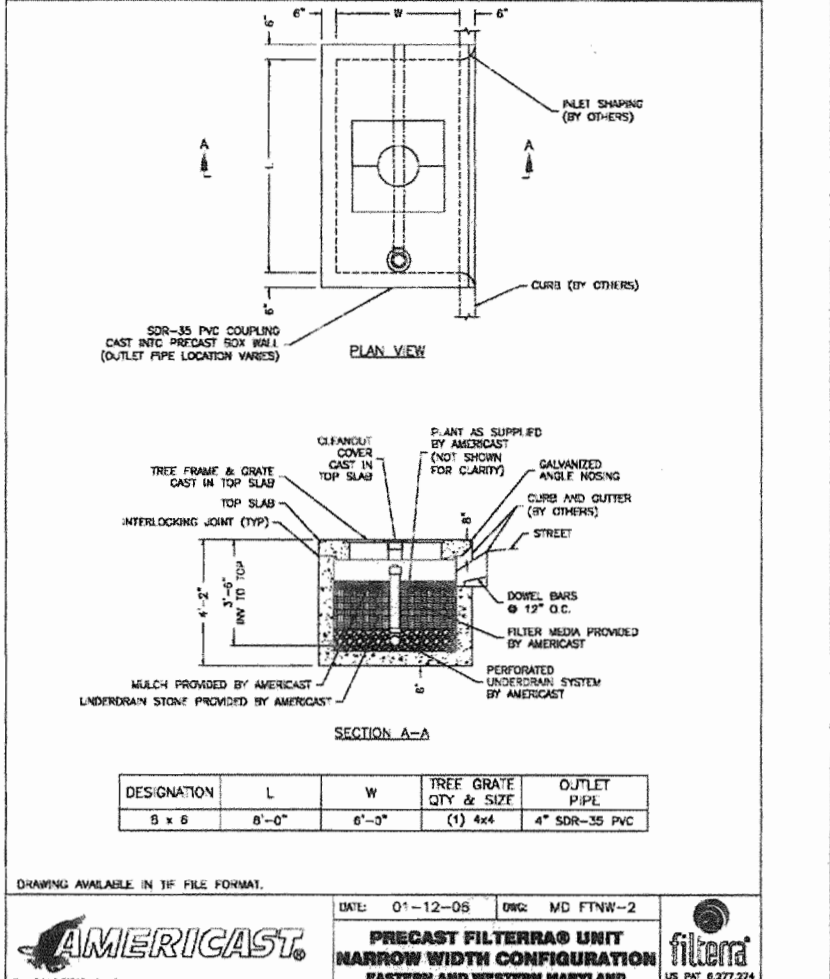
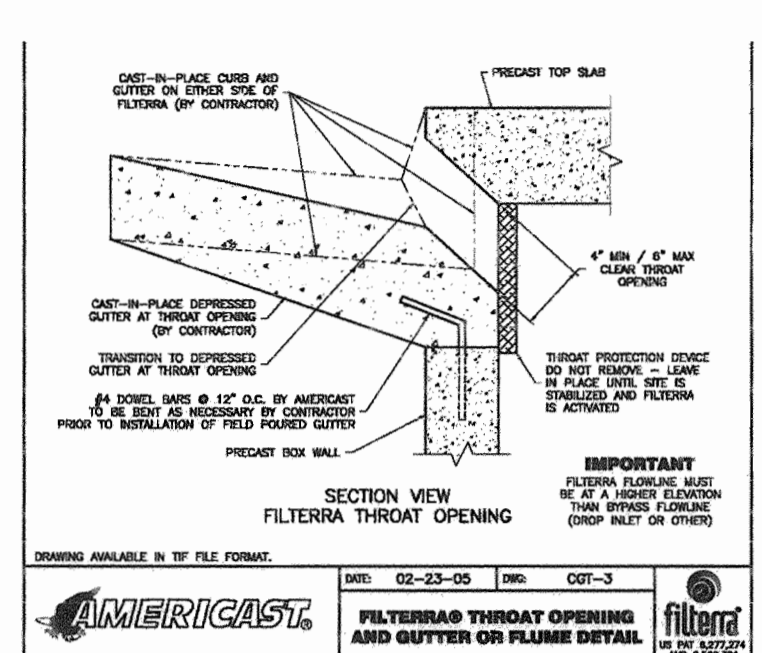
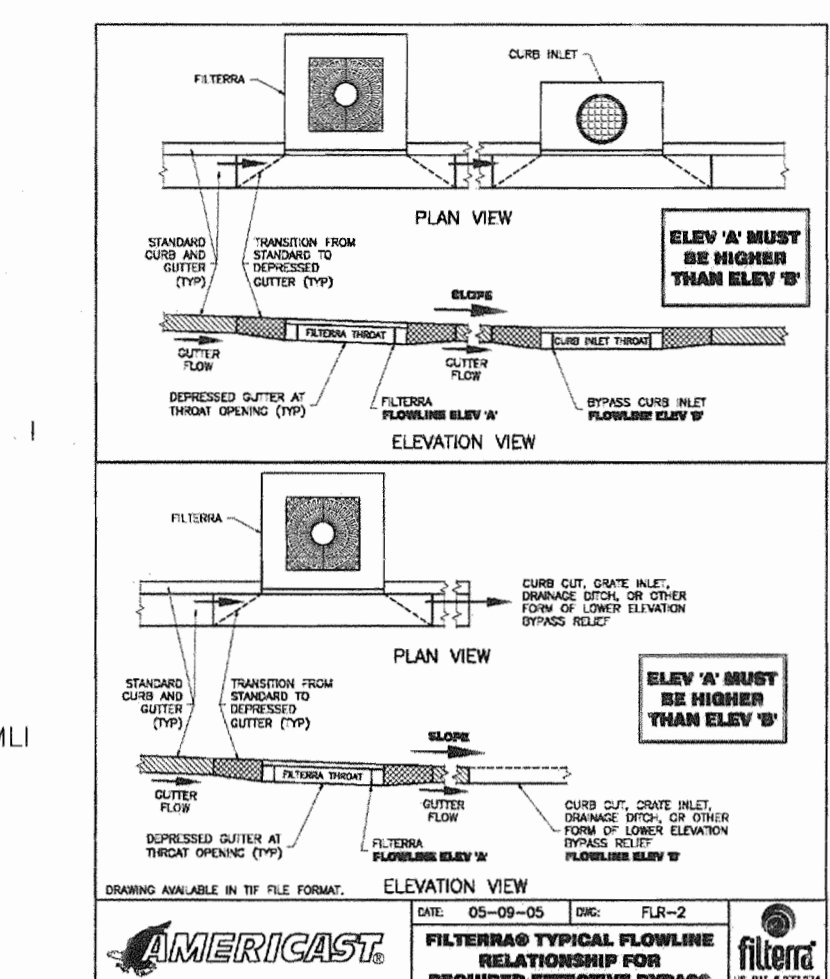
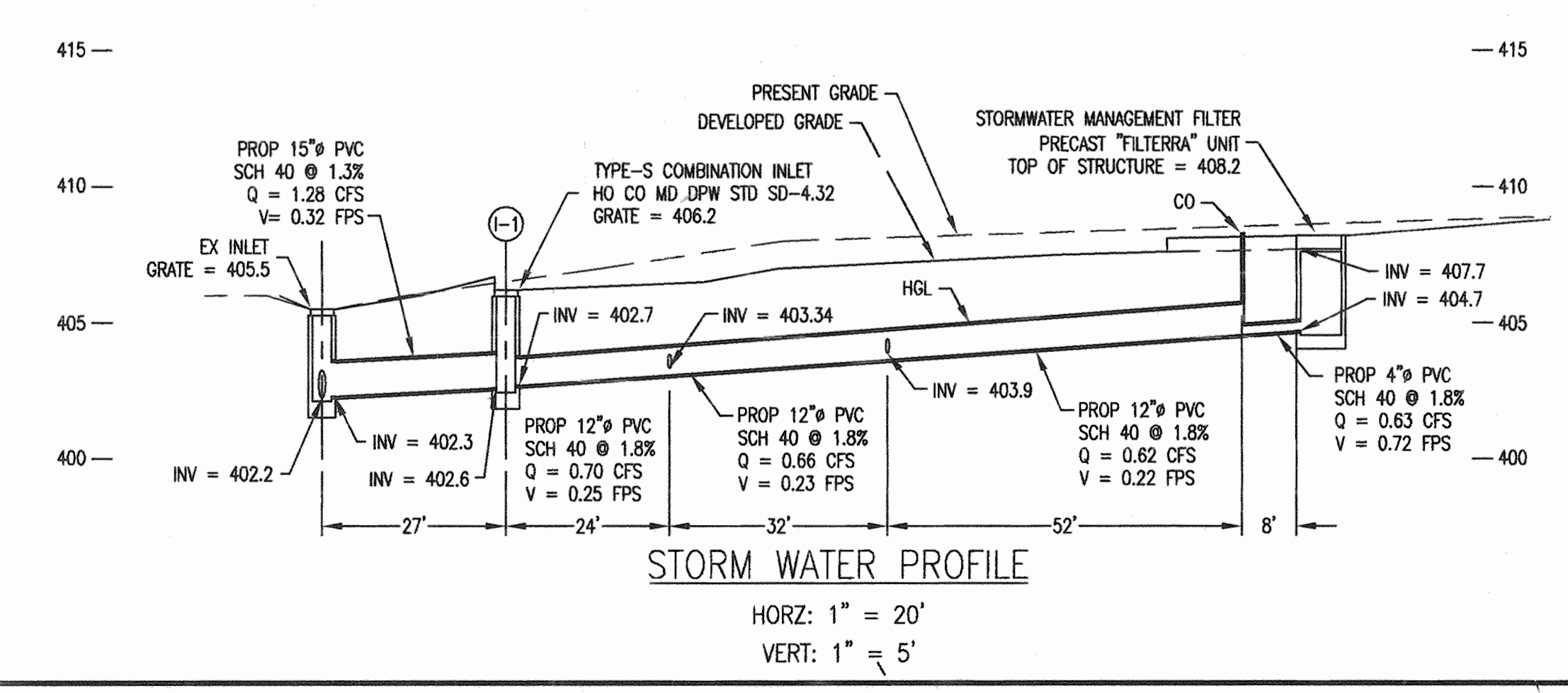


- LEGEND**
- FIRE HYDRANT
 - LIGHT POLE
 - GAS VALVE
 - GAS CAP
 - WATER VALVE
 - WATER METER
 - WATER CAP
 - SEWER CLEANOUT
 - ELEC. MECH. HANDBOX
 - MHB. MECH. HANDBOX
 - GAS MECH. HANDBOX
 - STORM DRAIN MANHOLE
 - SEWER MANHOLE
 - ELECTRIC MANHOLE
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 - UNDERGROUND TELEPHONE
 - UNDERGROUND ELECTRIC
 - FENCE
 - TREE
 - CONC. CONCRETE
 - NEW STORMWATER PIPE
 - NEW DRAIN INLET
 - NEW P2 PAVING
 - NEW CONCRETE PAVING

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

APPROVED FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department

STORM WATER MANAGEMENT PLAN
1" = 20'



PIPE SCHEDULE

NO	PIPE	LENGTH
1	15" SCH 40 PVC	23 LF
2	12" SCH 40 PVC	106 LF
3	4" SCH 40 PVC	8 LF
4	6" SCH 40 PVC	24 LF
5	6" SCH 40 PVC	57 LF
6	6" SCH 40 PVC	15 LF
7	6" SCH 40 PVC	54 LF

STRUCTURE SCHEDULE

NO.	TYPE	TOP OF STRUCTURE	INVERT IN	INVERT OUT	HO CO MD DPW STD
I-1	COMBINATION TYPE-S INLET	408.2	402.7	402.6	SD4-32
SMS	"FILTERRA" MITIGATION SYSTEM	408.2	407.7	404.7	

- Filterra Standard Plan Notes**
- Construction & Installation**
- Each unit shall be constructed at the locations and elevations according to the sizes shown on the approved drawings. Any modifications to the elevation or location shall be at the direction of and approved by the Engineer.
 - If the Filterra(s) is stored before installation, the top slab must be placed on the box using the 2x4 wood provided, to prevent any contamination from the site. All internal fittings supplied (if any), must be left in place as per the delivery.
 - The unit shall be placed on a compacted sub-grade with a minimum 6-inch gravel base matching the final grade of the curb line in the area of the unit. The unit to be placed such that the grade of the curb in the area of the unit. Compact undisturbed sub-grade materials to 95% of maximum density at +1-2% of optimum moisture. Unsuitable material below sub-grade shall be replaced to the site engineer's approval.
 - Outlet connections shall be aligned and sealed to meet the approved drawings with modifications necessary to meet site conditions and local regulations.
 - Once the unit is set, the internal wooden forms and protective mesh cover must be left intact. Remove only the temporary wooden shipping blocks between the box and top slab. The top lid should be sealed onto the box section before backfilling, using a non-shrink grout, butyl rubber or similar waterproof seal. The boards on top of the lid and boards sealed in the unit's throat must NOT be removed. The Supplier (Americast or its authorized dealer) will remove these sections at the time of activation. Backfilling should be performed in a careful manner, bringing the appropriate fill material up in 6" lifts on all sides. Precast sections shall be set in a manner that will result in a watertight joint. In all instances, installation of Filterra unit shall conform to ASIM specification C891 "Standard Practice for Installation of Underground Precast Utility Structures", unless directed otherwise in contract documents.
 - Curb and gutter construction (where present) shall ensure that the flow-line of the Filterra units is at a greater elevation than the flow-line of the bypass structure or relief (drop inlet, curb cut or similar). Failure to comply with this guideline may cause failure and/or damage to the Filterra environmental device.
 - Each Filterra unit must receive adequate irrigation to ensure survival of the living system during periods of drier weather. This may be achieved through gutter flow or through the tree grate.
- Activation**
- Activation of the Filterra unit is performed ONLY by the Supplier. Purchaser is responsible for Filterra inlet protection and subsequent clean out cost. This process cannot commence until the project site is fully stabilized and cleaned (full landscaping, grass cover, final paving and street sweeping completed), negating the chance of construction materials contaminating the Filterra system. Care shall be taken during construction not to damage the protective throat and top plates.
 - Activation includes installation of plant(s) and mulch layers as necessary.

- Operation and Maintenance Schedule (of private facility)**
- Each correctly installed Filterra unit is to be maintained by the Supplier, or a Supplier approved contractor for a minimum period of 1 year. The cost of this service is to be included in the price of each Filterra unit. Extended maintenance contracts are available at extra cost upon request.
 - Annual maintenance consists of a maximum of (2) scheduled visits. The visits are scheduled seasonally; the spring visit aims to clean up after winter loads including salts and sands. The fall visit helps the system by removing excessive leaf litter.
 - Each maintenance visit consists of the following tasks:
 - Filterra unit inspection
 - Foreign debris, silt, mulch & trash removal
 - Filter media evaluation and recharge as necessary
 - Plant health evaluation and pruning or replacement as necessary
 - Replacement of mulch
 - Disposal of all maintenance refuse items
 - Maintenance records updated and stored (reports available upon request)
 - The beginning and ending date of Supplier's obligation to maintain the installed system shall be determined by the Supplier at the time the system is activated. Owners must promptly notify the Supplier of any damage to the plant(s), which constitute(s) an integral part of the bioretention technology.



Engineer:
 Michael J. Walkley, P.E.
 2000 Clipper Park Road, Suite 200, Baltimore, MD 21211
 (410) 889-7700

Surveyor:
 APR Associates, Inc.
 7427 Harford Road, Baltimore, MD 21234
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Note: Information shown for existing conditions is based on Topographic Survey - Montgomery Road - 2nd Election District - Howard County, Maryland - dated April 15, 2005 with latest revision data 01-26-06 as prepared by APR Associates, Inc.

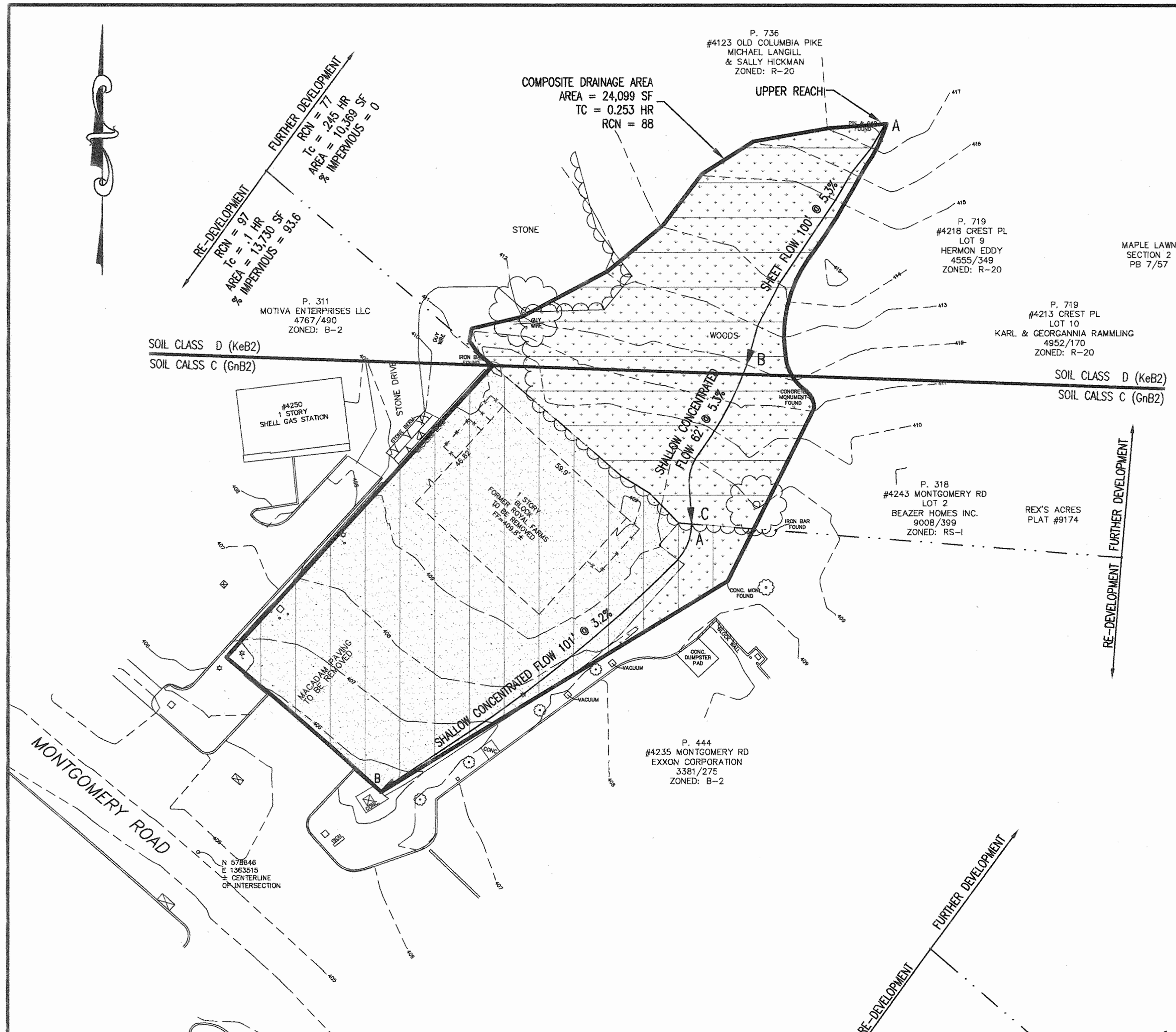
Developer:
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 (617) 243-0404

Owner:
 Two Farms, Inc., Attn: John Kemp
 3611 Roland Ave., Baltimore, MD 21211
 (410) 889-0200

STORM WATER MANAGEMENT PLAN
VALVOLINE INSTANT OIL CHANGE BUILDING
AT 4215 MONTGOMERY ROAD

Owner: Two Farms, Inc.
 Deed Reference 529 / 404
 New Building Construction with Site Improvements
 Election District 2, Howard County, Maryland
 Tax Map 24 Grid 24 Parcel No. 677

Job No: W886
 Scale: 1" = 20'
 Date: April 17, 2006
 Sheet: 3 of 6

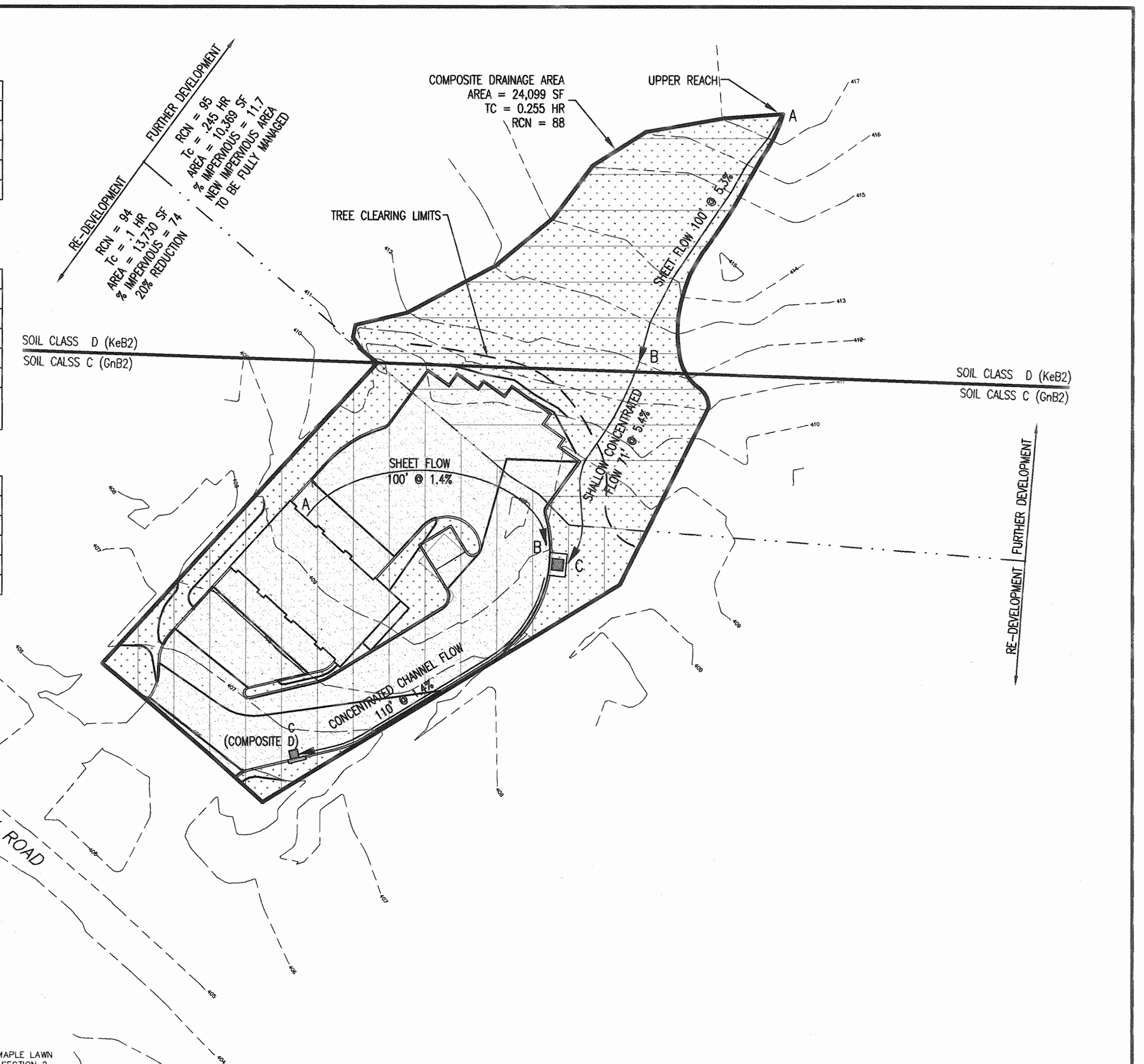


DRAINAGE AREA PLAN - PRESENT
1" = 30'

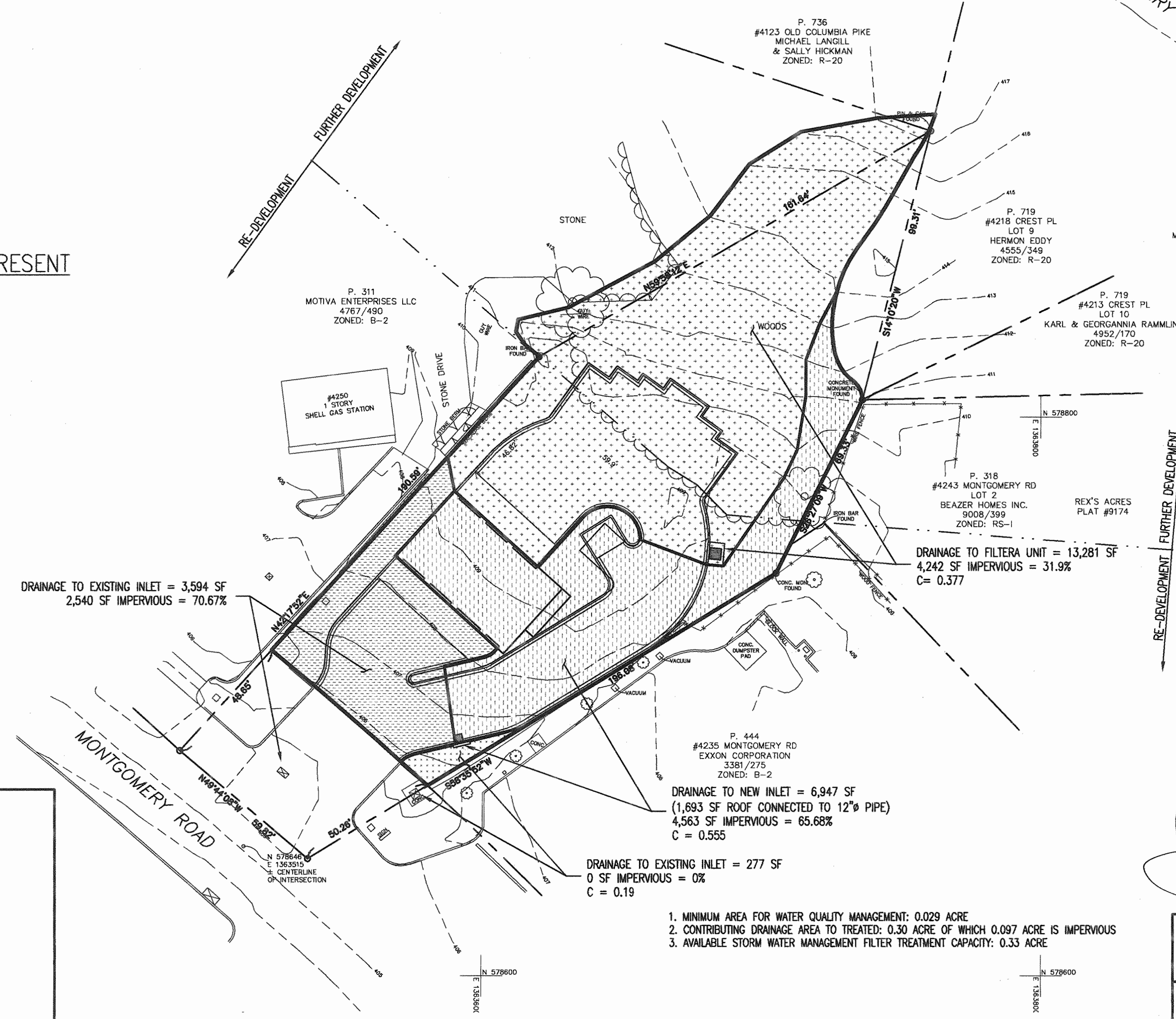
PRESENT DRAINAGE AREA = 24,099 SF (0.553 Acre)					
RE-DEVELOPMENT			FURTHER DEVELOPMENT		
SOIL CLASS	D	C	SOIL CLASS	D	C
PERVIOUS	0	875	PERVIOUS	6,381	3,888
IMPERVIOUS	0	12,855	IMPERVIOUS	0	0
TOTAL	13,730 SF (0.315 Acre)		TOTAL	10,369 SF (0.238 Acre)	
REQUIRED IMPERVIOUS REDUCTION (20%) = 2,571 SF					

ACTUAL DEVELOPED DRAINAGE AREA = 24,099 SF (0.553 Acre)					
RE-DEVELOPMENT			FURTHER DEVELOPMENT		
SOIL CLASS	D	C	SOIL CLASS	D	C
PERVIOUS	0	3,571	PERVIOUS	6,381	2,778
IMPERVIOUS	0	10,159	IMPERVIOUS	0	1,210
TOTAL	13,730 SF (0.315 Acre)		TOTAL	10,369 SF (0.238 Acre)	
IMPERVIOUS REDUCTION AREA = 21%			IMPERVIOUS AREA (FORMERLY WOODS) TO BE FULLY MANAGED = 1,210 SF		
NO MANAGEMENT REQUIRED					

STORM WATER MANAGEMENT REQUIREMENTS DEVELOPED DRAINAGE AREA = 24,099 SF (0.553 Acre)					
RE-DEVELOPMENT			FURTHER DEVELOPMENT		
SOIL CLASS	D	C	SOIL CLASS	D	C
PERVIOUS	0	2,047	PERVIOUS	6,381	2,778
IMPERVIOUS	0	11,683 (85%)	IMPERVIOUS	0	1,210
TOTAL	13,730 SF (0.315 Acre)		TOTAL	10,369 SF (0.238 Acre)	



DRAINAGE AREA PLAN - DEVELOPED
1" = 30'



DRAINAGE AREA PLAN - TO PROPOSED STORM WATER MANAGEMENT FILTER
1" = 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 8/3/06
 Chief, Division of Land Development Date: 9/1/06
 Director Date: 9/1/06

APPROVED FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS

County Health Officer Date: _____
 Howard County Health Department

1. MINIMUM AREA FOR WATER QUALITY MANAGEMENT: 0.029 ACRE
2. CONTRIBUTING DRAINAGE AREA TO TREATED: 0.30 ACRE OF WHICH 0.097 ACRE IS IMPERVIOUS
3. AVAILABLE STORM WATER MANAGEMENT FILTER TREATMENT CAPACITY: 0.33 ACRE



Engineer: Michael J. Walkley, P.A.
 2000 Clipper Park Road, Suite 200, Baltimore, MD 21211
 (410) 889-7700

Developer: Mid-Atlantic Lubes, LLC
 54 Jaconnet Street, Suite 100, Newton Highlands, MA 02461
 (617) 243-0404

Surveyor: APR Associates, Inc.
 7427 Harford Road, Baltimore, MD 21234
 (410) 444-4312

Owner: Two Farms, Inc., Attn: John Kemp
 3611 Roland Ave., Baltimore, MD 21211
 (410) 889-0200

Note: Information shown for existing conditions is based on Topographic Survey - Montgomery Road - 2nd Election District - Howard County, Maryland - dated April 15, 2005 with latest revision date 01-26-06 as prepared by APR Associates, Inc.

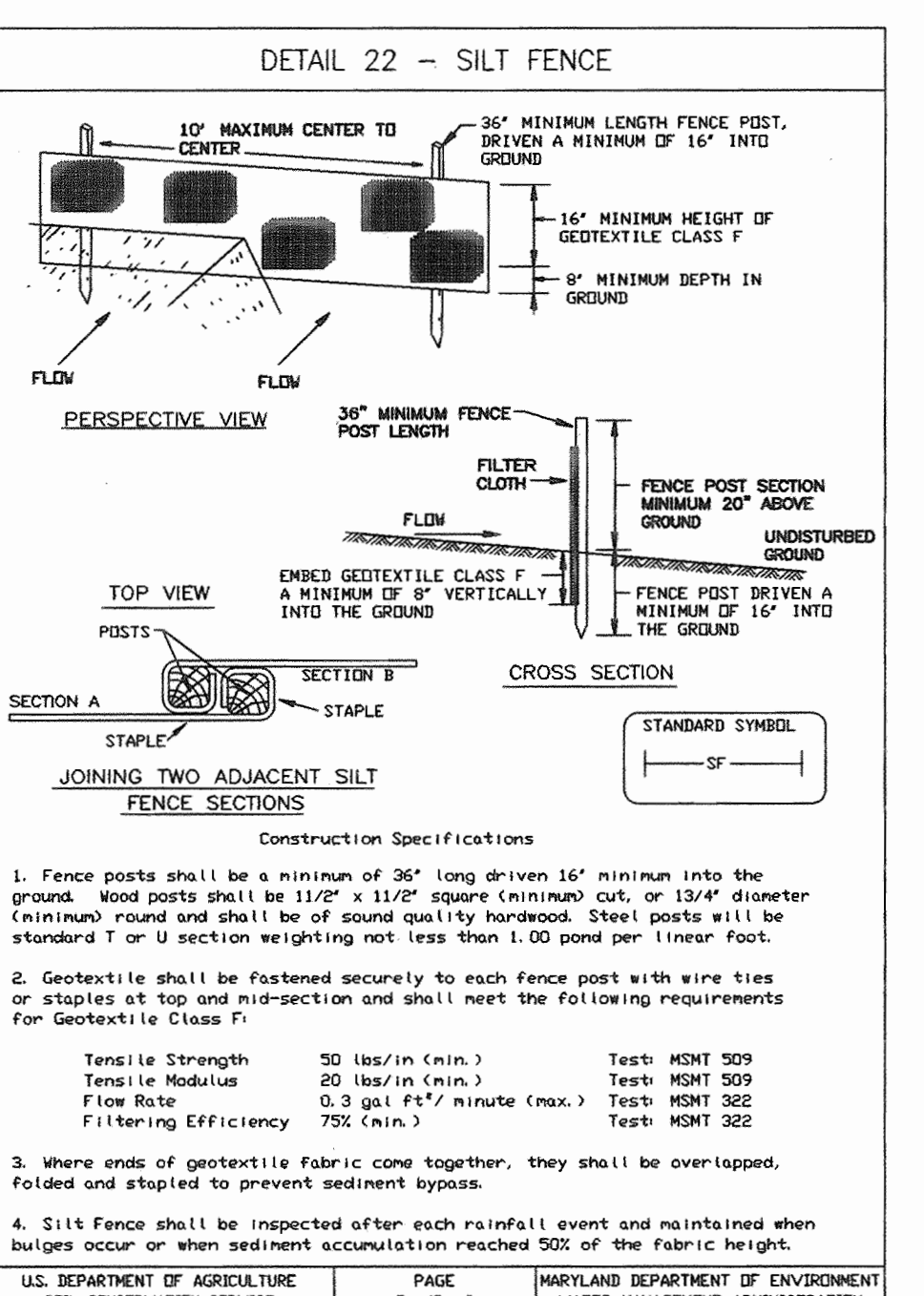
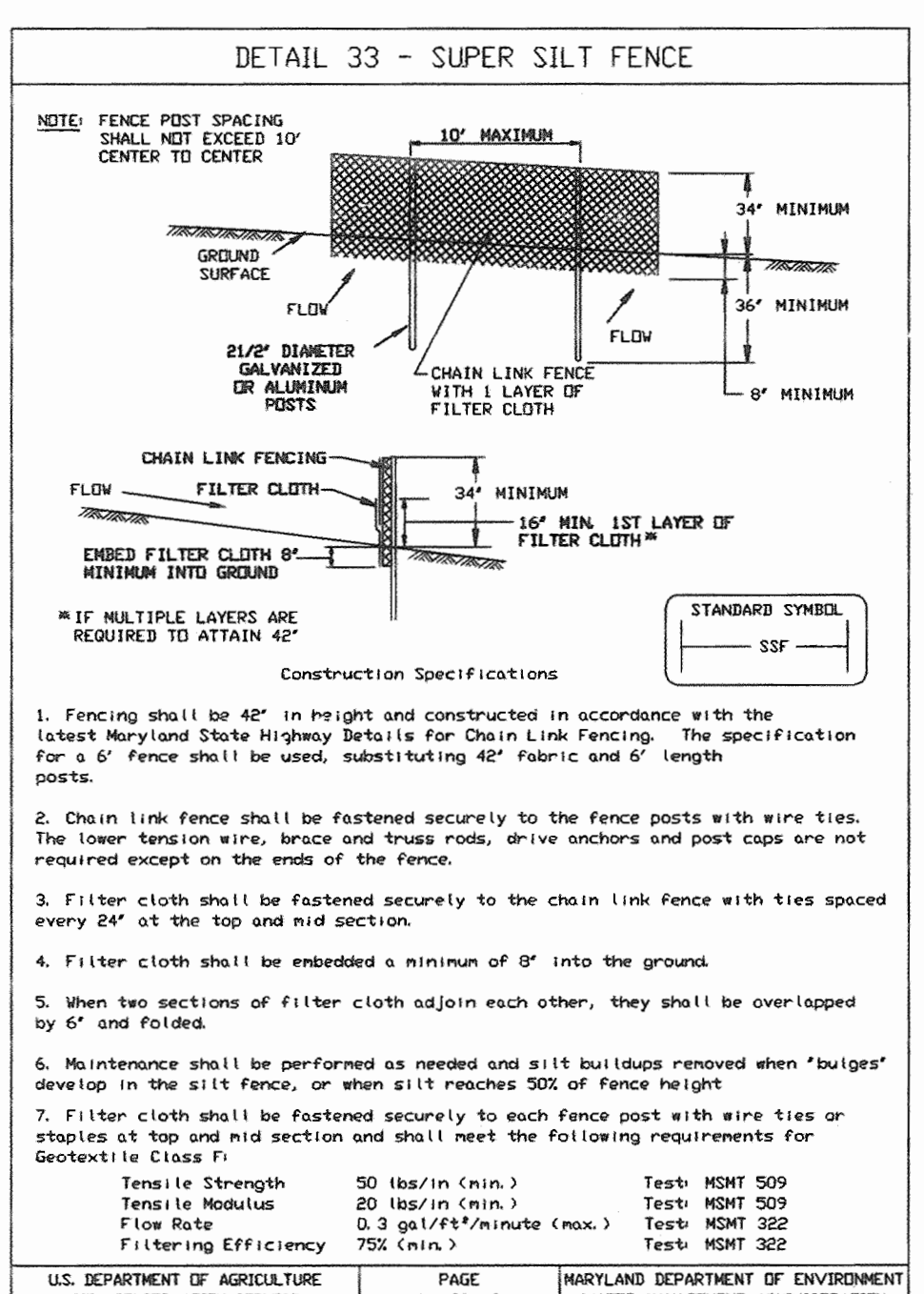
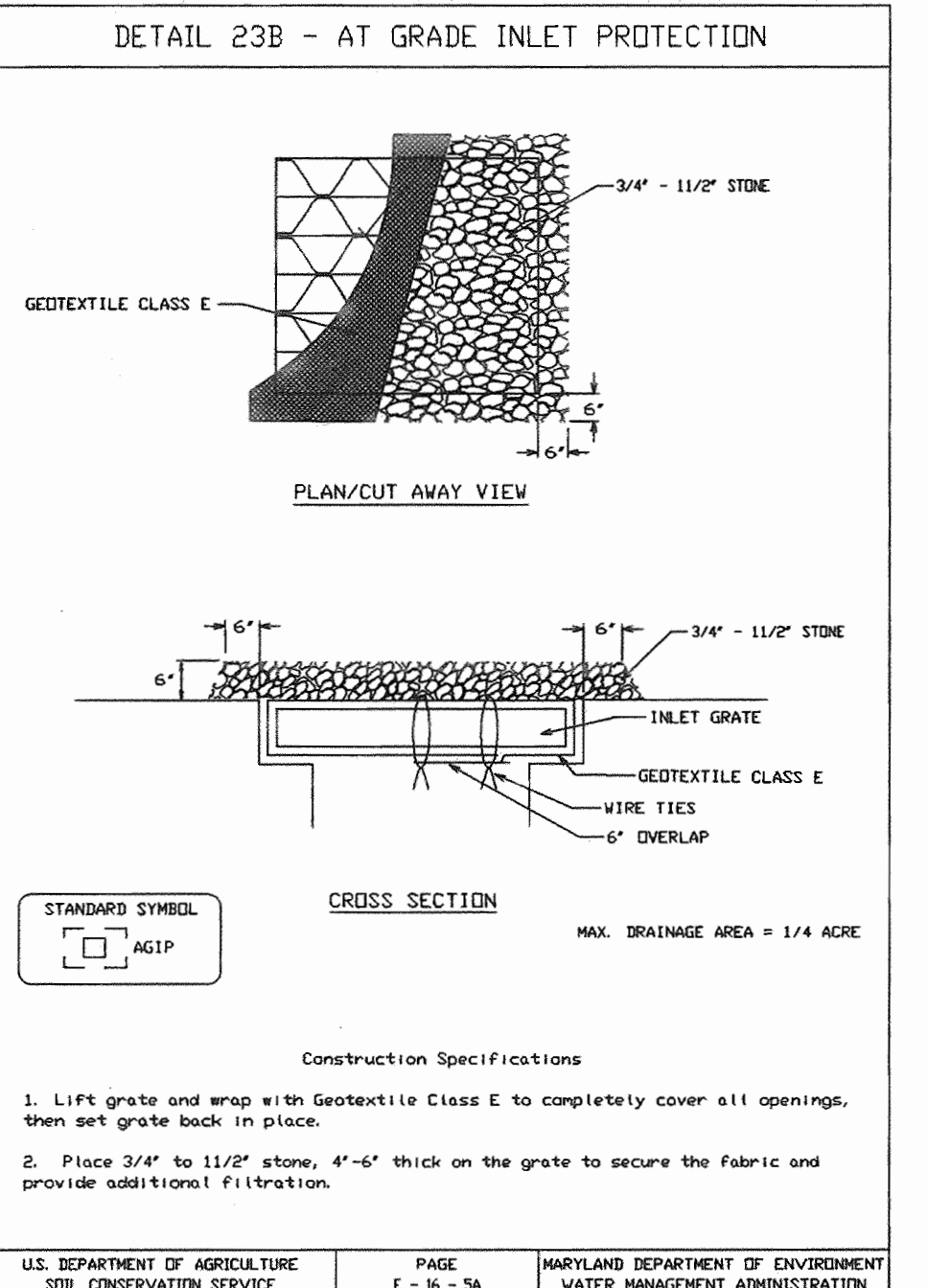
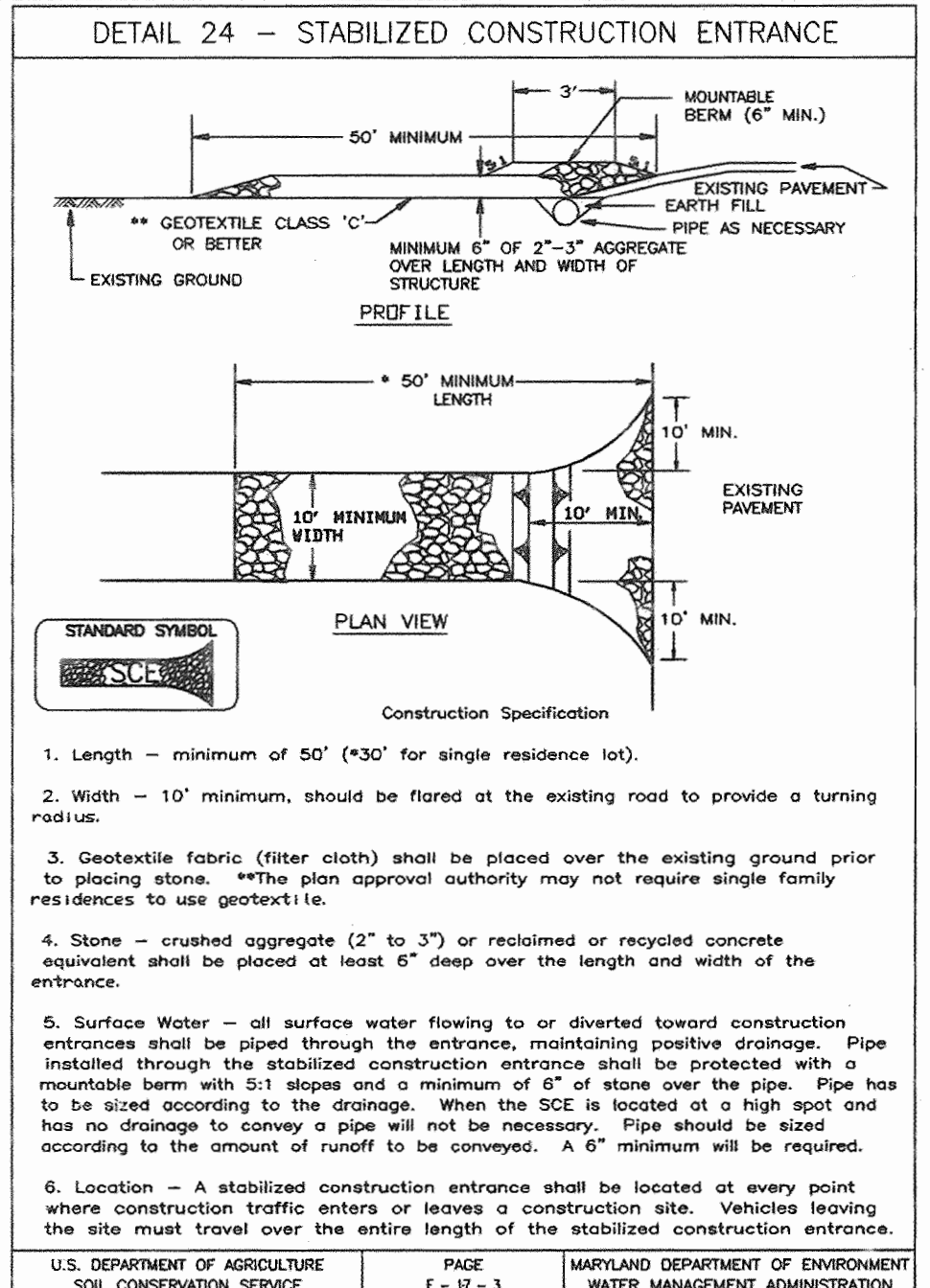
DRAINAGE AREA PLANS
VALVOLINE INSTANT OIL CHANGE BUILDING
AT 4215 MONTGOMERY ROAD

Owner: Two Farms, Inc.
 Deed Reference 529 / 404 Job No: W886

New Building Construction with Site Improvements Scale: 1" = 30'

Election District 2, Howard County, Maryland Date: April 17, 2006

Tax Map 24 Grid 24 Parcel No. 677 Sheet: 4 of 6



SEQUENCE OF CONSTRUCTION

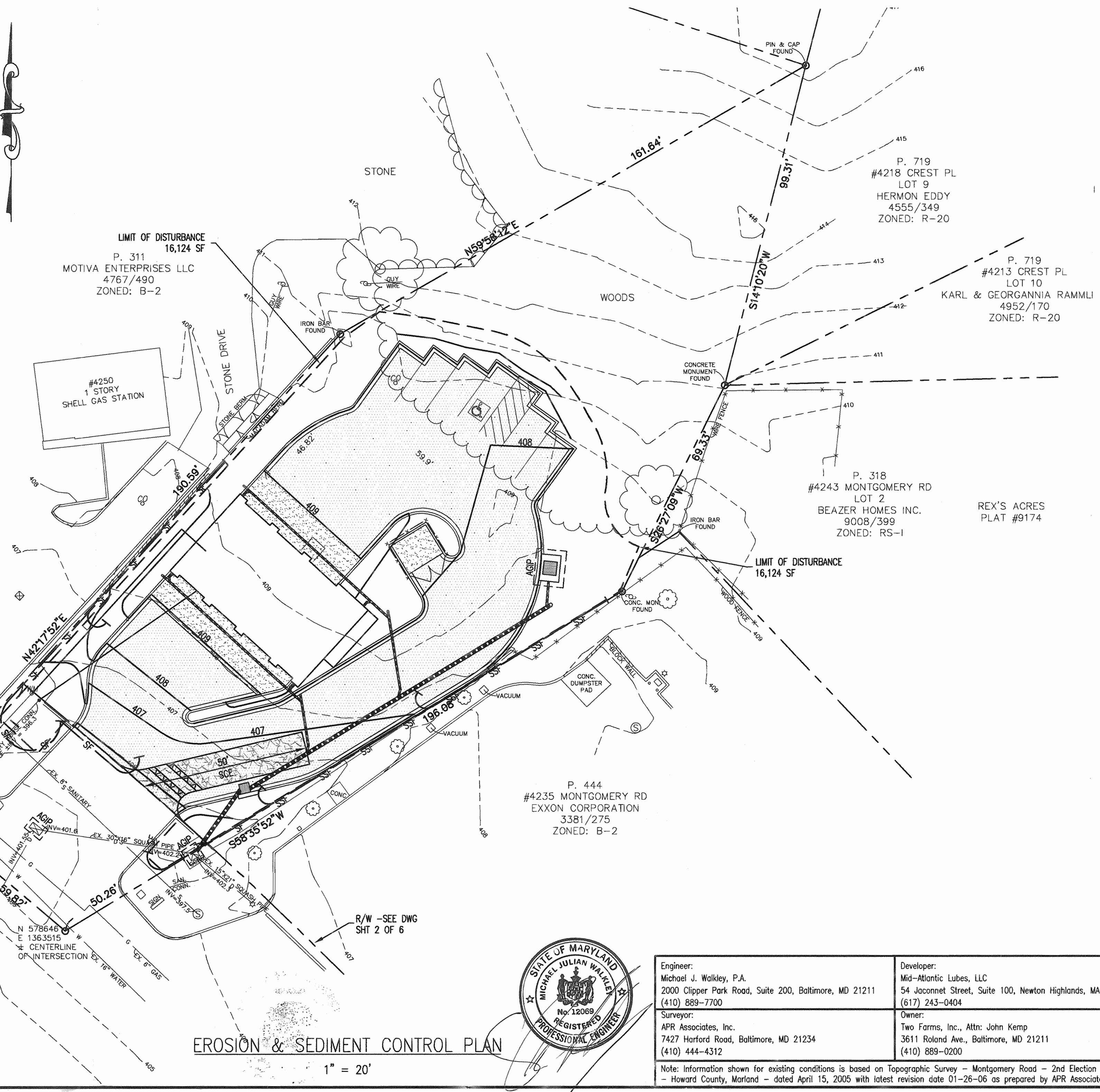
- Obtain a Grading permit.
- Clear, grub and install the construction entrance, silt fence and other sediment control measures as deemed appropriate by the inspector (2 weeks).
- Rough grade site and apply temporary stabilization (2 weeks).
- Excavate for proposed building structure and related foundations and apply temporary stabilization (2 weeks).
- Construct building. Install water, sanitary and other underground utilities (8 weeks).
- Construct underground "Filterra" unit and rainleader piping. Install temporary plug at underground "Filterra" unit inlet and at each downspout connection (concurrent with item 5).
- Complete proposed driveway and parking area paving (3 weeks).
- Complete fine grading for related parking and remaining permanent structure (2 weeks).
- Fine grade total project site. Landscape or stabilize disturbed area (2 weeks).
- After the site is permanently stabilized and permission is granted from the Howard County Sediment Control Inspector, remove sediment controls, temporary plug and connect downspouts. Stabilize any remaining disturbed areas (2 weeks).

NOTE
Stockpiling will not be permitted on site.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Date: 5/16/06
Director: [Signature]

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS
Date: 5/16/06
County Health Officer: [Signature]

APPROVED: U.S. DEPARTMENT OF AGRICULTURE
PAGE: E-16-5A
MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes steeper than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chapter 7 of the "HOWARD COUNTY DESIGN MANUAL," Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" for permanent seeding, sod, temporary seeding and mulching (Sec. G). Temporary stabilization with mulch alone shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
Total Area of Site = 26,088 sq. ft. or 0.5989 Ac. ±
Area Disturbed = 16,124 sq. ft. ±
Area to be roofed or paved = 11,369 sq. ft.
Area to be vegetatively stabilized = 4755 sq. ft.
Total Cut = 691 cu. yd.
Total Fill = 0
Offsite waste/borrow area location: Approved disposal site.
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

TEMPORARY SEEDING NOTES

- Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed. **Seeding Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened. **Soil Amendments:** Apply 600 lbs/acre/10-10-10 fertilizer (14 lbs/1000 sq. ft.). **Seeding:** For the periods March 1-April 30, and from August 15-October 15, seed with 2-½ bushels per acre of annual rye (3.2 lbs/1000 sq. ft.). For the period May 1-August 14, seed with seed with 3 lbs/acre weeping lovegrass (0.07 lbs/1000 sq. ft.). For the period November 16-February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod. **Mulching:** Apply 1-½ to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (6 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (6 gal/1000 sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

HOWARD SOIL CONSERVATION DISTRICT PERMANENT SEEDING NOTES

- Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed. **Seeding Preparation:** Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened. **Soil Amendments:** In lieu of soil test recommendations, use one of the following:
1. Preferred - Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq. ft.)
2. Acceptable - Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.
Seeding: For the periods March 1-April 30, and August 1-October 15, seed with 60 lbs/acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1-July 31, seed with seed with 60 lbs/acre Kentucky 31 Tall Fescue and 2 lbs/acre (0.05 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16-February 28, protect site by Option 1 - Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option 2 - Use sod. Option 3 - Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw. **Mulching:** Apply 1-½ to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (6 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (6 gal/1000 sq. ft.) for anchoring. **Maintenance:** Inspect all seeding areas and make needed repairs, replacements and reseeding.

Reviewed for Howard SCD and meets Technical Requirements
Date: 8/23/06
Signature: [Signature]

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
Date: 8/23/06
Signature: [Signature]

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer (print name below signature): Michael J. Walkley, P.E., President
Date: _____

DEVELOPER'S CERTIFICATE
I/We certify that that all development and construction will be done according to this plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer (print name below signature): Richard A. G. H. [Signature]
Date: 8-23-06

PERMIT INFORMATION CHART		
Subdivision Name: n/a	Section/Area	Lot/Parcel No. 677
Plot # or LF: 529/404 Grid #24	Zoning: B-2	Tax Map no. 24 Election Distr: 2
Water Code:	Census Tract:	602800
EROSION & SEDIMENT CONTROL PLAN VALVOLINE INSTANT OIL CHANGE BUILDING AT 4215 MONTGOMERY ROAD		
Owner: Two Farms, Inc.	Job No: W886	
Deed Reference 529 / 404	Scale: 1" = 20'	
New Building Construction with Site Improvements	Date: April 17, 2006	
Election District 2, Howard County, Maryland	Tax Map 24 Grid 24 Parcel No. 677	



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KEY	BOTANICAL NAME	COMMON NAME	QTY	TYPE	SIZE	NOTES
BNH	BETULA NIGRA 'HERITAGE'	CLUMP RIVER BIRCH - 'HERITAGE'	3	T-LD	10'-12' HT.	CLUMP FORM - PLANT 20' O.C. CHOOSE TREES WITH STRUCTURE CAPABLE OF BEING LIMBED TO 8'
LAINW	LAGERSTROMIA INDICA 'WITCHITA'	CREPE MYRTLE - 'WITCHITA'	3	T-SD	8'-10' HT.	CLUMP FORM - CHOOSE TREES WITH STRUCTURE CAPABLE OF BEING LIMBED TO 8'
PS	PINUS STROBUS	EASTERN WHITE PINE	4	T-E	6'-8' HT.	PLANT 18' O.C.
ZS'GV	ZELKOVA SERRATA 'GREEN VASE'	JAPANESE ZELKOVA - 'GREEN VASE'	4	T-LD	2.5' CAL	PLANT 25' O.C.
ABGR LR	ABELIA X GRANDIFLORA 'LITTLE RICHARD'	GLOSSY ABELIA - 'LITTLE RICHARD'	18	S-BE	2.5' - 3' HT.	PLANT 3' O.C.
PL'OL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	CHERRY LAUREL - 'OTTO LUYKEN'	26	S-BE	2'-2.5' HT.	PLANT 5' O.C.
MIS'G	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS - 'GRACILLIMUS'	11	OG	#5	PLANT 5' O.C.
PEAL	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	46	OG	#3	PLANT 2' O.C.
LISP	LIRIOPE SPICATA	LILYTURF	65	GC	QT.	PLANT 12' O.C.

- NOTES**
- SEE PLANT LIST AND TYPICAL PLANTING DETAIL.
 - CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO PLANTING OPERATIONS.
 - TURF AND WEED VEGETATION SHALL BE REMOVED BEFORE PLANTING WITH AN APPLICATION OF "ROUND UP" OR SUBSTITUTE FOLLOWING MANUFACTURERS SPECIFICATIONS.
 - PLANT INSTALLATION MUST CONFORM TO THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF THE "LANDSCAPE SPECIFICATIONS GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
 - PLANTING BEDS SHOULD BE AMENDED TO CONTAIN A SOIL MIXTURE OF APPROXIMATELY 30% PEAT MOSS THAT HAS BEEN PULVERIZED AND IS LOW IN WOODY MATERIAL CONTENT, 30% LEAF MOLD, AND 40% TOPSOIL THAT IS FREE FROM ROOTS, STICKS, OR OTHER DEBRIS OVER 2" IN SIZE. ADDITIONALLY, 3 TO 5 LBS. LIMESTONE PER 100 CUBIC FT. OF SOIL MIXTURE.
 - INSTALL TREE PROTECTION FENCING ALONG THE LIMIT OF DISTURBANCE (LOD) OF THE EXISTING WOODS. ALL SITE GRADING, PLANTING BED PREPARATION AND TREE AND SHRUB PLANTING MUST BE DONE OUTSIDE OF THE DRIP LINE OF EXISTING TREES TO BE PRESERVED IN ORDER TO MAINTAIN AND PROTECT THE ROOT SYSTEM.
 - SEDIMENT CONTROL DEVICES SHALL BE INSTALLED & MAINTAINED, AS NEEDED, IN ACCORDANCE WITH LOCAL JURISDICTION REQUIREMENTS. STABILIZE ALL DISTURBED AREAS AS SOON AS FINAL GRADING HAS BEEN COMPLETED. ALL DISTURBED AREAS SHALL BE SEEDED WITH THE EXCEPTION OF PLANTING BEDS. SEE SITE PLAN FOR SEDIMENT AND EROSION CONTROL.
 - THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
 - AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWIT LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
 - SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPE CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
 - POSTING OF SURETY FOR REQUIRED LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE LANDSCAPE MANUAL IN THE AMOUNT OF \$4,500.00 BASED UPON 16 REQUIRED SHADE TREES (MINUS 6 TREES FOR THE CREDIT GRANTED FOR EXISTING VEGETATION) PLUS 10 REQUIRED EVERGREEN TREES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED WITH THE DEVELOPER'S AGREEMENT.

DEVELOPER'S / BUILDER'S CERTIFICATES

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

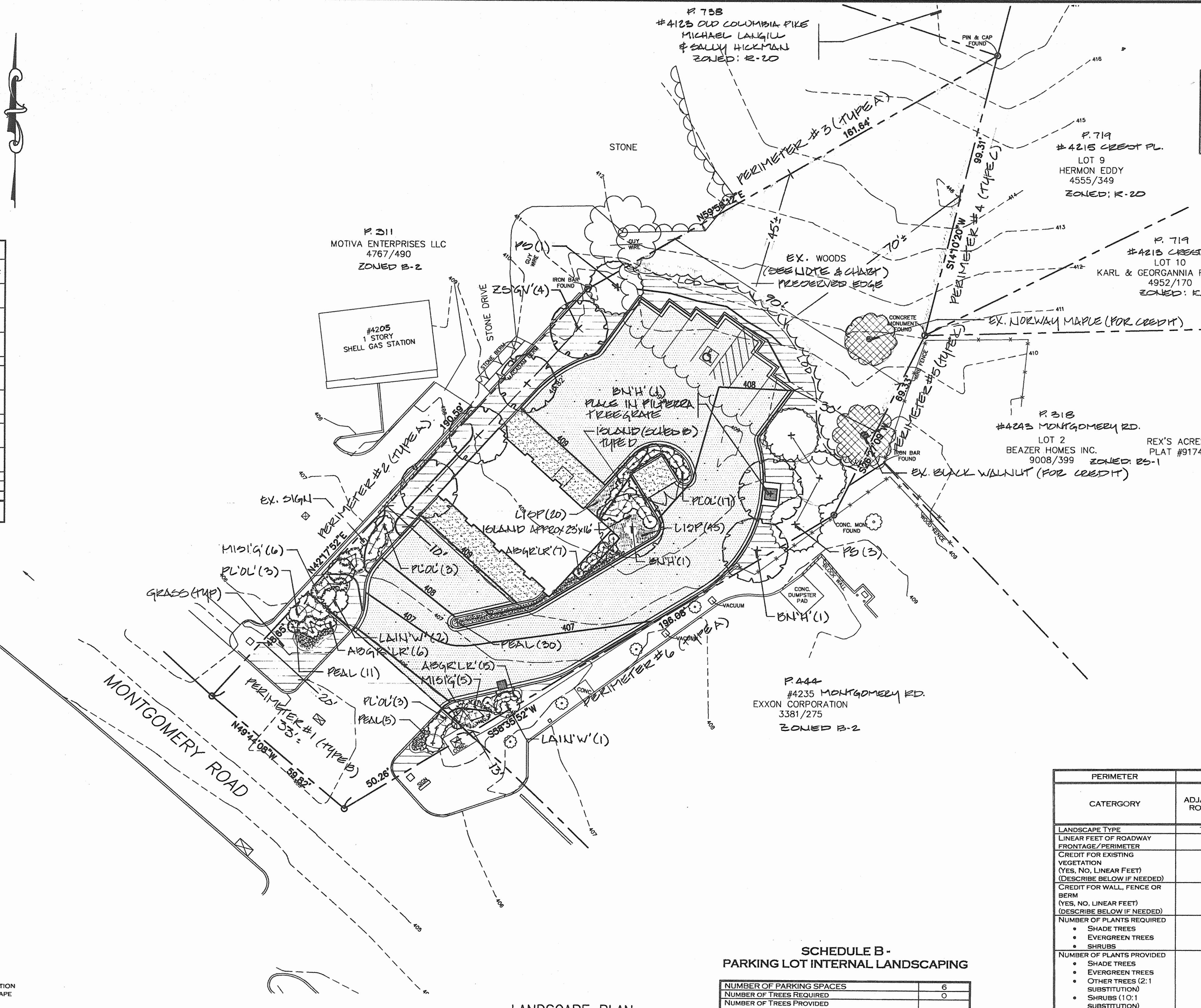
Rod D. Miller Area Mgr. DATE: 8-22-06
 Mid-Atlantic Lubex LLC.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division Date: 9/2/06
 Chief, Division of Land Development Date: 9/15/06
 Director Date:

APPROVED FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS

County Health Officer Date: _____
 Howard County Health Department



LANDSCAPE PLAN
 1" = 20'

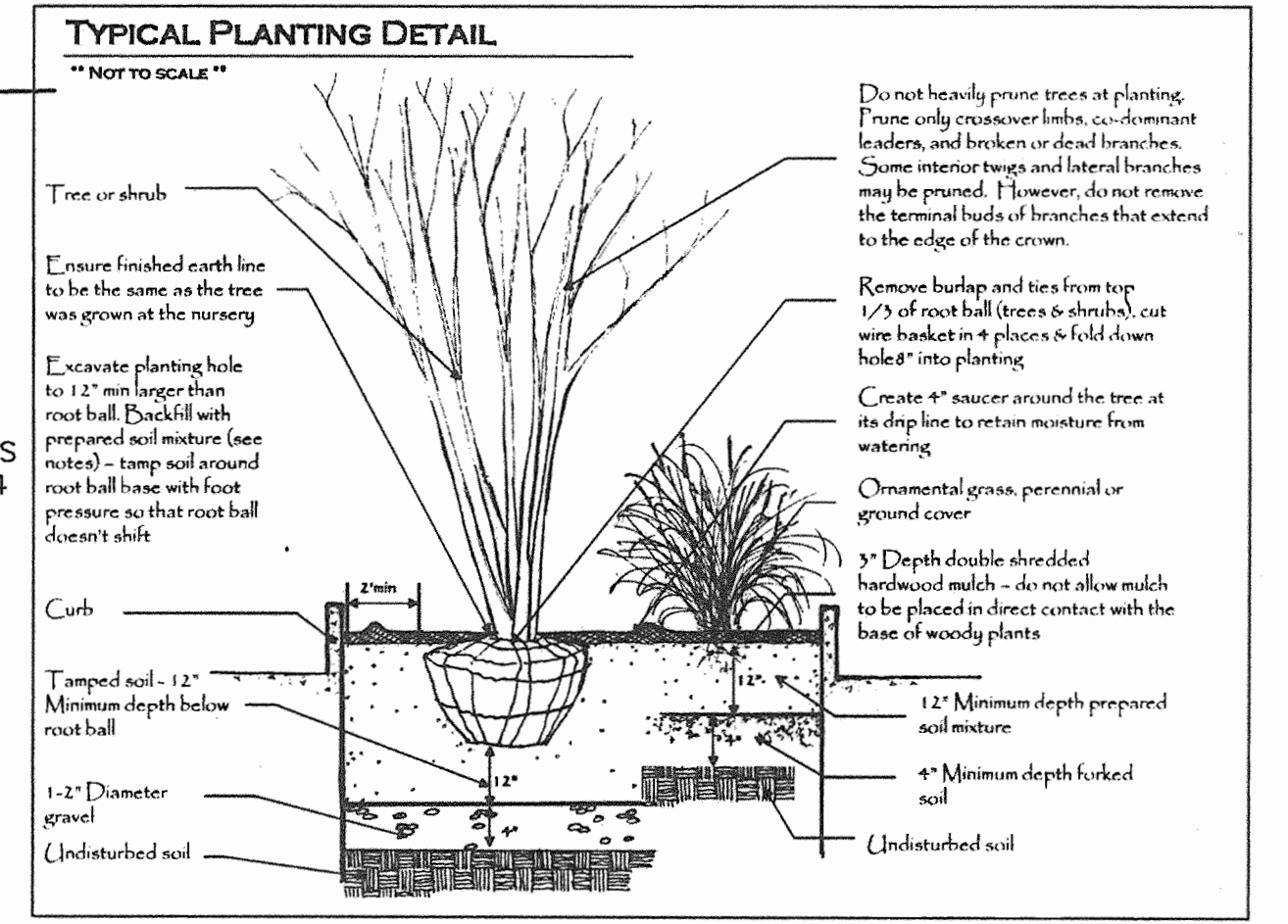
SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PLANTS PROVIDED	6
NUMBER OF TREES REQUIRED	0
NUMBER OF TREES PROVIDED	0
SHADE TREES	1
OTHER TREES (2:1 SUBSTITUTION)	0

THE LANDSCAPE ISLAND ASSOCIATED WITH THE PARKING LOT IS IRREGULARLY SHAPED AND IS APPROXIMATELY 500 SQUARE FEET. THE MAJOR PORTION OF THE ISLAND IS APPROXIMATELY 23' X 16'. THE ISLAND LANDSCAPING INCLUDES 1 LARGE SHADE TREE AND 17 BROADLEAF EVERGREEN SHRUBS.

EXISTING WOODS: THE EXISTING WOODS TO BE PRESERVED HAVE AN AREA OF 6,660S.F. +/- (0.153AC +/-) AND ARE LOCATED IN THE NORTHEAST PORTION OF THE PROPERTY. NO SPECIMEN TREES EXIST. THE WOODS ARE IN POOR TO SATISFACTORY CONDITION WITH AN ESTIMATED 20 - 30 YEAR GROWTH. THE PREDOMINANT TREE SPECIES IS ACER NEGUNDO (BOXELDER).

TREE SPECIES	CALIPER	CONDITION	NOTES
ACER NEGUNDO (BOXELDER)	2"-13"	POOR TO SATISFACTORY	PREDOMINANT TREE SPECIES
JUGLANS NIGRA (BLACK WALNUT)	18"	SATISFACTORY	1 TREE (USED AS CREDIT FOR PERIMETER #5)
ACER PLATANOIDES (NORWAY MAPLE)	14"	SATISFACTORY	1 TREE (USED AS CREDIT FOR PERIMETER #5)
ROBINIA PSEUDOACACIA (BLACK LOCUST)	2"-12"	POOR TO SATISFACTORY	SMALL GROVE
ACER RUBRUM (RED MAPLE)	1"-6"	POOR TO SATISFACTORY	SEVERAL SCATTERED THROUGH WOODS



SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER	#1	#2	#3	#4	#5	#6
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES (NW EDGE - SHELL)	ADJACENT TO PERIMETER PROPERTIES (NW EDGE - SHELL)	ADJACENT TO PERIMETER PROPERTIES (E EDGE - RESIDENTIAL)	ADJACENT TO PERIMETER PROPERTIES (E EDGE - RESIDENTIAL)	ADJACENT TO PERIMETER PROPERTIES (SE EDGE - EXXON)
LANDSCAPE TYPE	TYPE B	TYPE A	TYPE A	TYPE C	TYPE C	TYPE A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	33'	352.23'	161.64'	99.31'	69.33'	196.06'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	No	No	YES 161.64'	YES 99.31'	YES	No
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	No	No	No	No	No	No
NUMBER OF PLANTS PROVIDED						
SHADE TREES	1	4	3	3	2	3
EVERGREEN TREES	0	0	0	5	4	0
SHRUBS	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED						
SHADE TREES	0	4	CREDIT FOR EXISTING VEGETATION	CREDIT FOR EXISTING VEGETATION	0	2
EVERGREEN TREES	0	1			2	1
OTHER TREES (2:1 SUBSTITUTION)	12	3				5
SHRUBS (10:1 SUBSTITUTION)						
CREDIT FOR EXISTING VEGETATION						
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	COMMENT 2	COMMENT 3	COMMENT 4	COMMENT 5	COMMENT 6	COMMENT 7

- COMMENTS:**
- THE QUANTITIES OF LARGE DECIDUOUS AND EVERGREEN TREES WERE AFFECTED IN THE LANDSCAPING PLAN DUE TO THE PRESERVATION OF THE EXISTING WOODS AND THE CONFIGURATION OF THE SITE LIMITING PLANTING SPACE AVAILABILITY.
 - THE 2 ORNAMENTAL TREES (LAGERSTROMIA INDICA) WERE USED AS SUBSTITUTIONS FOR THE REQUIRED SHADE TREE. THE EVERGREEN TREE REQUIREMENT WAS TRANSFERRED FROM THE PINUS STROBUS LOCATED ON PERIMETER #2.
 - THE EVERGREEN TREE (PINUS STROBUS) WAS USED TO MEET THE REQUIREMENT OF PERIMETER #1 (ROADWAY).
 - THE EXISTING/PRESERVED WOODS ARE USED FOR CREDIT FOR THIS PERIMETER. THE WOODS ARE APPROXIMATELY 45' AVERAGE THICKNESS BETWEEN THE IMPROVED PORTION OF THE SITE (PARKING) AND THE PERIMETER. SEE EXISTING WOODS DESCRIPTION AND CHART.
 - THE EXISTING/PRESERVED WOODS ARE USED FOR CREDIT FOR THIS PERIMETER. THE WOODS ARE APPROXIMATELY 70' AVERAGE THICKNESS BETWEEN THE IMPROVED PORTION OF THE SITE (PARKING) AND THE PERIMETER. SEE EXISTING WOODS DESCRIPTION AND CHART.
 - THE EXISTING 18" CALIPER BLACK WALNUT AND 14" CALIPER NORWAY MAPLE ARE CREDITS FOR THE REQUIRED SHADE TREES. THE EVERGREEN SHRUBS FROM PERIMETERS #1, #2 AND #6 ARE TRANSFERRED SUBSTITUTES FOR THE 2 REMAINING EVERGREEN TREES REQUIRED.
 - THE EVERGREEN TREE (PINUS STROBUS) AND THE ORNAMENTAL TREE (LAGERSTROMIA INDICA) COMBINED TO SUBSTITUTE FOR 1 SHADE TREE.

LANDSCAPE ARCHITECT J.G.L. Associates 29 Chesterfield Ct. Monks, MD 21111 (410) 888-7700	Engineer: Michael J. Walkley, P.A. 2000 Clipper Park Road, Suite 200, Baltimore, MD 21211 (410) 888-7700	Developer: Mid-Atlantic Lubex, LLC 54 Jaconnet Street, Suite 100 Newton Highlands, MA 02461 (617) 243-0404	LANDSCAPE PLAN VALVOLINE INSTANT OIL CHANGE BUILDING AT 4215 MONTGOMERY ROAD Owner: Two Farms, Inc. Deed Reference 529 / 404 New Building Construction with Site Improvements Election District 2, Howard County, Maryland Tax Map 24 Grid 24 Parcel No. 677
Surveyor: APR Associates, Inc. 7427 Harford Road, Baltimore, MD 21234 (410) 444-4312	Owner: Two Farms, Inc., Attn: John Kemp 3611 Roland Ave., Baltimore, MD 21211 (410) 888-0200	Job No: WB86 Scale: 1" = 20' Date: APRIL 17, 2006 Sheet: 6 of 8	