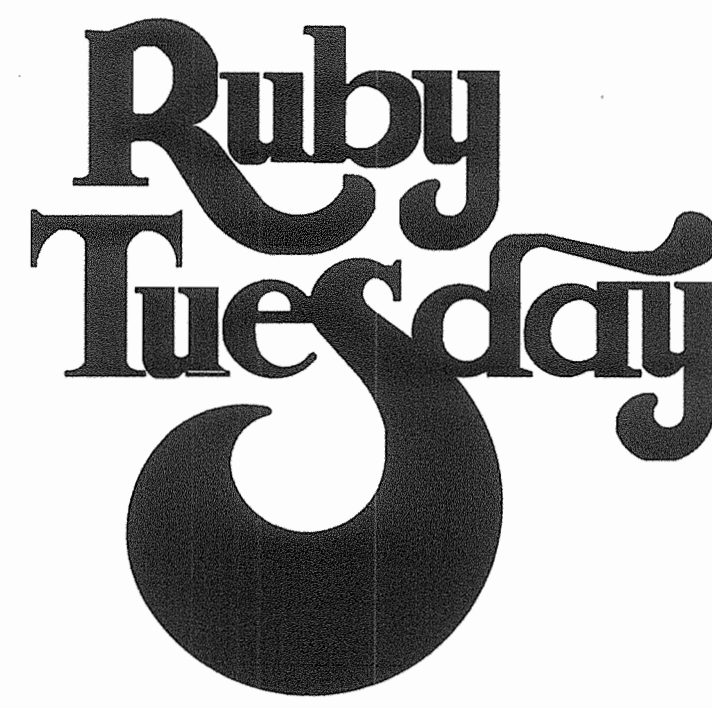
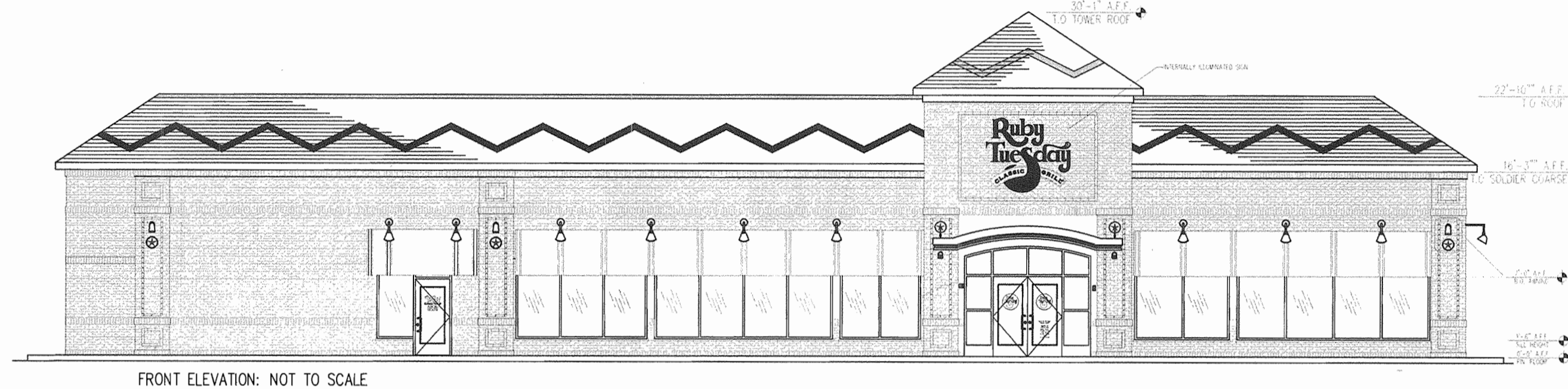


GENERAL NOTES

- THE EXISTING TOPOGRAPHY IS TAKEN FROM THE TOPOGRAPHIC SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY THE RBA GROUP DATED AUGUST 18, 2004.
- COORDINATES BASED ON NAD '83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 2964 AND NO. 2965. THESE STATIONS SHOWN ON VICINITY MAP LOCATED ON THIS SHEET AND REFERENCED ON SHEET C-2.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE, AND SPECIFICATIONS GIVEN IN THIS DRAWING, WHICHEVER IS MOST RESTRICTIVE.
- DEVIATION FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR WRITTEN CONSENT FROM THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- THE RBA GROUP SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES, OR PROCEDURES, UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND STANDARD CONSTRUCTION PRACTICES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES WHICH ARE TO REMAIN FREE FROM DAMAGE AND MAINTAIN UNINTERRUPTED SERVICE TO ALL USERS. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OR SUBCONTRACTOR'S ACTIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY WELLS & ASSOCIATES, LLC, DATED AUGUST 11, 2005, AND WAS APPROVED ON SEPTEMBER 2, 2005.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION WORK ON THE PROJECT:
 - MISS UTILITY (800) 257-7777
 - HOWARD COUNTY SOIL CONSERVATION DISTRICT (410) 789-7987
 - HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS (410) 313-6444
 - BALTIMORE GAS & ELECTRIC (410) 850-4620
 - VERIZON (410) 224-1670
 - COMCAST (410) 513-0517
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BEGINNING WORK. HE SHALL VERIFY SIZE AND LOCATIONS OF ALL UNDERGROUND UTILITIES AND TEST PIT AT PROPOSED TIE IN LOCATIONS. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER WELL IN ADVANCE OF CONSTRUCTION START. START OF CONSTRUCTION BY THE CONTRACTOR SHALL CONSTITUTE FULL ACCEPTANCE OF ALL SITE CONDITIONS BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR CONSTRUCTION PRIOR TO BEGINNING WORK.
- ALL UTILITIES ARE TO REMAIN UNLESS DESIGNATED TO BE REMOVED AND ALL APPURTENANCES SHALL BE ADJUSTED TO FINISH GRADE.
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL STAKE OUT AND VERIFY LOCATIONS OF ALL IMPROVEMENTS AND UTILITY TIE IN LOCATIONS.
- SCALING OF THESE PLANS IS DISCOURAGED UNLESS DIRECTED BY THE ENGINEER. IN THE EVENT OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY FOR PLAN VERIFICATION.
- CONTRACTOR SHALL INCLUDE DEMOLITION AND REMOVAL OF CURBING, SIDEWALK, AND PARKING AREAS WITHIN THE WORK AREA OR ITEMS SHOWN WITHIN THIS PLAN SET AS TO BE REMOVED, AS WELL AS REMOVAL AND CAPPING OF ANY UNDERGROUND UTILITIES SHOWN TO BE REMOVED.
- THE CONTRACTOR SHALL ENSURE THAT CURRENT AS-BUILT RECORDS ARE MAINTAINED DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, CERTIFIED (i.e. P.E. STAMPED) AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER.
- CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL DEVICES WITHIN THE LIMITS OF THE SITE DURING CONSTRUCTION OF THE SITE IMPROVEMENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR BY GOVERNING AGENCIES.
- CONTRACTOR SHALL CONTACT THE RBA GROUP PRIOR TO CONSTRUCTION TO VERIFY THE MOST CURRENT SET OF CONSTRUCTION DRAWINGS ARE AT THE SITE.
- THE SUBJECT PROPERTY IS ZONED NT PER THE COMPREHENSIVE ZONING PLAN NUMBER 02/02/04.
- SEE SHEET C-2 FOR BENCHMARK INFORMATION.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THERE ARE NO FLOODPLAINS ON THIS SITE PER FEMA FLOOD INSURANCE RATE, MAP COMMUNITY PANEL NUMBER 2400 44 0032B.
- THERE ARE NO WETLANDS ON THIS SITE.
- WATER AND SEWER ARE EXISTING UNDER CONTRACT No. 34-3528-D.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS PRIOR TO CONSTRUCTION
- APFO UPDATE FOR RUBY TUESDAY APPROVED SEPTEMBER 2, 2005



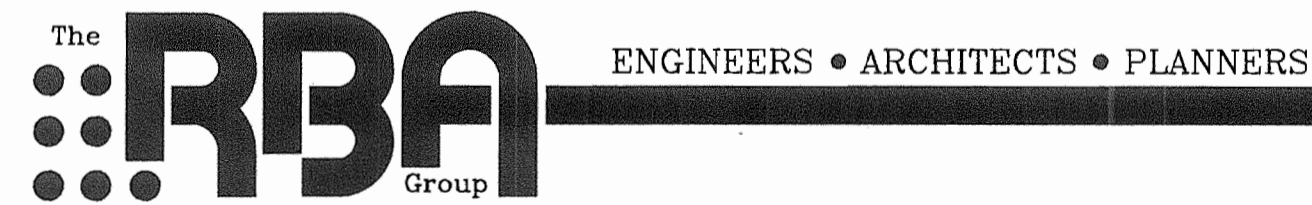
RIVER HILL VILLAGE CENTER
PARCEL W-2, PLAT # 16985
PLAT BOOK 0015-0475, D.B. 0444, PG. 0715
6080 DAYBREAK CIRCLE
CLARKSVILLE, MARYLAND 21029
HOWARD COUNTY



SITE DEVELOPMENT PLANS

PREPARED FOR :
RUBY TUESDAY, INC.
 150 WEST CHURCH AVENUE
 MARYVILLE, TENNESSEE 37801
 (865) 379-5842

PREPARED BY :

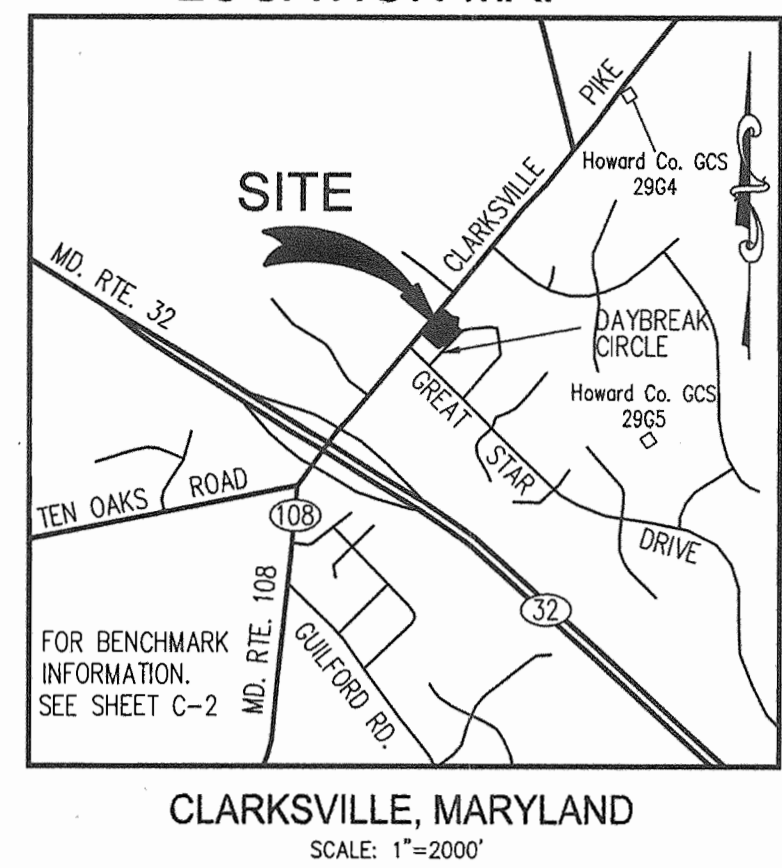


7164 COLUMBIA GATEWAY DRIVE
 SUITE 205
 COLUMBIA, MARYLAND 21046
 (410) 312-0966

DEVELOPER:

GENERAL GROWTH PROPERTIES
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND. 21044
 (410) 992-6027

LOCATION MAP



SITE ANALYSIS

- AREA OF LOT: 1.7029 ACRES (74,179 S.F.)
- ZONING: NT-NEW TOWN; FDP 164-A-1/VC, COMM; FDP 222-PART II/VC, COMM
- EXISTING USE: VACANT PAD SITE
- PROPOSED USE: RUBY TUESDAY RESTAURANT (V5800)
- BUILDING DATA:
 - A. GROSS SQUARE FOOTAGE: 5,629 G.S.F.
 - B. AREA INCLUDING OVERHANGS: 6,564 G.S.F.
 - C. % OF PARCEL: 8.9%
 - D. NUMBER OF SEATS: 224 SEATS
 - E. # OF EMPLOYEES: 25 PEAK SHIFT
- SETBACKS:
 - A. BUILDING:
 - 1. RIGHT-OF-WAY: 50 FEET
 - 2. SIDE: NONE SPECIFIED
 - 3. REAR: NONE SPECIFIED
 - B. PARKING: 10 FEET
- PARKING DATA:
 - A. REQUIREMENT FOR A RESTAURANT:
 - 1 PER EVERY 3 SEATS PLUS 1 SPACE FOR
 - 5 EMPLOYEES=(24 SEATS/3)+25 EMPLOYEES/5)=80 PARKING SPACES REQUIRED.
 - B. PROVIDED (9'x18' MIN. REQUIRED SIZE):
 - a. 9'x18' = 93 SPACES.
 - b. 9'x18' "TO GO" SPACES = 3 SPACES.
 - c. HANDICAP SPACES = 5 SPACES.
 - d. OFF-SITE PARKING (IN AREA OF SITE) = 1 SPACE.
 - e. TOTAL PARKING PROVIDED = 102 SPACES.
- DRIVE AISLE = 24' PROVIDED (MINIMUM 24' REQUIRED).
- STORMWATER MANAGEMENT IS NOT REQUIRED. PROVIDED BY RIVER HILL VILLAGE CENTER.
- ONE LOADING SPACE REQUIRED: 10'(w)x25'(l)x15'(h) PROVIDED: 1 SPACE AT 12'(w)x25'(l)x15'(h)
- OPEN SPACE ON SITE (GREEN SPACE)= 0.30 ACRES= 17.6% OF GROSS AREA.
- FLOOR AREA RATIO PROVIDED= 5,629 S.F. (0.129 AC.) OF BUILDING WHICH IS 7.6% OF THE TOTAL SITE AREA. PERMITTED= PER THE "FINAL DEVELOPMENT PLAN, PHASE 222-PART II, VILLAGE OF RIVER HILL, SECTION 4 AREA 2". THERE ARE NO COVERAGE REQUIREMENTS IMPOSED UPON LAND WHILE THE FDP LIMITS WHICH ARE DEVOTED TO COMMERCIAL LAND USES, EXCEPT IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.
- APPLICABLE DPZ FILE REFERENCES:
 - FDP, PHASE 222, PART II; FDP 164-A-1/VC, COMM
 - STORMWATER MANAGEMENT= F-96-89.
 - TRAFFIC STUDIES= P-95-10 (WITH ALL APPROVED UPDATES) PREPARED BY WELLS & ASSOCIATES.
 - PLAT= 16984 ON 10-22-04
 - PLAT BOOK 0015-0475, D.B. 0444, PG. 0715
 - COMPREHENSIVE ZONING PLAN= 10-18-93, 02/02/04
 - OTHER PLANS= WP-95-32, WP-95-78, WP-95-114, S-93-21, F-97-43, F-04-189.
- THIS PLAN IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS SUBDIVISION SECTION 16.1202(b)(1)(v), PER PLANNED UNIT DEVELOPMENT (NEW TOWN) THAT WAS MORE THAN 50% DEVELOPED BEFORE DECEMBER 31, 1992.
- SHARED ACCESS EASEMENTS FOR PARCELS "W-1" THROUGH "W-3" AND PARCEL "AA" IS RECORDED AMONG LAND RECORDS IN LIBER 8567 AT FOLIO 107.
- THE TOPOGRAPHIC SURVEY IS SHOWN IN 1 FOOT CONTOURS ON-SITE AND WITHIN 50 FEET OF THE SITE. SEE SHEET C-2 NOTE #9 FOR MONUMENT INFORMATION.
- THERE ARE NO ENVIRONMENTALLY SENSITIVE FEATURES ON THIS SITE.
- THERE ARE NO BURIAL GROUNDS OR CEMETERIES ON THIS SITE.
- LIMIT OF DISTURBANCE = 1.76 ACRES, 76,666 S.F.

INDEX

NO.	TITLE	REFERENCE
1	TITLE SHEET	C-1
2	LEGEND AND NOTES	C-1A
3	TOPOGRAPHIC SURVEY	C-2
4	STAKING AND STRIPING PLAN	C-3
5	GRADING AND DRAINAGE PLAN	C-4
6	UTILITY PLAN	C-5
7	PROFILES	C-6
8	DETAILS I	C-7
9	DETAILS II	C-8
10	DETAILS III	C-9
11	SPECIFICATIONS I	C-10
12	SPECIFICATIONS II	C-11
13	SPECIFICATIONS III	C-12
14	GEOTECHNICAL SPECIFICATIONS	C-13
15	EROSION AND SEDIMENT CONTROL PLAN	C-14
16	EROSION AND SEDIMENT CONTROL DETAILS	C-15
17	LANDSCAPE PLAN	L-1
18	LANDSCAPE SPECIFICATIONS	L-2
19	LANDSCAPE DETAILS	L-3
20	DRAINAGE AREA MAP	DA-1

MILESTONES

DATE	DESCRIPTION
08/03/05	FIRST SUBMISSION TO COUNTY
10/17/05	SECOND SUBMISSION TO COUNTY
1/13/06	THIRD SUBMISSION TO COUNTY
8/17/06	MYLAR SUBMISSION TO COUNTY

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: DIRECTOR

DATE: 8/20/06

DATE: 8/20/06

DATE: 8/20/06

APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE 06/08/06

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
W-2	6080 DAYBREAK CIRCLE

OPTION 2: EXEMPT / DOI FOREST CONSERVATION DATA SUMMARY

FILE NUMBER: PROJECT SUBDIVISION NAME:
 SDP-06-014 RUBY TUESDAY RESTAURANT, VILLAGE OF RIVER HILL

REGULATION SECTION: 16-1202(b)(1)(v)

PERMIT INFORMATION CHART

SUBDIVISION NAME	LOTS/PARCELS	SECTION/AREA	CENSUS TRACT	
VILLAGE OF RIVER HILL	W-2	4/2	605501	
PLAT NO.	GRID NO.	ZONE	TAX MAP	ELECTION DISTRICT
16985	6	NT-VC & VC COMM	34	5 TH
WATER CODE	SEWER CODE			
I-10	6653500			

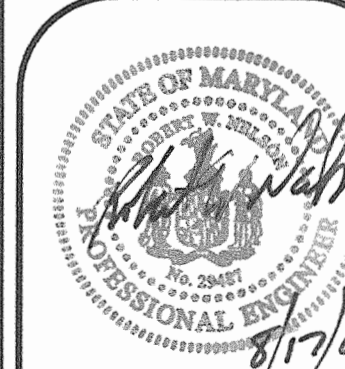
REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
 150 W. CHURCH AVENUE
 MARYVILLE, TENNESSEE 37801
 (865) 379-5842 FAX: (865) 379-6828

The RBA Group
 ENGINEERS • ARCHITECTS • PLANNERS
 7164 Columbia Gateway Drive, Suite 205
 Columbia, Maryland 21046
 Phone (410) 312-0966 Fax: (410) 312-0987



SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
 VILLAGE OF RIVER HILL
 TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
 SECTION 4/2, PARCEL W-2, PLAT 16985
 CLARKSVILLE, HOWARD COUNTY, MARYLAND



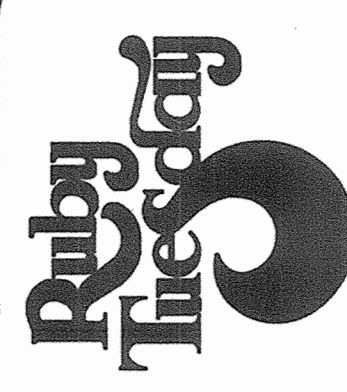
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 JOB NUMBER: M3482.00
 FILE NAME: C-01 COVR 3482
 PLOTTED: 08/17/06
 DRAWN BY: WLB

TITLE SHEET

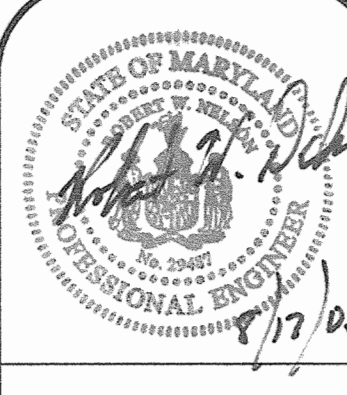
SHEET C-1
 1 of 20

PLANS PREPARED FOR:
RUBY TUESDAY, INC
 150 W. CHURCH AVENUE
 MARYVILLE, TENNESSEE 37801
 (665) 379-5842 FAX: (665) 379-6828

The RBA-Group
 ENGINEERS & ARCHITECTS
 2716 S. CALVERT ST. SUITE 205
 COLUMBIA, MARYLAND 21046
 Phone (410) 312-0966, Fax (410) 312-0897



SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
 VILLAGE OF RIVER HILL
 TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
 SECTION 4/2, PARCEL W-2, PLAT 16985
 CLARKSVILLE, HOWARD COUNTY, MARYLAND



DATE: 06/30/06
 JOB NUMBER: M3482.00
 FILE NAME: C-01A NOTE 3482
 PLOTTED: 08/17/06
 DRAWN BY: WLB

LEGEND AND NOTES

SHEET C-1A
 2 of 20

LEGEND

LEGEND	EXISTING	PROPOSED	ABBREVIATIONS
CENTERLINE (WITH +25' TICS)			R/W = RIGHT-OF-WAY
PROPERTY LINE			PL = PROPERTY LINE
IRON PIPE FOUND			INTX = INTERSECTION
EDGE OF PAVING			AHD = AHEAD
CURB & GUTTER			BK = BACK
GRADE CONTOUR			PC = POINT OF CURVATURE (HORIZONTAL)
GRADE BREAK			PVT = POINT OF TANGENCY (VERTICAL)
SPOT ELEVATION			PVC = POINT OF CURVE (VERTICAL)
RIP RAP			PI = POINT OF INTERSECTION
CURVE NUMBER			PT = POINT OF TANGENCY (HORIZONTAL)
FLARED END SECTION			DELTA = INTERNAL ANGLE
HEADWALL			R = RADIUS OF CURVE
STORM DRAIN			TAN = TANGENT OF CURVE LENGTH
YARD INLET			CHD LEN = LENGTH OF CHORD
STANDARD INLET			CHD BRG = CHORD BEARING
CURB INLET			CL = CENTERLINE
STORM DRAIN MANHOLE			S.S.E. = SANITARY SEWER EASEMENT
GENERAL CLEAN OUT			F.F.E. = FINISH FLOOR ELEVATION
SANITARY SEWER LINE AND MANHOLE			MH = MANHOLE (STORM)
DOMESTIC WATER LINE			SMH = MANHOLE (SEWER)
FIRE LINE			CI = COMBINATION INLET
TELEPHONE LINE			YI = YARD INLET
CABLE TV			HW = HEAD WALL
UG COMMUNICATION LINE			FES = FLARED END SECTION
OVER HEAD UTILITY LINE			RCP = REINFORCED CONCRETE PIPE
FIRE HYDRANT			CMP = CORRUGATED METAL PIPE
WATER LINE TEE			PVC = POLYVINYL CHLORIDE PIPE
GATE VALVE			OR POINT OF VERTICAL CURVE
PLUG (WITH 2" BLOW OFF VALVE)			DIP = DUCTILE IRON PIPE
DOUBLE DETECTOR CHECK WITH BACKFLOW PREVENTOR			C&G = CURB AND GUTTER
IRRIGATION CUT OFF VALVE			PROP = PROPOSED
POWER POLE			TC = TOP OF CURB
GUY WIRE			BC = BOTTOM OF CURB
ELECTRIC METER			TW = TOP OF WALL
SIGNAL BOX			BW = BOTTOM OF WALL
GAS METER			SY = SQUARE YARD
GAS LINE			SF = SQUARE FEET
CHAIN LINK FENCE			CY = CUBIC YARD
WOOD FENCE			CFS = CUBIC FEET PER SECOND
SILT FENCE			V = VELOCITY
LIMITS OF DISTURBANCE			Smin = MINIMUM FRICTION SLOPE
TRANSFORMER			N = NORTH
RETAINING WALLS			OSF = GROSS SQUARE FEET
STRUCTURE TYPE			ASPH = ASPHALT
TREE (TYPICAL)			D.O.T. = DEPARTMENT OF TRANSPORTATION
LIGHT POST			C.O. = GENERAL CLEAN OUT
YARD LIGHT			STD = STANDARD
SINGLE HEAD LIGHT			I.L.E. = INLET INVERT ELEVATION
DOUBLE HEAD LIGHT			O.L.E. = OUTLET INVERT ELEVATION
STREET SIGN			
FREESTANDING SIGN			
SOIL BORING LOCATION			
COORDINATE NUMBER			
NUMBER OF PARKING SPACES PROVIDED			
DETAIL CALL-OUT			
GRADE INDICATOR			

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE 8/17/06

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE 8/20/06

DIRECTOR
 DATE 8/21/06

APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE 06/08/06

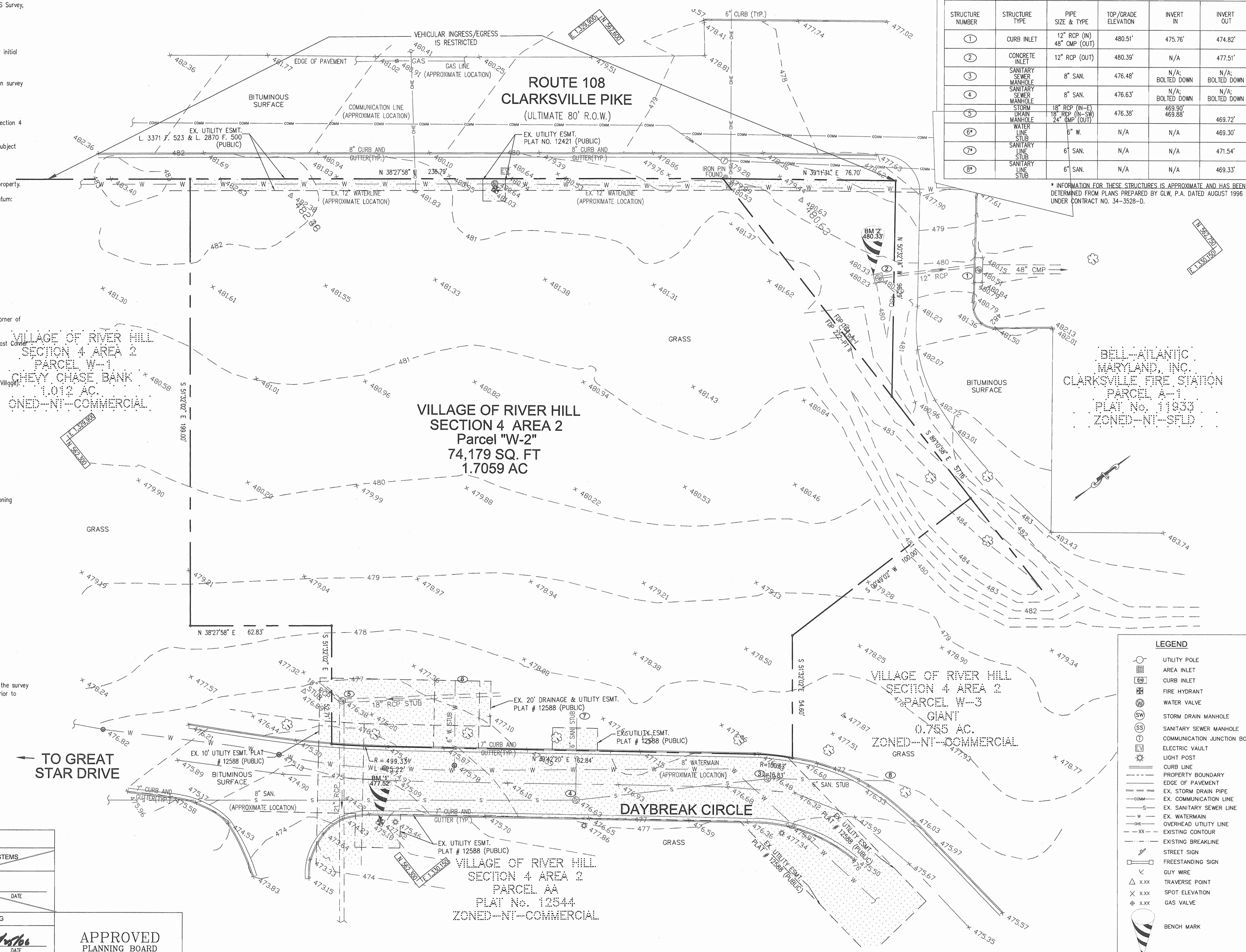
NOTES

- This survey drawing represents a compilation of information obtained from (1) a Transit-Total Station Survey made on the ground, (2) a GPS Survey, and (3) Instruments and Plats of public record.
- Field work for initial survey completed August 18, 2004.
Field personnel: Matt Skidmore (crew chief), Brad Simmons.
- Errors of closure for random traverse loops run on ground for initial survey: 1/51,000
- The orientation of the bearings shown on this plan is based on survey notes and/or plats obtained from the records in the 5th Election District Howard County, Maryland.
- Previous plats and survey records referred to:
(a) Minor Subdivision for "Village of River Hill" Subdivision Section 4 Area 2 dated May 2004.
- Based on FEMA map 240444-0032 B, dated 12/04/86, the Subject property is located in zone C.
- The subject property is currently zoned NT, New Town District.
- There is no observable evidence of cemeteries on the subject property.
- This survey is based on the following Horizontal and Vertical Datum:
Vertical:
(a) Geodetic Control Station 29G4; Elev. = 484.65' (NAVD 88)
Horizontal:
(a) H.C. MON. 0044 N 562176.791 E 1329641.899 (NAD 83) Elev. = 484.65' (NAVD 88)
(b) H.C. MON. 34FA N 558334.791 E 1329705.699 Elev. = 430.99'
(c) H.C. MON. 35A2 N 564154.792 E 1331201.117 Elev. = 487.958'
(d) BENCH MARK #1 Box cut on concrete inlet @ the Northeast Corner of subject property. Elev. = 480.33'
(e) BENCH MARK #2 Box cut on top of fire hydrant @ the Southeast Corner of subject property. Elev. = 477.52'
- No street widening is anticipated.
- Setbacks (as per Final Development Plan Criteria for River Hill Village):
Building: 50' from Right-Of-Way
Parking: 10'
- Utility Contacts:
Water: Howard County Department of Planning and Zoning Development Engineering Division 3450 Court House Drive Ellicott City, Maryland 21043 Diane Nason (410) 313-3362
Sanitary: Howard County Department of Planning and Zoning Development Engineering Division 3450 Court House Drive Ellicott City, Maryland 21043 Diane Nason (410) 313-3362
Storm Drainage: Howard County Department of Planning and Zoning Development Engineering Division 3450 Court House Drive Ellicott City, Maryland 21043 Mark Joscewsky (410) 313-2420
Natural Gas: Baltimore Gas Electric Gas & Electric New Business Department 7317 Parkway Drive, South Hanover, Maryland 21076 (410) 850-4620
Electricity: Baltimore Gas Electric Gas & Electric New Business Department 7317 Parkway Drive, South Hanover, Maryland 21076 (410) 850-4620
Telephone: Verizon 2510 Riva Road, 6th Floor Annapolis, Maryland 21401 Bryan Shank (410) 224-1670
Cable: Comcast Business Services 8110 Corporate Drive, 3rd Floor Baltimore, Maryland 21236 Randy Turner (410) 513-0517
- All field run topographic information is based on the date of the survey (Aug. 18, 2004.) Contractor shall field verify existing conditions prior to starting any work.
- Contour interval: 1'

UTILITY INVERT TABLE

STRUCTURE NUMBER	STRUCTURE TYPE	PIPE SIZE & TYPE	TOP/GRADE ELEVATION	INVERT IN	INVERT OUT
1	CURB INLET	12" RCP (IN) 48" CMP (OUT)	480.51'	475.76'	474.82'
2	CONCRETE INLET	12" RCP (OUT)	480.39'	N/A	477.51'
3	SANITARY SEWER MANHOLE	8" SAN.	476.48'	N/A	N/A
4	SANITARY SEWER MANHOLE	8" SAN.	476.63'	N/A	N/A
5	STORM DRAIN MANHOLE	18" RCP (IN-E) 24" CMP (OUT)	476.38'	469.90' 469.88'	469.72'
6	WATER LINE STUB	6" W.	N/A	N/A	469.30'
7	SANITARY LINE STUB	6" SAN.	N/A	N/A	471.54'
8	SANITARY LINE STUB	6" SAN.	N/A	N/A	469.33'

* INFORMATION FOR THESE STRUCTURES IS APPROXIMATE AND HAS BEEN DETERMINED FROM PLANS PREPARED BY GLW, P.A. DATED AUGUST 1996 UNDER CONTRACT NO. 34-3528-D.



REVIEWS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(865) 379-5842 FAX: (865) 379-8828

The **RBA-Group**
ENGINEERS & ARCHITECTS • PLANNERS
7164 Columbia Gateway Drive, Suite 205
Columbia, Maryland 21046
Phone (410) 312-0987, Fax: (410) 312-0987

Ruby Tuesday

SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND

GRAPHIC SCALE 1"=20'
DATE: 06/30/05
JOB NUMBER: M3482.01
FILE NAME: C-02-TOPO 3482
PLOTTED: 08/17/06
DRAWN BY: JRL

TOPOGRAPHIC SURVEY
SHEET C-2
3 of 20

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cathy Hanover
DATE: 8/20/06

CHIEF, DIVISION OF LAND DEVELOPMENT
Matthew Dr. Long
DATE: 8/20/06

DIRECTOR

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE 06/08/06

LEGEND

- UTILITY POLE
- AREA INLET
- CURB INLET
- FIRE HYDRANT
- WATER VALVE
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- COMMUNICATION JUNCTION BOX
- ELECTRIC VAULT
- LIGHT POST
- CURB LINE
- PROPERTY BOUNDARY
- EDGE OF PAVEMENT
- EX. STORM DRAIN PIPE
- EX. COMMUNICATION LINE
- EX. SANITARY SEWER LINE
- EX. WATERMAIN
- OVERHEAD UTILITY LINE
- EXISTING CONTOUR
- EXISTING BREAKLINE
- STREET SIGN
- FREESTANDING SIGN
- GUY WIRE
- TRAVERSE POINT
- SPOT ELEVATION
- GAS VALVE
- BENCH MARK
- STRUCTURE NUMBER
- EX. 3" DECIDUOUS TREE (TYP.)

STAKING KEY NOTES

(CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BID.)

- 1 STRIPING (TYP.)
- 2 NO PARKING STRIPING (TYP. OF 3)
- 3 STOP BAR (L=10') (TYP. OF 2)
- 4 INTERNATIONAL HANDICAP SYMBOL (TYP. OF 5)
- 5 VAN ACCESSIBLE SIGN (TYP. OF 2)
- 6 STOP SIGN
- 7 RESERVED PARKING SIGN (TYP. OF 5)
- 8 6' CONCRETE SIDEWALK (TYPE A)
- 8A 5' CONCRETE SIDEWALK (TYPE A)
- 8B CONCRETE SIDEWALK (LENGTH PER PLAN) (TYPE B)
- 9 6' CONCRETE SIDEWALK (TYPE C)
- 10 4' CONCRETE SIDEWALK (TYPE C)
- 11 CURB TRANSITION (L=8')
- 12 CONCRETE CURB AND GUTTER (TYP.)
- 13 REVERSE CURB AND GUTTER (TYP.)
- 14 CURB NOSE DOWN (TYP. OF 9)
- 15 WHEEL STOP (TYP. OF 9)
- 16 'TO GO' PARKING (TYP. OF 3) (STRIPING AND SIGNAGE)
- 17 BOLLARD (TYP. OF 2)
- 18 BITUMINOUS PAVEMENT

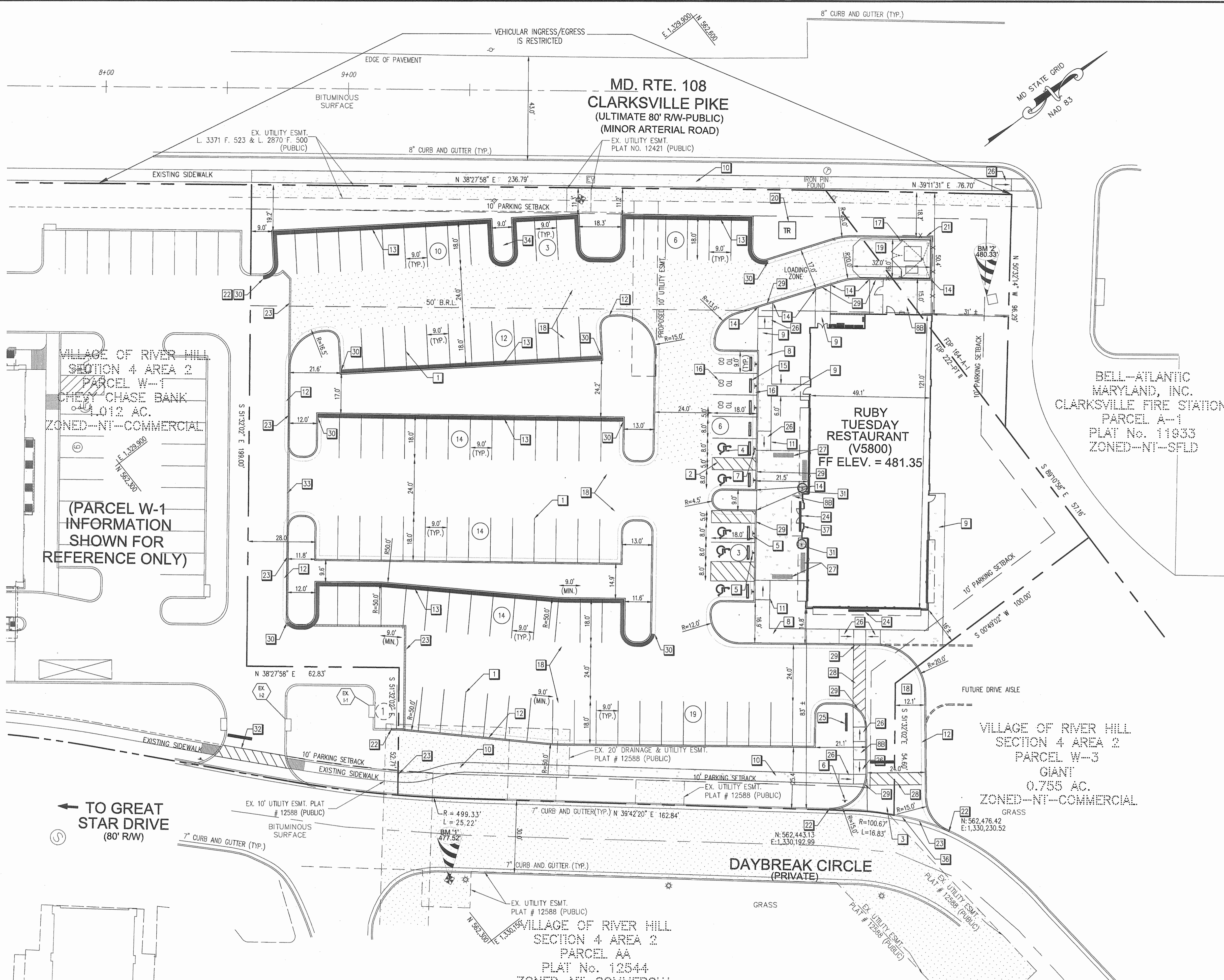
- 19 CONCRETE PAVEMENT/DUMPSTER PAD
- 20 TRANSFORMER PAD
- 21 DUMPSTER ENCLOSURE / SECURITY AREA

- 22 TIE PROPOSED CURB AND/OR GUTTER INTO EXISTING CURB AND GUTTER IN LINE AND AT GRADE.
- 23 TIE PROPOSED PAVEMENT INTO EXISTING PAVEMENT AT GRADE.

- 24 WALL SIGNAGE REQUIREMENTS:
 - A. ALLOWED SIGNAGE:
 - a. 2 WALL SIGNS PERMITTED BY THE ROUSE COMPANY.
 - b. 2 SQUARE FEET OF SIGNAGE PERMITTED FOR EACH LINEAR FOOT OF FRONTAGE.
 - c. IF MULTIPLY FOOTAGE, 1 ADDITIONAL SIGN IS PERMITTED WITH AN AREA OF 1 SQUARE FOOT FOR EACH ADDITIONAL FOOT OF BUILDING FRONTAGE.
 - d. BASED ON 52 FT. OF FRONTAGE ALONG RT. 108, THE ALLOWABLE SIGNAGE IS 52 FTx 2 SF = 104 SF. ADDITIONAL FOOT OF BUILDING FRONTAGE.
 - B. SIGNAGE RECOMMENDED - 2 WALL SIGNS
 - a. ONE SIGN ON TOWER, FACADE FACING WEST
 - b. ONE SIGN ON THE FACADE FACING DAYBREAK CIRCLE
 - c. TOTAL SIGN AREA = 104 SF (MAX.)
 - C. SIGN CONTRACTOR SHALL OBTAIN ALL SIGN PERMITS PRIOR TO CONSTRUCTION.
 - D. ALL SIGNAGE MUST BE APPROVED BY THE ROUSE COMPANY
 - E. ALL NEON TO BE REVIEWED BY THE ROUSE COMPANY.
 - F. ALL SIGNAGE TO BE COORDINATED WITH ARCHITECT PRIOR TO CONSTRUCTION.

- 25 FREESTANDING SIGN:
 - A. ALLOWED SIGNAGE:
 - a. MAX. AREA = 1 SQUARE FOOT FOR EACH LINEAR FOOT OF LOT FRONTAGE OR 200 SQ. FT., WHICHEVER IS SMALLER BASED ON 313 FT. OF FRONTAGE = 313 SF. OR SIGNAGE, USE 200 SF.
 - b. MAXIMUM HEIGHT:
 - 1. PER HOWARD COUNTY = 26 FT.
 - 2. PER THE RIVER HILL VILLAGE CENTER THE SIGN MUST MIMIC THE EXISTING HEIGHT OF THE McDONALD'S RESTAURANT MONUMENT SIGN. HEIGHT IS APPROXIMATELY 5-10 FEET.
 - B. SIGNAGE PROVIDED:
 - a. 1 MONUMENT SIGN ALONG DAYBREAK CIRCLE, TO PROVIDE BUILDING ADDRESS. AREA = 200 SQ. FT. MAX. HEIGHT = 5-10 FT. (TO BE VERIFIED BY SIGN CONTRACTOR)

- 26 SIDEWALK RAMP (TYP. OF 6)
- 27 BENCHES (TYP. OF 4) SEE LANDSCAPE DETAILS, SHEET L-3.
- 28 5' CROSSWALK
- 29 DEPRESSED CURB
- 30 CONTRACTOR SHALL PROVIDE TRANSITION FROM REVERSE GUTTER TO STANDARD GUTTER PAN. (TYP. ALL LOCATIONS)



TO GREAT STAR DRIVE (80' R/W)

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED DEPARTMENT OF PLANNING AND ZONING

DEVELOPMENT ENGINEER DIVISION
DATE 8/13/06
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE 8/13/06
DIRECTOR

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE 06/08/06

- 31 PLANTERS (TYP. OF 2) SEE LANDSCAPE DETAILS, SHEET L-3.
- 32 ENTRANCE TO BE BUILT BY OTHERS.
- 33 REMOVE EXISTING ASPHALT CURB. SAW CUT EXISTING PAVEMENT FOR CLEAN JOINT CONNECTION TO NEW PAVEMENT. (APPROX. 250 LF)
- 34 LOCATE ISLAND AROUND EXISTING GUY WIRE.
- 35 NO HOWARD COUNTY SURVEY CONTROL STATIONS WILL REQUIRE RELOCATION WITH THIS PROJECT.
- 36 CONTRACTOR SHALL REMOVE APPROXIMATELY 50 LF. OF EXISTING CURB AND GUTTER FOR CONNECTION OF PROPOSED DRIVE AISLE.
- 37 PROVIDE SIGNAGE ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS. SIGNAGE LOCATION, SIZE, AND TYPE TO BE COORDINATED BY ARCHITECT.

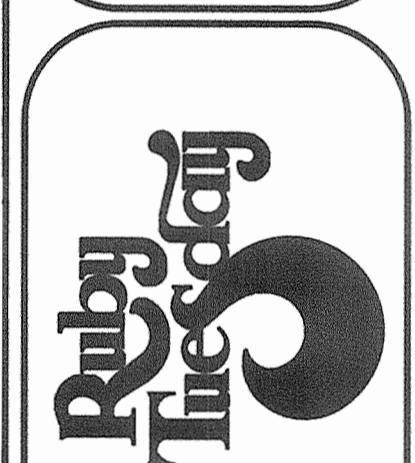
STAKING NOTES

- 1. ALL CURB RADII ARE 5 FEET UNLESS NOTED OTHERWISE.
- 2. ALL DIMENSIONS ARE MEASURED FROM FACE OF CURB AND FACE OF FINISHED STRUCTURE UNLESS NOTED OTHERWISE.
- 3. TOPOGRAPHIC SURVEY WAS PROVIDED BY THE RBA GROUP DATED AUGUST 18, 2004. THE BASE SURVEY IS GIVEN ON SHEET C-2 OF THIS DRAWING SET. ALL EXISTING SITE CONDITIONS SHALL BE DETERMINED BY EXAMINATION OF THE SURVEY SHEET.

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(865) 379-5942 FAX: (865) 379-6828

RBA
The RBA Group
ARCHITECTS & PLANNERS
ENGINEERS • ARCHITECTS • PLANNERS
7104 Columbia Gateway Drive, Suite 200
Columbia, Maryland 21046
Phone: (410) 312-0986, Fax: (410) 312-0897



SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
VILLAGE OF RIVER HILL
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND

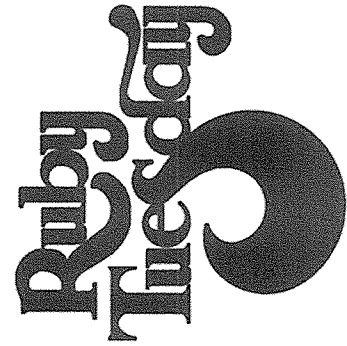


GRAPHIC SCALE 1"=20'

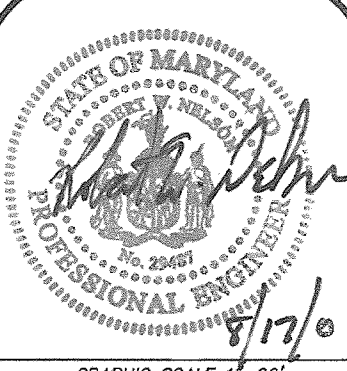
DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-03 STAK 3482
PLOTTED: 06/17/06
DRAWN BY: WLB
STAKING AND STRIPING PLAN
SHEET C-3
4 of 20

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(665) 379-5942 FAX: (665) 379-6828

RBA-
The Group
ENGINEERS • ARCHITECTS • PLANNERS
1784 Columbia Gateway Drive, Suite 205
Columbia, Maryland 21004
Phone (410) 326-0868, Fax: (410) 312-0897



SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND



DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-05 GRAD 3482
PLOTTED: 08/17/06
DRAWN BY: WLB

GRADING AND DRAINAGE PLAN
SHEET C-4
5 of 20

GRADING PLAN NOTES

- NOTE: CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID.
- CONTRACTOR SHALL ENSURE MAXIMUM 2% SLOPE IN ANY DIRECTION WITHIN HANDICAP PARKING AREA.
 - LIMIT OF PAVEMENT DEMOLITION. SAW CUT EXISTING PAVEMENT FOR CLEAN JOINT AND FUTURE PAVEMENT CONNECTION. APPROXIMATE LENGTH OF SAW CUT = 250 L.F.
 - CONTRACTOR SHALL PROVIDE TRANSITION FROM REVERSE GUTTER TO STANDARD GUTTER PAN. (TYP. ALL LOCATIONS.)
 - NOT USED
 - SEE PROFILE SHEETS FOR PIPE INFORMATION. (LINES F, G, H)
 - PROVIDE A SWALE AT 1.0% MINIMUM SLOPE.
 - DEPRESSED CURB (PER STAKING PLAN.)
 - LINES (1) AND (2) SHALL BE 6" PVC (ROOF DRAIN CONNECTIONS) SCH. 40 AT 1% MIN. SLOPE.
 - TIE INTO EXISTING PAVEMENT, CURB AND GUTTER INLINE AND AT GRADE.
 - LANDSCAPE BERM
 - SCORED CONCRETE AREA

PLAN LEGEND

- TC = TOP OF CURB
 - BC = BOTTOM OF CURB
 - LP = LOW POINT
 - HP = HIGH POINT
- + 456.00 = EXISTING SPOT ELEVATION
56.00 = PROPOSED SPOT ELEVATION AT ELEVATION 456.00
— = REV. GUTTER

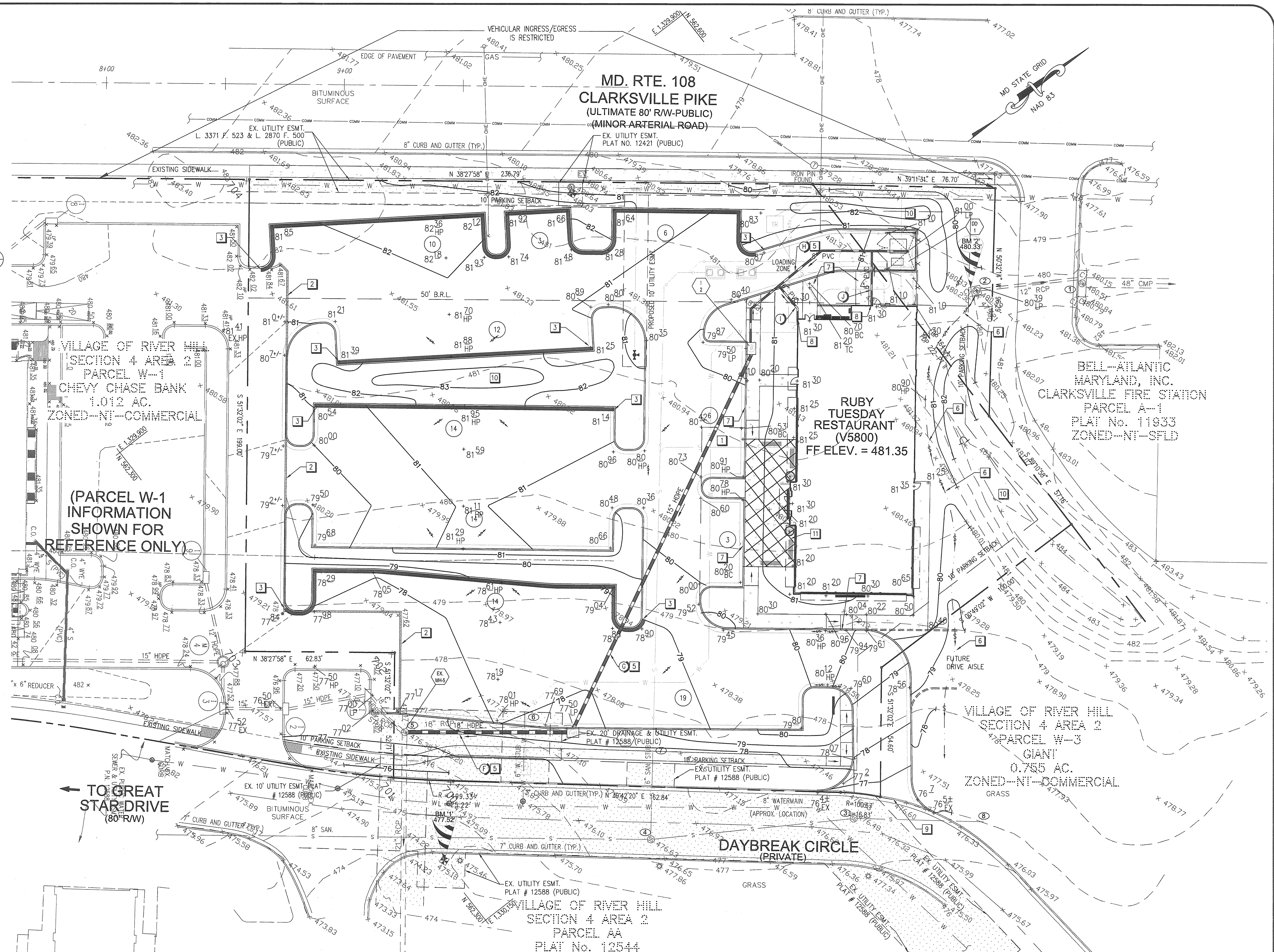
PLAN NOTES:

- ALL SPOT ELEVATIONS ARE TO BOTTOM OF CURB UNLESS NOTED OTHERWISE.
- REFER TO PLAN C-2 FOR EXISTING CONDITIONS AND EXISTING INVERTS.

PIPE SCHEDULE

SIZE	DESCRIPTION	LENGTH
STORM DRAIN / ROOF DRAIN		
6"	PVC, SCH. 40	38'
8"	PVC, SCH. 40	89'
15"	HDPE	172'
18"	HDPE	67'
SEWER		
4"	PVC, SDR-35	183'
6"	PVC, SDR-35	288'
WATER (DOMESTIC)		
1/2"	COPPER TYPE 'K' (TO DUMPSTER)	43'
2"	COPPER TYPE 'K'	303'
6"	D.I.P. CL. 51	274'
IRRIGATION		
1"	WATER COPPER TYPE 'K'	AS REQUIRED
6"	IRRIGATION SLEEVES PVC, SCH. 40	PER LANDSCAPE PLAN

NOTE: CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID.



STORM DRAIN STRUCTURE SCHEDULE

NUMBER	TYPE	TOP OF MANHOLE ELEVATION	INVERTS		SIZE	REMARKS
			IN	OUT		
EX. MHS	EX. MANHOLE	476.38	469.90 469.88	469.72	EXISTING	IF NEW PIPE REQUIRED IS PLACE IN EXISTING HOLE FOR OLD PIPE AND PROVIDE WATERTIGHT SEALS AT CONNECTION POINT.
I-1	PRECAST STD. A-5 INLET	478.08	474.25	470.58	5'-0" x 2'-6"	HO. CO. STD. SD 4.40
I-2	PRECAST STD. A-5 INLET	480.08	476.50	476.00	5'-0" x 2'-6"	HO. CO. STD. SD 4.40
DD1	DUMPSTER DRAIN	481.00	N/A	478.00	SEE ARCH. PLANS	SEE ARCH. PLANS FOR DRAIN DETAILS.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

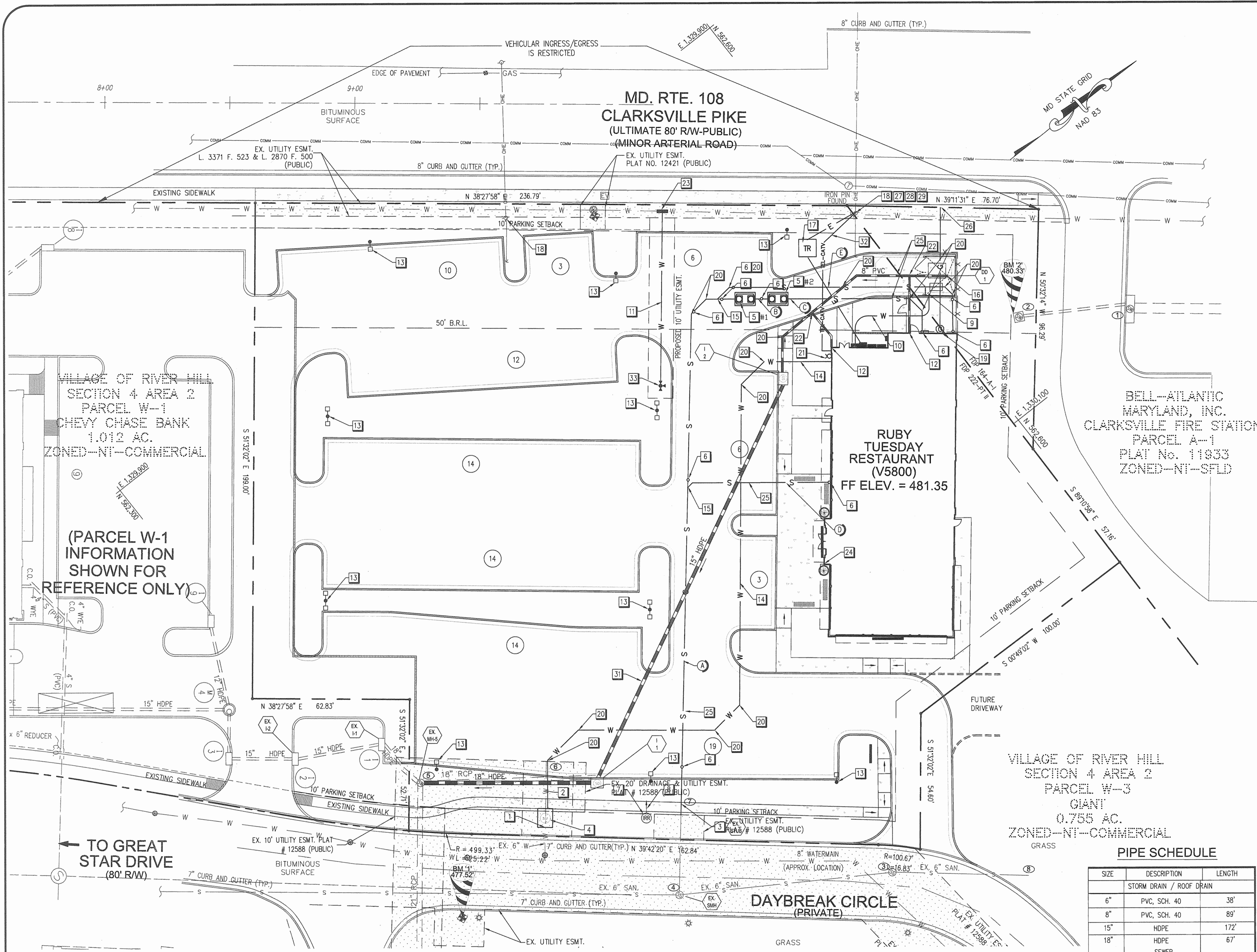
APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 8/20/06

CHEF, DIVISION OF LAND DEVELOPMENT
DATE: 8/20/06

DIRECTOR
DATE: 8/20/06

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 06/08/06



UTILITY PLAN KEY

(NOTE: CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO BID.)

- 1 CONTRACTOR TO TIE PROPOSED 6" WATERLINE INTO EXISTING 6" WATER STUB. CONTRACTOR TO TEST PIT LOCATION, SIZE, AND INVERT OF STUB PRIOR TO CONSTRUCTION.
- 2 REMOVE EXISTING WATER LINE STUB PAST METER.
- 3 EXISTING 6" SEWER STUB. CONTRACTOR TO TEST PIT EXISTING STUB LOCATION, SIZE, AND INVERT PRIOR TO CONSTRUCTION.
- 4 6" FIRE/DOMESTIC SERVICE METER (PRIVATE METER)
- 5 750 GALLON GREASE TRAP (TYP. OF 2)
- 6 GENERAL CLEANOUT (TYP. OF 10 ON SEWER LINE)
- 7 IRRIGATION WELL. CONTRACTOR TO VERIFY SIZE AND LOCATION WITH IRRIGATION CONTRACTOR.
- 8 1" IRRIGATION LINE. SEE LANDSCAPE PLAN AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 9 HOSE BIB (SEE ARCH. PLANS)
- 10 1/2" WATERLINE TO DUMPSTER PAD
- 11 6" WATERLINE
- 12 DOWNSPOUT CONNECTION INTO 6" PVC (TYP. OF 2)
- 13 LIGHT FIXTURE (TYP. OF 10)
- 14 6" FIRE/DOMESTIC LINE
- 15 6" x 4" WYE
- 16 TIE DUMPSTER DRAIN INTO ROOF CONNECTION. (SEE ARCH. PLANS)
- 17 TRANSFORMER PAD (SEE KEY NOTE #27)
- 18 EXISTING UTILITY POLE AND GUY WIRE TO REMAIN
- 19 GAS METER
- 20 1/8" HORIZONTAL BEND
- 21 SIAMSE CONNECTION
- 22 8"x 6" TEE
- 23 12" x 6" TAPPING SLEEVE AND VALVE. CONTRACTOR TO TEST PIT TO DETERMINE INVERTS PRIOR TO CONSTRUCTION.
- 24 KNOX BOX TO BE LOCATED NO MORE THAN 6' LATERALLY FROM THE DOOR ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATE WITH FIRE ALARM SYSTEM; PER NFPA-1 10.12.1)
- 25 REFER TO PROFILES FOR PIPE INFORMATION.
- 26 CONTRACTOR SHALL COORDINATE GAS SERVICE WITH BALTIMORE GAS AND ELECTRIC. EXTERIOR NATURAL GAS TO BE PROVIDED BY BGE. BGE WILL PROVIDE AND SET THE METER. CONTRACTOR TO COORDINATE GAS SERVICE WITH ON-SITE CONSTRUCTION. CONTACT BGE AT (410) 850-4620.
- 27 CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE WITH UTILITY COMPANY. ELECTRIC WILL BE INSTALLED BY BGE, WHICH INCLUDES THE PRIMARY CABLING AND SUPPLYING AND SETTING OF THE TRANSFORMER AND METER. THE CONTRACTOR MUST INSTALL THE CONDUITS WITH PULL WIRES FOR ALL SECONDARY CABLING AND THE TRANSFORMER PAD TO BGE'S SPECIFICATIONS. CONTRACTOR TO COORDINATE ON-SITE CONSTRUCTION INCLUDING SCHEDULING OF THE INSTALLATION. CONTACT BGE AT (410) 850-4620 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION.
- 28 CONTRACTOR SHALL COORDINATE TELEPHONE SERVICE WITH UTILITY COMPANY. TELEPHONE CAN RUN IN SAME CONDUIT AS CABLE SERVICE. TELEPHONE SERVICE WILL BE PROVIDED BY VERIZON. THE CONTRACTOR SHALL COORDINATE WITH BRYAN SHANK AT (410) 224-1670 AND ALL SUBCONTRACTORS FOR INSTALLATION OF TELEPHONE SERVICE. CONTRACTOR SHALL PROVIDE ADEQUATE CONDUITS (TYPICALLY 2-4" PVC CONDUITS WITH PULL WIRE) FOR SERVICE INSTALLATION.
- 29 CONTRACTOR SHALL COORDINATE CABLE SERVICE WITH UTILITY COMPANY. CABLE CAN RUN IN SAME CONDUIT AS TELEPHONE SERVICE. CABLE TELEVISION IS TO BE PROVIDED BY COMCAST ANY UNDERGROUND CONDUITS NEEDED (TYPICALLY 1-4" PVC) SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL LINES WITH ON-SITE UTILITY WORK INCLUDING ARRANGING THE SCHEDULE WITH RANDY TURNER AT (410) 513-0517 WELL IN ADVANCE OF ANTICIPATED CONSTRUCTION START.
- 31 SEE GRADING PLAN FOR STORM DRAIN INFORMATION. STORM DRAIN TO BE PRIVATE SYSTEM.
- 32 CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES TO RUN SERVICES IN THE SAME TRENCH WHERE POSSIBLE.
- 33 FIRE HYDRANT PER HOWARD COUNTY STANDARD DETAIL FOR CONSTRUCTION W/11

PIPE SCHEDULE

SIZE	DESCRIPTION	LENGTH
STORM DRAIN / ROOF DRAIN		
6"	PVC, SCH. 40	38'
8"	PVC, SCH. 40	89'
15"	HDPE	172'
18"	HDPE	67'
SEWER		
4"	PVC, SDR-35	183'
6"	PVC, SDR-35	288'
WATER (DOMESTIC)		
1/2"	COPPER TYPE 'K' (TO DUMPSTER)	43'
2"	COPPER TYPE 'K'	303'
6"	D.I.P. CL. 51	274'
IRRIGATION		
1"	WATER COPPER TYPE 'K'	AS REQUIRED
6"	IRRIGATION SLEEVES PVC, SCH. 40	PER LANDSCAPE PLAN

UTILITY PLAN NOTES

1. REFER TO THE MEP PLANS FOR THE CONTINUATION OF ALL UTILITIES INTO THE BUILDING.
2. STANDARD CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT EACH BEND OR TEE IN THE WATER AND FIRE SYSTEM PIPING NETWORK FOR ALL 6" AND ABOVE WATERLINES.
3. ALL STORM DRAIN PIPES SHALL BE HDPE, UNLESS NOTED OTHERWISE ON THE PLANS.
4. ALL SANITARY SEWER PIPE SHALL BE PVC SDR-35.
5. ALL WATER HOUSE CONNECTIONS SHALL BE COPPER, TYPE 'K'. ALL WATERLINES 6" OR ABOVE SHALL BE DUCTILE IRON PIPE, CLASS 51.
6. ALL ROOF LEADER DRAIN PIPES (UNDERGROUND) SHALL BE PVC SCH 40 OR PER PLAN.
7. THIS BUILDING IS SPRINKLERED FOR FIRE PROTECTION.
8. SANITARY LATERALS TO HAVE A MINIMUM FALL OF 2.0% OR PER PLAN.
9. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES AND THEIR ELEVATIONS PRIOR TO STARTING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT ARISES. ALLOW A MINIMUM OF 3 DAYS FOR ANY NECESSARY REDESIGN.
10. ALL WATER LINES TO BE A MINIMUM OF 4' DEEP.
11. CONTRACTOR TO REFER TO LANDSCAPE PLAN FOR PLACEMENT OF REQUIRED IRRIGATION SLEEVES.

NOTE: CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID.

SANITARY SEWER STRUCTURE SCHEDULE

NUMBER	TYPE	TOP OF MANHOLE ELEVATION	INVERTS		SIZE	REMARKS
			IN	OUT		
EX. SMH	EX. SEWER MANHOLE	476.63	470.32 (6") 465.4 (8")	465.4	DIA. = 4 FT.	1. INVERTS TAKEN FROM PLANS PREPARED BY GLW DATED AUGUST 1996 FOR CONTRACT 34-3528 D.
G.T. 1	GREASE TRAP	480.4±	475.35	475.18	750 GALLON	1. SEE DETAIL 1 ON SHEET C-9.
G.T. 2	GREASE TRAP	480.5±	475.62	475.45	750 GALLON	1. SEE DETAIL 1 ON SHEET C-9.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

APPROVED DEPARTMENT OF PLANNING AND ZONING

APPROVED PLANNING BOARD of HOWARD COUNTY DATE 06/08/06

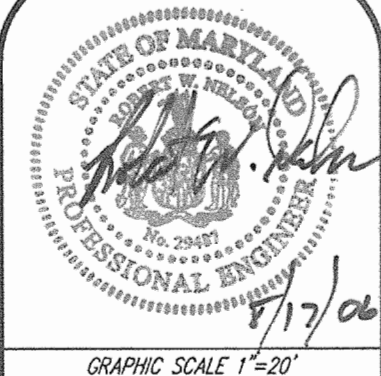
REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(865) 375-5642 FAX: (865) 379-6828

RBA
Civil Engineers & Planners
7141 Columbia, Maryland 21046
Phone: (410) 312-0986, Fax: (410) 312-0897



SITE UTILITY PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND

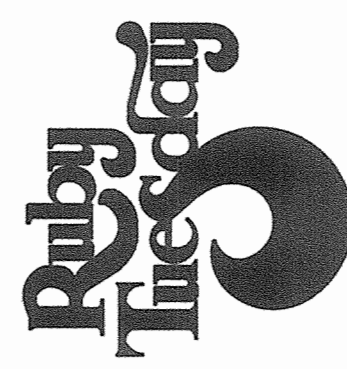


DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-04 UTIL 3482
PLOTTED: 06/17/06
DRAWN BY: WLB

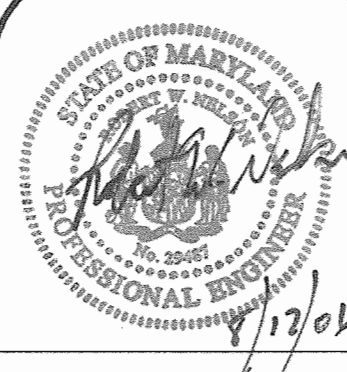
UTILITY PLAN
SHEET C-5 of 20

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(662) 379-6642 FAX: (662) 379-6628

The RBBA-Group
ENGINEERS & ARCHITECTS • PLANNERS
7164 Columbia Gateway Drive, Suite 205
Columbia, Maryland 21046
Phone (410) 312-0660, Fax (410) 312-0897

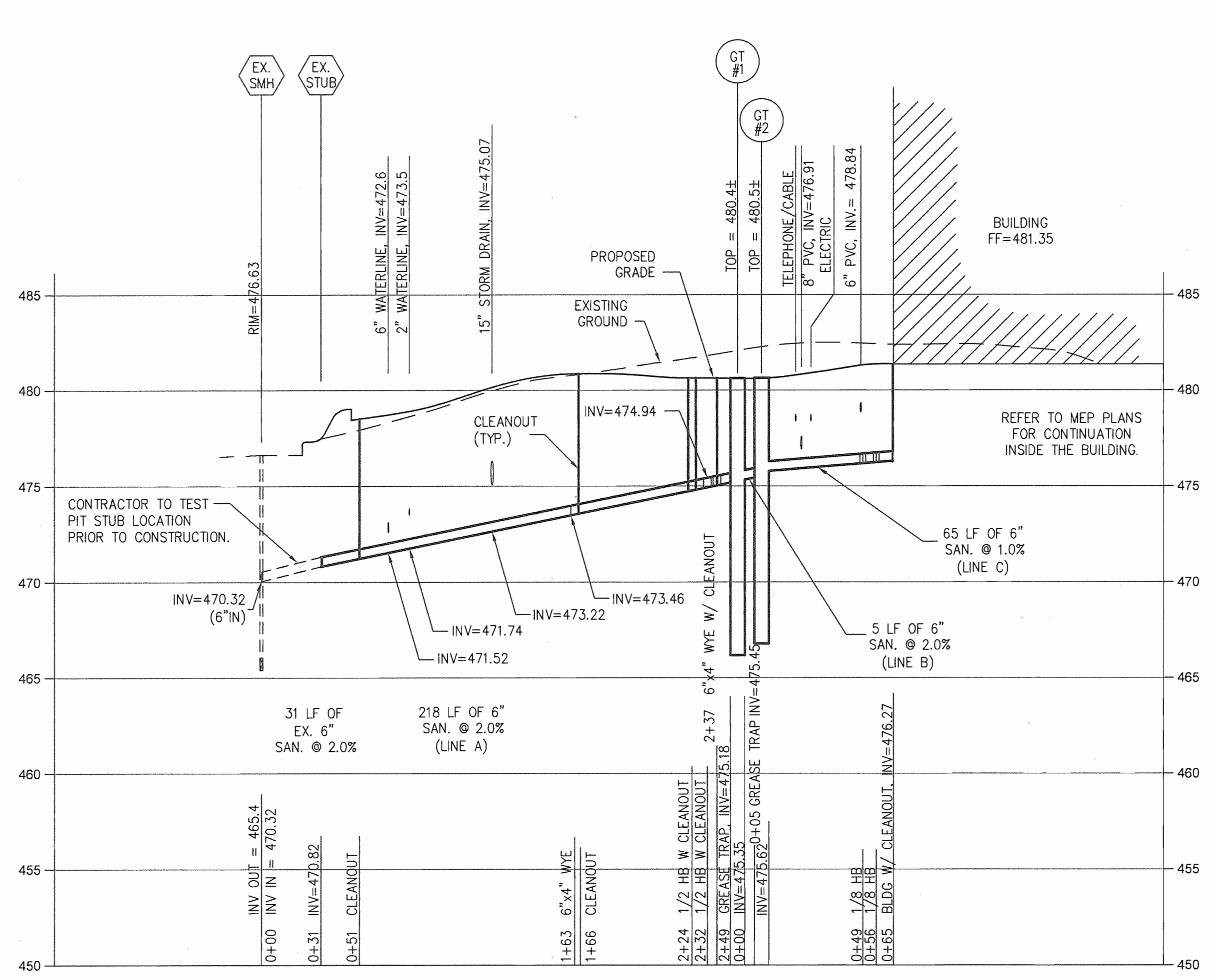


SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND

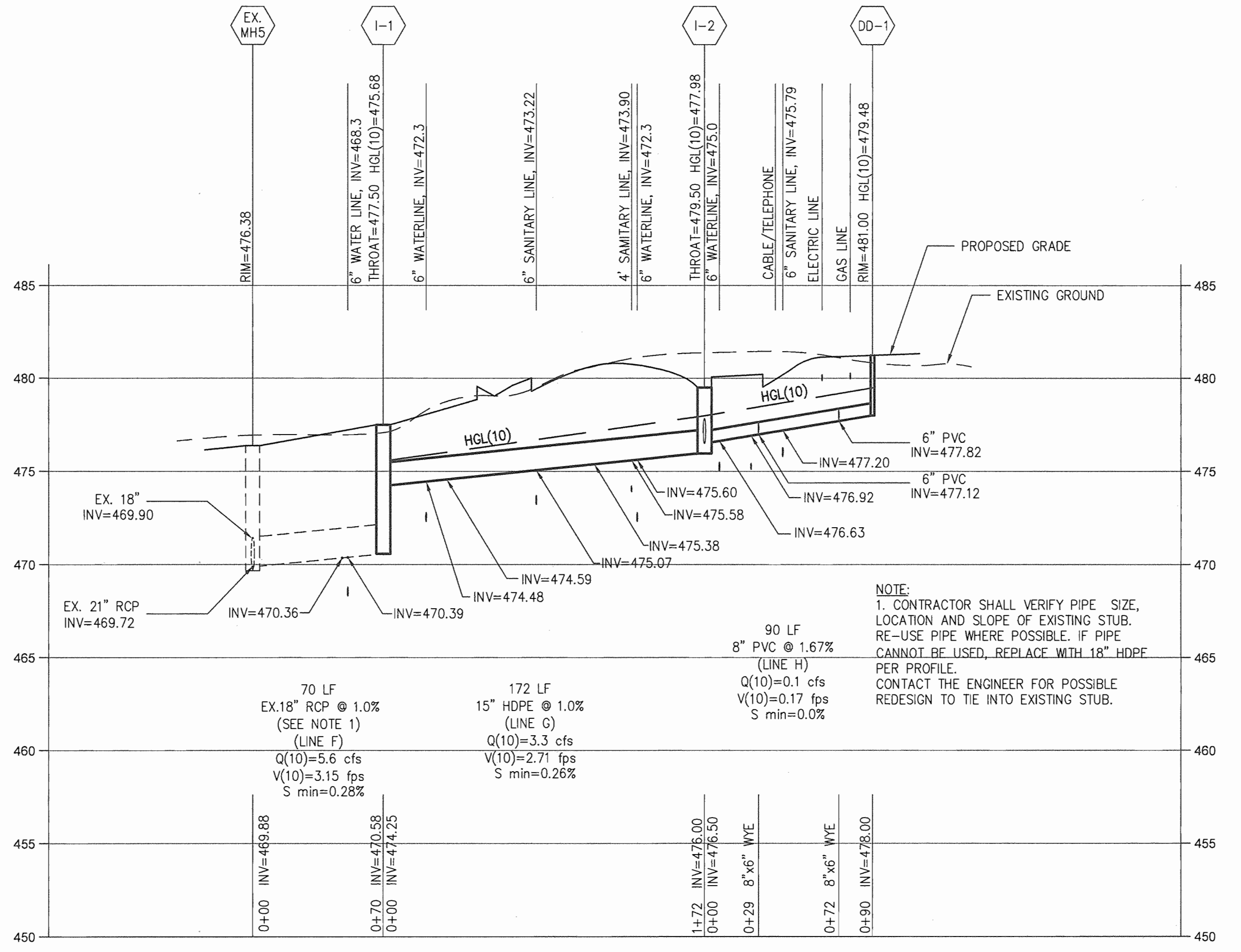


DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-06-PROF 3482
PLOTTED: 08/17/06
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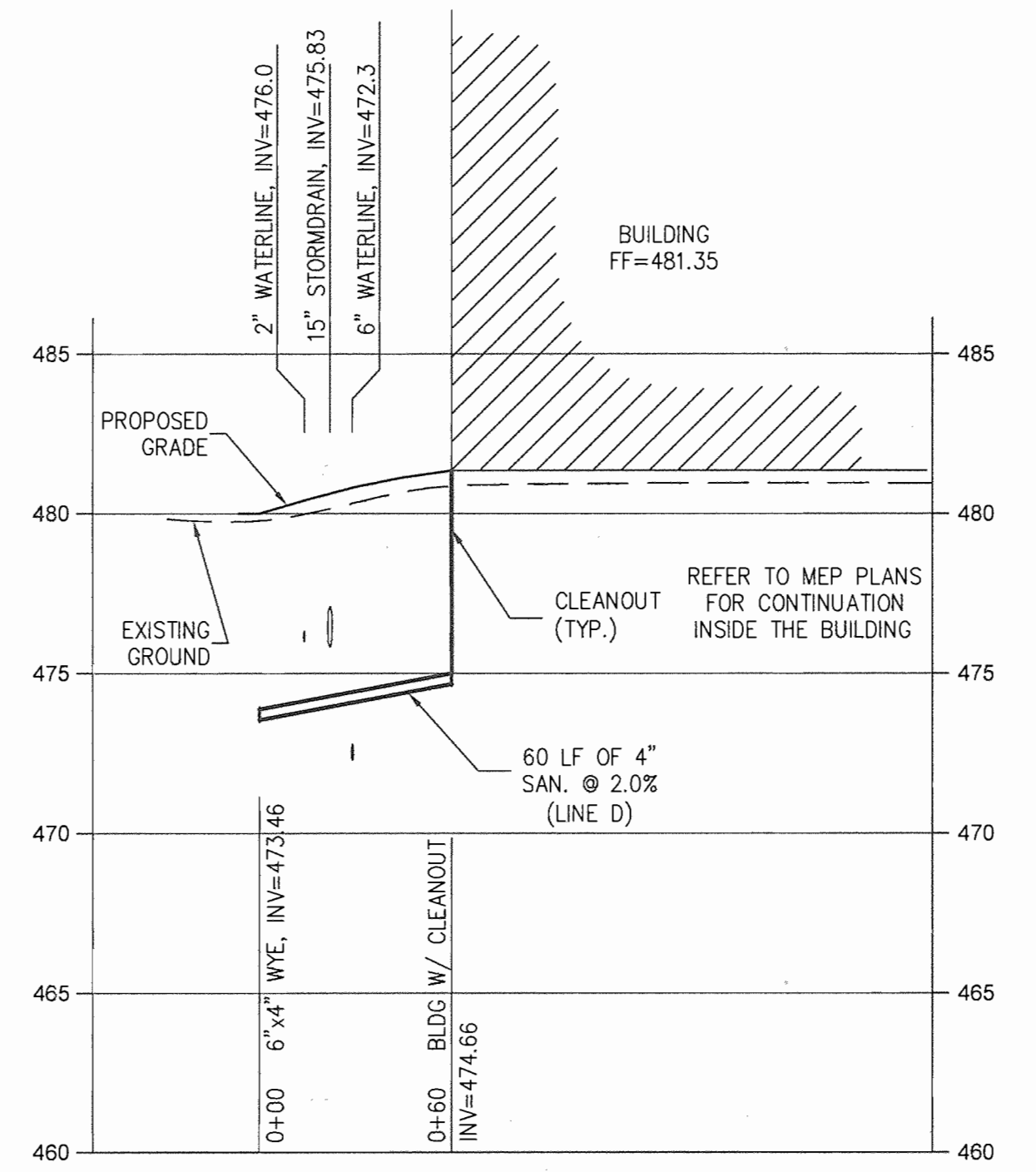
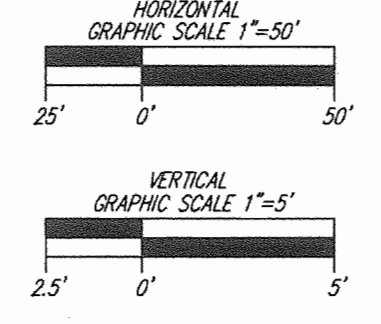
PROFILES
SHEET C-6
7 of 20



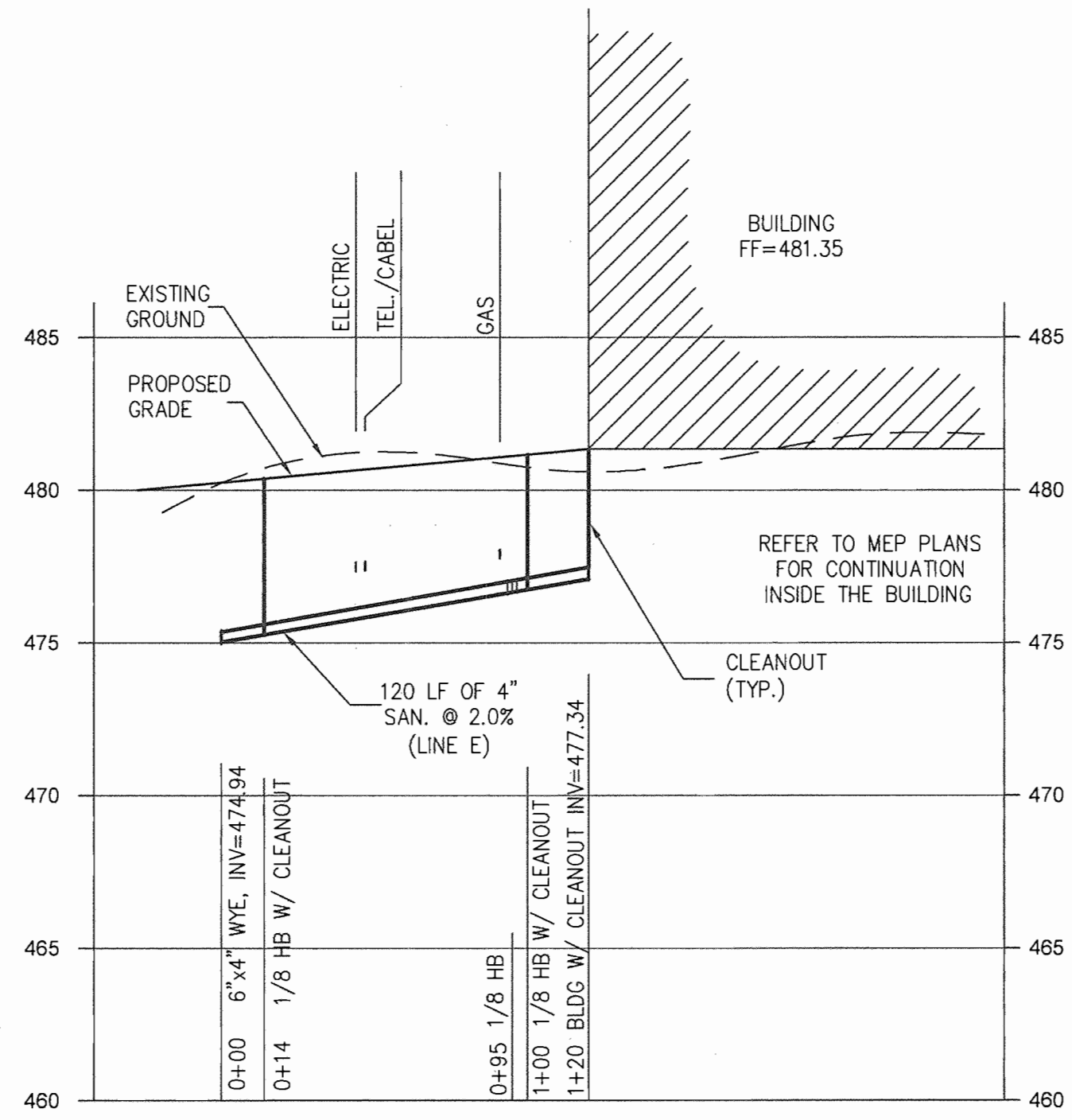
SANITARY SEWER LINE 'A', 'B', AND 'C'



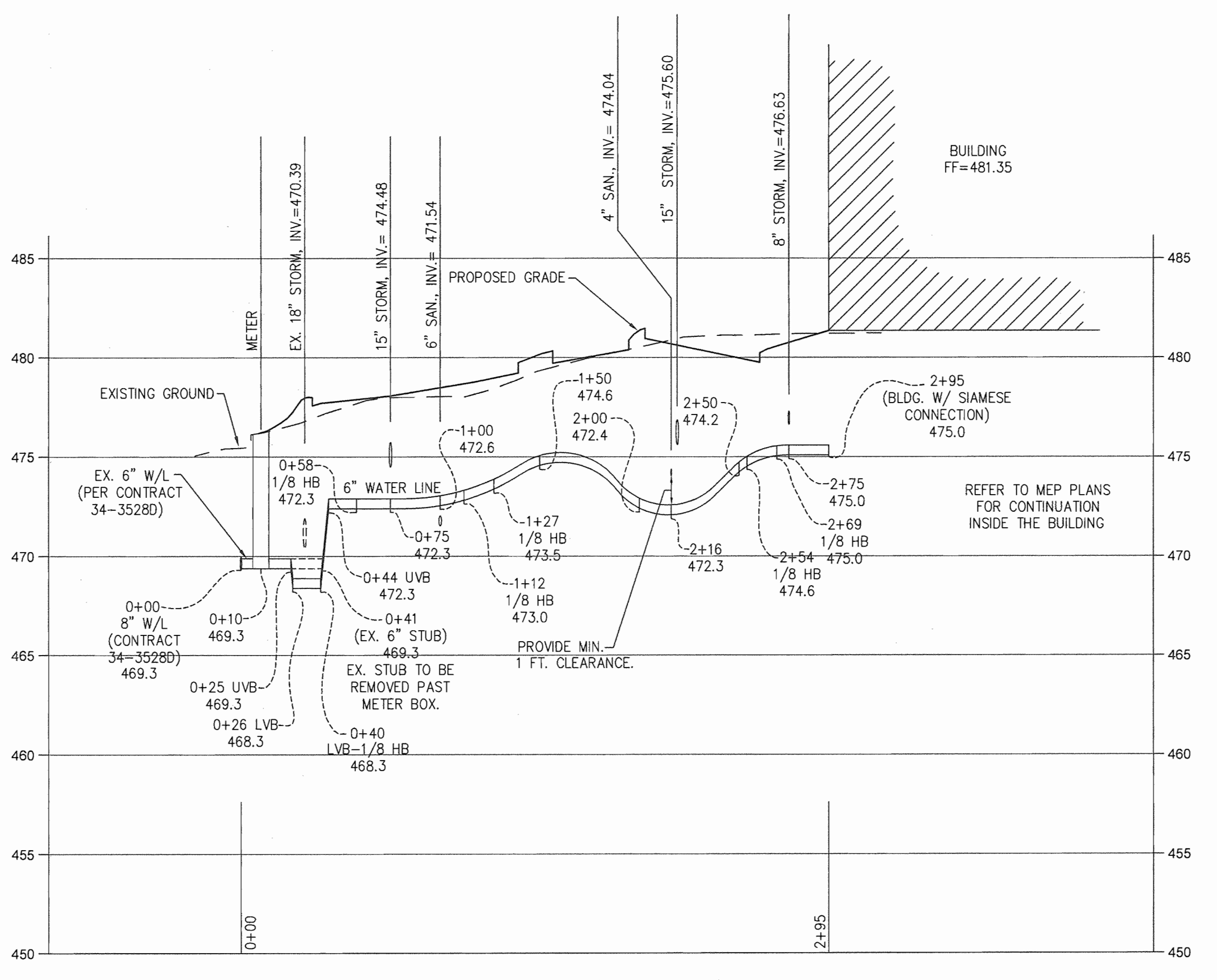
STORM DRAIN PROFILE LINE 'F', 'G', AND 'H'



SANITARY SEWER LINE 'D'



SANITARY SEWER LINE 'E'



6" DOMESTIC/FIRE LINE PROFILE

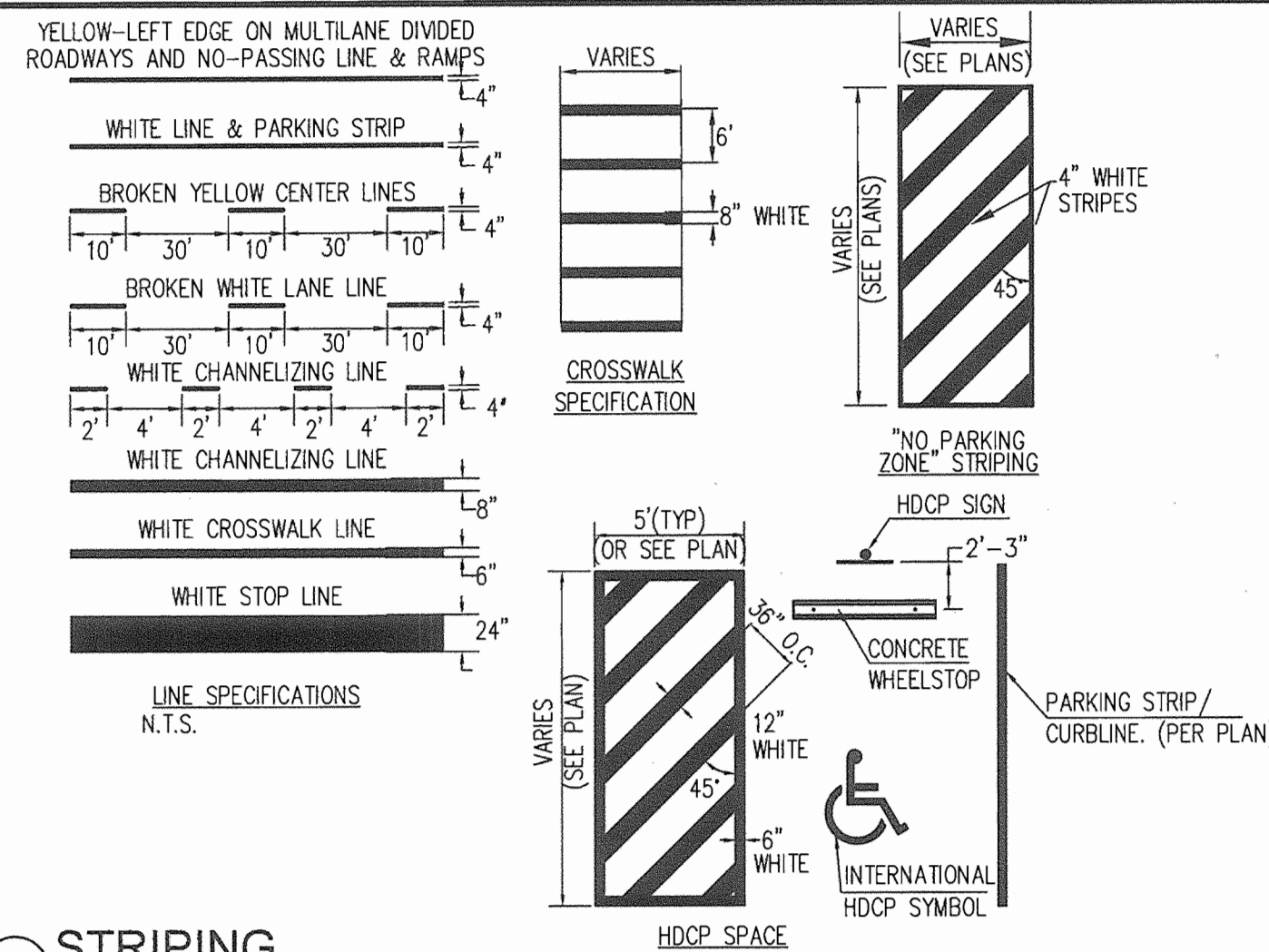
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

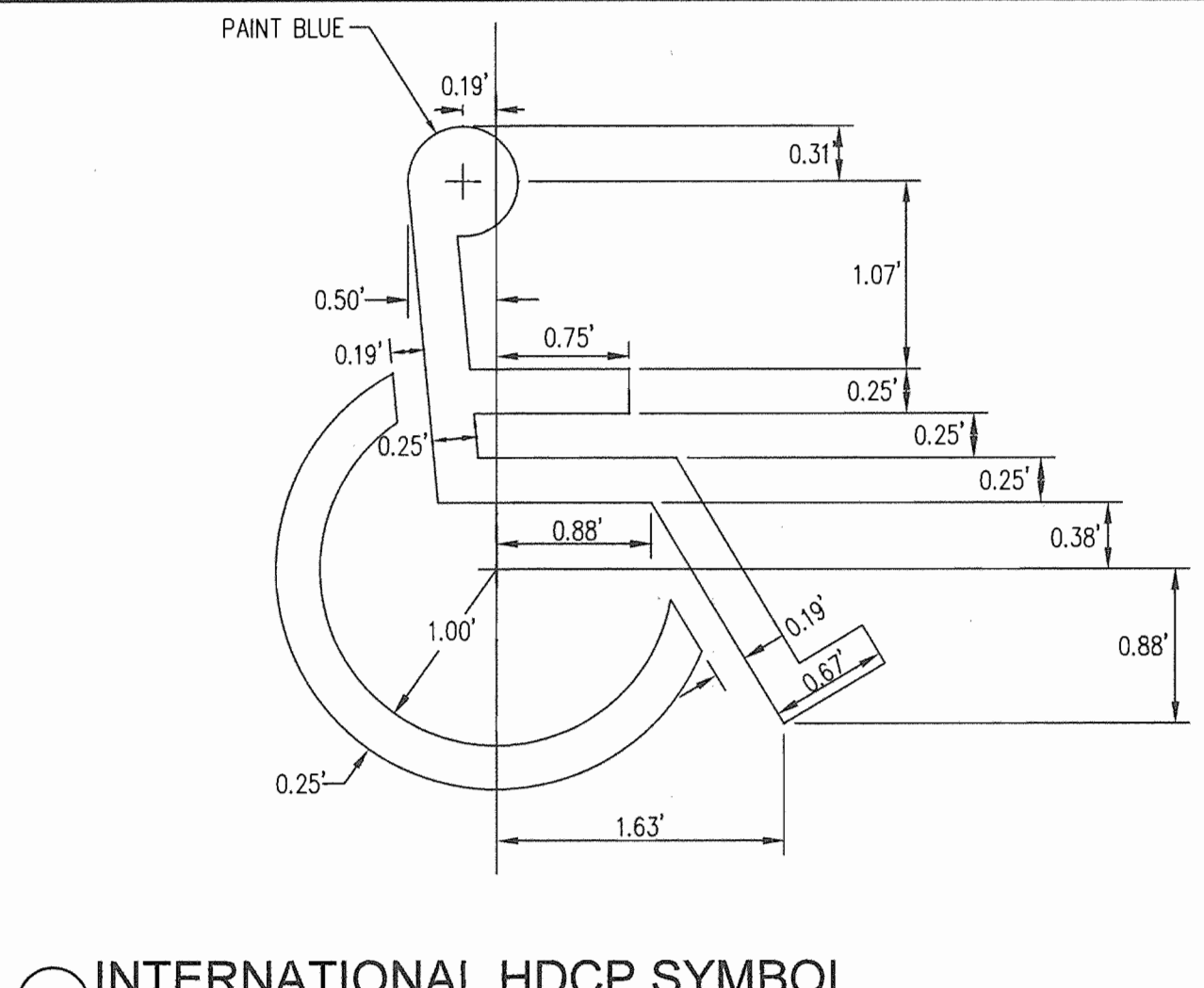
APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

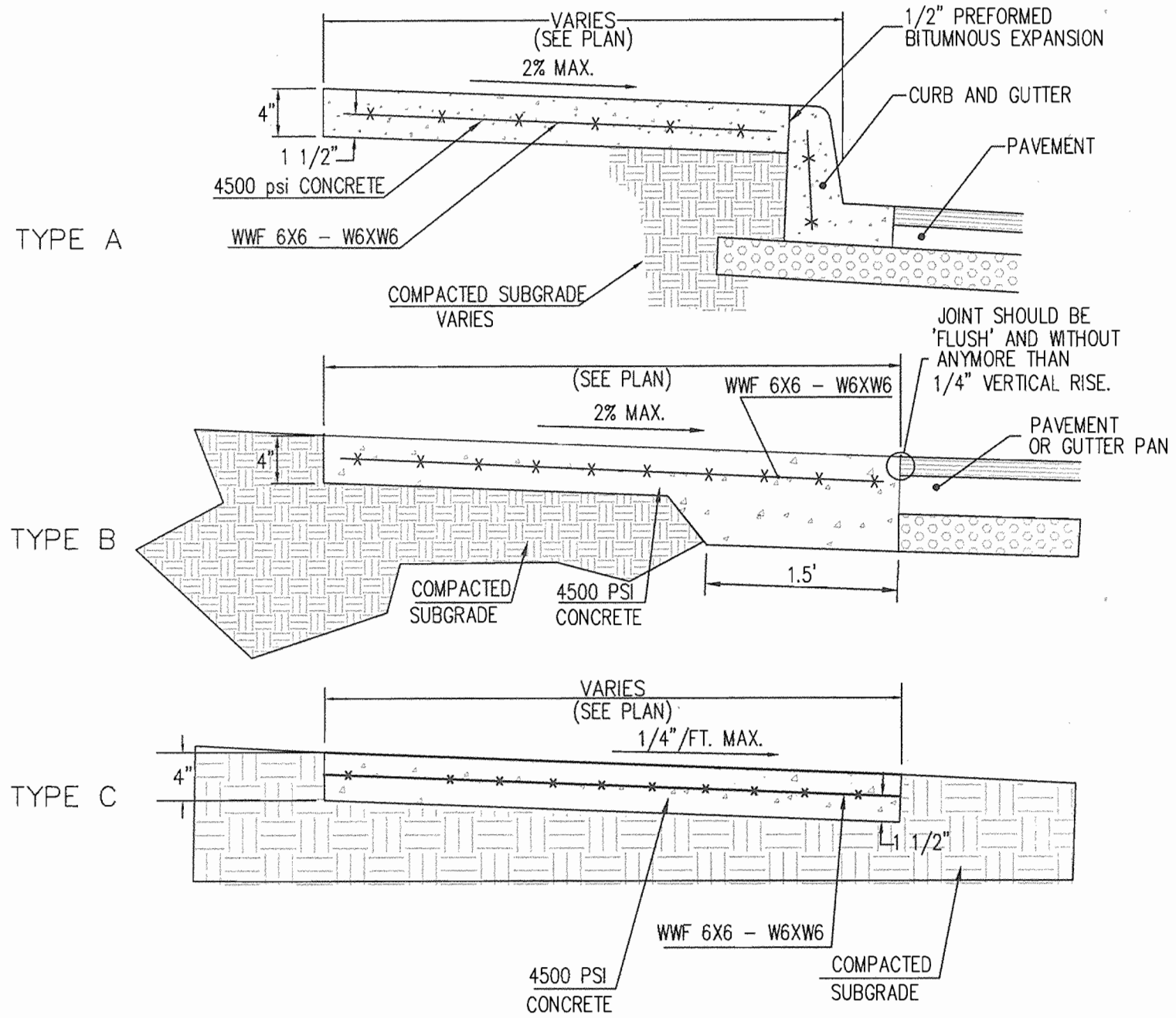
APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 06/08/06



1 STRIPING
SCALE: N.T.S.

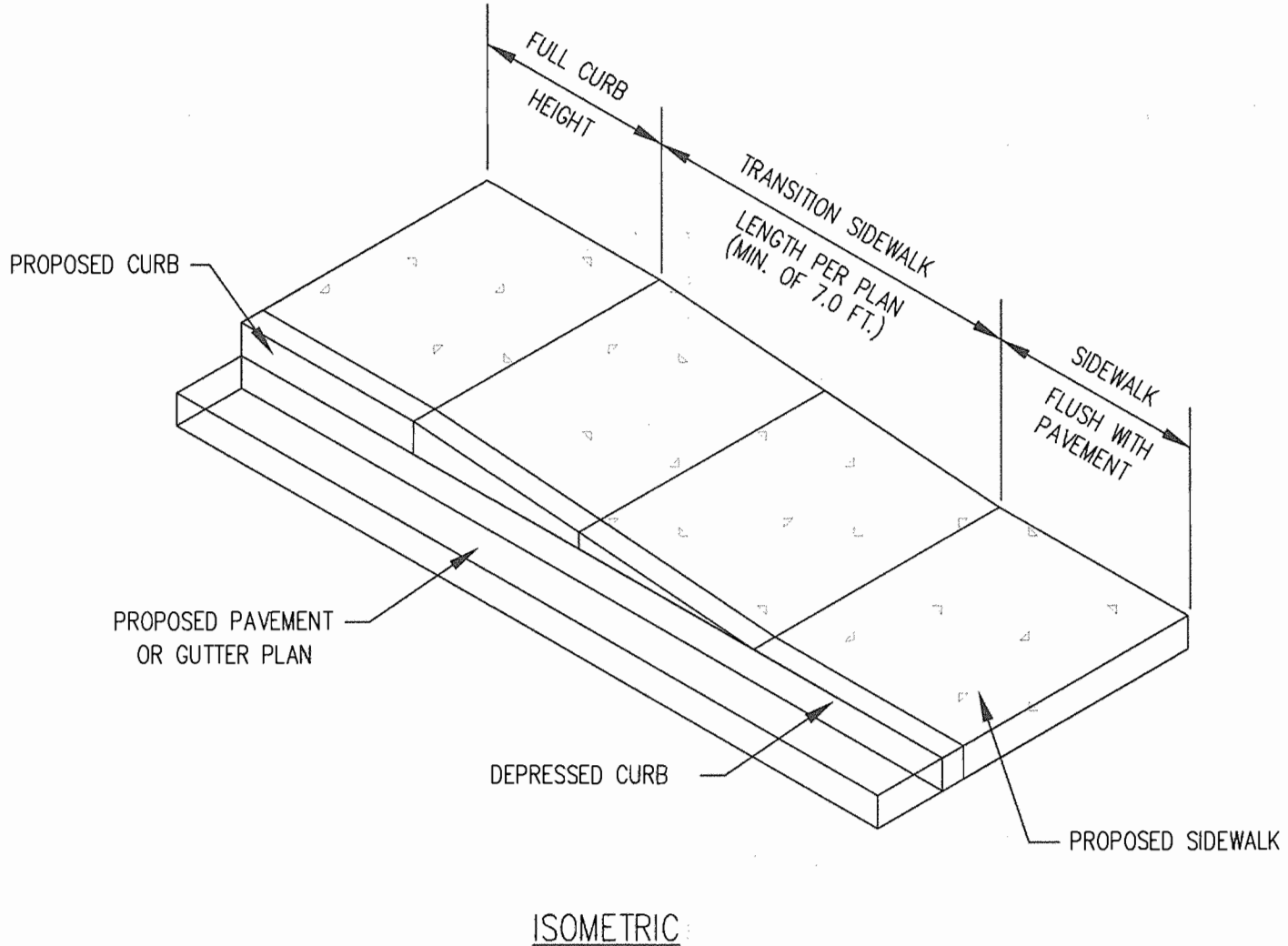


2 INTERNATIONAL HDCP SYMBOL
SCALE: N.T.S.

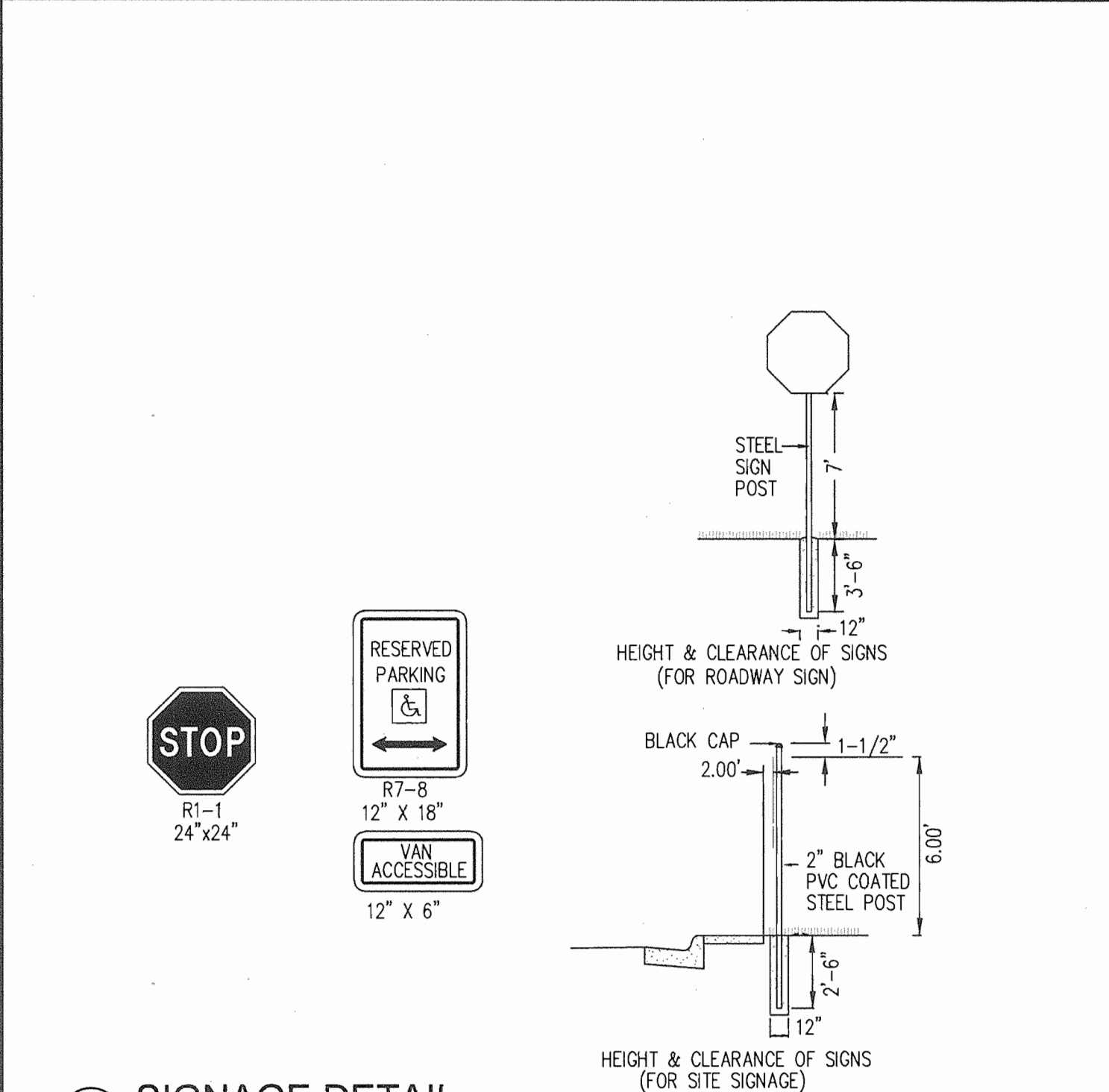


- NOTES
- SIDEWALK TO BE SCUBED IN 5' MAXIMUM SQUARES
 - EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART.
 - 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINT TO BE KEPT 1/4" BELOW THE SIDEWALK.

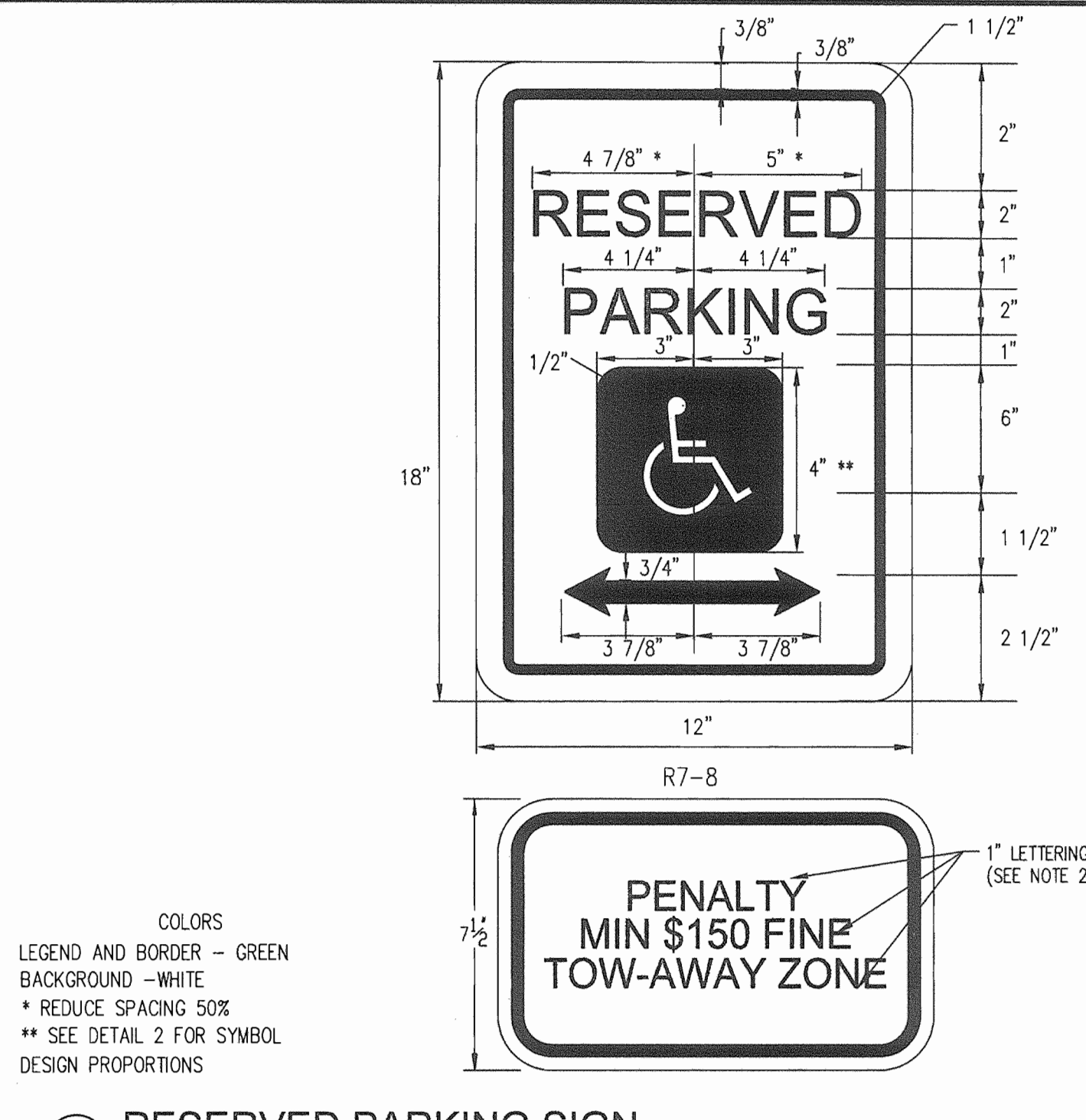
5 SIDEWALK DETAILS
SCALE: N.T.S.



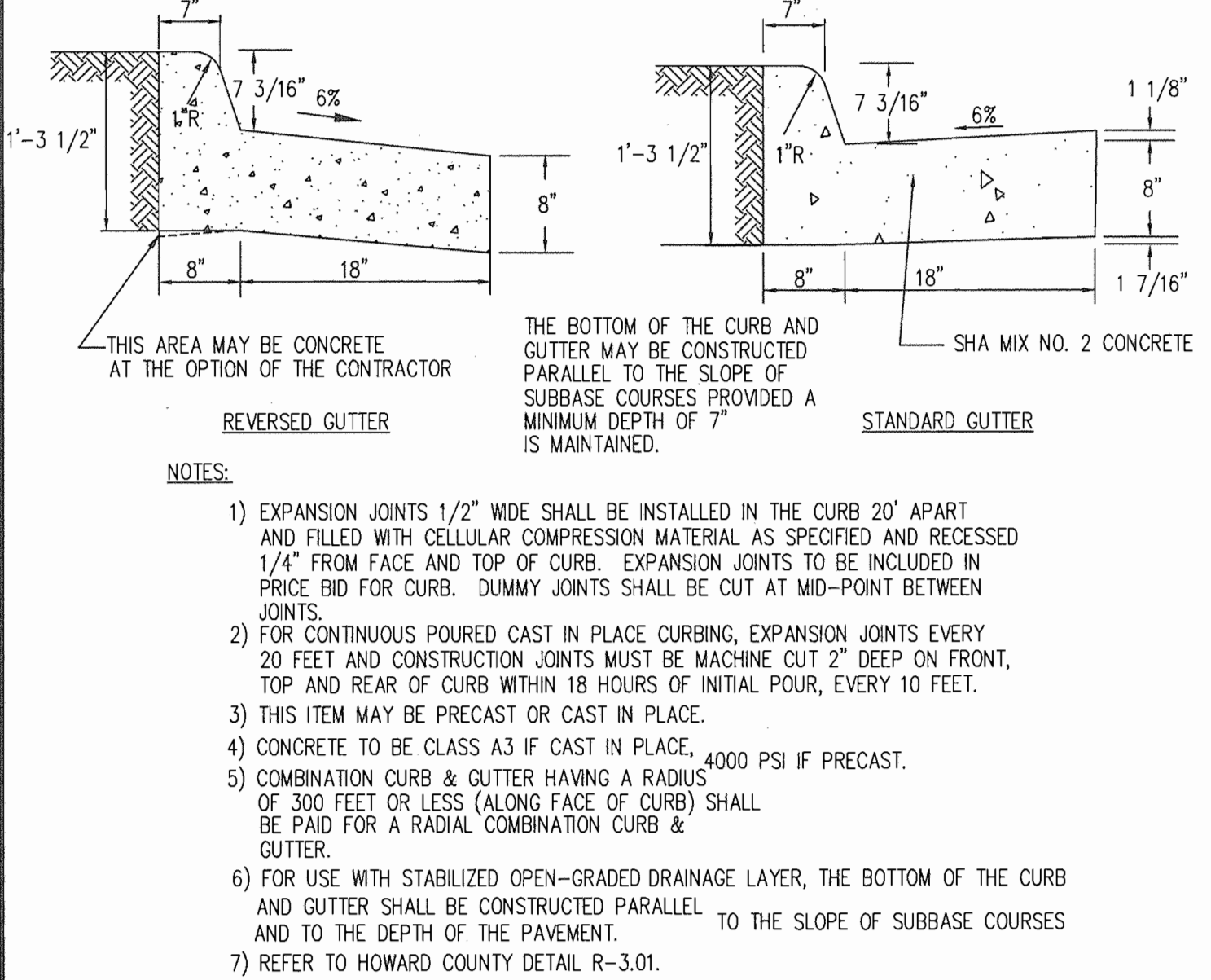
6 CURB TRANSITION
SCALE: N.T.S.



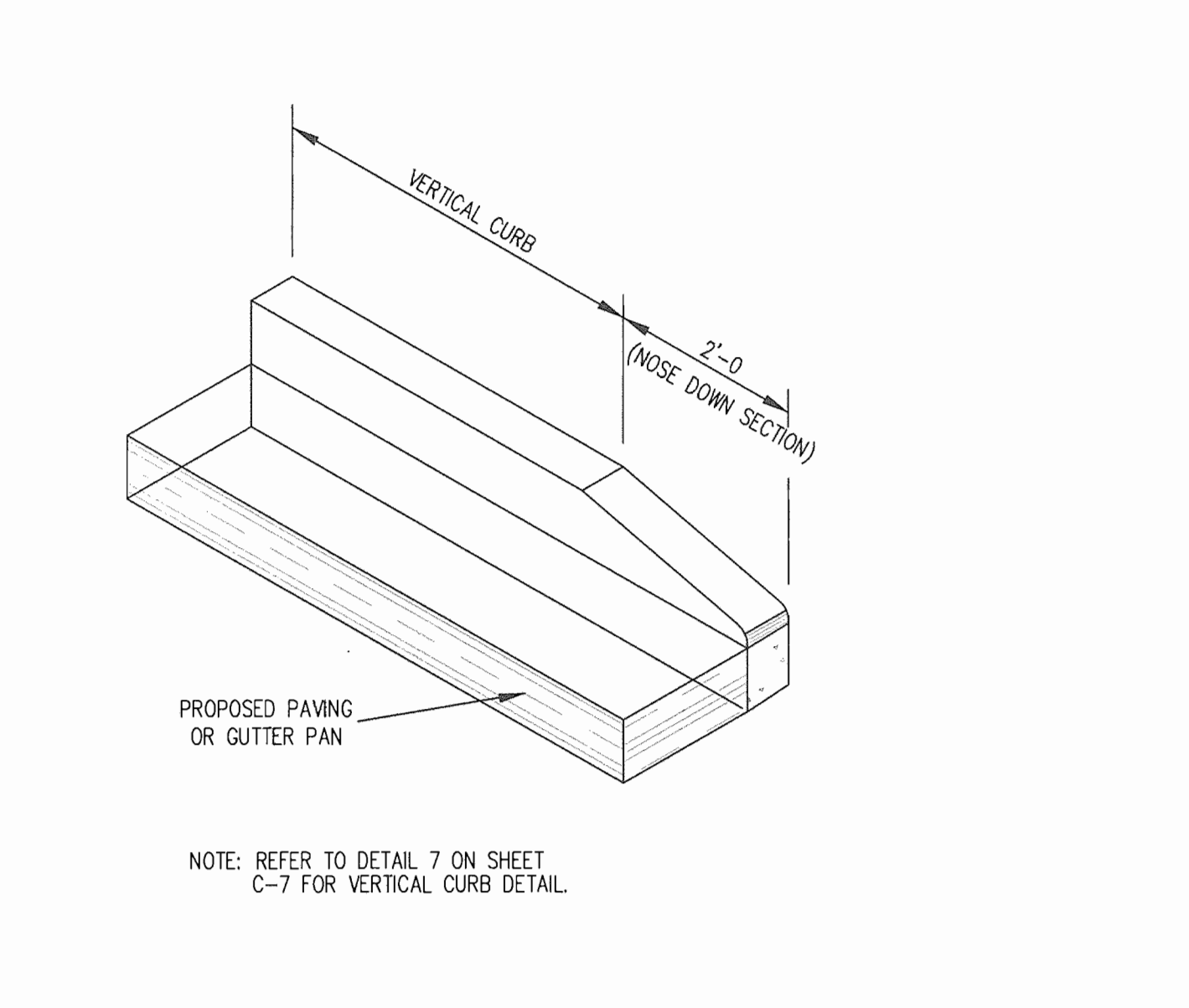
3 SIGNAGE DETAIL
SCALE: N.T.S.



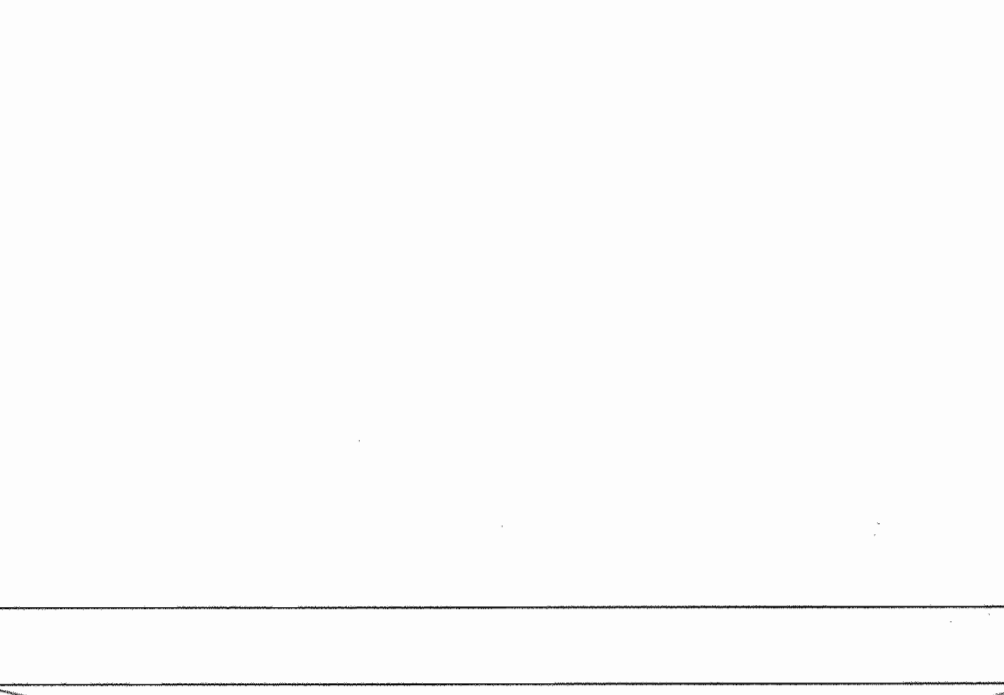
4 RESERVED PARKING SIGN
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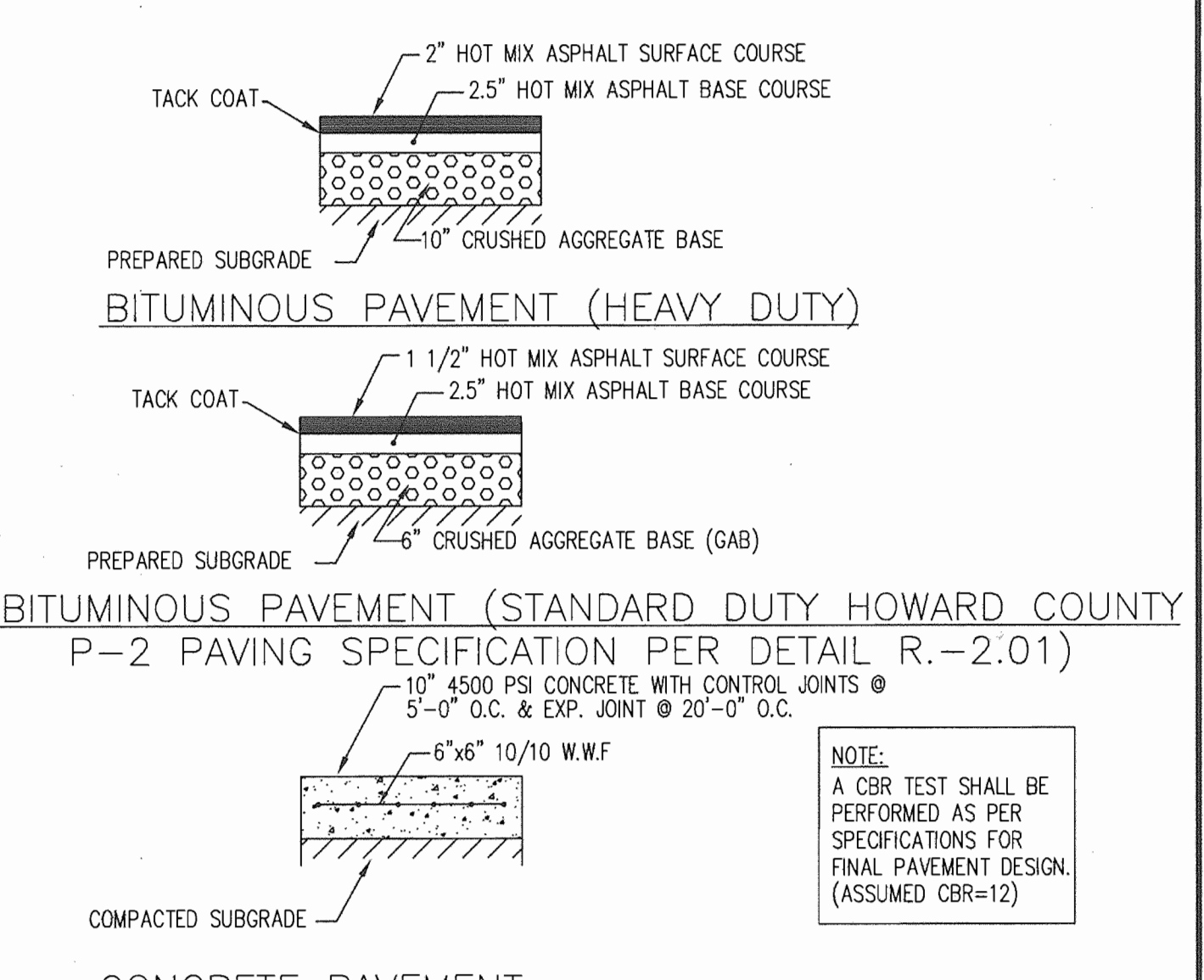
7 CURB AND GUTTER
SCALE: N.T.S.



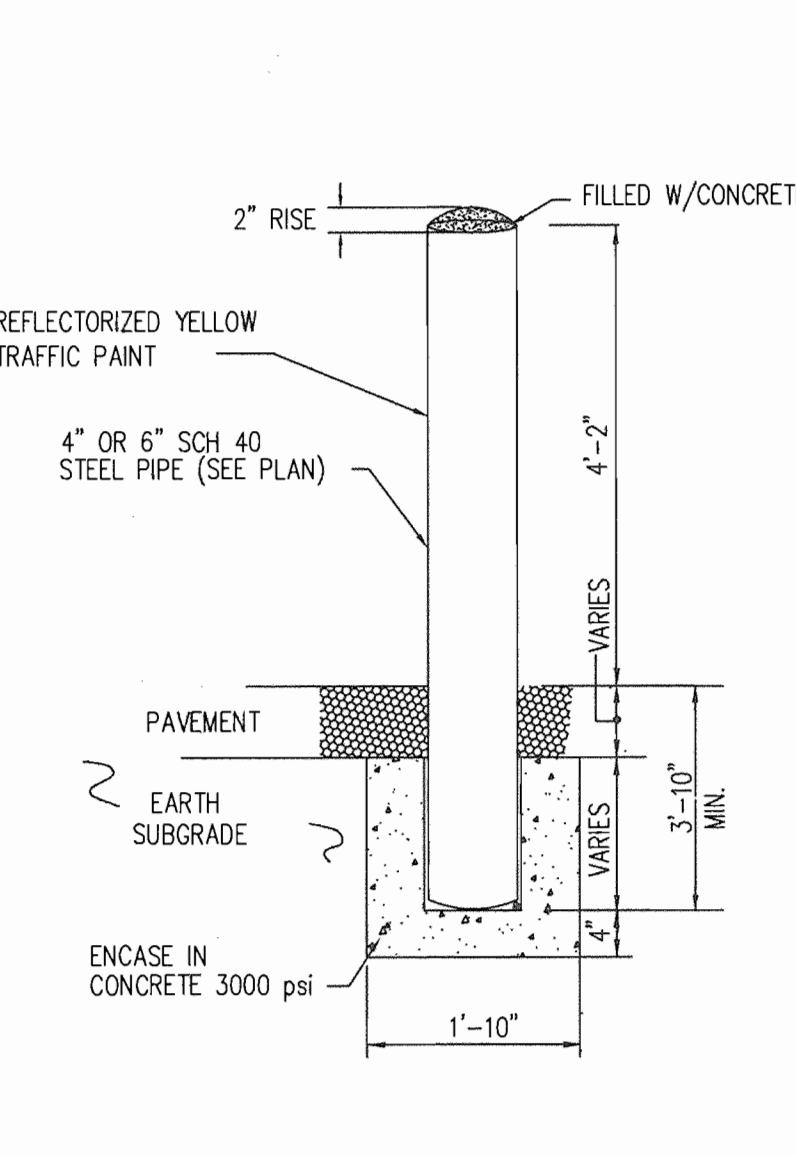
8 CONCRETE CURB - NOSE DOWN
SCALE: N.T.S.



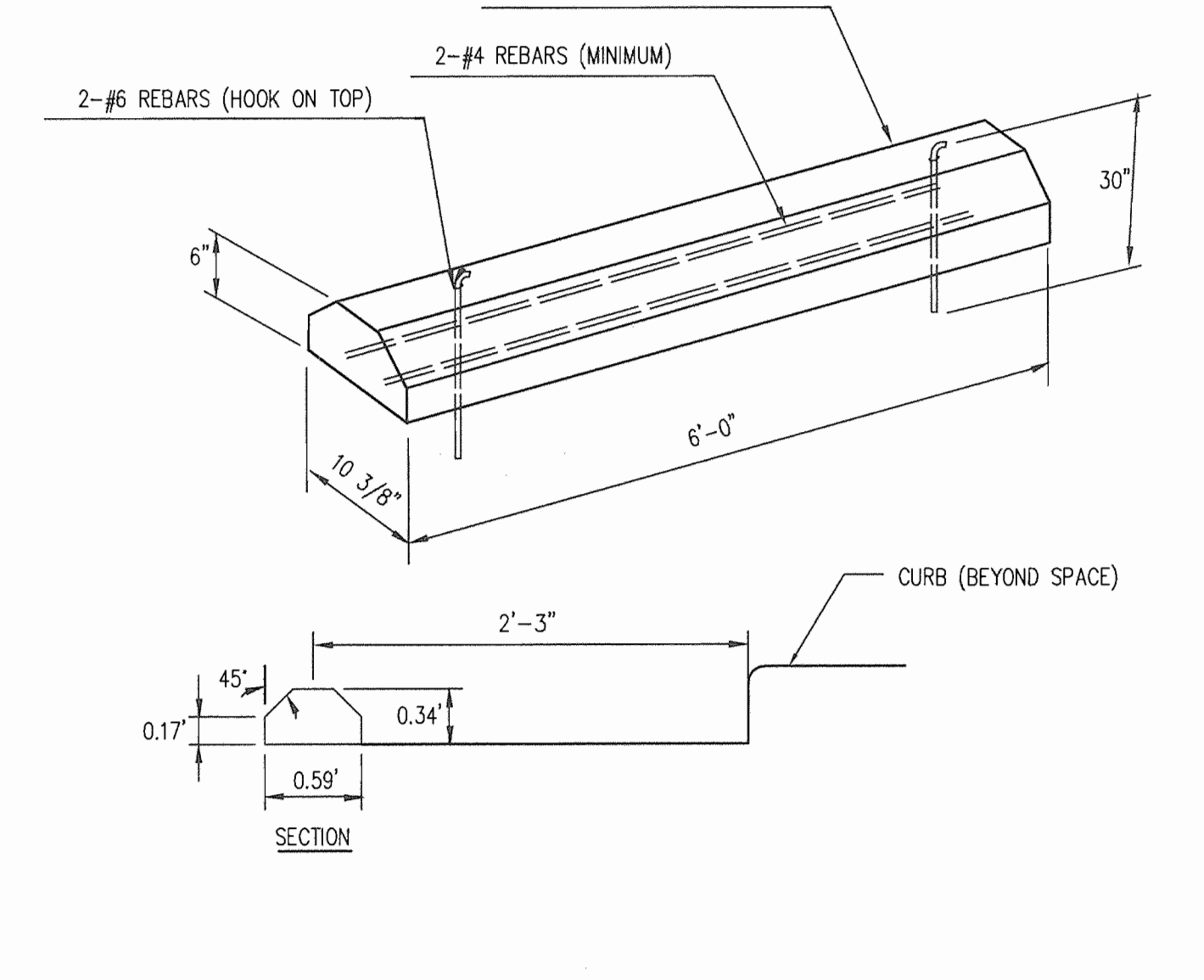
9 DEPRESSED CURB
SCALE: N.T.S.



10 PAVEMENT SECTIONS
SCALE: N.T.S.



11 BOLLARD
SCALE: N.T.S.



12 WHEEL STOP
SCALE: N.T.S.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER: HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DEVELOPMENT ENGINEERING DIVISION

CHEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR

DATE: 8/30/06

DATE: 8/21/06

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 06/08/06

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(665) 379-5842 FAX: (665) 379-8628

The **RBA-Group**
ENGINEERS & ARCHITECTS & PLANNERS
7164 Columbia Gateway Drive, Suite 205
Columbia, Maryland 21046
Phone: (410) 312-0966, Fax: (410) 312-0997

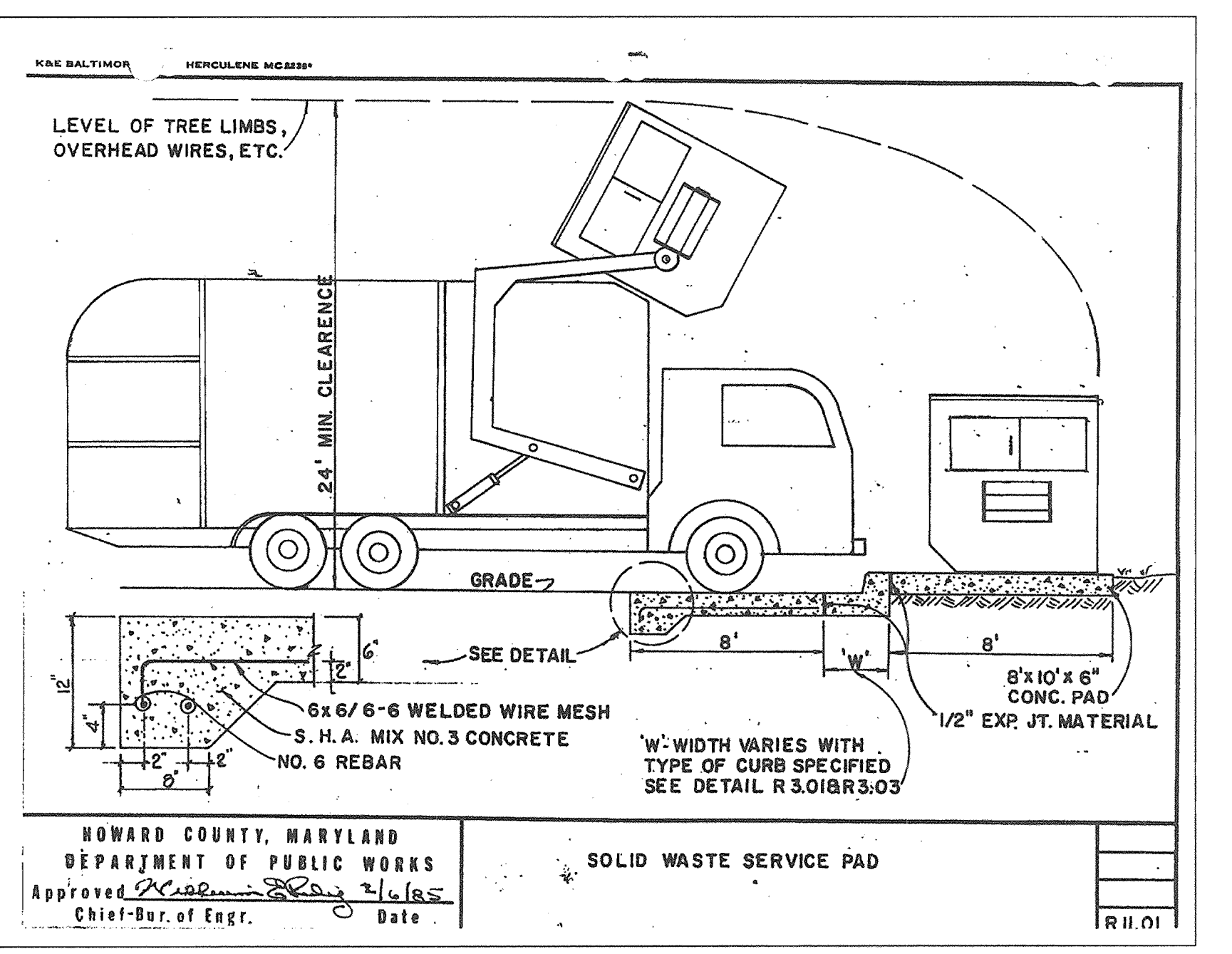
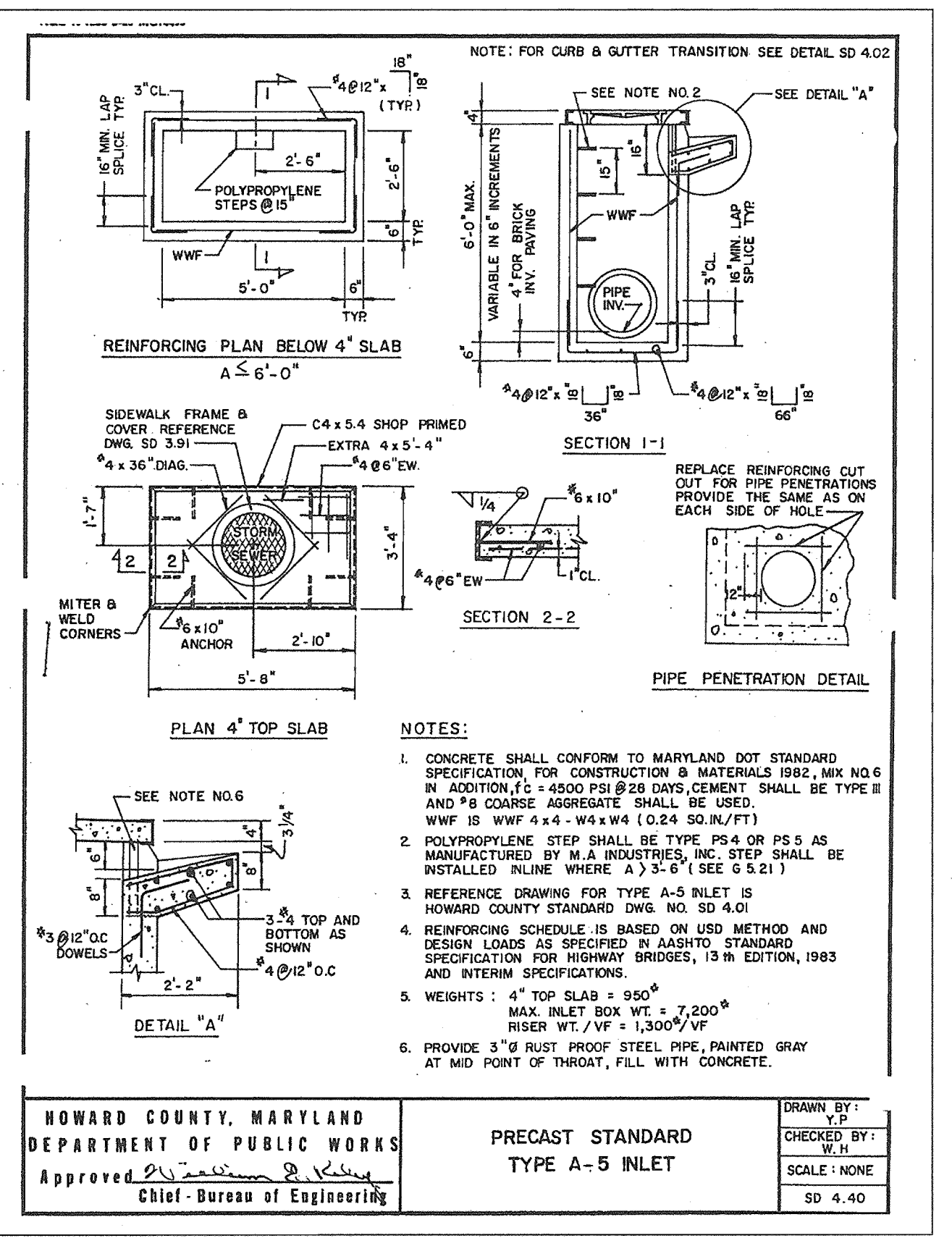
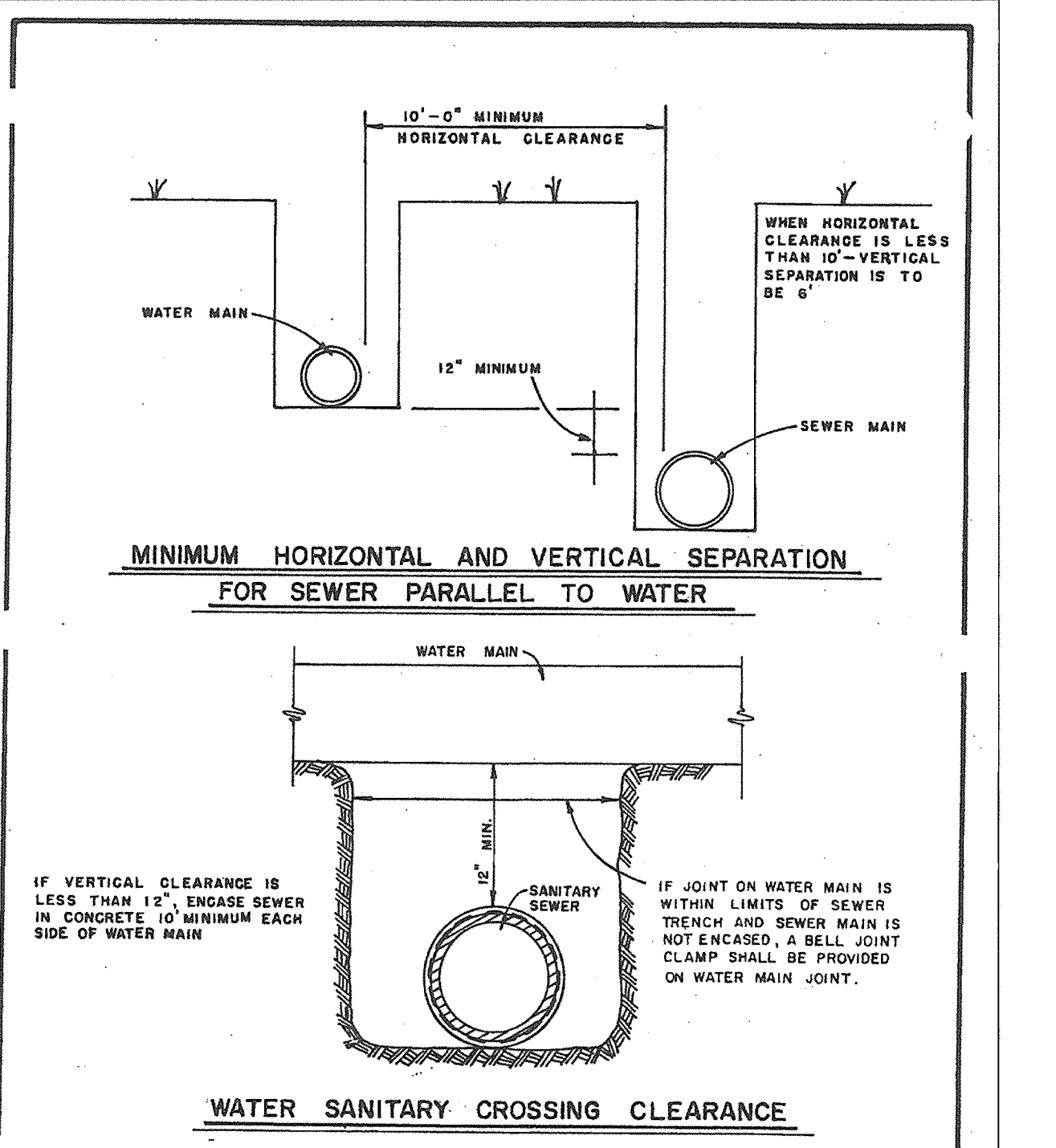
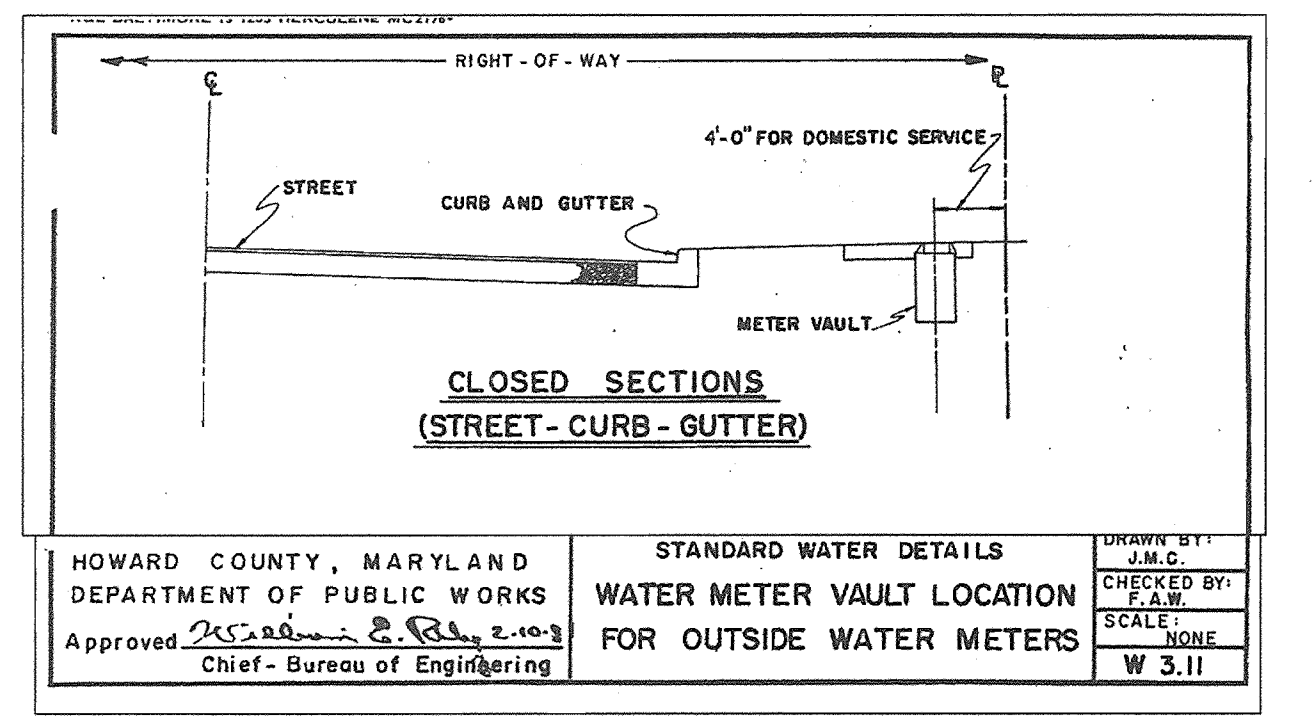
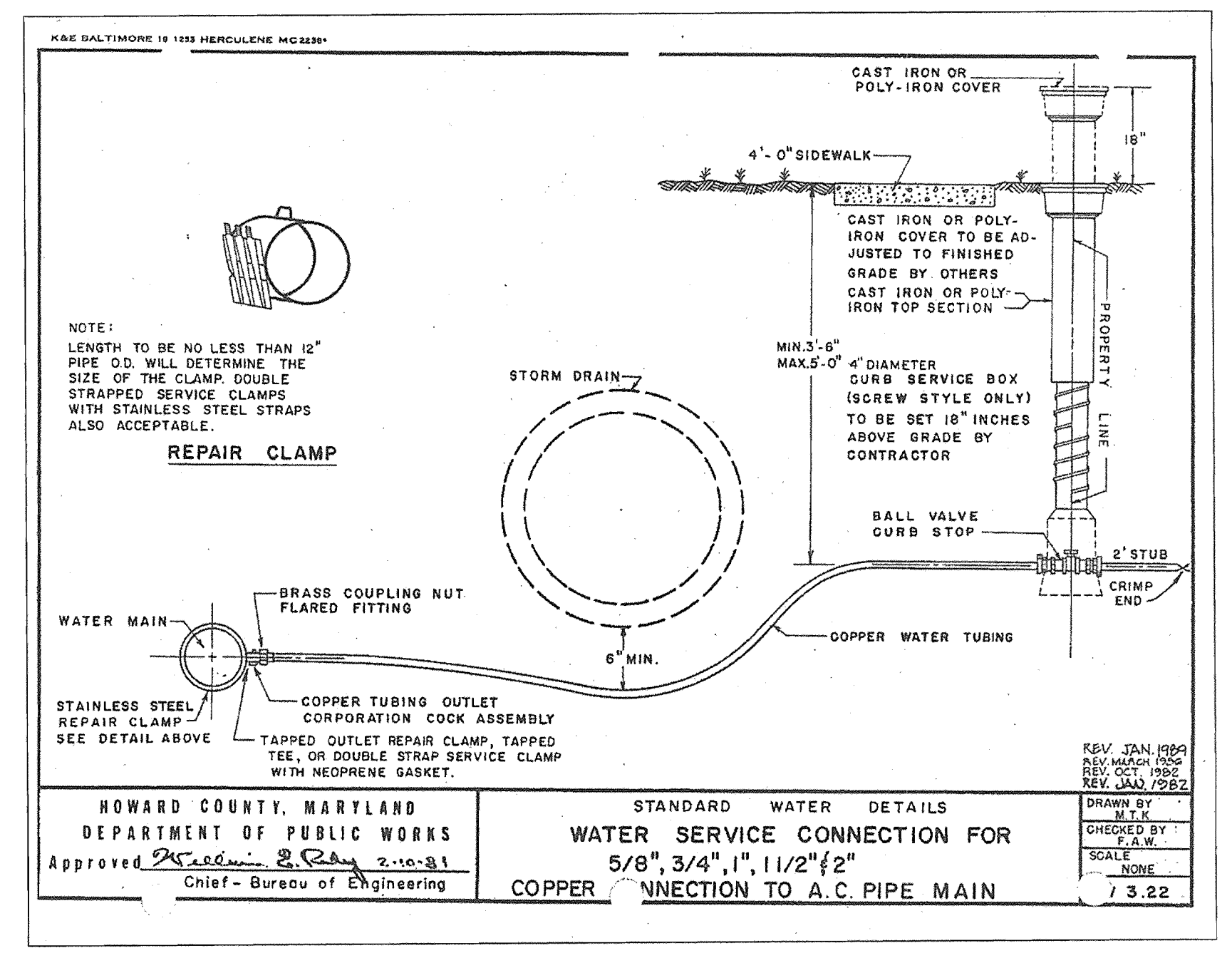
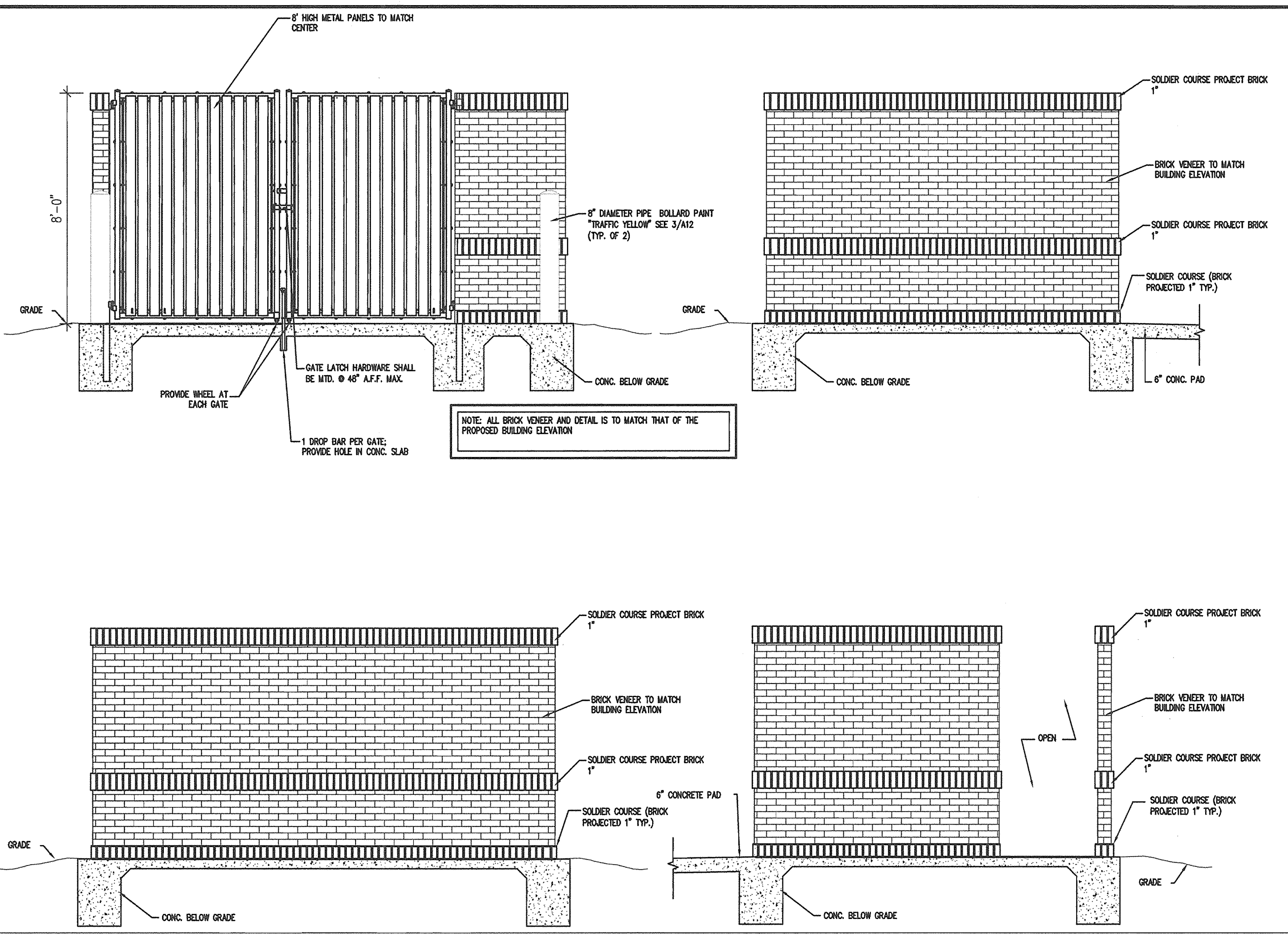
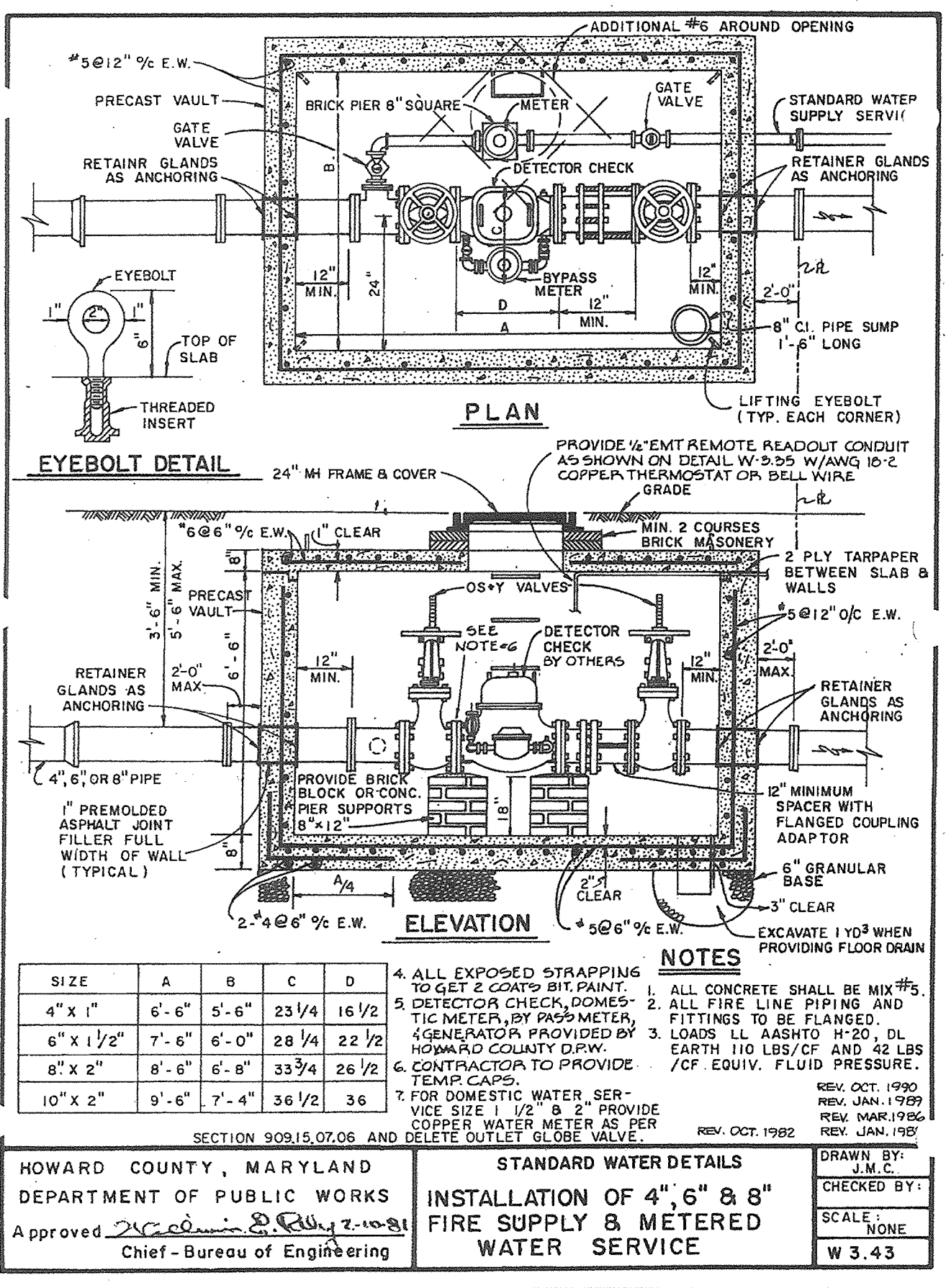
Ruby Tuesday

SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND

DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-07 DET1 3482
PLOTTED: 08/17/06
DRAWN BY: WLB

DETAILS 1

SHEET C-7
8 of 20



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DEVELOPMENT ENGINEERING DIVISION
[Signature]
DATE: 8/10/06

CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature]
DATE: 8/10/06

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 06/08/06

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

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APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 06/08/06

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(662) 379-5662 FAX: (662) 379-5628

RBA-
Group BY ANTHONY
5000 BRIDGE & FACILITIES GROUP
1064 Columbia Gateway Drive, Suite 205
Columbia, Maryland 21046
Phone (410) 312-0960, Fax: (410) 312-0897

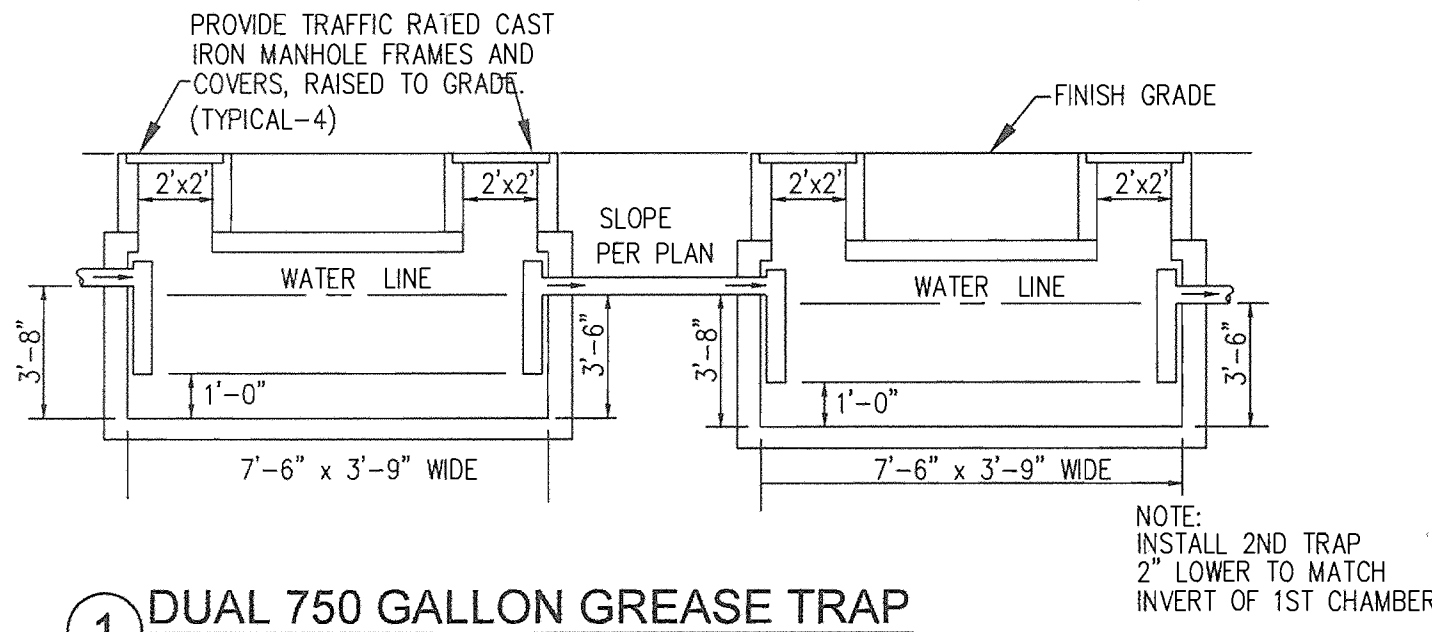
Ruby Tuesday

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RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND

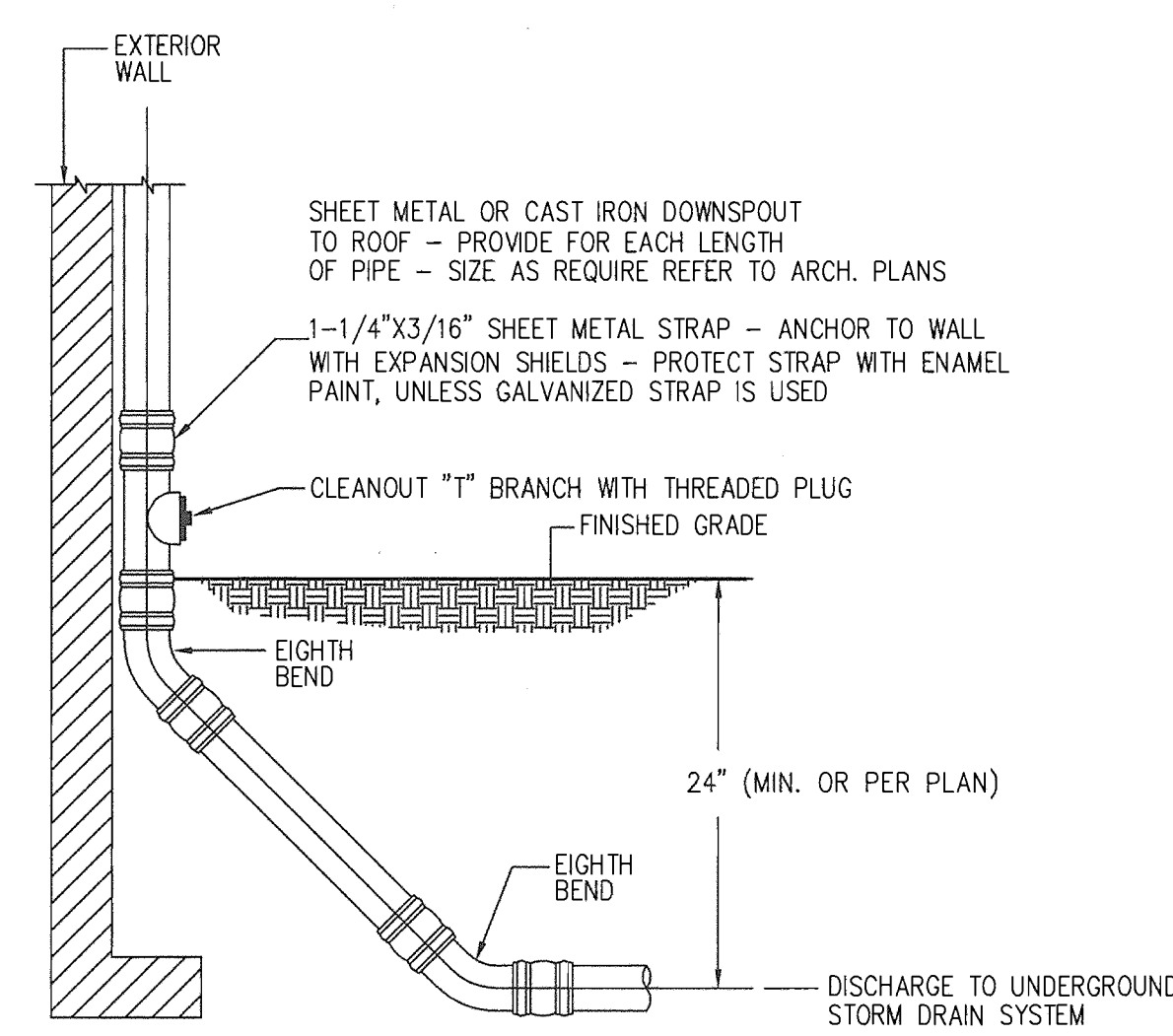
DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-08 DET2 3482
PLOTTED: 08/17/06
DRAWN BY: WLB
DETAILS II

SHEET C-8
9 of 20

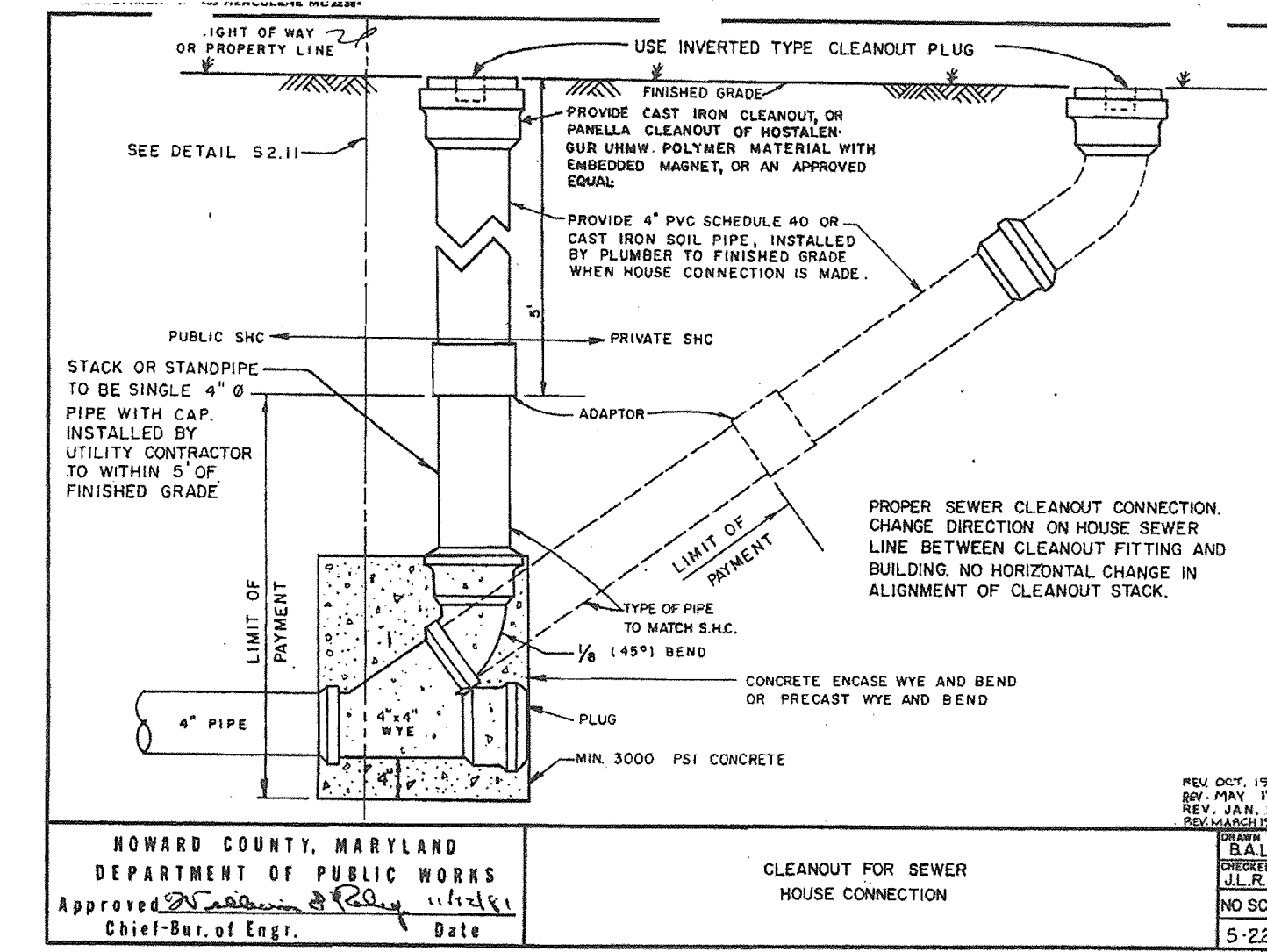
- NOTES:
1. PROVIDE TWO-WAY CLEANOUTS BEFORE AND AFTER GREASE TRAP.
 2. WALLS, TOP, AND BOTTOM SHALL BE 6" THICK CONCRETE WITH #5 RODS, 6" o.c. EACH WAY.
 3. PRECAST UNIT MAY BE INSTALLED, PROVIDED IT IS CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE CODES AND PIPING IS AS SHOWN IN THIS DETAIL.
 4. PROVIDE BAFFLES IF REQUIRED BY LOCAL CODES.
 5. FIELD VERIFY EXACT LOCATION OF GREASE TRAP AND COORDINATE ITS LOCATION IN FIELD. THIS CONTRACTOR SHALL REPAIR ALL EXISTING PAVING AND UTILITIES DAMAGED DURING INSTALLATION.
 6. IF INSTALLED IN TRAFFIC AREA PROVIDE 6" THICK CONCRETE COLLAR OVER GREASE TRAP FLUSH WITH GRADE, TO EXTEND MINIMUM 12" PAST ALL SIDES OVER GREASE TRAP. PROVIDE #4 BARS 12" o.c. EACH WAY.



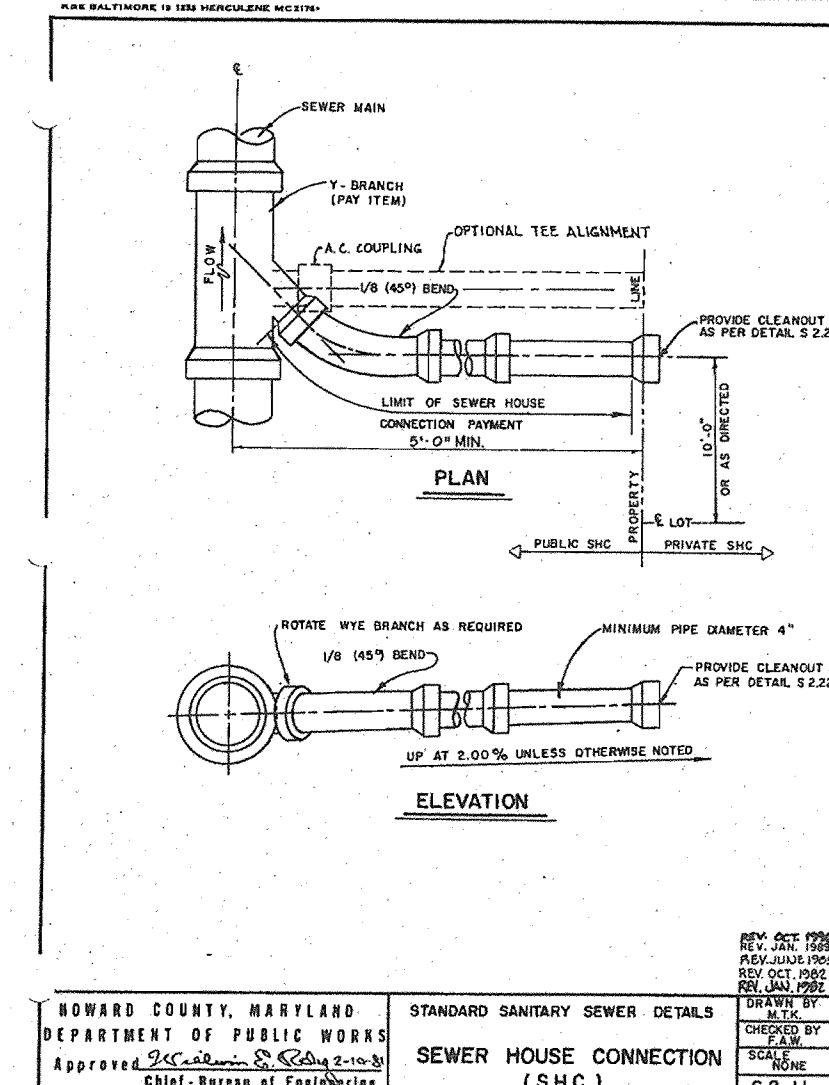
① DUAL 750 GALLON GREASE TRAP
SCALE: NTS



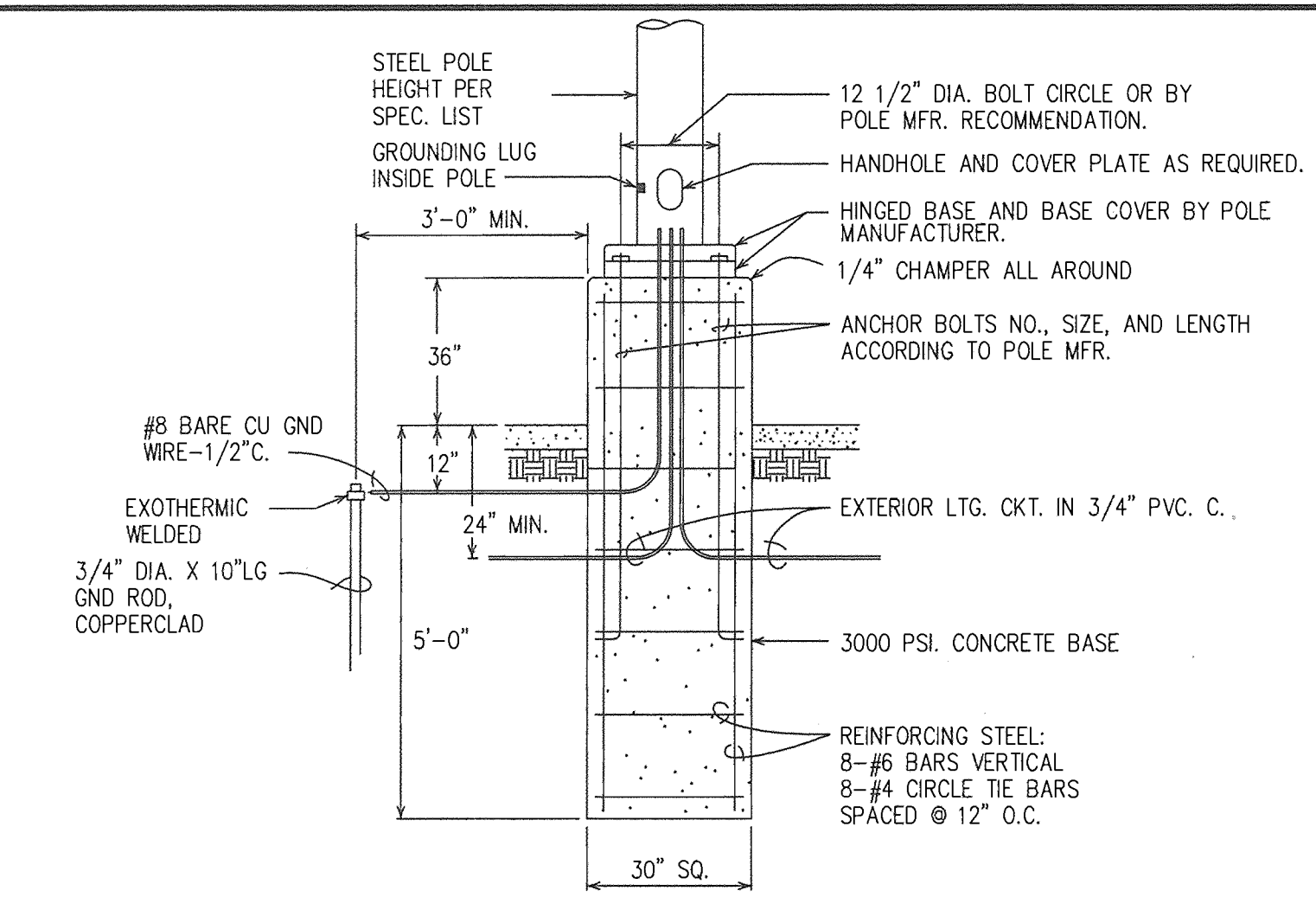
② DOWNSPOUT CONNECTION
SCALE: NTS



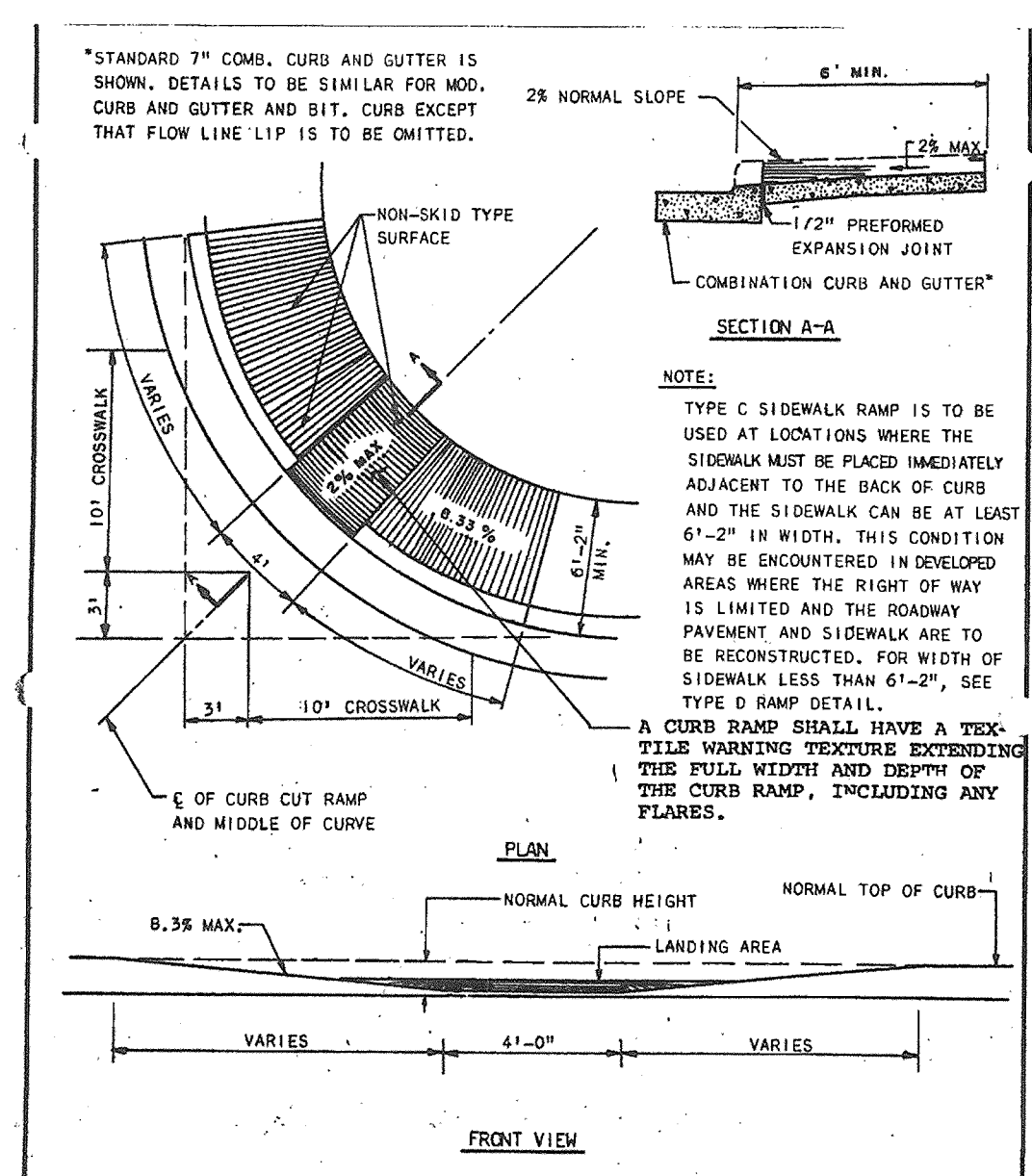
③ CLEANOUT FOR SEWER HOUSE CONNECTION
SCALE: NTS



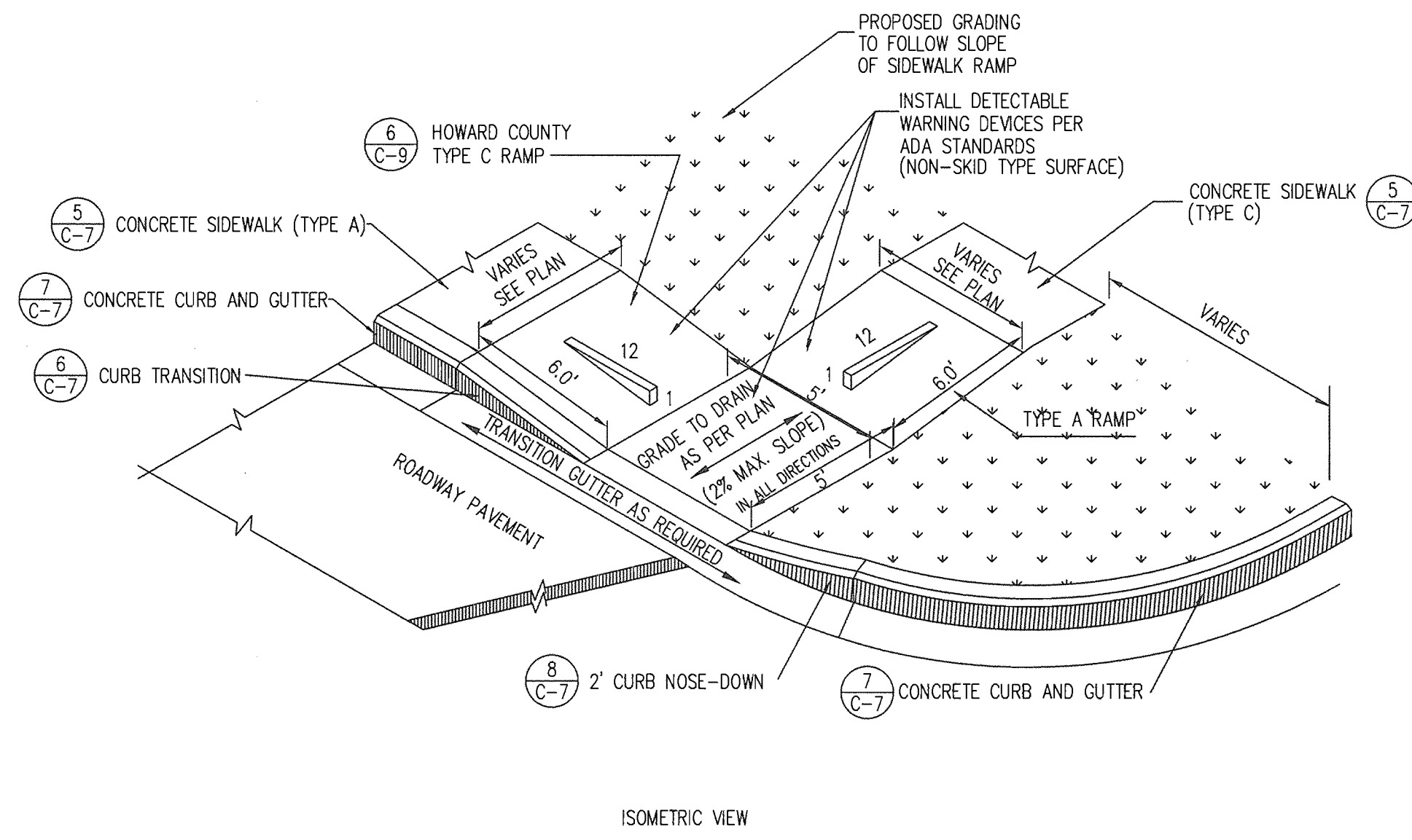
④ SEWER HOUSE CONNECTION
SCALE: NTS



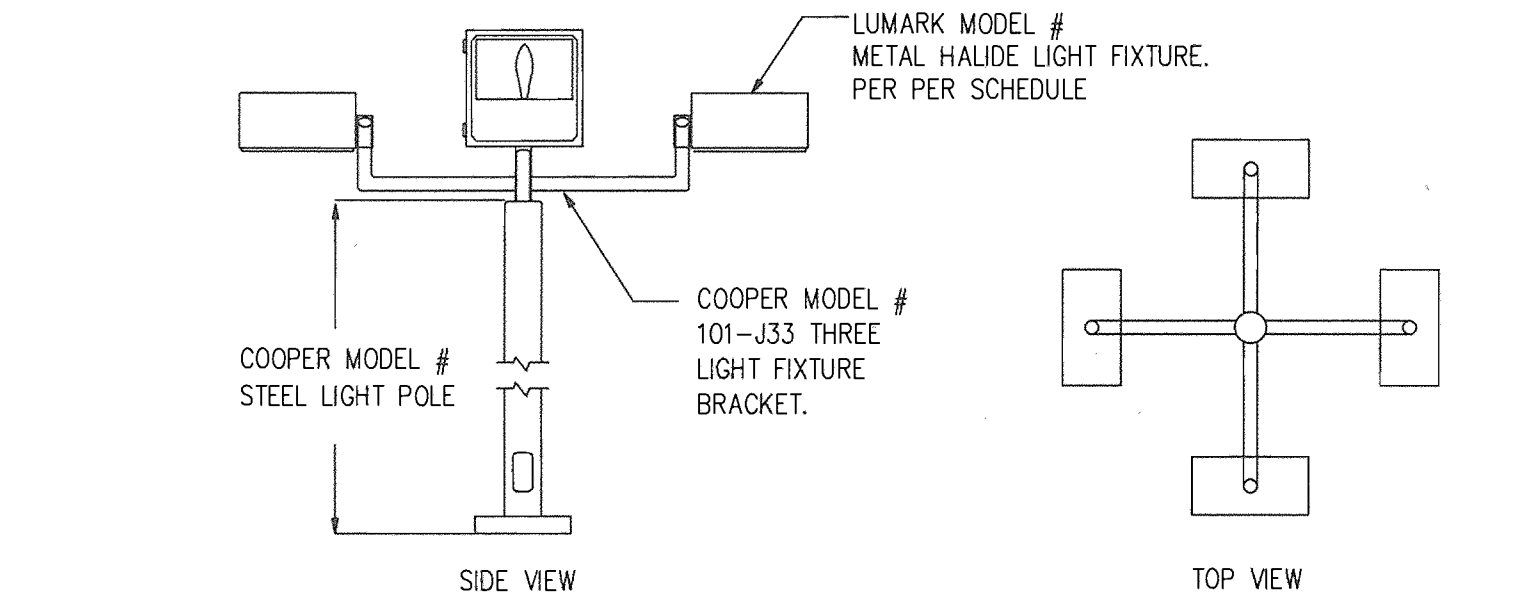
LIGHT POLE BASE & FOUNDATION DETAIL
SCALE: NTS



⑥ SIDEWALK RAMP (TYPE C)
SCALE: NTS



⑦ SIDEWALK RAMP
SCALE: NTS

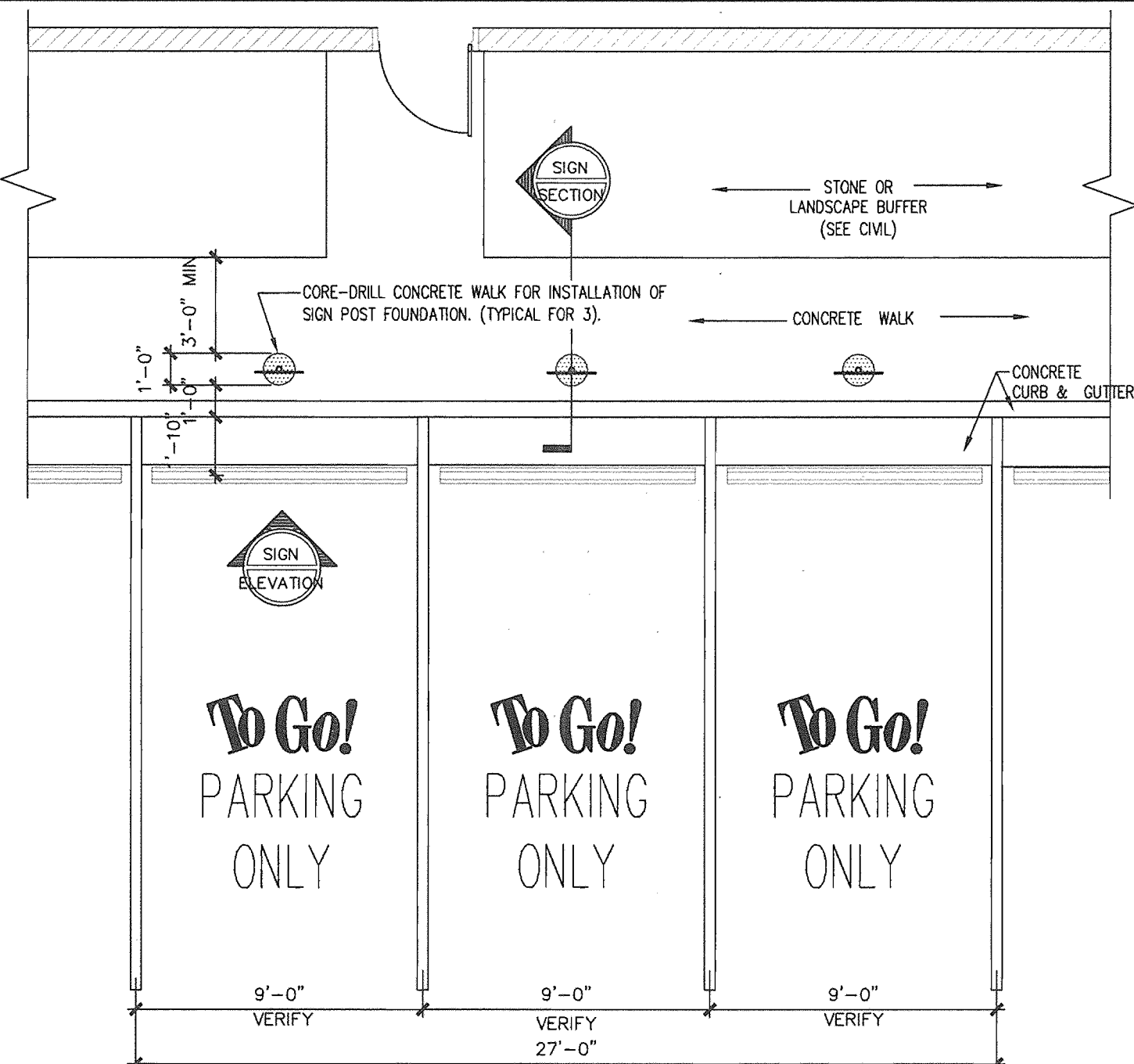


LIGHT FIXTURE MOUNTING DETAIL
SCALE: NTS

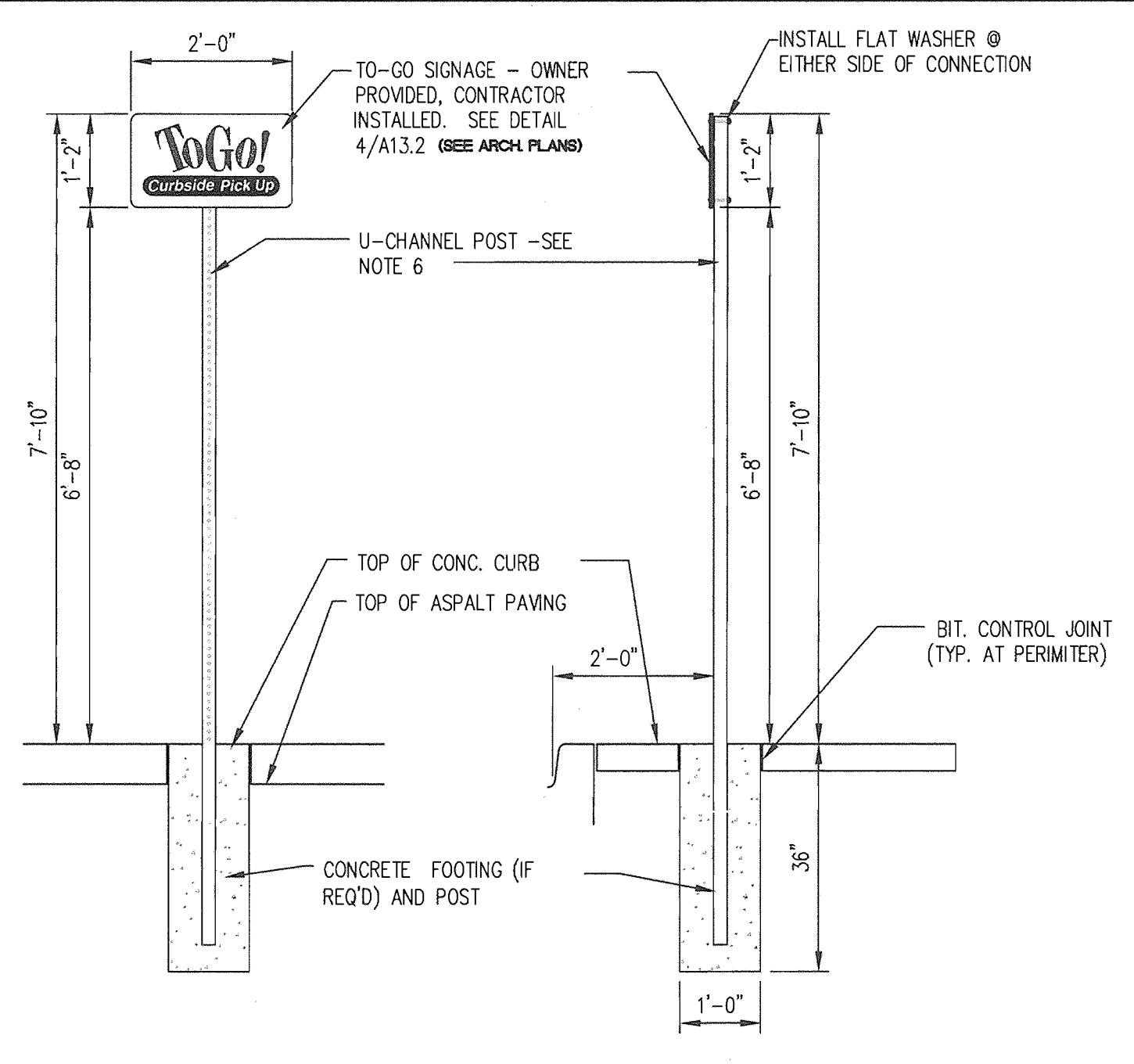
LIGHTING FIXTURE SCHEDULE					
MARK	MANUFACTURER & CATALOG No.	No.	LAMPS	MOUNTING	DESCRIPTION
	LUMARK MHHR-R3-400-MT	SEE PLANS	400W-MT	SEE DETAIL	SEE PLAN FOR NUMBER OF LIGHTS/POLE

⑤ LIGHTING STANDARDS
SCALE: NTS

- NOTES:
1. LIGHT FIXTURES SHOULD BE COORDINATED WITH PACKAGING SERVICES, INC. AT 615-256-5790
 2. ALL LIGHTING DESIGN WAS PREPARED BY PSI.



⑧ "TO GO" PARKING
SCALE: NTS



⑨ SIGN ELEVATION
SCALE: NTS

INSTALLATION OF TO GO PARKING

1. COORDINATE WITH STAKING PLAN FOR INSTALLATION OF ALL TO GO PARKING DETAILS.
2. GENERAL CONTRACTOR SHALL STRIPE PARKING SPACES AND PAINT SPECIFIED WORDING AS DETAILED.
3. STRIPING PAINT TO BE: 2 COATS ALKYD TRAFFIC ZONE MARKING PAINT BY MARTIN SENOUR PAINTS. INSTALL STRICTLY AS PER MANUFACTURERS RECOMMENDATIONS. COORDINATE PAINT STRIPING COLOR WITH CIVIL DRAWINGS.
4. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL RUBBER COMPOSITE WHEEL STOPS, MANUFACTURED BY GNR TECHNOLOGIES, 800-422-9554. COLOR TO BE COORDINATED WITH PARKING STRIPES, AND INSTALLED PER THE MANUFACTURERS INSTRUCTIONS.
5. GENERAL CONTRACTOR SHALL INSTALL OWNER PROVIDED 'TO GO' SIGN.
6. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL "U" SHAPED STEEL SECTION SIGN POST WITH MOUNTING HOLES. FINISH TO BE BAKED ON ALKYD RESIN GLOSS ENAMELED GREEN COLOR.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER: HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *Archie McLaughlin* DATE: 8/17/06

CHIEF, DIVISION OF LAND DEVELOPMENT: *Archie McLaughlin* DATE: 8/17/06

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: 06/08/06

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(865) 379-5662 FAX: (865) 379-8828

RBA
INCORPORATED
ENGINEERS & ARCHITECTS
7184 Columbia Gateway Drive, Suite 205
Columbia, Maryland 21046
Phone: (410) 312-0966, Fax: (410) 312-0897

Ruby Tuesday

SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 16895
CLARKSVILLE, HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
PROFESSIONAL ENGINEER
Archie McLaughlin
8/17/06

DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-09 DET3 3482
PLOTTED: 08/17/06
DRAWN BY: WLB
DETAILS III
SHEET C-9
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Service (GES), suitable for use intended with proven capability to perform work in acceptable manner. Consult GES prior to use of equipment and document GES recommendations in writing.

- 1. Use steel sheepfoot roller or similar type equipment for compaction operations, except compact small and inaccessible areas with vibra plates, vibrator impact rammers, vibratory rollers, or similar type equipment.
2. Use rubber-tired pneumatic compaction equipment for sealing off compacted areas.
3. Use rubber-tired compactor or similar type approved equipment with minimum 20 tons static weight for proofrolling.
4. Contractor shall not use compaction equipment near retaining walls that will overload said wall.

- 2. When work is interrupted by rains, do not resume operations until moisture content and field density tests of upper six inches of in-place material have been made by GES and approved by Project Engineer.
3. Contractor to be responsible for design, installation and maintenance of shoring and bracing specified herein.
substances which are frozen or contain frost, or during unfavorable weather conditions.
1. During periods of anticipated inclement weather, grade and seal surface of fill as required to limit percolation of surface water.
2. When work is interrupted by rains, do not resume operations until moisture content and field density tests of upper 6" of in-place materials have been made by GES and approved by Project Engineer.

- G. Establish and identify required lines, levels, contours and datum.
H. Proofrolling:
1. Perform proofrolling over entire areas receiving fill material, after topsoil is removed, in presence of Geotechnical Engineering Service.
2. Make at least four passes over each area, with last two passes made perpendicular to first two passes. Use minimum 20 tons static weight rubber-tired compactor or similar type equipment for proofrolling acceptable to GES.
a. Undercut and remove soft or unstable soils that fail to compact and replace with acceptable fill material. Place soil in lifts of six inches loose depths and compact each lift to density specified.
b. If construction operations soften or otherwise disturb previously proofrolled areas to an extent that they become soft and unstable or are rendered unsuitable by Project Engineer and GES, perform additional proofrolling before starting filling operations or remove unsuitable materials to depth and extent required, and replace with approved compacted fill as specified above.
I. Following topsoil stripping and proofrolling operations, but before making cuts or placing of fill and backfill, ground surfaces to be free of all trash; debris; loose, frozen, wet or soft soil; and other undesirable surface materials before proceeding with work.

- 3.03 GRADING
A. Rough grade to required profiles, contours, elevations and subgrade levels shown on drawings, with allowances made for depths required for placement of topsoil and construction of paving, walks, equipment slabs or pads and floor slabs.
B. Control grading around buildings and on site; slope ground to prevent water from running into excavated areas of building or damaging other structure, and so entire project is well drained and free from water pockets.
C. Provide uniform levels and slopes between elevations shown on drawings, and between elevations shown and existing finished grades shown to be maintained. Round abrupt changes in slopes.
D. Unauthorized excavation consists of removal of materials beyond indicated subgrade elevations or dimensions without specific direction of Engineer. Unauthorized excavation, as well as remedial work directed by Engineer shall be at Contractor's expense. Under footings, foundation bases, or retaining walls, fill unauthorized excavation by extending indicated bottom elevation of footing or base to excavation bottom, without altering required top elevation. Lean concrete fill may be used to bring elevations to proper position, when acceptable to Project Engineer. Elsewhere, backfill and compact unauthorized excavations as specified for authorized excavations or same classification, unless otherwise directed by Project Engineer of GES.

- 3.04 CONTROLLED FILL:
A. General:
1. Project Engineer, relying on GES test results, is sole judge as to when specified compaction densities have been obtained.
2. Contractor is responsible for correcting, at his expense and including costs of testing, all areas with insufficient compaction; remove and replace, or scarify, aerate or sprinkle (as needed), and recompact and retest deficient compacted fill.
3. Place acceptable material in horizontal lifts not exceeding 8" in loose depth, with each lift extending for entire length and width of each area being filled.
4. Reduce or increase moisture content of fill by drying or uniform sprinkling with water, to achieve moisture content required for specified degree of compaction.
5. Disk each layer of fill to break down oversize clods, to thoroughly mix non uniform materials, and to secure uniform density and proper compaction.
6. Maintain positive surface slope to allow runoff and to prevent ponding of surface water. If surface water ponds, dewater. Remove all saturated or disturbed soil before placing additional fill material.
7. Number of compaction equipment passes required is dependent upon degree of compaction specified. Overlap rolling passes as required to completely cover areas of fill.
8. Regardless of degree of compaction achieved, a minimum of 8 roller passes should be made in the building and pavement areas.
9. After cuts are made, scarify cut area to 9" depth and compact to required densities.

- B. Structural "Controlled Fill":
1. Location: Place as subgrade under building, and covered walkways to a point 5 feet outside building walls. Place under all paved areas.
2. Construct to grades and for minimum depths indicated. Undercut existing grade as required.
3. Compact to 95% of maximum Standard Proctor Density (ASTM D-698), with the upper 9" @ 100% Standard Proctor Density (ASTM D698). Maintain soil moisture content between 3% below and 3% above optimum. Use GES method for maintaining optimum moisture content value control acceptable to GES. Place fill in 8" lifts or less in loose thickness.
C. Nonstructural "Controlled Fill"
1. Locations: Use for fills other than fills specified as structural "Controlled Fill".
2. Construct to grades and for minimum depths indicated. Undercut existing grade as required.
3. Compact to following densities for areas listed:
a. Subgrade Below Walks, and Slabs on Grade: 100% of Standard Proctor Density ASTM D698 at moisture content between 3% below and 3% above optimum moisture content value 9", 95% otherwise.
b. Below Grassed and Planted Areas: 90% of Standard Proctor Density at 3% below and 3% above the optimum moisture content value.

- 3.05 FOUNDATION AND FOOTING EXCAVATION
A. Acceptable Structural "Controlled Fill" material.
B. Remove surface debris and debris in excavation before placing backfill.
C. Do not use fill material which is frozen or contains frost.
D. Allow footing and foundation walls to attain full design strength before placing backfill.
E. Exercise care during placing and compacting equipment within 4' of walls.
1. Use hand operated compaction equipment within 4' of walls.
2. Where fill is placed along both sides of foundation walls, place and compact simultaneously on both sides of walls.
3. Repair, or remove and replace, all damage to foundation walls or structure occurring during placement and compaction operations at no additional cost to Owner.
F. Coordinate placing and compaction with other trades. Do not backfill until damproofing, waterproofing and foundation drainage system material has been installed, inspected and approved by GES and Architect.
G. Compact all backfill to 95% of Standard Proctor Density. (ASTM D-698), 100% within top 9". Maintain moisture content between 3% below and 3% above of optimum moisture content value.

- 3.06 TRENCHING AND BACKFILLING FOR UTILITIES SYSTEMS
A. Trench Excavation:
1. Provide open cut excavation, except short sections may be tunneled if approved by GES & Project Engineer and demonstrated by Contractor that pipe, cable or duct can be properly installed, backfilled and compacted.
2. Excavate to necessary width, depth and alignment for proper material installation. Cut trench banks as nearly vertical as practicable, but to safety standards of governing authorities. Stockpile material suitable for backfilling a sufficient distance from banks to avoid overloading and cave-ins.
3. Side slopes of excavations to comply with local codes and ordinances having jurisdiction. Shore and brace where sloping is not possible because of space restrictions or stability of soil.
4. Maintain sides and slopes of excavations in safe condition until completion of backfilling.
5. Accurately grade trench bottoms to provide uniform bearing and support for each pipe section on undisturbed soil along full pipe length, except for areas where necessary to excavate for bell holes and for sealing pipe joints. Dig holes and depressions for joints after trench bottom has been graded, so pipe rests on prepared bottom for full length. Remove all stones to avoid point bearing.
6. Remove wet or otherwise unstable or unacceptable material encountered beyond depths indicated and replace with sand, gravel or concrete.

- B. Excavation for Appurtenances: Excavate for manholes and similar structures, to leave 12" minimum clearance between outer surfaces and embankment or timber used to hold and protect banks. Fill over excavation with sand, gravel or concrete.
C. Shoring and Bracing:
1. Provide materials for shoring and bracing, such as sheet piling, uprights, stringers and cross-braces, in good serviceable condition.
2. Establish requirements for trench shoring and bracing to comply with local codes and authorities having jurisdiction.
3. Maintain shoring and bracing in excavations regardless of time period excavations will be open. Carry down shoring and bracing as excavation progresses.
D. Backfilling:
1. Do not backfill until utilities systems have been installed, inspected, tested, and accepted by Howard County and/or respective local utility company.
2. Backfill Materials: Acceptable Structural "Controlled Fill" materials.
3. Deposit material in lifts of 4" loose depth before compacting each lift to 95% of Standard Proctor Density under paving, walks, 95% under building slabs, and other slabs on grade (except top 9". Top 9" to be @ 100%), and compacting to 90% of Standard Proctor Density under lawns and planting areas.
4. Backfill trenches to top of ground level.

- 5. Backfill first 5' outside building wall with approved acceptable on-site material to form an impermeable barrier.
6. Restore ground surface, pavements, base courses, and compacted subgrade disturbed by utilities systems trenching and backfilling work to their original condition, construction and finishes/

- 3.08 MAINTENANCE
A. Protection of Graded Areas:
1. Protect newly graded areas from traffic and erosion. Keep free of trash and debris.
2. Repair and re-establish grades in settled, eroded, and rutted areas to specified tolerances.
B. Reconditioning Compacted Areas: Where completed compacted areas are disturbed by subsequent construction operations or adverse weather, scarify surface, reshape, and compact to required density prior to further construction.
C. Settling: Where settling is measurable or observable at excavated areas during general project warranty period, remove surface (pavement, lawn, or other finish), add backfill material, compact, and replace surface treatment. Restore appearance, quality, and condition of surface or finish to match adjacent work, and eliminate evidence of restoration to greatest extent possible.

- 3.10 DISPOSAL OF EXCESS AND WASTE MATERIALS
A. Removal from Owner's Property: Remove waste materials, including unacceptable excavated material, trash and debris, and dispose of it off owner's property.
END OF SECTION

SECTION 02510 SITE CONCRETE

- PART 1 - GENERAL
1.01 RELATED DOCUMENTS
A. General Conditions and Supplementary Conditions apply to this section.
1.02 SITE CONCRETE - Work as specified and shown on the drawings, including, but not necessarily limited to the following:
1. Concrete walks and ramps
2. Accessible curb ramps
3. Concrete curbs (see Section 02525, "Concrete Curbs")
4. Trash dumpster pad
1.03 QUALITY ASSURANCE
A. Standards:
1. Maryland Department of Transportation Standard Specifications, latest edition
1.04 TESTS
A. Contractor's Testing Agency shall make one soil density test at subgrade for each 5,000 square feet of pavement (one test minimum per area); AASHTO T180, modified Proctor.
B. Contractor's Testing Agency will take three compression test samples and one unconfined air content sample from first 50 cubic yards of concrete placed each day and each 100 cubic yards thereafter; in conformance with ASTM C39, and ASTM C173 or C231.

- PART 2 - PRODUCTS
2.01 BASE COURSE
A. Qualities: Hard, durable particles of crushed stone or angular gravel, with stone or sand screenings and few fines. Provide material free of topsoil, clay lumps, friable particles, and organic matter.
1. Maximum particle size: 2 inches.
2. Percentage of wear: 50 maximum, by Los Angeles Test, ASTM C131.
3. Durability of particles: no breakup when alternately frozen and thawed, or wet and dried.

- 2.02 FORMWORK
A. Steel or wood of heights equal to the full depth of the finished work as to obtain a smooth form finish.
2.03 PAVING CONCRETE
A. Sidewalks, steps, driveway apron and dumpster pad: F'c = 4,500 psi.
B. Qualities: Portland cement concrete, ready mixed, as specified below:
1. Percentage of wear, coarse and fine aggregate: 50 maximum by Los Angeles test, ASTM C131.
2. Aggregate durability: 12 percent loss maximum, 5 cycles, ASTM C88.
3. Aggregate gradation: 3/4 inch to No. 4; ASTM C33, size 67, maximum particle size: 1 inch.
4. Cement: Use ASTM C150, Type I or Type II, or Type III in cold weather.
5. Water-cement ratio: 0.51 maximum.
6. Entrained air: 3 percent to 5 percent.
7. Other admixtures: Add water reducing or water reducing/retarding admixtures to concrete in proportions pursuant to manufacturer's published instructions as needed to improve flow during placement and alter time of set.
8. Slump: 2-inch average, 3-inch maximum for any batch.

- 2.04 CONCRETE OTHER THAN PAVING
A. Qualities as specified below:
1. Compressive strength at 28 days: 4,500 psi. Flexural strength at 28 days: 600 psi.
2. Finish: Smooth form finish.

- 2.05 ACCESSORY PRODUCTS
A. Forms: Steel or wood, staked in place, of strength sufficient to resist pressure of wet concrete without losing shape or deflecting more than 1/4 inch at any point. Key way shaped forms: Steel, only.
B. Expansion Joints: Preformed, non-extruding resilient asphalt/fiber type, 1/2 inch thick; ASTM D1751.
C. Joint Sealer: Hot poured elastomeric type; ASTM D3405 or D3406.

- 2.06 CURING MATERIALS
A. Contractor shall submit curing method to Engineer for approval.

PART 3 - EXECUTION
3.01 SUBGRADE PREPARATION

- A. Subgrade: Conform with the requirements specified in Section 02200, Earthwork.
B. Soil Stabilization:
1. The subgrade shall be thoroughly wetted and then compacted with two passes of a 500 pound roller.
2. Yielding material deflecting more than 1/2" under the specified roller shall be removed to a depth of not less than 4" below subgrade elevation and replaced with an approved granular material which shall then be compacted as described above.
3. The subgrade shall be in a moist condition when the concrete is placed. In cold weather the subgrade free from frost when the concrete is deposited.

- 3.02 FORM CONSTRUCTION
A. Install sufficient quantity of forms to allow continuous progress of the work and so that forms can remain in place at least 24 hours after concrete placement.
B. Check completed formwork for grade and alignment to the following tolerances:
1. Top of form: Not more than 1/8" in 10 feet.
2. Vertical face: Longitudinal axis not more than 1/4" in 10 feet.

- 3.03 CONCRETE PLACEMENT AND FINISHING
A. Concrete placement and finishing shall be as also specified in Division 3, Cast-in-Place Concrete, as shown on drawings. Broom finish unless specified otherwise.
B. Tamp and consolidate concrete with a suitable wood or metal tamping bar and the surface shall be finished to grade with a wood float.
C. The finished surfaces shall not vary more than 3/16 inch from the testing edge of a 10 foot straightedge.
D. Divide the surface of paving, walks and terraces into rectangular areas by means of contraction joints not to exceed 10'-0" center.
1. Tool a groove in the top portion of the slab to a depth of at least one-fourth of the slab thickness using a jointer or by sawing a groove in the hardened concrete with a power-driven saw.
2. Membrane-cured surface damaged during the sawing operations shall be resprayed as soon as the surface becomes dry.
3. Sidewalk tool joint pattern as per Architect drawings.

- 3.04 EXPANSION JOINTS
A. Install transverse expansion joints at returns and 20 feet o.c.
B. Install longitudinal expansion joints where curbs and paved areas abut each other, buildings, other concrete slabs or pads or vertical restraints.
C. Place joint filler with top edge 1/4" below the surface and shall be held in place with steel pins or other devices to prevent warping of the filler during floating and finishing.
D. Immediately after finishing operations are completed, round joint edges with edging tool having a radius of 1/8". Remove concrete over the joint filler.
E. At the end of the curing period, clean and fill expansion joints with joint sealer conforming to ASTM D1850. Fill joints flush with concrete surface. Dummy groove joints shall not be sealed.

- 3.05 CURING AND BACKFILLING
A. Curing: Immediately after the finishing operations, the exposed concrete surface shall be cured for 7 days by the mat, impervious sheet, membrane-curing, or Owner method submitted by Contractor to Owner for approval.
B. Backfilling: After curing, debris shall be removed and the areas adjoining shall be backfilled, graded and compacted to conform to the surrounding areas in accordance with the lines and grades indicated.

- 3.06 PROTECTION
A. Protect the completed work from damage until accepted. Repair damaged concrete and clean concrete discolored during reconstruction. Work that is damaged shall be removed and reconstructed to the entire length between regularly schedule adjoints. Refinishing the damaged portion will not be acceptable.
B. Cars and trucks shall be excluded from newly constructed pavement for a minimum of 14 days.

END OF SECTION
SECTION 02512 ASPHALT CONCRETE PAVING

- PART 1 - GENERAL
1.01 RELATED DOCUMENTS
A. General Conditions and Supplementary Conditions apply to this section.
1.02 WORK INCLUDED
A. All paving including granular base, primer, and tack.

PART 3 - EXECUTION
3.01 FIELD QUALITY CONTROL

- A. Testing and Inspection Services: Owner will retain the services of a Geotechnical Service (GES) to perform observations, inspections and testing during execution of site work. Geotechnical Engineering Services include, but are not limited to:
1. Visual Observation by GES: After stripping the site of topsoil, organics, large root systems, trash, and demolition debris, the site is to be observed by GES, and other localized pockets of organics, large root systems or remnants or previous construction identified should be undercut and discarded off-site or stockpiled for future use in landscaped areas.
2. Proofrolling: In the presence of GES at-grade areas and areas to receive fill should be proofrolled with a heavily loaded dump truck, scraper, or similar piece of rubber-tired equipment.
3. In-Place Density Testing:
a. Parking area: Test every 5,000 SF per 2-foot vertical increment of in-place fill.
b. Retaining Wall/Utility Trench Backfill: Test every 150 LF per 2-foot vertical increment of in-place fill.
c. Building Areas: To be determined by GES and approved by Owner.

- B. Contractor shall notify Engineer and GES inspector when work is at the acceptable levels for the testing required above.
C. Contractor shall cooperate with GES Inspectors and Technicians to facilitate the execution of GES duties.
D. Upon completion of excavation, GES shall inspect and test the work and determine the suitability of the soil and preparation of subsequent site work.
E. GES shall promptly submit to Owner or Project Engineer reports of all observations, inspections and tests.

3.02 PREPARATION

- A. Grading and paving drawings showing original and proposed topography, in case of conflict between final grade elevations (finish grade) shown by spot elevations and by contours, spot elevations govern.
B. Dewatering:
1. Prevent ground and subsurface water from flowing into excavations, from flooding project site and surround properties, and from collecting and ponding unless such ponding is in connection with required erosion control. Provide and maintain all temporary drainage and dewatering system.
2. Install pumps, sumps and suction and discharge lines necessary to comply with requirements specified herein.
3. Install temporary deviations from grades indicated to channel water away from excavation.
4. Leave no sumps or pockets at completion of each day's grading operations.
5. If water is encountered during footing and foundation excavation, install pumps of capacity to remove water while excavations are being made and continue pumping for 24 hours following placing of concrete footings and erection of foundation walls to grade. Maintain dewatering operations until construction of permanent drainage is completed.
6. Contractor to be responsible for design, installation and maintenance of dewatering system specified herein.
E. Shoring and Bracing:
1. Install to protect slopes and earth banks from cave-ins, and to protect adjacent surfaces and structures from settlement. Remove shoring and bracing before backfilling is completed, but not before permanent supports are in place.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER: HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

APPROVED PLANNING BOARD of HOWARD COUNTY
DATE 06/03/06

REVISIONS
PLANS PREPARED FOR: RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37601
(865) 379-5642 FAX: (865) 379-6828

The RBA Group
ARCHITECTS & PLANNERS
2141 E. Hill
Columbia, Maryland 21046
Phone (410) 312-0966 Fax: (410) 312-0987

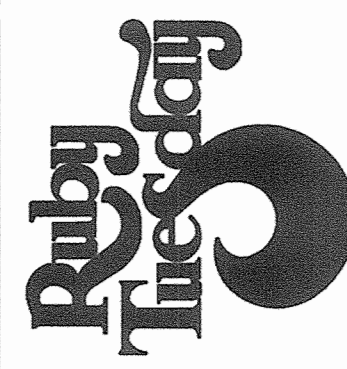
SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 18985
CLARKSVILLE, HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
PROFESSIONAL ENGINEER
12/06

DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-11 SPEC2 3482
PLOTTED: 08/17/06
DRAWN BY: WLB
SPECIFICATIONS II
SHEET C-11 of 20

PLANS PREPARED FOR:
RUBY TUESDAY, INC

RBA Group
Geotechnical Engineers & Planners
7646 Columbia Gate, Suite 205
Columbia, Maryland 21046
Phone (410) 312-0988, Fax: (410) 312-0897



SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND



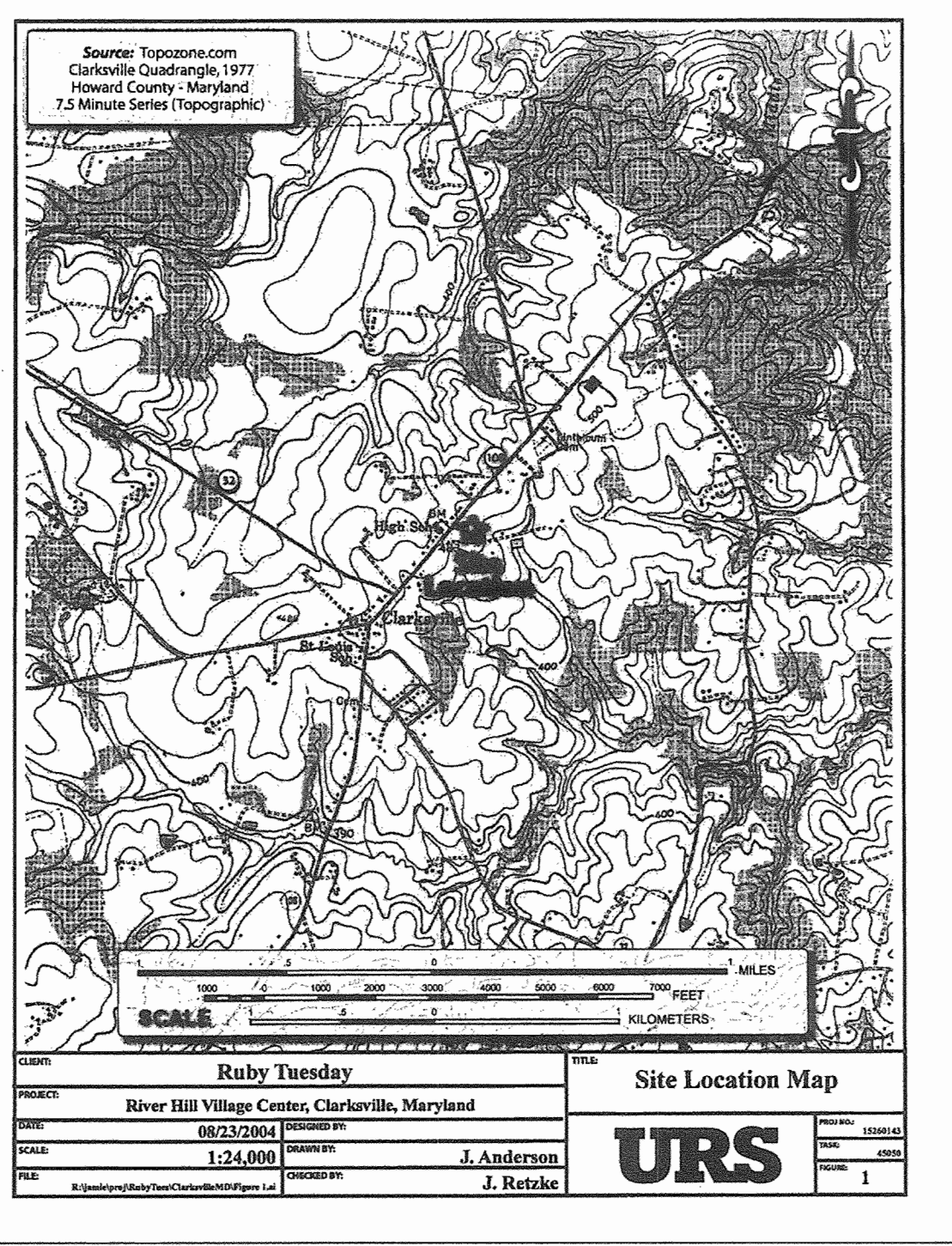
DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: C-13 GEOT 3482
PLOTTED: 08/17/06
DRAWN BY: WLB

GEOTECHNICAL SPECIFICATIONS

SHEET **C-13**
14 of 20

3.2 Scope
To accomplish the objective of this work, the following were undertaken:
1. Drilling of five exploratory borings in the area of the restaurant building pad, in which the borings were advanced to a depth of 15 feet below ground surface (pgs).
2. Engineering analyses of the site data.
3. Preparation of this final report that includes the items listed below:
a) A drawing showing the location of the exploratory borings.
b) Logs of the exploratory borings.
c) A description of subsurface conditions encountered.
d) Engineering analyses to identify site development criteria, including requirements for site preparation, earthwork, and fill placement and compaction criteria.
e) Engineering analyses to identify foundation design parameters.

4.0 FIELD EXPLORATION
Subsurface soil conditions at the site were explored by drilling four soil borings (referenced as Borings B-1 to B-5) on August 26, 2004. The approximate boring locations are shown on the Site Plan, Figure 2, Appendix A.
A hollow stem auger-drilling rig was used for the work. Disturbed samples of soils were recovered using a split spoon sampler, following ASTM D 1586 (the "Standard Penetration Test", or "SPT"). The SPT blowcounts were recorded as the sampler was driven into the ground to provide an index of the strength and consistency of the subsurface materials.
A URS field engineer prepared field logs of each boring. These logs included visual classifications of the materials encountered during drilling, as well as the field engineer's interpretation of the changes in subsurface materials. Descriptions presented on the boring logs are taken from the field drilling logs. The boring logs, along with a more detailed description of the field exploration, are presented in Appendix B.
It should be noted that all borings were advanced from the ground surface elevations as they existed at the time of drilling. Any cutting or filling of the site during site construction activities would likely affect the recommendations found in this report.



Report
Geotechnical Investigation
Proposed Ruby Tuesday Restaurant
Clarksville, Maryland
for Ruby Tuesday, Inc.

1.0 SUMMARY

On August 26, 2004, URS Corporation (URS) initiated a geotechnical investigation on the site of a proposed Ruby Tuesday restaurant in Mobile, Alabama. The work was completed in accordance with URS's Environmental Services Agreement dated February 1, 2002 (Amended January 7, 2003), and our work authorization form dated August 10, 2004.

The Ruby Tuesday restaurant is planned to be located on an undeveloped outparcel of the River Hill Village Center, located approximately 100 yards north-northeast of the Great Star Drive and Maryland Route 108 (Clarksville Pike) interchange, in Clarksville, Howard County, Maryland (Subject Property). Subsurface conditions appear suitable for support of the proposed structure for the expected light loads. The proposed structure may be supported with a shallow foundation system consisting of spread footings/wall footings, with the floor slab supported at grade.

2.0 PROJECT INFORMATION

The Subject Property, is currently an undeveloped, grassed outparcel of the River Hill Village Center, located approximately 100 yards north-northeast of the Great Star Drive and Maryland Route 108 (Clarksville Pike) interchange, in Clarksville, Howard County, Maryland. The Subject Property is located approximately 0.32 miles north-northeast of the Clarksville Pike and State Highway 32 interchange and approximately 0.15 miles southwest of downtown Baltimore, in an area of commercial development. Topographic map coverage of the Subject Property is provided by the United States Geological Survey "Clarksville, Maryland", 7.5-minute quadrangle map, reference year 1977. The elevation of the Subject Property, which slopes to the east-southeast, is approximately 480 feet above mean sea level (MSL). No surface water features are located on the Subject Property. A Site Vicinity Map is attached as Figure 1 in Appendix A. The approximate boring locations relative to the proposed restaurant are indicated on the Site Plan, Figure 2 in Appendix A.

The proposed construction addressed by this subsurface exploration and geotechnical report consists of the restaurant building floor slab, foundations, and the adjacent parking areas.

3.0 OBJECTIVE AND SCOPE

3.1 Objective
The objective of the work reported herein was to identify and evaluate subsurface materials and groundwater conditions, and to provide recommendations for foundation support, site preparation, and floor slab subgrade development.

recommendations contained in this report shall not be considered valid unless the changes are reviewed and the conclusions of this report modified or verified in writing by URS.

The following figures and appendices are attached to this report:
Appendix A Site Vicinity Map and Site Plan
Appendix B Boring Logs

It has been a pleasure to be of continued service to Ruby Tuesday, Inc. If you have any questions concerning our findings and recommendations presented herein, please contact the undersigned.
Sincerely,
URS Corporation
Robert J. Hanson
Project Manager
William E. Norton, P.E.
Senior Engineer

REPORT
GEOTECHNICAL INVESTIGATION
PROPOSED RUBY TUESDAY RESTAURANT
CLARKSVILLE, MARYLAND

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4.0 FIELD EXPLORATION 2
5.0 SITE AND SUBSURFACE CONDITIONS 3
6.0 ANALYSES AND RECOMMENDATIONS 3
7.0 SITE PREPARATION AND FILL PLACEMENT 5
8.0 LIMITATIONS 5

At the onset of any site grading, the entire site should be stripped of vegetation, or other deleterious materials. Following removal of the topsoil, the silty/sandy silt soils within the limits of the structure and parking areas should be proof-rolled with moderately-loaded rubber tired construction equipment prior to constructing foundations and pavement. Proof-rolling aids in providing a firm base for compaction of any subsequent fill, and will help delineate any soft areas, which may exist below the subgrade level. If such or loose soils are identified, they should be removed and replaced with compacted granular fill if they cannot be satisfactorily compacted in place.

7.1 Site Preparation
At the onset of any site grading, the entire site should be stripped of vegetation, or other deleterious materials. Following removal of the topsoil, the silty/sandy silt soils within the limits of the structure and parking areas should be proof-rolled with moderately-loaded rubber tired construction equipment prior to constructing foundations and pavement. Proof-rolling aids in providing a firm base for compaction of any subsequent fill, and will help delineate any soft areas, which may exist below the subgrade level. If such or loose soils are identified, they should be removed and replaced with compacted granular fill if they cannot be satisfactorily compacted in place.

7.2 Fill Placement and Compaction
Fill placed within the building area and as backfill for any undercut areas should consist of approved granular materials, which are free of organic matter and debris. The fill beneath the structure should be compacted to at least 95% of the material's maximum Standard Proctor dry density (ASTM D-698). At the time of placement and compaction, the moisture content of the material should be within the range of 3% below to 3% above the optimum moisture content value determined by the Standard Proctor test.

7.3 Dewatering
Groundwater was not encountered at the time of drilling. It is anticipated that dewatering operations should not be required during construction. If periodic dewatering is required to remove runoff resulting from surface water or to remove rainwater, this work can be accomplished using small sump pumps and rim ditches.

8.0 LIMITATIONS
The analyses and recommendations presented in this report are based upon the data obtained from the borings performed at the indicated locations and from any other information discussed in this report. This report does not reflect any variations, which may occur between borings or across the site. The nature and extent of such variations may not become evident until construction. If variations appear evident, it will be necessary to reevaluate the recommendations in this report.
It is recommended that URS be retained to review the plans and specifications so that comments can be provided regarding the interpretation and implementation of the geotechnical recommendations in the design and specifications. It is further recommended that URS be retained for construction material testing and observation during earthwork and foundation construction phases to help evaluate that the design requirements are fulfilled.
This report has been prepared for the exclusive use of our client for specific application to the project discussed and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranty, express or implied, is provided. In the event that any changes in the nature, design or location of the project as outlined in this report are planned, the conclusions and

September 9, 2004

Mr. Steve Ruff
Ruby Tuesday, Inc.
10560 Main Street, Suite 511
Fairfax, Virginia 22030

RE: Report
Geotechnical Investigation
Proposed Ruby Tuesday Restaurant
River Hill Village Center, Clarksville, Maryland

Dear Mr. Ruff:

URS Corporation (URS) is pleased to submit this report summarizing the results of our geotechnical investigation for the above referenced site. This work was performed in general accordance with the scope of work outlined in our work authorization form dated August 10, 2004.

Selected soil samples were collected in the field. These samples will be kept for a period of time for possible future inspection and examination. Unless otherwise requested, they will be discarded three (3) months from the date of this report.

We trust the findings and recommendations contained in this report are satisfactory for your present needs. Please call us if you require clarification or further discussion of any issue described herein. We appreciate the opportunity to provide you with professional engineering services.

Sincerely,
URS Corporation

William E. Norton, P.E.
Senior Engineer

cc: Joan Sasine-Powell, Goldstein, Frazer & Murphy

6.2 Foundation Design

6.2.1 Footing Design Parameters
URS recommends that the restaurant be supported on shallow foundations, consisting of isolated spread and continuous footing bearing in the silty/sandy silt soils. Footings may be designed using a net bearing pressure of 2,000 pounds per square foot. The net bearing pressure refers to the pressure transferred to the bearing material at the footing bearing level in excess of the minimum surrounding overburden pressure.

Shallow foundations should bear at least 30 inches below the lowest adjacent finished grade. Continuous formed wall footings should have a minimum width of 18 inches, and isolated column footings should have a minimum width of 30 inches, regardless of the bearing pressure. The minimum widths are considered advisable to provide a margin of safety against a local or punching shear failure of the foundation soils. The base of all foundation excavations should be free of water and loose soil prior to placing concrete.

6.2.2 Floor Slab Recommendations
The floor slab subgrade may be developed by recompacting existing silty/sandy silt soils disturbed by any subsequent construction activity. The upper 12 inches of soils should be recompacted to at least 95% of the material's maximum Standard Proctor dry density (ASTM D-698).

Additional floor slab design and construction recommendations are as follows:

- Positive separations and/or isolation joints should be provided between the grade slab and all foundations and wall/columns to allow independent movement.
- Any interior trench backfill placed beneath slabs should be compacted in accordance with specifications outlined in Section 7.2.
- If moisture sensitive floor coverings are used on interior slabs, consideration should be given to the use of barriers (either polyethylene or a thin sand or graded gravel layer) to minimize potential vapor rise through the slab.

Floor slabs should not be constructed on frozen subgrade.

Other design and construction considerations, as outlined in the ACI Design Manual, Section 302.1R are recommended.

6.2.3 Foundation Settlement (static condition)
We recommend that walls be provided with suitable movement joints to accommodate differential settlement. For properly designed foundations constructed as recommended in this report, total settlement is expected to be less than one inch. Angular distortion due to differential movement between adjacent, unevenly loaded foundations should be less than one in 450 (less than 1/2 inch in 20 linear feet).

6.3 Construction Monitoring Services
It is recommended that a qualified geotechnical consultant be retained to observe and test foundation bearing materials and to test fill as it is placed and compacted. All footings and slab subgrade areas should be observed prior to placement of fill and concrete to verify that suitable support of foundations,

GEOTECHNICAL INVESTIGATION
VACANT PARCEL
RIVER HILL VILLAGE CENTER
CLARKSVILLE, MARYLAND

Prepared For:
RUBY TUESDAY, INC.
150 West Church Avenue
Maryville, Tennessee 37801

Prepared By:
URS CORPORATION
400 Northpark Town Center
1000 Abernathy Road, N.E., Suite 909
Atlanta, Georgia 30328

September 10, 2004

5.0 SITE AND SUBSURFACE CONDITIONS

5.1 Site Conditions

5.1.1 Surface
The site of the proposed Ruby Tuesday restaurant is an undeveloped, grassed outparcel of the River Hill Village Center. The proposed site is bordered by the following: a Verizon Communications building to the north; undeveloped land to the south; asphalt paved parking to the east; and Clarksville Pike to the west.

Site topography slopes slightly downward to the east-southeast with the areas to the west-northwest being topographically upgradient.

5.1.2 Subsurface
The subsurface conditions at the site through the depth explored may be generalized to consist of soils characteristic of the Piedmont Physiographic Province of Maryland:

Layer 1: Silt: In the near surface, each of the borings encountered a brown/brownish red/reddish yellow, highly micaceous, medium stiff to stiff silt with trace low plasticity clay and fine quartz gravel. The silt extends from below the topsoil surface layer to typically 3.5 to 4 feet bgs. SPT blow counts in this layer ranged from 7 to 14 blows/foot.

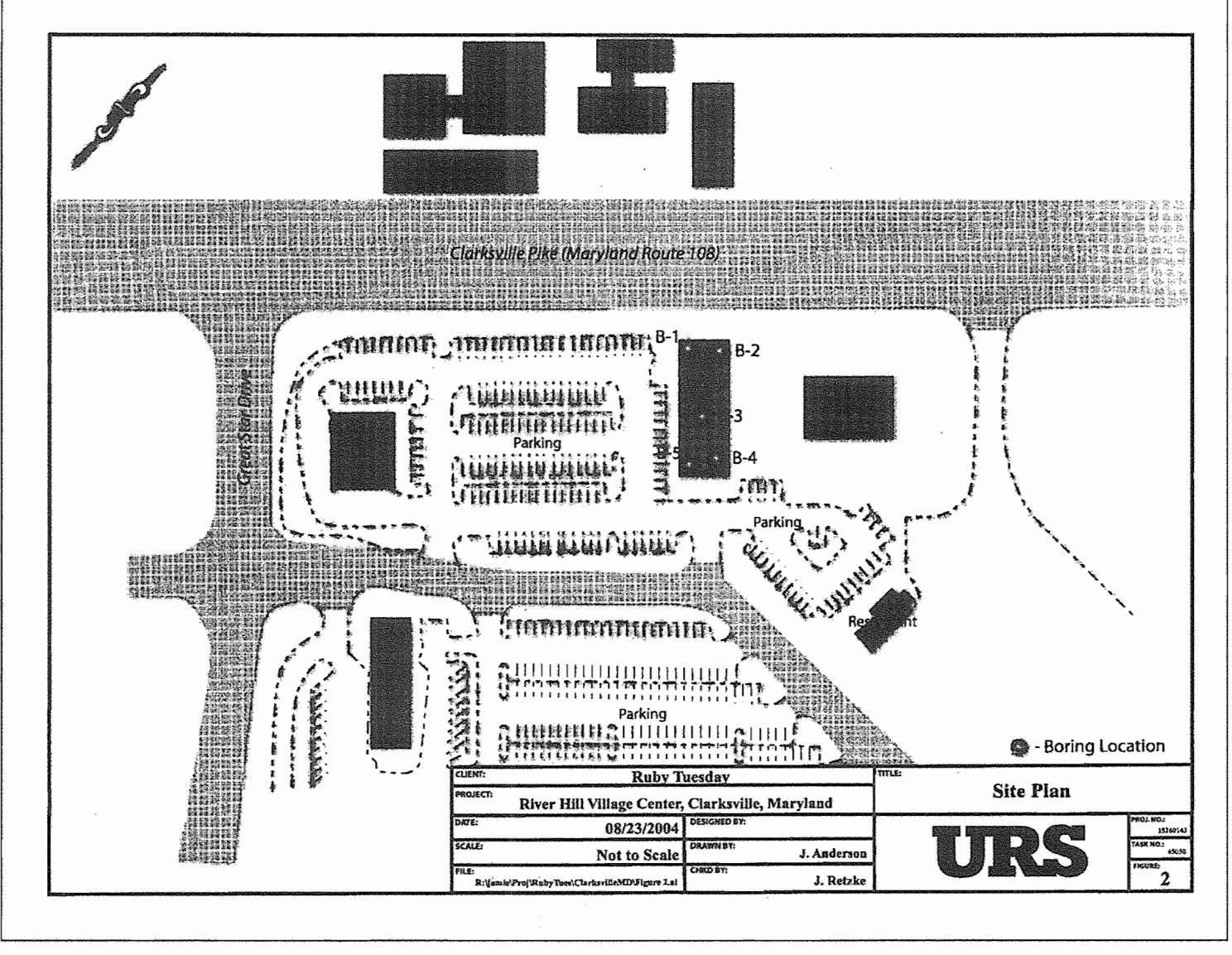
Layer 2: Sandy Silt: Immediately beneath the Layer 1 silt, the site is underlain by a brown/reddish brown/brownish yellow, medium stiff to stiff, highly micaceous, fine grained, sandy silt with trace fine quartz gravel. This material extends to the termination depth of 15 feet bgs in the borings. SPT blow counts in this layer ranged from 7 and 20 blows/foot.

5.1.3 Groundwater
Groundwater was not encountered in the borings at the time of drilling. We note that fluctuations in the groundwater level may occur due to seasonal variations and variations in rainfall, evaporation, construction activity, surface runoff, and other site-specific factors.

5.1.4 Surface Water
There was no surface water evident on the site at the time of this exploration.

6.0 RECOMMENDATIONS

6.1 Recommended Foundation System
Proposed foundation systems have been analyzed using the information developed from the subsurface exploration and the expected light loads. Structural information was not provided for the preparation of this report. However, based on URS' experience with similar structures, we anticipate maximum column and wall loads on the order of 75 kips and 3 to 4 kips per linear foot, respectively. Based on the conditions encountered in the borings, the planned Ruby Tuesday restaurant may be supported on shallow spread and/or continuous footings bearing in the silty/sandy silt materials or a compacted granular fill material.



APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cindy Hanna
CHIEF, DIVISION OF LAND DEVELOPMENT
Director

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 06/08/06

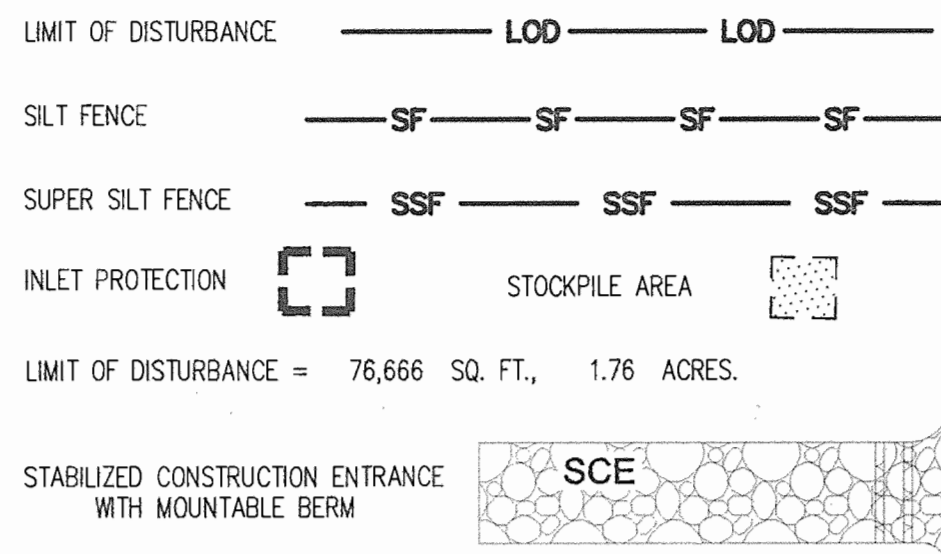
NOTE: ALL GEOTECHNICAL INFORMATION PROVIDED BY URS CORPORATION. REPORT PROVIDED ON PLAN SET FOR INFORMATIONAL PURPOSES ONLY. RBA IS NOT RESPONSIBLE FOR RECOMMENDATIONS WITHIN GEOTECHNICAL REPORT. CONTRACTOR SHALL CONTACT URS DIRECTLY FOR FURTHER RECOMMENDATIONS, IF NECESSARY.

SEDIMENT CONTROL KEYS

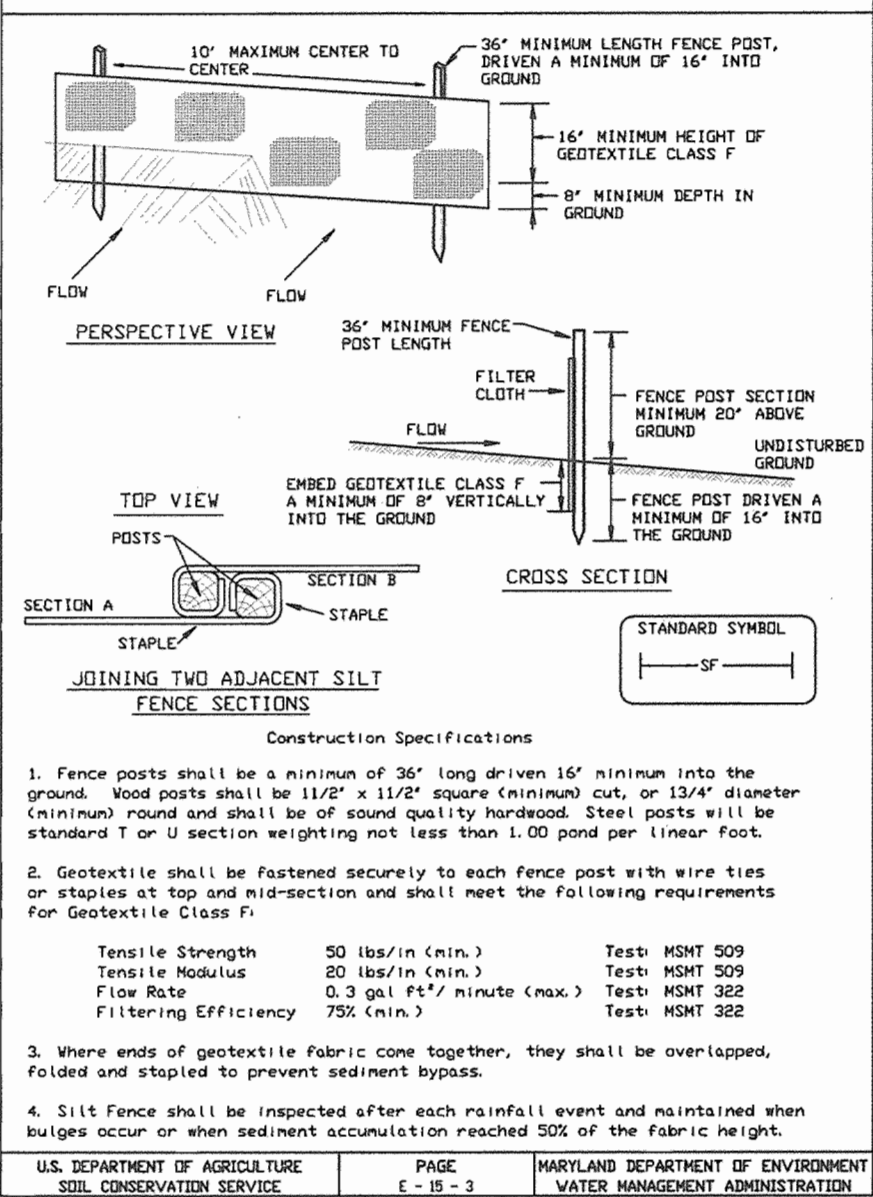
NOTE: CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID.

- 1 INLET PROTECTION
- 2 SILT FENCE
- 3 SUPER SILT FENCE
- 4 STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM
- 5 LIMIT OF DISTURBANCE RUNS COINCIDENTAL WITH PROPERTY LINE
- 6 LIMITS OF DISTURBANCE (TOTAL AREA OF DISTURBANCE = 1.76 ACRES.)
- 7 CONTRACTOR SHALL ONLY USE SITE ENTRANCE WITH STABILIZED CONSTRUCTION ENTRANCE. SECOND SITE ENTRY SHALL REMAIN OPEN FOR PARCEL W-1'S USE.
- 8 SILT FENCE TO BE ADDED AT DIRECTION OF INSPECTOR.

SEDIMENT CONTROL PLAN LEGEND



DETAIL 22 - SILT FENCE



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.
 Jim Meyer 8/22/06
 USFA - NATURAL RESOURCES COMMISSION SERVICE DATE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John R. Robertson 8/22/06
 HOWARD SCD DATE

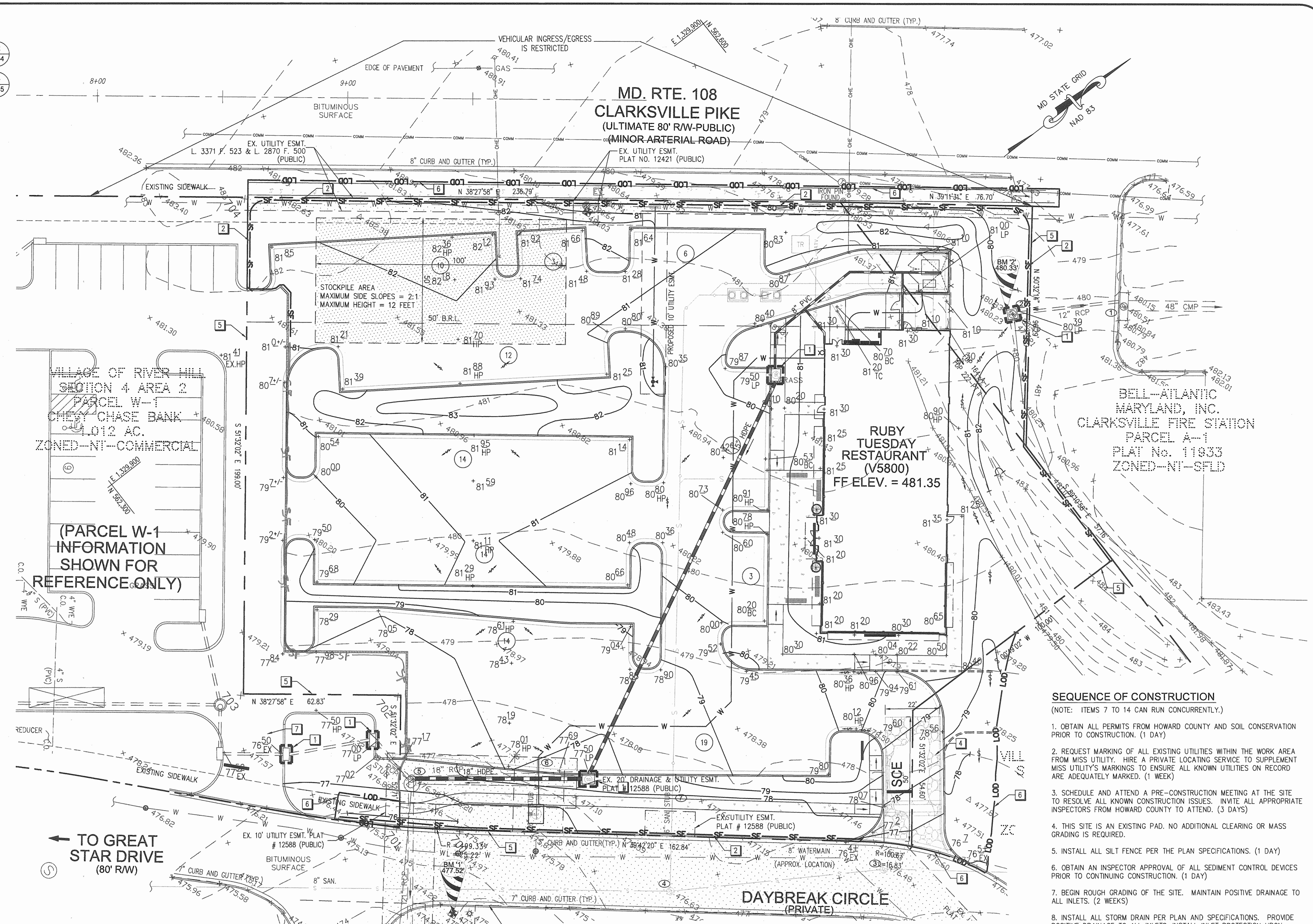
ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Robert G. Wilbur 8/17/06
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 J. Surinval 7/22/05
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE
 DIRECTOR
 DATE



VILLAGE OF RIVER HILL SECTION 4 AREA 2
 PARCEL W-1
 CHEVY CHASE BANK
 1.012 AC.
 ZONED-NI-COMMERCIAL
 (PARCEL W-1 INFORMATION SHOWN FOR REFERENCE ONLY)

RUBY TUESDAY RESTAURANT (V5800)
 FF ELEV. = 481.35

BELL-ATLANTIC MARYLAND, INC.
 CLARKSVILLE FIRE STATION
 PARCEL A-1
 PLAT No. 11933
 ZONED-NI-SFLD

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THESE PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

SEQUENCE OF CONSTRUCTION

- (NOTE: ITEMS 7 TO 14 CAN RUN CONCURRENTLY.)
- OBTAIN ALL PERMITS FROM HOWARD COUNTY AND SOIL CONSERVATION PRIOR TO CONSTRUCTION. (1 DAY)
 - REQUEST MARKING OF ALL EXISTING UTILITIES WITHIN THE WORK AREA FROM MISS UTILITY. HIRE A PRIVATE LOCATING SERVICE TO SUPPLEMENT MISS UTILITY'S MARKINGS TO ENSURE ALL KNOWN UTILITIES ON RECORD ARE ADEQUATELY MARKED. (1 WEEK)
 - SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING AT THE SITE TO RESOLVE ALL KNOWN CONSTRUCTION ISSUES. INVITE ALL APPROPRIATE INSPECTORS FROM HOWARD COUNTY TO ATTEND. (3 DAYS)
 - THIS SITE IS AN EXISTING PAD. NO ADDITIONAL CLEARING OR MASS GRADING IS REQUIRED.
 - INSTALL ALL SILT FENCE PER THE PLAN SPECIFICATIONS. (1 DAY)
 - OBTAIN AN INSPECTOR APPROVAL OF ALL SEDIMENT CONTROL DEVICES PRIOR TO CONTINUING CONSTRUCTION. (1 DAY)
 - BEGIN ROUGH GRADING OF THE SITE. MAINTAIN POSITIVE DRAINAGE TO ALL INLETS. (2 WEEKS)
 - INSTALL ALL STORM DRAIN PER PLAN AND SPECIFICATIONS. PROVIDE POSITIVE DRAINAGE TO ALL INLETS. INSTALL INLET PROTECTION UPON COMPLETION OF INLET CONSTRUCTION. (1 WEEK)
 - BEGIN ON-SITE UTILITY AND BUILDING CONSTRUCTION. OBTAIN THE UTILITY INSPECTOR'S APPROVAL OF THE WATER AND SEWER CONSTRUCTION PRIOR TO BACKFILLING TRENCHES. IF REQUIRED, OBTAIN ALL AS-BUILT INFORMATION ON THE WATER, SEWER, AND STORM PRIOR TO BACKFILLING THE TRENCHES. (3 MONTHS)
 - FINE GRADE ALL REMAINING AREAS TO BE PAVED. PROVIDE TEMPORARY SEEDING ON ALL GREEN AREAS TO REMAIN DISTURBED FOR AN EXTENDED PERIODS OF TIME. (2 WEEKS)
 - INSTALL ALL CURB, GUTTER AND BASE PAVEMENT PER THE PLAN REQUIREMENTS. (2 WEEKS)
 - CONTINUE BUILDING CONSTRUCTION UNTIL ALL STRUCTURES ARE COMPLETE. (3 MONTHS)
 - INSTALL SURFACE COURSE PAVEMENT AND PAVEMENT STRIPING ONCE ALL HEAVY EQUIPMENT HAS BEEN REMOVED FROM THE SITE. (1 WEEK)
 - STABILIZE ALL REMAINING AREAS OF THE SITE PER THE CONSTRUCTION PLANS, INSTALL ALL FINAL LANDSCAPING. (1 WEEK)
 - ONCE THE SITE IS STABILIZED, OBTAIN INSPECTOR'S APPROVAL PRIOR TO REMOVING ANY SEDIMENT CONTROL DEVICES. (1 WEEK)

SITE ANALYSIS:

TOTAL AREA OF SITE	1.70 ACRES
AREA DISTURBED	1.76 ACRES
AREA TO BE ROOFED OR PAVED	1.16 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.60 ACRES
TOTAL CUT	373 CU. YDS.
TOTAL FILL	646 CU. YDS.
OFFSITE WASTE/BORROW AREA LOCATION:	N/A - IMPORT REQUIRED

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
 150 W. CHURCH AVENUE
 MARYVILLE, TENNESSEE 37801
 (865) 379-5942 FAX: (865) 379-8928

RBA
 ENGINEERS & ARCHITECTS • PLANNERS
 7141 W. WOODBINE DRIVE
 COLUMBIA, MARYLAND 21046
 Phone (410) 312-0966, Fax: (410) 312-0887

Ruby Tuesday

SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
 VILLAGE OF RIVER HILL
 TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
 SECTION 4/2, PARCEL W-2, PLAT 16985
 CLARKSVILLE, HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
 DEPARTMENT OF ENVIRONMENT & GENERAL SERVICES
 1/17/06

GRAPHIC SCALE 1"=20' 1

DATE: 06/30/05
 JOB NUMBER: M3482.00
 FILE NAME: C-14 ESCP 3482
 PLOTTED: 08/17/06
 DRAWN BY: WLB

EROSION AND SEDIMENT CONTROL PLAN

SHEET C-14
 15 of 20

NOTES:

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED AS A PART OF THE GRADING PERMIT IN THE AMOUNT OF \$18,840 FOR THE 30 SHADE TREES, 35 ORNAMENTAL AND EVERGREEN TREES AND 176 SHRUBS.
3. THIS PLAN IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS SUBDIVISION SECTION 16.1202(b)(1)(iv). PER PLANNED UNIT DEVELOPMENT (NEW TOWN) THAT WAS MORE THAN 50% DEVELOPED BEFORE DECEMBER 31, 1992.

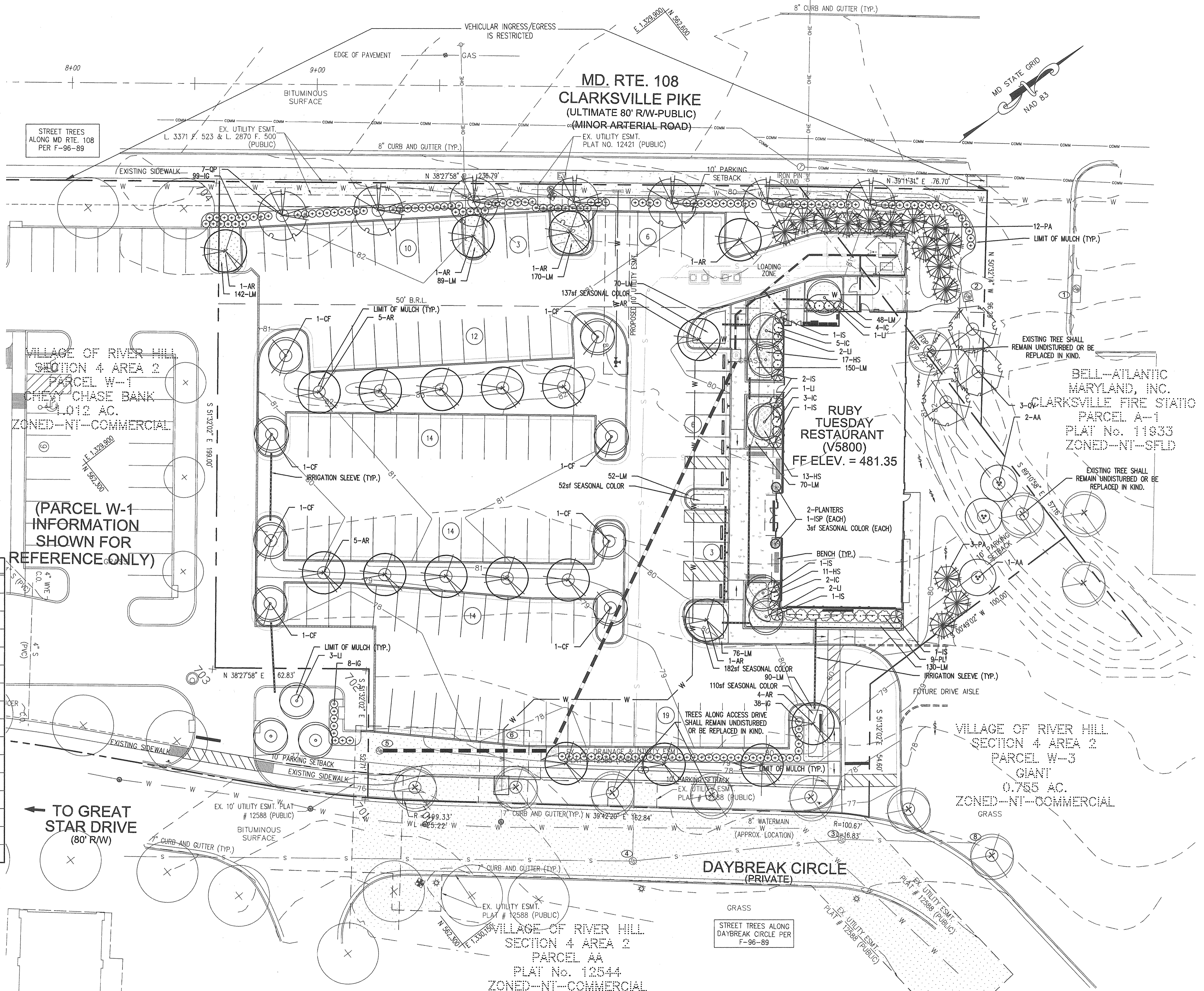
LANDSCAPE LEGEND

- PROPOSED SHADE TREES
- PROPOSED ORNAMENTAL TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS
- PROPOSED GROUNDCOVERS
- PROPOSED SEASONAL COLOR
- EXISTING TREE TO REMAIN
- IRRIGATION SLEEVE
- GRANITE CURBING

PLANT SCHEDULE

KEY	QTY.	BOTANICAL / COMMON NAME	SIZE	ROOT	REMARKS
AA	3	AMELANCHEIR ARBOREA DOWNY SERVICEBERRY	12'-14" HGT.	B & B	MULTISTEM SPACE AS SHOWN
AR	20	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	3-3 1/2" CAL.	B & B	SPACE AS SHOWN
CF	8	CORNUS FLORIDA 'RUBRA' PINK FLOWERING DOGWOOD	2-2 1/2" CAL.	B & B	SPACE AS SHOWN
LI	9	LAGERSTROMIA INDICA 'NATCHEZ' NATCHEZ CRAPE MYRTLE	12'-14" HGT.	B & B	MULTISTEM SPACE AS SHOWN
PA	15	PICEA ABIES NORWAY SPRUCE	8'-10" HGT.	B & B	SPACE AS SHOWN
QP	7	QUERCUS PHELLOS WILLOW OAK	3-3 1/2" CAL.	B & B	SPACE AS SHOWN
QV	3	QUERCUS VELUTINA BLACK OAK	3-3 1/2" CAL.	B & B	SPACE AS SHOWN
IC	14	ILEX CRENATA 'COMPACTA' COMPACT JAPANESE HOLLY	24-30" HGT.	B & B	SPACE 4' ON CENTER
IG	145	ILEX GLABRA 'NIGRA' NIGRA INKBERRY	24-30" HGT.	B & B	SPACE 3' ON CENTER
IS	7	ILEX CRENATA 'STEEDS' STEEDS JAPANESE HOLLY	36-42" HGT.	B & B	SPACE AS SHOWN
ISP	6	ILEX CRENATA 'SKY PENCIL' SKY PENCIL JAPANESE HOLLY	30-36" HGT.	B & B	FOR PLANTER
PL	9	PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN CHERRY LAUREL	24-30" HGT.	B & B	SPACE 5' ON CENTER
HS	41	HOSTA SIEBOLDIANA 'ELEGANS' ELEGANS BLUE HOSTA	18-21" SPR.	#1 CONT.	SPACE 30" ON CENTER
LM	1087	LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LIRIOPE	12-15" SPR.	QUART	SPACE 15" ON CENTER
SEASONAL COLOR	487 SF	CONSULT STORE MANAGER FOR TYPE OF PLANTINGS TO BE INSTALLED			AREA APPROXIMATE CONTRACTOR TO VERIFY
SOD	1600 SY	CERTIFIED TURF TYPE TALL FESCUE			AREA APPROXIMATE CONTRACTOR TO VERIFY

APPROXIMATELY 650 L.F. OF STEEL EDGING SHALL BE INSTALLED BETWEEN SOD AND PLANTING BEDS. SEE STEEL EDGING DETAIL ON SHEET L-3



APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

APPROVED: CHIEF, DEVELOPMENT ENGINEERING DIVISION
 APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT
 APPROVED: DIRECTOR

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE 06/08/06

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
 150 W. CHURCH AVENUE
 MARYVILLE, TENNESSEE 37801
 (665) 379-5962 FAX: (665) 379-6828

RBA
 ARCHITECTS & PLANNERS
 7474 Columbia, Maryland 21046
 Phone (410) 312-0966 Fax: (410) 312-0967

Ruby Tuesday

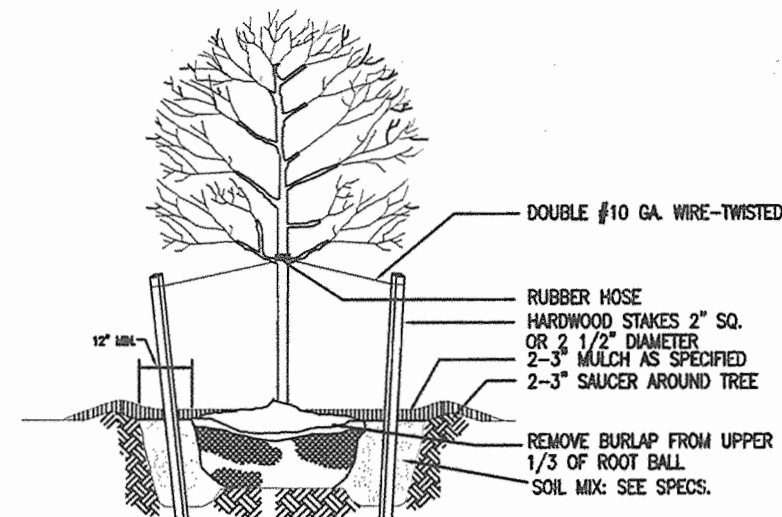
SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
 VILLAGE OF RIVER HILL
 TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
 SECTION 4/2, PARCEL W-2, PLAT 16985
 CLARKSVILLE, HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
 ARCHITECTS & PLANNERS
 No. 5216
 RBA ARCHITECTS & PLANNERS
 8/17/2006
 GRAPHIC SCALE 1"=20'

DATE: 06/30/05
 JOB NUMBER: M3482.00
 FILE NAME: C-16 LSCP 3482
 PLOTTED: 08/17/06
 DRAWN BY: WLB

LANDSCAPE PLAN

SHEET L-1
 17 of 20

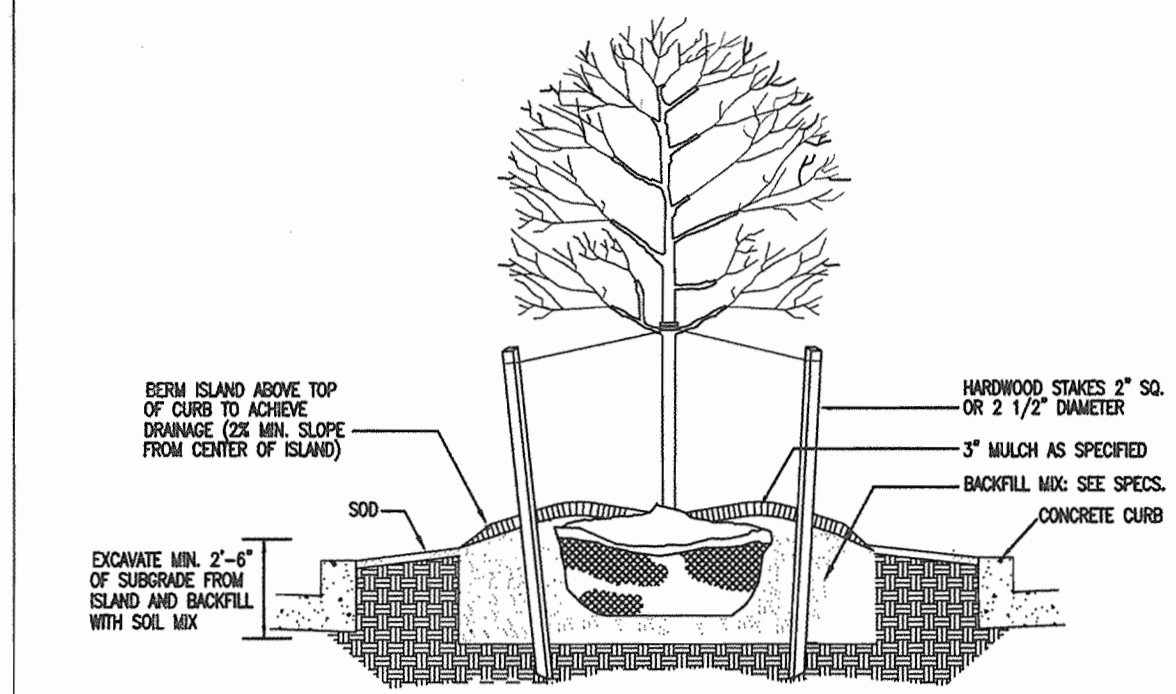


1. REMOVE DEAD OR BROKEN BRANCHES, RETAINING NATURAL SHAPE.
2. NEVER CUT CENTRAL LEADER.
3. SET TREE WITH 1/8" ROOT BALL ABOVE GRADE.
4. STAKES, WIRES & HOSES SHALL BE REMOVED AFTER ONE YEAR.
5. SCARIFY SOIL SURF TO A MIN. 4" DEPTH.
6. PLACE STAKES PARALLEL TO WALKS.

TREE SUPPORT SCHEDULE - EVERGREEN & DECIDUOUS

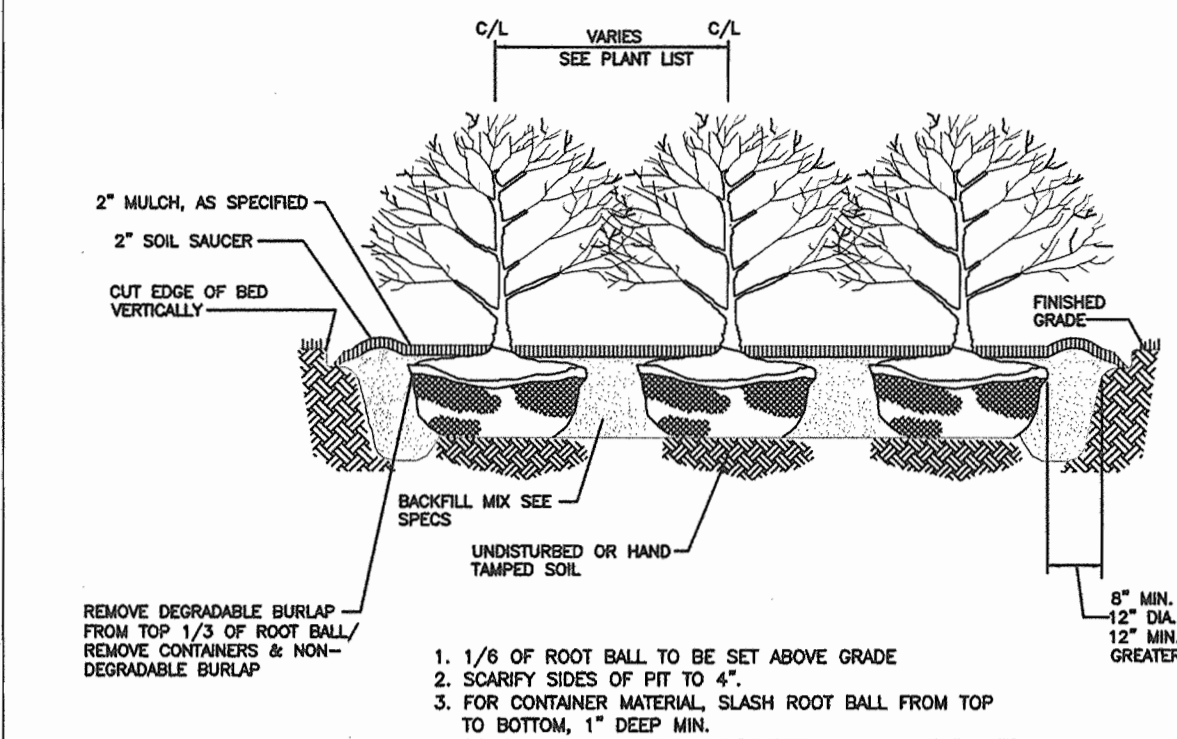
TREE HEIGHT	TREE CALIPER	STAKE
6'-8'	1 - 1 1/2"	2 @ 5'
8'-10'	1 1/2 - 2"	2 @ 5'
10'-12'	1 1/2 - 2"	2 @ 7 - 8'
12'-14'	2 1/2 - 3"	3 @ 8'
14'-16'	3 - 4"	3 @ 8'

1 DECIDUOUS TREE PLANTING
SCALE: N.T.S.



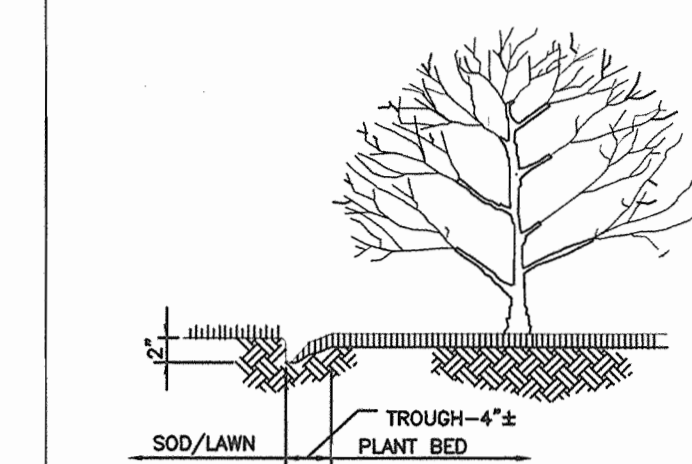
TEST DRAINAGE IN ISLANDS AFTER EXCAVATION. FILL PIT WITH 4" OF SAND. IF WATER IS STANDING AFTER ONE HOUR, EXCAVATE 6" DEEPER. LAY 6" DRAINAGE BEDDING COVER BEDDING WITH FILTER FABRIC. LAP UP 6" ALL AROUND.

2 TREE ISLAND DETAIL
SCALE: N.T.S.



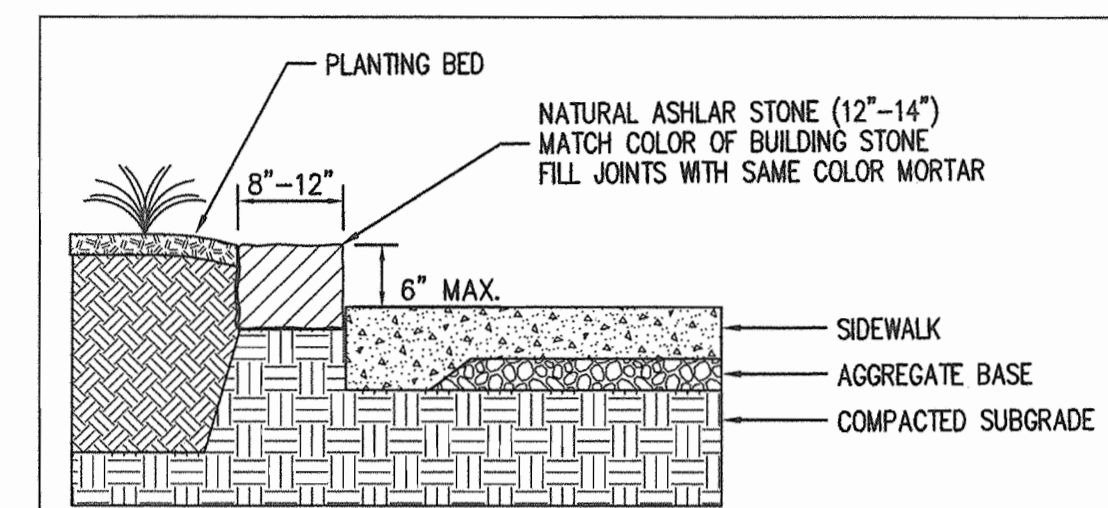
1. 1/6" OF ROOT BALL TO BE SET ABOVE GRADE.
2. SCARIFY SIDES OF PIT TO 4".
3. FOR CONTAINER MATERIAL, SLASH ROOT BALL FROM TOP TO BOTTOM, 1" DEEP MIN.
4. REMOVE DEAD OR BROKEN BRANCHES, RETAIN NATURAL FORM.

3 MASS SHRUB PLANTING
SCALE: N.T.S.

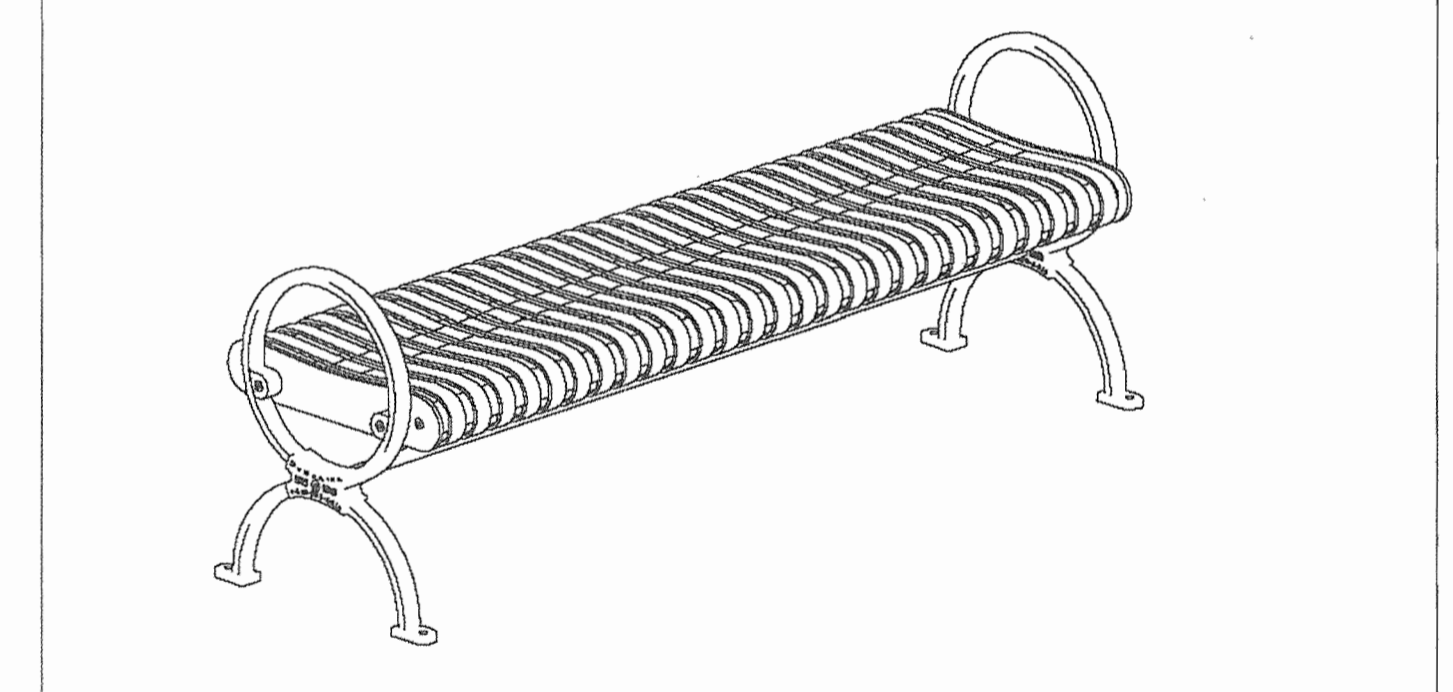
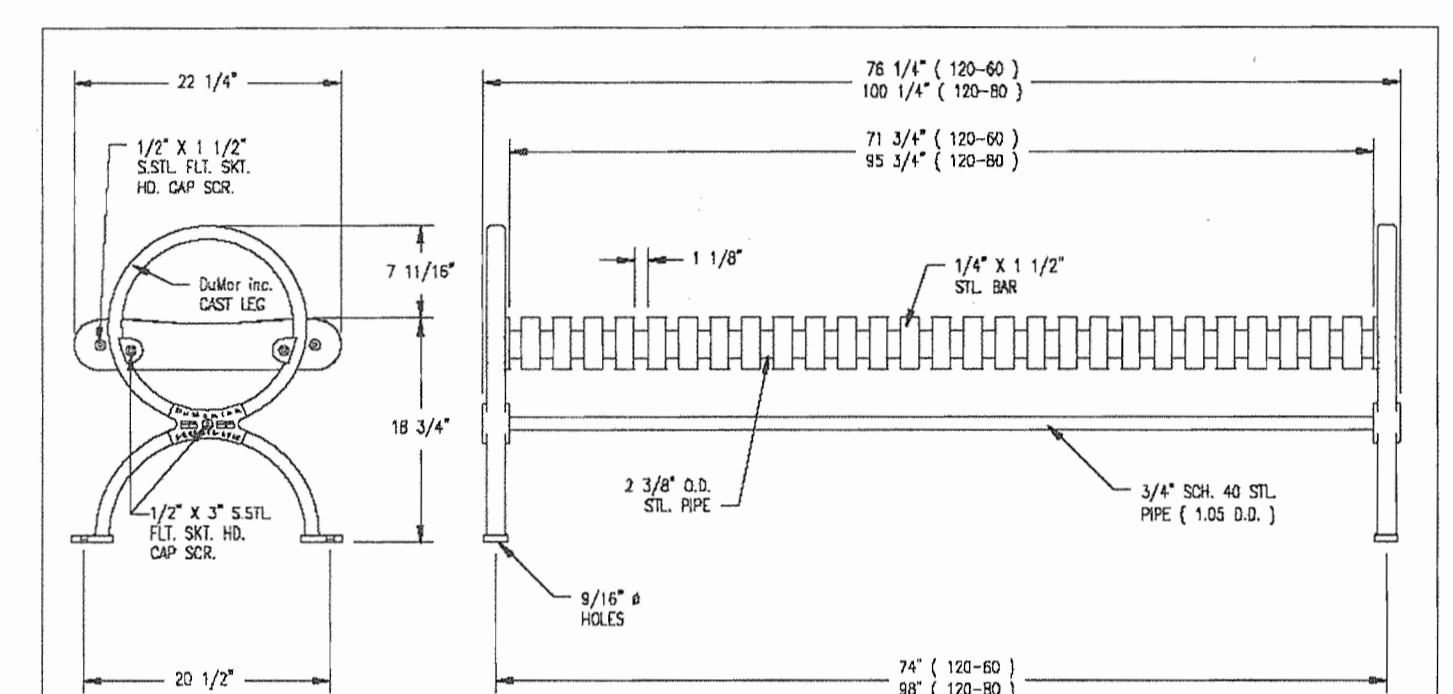


1. CUT PLANT BEDS IN SMOOTH CURVES.
2. CUT EDGE OF SOD VERTICALLY TO CREATE CLEAN EDGE.

4 PLANT BED EDGING
SCALE: N.T.S.



STONE CURB DETAIL
SCALE: N.T.S.



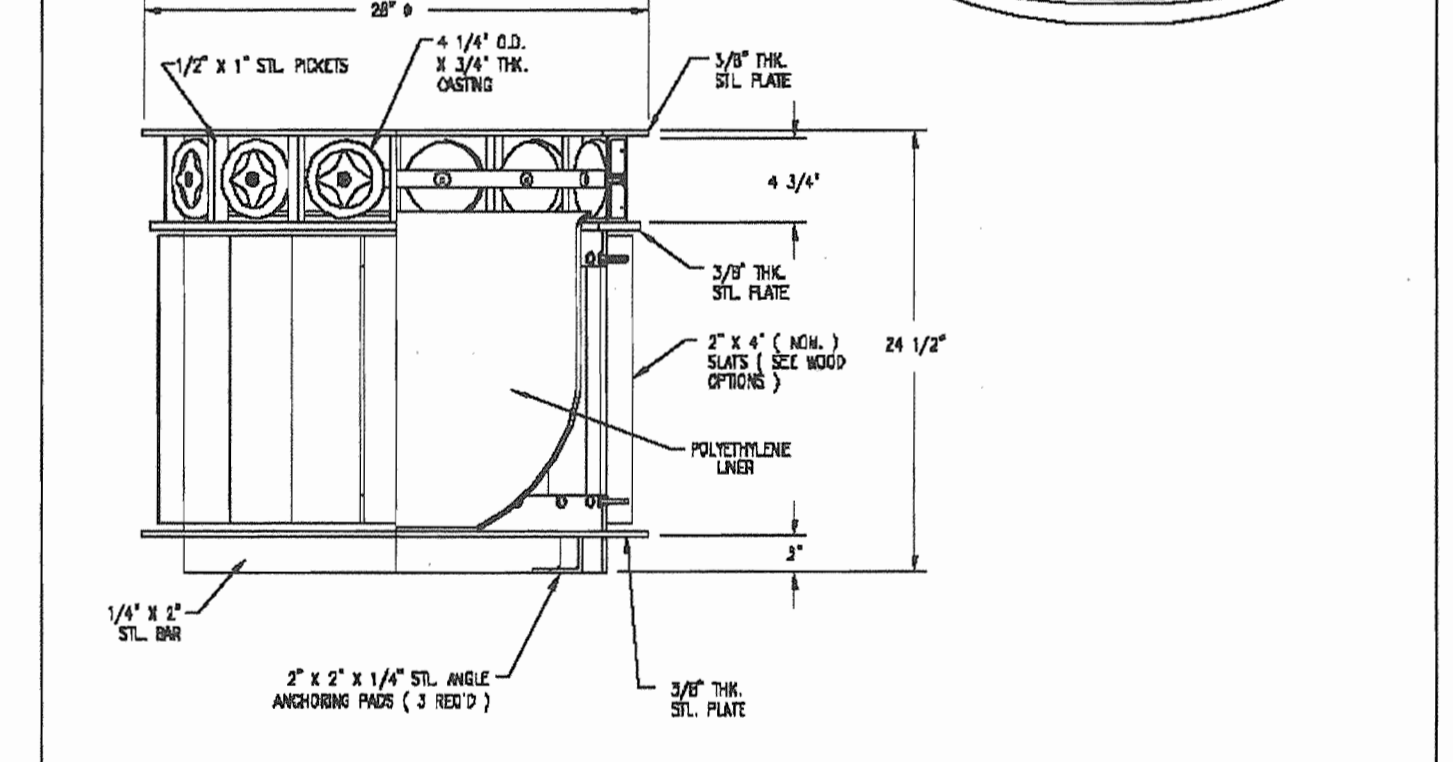
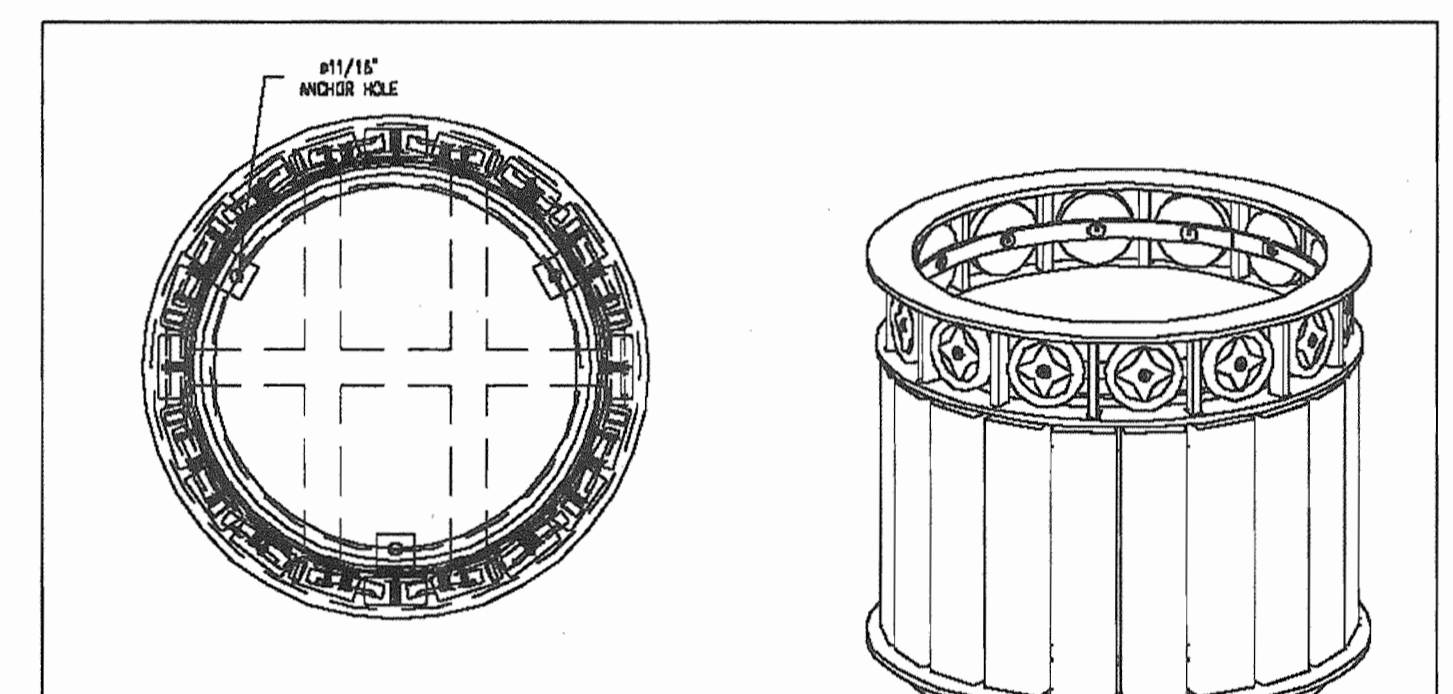
NOTES:
1.) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
2.) 1/2" X 3 3/4" PLTD. EXPANSION ANCHOR BOLTS PROVIDED.

LENGTH OPTIONS:
 6" BENCH
 8" BENCH

DuMor, inc.
P.O. Box 142 Millilions, PA 17059-0142

SCALE: NONE
DATE DRAWN: 9/30/97
DRAWN BY: AH
DATE REV.: 10/13/01
REV. BY: AM1

TITLE: BENCH
REV. C
DRAWING NUMBER: 120 SERIES
SHEET: 1 OF 2



NOTES:
1.) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
2.) WOOD MEMBERS TREATED W/ CLEAR PRESERVATIVE.
3.) 1/2" X 3 3/4" PLTD. EXPANSION ANCHOR BOLTS PROVIDED.

WOOD OPTIONS:
 CLEAR ALL HEART REDWOOD S4S EE
 C & BTR. DOUGLAS FIR KD S4S EE
 CLEAR WESTERN RED CEDAR S4S EE
 CLEAR PE S4S EE
 OTHER

DuMor, inc.
P.O. Box 142 Millilions, PA 17059-0142

SCALE: NONE
DATE DRAWN: 11/11/92
DRAWN BY: AM1
DATE REV.:
REV. BY:

TITLE: PLANTER
REV. A
DRAWING NUMBER: 153-00
SHEET: 1 OF 2

SCHEDULE 'A' - PERIMETER LANDSCAPE EDGE

CATEGORY	ADJ. TO ROADWAYS		ADJ. TO PERIMETER PROPERTIES	
	B	D	A	
LANDSCAPE TYPE	B	D	A	
LINEAR FEET ROADWAY FRONTAGE/PERIMETER	525'	115'	310'	
CREDIT FOR EXISTING VEGETATION	YES (5 SHADE TREES)	NO	YES (2 SHADE TREES)	
CREDIT FOR WALL, FENCE OR BERM	NO	NO	NO	
NUMBER OF PLANTS REQUIRED				
SHADE TREES	6	2	5	
EVERGREEN TREES	13	12	.	
SHRUBS	.	.	.	
NUMBER OF PLANTS PROVIDED				
SHADE TREES	8	1	3	
EVERGREEN TREES	.	12	3	
OTHER TREES (2:1 substitution)	3	.	3	
SHRUBS (10:1 substitution)	111	31	.	

SCHEDULE 'B' - PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	101
NUMBER OF TREES REQUIRED	5
NUMBER OF TREES PROVIDED	
SHADE TREES	16
OTHER TREES (2:1 substitution)	8

APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER: HOWARD COUNTY HEALTH DEPARTMENT
DATE: N/A

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: *[Date]*
 CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 8/30/06
 DIRECTOR: *[Signature]* DATE: 8/30/06

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE 06/08/06

REVISIONS

NO.	DATE	DESCRIPTION

PLANS PREPARED FOR:
RUBY TUESDAY, INC
150 W. CHURCH AVENUE
MARYVILLE, TENNESSEE 37801
(865) 379-8642 FAX: (865) 379-8228

RBA Group
ENGINEERS & ARCHITECTS • PLANNERS
7164 Columbia Gateway Drive, Suite 205
Columbia, Maryland 21046
Phone (410) 312-0966 Fax: (410) 312-0987

Ruby Tuesday

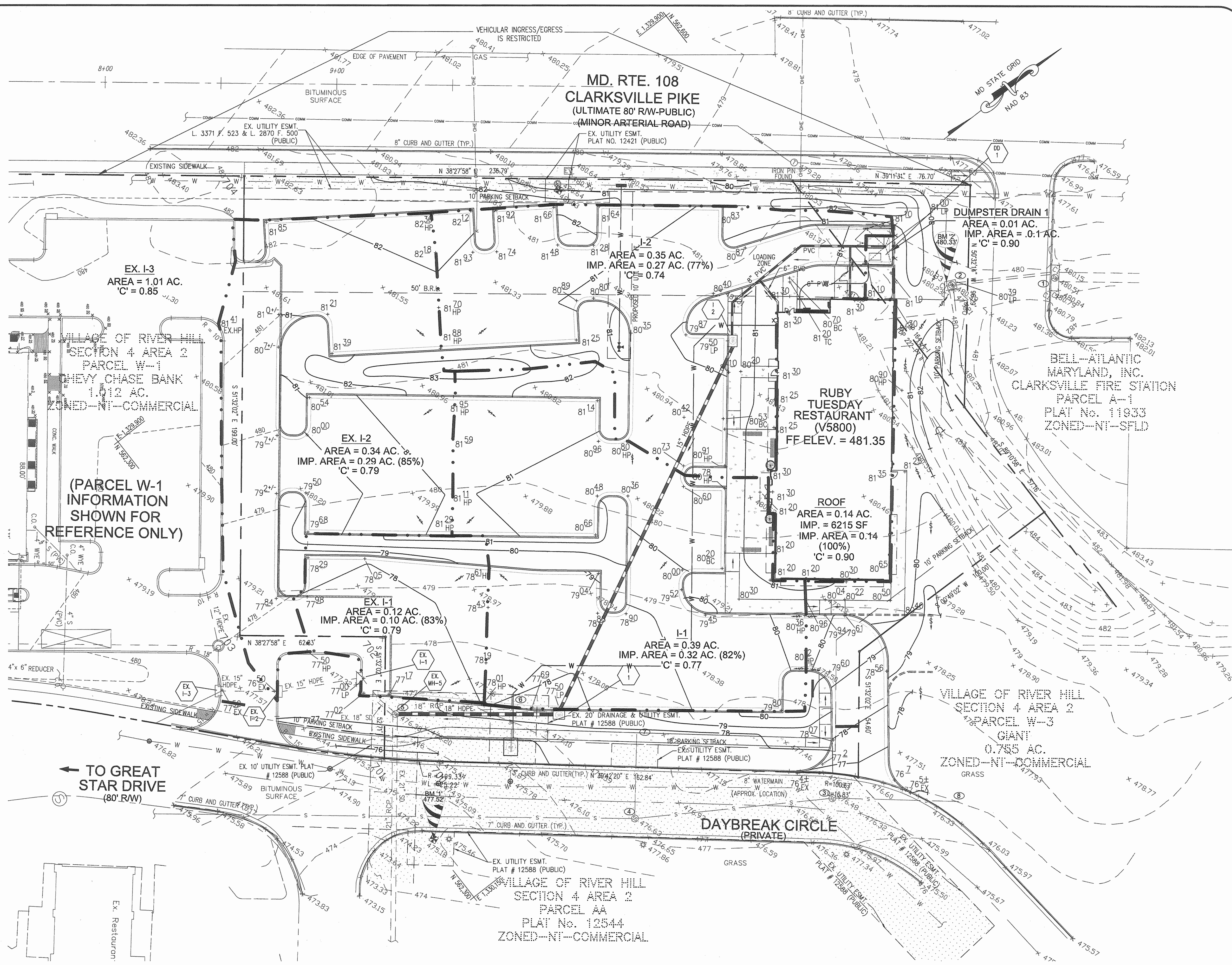
SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
VILLAGE OF RIVER HILL
TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
SECTION 4/2, PARCEL W-2, PLAT 16985
CLARKSVILLE, HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
LANDSCAPE ARCHITECT
8/17/2006

DATE: 06/30/05
JOB NUMBER: M3482.00
FILE NAME: L-3 LSCP3 3482
PLOTTED: 08/17/06
DRAWN BY: WLB
LANDSCAPE DETAILS
SHEET: L-3 of 20

PLAN LEGEND
 TC = TOP OF CURB
 LP = LOW POINT
 HP = HIGH POINT
 56.00+ = PROPOSED SPOT ELEVATION OF 456.00
 PROPOSED DRAINAGE DIVIDE

PLAN NOTES:
 1. ALL SPOT ELEVATIONS ARE TO BOTTOM OF CURB UNLESS NOTED OTHERWISE.
 2. REFER TO PLAN C-2 FOR EXISTING CONDITIONS AND EXISTING INVERTS.



APPROVED FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE
 APPROVED DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR
 DATE 4/27/06
 DATE 5/20/06
 DATE 8/10/06

APPROVED
 PLANNING BOARD
 of HOWARD COUNTY
 DATE 06/08/06

REVISIONS

PLANS PREPARED FOR:
RUBY TUESDAY, INC
 150 W. CHURCH AVENUE
 MARYVILLE, TENNESSEE 37801
 (865) 379-5642 FAX: (865) 379-6626

RBA
 ARCHITECTS & PLANNERS
 ENGINEERS
 7184 Columbia Gateway Drive, Suite 205
 Columbia, Maryland 21046
 Phone: (410) 312-0966, Fax: (410) 312-0987

Ruby Tuesday

SITE DEVELOPMENT PLANS FOR:
RUBY TUESDAY RESTAURANT
 VILLAGE OF RIVER HILL
 TAX MAP 34, GRID 6, 5TH ELECTION DISTRICT
 SECTION 4/2, PARCEL W-2, PLAT 16985
 CLARKSVILLE, HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 [Signature]
 8/17/06

GRAPHIC SCALE 1"=20'
 DATE: 06/30/05
 JOB NUMBER: M3482.00
 FILE NAME: D-01 DAM 3482
 PLOTTED: 06/17/06
 DRAWN BY: WLB
 DRAINAGE AREA MAP
 SHEET DA-1
 20 OF 20

G:\3482 Clarksville RT\3482 SH\TSD-01 DAM 3482.dwg, 8/17/2006 10:23:05 AM, jlapadula