

SCHEDULE A PERIMETER LANDSCAPE EDGE	
PERIMETER	P-1
CATEGORY	ADJACENT TO ROADWAY
LANDSCAPE TYPE	B
LINEAR FEET OF PERIMETER	220 LF.
CREDIT FOR EXISTING VEGETATION (NO, YES AND D)	NO
CREDIT FOR WALL, FENCE OR BERM (NO, YES, AND D)	NO
NUMBER OF TREES REQUIRED	
SHADE TREES	5
EVERGREEN TREES	6
NUMBER OF TREES PROVIDED	
SHADE TREES	5
EVERGREEN TREES	6

LANDSCAPE NOTES:
 1. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPING PLANT LIST			
QTY.	KEY	NAME	SIZE
5		ACER RUBRUM "OCTOBER GLORY" OCTOBER RED MAPLE	2 1/2" - 3" CALIPER FULL CROWN, BAB
6		PINUS STROBUS EASTERN WHITE PINE	6'-8" HT

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable deformations. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug or hail-in plants from cold storage will be accepted. Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", hereinafter "Landscape Guidelines" approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition including all agenda. Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material. Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor. Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the dig line. Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction. Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications. Plant quantities are provided for the convenience of the contractor only; if discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plant list take precedence. All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans. Positive drainage shall be maintained in planting beds 2 percent slope. Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - Two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines. Wood Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated. All areas within contract limits disturbed during or prior to construction not despoiled to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only; see other plan sheets for more information on grading, sediment control, layout, etc.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to this plan, Section 16124 of the Howard County Subdivision and Land Development regulations and the Landscape Manual. I/We further certify that upon completion, a LETTER OF NOTICE, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

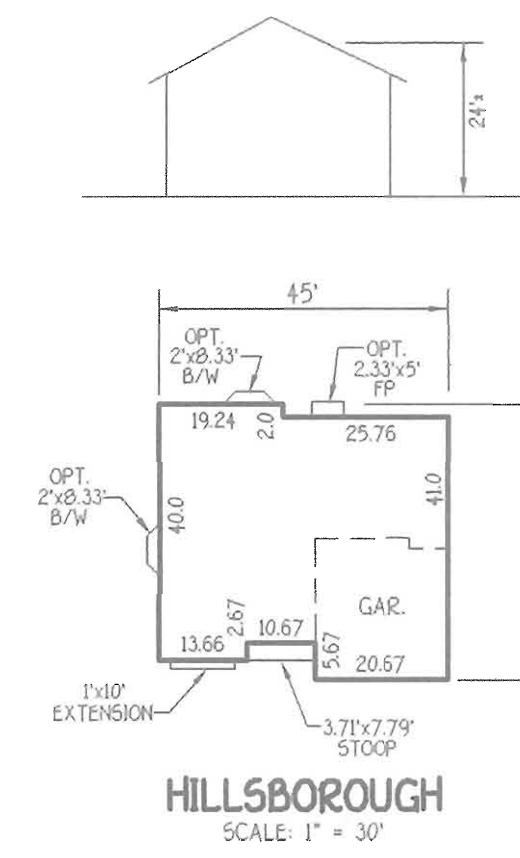
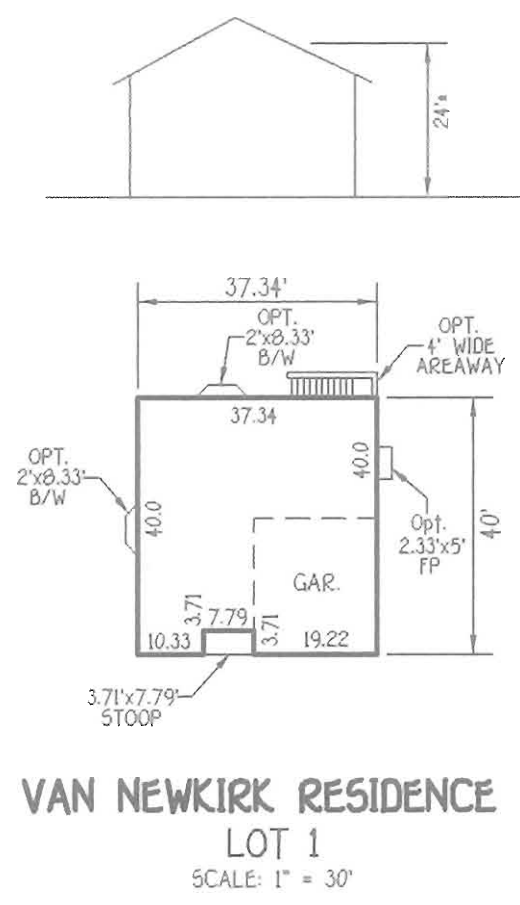
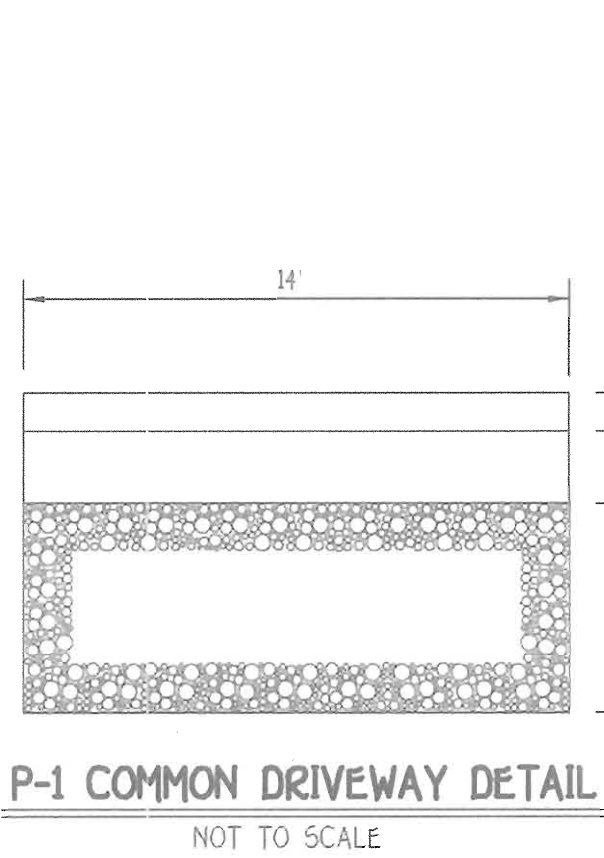
Steve Forney 9-26-05
 STEVE FORNEY DATE

MINIMUM LOT SIZE CHART			
LOT NO.	GROSS AREA	PISTEM AREA	MINIMUM LOT SIZE
1	10,015 SQ.FT.	524 SQ.FT.	9,491 SQ.FT.
2	9,564 SQ.FT.	1,045 SQ.FT.	8,519 SQ.FT.
3	8,214 SQ.FT.	372 SQ.FT.	7,872 SQ.FT.
4	8,664 SQ.FT.	36 SQ.FT.	8,628 SQ.FT.

INDEX CHART	
SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, HOUSE TYPES, LANDSCAPING CHARTS, NOTES & SITE PLAN LOTS 1 THRU 4
SHEET 2	SEDMENT/EROSION CONTROL PLAN, LOTS 1 THRU 4
SHEET 3	SEDMENT/EROSION CONTROL NOTES & DETAILS AND LANDSCAPE PLANTING DETAILS

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
1	8158 MAYFIELD AVENUE
2	8156 MAYFIELD AVENUE
3	8154 MAYFIELD AVENUE
4	8152 MAYFIELD AVENUE

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	362.2 SPOT ELEVATION
	PROPOSED WALKOUT
	SUPER SALT FENCE
	LIMIT OF DISTURBANCE
	FOREST CONSERVATION EASEMENT SIGN
	20' PUBLIC SEWER HOUSE CONNECTION EASEMENT
	12' PRIVATE INGRESS, EGRESS EASEMENT
	EXISTING PUBLIC SEWER & UTILITY EASEMENT
	24' PRIVATE UTILITY & USE-IN-COMMON EASEMENT
	PUBLIC WATER, SEWER & UTILITY EASEMENT
	PRIVATE NOISE WALL EASEMENT
	PROPOSED TREES PROVIDED UNDER SDP-05-143
	EXISTING STREET TREE TAKEN FROM F-03-135



NO.	REVISION	DATE

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Earl D. Collins Date
 Signature of Engineer EARL D. COLLINS Date

BUILDER/DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that my responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Steve Forney 9-26-05
 Signature of Developer STEVE FORNEY Date

Approved for HOWARD SCD and meets Technical Requirements.

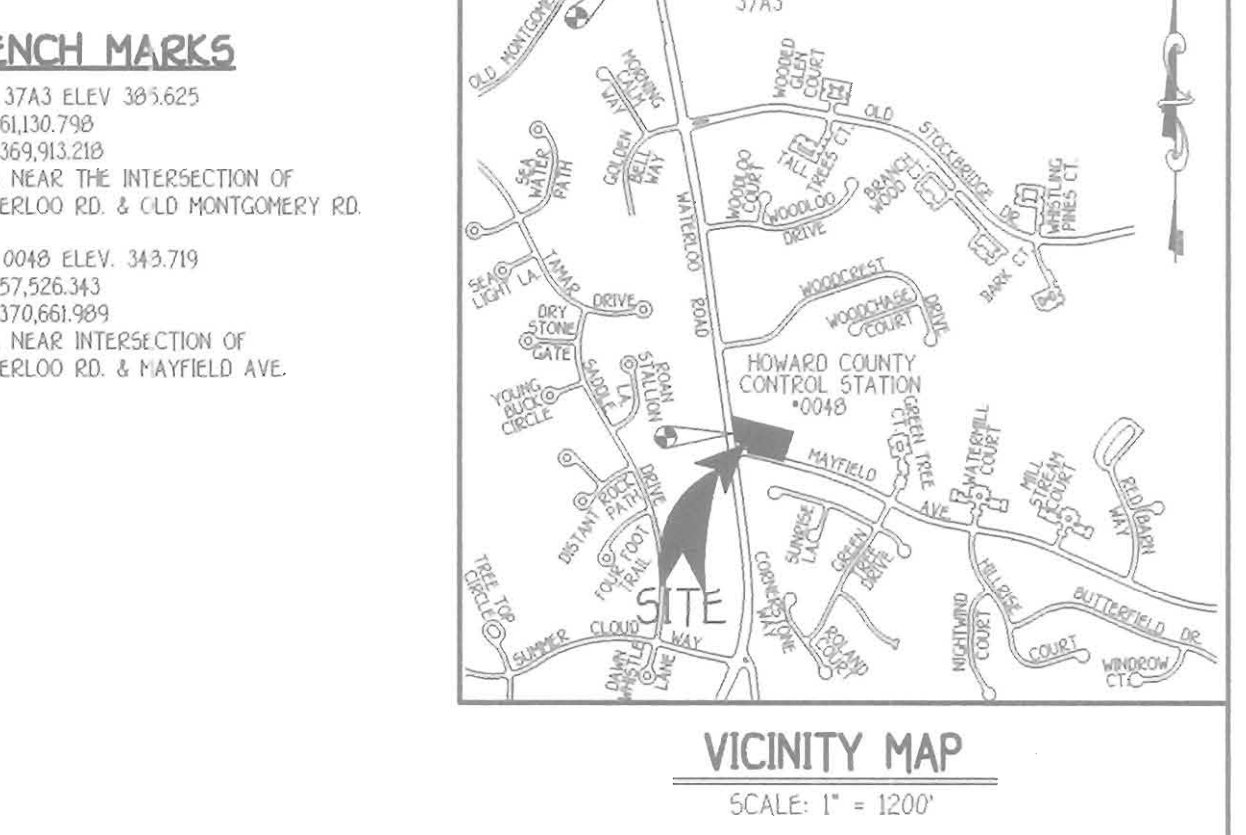
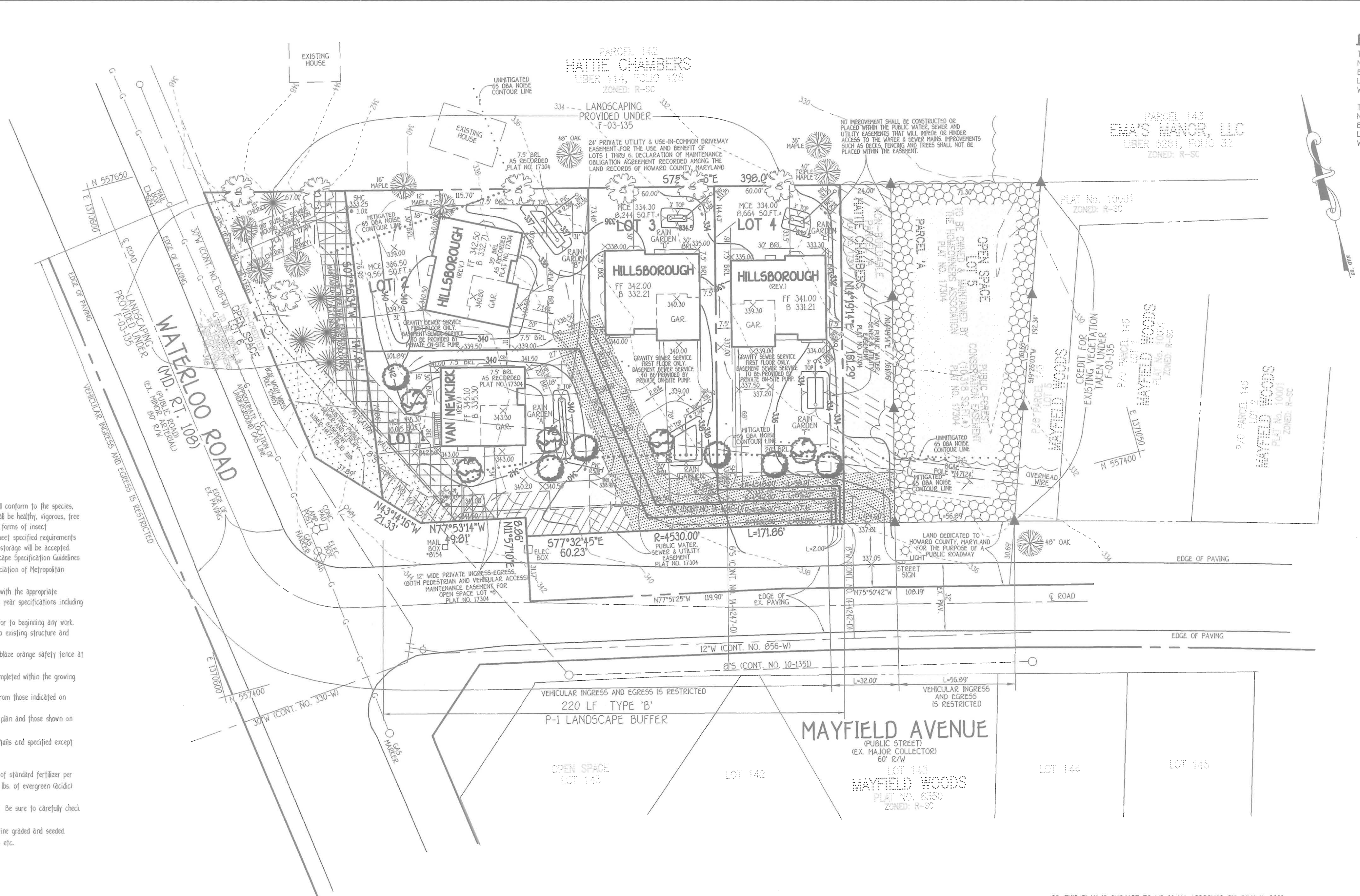
U.S.D.A.-Natural Resources Conservation Service Date
 This development plan is approved for sediment and erosion control by the HOWARD SOIL CONSERVATION DISTRICT Date

OWNER/BUILDER/DEVELOPER
 HAMILTON REED
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043
 410-461-2760

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
<i>Conita Hammon</i> Chief, Division of Land Development	10/4/05	Date			
<i>Michael M. Kelly</i> Chief, Development Engineering Division	10/2/05	Date			
<i>Paul A. Kelly</i> Director - Department of Planning and Zoning	10/1/05	Date			
PROJECT	SECTION	LOT NO'S.			
MAYFIELD OVERLOOK	N/A	1 THRU 4			
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
17304	14	R-SC	37	FIRST	6068.02
WATER CODE	SEWER CODE				
E-15	7640000				

SITE DEVELOPMENT PLAN
 SINGLE FAMILY DETACHED
MAYFIELD OVERLOOK
 LOTS 1 THRU 4
 TAX MAP NO: 37 PARCEL NO: 144 GRID NO: 14
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: MARCH, 2004
 SHEET 1 OF 3

SDP 05-143



BENCH MARKS
 TP. 3743 ELEV. 389.625
 N. 56130.798
 E. 139493.218
 LOC. NEAR THE INTERSECTION OF WATERLOO RD. & OLD MONTGOMERY RD.
 TP. 0048 ELEV. 343.719
 N. 557526.343
 E. 1370661.989
 LOC. NEAR INTERSECTION OF WATERLOO RD. & MAYFIELD AVE.

GENERAL NOTES
 1. SUBJECT PROPERTY ZONED R-SC PER 2/2/04 COMPREHENSIVE REZONING PLAN.
 2. TOTAL AREA OF BUILDABLE LOTS 0.838 ACRES.
 3. TOTAL NUMBER OF LOTS SUBMITTED 4 (S).
 4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
 5. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 6. THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES F-03-135, WP-03-144, W. CONT. NO. 856-W, 5 CONT. 10-135-W & 5 CONT. NO. 14-4242-D.
 7. THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JULY, 2002 BY FISHER COLLINS & CARTER, INC.
 8. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
 HOWARD COUNTY MONUMENT 3743 N 56130.798 E 139493.218
 HOWARD COUNTY MONUMENT 0048 N 557526.343 E 1370661.989
 9. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 10. THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION FOR CONSTRUCTION OF APPROVED WATER AND SEWER LINES CONTRACT NO'S W 856-W & 5 10-135.
 11. CONTRACTOR WILL CHECK SEWER CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
 12. STORMWATER MANAGEMENT FACILITIES WILL BE REQUIRED FOR THE LOTS SHOWN ON THIS PLAN IN ACCORDANCE WITH THE DESIGN MANUAL PRIOR TO SIGNATURE APPROVAL OF THE DEVELOPER'S PLANS. THE DEVELOPER WILL BE REQUIRED TO EXECUTE THE DEVELOPER'S AGREEMENT FOR THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES AND MAINTENANCE AGREEMENT.
 13. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. 1, SECT. 5, STORMWATER MANAGEMENT FOR BOTH WATER QUALITY AND GROUNDWATER RECHARGE HAVE BEEN PROVIDED FOR EACH RESIDENTIAL LOT BY A "RAINGARDEN" FACILITY THAT HAS BEEN LOCATED ON LOTS 1 THRU 4. IN ADDITION, WQV WILL BE PROVIDED BY DRYWELLS LOCATED IN THE REAR OF THE HOUSES ON LOTS 1 & 2. WATER QUALITY AND GROUNDWATER RECHARGE FOR THE INITIAL PORTION OF THE USE-IN-COMMON DRIVEWAY WILL BE PROVIDED BY NON-ROOFTOP DISCONNECTION CREDITS. REFER TO THE SUPPLEMENTAL PLAN ON FILE WITH THIS SUBDIVISION FOR HOUSE LOCATION AND SITE GRADING CRITERIA.
 14. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, A TYPE "B" LANDSCAPE BUFFER IS REQUIRED ALONG LOT 1 ADJACENT TO MAYFIELD AVENUE. FINANCIAL SURETY IN THE AMOUNT OF \$2,000.00 FOR 5 SHADE TREES AND 6 EVERGREEN TREES SHALL BE POSTED WITH THE BUILDER'S GRADING PERMIT FOR LOT 1. THE REQUIRED PERIMETER LANDSCAPING FOR THE SUBDIVISION WAS POSTED PRIOR TO THE RECORDATION OF THE PLAT (F-03-135) AS PART OF THE DEVELOPER'S AGREEMENT NO. 14-4242-D.
 15. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 161202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS PROJECT HAVE BEEN FULFILLED BY ON-SITE RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.2 ACRES. THE REMAINING FOREST CONSERVATION OBLIGATION IS 0.3 ACRES AND WAS PAID FOR LOTS 1 THRU 6 AT THE TIME OF SUBDIVISION UNDER F-03-135.
 16. THE ON-SITE FOREST CONSERVATION SURETY IS IN THE AMOUNT OF \$2,063.60.
 17. FOR DRIVE WAY ENTRANCE DETAILS REFER TO HO. CODES/MAN.VOL. IV DETAILS R.6.03 & R.6.05.
 18. SITE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS.
 19. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
 20. IN ACCORDANCE WITH SECTION 12B (A)(D) OF THE HOCO ZONING REGULATION, BAYWINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
 21. REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF THE PPE/FLAG STEM AND THE ROAD RIGHT-OF-WAY AND NOT ONTO THE FLAG/PPE STATION DRIVEWAY.
 22. USE-IN-COMMON DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A) WIDTH - 12 FEET (8 FEET SERVING MORE THAN ONE RESIDENCE)
 B) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (4'-2" MINIMUM)
 C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS D) STRUCTURE - CULVERTS/BRIDGES - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING) E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO OVER-TOPPING F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
 23. SEE SHEET 3 FOR RAIN GARDEN DETAILS.
 24. THE UNMITIGATED 65 DBA NOISE CONTOUR LINE DRAWN ON THE SITE DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL CHAPTER 5, REVISED FEBRUARY, 1992 AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 DBA NOISE EXPOSURE. THE 65 DBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. A NOISE STUDY WAS PROVIDED BY WILDMAN ASSOCIATES ON OR ABOUT OCTOBER, 2002.
 25. DENOTES PUBLIC FOREST CONSERVATION EASEMENT. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 161202 OF THE HOWARD COUNTY CODE. FOREST CONSERVATION ACT, NO CLEARING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT. HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.



SCHEDULE A PERIMETER LANDSCAPE EDGE

PERIMETER	P-1
CATEGORY	ADJACENT TO ROADWAY
LANDSCAPE TYPE	B
LINEAR FEET OF PERIMETER	220 LF.
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	NO
CREDIT FOR WALL, FENCE OR BERM (NO, YES AND %)	NO
NUMBER OF TREES REQUIRED	
SHADE TREES	5
EVERGREEN TREES	6
NUMBER OF TREES PROVIDED	
SHADE TREES	5
EVERGREEN TREES	6

LANDSCAPE NOTES:

1. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPING PLANT LIST

QTY.	KEY	NAME	SIZE
5	(Symbol)	ACER RUBRUM 'OCTOBER GLORY' (OCTOBER RED MAPLE)	2 1/2" - 3" CALIPER FULL CROWN, BAB
6	(Symbol)	PIRUS STRIOSA EASTERN WHITE PINE	6'-8" HT

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug, no hold-in plants from cold storage will be accepted. Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area", hereinafter "Landscape Guidelines" approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition including all agenda. Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material. Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor. Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the top line. Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction. Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications. Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plant list prevail. All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans. Positive drainage shall be maintained in planting beds 2 percent slope. Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines. Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: be sure to carefully check the chemical used to ensure its adaptability to the specific ground cover to be treated. All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to this plan, Section 16.124 of the Howard County Subdivision and Land Development regulations and the Landscape Manual. I/We further certify that upon completion, a LETTER OF NOTICE, accompanied by an executed one-year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

Steve Forney 9-26-05
STEVE FORNEY DATE

MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
1	10,015 SQ.FT.	524 SQ.FT.	9,491 SQ.FT.
2	9,564 SQ.FT.	1,045 SQ.FT.	8,519 SQ.FT.
3	8,244 SQ.FT.	372 SQ.FT.	7,872 SQ.FT.
4	8,664 SQ.FT.	36 SQ.FT.	8,628 SQ.FT.

INDEX CHART

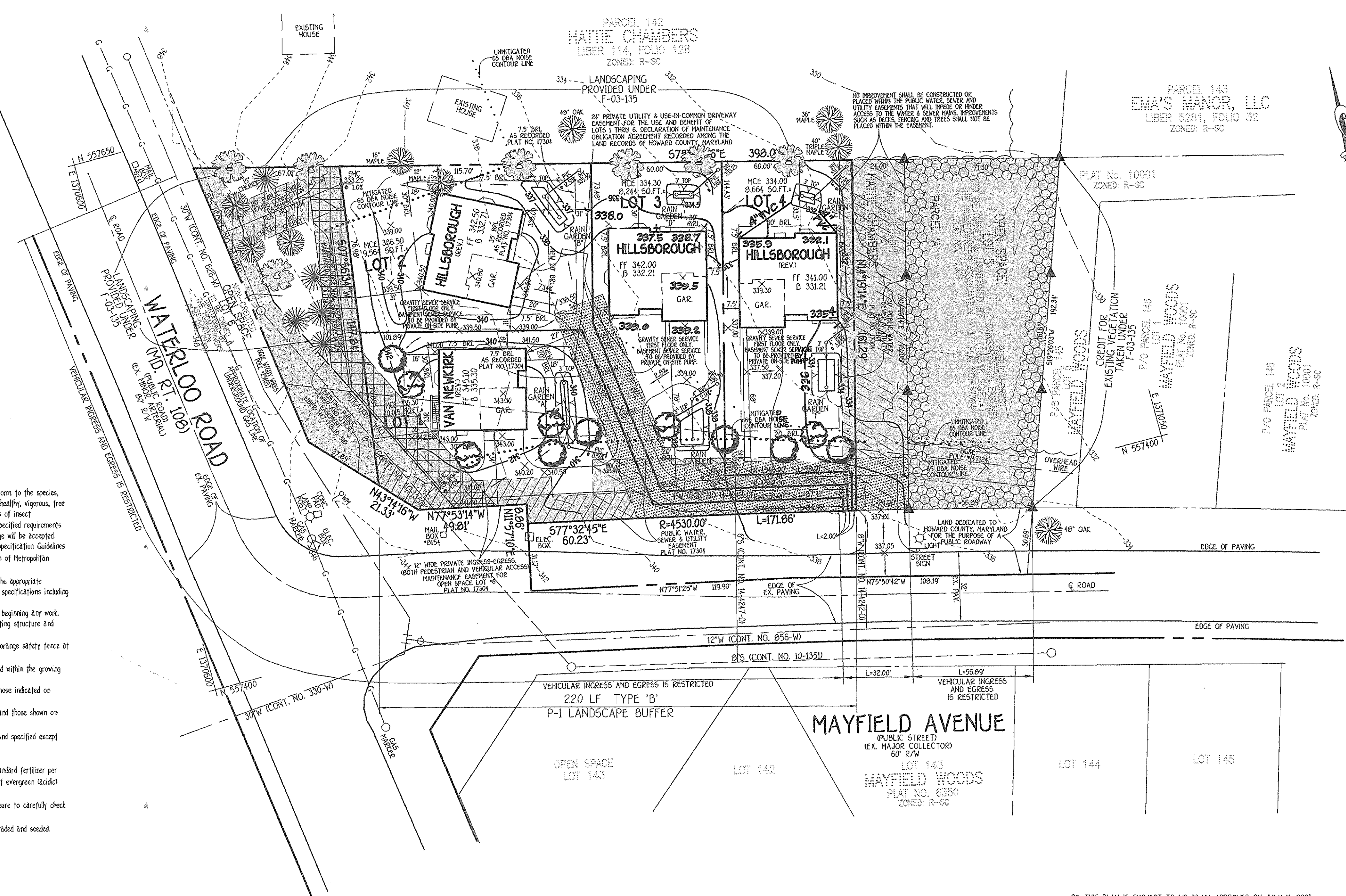
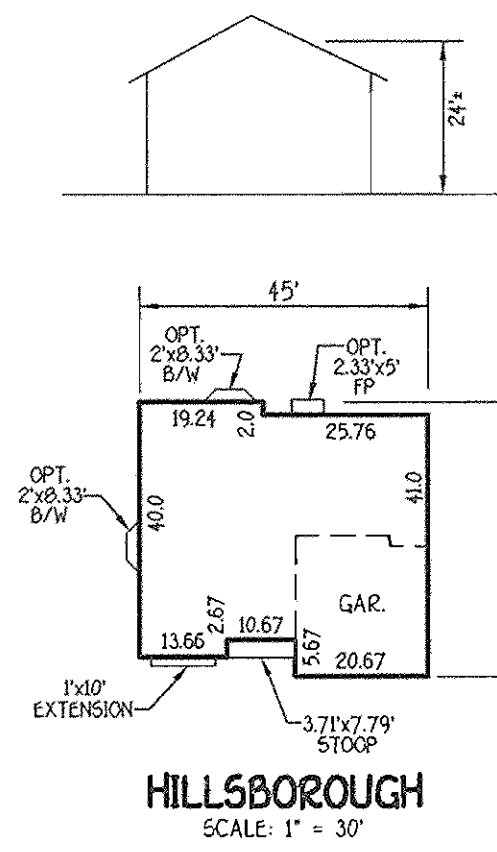
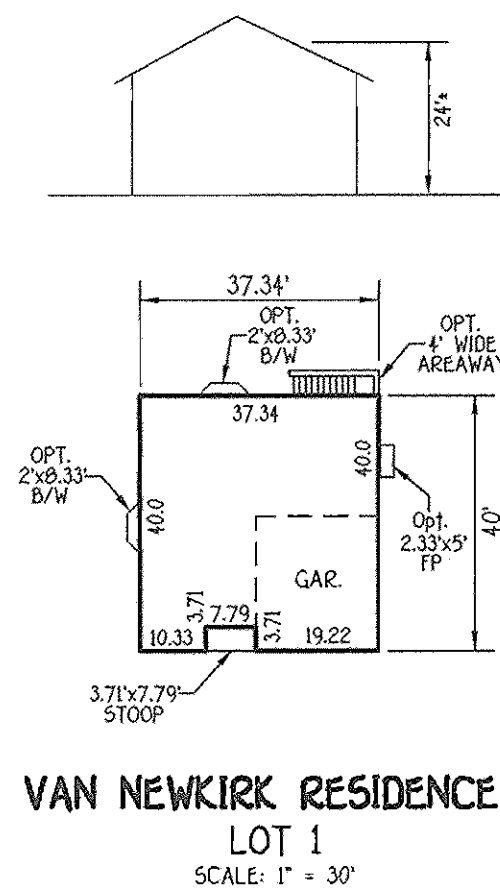
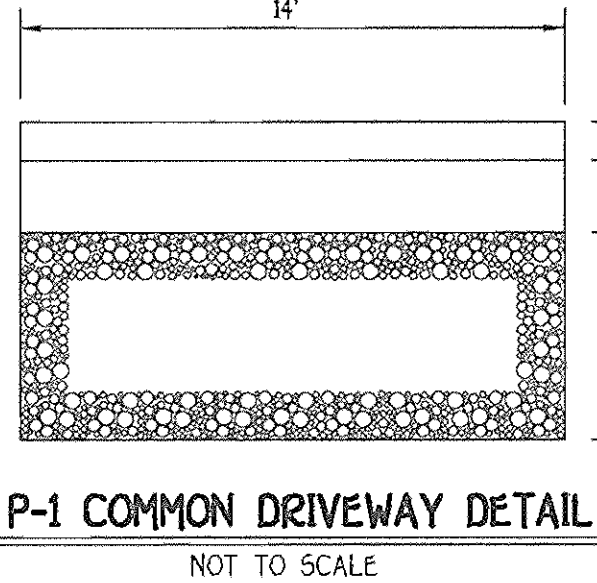
SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, HOUSE TYPES, LANDSCAPING CHARTS, NOTES & SITE PLAN (LOTS 1 THRU 4)
SHEET 2	SEDMENT/EROSION CONTROL PLAN, LOTS 1 THRU 4
SHEET 3	SEDMENT/EROSION CONTROL NOTES & DETAILS AND LANDSCAPE PLANTING DETAILS

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
1	8150 MAYFIELD AVENUE
2	8156 MAYFIELD AVENUE
3	8154 MAYFIELD AVENUE
4	8152 MAYFIELD AVENUE

LEGEND

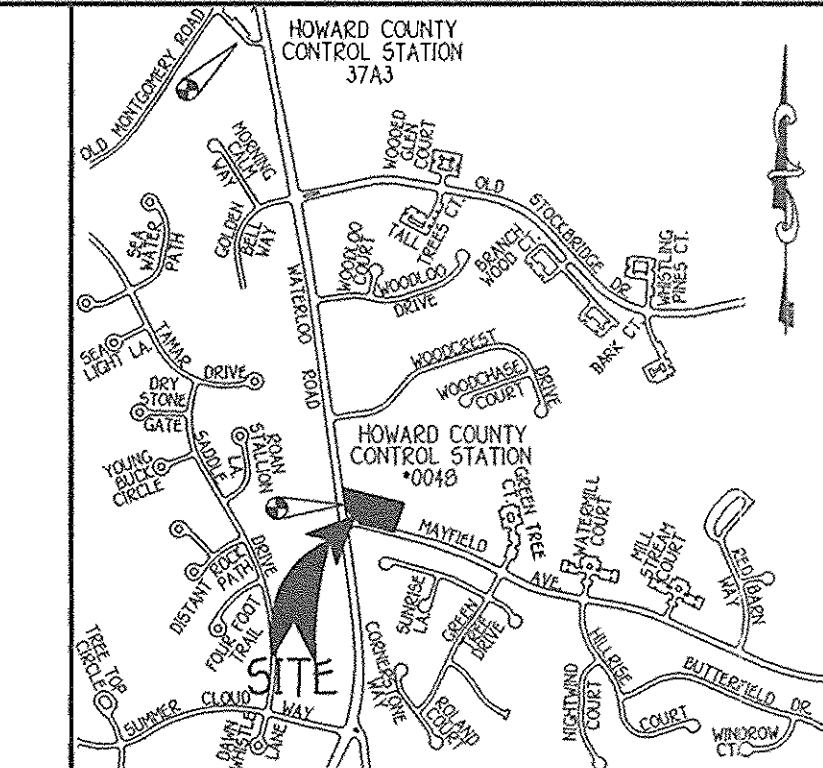
SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	PROPOSED WALKOUT
(Symbol)	SUPER SILT FENCE
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	FOREST CONSERVATION EASEMENT SIGN
(Symbol)	20' PUBLIC SEWER HOUSE CONNECTION EASEMENT
(Symbol)	12' PRIVATE INGRESS, EGRESS EASEMENT
(Symbol)	EXISTING PUBLIC SEWER & UTILITY EASEMENT
(Symbol)	24' PRIVATE UTILITY & USE-IN-COMMON EASEMENT
(Symbol)	PUBLIC WATER, SEWER & UTILITY EASEMENT
(Symbol)	PRIVATE NOISE WALL EASEMENT
(Symbol)	PROPOSED TREES PROVIDED UNDER SDP-05-143
(Symbol)	EXISTING STREET TREE TAKEN FROM F-03-135



BENCH MARKS

T.P. 3743 ELEV 385.625
N. 5613.790
E. 1369.9320
LOC. NEAR THE INTERSECTION OF WATERLOO RD. & OLD MONTGOMERY RD.

T.P. 0948 ELEV 348.719
N. 557.526.343
E. 1370.661.989
LOC. NEAR INTERSECTION OF WATERLOO RD. & MAYFIELD AVE.



GENERAL NOTES

- SUBJECT PROPERTY ZONED R-SC PER 2/2/04 COMPREHENSIVE REZONING PLAN.
- TOTAL AREA OF BUILDABLE LOTS 0.038 ACRES.
- TOTAL NUMBER OF LOTS SUBMITTED 4 OF 4.
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1800 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: F-03-135, WP-03-144, W CONT. NO. 856-W, S CONT. NO. 10-1351 & W & S CONT. NO. 14-4212-D.
- THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JULY, 2002 BY FISHER COLLINS & CARTER, INC.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS. HOWARD COUNTY MONUMENT 3743 N 5613.790 E 1369.9320 HOWARD COUNTY MONUMENT 0948 N 557.526.343 E 1370.661.989
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THIS PLAN IS FOR HOUSE SETTING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION OF APPROVED WATER AND SEWER PLANS CONTRACT NO'S W 856-W & S 10-1351.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- STORMWATER MANAGEMENT FACILITIES WILL BE REQUIRED FOR THE LOTS SHOWN ON THIS PLAN IN ACCORDANCE WITH THE DESIGN MANUAL. PRIOR TO SIGNATURE APPROVAL OF THE SITE DEVELOPMENT PLANS, THE DEVELOPER WILL BE REQUIRED TO EXECUTE THE DEVELOPER'S AGREEMENT FOR THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES AND MAINTENANCE AGREEMENT.
- IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. 1, SECTION 5, STORMWATER MANAGEMENT FOR BOTH WATER QUALITY AND GROUNDWATER RECHARGE HAVE BEEN PROVIDED FOR EACH RESIDENTIAL LOT BY A "BANKARD" FACILITY THAT HAS BEEN LOCATED ON LOTS 1 THRU 4. IN ADDITION, MOW WILL BE PROVIDED BY DRYWELLS LOCATED IN THE REAR OF THE HOUSES ON LOTS 1 & 2. WATER QUALITY AND GROUNDWATER RECHARGE FOR THE INITIAL PORTION OF THE USE-IN-COMMON DRIVEWAY WILL BE PROVIDED BY NON-ROOFTOP DISCONNECTION CREDITS REFER TO THE SUPPLEMENTAL PLAN ON FILE WITH THIS SUBDIVISION FOR HOUSE LOCATION AND SITE GRADING CRITERIA.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A TYPE 'B' LANDSCAPE BUFFER IS REQUIRED ALONG LOT 1 ADJACENT TO MAYFIELD AVENUE. FINANCIAL SURETY IN THE AMOUNT OF \$2,000.00 FOR 5 SHADE TREES AND 6 EVERGREEN TREES SHALL BE POSTED WITHIN THE BUILDER'S GRADING PERMIT FOR LOT 1. THE REQUIRED PERIMETER LANDSCAPING FOR THE SUBDIVISION WAS POSTED PRIOR TO THE RECORDATION OF THE PLAT (F-03-135) AS PART OF THE DEVELOPER'S AGREEMENT NO. 14-4212-D.
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.122 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS PROJECT HAVE BEEN FULFILLED BY ON-SITE RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.2 ACRES. THE REMAINING FOREST CONSERVATION OBLIGATION IS 0.3 ACRES AND WAS PAID FOR LOTS 1 THRU 6 AT THE TIME OF SUBDIVISION UNDER F-03-135.
- THE ON-SITE FOREST CONSERVATION SURETY IS IN THE AMOUNT OF \$2,036.00. (FOREST RETENTION: 40.20 X 10.38 SQ. FT. = \$2,036.00)
- FOR DRIVE WAY ENTRANCE DETAILS REFER TO HO. CODES/MANUAL, IV DETAILS R.6.03 & R.6.05.
- THE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, MINUTE PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- IN ACCORDANCE WITH SECTION 120 (A) OF THE HOCO ZONING REGULATION, BATHTUBS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
- REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF THE PIPE/FLAS STEM AND THE ROAD RIGHT-OF-WAY AND NOT ON THE FLAGPIPE STEM DRIVEWAY.
- USE-IN-COMMON DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (4 FEET SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (0.5" MINIMUM)
C) GEOMETRY - MAXIMUM 10% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS OF STRUCTURE - CULVERTS/BRIDGES - CAPABLE OF SUPPORTING 25 GROSS TONS (825-LOADING)
D) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 300 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER SURFACE
E) STRUCTURE CLEARANCES - MINIMUM 12 FEET
F) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- SEE SHEET 3 FOR RAIN GARDEN DETAILS.
- THE UNLIMITED 65 ABA NOISE CONTOUR LINE DRAWN ON THE SITE DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992 AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 ABA NOISE EXPOSURE. THE 65 ABA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. A NOISE STUDY WAS PROVIDED BY WILLMAN ASSOCIATES ON OR ABOUT OCTOBER, 2002.
- (S) DENOTES PUBLIC FOREST CONSERVATION EASEMENT. THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.120 OF THE HOWARD COUNTY CODE. FOREST CONSERVATION AND CLEARING: GRADING AND CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- THIS PLAN IS SUBJECT TO WP-03-144 APPROVED ON JULY 11, 2003. SECTION 16.120(B)(4)(VI) WHICH RESTRICTS LOTS BEING ENCUMBERED BY ACCESS EASEMENTS FOR OPEN SPACE LOTS. OPEN SPACE LOTS OR AREAS TO HAVE A MINIMUM OF 40 FOOT OF ROAD FRONTAGE TO A PUBLIC ROAD WHICH IS SUITABLE FOR ACCESS BY PEDESTRIANS AND MAINTENANCE VEHICLES. THIS WAIVER APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
A) 4" MAINTENANCE AGREEMENT FOR THE USE-IN-COMMON ACCESS EASEMENT FOR LOTS 1 THRU 4 AND OPEN SPACE LOTS 5 AND 6 BE RECORDED TO ACCOMMODATE A SHARED DRIVEWAY SERVING SAID LOTS.
B) A 12" WIDE PEDESTRIAN AND VEHICULAR ACCESS EASEMENT FOR LOT 6.
C) INGRESS AND EGRESS BEING RESTRICTED ALONG THE ENTIRE LENGTH OF HD. RTE 100 (WATERLOO ROAD).
- THE NOISE WALL ACROSS LOTS 1 & 6 AS SHOWN ON THIS PLAN WILL BE OWNED AND MAINTAINED BY THE MAYFIELD OVERLOOK PROPERTY HOMEOWNERS ASSOCIATION, INC. THE DESIGN OF THE NOISE WALL HAS BEEN APPROVED AND IS TO BE CONSTRUCTED IN ACCORDANCE WITH FINAL PLAN F-03-135.
- OPEN SPACE HAS BEEN PROVIDED FOR THE RESIDENTS OF THIS SUBDIVISION IN ACCORDANCE WITH SECTION 16.121 OF THE SUBDIVISION REGULATIONS. THE OPEN SPACE SHOWN IS OWNED AND MAINTAINED BY THE MAYFIELD OVERLOOK PROPERTY HOMEOWNERS ASSOCIATION, INC.
- ARTICLES OF INCORPORATION BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION FOR THE MAYFIELD OVERLOOK PROPERTY HOMEOWNERS ASSOCIATION, INC. WERE ACCEPTED AND APPROVED ON JUNE 7, 2002 WITH FILING NUMBER 10009698785668.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTIONS IS RECOMMENDED.
- IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. 1, SECTION 5, STORMWATER MANAGEMENT (SWP) FOR BOTH WATER QUALITY AND GROUNDWATER RECHARGE HAVE BEEN PROVIDED FOR EACH RESIDENTIAL LOT BY "BANKARD" FACILITIES THAT HAS BEEN LOCATED ON LOTS 1 THRU 4. WATER QUALITY AND GROUNDWATER RECHARGE FOR THE INITIAL PORTION OF THE USE-IN-COMMON DRIVEWAY WILL BE PROVIDED BY NON-ROOFTOP DISCONNECTION CREDITS. THE STORMWATER MANAGEMENT DESIGN FOR THIS SUBDIVISION WAS APPROVED UNDER F-03-135.
- THE LIBER AND FOLIO FOR THE "DECLARATION OF MAINTENANCE OBLIGATIONS FOR THE USE-IN-COMMON ACCESS AREA" ARE L.9030 AND FOLIO 605.

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Earl D. Collins Date
Signature of Engineer EARL D. COLLINS Date

BUILDER/DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Steve Forney 9-26-05
Signature of Developer STEVE FORNEY Date

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service
This development plan is approved for sediment control by the HOWARD SOIL CONSERVATION DISTRICT
Date
Date

OWNER/BUILDER/DEVELOPER

HAMILTON REED
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043
410-461-2760

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Candice Hamilton 10/4/05
Chief, Division of Land Development
Mark M. K... 10/2/05
Chief, Development Engineering Division
Mark A. G... 10/1/05
Director - Department of Planning and Zoning

PROJECT	SECTION	LOT NO'S.
MAYFIELD OVERLOOK	N/A	1 THRU 4
PLAT	BLOCK NO.	ZONE
17304	14	R-SC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
37	FIRST	6068.02
WATER CODE	SEWER CODE	
E-15	7640000	

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED

MAYFIELD OVERLOOK

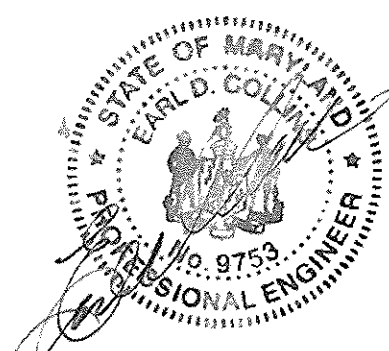
LOTS 1 THRU 4

TAX MAP NO: 37 PARCEL NO: 144 GRID NO: 14
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: MARCH, 2004

SHEET 1 OF 3

SDP 05-143

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL PIKE
ALLEXANDRIA, VA 22304
461-461-2955



1 Rev. grd. lots 3 and 4 to show ex. cond. 12/15/05
NO. REVISION DATE

