#### LANDSCAPE NOTES:

1. "THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS, ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS O ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED."

L	AND5	CAPING PLANT	LIST
QTY.	KEY	NAME	SIZE
5	9	ACER RUBRUM 'OCTOBER GLORY' (OCTOBER RED MAPLE)	2 1/2" - 3" CALIPER FULL CROWN, B&B
6	0	PINUS STROBUS EASTERN WHITE PINE	6'-8' HT

#### PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly duq; no healed-in plants from cold storage will be accepted. Unless otherwise specified, all general conditions, planting operations, details and planting specification shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas", thereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan

Washington and the Potomac Chapter of the American Society of Landscape Architect, latest edition, including all agenda. Contractor shall be required to quarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines Contractor's attention is directed to the maintenance requirements found within the one year specifications including

watering and replacement of specified plant material. Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line. Contractor id responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing

season of completion of site construction. Bid shall be base on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on

the plant list, the quantities on the plan take precedence All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except

where noted on plans. Positive drainage shall be maintained in planting beds 2 percent slope).

FISHER, COLLINS & CARTER, INC.

(410) 461 - 2855

SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIK ELLICOTT CITY, MARYLAND 21042

Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic)

fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines. Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check

the chemical used to assure its adaptability to the specific ground cover to be treated. All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded.

This plan is intended for landscape use only. see other plan sheets for more information on grading, sediment control, layout, etc.

### DEVELOPER'S/BUILDER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to this plan, Section 16.124 of the Howard County Subdivision and Land Development regulations and the Landscape Manual. I/We further certify that upon completion, a LETTER OF NOTICE, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

LEGEND		
SYMBOL	DESCRIPTION	
	EXISTING CONTOUR 2' INTERVAL	
+362.2	SPOT ELEVATION	
CWOB>	PROPOSED WALKOUT	
-55F55F-	SUPER SILT FENCE	
LOD	LIMIT OF DISTURBANCE	
	FOREST CONSERVATION EASEMENT SIGN	
	20' PUBLIC SEWER HOUSE CONNECTION EASEMENT	
(//////	12' PRIVATE INGRESS, EGRESS EASEMENT	
	EXISTING PUBLIC SEWER & UTILITY EASEMENT	
	24' PRIVATE UTILITY & USE-IN-COMMON EASEMENT	
	PUBLIC WATER, SEWER & UTILITY EASEMENT	
	PRIVATE NOISE WALL EASEMENT	
90	PROPOSED TREES PROVIDED UNDER SDP-05-143	
<b>***</b>	EXISTING STREET TREE TAKEN FROM F-03-135	

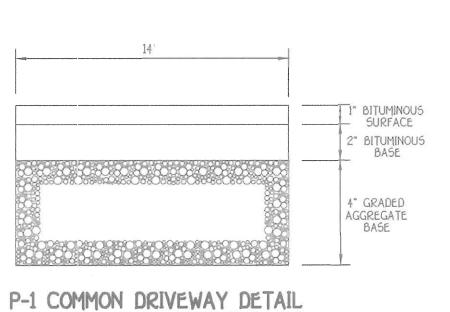
M	INIMUM L	OT SIZE	CHART
LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
1	10,015 SQ.FT.	524 SQ.FT.	9,491 5Q.FT.
2	9,564 SQ.FT.	1,045 SQ.FT.	8,519 SQ.FT.
3	8,244 SQ.FT.	372 SQ.FT.	7,872 SQ.FT.
4	8,664 SQ.FT.	36 SQ.FT.	8,628 SQ.FT.

	INDEX CHART
SHEET	DESCRIPTION
SHEET 1	TITLE SHEET, HOUSE TYPES, LANDSCAPING CHARTS, NOTES & SITE PLAN LOTS 1 THRU 4
SHEET 2	SEDIMENT/EROSION CONTROL PLAN, LOTS 1 THRU 4
SHEET 3	SEDIMENT/EROSION CONTROL NOTES & DETAILS AND LANDSCAPE PLANTING DETAILS

ADDR	2ESS CHART
LOT NUMBER	STREET ADDRESS
1	8158 MAYFIELD AVENUE
2	8156 MAYFIELD AVENUE
3	8154 MAYFIELD AVENUE
4	8152 MAYFIELD AVENUE

DATE

REVISION



ENGINEER'S CERTIFICATE

BUILDER/DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan,

Environment Approved Training Program for the Control of Sediment and Erosion before

for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the

beginning the project. I also authorize periodic on-site inspection by the Howard Soil

accordance with the requirements of the Howard Soil Conservation District."

EARL D. COLLINS

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in

NOT TO SCALE

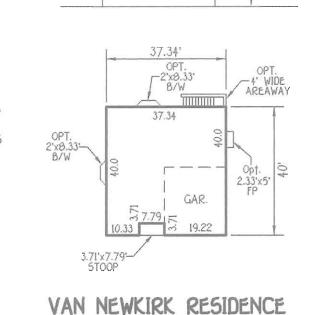
pionature of Engineer

Conservation District."

Signature of Developer

12 WIDE PRIVATE INGRESS-EGRESS, BOTH PEDESTRIAN AND VEHICULAR ACCE

EXISTING HOUSE



LOT 1

5CALE: 1" = 30"

J.S.D.A.-Natural Res

the HOWARD SOIL

Conservation Service

This development plan is

LANDSCAPING

PROVIDED UNDER-

4' PRIVATE UTILITY & USE-IN-COMMON DRIVEWAY

HILL5BOROUGH

N77°51'25"W 119.90'

VEHICULAR INGRESS AND EGRESS IS RESTRICTED

220 LF TYPE 'B'

P-1 LANDSCAPE BUFFER

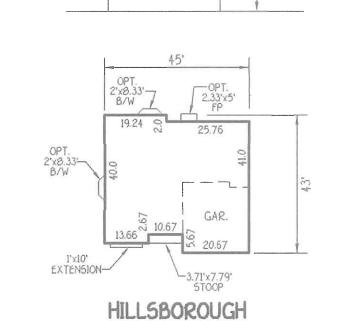
OF E

8'S (CONT. NO. 10-1351)

12"W (CDNT. NO. 856-W)

127 142

HILLSBOROUGH



5CALE: I" = 30'

sion and sediment control by

for HOWARD SCD and meets Technical Requirements.

OWNER/BUILDER/DEVELOPER

HAMILTON REED 8000 MAIN STREET

ELLICOTT CITY, MARYLAND 21043

410-461-2760

VEHICULAR INGRESS

(EX. MAJOR COLLECTOR)

WAYFELD WOODS

CREDITS. THE STORMWATER MANAGEMENT DESIGN FOR THIS SUBDIVISION WAS APPROVED UNDER (F-03-135). 32. THE LIBER AND FOLIO FOR THE "DECLARATION OF MAINTENANCE OBLIGATIONS FOR THE USE-IN-COMMON ACCESS AREA" ARE L.9030 AND FOLIO 605.

ZONED: R-SC

@ ROAD

EDGE OF PAVING

EDGE OF PAVING

26. THIS PLAN IS SUBJECT TO WP-03-144 APPROVED ON JULY II, 2003.

THIS WAIVER APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

BY THE MAYFIELD OVERLOOK PROPERTY HOMEOWNER'S ASSOCIATION, INC.

JUNE 7, 2002 WITH FILING NUMBER 1000361987158668.

BUILDING RESTRICTIONS IS RECOMMENDED.

hand hileyer

BLOCK NO.

PROJECT

7304

E-15

WATER CODE

AYFIELD OVERLOOK

rector - Department of Planning and Zoning

SERVING SAID LOTS.

(WATERLOO ROAD).

SECTION 16.120(bx4xiv) WHICH RESTRICTS LOTS BEING ENCUMBERED BY ACCESS EASEMENTS FOR

A.) A MAINTENANCE AGREEMENT FOR THE USE-IN-COMMON ACCESS EASEMENT FOR LOTS I THRU 4

AND OPEN SPACE LOTS 5 AND 6 BE RECORDED TO ACCOMMODATE A SHARED DRIVEWAY

C.) INGRESS AND EGRESS BEING RESTRICTED ALONG THE ENTIRE LENGTH OF MD. RTE 108

27. THE NOISE WALL ACROSS LOTS I & 6 AS SHOWN ON THIS PLAN WILL BE OWNED AND MAINTAINED BY

HAS BEEN APPROVED AND IS TO BE CONSTRUCTED IN ACCORDANCE WITH FINAL PLAN, F-03-135.

28. OPEN SPACE HAS BEEN PROVIDED FOR THE RESIDENTS OF THIS SUBDIVISION IN ACCORDANCE WITH

29. ARTICLES OF INCORPORATION BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION FOR THE

30. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY

31. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. 1, SECTION 5; STORMWATER

MANAGEMENT (SWM) FOR BOTH WATER QUALITY AND GROUNDWATER RECHARGE HAVE BEEN

PROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

ZONE

R-5C

PROVIDED FOR EACH RESIDENTIAL LOT BY "RAINGARDEN" FACILITIES THAT HAS BEEN LOCATED

ON LOTS 1 THRU 4. WATER QUALITY AND GROUNDWATER RECHARGE FOR THE INITIAL PORTION OF THE USE-IN-COMMON DRIVEWAY WILL BE PROVIDED BY NON-ROOFTOP DISCONNECTION

SECTION

SEWER CODE

7640000

N/A

TAX/ZONE | ELEC. DIST. | CENSUS TR.

FIRST

MAYFIELD OVERLOOK PROPERTY HOMEOWNER'S ASSOCIATION, INC. WERE ACCEPTED AND APPROVED ON

SECTION 16.121 OF THE SUBDIVISION REGULATIONS. THE OPEN SPACE SHOWN IS OWNED AND MAINTAINED

40 FOOT OF ROAD FRONTAGE TO A PUBLIC ROAD WHICH IS SUITABLE

10/4/05

1 THRU 4

6068.02

LOT NO'S.

FOR ACCESS BY PEDESTRIANS AND MAINTENANCE VEHICLES.

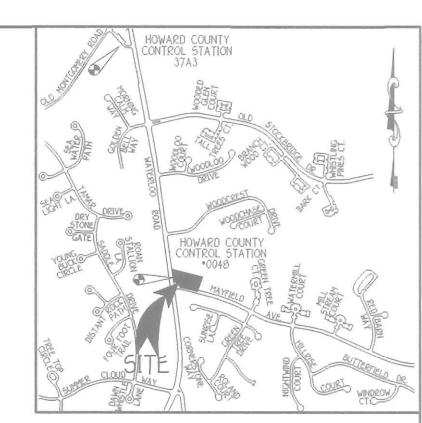
SECTION 16.121(e)(1) WHICH REQUIRES OPEN SPACE LOTS OR AREAS TO HAVE A MINIMUM OF

OPEN SPACE LOTS

B.) A 12' WIDE PEDESTRIAN AND VEHICULAR ACCESS EASEMENT FOR LOT 6.

BENCH MARKS T.P. 37A3 ELEV 385.625 N. 561,130.798 E. 1,369,913.218 LOC. NEAR THE INTERSECTION OF WATERLOO RD. & OLD MONTGOMERY RD.

T.P. 0048 ELEV. 343.719 N. 557,526.343 E. 1,370,661.989 LOC. NEAR INTERSECTION OF WATERLOO RD. & MAYFIELD AVE.



#### GENERAL NOTES

I. SUBJECT PROPERTY ZONED R-SC PER 2/2/04 COMPREHENSIVE REZONING PLAN. 2. TOTAL AREA OF BUILDABLE LOTS: 0.838 ACRES

3. TOTAL NUMBER OF LOTS SUBMITTED: 4 SF 4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1860

AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK. 5. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS

PRIOR TO ANY EXCAVATION WORK. 6. THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: F-03-135, WP-03-144,

W CONT. NO. 856-W, 5 CONT. \*10-1351 & W & 5 CONT. NO. 14-4242-D.

7. THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JULY 2002 BY FISHER COLLINS & CARTER INC.

8. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS. HOWARD COUNTY MONUMENT 37A3 N 561,130.798 E 1,369,913.218

HOWARD COUNTY MONUMENT 0048 N 557,526.343 E 1,370,661.989 9. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE

DEVELOPER'S EXPENSE 10. THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE

TO CONSTRUCTION.

RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION OF APPROVED WATER AND SEWER PLANS CONTRACT NO.'S W 856-W & S 10-1351. II. CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR

12. STORMWATER MANAGEMENT FACILITIES WILL BE REQUIRED FOR THE LOTS SHOWN ON THIS PLAN IN ACCORDANCE WITH THE DESIGN MANUAL PRIOR TO SIGNATURE APPROVAL OF THE SITE DEVELOPMENT PLANS, THE DEVELOPER WILL BE REQUIRED TO EXECUTE THE DEVELOPER'S AGREEMENT FOR THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES AND MAINTENANCE AGREEMENT

13. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. 1, SECT. 5: STORMWATER MANAGEMENT FOR BOTH WATER QUALITY AND GROUNDWATER RECHARGE HAVE BEEN PROVIDED FOR EACH RESIDENTIAL LOT BY A "RAINGARDEN" FACILITY THAT HAS BEEN LOCATED ON LOTS I THRU 4. IN ADDITION, WQV WILL BE PROVIDED BY DRYWELLS LOCATED IN THE REAR OF THE HOUSES ON LOTS 1 & 2. WATER QUALITY AND GROUNDWATER RECHARGE FOR THE INITIAL PORTION OF THE USE-IN-COMMON DRIVEWAY WILL BE PROVIDED BY NON-ROOFTOP DISCONNECTION CREDITS. REFER TO THE SUPPLEMENTAL PLAN ON FILE WITH THIS SUBDIVISION FOR HOUSE LOCATION AND SITE GRADING CRITERIA.

14. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. A TYPE 'B' LANDSCAPE BUFFER IS REQUIRED ALONG LOT 1 ADJACENT TO MAYFIELD AVENUE. FINANCIAL SURETY IN THE AMOUNT OF \$2,400.00 FOR 5 SHADE TREES AND 6 EVERGREEN TREES SHALL BE POSTED WITH THE WITH THE BUILDER'S GRADING PERMIT FOR LOT I. THE REQUIRED PERIMETER LANDSCAPING FOR THE SUBDIVISION WAS POSTED PRIOR TO THE RECORDATION OF THE PLAT (F-03-135) AS PART OF THE DEVELOPER'S AGREEMENT NO. 14-4242-D.

15. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL FOR THIS PROJECT HAVE BEEN FULFILLED BY ON-SITE RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.2 ACRES. THE REMAINING FOREST CONSERVATION OBLIGATION IS 0.3 ACRES AND WAS PAID FOR LOTS 1 THRU 6 AT THE TIME OF

SUBDIVISION UNDER F-03-135. 16. THE ON-SITE FOREST CONSERVATION SURETY IS IN THE AMOUNT OF \$2,063.60.

(FOREST RETENTION: (\$0.20 X 10,318 SQ. FT. = \$2,063.60).

17. FOR DRIVE WAY ENTRANCE DETAILS REFER TO HO. CO.DES.MAN.VOL. IV DETAILS R.6.03 & R.6.05. 18. SITE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS.

19. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.

20. IN ACCORDANCE WITH SECTION 128 (AXI) OF THE HO.CO. ZONING REGULATION, BAYWINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS. 21. REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION

OF THE PIPE/FLAG 5TEM AND THE ROAD RIGHT-OF-WAY AND NOT ONTO THE FLAG/PIPE STEM

22. USE-IN-COMMON DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING

(MINIMUM) REQUIREMENTS A) WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE)

B) SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING

(I-1/2" MINIMUM) C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS D) STRUCTURE - (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING) E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN FOOT DEPTH OVER SURFACES

F) STRUCTURE CLEARANCES - MINIMUM 12 FEET

G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE THE MAYFIELD OVERLOOK PROPERTY HOMEOWNERS ASSOCIATION, INC. THE DESIGN OF THE NOISE WALL 23. SEE SHEET 3 FOR RAIN GARDEN DETAILS.

24. THE UNMITIGATED 65 dBA NOISE CONTOUR LINE DRAWN ON THE SITE DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992 AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 dBA NOISE EXPOSURE. THE 65 dBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. A NOISE STUDY WAS OVIDED BY WILDMAN ASSOCIATES ON OR ABOUT OCTOBER, 2002.

 $\exists$  denotes public forest conservation easement. The forest conservation easement IAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED

# MAYFIELD OVERLOOK

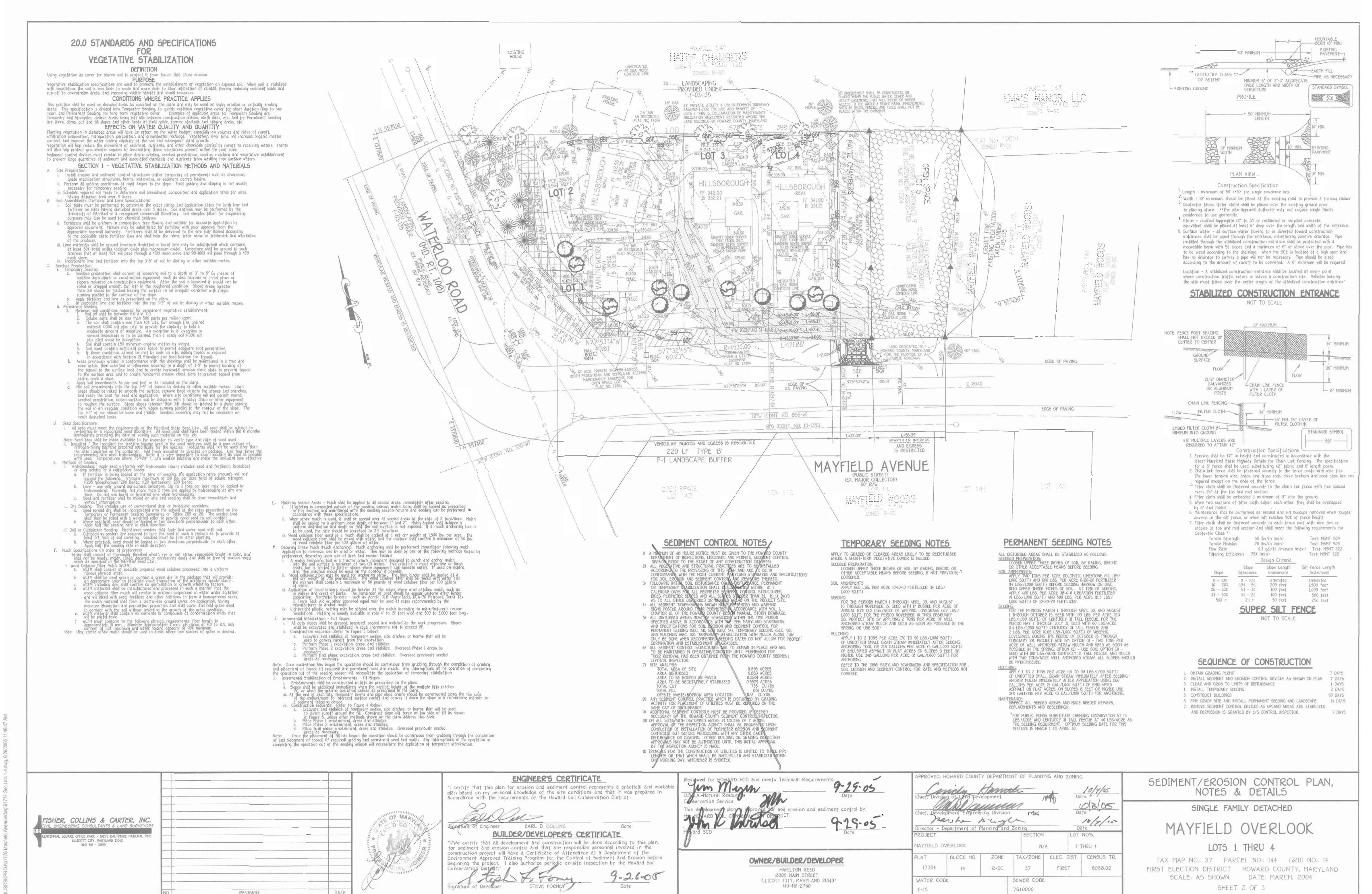
LOTS 1 THRU 4

TAX MAP NO.: 37 PARCEL NO.: 144 GRID NO.: 14 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND 5CALE: 1" = 30' DATE: MARCH, 2004

SHEET 1 OF 3

SDP 05-143





SDP 05-143

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	PUBLIC WATER, SEWER & UTILITY EASEMENT		
	PRIVATE NOISE WALL EASEMENT		
90	PROPOSED TREES PROVIDED UNDER SDP-05-143		
<b>6088</b>	EXISTING STREET TREE TAKEN FROM F-03-135		

Rev. grd. lots 3 and 4 to show ex. cord.

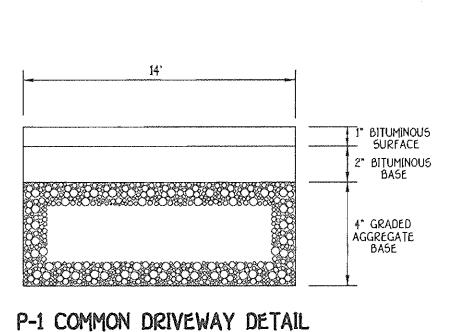
FISHER, COLLINS & CARTER, INC.

DAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIK

MINIMUM LOT SIZE CHART				
LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LÖT SIZE	
1	10,015 SQ.FT.	524 SQ.FT.	9,491 5Q.FT.	
2	9,564 SQ.FT.	1,045 SQ.FT.	8,519 SQ.FT.	
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	SEDIMENT/EROSION CONTROL PLAN, LOTS I THRU 4
SHEET 3	SEDIMENT/EROSION CONTROL NOTES & DETAILS AND LANDSCAPE PLANTING DETAILS

ADDA	ress chart
LOT NUMBER	STREET ADDRESS
1	0150 MAYFIELD AVENUE
2	8156 MAYFIELD AVENUE
3	8154 MAYFIELD AVENUE
4	8152 MAYFIELD AVENUE



NOT TO SCALE

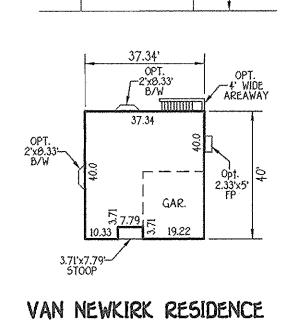
12' WIDE PRIVATE INGRESS-EGRES 12' WIDE PRIVATE INGKED AR ACCES

(BOTH PEDESTRIAN AND VEHICULAR ACCES

MAINTENANCE EASEMENT FOR

OPEN SPACE LOT \*6

PLAT NO. 17304



LOT 1

SCALE: 1" = 30"

J.S.D.A.-Natural Res

Conservation Service

This development plan is ap

ZONED: R-90

339.0

VEHICULAR INGRESS AND EGRESS IS RESTRICTED

220 LF TYPE 'B'

P-1 LANDSCAPE BUFFER

OFFI STATE

143

24 PRIVATE UTILITY & USE-IN-COMMON BRIVEWAY EASEMENT FOR THE USE AND BENEFIT OF LOTS 1 THRU 6. DECLARATION OF MAINTENANCE

339.5

GAR.

N77°51'25"W 119.90"

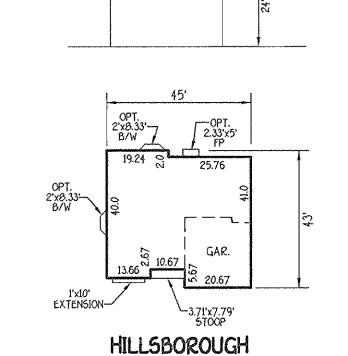
12"W (CONT. NO. 856-W)

LOT 142

815 (CONT. NO. 10-1351)

PROVIDED UNDER-

334--- LANDSCAPING



and sediment control by

L=56.89° VEHICULAR INGRESS

LOT 144

MAYFIELD AVENUE

(EX. MAJOR COLLECTOR)

HAYFELD WOODS

PLAT NO. 6350 ZONED: R-SC

MANAGEMENT (SWM) FOR BOTH WATER QUALITY AND GROUNDWATER RECHARGE HAVE BEEN PROVIDED FOR EACH RESIDENTIAL LOT BY "RAINGARDEN" FACILITIES THAT HAS BEEN LOCATED ON LOTS 1 THRU 4. WATER QUALITY AND GROUNDWATER RECHARGE FOR THE INITIAL PORTION OF THE USE-IN-COMMON DRIVEWAY WILL BE PROVIDED BY NON-ROOFTOP DISCONNECTION CREDITS. THE STORMWATER MANAGEMENT DESIGN FOR THIS SUBDIVISION WAS APPROVED UNDER (F-03-135).

E-15

BUILDING RESTRICTIONS IS RECOMMENDED.

JUNE 7, 2002 WITH FILING NUMBER 1000361987158668.

SERVING SAID LOTS.

(WATERLOO ROAD).

ZONED: R-SC

32. THE LIBER AND FOLIO FOR THE "DECLARATION OF MAINTENANCE OBLIGATIONS FOR THE USE-IN-COMMON ACCESS AREA" ARE L.9030 AND FOLIO 605.

BENCH MARKS T.P. 37A3 ELEV 305.625

N. 561,130,798 E. 1,369,913.218 LOC. NEAR THE INTERSECTION OF WATERLOO RD. & OLD MONTGOMERY RD.

T.P. 0048 ELEV. 348.719 N. 557.526.343 e. 1,370,661.989 LOC. NEAR INTERSECTION OF WATERLOO RD, & MAYFIELD AVE.

EDGE OF PAVING

EDGE OF PAVING

LOT 145

26. THIS PLAN IS SUBJECT TO WP-03-144 APPROVED ON JULY 11, 2003.

THIS WAIVER APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

BY THE MAYFIELD OVERLOOK PROPERTY HOMEOWNER'S ASSOCIATION, INC.

B.) A 12' WIDE PEDESTRIAN AND VEHICULAR ACCESS EASEMENT FOR LOT 6.

SECTION 16.120(DX4XIV) WHICH RESTRICTS LOTS BEING ENCUMBERED BY ACCESS EASEMENTS FOR

A.) A MAINTENANCE AGREEMENT FOR THE USE-IN-COMMON ACCESS EASEMENT FOR LOTS 1 THRU \$

AND OPEN SPACE LOTS 5 AND 6 BE RECORDED TO ACCOMMODATE A SHARED DRIVEWAY

40 FOOT OF ROAD FRONTAGE TO A PUBLIC ROAD WHICH IS SUITABLE

FOR ACCESS BY PEDESTRIANS AND MAINTENANCE VEHICLES.

SECTION 16.121(eXI) WHICH REQUIRES OPEN SPACE LOTS OR AREAS TO HAVE A MINIMUM OF

C.) INGRESS AND EGRESS BEING RESTRICTED ALONG THE ENTIRE LENGTH OF MD. RTE 108

27. THE NOISE WALL ACROSS LOTS I & 6 AS SHOWN ON THIS PLAN WILL BE OWNED AND MAINTAINED BY

HAS BEEN APPROVED AND IS TO BE CONSTRUCTED IN ACCORDANCE WITH FINAL PLAN, F-03-135.

28. OPEN SPACE HAS BEEN PROVIDED FOR THE RESIDENTS OF THIS SUBDIVISION IN ACCORDANCE WITH

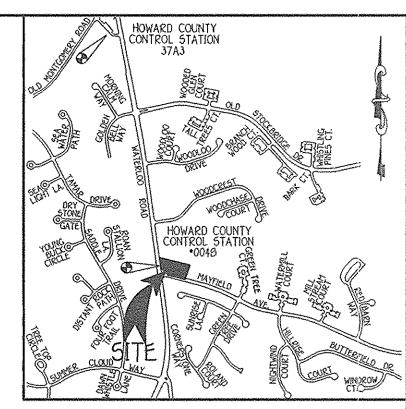
29. ARTICLES OF INCORPORATION BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION FOR THE

30. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY

31. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. 1, SECTION 5; STORMWATER

MAYFIELD OVERLOOK PROPERTY HOMEOWNER'S ASSOCIATION, INC. WERE ACCEPTED AND APPROVED ON

SECTION 16.121 OF THE SUBDIVISION REGULATIONS. THE OPEN SPACE SHOWN IS OWNED AND MAINTAINED



VICINITY MAP SCALE: 1" = 1200'

#### GENERAL NOTES

1. SUBJECT PROPERTY ZONED R-SC PER 2/2/04 COMPREHENSIVE REZONING PLAN. TOTAL AREA OF BUILDABLE LOTS: 0.030 ACRES

TOTAL NUMBER OF LOTS SUBMITTED: 4 SF 4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK. 5. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS

PRIOR TO ANY EXCAVATION WORK. 6. THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: F-03-135, WP-03-144, W CONT. NO. 856-W, S CONT. 10-1351 & W & 5 CONT. NO. 14-4242-D.

7. THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT JULY, 2002 BY FISHER COLLINS & CARTER, INC. 8. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 63, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.

HOWARD COUNTY MONUMENT 37A3 N 56L130.798 E 1,369,913.218 HOWARD COUNTY MONUMENT 0048 N 557,526.343 E 1,370,661,989 9. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE

10. THIS PLAN IS FOR HOUSE SITING AND GRADING ONLY. IMPROVEMENTS SHOWN WITHIN THE RIGHTS-OF-WAY OF THIS S.D.P. ARE NOT USED FOR CONSTRUCTION. FOR CONSTRUCTION OF APPROVED WATER AND SEWER PLANS CONTRACT NO.'S W 856-W & S 10-1351. II. CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION,

PLAN IN ACCORDANCE WITH THE DESIGN MANUAL, PRIOR TO SIGNATURE APPROVAL OF THE SITE DEVELOPMENT PLANS, THE DEVELOPER WILL BE REQUIRED TO EXECUTE THE DEVELOPER'S AGREEMENT FOR THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES AND 13. IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. 1, SECT. 5: STORMWATER

MANAGEMENT FOR BOTH WATER QUALITY AND GROUNDWATER RECHARGE HAVE BEEN PROVIDED

FOR EACH RESIDENTIAL LOT BY A "RAINGARDEN" FACILITY THAT HAS BEEN LOCATED ON LOTS 1 THRU 4. IN ADDITION, WOV WILL BE PROVIDED BY DRYWELLS LOCATED IN THE REAR OF THE HOUSES ON LOTS 1 & 2. WATER QUALITY AND GROUNDWATER RECHARGE FOR THE INITIAL PORTION OF THE USE-IN-COMMON DRIVEWAY WILL BE PROVIDED BY NON-ROOFTOP DISCONNECTION CREDITS. REFER TO THE SUPPLEMENTAL PLAN ON FILE WITH THIS SUBDIVISION FOR HOUSE LOCATION AND SITE GRADING CRITERIA. 14. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF

THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, A TYPE 'B' LANDSCAPE BUFFER IS REQUIRED ALONG LOT 1 ADJACENT TO MAYFIELD AVENUE, FINANCIAL SURETY IN THE AMOUNT OF \$2,400.00 FOR 5 SHADE TREES AND 6 EVERGREEN TREES SHALL BE POSTED WITH THE WITH THE BUILDER'S GRADING PERMIT FOR LOT 1. THE REQUIRED PERIMETER LANDSCAPING FOR THE SUBDIVISION WAS POSTED PRIOR TO THE RECORDATION OF THE PLAT (F-03-135) AS PART OF THE DEVELOPER'S AGREEMENT NO. 14-4242-D. 15. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE

AND FOREST CONSERVATION MANUAL FOR THIS PROJECT HAVE BEEN FULFILLED BY ON-SITE RETENTION OF EXISTING FOREST IN THE AMOUNT OF 0.2 ACRES. THE REMAINING FORES' CONSERVATION OBLIGATION IS 0.3 ACRES AND WAS PAID FOR LOTS 1 THRU 6 AT THE TIME OF SUBDIVISION UNDER F-03-135.

16. THE ON-SITE FOREST CONSERVATION SURETY IS IN THE AMOUNT OF \$2,063.60.

(FOREST RETENTION: (\$0.20 X 10,318 SQ. FT. = \$2,063.60). 17. FOR DRIVE WAY ENTRANCE DETAILS REFER TO HO. CO.DES.MAN.VOL. IV DETAILS R.G.03 & R.G.05.

18. SITE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS. 19. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT. 20. IN ACCORDANCE WITH SECTION 128 (AXI) OF THE HO.CO. ZONING REGULATION, BAYWINDOWS,

CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS. 21. REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF THE PIPE/FLAG STEM AND THE ROAD RIGHT-OF-WAY AND NOT CNTO THE FLAG/PIPE STEM

22. USE-IN-COMMON DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY

PERMIT TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:

A) WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE) B) SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING

(I-1/2" MINIMUM) C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS D) STRUCTURE - (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING) E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER SURFACES

F) STRUCTURE CLEARANCES - MINIMUM 12 FEET G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE

THE MAYFIELD OVERLOOK PROPERTY HOMEOWNERS ASSOCIATION, INC. THE DESIGN OF THE NOISE WALL 23. SEE SHEET 3 FOR RAIN GARDEN DETAILS. 24. THE UNMITIGATED 65 dBA NOISE CONTOUR LINE DRAWN ON THE SITE DEVELOPMENT PLAN IS

> ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992 AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 dBA NOISE EXPOSURE. THE 65 dBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT. A NOISE STUDY WAS PROVIDED BY WILDMAN ASSOCIATES ON OR ABOUT OCTOBER, 2002

5. DENOTES PUBLIC FOREST CONSERVATION EASEMENT. THE FOREST CONSERVATION EASEMEN HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED

## MAYFIELD OVERLOOK

LOTS 1 THRU 4

TAX MAP NO.: 37 PARCEL NO.: 144 GRID NO.: 14 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND 5CALE: 1" = 30' DATE: MARCH, 2004

SHEET 1 OF 3

EXISTING HOUSE

plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

ENGINEER'S CERTIFICATE

I certity that this plan for erosion and sediment control represents a practical and workabl

EARL D. COLLINS BUILDER/DEVELOPER'S CERTIFICATE I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before

beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District." Signature of Developer

the HOWARD SOIL COM Howard OWNER/BUILDER/DEVELOPER HAMILTON REED 8000 MAIN STREET ELLICOTT CITY, MARYLAND 21043

410-461-2760

for HOWARD SCD and meets Technical Requirements.

0 3 05 Date march to league 10/4/05 irector - Department of Planning and Zoning AYFIELD OVERLOOK 1 THRU 4 N/A BLOCK NO. ZONE TAX/ZONE | ELEC. DIST. | CENSUS TR. 17304 R-50 FIRST 6068.02

PPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

WATER CODE SEWER CODE

7640000

### 20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION DEFINITION

Using vegetation as cover for barren soil to protect it from forces that cause erosion.

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and run-off to downstream areas, and improving wildlife habitat and visual resources. CONDITIONS WHERE PRACTICE APPLIES

This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is divided into Temporary Seeding, to quickly establish vegetative cover for short duration O(up to one year), and Permanent Seeding, for long term vegetative cover. Examples of applicable areas for Temporary Seeding are temporary Soil Stockpiles, cleared areas being left idle between construction phases, earth dikes, etc. and for Permanent Seeding are lawns, dams, cut and fill slopes and other areas at final grade, former stockpile and staging areas, etc. EFFECTS ON WATER QUALITY AND QUANTITY

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff. infiltration evaporation, transpiration, percolation, and groundwater recharge. Vegetation, over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone. Sediment control devices must remain in place during grading, seedbed preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated chemicals and nutrients from washing into surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS A. Site Preparation

- i. Install erosion and sediment control structures (either temporary of permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins ii. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually
- iii. Schedule required soil tests to determine soil amendment composition and application rates for sites
- having disturbed area over 5 acres.

  B. Soil Amendments (Fertilizer and Lime Specifications) Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering
  - purposes may also be used for chemical analyses. II. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according o the applicable state tertilizer laws and shall bear the name, trade name or trademark and warrantee
  - iii. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to suc neness that at least 50% will pass through a \*100 mesh sieve and 90-100% will pass through a \*20
- mesh sieve. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means. Seedbed Preparation
   Temporary Seeding
  - Seedbed preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth, but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges
- running parallel to the contour of the slope.

  Apply fertilizer and lime as prescribed on the plans. c. In corporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.
  - Minimum soil conditions required for permanent vegetative establishment.

    L. Soil pH shall be between 6.0 and 7.0.

    2. Soluble salts shall be less than 500 parts per million (ppm).

    3. The soil shall contain less than 40% clay, but enough fine grained material 0.30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovegrass or serecia lespedezas is to be planted, then a sandy soil (<30% silt
  - plus clay) would be acceptable. Soil shall contain 1.5% minimum organic matter by weight. oil must contain sufficient pore space to permit adequate root penetration. If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil.
- b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from
- Apply soil amendments as per soil test or as included on the plans.

  Mix soil amendments into the top 3-5" of topsoil by disking or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches. and ready the area for seed and application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1-3" of soil should be loose and friable. Seedbed loosening may not be necessary on newly disturbed areas.
- D. Seed Specifications All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job.
- Note: Seed tags shall be made available to the inspector to verify type and rate of seed used.

  ii. Inoculant The inoculant for treating legume seed in the seed mixtures shall be a pure culture of mitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used later than the date indicated on the container. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75°-80° f. can weaken bacteria and make the inoculant less effective.
- Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and ferfillizer), broadcast or drop seeded, or a cultipacker seeder.

  a. If fertilizer is being applied at the time of seeding, the application rates amounts will not
- exceed the following: nitrogen maximum of 100 bs. per acre total of soluble nitrogen; P205 (phosphorous); 200 lbs/ac; K20 (potassium): 200 lbs/ac. Lime - use only ground agricultural limestone, (Up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one
- time. Do not use burnt or hydrated lime when hydroseeding. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

  ii. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
- a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 265 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.

  b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
- iii. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.

  a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
- b. Where practical, seed should be applied in two directions perpendicular to each other.
   Apply half the seeding rate in each direction. F. Mulch Specifications (In order of preference) Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
- ii. Wood Cellulose Fiber Mulch (WCFM)

  a. WCFM shall consist of specially prepared wood cellulose processed into a uniform
- WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry c. WCFM, including dye, shall contain no germination or growth inhibiting factors.

  d. WCFM materials shall be manufactured and processed in such a manner that the vood cellulose fiber mulch will remain in uniform suspension in water under agitation
- and will blend with seed, fertilizer and other additives to form a homogeneous slurry the mulch material shall form a blotter-like ground cover, on application, having noisture absorption and percolation properties and shall cover and hold grass seed
- in contact with the soil without inhibiting the growth of the grass seedings.

  e. WCFM material shall contain no elements or compounds at concentration levels that will be phytol-toxic.

  f. WCFM must contorm to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.

  Note: Only sterile straw mulch should be used in areas where one species of grass is desired.

- G. Mulching Seeded Areas Mulch shall be applied to all seeded areas immediately after seeding.

   If grading is completed outside of the seeding season, mulch along shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
- ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre. iii Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.

  H. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by
- preference), depending upon size of area and erosion hazard:
- i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. It used on sloping land, this practice should be used on the contour if possible.

  ii. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber process. the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
- of water.

  Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and crest of banks. The remainder of area should be appear uniform after binder application. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70 Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.
- iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long. I. Incremental Stabilization - Cut Slopes
- All cuts slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 15'.

  ii. Construction sequence (Refer to Figure 3 below):
- a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.
   b. Perform Phase 1 excavation, dress, and stabilize.
- Perform Phase 2 excavation, dress and stabilize. Overseed Phase 1 areas as
- d. Perform final phase excavation, dress and stabilize. Overseed previously seeded
- Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions int he operation of completing the operation out of the seeding season will necessitate the application of temporary stabilization. J. Incremental Stabilization of Embankments - Fill Slopes
- Embankments shall be constructed in lifts as prescribed on the plans.
- ii. Slopes shall be stabilized immediately when the vertical height of the multiple lifts reaches

  15°, or when the grading operation ceases as prescribed in the plans.

  iii. At the end of each day, femporary berms and pipe slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to
- of the embankment to intercept surface runoff and convert the slope in a list of a sediment trapping device.

  Construction sequence: Refer to Figure 4 (below).

  a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to divert runoff around the fill. Construct slope silt fence on low side of fill as shown in Figure 5, unless other methods shown on the plans address this area.

  b. Place Phase 1 embankment, dress and stabilize.

  c. Place Phase 2 embankment, dress and stabilize.

  Overseed previously seeded
- Place final phase embankment, dress and stabilize. Overseed previously seeded
- Once the placement of fill has begun the operation should be continuous from grubbing through the completion of and placement of topsoil (if required) grading and permanent seed and mulch. Bry interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

### SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LISCENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).

  2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.

  3) FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT
- OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7
  CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES,
- DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

  4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1,
- CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

  5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52), TEMPORARY STABILIZATION WITH MULCH ALONE CAN INLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER
- GERMINATION AND ESTABLISHMENT OF GRASSES.

  6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT INTROL INSPECTOR.
  - TOTAL AREA OF SITE AREA TO BE ROOFED OR PAVED 0.5455 ACRES AREA TO BE VEGETATIVELY STABILIZED 1.2038 ACRES 1,500 CU.YDS
- OFFSITE WASTE/BORROW AREA LOCATION 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

  10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES,
  APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON
  COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT
  CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL

BY THE INSPECTION AGENCY IS MADE.

II) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGHTS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

#### PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed-Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

#### Soil Amendments: In lieu of soil test recommendations, use one of the following schedules

- 1) Preferred Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs: per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq.ft.). 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbsper 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (23 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into
- Seeding: For the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options :

upper three inches of soil.

- 1) 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring. 2) Use sod.
- 3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.
- Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.
- Maintenance : Inspect all seeded areas and make needed repairs. replacements and reseedings.

#### TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed. Seedbed Preparation: Loosen upper three inches of soil by raking. discing or other acceptable means before seeding, if not previously

loosened. Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.).

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq.ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

## SEQUENCE OF CONSTRUCTION

 OBTAIN GRADING PERMIT 7 DAYS 2. INSTALL SEDIMENT AND EROSION CONTROL DEVICES AS SHOWN ON PLAN 7 DAYS CLEAR AND GRUB TO LIMITS OF DISTURBANCE 4 DAYS 4. INSTALL TEMPORARY SEEDING 2 DAYS CONSTRUCT BUILDINGS 60 DAYS 6. FINE GRADE SITE AND INSTALL PERMANENT SEEDING AND LANDSCAPE

7 DAYS

7. REMOVE SEDIMENT CONTROL DEVICES AS UPLAND AREAS ARE STABILIZED

AND PERMISSION IS GRANTED BY E/S CONTROL INSPECTOR.

PLAN/CUT AWAY VIEW -> 6" - 3/4" - 11/2" STONE --- INLET GRATE - GEOTEXTILE CLASS E - WIRE TIES

-3/4" - 1 1/2" STONE

-6" OVERLAR

STANDARD SYMBOL CROSS SECTION MAX. DRAINAGE AREA = 1/4 ACRE

provide additional filtration.

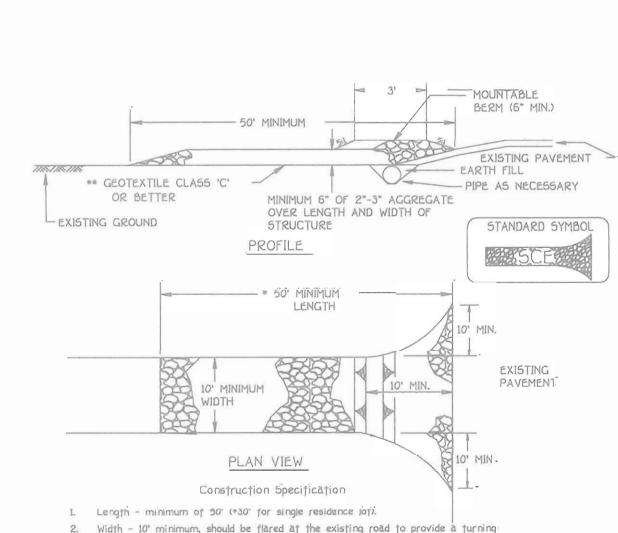
GEOTEXTILE CLASS E-

Construction Specifications

Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place. 2. Place 3/4" to 11/2" stone, 4"-6" thick on the grate to secure the fabric and

## AT GRADE INLET PROTECTION

NOT TO SCALE



- Width 10' minimum, should be flared at the existing road to provide a turning:
- 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. \*\*The plan approval authority may not require single family residences to use geotextile. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete
- equivalent shall be placed at least 6" deep over the length and width of the 5. Surface Water - all surface water flowing to or diverted toward construction
- entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.

Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE:

#### 10' MAXIMUM NOTE: FENCE POST SPACING SHALL NOT EXCEED 10 CENTER TO CENTER 118118118118 GROUND 118/18/11 SURFACE STANDARD SYMBOL FLOW 21/2" DIAMETER GALVANIZED - CHAIN LINK FENCE OR ALUMINUM WITH I LAYER OF - 8" MINIMUM POSTS FILTER CLOTH CHAIN LINK FENCING FLOW \_\_\_\_ FILTER CLOTH 118/18/18 - 16" MIN. 15T LAYER OF FILTER CLOTH \* EMBED FILTER CLOTH 8" \_\_\_\_ 118118118118 MINIMUM INTO GROUND \* IF MULTIPLE LAYERS ARE REQUIRED TO ATTAIN 42" Construction Specifications

1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.

2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.

3. Fifter cloth shall be tastened securely to the chain link tence with ties spaced every 24" at the top and mid section. 4. Filter cloth shall be embedded a minimum of 8" into the ground.

by 6" and folded. 6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height

5. When two sections of filter cloth adjoin each other, they shall be overlapped

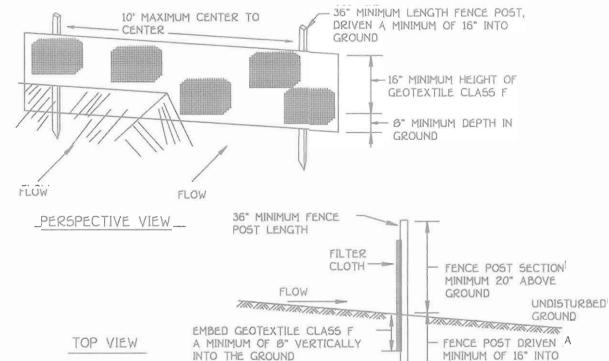
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

lensile Strength	50  bs/in (min.)	1651: MDM 1 509
Tensile Modulus	20  bs/in (min.)	Test: M5MT 509
Flow Rate	0.3 gal/ft /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

Design Criteria

5jope 5†eepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10:1 10:1 - 5:1 5:1 - 3:1	Unlimited 200 feet	Unlimited 1,500 feet 1,000 feet
3:1 - 2:1	100 feet	500 feet 250 feet
	5†eepness 0 - 10:1 10:1 - 5:1 5:1 - 3:1 3:1 - 2:1	Steepness     (maximum)       0 - 10:1     Unlimited       10:1 - 5:1     200 feet       5:1 - 3:1     100 feet

SUPER SILT FENCE NOT TO SCALE



INTO THE GROUND POSTS T THE GROUND CROSS SECTION SECTION B SECTION A STANDARD SYMBOL STAPLE JOINING TWO ADJACENT SILT FENCE SECTIONS

> Construction Specifications 1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 11/2" x 11/2" square (minimum) cut, or 13/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot. 2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class

Tensile Strength 50 (bs/in (min.) Test: MSMT 509 Test: MSMT 509 Tensile Modulus 20 lbs/in (min.) 0.3 gal ft / minute (max.) 2 Test: MSMT 322 Flow Rate Test: MSMT 322 Filtering Efficiency 75% (min.) 3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.

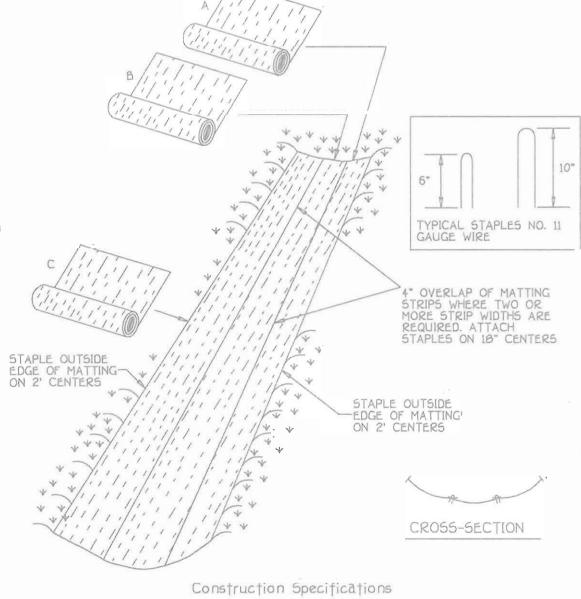
4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height. Silt Fence Design Criteria (Maximum) (Maximum)

Slope Steepness	Slope Length_	Silt Fence Length
Flatter than 50:1 50:1 to 10:1	unlimited 125 feet	unlimited 1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet
: In areas of less than 2%	slope and sandy "soils	(USDA general classific

Note: In areas of less than 2% slope and sandy soils (USDA general classification) system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

E-15

SILT FENCE NOT TO SCALE



Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6". Staple the 4" overlap in the channel center using an 18" spacing

3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.

 Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center. 5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4".

shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side. 6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples. Note: If flow will enter from the edge of the matting then the area

effected by the flow must be keyed-in. EROSION CONTROL MATTING

NOT TO SCALE

FISHER, COLLINS & CARTER, INC. ELLICOTT CITY, MARYLAND 21042 (410) 461 - 2855

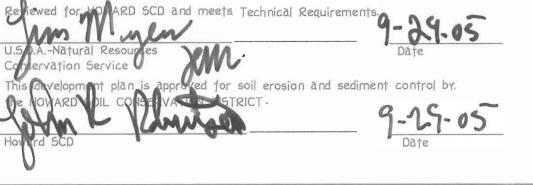
REVISION

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District "

EARL D. COLLINS Date BUILDER/DEVELOPER'S CERTIFICATE I/We certify that all development and construction will be done according to this plan,

for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil



OWNER/BUILDER/DEVELOPER HAMILTON REED C/O LAND DESIGN DEVELOPMENT, INC. 8000 MAIN STREET ELLICOTT CITY, MARYLAND 21043 410-480-9105

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING OTS NO. MAYFIELD OVERLOOK 1 THRU 6 BLOCK NO. ZONE TAX/ZONE | ELEC. DIST. | CENSUS TR. 00000 R-SC FIRST 6068.02 WATER CODE SEWER CODE

7640000

SEDIMENT/EROSION CONTROL NOTES & DETAILS SINGLE FAMILY DETACHED

MAYFIELD OVERLOOK

LOTS 1 THRU 6 TAX MAP NO: 37 PARCEL NO.: 144 GRID NO.: 14

SHEET 3 OF 3

FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

5CALE: 1"= 30' DATE: MARCH, 2004

SDP 05-143