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SITE DEVELOPMENT PLAN

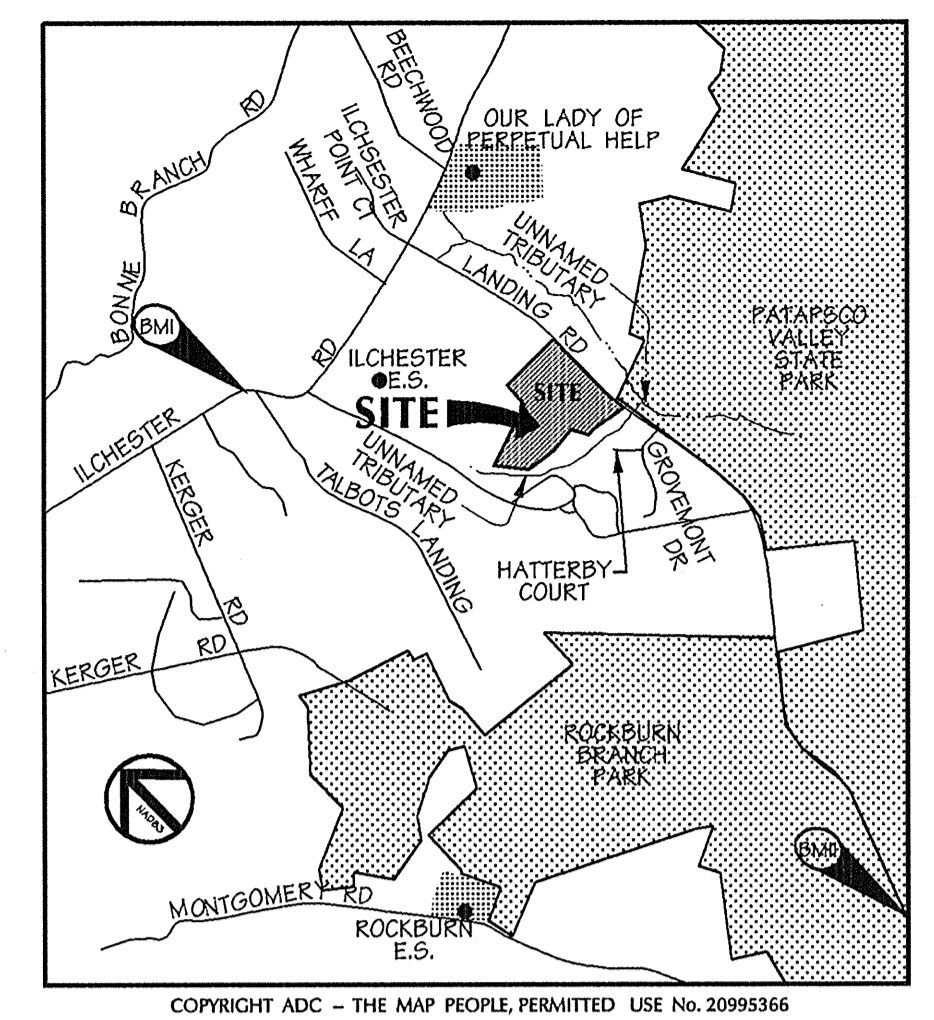
CIDER MILL - PHASE I

LOTS 1 THROUGH 38

Howard County Maryland

ADDRESS CHART

LOT	STREET ADDRESS
1	5026 ELLIS LANE
2	5022 ELLIS LANE
3	5028 ELLIS LANE
4	5024 ELLIS LANE
5	5020 ELLIS LANE
6	4801 LODI LANE
7	4805 LODI LANE
8	4809 LODI LANE
9	4813 LODI LANE
10	4817 LODI LANE
11	4821 LODI LANE
12	4808 LODI LANE
13	4804 LODI LANE
14	4800 LODI LANE
15	5001 ELLIS LANE
16	5005 ELLIS LANE
17	5009 ELLIS LANE
18	5013 ELLIS LANE
19	4809 OWENS COURT
20	4805 OWENS COURT
21	5005 TAYLOR LANE
22	5009 TAYLOR LANE
23	5013 TAYLOR LANE
24	5017 TAYLOR LANE
25	5021 TAYLOR LANE
26	5025 TAYLOR LANE
27	5016 TAYLOR LANE
28	5012 TAYLOR LANE
29	5008 TAYLOR LANE
30	5004 TAYLOR LANE
31	4804 OWENS COURT
32	5021 ELLIS LANE
33	5025 ELLIS LANE
34	5029 ELLIS LANE
35	5033 ELLIS LANE
36	5037 ELLIS LANE
37	5041 ELLIS LANE
38	5045 ELLIS LANE



LOCATION MAP
SCALE: 1" = 2000'

BENCHMARK
DESCRIPTION

BM1
#31EA-DISC SET IN CONCRETE
N 562941.23
E 137495.925
ELEVATION = 468.90
2 FT. SOUTH OF SIDEWALK ON ILCHESTER ROAD
1471 FT. FROM GATE IN FENCE ON TRANSMISSION LINE R.O.W.

BM2
#37CA-DISC SET IN CONCRETE
N 564321.656
E 1382712.880
ELEVATION = 256.965
20.6' SOUTH OF CENTERLINE OF LANDING ROAD
25' MILES NORTHWEST ON LANDING ROAD FROM
INTERSECTION OF LANDING ROAD AND MONTGOMERY RD.

SITE ANALYSIS DATA CHART

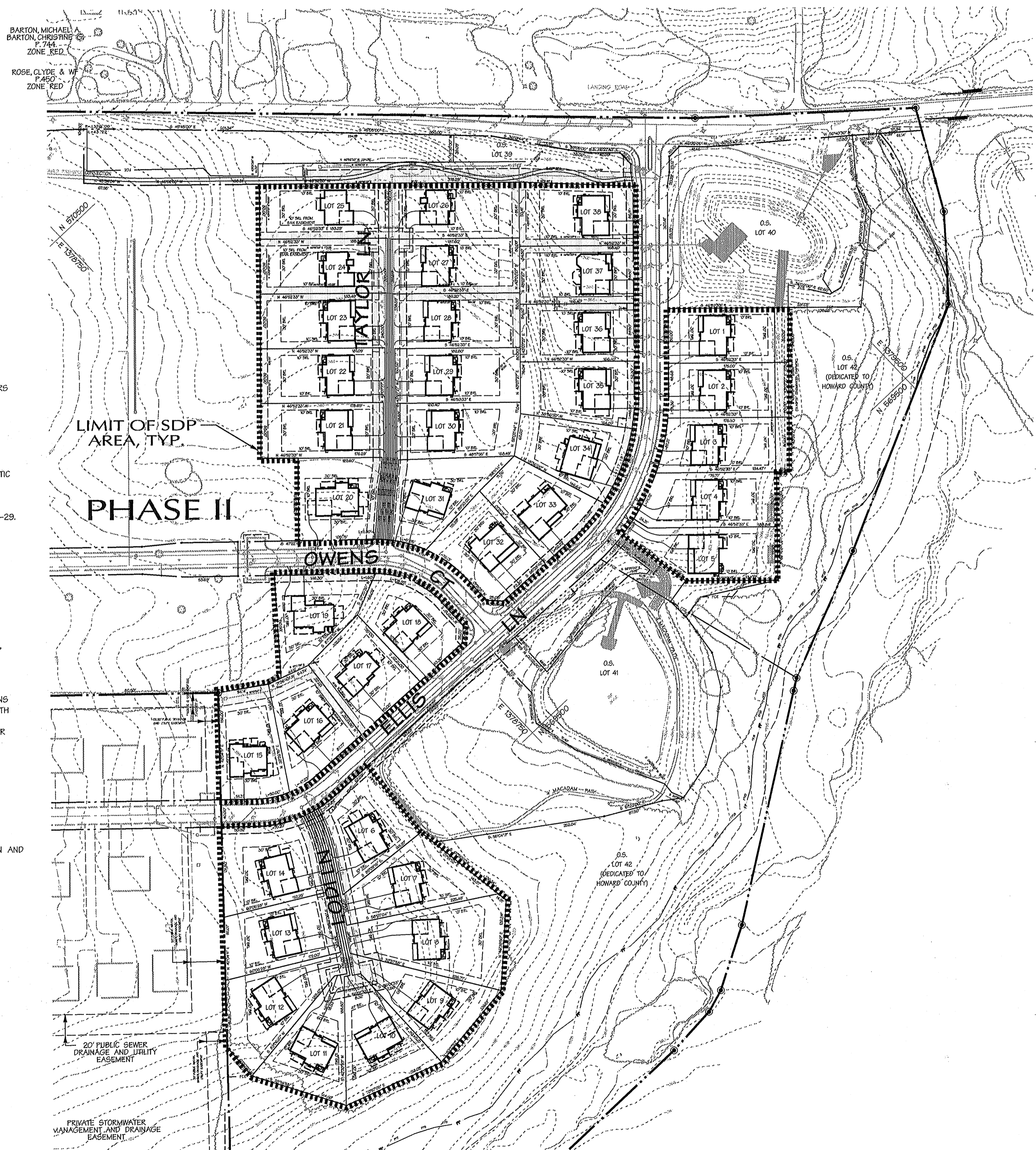
- General Site Data
 - Present Zoning: R-20
 - Applicable DPZ File References: F-04-29, P-03-08, S-02-15, F-02-171
 - Proposed Use of Site or Structure(s): Single Family Detached
 - Proposed Water and Sewer Systems are public
 - Any Other Information Which may be Relevant: Formerly known as Owens Property

2. Area Tabulation

- Total Project Area: 316.4 Acres
- Area of This Plan Submission: 13.11 Acres
- Limit of Disturbed Area: 22.67 Acres

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM AERIAL SURVEY WITH 2 FOOT CONTOUR INTERVALS, PREPARED BY 301, INC. ON FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171 AND PROPOSED MASS GRADING AS SHOWN ON FINAL PLAN, F-04-29.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT 31EA AND 37CA WERE USED FOR THIS PROJECT.
- STORMWATER MANAGEMENT IS PROVIDED ON SITE AND WAS APPROVED UNDER F-04-29. STORMWATER MANAGEMENT CONSISTS OF RAIN GARDENS (LOTS 4 AND 5), LEVEL SPREADERS (LOTS 6, 7, 8, 9, 10, AND 11), A WET POND, GRASSED SWALES, SHEET FLOW TO BUFFER, ROOFTOP DISCONNECTS, AND NATURAL AREA CONSERVATION CREDITS.
- EXISTING UTILITIES ARE BASED ON CONTRACT NO. 14-4099-D.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE.
- FOR DRIVEWAY ENTRANCE DETAILS, REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-606.
- THE PROPERTY IS ZONED R-20 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN.
 - IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR CLOSED, MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH -- 12' (14' SERVING MORE THAN ONE RESIDENCE);
 - SURFACE -- 6" OF COMPACTED CRUSHER RUN BASE W/ TAR AND CHIP COATING (1-1/2" MIN.);
 - GEOMETRY -- MAX 15% GRADE, MAX 10% GRADE CHANGE AND MIN. 45° TURNING RAD.; DRIVEWAY TO BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN AND TYPICAL SECTION PROVIDED ON THIS SITE DEVELOPMENT PLAN.
 - STRUCTURES (CULVERTS/BRIDGES) -- CAPABLE OF SUPPORTING 25 GROSS TONS (H-25 LOADING);
 - DRAINAGE ELEMENTS -- CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 - MAINTENANCE -- SUFFICIENT TO INSURE ALL WEATHER USE.
- THIS PROJECT COMPLIES WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION PER F-04-29.
- THIS PROJECT COMPLIES WITH SECTION 16.1204 OF THE HOWARD COUNTY CODE FOR LANDSCAPE REQUIREMENTS. THERE ARE NO REQUIRED LANDSCAPE BUFFERS ON SITE, THEREFORE, LANDSCAPING SURETY IS NOT REQUIRED.
- THERE ARE NO KNOWN CEMETERIES ON SITE.
- RAIN GARDENS ON LOTS 4 AND 5 ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER OF LOTS 4 AND 5.
- LEVEL SPREADERS ON LOTS 6-11 ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER OF LOTS 6-11.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE IN THE AMOUNT OF \$27,000.00 MUST BE POSTED AS PART OF THE GRADING PERMIT. (6 SHADE, 6 EVERGREEN)
- LOD IS SHOWN OUTSIDE OF SDP SUBMISSION AREA BECAUSE EROSION AND SEDIMENT CONTROL MEASURES FROM F-04-029 ARE TO REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION OF THIS SDP AND MAINTENANCE MAY CAUSE DISTURBANCE.



LOCATION MAP
SCALE: 1" = 100'

SEWER HOUSE CONNECTION TABLE

LOT	INV. AT E	MIN. C'
1	366.80	361.00
2	361.95	368.00
3	364.10	368.00
4	364.70	369.00
5	361.10	366.00
6	363.5	367.50
7	364.75	369.00
8	366.20	369.00
9	366.80	361.00
10	366.10	369.00
11	366.00	369.00
12	366.60	369.00
13	364.75	369.00
14	363.75	368.00
15	363.05	367.50
16	379.50	362.50
17	375.50	375.00
18	372.70	377.00
19	366.85	369.00
20	363.65	369.00
21	377.10	361.00
22	374.15	375.00
23	371.95	375.00
24	368.40	372.00
25	366.45	369.50
26	366.60	369.50
27	368.40	372.50
28	371.50	375.00
29	374.15	375.00
30	377.10	361.00
31	379.40	365.00
32	368.60	372.50
33	366.20	370.00
34	364.80	369.00
35	361.50	366.00
36	366.70	369.50
37	346.60	351.00
38	344.80	348.00

* MIN C is minimum floor elevation of unit that can be served by proposed sanitary connection.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 9/21/05
DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 10/7/05
DATE

DIRECTOR *[Signature]* 11/10/05
DATE

Date	No.	Revision Description

SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I

LOTS 1 THRU 38

OWNER(S): Parcel 243 Edmund Broderick et al
7720 Millstone Ct.
Ellicott City, MD 21043

DEVELOPER: Parcel 572 K. Hovanian Company
1802 Brightseat Road
Landover, MD 20785

DMW
Daft-McCune-Walker, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax: 296-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

SECTION NAME	PLAT	SECTION AREA	LOT/PARCEL #
CIDER MILL (7533-17535)	PHASE I		1-38
RATP OR LIP	688 #	TAX/ZONE MAP	LOT DISTRICT
17532-17539	0,16,17	R20	31
OWNER CODE	D-03	SEWER CODE	1254550
TITLE	COVER SHEET		

Des. By	MJP/JLT	Scale	AS NOTED	Proj. No.	01086.B2
Dm. By	KDE/JLT	Date	2/18/05		
Chk. By	Approved				

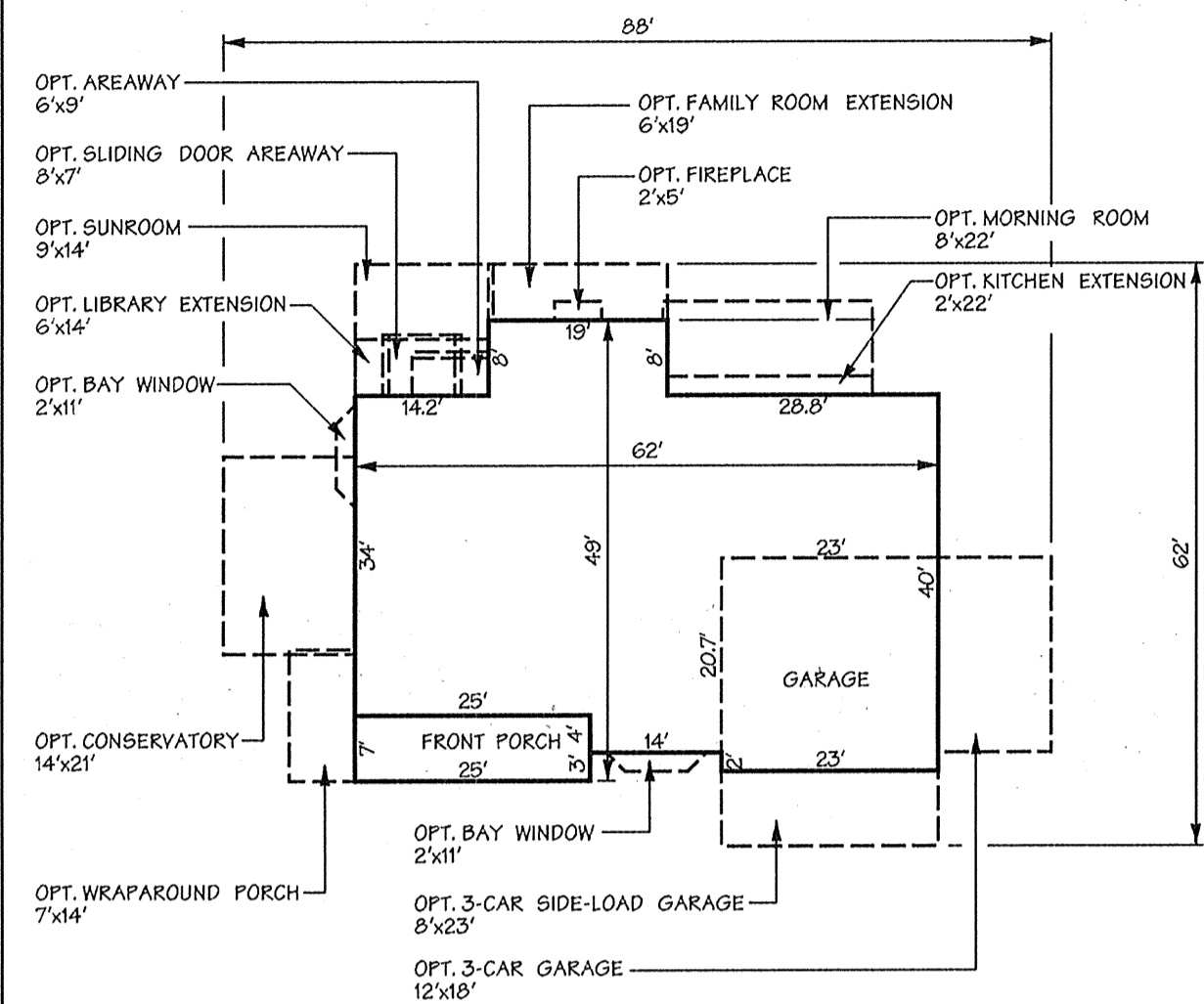
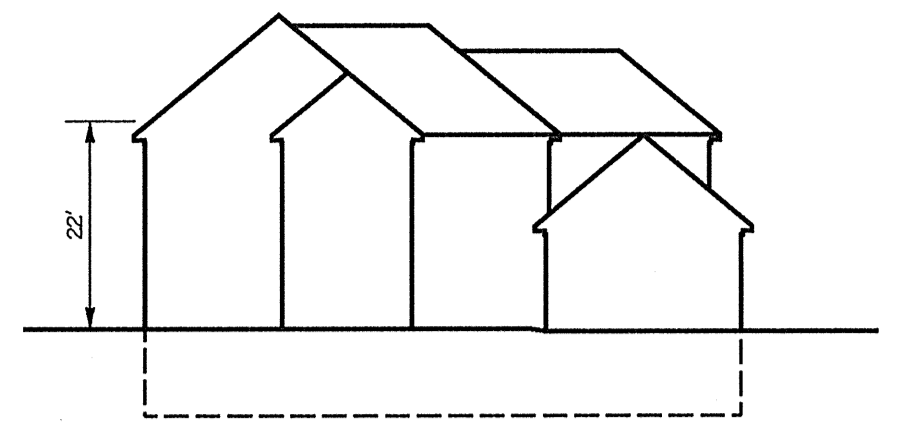
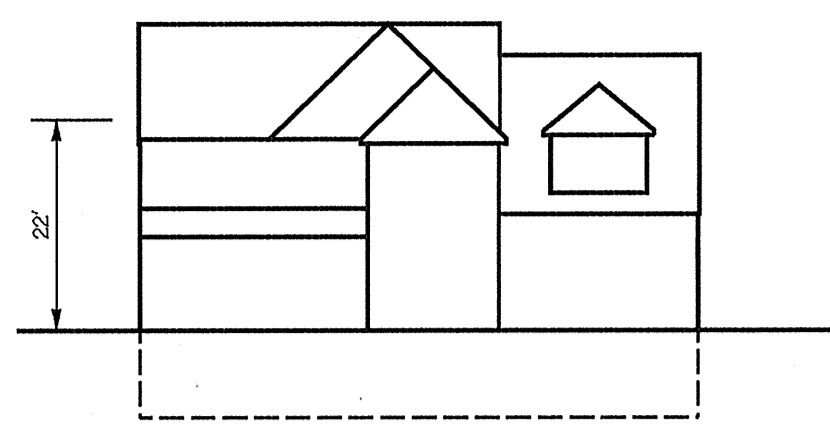
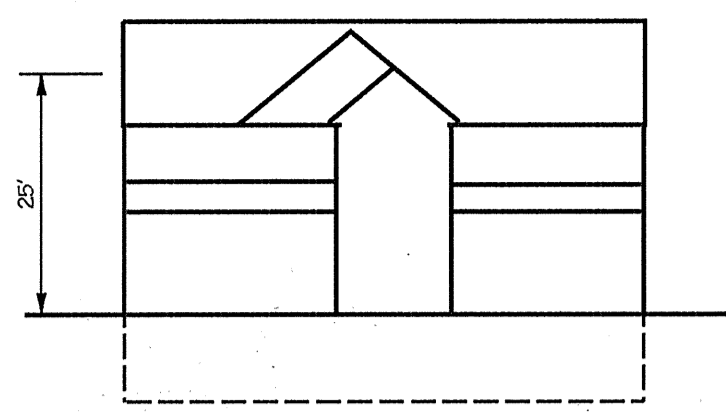
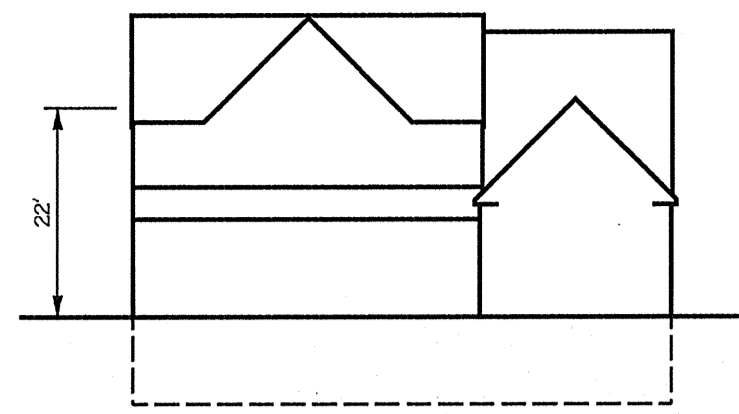
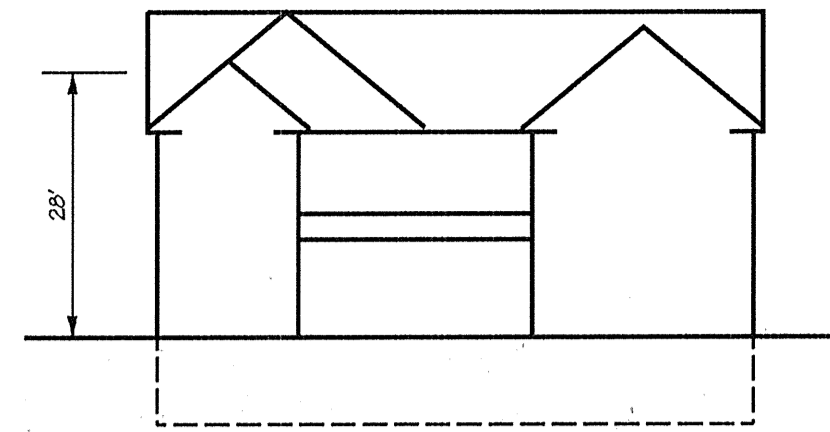
1 of 13

Professional Engr. No. 10971

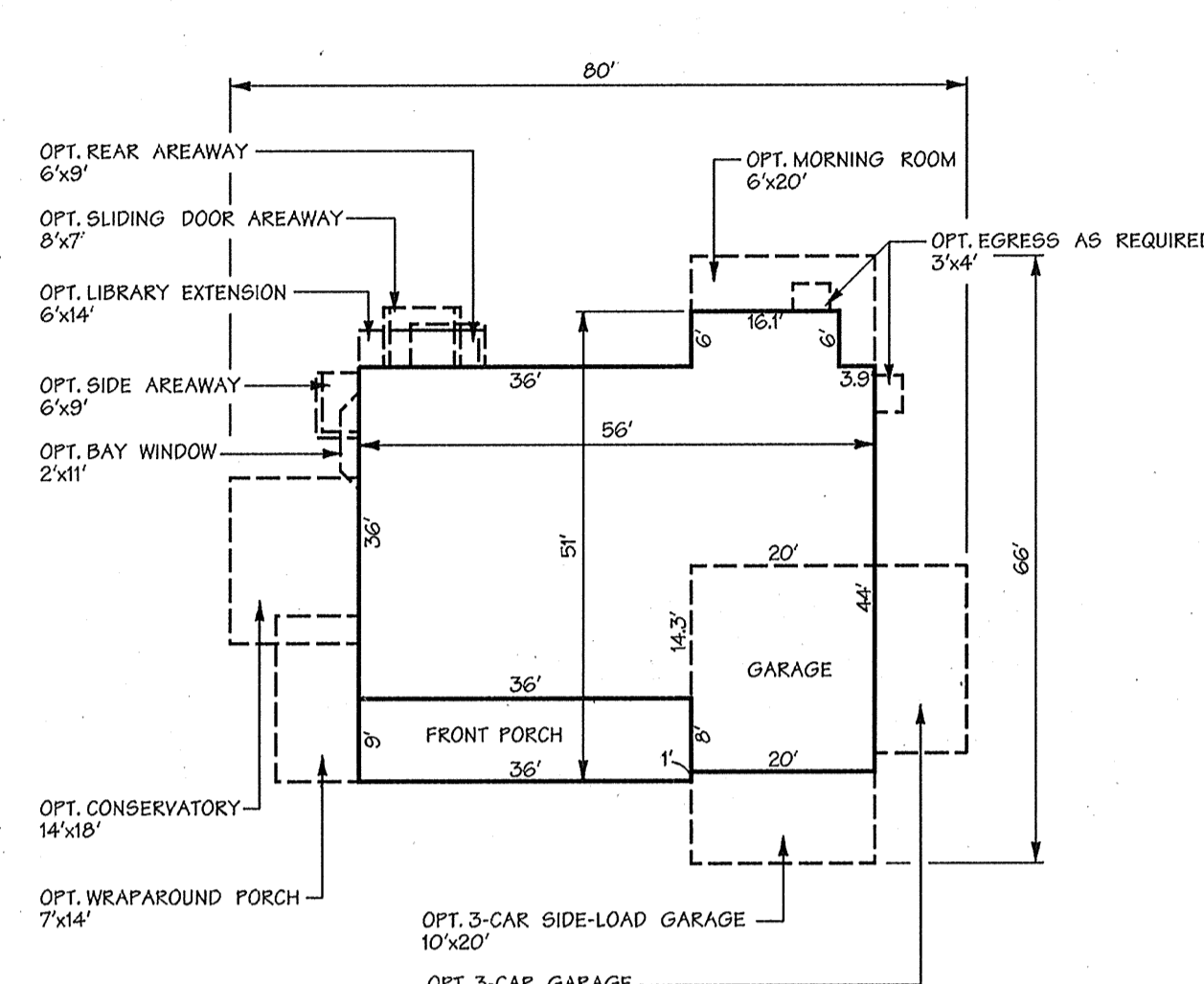
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Date

DATA SOURCES:
WETLANDS AND SOME STREAMS LOCATED IN FIELD BY GPS ON 12/10/01.
LOCATIONS OF TREELINES, STREAMS, TOPOGRAPHY, EX. STRUCTURES, ETC., DERIVED FROM LOW-LEVEL FLIGHT & AERIAL PHOTO ACQUIRED APRIL 9, 2002.
BOUNDARY SHOWN PER BOUNDARY SURVEY DATED SEPTEMBER, 2002, PREPARED BY DAFT-MCCUNE - WALKER, INC.
SOILS (IF SHOWN) TAKEN FROM HOWARD COUNTY SOIL SURVEY, 1968.
PORTIONS OF 100 YR FLOODPLAIN TAKEN FROM RECORDED PLAT #15886 OF GLYNCHESTER FARM FLOOD PLAIN STUDY FOR TRINITY PREPARATORY SCHOOL DATED 9-15-99 (DMW) AND 100 YR FLOOD PLAIN STUDY FOR GOVERNMENT SUBDIVISION DATED 4, 1997 (ISA GROUP, INC.), AND STUDY PREPARED FOR THE PRELIMINARY PLAN FOR THIS SITE.

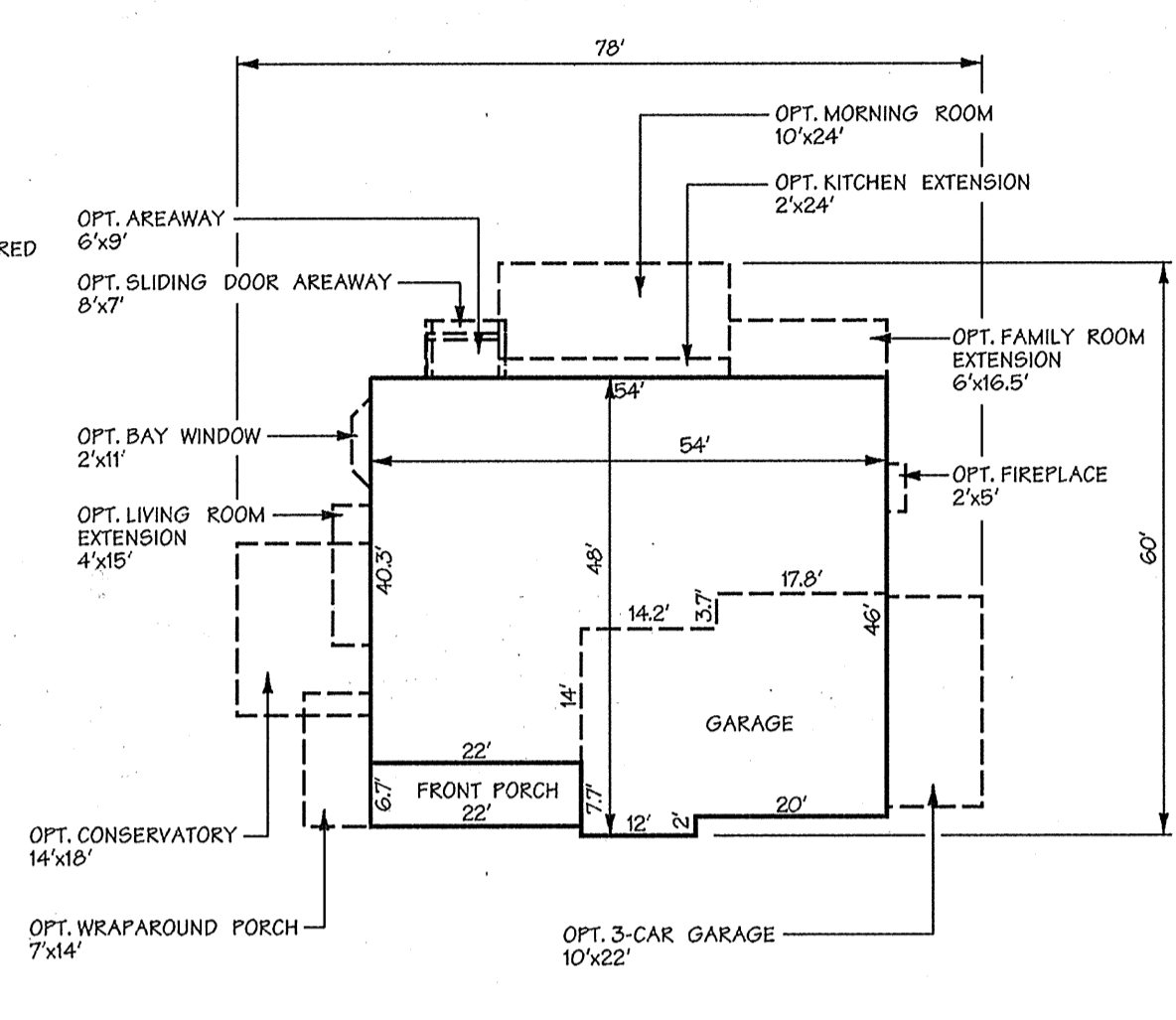
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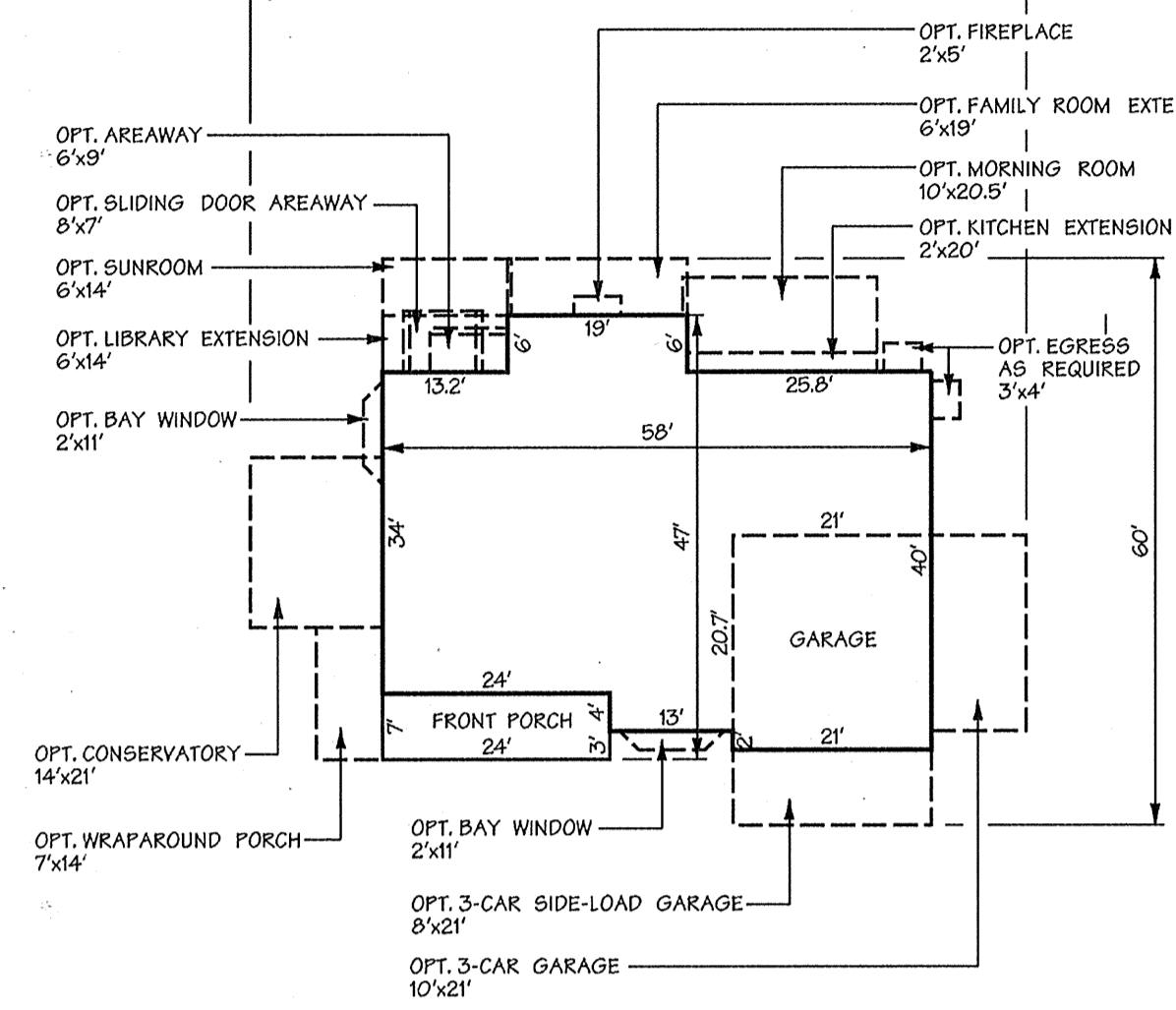
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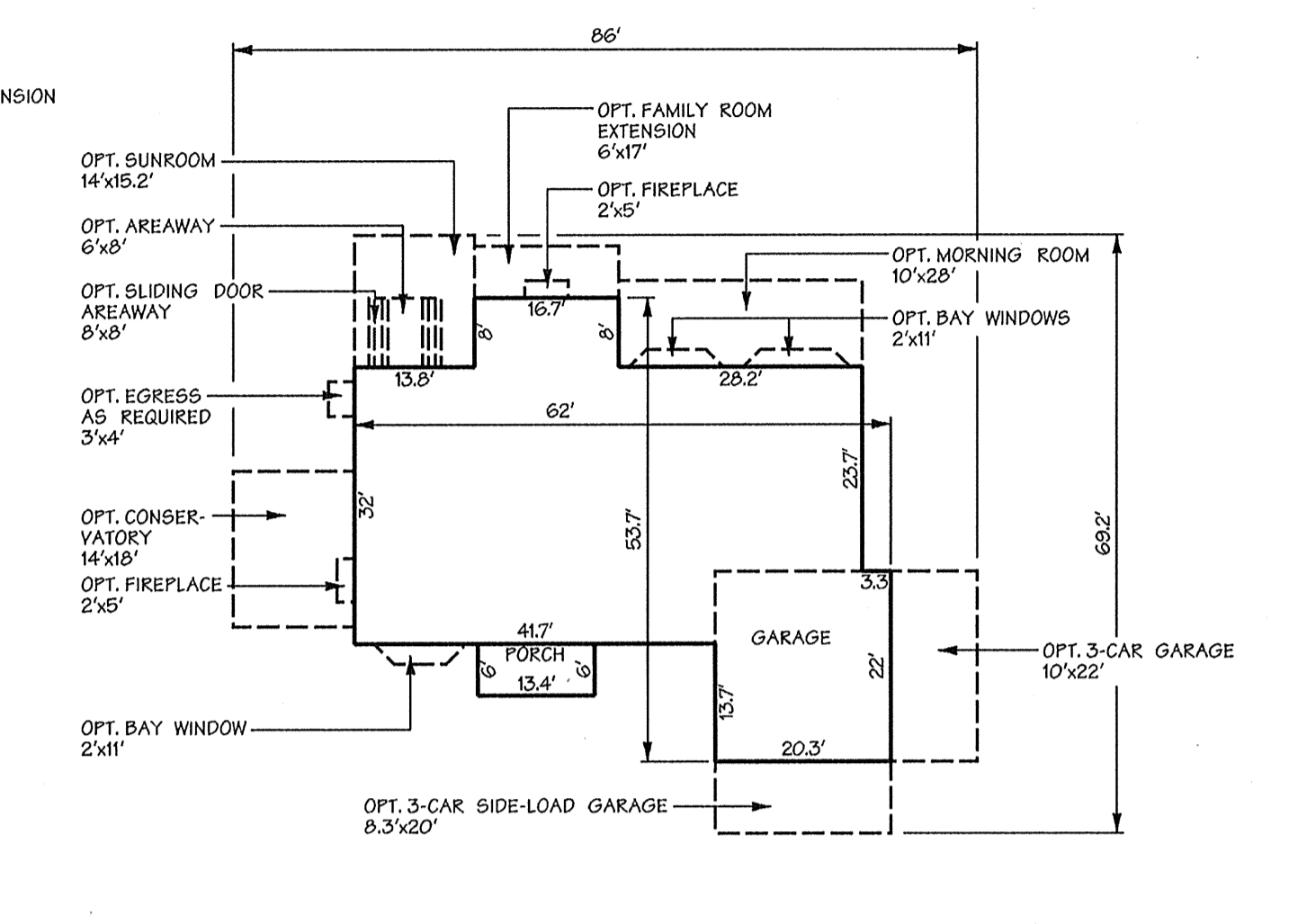
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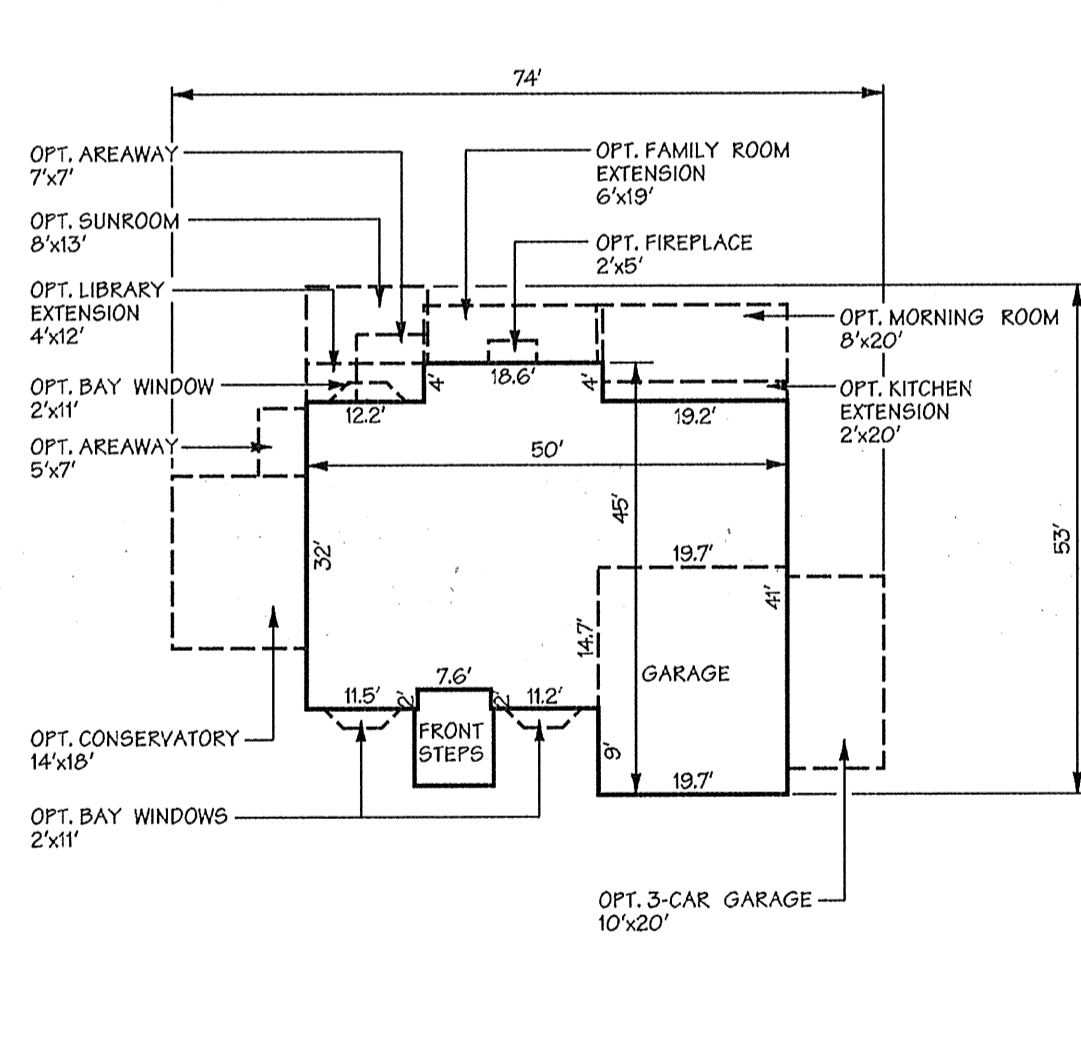
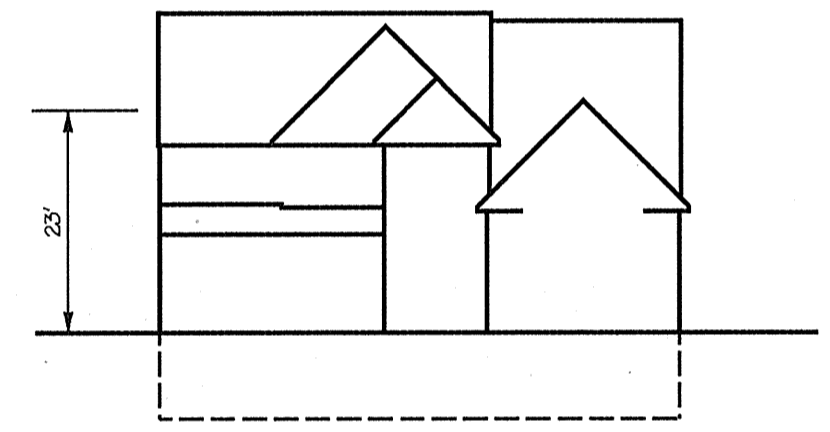
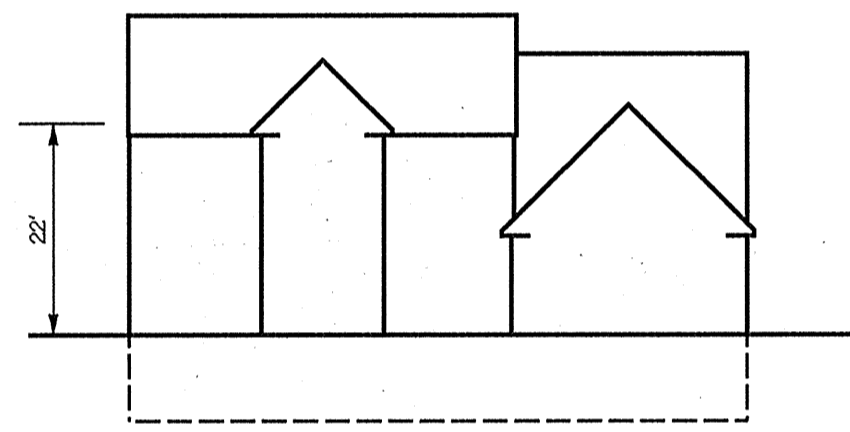
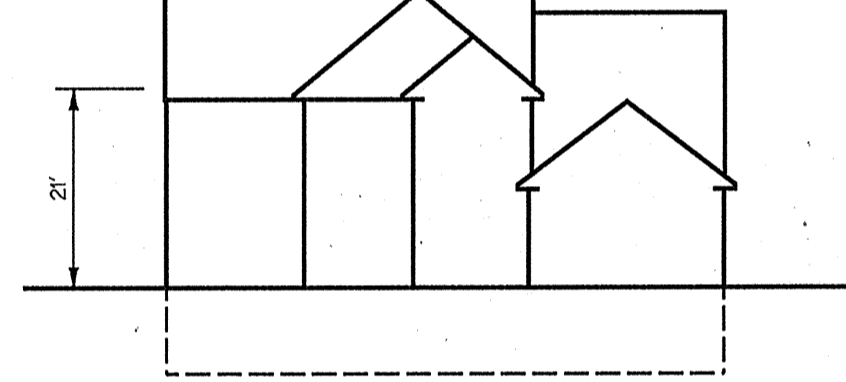
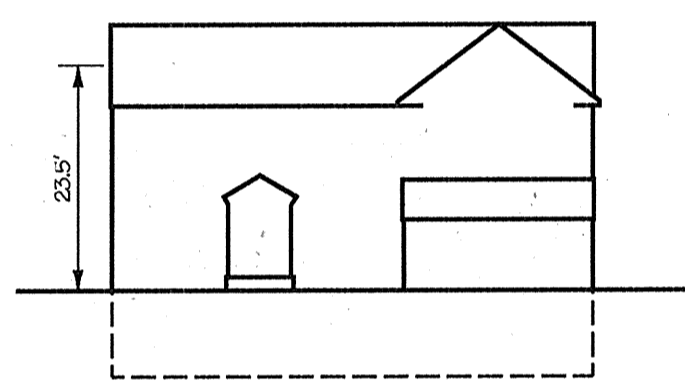
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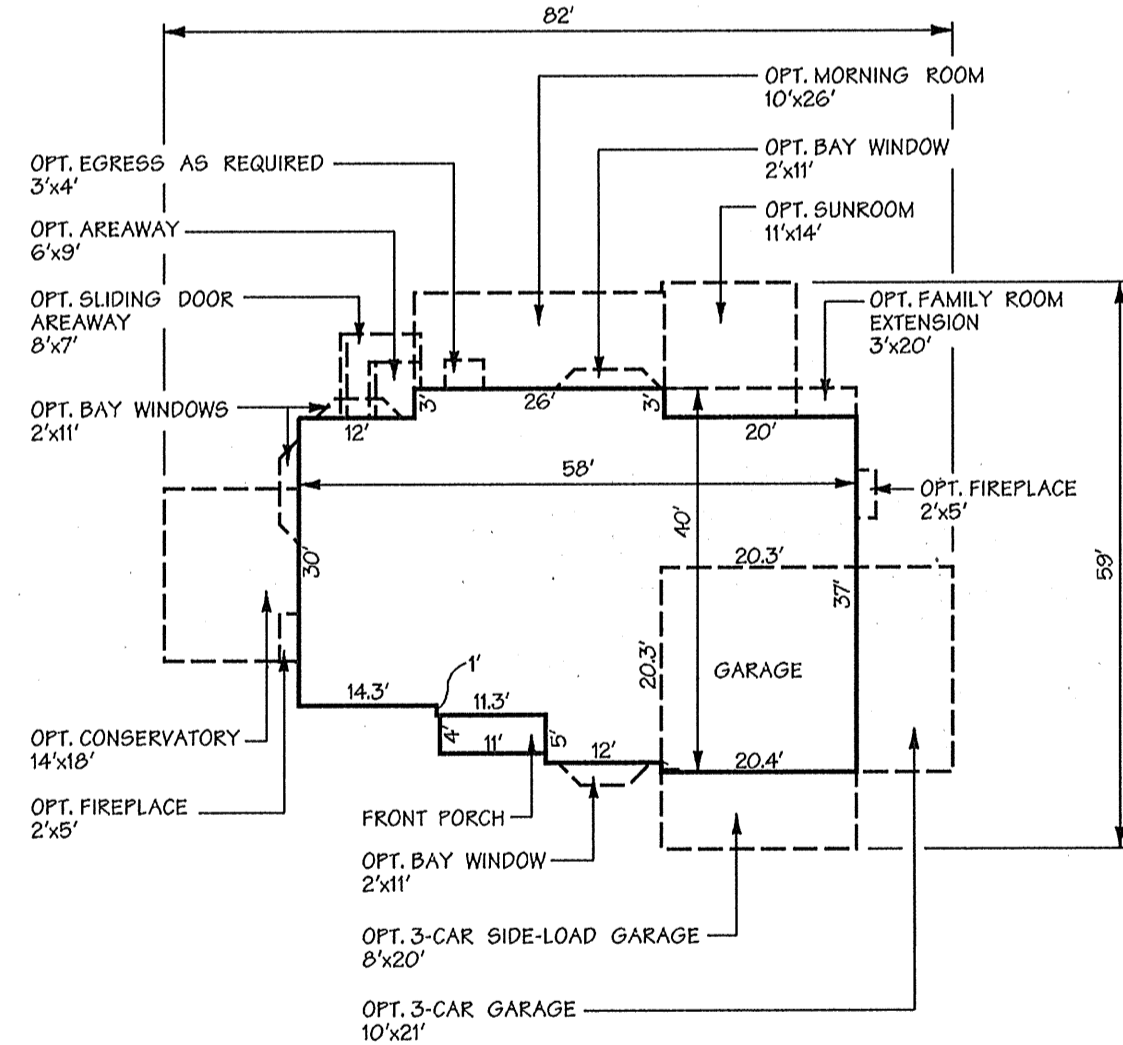
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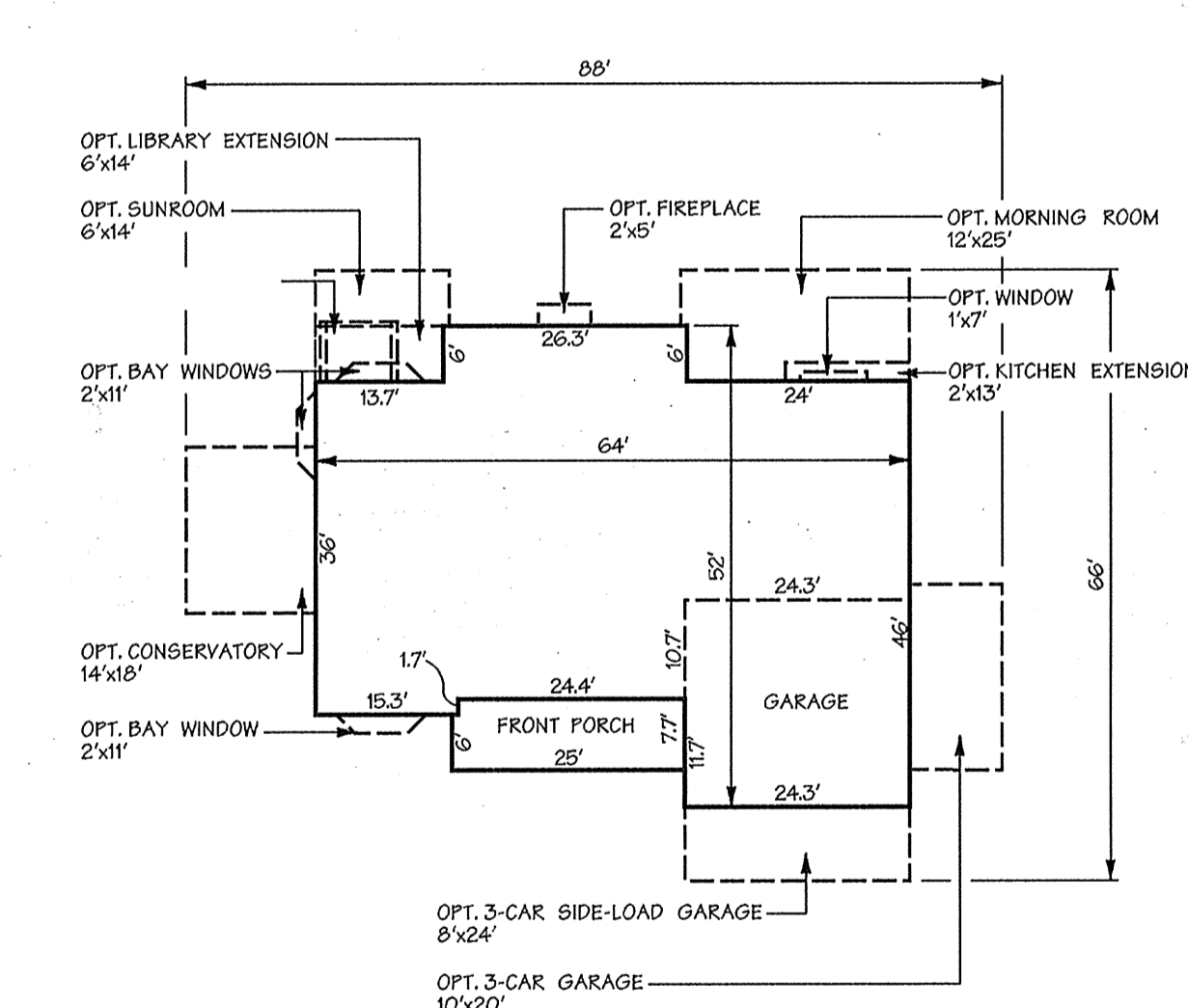
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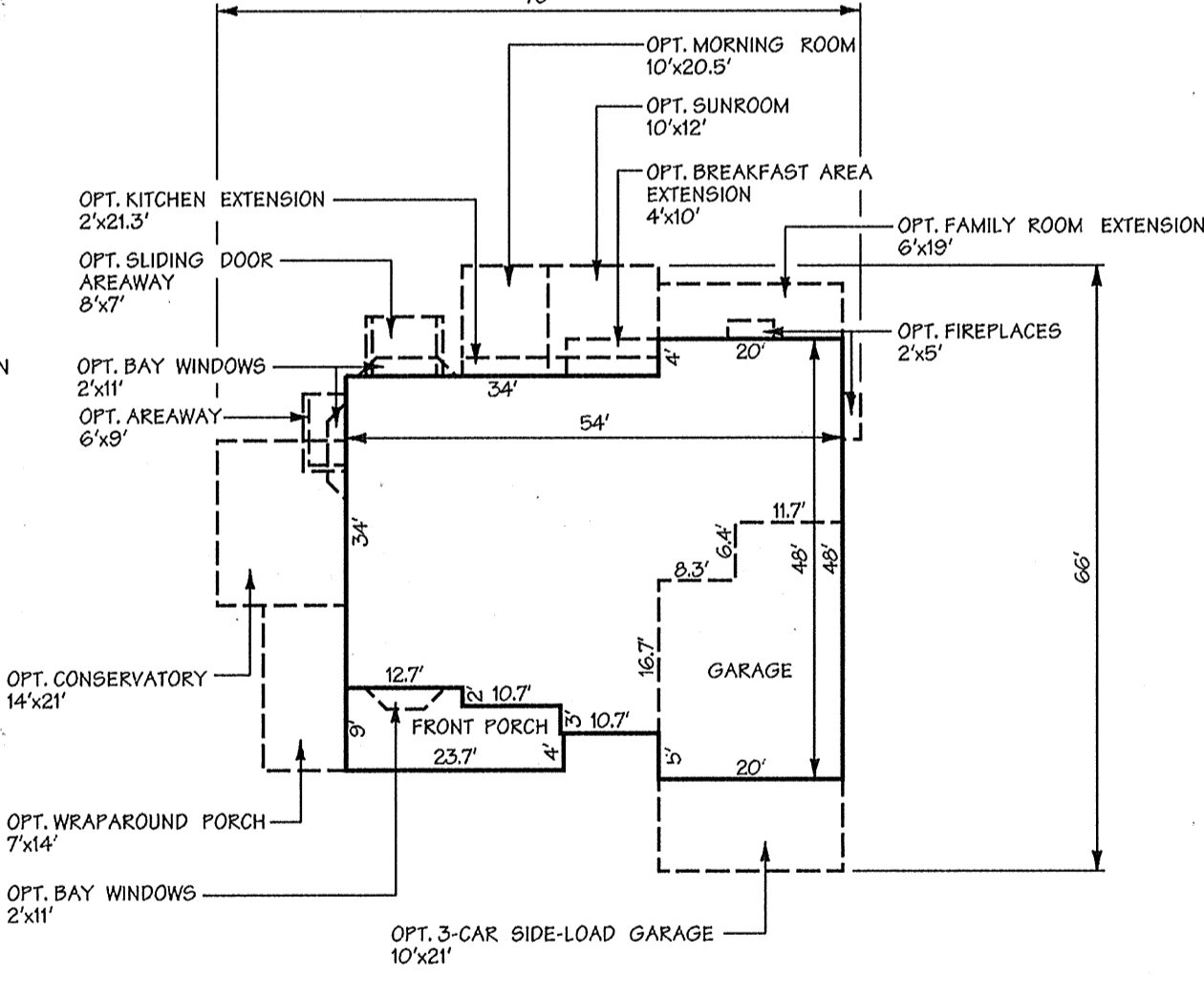
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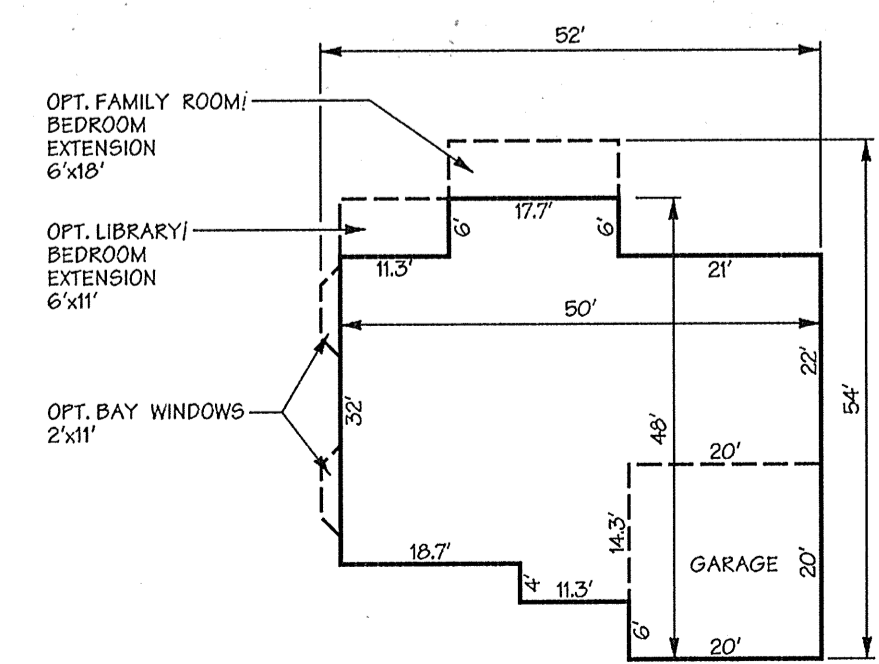
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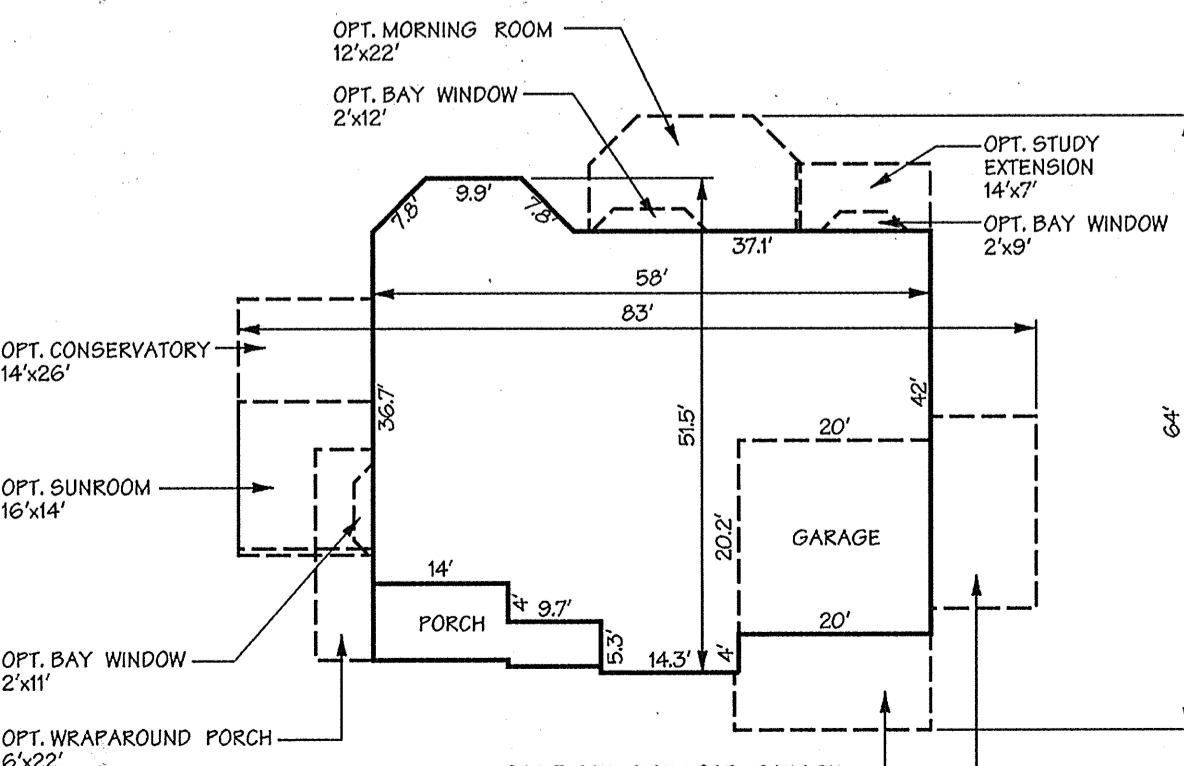
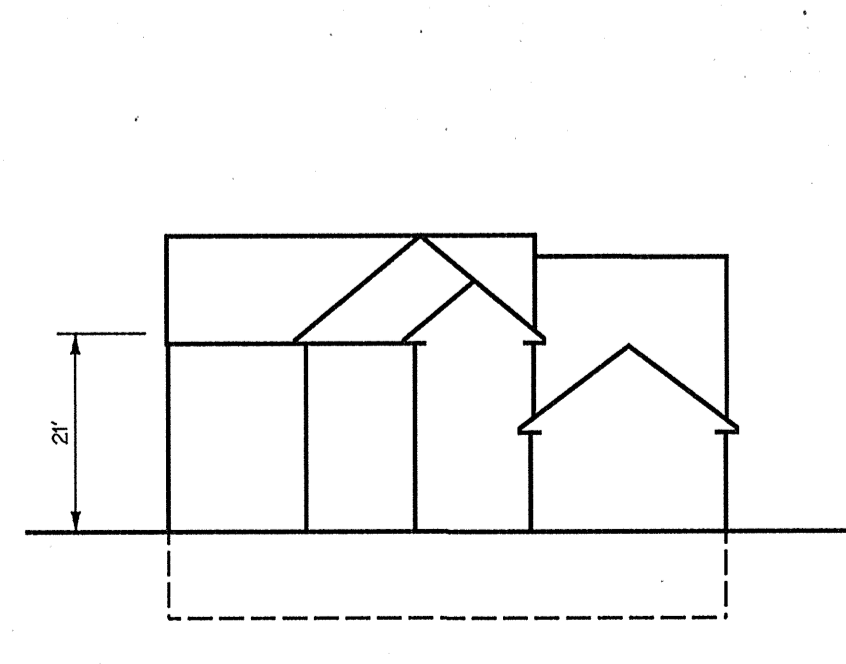
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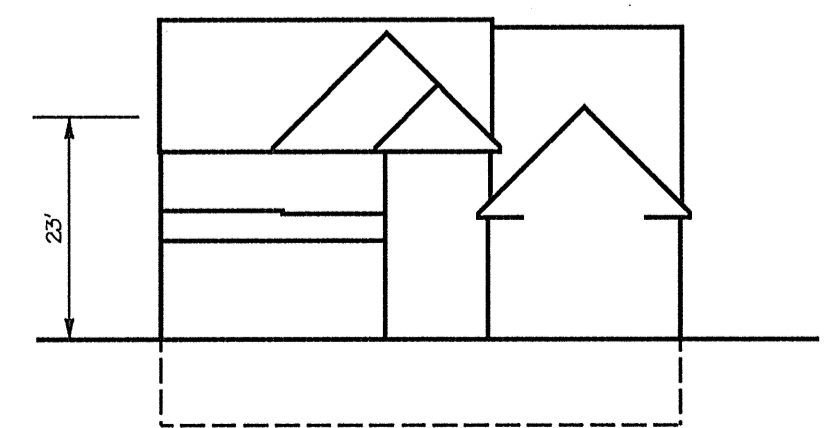
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ALASKA
SCALE: 1"=20'



TRUMAN
SCALE: 1"=20'

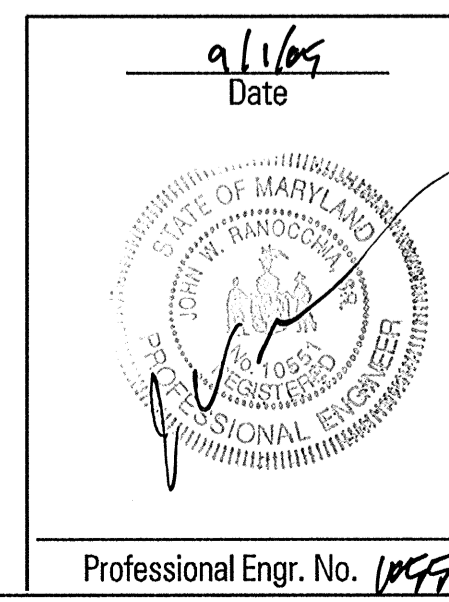


APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 9/2/05 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11/2/05 DATE
 DIRECTOR *[Signature]* 11/2/05 DATE

Date	No.	Revision Description

**SITE DEVELOPMENT PLAN
 CIDER MILL - PHASE I
 LOTS 1 THRU 38 AND OPEN
 SPACES LOTS 39, 40 & 41**

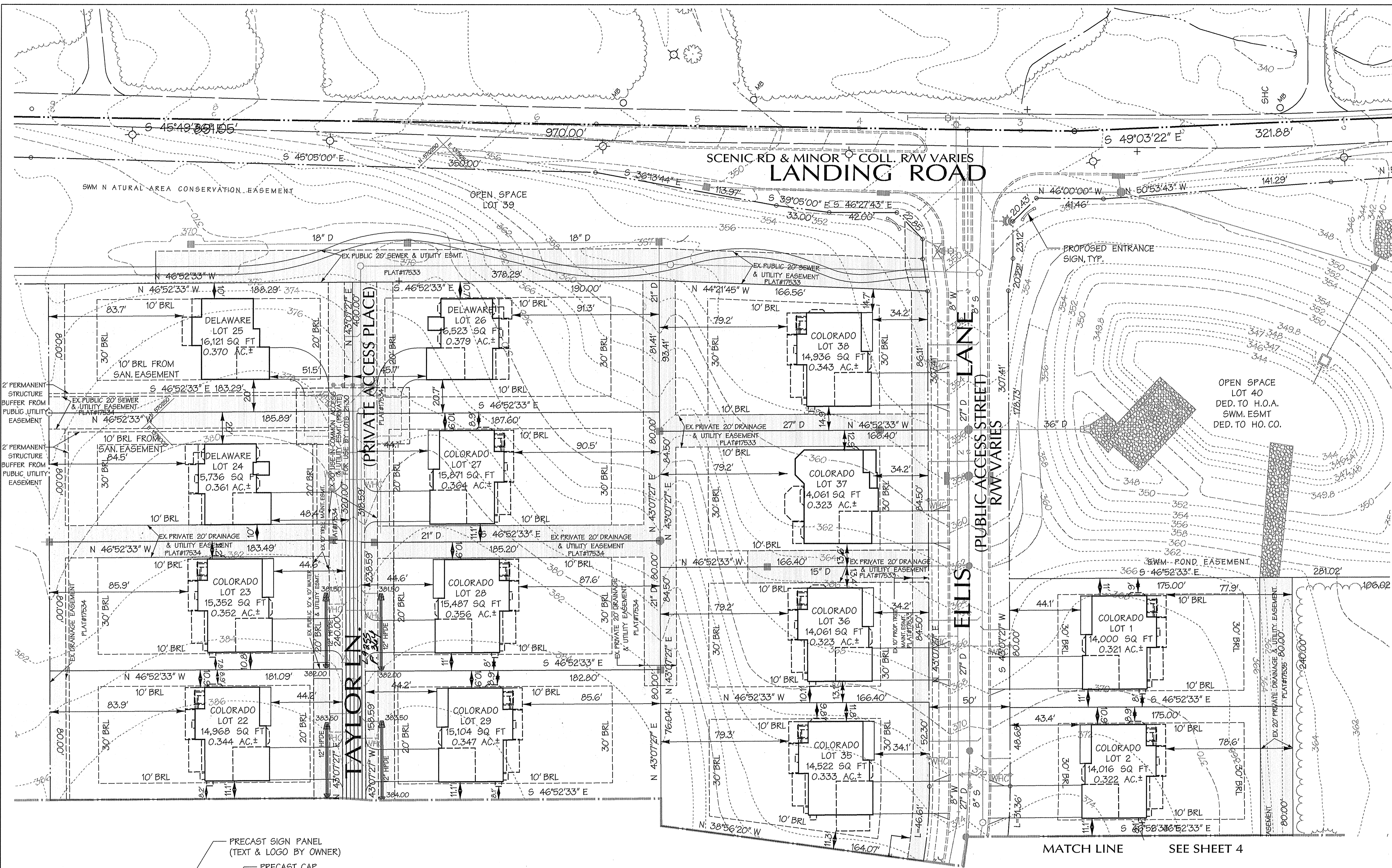
OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043
 DEVELOPER: Parcel 572 K. Hovanian Company 1802 Brightseat Road Landover, MD 20785



DMW
 Daft-McCune-Walker, Inc.
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 298-3333
 Fax 298-4705

**HOUSE TEMPLATE PLANS
 AND ELEVATIONS**

Des. By	MJP/JLT	Scale	AS NOTED	Proj. No.	01086.B2
Drn. By	JLT	Date	3/3/02		
Chk. By		Approved			



LEGEND

- - - - - EXISTING CONTOUR
- - - - - EXISTING TREELINE
- - - - - PROPOSED TREELINE
- - - - - 15" D EX. 12" WATER
- - - - - EXISTING WATER
- - - - - 18" R/OCP
- - - - - EXISTING STORM DRAIN
- - - - - EX. 8" SEWER
- - - - - EXISTING SEWER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

<i>[Signature]</i>	9/21/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	10/10/05
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	10/24/05
DIRECTOR	DATE

Date	No.	Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41**

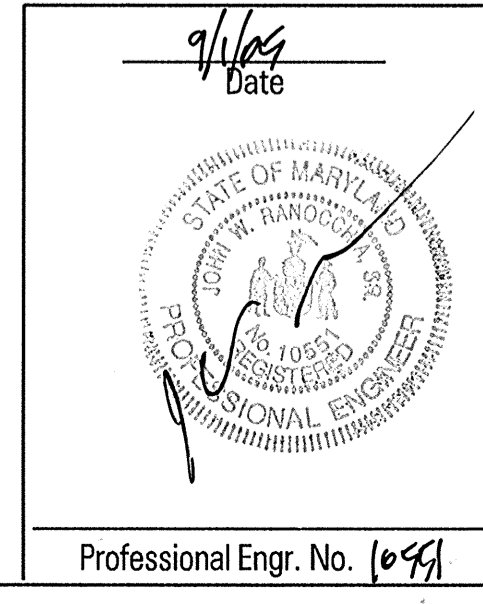
OWNER(S):
Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

Parcel 572
Zhen Owens
5016 Landing Road
Elkridge, MD 21075

DEVELOPER:
K. Hovanian Company
1802 Brightseat Road
Landover, MD 20785

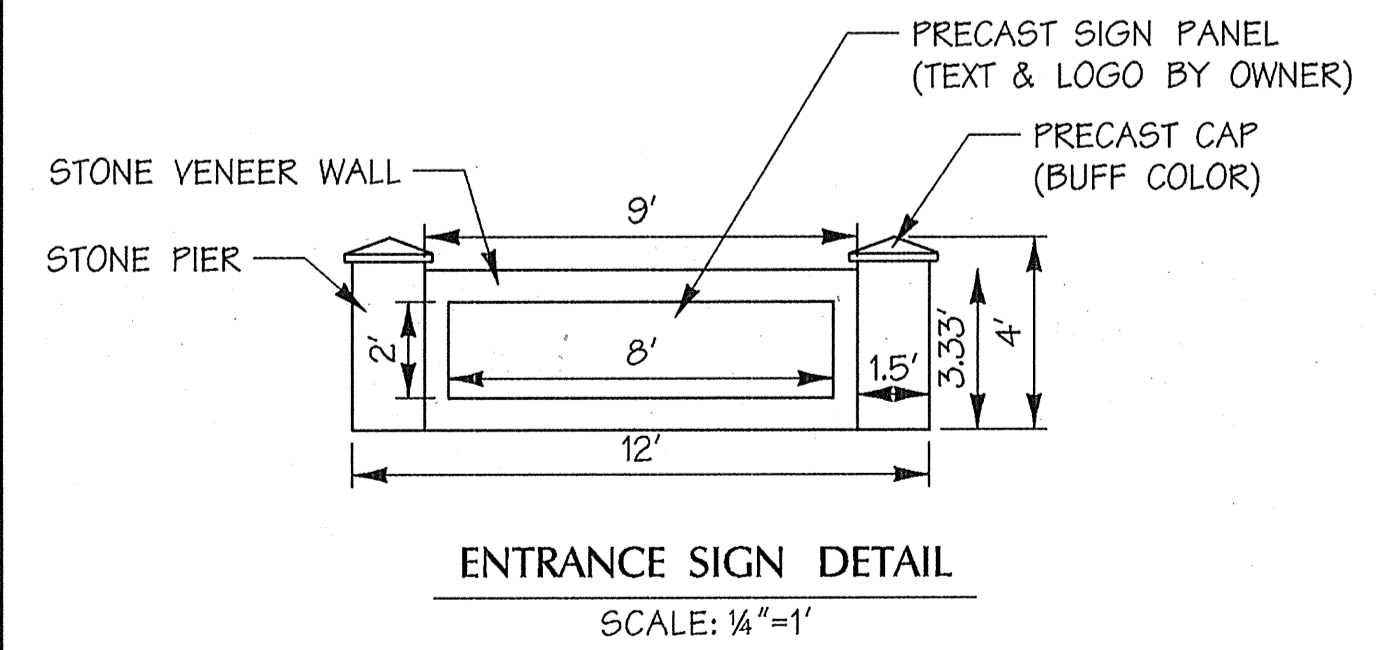
DMW
Dart-McCune-Walkers, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 286-3333
Fax 286-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals



TITLE SITE PLAN

Des. By	MJP/JLT	Scale	1"=30'	Proj. No.	01086.B2
Drn. By	KDE/JLT	Date	4/21/05	3 of 13	
Chk. By		Approved			



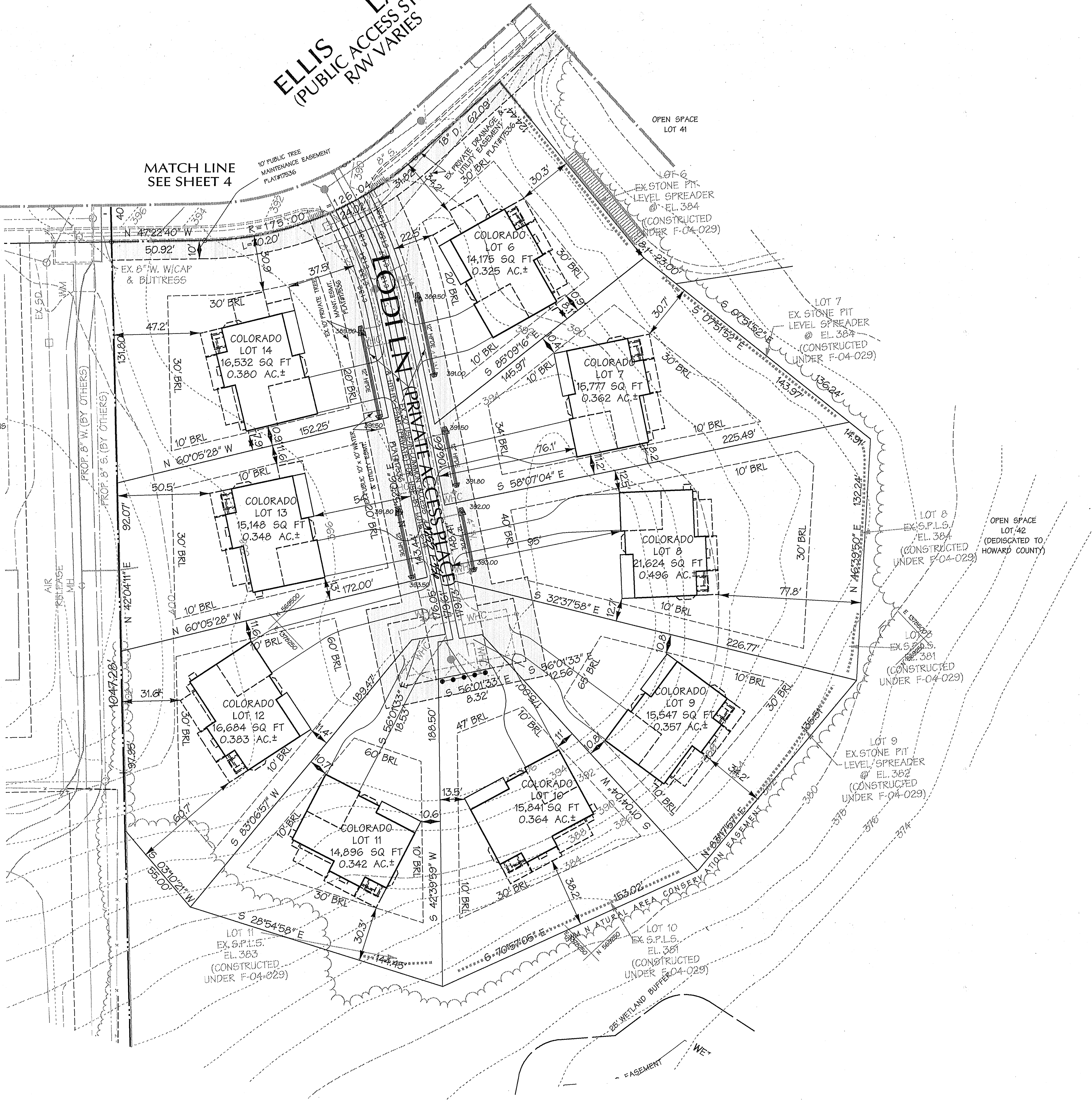
MATCH LINE SEE SHEET 4

The Eng. 1 099969 2005

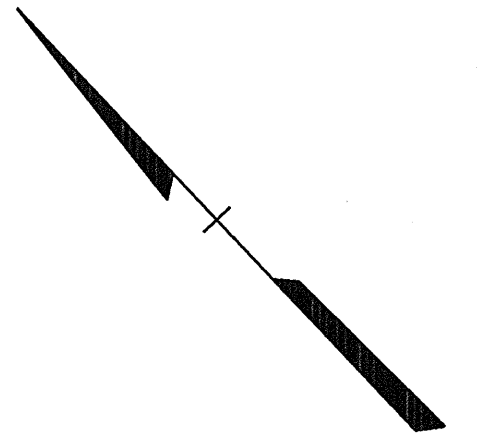
ELLIS LANE
(PUBLIC ACCESS STREET)
RW VARIES

MATCH LINE
SEE SHEET 4


(PROPOSED)
GLYNCHESTER FARMS
ZONE R-20
F-02-05




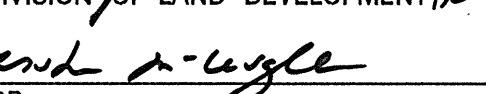
- LEGEND**
- 340 --- EXISTING CONTOUR
 - 340 --- PROPOSED CONTOUR
 - AREA OF INTERPOLATED CONTOURS
 - ~~~~~ EXISTING TREELINE
 - ~~~~~ PROPOSED TREELINE
 - 15" D --- PROPOSED STORM DRAIN
 - EX 12" WATER --- EXISTING WATER
 - 18" RCCP --- EXISTING STORM DRAIN
 - EX 8" SEWER --- EXISTING SEWER



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

 9/2/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION gms DATE

 10/1/06
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

 11/1/15
 DIRECTOR DATE

Date	No.	Revision Description
SITE DEVELOPMENT PLAN CIDER MILL - PHASE I LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41		

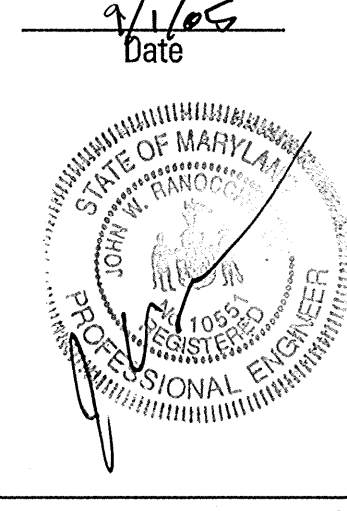
OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct, Ellicott City, MD 21043

Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075

DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

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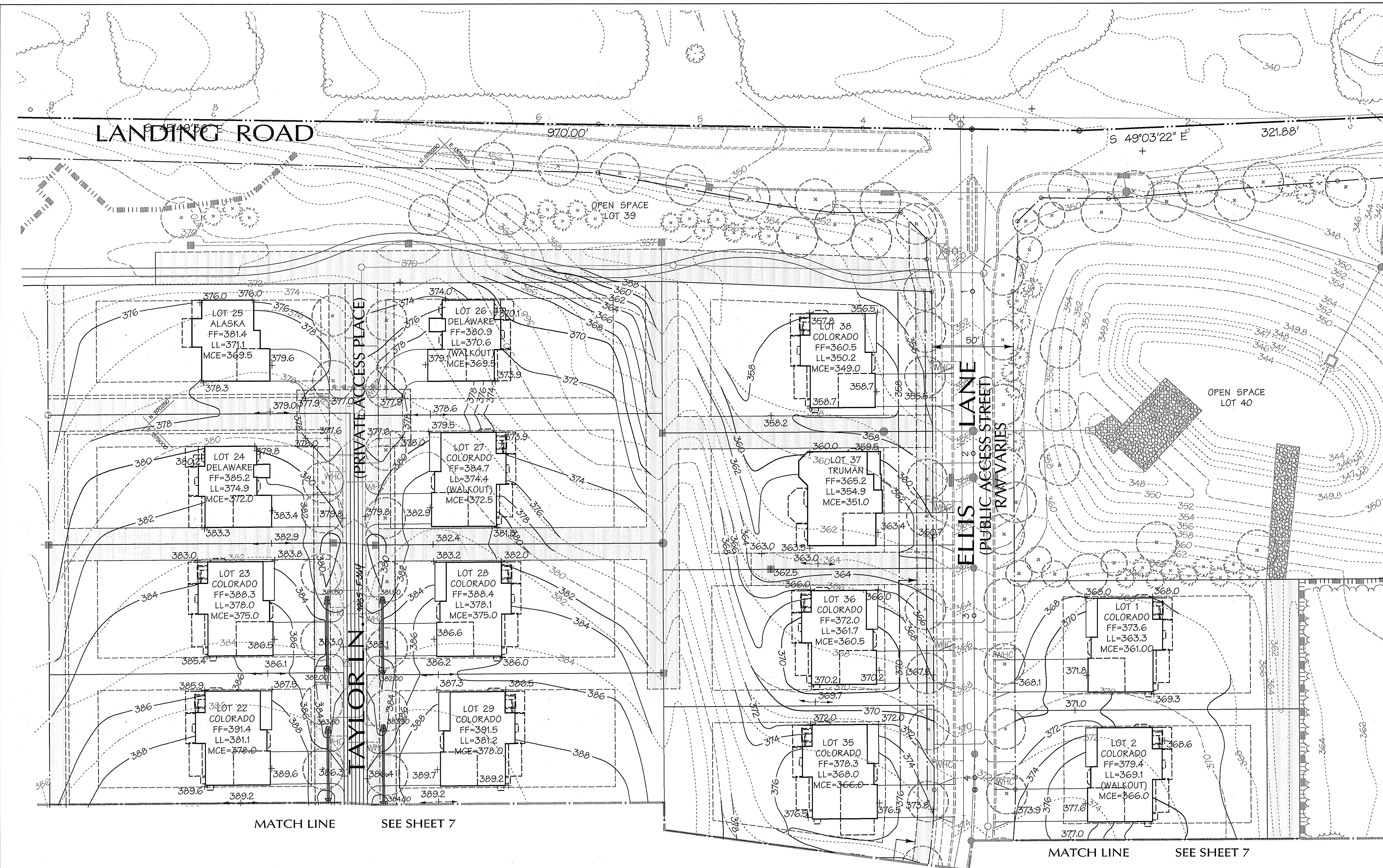
A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals


 Date 4/21/05
 Professional Engr. No. 10571

TITLE: **SITE PLAN**

Des. By	MJP/JLT	Scale	1"=30'	Proj. No.	01086.B2
Dim. By	KDE/JLT	Date	4/21/05	5 of 13	
Chk. By		Approved			

The Site Plan 10527545 2005



LEGEND

- 340 --- EXISTING CONTOUR
- 340 --- PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- 15" D PROPOSED STORM DRAIN
- EX 12" WATER EXISTING WATER
- 18" RCCP EXISTING STORM DRAIN
- EX 8" SEWER EXISTING SEWER
- EXISTING TREES PER F-04-029

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 4/1/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION gao DATE

[Signature] 4/1/05
 CHIEF, DIVISION OF LAND DEVELOPMENT & PLANNING DATE

[Signature] 4/1/05
 DIRECTOR DATE

Date	No.	Revision Description

SITE DEVELOPMENT PLAN
 CIDER MILL - PHASE 1
 LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075

DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

4/1/05
 Date

Professional Engr. No. 10096

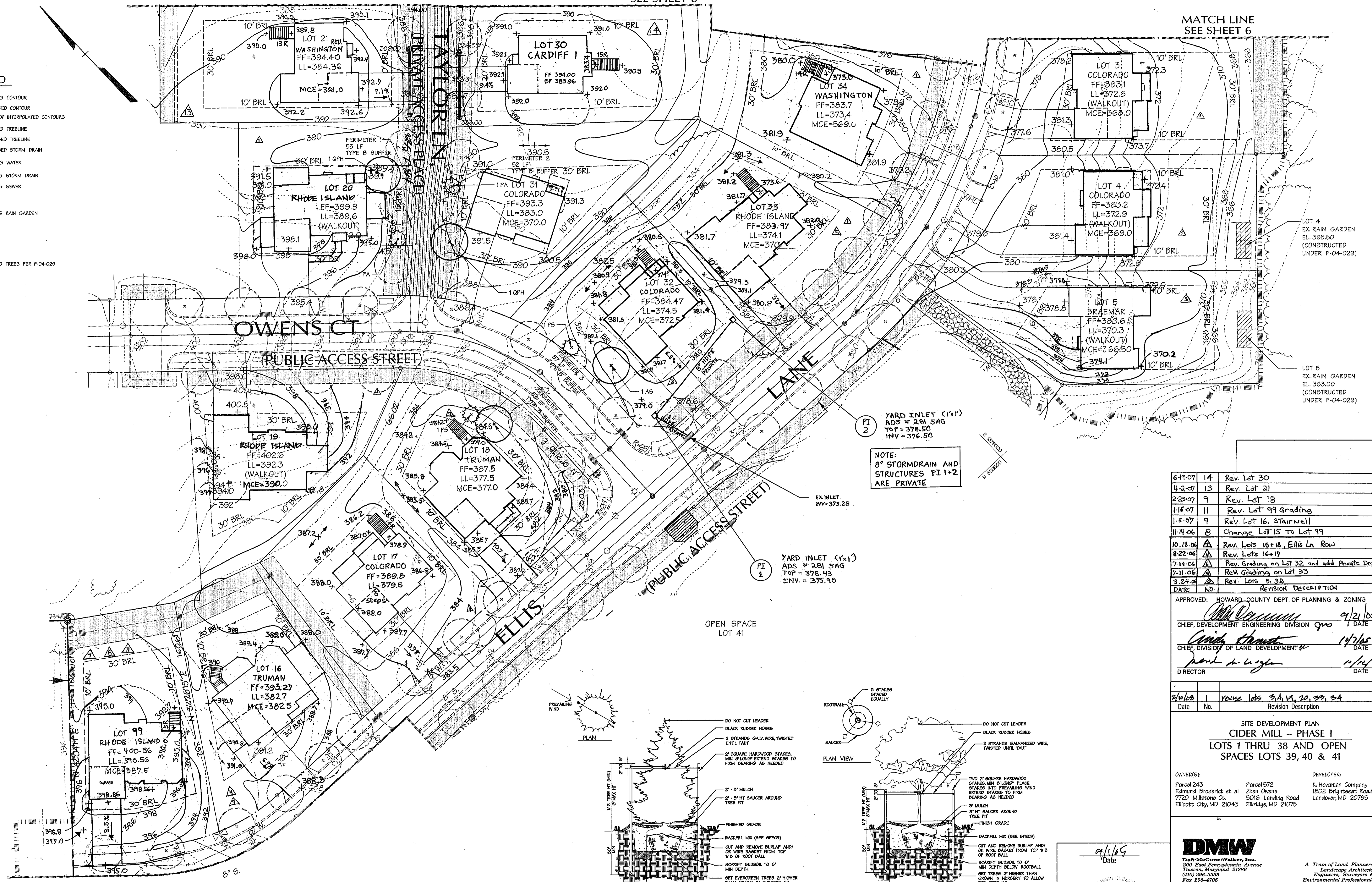
TITLE GRADING & LANDSCAPE PLAN		
Des. By MJP/JLT	Scale 1"=30'	Proj. No. 01086.02
Dim. By KDE/JLT	Date 4/21/05	6 of 13
Chk. By	Approved	

MATCH LINE
SEE SHEET 6

MATCH LINE
SEE SHEET 6

LEGEND

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - AREA OF INTERPOLATED CONTOURS
- - - - - EXISTING TREELINE
- - - - - PROPOSED TREELINE
- - - - - PROPOSED STORM DRAIN
- - - - - EX. 15" D WATER
- - - - - EXISTING WATER
- - - - - EX. 18" RCP
- - - - - EXISTING STORM DRAIN
- - - - - EX. 8" SEWER
- - - - - EXISTING SEWER
- [Hatched Box] EXISTING RAIN GARDEN
- [Circle with X] EXISTING TREES PER F-04-029



NOTE:
8" STORMDRAIN AND
STRUCTURES PI 1+2
ARE PRIVATE

YARD INLET (1'x1')
ADS # 281 5AG
TOP = 378.50
INV = 376.50

YARD INLET (1'x1')
ADS # 281 5AG
TOP = 378.43
INV = 375.90

DATE	NO.	REVISION DESCRIPTION
6-19-07	14	Rev. Lot 30
4-2-07	13	Rev. Lot 21
2-23-07	9	Rev. Lot 18
1-16-07	11	Rev. Lot 99 Grading
1-5-07	9	Rev. Lot 16, Stairwell
11-14-06	8	Change Lot 15 to Lot 99
10-18-06	7	Rev. Lots 15+18, Ellis Ln Row
8-22-06	6	Rev. Lots 16+17
7-14-06	5	Rev. Grading on Lot 32 and add Private Drain
7-11-06	4	Rev. Grading on Lot 33
3-24-06	3	Rev. Lots 5, 32

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
[Signature] 9/21/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 1/7/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 11/14/05
 DIRECTOR

DATE	NO.	REVISION DESCRIPTION
3/16/08	1	Issue lots 34, 18, 20, 33, 34

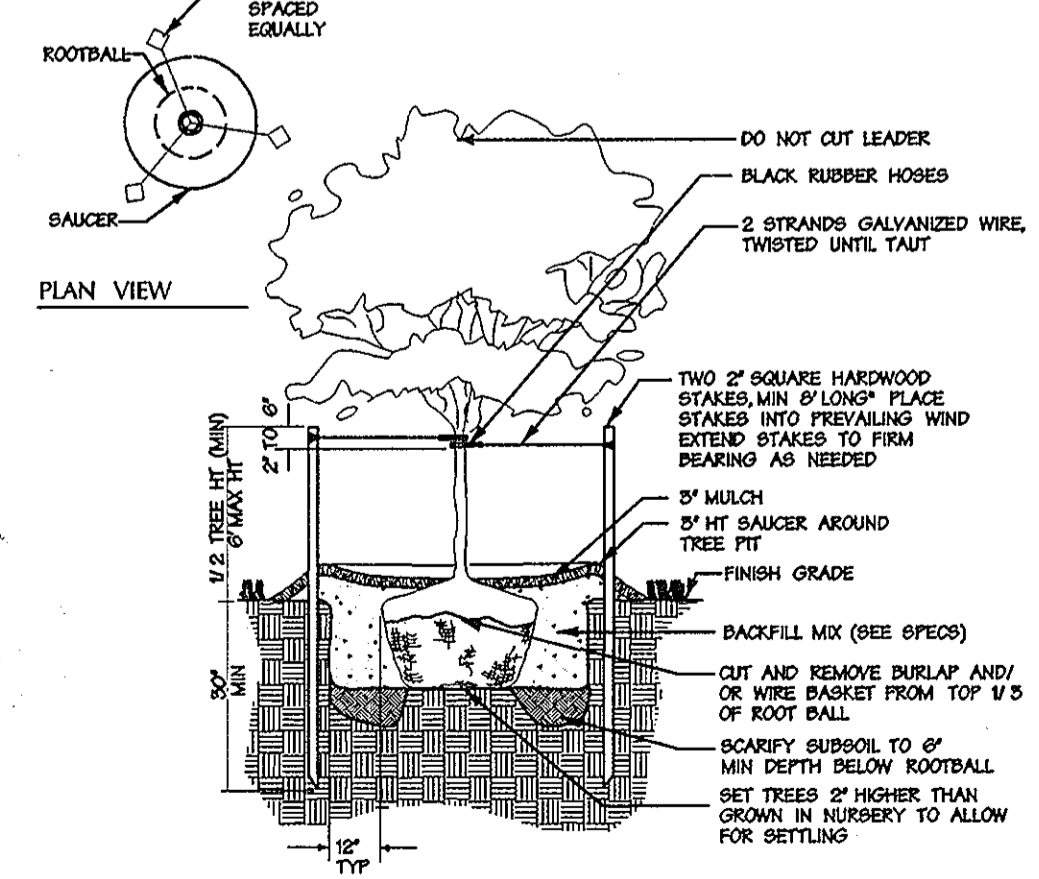
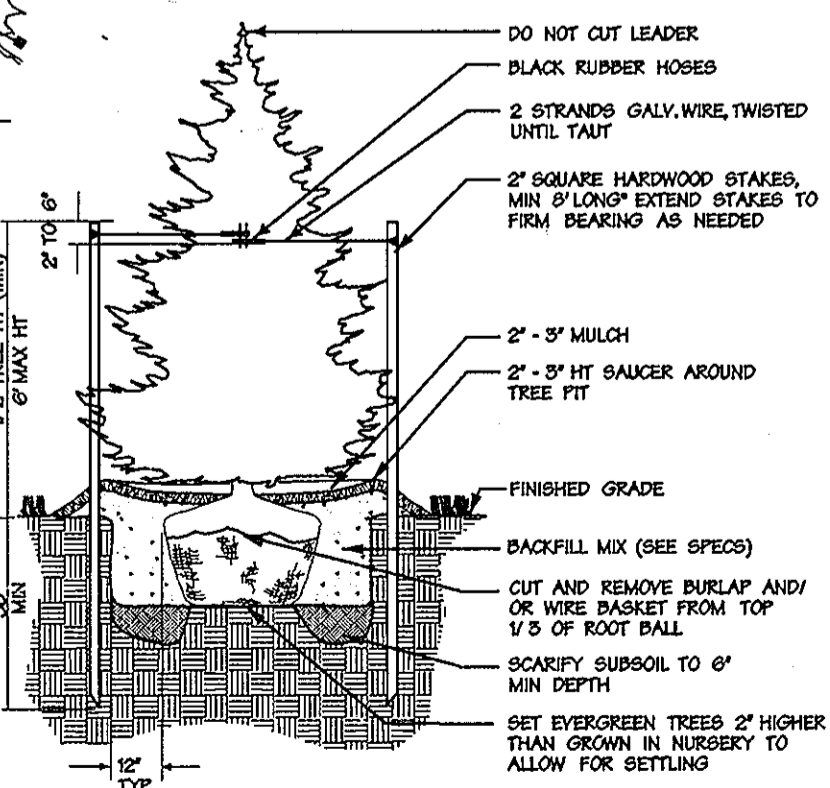
**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043
 Parcel 572 Zhen Owens 5016 Landing Road Ellicott, MD 21075
 DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

DMW
 Dan McCune-Walker, Inc.
 300 East Pennsylvania Avenue
 Poolesville, Maryland 21088
 (410) 296-3333
 Fax: 296-4705
 A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals

TITLE: GRADING & LANDSCAPE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Drn. By	KDE/JLT	Date	4/21/05
Chk. By	Approved	Proj. No.	01086.B2
			7 of 13

Evergreen Tree Planting
Not To Scale



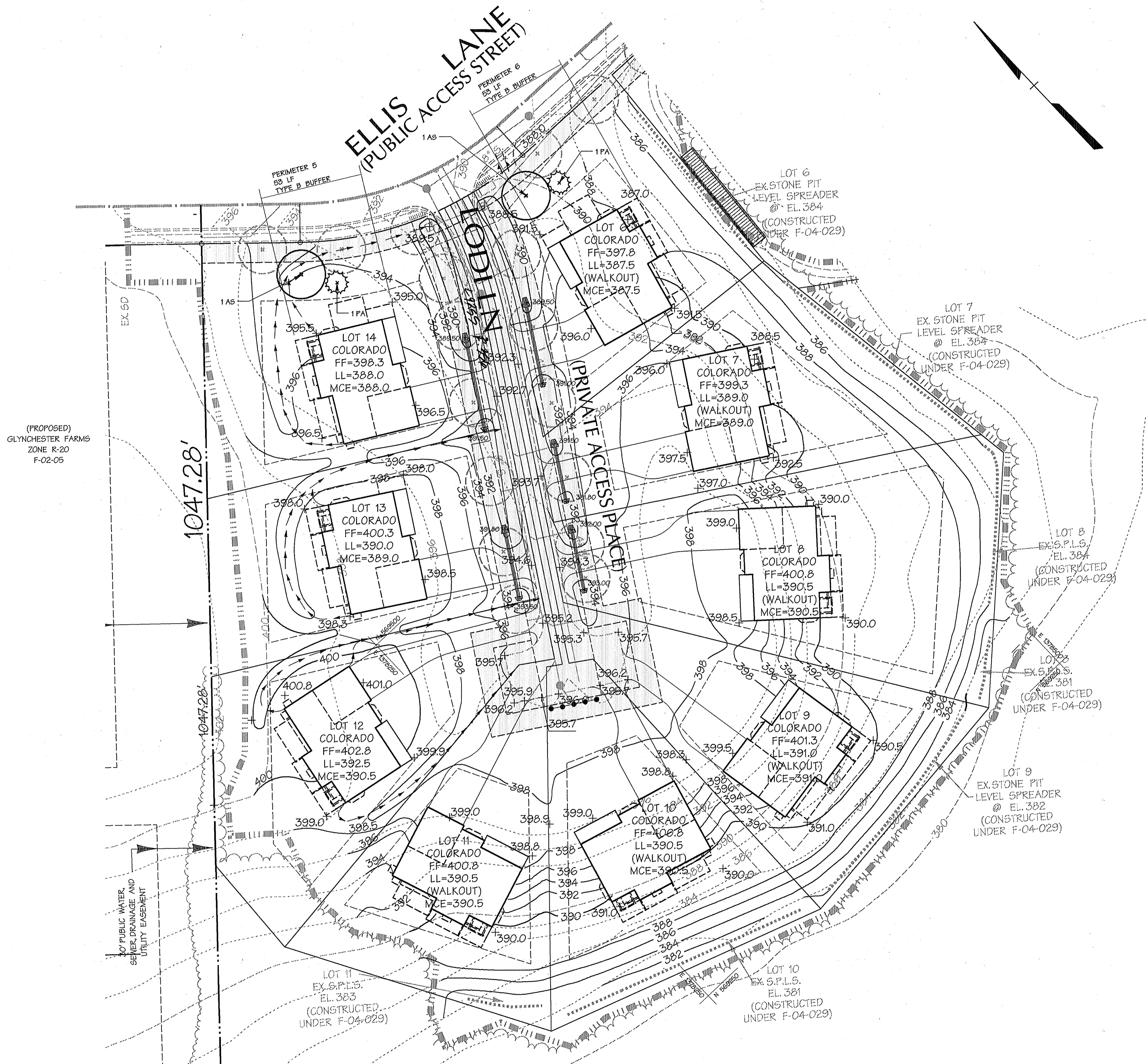
Less Than 3" Cal. Tree Planting
Not To Scale

MATCH LINE
SEE SHEET 8

15" D.
LN.
LODI

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS					
	P1	P2	P3	P4	P5	P6
LANDSCAPE TYPE 'A' LINEAR FEET OF PERIMETER						
LANDSCAPE TYPE 'B' LINEAR FEET OF PERIMETER	56 LF.	52 LF.	57 LF.	53 LF.	53 LF.	53 LF.
LANDSCAPE TYPE 'C' LINEAR FEET OF PERIMETER						
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	0 LF.*	0 LF.	0 LF.	0 LF.	0 LF.	0 LF.
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED						
SHADE TREES	1	1	1	1	1	1
EVERGREEN TREES	1	1	1	1	1	1
SHRUBS	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED						
SHADE TREES	1	1	1	1	1	1
EVERGREEN TREES	1	1	1	1	1	1
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	0	0	0	0	0	0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)						



Perimeter Plant List

QTY	SYM	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
SHADE TREES				
4	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	2 1/2" - 3" CAL.	B & B FULL HEAD
2	QPH	QUERCUS PHellos WILLOW OAK	2 1/2" - 3" CAL.	B & B FULL HEAD
EVERGREEN TREES				
4	PA	PICEA ABIES NORWAY SPRUCE	6'-8" HT.	B & B
2	PS	PINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B UNSHEARED

- LEGEND**
- - - - - EXISTING CONTOUR
 - — — — — PROPOSED CONTOUR
 - AREA OF INTERPOLATED CONTOURS
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - PROPOSED STORM DRAIN
 - EX 12" WATER EXISTING WATER
 - EX 18" RCCP EXISTING STORM DRAIN
 - EX 8" SEWER EXISTING SEWER
 - EXISTING STONE PIT LEVEL SPREADER (S.P.L.S.)
 - ||||| LIMIT OF DISTURBANCE
 - > ROOFTOP DISCONNECT CREDIT FLOW PATH
 - o EXISTING TREES PER F-04-029*

NOTE: FROM F-04-029 IMPACTED BY THIS SDP. THE PERMITS WILL BE OBTAINED BY THE OWNER. THE PERMITS WILL BE OBTAINED BY THE OWNER. THE PERMITS WILL BE OBTAINED BY THE OWNER.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 9/2/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 10/17/05
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 10/17/05
DIRECTOR

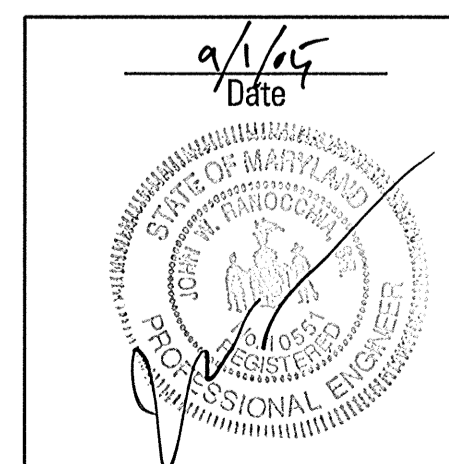
Date No. Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075

DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785



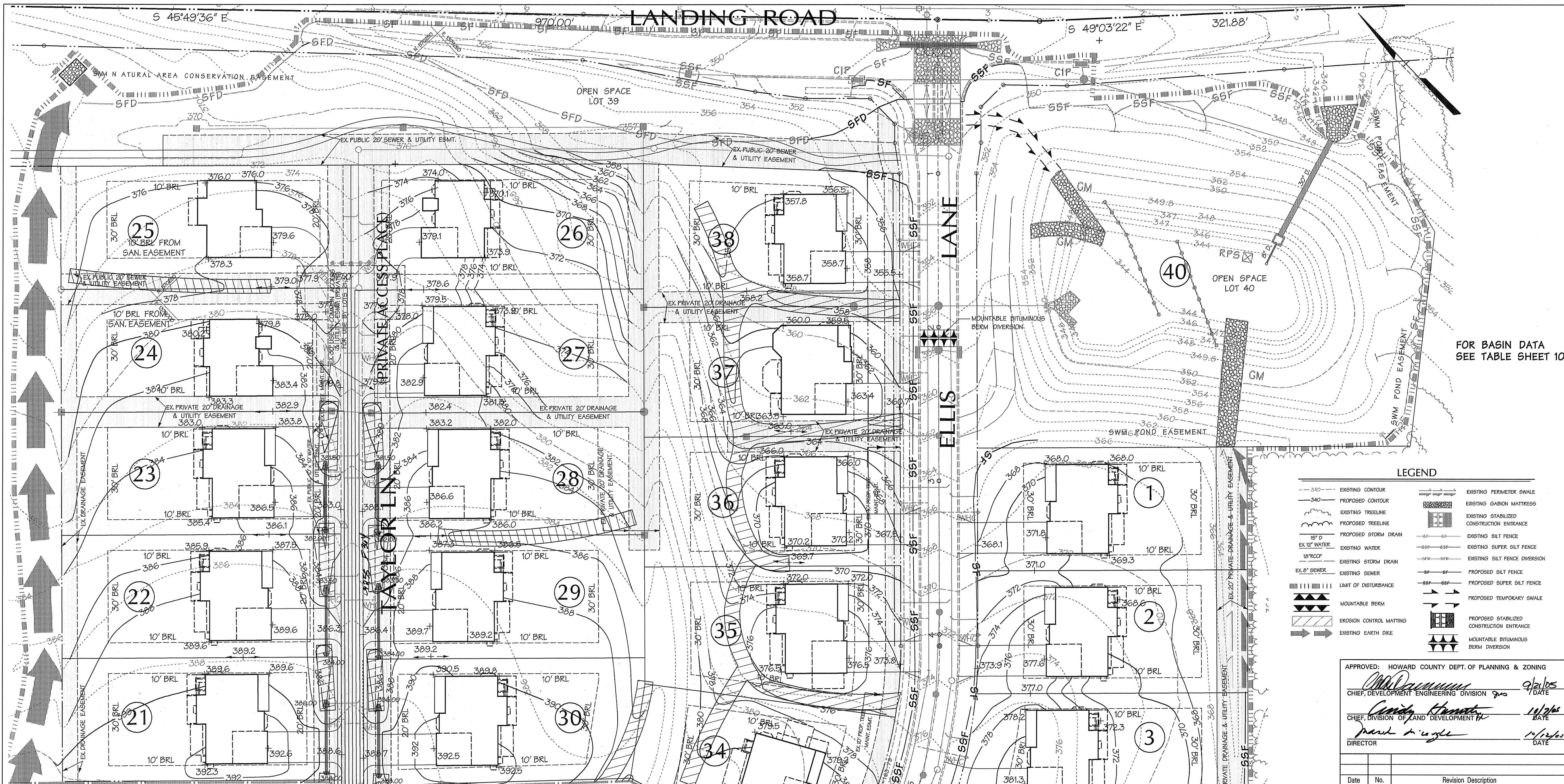
DMW
Dan McCann-Walkers, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 596-3355
Fax 296-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

GRADING & LANDSCAPE PLAN

Des. By MJP/JLT Scale 1"=30' Proj. No. 01086.B2
 Dim. By KDE/JLT Date 4/21/05
 Chk. By Approved

Professional Engr. No. 10757



FOR BASIN DATA
SEE TABLE SHEET 10

LEGEND

--- 340 ---	EXISTING CONTOUR	---	EXISTING PERIMETER SWALE
--- 340 ---	PROPOSED CONTOUR	---	EXISTING GABION MATRESS
---	EXISTING TREELINE	---	EXISTING STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED TREELINE	---	EXISTING SILT FENCE
---	PROPOSED STORM DRAIN	---	EXISTING SUPER SILT FENCE
---	15" D EX 12" WATER	---	EXISTING SILT FENCE DIVERSION
---	EXISTING WATER	---	PROPOSED SILT FENCE
---	EXISTING STORM DRAIN	---	PROPOSED SUPER SILT FENCE
---	EX 8" SEWER	---	PROPOSED TEMPORARY SWALE
---	EXISTING SEWER	---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	LIMIT OF DISTURBANCE	---	MOUNTABLE BITUMINOUS BERM DIVERSION
---	MOUNTABLE BERM	---	
---	EROSION CONTROL MATTING	---	
---	EXISTING EARTH DIKE	---	

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Howard County
CHIEF, DEVELOPMENT ENGINEERING DIVISION 9/21/05 DATE

Conrad
CHIEF, DIVISION OF LAND DEVELOPMENT 11/2/05 DATE

David
DIRECTOR 11/2/05 DATE

Date	No.	Revision Description

SEDIMENT AND EROSION CONTROL PLAN
CIDER MILL - PHASE 1
LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

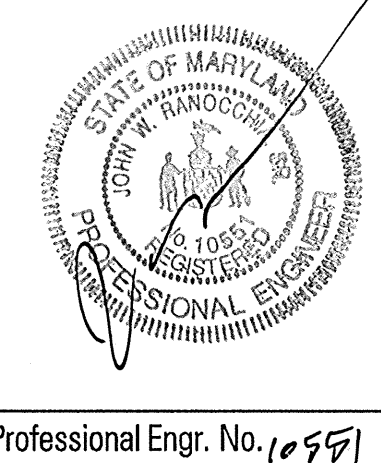
DMW
Dun-McCune-Walker, Inc.
300 East Pennsylvania Avenue
Ft. Detrick, Maryland 21786
(410) 296-3533
Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

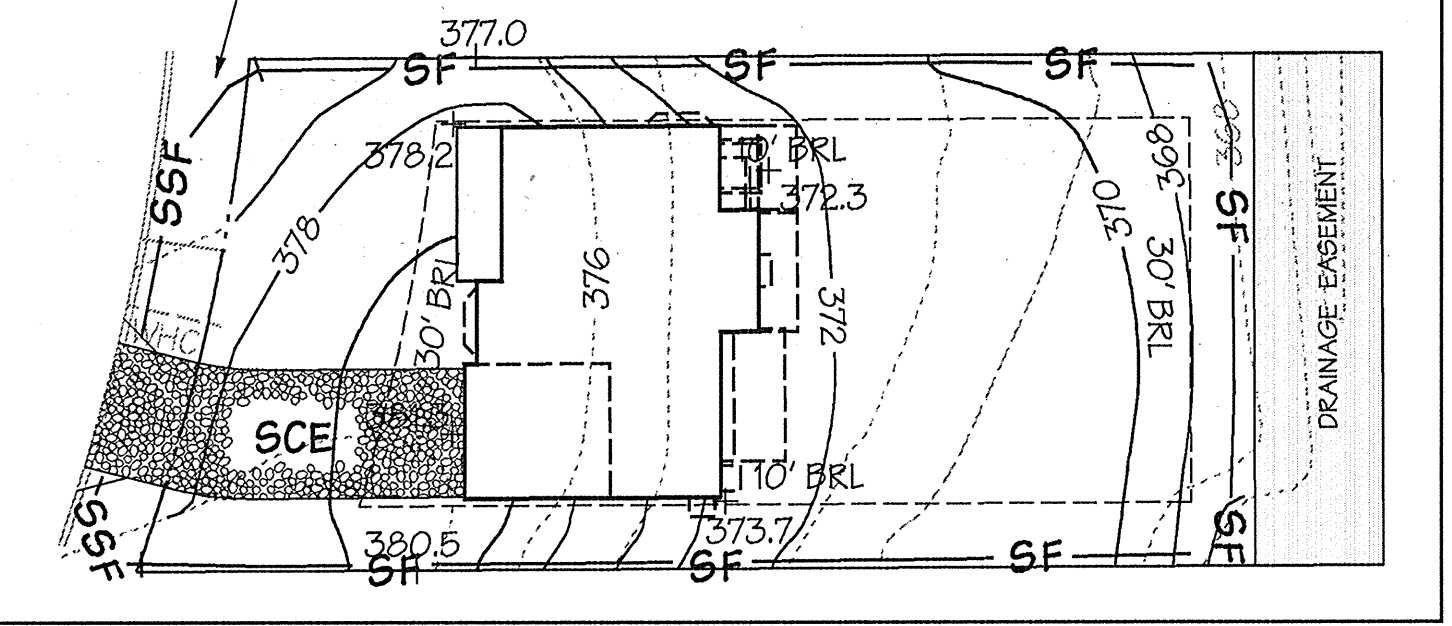
SUBDIVISION NAME	CIDER MILL	SECTION/AREA	PHASE 1	LOT/PARCEL #	243, 572
PLAN OR TITLE	BLOCK # 20	LOT #	31	CONTR. TRACT	601101
WATER CODE	D-03	SEWER CODE	1254550		

SEDIMENT & EROSION CONTROL PLAN

Des. By	RCS	Scale	1"=30'	Proj. No.	01086.B2
Drn. By	RCS	Date	4/21/05		
Chk. By	Approved				9 of 13



SSF AND SF SHALL NOT BE INSTALLED WHERE IT CROSSES PROPOSED DRAINAGE SWALES AND CULVERTS ALONG TAYLOR LANE AND LODILANE. IN THESE CASES, IF DRAINAGE SWALES AND CULVERTS HAVE BEEN INSTALLED AND STABILIZED, SF SHALL BE PLACED ALONG EASEMENT TO PREVENT SEDIMENT FROM ENTERING DRAINAGE SWALES AND CULVERTS.



TYPICAL LOT SEDIMENT CONTROLS
IF BUILT AFTER PERIMETER CONTROLS ARE REMOVED

ALL EASEMENT AREAS MUST BE FINAL GRADED AND PERMANENTLY STABILIZED BEFORE ANY PERIMETER CONTROLS ARE REMOVED.

DEVELOPERS CERTIFICATE:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Al Lester 2 SEPT 2005 DATE
SIGNATURE OF DEVELOPER
PRINT NAME BELOW SIGNATURE
Al Lester PROJECT MANAGER of K. HOVANIAN HOMES

ENGINEERS CERTIFICATE:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

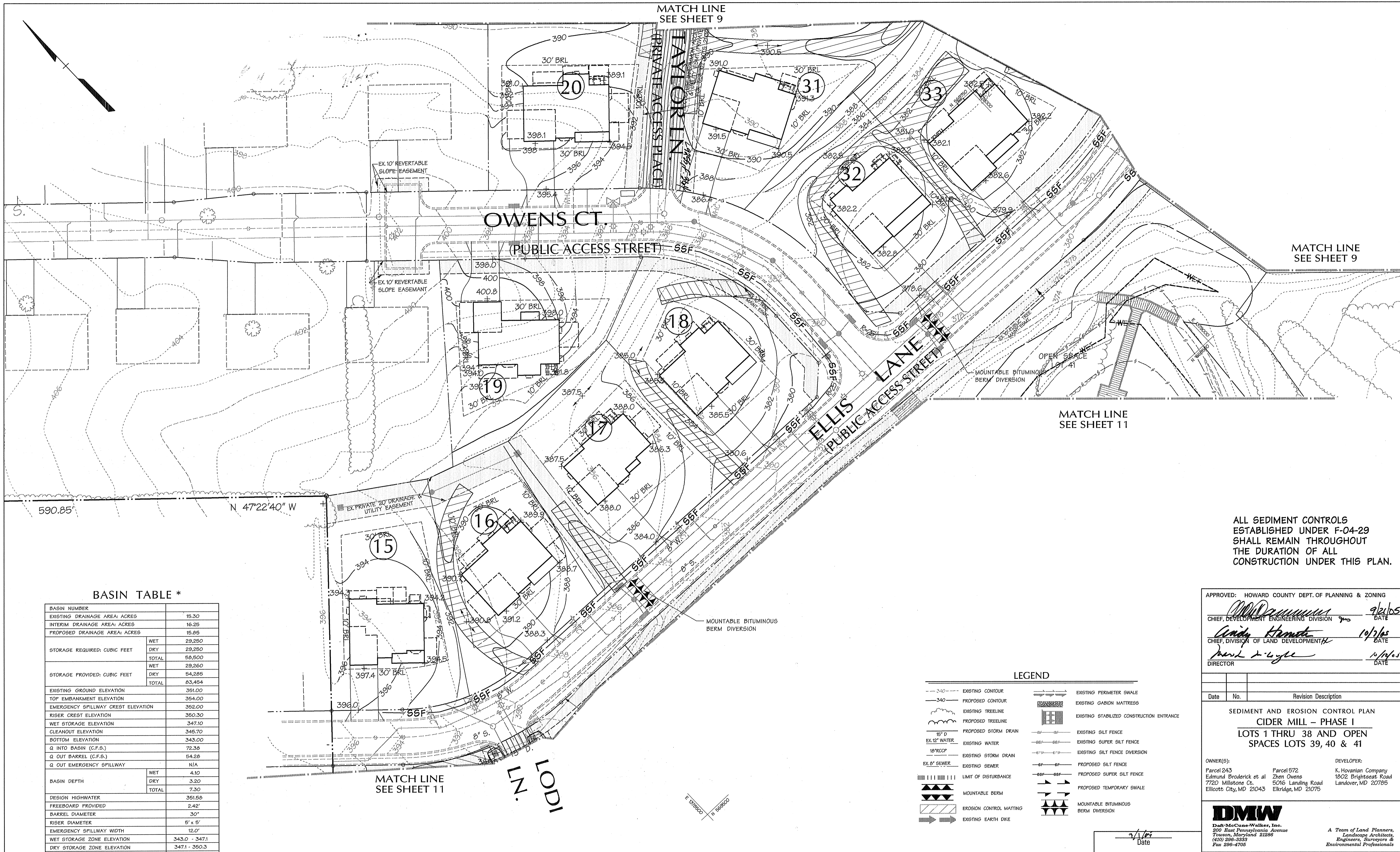
John W. Panochian, Sr. 9/1/05 DATE
SIGNATURE OF ENGINEER
PRINT NAME BELOW SIGNATURE

ALL SEDIMENT CONTROLS ESTABLISHED UNDER F-04-29 SHALL REMAIN THROUGHOUT THE DURATION OF ALL CONSTRUCTION UNDER THIS PLAN.

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

John M. ... 9/14/05 DATE
U.S. NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
... 9/14/05 DATE



BASIN TABLE *

BASIN NUMBER		
EXISTING DRAINAGE AREA: ACRES	15.30	
INTERIM DRAINAGE AREA: ACRES	16.25	
PROPOSED DRAINAGE AREA: ACRES	15.85	
STORAGE REQUIRED: CUBIC FEET	WET	29,250
	DRY	29,250
	TOTAL	58,500
STORAGE PROVIDED: CUBIC FEET	WET	29,260
	DRY	54,285
	TOTAL	83,484
EXISTING GROUND ELEVATION	351.00	
TOP EMBANKMENT ELEVATION	354.00	
EMERGENCY SPILLWAY CREST ELEVATION	352.00	
RISER CREST ELEVATION	350.30	
WET STORAGE ELEVATION	347.10	
CLEANOUT ELEVATION	345.70	
BOTTOM ELEVATION	343.00	
Q INTO BASIN (C.F.S.)	72.38	
Q OUT BARREL (C.F.S.)	54.28	
Q OUT EMERGENCY SPILLWAY	N/A	
BASIN DEPTH	WET	4.10
	DRY	3.20
	TOTAL	7.30
DESIGN HIGHWATER	351.58	
FREEBOARD PROVIDED	2.42'	
BARREL DIAMETER	30"	
RISER DIAMETER	5' x 5'	
EMERGENCY SPILLWAY WIDTH	12.0'	
WET STORAGE ZONE ELEVATION	343.0 - 347.1	
DRY STORAGE ZONE ELEVATION	347.1 - 350.3	
BOTTOM DIMENSIONS	48' x 140'	

* FROM APPROVED FINAL PLAN F-04-029

ALL SEDIMENT CONTROLS ESTABLISHED UNDER F-04-29 SHALL REMAIN THROUGHOUT THE DURATION OF ALL CONSTRUCTION UNDER THIS PLAN.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 [Signature] 9/2/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 9/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 9/2/05
 DIRECTOR

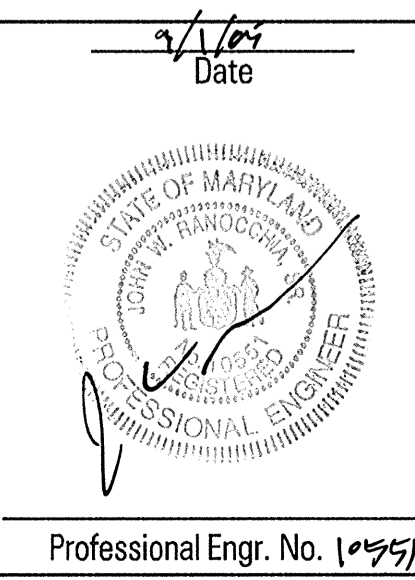
LEGEND

--- 340 ---	EXISTING CONTOUR	[Symbol]	EXISTING PERIMETER SWALE
— 340 —	PROPOSED CONTOUR	[Symbol]	EXISTING GABION MATRESS
~~~~~	EXISTING TREELINE	[Symbol]	EXISTING STABILIZED CONSTRUCTION ENTRANCE
~~~~~	PROPOSED TREELINE	[Symbol]	EXISTING SILT FENCE
— 15" D EX. 12" WATER	PROPOSED STORM DRAIN	[Symbol]	EXISTING SUPER SILT FENCE
— 18" R/COP	EXISTING WATER	[Symbol]	EXISTING SILT FENCE DIVERSION
— 8" S	EXISTING STORM DRAIN	[Symbol]	PROPOSED SILT FENCE
[Symbol]	EXISTING SEWER	[Symbol]	PROPOSED SUPER SILT FENCE
[Symbol]	LIMIT OF DISTURBANCE	[Symbol]	PROPOSED TEMPORARY SWALE
[Symbol]	MOUNTABLE BERM	[Symbol]	MOUNTABLE BITUMINOUS BERM DIVERSION
[Symbol]	EROSION CONTROL MATTING	[Symbol]	
[Symbol]	EXISTING EARTH DIKE	[Symbol]	

DEVELOPERS CERTIFICATE:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/AM/WE WILL PERFORM ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 2 SEPT 2005
 SIGNATURE OF DEVELOPER
 Al Lester of K. HOVANIANS HOMES
 PROJECT MANAGER

ENGINEERS CERTIFICATE:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 9/1/05
 SIGNATURE OF ENGINEER
 John W. Ranochira, Sr.
 PROFESSIONAL ENGINEER

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS
 [Signature] 9/1/05
 U.S. NATURAL RESOURCE CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 9/1/05
 HOWARD COUNTY



Date	No.	Revision Description
		SEDIMENT AND EROSION CONTROL PLAN CIDER MILL - PHASE I LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41
OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043		
DEVELOPER: Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075 K. Hovanian Company 1802 Brightseat Road Landover, MD 20785		
DMW Daft-McCune-Walker, Inc. 300 East Pennsylvania Avenue Towson, Maryland 21286 (410) 298-3333 Fax 298-4705 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals		
SUBDIVISION NAME CIDER MILL	SECTION/AREA BLOCK # 306 R20	PHASE I TRACT/OWNER 1
LOT/PARCEL # 243, 572	REVISION NUMBER 60101	
TITLE SEDIMENT & EROSION CONTROL PLAN	Scale 1"=30'	Proj. No. 01086.B2
Des. By RCS	Date 4/21/05	10 of 13
Drn. By RCS	Approved	
Chk. By		

DEVELOPERS CERTIFICATE:

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Al Lester
 SIGNATURE OF DEVELOPER
 PROJECT MANAGER
 DATE: 2 SEPT 2005

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

Jim Mays
 U.S. NATURAL RESOURCE CONSERVATION SERVICE
 DATE: 9/1/05

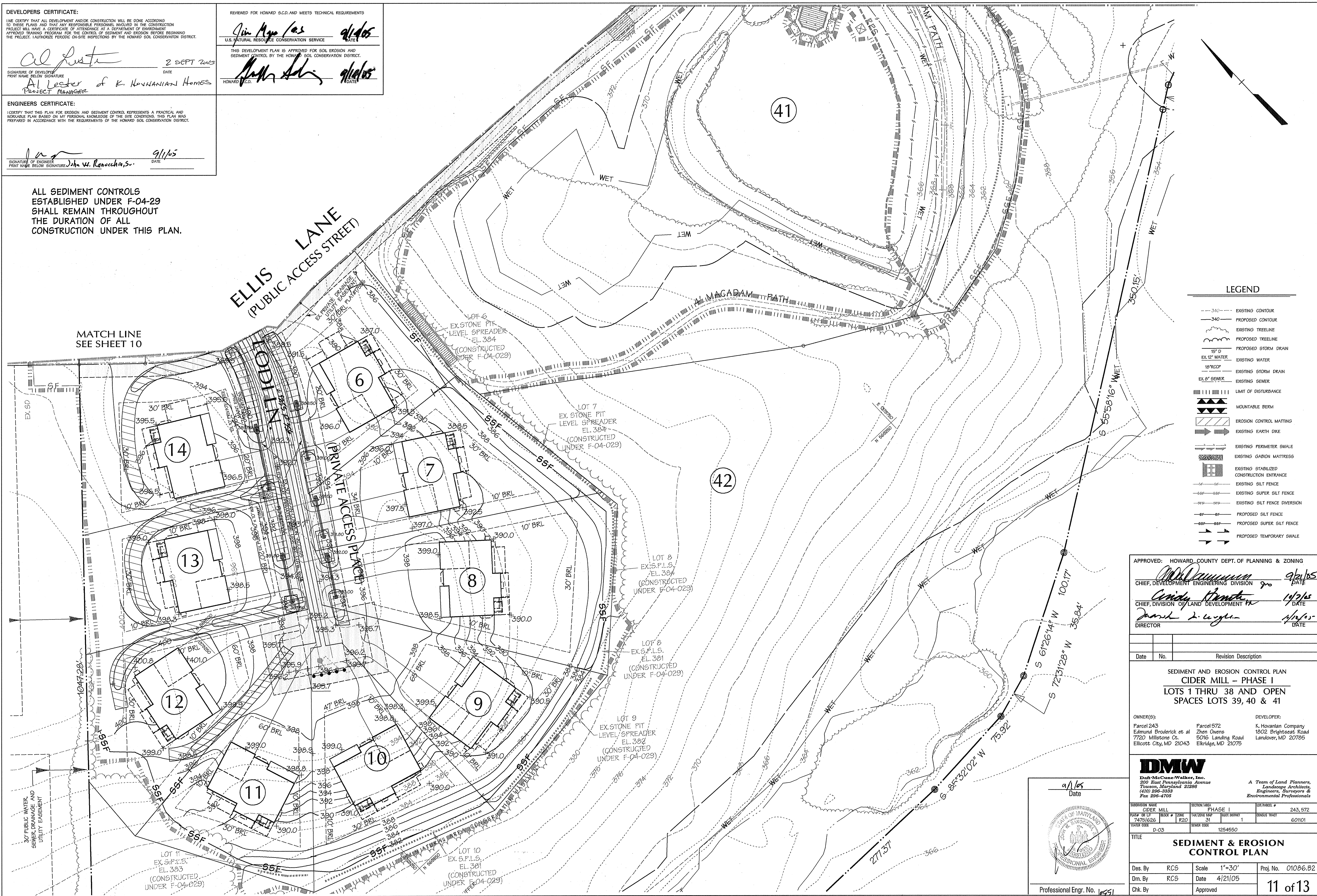
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John W. Rencucha, Sr.
 HOWARD S.C.D.
 DATE: 9/1/05

ENGINEERS CERTIFICATE:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John W. Rencucha, Sr.
 SIGNATURE OF ENGINEER
 DATE: 9/1/05

ALL SEDIMENT CONTROLS ESTABLISHED UNDER F-04-29 SHALL REMAIN THROUGHOUT THE DURATION OF ALL CONSTRUCTION UNDER THIS PLAN.



LEGEND

- 340 --- EXISTING CONTOUR
- 340 --- PROPOSED CONTOUR
- --- EXISTING TREELINE
- --- PROPOSED TREELINE
- --- 18" D PROPOSED STORM DRAIN
- --- EX. 12" WATER EXISTING WATER
- --- 18" RCCP EXISTING STORM DRAIN
- --- EX. 8" SEWER EXISTING SEWER
- --- LIMIT OF DISTURBANCE
- --- MOUNTABLE BERM
- --- EROSION CONTROL MATTING
- --- EXISTING EARTH DIKE
- --- EXISTING PERIMETER SWALE
- --- EXISTING GABION MATRESS
- --- EXISTING STABILIZED CONSTRUCTION ENTRANCE
- --- EXISTING SILT FENCE
- --- EXISTING SUPER SILT FENCE
- --- EXISTING SILT FENCE DIVERSION
- --- PROPOSED SILT FENCE
- --- PROPOSED SUPER SILT FENCE
- --- PROPOSED TEMPORARY SWALE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Mark Dammann 9/2/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

Candy Smith 1/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

Daniel L. Leighton 1/2/05
 DIRECTOR
 DATE

Date	No.	Revision Description

**SEDIMENT AND EROSION CONTROL PLAN
 CIDER MILL - PHASE I
 LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043
 Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075
 DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

DMW
 Daft-McCune-Walker, Inc.
 300 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

SUBDIVISION NAME: CIDER MILL	SECTION/TAB: PHASE I	LOT/PARCEL #: 243, 572
PLAT: ON LE 7475/626	BLOCK: NONE	TAX/DISTRICT: 31
YEAR CODE: D-03	SEWER CODE: 1254550	SINUS TRACT: 60101

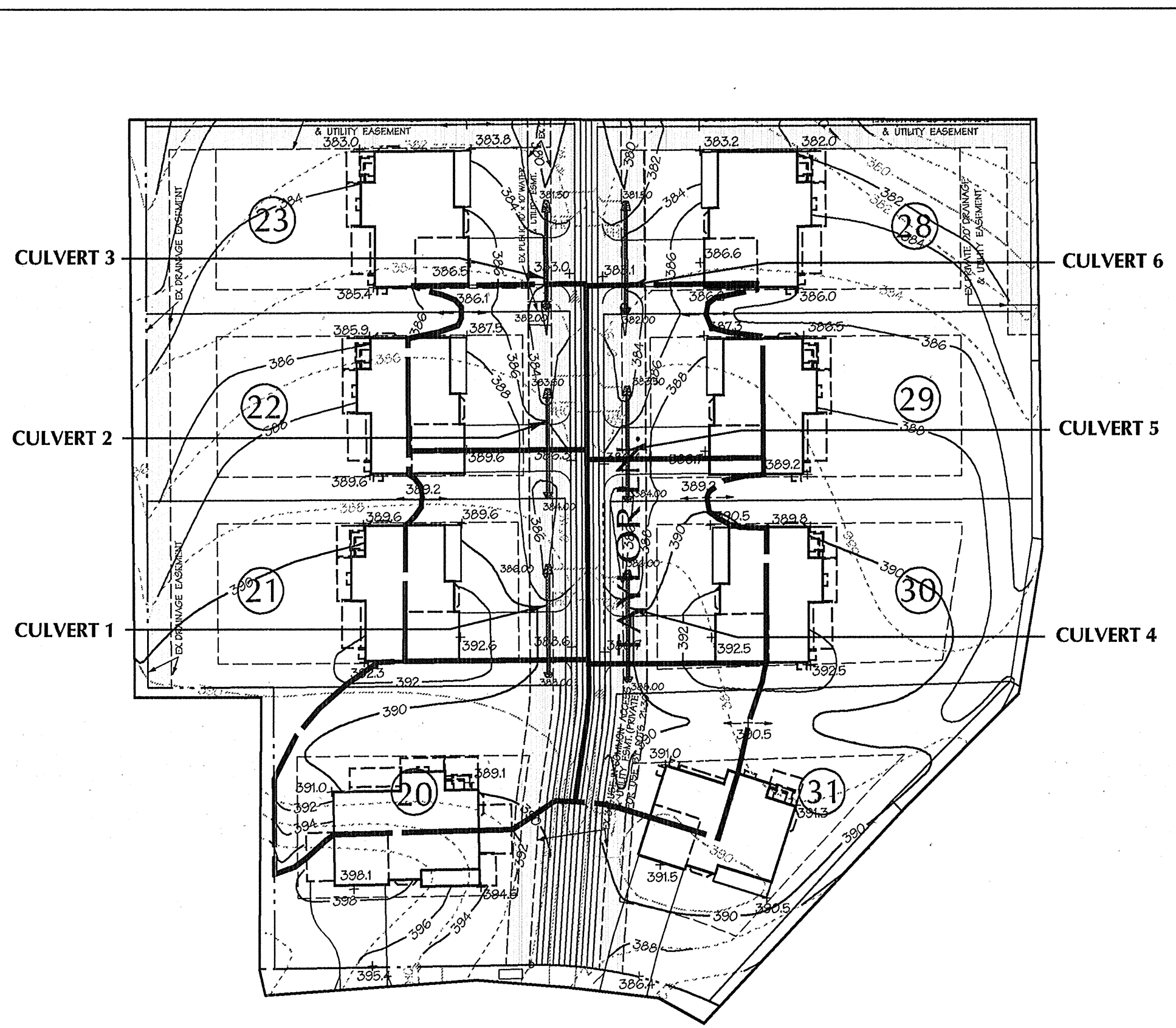
SEDIMENT & EROSION CONTROL PLAN

Des. By: RCS	Scale: 1"=30'	Proj. No.: 01086.B2
Drn. By: RCS	Date: 4/21/05	11 of 13
Chk. By:	Approved:	

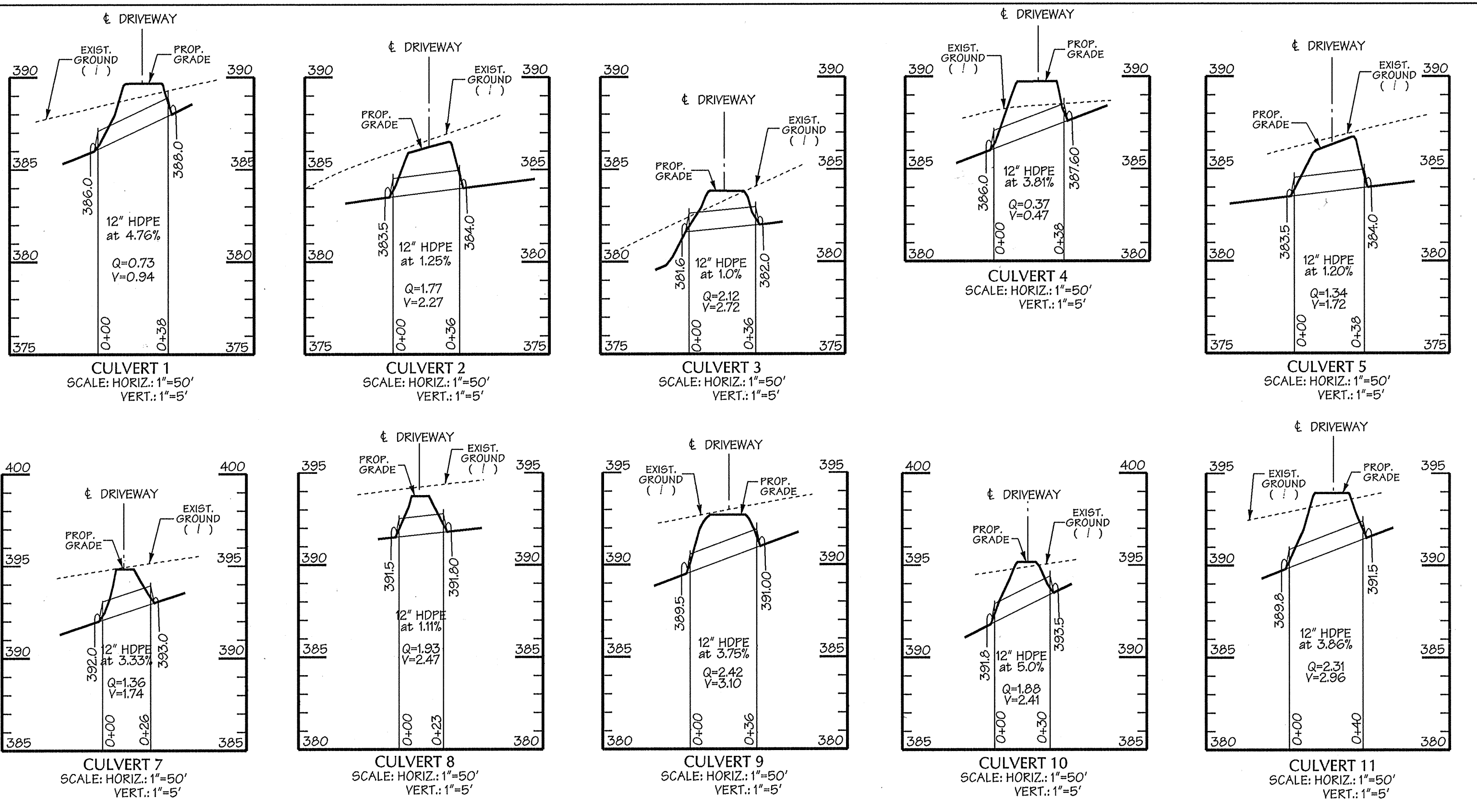
9/1/05
 Date

Professional Engr. No. 12951

10/2005/01/05/01086.B2



CULVERT #	AREA TO CULVERT	"C" FACTOR	I_{10}	T_c	$Q_{10}=CIA$
CULVERT 1	0.20 AC	0.43	8.50	5.0	0.73
CULVERT 2	0.36 AC	0.58	8.50	5.0	1.77
CULVERT 3	0.48 AC	0.52	8.50	5.0	2.12
CULVERT 4	0.11 AC	0.40	8.50	5.0	0.37
CULVERT 5	0.25 AC	0.63	8.50	5.0	1.34
CULVERT 6	0.37 AC	0.58	8.50	5.0	1.82



LEGEND

- 34C --- EXISTING CONTOUR
- 34O --- PROPOSED CONTOUR
- EXISTING TREELINE
- PROPOSED TREELINE
- 15" D PROPOSED STORM DRAIN
- EX 12" WATER EXISTING WATER
- 18" RCCP EXISTING STORM DRAIN
- EX 8" SEWER EXISTING SEWER
- DRAINAGE DIVIDE

CULVERT #	AREA TO CULVERT	"C" FACTOR	I_{10}	T_c	$Q_{10}=CIA$
CULVERT 7	0.31 AC	0.52	8.50	5.0	1.36
CULVERT 8	0.42 AC	0.54	8.50	5.0	1.93
CULVERT 9	0.57 AC	0.50	8.50	5.0	2.42
CULVERT 10	0.39 AC	0.57	8.50	5.0	1.88
CULVERT 11	0.59 AC	0.46	8.50	5.0	2.31

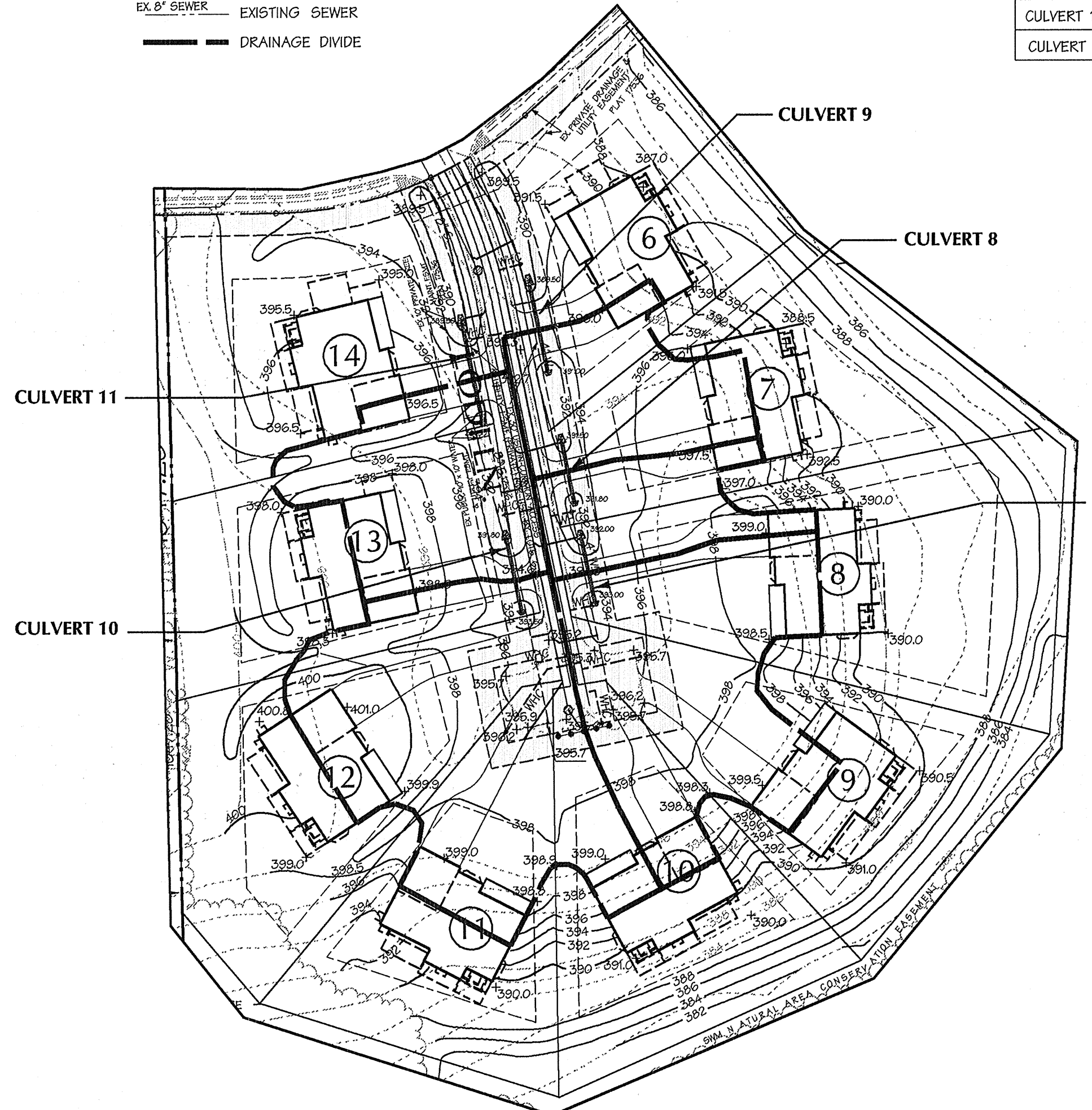


TABLE 28 STONE SIZE

Number	Size Range	P_{50}	P_{100}	AASHTO	Weight
Number 57 *	3/8" - 1 1/2"	1/4"	1/2"	M-43	N/A
Number 1	2" - 3"	2/8"	3"	M-43	N/A
Rip-Rap **	4" - 7"	3/8"	7"	N/A	N/A
Class I	N/A	1/4"	1/2"	N/A	180 lb. max.
Class II	N/A	1/4"	3/4"	N/A	700 lb. max.
Class III	N/A	3/4"	3/4"	N/A	2000 lb. max.

TABLE 27 GEOTEXTILE FABRICS

Class	Apparent Opening Size (mm)	Crack Tensile Strength (lb. min.)	Burst Strength (PSI Min.)
A	0.30 **	250	800
B	0.60	200	320
C	0.30	200	320
D	0.60	90	145
E	0.30	90	145
F (silt fence)	0.40-0.80 *	90	180

STONE FOR GABION BASKETS

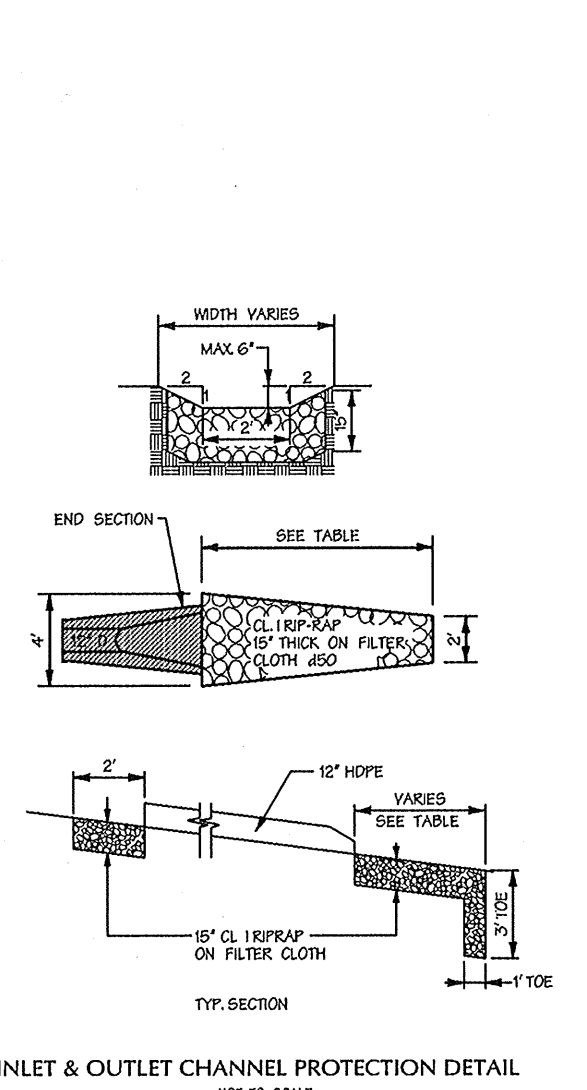
Basket Thickness	Size of Individual Stones
6 inches	3 - 6
9	4 - 7
12	4 - 7
18	4 - 7
36	4 - 12

The fabric shall be inert to commonly encountered chemicals and hydrocarbons, and will be rot and mildew resistant. It shall be manufactured from fibers consisting of long chain synthetic polymers, and composed of a minimum of 85% by weight of polypropylene, polyethylene, or polyethylene. The geotextile fabric shall resist deterioration from ultraviolet exposure.

In addition, classes A through E shall have a 0.01 cm/sec. minimum permeability when tested in accordance with ASTM 5051, and an apparent minimum elongation of 20 percent (20%) when tested in accordance with the grab tensile strength requirements listed above.

Silt fence Class F geotextile fabric for silt fence shall have a 50 lb./in. minimum tensile strength and a 20 lb./in. minimum tensile modulus when tested in accordance with ASTM 5051. The material shall also have a 0.3 gal./in. flow rate and seventy-five percent (75%) minimum filtering efficiency when tested in accordance with ASTM 5051. Geotextile fabric used in the construction of silt fence shall resist deterioration from ultraviolet exposure. The fabric shall contain sufficient amount of ultraviolet ray inhibitors and stabilizers to provide a minimum of 12 months of expected useful construction life at a temperature range of 0 to 120 degrees Fahrenheit.

MATERIALS SPECIFICATIONS



CONSTRUCTION SPECIFICATIONS

- THE SUBGRADE FOR THE FILTER, RIP-RAP, OR GABION SHALL BE PREPARED TO THE REQUIRED LINES AND GRADES. ANY FILL REQUIRED IN THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- THE ROCK OR GRAVEL SHALL CONFORM TO THE SPECIFIED GRADING LIMITS WHEN INSTALLED RESPECTIVELY IN THE RIP-RAP OR FILTER.
- GEOTEXTILE CLASS C OR BETTER SHALL BE PROTECTED FROM FINCHING, CUTTING, OR TEARING ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE SHALL BE REPAIRED BY FLAGGING ANOTHER PIECE OF GEOTEXTILE FABRIC OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE FABRIC. ALL OVERLAPS WHETHER FOR REPAIRS OR FOR JOINING TOW PIECES OF GEOTEXTILE FABRIC SHALL BE A MINIMUM OF ONE FOOT.
- STONE FOR THE RIP-RAP OR GABION OUTLETS MAY BE PLACED BY EQUIPMENT. THEY SHALL BE CONSTRUCTED TO THE FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. THE STONE FOR RIP-RAP OR GABION OUTLETS SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS. THE STONE SHALL BE PLACED IN A MANNER TO PREVENT DAMAGE TO THE FILTER, BASKETS OR GEOTEXTILE FABRIC. HAND PLACEMENT WILL BE NECESSARY TO PREVENT DAMAGE TO THE FURNISHMENT WORKS.
- THE STONE SHALL BE PLACED SO THAT IT BLENDS IN WITH THE EXISTING GROUND. IF THE STONE IS PLACED TOO HIGH THEN THE FLOW WILL BE FORCED OUT OF THE CHANNEL AND SCOUR ADJACENT TO THE STONE WILL OCCUR.

CULVERT #	INLET LENGTH	OUTLET LENGTH*
CULVERT 1	2'	4'
CULVERT 2	2'	4'
CULVERT 3	2'	5'
CULVERT 4	2'	4'
CULVERT 5	2'	4'
CULVERT 6	2'	4'
CULVERT 7	2'	4'
CULVERT 8	2'	4'
CULVERT 9	2'	5'
CULVERT 10	2'	4'
CULVERT 11	2'	5'

*MAXIMUM Q=2.42 HAS 0' LENGTH ON CHANNEL (MAX TAILWATER) CHART AND 3.5' ON MINIMUM TAILWATER CHART.

Rock Outlet Protection III Not to Scale

DEVELOPERS CERTIFICATE:

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE HEREBY REQUEST ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Al Lester* DATE: 2 September 2015
 PRINT NAME BELOW SIGNATURE: Al Lester of K. HOVANNIAN HOMES PROJECT MANAGER

ENGINEERS CERTIFICATE:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *John H. Remouchka, Sr.* DATE: 9/1/15
 PRINT NAME BELOW SIGNATURE: John H. Remouchka, Sr. PROFESSIONAL ENGR. NO. 105991

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

Signature: *Jim Myers* DATE: 9/4/15
 U.S. NATIONAL RESOURCE CONSERVATION SERVICE

Signature: *John H. Remouchka, Sr.* DATE: 9/4/15
 HOWARD S.C.D.



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Signature: *[Signature]* DATE: 9/21/15
 CHIEF, DEVELOPING ENGINEERING DIVISION

Signature: *[Signature]* DATE: 9/16/15
 CHIEF, DIVISION OF LAND DEVELOPMENT

Signature: *[Signature]* DATE: 9/16/15
 DIRECTOR

SEDIMENT AND EROSION CONTROL DA MAP
 CIDER MILL - PHASE I
 LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct., Ellicott City, MD 21043

DEVELOPER: Parcel 572 K. Hovannian Company 1802 Brightseat Road Landover, MD 20785

DMW
 Dan McCune-Walker, Inc.
 300 East Pennsylvania Avenue
 Poolesville, Maryland 21088
 (410) 296-3333
 Fax: 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

DATE: 9/1/15

DRIVEWAY CULVERT DRAINAGE AREA MAP, DETAILS AND SPECIFICATIONS

Des. By: RCS Scale: 1"=50' Proj. No. 01086.B2
 Dim. By: RCS Date: 4/21/05
 Chk. By: Approved

13 of 13

LANDING ROAD

970.00'

6 49°03'22" E 321.88'

OPEN SPACE LOT 39

OPEN SPACE LOT 40

PRIVATE ACCESS PLACE

TAYLOR LN

ELLIS LANE
(PUBLIC ACCESS STREET)
RW VARIES

MATCH LINE SEE SHEET 7

MATCH LINE SEE SHEET 7

- LEGEND**
- - - - - EXISTING CONTOUR
 - — — — PROPOSED CONTOUR
 - · · · · AREA OF INTERPOLATED CONTOURS
 - ~ ~ ~ ~ ~ EXISTING TREELINE
 - ~ ~ ~ ~ ~ PROPOSED TREELINE
 - - - - - PROPOSED STORM DRAIN
 - 15" D EX 12" WATER
 - 18" RCP EX 12" WATER
 - 18" RCP EX 8" SEWER
 - EX 8" SEWER
 - * EXISTING TREES PER F-04-029

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>John P. ...</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4/1/05 DATE
<i>Charles ...</i> CHIEF, DIVISION OF LAND DEVELOPMENT	4/1/05 DATE
<i>James ...</i> DIRECTOR	4/1/05 DATE

1/24/06	Rev. 1/24/06	From Col. to Truman
Date	No.	Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S):
Parcel 243 Edmund Broderick et al
7720 Millstone Ct.
Ellicott City, MD 21043

Parcel 572
Zhen Owens
5016 Landing Road
Elkridge, MD 21075

DEVELOPER:
K. Hovarian Company
1802 Brightseat Road
Landover, MD 20785

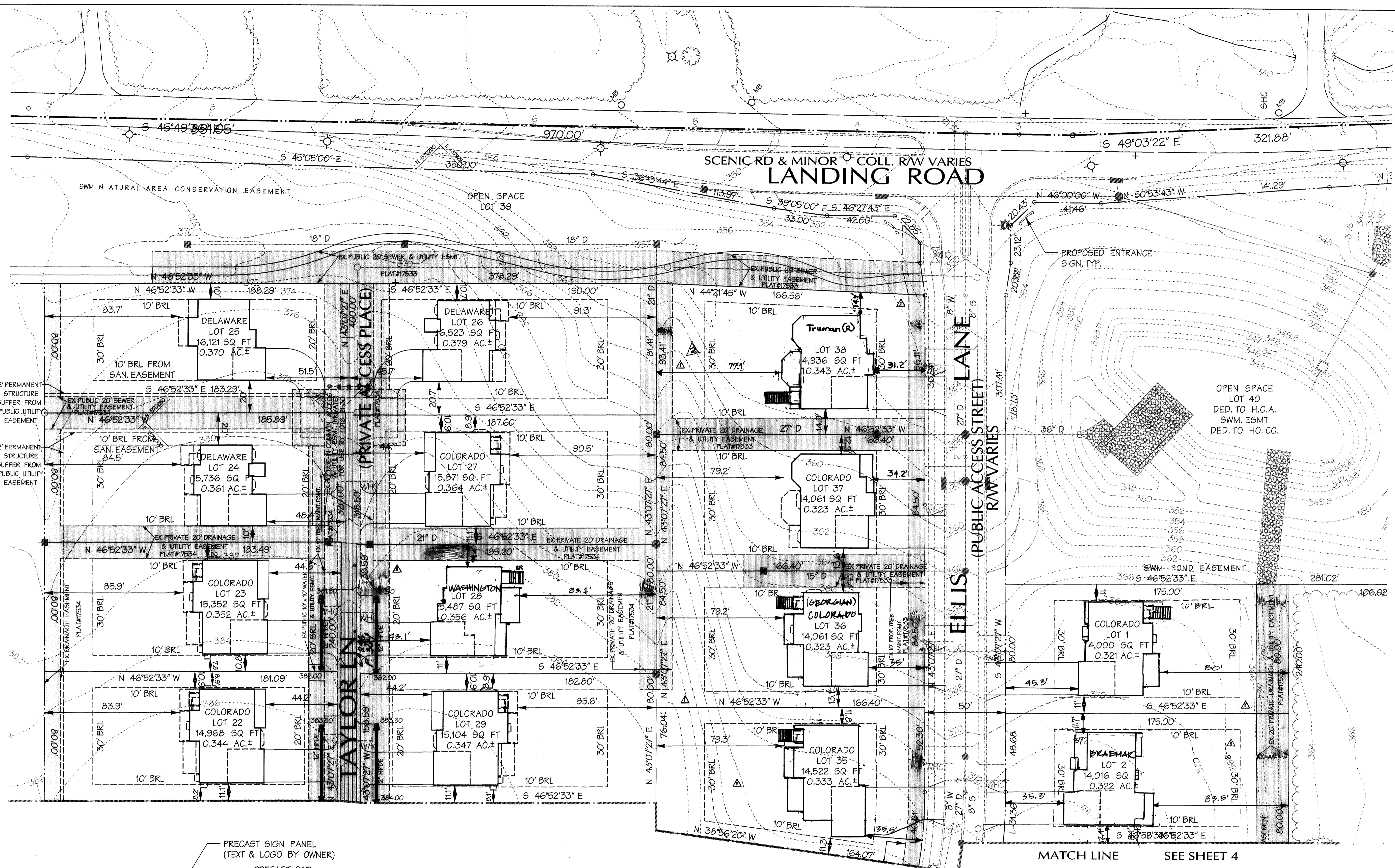
DMW
Daft-McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax 296-4706

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

4/1/05
Date

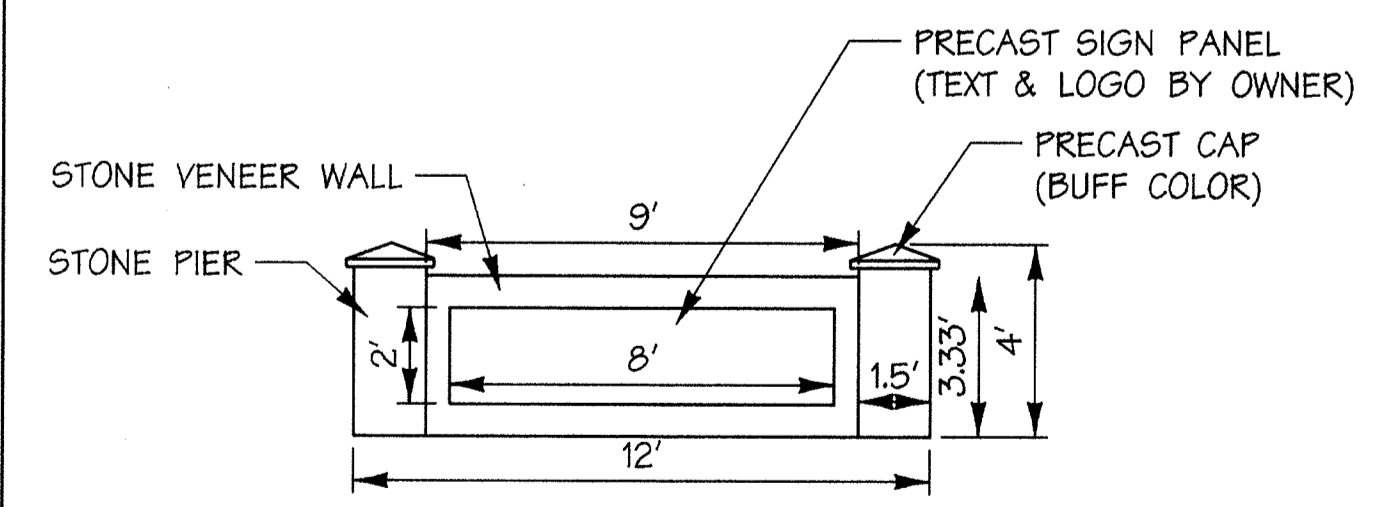
Professional Engr. No. *1000000000*

TITLE GRADING & LANDSCAPE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Drn. By	KDE/JLT	Date	4/21/05
Chk. By		Approved	
Proj. No.			01086.B2
			6 of 13



LEGEND

- EXISTING CONTOUR
- EXISTING TREELINE
- PROPOSED TREELINE
- PROPOSED STORM DRAIN
- EX 12" WATER
- EXISTING WATER
- EX 18" RCP
- EXISTING STORM DRAIN
- EX 8" SEWER
- EXISTING SEWER



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

John Williams 9/21/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

David Hunter 10/1/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mark L. Lyell 10/1/05
DIRECTOR DATE

Date	No.	Revision Description
1/23/06	1	Rev. Lot 38 from Colorado to Truman
4/1/06	1	Rev. lots 1, 2, 18, 39, 36, 38

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

DEVELOPER: Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075

K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

DMW *Dani McCune Walker, Inc.*
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 286-3353
Fax: 286-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

9/1/05
Date

[Signature]

Professional Engr. No. 10991

TITLE: **SITE PLAN**

Des. By	MJP/JLT	Scale	1"=30'	Proj. No.	01086.B2
Dwn. By	KDE/JLT	Date	4/21/05	3 of 13	
Chk. By		Approved			

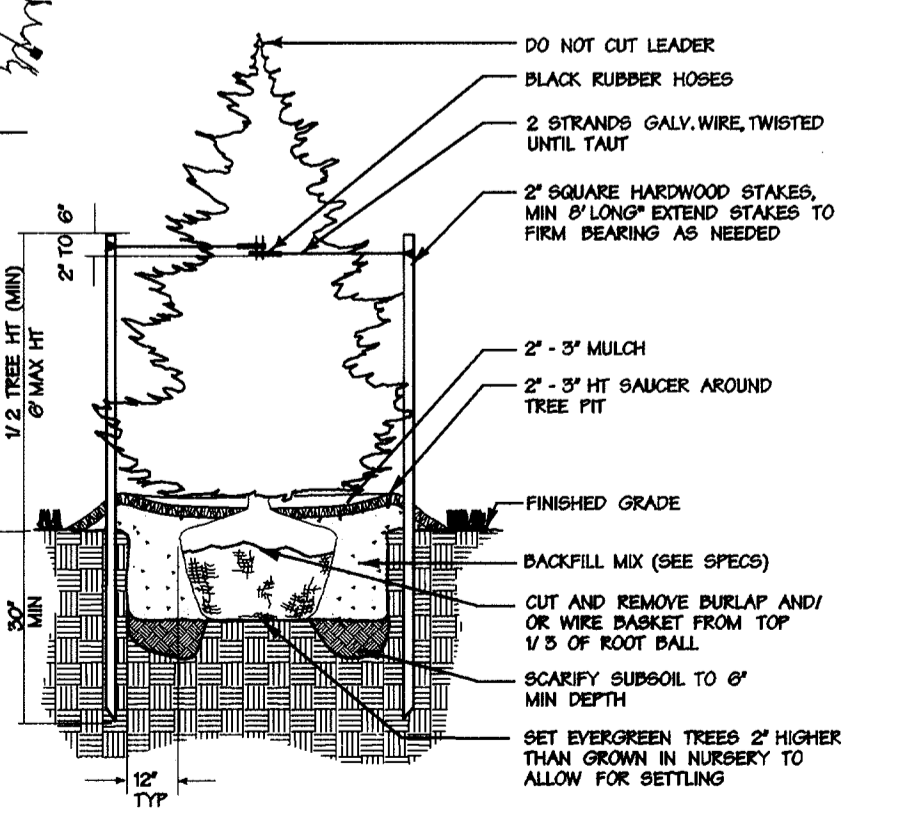
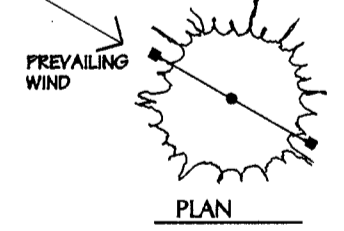
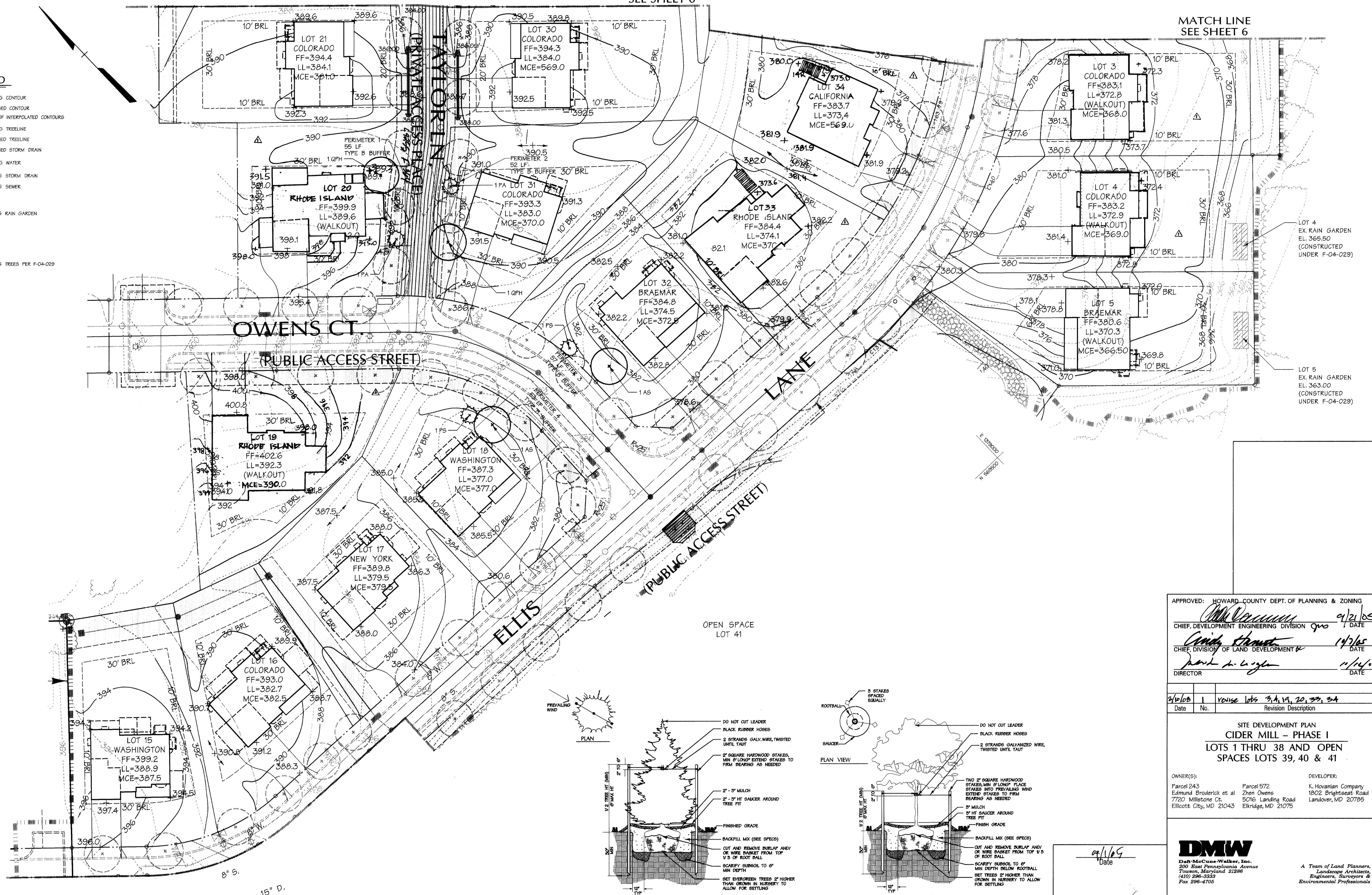
SDP-05-136

MATCH LINE
SEE SHEET 6

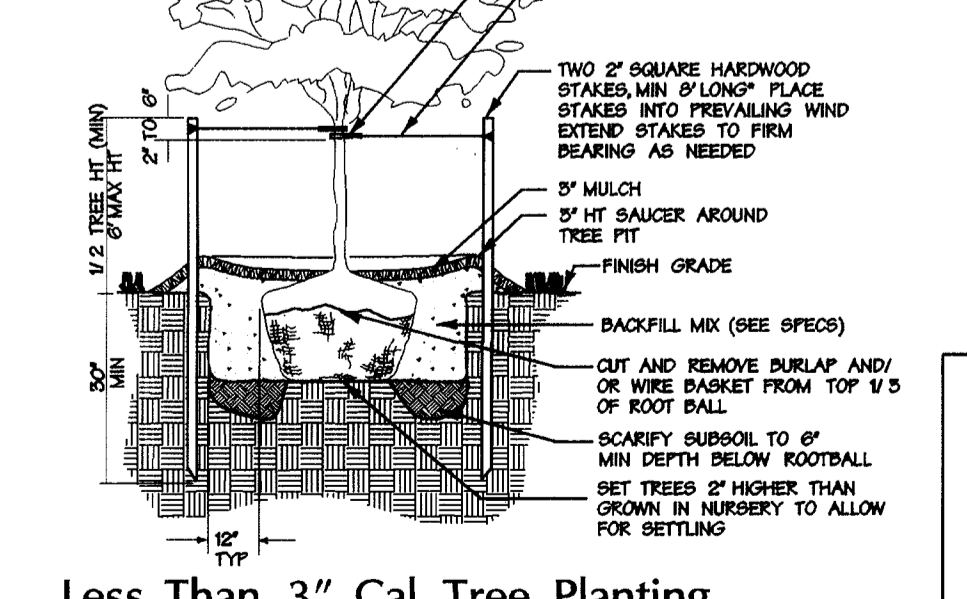
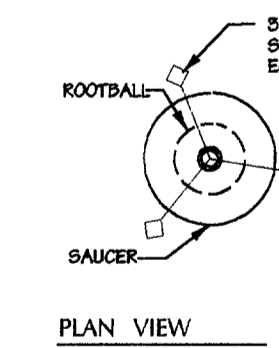
MATCH LINE
SEE SHEET 6

LEGEND

- EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- PROPOSED STORM DRAIN
- 15" D EX. 12" WATER EXISTING WATER
- 18" RCCP EXISTING STORM DRAIN
- EX. 8" SEWER EXISTING SEWER
- EXISTING RAIN GARDEN
- EXISTING TREES PER F-04-029



Evergreen Tree Planting
Not To Scale



Less Than 3" Cal. Tree Planting
Not To Scale

15" D.
L.O.D.I.

MATCH LINE
SEE SHEET 8

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i>	9/21/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	10/7/05
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	11/16/05
DIRECTOR	DATE
9/16/08	1 REVISE LOTS 31, 19, 20, 33, 34
Date	Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

DEVELOPER: Parcel 572 K. Hovanian Company 1802 Brightseat Road 5016 Landing Road Elkridge, MD 20785

DMW
Darr McCune-Walken, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3339
Fax 296-4705

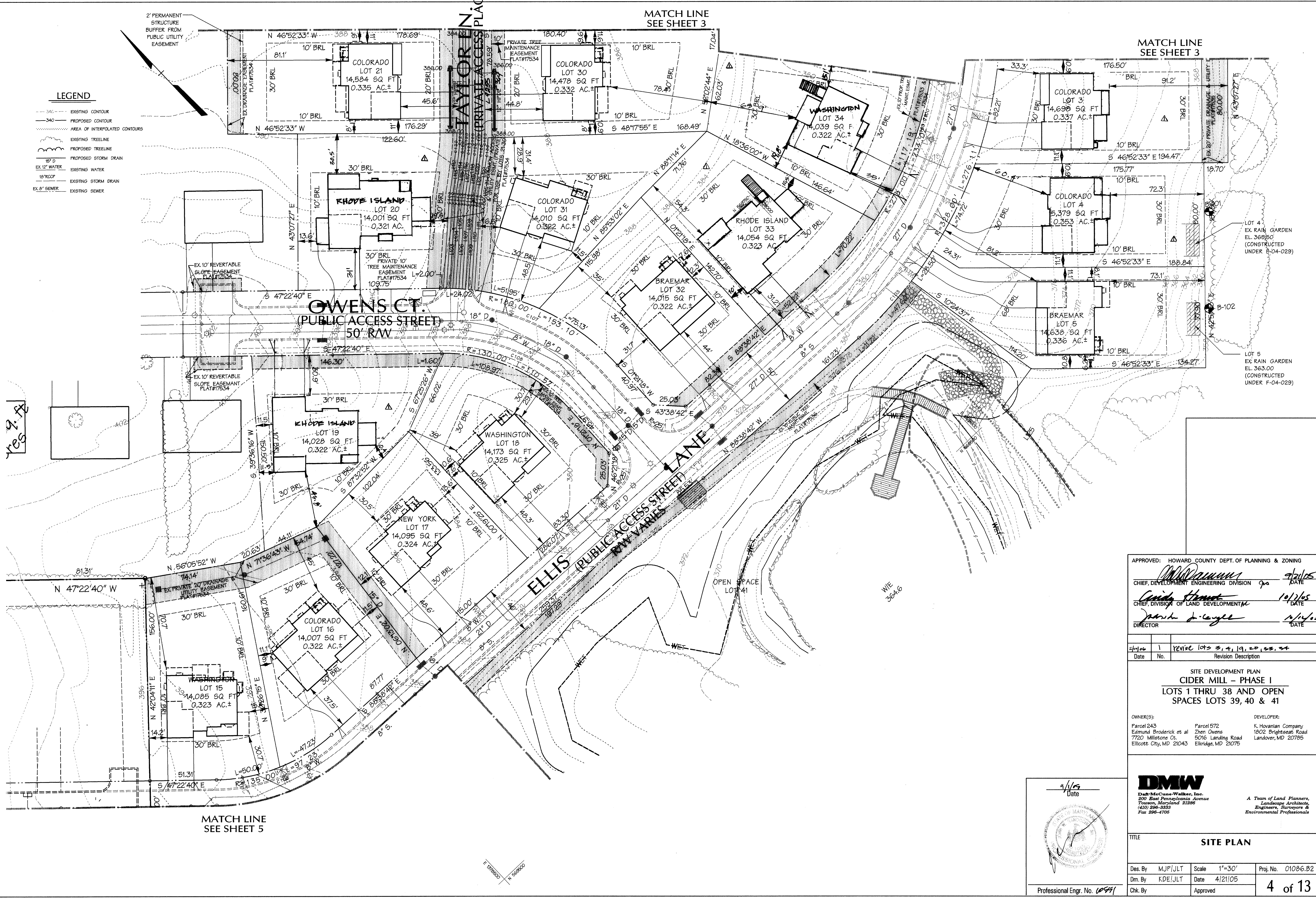
A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

TITLE GRADING & LANDSCAPE PLAN		
Des. By MJP/JLT	Scale 1"=30'	Proj. No. 01086.B2
Drn. By KDE/JLT	Date 4/21/05	7 of 13
Chk. By	Approved	

9/1/05
Date

[Signature]

Professional Engr. No. 1059



LEGEND

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- PROPOSED STORM DRAIN
- 18" D EX. 12" WATER EXISTING WATER
- 18" RCP EXISTING STORM DRAIN
- EX. 8" SEWER EXISTING SEWER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/2/05
CHIEF, DIVISION OF LAND DEVELOPMENT	10/11/05
DIRECTOR	10/14/05

Date	No.	Revision Description
2/1/06	1	REVISE LOTS 3, 4, 19, 20, 22, 24

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075

DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

DMW
Darr-McCune-Walkes, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
410) 296-8333
Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

9/1/05
Date

Professional Engr. No. 10991

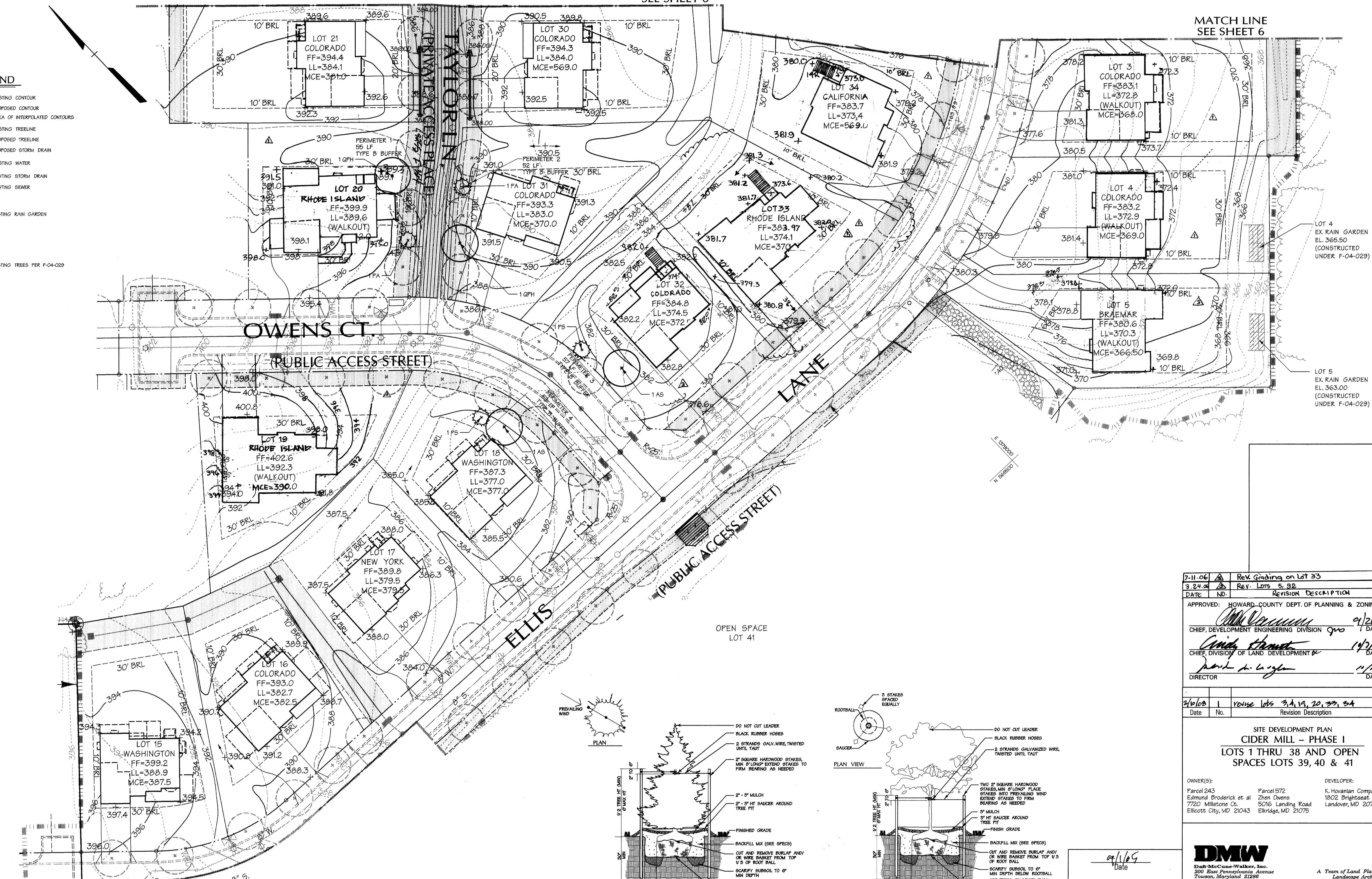
TITLE			
SITE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Drn. By	KDE/JLT	Date	4/21/05
Proj. No.	01086.B2		
Chk. By	Approved	4 of 13	

MATCH LINE
SEE SHEET 6

MATCH LINE
SEE SHEET 6

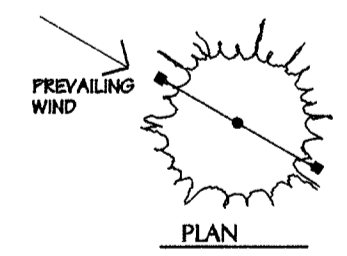
LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- 15" D PROPOSED STORM DRAIN
- EX. 12" WATER EXISTING WATER
- 18" ROCP EXISTING STORM DRAIN
- EX. 8" SEWER EXISTING SEWER
- EXISTING RAIN GARDEN
- EXISTING TREES PER F-04-029

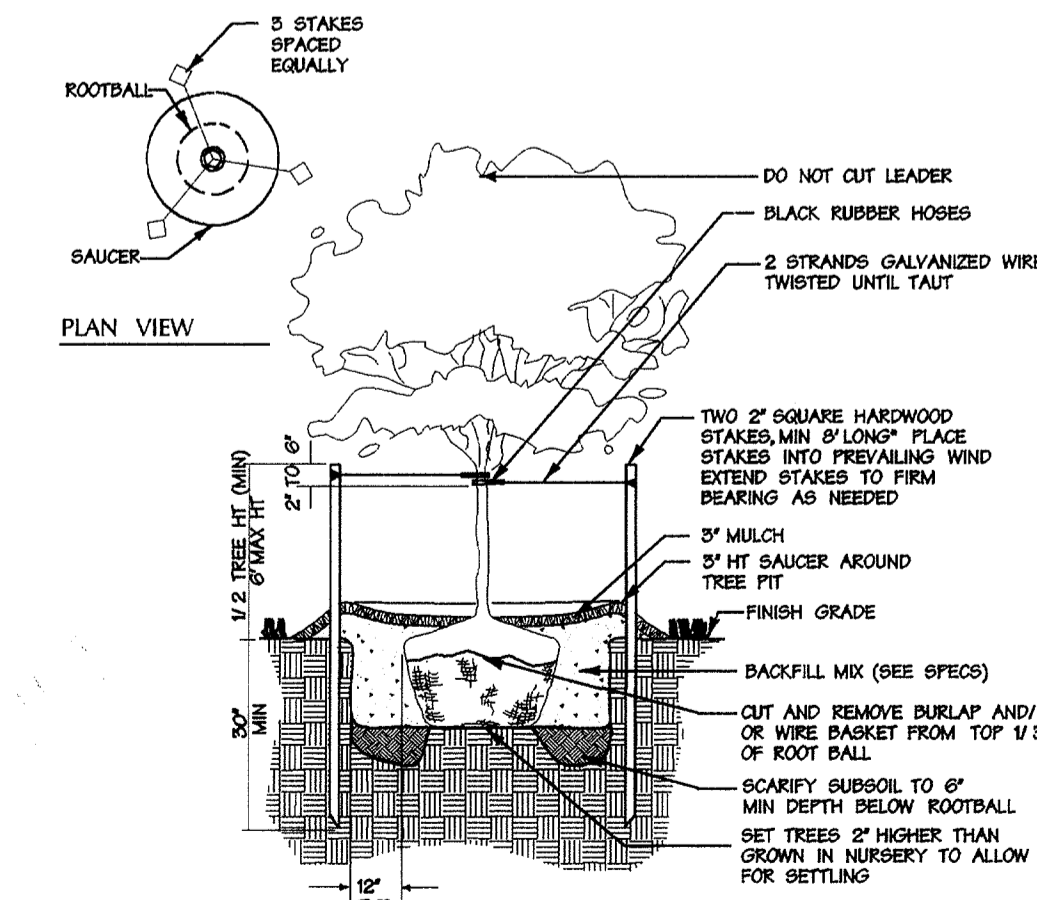


MATCH LINE
SEE SHEET 8

15" D.
L.O.D.I.
N.W.



Evergreen Tree Planting
Not To Scale



Less Than 3" Cal. Tree Planting
Not To Scale

7-11-06	Rev. Grading on Lot 23
3-24-04	Rev. Lots 5, 32
DATE	NO. REVISION DESCRIPTION
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>John Deane</i>	9/21/05 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	gwo
<i>Chris Thomas</i>	10/7/05 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	h
<i>Paul A. Wagoner</i>	11/16/05 DATE
DIRECTOR	
2/10/08	1 Revise lots 31, 19, 20, 33, 34
Date	No. Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S):
Parcel 243
Edmund Broderick et al
7720 Millstone Ct.
Ellicott City, MD 21043

DEVELOPER:
Parcel 572
K. Hovanian Company
1802 Brightseat Road
Landover, MD 20785

DMW
Darrin McCune-Walkers, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 290-3338
Fax 296-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

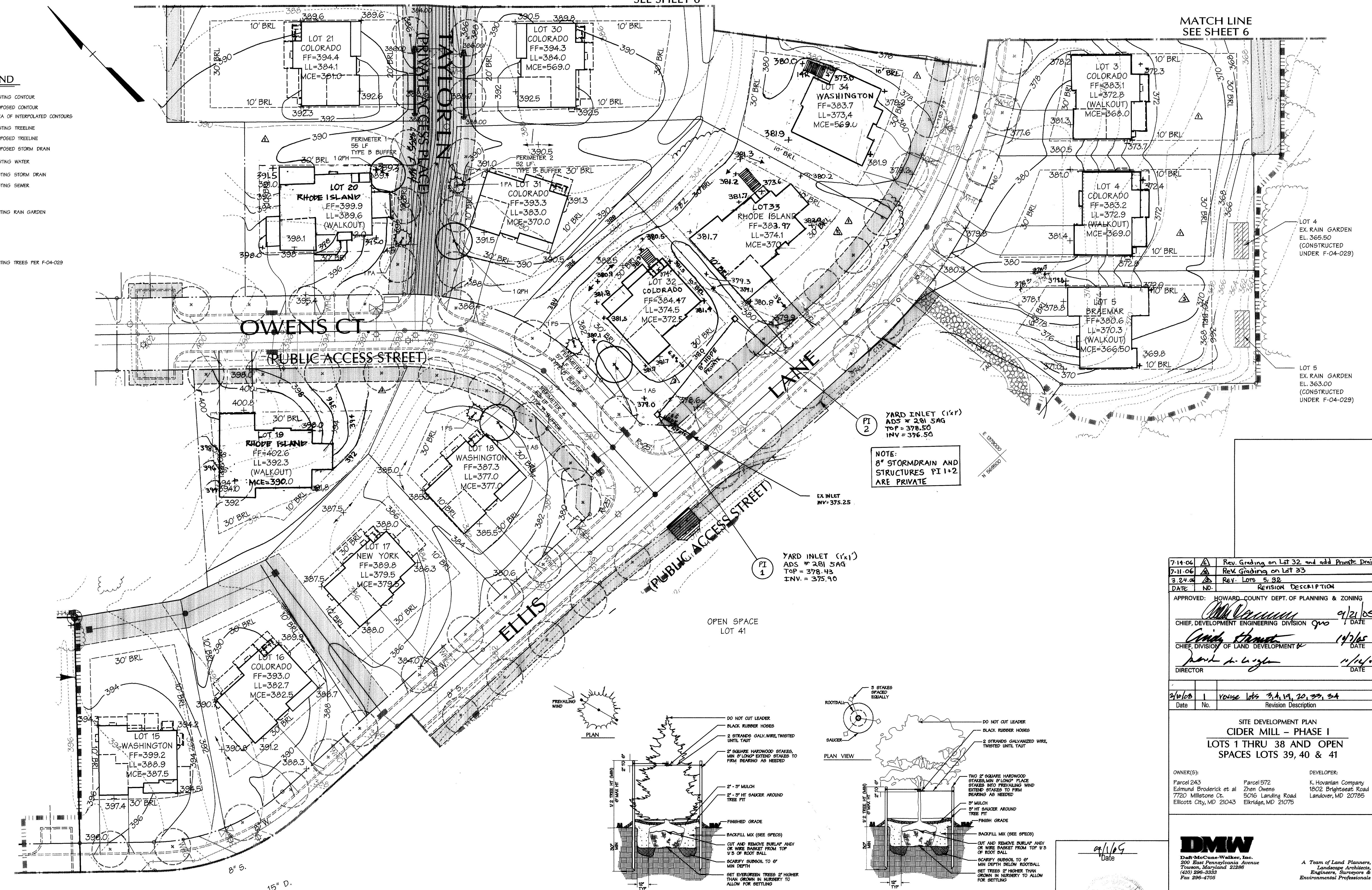
TITLE GRADING & LANDSCAPE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Proj. No.	01086.B2	Date	4/21/05
Drn. By	KDE/JLT	Chk. By	Approved
Professional Engr. No.	1059	7 of 13	

MATCH LINE
SEE SHEET 6

MATCH LINE
SEE SHEET 6

LEGEND

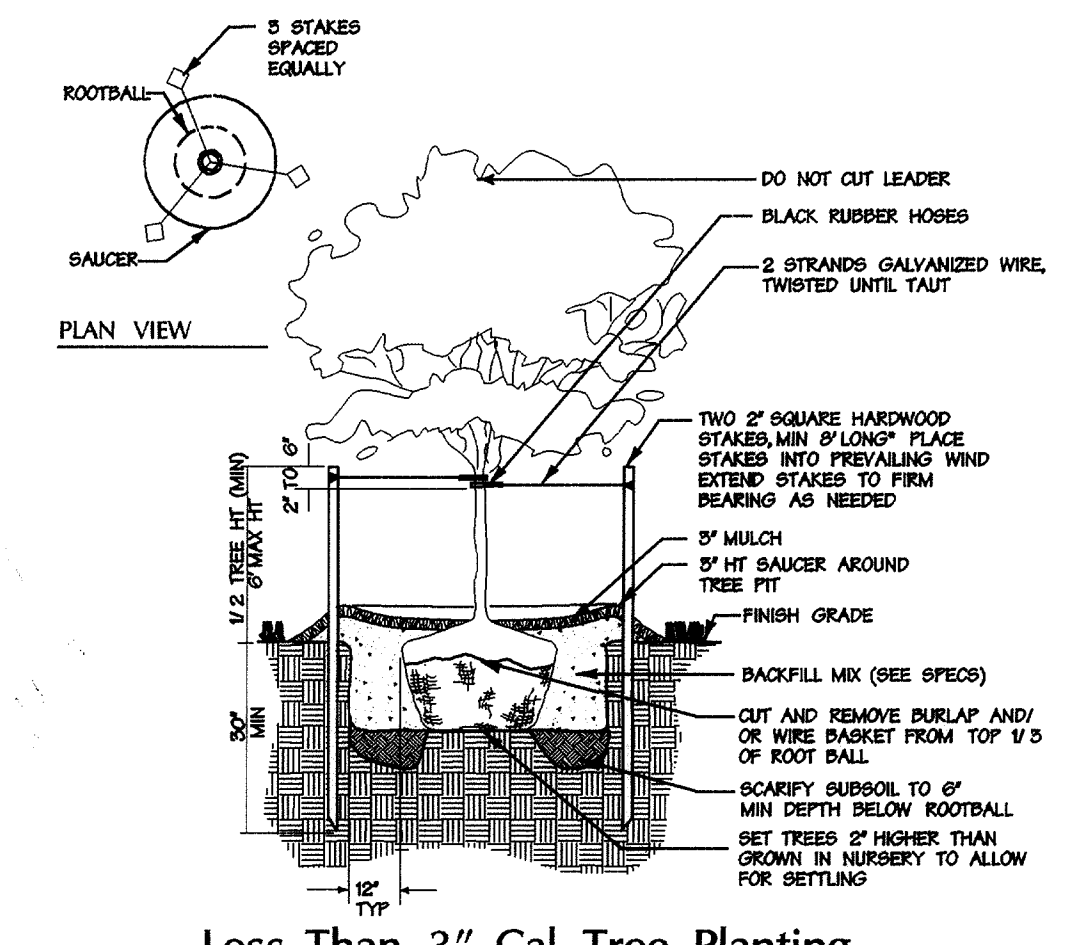
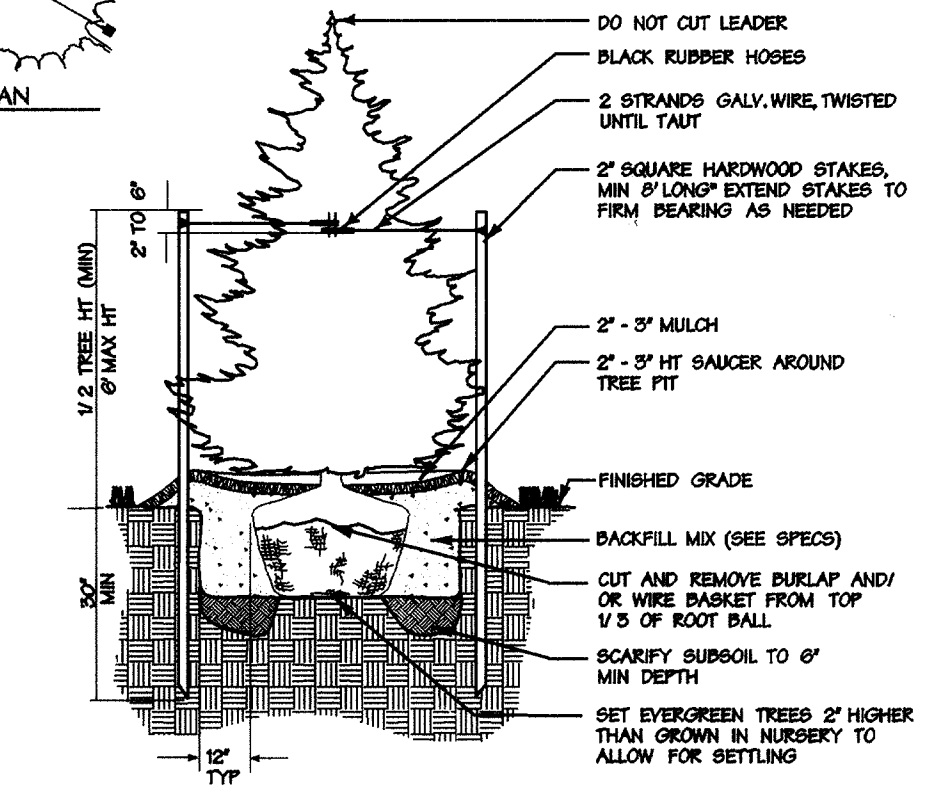
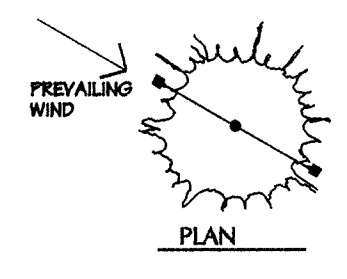
- - - - - EXISTING CONTOUR
- 340 — PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- — — — — EXISTING TREELINE
- — — — — PROPOSED TREELINE
- 15" D PROPOSED STORM DRAIN
- EX 12" WATER EXISTING WATER
- 18" RCP EXISTING STORM DRAIN
- EX 8" SEWER EXISTING SEWER
- [Hatched Box] EXISTING RAIN GARDEN
- [Circle with X] EXISTING TREES PER F-04-029



PI 2
YARD INLET (1x1)
ADS # 281 SAG
TOP = 378.50
INV = 376.50

NOTE:
8" STORMDRAIN AND
STRUCTURES PI 1+2
ARE PRIVATE

PI 1
YARD INLET (1x1)
ADS # 281 SAG
TOP = 378.43
INV = 375.90



MATCH LINE
SEE SHEET 8

15" D.
L.O.D.I.
N 5682000

7-14-04	Rev. Grading on Lot 32 and add Private Drain
7-11-04	Rev. Grading on Lot 33
3-24-04	Rev. Lots 3, 32
DATE	NO. REVISION DESCRIPTION
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i>	9/21/05 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	gms
<i>[Signature]</i>	10/7/05 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	
<i>[Signature]</i>	11/16/05 DATE
DIRECTOR	
2/10/08	1 Revise lots 3, 4, 19, 20, 33, 34
Date	No. Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043
Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075

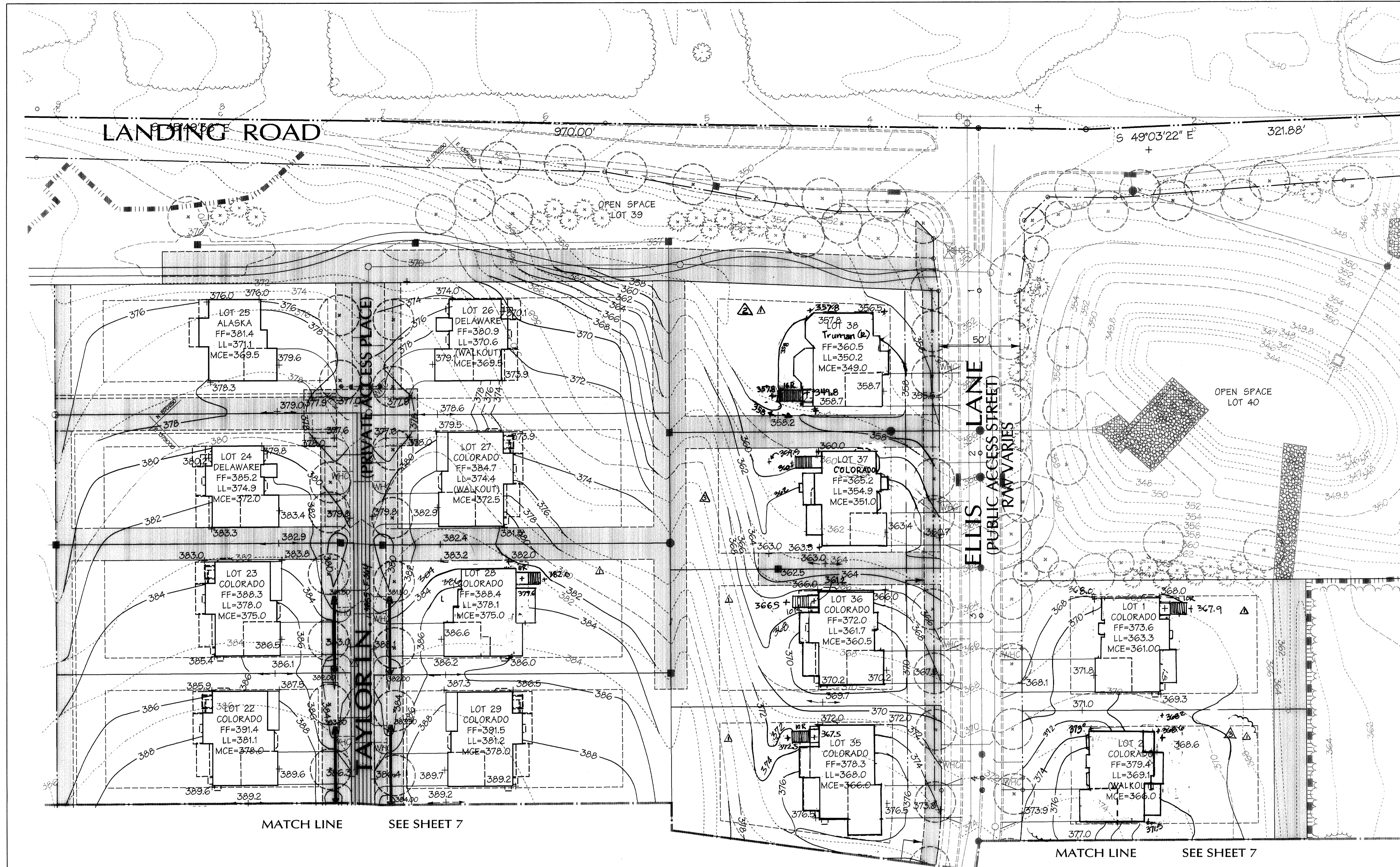
DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

DMW
Dadr McCreane-Walkers, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 286-3333
Fax: 286-4708

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

GRADING & LANDSCAPE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Drn. By	KDE/JLT	Date	4/21/05
Proj. No.	01086.B2	Page	7 of 13
Chk. By		Approved	

Professional Eng. No. 10597



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- 18" D PROPOSED STORM DRAIN
- EX 12" WATER EXISTING WATER
- 18" RCP EXISTING STORM DRAIN
- EX 8" SEWER EXISTING SEWER
- EXISTING TREES PER F-04-029

DATE	NO.	REV.	DESCRIPTION
9/24/04	1	Rev.	LOTS 2, 37
1/24/06	2	Rev.	lot 38 from Cal to a Truman

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE 1
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S):
Parcel 243 Edmund Broderick et al
7720 Millstone Ct.
Ellicott City, MD 21043

DEVELOPER:
K. Hovanian Company
1802 Brightseat Road
Landover, MD 20785

DMW
Date: 4/1/05

DMW
Date-McCune-Walker, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3833
Fax 296-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

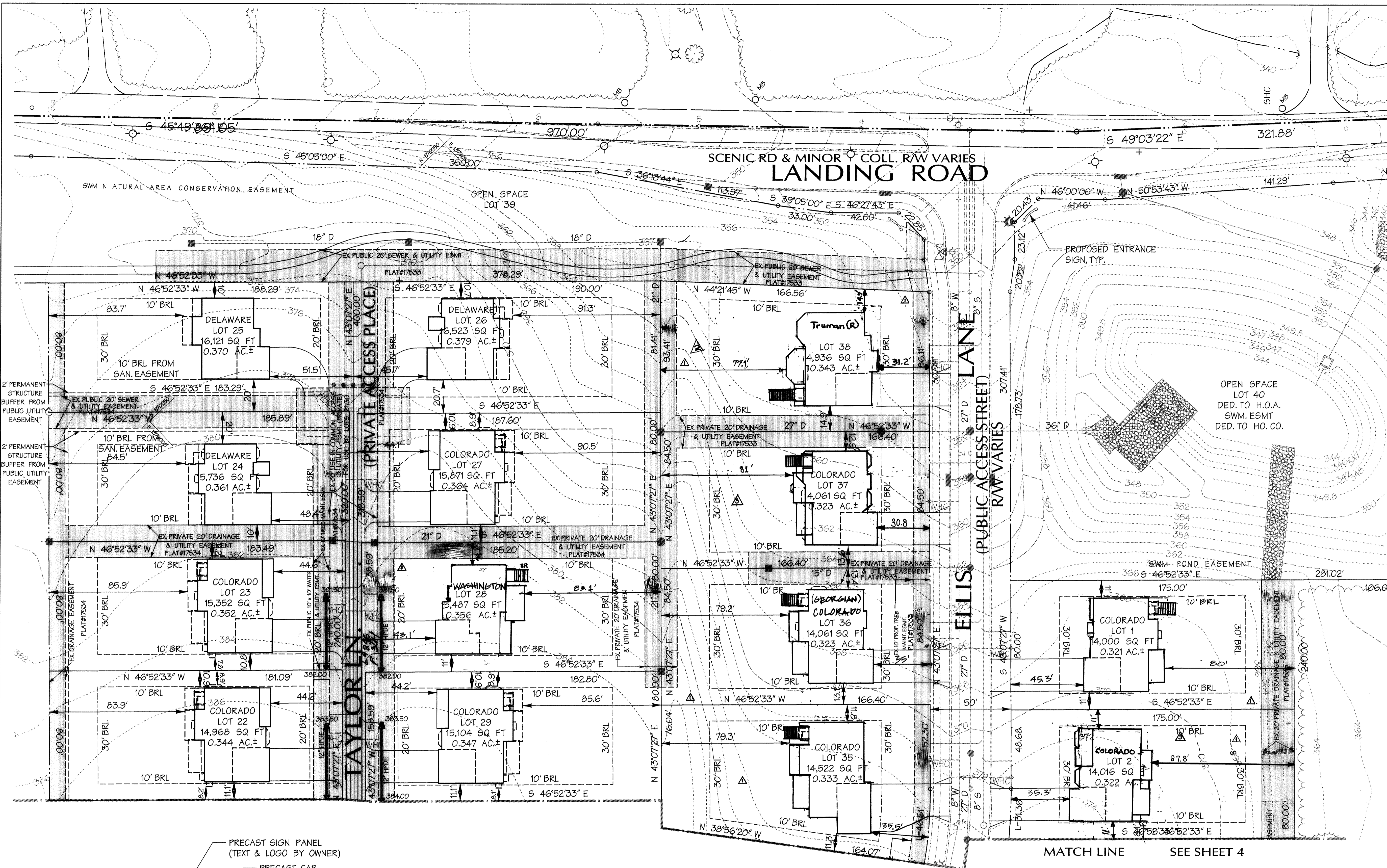
GRADING & LANDSCAPE PLAN

Des. By: MJP/JLT Scale: 1"=30' Proj. No.: 01086.B2
 Dwn. By: KDE/JLT Date: 4/21/05
 Chk. By: Approved

Professional Engr. No. 10991

6 of 13

SDP-05-136



LEGEND

- - - - - EXISTING CONTOUR
- - - - - EXISTING TREELINE
- - - - - PROPOSED TREELINE
- - - - - 18" D EX. 12" WATER
- - - - - EXISTING WATER
- - - - - 18" RCP EXISTING STORM DRAIN
- - - - - EX. 8" SEWER EXISTING SEWER

3.24.06	REV	Lot 38	Rev. Lot 38 from Colorado to Truman
2/1/06	1		Rev. lots 1, 2, 25, 29, 36, 38
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING CHIEF, DEVELOPMENT ENGINEERING DIVISION CHIEF, DIVISION OF LAND DEVELOPMENT DIRECTOR			
		9/21/05	DATE
		10/12/05	DATE
		10/14/05	DATE

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

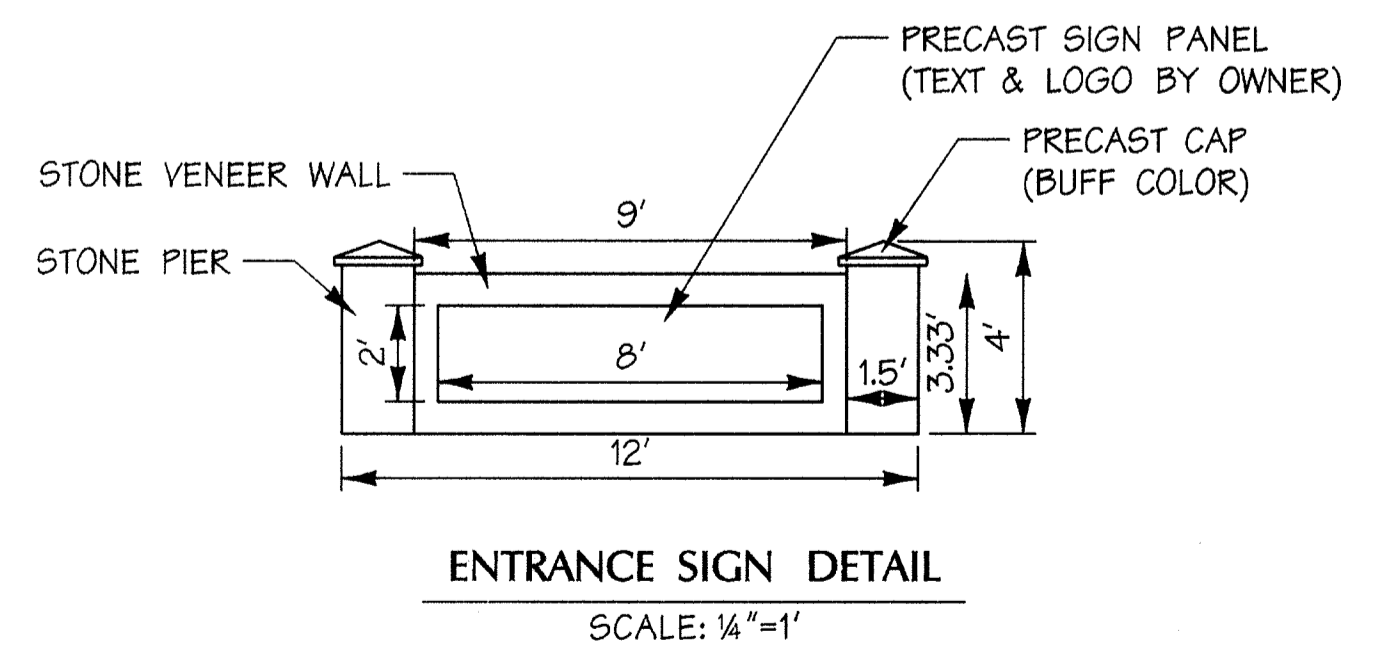
OWNER(S): Parcel 243 Edmund Broderick et al 7722 Millstone Ct Ellicott City, MD 21043
 Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075

DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

DMW
 DaM-Cune-Walker, Inc.
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

TITLE: SITE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Drn. By	KDE/JLT	Date	4/21/05
Chk. By	Approved	Proj. No.	01086.02
Professional Engr. No. 10971			3 of 13



MATCH LINE SEE SHEET 4

9/1/05
Date

10/20/05 Site Plan sheet 01086.02 of 13



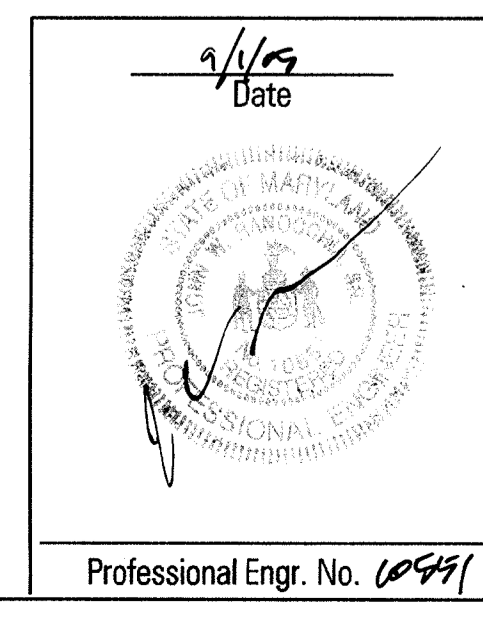
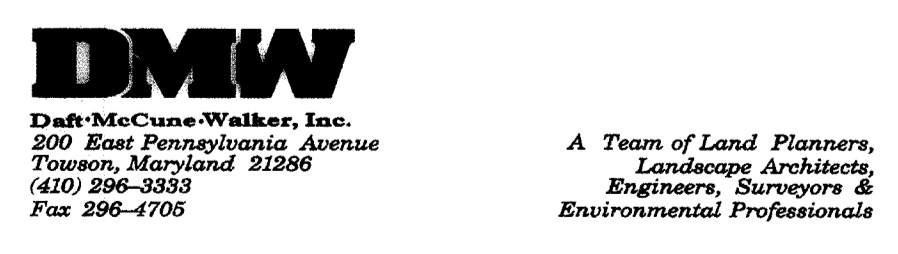
LEGEND

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- - - PROPOSED TREELINE
- PROPOSED STORM DRAIN
- EX. 18" D WATER
- EXISTING WATER
- EX. 18" RCCP
- EXISTING STORM DRAIN
- EX. 8" SEWER
- EXISTING SEWER

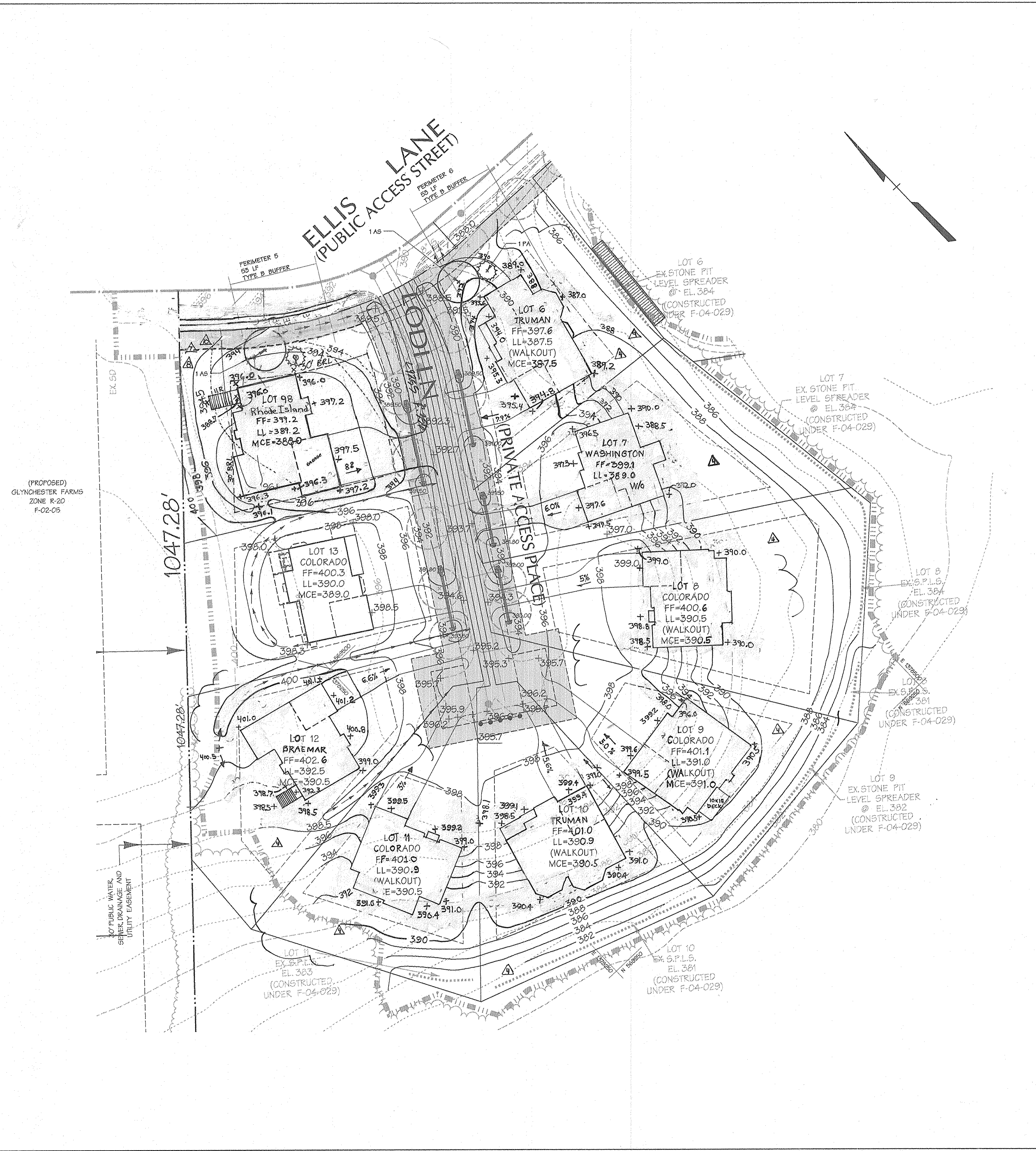
3/24/06	REV. LOTS 5, 32
Date	Revision Description
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i>	9/21/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	10/7/05
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	1/14/06
DIRECTOR	DATE
2/1/06	REVISE LOTS 31, 41, 20, 23, 34
Date	Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043
Parcel 572 Chen Owens 5016 Landing Road Elkridge, MD 21075
DEVELOPER: K. Hovarian Company Landover, MD 20785



TITLE			
SITE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Dwn. By	KDE/JLT	Date	4/21/05
Chk. By	Approved	Proj. No.	01086.B2
			4 of 13



**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS					
	P1	P2	P3	P4	P5	P6
LANDSCAPE TYPE 'A' LINEAR FEET OF PERIMETER						
LANDSCAPE TYPE 'B' LINEAR FEET OF PERIMETER	56 LF.	52 LF.	57 LF.	53 LF.	53 LF.	53 LF.
LANDSCAPE TYPE 'C' LINEAR FEET OF PERIMETER						
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	0 LF.*	0 LF.	0 LF.	0 LF.	0 LF.	0 LF.
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED						
SHADE TREES	1	1	1	1	1	1
EVERGREEN TREES	1	1	1	1	1	1
SHRUBS	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED						
SHADE TREES	1	1	1	1	1	1
EVERGREEN TREES	1	1	1	1	1	1
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	0	0	0	0	0	0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)						

Perimeter Plant List

QTY	SYM	BOTANICAL NAME / COMMON NAME	SIZE	REMARKS
SHADE TREES				
4	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	2 1/2" - 3" CAL.	B & B FULL HEAD
		GREEN MOUNTAIN SUGAR MAPLE	12" - 14" HT	
2	QPH	QUERCUS PHELLOS	2 1/2" - 3" CAL.	B & B FULL HEAD
		WILLOW OAK	12" - 14" HT	
EVERGREEN TREES				
4	PA	PICEA ABIES	6'-8" HT.	B & B
		NORWAY SPRUCE		
2	PS	PINUS STROBUS	6'-8" HT.	B & B
		EASTERN WHITE PINE		UNSHADED

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- PROPOSED STORM DRAIN
- EX 12" WATER EXISTING WATER
- EX 18" RCP EXISTING STORM DRAIN
- EX 8" SEWER EXISTING SEWER
- EXISTING STONE PIT LEVEL SPREADER (S.P.L.S.)
- LIMIT OF DISTURBANCE
- ROOFTOP DISCONNECT CREDIT FLOW PATH

EXISTING TREES PER F-04-029*

*NOTES FROM F-04-029: IMPACTED BY THIS SOP WILL BE ADJUSTED TO THE FIELD TO AVOID POOR QUALITY. WILL BE KEPT THE SAME WHERE POSSIBLE TO THAT SHOWN ON F-04-029.

1-16-07	10	Revise Lot 98 Grading
12-5-06	9	Revise Lot 6
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING		
CHIEF, DEVELOPMENT ENGINEERING DIVISION		9/2/05 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT		10/7/05 DATE
DIRECTOR		11/2/05 DATE
11-14-06	8	Change Lot 14 to Lot 98
10-18-06	7	Rev. Lots 14 + Ellis Ln Row
8-22-06	6	Rev. Lots 6, 7, 8, 9, 10, 11, 12
Date	No.	Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7722 Millstone Ct. Ellicott City, MD 21043

DEVELOPER: Parcel 572 K. Howanlian Company 1802 Brightseat Road Landover, MD 20785

DMW
Duff-McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 286-3030
Fax 286-4706

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

TITLE			
GRADING & LANDSCAPE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Proj. No.	01086.52		
Drn. By	KDE/JLT	Date	4/21/05
Chk. By	Approved		

Professional Engr. No. 10757

9/1/05 Date

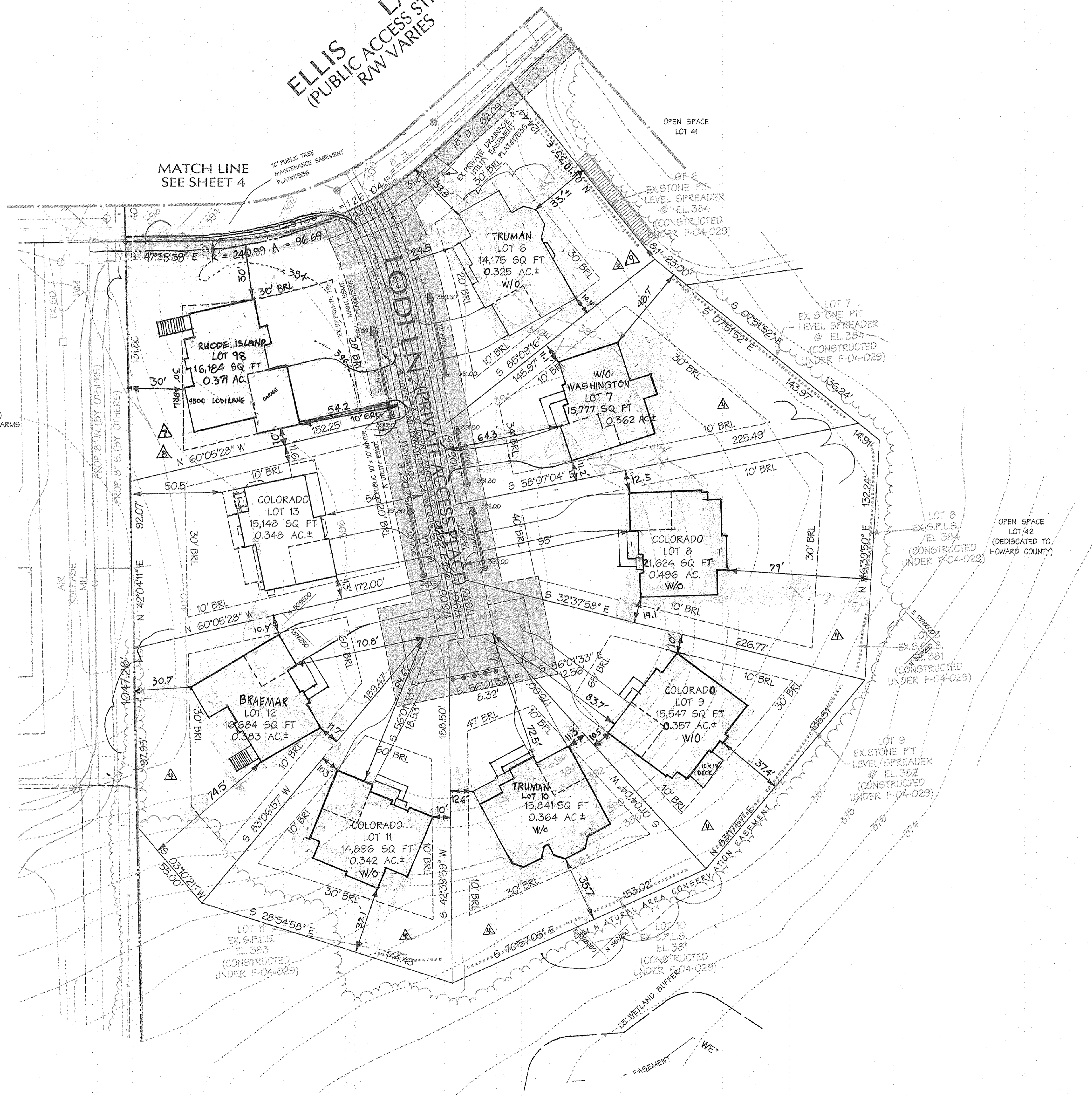
Professional Engineer Seal

The City of Ellicott City, MD 21043

ELLIS LANE
(PUBLIC ACCESS STREET)
RW VARIES

MATCH LINE
SEE SHEET 4

(PROPOSED)
GLYNCHESTER FARMS
ZONE R-20
F-02-05



- LEGEND**
- - - 340 - - - EXISTING CONTOUR
 - - - 340 - - - PROPOSED CONTOUR
 - AREA OF INTERPOLATED CONTOURS
 - ~ ~ ~ EXISTING TREETLINE
 - ~ ~ ~ PROPOSED TREETLINE
 - ~ ~ ~ 18" D PROPOSED STORM DRAIN
 - ~ ~ ~ EX. 12" WATER
 - ~ ~ ~ EXISTING WATER
 - ~ ~ ~ 18" RCP EXISTING STORM DRAIN
 - ~ ~ ~ EX. 8" SEWER EXISTING SEWER

12-5-06	9	Revise Lot 6
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING		
CHIEF, DEVELOPMENT ENGINEERING DIVISION		9/20/05
CHIEF, DIVISION OF LAND DEVELOPMENT		10/2/05
DIRECTOR		10/12/05
11-14-06	8	Change Lot 14 to Lot 98
10-18-06	7	Rev. Lot 14 + Ellis Ln. Road
8-22-06	6	Rev. Lots 6, 7, 8, 9, 10, 11, 12
Date	No.	Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S):
Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

DEVELOPER:
K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

DMW
Dan McCune-Walker, Inc.
309 East Pennsylvania Avenue
Towson, Maryland 21286
Tel: 410-296-3333
Fax: 296-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

9/1/05
Date

Professional Engr. No. 10551

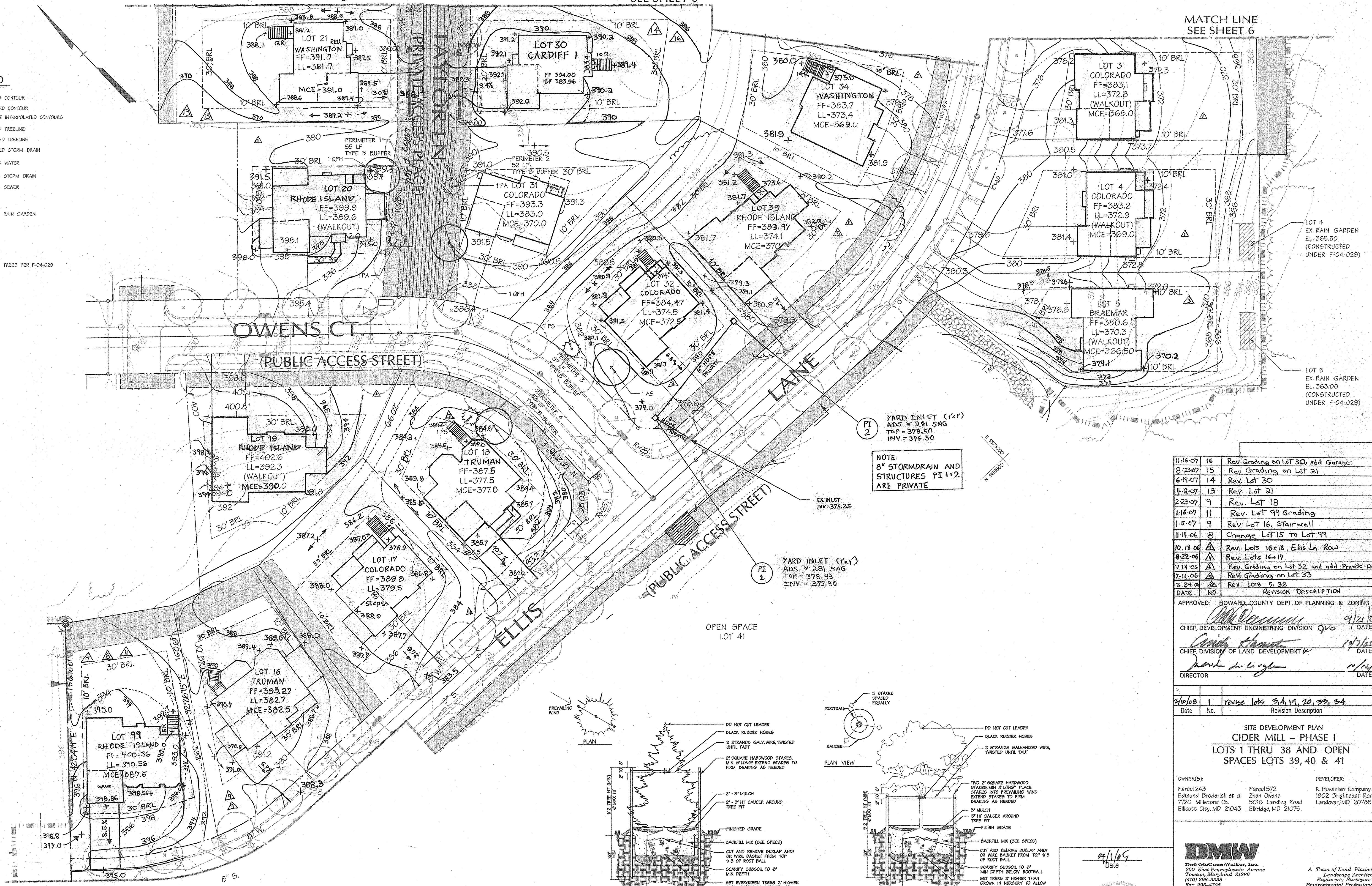
TITLE			
SITE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Drn. By	KDE/JLT	Date	4/21/05
Proj. No.	01086.B2		
Chk. By	Approved	5 of 13	

MATCH LINE
SEE SHEET 6

MATCH LINE
SEE SHEET 6

LEGEND

- 340 --- EXISTING CONTOUR
- - - 340 - - - PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- ~~~~~ EXISTING TREELINE
- ~~~~~ PROPOSED TREELINE
- 15" D PROPOSED STORM DRAIN
- EX 12" WATER EXISTING WATER
- 18" RCP EXISTING STORM DRAIN
- EX 8" SEWER EXISTING SEWER
- EXISTING RAIN GARDEN
- EXISTING TREES PER F-04-029



PI 2 YARD INLET (1'x1')
ADS # 281 SAG
TOP = 378.50
INV = 376.50

NOTE:
8" STORMDRAIN AND
STRUCTURES PI 1+2
ARE PRIVATE

PI 4 YARD INLET (1'x1')
ADS # 281 SAG
TOP = 378.43
INV = 375.90

DATE	NO.	REVISION DESCRIPTION
11-16-07	16	Rev. Grading on Lot 30, Add Garage
8-23-07	15	Rev. Grading on Lot 21
6-19-07	14	Rev. Lot 30
4-2-07	13	Rev. Lot 21
2-23-07	9	Rev. Lot 18
1-16-07	11	Rev. Lot 99 Grading
1-5-07	9	Rev. Lot 16, Stairwell
11-14-06	8	Change Lot 15 to Lot 99
10-18-06	7	Rev. Lots 16+18, Ellis Ln Row
8-22-06	6	Rev. Lots 16+17
7-14-06	5	Rev. Grading on Lot 32 and add Private Drain
7-11-06	4	Rev. Grading on Lot 33
3-24-06	3	Rev. Lots 5, 22

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 9/21/05 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 10/2/05 DATE
 DIRECTOR *[Signature]* 11/14/05 DATE

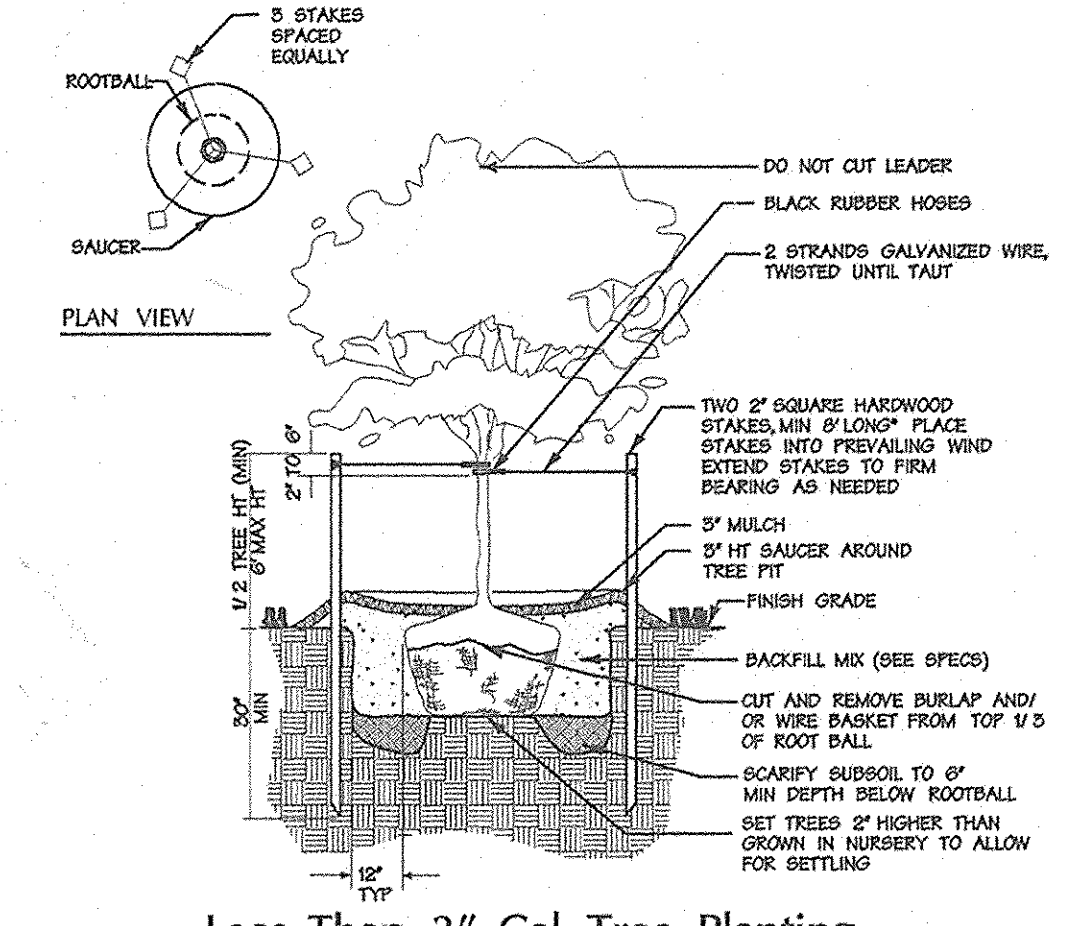
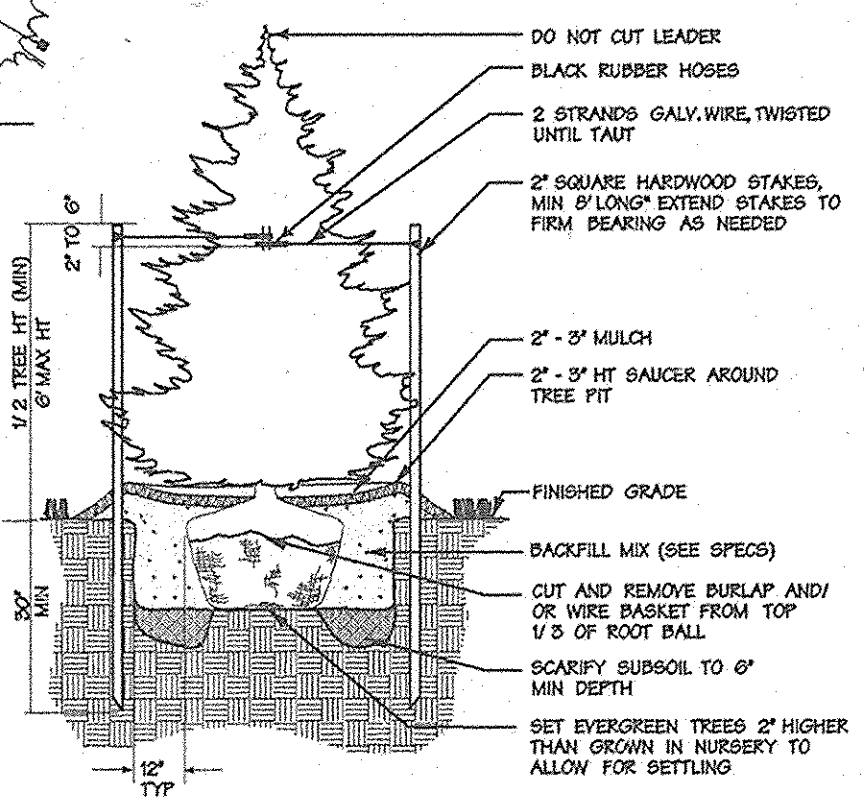
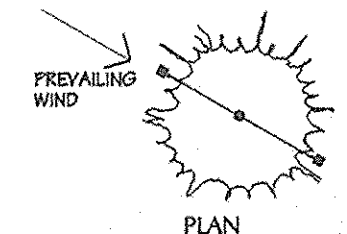
DATE	NO.	REVISION DESCRIPTION
9/16/05	1	Revise lots 3, 4, 19, 20, 33, 34

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043
 Parcel 572 Zhan Owens 5016 Landing Road Eltridge, MD 21075
 DEVELOPER: K. Hovarian Company 1802 Brightseat Road Landover, MD 20785

DMW
 Daft-McCune-Walker, Inc.
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax 296-4705
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

TITLE	Scale	Proj. No.
GRADING & LANDSCAPE PLAN	1"=30'	01086.02
Des. By	MJP/JLT	Date
Dm. By	KDE/JLT	4/21/05
Chk. By		Approved



9/1/05
 Date
 PROFESSIONAL ENGINEER
 Professional Engr. No. 0597

MATCH LINE
SEE SHEET 8

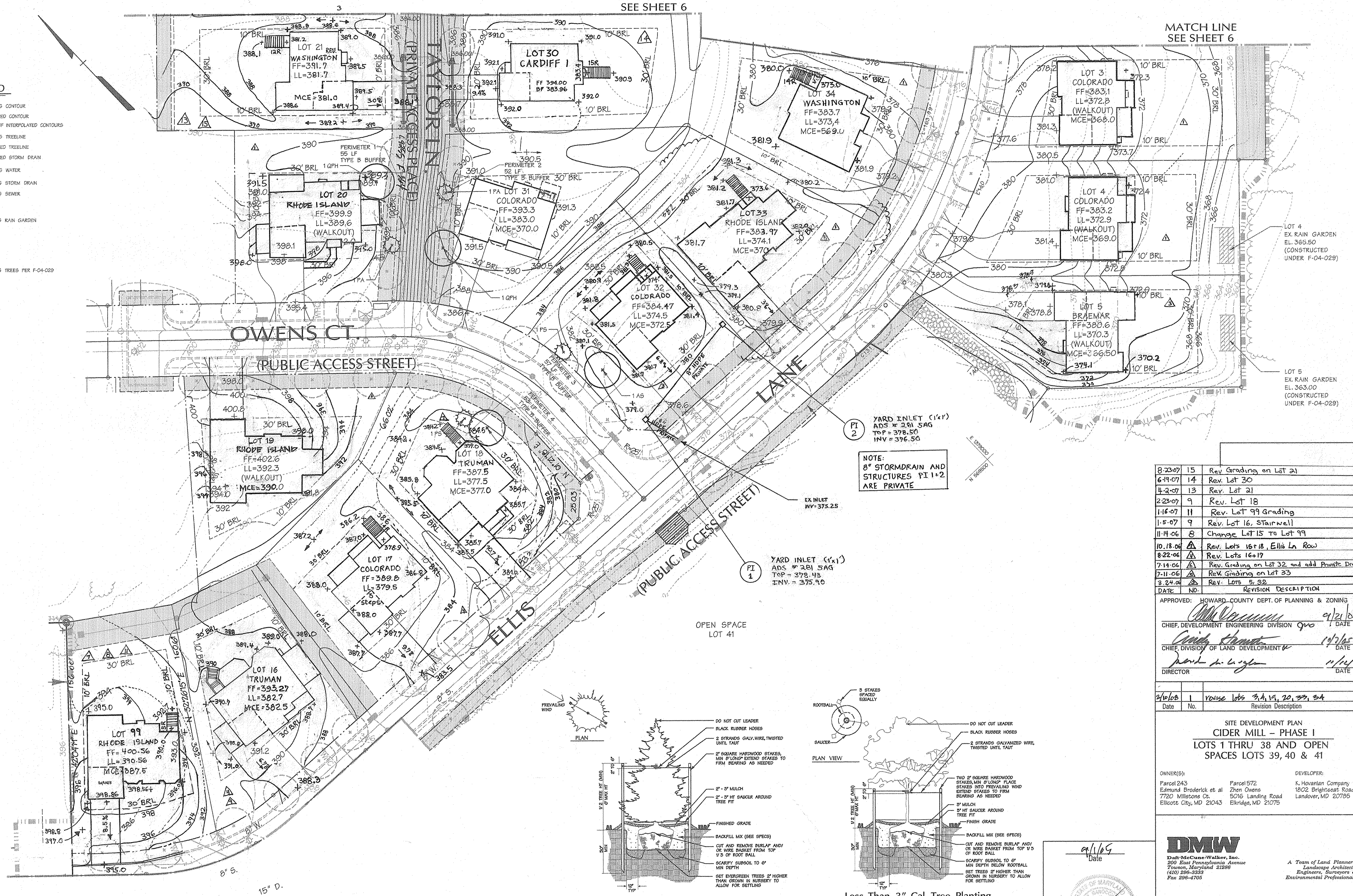
15" D.
LDDI
LN.

MATCH LINE
SEE SHEET 6

MATCH LINE
SEE SHEET 6

LEGEND

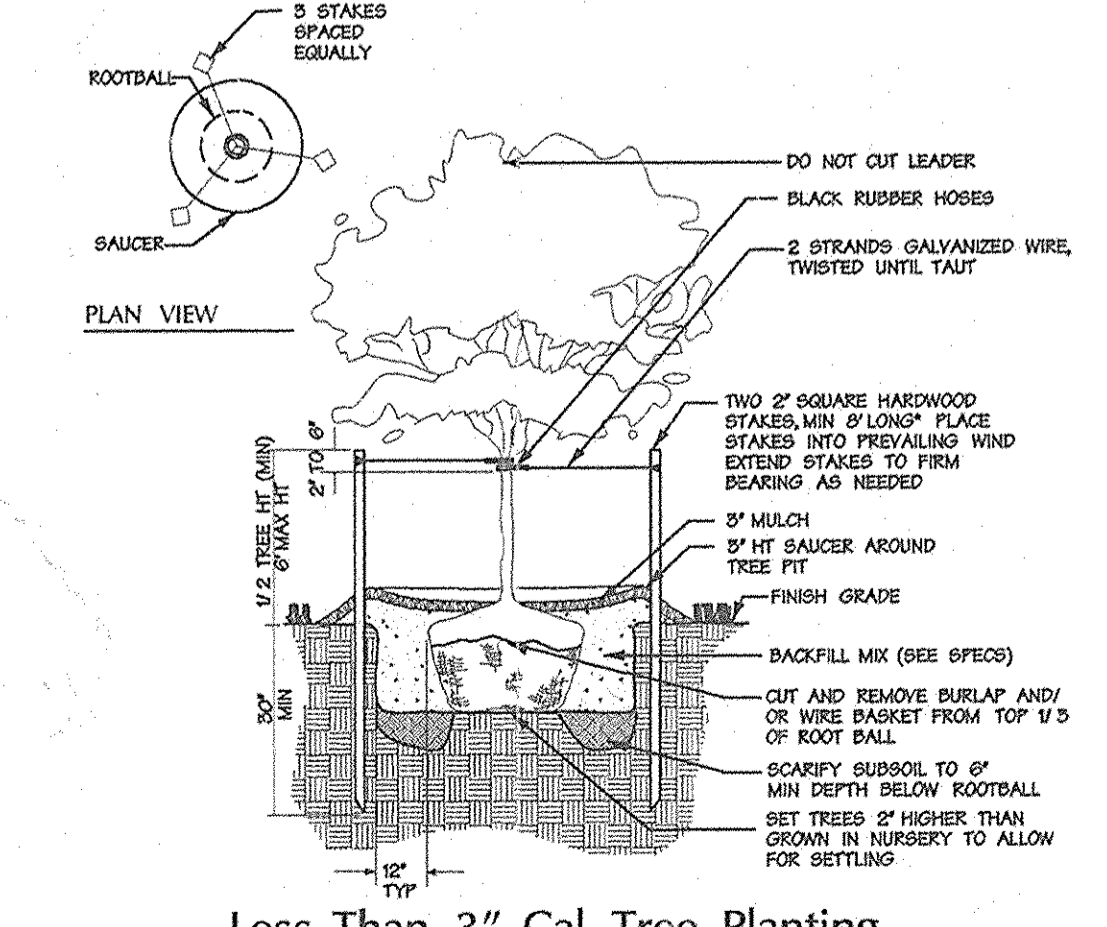
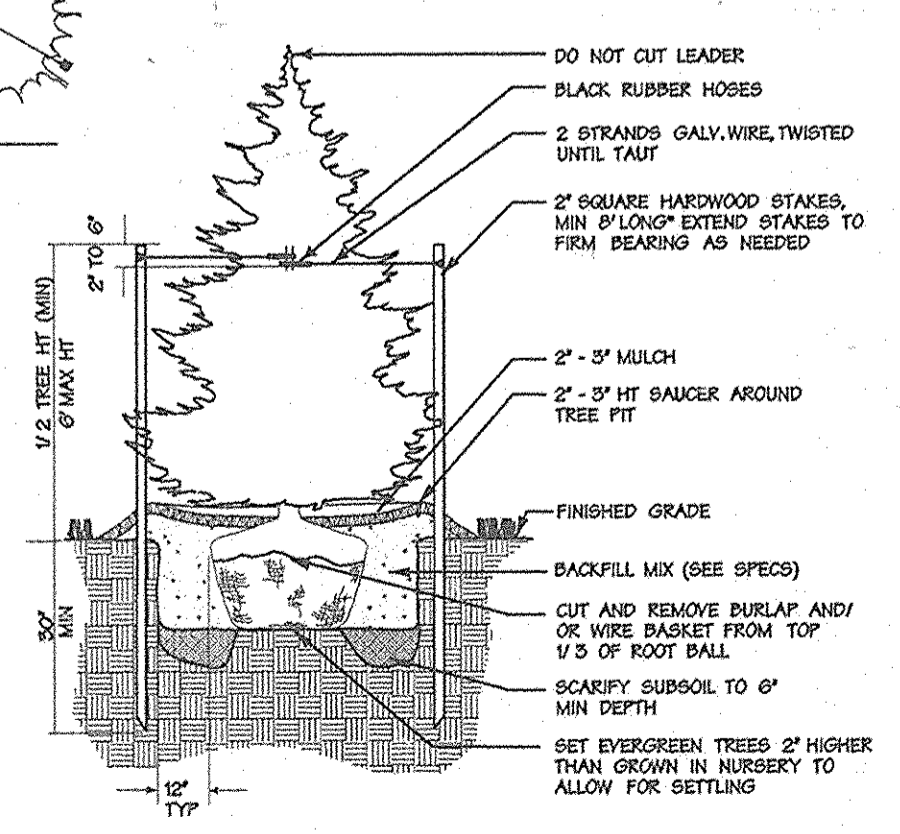
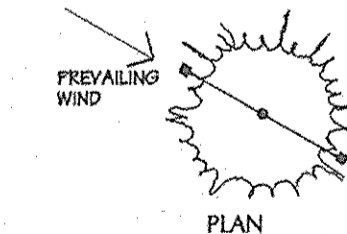
- 340 --- EXISTING CONTOUR
- 340 --- PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- 15" D PROPOSED STORM DRAIN
- EX. 12" WATER EXISTING WATER
- 18" RCP EXISTING STORM DRAIN
- EX. 8" SEWER EXISTING SEWER
- EXISTING RAIN GARDEN
- EXISTING TREES PER F-04-029



NOTE:
8" STORMDRAIN AND
STRUCTURES PI 1+2
ARE PRIVATE

YARD INLET (1x1)
ADS # 281 SAG
TOP = 378.43
INV. = 375.90

YARD INLET (1x1)
ADS # 291 SAG
TOP = 378.50
INV = 376.50



MATCH LINE
SEE SHEET 8

15" D.
L.V.
LODI

DATE	NO.	REVISION DESCRIPTION
8-23-07	15	Rev Grading on Lot 21
6-19-07	14	Rev. Lot 30
4-2-07	13	Rev. Lot 21
2-23-07	9	Rev. Lot 18
1-16-07	11	Rev. Lot 99 Grading
1-5-07	9	Rev. Lot 16, Stairwell
11-14-06	8	Change Lot 15 to Lot 99
10-18-06	7	Rev. Lots 16+17, Ellis Ln Row
8-22-06	6	Rev. Lots 16+17
7-14-06	5	Rev. Grading on Lot 32 and add Private Drain
7-11-06	4	Rev. Grading on Lot 33
3-24-06	3	Rev. Lots 5, 32

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 9/21/05 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 10/7/05 DATE

DIRECTOR *[Signature]* 11/14/05 DATE

2/10/08 1 Revise lots 3, 4, 15, 20, 33, 34

DATE NO. REVISION DESCRIPTION

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S):
Parcel 243 Edmund Broderick et al
7720 Millstone Cx
Ellicott City, MD 21043

Parcel 572 Zhen Owens
5216 Landing Road
Ellicott City, MD 21043

DEVELOPER:
K. Hovanian Company
1802 Brightseat Road
Lanover, MD 20785

DMW
Duff McCune Walker, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax: 296-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

Professional Engr. No. 10571

DATE 9/1/05

GRADING & LANDSCAPE PLAN

Des. By MJP/JLT Scale 1"=30' Proj. No. 01086.B2
Dwn. By KDE/JLT Date 4/21/05
Chk. By Approved 7 of 13



LEGEND

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - AREA OF INTERPOLATED CONTOURS
- - - - - EXISTING TREELINE
- - - - - PROPOSED TREELINE
- - - - - EX 12" WATER
- - - - - EX 18" RCP
- - - - - EX 8" SEWER
- - - - - EX 10" REVERTABLE SLOPE EASEMENT
- - - - - EX 20' PRIVATE DRAINAGE & UTILITY

Date	No.	REVISION DESCRIPTION
11-16-07	16	Rev. Lot 30, Add Garage
6-19-07	14	Rev. Lot 30
4-2-07	13	Rev. Lot 21
2-23-07	9	Rev. Lot 18
1-5-07	9	Rev. Lot 16, Stairwell
11-14-06	8	Change Lot 15 to Lot 99
10-18-06	7	Rev Lots 18+18, Rev. Ellis Ln. Row
8-22-06	6	Rev. Lots 16+17
8-24-06	5	Rev. Lots 31, 32

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

[Signature] 9/1/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 10/12/05
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 11/16/05
 DIRECTOR

Date	No.	REVISION DESCRIPTION
8/1/06	1	REVISE LOTS 3, 4, 19, 20, 33, 34

SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

DEVELOPER: Parcel 572 K. Hovarian Company 1802 Brightseat Road Landover, MD 20785

DMW
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 300 East Pennsylvania Avenue
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A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

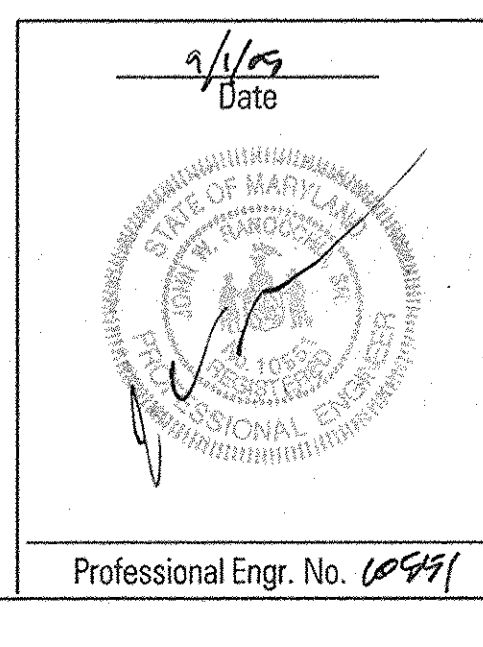
DATE: 9/1/05

TITLE: **SITE PLAN**

Des. By	MJP/JLT	Scale	1"=30'	Proj. No.	01086.B2
Drn. By	KDE/JLT	Date	4/21/05	4 of 13	
Chk. By	Approved				

Professional Engr. No. 10951

SDP-05-136



MATCH LINE SEE SHEET 5

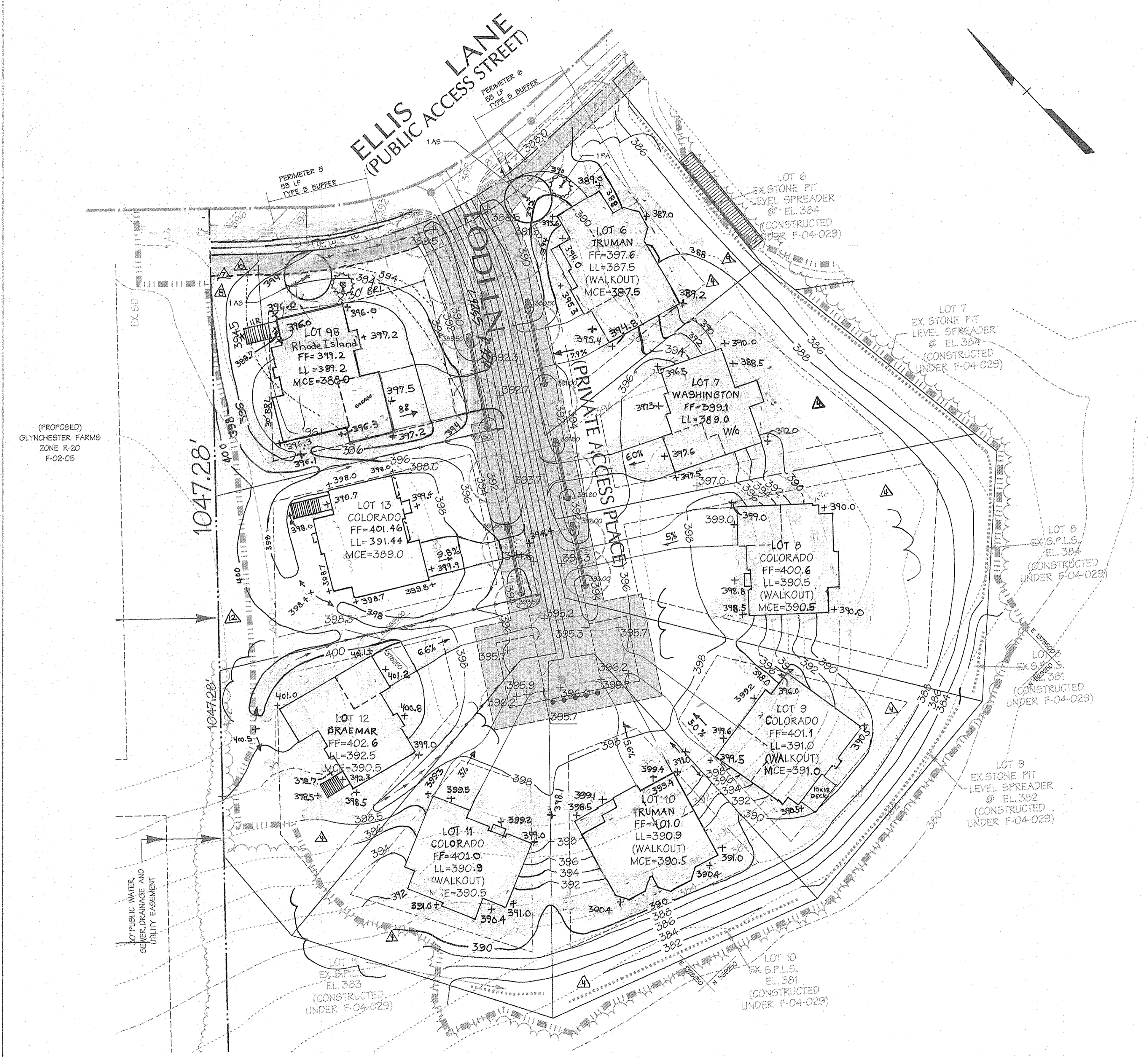
Res. 2.72

E 108250 W 108250

File: SDP-05-136.dwg

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS					
	P1	P2	P3	P4	P5	P6
LANDSCAPE TYPE 'A' LINEAR FEET OF PERIMETER						
LANDSCAPE TYPE 'B' LINEAR FEET OF PERIMETER	56 LF.	52 LF.	57 LF.	53 LF.	53 LF.	53 LF.
LANDSCAPE TYPE 'C' LINEAR FEET OF PERIMETER						
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	0 LF.*	0 LF.	0 LF.	0 LF.	0 LF.	0 LF.
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	1 1 0	1 1 0	1 1 0	1 1 0	1 1 0	1 1 0
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	1 1 0 0	1 1 0 0	1 1 0 0	1 1 0 0	1 1 0 0	1 1 0 0



Perimeter Plant List

QTY	SYM	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
SHADE TREES				
4	AS	ACER SACCHARUM 'GREEN MOUNTAIN'	2 1/2" - 3" CAL.	B & B FULL HEAD
2	GPH	QUERCUS PHELLOS WILLOW OAK	12" - 14" HT	B & B FULL HEAD
EVERGREEN TREES				
4	PA	PICEA ABIES NORWAY SPRUCE	6'-8" HT.	B & B
2	PS	PINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B UNSHEARED

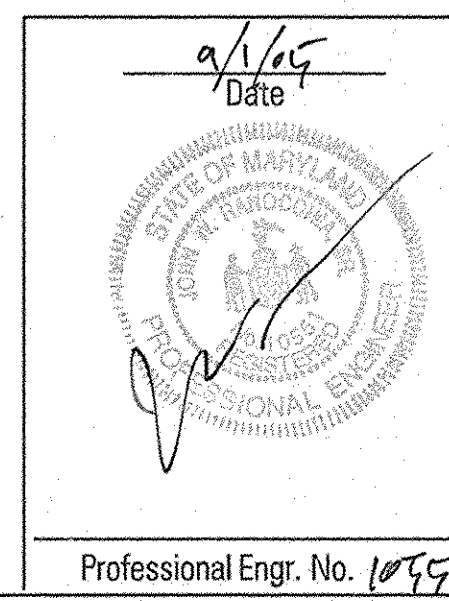
- LEGEND**
- 340 --- EXISTING CONTOUR
 - 340 --- PROPOSED CONTOUR
 - AREA OF INTERPOLATED CONTOURS
 - EXISTING TREELINE
 - PROPOSED TREELINE
 - PROPOSED STORM DRAIN
 - EX 12" WATER EXISTING WATER
 - EX 18" RCP EXISTING STORM DRAIN
 - EX 8" SEWER EXISTING SEWER
 - EXISTING STONE PIT LEVEL SPREADER (S.P.L.S.)
 - ||||| LIMIT OF DISTURBANCE
 - KROFTOP DISCONNECT CREDIT FLOW PATH
 - X ○ EXISTING TREES PER F-04-029*

NOTE: FROM F-04-029, IMPACTED BY THIS SDP. THE EXISTING TREES WILL BE REMOVED IF POSSIBLE TO TRY TO SHOWN ON F-04-029.

3-6-07	12	Rev. Lot 13
1-16-07	10	Revise Lot 98 Grading
12-5-06	9	Revise Lot 6
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING		
[Signature]		9/2/05 DATE
[Signature]		10/7/05 DATE
[Signature]		11/16/05 DATE
DIRECTOR		
11-14-06	8	Change Lot 14 to Lot 98
10-18-06	7	Rev. Lots 14 + Ellis Lane
8-22-06	6	Rev. Lots 6, 7, 8, 9, 10, 11, 12
Date	No.	Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043
 Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075
 DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785



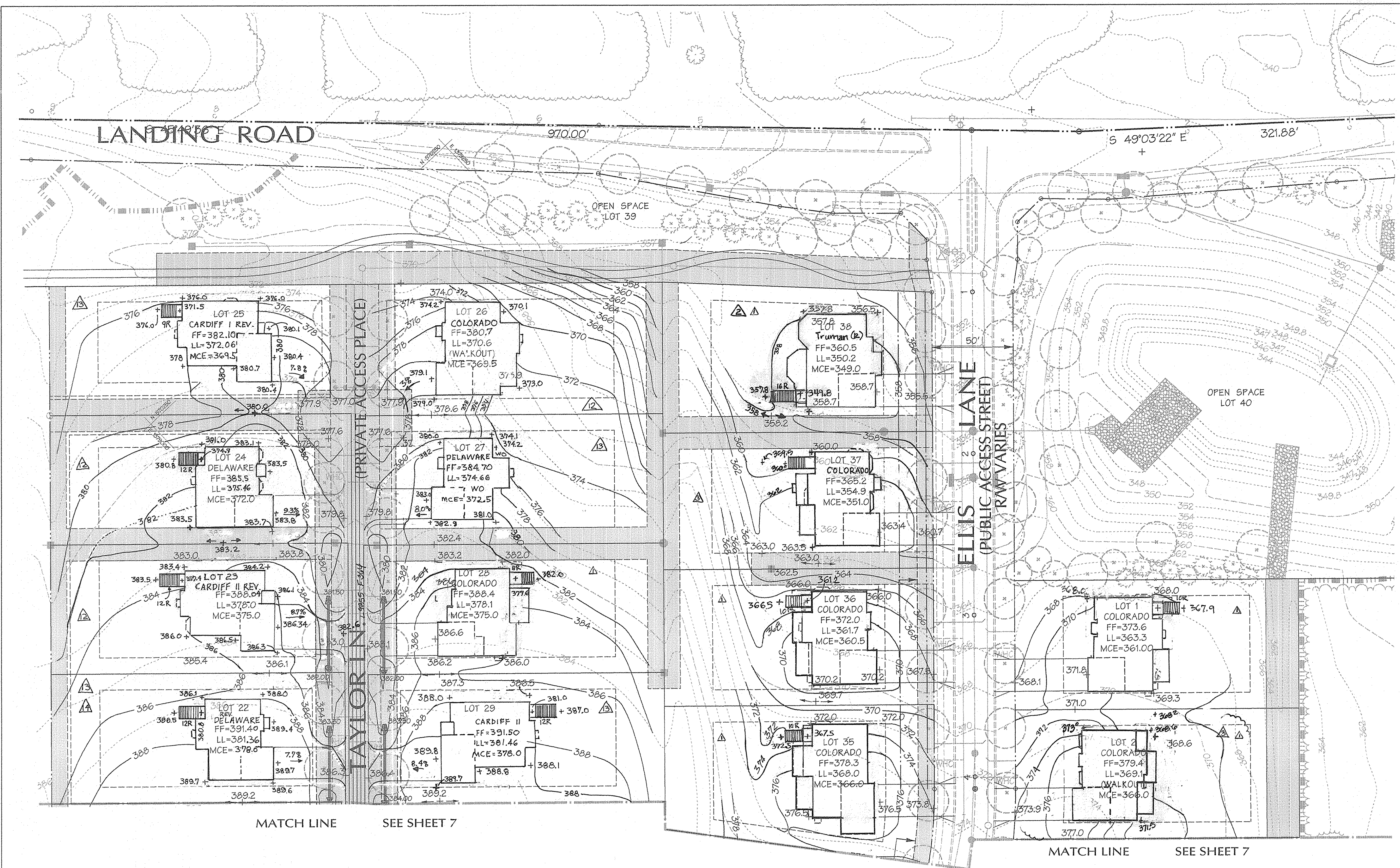
DMW
 Keith McCaskey-Walkers, Inc.
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 586-3333 Fax 296-4705

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

TITLE: GRADING & LANDSCAPE PLAN		
Des. By: MJP/JLT	Scale: 1"=30'	Proj. No. 01086.B2
Dim. By: KDE/JLT	Date: 4/21/05	8 of 13
Chk. By:	Approved:	




Professional Engr. No. 10491

The City 11/02/05 SDP-05-136



LEGEND

- 340 --- EXISTING CONTOUR
- 340 --- PROPOSED CONTOUR
- 340 --- AREA OF INTERPOLATED CONTOURS
- --- EXISTING TREELINE
- --- PROPOSED TREELINE
- --- 15" D PROPOSED STORM DRAIN
- --- EX 12" WATER EXISTING WATER
- --- 18" RCP EXISTING STORM DRAIN
- --- EX 8" SEWER EXISTING SEWER
- EXISTING TREES PER F-04-029

6-19-07	14	Rev. Lot 23
4-2-07	13	Rev. Lots 23, 24, 27, 29
3-6-07	12	Rev. Lots 23, 24+26
9-24-06	11	Rev. Lots 2, 37
DATE	NO.	REVISION DESCRIPTION
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING		
 CHIEF, DEVELOPMENT ENGINEERING DIVISION		gpb/bs DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT		wjb/bs DATE
 DIRECTOR		1/14/05 DATE
2/14/04	1	rev. lots 1, 2, 28, 33, 24, 38
1/24/06	12	rev. lot 38 from Col. to a Truman
Date	No.	Revision Description

SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN SPACES LOTS 39, 40 & 41

OWNER(S):
 Parcel 243: Edmund Broderick et al
 7720 Millstone Ct.
 Ellicott City, MD 21043

DEVELOPER:
 Parcel 572: K. Hovanian Company
 1802 Brightseat Road
 Landover, MD 20785

DMW
 Dan McCann-Walker, Inc.
 300 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 298-3833
 Fax: 298-4705

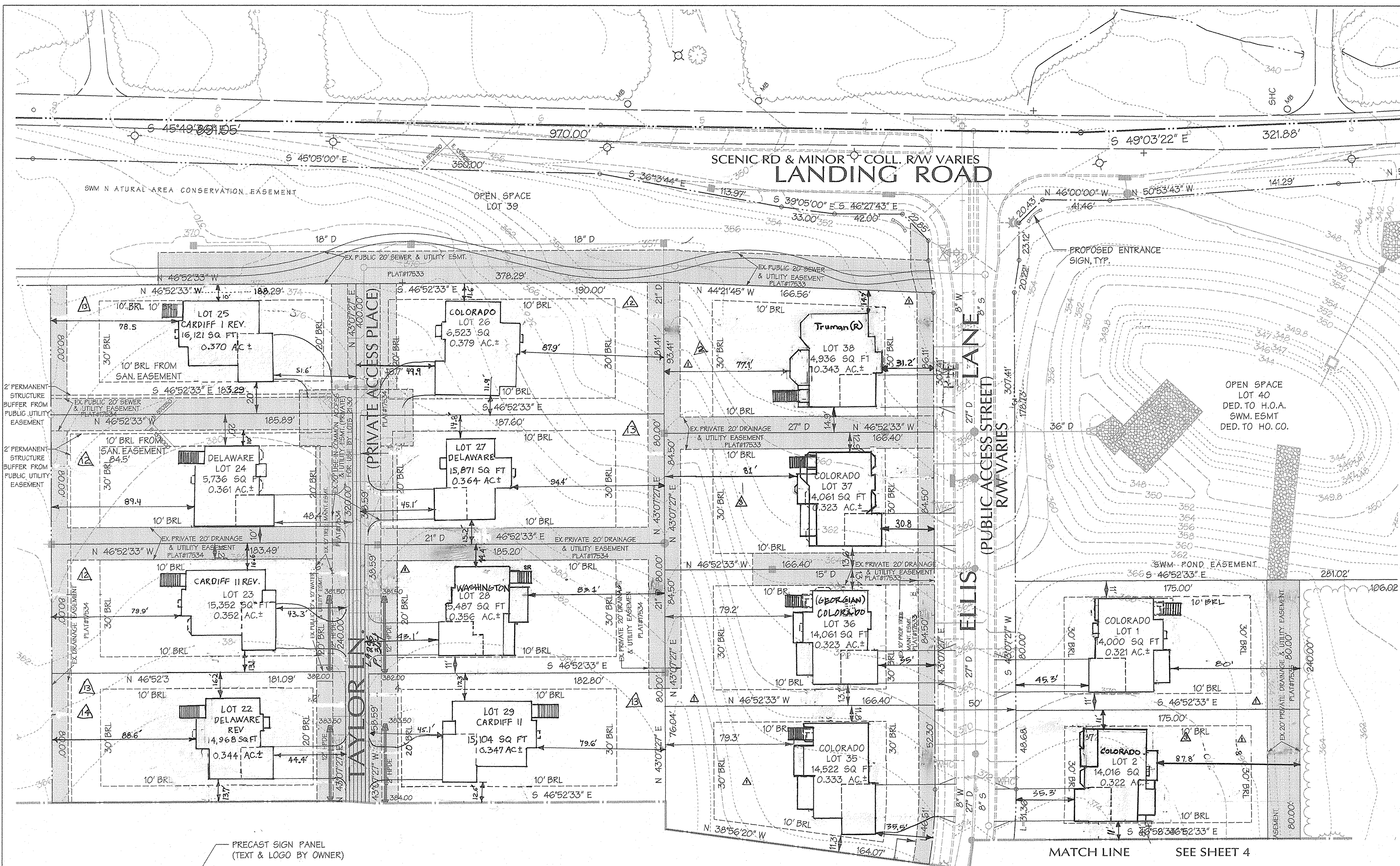
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

DATE: 4/21/05

Professional Engr. No. 10991

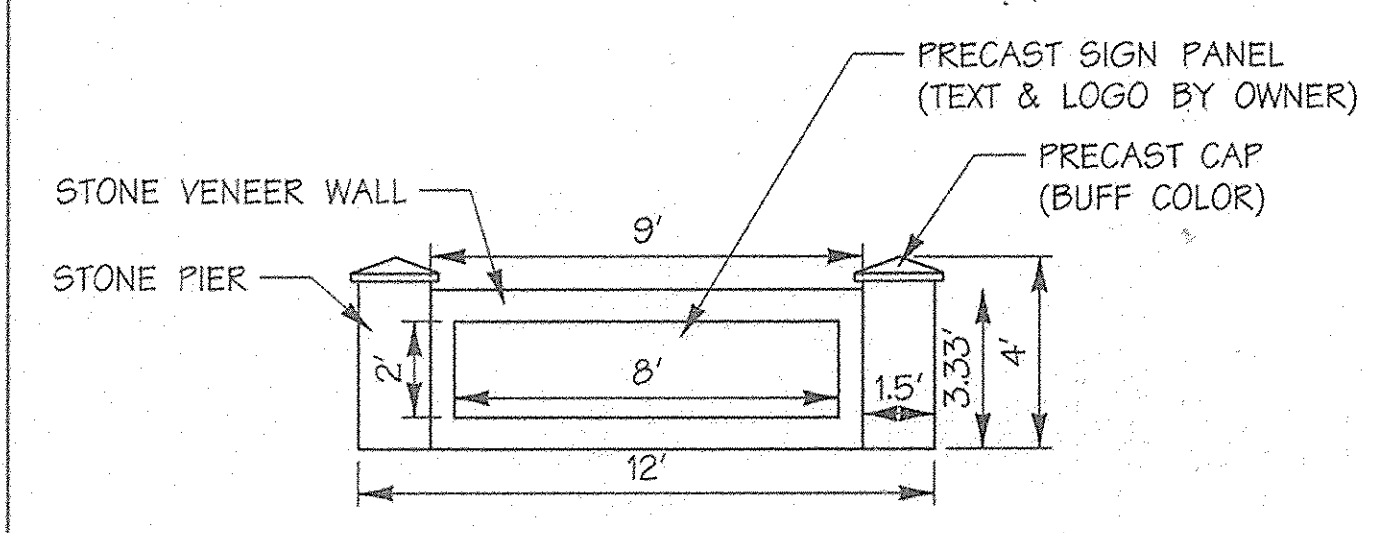
TITLE: **GRADING & LANDSCAPE PLAN**

Des. By	MJP/JLT	Scale	1"=30'	Proj. No.	01086.82
Drn. By	KDE/JLT	Date	4/21/05	6 of 13	
Chk. By	Approved	SDP-05-136			



LEGEND

- EXISTING CONTOUR
- EXISTING TREELINE
- PROPOSED TREELINE
- 15" D EX. 12" WATER
- 10" RCP EXISTING WATER
- EX. 8" SEWER
- EXISTING SEWER



ENTRANCE SIGN DETAIL
SCALE: 1/4"=1'

DATE	NO.	REVISION DESCRIPTION
6-19-07	14	Rev. Lot 22
4-2-07	13	Rev. Lots 22, 25, 27, 29
3-6-07	12	Rev. Lots 23, 24 + 26
3-24-06	11	REV. LOTS 2, 27
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING		
[Signature]		9/21/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE
[Signature]		10/10/05
CHIEF, DIVISION OF LAND DEVELOPMENT		DATE
[Signature]		10/24/05
DIRECTOR		DATE
1/23/06	10	Rev. Lot 38 From Colorado to Truman
2/1/06	1	Rev. lots 1, 2, 28, 29, 26, 28
DATE	NO.	REVISION DESCRIPTION

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S):
Parcel 243 Edmund Broderick et al
7720 Millstone Ct.
Ellicott City, MD 21043

Parcel 572
Zhen Owens
5016 Landing Road
Elkridge, MD 21075

DEVELOPER:
K. Hovanian Company
1802 Brightseat Road
Landover, MD 20785

DMW
Dart-McCune-Walkers, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 286-3333
Fax 286-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

SITE PLAN

Des. By	MJP/JLT	Scale	1"=30'	Proj. No.	01086.B2
Drn. By	KDE/JLT	Date	4/21/05	3 of 13	
Chk. By	[Signature]	Approved			

Professional Engr. No. 10991

SDP-05-136

ELLIS LANE
(PUBLIC ACCESS STREET)
RW VARIES

MATCH LINE
SEE SHEET 4

OPEN SPACE
LOT 41

LOT 6
EX. STONE PIT
LEVEL SPREADER
@ EL. 384
(CONSTRUCTED
UNDER F-04-029)

TRUMAN
LOT 6
14,175 SQ. FT.
0.325 AC.±
W/O

LOT 7
EX. STONE PIT
LEVEL SPREADER
@ EL. 384
(CONSTRUCTED
UNDER F-04-029)

WASHINGTON
LOT 7
15,777 SQ. FT.
0.362 AC.±
W/O

RHODE ISLAND
LOT 98
16,184 SQ. FT.
0.371 AC.±

COLORADO
LOT 8
21,624 SQ. FT.
0.496 AC.±
W/O

OPEN SPACE
LOT 42
(DEDICATED TO
HOWARD COUNTY)

LOT 9
EX. STONE PIT
LEVEL SPREADER
@ EL. 384
(CONSTRUCTED
UNDER F-04-029)

COLORADO
LOT 9
15,547 SQ. FT.
0.357 AC.±
W/O

COLORADO
LOT 11
14,896 SQ. FT.
0.342 AC.±
W/O

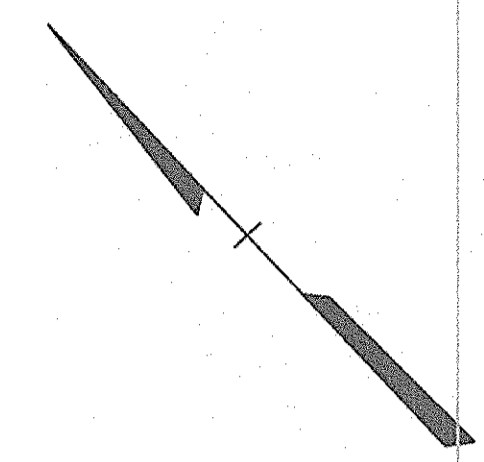
TRUMAN
LOT 10
15,841 SQ. FT.
0.364 AC.±
W/O

BRAEMAR
LOT 12
10,684 SQ. FT.
0.243 AC.±

LOT 11
EX. S.P.L.S.
EL. 383
(CONSTRUCTED
UNDER F-04-029)

LOT 10
EX. S.P.L.S.
EL. 381
(CONSTRUCTED
UNDER F-04-029)

(PROPOSED)
GLYNCHGSTER FARMS
ZONE R-20
F-02-05



LEGEND

- 34.0 --- EXISTING CONTOUR
- 34.0 --- PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- 18" D EX. 12" WATER EXISTING WATER
- 18" RCCP EXISTING STORM DRAIN
- EX. 8" SEWER EXISTING SEWER

3-6-07	12	Rev. Lot 13
12-5-04	9	Revise Lot 6
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING		
CHIEF, DEVELOPMENT ENGINEERING DIVISION		9/2/05
CHIEF, DIVISION OF LAND DEVELOPMENT		10/17/04
DIRECTOR		11/1/05
11-14-06	8	Change Lot 14 to Lot 98
10-18-04	7	Rev Lot 14 + Ellis Ln. Row
8-22-06	6	Rev. Lots 6, 7, 8, 9, 10, 11, 12
Date	No.	Revision Description

SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41

OWNER(S):
Parcel 243 Edmund Broderick et al
7720 Millstone Ct.
Ellicott City, MD 21043

Parcel 572
Zhen Owens
5016 Landing Road
Elkridge, MD 21075

DEVELOPER:
K. Hovanian Company
1802 Brightseat Road
Landover, MD 20785

DMW
Duff McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3233
Fax 296-4705

A Team of Land Planners,
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Engineers, Surveyors &
Environmental Professionals

Professional Engr. No. 10571

DATE

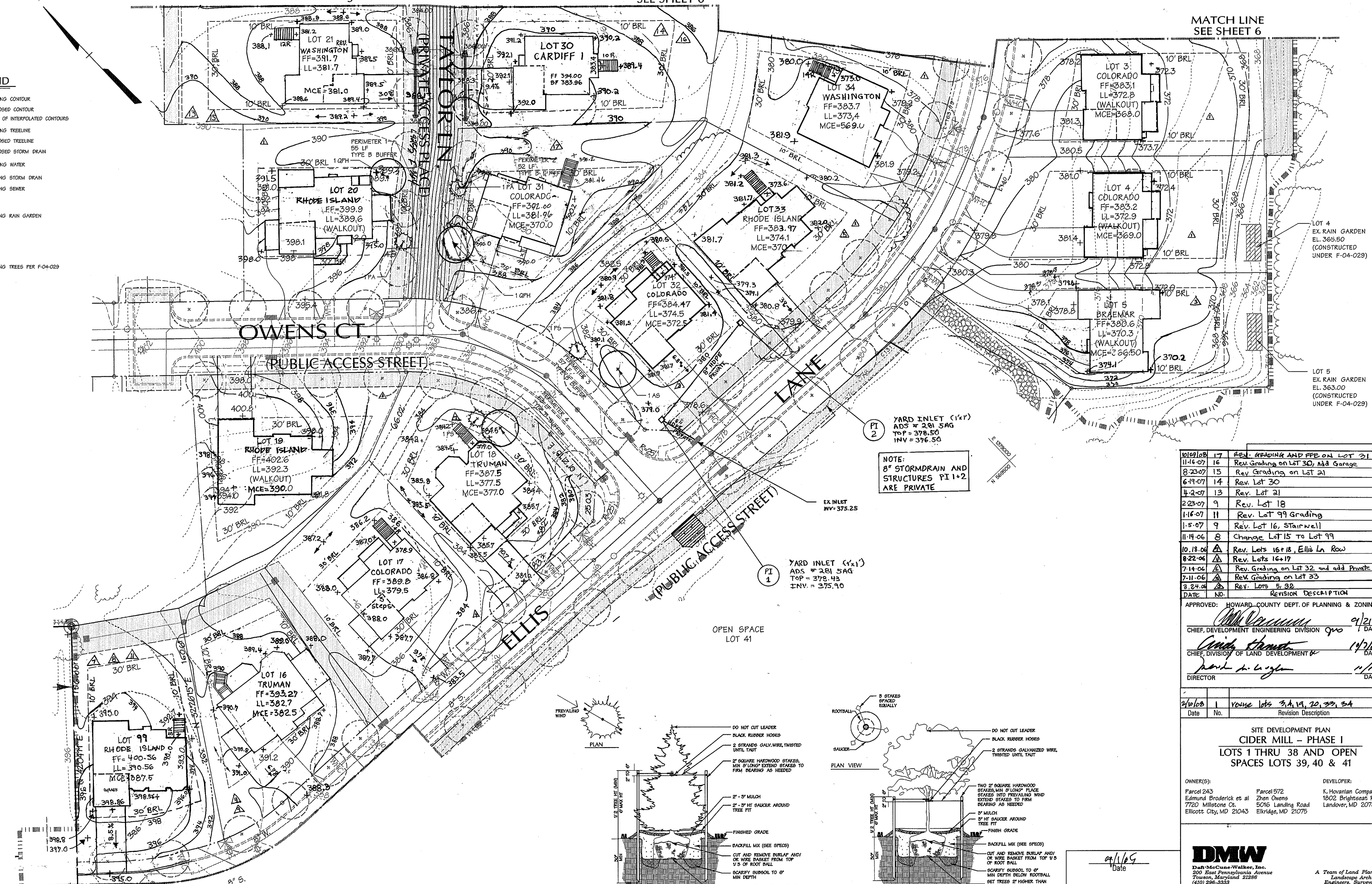
TITLE SITE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Drn. By	KDE/JLT	Date	4/21/05
Proj. No.	01086.B2		
Chk. By	Approved	5 of 13	

MATCH LINE
SEE SHEET 6

MATCH LINE
SEE SHEET 6

LEGEND

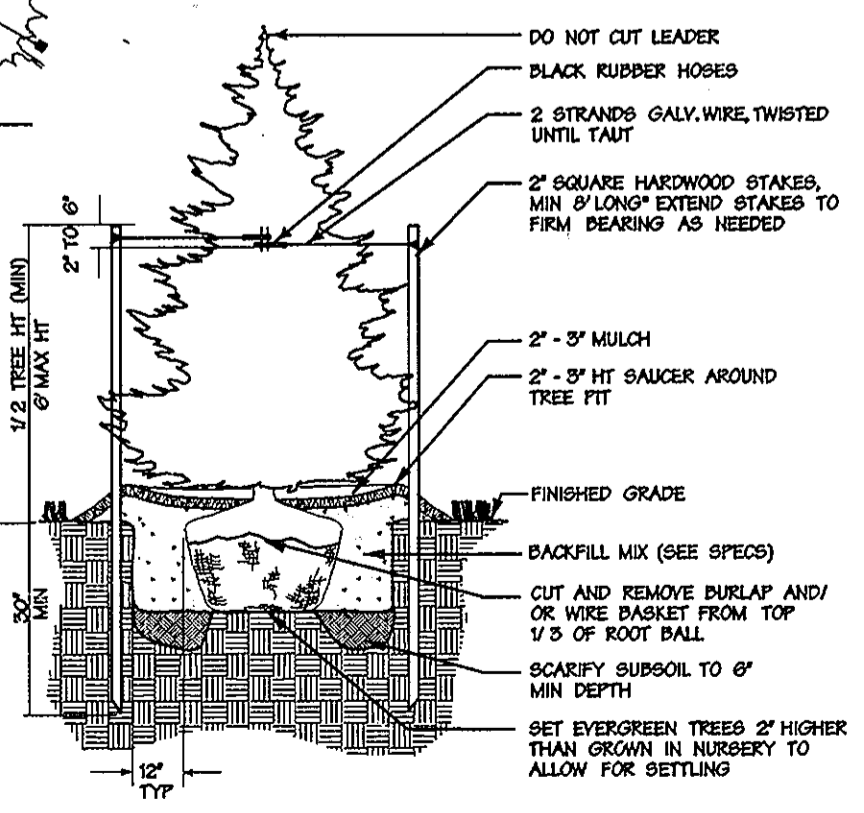
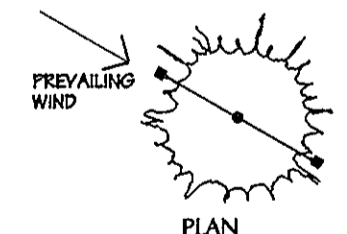
- 340 --- EXISTING CONTOUR
- - - 340 - - - PROPOSED CONTOUR
- AREA OF INTERPOLATED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- 15" D PROPOSED STORM DRAIN
- EX 12" WATER EXISTING WATER
- 18" KOOP EXISTING STORM DRAIN
- EX 8" SEWER EXISTING SEWER
- EXISTING RAIN GARDEN
- EXISTING TREES PER F-04-029



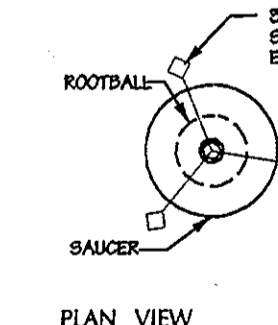
NOTE:
8" STORM DRAIN AND
STRUCTURES PI 1+2
ARE PRIVATE

YARD INLET (1x1)
ADS # 281.54G
TOP = 378.42
INV. = 375.90

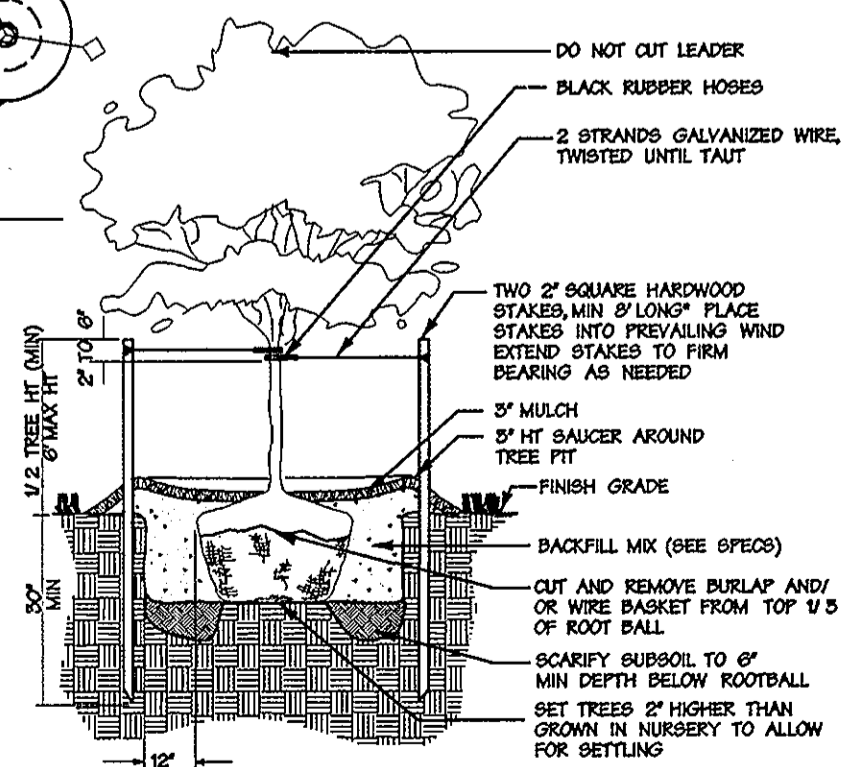
OPEN SPACE
LOT 41



Evergreen Tree Planting
Not To Scale



PLAN VIEW



Less Than 3" Cal. Tree Planting
Not To Scale

DATE	NO.	REVISION DESCRIPTION
10/29/08	17	REV. GRADING AND FEE ON LOT 21
11-15-07	16	Rev. Grading on Lot 30, Add Garage
8-23-07	15	Rev. Grading on Lot 21
6-19-07	14	Rev. Lot 30
4-2-07	13	Rev. Lot 21
2-23-07	9	Rev. Lot 18
1-16-07	11	Rev. Lot 99 Grading
1-5-07	9	Rev. Lot 16, Stairwell
11-14-06	8	Change Lot 15 to Lot 99
10-18-06	7	Rev. Lots 16+17, Ellis Ln Row
8-22-06	6	Rev. Lots 16+17
7-14-06	5	Rev. Grading on Lot 32 and add Private Drain
7-11-06	4	Rev. Grading on Lot 33
3-24-06	3	Rev. Lots 5, 32

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 [Signature] 9/21/05 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION gvo
 [Signature] 11/21/05 DATE
 CHIEF DIVISION OF LAND DEVELOPMENT
 [Signature] 11/21/05 DATE
 DIRECTOR

DATE	NO.	REVISION DESCRIPTION
9/10/08	1	Revise lots 34, 19, 20, 33, 34

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043
 Parcel 572 Zhen Owens 5016 Landing Road Elkridge, MD 21075
 DEVELOPER: K. Hovanian Company 1802 Brightseat Road Landover, MD 20785

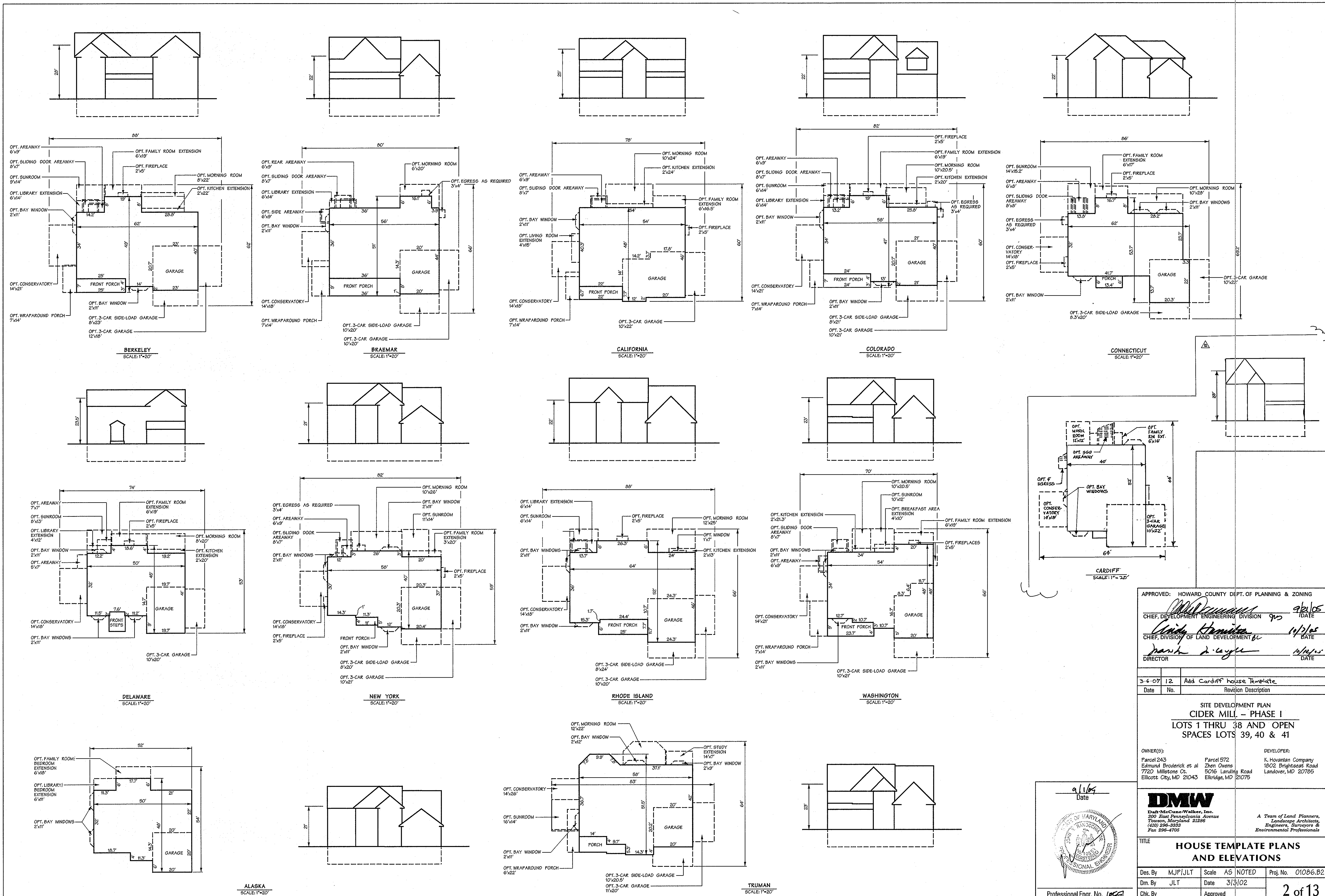
DMW
 Daft-McCune-Walker, Inc.
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax 296-4700
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

9/1/09 Date
 [Professional Engineer Seal]
 Professional Engr. No. 0597

TITLE			
GRADING & LANDSCAPE PLAN			
Des. By	MJP/JLT	Scale	1"=30'
Dim. By	KDE/JLT	Date	4/21/05
Chk. By	Approved	Proj. No.	01086.B2
			7 of 13

MATCH LINE
SEE SHEET 8

15" D.
L.O.D.I.
N.



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 9/2/05 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 11/2/05 DATE

DIRECTOR *[Signature]* 11/11/05 DATE

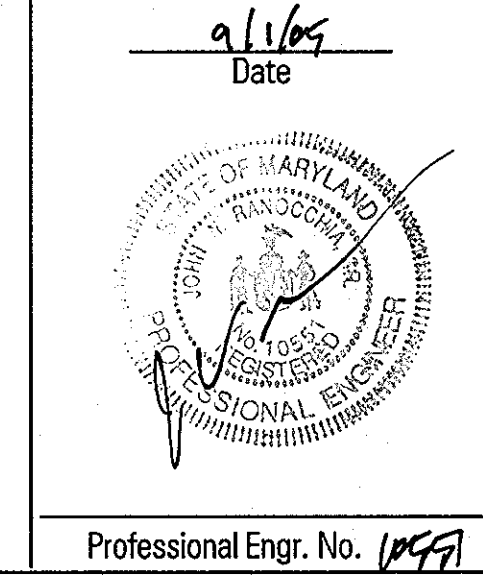
3-6-07	12	Add Cardiff house template
Date	No.	Revision Description

**SITE DEVELOPMENT PLAN
CIDER MILL - PHASE I
LOTS 1 THRU 38 AND OPEN
SPACES LOTS 39, 40 & 41**

OWNER(S): Parcel 243 Edmund Broderick et al 7720 Millstone Ct. Ellicott City, MD 21043

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Environmental Professionals

HOUSE TEMPLATE PLANS AND ELEVATIONS			
Des. By	MJP/JLT	Scale	AS NOTED
Dm. By	JLT	Date	3/3/02
Chk. By	Approved	Proj. No.	01086.B2
			2 of 13

10/20/06/01086.B2 plan sheet/01086.B2/06