

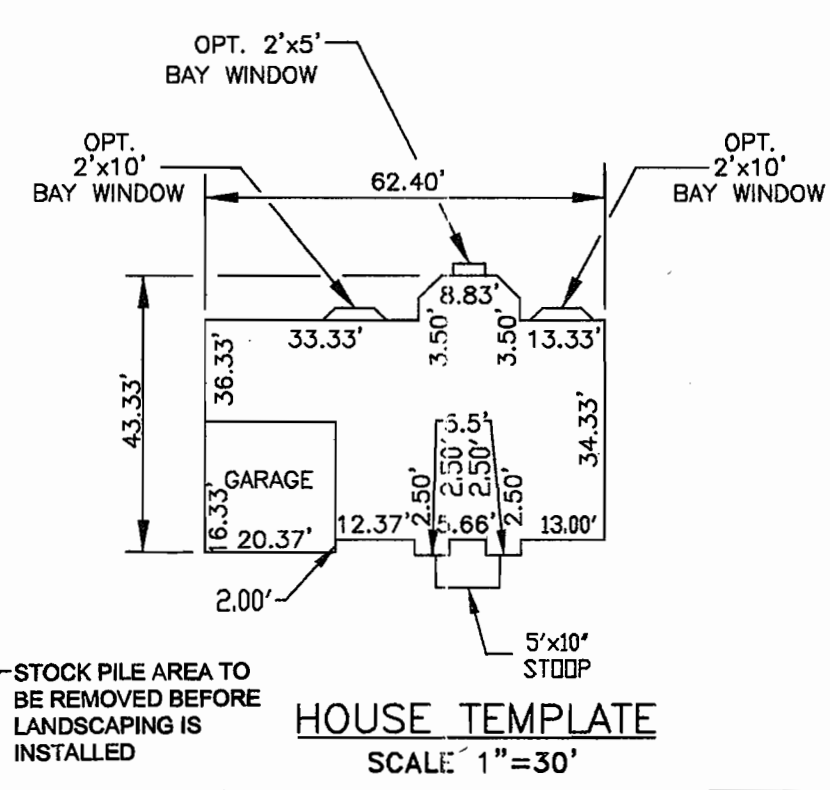
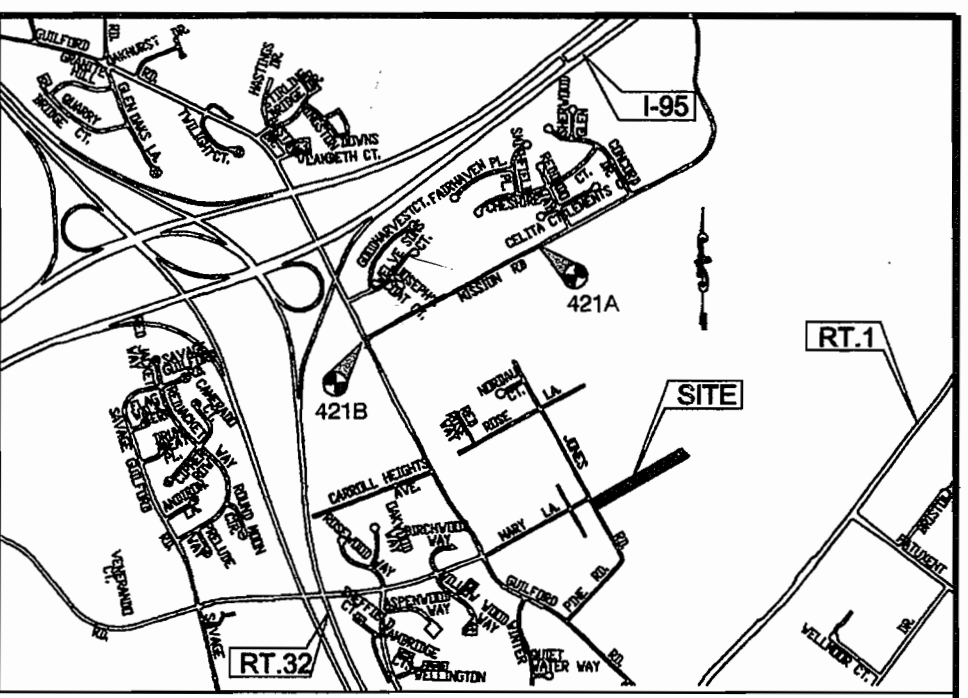
SOIL LEGEND		
SYMBOL	NAME/DESCRIPTION	SOIL GROUP
BeC2	BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	C
CID2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
CIE2	CHILLUM GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES, MODERATELY ERODED	C
SIC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
SSE	SASSAFRAS LOAM, 10 TO 45 PERCENT SLOPES	B

SITE ANALYSIS DATA CHART

- A. TOTAL PROJECT AREA: 1.72 ACRES ±
- B. AREA OF PLAN SUBMISSION: 1.72 ACRES ±
- C. LIMIT OF DISTURBED AREA: 0.95 ACRES ±
- D. SUBJECT PROPERTY ZONED R-12 PER 2/2/04 COMPREHENSIVE ZONING PLAN
- E. PROPOSED USES FOR SITE & STRUCTURES: SINGLE FAMILY DETACHED
- F. FLOOR SPACE ON EACH LEVEL OF BUILDING(S) PER USE: SEE HOUSE TEMPLATES THIS SHEET
- G. TOTAL NUMBER OF UNITS ALLOWED: 1
- H. TOTAL NUMBER OF UNITS PROPOSED: 1
- I. OPEN SPACE ON SITE 0.39 AC. (LOT 10) AND 13.0% OF GROSS AREA
- J. PROPOSED BUILDING COVERAGE OF SITE: 0.05 ACRES ±; 2.9% OF GROSS LOT AREA

OWNER/DEVELOPER

MIGUEL A. CABASSA JR AND LYN MYRICK CABASSA
 8001 JONES ROAD
 JESSUP, MARYLAND 20794



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				
	1	2	3	4	5
PERIMETER/FLOTTAGE DESIGNATION LANDSCAPE TYPE	A	A	A	A	B
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	1038	736	98	128	20
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) REMAINING PERIMETER LENGTH	YES CREDIT 117' REMAIN 921'	YES CREDIT 616' REMAIN 120'	NO	NO	CREDIT 128' NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) REMAINING PERIMETER LENGTH	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	1:60 15	1:60 2	1:60 2	NA	0
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	1:60 15	1:60 2	1:60 2	NA	0

PLANT LIST CHART

KEY	REQUIRED QUAN.	BOTANICAL NAME	SIZE	NOTE
○	4	QUERCUS RUBRA RED OAK	2 1/2" - 3" CAL.	B & B
⊗	15	ACRER RUBRUM RED MAPLE	2 1/2" - 3" CAL.	B & B

- NOTES:**
- RELEASE OF LANDSCAPE SURETY SHALL NOT OCCUR UNTIL SUCH TIME AS ALL THE REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FINANCIAL SURETY FOR THE REQUIRED 19 (NUMBER) OF TREES IN THE AMOUNT OF \$5700 SHALL BE POSTED AS PART OF THE BUILDER'S GRADING PERMIT APPLICATION.
 - AT THE TIME OF THE INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF ZONING AND PLANNING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
 - THE OWNER, TENANT, AND/OR OTHER AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES, AND WALLS PROVIDED UNDER THIS PLAN. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
 - NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.

BENCH MARKS

	NORTHING	EASTING	ELEV
DCI-200	540527.9602	1365037.6358	281.86
DCI-201	540852.0889	1365684.3470	283.36

ADDRESS CHART

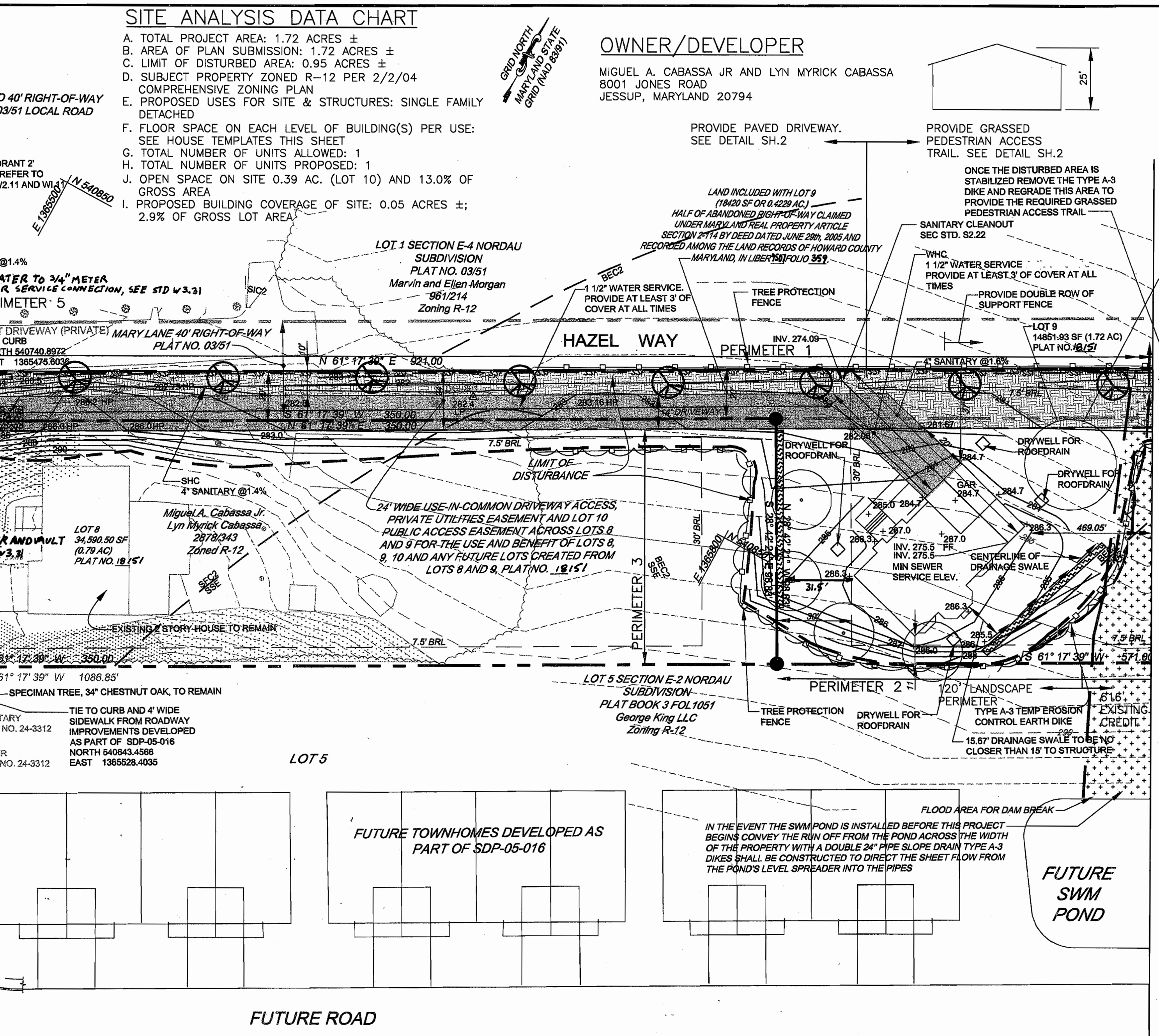
LOT	ADDRESS
LOT 9	7915 HAZEL WAY

LEGEND

- POUND BREAK FLOOD AREA
- ACCESS EASEMENT
- PUBLIC UTILITY EASEMENT (WATER)
- FOREST CONSER. EASEMENT
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SPOT ELEVATION
- DIRECTION OF THE FLOW
- EXISTING TREES TO REMAIN
- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- FOREST CONSERVATION SIGN (PROVIDED UNDER F-05-159)
- SLOPES >= 25%
- SLOPES >= 15% TO 25%
- TREE PROTECTION FENCE

GENERAL NOTES

- COORDINATES BASED ON NAD '83 (ADJUSTED 1991) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NO. 421B AND 421A.
421B N 542,366.914 E 1,363,075.97
421A N 543,390.415 E 1,364,912.66
- THIS PLAN IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY DANIEL CONSULTANTS, JANUARY 2005
- BRL DENOTES BUILDING RESTRICTION LINE
- DENOTES IRON PIN W/CAP SET
- ⊙ DENOTES IRON PIPE OR IRON BAR FOUND.
- ⊕ DENOTES ANGULAR CHANGE IN BEARING OF BOUNDARY OR RIGHTS-OF-WAY
- DENOTES STONE OR MONUMENT FOUND.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
A) WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - SIX(6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM);
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS;
D) STRUCTURES (BRIDGES/CULVERTS) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING)
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEARS FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
F) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- QUALITY STORMWATER MANAGEMENT REQUIREMENTS ARE MET BY APPLY THE ROOFTOP DISCONNECTION CREDIT AND GRASS SWALE CREDIT. DRYWELLS ARE BEING PROVIDED.
- NO GRADING REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN THE LIMIT OF FOREST CONSERVATION EASEMENT AREA.
- ACCESS TO WATER AND SEWER HAS BEEN PROVIDED UNDER PUBLIC SEWER AND WATER (CONTRACT NO. 24-3312).
- ALL AREAS ARE MORE OR LESS.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN FOREST CONSERVATION EASEMENT.
- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE RETENTION OF 0.386 ACRES OF ON-SITE EXISTING FOREST AND BY PAYMENT OF A FEE IN LIEU IN THE AMOUNT OF \$11,979.00 TO COMPENSATE FOR THE REMAINING 0.55 ACRES OF REFORESTATION/RETENTION OBLIGATION NOT PROVIDED ON-SITE. THE TOTAL FOREST CONSERVATION OBLIGATION FOR THIS SUBDIVISION IS 0.936 ACRES AS PROVIDED FOR UNDER F-05-159. A FOREST CONSERVATION FINANCIAL SURETY IN THE AMOUNT OF \$ 8414.00 FOR 0.386 ACRES OF ON-SITE FOREST RETENTION WAS PAID.
- THERE IS AN EXISTING DWELLING/STRUCTURE LOCATED ON LOT 8 TO REMAIN. NO NEW BUILDING, EXTENSIONS OR ADDITIONS TO THE EXISTING DWELLING ARE TO BE CONSTRUCTED AT A DISTANT LESS THAN THE ZONING REGULATION REQUIRE.
- BASED ON A FIELD INVESTIGATION BY DANIEL CONSULTANTS, THERE ARE NO FLOODPLAINS, WETLANDS OR STREAMS ONSITE.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND ROAD RIGHT-OF-WAY LINE ONLY AND NOT ONTO THE FLAG OR PIPESTEM LOT DRIVEWAY.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS ON THIS PROPERTY.
- OPEN SPACE LOT 10 SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- A MAINTENANCE AGREEMENT FOR THE SHARED DRIVEWAY SERVING LOT 9 AND OPEN SPACE LOT 10 AND THE LOTS CREATED WITH THE FUTURE SUBDIVISION OF LOTS 8 AND 9 HAS BEEN RECORDED SIMULTANEOUS WITH RECORD PLAT 18151 IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND - LIBER 9507, FOLIO 382.



Scale: 1" = 30'

- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY INCURRED DUE TO THE CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY TO THE CONTRACTORS EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKING AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- ALL THE OUTDOOR LIGHTING FOR THIS SUBDIVISION SHALL BE IN ACCORDANCE WITH SECTION 134 OF THE ZONING REGULATIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE HOUSE/GARAGE WILL BE SITED ON THE LOT SO THAT A CAR, IF PARKED IN THE DRIVEWAY, WILL NOT OVERHANG INTO THE PRIVATE ACCESS DRIVEWAY (18" MINIMUM CLEARANCE).
- DUE TO ORIENTATION OF HOUSE ON LOT 9, ANY ADDITION OF A PORCH OR DECK CANNOT ENCRROACH INTO 7.5' SIDE BRL.
- PROVIDE A SHEET METAL STREET SIGN MOUNTED ON A METAL POLE IDENTIFYING THIS ACCESS TO BE "HAZEL WAY". SIGN SHALL MATCH THE STYLE OF OTHER STREET SIGNS IN THE AREA.

SHEET INDEX

SHEET #	SHEET TITLE
1	PLAN
2	PLAN
3	E & S CONTROL NOTES
4	DETAILS

DEVELOPER'S BUILDER'S CERTIFICATE

I CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE "HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANTS MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of the Developer: *Miguel Cabassa* DATE: *9/25/06*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *John M. ...* DATE: *9/25/06*
 Chief, Division of Land Development: *...* DATE: *9/25/06*
 Director: *...* DATE: *9/25/06*

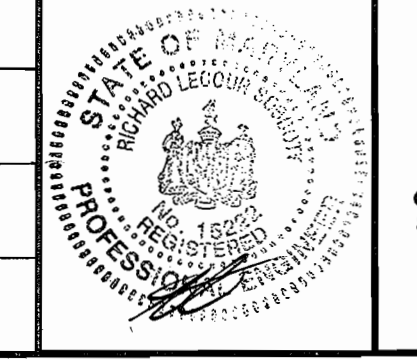
REVIEW FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 User-Natural Resource Conservation Service: *Jim Myrck* DATE: *9/25/06*
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 Signature of Engineer: *...* DATE: *9/25/06*

ENGINEERS CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature of Engineer: *...* DATE: *9/25/06*

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature of the Developer: *...* DATE: *9/25/06*

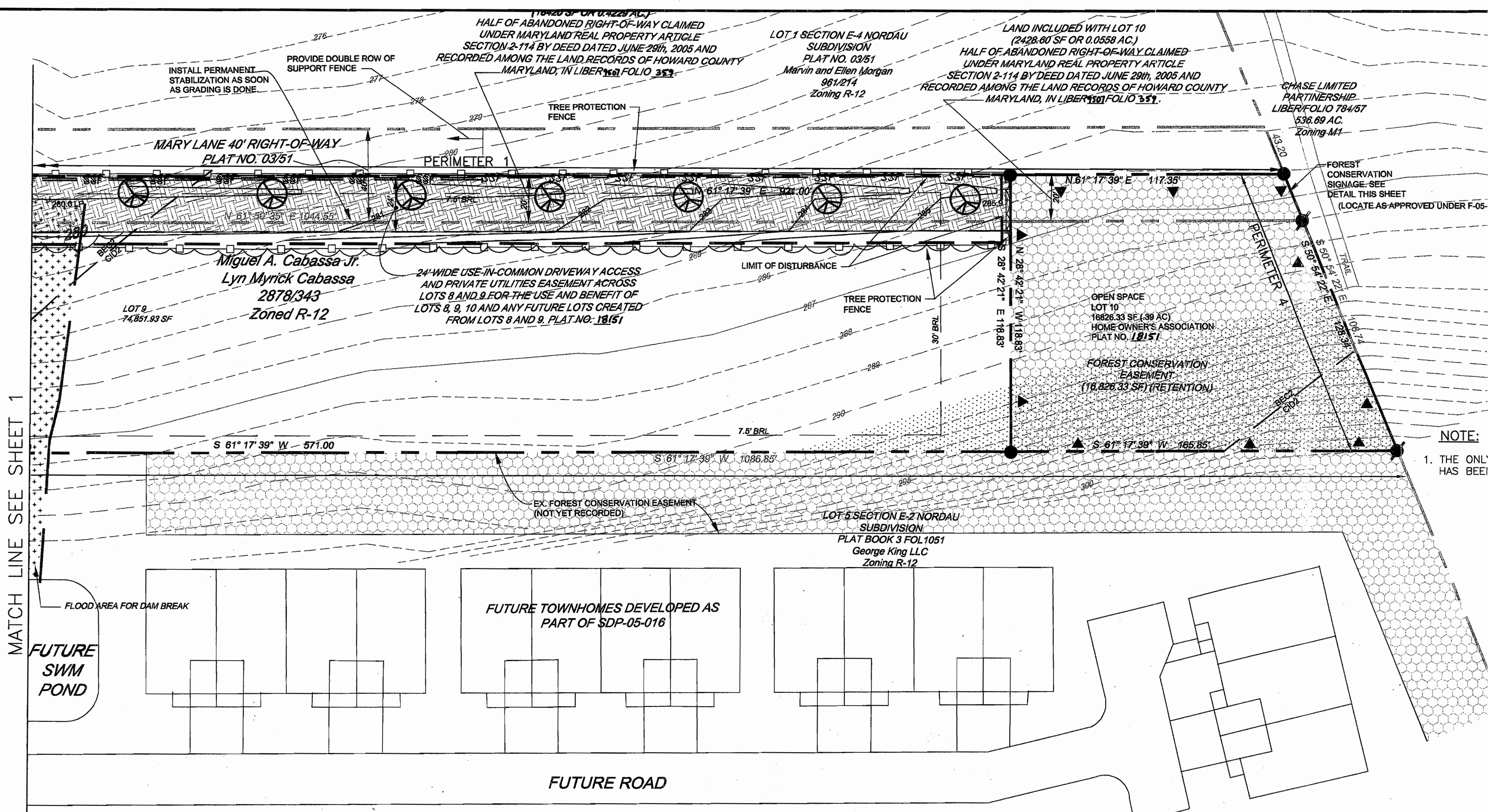
PERMIT INFORMATION CHART

Subdivision Name	Section/Area	Lot No.
NORDAU	E2	9
Plat #	Grid	Zoning
18151	24	R-12
Water Code	Tax Map No.	Elect. District
B03	42	6
Sewer Code	Census Tract	
4360000	6069.01	

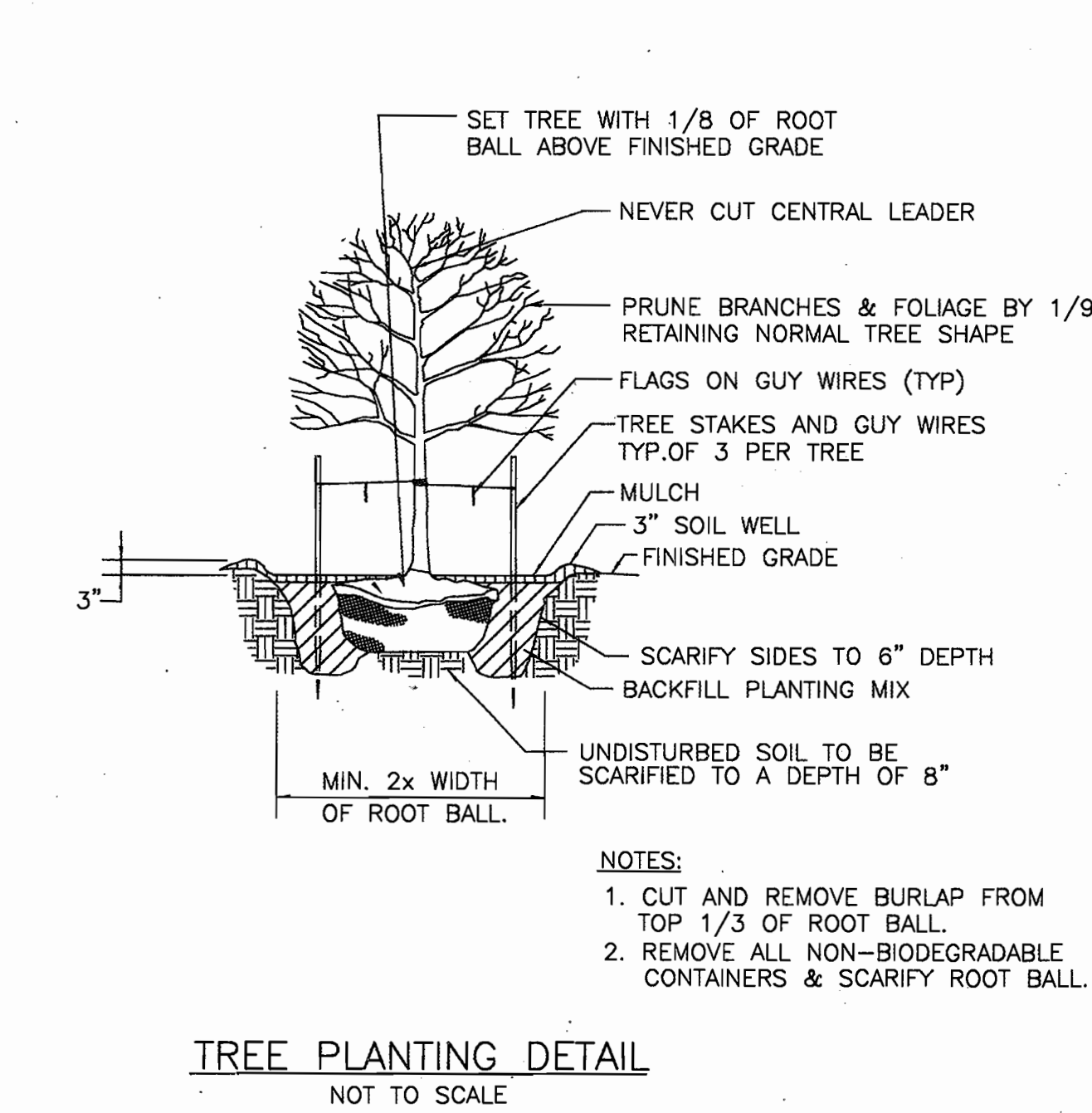
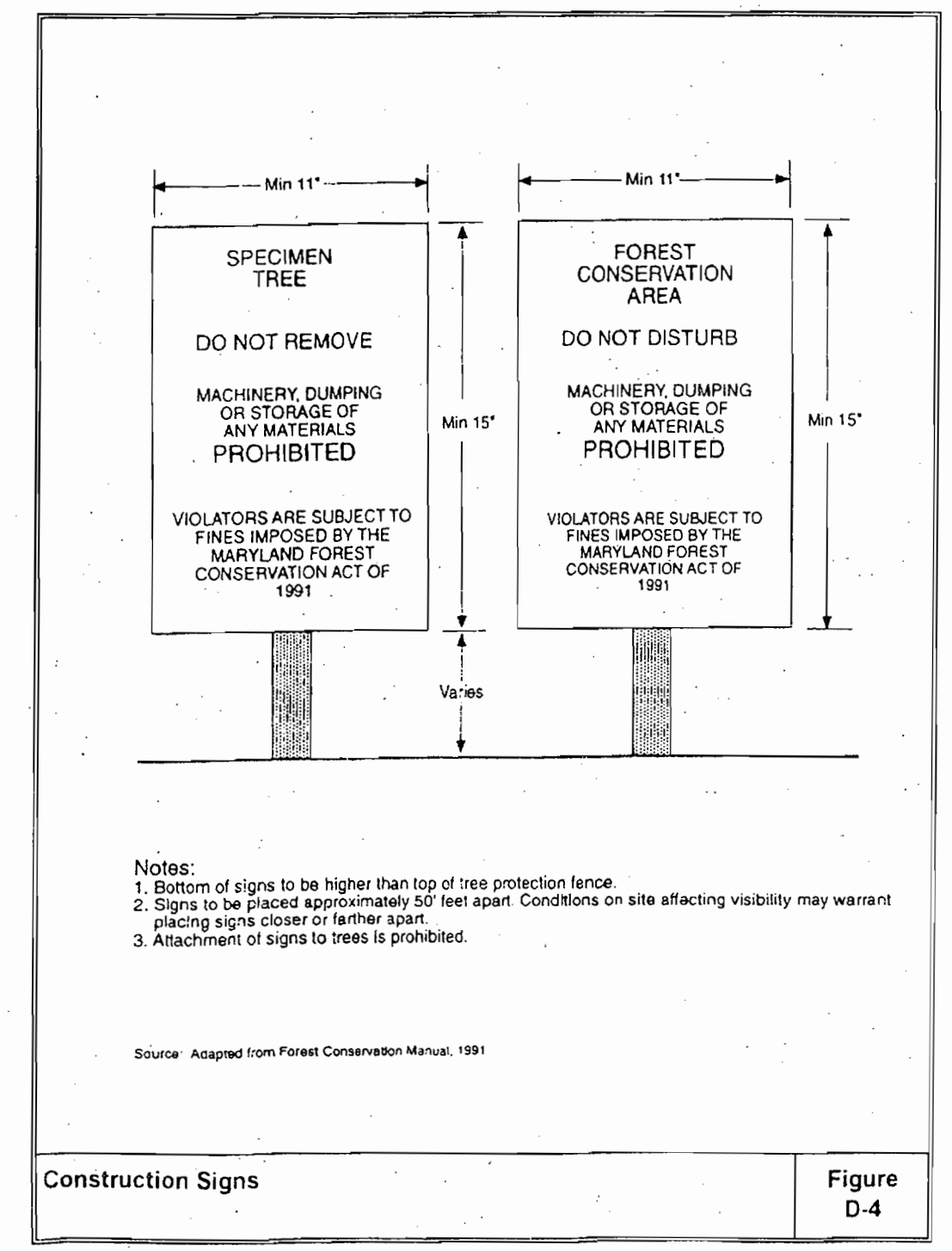


DESIGN BY: RLS
 DRAWN BY: TV
 CHECKED BY: AS SHOWN
 SCALE: 01/27/06
 W. O. No.:
 SHEET No. 1 of 4

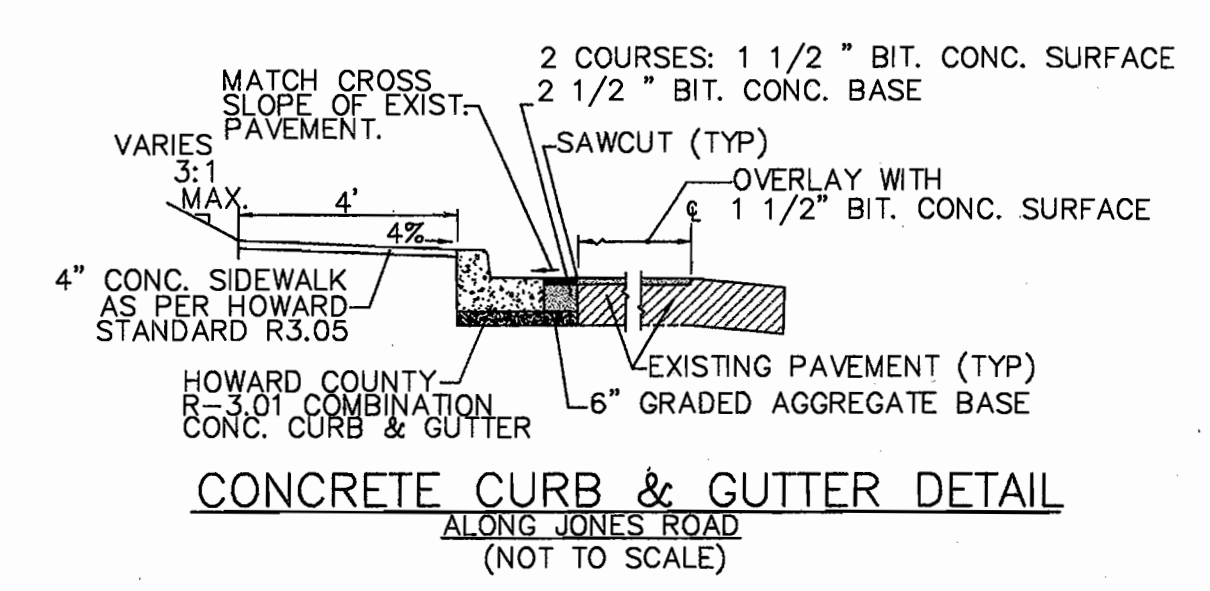
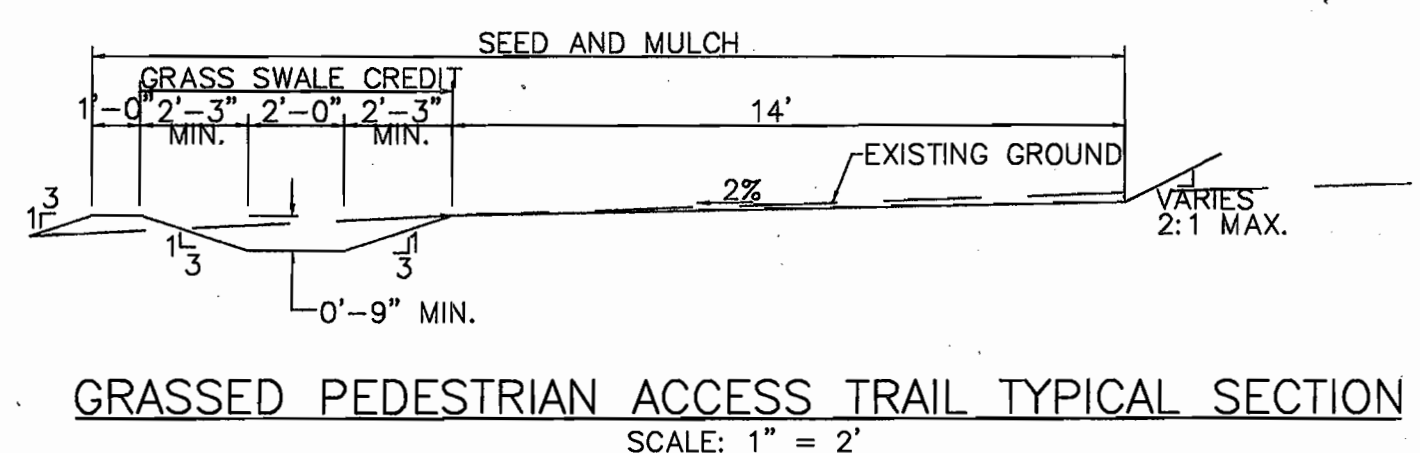
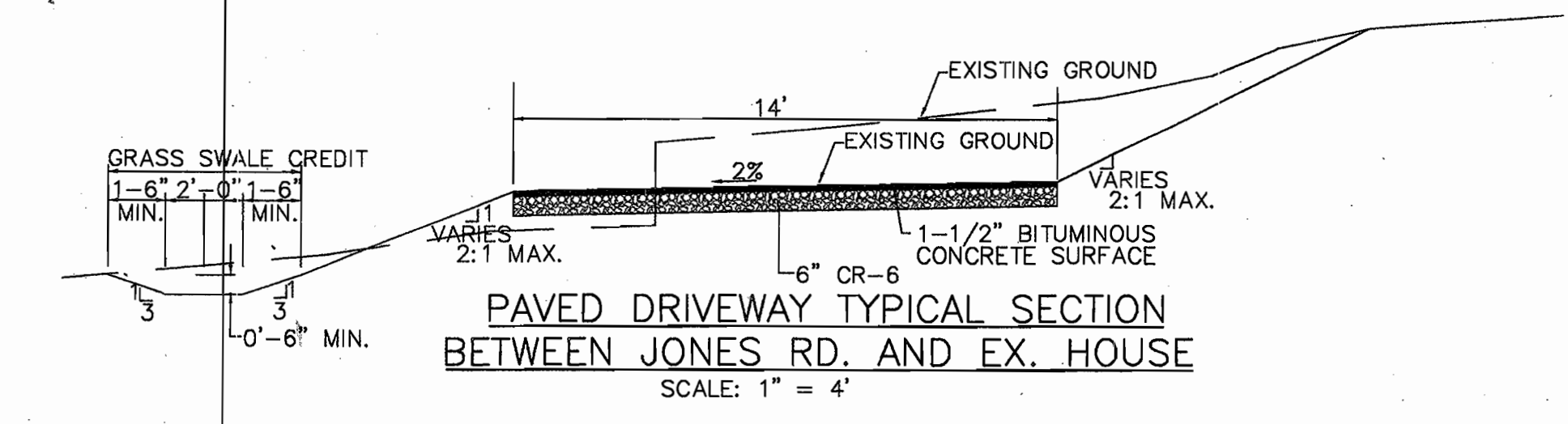
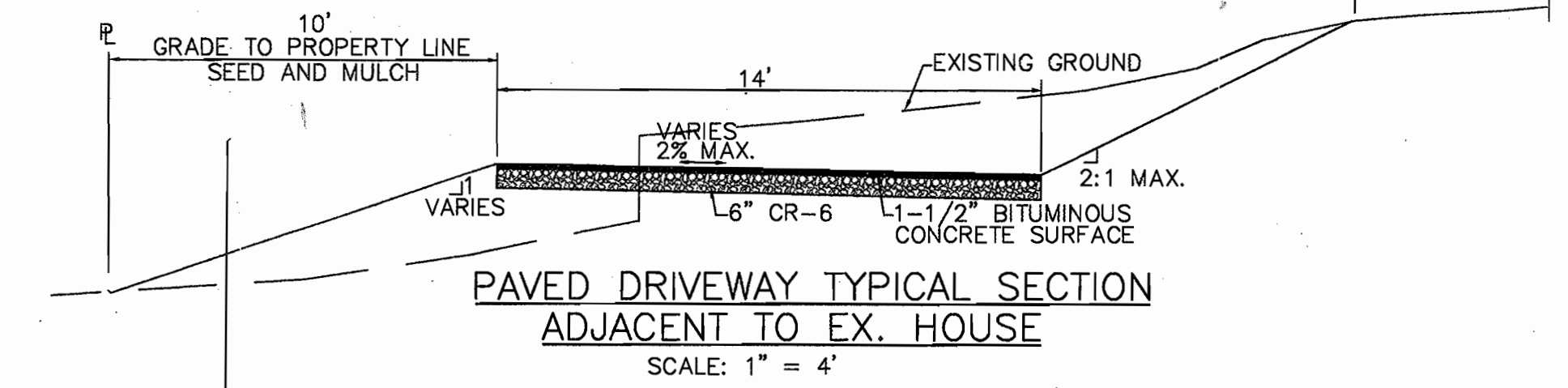
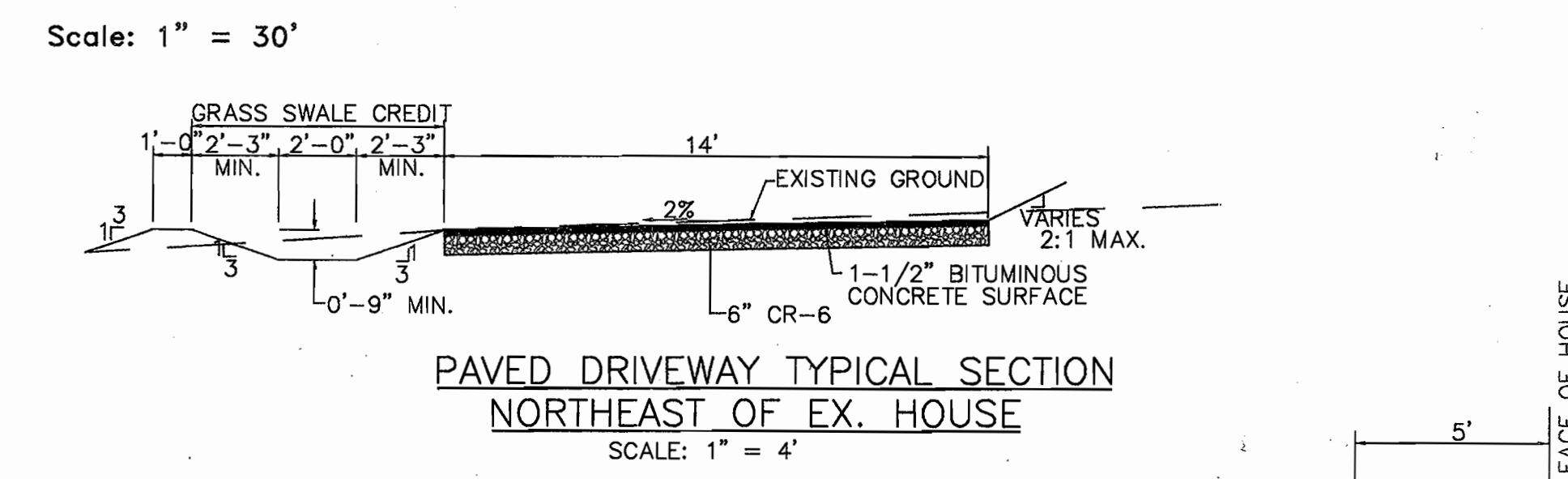
Daniel Consultants, Inc.
 CONSULTING ENGINEERING AND PLANNING
 8950 Rt. 108 E., Suite 229 Columbia, MD, 21045
 Phone: 410-995-0650 Fax: 410-992-7038



GRID NORTH
MARYLAND STATE
GRID (NAD 83)



- NOTES:
1. CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL.
 2. REMOVE ALL NON-BIODEGRADABLE CONTAINERS & SCARIFY ROOT BALL.



LANDSCAPE, SEDIMENT AND EROSION CONTROL PLAN

SDP-05-135
NORDAU SECTION E-2, LOT 9
"CABASSA PROPERTY"
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/27/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 3/28/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 3/24/06
DIRECTOR DATE

REVIEW FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

[Signature] 2/21/06
NDA-NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

[Signature] 2/21/06
HOWARD SCD DATE

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 2/6/06
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 2/25/06
SIGNATURE OF THE DEVELOPER DATE

PERMIT INFORMATION CHART

Subdivision Name	Section/Area	Lot No.
NORDAU	E2	9
Plot #	Grid	Zoning
18151	24	R-12
Water Code	Tax Map No.	Elect. District
B03	42	6
	Sewer Code	Census Tract
	4360000	6069.01



DCI
DANIEL CONSULTANTS, INC.
CONSULTING ENGINEERING AND PLANNING
8950 Rt. 108 E., Suite 229 Columbia, MD, 21045
Phone: 410-995-0890 Fax: 410-992-7038

DESIGN BY: RLS
DRAWN BY: TV
CHECKED BY: AS SHOWN
SCALE: AS SHOWN
DATE: 01/27/06
W. O. No.:
SHEET No. 2 OF 4

H:\PROJECTS\ SURVEY\ 0433501_HUNTPROPERTY

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
 SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.
 SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Harrow or disc into upper three inches of soil.
- 1) Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs/100 sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. Per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq. ft.).
- 2) Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq. ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23lbs./1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.
- SEEDING: For the period March 1 thru April 30, and August 1 thru October 15, seed within 60 lbs. per acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.94 lbs./1000 sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.
- MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.
- MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedsings.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq. ft.)

SEEDING: For the period March 1 thru April 30, and August 1 thru October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs./1000 sq. ft.). For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq. ft.). For the period November 1 thru February 28, protect the site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL

EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEDIMENT CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
- 2. All vegetation and structural practices are to be installed according to the provisions of this plan and are in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. And revisions thereto.
- 3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1.
 - (b) 14 days as to all other disturbed or graded areas on the project site.
- 4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- 5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- 7. Site Analysis:
 - Total Area ----- 0.42 Acres
 - Area Disturbed ----- 0.24 Acres
 - Area to be roofed or paved ----- 0.05 Acres
 - Area to be vegetatively stabilized ----- 0.19 Acres
 - Total Cut ----- 244 CY
 - Total Fill ----- 200 CY
 - Offsite waste/borrow area location ----- **
- 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- 9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- 10. On all sites with disturbed areas of 2 acres or more, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbances or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- 11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

* Earthwork quantities are solely for the purpose of calculating fees. Contractor to verify all quantities prior to the start of construction.
 ** To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

SEQUENCE OF CONSTRUCTION DURATION

1. OBTAIN GRADING PERMIT.
2. NOTIFY HOWARD COUNTY BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION (410-313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK
3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE FROM PROPERTY LINE ALONG JONES ROAD TO 50 FEET NORTHEAST OF THE PROPERTY LINE. **1 DAY**
4. INSTALL SUPER SILT FENCE FROM PROPERTY LINE ALONG JONES ROAD TO A POINT 915 FEET NORTHEAST OF THE PROPERTY LINE ALONG JONES ROAD. **1 DAY**
5. AFTER OBTAINING PERMISSION FROM SEDIMENT CONTROL INSPECTOR TO PROCEED ROUGH GRADE SITE FROM PROPERTY ALONG JONES ROAD TO LCCD 915 FEET AND INSTALL EROSION CONTROL MATTING. **3 DAYS**
6. INSTALL PERMENT STABILIZATION ON PEDESTRAIN ACCESS TRAIL FROM 500 FEET NORTHEAST OF PROPERTY LINE ALONG JONES ROAD TO LCCD 915 FEET NORTHEAST OF PROPERTY LINE ALONG JONES ROAD. **1 DAY**
7. CONSTRUCTION OF PRIVATE SEWER AND WATER SYSTEMS FROM PROPERTY LINE ALONG JONES ROAD TO A POINT 425 FEET NORTHEAST OF PROPERTY LINE. **1 WEEK**
8. GRADE DRIVEWAY TO SUB-BASE FROM PROPERTY LINE ALONG JONES ROAD TO A POINT 425 FEET NORTHEAST. **5 DAYS**
9. CONSTRUCT HOUSE. **90 DAYS**
10. FINALIZE SITE GRADING IN CONFORMANCE WITH THIS PLAN FROM PROPERTY LINE ALONG JONES ROAD TO A POINT 500 FEET NORTHEAST. **1 DAY**
11. INSTALL ALL LANDSCAPING. **1 DAY**
12. WITH INSPECTOR APPROVAL AND FINAL ROAD PAVING COMPLETE STABILIZE ANY REMAINING DISTURBED AREAS. **1 DAY**

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE
 To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITION WHERE PRACTICE APPLIES

1. This practice is limited to areas having 2:1 or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
 - d. The soil is so acidic that treatment with limestone is not feasible.
2. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

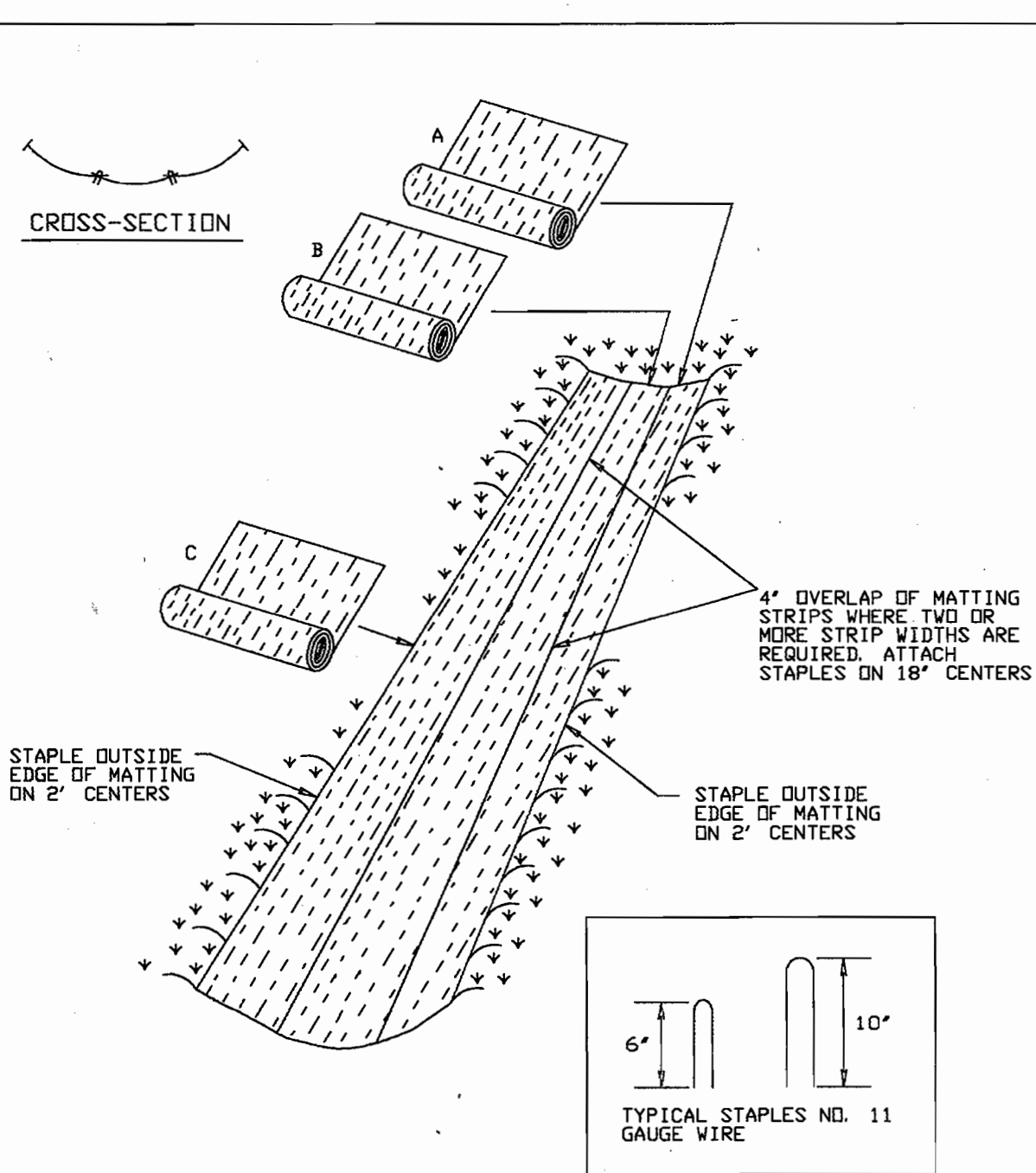
1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
2. Topsoil Specifications— Soil to be used as topsoil must meet the following:
 - i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
 - ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

- iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
3. For sites having disturbed areas under 5 acres:
 - i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization Section 1- Vegetative Stabilization Methods and materials.
4. For sites having disturbed areas over 5 acres:
 - i. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - A. PH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a PH of less than 6.0, sufficient lime shall be prescribed to raise the PH to 6.5 or higher.
 - B. Organic content of topsoil shall be not less than 1.5% by weight.
 - C. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - D. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days minimum) to permit dissipation of phytotoxic materials.
 - ii. Place topsoil (if required) and apply soil amendments specified in 20.0 vegetative stabilization—section 1- vegetative stabilization methods and materials.

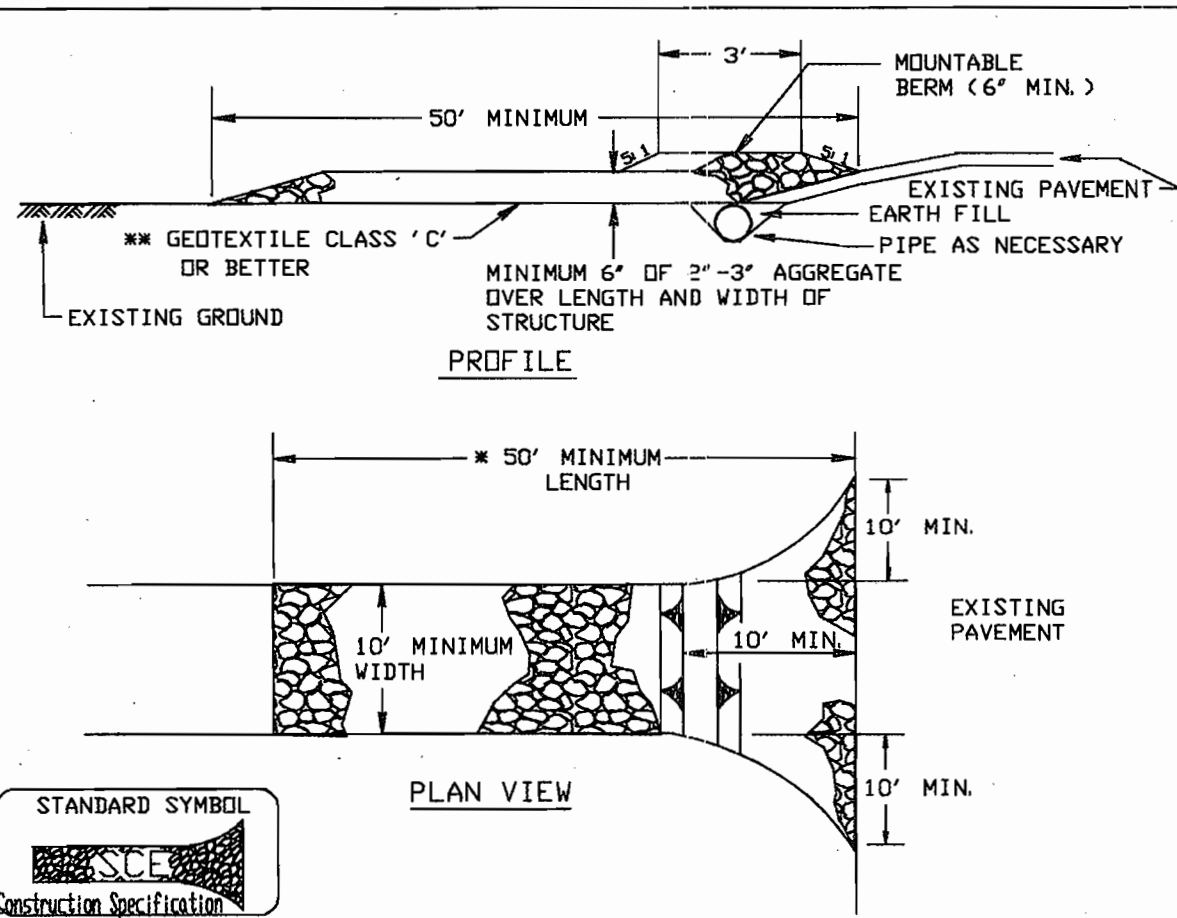
NOTE: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

5. Topsoil Application
 - i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, earth dikes, slope silt sediment traps and basins.
 - ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4"-8" higher in elevation.
 - iii. Topsoil shall be uniformly distributed in a 4"-8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in, order to prevent the formation of depressions or water pockets.
 - iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

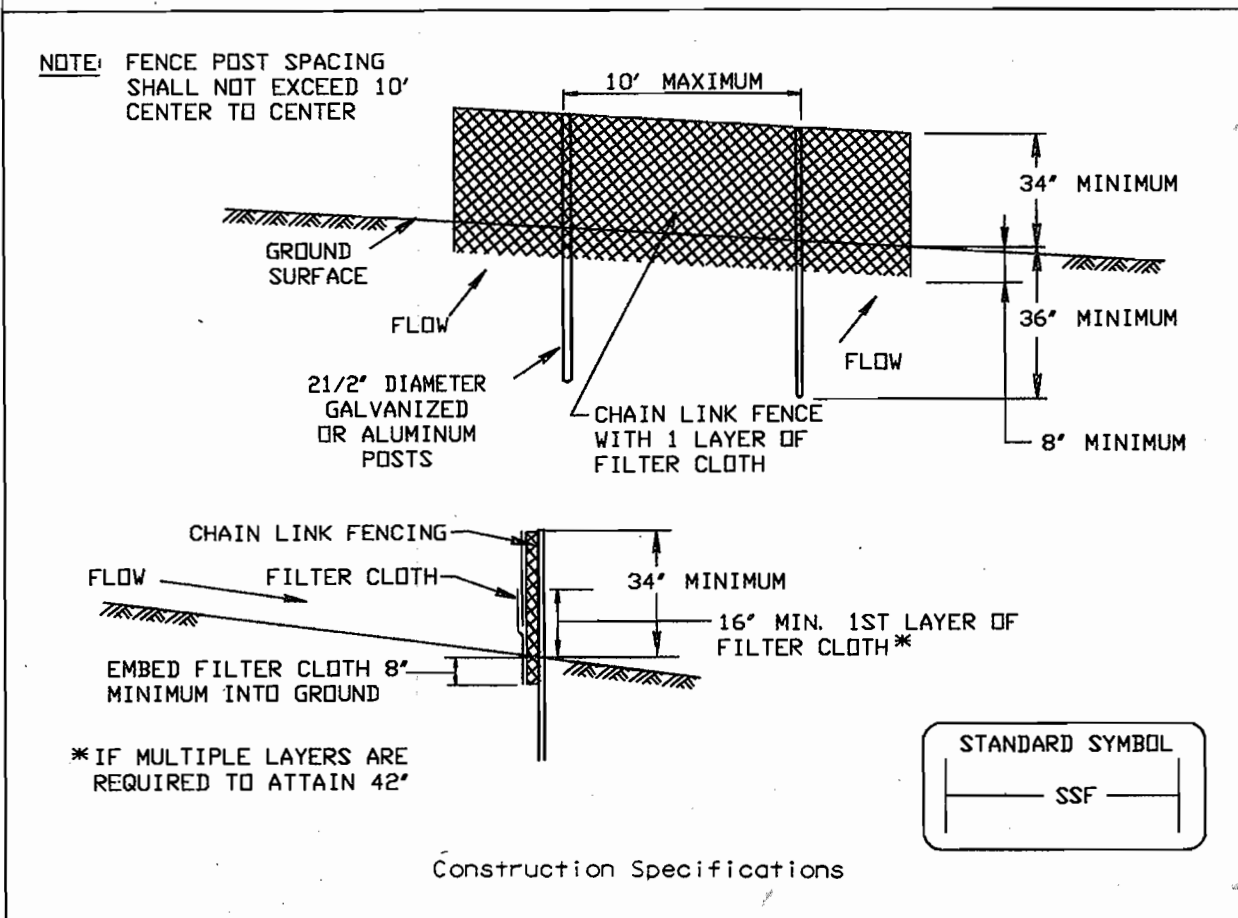
DETAIL 30 - EROSION CONTROL MATTING



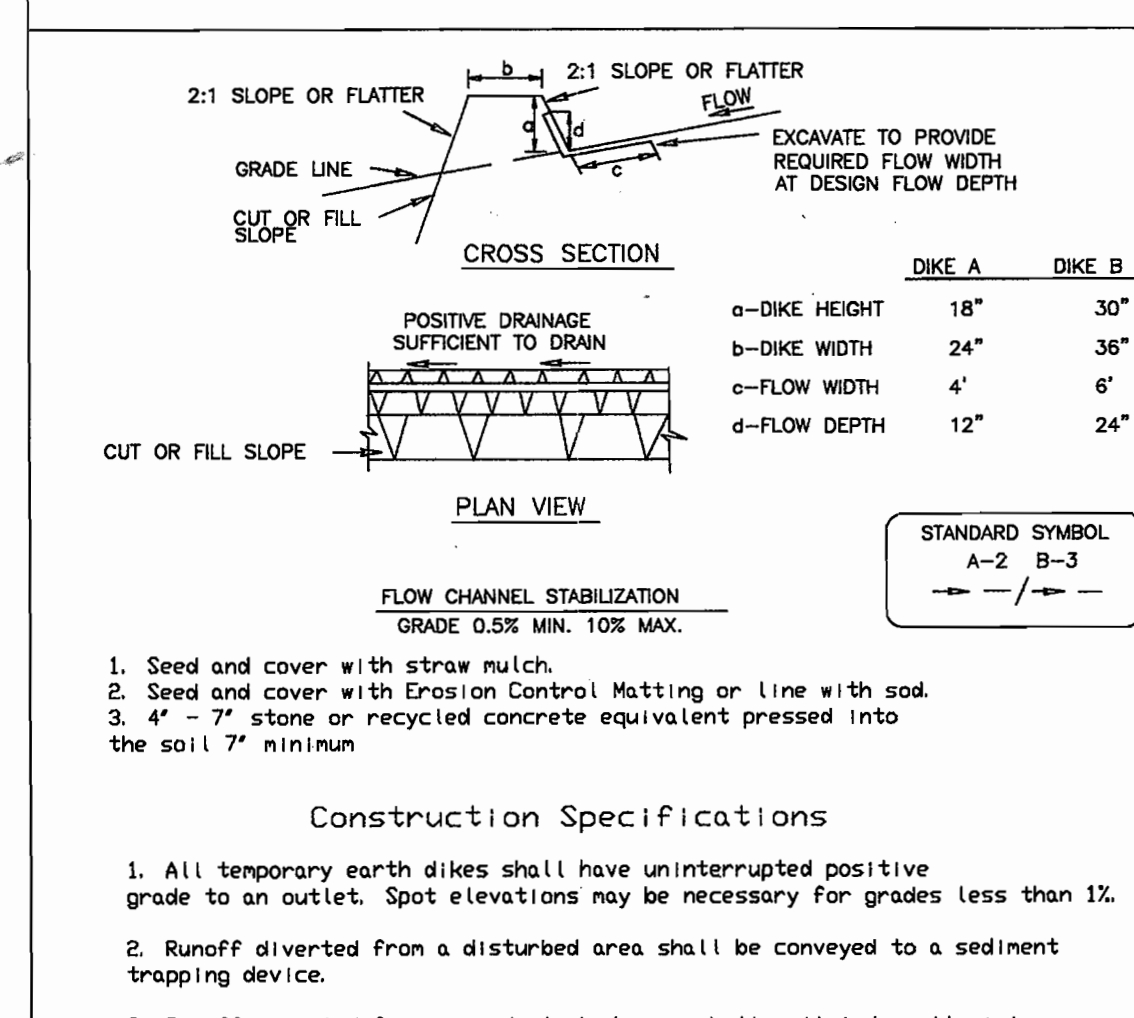
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



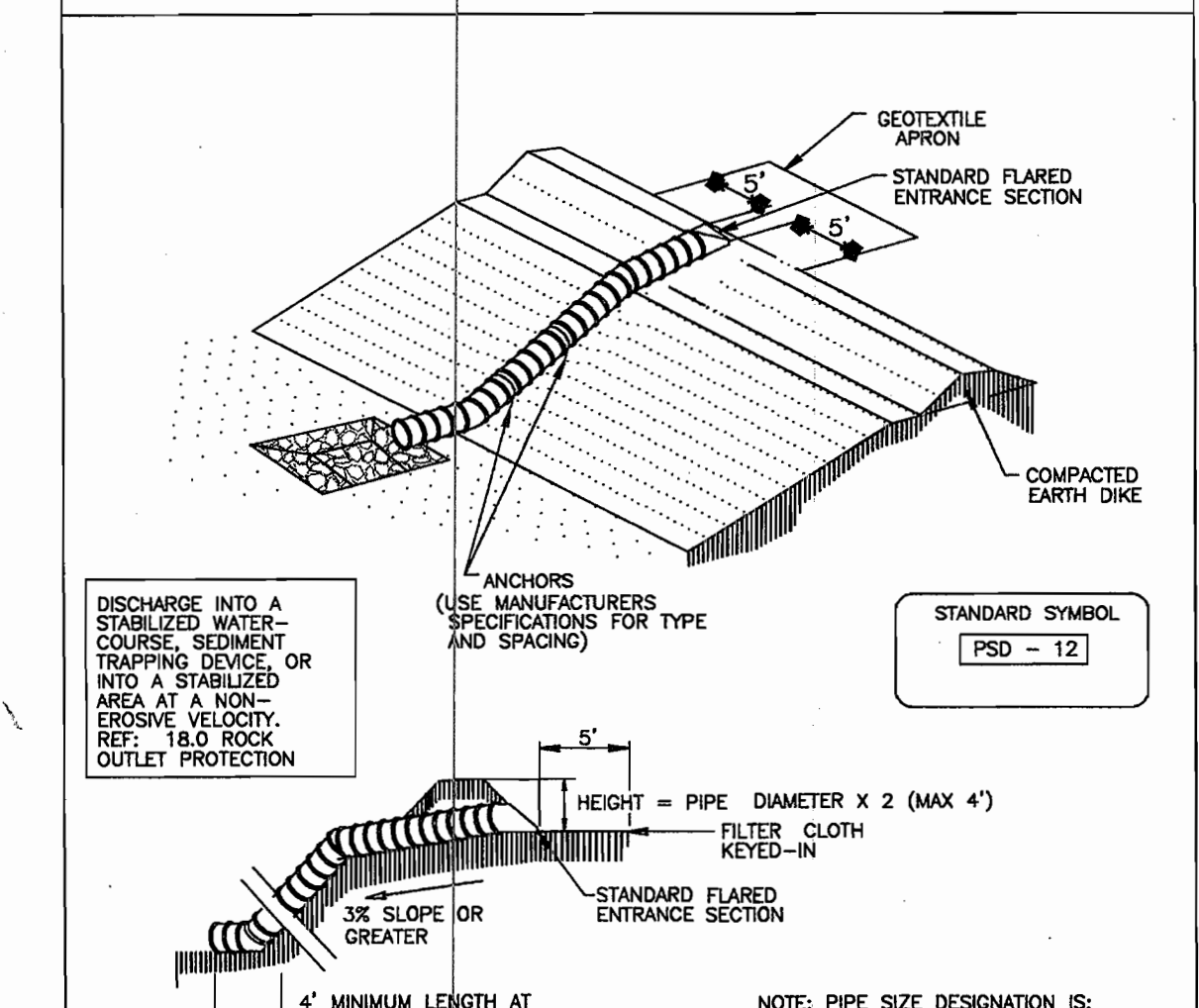
DETAIL 33 - SUPER SILT FENCE



DETAIL 1 - EARTH DIKE



DETAIL 4 - PIPE SLOPE DRAIN



H:\PROJECTS\ SURVEY 0433301_HUNTPROPERTY \SDP_2.DWG

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 2/22/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 2/28/06
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 2/28/06
 DIRECTOR

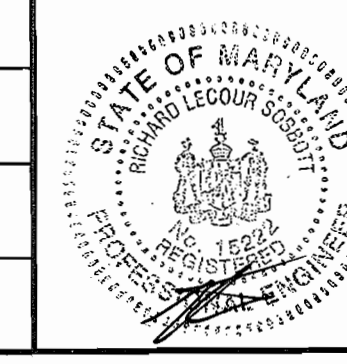
REVIEW FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 [Signature] 2/22/06
 [Signature] 2/28/06
 THIS DEVELOPMENT PLAN IS REVIEWED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION
 [Signature] 2/28/06
 HOWARD SCD

ENGINEERS CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION.
 [Signature] 2/28/06
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
 I/we CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD COUNTY DEPARTMENT OF ENVIRONMENT AND WATER MANAGEMENT ADMINISTRATION.
 [Signature] 2/28/06
 SIGNATURE OF THE DEVELOPER DATE

PERMIT INFORMATION CHART

Subdivision Name	Section/Area	Lot No.
NORDAU	E2	9
Plat #	Zoning	Tax Map No.
18151	R-12	42
Water Code	Elect. District	Census Tract
B03	6	6069.01
Sewer Code		
4360000		

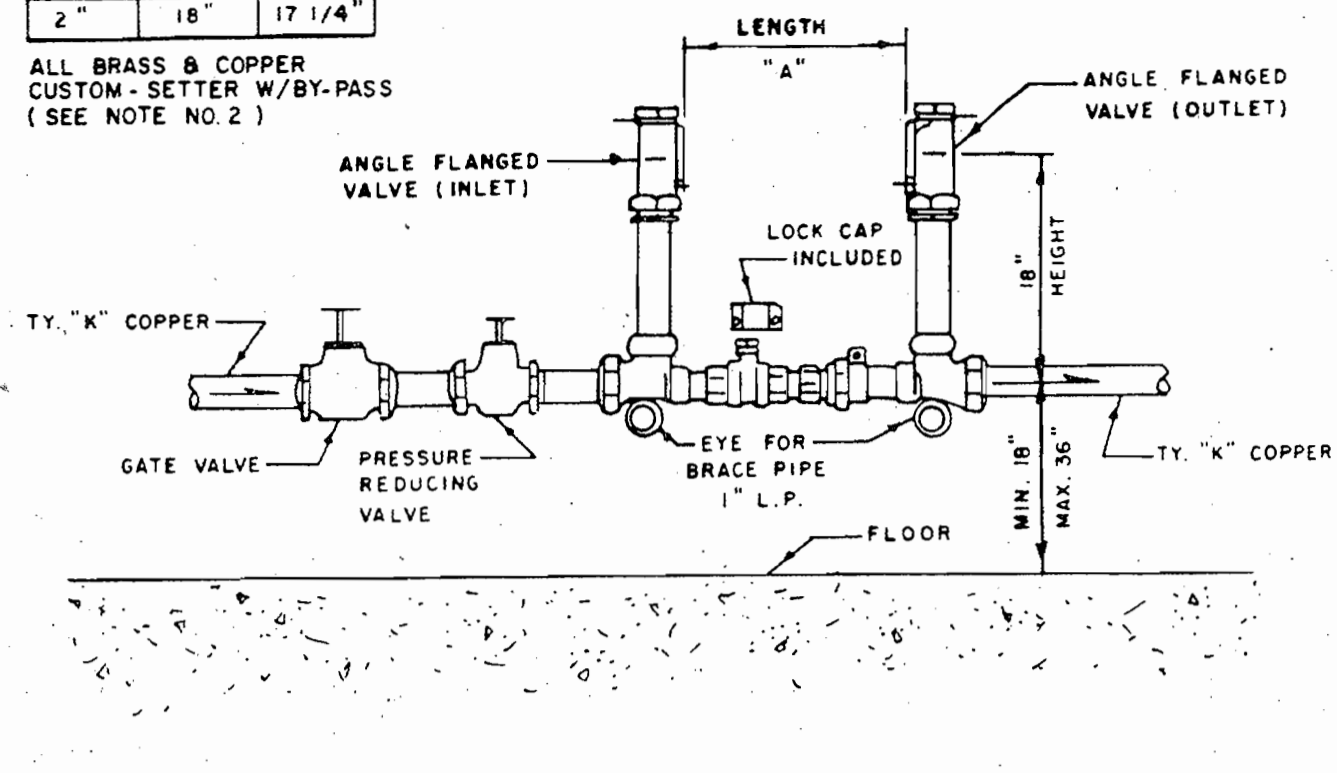


DCI
 DANIEL CONSULTANTS, INC.
 CONSULTING ENGINEERING AND PLANNING
 8950 RL Hill Rd., Suite 229 Columbia, MD, 21045
 Phone: 410-995-0099 Fax: 410-992-7038

DESIGN BY: RLS
 DRAWN BY: TV
 CHECKED BY: AS SHOWN
 SCALE: AS SHOWN
 DATE: 01/27/06
 W. O. No.:
 SHEET No. 3 of 4

METER SIZE	HEIGHT A	LENGTH
1 1/2"	18"	13 1/4"
2"	18"	17 1/4"

ALL BRASS & COPPER CUSTOM-SETTER W/BYPASS (SEE NOTE NO. 2)



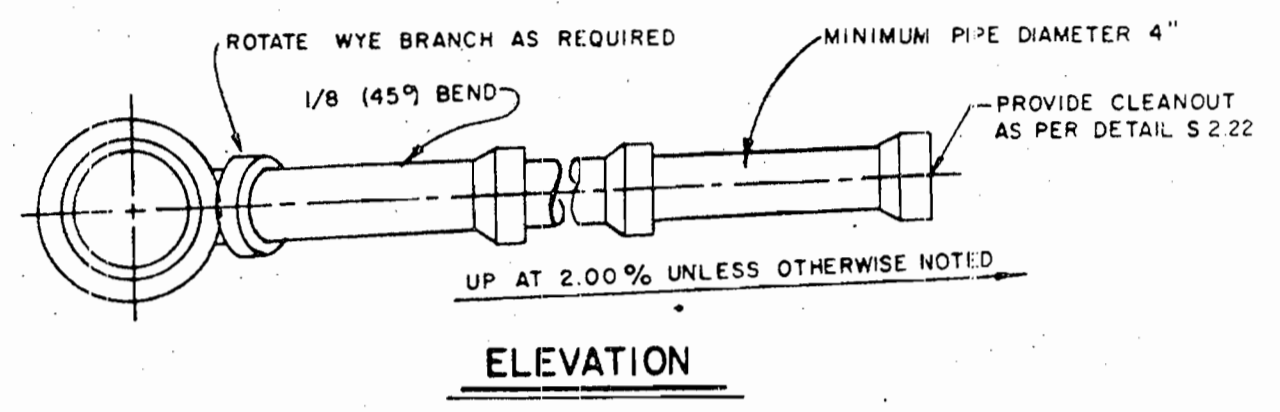
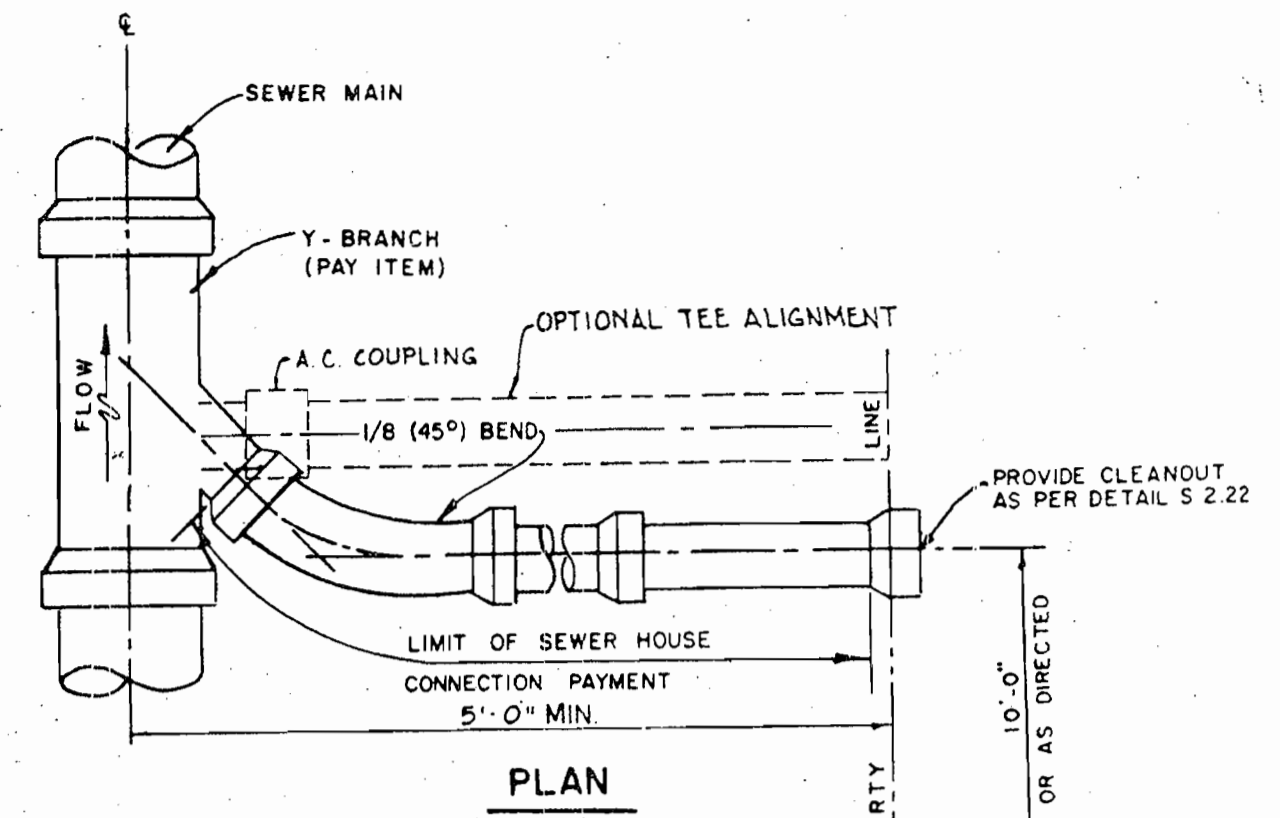
- NOTES**
- MIN. OF 6" REQUIRED BETWEEN METER AND WALL FOR TYPE OF CUSTOM SETTER, SEE SECTION 909.15.07 OF STANDARD SPECIFICATIONS FOR CONSTRUCTION, VOLUME IV.
 - WATER METERS SUPPLIED AND MAINTAINED BY HOWARD COUNTY.
 - PROVIDE AWG 18-2 COPPER THERMOSTAT OR BELL WIRE FOR REMOTE READOUT. WIRE SHALL EXTEND FROM CUSTOM SETTER THROUGH WALL TO THE OUTLET WITHIN 1/2" E.M.T. AND 1/2" FLEXIBLE E.F. CONDUIT.

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: *[Signature]* 2-10-81
Chief - Bureau of Engineering

INSIDE WATER METER SETTING
SIZES 1 1/2" & 2"

DRAWN BY: W.P.
CHECKED BY: Y.P.
NO SCALE
W.3.30

BALTIMORE 19 1253 HERCULENE MC 2174

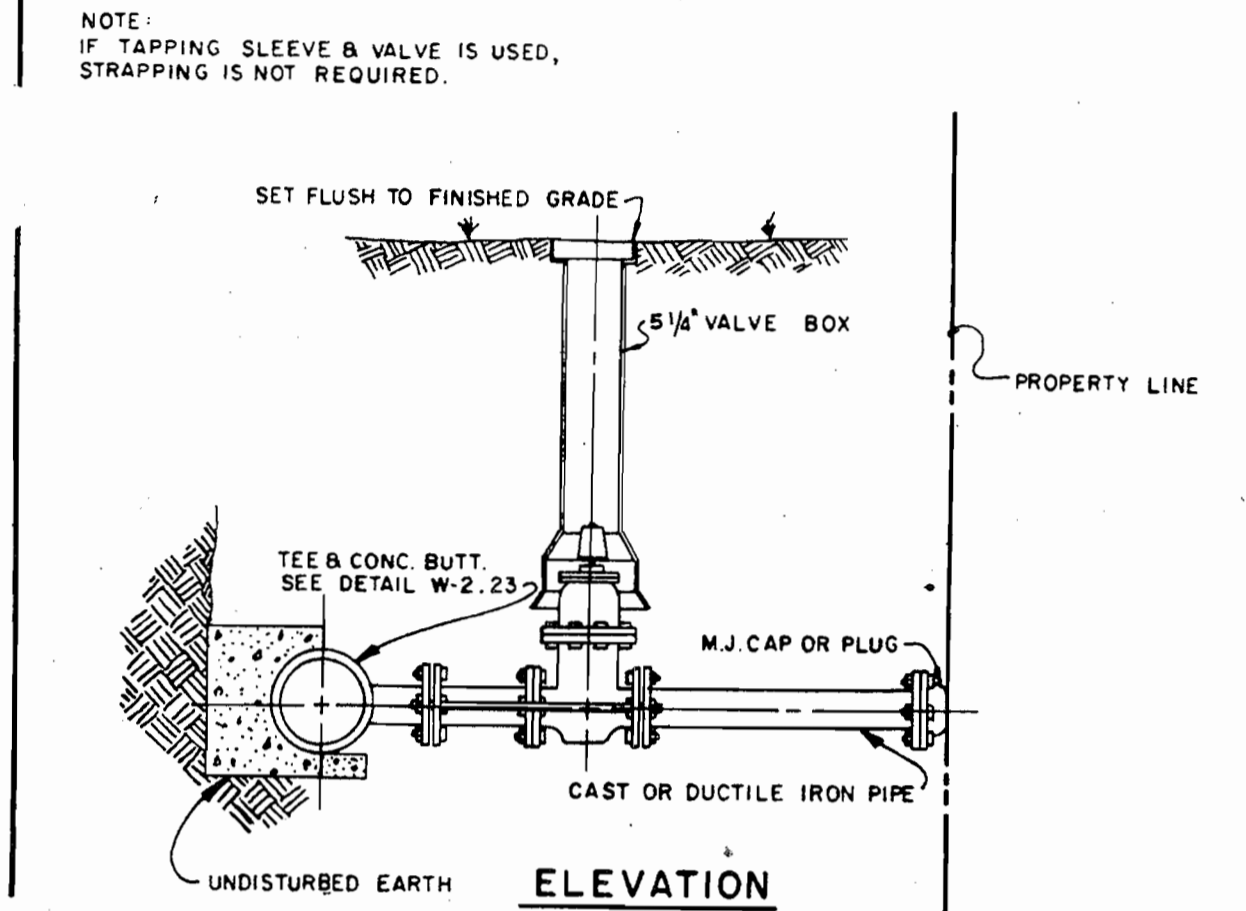
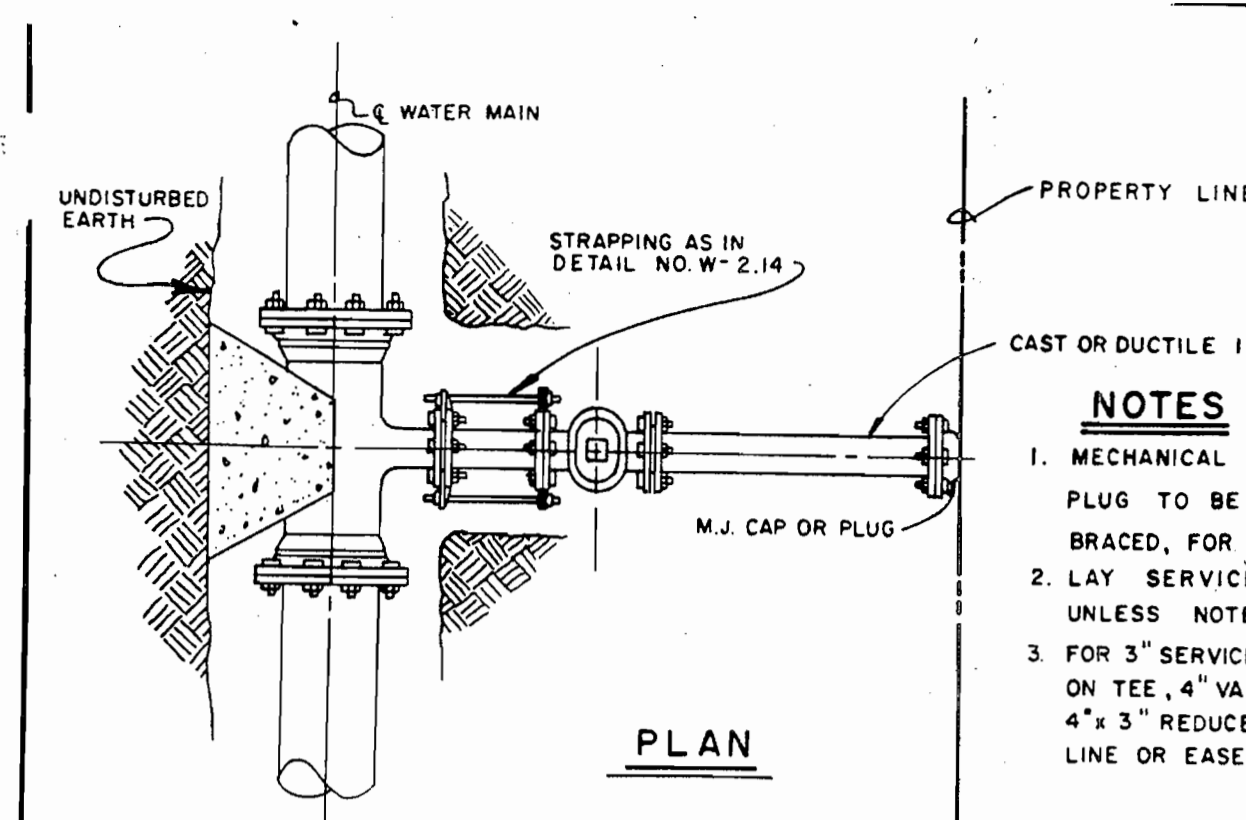


HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: *[Signature]* 2-10-81
Chief - Bureau of Engineering

STANDARD SANITARY SEWER DETAILS
SEWER HOUSE CONNECTION (SHC)

REV. OCT. 1980
REV. JAN. 1985
REV. JUNE 1985
REV. OCT. 1987
REV. JAN. 1989

DRAWN BY: M.T.K.
CHECKED BY: F.A.W.
SCALE: NONE
S.2.11

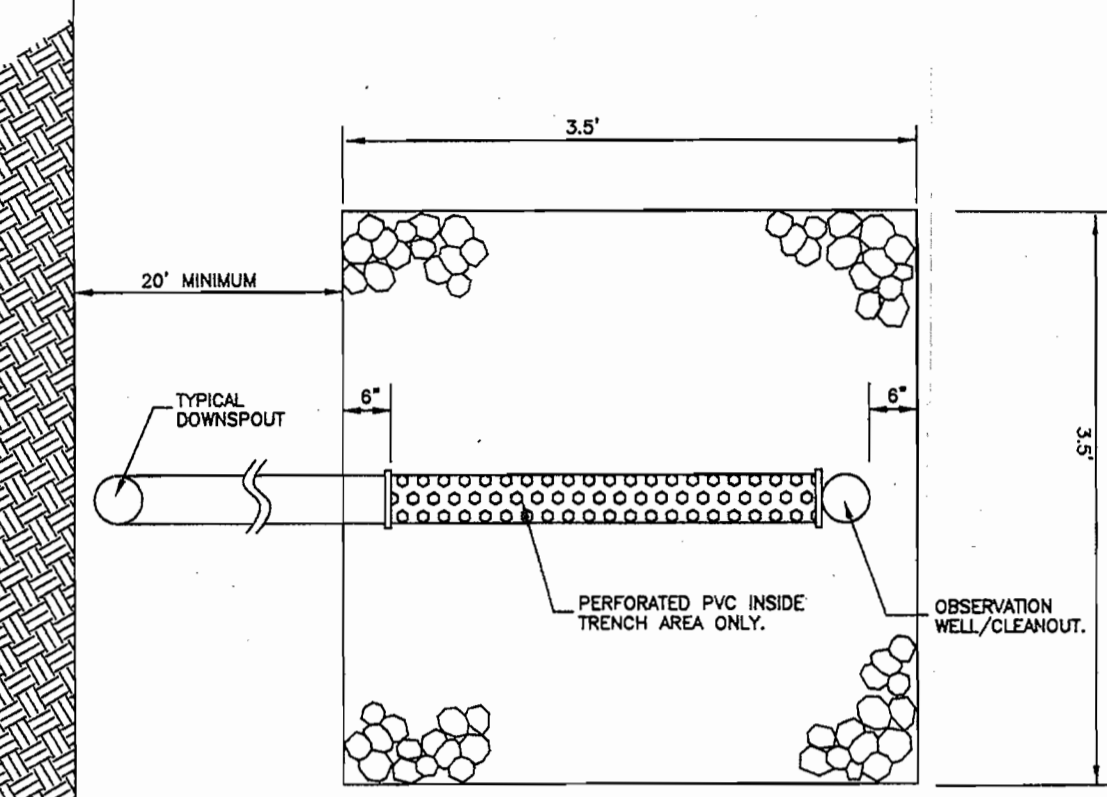


- NOTES**
- MECHANICAL JOINT CAP OR PLUG TO BE BLOCKED OR BRACED, FOR TESTING.
 - LAY SERVICE HORIZONTAL UNLESS NOTED OTHERWISE.
 - FOR 3" SERVICES, USE A 4" OUTLET ON TEE. 4" VALVE. INSTALL A 4" x 3" REDUCER AT THE PROPERTY LINE OR EASEMENT LINE.

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: *[Signature]* 2-10-81
Chief - Bureau of Engineering

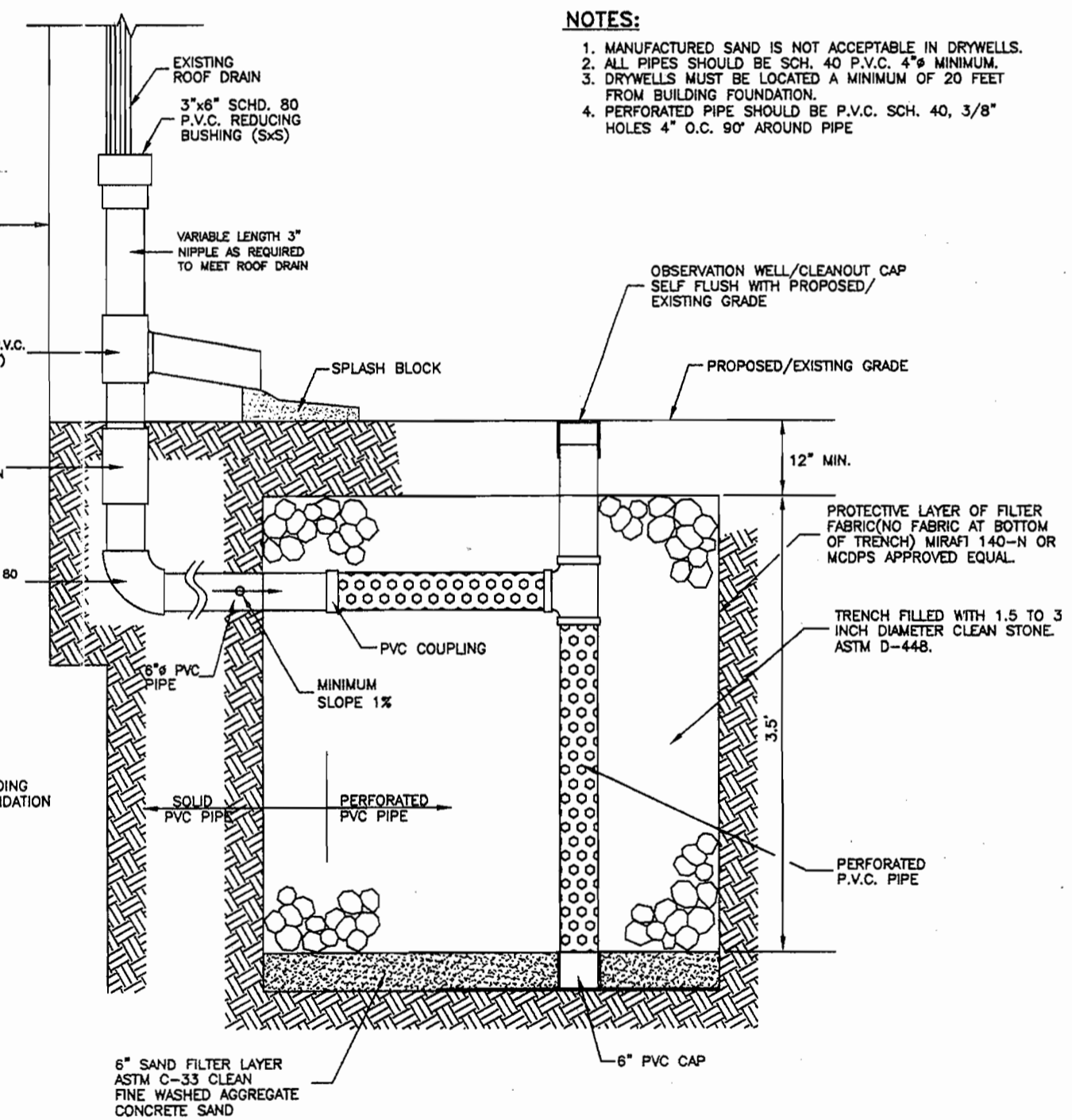
STANDARD WATER DETAILS
WATER SERVICE CONNECTION FOR
3", 4", 6", 8", 10" & 12" INSIDE
METER SETTING

REV. JAN. 1989
REV. OCT. 1985
DRAWN BY: M.C.
CHECKED BY: F.A.W.
SCALE: NONE
W.3.24



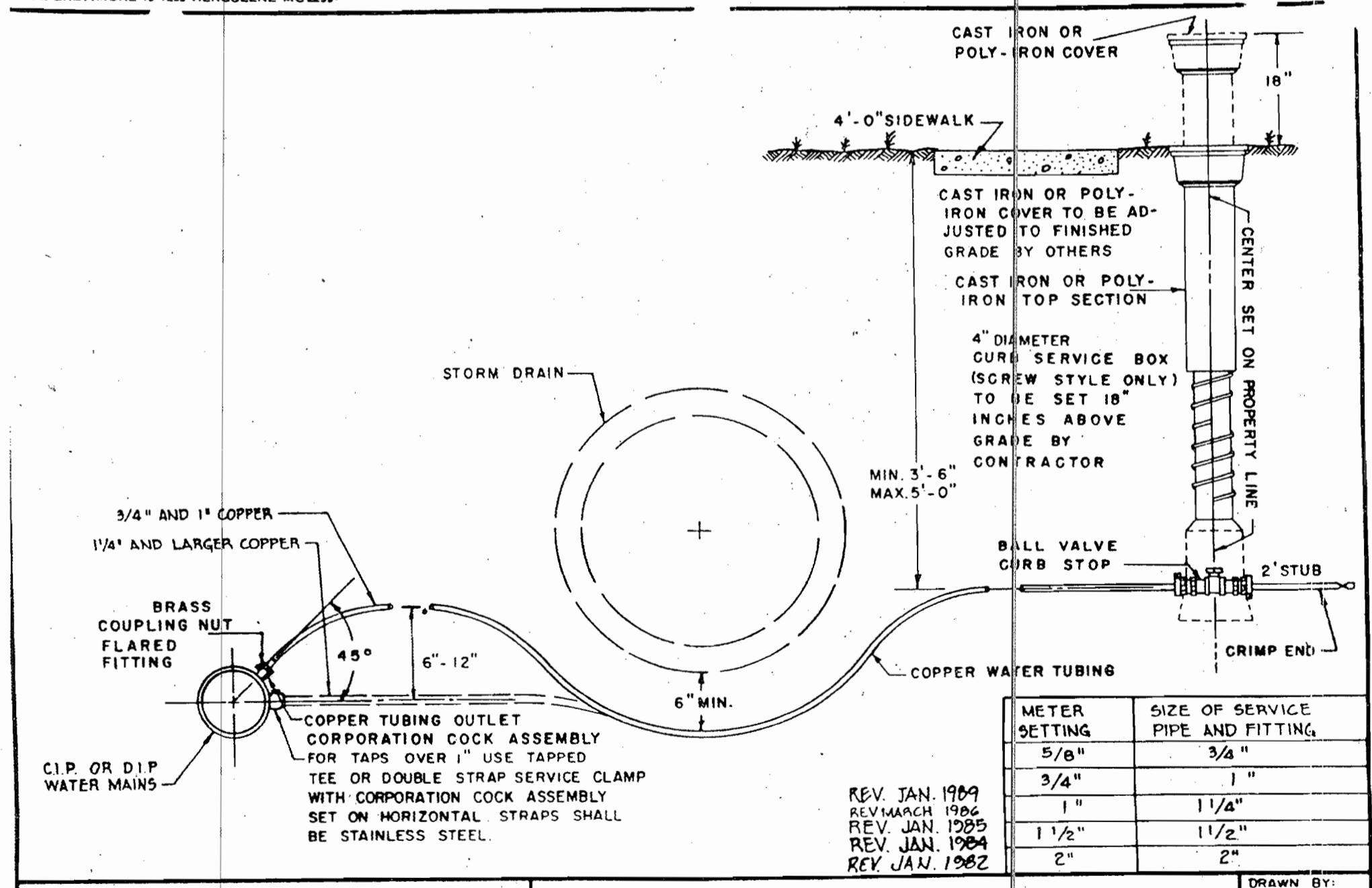
PLAN VIEW
(NOT TO SCALE)
SEE PLAN FOR ALL DIMENSIONS

- NOTES:**
- MANUFACTURED SAND IS NOT ACCEPTABLE IN DRYWELLS.
 - ALL PIPES SHOULD BE SCH. 40 P.V.C. 4" MINIMUM.
 - DRYWELLS MUST BE LOCATED A MINIMUM OF 20 FEET FROM BUILDING FOUNDATION.
 - PERFORATED PIPE SHOULD BE P.V.C. SCH. 40, 3/8" HOLES 4" O.C. 90° AROUND PIPE.



DRYWELL FOR ROOF DRAIN
(NOT TO SCALE)

K&E BALTIMORE 19 1253 HERCULENE MC 2230

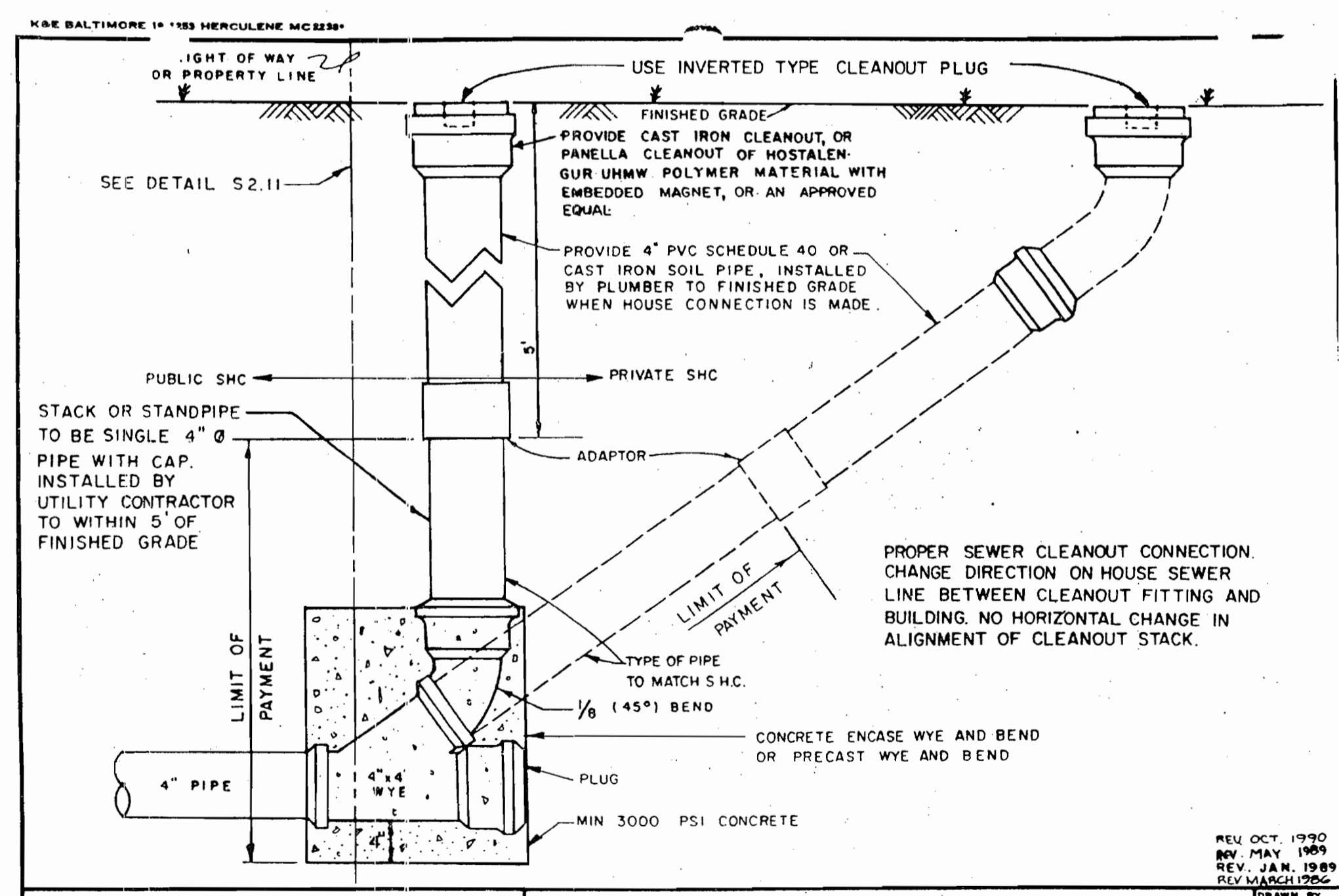


HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: *[Signature]* 2-10-81
Chief - Bureau of Engineering

WATER SERVICE CONNECTION FOR
5/8", 3/4", 1", 1 1/2", & 2"
INSIDE METER SETTINGS

REV. JAN. 1989
REV. MARCH 1986
REV. JAN. 1985
REV. JAN. 1984
REV. JAN. 1982

DRAWN BY: J.K.
CHECKED BY: F.A.W.
SCALE: NONE
W.3.21



HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: *[Signature]* 2-10-81
Chief - Bureau of Engineering

CLEANOUT FOR SEWER
HOUSE CONNECTION

REV. OCT. 1980
REV. MAY 1985
REV. JAN. 1989
REV. MARCH 1986

DRAWN BY: B.A.L.
CHECKED BY: J.L.R.
NO SCALE
5-222

SITE DEVELOPMENT, LANDSCAPE,
SEDIMENT AND EROSION CONTROL PLAN

SDP-05-135
NORDAU SECTION E-2, LOT 9
"CABASSA PROPERTY"
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

H:\PROJECTS\ SURVEY\ 0433301_HUNTPROPERTY\ 2\FIVE.DWG

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 2/20/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 2/20/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 2/20/06
DIRECTOR DATE

REVIEW FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
[Signature] 2/21/06
ASDA-NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 2/21/06
HOWARD SCD DATE

ENGINEERS CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature] 2/6/06
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature] 2/20/06
SIGNATURE OF THE DEVELOPER DATE

PERMIT INFORMATION CHART

Subdivision Name	Section/Area	Lot No.
NORDAU	E2	9
Parcel #	Grid	Zoning
18151	24	R-12
Tax Map No.	Elect. District	Census Tract
42	6	6069.01
Water Code	Sewer Code	
B03	4360000	

DCI
DANIEL CONSULTANTS, INC.
CONSULTING ENGINEERING AND PLANNING
8959 RL-108 E., Suite 229 Columbia, MD, 21045
Phone: 410-995-0090 Fax: 410-992-7038

DESIGN BY: RLS
DRAWN BY: TV
CHECKED BY: AS
SCALE: AS SHOWN
DATE: 9/23/05
W. O. No.:
SHEET No. 4 OF 4

SOIL LEGEND

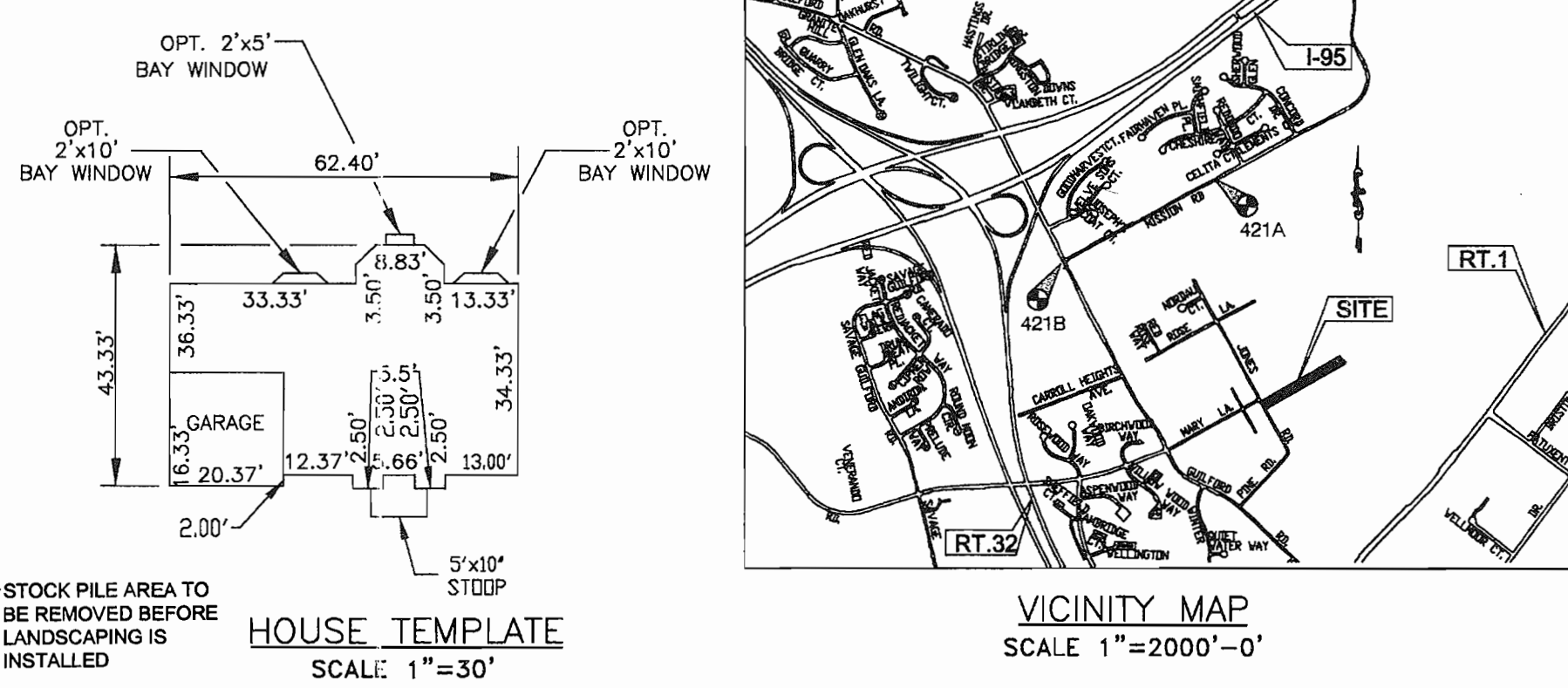
SYMBOL	NAME/DESCRIPTION	SOIL GROUP
BeC2	BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	C
CID2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
CIE2	CHILLUM GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES, MODERATELY ERODED	C
SIC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
SSE	SASSAFRAS LOAM, 10 TO 45 PERCENT SLOPES	B

SITE ANALYSIS DATA CHART

- TOTAL PROJECT AREA: 1.72 ACRES ±
- AREA OF PLAN SUBMISSION: 1.72 ACRES ±
- LIMIT OF DISTURBED AREA: 0.95 ACRES ±
- SUBJECT PROPERTY ZONED R-12 PER 2/2/04 COMPREHENSIVE ZONING PLAN
- PROPOSED USES FOR SITE & STRUCTURES: SINGLE FAMILY DETACHED
- FLOOR SPACE ON EACH LEVEL OF BUILDING(S) PER USE: SEE HOUSE TEMPLATES THIS SHEET
- TOTAL NUMBER OF UNITS ALLOWED: 1
- TOTAL NUMBER OF UNITS PROPOSED: 1
- OPEN SPACE ON SITE 0.39 AC. (LOT 10) AND 13.0% OF GROSS AREA
- PROPOSED BUILDING COVERAGE OF SITE: 0.05 ACRES ±; 2.9% OF GROSS LOT AREA

OWNER/DEVELOPER

MIGUEL A. CABASSA JR AND LYN MYRICK CABASSA
8001 JONES ROAD
JESSUP, MARYLAND 20794

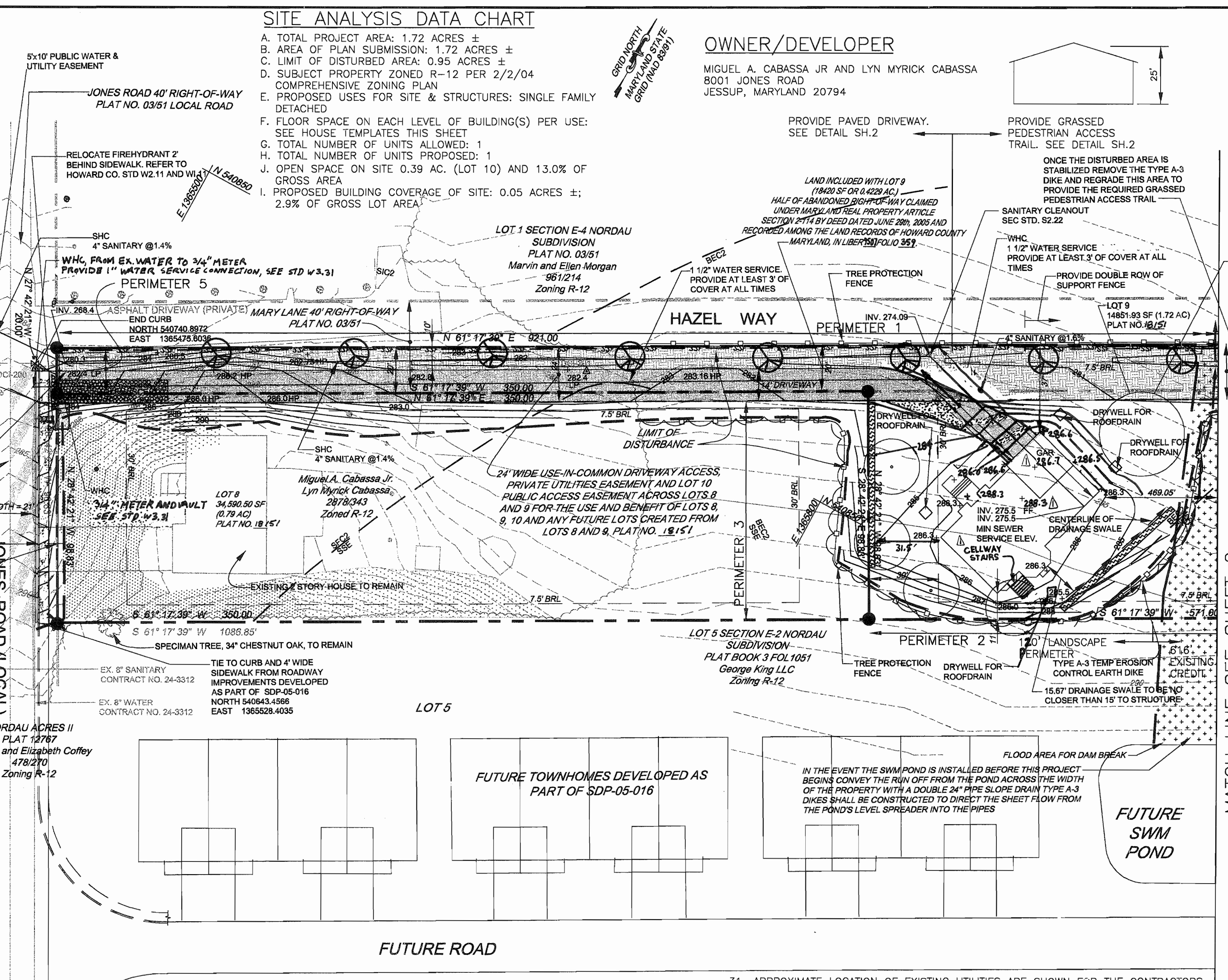


LEGEND

- POND BREAK FLOOD AREA
- ACCESS EASEMENT
- PUBLIC UTILITY EASEMENT (WATER)
- FOREST CONSER. EASEMENT
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SPOT ELEVATION
- DIRECTION OF THE FLOW
- EXISTING TREES TO REMAIN
- STABILIZED CONSTRUCTION ENTRANCE
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- FOREST CONSERVATION SIGN (PROVIDED UNDER F-05-159)
- SLOPES >= 25%
- SLOPES >= 15% TO 25%
- TREE PROTECTION FENCE

GENERAL NOTES

- COORDINATES BASED ON NAD 83 (ADJUSTED 1991) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NO. 421B AND 421A. 421B N 542,366.914 E 1,363,075.97 421A N 543,390.415 E 1,364,912.86
- THIS PLAN IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY DANIEL CONSULTANTS, JANUARY 2005.
- BRL DENOTES BUILDING RESTRICTION LINE
- DENOTES IRON PIN W/CAP SET
- DENOTES IRON PIPE OR IRON BAR FOUND.
- ⊕ DENOTES ANGULAR CHANGE IN BEARING OF BOUNDARY OR RIGHTS-OF-WAY
- DENOTES STONE OR MONUMENT FOUND.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAVE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
 - WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - SIX(6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM).
 - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS;
 - STRUCTURES(BRIDGES/CULVERTS)- CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING)
 - DRAINAGE ELEMENTS -CAPABLE OF SAVELY PASSING 100 YEARS FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 - MAINTENANCE - SUFFICIENT TO SURE ALL WEATHER USE.
- QUALITY STORMWATER MANAGEMENT REQUIREMENTS ARE MET BY APPLY THE ROOFTOP DISCONNECTION CREDIT AND GRASS SWALE CREDIT. DRYWELLS ARE BEING PROVIDED.
- NO GRADING REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN THE LIMIT OF FOREST CONSERVATION EASEMENT AREA.
- ACCESS TO WATER AND SEWER HAS BEEN PROVIDED UNDER PUBLIC SEWER AND WATER (CONTRACT NO. 24-3312).
- ALL AREAS ARE MORE OR LESS.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER:
- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE RETENTION OF 0.386 ACRES OF ON-SITE EXISTING FOREST AND BY PAYMENT OF A FEE IN LIEU IN THE AMOUNT OF \$11,979.00 TO COMPENSATE FOR THE REMAINING 0.55 ACRES OF REFORESTATION/RETENTION OBLIGATION NOT PROVIDED ON-SITE. THE TOTAL FOREST CONSERVATION OBLIGATION FOR THIS SUBDIVISION IS 0.936 ACRES AS PROVIDED FOR UNDER F-05-159. A FOREST CONSERVATION FINANCIAL SURETY IN THE AMOUNT OF \$ 84,140 FOR 0.386 ACRES OF ON-SITE FOREST RETENTION WAS PAID.
- THERE IS AN EXISTING DWELLING/STRUCTURE LOCATED ON LOT 8 TO REMAIN. NO NEW BUILDING, EXTENSIONS OR ADDITIONS TO THE EXISTING DWELLING ARE TO BE CONSTRUCTED AT A DISTANT LESS THAN THE ZONING REGULATION REQUIRE.
- BASED ON A FIELD INVESTIGATION BY DANIEL CONSULTANTS, THERE ARE NO FLOODPLAINS, WETLANDS OR STREAMS ON-SITE.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND ROAD RIGHT-OF-WAY LINE ONLY AND NOT ONTO THE FLAG OR PIPESTEM LOT DRIVEWAY.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS ON THIS PROPERTY.
- OPEN SPACE LOT 10 SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS'S ASSOCIATION.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- A MAINTENANCE AGREEMENT FOR THE SHARED DRIVEWAY SERVING LOT 9 AND OPEN SPACE LOT 10 AND THE LOTS CREATED WITH THE FUTURE SUBDIVISION OF LOTS 8 AND 9 HAS BEEN RECORDED SIMULTANEOUS WITH RECORD PLAT 18151 IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND - LIBER 3507, FOLIO 382.



- THE HOME OWNERS ASSOCIATION WAS ESTABLISHED AND DOCUMENTS HAVE BEEN FILED WITH THE MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION ON 5/14/05 NUMBER 200821603
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
 - VERIZON 410-725-9976
 - AT&T 410-393-3553
 - BGE (CONTRACTOR SERVICES) 410-850-4620
 - BGE (UNDERGROUND DAMAGE CONTROL) 410-787-9068
 - MISS UTILITY 1-800-257-1777
 - HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES 410-313-2366
 - HOWARD COUNTY HEALTH DEPARTMENT 140-313-2640
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR THE START OF WORK.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- CONTRACTOR TO CONFIRM ALL DIMENSION, UTILITIES AND TOPOGRAPHY IN THE FIELD. IF ANY CONFLICTS ARISE, CONTACT ENGINEER BEFORE BEGINNING ANY WORK.
- HOWARD COUNTY SOIL MAP #34
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK. BRL'S SHOWN TAKEN FROM HOWARD COUNTY ZONING REGULATION FOR THE ZONING DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING OR THE EXISTING UTILITIES WILL BE COLLECTED AT THE CONTRACTORS EXPENSE.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY INCURRED DUE TO THE CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY TO THE CONTRACTORS EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKING AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- ALL THE OUTDOOR LIGHTING FOR THIS SUBDIVISION SHALL BE IN ACCORDANCE WITH SECTION 134 OF THE ZONING REGULATIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE HOUSE/GARAGE WILL BE SITED ON THE LOT SO THAT A CAR, IF PARKED IN THE DRIVEWAY, WILL NOT OVERHANG INTO THE PRIVATE ACCESS DRIVEWAY (18" MINIMUM CLEARANCE).
- DUE TO ORIENTATION OF HOUSE ON LOT 9, ANY ADDITION OF A PORCH OR DECK CANNOT ENCROACH INTO 7.5' SIDE BRL.
- PROVIDE A SHEET METAL STREET SIGN MOUNTED ON A METAL POLE IDENTIFYING THIS ACCESS TO BE "HAZEL WAY". SIGN SHALL MATCH THE STYLE OF OTHER STREET SIGNS IN THE AREA.

Scale: 1" = 30'

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				
PERIMETER/FLOATAGE DESIGNATION LANDSCAPE TYPE	1	2	3	4	5
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	1038	736	98	128	20
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) REMAINING PERIMETER LENGTH	YES CREDIT 117' REMAIN 921'	YES CREDIT 616' REMAIN 120'	NO	CREDIT 128'	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) REMAINING PERIMETER LENGTH	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	1:60 15 -- --	1:60 2 -- --	1:60 2 -- --	NA -- --	0 -- --
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	1:60 15 -- --	1:60 2 -- --	1:60 2 -- --	NA -- --	0 -- --

PLANT LIST CHART

KEY	REQUIRED QUAN.	BOTANICAL NAME	SIZE	NOTE
○	4	QUERCUS RUBRA RED OAK	2 1/2" - 3" CAL.	B & B
⊕	15	ACER RUBRUM RED MAPLE	2 1/2" - 3" CAL.	B & B

- ### NOTES:
- RELEASE OF LANDSCAPE SURETY SHALL NOT OCCUR UNTIL SUCH TIME AS ALL THE REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FINANCIAL SURETY FOR THE REQUIRED 19 (NUMBER) OF TREES IN THE AMOUNT OF \$5700 SHALL BE POSTED AS PART OF THE BUILDER'S GRADING PERMIT APPLICATION.
 - AT THE TIME OF THE INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF ZONING AND PLANNING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
 - THE OWNER, TENANT, AND/OR OTHER AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES, AND WALLS PROVIDED UNDER THIS PLAN. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
 - NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.

BENCH MARKS

	NORTHING	EASTING	ELEV
DCI-200	540527.9602	1365037.6358	281.86
DCI-201	540852.0889	1365684.3470	283.36

ADDRESS CHART

LOT	ADDRESS
LOT 9	7915 HAZEL WAY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 2/26/06
 CHIEF, DIVISION OF ENGINEERING DIVISION DATE

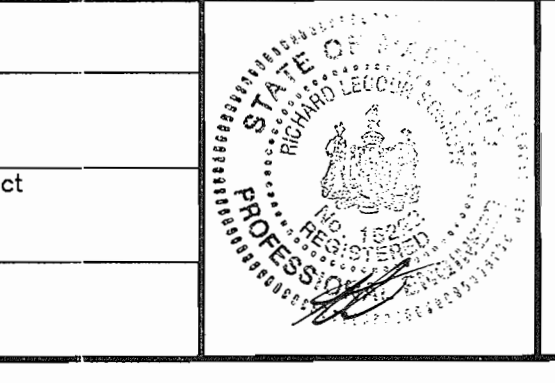
REVIEW FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
[Signature] 2/26/06
 USDA-NATURAL RESOURCE CONSERVATION SERVICE DATE

ENGINEERS CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature] 2/26/06
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature] 2/26/06
 SIGNATURE OF THE DEVELOPER DATE

PERMIT INFORMATION CHART

Subdivision Name NORDAU	Section/Area E2	Lot No. 9
Plat # 18151	Grid 24	Zoning R-12
Water Code B03	Tax Map No. 42	Elect. District 6
	Sewer Code 4360000	Census Tract 6069.01



LANDSCAPE, SEDIMENT AND EROSION CONTROL PLAN
 SINGLE FAMILY DETACHED DWELLING

SDP-05-135
 NORDAU SECTION E-2, LOT 9
 "CABASSA PROPERTY"
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

DCI
 DANIEL CONSULTANTS, INC.
 CONSULTING ENGINEERING AND PLANNING
 8950 Rt. 108 E., Suite 229 Columbia, MD. 21045
 Phone: 410-993-0099 Fax: 410-993-7038

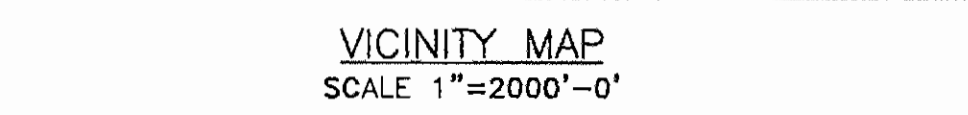
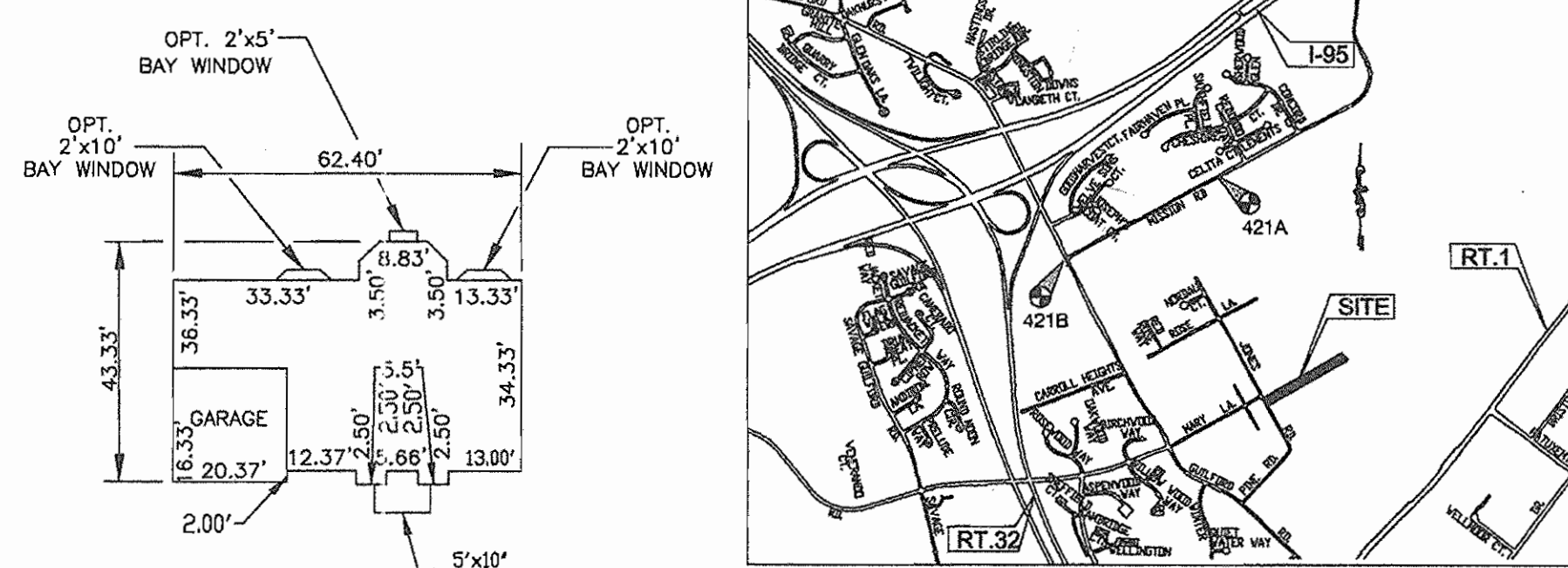
DESIGN BY: RLS
 DRAWN BY: TV
 CHECKED BY: AS
 SCALE: AS SHOWN
 DATE: 01/27/06
 W. O. No.:
 SHEET No. 1 OF 4

SOIL LEGEND		
SYMBOL	NAME/DESCRIPTION	SOIL GROUP
Bc2	BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	C
CID2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
CIE2	CHILLUM GRAVELLY LOAM, 10 TO 30 PERCENT SLOPES, MODERATELY ERODED	C
SIC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
SSE	SASSAFRAS LOAM, 10 TO 45 PERCENT SLOPES.	B

SITE ANALYSIS DATA CHART

- TOTAL PROJECT AREA: 1.72 ACRES ±
- AREA OF PLAN SUBMISSION: 1.72 ACRES ±
- LIMIT OF DISTURBED AREA: 0.95 ACRES ±
- SUBJECT PROPERTY ZONED R-12 PER 2/2/04 COMPREHENSIVE ZONING PLAN
- PROPOSED USES FOR SITE & STRUCTURES: SINGLE FAMILY DETACHED
- FLOOR SPACE ON EACH LEVEL OF BUILDING(S) PER USE: SEE HOUSE TEMPLATES THIS SHEET
- TOTAL NUMBER OF UNITS ALLOWED: 1
- TOTAL NUMBER OF UNITS PROPOSED: 1
- OPEN SPACE ON SITE 0.39 AC. (LOT 10) AND 13.0% OF GROSS AREA
- PROPOSED BUILDING COVERAGE OF SITE: 0.05 ACRES ±; 2.9% OF GROSS LOT AREA

OWNER/DEVELOPER
 MIGUEL A. CABASSA JR AND LYN MYRICK CABASSA
 8001 JONES ROAD
 JESSUP, MARYLAND 20794



- LEGEND**
- POND BREAK FLOOD AREA
 - ACCESS EASEMENT
 - PUBLIC UTILITY EASEMENT (WATER)
 - FOREST CONSER. EASEMENT
 - EXISTING CONTOURS
 - PROPOSED CONTOURS
 - SPOT ELEVATION
 - DIRECTION OF THE FLOW
 - EXISTING TREES TO REMAIN
 - STABILIZED CONSTRUCTION ENTRANCE
 - SILT FENCE
 - SUPER SILT FENCE
 - LIMIT OF DISTURBANCE
 - EROSION CONTROL MATTING
 - FOREST CONSERVATION SIGN (PROVIDED UNDER F-05-159)
 - SLOPES >= 25%
 - SLOPES >= 15% TO 25%
 - TREE PROTECTION FENCE

GENERAL NOTES

- COORDINATES BASED ON NAD '83 (ADJUSTED 1991) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NO. 421B AND 421A. 421B N 542,366.914 E 1,363,075.97 421A N 543,390.415 E 1,364,912.66
- THIS PLAN IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY DANIEL CONSULTANTS, JANUARY 2005.
- BRL DENOTES BUILDING RESTRICTION LINE
- DENOTES IRON PIN W/CAP SET
- DENOTES IRON PIPE OR IRON BAR FOUND.
- ⊕ DENOTES ANGULAR CHANGE IN BEARING OF BOUNDARY OR RIGHTS-OF-WAY
- DENOTES STONE OR MONUMENT FOUND.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
 - WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM)
 - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADII
 - STRUCTURES (BRIDGES/CULVERTS) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF SAVELY PASSING 100 YEARS FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- QUALITY STORMWATER MANAGEMENT REQUIREMENTS ARE MET BY APPLY THE ROOFTOP DISCONNECTION CREDIT AND GRASS SWALE CREDIT. DRYWELLS ARE BEING PROVIDED.
- NO GRADING REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN THE LIMIT OF FOREST CONSERVATION EASEMENT AREA.
- ACCESS TO WATER AND SEWER HAS BEEN PROVIDED UNDER PUBLIC SEWER AND WATER (CONTRACT NO. 24-3312).
- ALL AREAS ARE MORE OR LESS.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN FOREST CONSERVATION EASEMENT.
- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE RETENTION OF 0.386 ACRES OF ON-SITE EXISTING FOREST AND BY PAYMENT OF A FEE IN LIEU IN THE AMOUNT OF \$11,979.00 TO COMPENSATE FOR THE REMAINING 0.55 ACRES OF REFORESTATION/RETENTION OBLIGATION NOT PROVIDED ON-SITE. THE TOTAL FOREST CONSERVATION OBLIGATION FOR THIS SUBDIVISION IS 0.936 ACRES AS PROVIDED FOR UNDER F-05-159. A FOREST CONSERVATION FINANCIAL SURETY IN THE AMOUNT OF \$84,140.00 FOR 0.386 ACRES OF ON-SITE FOREST RETENTION WAS PAID.
- THERE IS AN EXISTING DWELLING/STRUCTURE LOCATED ON LOT 8 TO REMAIN. NO NEW BUILDING, EXTENSIONS OR ADDITIONS TO THE EXISTING DWELLING ARE TO BE CONSTRUCTED AT A DISTANT LESS THAN THE ZONING REGULATION REQUIRE.
- BASED ON A FIELD INVESTIGATION BY DANIEL CONSULTANTS, THERE ARE NO FLOODPLAINS, WETLANDS OR STREAMS ONSITE.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND ROAD RIGHT-OF-WAY LINE ONLY AND NOT ONTO THE FLAG OR PIPESTEM LOT DRIVEWAY.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS ON THIS PROPERTY.
- OPEN SPACE LOT 10 SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- A MAINTENANCE AGREEMENT FOR THE SHARED DRIVEWAY SERVING LOT 9 AND OPEN SPACE LOT 10 AND THE LOTS CREATED WITH THE FUTURE SUBDIVISION OF LOTS 8 AND 9 HAS BEEN RECORDED SIMULTANEOUS WITH RECORDED PLAT 18151 IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND - LIBER 9507, FOLIO 282.

22. THE HOME OWNERS ASSOCIATION WAS ESTABLISHED AND DOCUMENTS HAVE BEEN FILED WITH THE MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION ON 5/14/05 NUMBER D10282603

- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
 - VERIZON 410-725-9976
 - AT&T 410-393-3553
 - BGE (CONTRACTOR SERVICES) 410-850-4620
 - BGE (UNDERGROUND DAMAGE CONTROL) 410-787-9068
 - MISS (UTILITY) 1-800-257-7777
 - HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES 410-313-2366
 - HOWARD COUNTY HEALTH DEPARTMENT 140-313-2640
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- CONTRACTOR TO CONFIRM ALL DIMENSION, UTILITIES AND TOPOGRAPHY IN THE FIELD. IF ANY CONFLICTS ARISE, CONTACT ENGINEER BEFORE BEGINNING ANY WORK.
- HOWARD COUNTY SOIL MAP #34
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES, OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK. BRL'S SHOWN TAKEN FROM HOWARD COUNTY ZONING REGULATION FOR THE ZONING DISTRICT.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING OR THE EXISTING UTILITIES WILL BE COLLECTED AT THE CONTRACTORS EXPENSE.

SHEET INDEX	
SHEET #	SHEET TITLE
1	PLAN
2	PLAN
3	E & S CONTROL NOTES
4	DETAILS

DEVELOPER'S/BUILDER'S CERTIFICATE

I CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANTS MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Miguel Cabassa Jr DATE 2/22/06
 SIGNATURE OF THE DEVELOPER

BENCH MARKS		
NORTHING	EASTING	ELEV
DCI-200 540527.9602	1365037.6358	281.86
DCI-201 540852.0889	1365684.3470	283.36

ADDRESS CHART	
LOT	ADDRESS
LOT 9	7915 HAZEL WAY

LANDSCAPE, SEDIMENT AND EROSION CONTROL PLAN
 SINGLE FAMILY DETACHED DWELLING

SDP-05-135
 NORDAU SECTION E-2, LOT 9
 "CABASSA PROPERTY"
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] DATE 2/22/06
 CHIEF, DIVISION OF ENGINEERING

REVIEW FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
[Signature] DATE 2/22/06
 UNDER-NATURAL RESOURCE CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
[Signature] DATE 2/22/06
 HOWARD SCD

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] DATE 2/22/06
 SIGNATURE OF ENGINEER

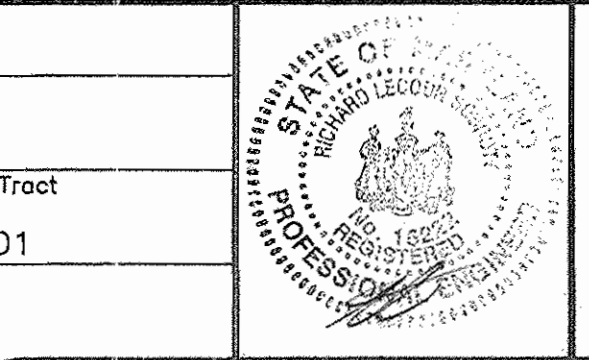
DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] DATE 2/22/06
 SIGNATURE OF THE DEVELOPER

PERMIT INFORMATION CHART

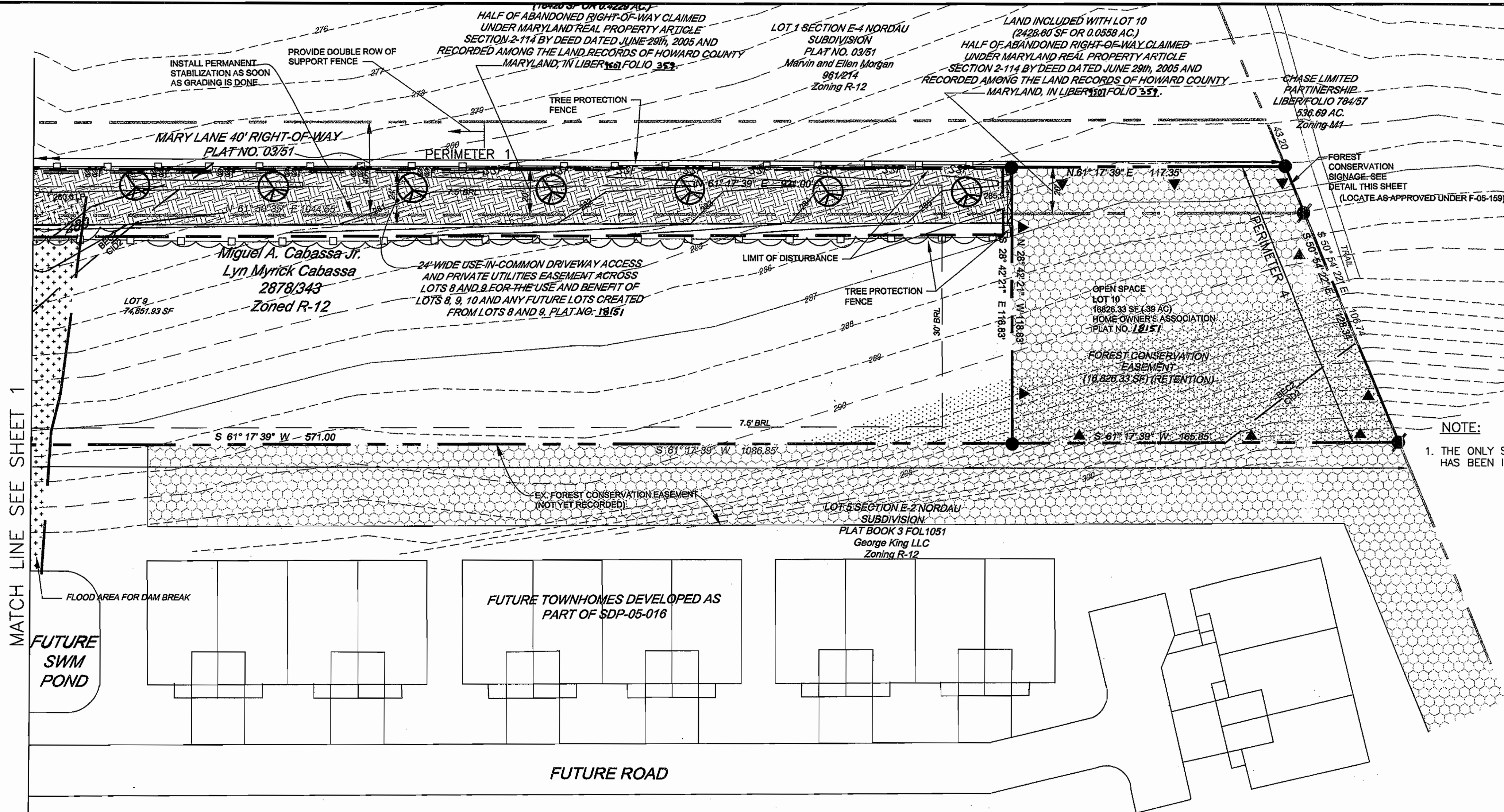
Subdivision Name	Section/Area	Lot No.
NORDAU	E2	9
Plot #	Grid	Zoning
18151	24	R-12
Water Code	Tax Map No.	Elect. District
B03	42	6
	Sewer Code	Census Tract
	4360000	6069.01



DCI
 DANIEL CONSULTANTS, INC.
 CONSULTING ENGINEERING AND PLANNING
 8950 Rt. 108 E., Suite 229 Columbia, MD, 21046
 Phone: 410-992-0090 Fax: 410-992-7038

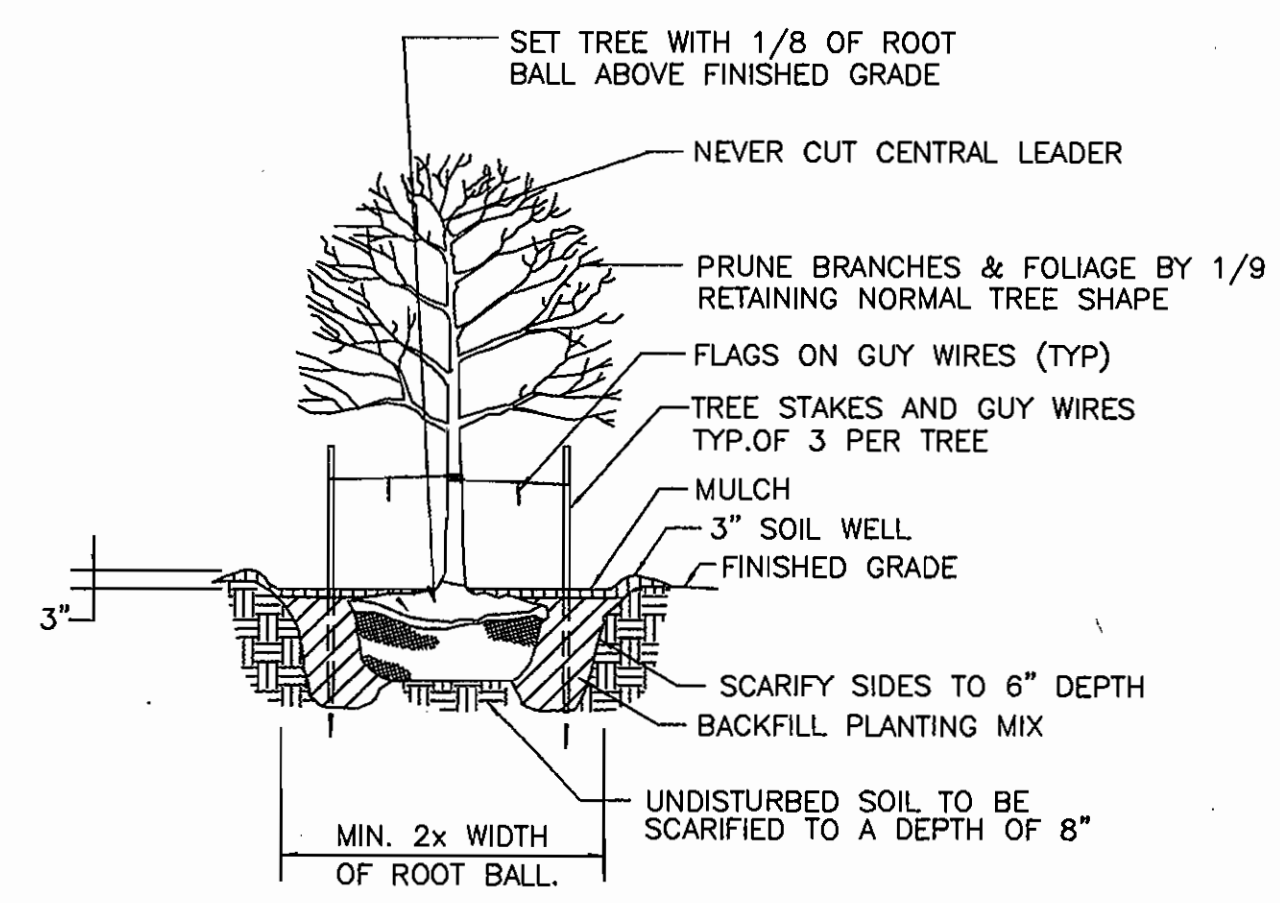
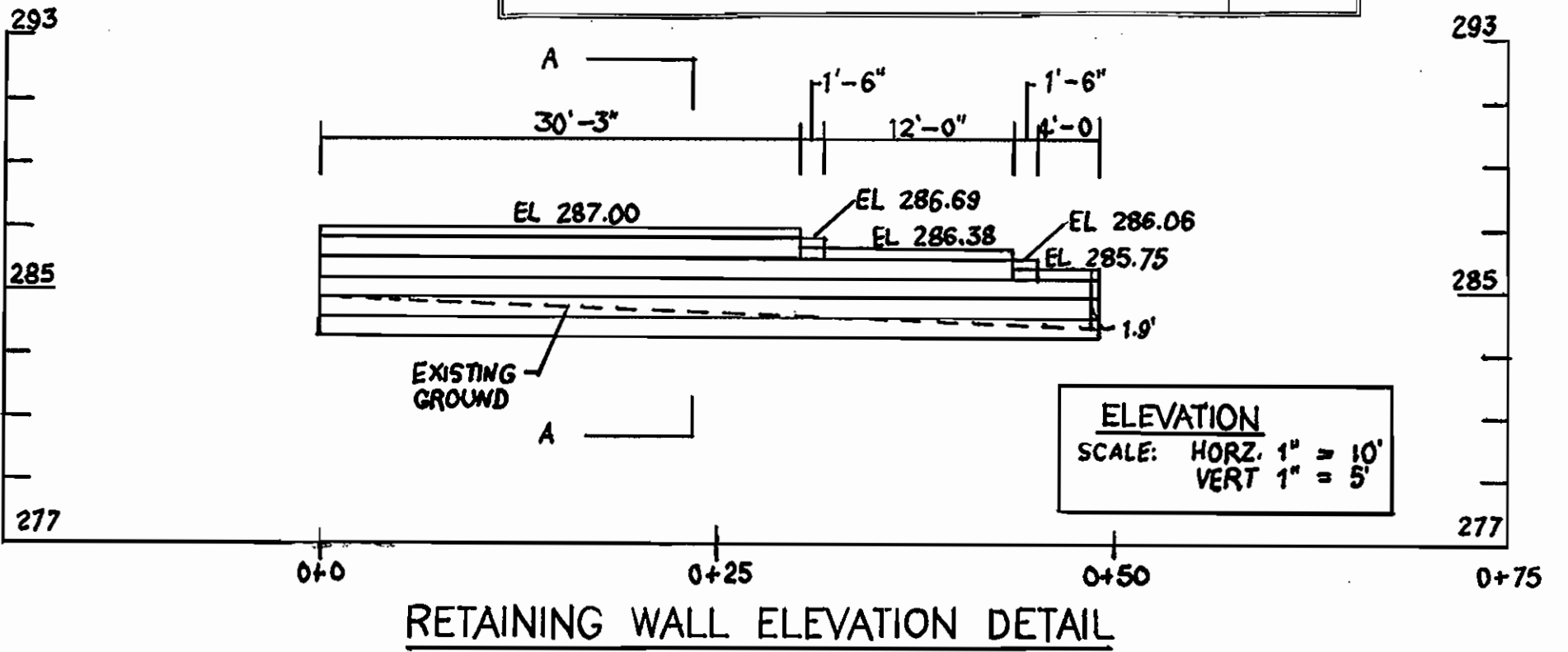
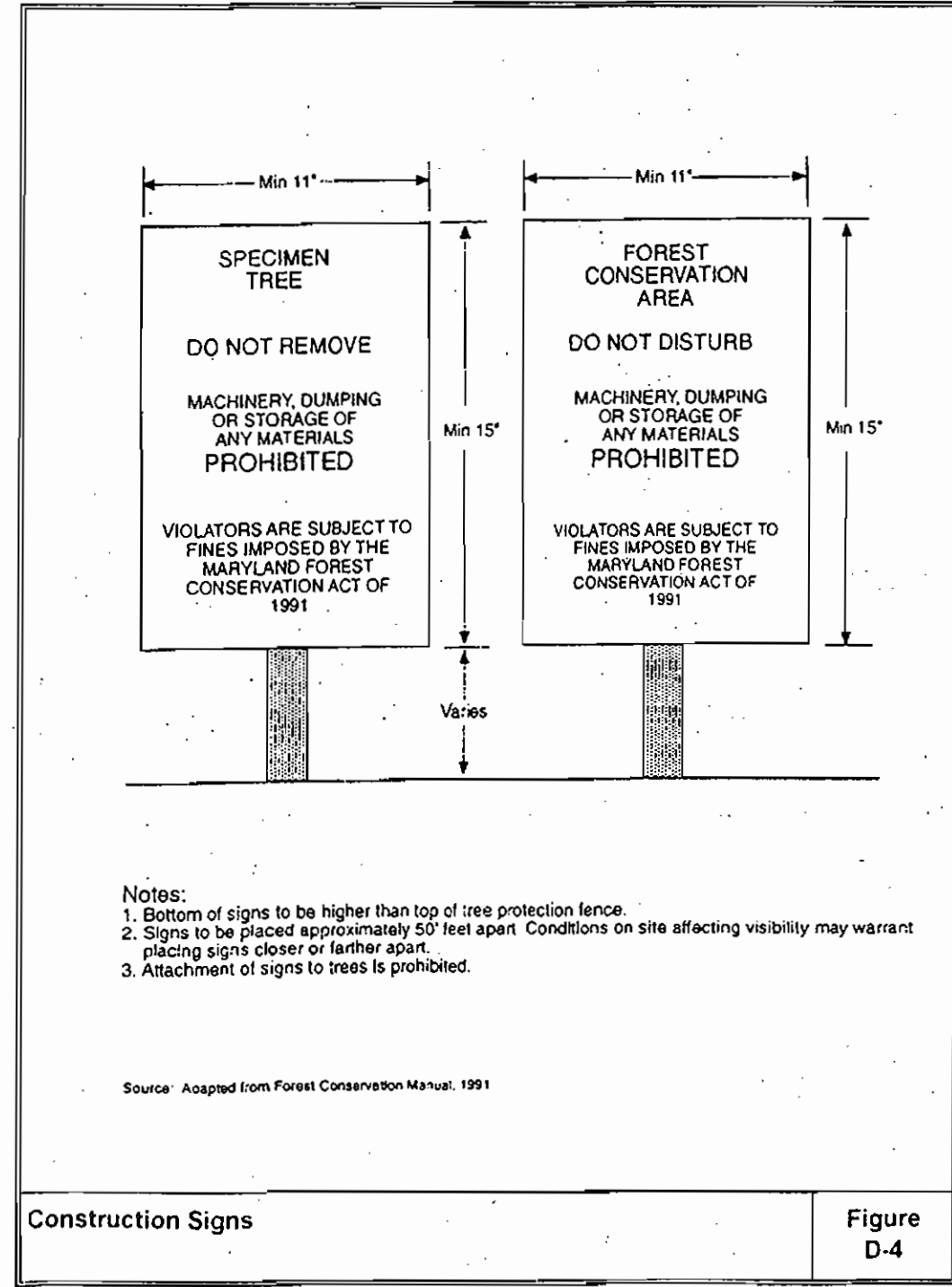
DESIGN BY: RLS
 DRAWN BY: TV
 CHECKED BY: AS
 SCALE: AS SHOWN
 DATE: 01/27/06
 W. O. No.:
 SHEET No. 1 OF 4

H:\PROJECTS\ SURVEY\ 0433301 - HUNTPROPERTY \ SDP1. DWG (R14)

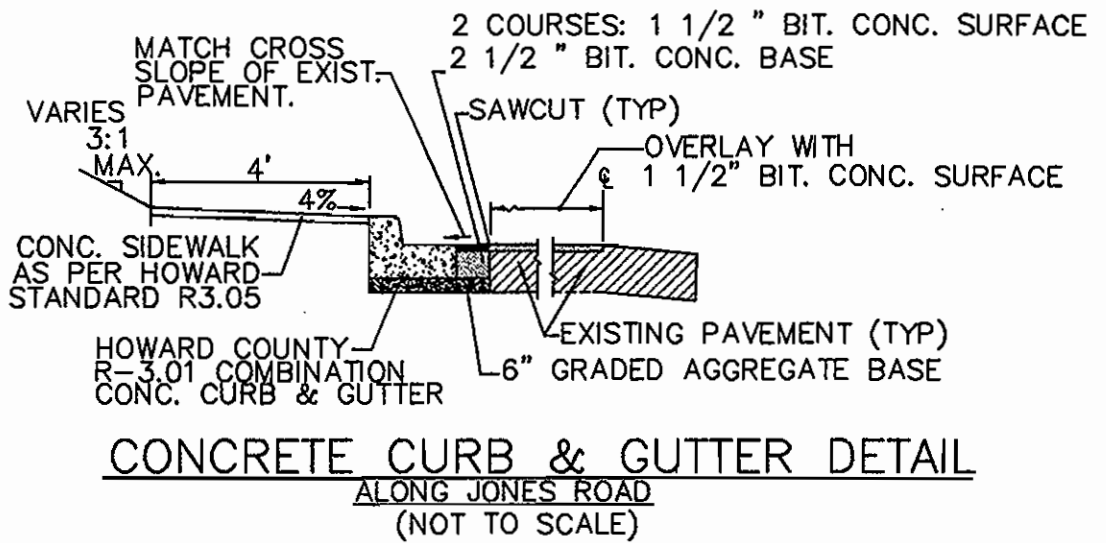
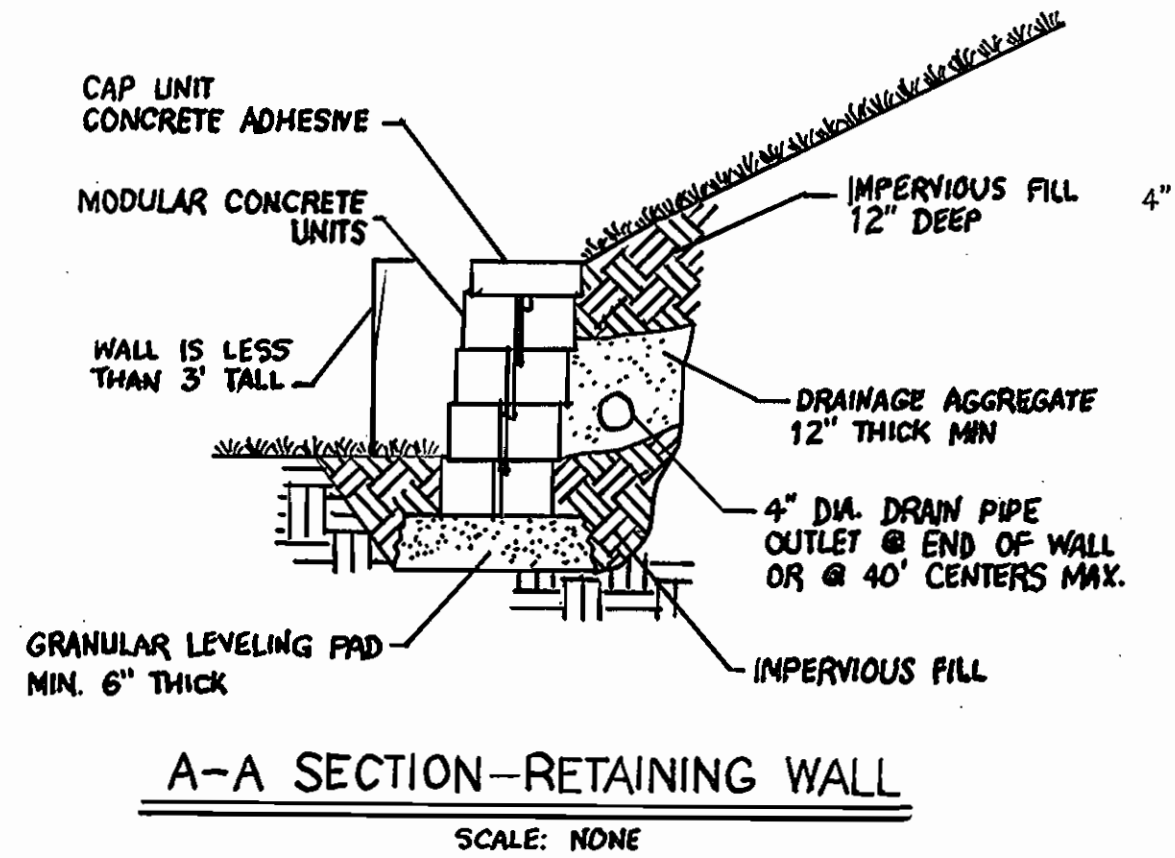
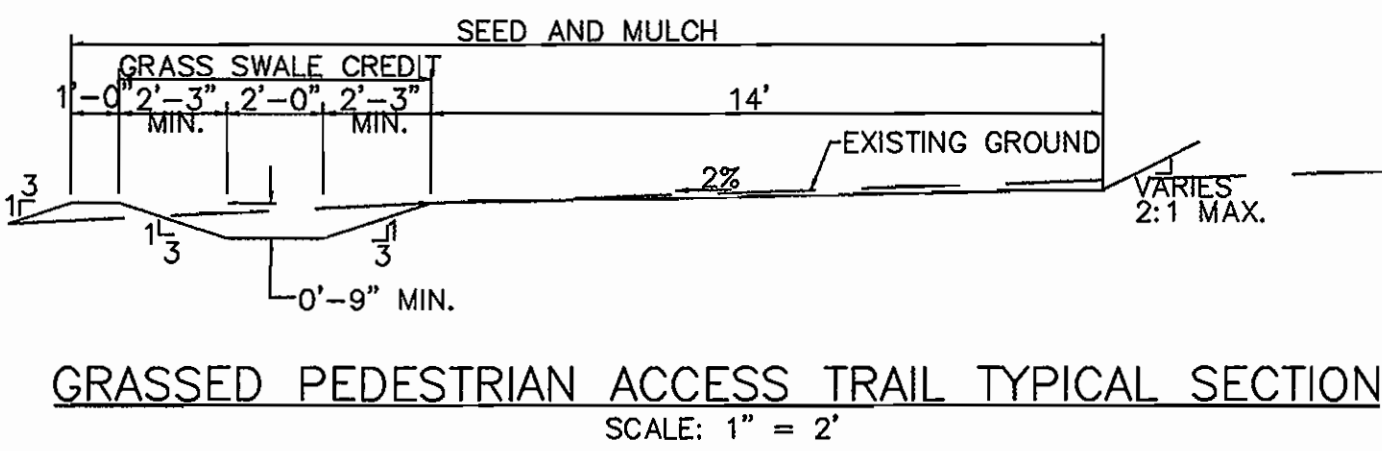
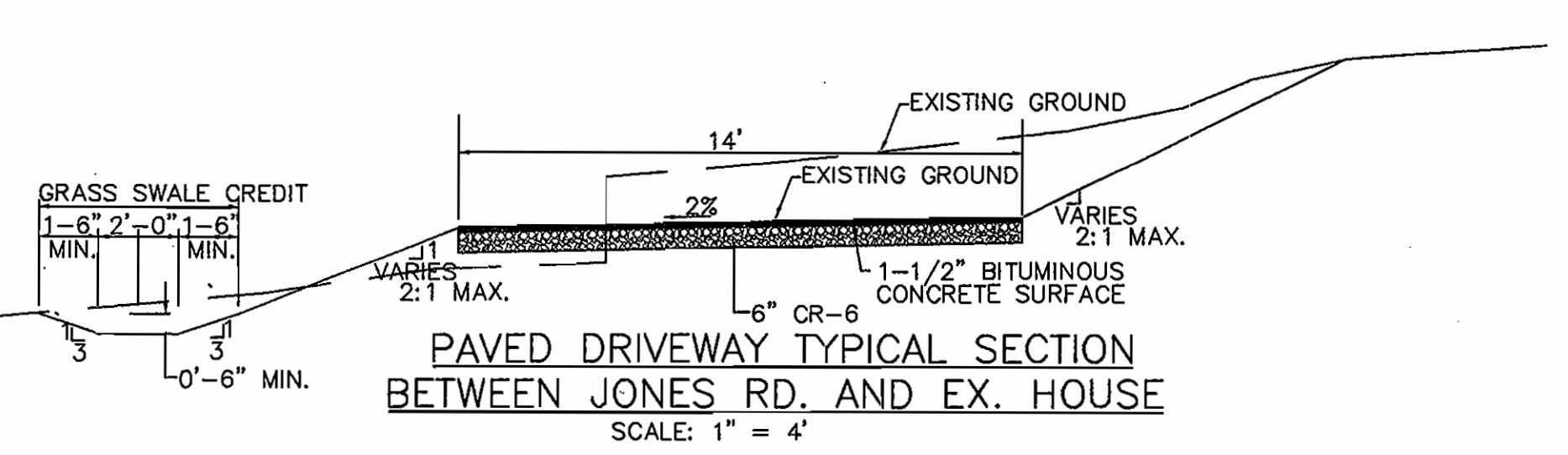
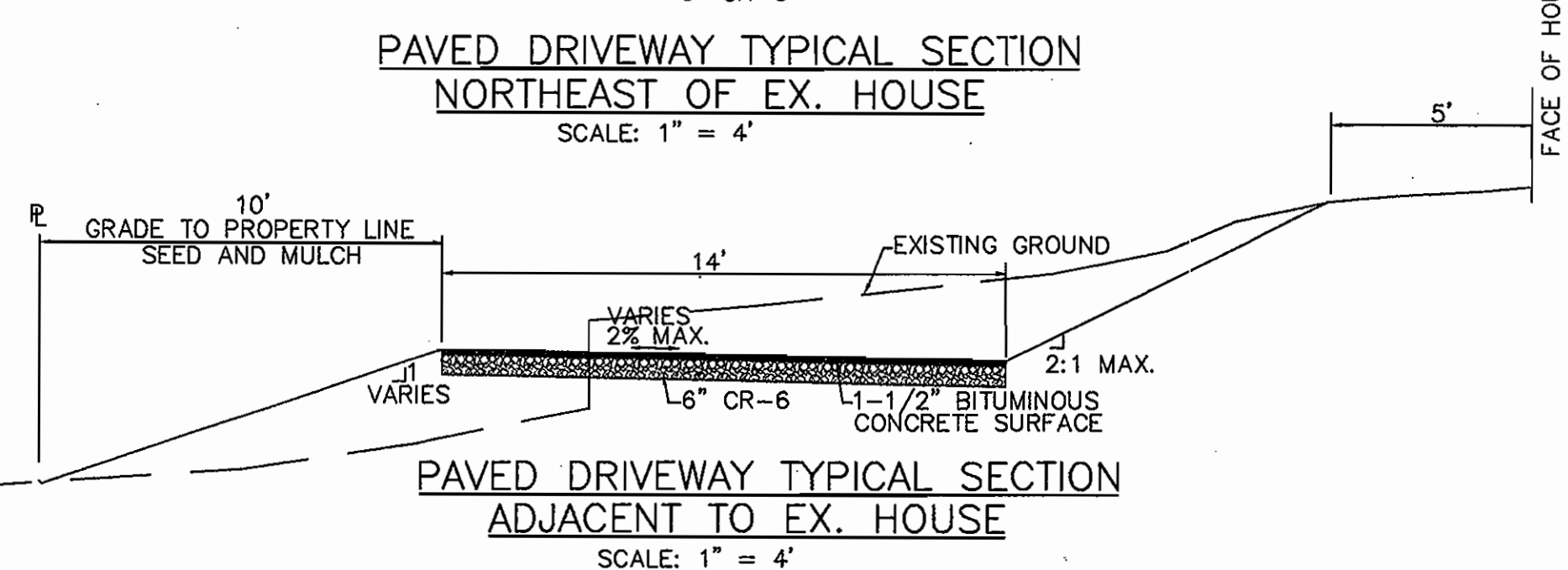
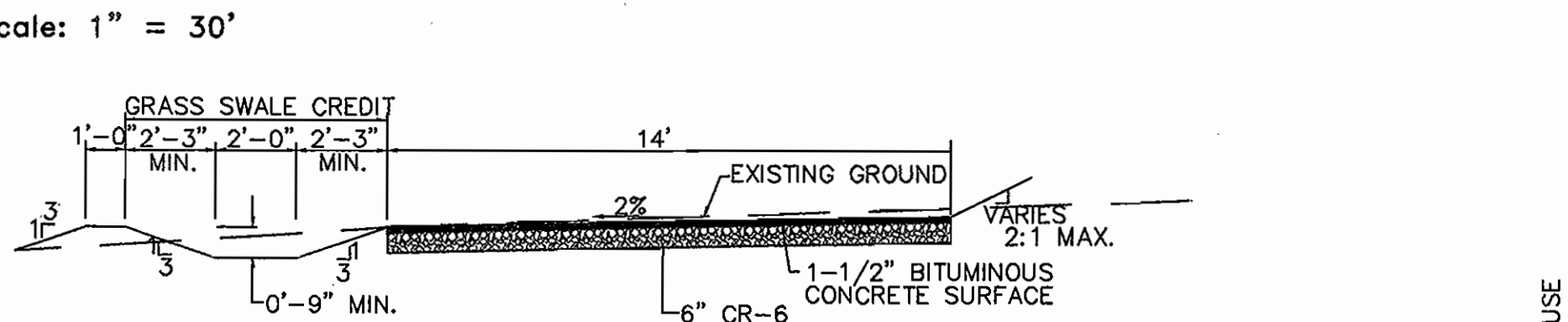


MATCH LINE SEE SHEET 1

NOTE:
1. THE ONLY SITE SPECIMEN TREE HAS BEEN IDENTIFIED ON SHEET 1



- NOTES:**
- CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL.
 - REMOVE ALL NON-BIODEGRADABLE CONTAINERS & SCARIFY ROOT BALL.



LANDSCAPE, SEDIMENT AND EROSION CONTROL PLAN

SDP-05-135
NORDAU SECTION E-2, LOT 9
"CABASSA PROPERTY"
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

H:\PROJECTS\ SURVEY 0433301_HUNTPROPERTY \

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 2/21/06	REVIEW FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS JIM MEYER DATE 2/21/06 USDA-NATURAL RESOURCE CONSERVATION SERVICE	ENGINEERS CERTIFICATE I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. SIGNATURE OF ENGINEER DATE 2/4/06	DEVELOPER'S CERTIFICATE I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT. SIGNATURE OF THE DEVELOPER DATE 2/21/06	PERMIT INFORMATION CHART <table border="1"> <tr> <th>Subdivision Name</th> <th>Section/Area</th> <th>Lot No.</th> </tr> <tr> <td>NORDAU</td> <td>E2</td> <td>9</td> </tr> <tr> <th>Plan #</th> <th>Grid</th> <th>Zoning</th> <th>Tax Map No.</th> <th>Elect. District</th> <th>Census Tract</th> </tr> <tr> <td>18151</td> <td>24</td> <td>R-12</td> <td>42</td> <td>6</td> <td>6069.01</td> </tr> <tr> <th>Water Code</th> <th>Sewer Code</th> <th colspan="4"></th> </tr> <tr> <td>B03</td> <td>4360000</td> <td colspan="4"></td> </tr> </table>	Subdivision Name	Section/Area	Lot No.	NORDAU	E2	9	Plan #	Grid	Zoning	Tax Map No.	Elect. District	Census Tract	18151	24	R-12	42	6	6069.01	Water Code	Sewer Code					B03	4360000					<p>DCI DANIEL CONSULTANTS, INC. CONSULTING ENGINEERING AND PLANNING 8950 Rt. 108 E., Suite 229 Columbia, MD, 21045 Phone: 410-995-0690 Fax: 410-992-7038</p>	DESIGN BY: RLS DRAWN BY: TV CHECKED BY: AS SCALE: AS SHOWN DATE: 01/27/06 W. O. No.: SHEET No. 2 OF 4
Subdivision Name	Section/Area	Lot No.																																		
NORDAU	E2	9																																		
Plan #	Grid	Zoning	Tax Map No.	Elect. District	Census Tract																															
18151	24	R-12	42	6	6069.01																															
Water Code	Sewer Code																																			
B03	4360000																																			