

SITE ANALYSIS DATA CHART

TOTAL SITE AREA:	955,565 S.F. (21.94 AC.)
AREA OF PLAN SUBMISSION:	614,632 S.F. (14.11 AC.)
DISTURBED AREA:	4,248 S.F. (0.10 AC.)
PRESENT ZONING DESIGNATION:	M-2 (MANUFACTURING HEAVY)
PROPOSED USE FOR SITE AND STRUCTURES:	RESTAURANT (STANDARD), MOTOR VEHICLE MAINTENANCE, GASOLINE SERVICE STATION, HOTEL, CONVENIENCE STORE.
EXISTING USE FOR SITE AND STRUCTURES:	RESTAURANT (STANDARD), MOTOR VEHICLE MAINTENANCE, GASOLINE SERVICE STATION, HOTEL, CONVENIENCE STORE.
PROPOSED IMPROVEMENTS:	ADDITION OF CONTROLLED PARKING BOOTHS AND GATES, RELOCATION OF CAT SCALE, INSTALLATION OF IDLEAIRE TRUCK SERVICES SYSTEM.
FLOOR SPACE ON EACH LEVEL OF BUILDING(S) PER USE:	CONTROL PARKING BOOTH (95 S.F.), IDLEAIRE TELECOMMUNICATIONS HUT (320 S.F.)
MAXIMUM NUMBER OF EMPLOYEES ON SITE PER USE:	CONTROL PARKING (1), IDLEAIRE (4)
NUMBER OF PARKING SPACES REQUIRED ON SITE:	HOTEL: 239 SPACES; FROM SDP-78-21, DATED: 9-28-77 CONVENIENCE STORE: 5367.583 S.F. @ 2 SPACES PER 1,000 S.F. = 12 SPACES GASOLINE SERVICE STATION: 3.0 SPACES PLUS 3.0 SPACES PER SERVICE BAY = 15 SPACES.
NUMBER OF PARKING SPACES PROVIDED:	CARS: EXISTING: 128 PROPOSED: 33 HANDICAPPED: 6 TOTAL: 167 TRUCKS: EXISTING: 0 (398 RESTRIPTED) PROPOSED: 281 BOBTAIL: 11 TOTAL: 292
OPEN SPACE ON SITE:	53,338 S.F. (1.22 AC.)
BUILDING COVERAGE OF SITE:	32,788 S.F. (0.75 AC.)
APPLICABLE DPZ FILE REFERENCE:	BA-05-025V - REDUCES THE REQUIRED 50' STRUCTURE SETBACK FROM AN EXTERNAL RIGHT-OF-WAY TO 166' FOR TRUSSES TO BE LOCATED IN AN M-2 ZONING DISTRICT. BA 89B-C - ALLOWS GAS STATION TO BE CONSTRUCTED AT TRUCK STOP. BA 81-14V - REDUCES THE 50' USE SETBACK FROM A PUBLIC STREET RIGHT-OF-WAY TO 7' FOR TRUCK PARKING. BA 81-15V - REDUCES THE 50' USE SETBACK FROM A PUBLIC STREET RIGHT-OF-WAY TO 7' FOR TRUCK PARKING. BA 91-33E - ALLOWS GAS STATION AT FRONT OF SITE FOR CARS. BA 00-02S - OVERALL SIGNAGE VARIANCE. SDP-82-24, SDP-86-9S, SDP-78-21, SDP-77-24, SDP-80-24, SDP-80-14, F-75-36, F-77-24, F-78-197, F-00-38
PROPOSED WORK ON SITE:	INSTALLATION OF (4) CONTROL PARKING TICKET DISPENSERS, (1) MANNED PAYMENT BOOTH, (1) AUTOMATED PAYMENT DISPENSER, RELOCATION OF (1) CAT SCALE, INSTALLATION OF (1) IDLEAIRE TELECOMMUNICATIONS HUT, INSTALLATION OF (3) ROWS OF IDLEAIRE TRUSS STRUCTURES, RELOCATION OF (9) SITE LIGHTS, RESTRIPE OF EXISTING TRUCK PARKING AREA, INSTALLATION OF MULTIPLE JERSEY BARRIERS AND RESTRIPE OF PORTION OF THE EXISTING CAR PARKING AREA TO BETTER CIRCULATE TRAFFIC.

TABLE OF CONTENTS

- 1 OF 7 COVER SHEET AND INDEX
- 2 OF 7 SITE PLAN
- 3 OF 7 SITE PLAN (CONTINUED)
- 4 OF 7 SITE DETAILS
- 5 OF 7 SITE DETAILS / SW3P NOTES
- 6 OF 7 IDLEAIRE DETAILS
- 7 OF 7 CAT SCALES

VARIANCE RECORDED

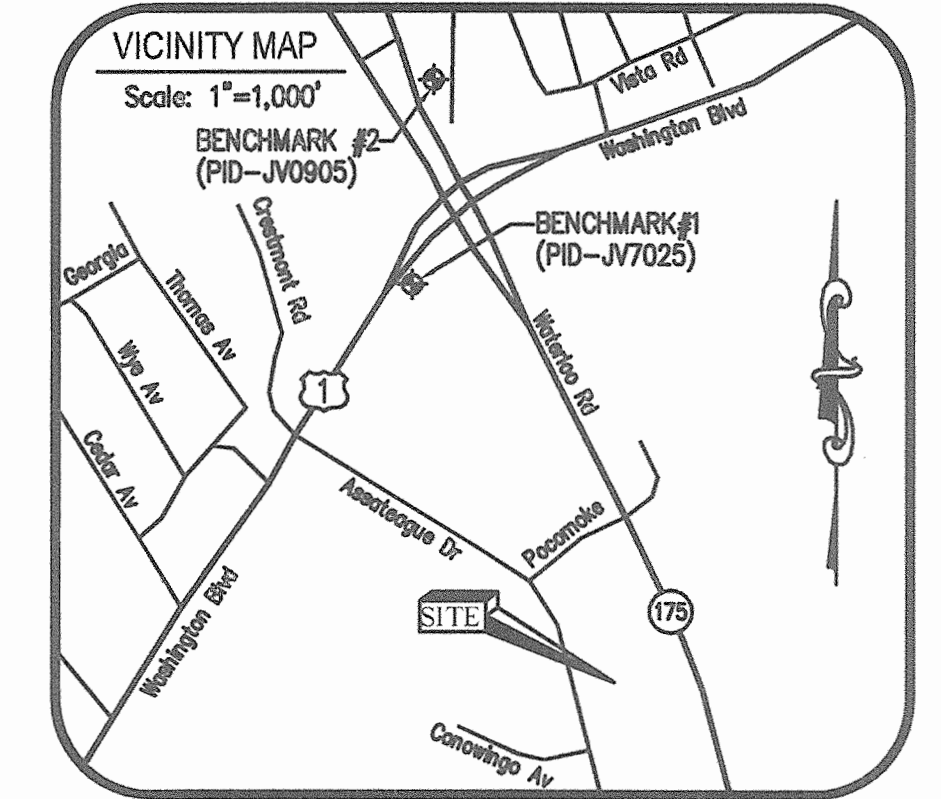
CASE #BA05-025V TO ALLOW STRUCTURE IN SETBACK ALONG MARYLAND ROUTE 175 IS APPROVED.

LEGEND

BENCHMARK #1 (PID-JV7025)
DESCRIPTION: STATION IS A STANDARD HOWARD COUNTY SURVEY DISC, SET ON TOP OF A 20 CM DIAMETER ROUND CONCRETE MONUMENT, RECESSED 15 CM FROM THE GROUND, IT IS STAMPED 2244005 1974. LOCATION: TO REACH THE STATION FROM THE INTERSECTION OF U.S. HIGHWAY 1 AND STATE HIGHWAY 175 LOCATED IN WATERLOO, GO 0.8 KM (0.50 MI) SOUTHWEST ON U.S. HIGHWAY 1 TO THE STATION ON THE RIGHT AT THE NORTHWEST CORNER OF HCS ROAD. THE STATION LIES 8.6 M (28.2 FT) EAST FROM AN X-CUT ON A FIRE HYDRANT 16.4 FT SOUTH FROM THE FACE OF A LARGE STEEL SIGN POLE FOR BARKSDALE LIQUOR STORE, 3.4 M (11.2 FT) NORTHWEST FROM THE EDGE OF SOUTHBOUND U.S. HIGHWAY 1 AND 0.5 M (1.6 FT) SOUTHWEST FROM A HOWARD COUNTY WITNESS POST.
VERTICAL ELEVATION: 917.05' (NAVD 88)
HORIZONTAL LOCATION: LATITUDE = 39°09'55.7626"N, LONGITUDE = 076°47'27.96094"W (NAD 83)

BENCHMARK #2 (PID-JV0905)
DESCRIPTION: THE BENCHMARK IS A MARK SET IN THE TOP OF A ROUND CONCRETE POST WHICH PROJECTS ABOUT 4 INCHES AND THE DISK IS STAMPED S25,1957.
LOCATION: APPROXIMATELY 52.5 FEET EAST OF CENTER OF HIGHWAY 96, 5 FEET NORTH OF POWER POLE AND 2 FEET NORTH OF WITNESS POST
VERTICAL ELEVATION: 305.06' (NAVD 88)
HORIZONTAL LOCATION: LATITUDE=39°10'36"N, LONGITUDE=076°47'07"W (NAD 83)

VICINITY MAP



GENERAL NOTES

- A. THE SUBJECT PROPERTY IS ZONED M-2 PER THE 02/02/02 COMPREHENSIVE ZONING PLAN.
- B. IN ACCORDANCE WITH SUBDIVISION SECTION 16.1202(6)(1)(ii), THIS PLAN IS EXEMPT FROM COMPLIANCE WITH THE REQUIREMENTS OF THE FOREST CONSERVATION ACT BECAUSE ALL PROPOSED DISTURBANCE AND IMPROVEMENTS ARE WITHIN L.O.D SHOWN ON PREVIOUS SITE DEVELOPMENT PLANS FOR THIS SITE THAT WERE APPROVED BEFORE 12/31/92.
- C. NO KNOWN VEGETATION COMMUNITIES ON SITE.
- D. NO STREAMS, WETLANDS, OR THEIR REQUIRED BUFFER ARE LOCATED ON THIS SITE.
- E. NO BURIAL GROUNDS, CEMETERY SITES OR HISTORIC SITES ARE KNOWN TO BE ON SITE.
- F. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS.
- G. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- H. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (800)257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- I. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- J. ALL NEW IMPROVEMENTS TO THIS SITE WILL OCCUR UPON EXISTING IMPERVIOUS SURFACES AND THAT NO PERVIOUS SURFACES WILL BE DISTURBED.
- K. EXISTING UTILITIES ARE BASED ON SURVEY COMPLETED BY MILLMAN ENGINEERING, DATED AUGUST 26, 2004.
- L. SITE IS LOCATED IN FLOOD ZONE 'C' DENOTED AS AREA OF MINIMAL FLOODING.
- M. NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- N. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.
- O. TRUCKING ON OR ABOUT THE SITE WILL BE PERMITTED ONLY WITHIN REASONABLE LIMITS AND THE CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER THE PREMISES WITH EQUIPMENT AND MATERIALS. THE STORAGE SHALL BE CONFINED TO SUCH LIMITS AS MAY BE JOINTLY AGREED UPON BY OWNER AND CONTRACTOR.
- P. THE CONTRACTOR SHALL FURTHER ENFORCE THE OWNERS INSTRUCTIONS REGARDING TEMPORARY PARKING, USE OF ROADS, AND FIRE PREVENTION.
- Q. UTILITIES SHOWN ARE TAKEN FROM THE SURVEY AND RECORDS OF RESPECTIVE UTILITY COMPANIES AND DO NOT NECESSARILY REPRESENT ALL UNDERGROUND UTILITIES ADJACENT TO OR UPON SITE SHOWN ON PLAN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- R. DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE NOT INTENDED. THE CONTRACTOR IS TO CLARIFY ANY SUCH DISCREPANCIES WITH THE ENGINEER PRIOR TO COMMENCING WORK.
- S. ALL EXTERIOR SIGNS SHALL BE SUPPLIED TO THE OWNER BY SIGN CONTRACTOR. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRE TO SIGN. FINAL CONNECTIONS BY ELECTRICAL CONTRACTOR.
- T. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY OR PERMANENT SOIL EROSION CONTROL MEASURES TO ALL DISTURBED AREAS OUTSIDE PROPERTY.
- U. STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. THE ENGINEER SHALL BE NOTIFIED OF ANY SUCH DISCREPANCIES PRIOR TO CONTINUING WITH WORK.
- V. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURERS APPROVED SHOP DRAWINGS/DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- W. GENERAL CONTRACTOR TO REFER TO THESE DOCUMENTS AS WELL AS SPECIFICATIONS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED AS 'OWNER SUPPLIED' ARE TO BE SUPPLIED BY GENERAL CONTRACTOR. UNLESS NOTED OTHERWISE, ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
- X. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- Z. PREVIOUS ZONING VARIANCE AND SPECIAL EXCEPTIONS CAN BE FOUND UNDER: BA896-L, BA81-14V, BA81-15V, BA91-33E, BA00-02S

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
B-1, C, D-1, E-1, H	7401 ASSATEAGUE DR. JESSUP, MD 20794

PERMIT INFORMATION CHART

SUBDIVISION NAME: GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET (GBCWFM)	SECTION/AREA: BLOCK C	LOT/PARCEL NO.: B-1, C, D-1, E-1, H
PLAT # 3565, 3564, 4116, 13972 MAP GRID # 15	ZONE: M-2 (MANUFACTURING)	TAX MAP NO.: 43 ELEC DISTR: 6 CENSUS TRACT: 6069.01
WATER CODE: B02	SEWER CODE: 3330000	

COVER SHEET AND INDEX

HOWARD COUNTY, MD

SHEET 1 OF 7.

SDP-05-129

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/10/06
Chief, Development Engineering Division Date

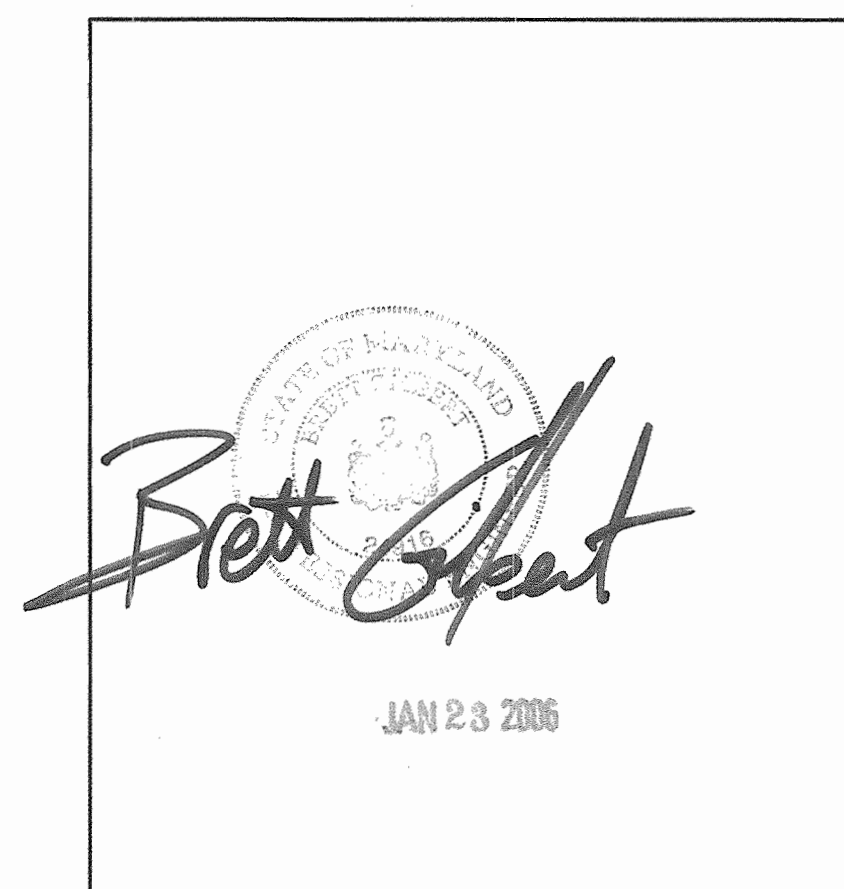
[Signature] 3/15/06
Chief, Development of Land Development Date

[Signature] 3/17/06
Director Date

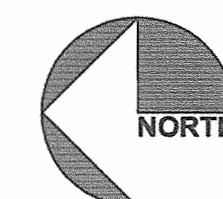


950 Winter Street
Suite 4700
Waltham, MA 02451
781.487.7722 T
781.487.9996 F
innovate@wdpartners.com
wdpartners.com

Atlanta
Boston
Chicago
Columbus
Dallas
Los Angeles
Miami



SCALE: 1" = 100.00'



2

3

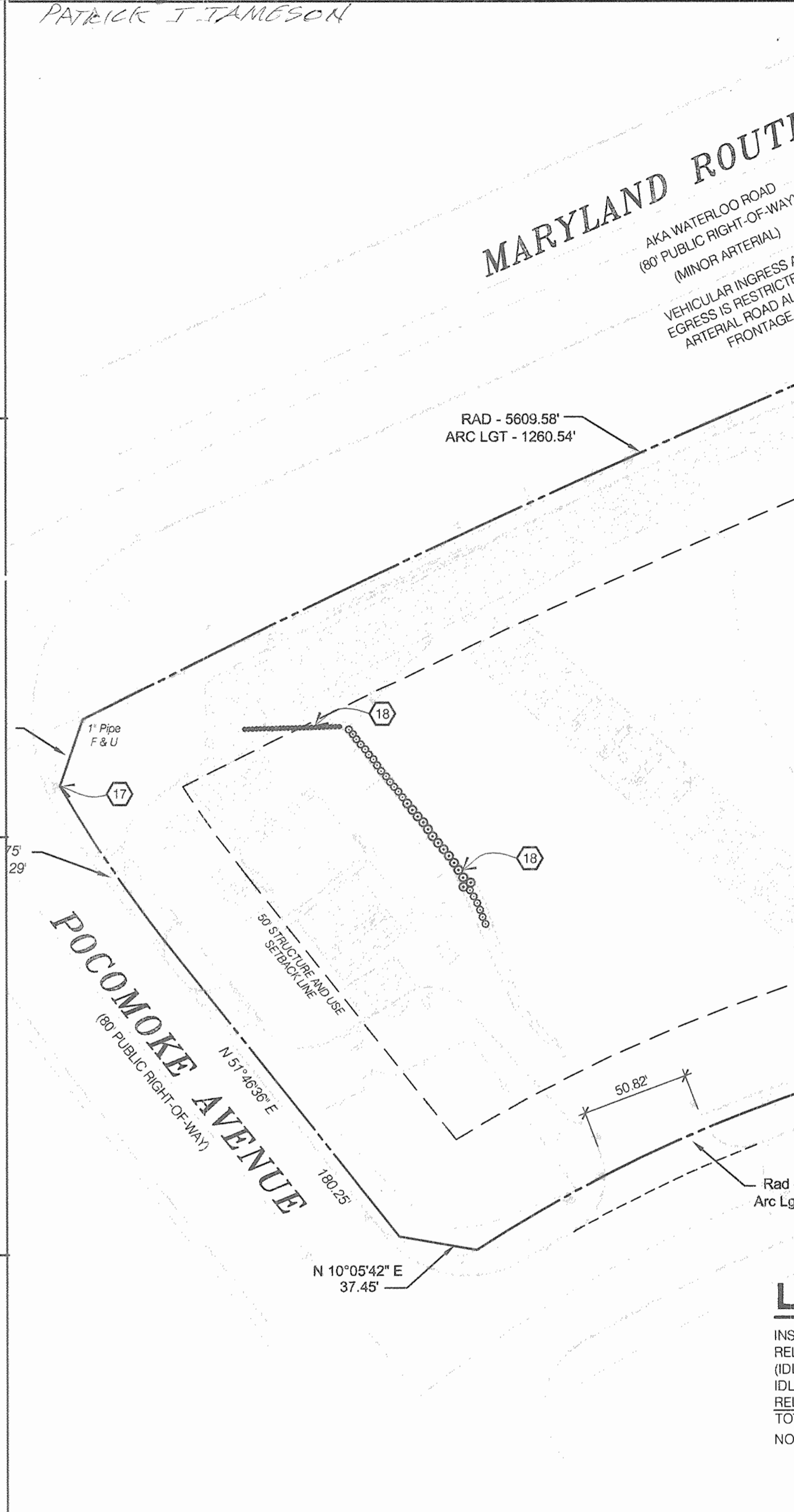
4

5

6

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer (print name below signature) Brett Robert Date 2-6-06
 Signature of Developer (print name below signature) Patrick J. Jameson Date 2-7-06

Reviewed for Howard SCD and meets Technical Requirements
 USDA - Natural Resources Conservation Service Date 2/6/06
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Howard SCD Date



LIMIT OF DISTURBANCE
 INSTALL CAT SCALE: 2,200 S.F.
 RELOCATE SEVEN SITE LIGHTS: 495 S.F.
 (IDLEAIRE RE-STRIPE OF TRUCK LOT)
 IDLEAIRE TRUSS SUPPORT COLUMNS: 645 S.F.
 RELOCATE SITE CURBING: 664 S.F.
 TOTAL DISTURBED AREA: 4,248 S.F. < 5,000 S.F.
 NOTE: FROM CONSTRUCTION ESTIMATION, EXCAVATION AND TRANSPORT OF EARTH IS TO STAY UNDER 100 C.Y.

EXISTING PLANT LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
15		EUONYMUS KIALUTSCHOVICUS	MANHATTAN EUONYMUS	2 1/2'-3' HT	3' O.C.	B & B CONT.; HEAVY
25		JUNIPERUS CHINENSIS	SARGENT JUNIPER	18"-24" SPD.	3' O.C. +/-	CONT.
20		VIBURNUM x JUDDII	JUDD VIBURNUM	24"-30" HT	4' O.C.	B & B OR CONT.
50		PINUS STROBIS	WHITE PINE	8'-10' HT	B & B	

GENERAL NOTES

A. GENERAL CONTRACTOR SHALL COORDINATE ALL SIGNAGE WITH OWNER.

PARKING DATA

EXISTING TRUCK:		EXISTING CAR:	
FULL LENGTH:	398	CAR:	128
PROPOSED TRUCK:		HANDICAPPED:	8
		TOTAL:	134
IDLE AIRE:	129	PROPOSED CAR:	
NON - IDLE AIRE:	134	CAR:	161
PAID:	18	SERVICE BAY:	15
FREE:	2	HANDICAPPED:	5
SHOP STAGING:	2	TOTAL:	182
BOBTAIL:	11		
TOTAL:	294		

LEGEND

- SYMBOL LEGEND**
- Manhole / Catch Basin / Curb Inlet
 - Multiple Catch Basins
 - Utility Pole
 - Street Light
 - Telephone Pole
 - Telephone Booth
 - Light Pole
 - Light Pole On Island
 - Fire Hydrant
 - Handicap Parking
 - Bollard
 - Electric Meter
 - Water Meter
 - Gas Meter
 - Utility Pedestal
 - Underground Utility Marker
 - Sign
 - Monument Found as Noted
 - Chain Link Fence
 - Wooden Fence
 - Curb
 - Right of Way Boundary
 - Centerline
 - Fuel Pump
 - Concrete
 - Proposed Parking Spaces
 - Site Fence. See Detail 5-05.
 - Intel Protection. See Detail 5-05.

KEYED NOTES

- FORMED CONCRETE CURB. SEE DETAIL 4-01.
- TAPER 6" CONCRETE CURB FROM TYPICAL CURB DETAIL TO MEET AND MATCH CONFIGURATION AND ELEVATION OF EXISTING ADJOINING CURB OR PAVEMENT.
- ALKYD-READY MIX PAVEMENT STRIPING PER MDOT SPECIFICATIONS.
- EXISTING CONCRETE JERSEY BARRIER TO REMAIN.
- PROPOSED CONCRETE JERSEY BARRIER WITH NO FENCING. SEE DETAIL 5-04.
- PROPOSED CONCRETE BARRIER WITH FENCING. SEE DETAIL 5-04.
- PROPOSED CONCRETE BARRIER TO BE PLACED ON ITS SIDE AND PERMANENTLY ANCHORED INTO THE EXISTING ASPHALT PAVEMENT AS APPROVED BY OWNER.
- PROPOSED TICKET BOOTH WITH GATE. SEE DETAIL 4-03 AND 4-07 FOR LAYOUT AND ELECTRIC ROUTING.
- PROPOSED GATE ARMS. SEE DETAIL 5-01 AND 5-03 FOR LAYOUT AND ELECTRIC ROUTING.
- PROPOSED AUTOMATED CASHIER WITH GATE. COORDINATE WITH MANUFACTURERS SPECIFICATIONS.
- RELOCATED SITE LIGHT AND CONDUIT AS REQUIRED.
- PROPOSED TRUCK SCALE RELOCATION BY CAT SCALE. ALL IMPROVEMENTS AT GRADE OR BELOW EXCEPT SIGN. SEE DETAIL ON SHEET 7.
- PROPOSED CHAINLINK FENCE. SEE DETAIL 4-05.
- PROPOSED SWING GATE MANGATE PER DETAIL 4-05.
- BOBTAIL PARKING SPACES, SPACES TO BE STRIPED AT 12' X 40'.
- LINE OF PROPOSED IDLEAIRE TRUSSES. EACH TRUSS IS 54' LONG AND IS SUPPORTED BY A COLUMN AT EACH END. SEE DETAIL 5-01.
- EXISTING FIRE HYDRANT TO REMAIN. DO NOT DISTURB.
- EXISTING LANDSCAPING PER SDP-96-95. CONTRACTOR TO VERIFY THAT PLANTS ARE IN PLACE, IF NOT, INSTALL PER THE PLANTING SCHEDULE.
- RELOCATION OF GOSPEL TRAILER.
- FIRE LANE. CONTRACTOR TO PAINT CURB RED AND STENCIL PER FIRE DEPARTMENT REGULATIONS.
- PROPOSED TICKET DISPENSER. SEE DETAIL 5-01 AND 5-03 FOR LAYOUT AND ELECTRIC ROUTING.
- PROPOSED 4" BOLLARD. SEE DETAIL 4-04.
- PROPOSED 7" BOLLARD. SEE DETAIL 4-02.
- PROPOSED HC PARKING FOR IDLEAIRE TELECOMMUNICATIONS HUT.
- SAFETY BARRIER IN FRONT OF EACH IDLEAIRE TRUCK PARKING SPACE. SEE DETAIL 6-06.
- GC TO PATCH SCALE AREA.
- EMERGENCY GATE INSTALL KNOX BOX PER FIRE REGS.

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
B-1, C, D-1, E-1, H	7401 ASSATEAGUE DR. JESSUP, MD 20794

PERMIT INFORMATION CHART

SUBDIVISION NAME: GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET (GBCWFM)	SECTION/AREA: BLOCK 'C'	LOT/PARCEL NO.: B-1, C, D-1, E-1, H
PLAT # 3565, 3564, 4116, 13972 MAP GRID # 15	ZONE: M-2 (MANUFACTURING)	TAX MAP NO.: 43 ELEC DISTR: 6 CENSUS TRACT: 6069.01
WATER CODE: B02	SEWER CODE: 3330000	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division Date 3/13/06
Chief, Development of Land Development Date 3/15/06
Director Date 3/17/06

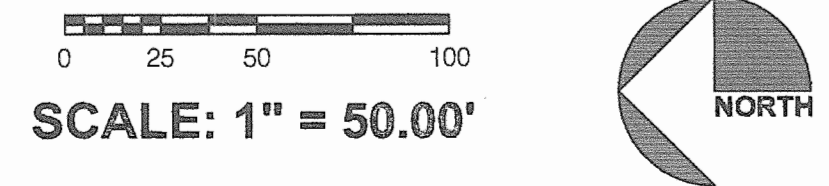


950 Winter Street
 Suite 4700
 Waltham, MA 02451
 781.487.1722 T
 781.487.9996 F
 innovate@wdpartners.com
 wdpartners.com

Atlanta
 Boston
 Chicago
 Columbus
 Dallas
 Los Angeles
 Miami



Brett Robert
 FEB 06 2006

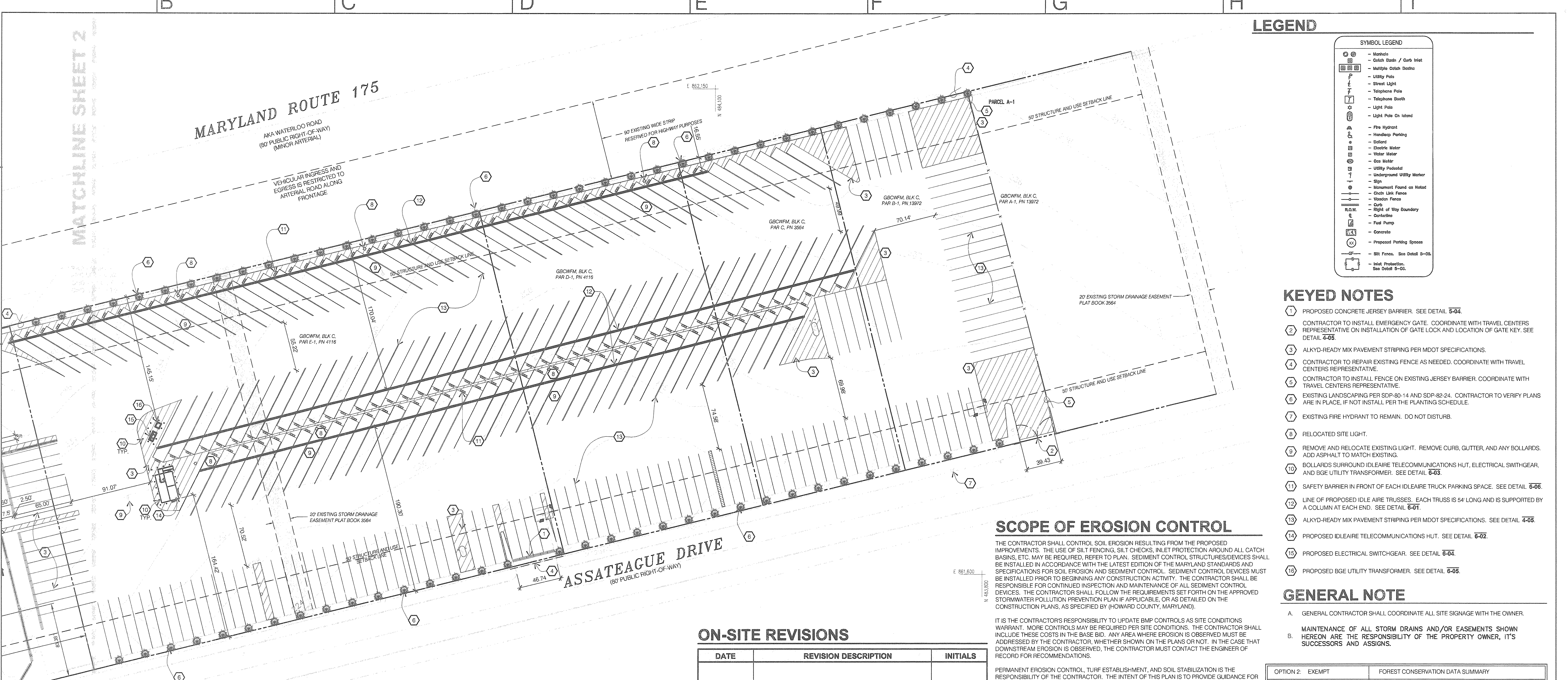


HOWARD COUNTY, MD

SITE PLAN

SHEET 2 OF 7.

SDP-05-129



LEGEND

SYMBOL LEGEND

- ⊙ - Manhole
- ⊕ - Catch Basin / Curb Inlet
- ⊞ - Multiple Catch Basins
- ⊖ - Utility Pole
- ⊗ - Street Light
- ⊘ - Telephone Pole
- ⊙ - Telephone Booth
- ⊙ - Light Pole
- ⊙ - Light Pole On Island
- ⊙ - Fire Hydrant
- ⊙ - Handicap Parking
- ⊙ - Bollard
- ⊙ - Electric Meter
- ⊙ - Water Meter
- ⊙ - Gas Meter
- ⊙ - Utility Pedestal
- ⊙ - Underground Utility Marker
- ⊙ - Sign
- ⊙ - Monument Found on Lot
- ⊙ - Chain Link Fence
- ⊙ - Wooded Fence
- ⊙ - Curb
- ⊙ - Right of Way Boundary
- ⊙ - Centerline
- ⊙ - Fuel Pump
- ⊙ - Concrete
- ⊙ - Preapproved Parking Spaces
- ⊙ - Silt Fence. See Detail 5-05.
- ⊙ - Inlet Protection. See Detail 5-03.

KEYED NOTES

- 1 PROPOSED CONCRETE JERSEY BARRIER. SEE DETAIL 5-04.
- 2 CONTRACTOR TO INSTALL EMERGENCY GATE. COORDINATE WITH TRAVEL CENTERS REPRESENTATIVE ON INSTALLATION OF GATE LOCK AND LOCATION OF GATE KEY. SEE DETAIL 4-05.
- 3 ALKYD-READY MIX PAVEMENT STRIPING PER MDOT SPECIFICATIONS.
- 4 CONTRACTOR TO REPAIR EXISTING FENCE AS NEEDED. COORDINATE WITH TRAVEL CENTERS REPRESENTATIVE.
- 5 CONTRACTOR TO INSTALL FENCE ON EXISTING JERSEY BARRIER. COORDINATE WITH TRAVEL CENTERS REPRESENTATIVE.
- 6 EXISTING LANDSCAPING PER SDP-80-14 AND SDP-82-24. CONTRACTOR TO VERIFY PLANS ARE IN PLACE, IF NOT INSTALL PER THE PLANTING SCHEDULE.
- 7 EXISTING FIRE HYDRANT TO REMAIN. DO NOT DISTURB.
- 8 RELOCATED SITE LIGHT.
- 9 REMOVE AND RELOCATE EXISTING LIGHT. REMOVE CURB, GUTTER, AND ANY BOLLARDS. ADD ASPHALT TO MATCH EXISTING.
- 10 BOLLARDS SURROUND IDELAIRE TELECOMMUNICATIONS HUT, ELECTRICAL SWITCHGEAR, AND BGE UTILITY TRANSFORMER. SEE DETAIL 6-03.
- 11 SAFETY BARRIER IN FRONT OF EACH IDELAIRE TRUCK PARKING SPACE. SEE DETAIL 6-06.
- 12 LINE OF PROPOSED IDLE AIRE TRUSSES. EACH TRUSS IS 54' LONG AND IS SUPPORTED BY A COLUMN AT EACH END. SEE DETAIL 6-01.
- 13 ALKYD-READY MIX PAVEMENT STRIPING PER MDOT SPECIFICATIONS. SEE DETAIL 4-05.
- 14 PROPOSED IDELAIRE TELECOMMUNICATIONS HUT. SEE DETAIL 6-02.
- 15 PROPOSED ELECTRICAL SWITCHGEAR. SEE DETAIL 6-04.
- 16 PROPOSED BGE UTILITY TRANSFORMER. SEE DETAIL 6-05.

SCOPE OF EROSION CONTROL

THE CONTRACTOR SHALL CONTROL SOIL EROSION RESULTING FROM THE PROPOSED IMPROVEMENTS. THE USE OF SILT FENCING, SILT CHECKS, INLET PROTECTION AROUND ALL CATCH BASINS, ETC. MAY BE REQUIRED, REFER TO PLAN. SEDIMENT CONTROL STRUCTURES/DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. SEDIMENT CONTROL DEVICES MUST BE INSTALLED PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUED INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS SET FORTH ON THE APPROVED STORMWATER POLLUTION PREVENTION PLAN IF APPLICABLE, OR AS DETAILED ON THE CONSTRUCTION PLANS, AS SPECIFIED BY (HOWARD COUNTY, MARYLAND).

IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE BMP CONTROLS AS SITE CONDITIONS WARRANT. MORE CONTROLS MAY BE REQUIRED PER SITE CONDITIONS. THE CONTRACTOR SHALL INCLUDE THESE COSTS IN THE BASE BID. ANY AREA WHERE EROSION IS OBSERVED MUST BE ADDRESSED BY THE CONTRACTOR, WHETHER SHOWN ON THE PLANS OR NOT. IN THE CASE THAT DOWNSTREAM EROSION IS OBSERVED, THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD FOR RECOMMENDATIONS.

PERMANENT EROSION CONTROL, TURF ESTABLISHMENT, AND SOIL STABILIZATION IS THE RESPONSIBILITY OF THE CONTRACTOR. THE INTENT OF THIS PLAN IS TO PROVIDE GUIDANCE FOR PLACEMENT OF BEST MANAGEMENT PRACTICES.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER CLEANING AND DISPOSAL OF ANY DEBRIS TAKEN OFF SITE. CONTRACTOR IS RESPONSIBLE FOR ALL FINES AND FEES FOR IMPROPER PLACEMENT OR MAINTENANCE OF CONTROLS.

GENERAL NOTE

- A. GENERAL CONTRACTOR SHALL COORDINATE ALL SITE SIGNAGE WITH THE OWNER.
- B. MAINTENANCE OF ALL STORM DRAINS AND/OR EASEMENTS SHOWN HEREON ARE THE RESPONSIBILITY OF THE PROPERTY OWNER, ITS SUCCESSORS AND ASSIGNS.

ON-SITE REVISIONS

DATE	REVISION DESCRIPTION	INITIALS

EXISTING PLANT LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
⊙	15	EUONYMUS KJAUTSCHOVICUS	MANHATTAN EUONYMUS	2 1/2'- 3' HT	3' O.C.	B & B CONT.; HEAVY
		"MANHATTAN"				
⊙	25	JUNIPERUS CHINENSIS	SARGENT JUNIPER	18"-24" SPD.	3' O.C. +/-	CONT.
		"SARGENT"				
⊙	20	VIBURNUM x JUDDII	JUDD VIBURNUM	24"-30" HT	4' O.C.	B & B OR CONT.
⊙	50	PINUS STROBIS	WHITE PINE	8'-10' HT		B & B

OPTION 2: EXEMPT	FOREST CONSERVATION DATA SUMMARY
FILE NUMBER: SDP-05-120	PROJECT/SUBDIVISION NAME: GBCWFM
REGULATION SECTION: 16.1202.b.1.(ii) ALL DISTURBANCE IS TAKING PLACE IN EXISTING IMPERVIOUS AREA AS APPROVED ON SITE PLANS PRIOR TO 1991.	

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
B-1, C, D-1, E-1, H	7401 ASSATEAGUE DR. JESSUP, MD 20794

PERMIT INFORMATION CHART

SUBDIVISION NAME: GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET (GBCWFM)	SECTION/AREA: BLOCK 'C'	LOT/PARCEL NO.: B-1, C, D-1, E-1, H
PLAT # 3565, 3564, 4116, 13972 MAP GRID # 15	ZONE: M-2 (MANUFACTURING)	TAX MAP NO.: 43 ELEC DISTR.: 6 CENSUS TRACT: 6069.01
WATER CODE: B02	SEWER CODE: 3330000	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/13/06
Chief, Development Engineering Division Date

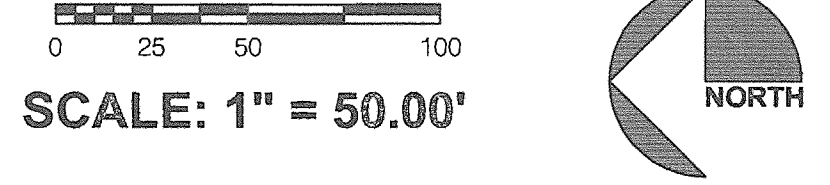
[Signature] 3/15/06
Chief, Development of Land Development Date

[Signature] 3/17/06
Director Date

IdleAire
Technologies Corporation
410 NORTH CEDAR BLUFF ROAD, SUITE 200
KNOXVILLE, TN 37923
PHONE: (865) 342-8844
FAX: (865) 342-3850

TravelCenters of America
24601 Center Ridge Road, Suite 200
Westlake, Ohio 44145
(440)808-9100

[Professional Engineer Seal]

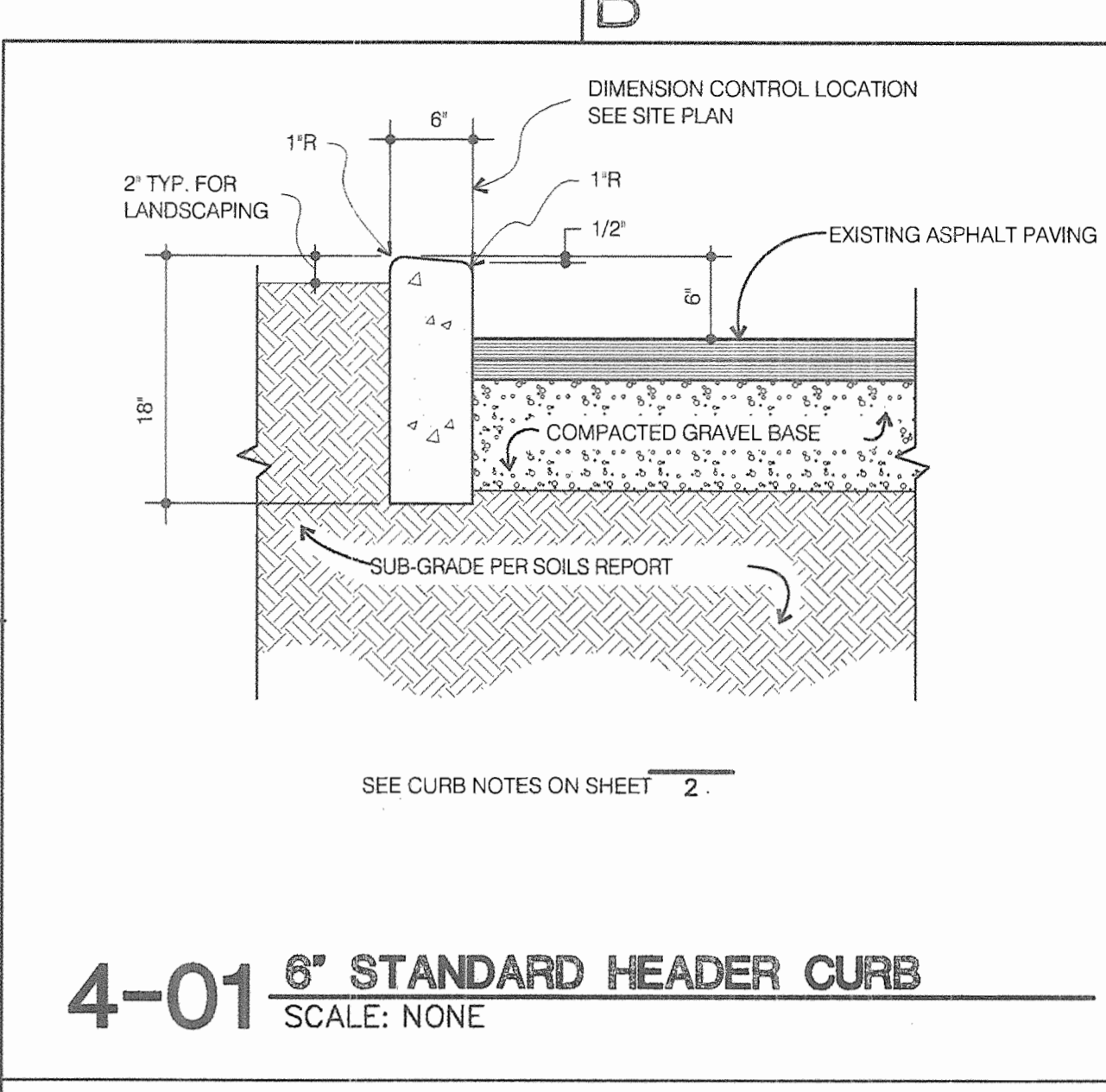


SITE PLAN (CONTINUED)

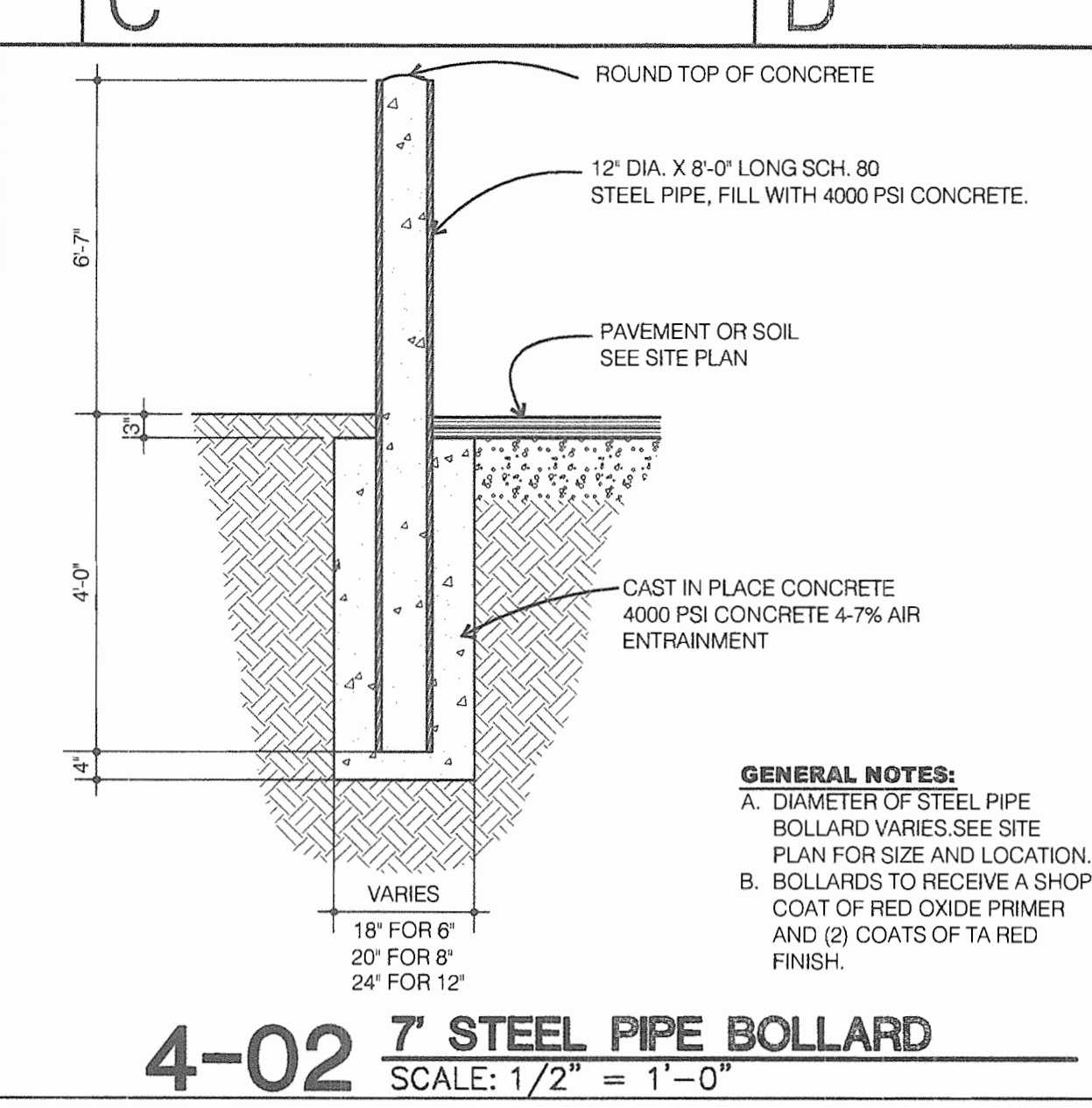
HOWARD COUNTY, MD

SHEET 3 OF 7

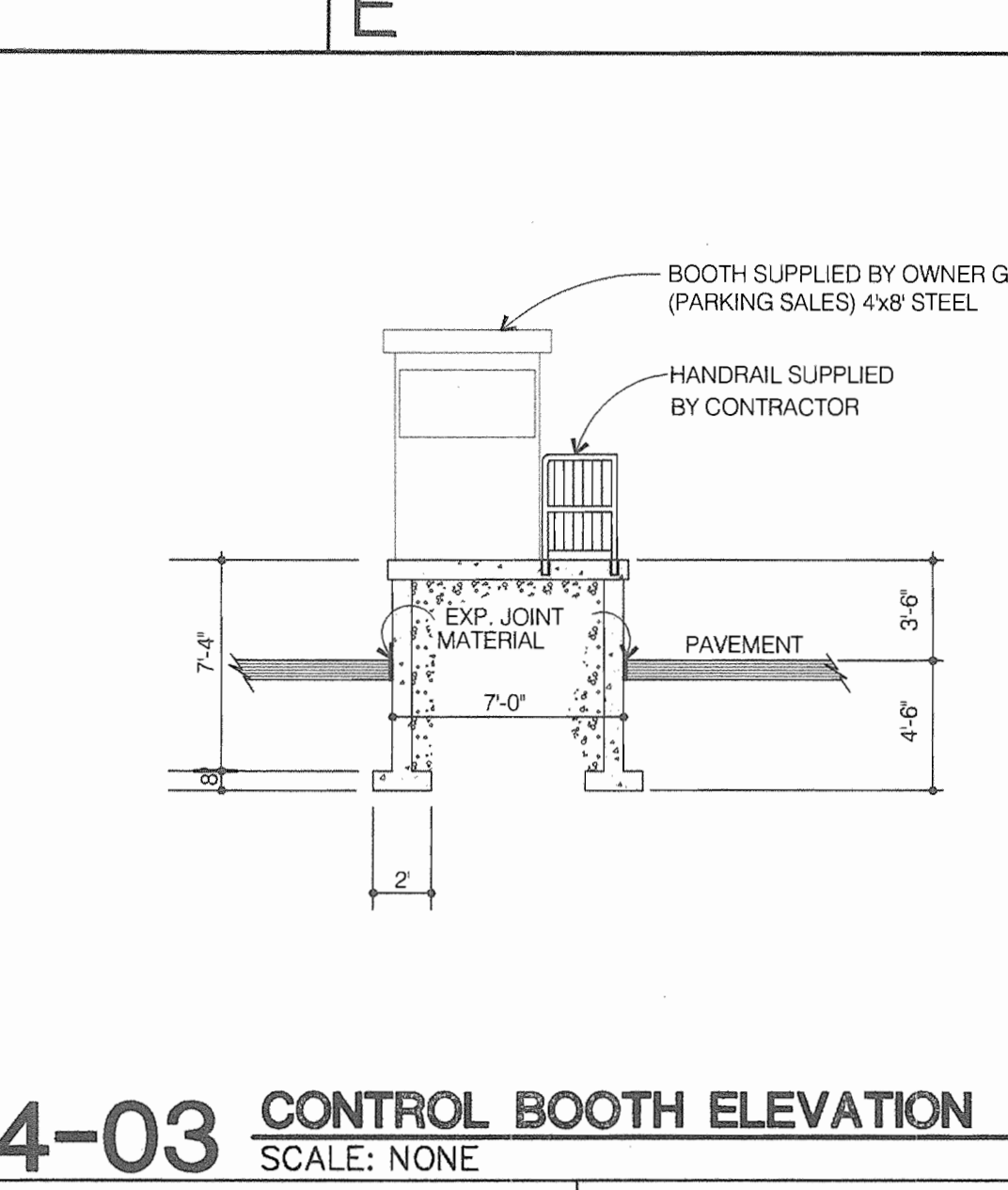
SDP-05-120



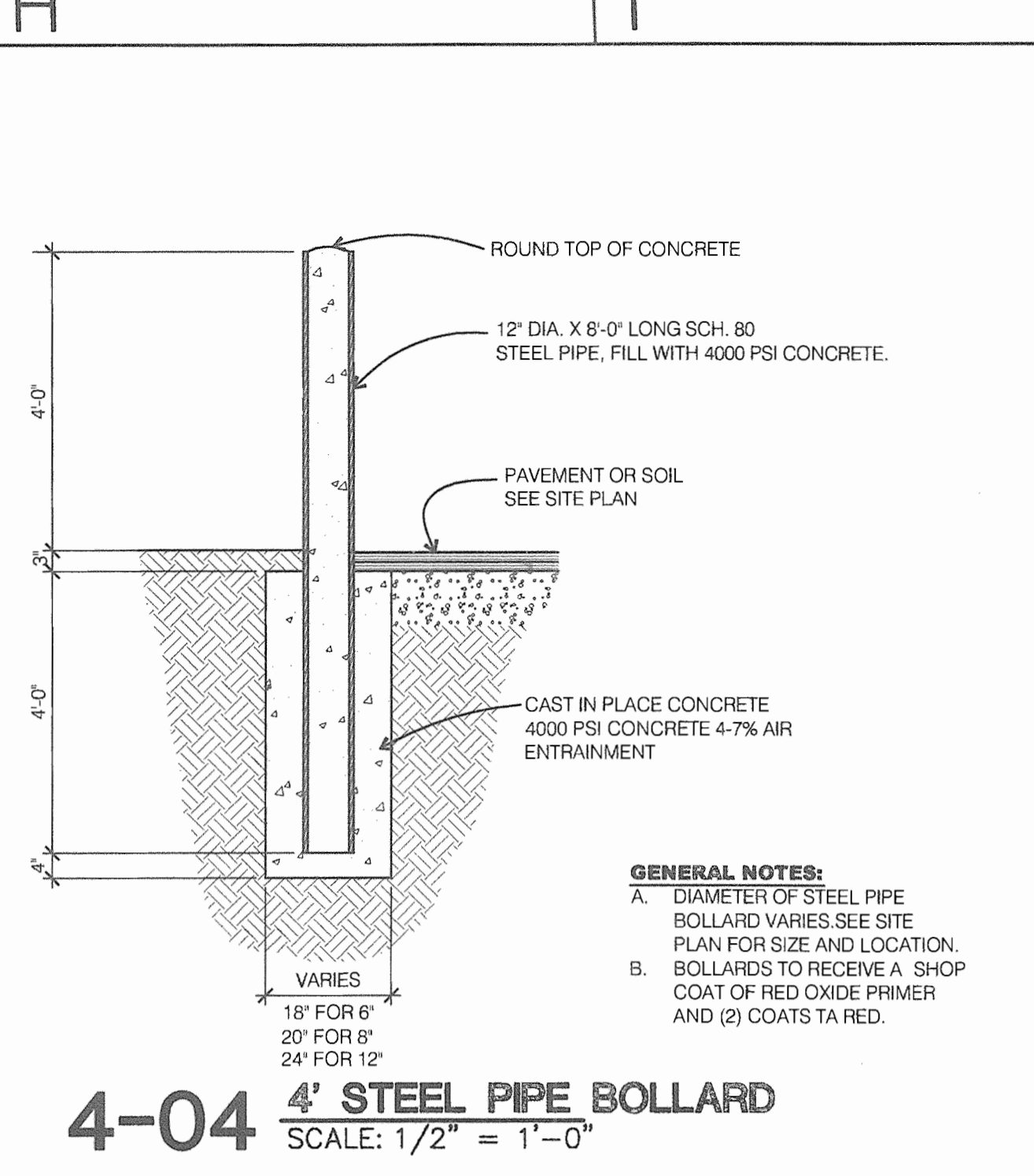
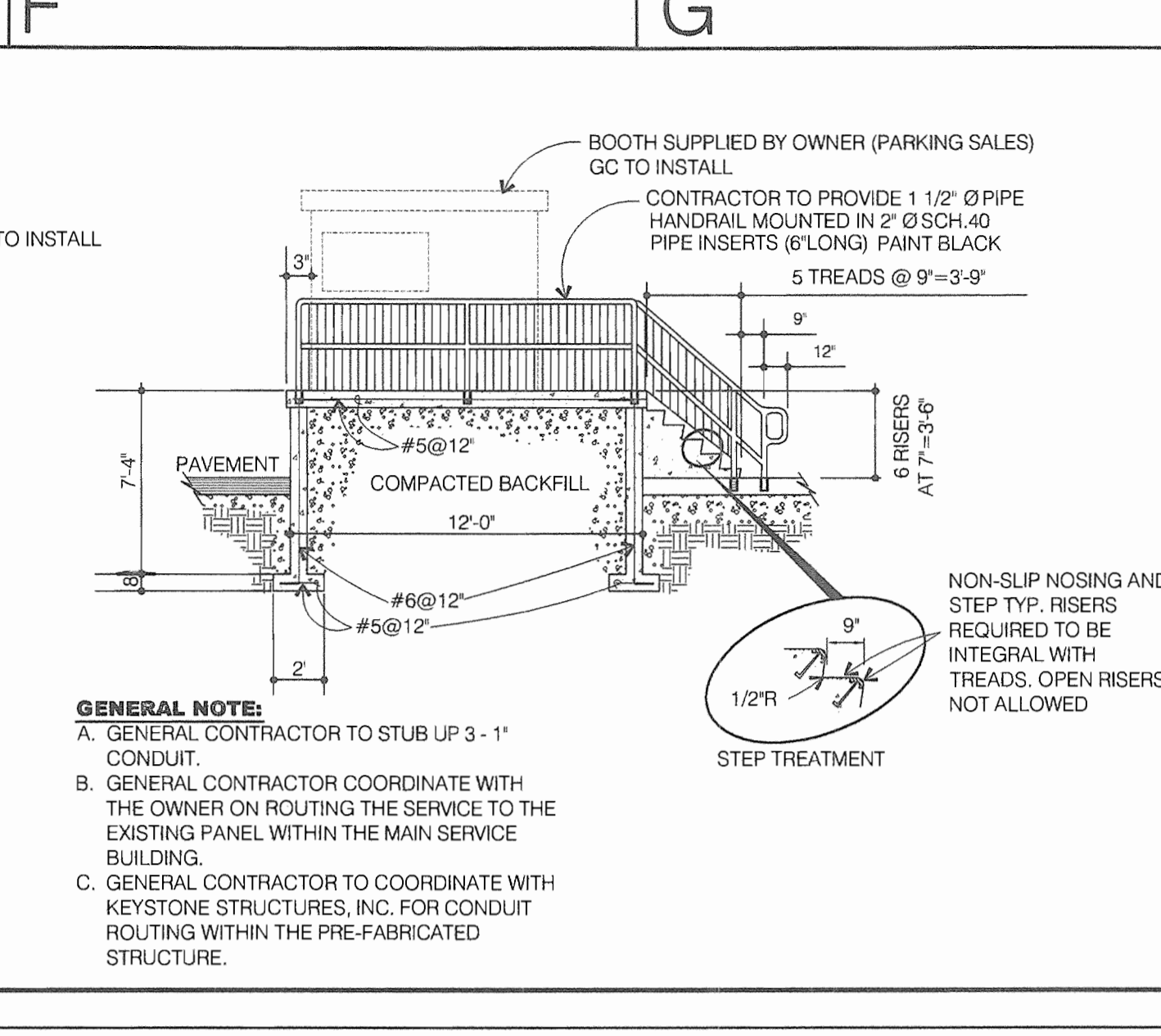
4-01 6" STANDARD HEADER CURB
SCALE: NONE



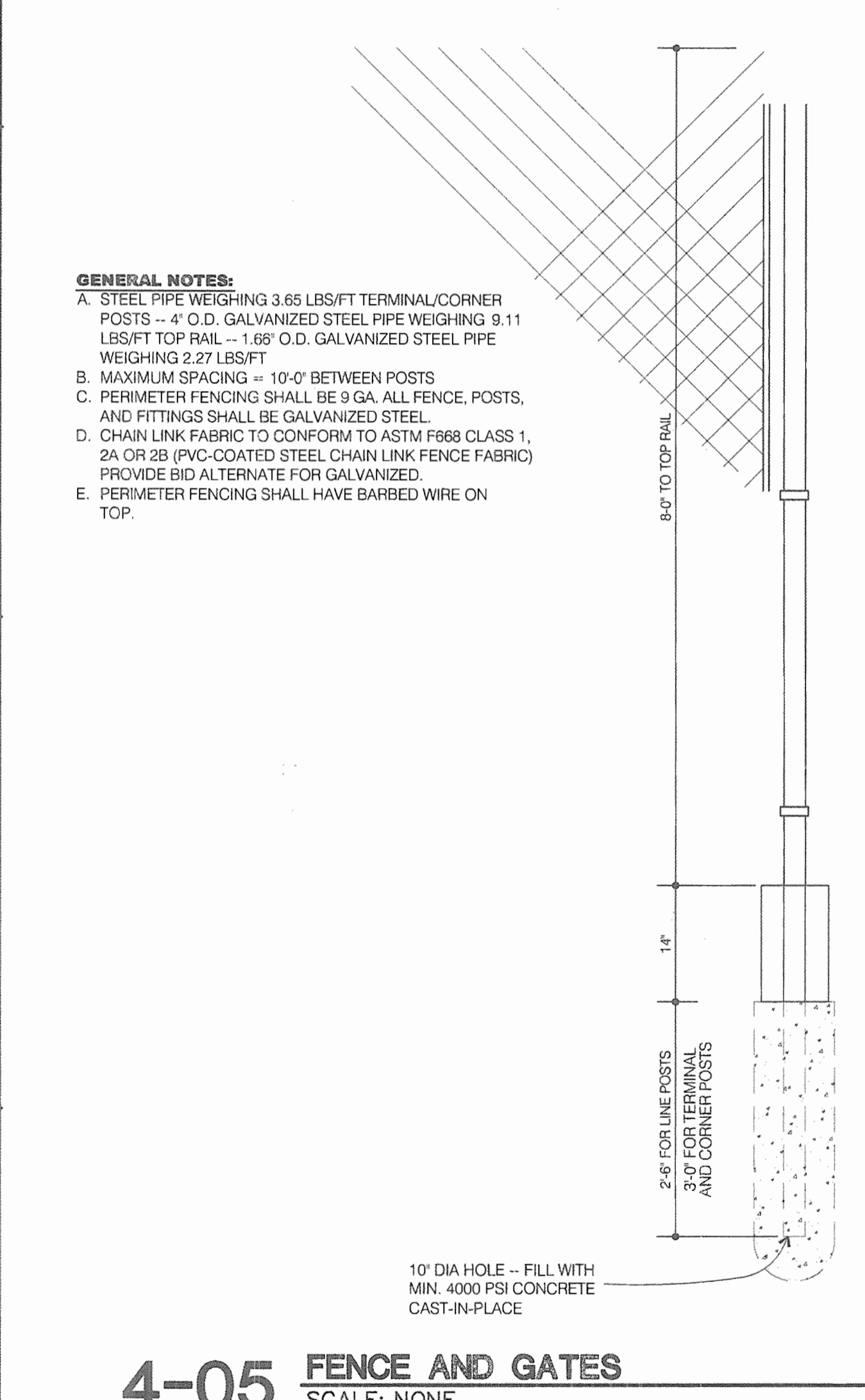
4-02 7" STEEL PIPE BOLLARD
SCALE: 1/2" = 1'-0"



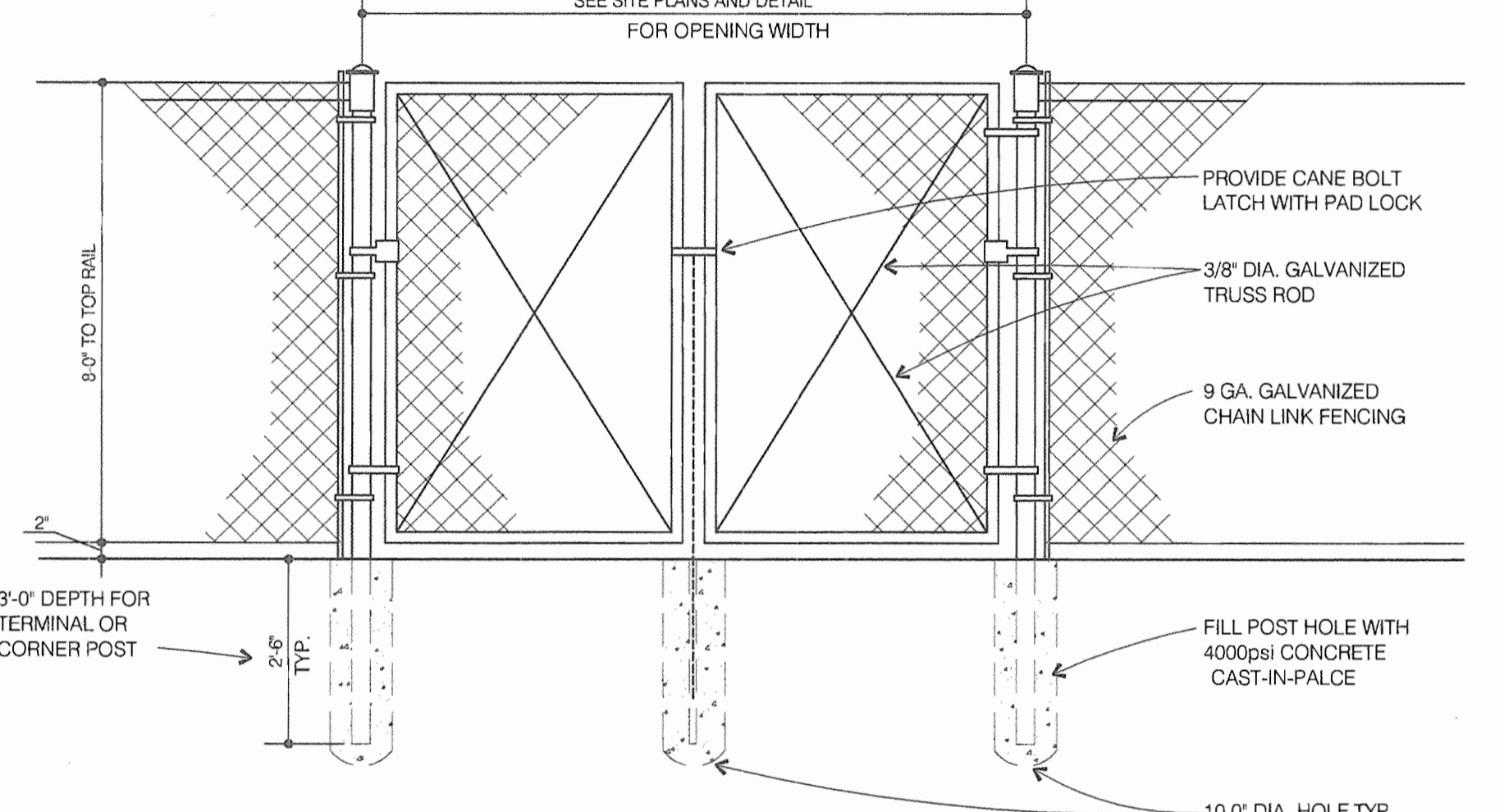
4-03 CONTROL BOOTH ELEVATION
SCALE: NONE



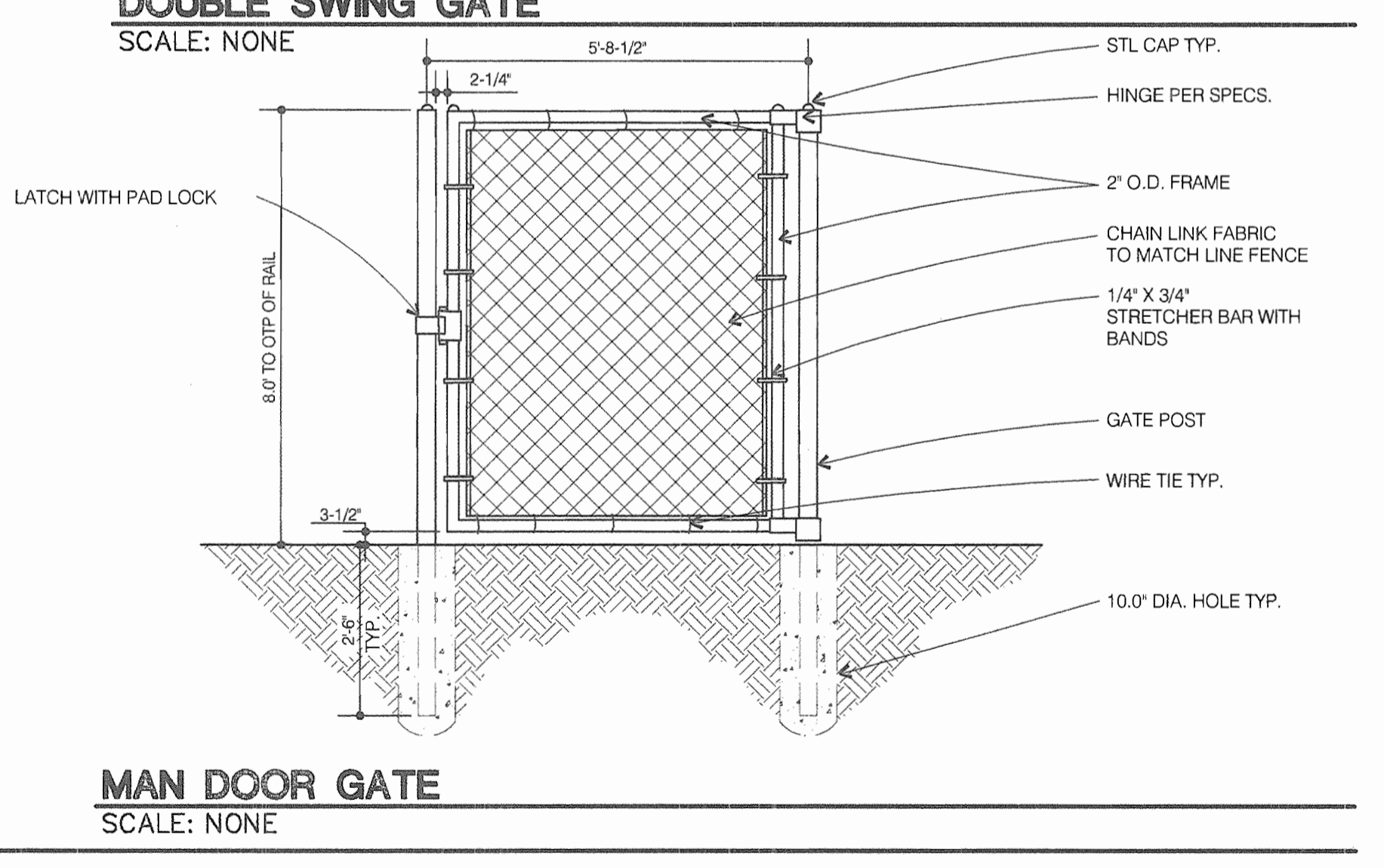
4-04 4" STEEL PIPE BOLLARD
SCALE: 1/2" = 1'-0"



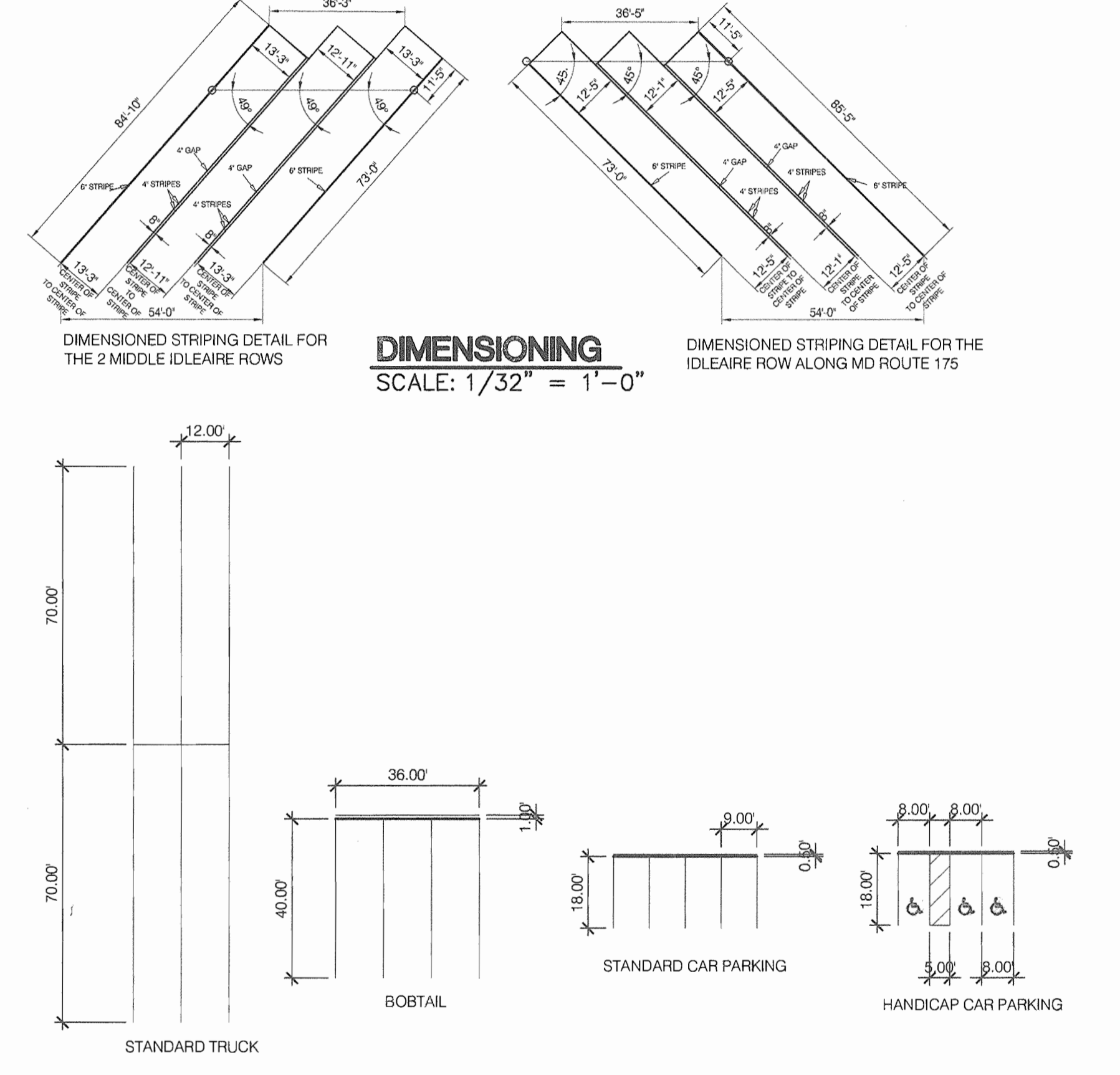
4-05 FENCE AND GATES
SCALE: NONE



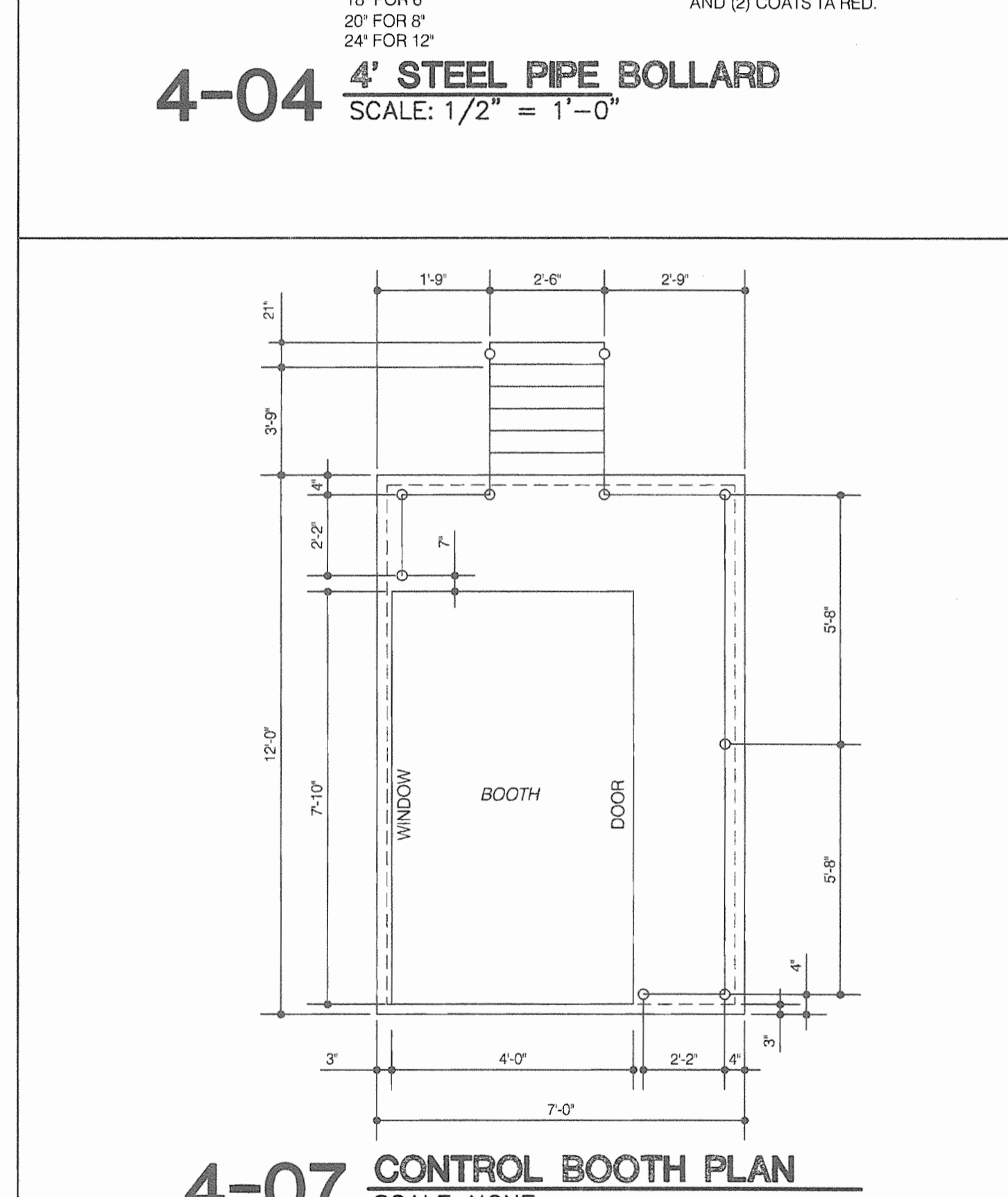
DOUBLE SWING GATE
SCALE: NONE



MAN DOOR GATE
SCALE: NONE



4-06 TYPICAL PARKING SPACES
SCALE: 1/2" = 1'



4-07 CONTROL BOOTH PLAN
SCALE: NONE

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
B-1, C, D-1, E-1, H	7401 ASSATEAGUE DR. JESSUP, MD 20794

PERMIT INFORMATION CHART			
SUBDIVISION NAME: GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET (GBCWFM)	SECTION/AREA: BLOCK 'C'	LOT/PARCEL NO.: B-1, C, D-1, E-1, H	
PLAT # 3565, 3564, 4116, 13972 MAP GRID # 15	ZONE: M-2 (MANUFACTURING)	TAX MAP NO.: 43	ELEC. DISTR.: 6
WATER CODE: B02		SEWER CODE: 3330000	

SITE DETAILS

HOWARD COUNTY, MD

SHEET 4 OF 7

SDP-05-129

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/12/06
Chief, Development Engineering Division Date

[Signature] 3/15/06
Chief, Development of Land Development Date

[Signature] 3/17/06
Director Date

wd partners

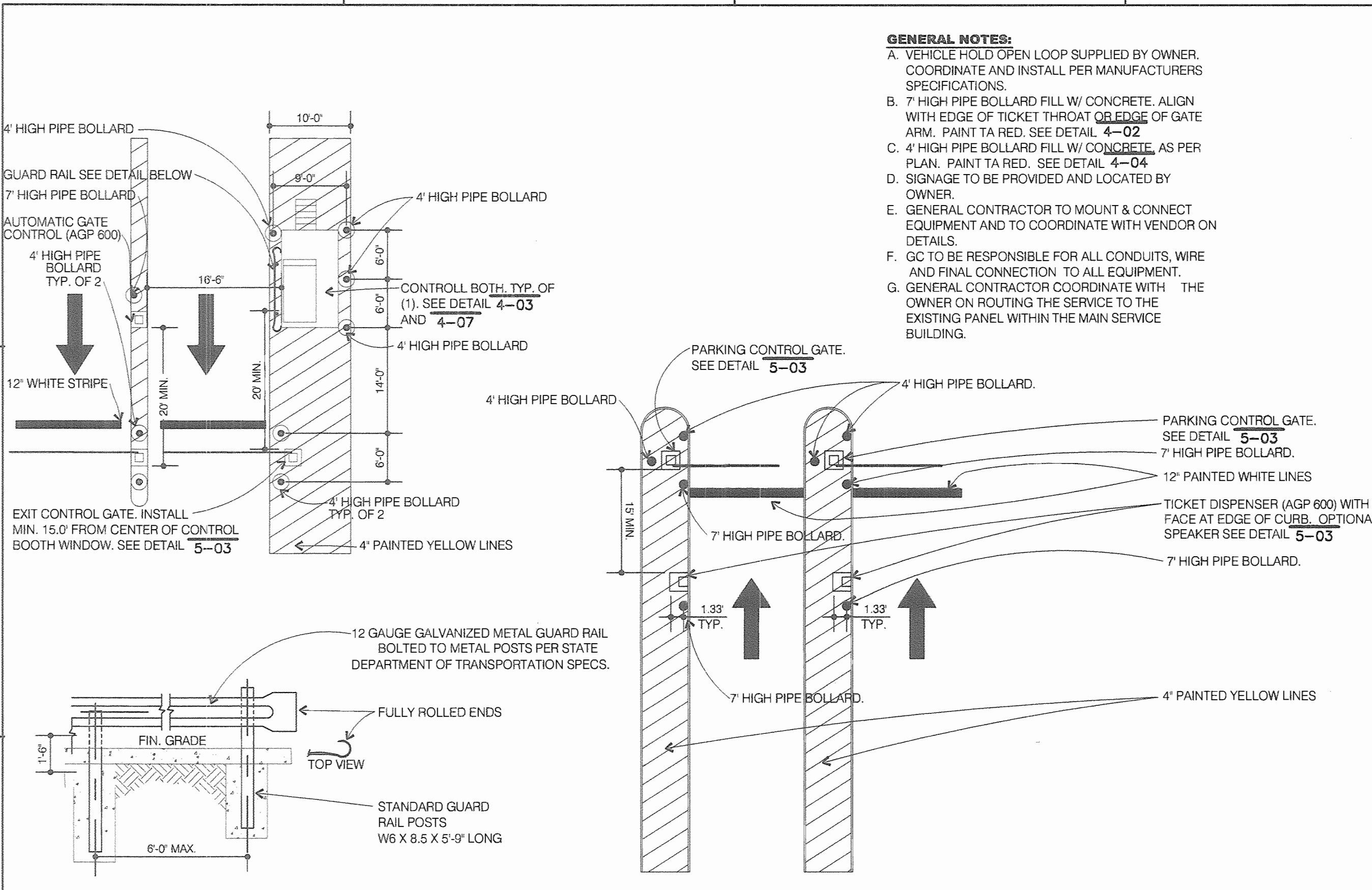
950 Winter Street
Suite 4700
Waltham, MA 02451
781.487.7722 T
781.487.9996 F
innovate@wdpartners.com
wdpartners.com

Atlanta
Boston
Chicago
Columbus
Dallas
Los Angeles
Miami

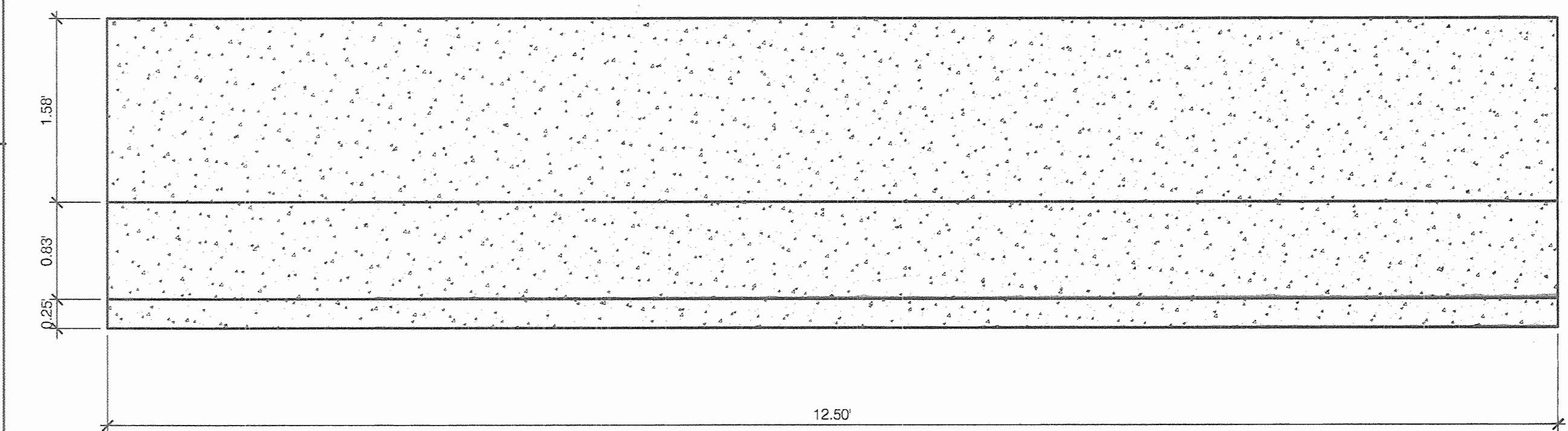
[Signature]
JAN 23 2006

TA TravelCenters of America

24691 Center Ridge Road, Suite 200
Westlake, Ohio 44145
(440)806-9100



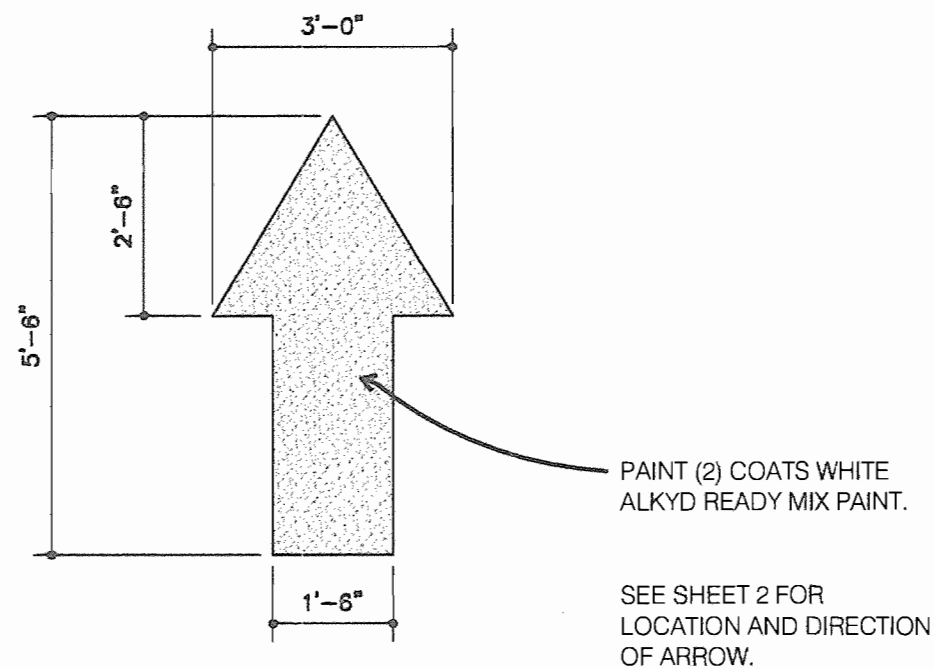
5-01 CONTROLLED PARKING ENTRANCE/EXIT
SCALE: NONE



5-04 CONCRETE BARRIER
SCALE: 1:1

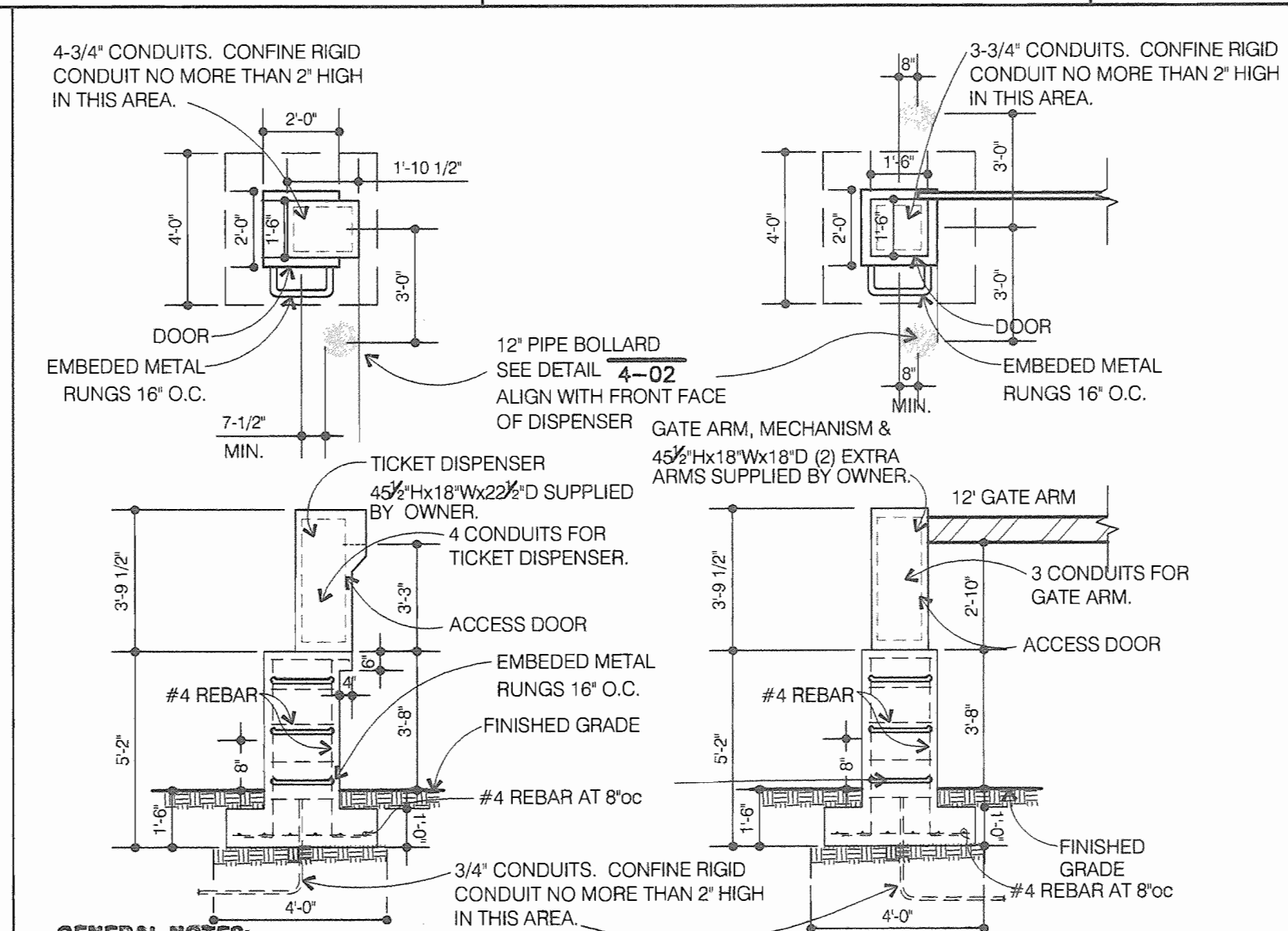
GENERAL NOTE:
A. MOUNT 4' HIGH FENCE AS REQUIRED. SEE SHEET 2.
B. COORDINATE WITH OWNER FOR AN APPROVED EQUAL JERSEY BARRIER.

GENERAL NOTES:
A. VEHICLE HOLD OPEN LOOP SUPPLIED BY OWNER. COORDINATE AND INSTALL PER MANUFACTURERS SPECIFICATIONS.
B. 7' HIGH PIPE BOLLARD FILL W/ CONCRETE. ALIGN WITH EDGE OF TICKET THROAT OR EDGE OF GATE ARM. PAINT TA RED. SEE DETAIL 4-02.
C. 4' HIGH PIPE BOLLARD FILL W/ CONCRETE, AS PER PLAN. PAINT TA RED. SEE DETAIL 4-04.
D. SIGNAGE TO BE PROVIDED AND LOCATED BY OWNER.
E. GENERAL CONTRACTOR TO MOUNT & CONNECT EQUIPMENT AND TO COORDINATE WITH VENDOR ON DETAILS.
F. GC TO BE RESPONSIBLE FOR ALL CONDUITS, WIRE AND FINAL CONNECTION TO ALL EQUIPMENT.
G. GENERAL CONTRACTOR COORDINATE WITH THE OWNER ON ROUTING THE SERVICE TO THE EXISTING PANEL WITHIN THE MAIN SERVICE BUILDING.



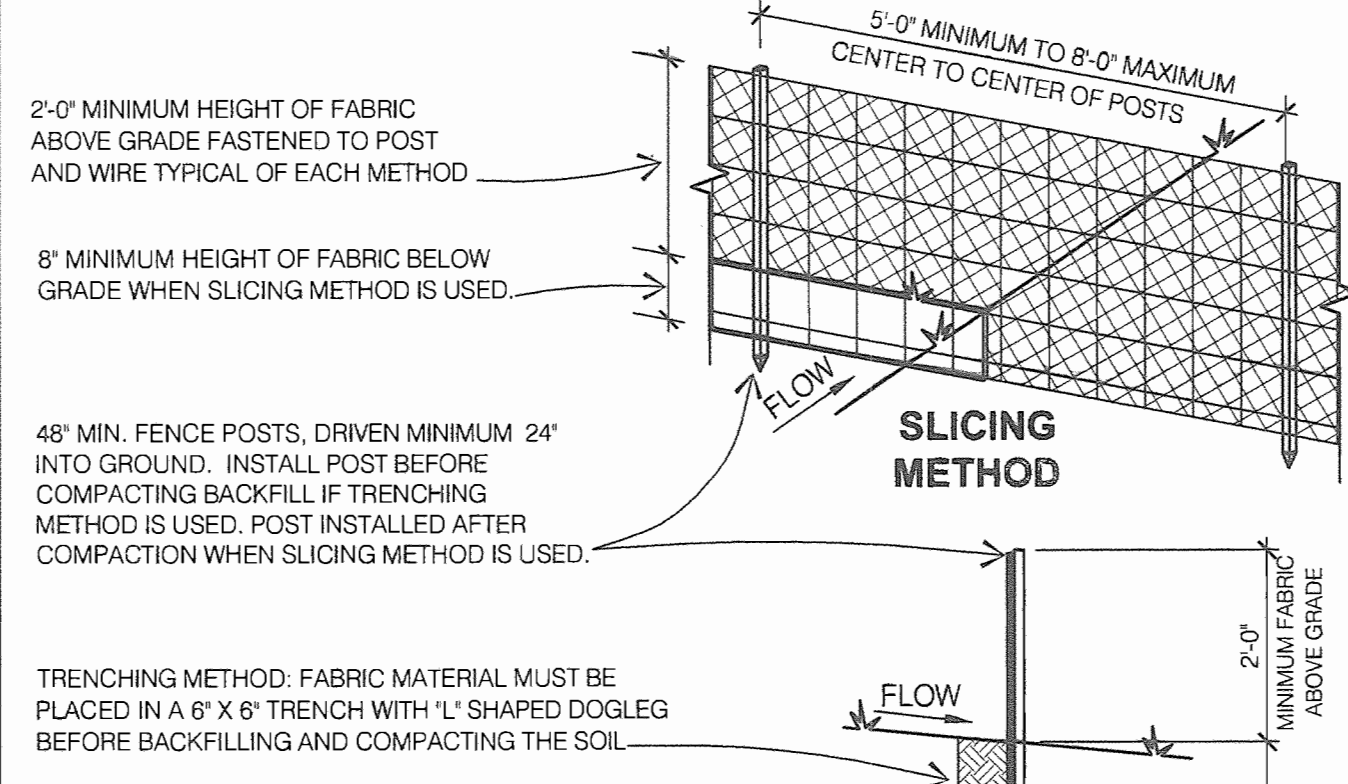
5-02 DIRECTIONAL ARROWS
SCALE: NONE

PAINT (2) COATS WHITE ALKYD READY MIX PAINT.
SEE SHEET 2 FOR LOCATION AND DIRECTION OF ARROW.



GENERAL NOTES:
A. VEHICLE DETECTOR LOOP SUPPLIED BY OWNER.
B. MOUNT OPTIONAL SPEAKER WITH CALL BUTTON INSTALLED BY GC AND BRACKET TO EACH TICKET DISPENSER SUPPLIED BY OWNER AND INSTALLED PER OWNER DESIGNATION.
C. GENERAL CONTRACTOR COORDINATE WITH THE OWNER ON ROUTING THE SERVICE TO THE EXISTING PANEL WITHIN THE MAIN SERVICE BUILDING.

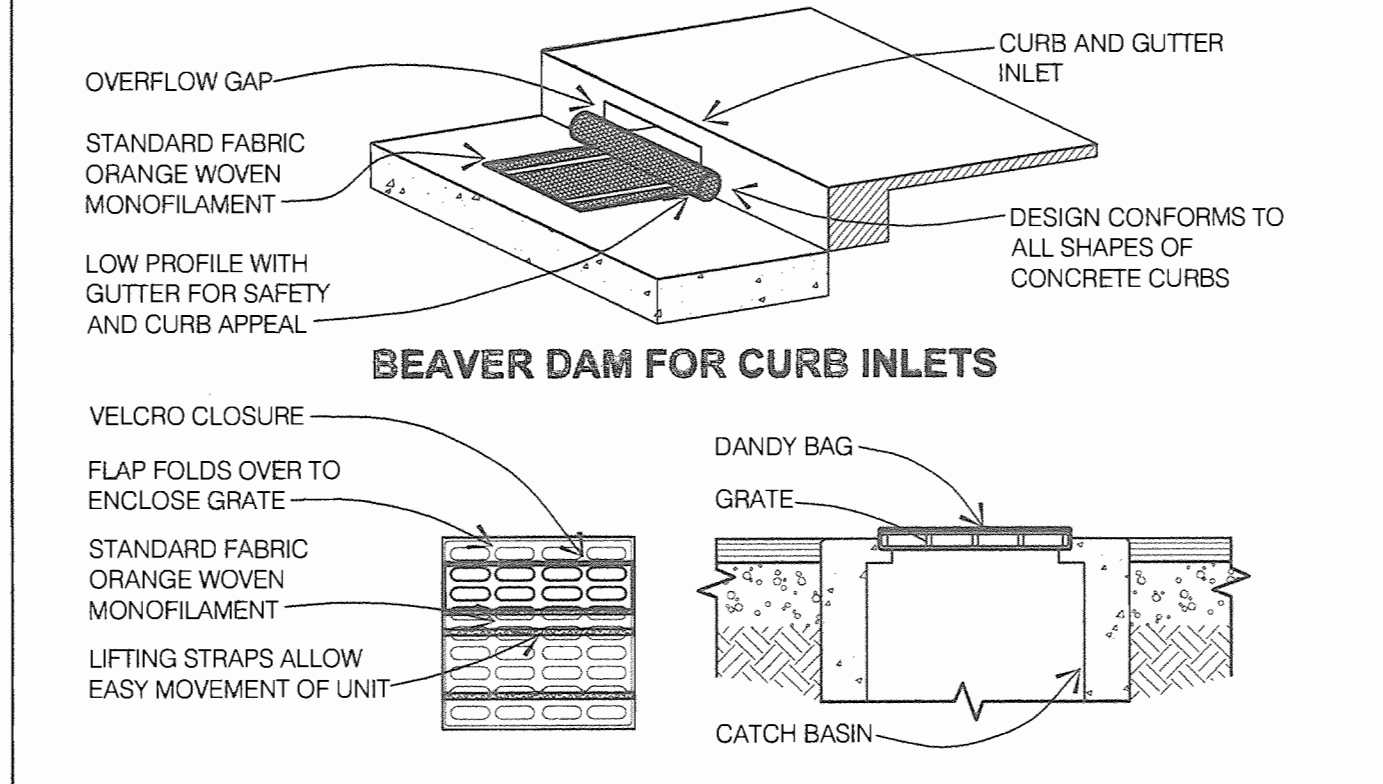
5-03 TICKET DISPENSER/GATE
SCALE: NONE



SILT FENCE SPECIFICATIONS
POSTS: STEEL EITHER 'T' OR 'U' TYPE OR 4" HARDWOOD
FENCE: WOVEN WIRE, 14 1/2 GA. 6" MAX. MESH OPENING
FILTER CLOTH: FILTER X, MIRAFI 100X, OR APPROVED EQUAL
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

SILT FENCE NOTES
A. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
B. FABRIC FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
C. WHEN TWO SECTIONS OR FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY (6) INCHES
D. LOCATE POSTS DOWN SLOPE OF FABRIC FOR FENCE SUPPORT.
E. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN 'BULGES' DEVELOP.

5-05 SILT FENCE
SCALE: 1/2"=1'-0"



INLET PROTECTION NOTES
A. INSTALLATION: THE DANDY PRODUCT SHOULD BE PLACED OVER THE GRATE AS THE GRATE STANDS ON END. IF USING OPTIONAL OIL ABSORBENTS: PLACE ABSORBENT PILLOW ON POUCH, ON THE BOTTOM (BELOW-GRADE SIDE) OF THE UNIT. ATTACH ABSORBENT PILLOW TO TETHER LOOP. TUCK THE ENCLOSURE FLAP INSIDE TO COMPLETELY ENCLOSE THE GRATE. HOLDING THE LIFTING DEVICES (DO NOT RELY ON LIFTING DEVICES TO SUPPORT THE ENTIRE WEIGHT OF THE GRATE), PLACE THE GRATE INTO ITS FRAME. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS.
B. MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH STORM EVENT. REMOVE SEDIMENT THAT HAS ACCUMULATED WITHIN THE CONTAINMENT AREA OF THE BEAVER DAM AS NEEDED. IF USING OPTIONAL OIL ABSORBENTS; REMOVE AND REPLACE ABSORBENT PILLOW WHEN NEAR SATURATION.
C. ONLY APPROVED EQUALS WILL BE ACCEPTED.
MANUFACTURER: DANDY PRODUCTS, INC. 2011 R HARRISBURG PIKE, GROVE CITY, OHIO 43123 (614) 875-2284

5-06 INLET PROTECTION
SCALE: 1/2"=1'-0"

SW3P GENERAL NOTES

- A. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH STATE AND LOCAL SOIL EROSION CONTROL AND CONSERVATION STANDARDS. ADDITIONAL MEASURES TO PREVENT / CONTROL SOIL SEDIMENTATION OR EROSION MAY BE REQUIRED DUE TO SITE CONSIDERATIONS WITHIN THE BOUNDARY LIMITS AND DOWNSTREAM.
- B. PRIOR TO DEVELOPMENT, PERIMETER SHALL BE CLEARLY MARKED AND ALL SOIL DISTURBANCE TO BE CONTAINED WITHIN. OFF SITE WORK MAY BE NECESSARY DUE TO ACTUAL SITE SLOPE OR DRAINAGE REQUIREMENTS. ALL CONTROL MEASURES MUST CONFORM TO SITE STANDARDS.
- C. ALL POINTS OF SITE INGRESS AND EGRESS TO BE CONSTRUCTED PRIOR TO ANY OTHER DEVELOPMENT. THEY MUST BE STABILIZED AND INCLUDE SOIL EROSION / SEDIMENTATION CONTROL MEASURES IN ORDER TO PREVENT TRACKING AND SILTING OF MUD INTO PUBLIC RIGHT OF WAY. ANY MATERIALS DEPOSITED FROM SITE ONTO PUBLIC ROADWAYS OR DRAINAGE AREAS TO BE IMMEDIATELY REMOVED.
- D. DURING CONSTRUCTION, ALL SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED AFTER EACH RAINFALL AND REPAIRED IF NECESSARY. SEDIMENT TO BE REMOVED TO A SUITABLE DISPOSAL AREA AND STABILIZED WITH PERMANENT VEGETATIVE COVER.
- F. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL DISTURBED AREAS ARE STABILIZED.
- G. NO SLOPE SHALL BE GREATER THAN 3:1.
- H. FOLLOWING INITIAL SOIL DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THIS DOES NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF GOVERNING AUTHORITIES.
- I. STRAW BALES MAY BE USED IN LIEU OF SILT FENCE. VERIFY WITH SEDIMENT CONTROL INSPECTOR PRIOR TO INSTALLATION.

CONSTRUCTION SEQUENCE

- A. FLAG ALL WORK LIMITS.
- B. NOTIFY SEDIMENT CONTROL INSPECTOR (24) HOURS PRIOR TO START OF CONSTRUCTION.
- C. IDENTIFY AND PROTECT ALL EXISTING VEGETATION TO BE SAVED
- D. PERFORM CLEARING AND GRADING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
- E. INSTALL PERIMETER RUNOFF CONTROLS. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
- F. INSTALL STORM DRAINAGE PROTECTION.
- G. WEATHER-IN BUILDING.
- H. COMPLETE PARKING LOT CONSTRUCTION.
- I. COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- J. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROLS.

NOTE: CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL MEASURES UNTIL PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED OR ESTABLISHED.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division Date 2/12/06

Chief, Development of Land Development Date 3/15/06

Director Date 3/17/06

wd partners

950 Winter Street
Suite 4700
Waltham, MA 02451
781.487.7722 T
781.487.9998 F
innovate@wdpartners.com
wdpartners.com

Atlanta
Boston
Chicago
Columbus
Dallas
Los Angeles
Miami

TravelCenters of America

24601 Center Ridge Road, Suite 200
Westlake, Ohio 44145
(440)888-9100

Brett Gilpat

JAN 23 2006

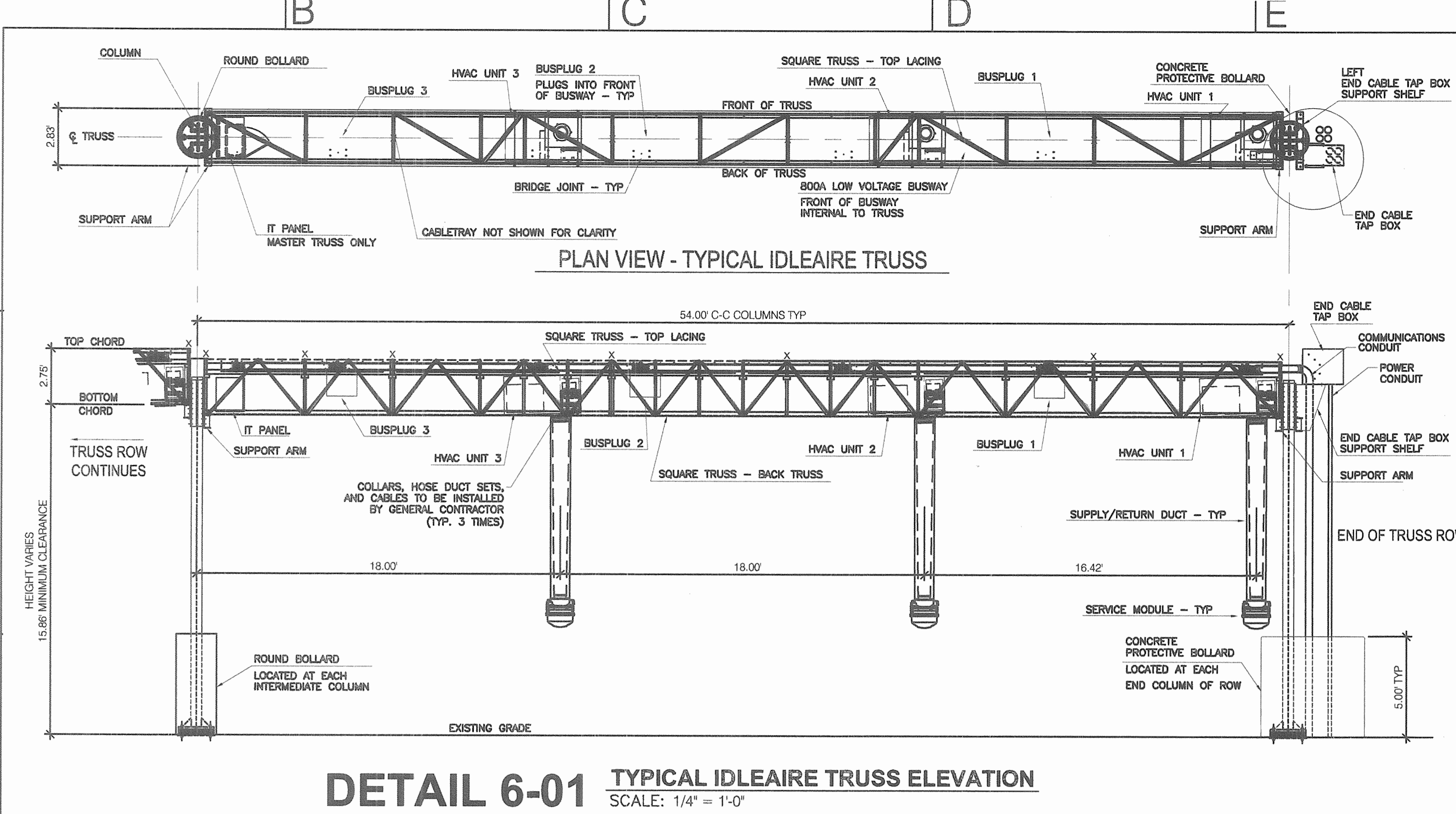
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
B-1, C, D-1, E-1, H	7401 ASSATEAGUE DR. JESSUP, MD 20794

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA:	LOT/PARCEL NO.:	MARKET (GBCWFM)
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET (GBCWFM)	BLOCK 'C'	B-1, C, D-1, E-1, H	
PLAT # 3565, 3564, 4116, 13972 MAP GRID # 15	ZONE: M-2 (MANUFACTURING)	TAX MAP NO.: 43	ELEC DISTR: 6
WATER CODE: B02	SEWER CODE: 3330000	CENSUS TRACT: 8069.01	

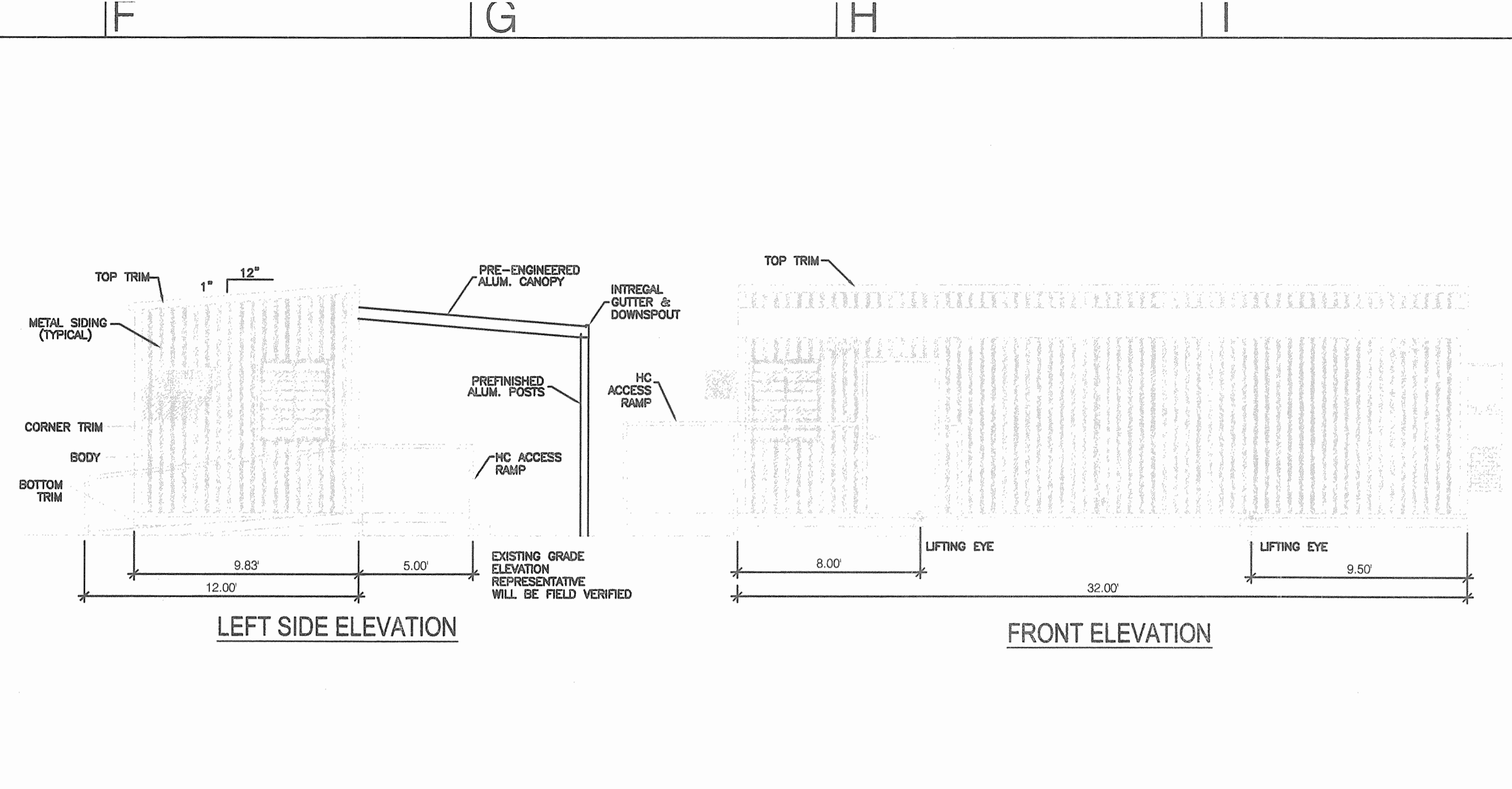
SITE DETAILS / SW3P NOTES

HOWARD COUNTY, MD

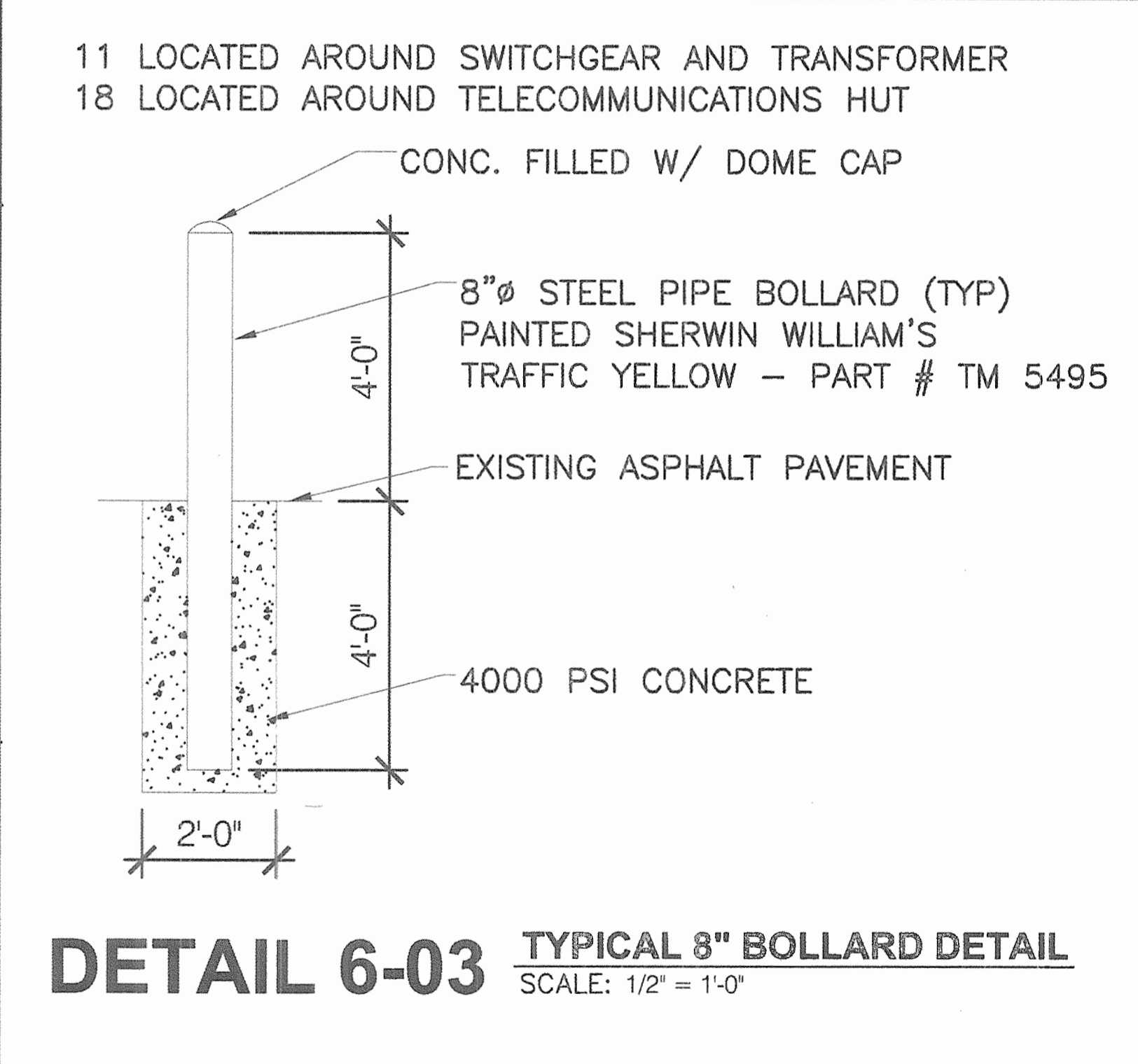
SHEET 5 OF 7



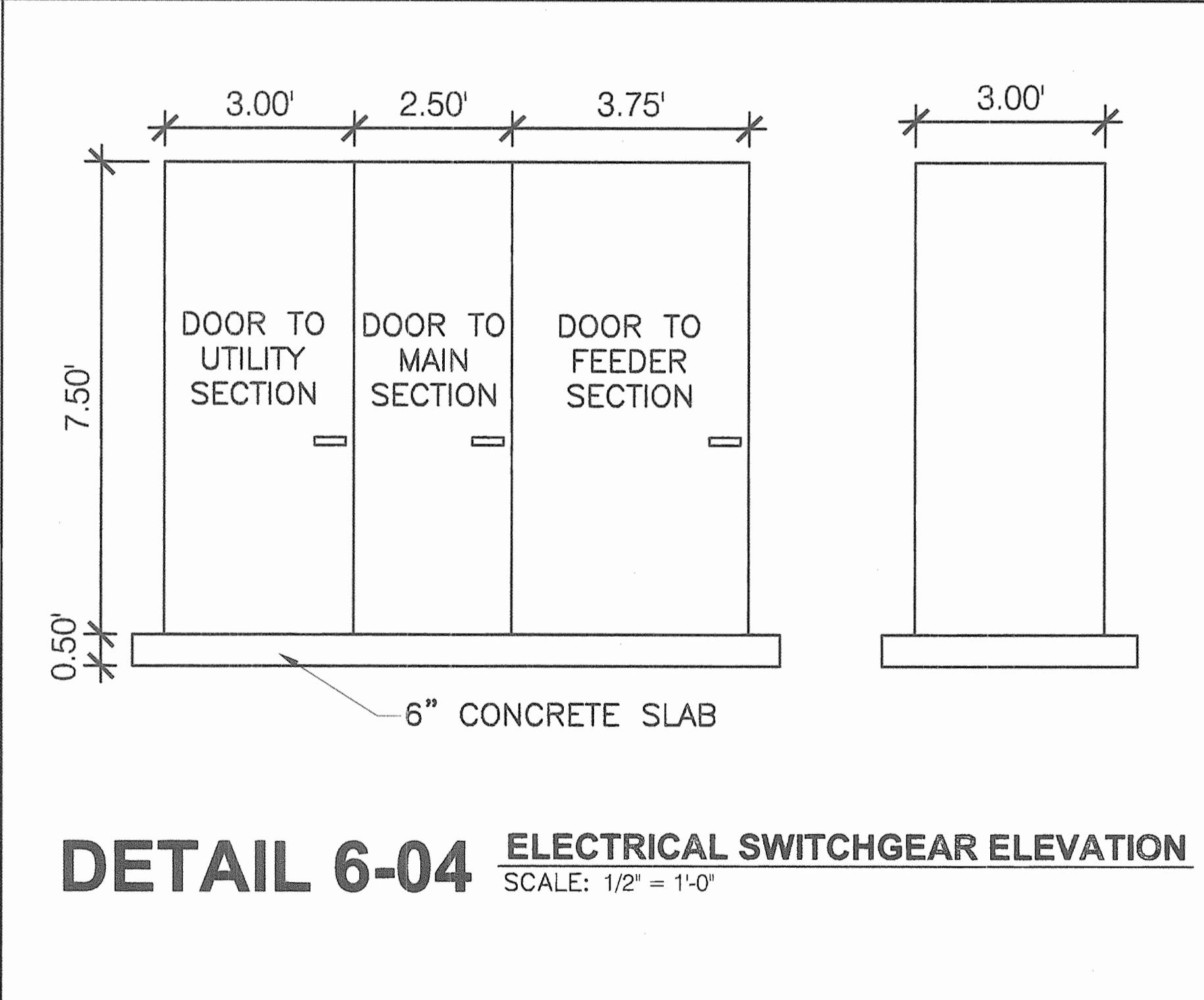
DETAIL 6-01 TYPICAL IDLEAIRE TRUSS ELEVATION
SCALE: 1/4" = 1'-0"



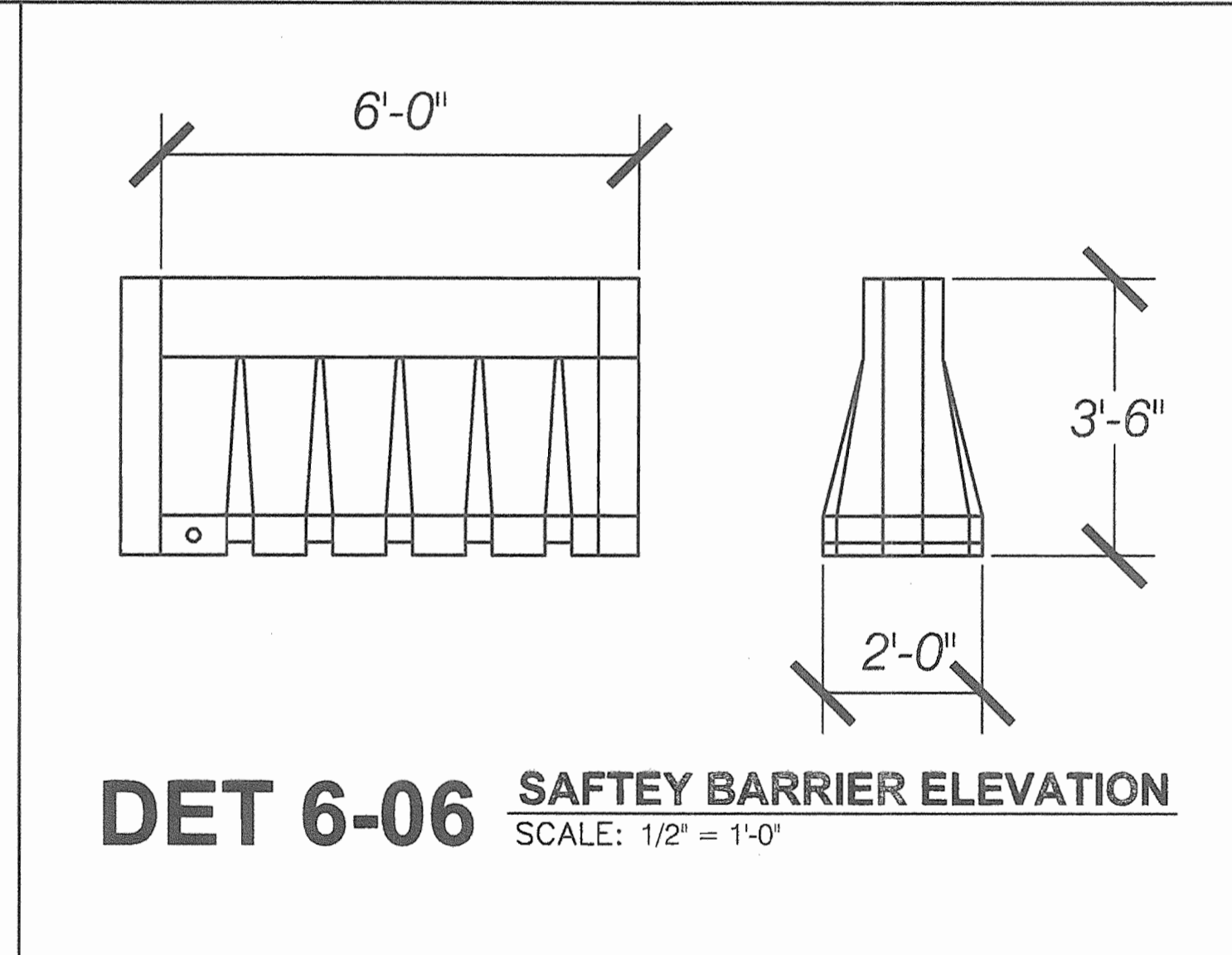
DETAIL 6-02 IDLEAIRE TELECOMMUNICATIONS HUT ELEVATION
SCALE: 1/4" = 1'-0"



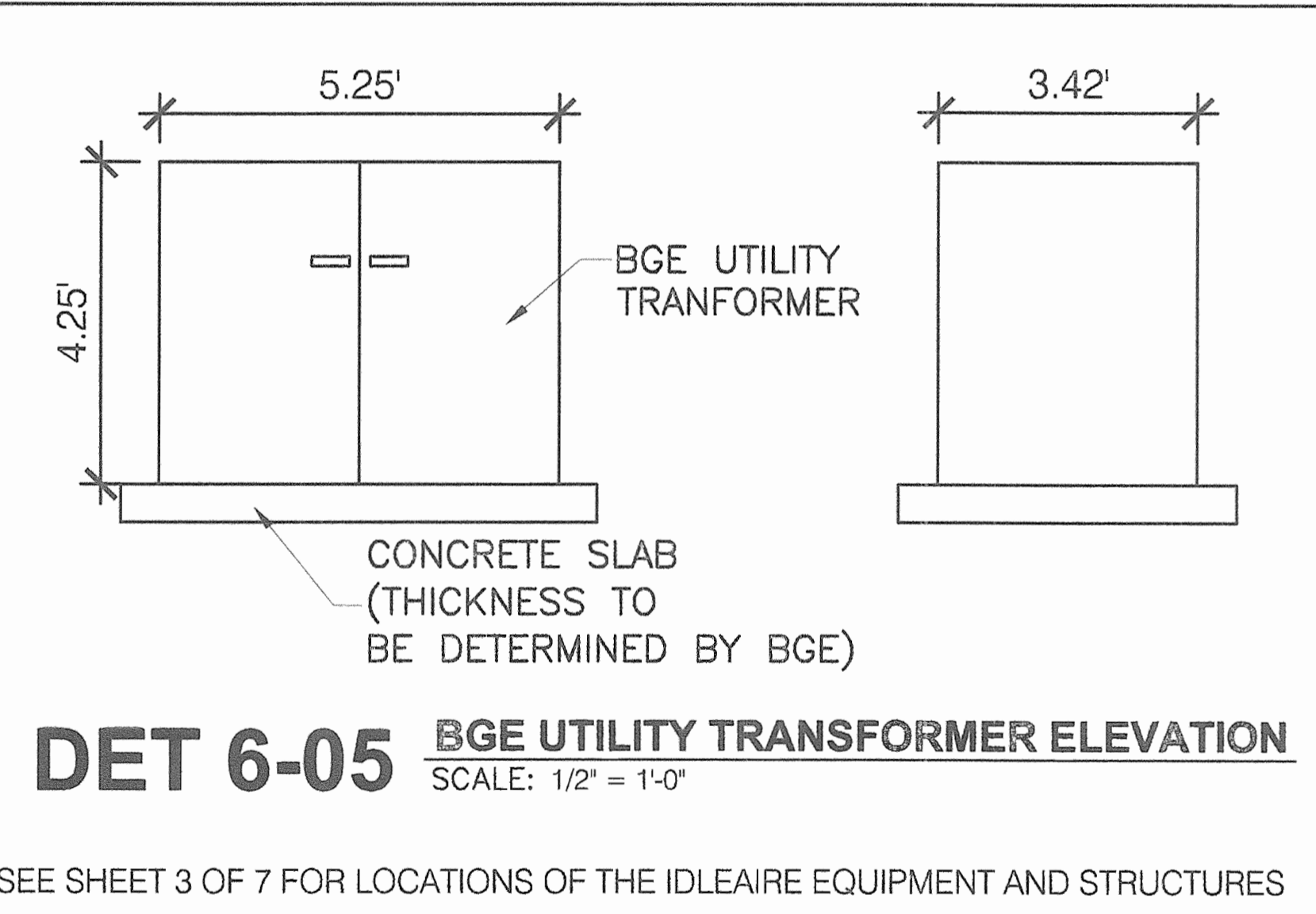
DETAIL 6-03 TYPICAL 8" BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



DETAIL 6-04 ELECTRICAL SWITCHGEAR ELEVATION
SCALE: 1/2" = 1'-0"



DET 6-06 SAFTEY BARRIER ELEVATION
SCALE: 1/2" = 1'-0"



DET 6-05 BGE UTILITY TRANSFORMER ELEVATION
SCALE: 1/2" = 1'-0"

SEE SHEET 3 OF 7 FOR LOCATIONS OF THE IDLEAIRE EQUIPMENT AND STRUCTURES

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division *[Signature]* 3/12/06
 Chief, Development of Land Development *[Signature]* 3/15/06
 Director *[Signature]* 3/17/06

IdleAire Technologies Corporation
 410 NORTH CEDAR BLUFF ROAD, SUITE 200
 KNOXVILLE, TN 37923
 PHONE: (888) 342-8944
 FAX: (888) 342-3850

[Professional Engineer Seal]

TravelCenters of America
 24601 Center Ridge Road, Suite 200
 Westlake, Ohio 44145
 (440)808-9100

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
B-1, C, D-1, E-1, H	7401 ASSATEAGUE DR. JESSUP, MD 20794

PERMIT INFORMATION CHART			
SUBDIVISION NAME: GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET (GBCWFM)	SECTION/AREA: BLOCK 'C'	LOT/PARCEL NO.: B-1, C, D-1, E-1, H	
PLAT # 3565, 3564, 4116, 13972	MAP GRID # 15	ZONE: M-2 (MANUFACTURING)	TAX MAP NO.: 43
WATER CODE: B02		SEWER CODE: 3330000	

IDLEAIRE DETAILS

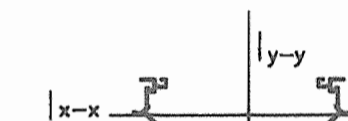
Howard County, MD

LEGEND

GENERAL NOTES

Notes:

1. Engineering Data:
 The Neutral Axis For The Large "A" Frame Is Shown Below. Cross Sectional Area (A) Is 2.138 In². Moments Of Inertia About The Neutral Axis Are I_{y-y} = 2.533 In⁴ And I_{x-x} = 36.860 In⁴.



Material Is Aluminum 6063 alloy, T6 Temper.
 2. All Sign Cabinets And Poles To Be Surfaced Cleaned And Etched In Preparation For Painting.
 3. Finish Paint Color To Be Per Customer Specifications.
 Information Needed To Figure Section Modulus:
 Centroid Height: 22.50 Feet.
 Signage Area: 107.5 Square Feet.
 Wind Load: 30 Pound Wind Load.
 Section Modulus: 11.93

The Following Is How The Section Modulus Is Figured:
 L = Length Of Sign (Feet)
 W = Width Of Sign (Feet)
 F = Force (Pounds Or Kilo pounds)
 H = Height From Grade To The Center Of Force (Feet)
 BM = Bending Moment (Foot-Pounds Or Foot Kilo pounds)
 S = Section Modulus (Cubic Inches)
 P = Design Wind Pressure (Pounds Per Square Foot)
 Fs = Design Unit Stress (Pounds Per Square Inch Or Kilo pounds Per Square Inch)
 Fs = 26670 P.S.I. Or 26.67 K.S.I.

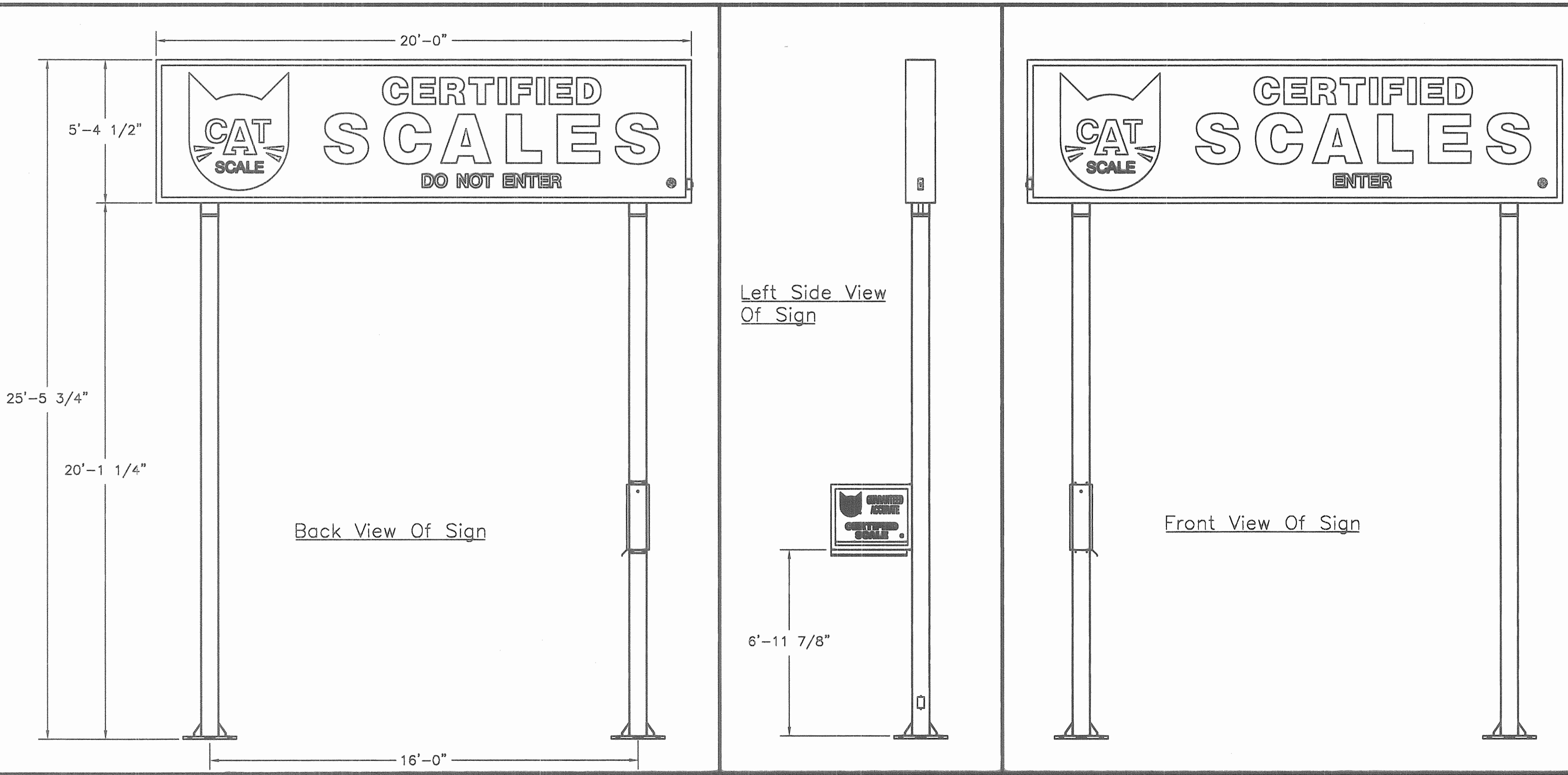
$$A = L * W$$

$$F = A * P$$

$$BM = F * H$$

$$S = (BM * 12) / Fs$$

- All The Internal Square Tube Is Securely Welded To The Steel Angle That Is Bolted To The Aluminum Frame. The Steel Angle Is Bolted To The Frame By Using 1/2"-13 X1" Bolts, Flat Washers And Nuts.
- The Sign Is Bolted To Each Pole With (4) 5/8"-11 X 2" Bolts With Flat Washers.
- Electrical Requirements Are As Follows:
 Trademark Sign
 (5) ASB-0620-24-BL Advance Ballasts Or Equivalent, 2.5 Amps Per Ballast. (Total Of 12.5 Amps) (20) T12F60 CWHO Fluorescent Lamps.
 Speaker Sign
 (1) ASB-0620-24-BL Advance Ballasts Or Equivalent, 2.5 Amps Per Ballast. (3) T12F36 CWHO Fluorescent Lamps.
- All Steel Welding Is To Be Done With E7018 Rod Or Equivalent.



ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
B-1, C, D-1, E-1, H	7401 ASSATEAGUE DR. JESSUP, MD 20794

PERMIT INFORMATION CHART

SUBDIVISION NAME: GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET (GBCWFM)	SECTION/AREA: BLOCK 'C'	LOT/PARCEL NO.: B-1, C, D-1, E-1, H
PLAT # 3565, 3564, 4116, 13972 MAP GRID # 15	ZONE: M-2 (MANUFACTURING)	TAX MAP NO.: 43 ELEC DISTR: 6 CENSUS TRACT: 6069.01
WATER CODE: B02	SEWER CODE: 3330000	

CAT SCALE SIGN - ELEVATION

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/13/06
 Chief, Development Engineering Division Date

[Signature] 3/15/06
 Chief, Development of Land Development Date

[Signature] 3/17/06
 Director Date

