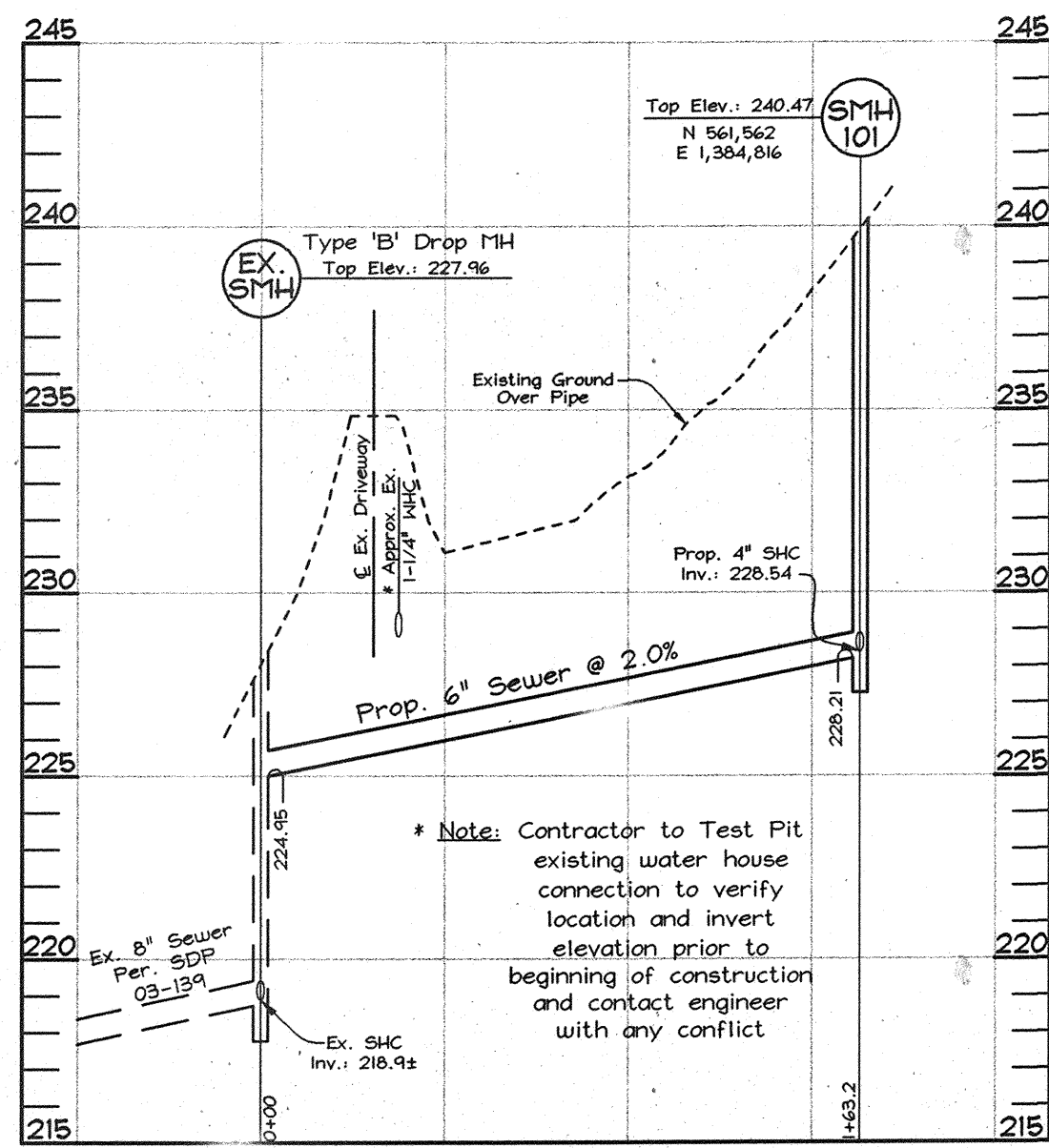


TYPICAL GRASS CHANNEL
Scale: Horizontal - 1"=10'
Vertical - 1"=1'



SEWER PROFILES
Scale: Horizontal - 1"=50'
Vertical - 1"=5'

ADDRESS CHART	
Parcel	Street
552	5910 Hunt Club Road

SHEET INDEX	
DESCRIPTION	SHEET No.
Site Development Plan	1 of 2
Sediment and Erosion Control, Landscape Plan & Details	2 of 2

SITE ANALYSIS DATA CHART

- Total project area: 0.44 Acres
- Area of plan submission: 0.55 Acres
- Limit of disturbed area: 0.44 Acres
- Subject property zoned R-12 per 02/02/04 Comprehensive Zoning Plan.
- Proposed uses for site & structures: single family detached
- Floor space on each level of building(s) per use: See house templates this sheet
- Total number of units allowed: 1
- Total number of units proposed: 1
- Proposed building coverage of site: 0.13 acres; 30% of gross lot area
- Howard County File references: Capital Project #5-8690; Contr. # 510-W; Contr. # 40-307-16-742; Contr. # 3298; Contr. # 2-W; Contr. # 348-S; SHA Plat# 31601; Administrative Adjustment Case # 05-16

LEGEND

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Existing Trees to Remain
- Stabilized Construction Entrance
- Silt Fence
- Super Silt Fence
- Limit of Disturbance
- Erosion Control Matting

BENCHMARKS

Sta. 37C3	N 562,916.003 (ft)	E 1,384,856.679 (ft)	EI. 258.497 (ft)
	N 171,577.1409 (m)	E 422,105.1601 (m)	EI. 78.7899 (m)
Sta. 38A4	N 562,977.621 (ft)	E 1,386,288.112 (ft)	EI. 224.176 (ft)
	N 171,595.9222 (m)	E 422,541.4618 (m)	EI. 68.3290 (m)

GENERAL NOTES

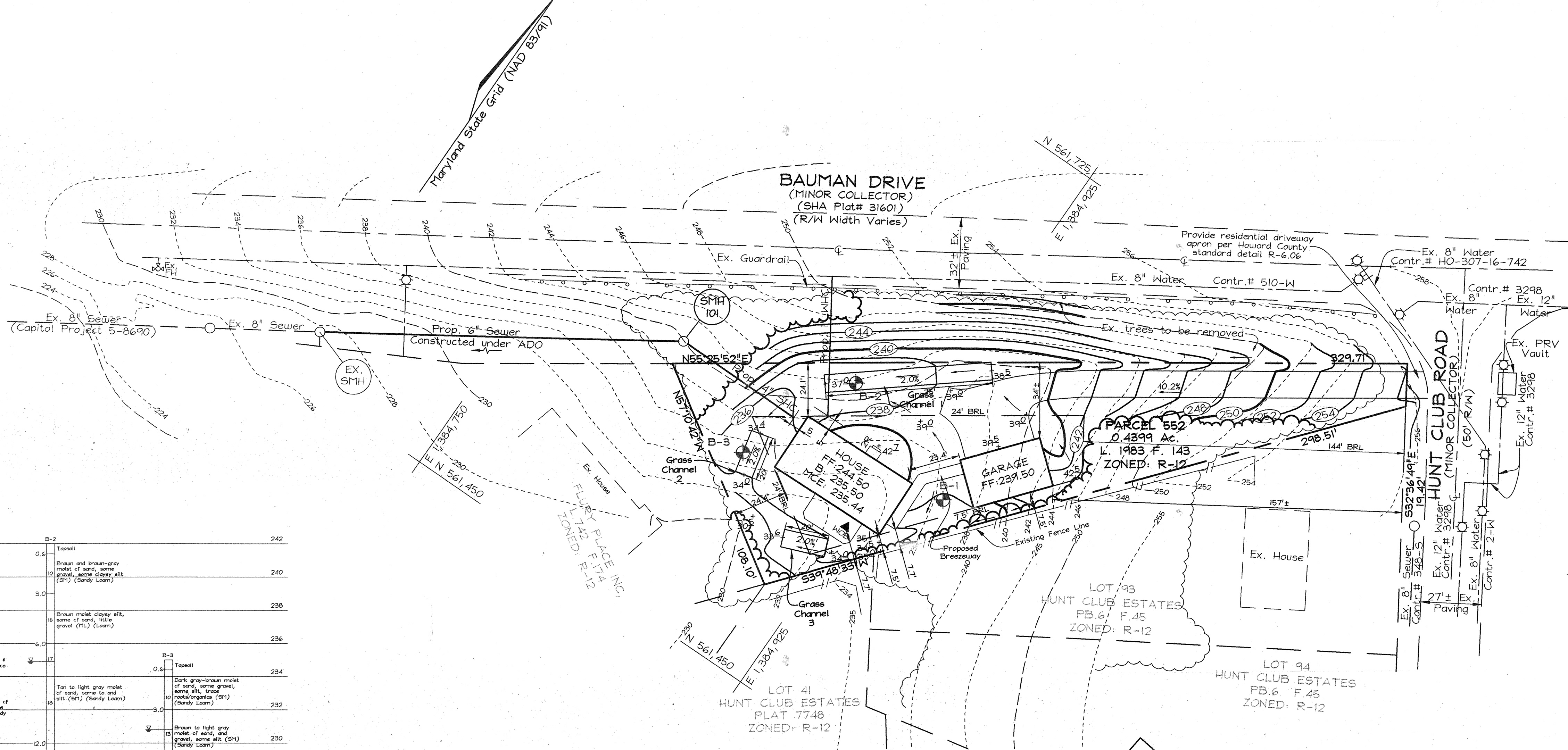
- Property is within the Metropolitan District.
- Public water and sewer will be used within this site.
- The Contractor shall notify the following utility companies or agencies at least five (5) working days before starting work shown on these plans:
 - Verizon: 1.800.743.0033/410.224.9210
 - AT&T: 1.800.252.1133
 - State Highway Administration: 410.531.5533
 - BGE(Contractor Services): 410.850.4620
 - BGE(Underground Damage Control): 410.787.9068
 - Miss Utility: 1.800.257.7777
 - Colonial Pipeline Company: 410.795.1340
 - Howard County, Dept. of Public Works, Bureau of Utilities: 410.313.4900
 - Howard County Health Department: 410.313.2640
- The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1880 at least five (5) working days prior the start of work.
- The lots shown herein comply with the minimum ownership, width and lot area as required by the Maryland State Department of the Environment.
- Boundary and Topographic Survey prepared by FSH Associates in Oct. 2004.
- Contractor to confirm all dimension, utilities and topography in the field. If any conflicts arise, contact Engineer before beginning any work.
- Howard County Soil Map #26.
- There are no floodplains, streams, cemeteries or wetlands on site.
- Wetlands and stream evaluation conducted on October 7, 2004 by Exploration Research, Inc.
- The project is in conformance with the latest Howard County Standards unless waivers have been approved.
- The coordinates shown herein are based upon the Howard County Geodetic Control which is based on the Maryland State Plane Coordinate system. Howard County monument numbers 37C3 and 38A4 were used for this project.
- In accordance with section 128 of the Howard County Zoning Regulations, bay windows, chimneys, or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks. Porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback. BRL's shown taken from Howard County Zoning Regulation for the Zoning District.
- Driveway(s) shall be provided prior to issuance of a use and occupancy permit for any new dwelling to insure safe access for fire and emergency vehicles per the following (minimum) requirements:
 - Width-12 feet (14' serving more than one residence).
 - Surface-6 inches of compacted crusher run base with 1 1/2" Min. tar and chip coating.
 - Geometry-max. 15% grade, max. 10% grade change, and 45 foot turning radius.
 - Structures (bridges/culverts)-capable of supporting 25 gross tons (H25-loading).
 - Drainage elements-capable of safely passing 100 year flood with no more than one foot depth over driveway surface.
 - Structure clearance-minimum 12 feet.
 - Maintenance-sufficient to insure all weather use.
- All Sewer House Connections to be a minimum of 2% and a maximum of 5%. If no slope is shown, 2.0% may be assumed.
- This project is subject to the Amended Fifth Edition of the Subdivision and Land Development Regulations, Development or Construction on this parcel must comply with Setback and Buffer Regulations in effect at the time of submission of the SDP, Waiver Petition Application, or Building / Grading Permit.
- This plan has been prepared in accordance with the Provisions of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping has been posted as part of the Grading Permit in the amount of \$4,650.00 (12 shade trees @ \$300.00 each and 7 evergreens @ \$150.00 each).
- The lot is exempt from Forest Conservation requirements because the lot size is under 40,000 square feet in accordance with section 16.202(b)(1)(i) of the Howard County Code.
- The Subject Property is zoned R-12 per the 02/02/04 Comprehensive Zoning Plan per Council Bill 75-2003.
- Stormwater Management Water Quality and Recharge is provided by three Grass Swales. This site is exempt from Stormwater Management channel protection.
- A noise wall is being constructed along the east side of Route 95 and shall satisfy the requirements for noise mitigation.
- Provide Residential Driveway Apron per Howard County Standard Detail R-6.06.
- This plan is subject to a waiver to Section 2.6.4. of the Howard County Design Manual, Volume III and was approved on June 14, 2005 which allows the driveway corner clearance to be reduced from 25 feet to 0 feet.
- This plan is subject to a waiver to Figure 2.17 of the Howard County Design Manual, Volume III and was approved on July 06, 2005 which allows the use of the posted speed limit for Sight Distance Analysis rather than the 85th Percentile Operating Speed.
- This plan is subject to Administrative Adjustment Case No. 05-16 to allow the following:
 - reduce the rear "BRL" from 30' to 24'
 - reduce the side "BRL" along Bauman Road from 30' to 24'
 Administrative Adjustment was approved on July 26, 2005.
- The garage is two-stories and is attached to the house. The Garage is not an accessory structure since it is connected to the house by a Breezeway.

OWNER/DEVELOPER

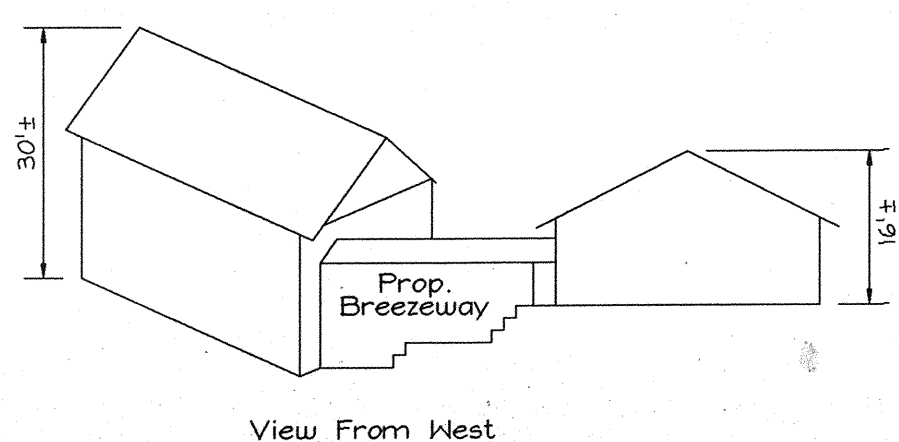
RANDALL BUTLER
8206 Washington Road
Laurel, MD 20724
301.776.2421

**SITE DEVELOPMENT PLAN
BUTLER PROPERTY**

PARCEL 552
SINGLE FAMILY DETACHED DWELLING
TAX MAP 38 GRID 7
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



PLAN VIEW
Scale: 1"=30'



HOUSE TEMPLATE
Not to Scale

S.W.M. BORING PROFILES		NOT TO SCALE	
242	0.0	242	0.0
240	0.6	240	0.6
238	3.0	238	3.0
236	6.0	236	6.0
234	9.0	234	9.0
232	12.0	232	12.0
230	15.0	230	15.0
228	18.0	228	18.0
226	21.0	226	21.0

S.W.M. BORING PROFILES
NOT TO SCALE

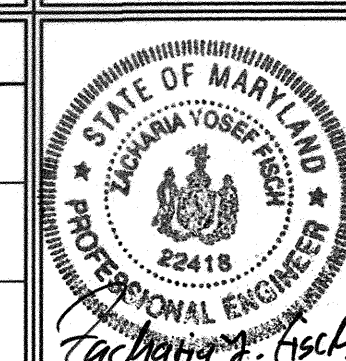
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/26/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9/26/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 9/26/05
DIRECTOR DATE

PERMIT INFORMATION CHART					
Project Name:		Section/Area		Parcel No.	
Butler Property		N/A		552	
Deed#	Grid	Zoning	Tax Map No.	Elect. District	Census Tract
1983/143	7	R-12	38	1ST	601202
Water Code			Sewer Code		
D-08			2152215		



FSH Associates
Engineers Planners Surveyors
8318 Forest Street Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: info@fsha.biz

DESIGN BY: PS
DRAWN BY: HK/MT/MA
CHECKED BY: ZYF
SCALE: As Shown
DATE: Sept. 12, 2005
I.C. No.: 3275
SHEET No.: 1 OF 2

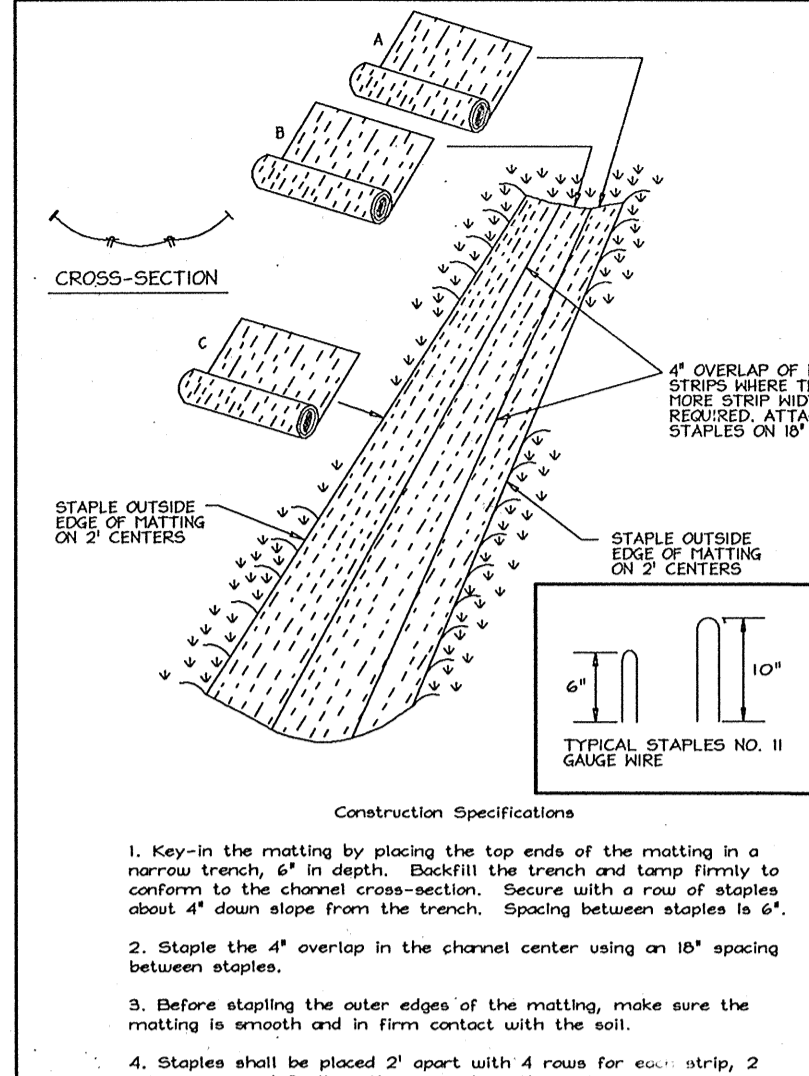
21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Topsoil is the soil which is either highly acidic or composed of heavy clays, or both... Purpose: To provide a suitable soil medium for vegetation growth... Construction and Material Specifications: Topsoil salvaged from the existing site may be used...

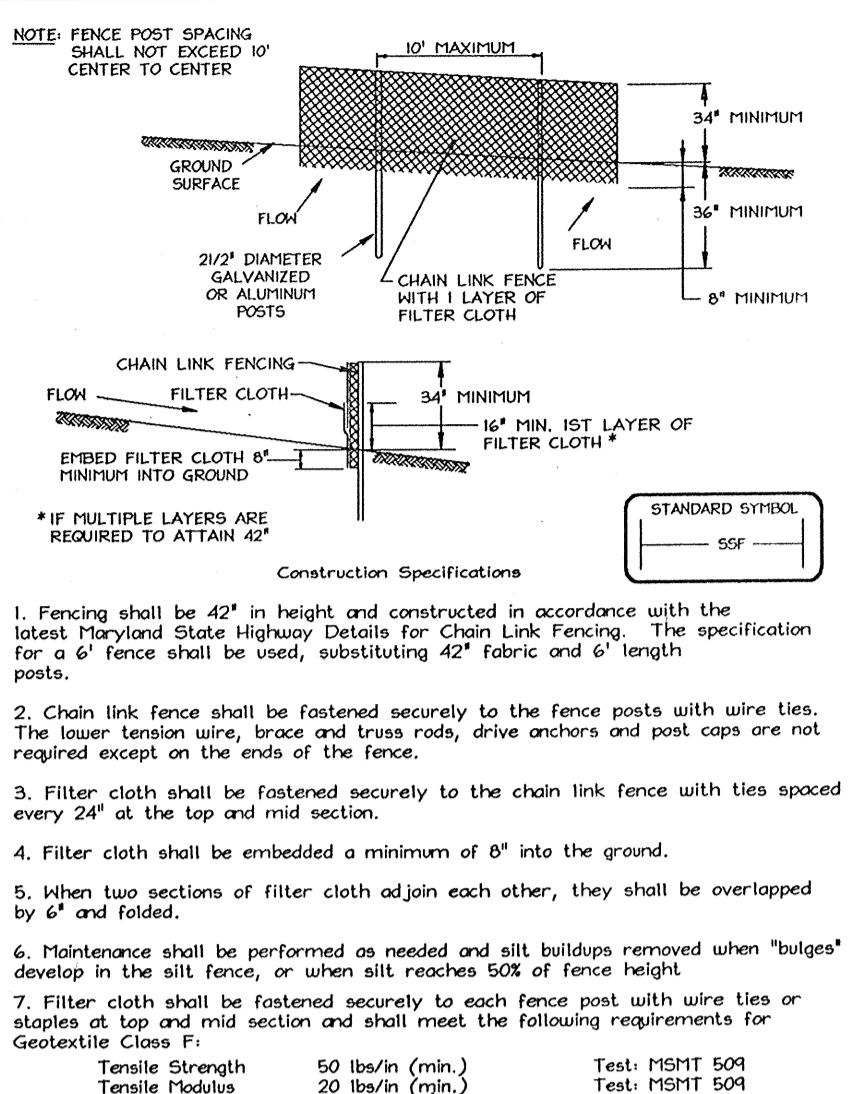
SEDIMENT CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits... 2. All vegetation and structural practices are to be installed according to the provisions of this plan... 3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (7) 7 calendar days...

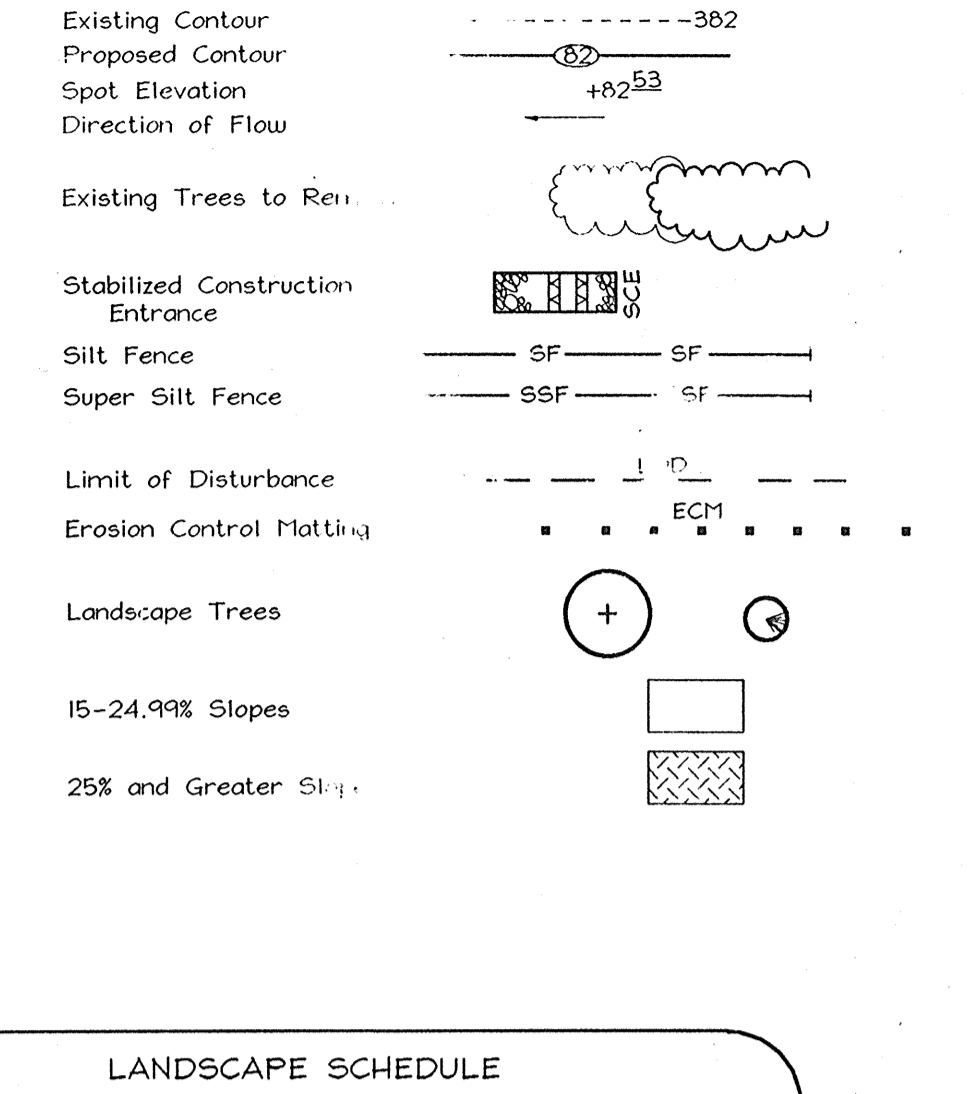
DETAIL 30 - EROSION CONTROL MATTING



DETAIL 33 - SUPER SILT FENCE



LEGEND



SEQUENCE OF CONSTRUCTION

- 1. Obtain grading permit. 2. Notify Howard County Department of Inspections, License and Permits at (410) 313-1880 at least 24 hours before starting any work. 3. Install Stabilized Construction Entrance, Silt Fence and Super Silt Fence... 4. Begin house construction... 5. Complete house construction, construct driveway, fine grade site, construct Grass Channels and install Erosion Control Matting... 6. During grading and after each rainfall, contractor will inspect and provide necessary maintenance to the sediment control measures on this plan... 7. Upon stabilization of all disturbed areas and with the permission of the Sediment Control Inspector, remove all sediment control measures and stabilize any remaining disturbed area... 10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls...

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS, NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LEIVED VEGETATIVE COVER IS NEEDED... SEEDBED PREPARATION: Loosen upper three inches of soil by rolling, tilling or other acceptable means before seeding... SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules: 1) Preferred: Apply 2 tons per acre dolomitic limestone...

TEMPORARY SEEDING NOTES

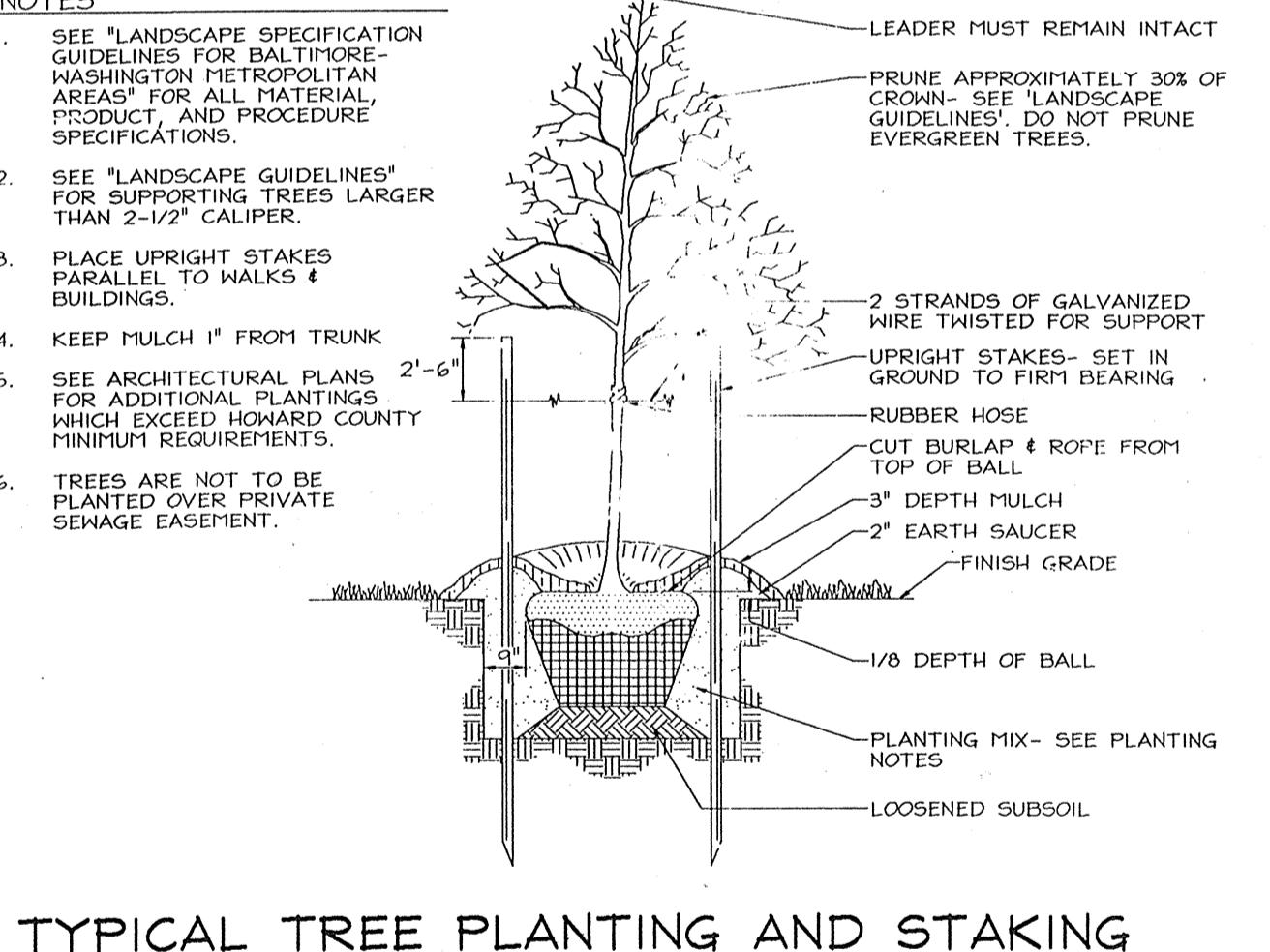
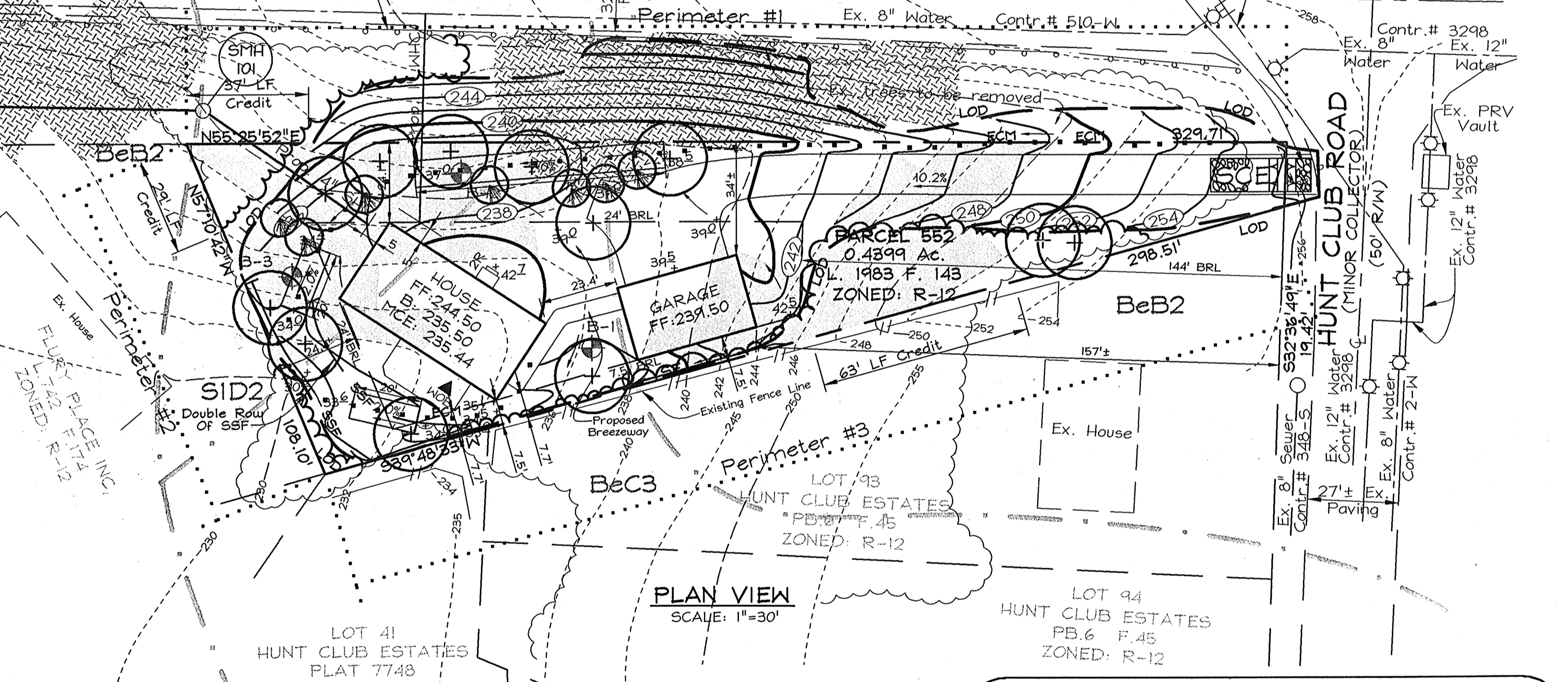
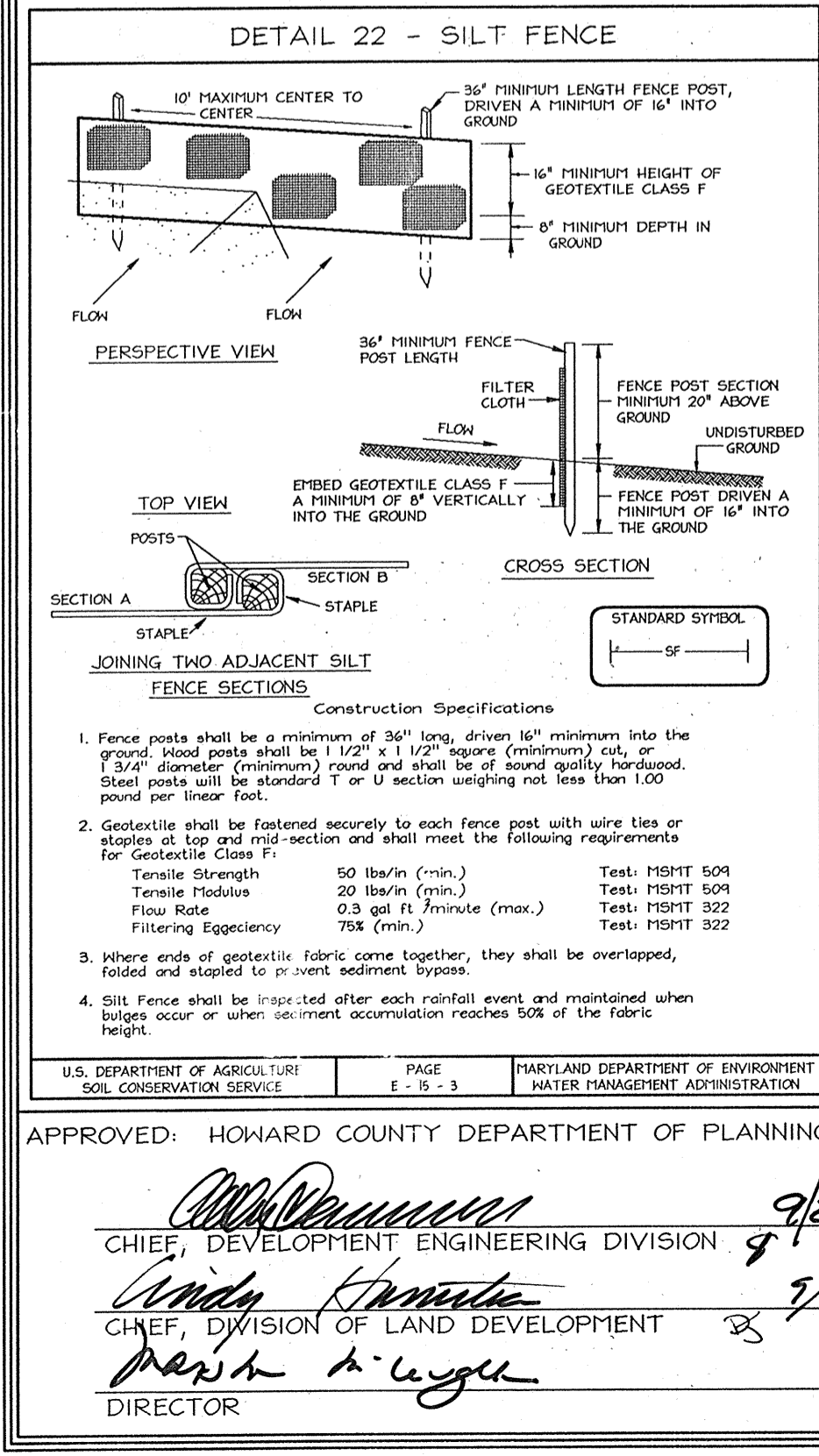
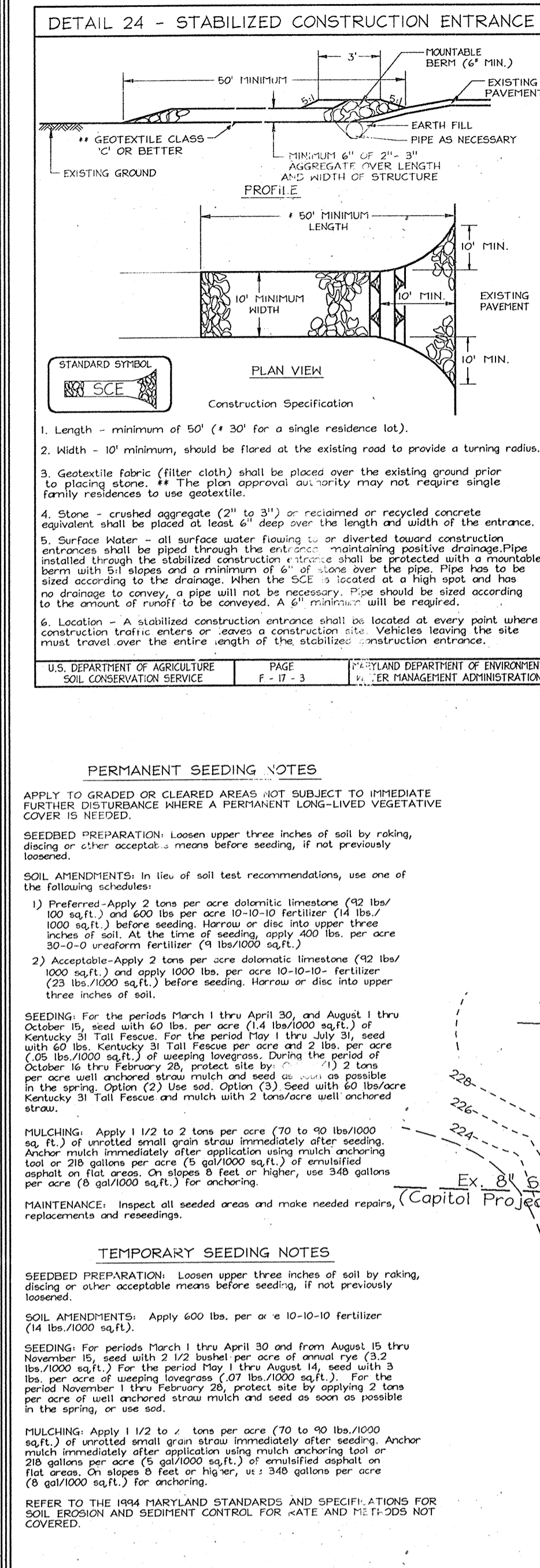
SEEDBED PREPARATION: Loosen upper three inches of soil by rolling, tilling or other acceptable means before seeding... SOIL AMENDMENTS: Apply 600 lbs. per acre of 10-20-20 fertilizer... SEEDING: For periods March 1 thru April 30 and August 1 thru November 30, seed with 2 1/2 tons per acre of 10-20-20 fertilizer... MULCHING: Apply 1 1/2 to 2 tons per acre of 10-20-20 fertilizer...

LANDSCAPE SCHEDULE

Table with columns: KEY, QUAN., BOTANICAL NAME, SIZE, NOTE. Includes items like Acer rubrum Red Maple and Thuja Occidentalis Arborvitae.

LANDSCAPE NOTES

- 1. At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height and requirements in accordance with the Howard County Landscaping Manual... 2. The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls... 3. Financial surety for the required landscaping will be posted as part of the Developer's Grading Permit...

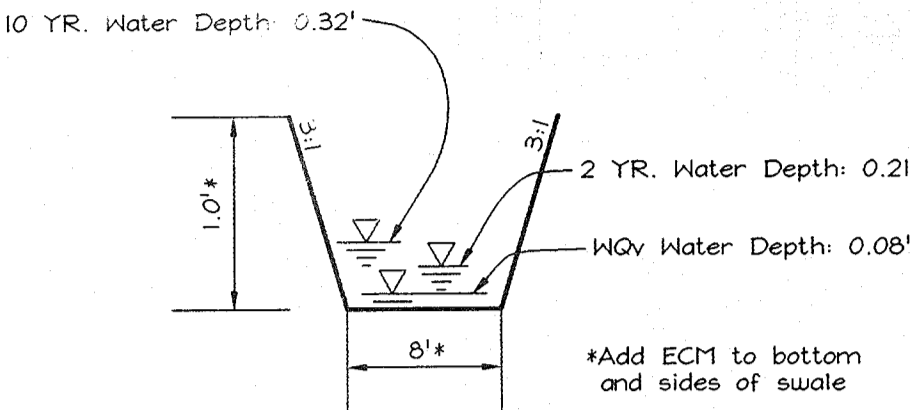


SOILS LEGEND table with columns: SYMBOL, NAME / DESCRIPTION, SOIL GROUP. Lists soil types like BeB2, BeC3, and SiD2.

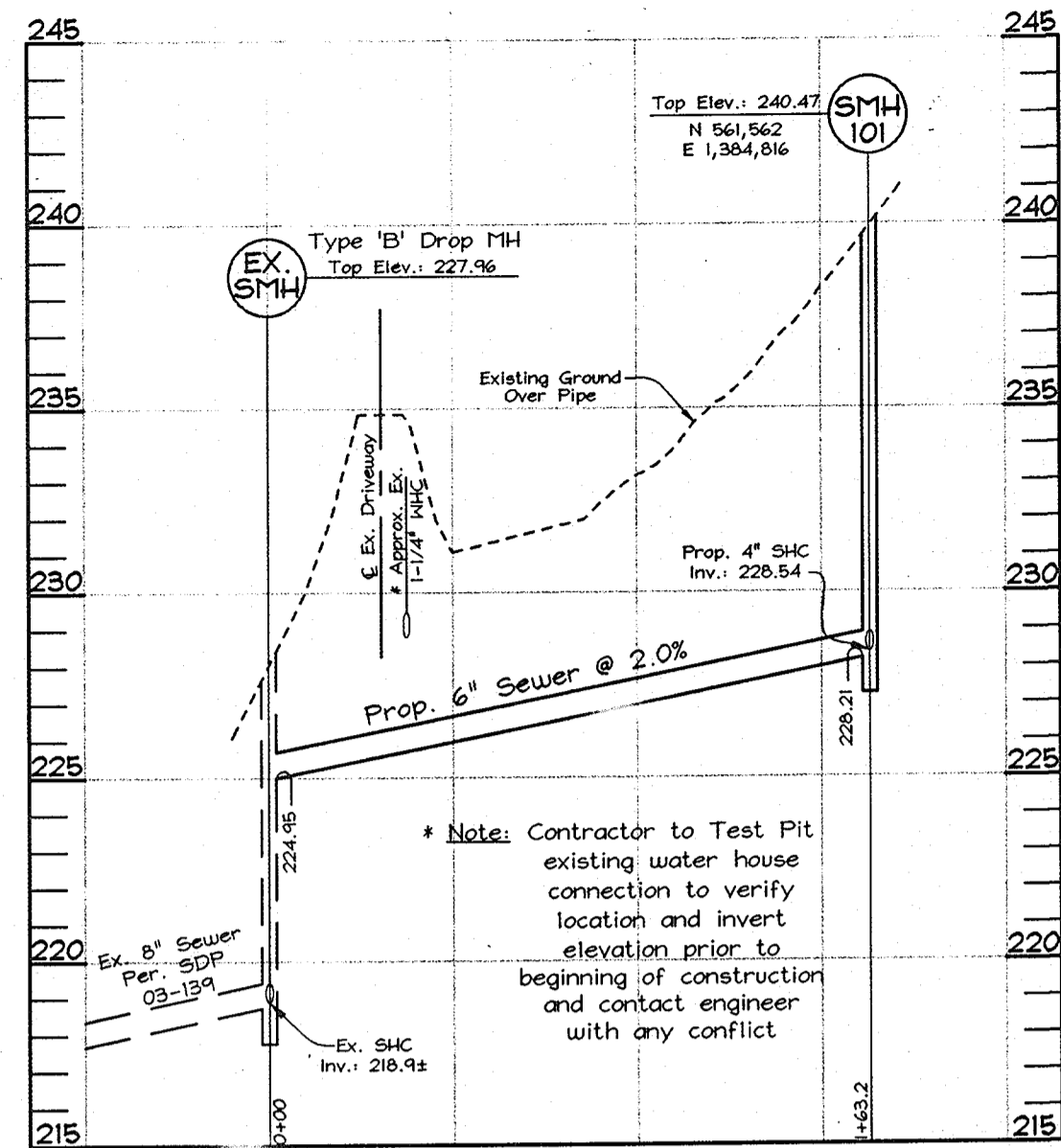
SCHEDULE A PERIMETER LANDSCAPE EDGE table with columns: CATEGORY, ADJACENT TO ROADWAYS, ADJACENT TO PERIMETER PROPERTIES. Lists items like Perimeter/Frontage Designation and Credit for Existing Vegetation.

OWNER/DEVELOPER: RANDALL BUTLER, 8206 Washington Road, Laurel, MD. SEDIMENT AND EROSION CONTROL, LANDSCAPE PLAN & DETAILS, BUTLER PROPERTY. PARCEL 552 SINGLE FAMILY DETACHED DWELLING. TAX MAP 38 GRID 7. ELECTION DISTRICT. HOWARD COUNTY, MARYLAND.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS. ENGINEERS CERTIFICATE. DEVELOPER'S CERTIFICATE. DEVELOPER'S BUILDER'S CERTIFICATE. DESIGN BY: PS, DRAWN BY: HK, CHECKED BY: ZYF, SCALE: As Shown, DATE: Sept. 12, 2005, W.O. No.: 3275, SHEET No.: 2 OF 2. FSH Associates Engineers Planners Surveyors. 8199 Forrest Street | Bldg. #21043, Tel: 410-750-2251, Fax: 1780/350, E-mail: info@fshta.com.



TYPICAL GRASS CHANNEL
Scale: Horizontal-1"=10'
Vertical-1"=1'



SEWER PROFILES
Scale: Horizontal-1"=50'
Vertical-1"=5'

ADDRESS CHART

Parcel	Street
552	5910 Hunt Club Road

SHEET INDEX

DESCRIPTION	SHEET No.
Site Development Plan	1 of 2
Sediment and Erosion Control, Landscape Plan & Details	2 of 2

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- a. Total project area: 0.44 Acres±
- b. Area of plan submission: 0.55 Acres±
- c. Limit of disturbed area: 0.44 Acres±
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- e. Proposed uses for site & structures: single family detached
- f. Floor space on each level of building(s) per use: See house templates this sheet
- g. Total number of units allowed: 1
- h. Total number of units proposed: 1
- i. Proposed building coverage of site: 0.13 acres±; 30% of gross lot area
- j. Howard County file references: Capital Project #5-8690; Contr.# 510-W; Contr.# HO-307-16-742; Contr.# 3298; Contr.# 2-W; Contr.# 348-S; SHA Plat# 31601; Administrative Adjustment Case # 05-16

LEGEND

- Existing Contour: ---
- Proposed Contour: ---
- Spot Elevation: +82.53
- Direction of Flow: --->
- Existing Trees to Remain: [Symbol]
- Stabilized Construction Entrance: [Symbol]
- Silt Fence: SF --- SF
- Super Silt Fence: SSF --- SSF
- Limit of Disturbance: LOD ---
- Erosion Control Matting: ECM [Symbol]

BENCHMARKS

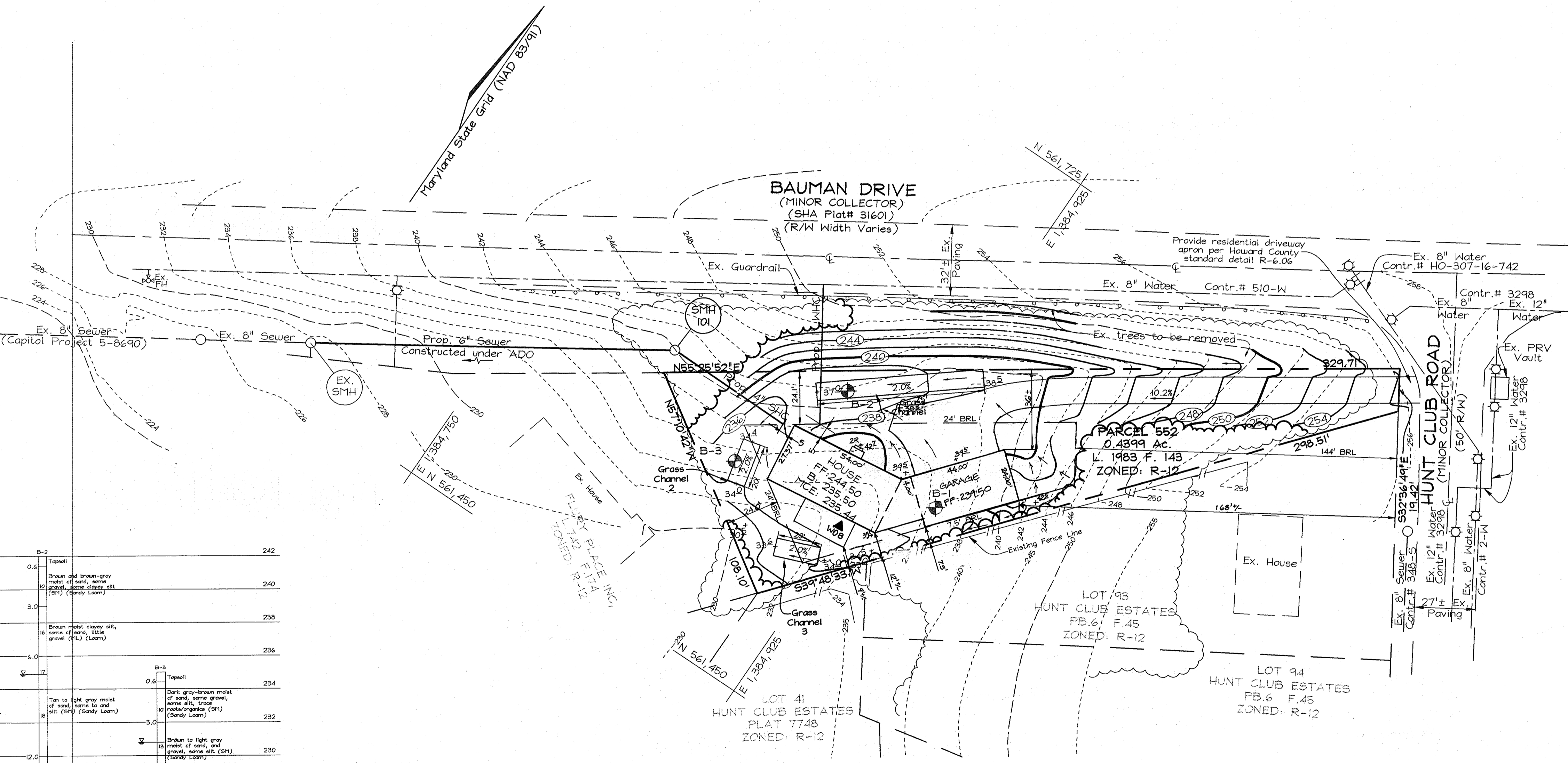
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	N 171,577.1409 (m)	E 422,105.1601 (m)	EI. 78.7899 (m)
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	N 171,595.9222 (m)	E 422,541.4618 (m)	EI. 68.5290 (m)

GENERAL NOTES

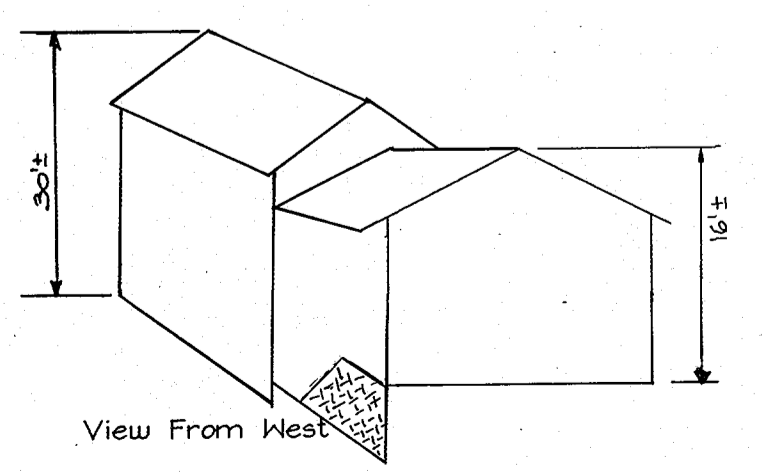
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20. The Subject Property is zoned R-12 per the 02/02/04 Comprehensive Zoning Plan per Council Bill 75-2003.
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 - reduce the rear "BRL" from 30' to 24'
 - reduce the side "BRL" along Bauman Road from 30' to 24'
 Administrative Adjustment was approved on July 26, 2005.
27. The garage is two-stories and is attached to the house. The Garage is not an accessory structure since it is connected to the house by a breezeway.

OWNER/DEVELOPER
RANDALL BUTLER
8206 Washington Road
Laurel, MD 20724
301.776.2421



PLAN VIEW
Scale: 1"=30'



HOUSE TEMPLATE
Not to Scale

S.W.M. BORING PROFILES
NOT TO SCALE

242	0.6	Taproot	242
240	3.0	Brown and brown-gray moist of sand, some green, some clay, silty (S1) (Sandy Loam)	240
238	16	Brown moist clayey silt, some of sand, little green (F1) (Loam)	238
236	0.6	Taproot	236
234	3.0	Brown very moist silt & clay, and of sand, trace green (F2) (Loam)	234
232	3.0	Tan to light gray moist of sand, some silty, trace green (S2) (Sandy Loam)	232
230	6.0	Brown and gray moist of sand, silty, trace green (S1) (Sandy Loam)	230
228	6.0	Brown and gray moist of sand, silty, trace green (S1) (Sandy Loam)	228
226	0.6	Taproot	226

At completion, water at 3.0', hole covered at 4.4'
1 Day after completion, water at 3.5', hole covered at 4.7'

At completion, water at 7.0', hole covered at 7.3'
1 Day after completion, water at 7.7', hole covered at 7.9'

At completion, water at 4.2', hole covered at 5.3'
1 Day after completion, water at 4.2', hole covered at 4.7'

SITE DEVELOPMENT PLAN
BUTLER PROPERTY
PARCEL 552
SINGLE FAMILY DETACHED DWELLING
TAX MAP 38 GRID 7
1ST ELECTION DISTRICT

PERMIT INFORMATION CHART

Project Name:	Butler Property	Section/Area:	N/A	Parcel No.:	552
Deed#:	1983/143	Grid:	7	Zoning:	R-12
Water Code:	D-08	Tax Map No.:	38	Elect. District:	1ST
		Census Tract:	601202	Sewer Code:	2152215

FSH Associates
Engineers Planners Surveyors
8318 Forrest Street, Elkton City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: info@fsh.biz

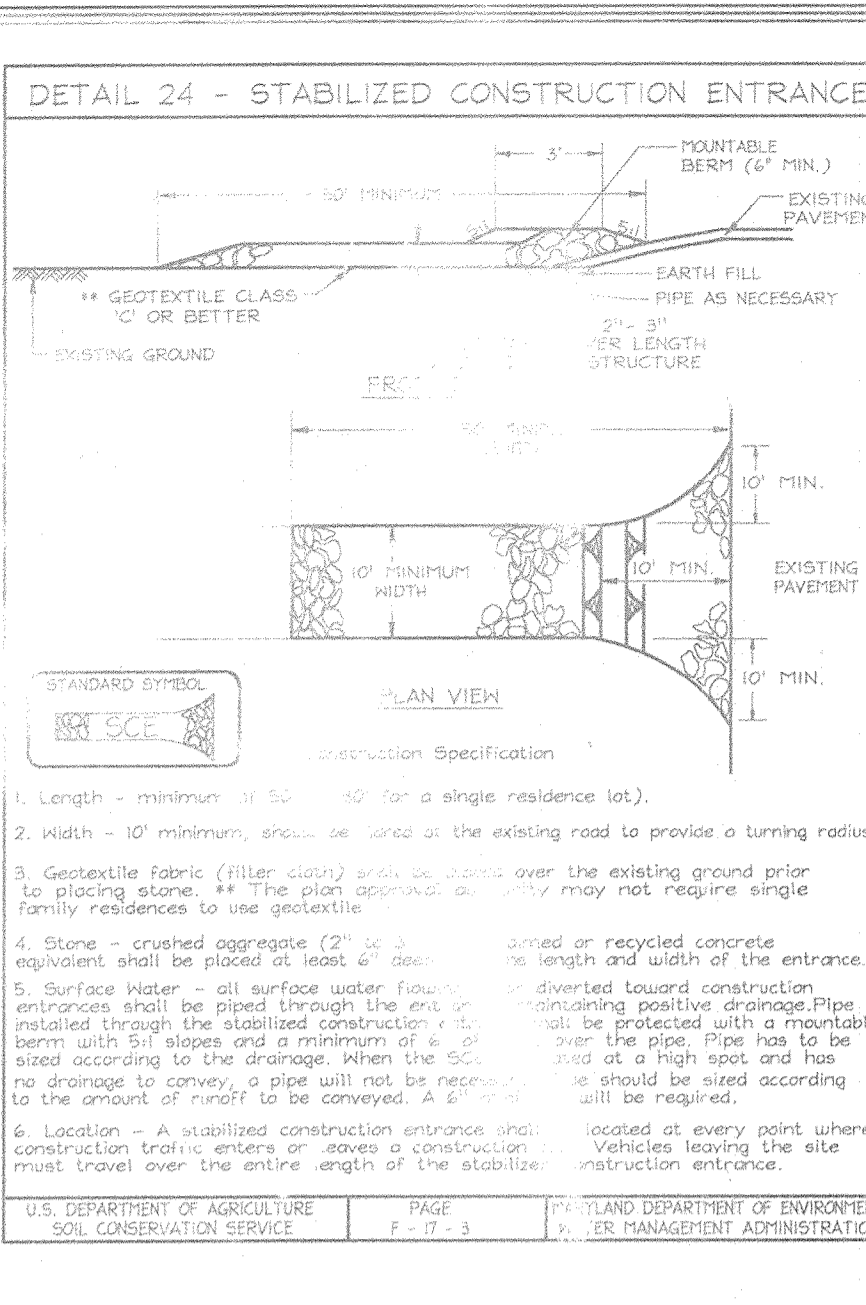
DESIGN BY: PS
DRAWN BY: HK/MT/MA
CHECKED BY: ZYF
SCALE: As Shown
DATE: Sept. 12, 2005
I.C.O. No.: 3275
SHEET No.: 1 OF 2

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/13/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 9/12/05
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 9/12/05
DIRECTOR



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil to establish permanent vegetation.

Purpose: To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, material such as gravel, sand, or unconsolidated soil gradation.

Conditions Where These Apply: This practice is limited to areas having 2:1 or flatter slopes where the texture of the mineral subsoil material is not adequate to produce vegetative growth.

Construction and Material Specifications:

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Topsoil shall be salvaged from the representative soil profile section in the Soil Survey published by USDA-NRCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or approved by the appropriate authority.
 - Topsoil shall not be free of plants or plant parts such as Bermuda grass, dogwood, johnsongrass, nutgrass, poison ivy, thistle, or dandelion.

SEQUENCE OF CONSTRUCTION

- Obtain grading permit.
- Notify Howard County Department of Inspections, License and Permits at (410) 313-1600 at least 24 hours before starting any work.
- Install Stabilized Construction Entrance, Silt fence and Super Silt Fence. (1 week)
- Begin house construction.
- Complete house construction, construct driveway, fine grade site, construct Grass Channels and install Erosion Control Matting. (3 months)
- During grading and after each rainfall, contractor will inspect and provide necessary maintenance to the sediment control measures on this plan.
- Upon stabilization of all disturbed areas and with the permission of the Sediment Control Inspector, remove all sediment control measures and stabilize any remaining disturbed area. (1 week)

SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

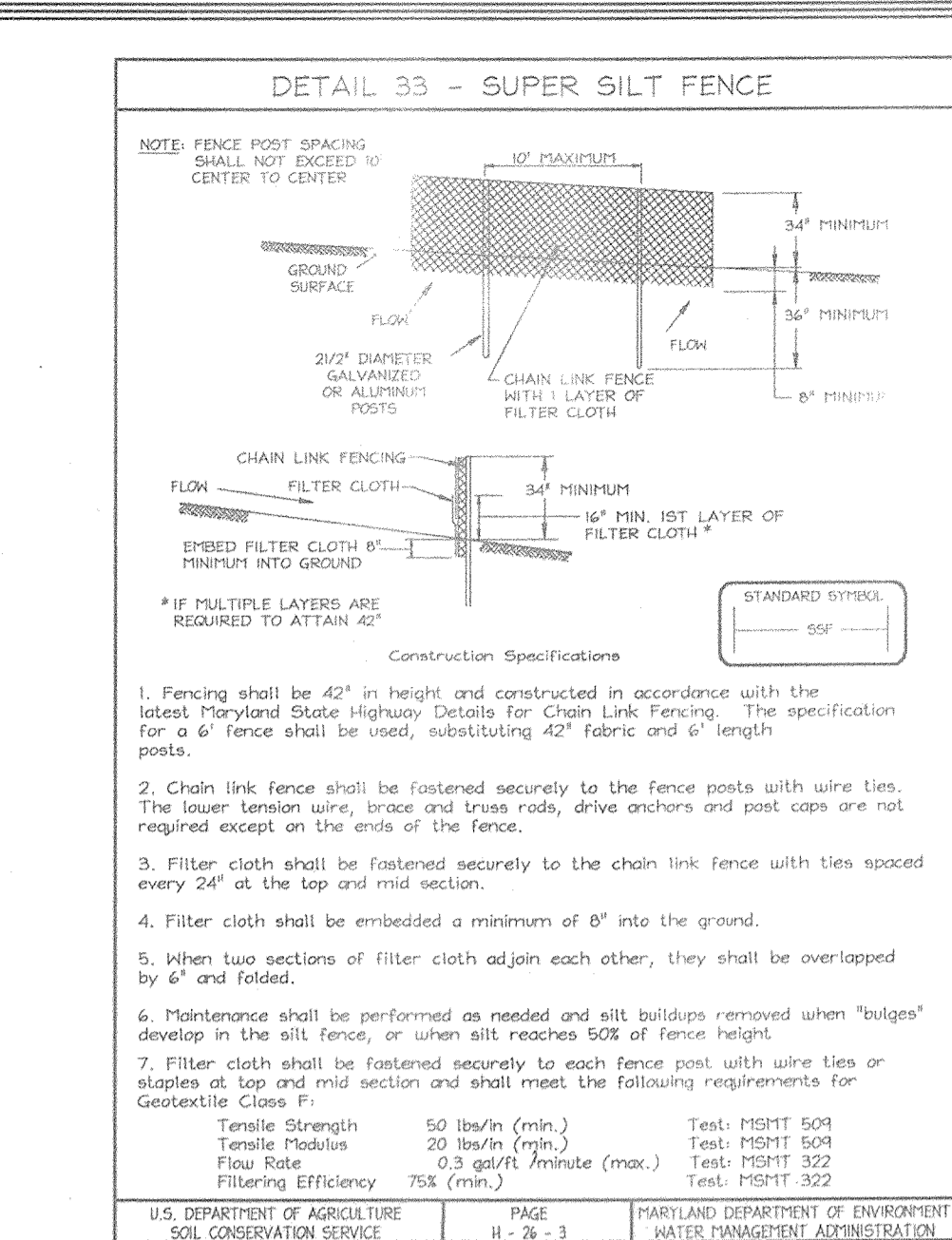
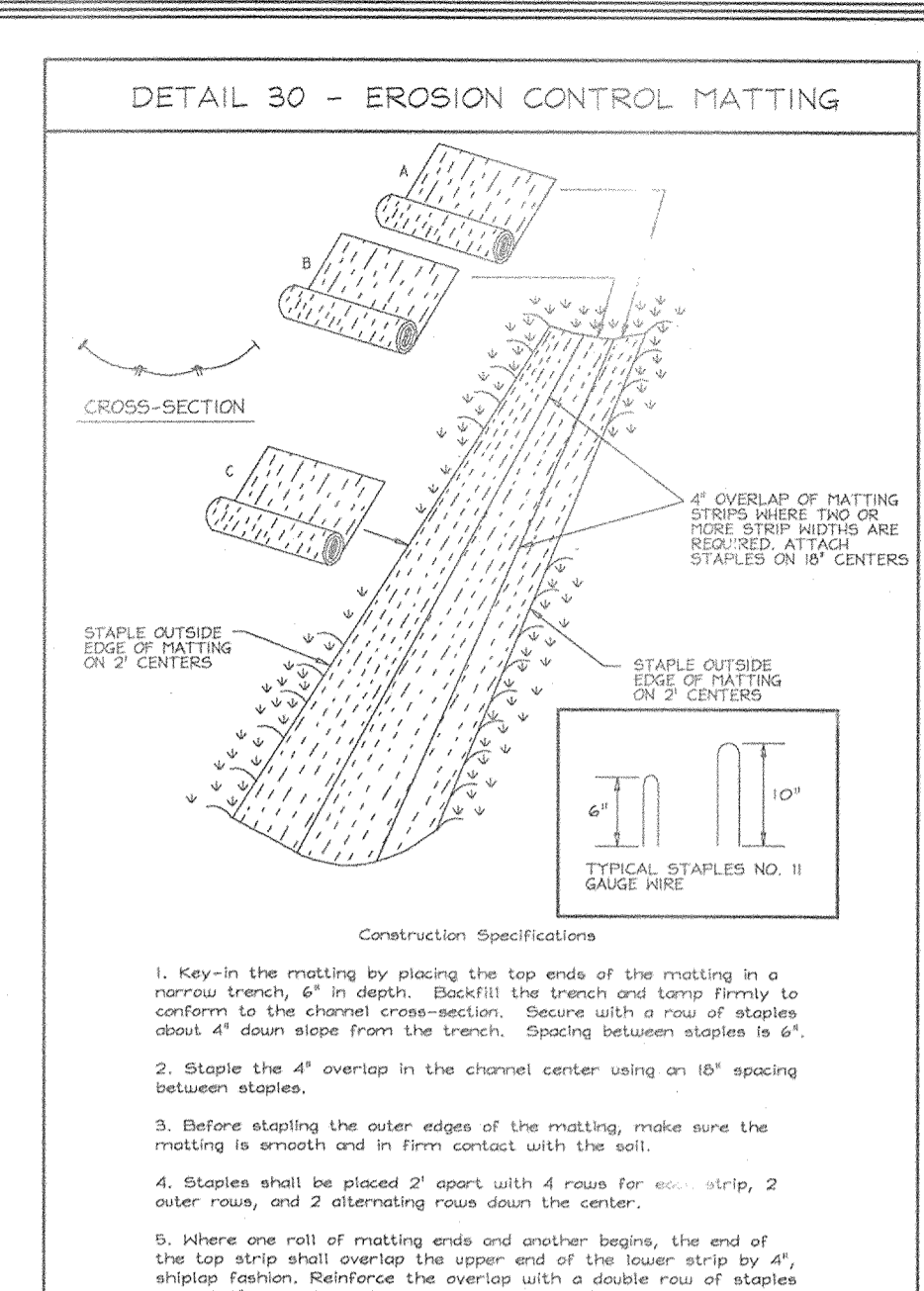
SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Phosphorus: Apply 2 tons per acre dolomitic limestone (40 lbs/1000 sq ft.) and 600 lbs per acre (14 lbs/1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 30-0-0 urea-form fertilizer (4 lbs/1000 sq ft.)
- Available: Apply 3 tons per acre dolomitic limestone (12 lbs/1000 sq ft.) and apply 1000 lbs per acre 10-10-10 fertilizer (20 lbs/1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (913-1855).
- All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days for all other disturbed or graded areas on the project site.
- All sediment traps/basins shall be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding rates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area	0.44 Acres
Area Disturbed	0.44 Acres
Area to be roofed or paved	0.13 Acres
Area to be vegetatively stabilized	0.31 Acres
Total FILL	4558 CY
Offsite Sediment/Borrow Area location	##
- Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may otherwise be required until the initial approval by the inspection agency is made.
- Earthwork operations are solely for the purpose of calculating fees. Contractor to verify all quantities prior to the start of construction.
- To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.



PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS DESIRED.

SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- Phosphorus: Apply 2 tons per acre dolomitic limestone (40 lbs/1000 sq ft.) and 600 lbs per acre (14 lbs/1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 30-0-0 urea-form fertilizer (4 lbs/1000 sq ft.)
- Available: Apply 3 tons per acre dolomitic limestone (12 lbs/1000 sq ft.) and apply 1000 lbs per acre 10-10-10 fertilizer (20 lbs/1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 1/2\"/>

MULCHING: Apply 1 1/2\"/>

TEMPORARY SEEDING NOTES

SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft.)

SEEDING: For periods March 1 thru April 30 and from August 1 thru November 15, seed with 1 1/2\"/>

MULCHING: Apply 1 1/2\"/>

REFER TO THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND PHOSPHORUS NOT COVERED.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS DESIRED.

SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

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- Phosphorus: Apply 2 tons per acre dolomitic limestone (40 lbs/1000 sq ft.) and 600 lbs per acre (14 lbs/1000 sq ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 30-0-0 urea-form fertilizer (4 lbs/1000 sq ft.)
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SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 1/2\"/>

MULCHING: Apply 1 1/2\"/>

TEMPORARY SEEDING NOTES

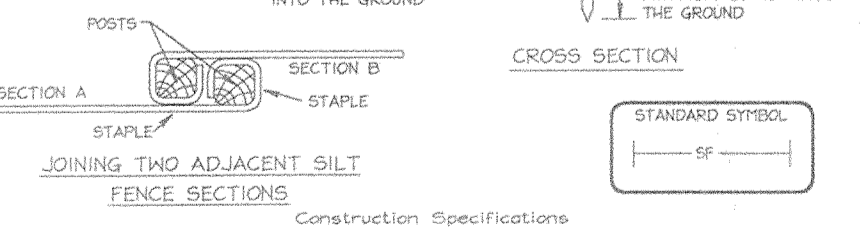
SEEDING PREPARATION: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft.)

SEEDING: For periods March 1 thru April 30 and from August 1 thru November 15, seed with 1 1/2\"/>

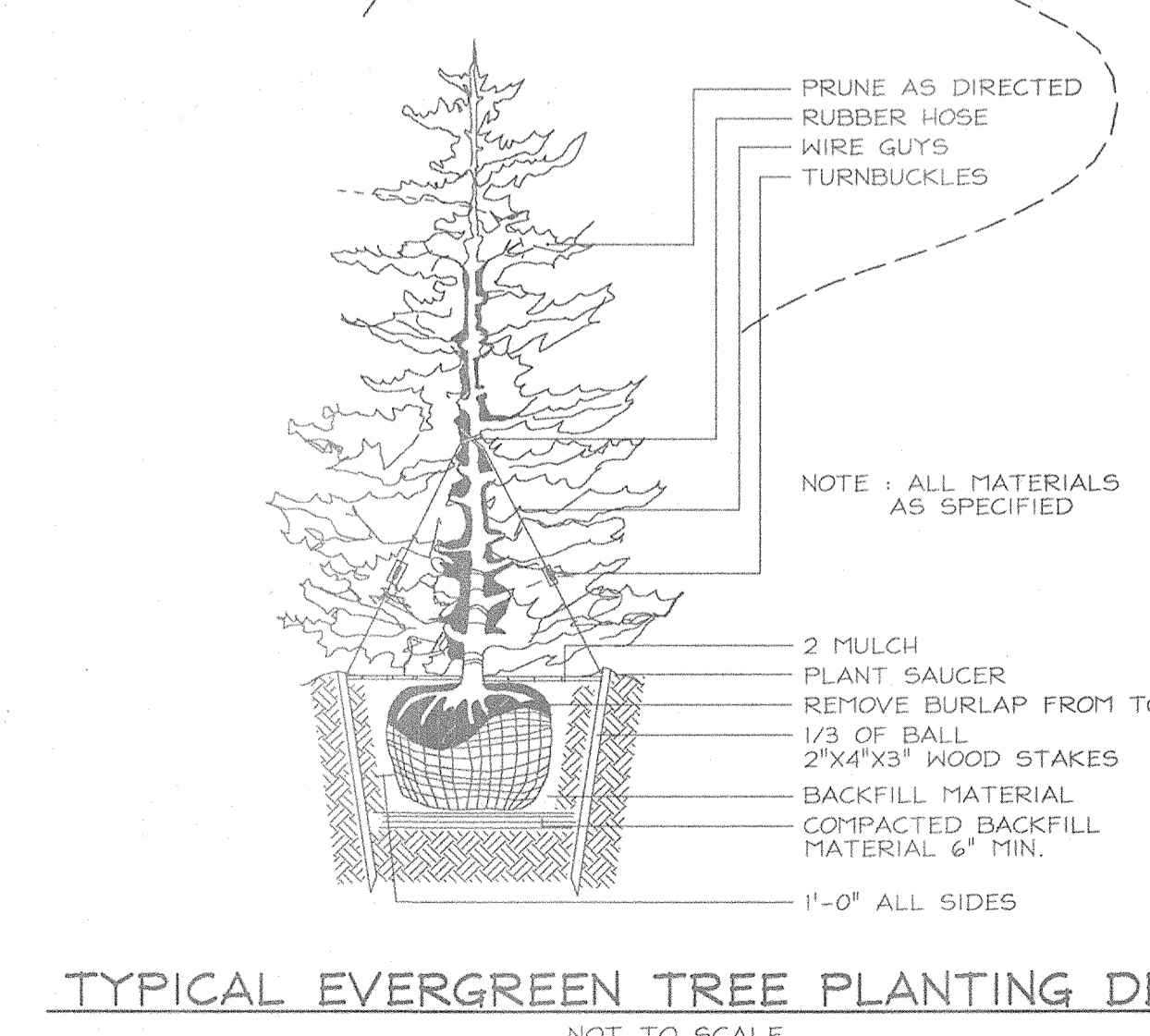
MULCHING: Apply 1 1/2\"/>

REFER TO THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND PHOSPHORUS NOT COVERED.



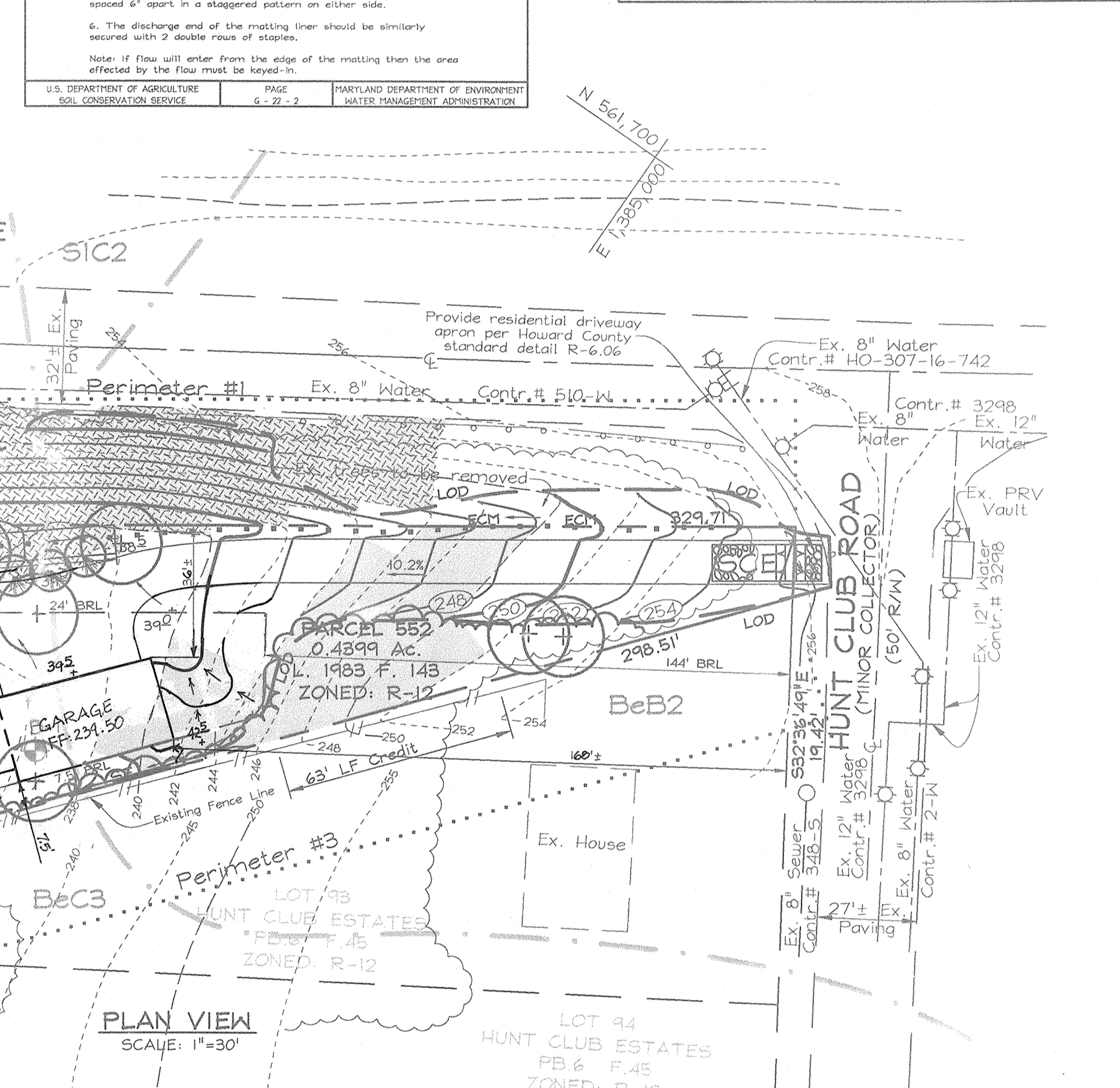
Construction Specifications:

- Fence posts shall be a minimum of 3/4\"/>



SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	SOIL GROUP
BeB2	Beltville silt loam, 1 to 5 percent slopes, moderately eroded	C
BeC3	Beltville silt loam, 5 to 10 percent slopes, severely eroded	C
SiD2	Sassafras loam, 10 to 15 percent slopes, moderately eroded	B



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
Perimeter/Frontage Designation	1	2
Linear Feet of Roadway	330	108
Frontage/Perimeter	3	299
Credit for Existing Vegetation (Yes, No, Linear Feet)	Yes* 291 (293')	Yes* 63 (236')
Remaining Perimeter Length	No	No
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)	No	No
Remaining Perimeter Length	-	-
Number of Plants Required		
Shade Trees	150 6	160 2
Evergreen Trees	140 7	-
Shrubs	-	-
Number of Plants Provided		
Shade Trees	6	2
Evergreen Trees	63	4
Other Trees (2:1 Substitution)	-	-
Shrubs (10:1 Substitution)	-	-
(Describe Plant Substitution Credits Below if needed)	-	-

NOTE: The proposed House Fronts on Hunt Club Road, therefore no perimeter is required. * Existing trees to remain.

LEGEND

Existing Contour
Proposed Contour
Spot Elevation
Direction of Flow

Existing Trees to Remain

Stabilized Construction Entrance
Silt Fence
Super Silt Fence

Limit of Disturbance
Erosion Control Matting

Landscape Trees

15-24% Slopes
25% and Greater Slopes

LANDSCAPE SCHEDULE

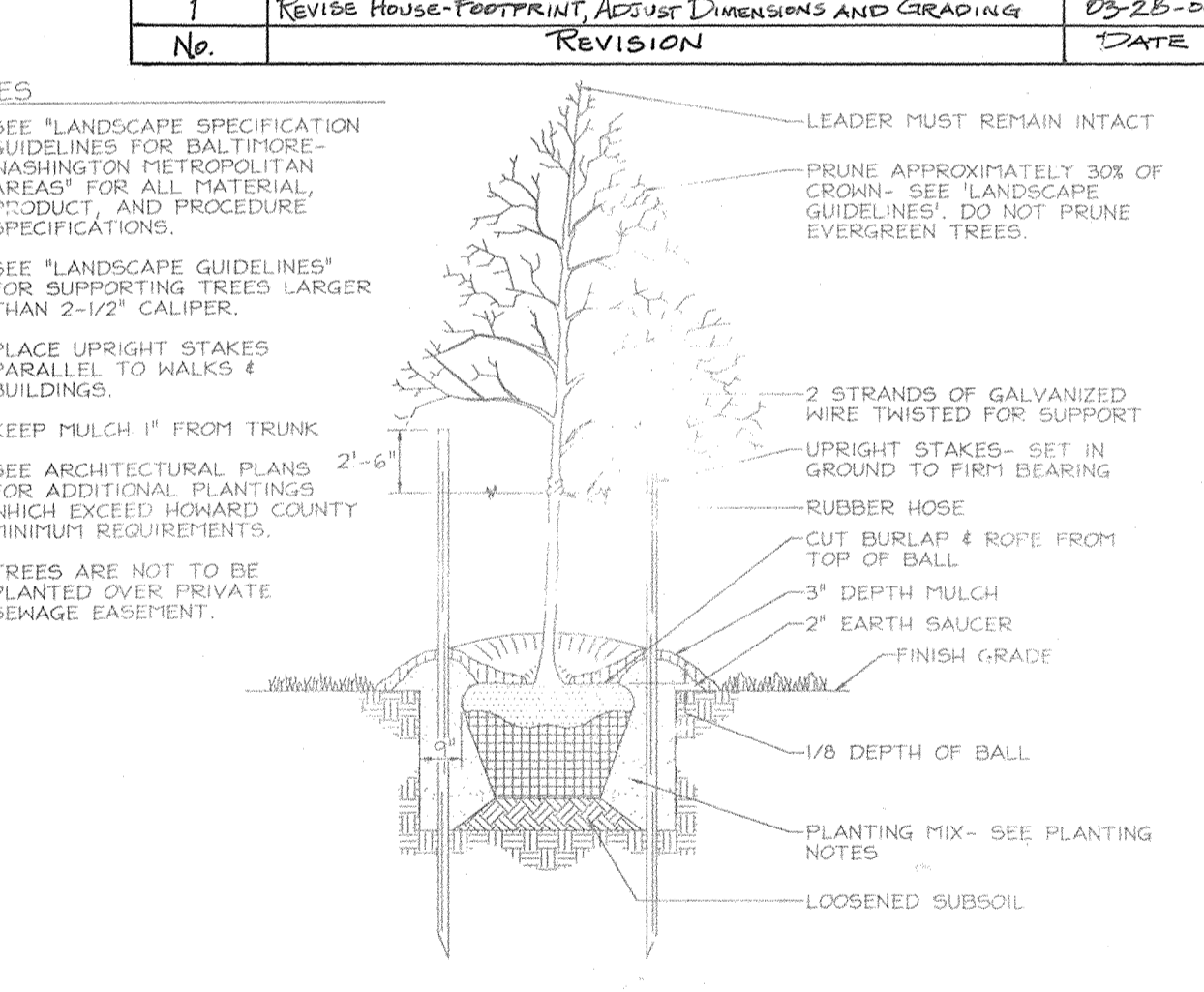
KEY	QUAN.	BOTANICAL NAME	SIZE	NOTE
12	1	Acer rubrum Red Maple	2 1/2\"-3\" Cal.	B & E R
7	1	Thuja Occidentalis Arborvitae	5'-6' Ht.	B & E B

LANDSCAPE NOTES

- At the time of installation, all shrubs and other plantings hereunto listed and approved for this site, shall be in accordance with the requirements in accordance with the Howard County Landscaping Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape survey until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- Financial surety for the required landscaping will be posted as part of the Developer's Grading Permit in the amount of \$4,650.00 (12 shade trees @ \$300.00 each and 7 evergreens @ \$150.00 each) at Site Development Plan Stage.
- Perimeter landscaping other than in the Forest Conservation Easement shall be planted at the Site Development plan stage.

NOTES

No.	REVISION	DATE
1	REVISE HOUSE-FOOTPRINT, ADJUST DIMENSIONS AND GRADING	05-28-06



TYPICAL TREE PLANTING AND STAKING

DECIDUOUS TREES UP TO 2-1/2\"/>

OWNER/DEVELOPER

RANDALL BUTLER
8206 Washington Road
Laurel, MD 20724
301.776.2421

SEDIMENT AND EROSION CONTROL, LANDSCAPE PLAN & DETAILS BUTLER PROPERTY

PARCEL 552
SINGLE FAMILY DETACHED DWELLING

IST MAP 38 GRID 7
TAX ELECTION DISTRICT

PARCEL 552
HOWARD COUNTY, MARYLAND

DESIGN BY: FS
DRAWN BY: HK
CHECKED BY: ZYF
SCALE: As Shown
DATE: Sept. 12, 2005
P.O. No.: 3275
SHEET No.: 2 of 2

FSH Associates
Engineers Planners Surveyors
8318 Forest St. #1100
Tel: 410-750-2251 Fax: 410-750-1350
E-mail: info@fsha.tv

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

9/2/05
9/14/05
9/15/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Zacharia Y. Fisch
SIGNATURE OF ENGINEER
ZACHARIA Y. FISCH

DEVELOPER'S CERTIFICATE

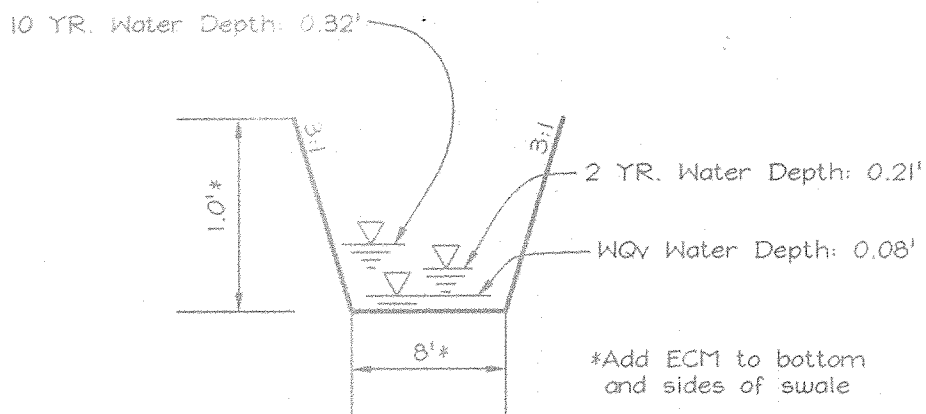
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. ALSO AUTHORIZES PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Randall Butler
SIGNATURE OF DEVELOPER
RANDALL BUTLER

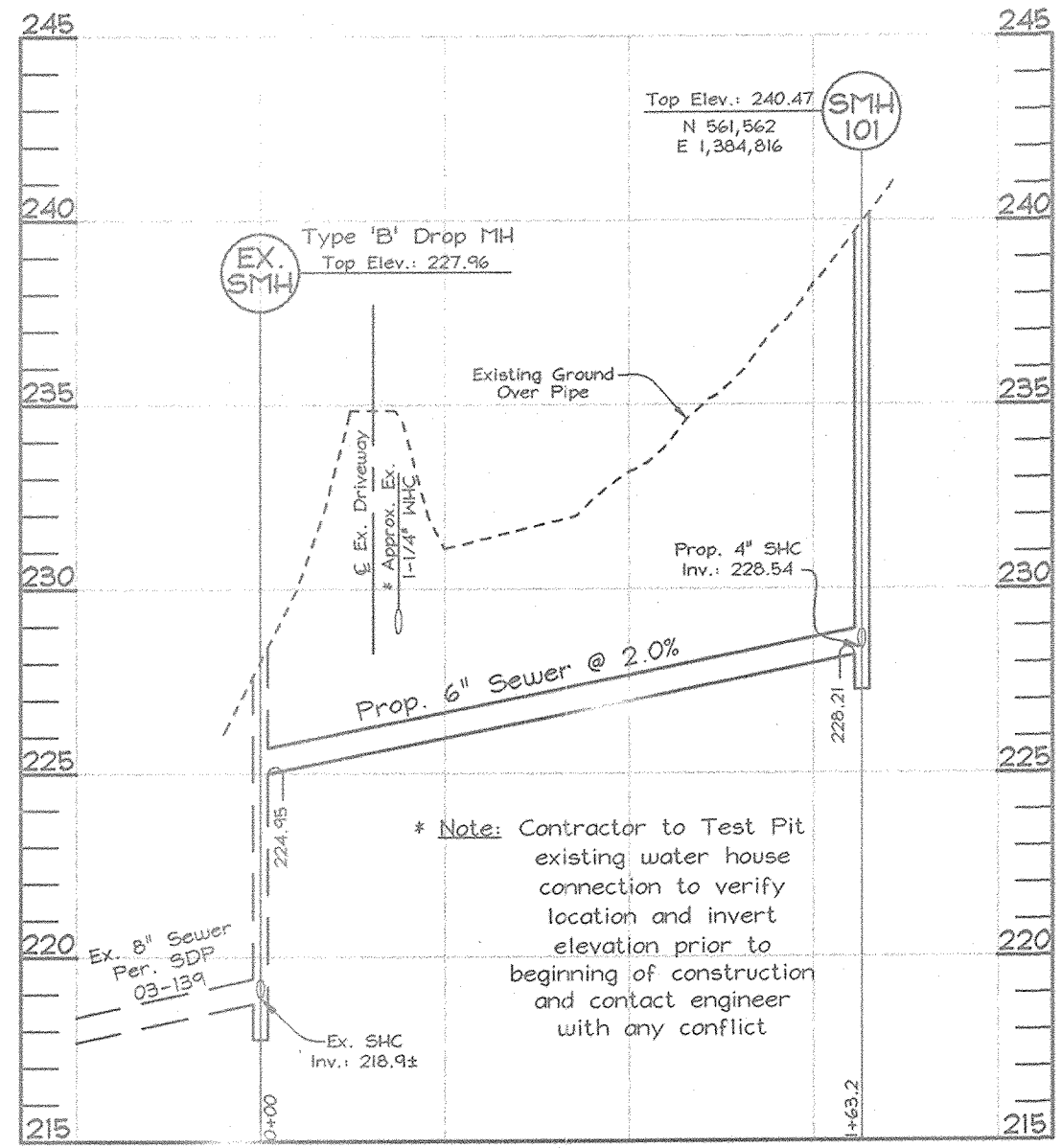
DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE SECTION 16.24 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Randall Butler
SIGNATURE OF DEVELOPER
RANDALL BUTLER



TYPICAL GRASS CHANNEL
Scale: Horizontal-1"=10'
Vertical-1"=1'



SEWER PROFILES
Scale: Horizontal-1"=50'
Vertical-1"=5'

ADDRESS CHART

Parcel	Street
552	5910 Hunt Club Road

SHEET INDEX

DESCRIPTION	SHEET No.
Site Development Plan	1 of 2
Sediment and Erosion Control, Landscape Plan & Details	2 of 2

SITE ANALYSIS DATA CHART

- a. Total project area: 0.44 Acres
- b. Area of plan submission: 0.55 Acres
- c. Limit of disturbed area: 0.44 Acres
- d. Subject property zoned R-12 per 02/02/04 Comprehensive Zoning Plan.
- e. Proposed uses for site & structures: single family detached
- f. Floor space on each level of building(s) per use: See house templates this sheet
- g. Total number of units allowed: 1
- h. Total number of units proposed: 1
- i. Proposed building coverage of site: 0.13 acres; 30% of gross lot area
- j. Howard County file references: Capital Project #5-8640; Contr.# 510-W; Contr.# HO-307-16-742; Contr.# 3298; Contr.# 2-N; Contr.# 348-S; SHA Plat# 31601; Administrative Adjustment Case # 05-16

LEGEND

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Existing Trees to Remain
- Stabilized Construction Entrance
- Silt Fence
- Super Silt Fence
- Limit of Disturbance
- Erosion Control Matting

BENCHMARKS

Sta. 37C3	N 562,916.003 (ft.)	E 1,384,856.679 (ft.)	EI. 258.497 (ft.)
	N 171,577.1409 (m)	E 422,105.1601 (m)	EI. 78.7899 (m)
Sta. 38A4	N 562,977.621 (ft.)	E 1,386,288.112 (ft.)	EI. 224.176 (ft.)
	N 171,595.9222 (m)	E 422,541.4618 (m)	EI. 68.3290 (m)

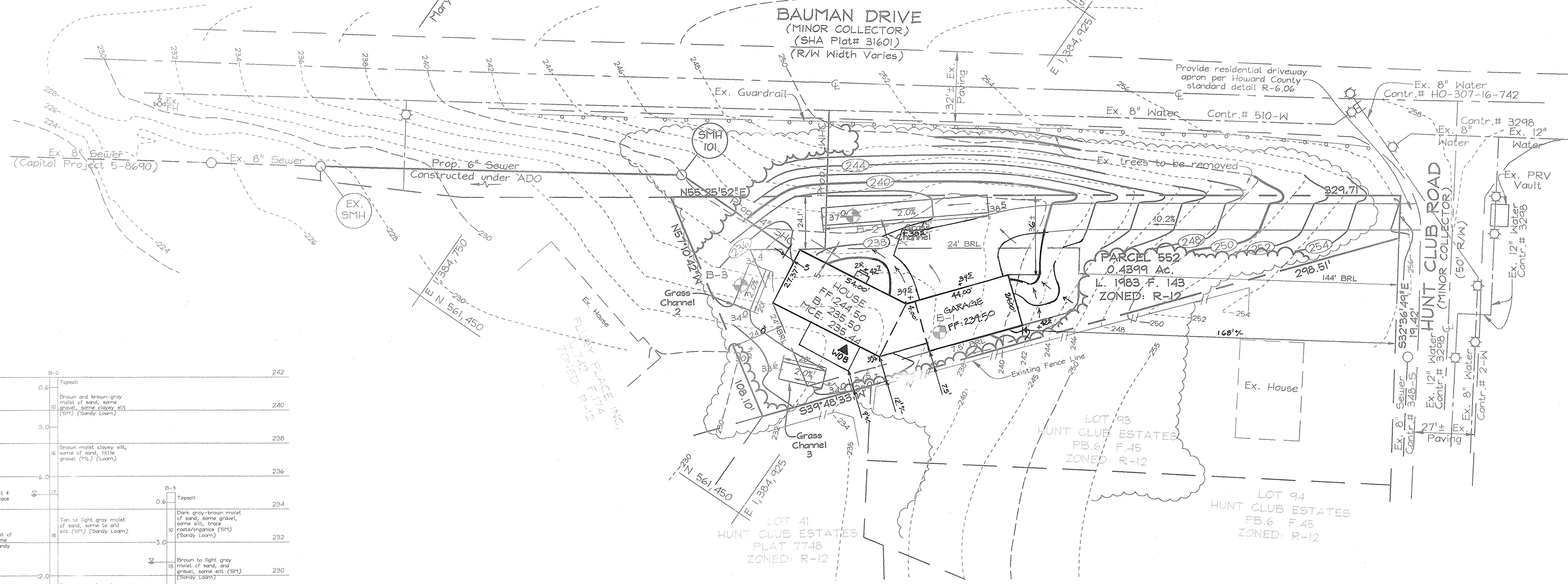
GENERAL NOTES

1. Property is within the Metropolitan District.
2. Public water and sewer will be used within this site.
3. The Contractor shall notify the following utility companies or agencies at least five (5) working days before starting work shown on these plans:

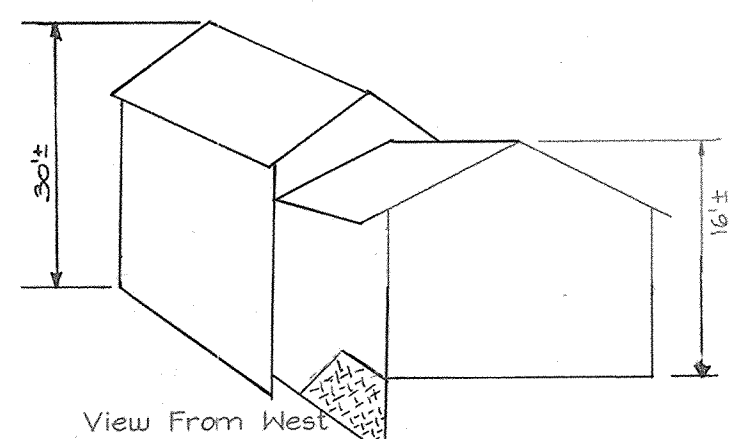
Verizon	1.800.743.0035/410.224.9210
AT&T	1.800.252.1133
State Highway Administration	410.531.5533
BGE(Contractor Services)	410.950.4620
BGE(Underground Damage Control)	410.787.9066
Miss Utility	1.800.257.7777
Colonial Pipeline Company	410.795.1390
Howard County, Dept. of Public Works, Bureau of Utilities	410.313.4900
Howard County Health Department	410.313.2640
4. The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
5. The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
6. The lots shown hereon comply with the minimum ownership, width and lot area as required by the Maryland State Department of the Environment.
7. Boundary and Topographic Survey prepared by FSH Associates in Oct. 2004.
8. Contractor to confirm all dimension, utilities and topography in the field. If any conflicts arise, contact Engineer before beginning any work.
9. Howard County Soil Map #26.
10. There are no floodplains, streams, cemeteries or wetlands on site.
11. Wetlands and stream evaluation conducted on October 7, 2004 by Exploration Research, Inc.
12. The project is in conformance with the latest Howard County Standards unless waivers have been approved.
13. The coordinates shown hereon are based upon the Howard County Geodetic Control which is based on the Maryland State Plane Coordinate system. Howard County monument numbers 37C3 and 38A4 were used for this project.
14. In accordance with section 128 of the Howard County Zoning Regulations, bay windows, chimneys, or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks. Porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback. BRL's shown taken from Howard County Zoning Regulation for the Zoning District.
15. Driveway(s) shall be provided prior to issuance of a use and occupancy permit for any new dwelling to insure safe access for fire and emergency vehicles per the following (minimum) requirements:
 - a) Width-12 feet (14' serving more than one residence).
 - b) Surface-6 inches of compacted crusher run base with 1 1/2" Min. tar and chip coating.
 - c) Geometry-max. 15% grade, max. 10% grade change, and 45 foot turning radius.
 - d) Structures (bridges/culverts)-capable of supporting 25 gross tons (H25-loading).
 - e) Drainage elements-capable of safely passing 100 year flood with no more than one foot depth over driveway surface.
 - f) Structure clearance-minimum 12 feet.
 - g) Maintenance-sufficient to insure all weather use.
16. All Sewer House Connections to be a minimum of 2% and a maximum of 5%. If no slope is shown, 2.0% may be assumed.
17. This project is subject to the Amended Fifth Edition of the Subdivision and Land Development Regulations. Development or Construction on this parcel must comply with Setback and Buffer Regulations in effect at the time of submission of the SDP, Waiver Petition Application, or Building / Grading Permit.
18. This plan has been prepared in accordance with the Provisions of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping has been posted as part of the Grading Permit in the amount of \$4,650.00 (12 shade trees @ \$300.00 each and 7 evergreens @ \$150.00 each).
19. The lot is exempt from Forest Conservation requirements because the lot size is under 40,000 square feet in accordance with section 16.1202(b)(1)(i) of the Howard County Code.
20. The Subject Property is zoned R-12 per the 02/02/04 Comprehensive Zoning Plan per Council Bill 75-2003.
21. Stormwater Management Water Quality and Recharge is provided by three Grass Swales. This site is exempt from Stormwater Management channel protection.
22. A noise wall is being constructed along the east side of Route 95 and shall satisfy the requirements for noise mitigation.
23. Provide Residential Driveway Apron per Howard County Standard Detail R-6.06.
24. This plan is subject to a waiver to Section 2.6.4. of the Howard County Design Manual, Volume III and was approved on June 14, 2005 which allows the driveway corner clearance to be reduced from 25 feet to 0 feet.
25. This plan is subject to a waiver to Figure 2.17 of the Howard County Design Manual, Volume III and was approved on July 06, 2005 which allows the use of the posted speed limit for Sight Distance Analysis rather than the 85th Percentile Operating Speed.
26. This plan is subject to Administrative Adjustment Case No. 05-16 to allow the following:
 - reduce the rear "BRL" from 30' to 24'
 - reduce the side "BRL" along Bauman Road from 30' to 24'
 Administrative Adjustment was approved on July 26, 2005.
27. The garage is two-stories and is attached to the house. The Garage is not an accessory structure since it is connected to the house by a Breezeway.

OWNER/DEVELOPER

RANDALL BUTLER
8206 Washington Road
Laurel, MD 20724
301.776.2421



PLAN VIEW
Scale: 1"=30'



HOUSE TEMPLATE
Not to Scale

242	0.0	Typical	1	Brown and brown-gray moist of sand, some gravel, some silt (Sandy Loam)	240
240	3.0	Typical	16	Brown moist clayey silt, some sand, little gravel (CL) (Loam)	238
238	6.0	Typical	17	Brown very moist silt & clay, and of sand, trace gravel (HL) (Loam)	236
236	9.0	Typical	18	Fine to light gray moist of sand, some gravel, some silt (SP) (Sandy Loam)	234
234	12.0	Typical	19	Brown and gray moist of sand, some gravel, some silt (SP) (Sandy Loam)	232
232	15.0	Typical	20	Brown and gray moist of sand, some gravel, some silt (SP) (Sandy Loam)	230
230	18.0	Typical	21	Brown and gray moist of sand, some gravel, some silt (SP) (Sandy Loam)	228
228	21.0	Typical	22	Brown and gray moist of sand, some gravel, some silt (SP) (Sandy Loam)	226

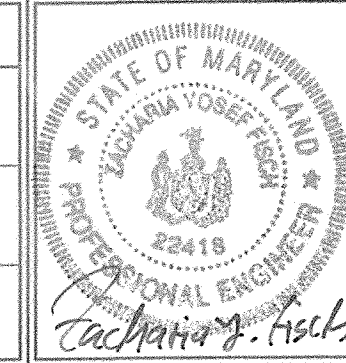
S.W.M. BORING PROFILES
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/26/05 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 1/29/06 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 9/23/05 DATE
 DIRECTOR

No.	REVISION	DATE
1	REVISE HOUSE - FOOTPRINT, REAR LOCATION, DIMENSIONS AND GRADING	03-28-06

PERMIT INFORMATION CHART					
Project Name:	Section/Area	Parcel No.			
Butler Property	N/A	552			
Deed#	Grid	Zoning	Tax Map No.	Elect. District	Census Tract
1983/143	7	R-12	38	1ST	601202
Water Code	Sewer Code				
D-08	2152215				



FSH Associates
 Engineers Planners Surveyors
 8318 Forest Street, Plover City, MD 21043
 Tel: 410-750-2251 Fax: 410-750-7350
 E-mail: info@fsha.biz
 DESIGN BY: PS
 DRAWN BY: HK/MT/MA
 CHECKED BY: ZYF
 SCALE: As Shown
 DATE: Sept. 12, 2005
 I.O. No.: 3275
 SHEET No.: 1 OF 2