

INDEX OF DRAWINGS

NO.	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SEDIMENT CONTROL NOTES AND DETAILS

ADDRESS CHART

LOT #	ADDRESS
2	8501 TIPTON DR.
3	8505 TIPTON DR.
4	8509 TIPTON DR.
5	8513 TIPTON DR.
6	8514 TIPTON DR.
7	8510 TIPTON DR.
8	8506 TIPTON DR.

PERMIT INFORMATION BLOCK

SUBDIVISION NAME TIPTON OVERLOOK		SECTION/AREA LOTS 2 THRU 8	PARCEL: 8
PLAT NO. 17605-06	BLOCK(S) 12	ZONING R-20	TAX MAP NO. 46
ELECTION DISTRICT 6TH		CENSUS TRACT 606802	
WATER CODE 1-E18	SEWER CODE 7550000		

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Robert J. Weller 11/24/05
FOR HOWARD COUNTY HEALTH OFFICER

OWNER AND DEVELOPER

ELLCOTT CITY LAND HOLDING, INC.
c/o LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DR.
ELLCOTT CITY, MARYLAND 21042

BUILDER

RYAN HOMES
6085 MARSHALLEE DR. SUITE 140
ELK RIDGE, MD 21075
(410)-796-0980



DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

John B. Miltenberg 10/5/05
SIGNATURE OF DEVELOPER
DATE
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

John B. Miltenberg 10/5/05
SIGNATURE OF ENGINEER
DATE
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Jim Myers 10/17/05
USDA - NATURAL RESOURCE CONSERVATION SERVICE
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL CONSERVATION DISTRICT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

John B. Miltenberg 10/12/05
HOWARD COUNTY SOIL CONSERVATION DISTRICT
DATE

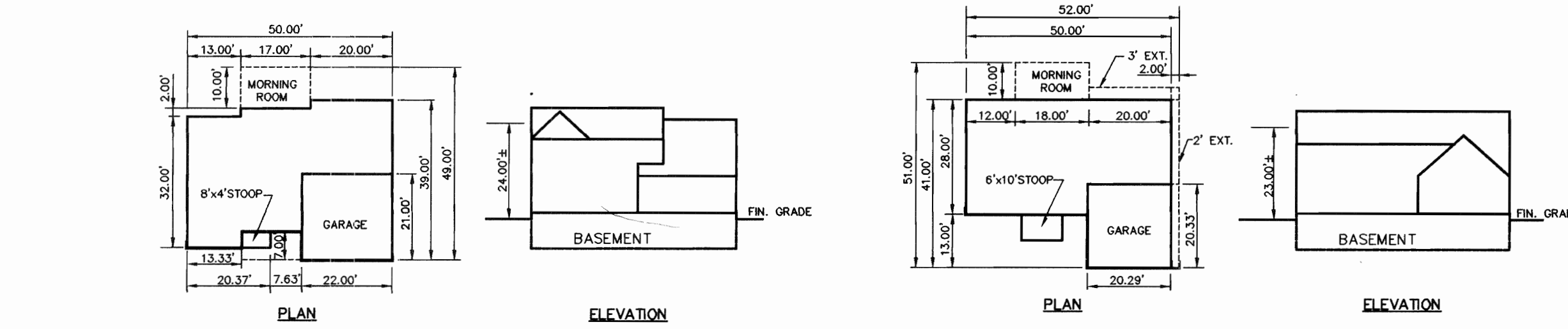
APPROVED: DEPARTMENT OF PLANNING AND ZONING

John B. Miltenberg 4/2/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE
John B. Miltenberg 12/6/03
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE
John B. Miltenberg 12/2/05
DIRECTOR
DATE

SITE DEVELOPMENT PLAN TIPTON OVERLOOK

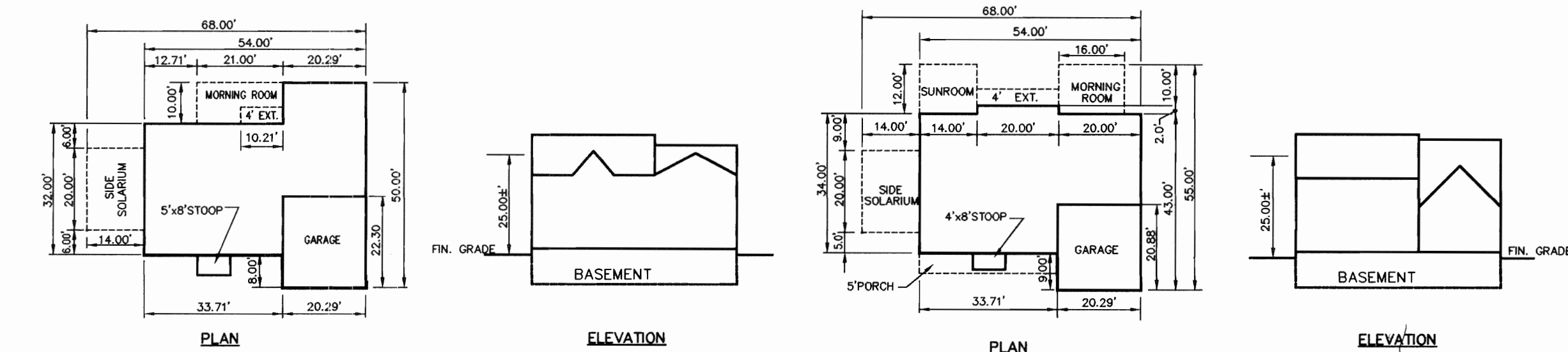
LOTS 2 THRU 8

6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



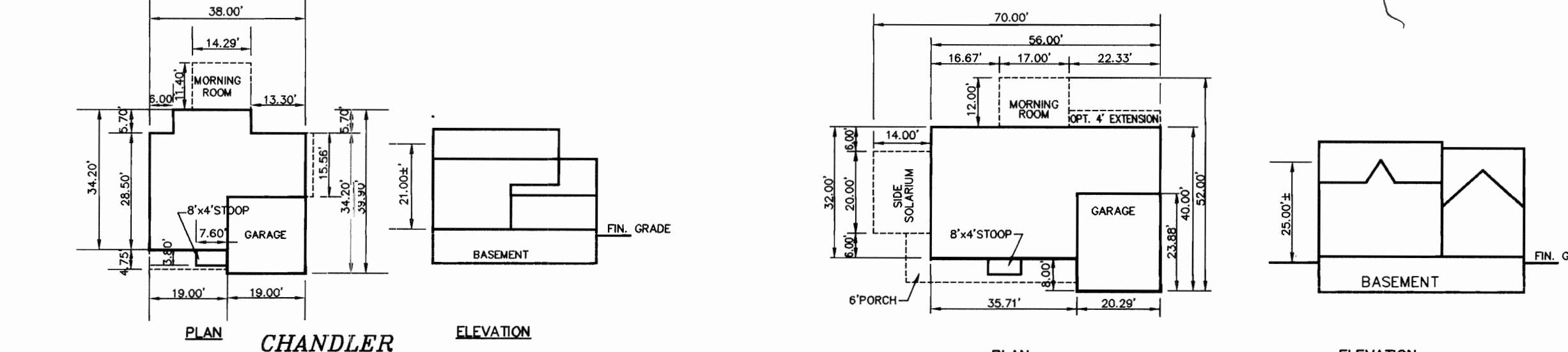
ZACHARY

VICTORIA



WAVERLY

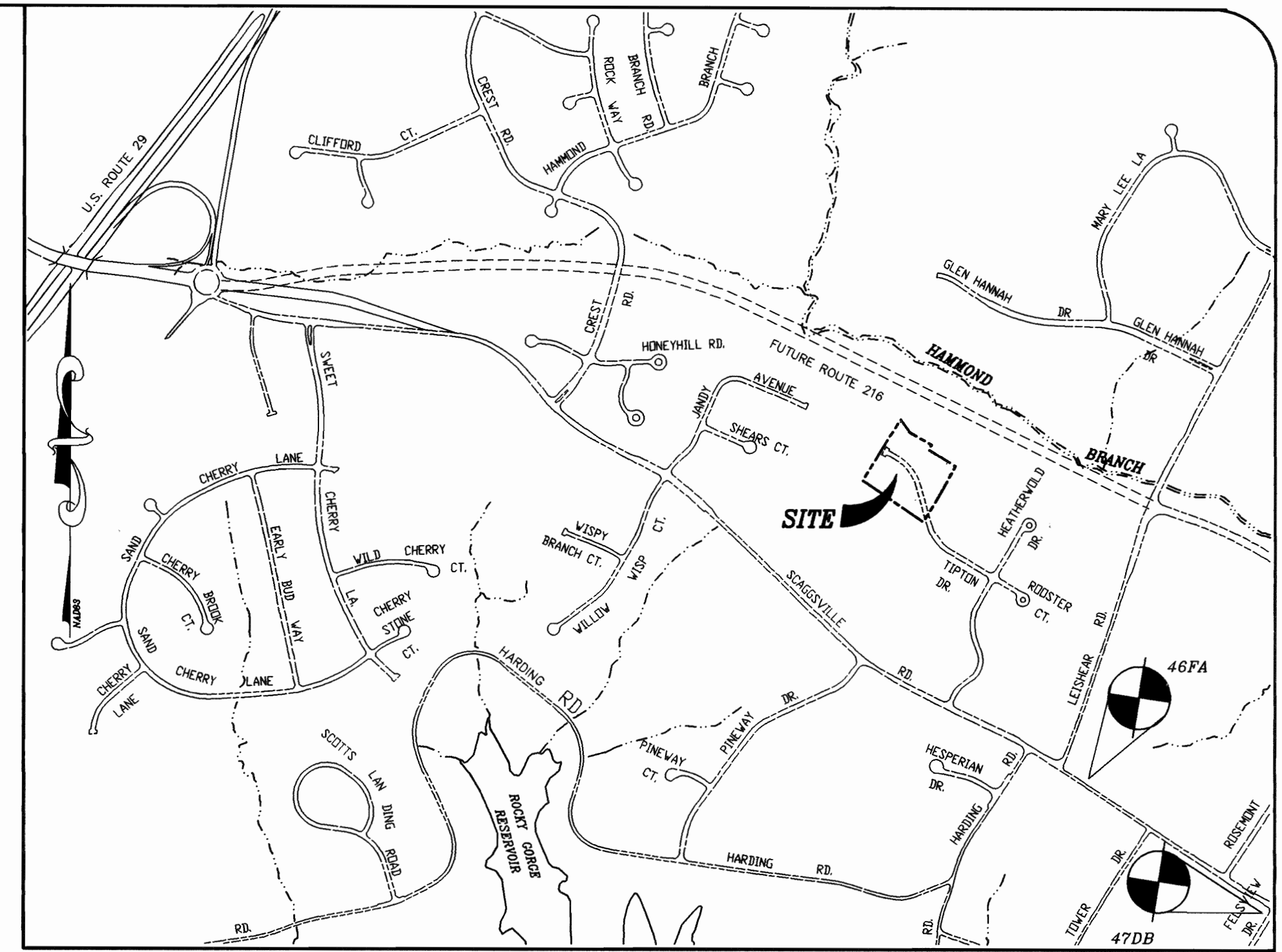
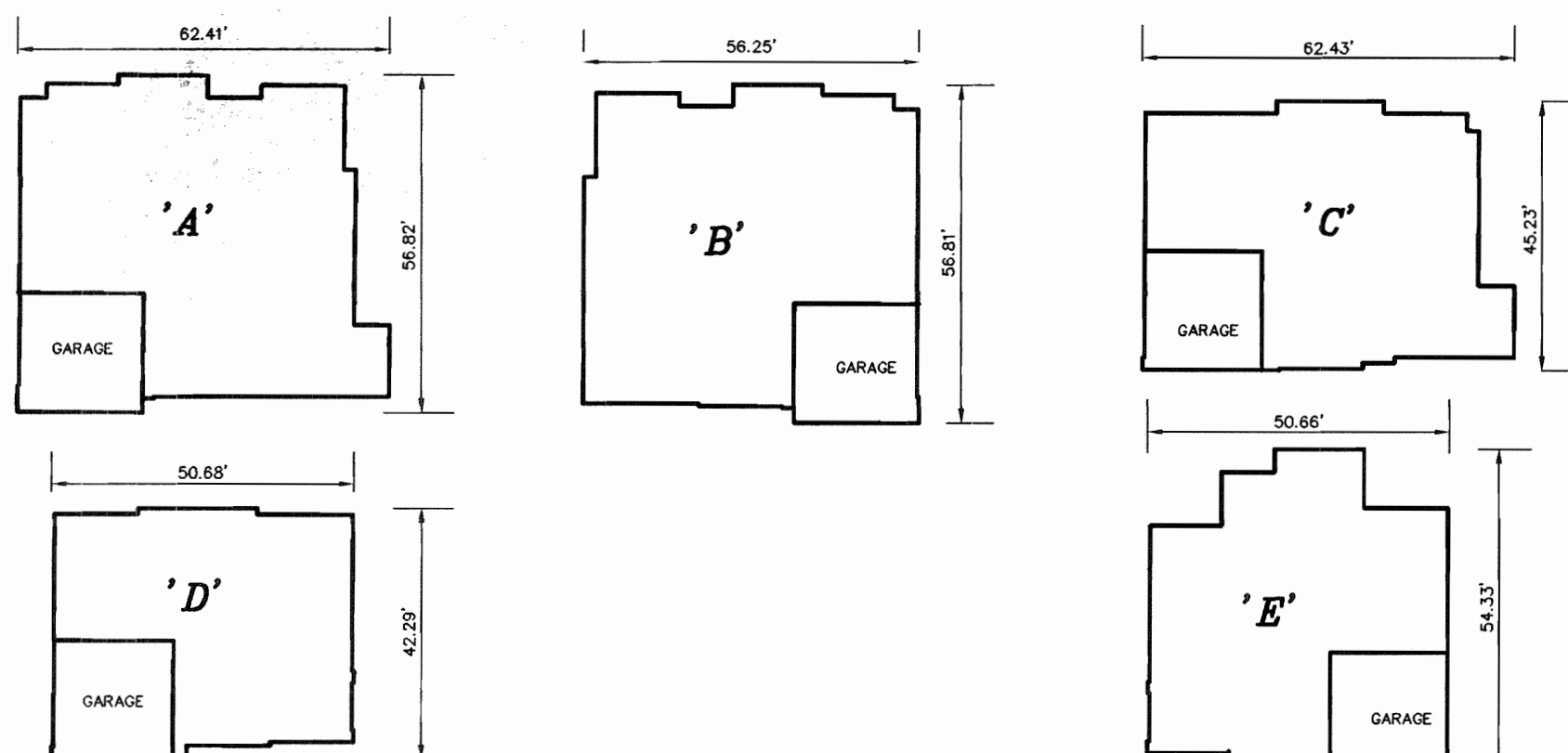
AVALON



CHANDLER

COURTLAND

GENERIC BOX	AVALON	CHANDLER	COURTLAND	VICTORIA	WAVERLY	ZACHARY
'A'	NO SIDE SOLARIUM	ALL OPT.	NO SIDE SOLARIUM	ALL OPT.	NO SIDE SOLARIUM	ALL OPT.
'B'	NO SIDE SOLARIUM	ALL OPT.	NO SIDE SOLARIUM NO SIDE PORCH	ALL OPT.	NO SIDE SOLARIUM	ALL OPT.
'C'	NO SIDE SOLARIUM NO EXT., NO SUN, NO MORN. RM.	NO MORN. RM.	NO EXT., NO MORN. RM.	NO EXT., NO MORN. RM.	NO FIT	NO MORN. RM.
'D'	NO FIT	NO MORN. RM.	NO FIT	NO EXT., NO MORN. RM.	NO FIT	NO MORN. RM.
'E'	NO FIT	ALL OPT.	NO FIT	ALL OPT.	NO FIT	ALL OPT.



VICINITY MAP
SCALE 1" = 1000'

GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
 - MISS UTILITY 1-800-257-7777
 - VERIZON TELEPHONE COMPANY (410) 725-0976
 - HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
 - AT&T CABLE LOCATION DIVISION (410) 393-3533
 - BALTIMORE GAS & ELECTRIC (410) 685-0123
 - STATE HIGHWAY ADMINISTRATION (410) 531-5533
 - HOWARD COUNTY DEPT. OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- PROJECT BACKGROUND:
 - LOCATION: TAX MAP 46, PARCEL 8, GRID 12, LOTS 2 THRU 8.
 - ZONING: R-20
 - ELECTION DISTRICT: 6TH
 - TOTAL AREA: 4.44 AC ±
 - LIMIT OF DISTURBED AREA: 2.41±
 - AREA OF PLAN SUBMISSION: 2.41 AC ±
 - PROPOSED USE FOR SITE: RESIDENTIAL
 - TOTAL NUMBER OF UNITS: 7
 - TYPE OF PROPOSED UNIT: SFD
 - DPZ FILES: SP-01-03, WP-03-136, P-04-07, F-05-18
 - DEED REFERENCE: L 5280, F 270.
- TOPOGRAPHIC AND BOUNDARY INFORMATION IS BASED ON MONUMENTED FIELD RUN SURVEY BY MILDENBERG, BOENDER AND ASSOC. INC. PERFORMED IN OR ABOUT AUGUST, 2003. VERTICAL DATUM IS NAD 83.
- COORDINATES BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 46FA AND 47DB.
 - 46FA N 535,140.866 ELEV. 403.650 E 1,346,962.69
 - 47DB N 534,316.917 ELEV. 398.560 E 1,348,131.25
- WETLAND DELINEATION PERFORMED BY ECO-SCIENCE PROFESSIONALS ON OR ABOUT AUGUST 2000 AND PREVIOUSLY APPROVED UNDER S-01-03.
- STORMWATER MANAGEMENT CONTROL PROVIDED UNDER F-05-18, BY SAND FILTER IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL. IS TO BE PRIVATELY OWNED AND MAINTAINED.
- NO CEMETERIES OR HISTORIC STRUCTURES EXIST ON-SITE.
- EXISTING HOUSE LOCATED ON LOT 4 AND ALL ACCESSORY STRUCTURES SHOWN ON-SITE ARE TO BE REMOVED.
- APFO TRAFFIC TEST EVALUATION PERFORMED BY THE TRAFFIC GROUP ON OR ABOUT JULY 2000 AND APPROVED UNDER S-01-03.
- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- ALL DRIVEWAYS ENTRANCES TO BE H.C.STD. R-6.06 UNLESS OTHERWISE NOTED.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE).
 - B) SURFACE - 6 INCHES COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN.).
 - C) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
 - D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- PER SECTION 128 OF THE ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS. OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION HAVE BEEN SATISFIED UNDER F-05-18 BY RETENTION OF 0.50 ACRES OF FOREST, REFORESTATION OF 0.26 ACRES, AND PAYMENT OF FEE-IN-LIEU OF REFORESTATION FOR 0.57 ACRES (24,829.2 SQ. FT.) IN THE AMOUNT OF \$12,414.60. FINANCIAL SURETY FOR THE ON-SITE RETENTION (0.50 ACRES OR 21,780 SQ. FT. IN THE AMOUNT OF \$4,356.00) AND REFORESTATION (0.26 ACRES OR 11,325.6 SQ. FT. IN THE AMOUNT OF \$5,662.80) HAS BEEN POSTED AS PART OF THE DEVELOPERS AGREEMENT IN THE AMOUNT OF \$10,018.80.
- RESERVATION OF PUBLIC UTILITY AND FOREST CONSERVATION EASEMENTS
DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, OTHER PUBLIC UTILITIES AND FOREST CONSERVATION (DESIGNATED AS "FOREST CONSERVATION AREA"), LOCATED IN, ON, OVER AND THROUGH LOTS/PARCELS, ANY CONVEYANCES OF THE AFORESAID LOTS/PARCELS SHALL BE SUBJECT TO THE EASEMENTS HERIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED(S) CONVEYING SAID LOT(S)/PARCELS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HERIN RESERVED TO HOWARD COUNTY WITH A METES AND BOUNDS DESCRIPTION OF THE FOREST CONSERVATION AREA. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, AND IN THE CASE OF THE FOREST CONSERVATION EASEMENT(S), UPON COMPLETION OF THE DEVELOPER'S OBLIGATIONS UNDER THE FOREST CONSERVATION INSTALLATION AND MAINTENANCE AGREEMENT EXECUTED BY THE DEVELOPER AND THE COUNTY, AND THE RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID AGREEMENT, THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEED(S) OF EASEMENT IN THE LAND RECORDS OF HOWARD COUNTY.
- FOREST CONSERVATION EASEMENT(S) HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
- LANDSCAPING FOR LOTS 2 THROUGH 8 HAS BEEN PROVIDED UNDER F-05-18 IN ACCORDANCE WITH A CERTIFIED LANDSCAPE PLAN INCLUDED WITH THE ROAD CONSTRUCTION PLAN SET IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (17 SHADE TREES, 15 EVERGREENS), HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$7,350.00 UNDER F-05-18.
- MINIMUM LOT SIZE: 14,000 SQ.FT.
OPEN SPACE REQUIRED: 30% OF THE AREA = 1.33± AC.
OPEN SPACE PROVIDED: 1.34± AC.
- THE OPEN SPACE SHOWN HEREON IS HEREBY DEDICATED TO A PROPERTY OWNERS ASSOCIATION FOR THE RESIDENTS OF THE SUBDIVISION AND RECORDING REFERENCES OF THE ARTICLES OF INCORPORATION AND RESTRICTIONS ARE SHOWN HEREON.

project date OCT 2005
illustration 09-051
scale AMC
revision 1
approval AMC
date

description
revisions
no.

TIPTON OVERLOOK
LOTS 2 THRU 8 - SINGLE FAMILY DETACHED
TAX MAP 46 - PARCEL 8 - BLOCK 12
SIXTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 • Fax: (301) 621-5521 • Wash. (410) 997-0298 Fax

HA-03-051\WORK\SOP\04-05\magnon\dwg

- LEGEND**
- EX. FOREST CONSERVATION EASEMENT (REFORESTATION)
 - EX. FOREST CONSERVATION EASEMENT (RETENTION)
 - EX. STORM WATER MANAGEMENT CREDIT & UTILITY EASEMENT.
 - DENOTES FLOODPLAIN
 - DENOTES WETLANDS
 - EXISTING TREE LINE
 - LOD LIMIT OF DISTURBANCE
 - SSF DENOTES SUPER SILT FENCE
 - SF DENOTES SILT FENCE
 - SCE DENOTES STABILIZED CONSTRUCTION ENTRANCE
 - EX. GRASS CHANNEL WITH EROSION CONTROL MATTING

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

Robert W. Dale 11/16/05
 SFT HOWARD COUNTY HEALTH OFFICER DATE

OWNER AND DEVELOPER
 ELLICOTT CITY LAND HOLDING, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DR.
 ELLICOTT CITY, MARYLAND 21042

BUILDER
 RYAN HOMES
 6085 MARSHALEE DR., SUITE 140
 ELK RIDGE, MD 21075
 (410)-796-0980

DEVELOPER'S CERTIFICATE
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David R. Norman, Jr. 10/5/05
 SIGNATURE OF DEVELOPER DATE
 PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

John B. Miltenberg 10/5/05
 SIGNATURE OF ENGINEER DATE
 JOHN B. MILTENBERG
 PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Jim Myer 10/17/05
 USDA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Gregory S. Kelly 10/17/05
 HOWARD COUNTY CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

William H. Hannon 4/3/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

William Hannon 12/6/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mark A. Levey 2/2/05
 DIRECTOR DATE



project	date	description
03-051	FEB 2005	illustration
AMC	AMC	approval
scale	1"=30'	

no.	description	date
	revisions	

TIPTON OVERLOOK
 LOTS 2 THRU 8 - SINGLE FAMILY DETACHED
 TAX MAP 46 - PARCEL 8 - BLOCK 12
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SITE DEVELOPMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0296 Fax: (301) 621-5521 Wash. (410) 997-0298 Fax

**HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREA-FORM FERTILIZER (9 LBS./1000 SQ.FT.)
- 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 14 LBS./1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOO. OPTION (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 219 GALLONS PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, FOR NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU NOVEMBER 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN TOOL OR 219 GAL PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING HIGHER, USE 348 GAL PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1993 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION, (313-1855).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC.51), SOO (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC.52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7) SITE ANALYSIS:
TOTAL AREA OF SITE: 4.44 ACRES
AREA DISTURBED: 2.41 ACRES
AREA TO BE ROOFED OR PAVED: 0.6 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 1.51 ACRES
TOTAL CUT: 3,000 CU. YDS.
TOTAL FILL: 3,000 CU. YDS.
TOTAL WASTE/BORROW AREA LOCATION: N/A

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITIES MEASUREMENTS.

DEVELOPERS CERTIFICATE

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Donald R. Lewis Jr. 10/9/05
SIGNATURE OF DEVELOPER DATE
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE

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John B. Miltenberg 10/4/05
SIGNATURE OF ENGINEER DATE
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Jim Morrison 10/17/05
USDA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Paul A. Kelly 10/17/05
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John J. Williams 11/3/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Andrew Hanon 12/6/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David S. Leight 12/1/05
DIRECTOR DATE

OWNER AND DEVELOPER
ELLCOTT CITY LAND HOLDING, INC.
c/o LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DR
ELLCOTT CITY, MARYLAND 21042

BUILDER
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- 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9) ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATION. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA - SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - i. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
 - ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONSON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - iii. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - i. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - a. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - i. pH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A pH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PERSCRIBED TO RAISE THE pH TO 6.5 OR HIGHER.
 - ii. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 - iii. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 - iv. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
 - b. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

V. TOPSOIL APPLICATION

- i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- ii. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.
- iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- iv. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

- i. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOROUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
- ii. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA. PUB. #1. COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

EROSION AND SEDIMENT CONTROL NOTES

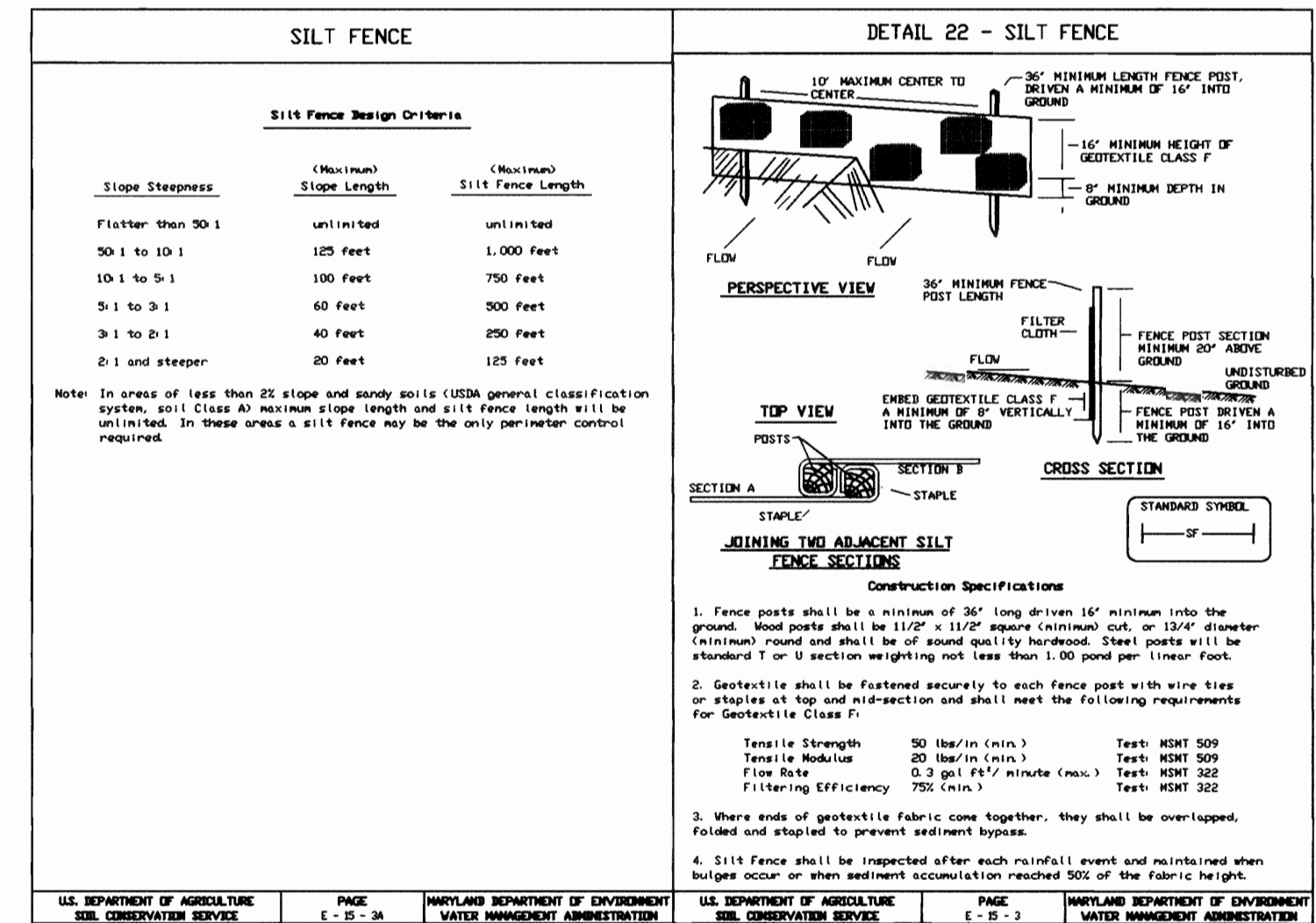
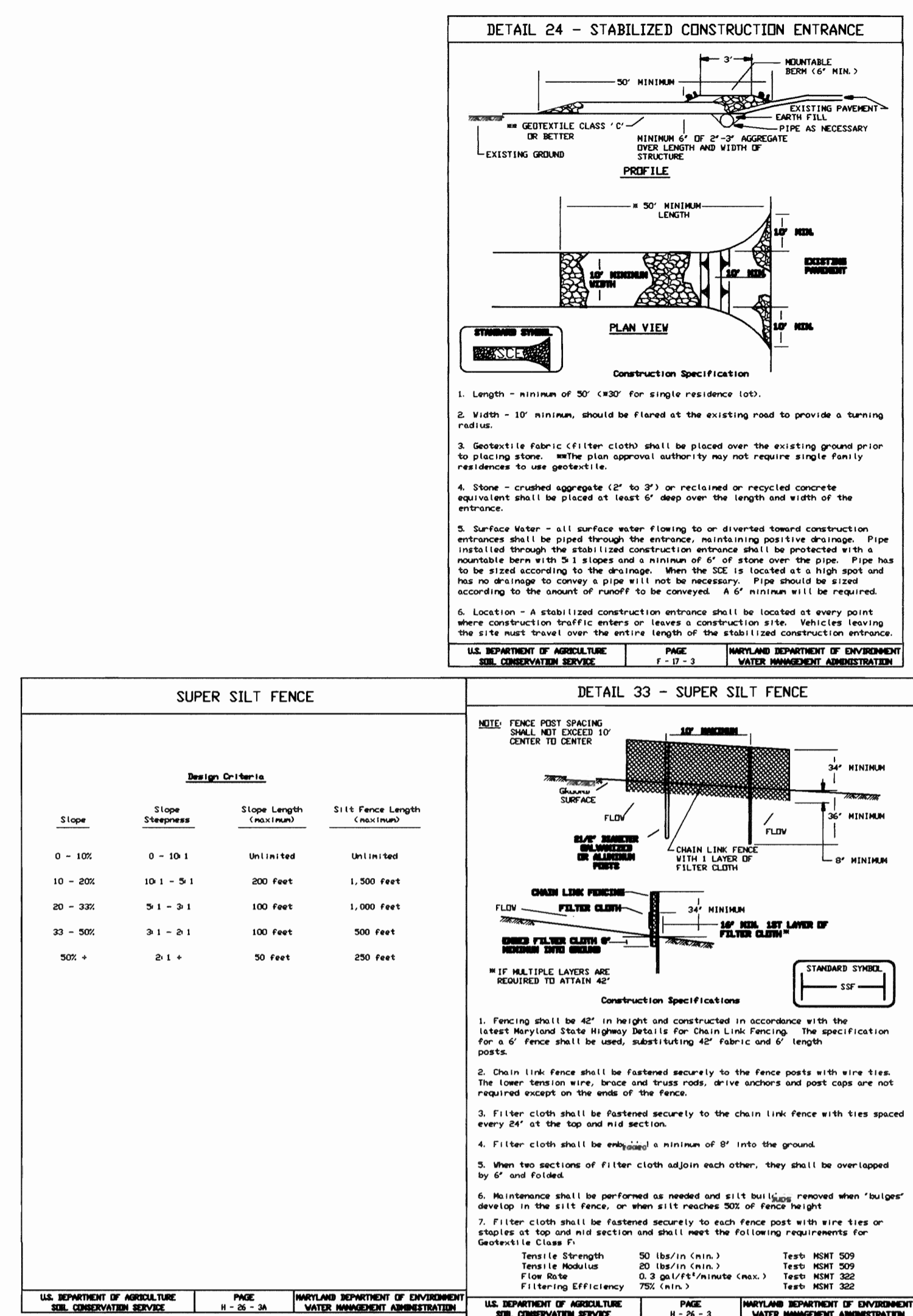
1. ALL SEDIMENT CONTROL OPERATIONS ARE TO BE DONE IN ACCORDANCE WITH SECTION 219 OF THE HOWARD COUNTY VOLUME IV DESIGN MANUAL AND THE STANDARDS AND SPECIFICATIONS FOR SEDIMENT CONTROL IN DEVELOPING AREAS.
2. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS THE FIRST ORDER OF BUSINESS.
3. ALL EXCAVATED MATERIALS SHALL BE STOCKPILED ON THE UPGRADE SIDE OF THE MAIN TRENCH.
4. EXCAVATION AND BACKFILL SHALL BE LIMITED TO THAT WHICH CAN BE STABILIZED WITHIN ONE WORKING DAY.
5. IMMEDIATELY FOLLOWING BACKFILL OF THE SEWER TRENCH, ALL DISTURBED AREAS ARE TO BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION AND SEEDING NOTES SHOWN ON THIS SHEET.
6. THROUGHOUT THE PROJECT, THE CONTRACTOR SHALL REGULARLY INSPECT ALL SEDIMENT CONTROL DEVICES AND PROVIDE ALL NECESSARY MAINTENANCE TO INSURE THAT ALL DEVICES ARE IN OPERATIVE CONDITION.
7. ALL SEDIMENT CONTROL FACILITIES SHALL REMAIN IN PLACE UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

TEMPORARY DUST CONTROL MEASURES

1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS APCED ABOUT 12" APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
5. BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
6. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT (1 DAY)
 2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN (1 DAY)
 3. CONSTRUCT SILT FENCES AND SUPER SILT FENCES (2 DAYS)
 4. CONSTRUCT SITE TO GRADES INDICATED WITH PERMISSION FROM INSPECTOR BEFORE PROCEEDING (10 DAYS).
 5. CONSTRUCT HOUSES (90 - 180 DAYS)
 6. COMPLETE FINE GRADING OF SITE TO GRADES INDICATED (2 DAYS).
 7. SEED AND MULCH ALL REMAINING DISTURBED AREAS (1 DAY).
 8. WHEN ALL CONTRIBUTING DRAINAGE AREAS TO SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, AND WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS (ONE DAY).
- *NOTE: SEE FINAL ROAD PLANS (F.-05-18) FOR CONVERSION OF THE SAND FILTER.



date	OCT 2005	description	
project	03-051	revisions	
illustration	AMC	scale	NTS
approval	AMC		

TIPTON OVERLOOK
LOTS: 2 THRU 8 - SINGLE FAMILY DETACHED
TAX MAP 46, PARCEL 8, GRID 12
HOWARD COUNTY, MARYLAND
SIXTH ELECTION DISTRICT
SEDIMENT CONTROL NOTES AND DETAILS

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax: (301) 621-5521

FILE: 103-057 UMW\SDP-04-05\mymon\mymon.dwg



- LEGEND**
- EX. FOREST CONSERVATION EASEMENT (REFORESTATION)
 - EX. FOREST CONSERVATION EASEMENT (RETENTION)
 - EX. STORM WATER MANAGEMENT CREDIT & UTILITY EASEMENT.
 - DENOTES FLOODPLAIN
 - DENOTES WETLANDS
 - EXISTING TREE LINE
 - LOD LIMIT OF DISTURBANCE
 - SSF DENOTES SUPER SILT FENCE
 - SF DENOTES SILT FENCE
 - SCE DENOTES STABILIZED CONSTRUCTION ENTRANCE
 - EX. GRASS CHANNEL WITH EROSION CONTROL MATTING

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

Robert W. Dale 11/16/05
 HOWARD COUNTY HEALTH OFFICER DATE

OWNER AND DEVELOPER
 ELLICOTT CITY LAND HOLDINGS, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DR.
 ELLICOTT CITY, MARYLAND 21042

BUILDER
 RYAN HOMES
 6085 MARSHALEE DR., SUITE 140
 ELK RIDGE, MD 21075
 (410)-796-0980

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

[Signature] 10/5/05
 SIGNATURE OF DEVELOPER DATE
 DAVID A. BARNER
 PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

[Signature] 10/5/05
 SIGNATURE OF ENGINEER DATE
 JOHN B. MILDENBERG
 PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

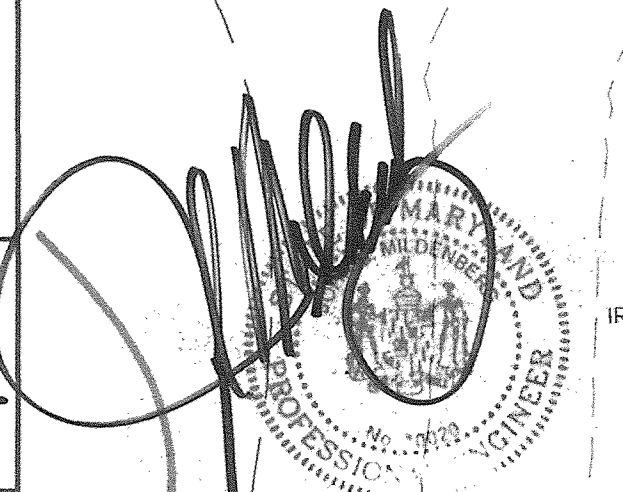
[Signature] 10/12/05
 USDA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

[Signature] 10/12/05
 HOWARD COUNTY SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/3/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 12/6/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 2/2/05
 DIRECTOR DATE



project	03-051	date	FEB. 2005
illustration	AMC	engineering	AMC
scale	1"=30'	approval	AMC

no.	description	date
3	ADD: REVISION HOUSE TYPE TO LOT 6	7/17/06
4	ADD: VICTORIA HOUSE TYPE TO LOT 6	7/17/06

TIPTON OVERLOOK
 LOTS 2 THRU 8 - SINGLE FAMILY DETACHED
 TAX MAP 46 - PARCEL 8 - BLOCK 12
 SIXTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SITE DEVELOPMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, State 202, Ellicott City, Maryland 21042
 (410) 997-0286 ext. (301) 621-5521 (toll free) (410) 997-0289 fax

#: 03-051, DMC, LSP, 04-05, 1moyanegrades, DMC

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 - EX. GRASS CHANNEL WITH EROSION CONTROL MATTING

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

Rolando W. ... 11/16/05
 HOWARD COUNTY HEALTH OFFICER

OWNER AND DEVELOPER
 ELLICOTT CITY LAND HOLDING, INC.
 c/o LAND DESIGN & DEVELOPMENT, INC.
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[Signature] 10/15/05
 DEVELOPER

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

[Signature] 10/15/05
 M. B. MILDENBERG
 PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

[Signature] 10/17/05
 USDA - NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 10/17/05
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 11/3/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 12/6/05
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 12/10
 DIRECTOR



project	03-051	date	FEB. 2005
illustration	AMC	engineering	AMC
scale	1"=30'	approval	AMC

no.	1	date	7/7/06
description	ADD VICTORIA HOUSE TYPE TO LOT 6		
revisions			

TIPTON OVERLOOK
 LOTS 2 THRU 8 - SINGLE FAMILY DETACHED
 TAX MAP 46 - PARCEL 8 - BLOCK 12
 SIXTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SITE DEVELOPMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
 (410) 997-0296 Fax: (301) 621-5521 Wash. (410) 997-0298 Fax

- LEGEND**
- EX. FOREST CONSERVATION EASEMENT (REFORESTATION)
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OWNER AND DEVELOPER
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 c/o LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DR.
 ELLICOTT CITY, MARYLAND 21042

BUILDER
 RYAN HOMES
 6085 MARSHALEE DR., SUITE 140
 ELK RIDGE, MD 21075
 (410)-796-0980

DEVELOPER'S CERTIFICATE
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[Signature] 9/21/06
 SIGNATURE OF DEVELOPER DATE
Diana A. Barrows, Jr.
 PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

[Signature] 9/25/06
 SIGNATURE OF ENGINEER DATE
JOHN B. MILDBERG
 PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

[Signature] 10/15/06
 DATE
Jim Magnus
 NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

[Signature] 10/15/06
 DATE
John W. Robertson
 HOWARD COUNTY SOIL CONSERVATION DISTRICT

APPROVED, DEPARTMENT OF PLANNING AND ZONING

[Signature] 10/16/06
 DATE
Chief, Development Engineering Division
 DATE 10/17/06
Chief, Division of Land Development
 DATE 10/18/06
Director



NOTE:
 THE PURPOSE OF THIS SHEET REPLACEMENT IS TO CHANGE THE GRADING TO REFLECT GRADING ALREADY PERFORMED IN THE FIELD AND ADD SPECIFIC HOUSE TYPES TO EACH LOT.

date	JULY 2006
project	09-051
illustration	AMC
scale	AMC
approval	AMC
1"=30'	

date	9/21/06
description	REPLACEMENT SHEET TO CHANGE THE GRADING TO REFLECT GRADING ALREADY PERFORMED IN THE FIELD AND ADD SPECIFIC HOUSE TYPES TO EACH LOT.
revisions	

TIPTON OVERLOOK
 LOTS 2 THRU 8 - SINGLE FAMILY DETACHED
 TAX MAP 48 - PARCEL 8 - BLOCK 12
 HOWARD COUNTY, MARYLAND
 SIXTH ELECTION DISTRICT
REVISED SITE DEVELOPMENT PLAN

MILDBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0296, Fax: (301) 621-5521, Wash. (410) 997-0298 Fax

H: 03-051 DWG: SDP04-05 Improvements.DWG

- LEGEND**
- EX. FOREST CONSERVATION EASEMENT (REFORESTATION)
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 - EX. GRASS CHANNEL WITH EROSION CONTROL MATTING

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

Robert Wade 11/16/05
HOWARD COUNTY HEALTH OFFICER

OWNER AND DEVELOPER
ELLICOTT CITY LAND HOLDING, INC.
c/o LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DR.
ELLICOTT CITY, MARYLAND 21042

BUILDER
RYAN HOMES
6085 MARSHALEE DR., SUITE 140
ELKRIDGE, MD 21075
(410)-796-0980

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David A. Brown, Jr. 10/5/05
SIGNATURE OF DEVELOPER
DAVID A. BROWN, JR.
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

R. B. Mildeberg 10/5/05
SIGNATURE OF ENGINEER
R. B. MILDEBERG
PRINTED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Jim Myers 10/12/05
USDA - NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Mark A. Leavelle 10/12/05
HOWARD COUNTY SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 11/3/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 12/6/05
CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 12/15/05
DIRECTOR



date	project	description	scale	approval
FEB 2005	09-051	illustration	1"=30'	AMC
7/1/06		ADD VICTORIA HOUSE TYPE TO LOT 6		AMC
7/1/06		ADD VICTORIA HOUSE TYPE TO LOT 6		AMC

no.	description	revisions
1	ADD VICTORIA HOUSE TYPE TO LOT 6	
2	ADD VICTORIA HOUSE TYPE TO LOT 6	

TIPTON OVERLOOK
LOTS 2 THRU 8 - SINGLE FAMILY DETACHED
TAX MAP 46 - PARCEL 8 - BLOCK 12
SIXTH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN

MILDBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors

5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 987-0286 Fax: (410) 987-5621 Wash. (410) 987-0288 Fax.