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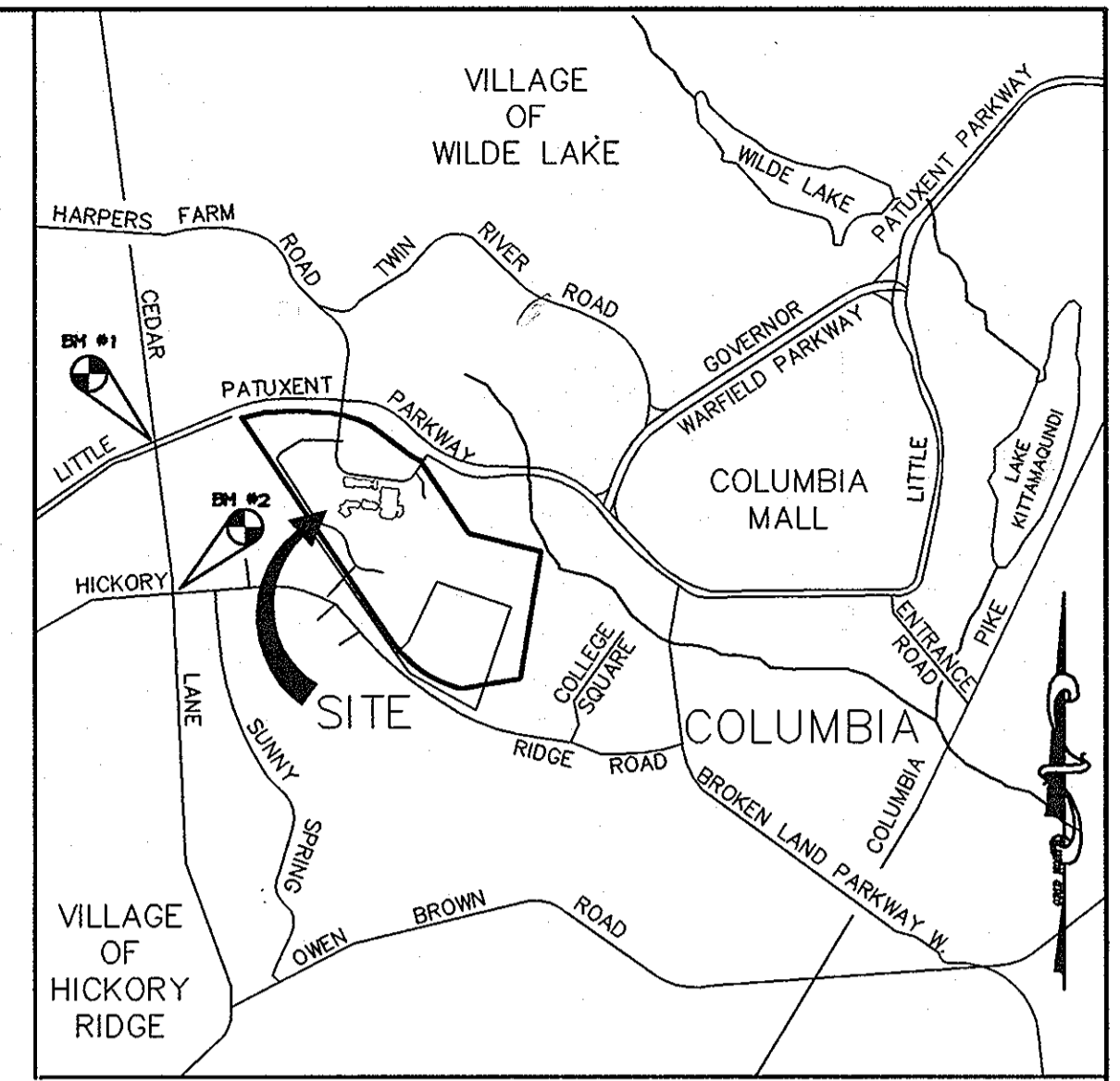
# SITE DEVELOPMENT PLAN

# HOWARD COMMUNITY COLLEGE

# STUDENT SERVICES BUILDING

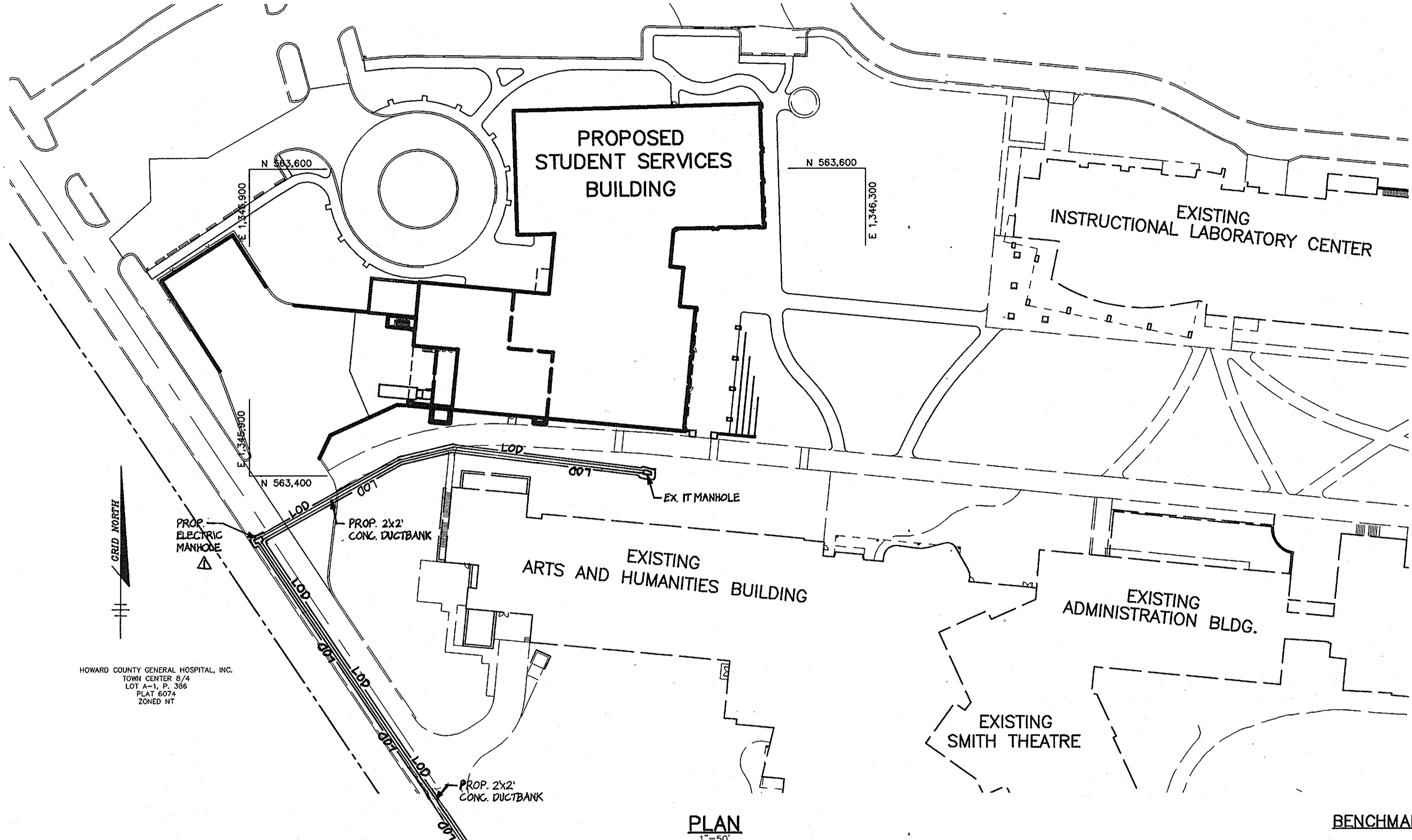
## 5th ELECTION DISTRICT

## HOWARD COUNTY, MARYLAND



**VICINITY MAP**  
SCALE: 1" = 2000'

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY.
  - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
  - ALL PLAN DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY PHR&A, DATED JUNE, 2002 AND AERIAL SURVEY BY WINES MAPPING DATED JUNE, 2001.
  - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. 35C2 AND 35C5 WERE USED.
  - WATER IS PUBLIC, CONTRACT NO. 327 S
  - SEWER IS PUBLIC, CONTRACT NO. 299-W&S SEWER DRAINAGE AREA: PATUXENT TREATMENT PLANT: LITTLE PATUXENT WWTP
  - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
  - A 100-YEAR FLOODPLAIN STUDY IS NOT REQUIRED FOR THIS PROJECT.
  - A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
  - A GEOTECHNICAL STUDY HAS BEEN PREPARED BY FROEHLING AND ROBERTSON, INC.
  - THE PROPERTY LINE SHOWN WAS TAKEN FROM A FIELD SURVEY BY RIEMER MUEGGE A DIVISION PHR&A DATED NOV.2000.
  - SUBJECT PROPERTY ZONED POR & NT SFLD, COMMON OPEN AREA PER 2-2-04 COMPREHENSIVE ZONING PLAN AND FDP-72-A.
  - ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
  - SEE DEPARTMENT OF PLANNING AND ZONING FILE NO. SDP-97-45, SDP-75-46, SDP-87-95, SDP-76-30, PB-229, SDP-68-12, SDP-75-32, SDP-00-56, SDP-01-58, WP-01-98, SDP-01-123, FDP-72-A, SDP-03-11, SDP-03-156
  - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
  - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
  - PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
  - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
  - ALL STORM DRAIN PIPE BEDDING SHALL BE PER HOWARD CO. STANDARD SPECIFICATIONS
  - ALL STORM DRAIN INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
  - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
  - STORM DRAIN TRENCHES WITHIN PAVEMENT SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
  - PROFILES STATIONS SHALL BE ADJUSTED AS NECESSARY TO COMPLY TO PLAN DIMENSIONS.
  - ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T100.
  - THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY RIEMER MUEGGE A DIVISION OF PHR&A DATED MARCH 2001
  - A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
  - ALL PROPOSED AND FUTURE OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
  - THIS SITE IS A REDEVELOPMENT PROJECT. WOV AND Cpv ARE PROVIDED BY THE EXISTING PRIVATELY OWNED AND MAINTAINED ON-SITE WET POND PER SDP-03-156. Rev IS NOT REQUIRED.
  - FOREST CONSERVATION OBLIGATIONS FOR ENTIRE COMMUNITY COLLEGE CAMPUS WERE ADDRESSED UNDER SDP-01-58 AND REVISED UNDER SDP-03-156 (DELETED FOREST CONSERVATION "G").
  - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, STREAMS OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
  - PERIMETER AND PARKING LANDSCAPE REQUIREMENTS SHALL BE PROVIDED AS SHOWN ON THE LANDSCAPE PLAN AND IN ACCORDANCE WITH SECTION 16.124 OF THE LANDSCAPE MANUAL. POSTING OF SURETY IS NOT APPLICABLE FOR REQUIRED PLANTINGS OF 3 SHADE TREES AND 7 EVERGREENS SINCE THIS IS AN EDUCATIONAL FACILITY.



**SITE ANALYSIS**

AREA OF PARCEL 47	117.84 ACRES
DISTURBED AREA	3.0 ACRES
PRESENT ZONING	POR & NT (LIMIT OF SUBMISSION IS ENTIRELY WITHIN THE POR ZONE)
PROPOSED USE	EDUCATIONAL FACILITY

**EXISTING PARKING CALCULATIONS**

STUDENTS: 1 SPACE / 3 STUDENTS	
2139 FULL TIME EQUIVALENT STUDENTS x (1/3) =	713 SPACES
DAYCARE SPACES: 3/1000 S.F.	
12,700 S.F. x 3/1000 =	39 SPACES
TOTAL REQUIRED SPACES 713 + 39 =	752 SPACES
EXISTING PARKING (INCLUDING SDP-03-11)	2013 SPACES
EXISTING PARKING REDUCTION SDP-03-156	51 SPACES
TOTAL EXISTING PARKING	1962 SPACES
PARKING REDUCTION THIS PLAN	187 SPACES
TOTAL PARKING TO REMAIN	1775 SPACES
REQUIRED HANDICAP PARKING	28 SPACES
EXISTING HANDICAP PARKING	42 SPACES
PROPOSED HANDICAP PARKING	10 SPACES
TOTAL HANDICAP PARKING	52 SPACES

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING .

*James J. Lough* 7/18/05  
DIRECTOR DATE

*William J. Remington* 7/18/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Chris Hamrick* 7/18/05  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

3-14-2011 ADD 2x2' CONC. DUCT BANK - APPROXIMATELY 600LF

DATE NO. REVISION

OWNER / DEVELOPER  
HOWARD COMMUNITY COLLEGE  
10901 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044-3197  
ATTN: MR. JAMES O. LASH  
410-772-4296

PROJECT  
**HOWARD COMMUNITY COLLEGE STUDENT SERVICES BUILDING**

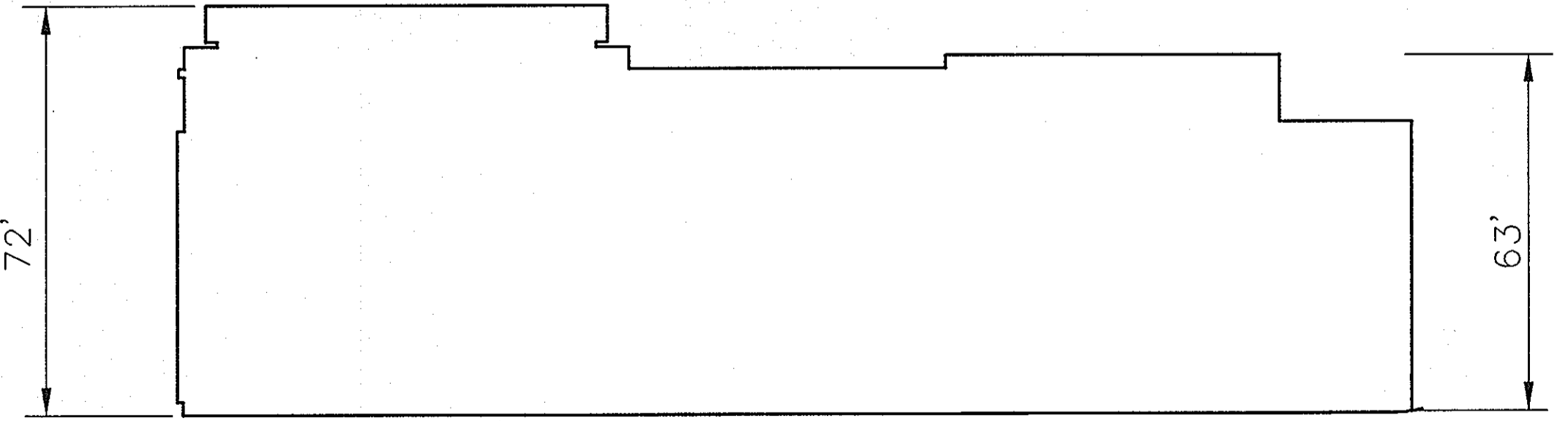
AREA PARCEL 47 ZONED POR & NT  
TAX MAP NO. 35, 36 BLOCK 6 & 1  
5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
**TITLE SHEET**

**Patton Harris Rust & Associates, pc**  
Engineers, Surveyors, Planners, Landscape Architects.  
8818 Centre Park Drive  
Columbia, MD 21045  
T 410.997.8900  
F 410.997.9282

6-28-05  
DATE

DESIGNED BY : CJR/ACR  
DRAWN BY: MAD  
PROJECT NO. 11449/3-1/ENGR/PLANS/CO00COV.DWG  
DATE : JUNE 28, 2005  
SCALE : AS SHOWN  
DRAWING NO. 1 OF 9



**EAST BUILDING ELEVATION**  
NO SCALE

THE MEAN ELEVATION = 67.5'  
THE MEAN ELEVATION WAS DETERMINED BY TAKING THE AVERAGE OF THE TWO (2) VARIANCES IN HEIGHT SHOWN.  
(72'+63')/2 = 67.5'

**PLAN**  
1"=50'



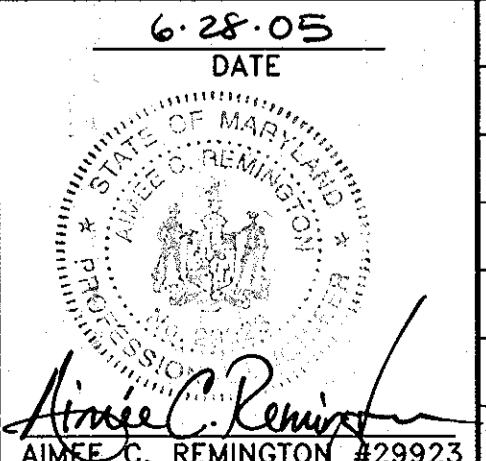
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31089 EXPIRATION DATE: 11-21-12

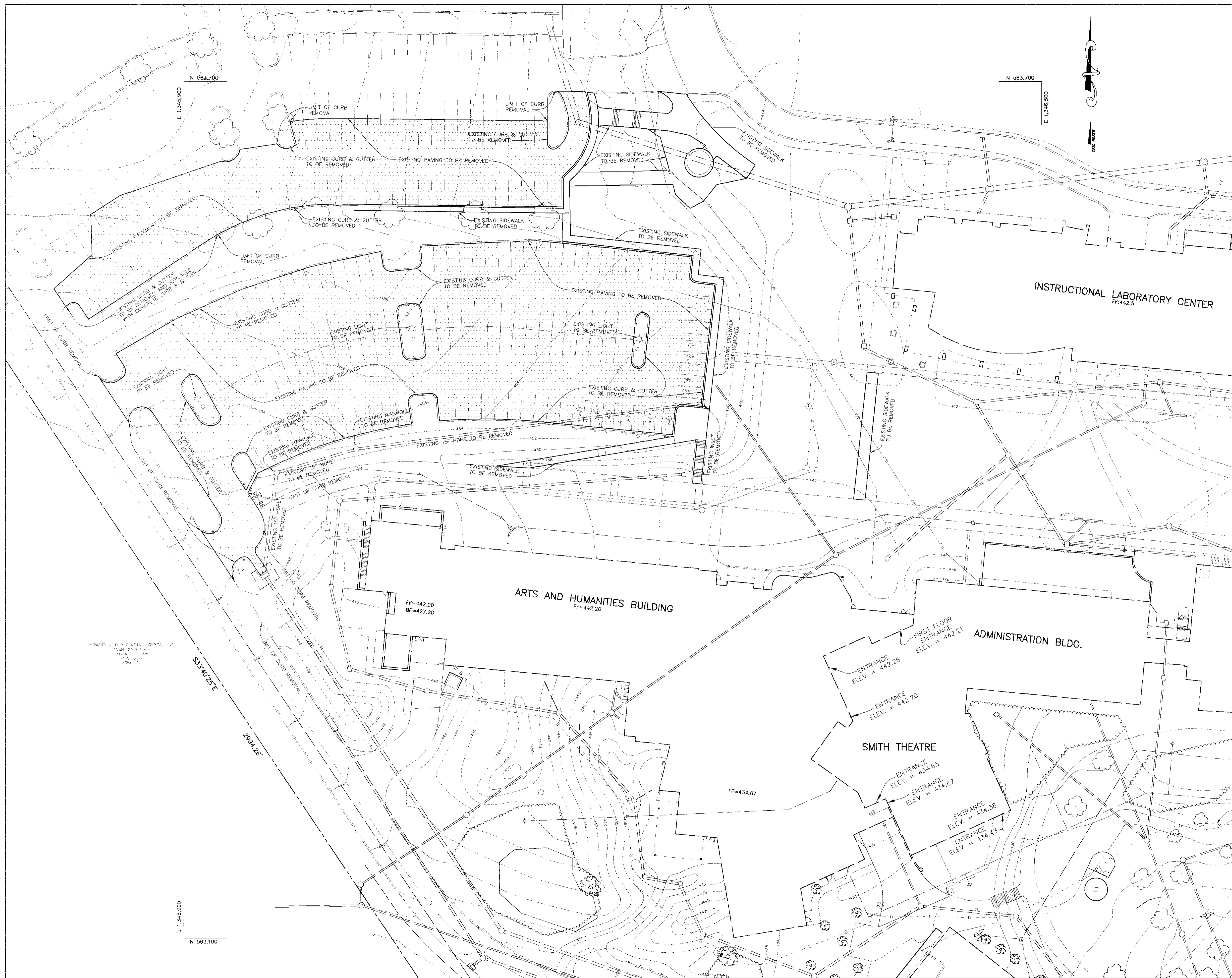
NEW SEAL AND SIGNATURE ARE APPLICABLE ONLY TO REVISIONS.

**ADDRESS CHART**

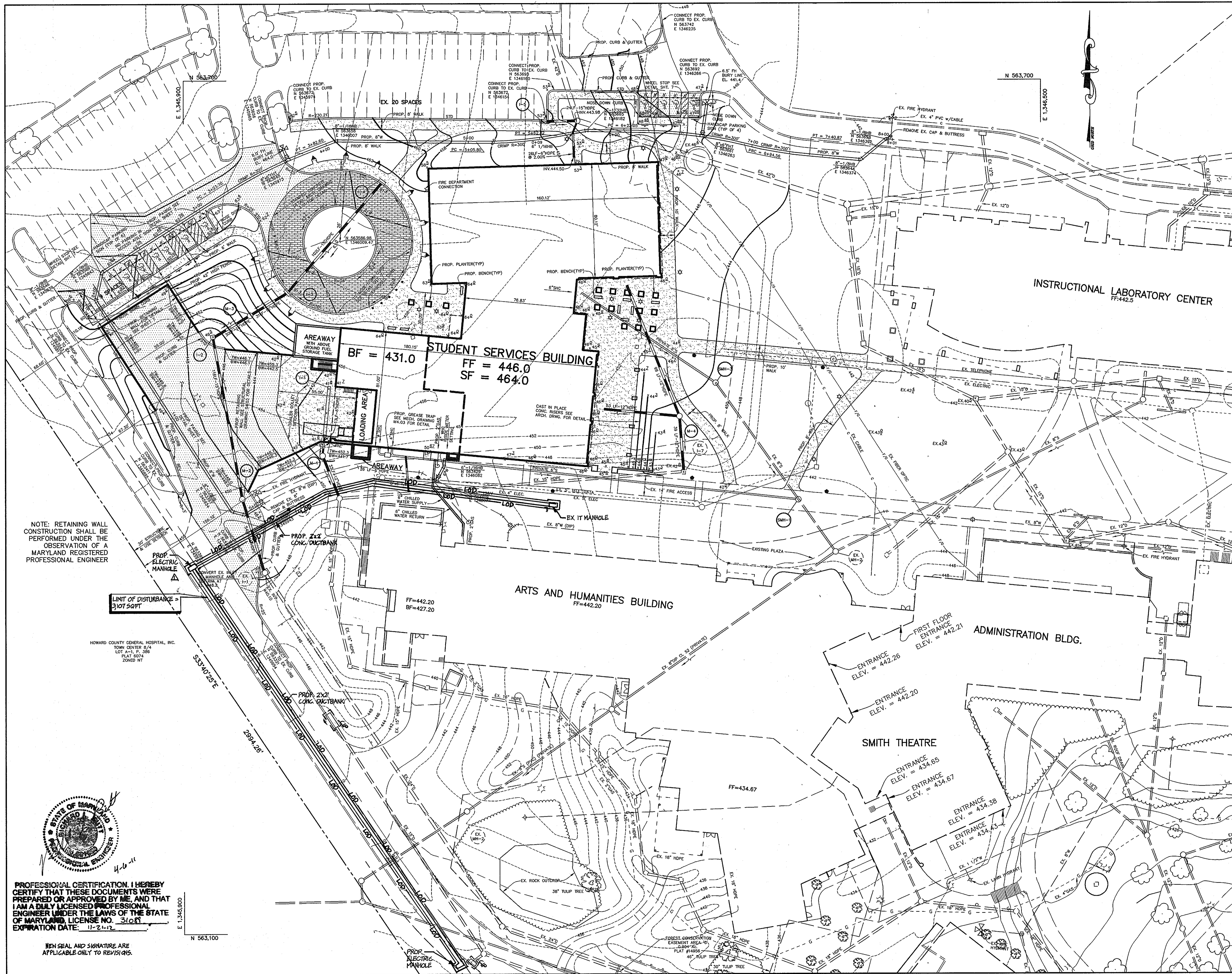
PARCEL	STREET ADDRESS
47	10901 LITTLE PATUXENT PARKWAY

SUBDIVISION NAME - HOWARD COMMUNITY COLLEGE	SECT./AREA - N/A	PARCEL - 47
LOT - 486/224 523/328	BLOCK # - 6&1	ZONING - POR NT
TAX MAP NO. - 35,36	ELECT. DIST. - 5th	CENSUS TRACT - 6056.02
WATER CODE - 107	SEWER CODE - 5522500	





APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
DIRECTOR <i>Mark ...</i>	DATE 6/28/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION <i>...</i>	DATE 7/15/05
CHIEF, DIVISION OF LAND DEVELOPMENT <i>...</i>	DATE 7/15/05
DATE NO.	REVISION
OWNER / DEVELOPER HOWARD COMMUNITY COLLEGE 10901 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044-3197 ATTN: MR. JAMES O. LASH 410-772-4296	
PROJECT HOWARD COMMUNITY COLLEGE STUDENT SERVICES BUILDING	
AREA PARCEL 47 ZONED POR & NT TAX MAP NO. 35, 36 BLOCK 6 & 1 5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
TITLE DEMOLITION PLAN	
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects. PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282	
DATE 6-28-05	DESIGNED BY : CJR/ACR
	DRAWN BY: MAD
	PROJECT NO. 11449/3-1/ENGR/ PLANS/C300DEM.DWG
	DATE : JUNE 28, 2005
	SCALE : 1"=30'
<i>Aimee C. Remington</i> AIMEE C. REMINGTON #29923	DRAWING NO. 2 OF 9



- NOTES:**
1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
  2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
  3. ALL ON-SITE ROADS ARE PRIVATE.
  4. ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
  5. \* STD/REV - STANDARD TO REVERSE CURB TRANSITION.
  6. PAVING (DETAIL SHEET 7)
  7. SIDEWALK (H.O.CO. DETAIL R-3.05)
  8. STANDARD AND REVERSE CURB ARE PER H.O.CO. DETAIL R-3.01.
  9. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. THERE SHALL BE NO LANDSCAPING WITHIN 7.5' OF THE FIRE DEPARTMENT CONNECTION.
  10. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4 - 5' IN HEIGHT AND NO MORE THAN 6' Laterally FROM THE DOOR. THE LOCK SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFPA-1 10.12.1.

- LEGEND**
- 450- EXISTING 10' CONTOURS
  - 448- EXISTING 2' CONTOURS
  - 450- PROPOSED 10' CONTOURS
  - 448- PROPOSED 2' CONTOURS
  - - - - - PROPOSED CURB & GUTTER
  - - - - - PROPOSED STORM DRAIN
  - ☆ PROPOSED BOLLARD LIGHT - TO MATCH EXISTING CAMPUS QUAD LIGHTING
  - PROPOSED QUAD POLE LIGHT - TO MATCH EXISTING CAMPUS QUAD LIGHTING
  - ▶ PROPOSED PLAQUE LIGHT - SEE ARCHITECTURAL DRAWINGS FOR DETAIL

NOTE: RETAINING WALL CONSTRUCTION SHALL BE PERFORMED UNDER THE OBSERVATION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER

LIMIT OF DISTURBANCE = 3107 SQFT

HOWARD COUNTY GENERAL HOSPITAL, INC.  
TOWN CENTER 8/4  
LOT A-1, P. 306  
PLAT 5074  
ZONED HT

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Mark D. Coyle* 7/14/05  
DIRECTOR DATE

*Walter R. Remington* 7/14/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Wanda Hanna* 7/15/05  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

3-14-2011 ADD 2x2 CONC. DUCT BANK - APPROXIMATELY 600LF

OWNER / DEVELOPER  
HOWARD COMMUNITY COLLEGE  
10901 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044-3197  
ATTN: MR. JAMES O. LASH  
410-772-4296

PROJECT  
**HOWARD COMMUNITY COLLEGE  
STUDENT SERVICES BUILDING**

AREA  
PARCEL 47 ZONED POR & NT  
TAX MAP NO. 35, 36 BLOCK 6 & 1  
5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
**SITE DEVELOPMENT PLAN**

Patton Harris Rust & Associates, pc  
Engineers, Surveyors, Planners, Landscape Architects.  
8818 Centre Park Drive  
Columbia, MD 21045  
T 410.997.8900  
F 410.997.9282

6-28-05  
DATE

DESIGNED BY : CJR/ACR

DRAWN BY: MAD

PROJECT NO. 11449/3-1/ENGR/  
PLANS/C400SIT.DWG

DATE : JUNE 28, 2005

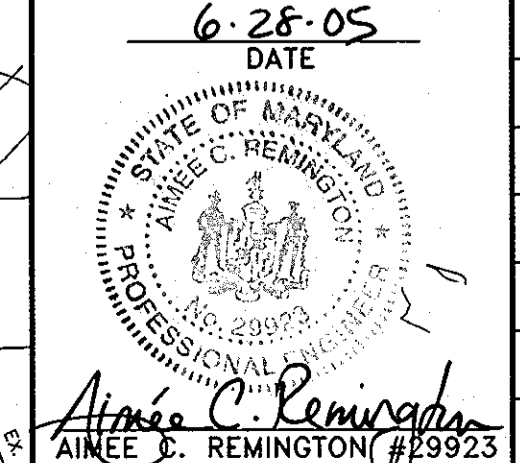
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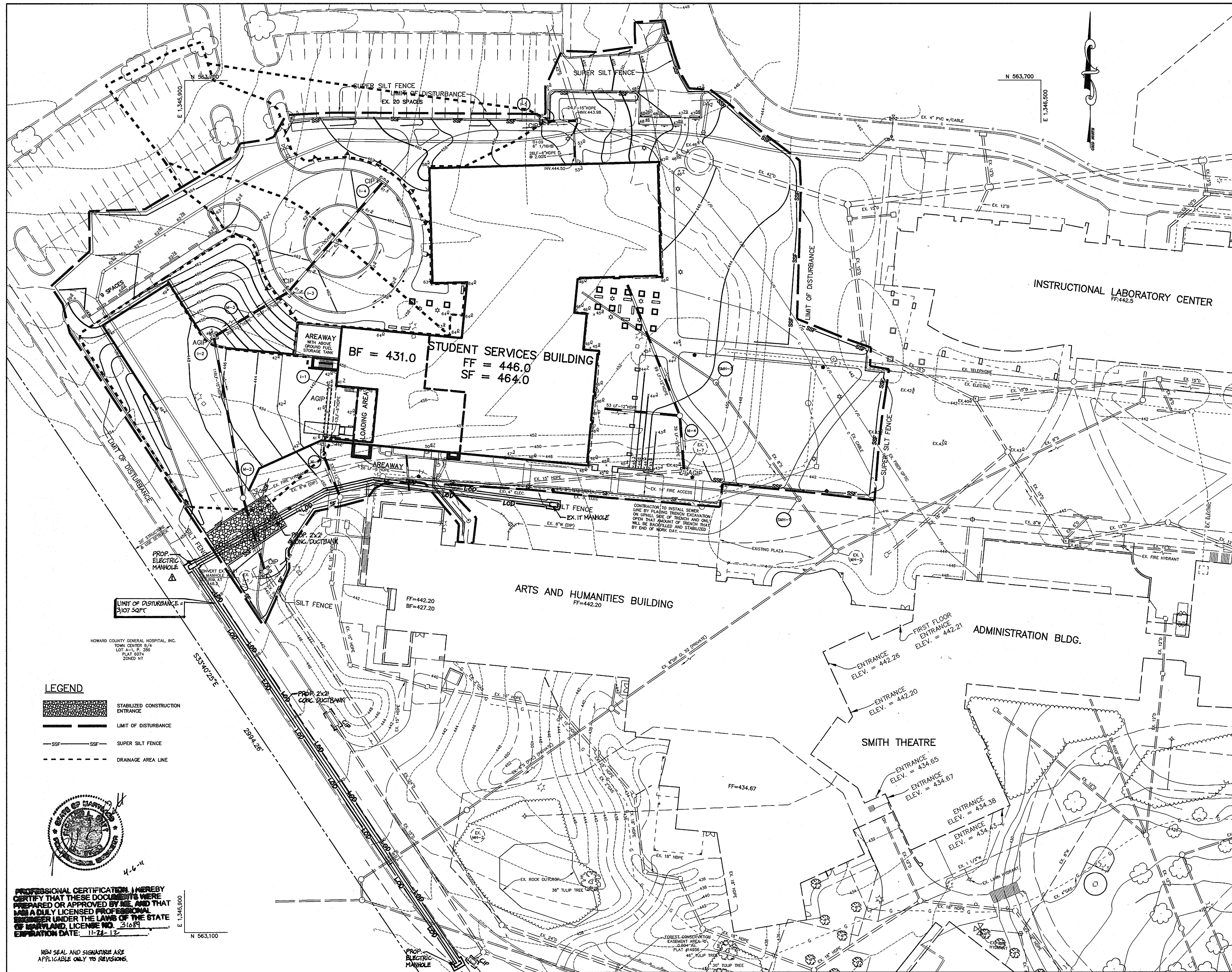
DRAWING NO. 3 OF 9



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31067 EXPIRATION DATE: 11-21-12

NEW SEAL AND SIGNATURE ARE APPLICABLE ONLY TO REVISIONS.





DRAINAGE DATA			
INLET NOS.	AREA IN ACRES	C FACTOR	PERCENT IMPERVIOUS
1	0.40	0.77	87.5
2	0.11	0.19	0
3	0.18	0.69	72
4	0.33	0.69	72
5	0.31	0.69	72

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

*James O. Lash*  
 DEVELOPER 6-28-05  
 DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Anna C. Remington*  
 ENGINEER 6-28-05  
 DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

*Jim Myers* 7/12/05  
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Huffman W. Schleming* 7/12/05  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Maura M. Coughlin* 7/14/05  
 DIRECTOR DATE

*John Dammann* 7/14/05  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Wanda Hamant* 7/15/05  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

9-14-2011 ADD 2x2' CONC. DUCT BANK - APPROXIMATELY 600LF  
 DATE NO. REVISION

OWNER / DEVELOPER  
 HOWARD COMMUNITY COLLEGE  
 10901 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044-3197  
 ATTN: MR. JAMES O. LASH  
 410-772-4296

PROJECT  
 HOWARD COMMUNITY COLLEGE  
 STUDENT SERVICES BUILDING

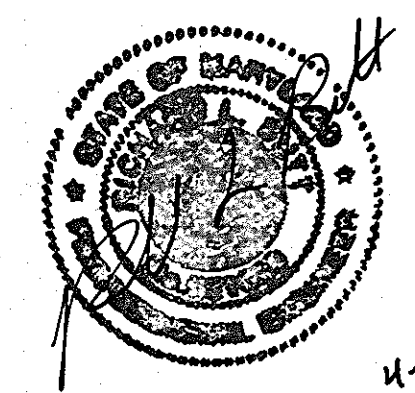
AREA  
 PARCEL 47 ZONED POR & NT  
 TAX MAP NO. 35, 36 BLOCK 6 & 1  
 5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
 GRADING, SEDIMENT CONTROL  
 AND DRAINAGE AREA MAP

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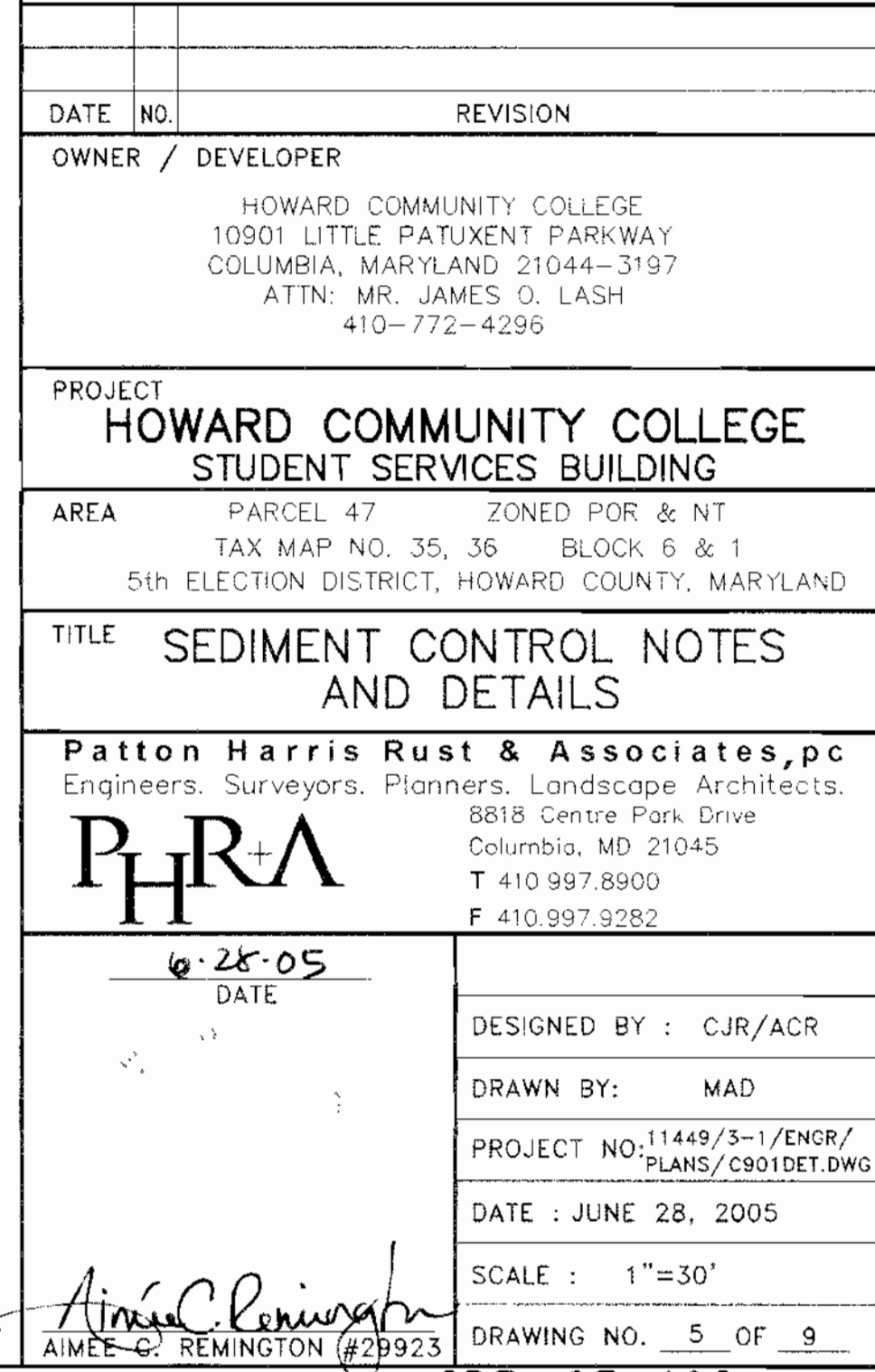
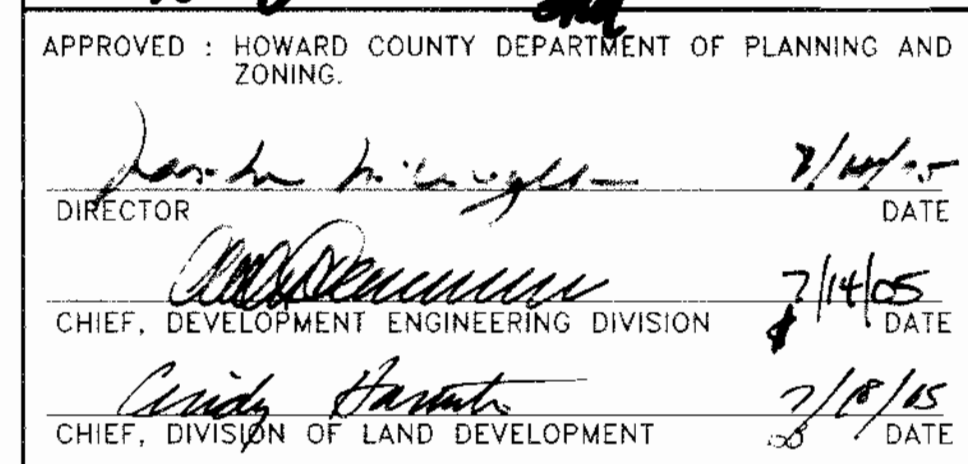
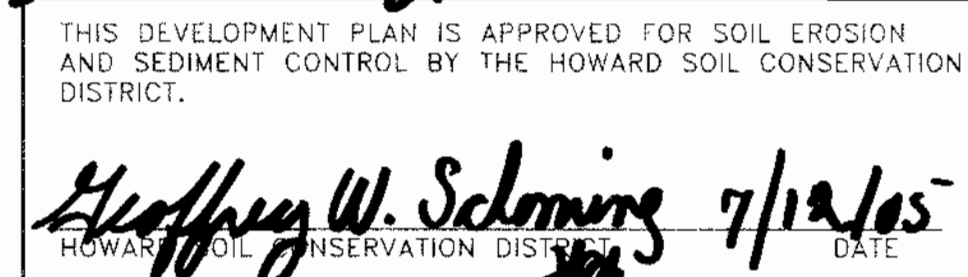
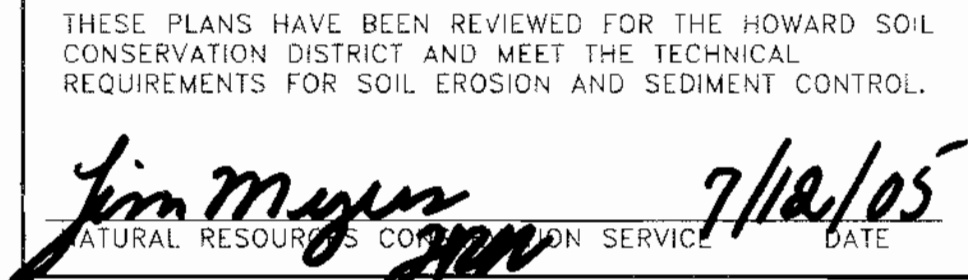
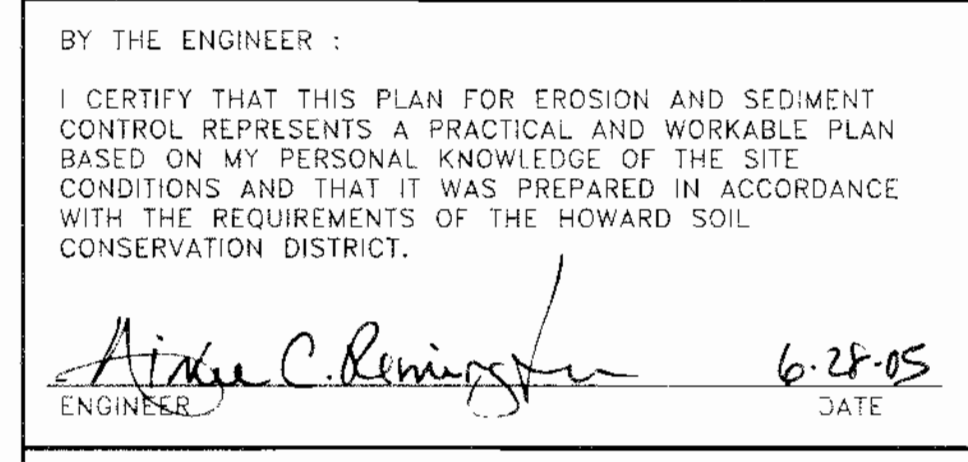
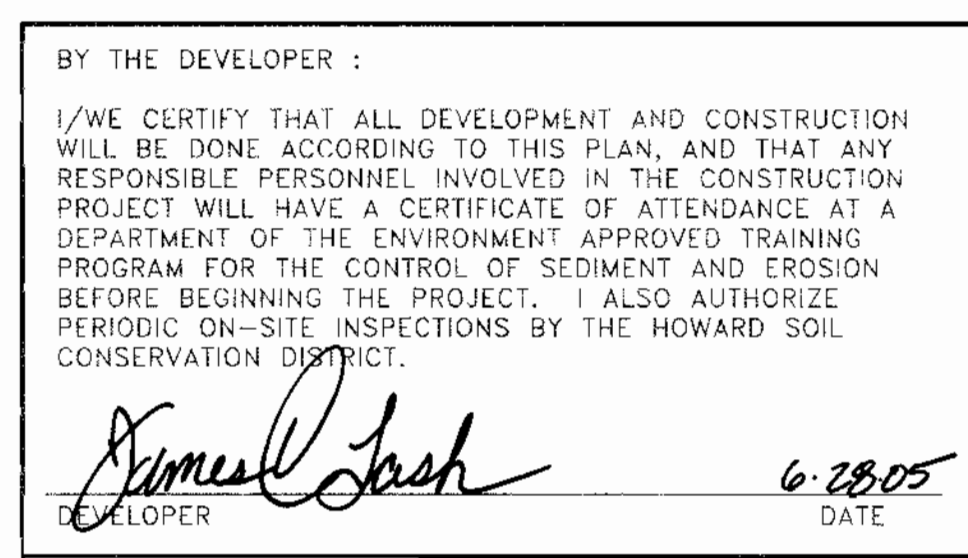
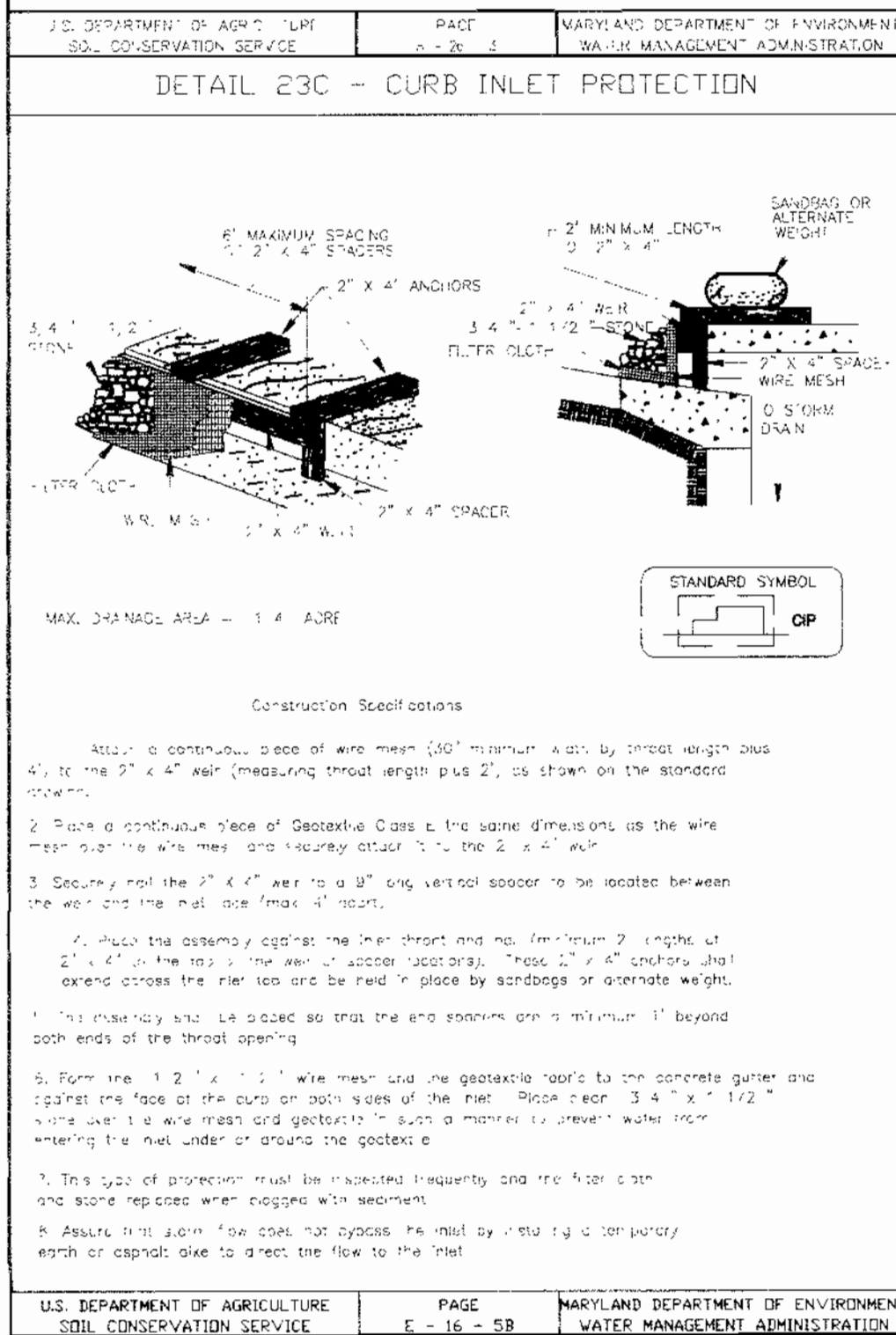
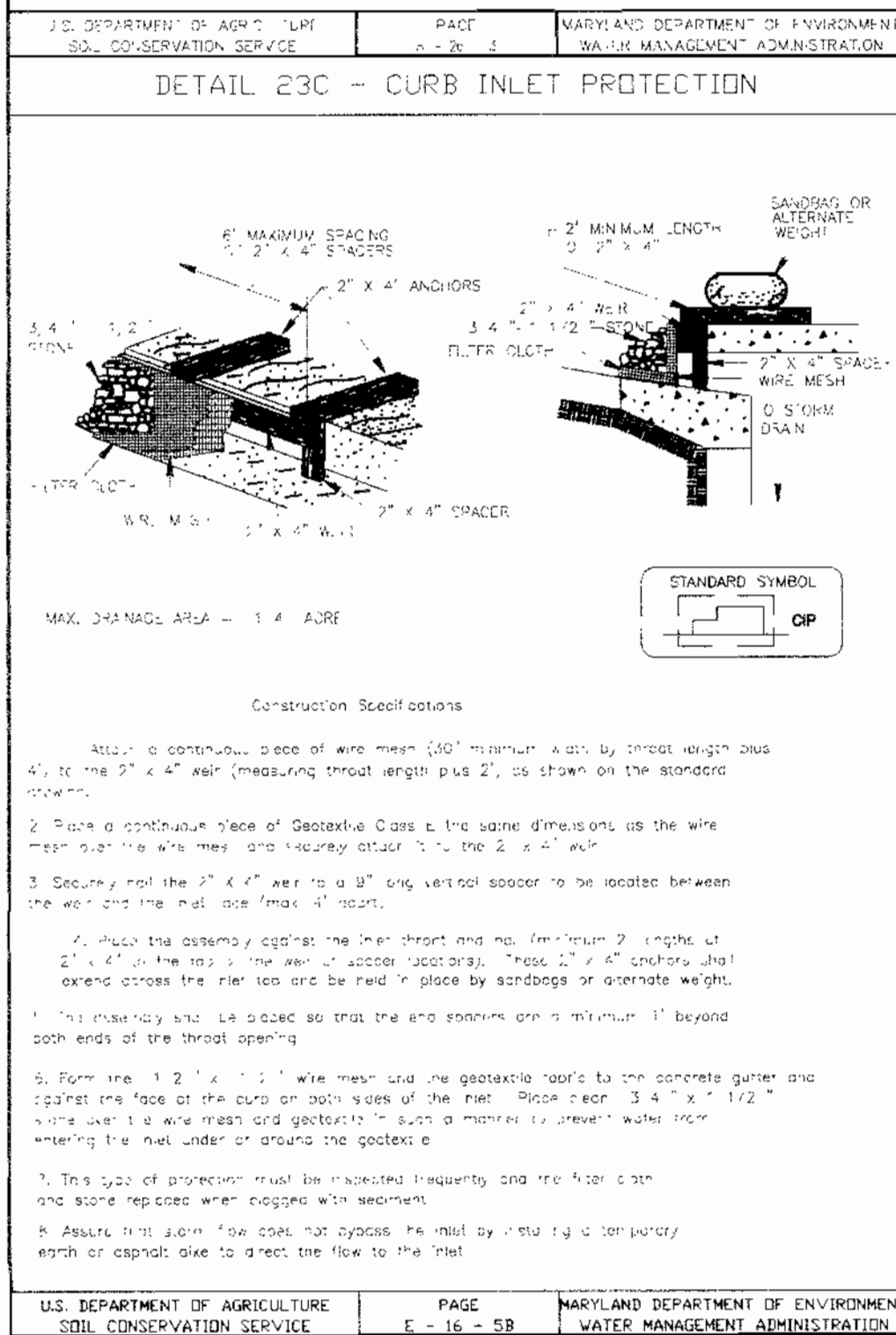
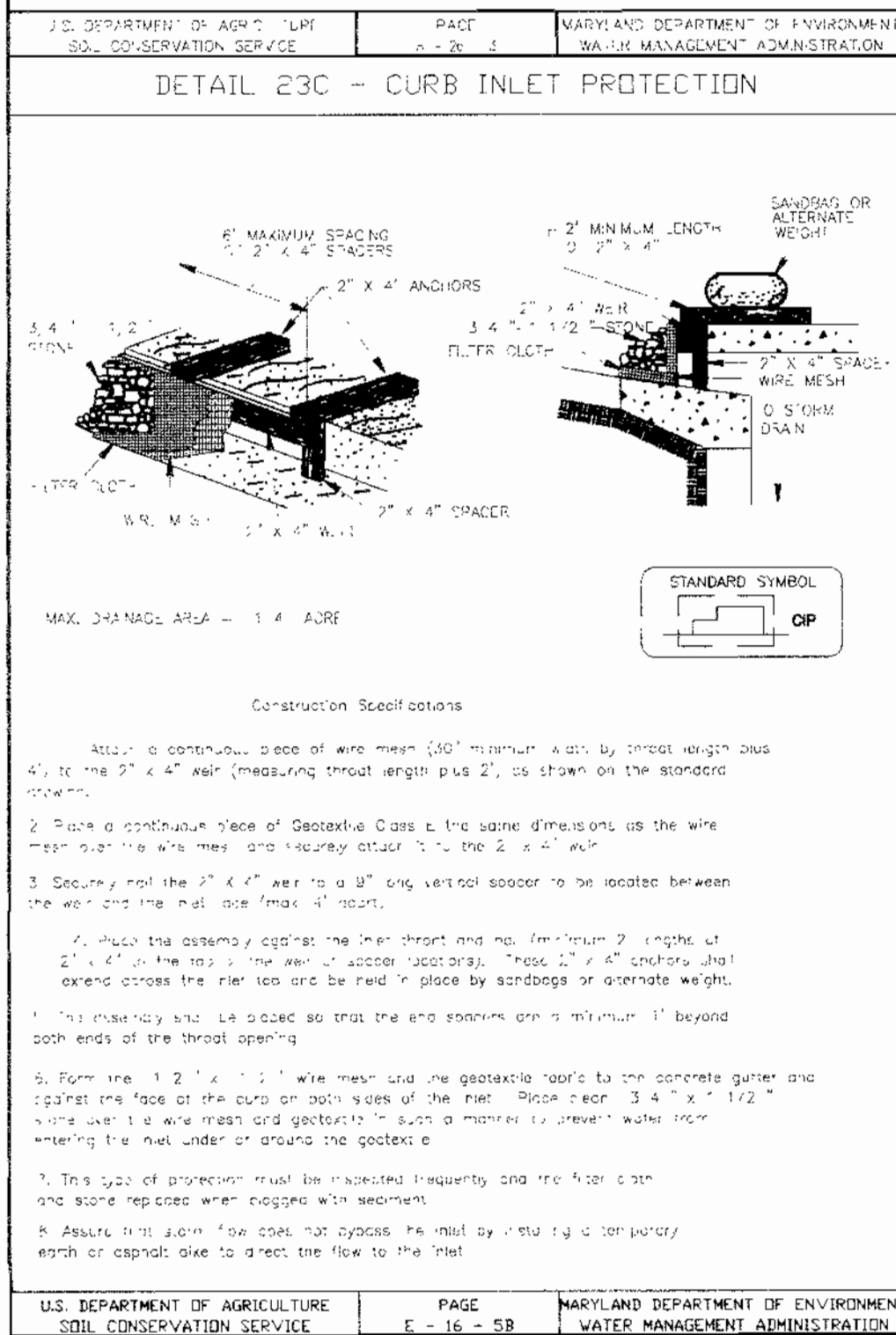
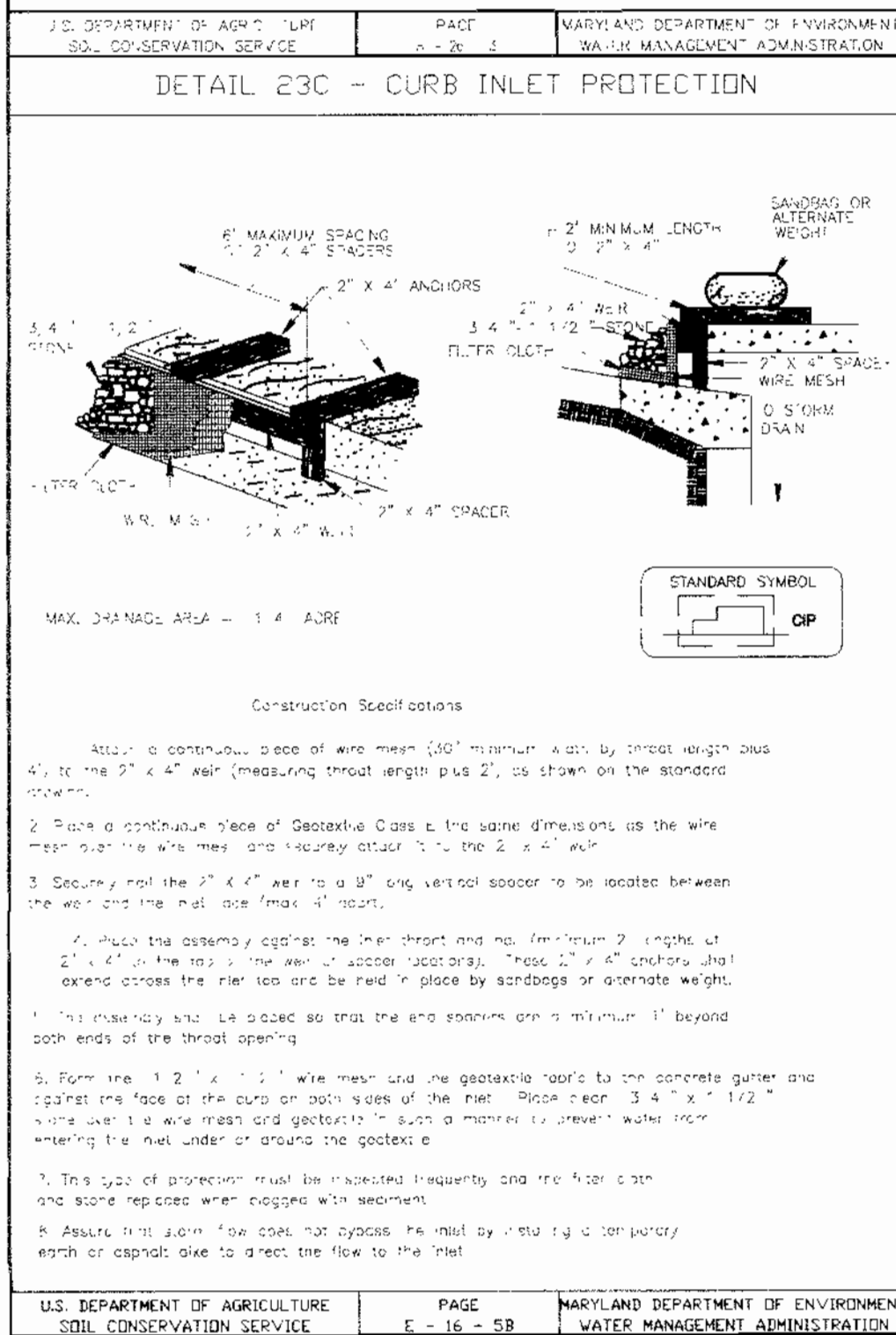
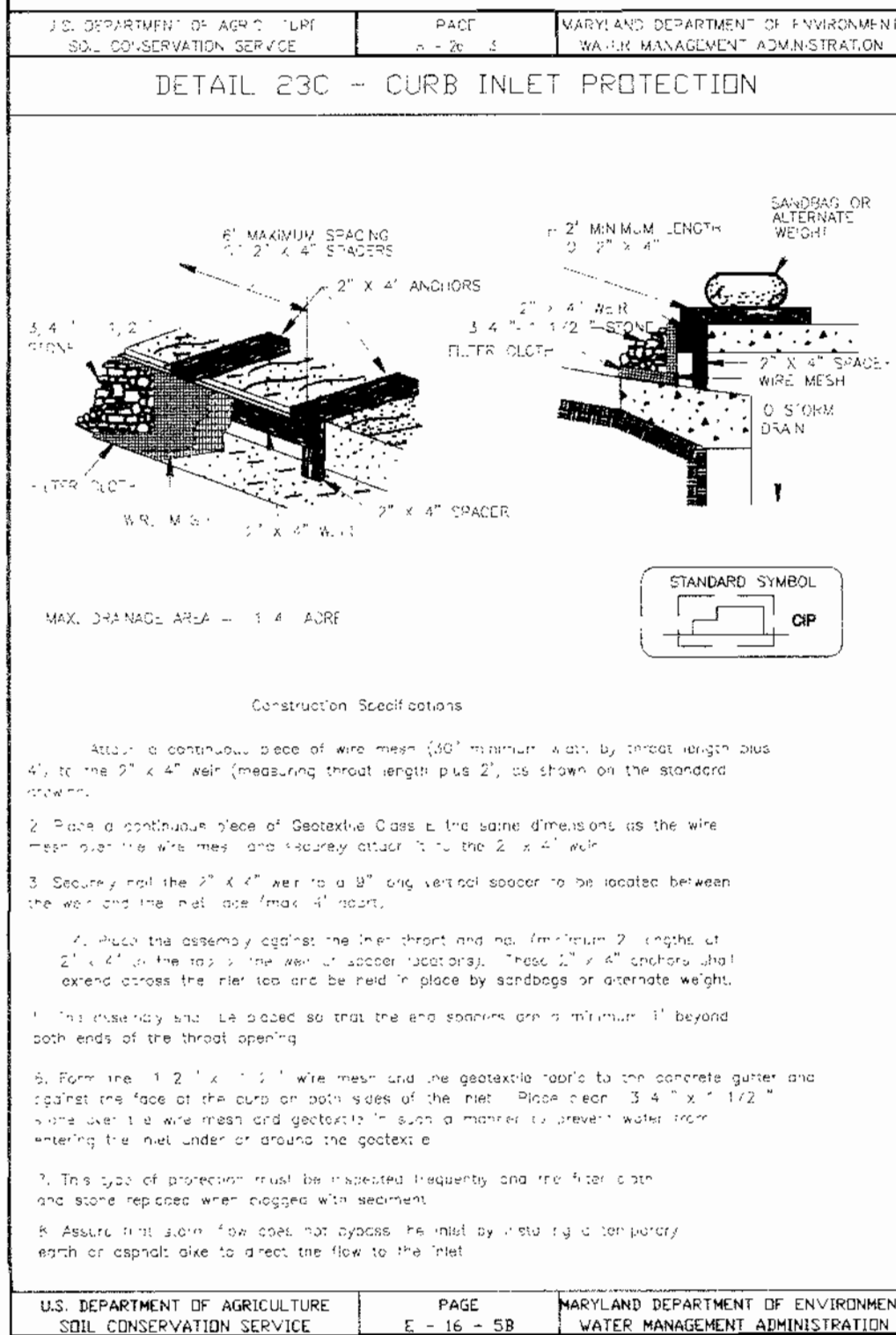
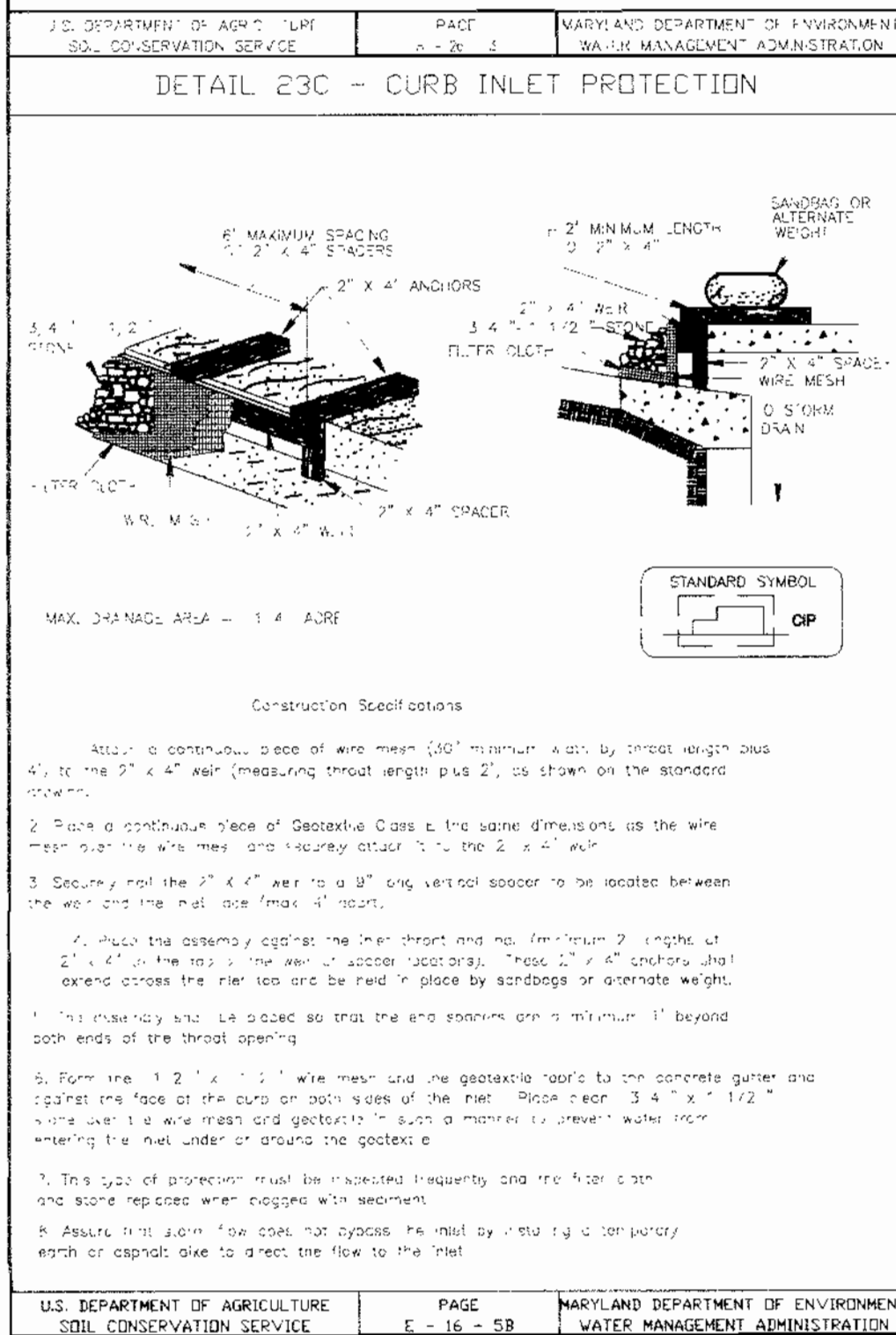
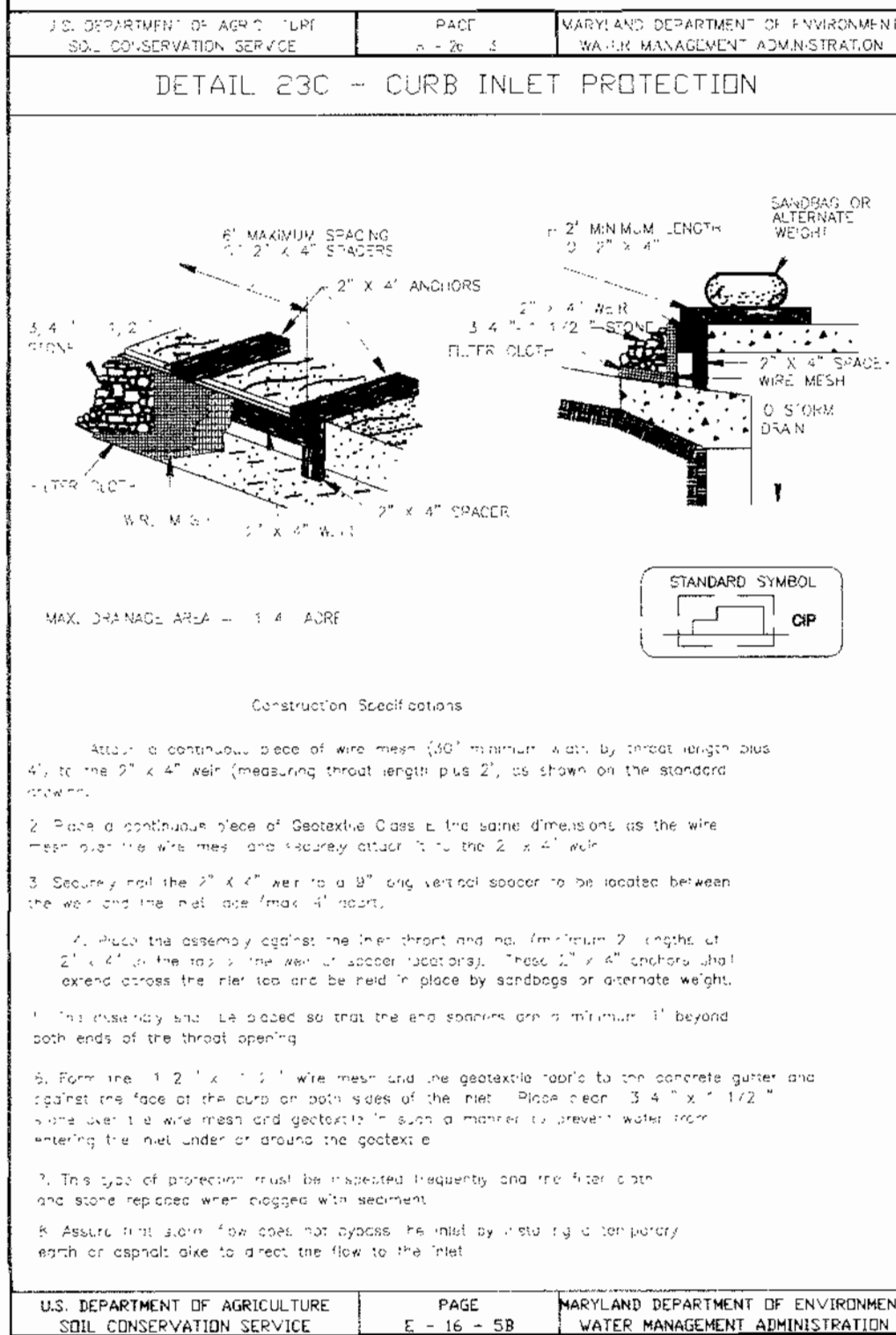
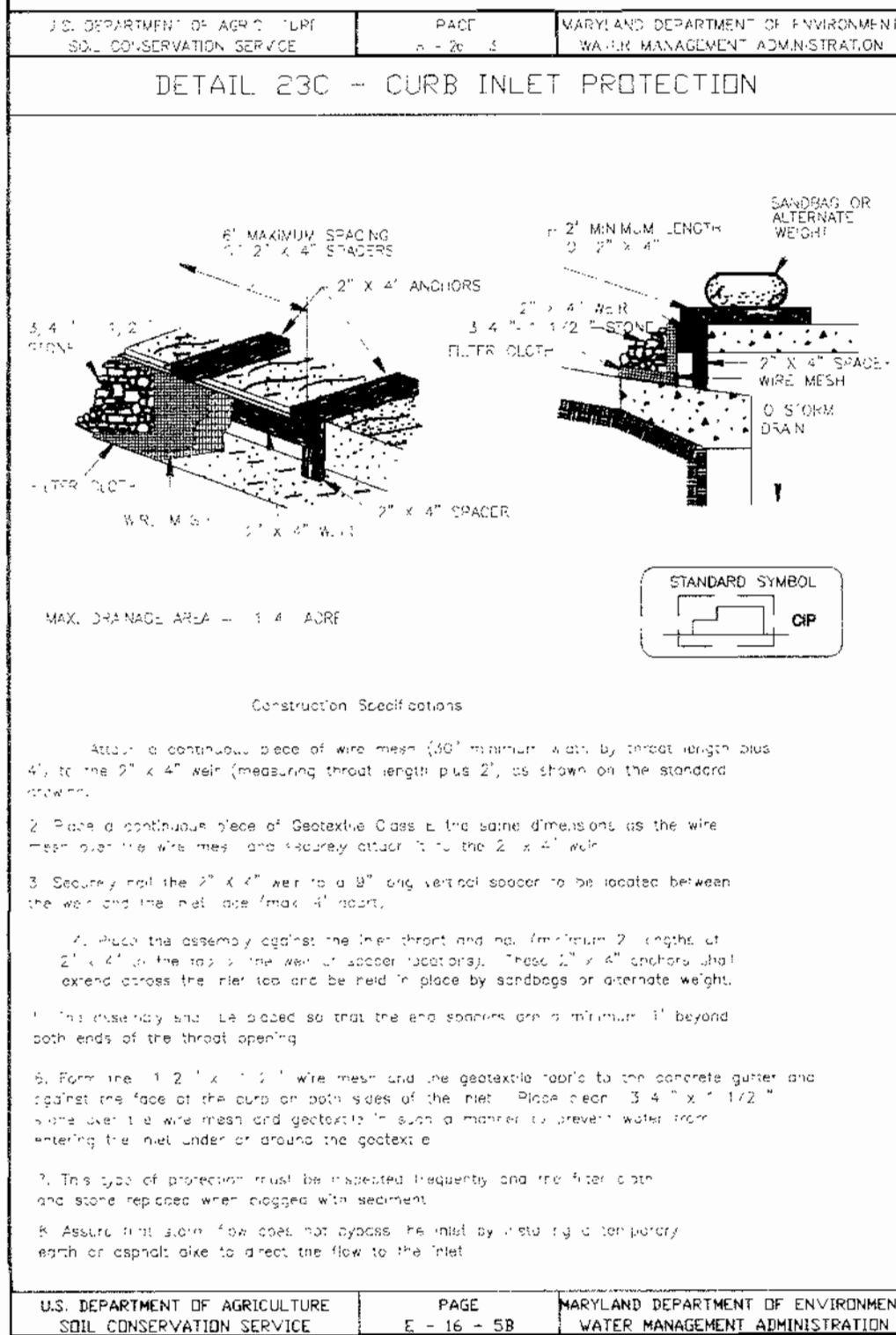
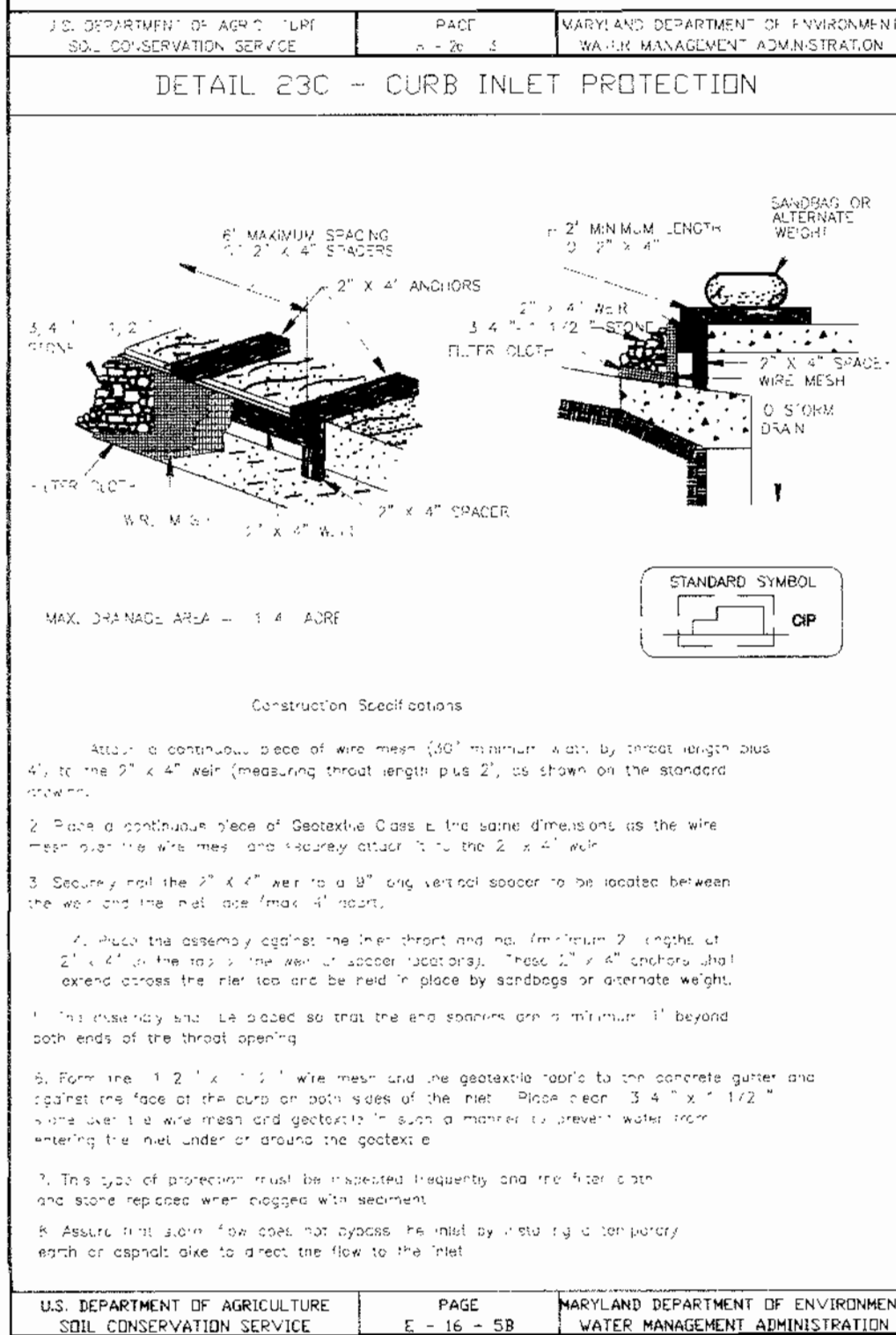
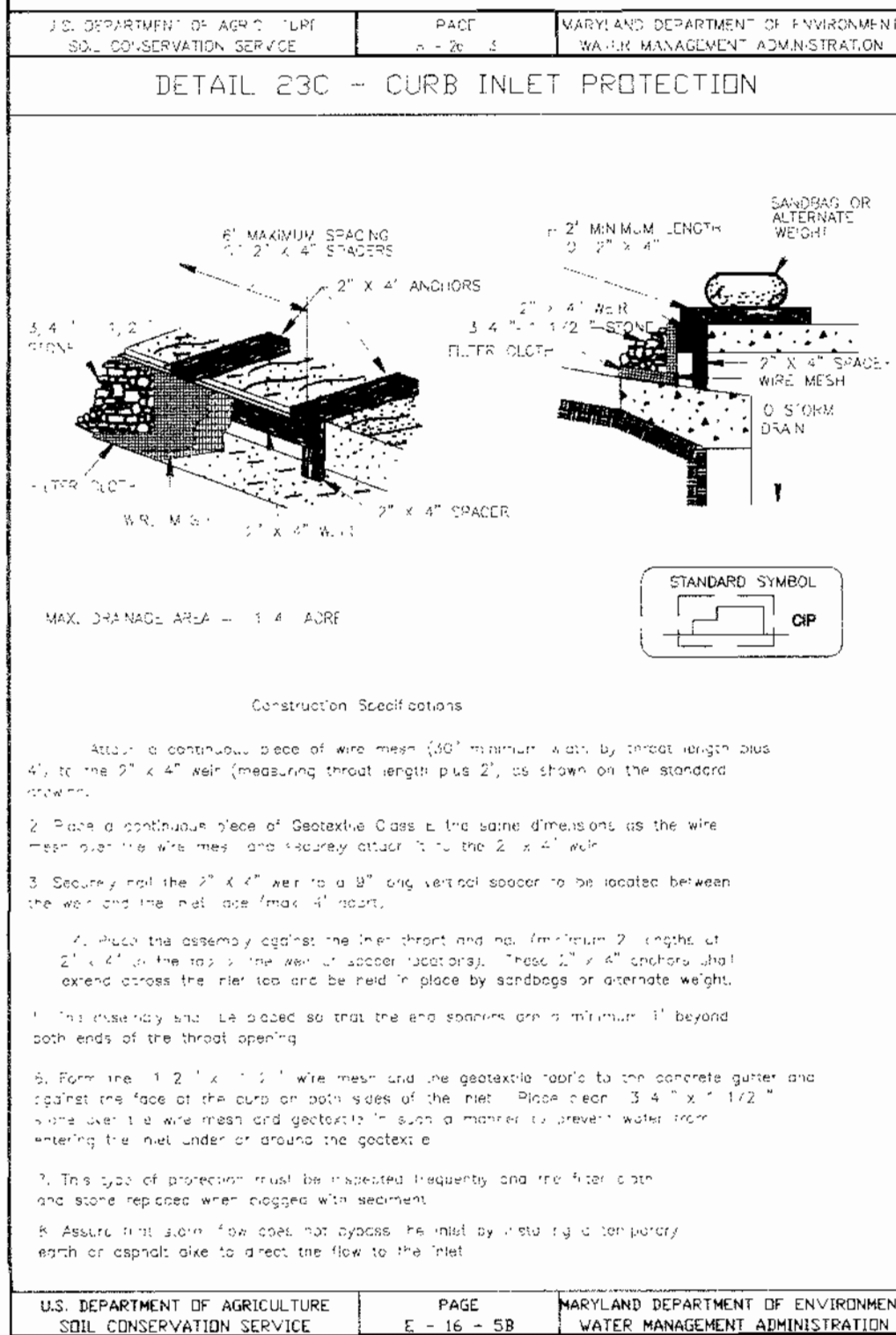
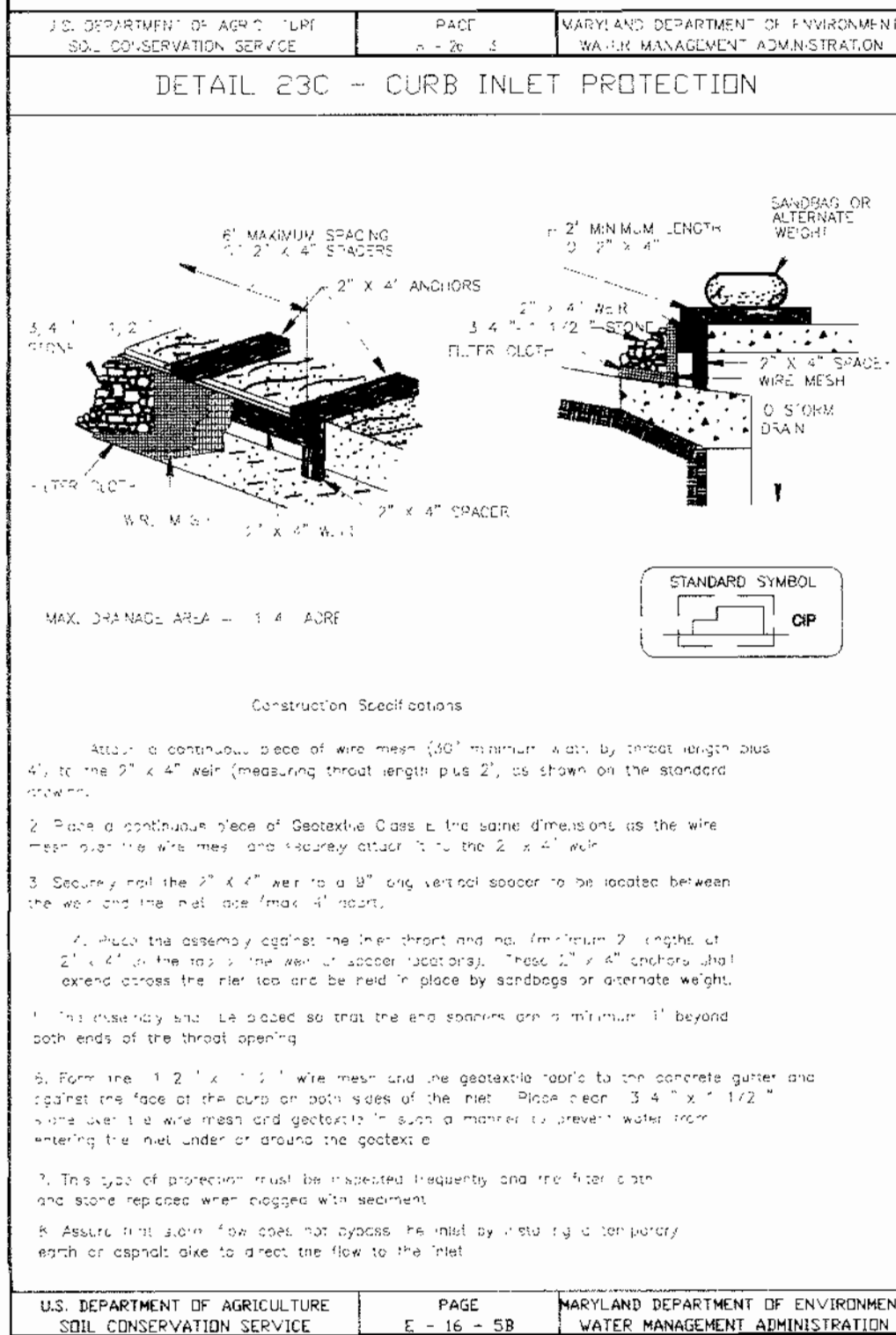
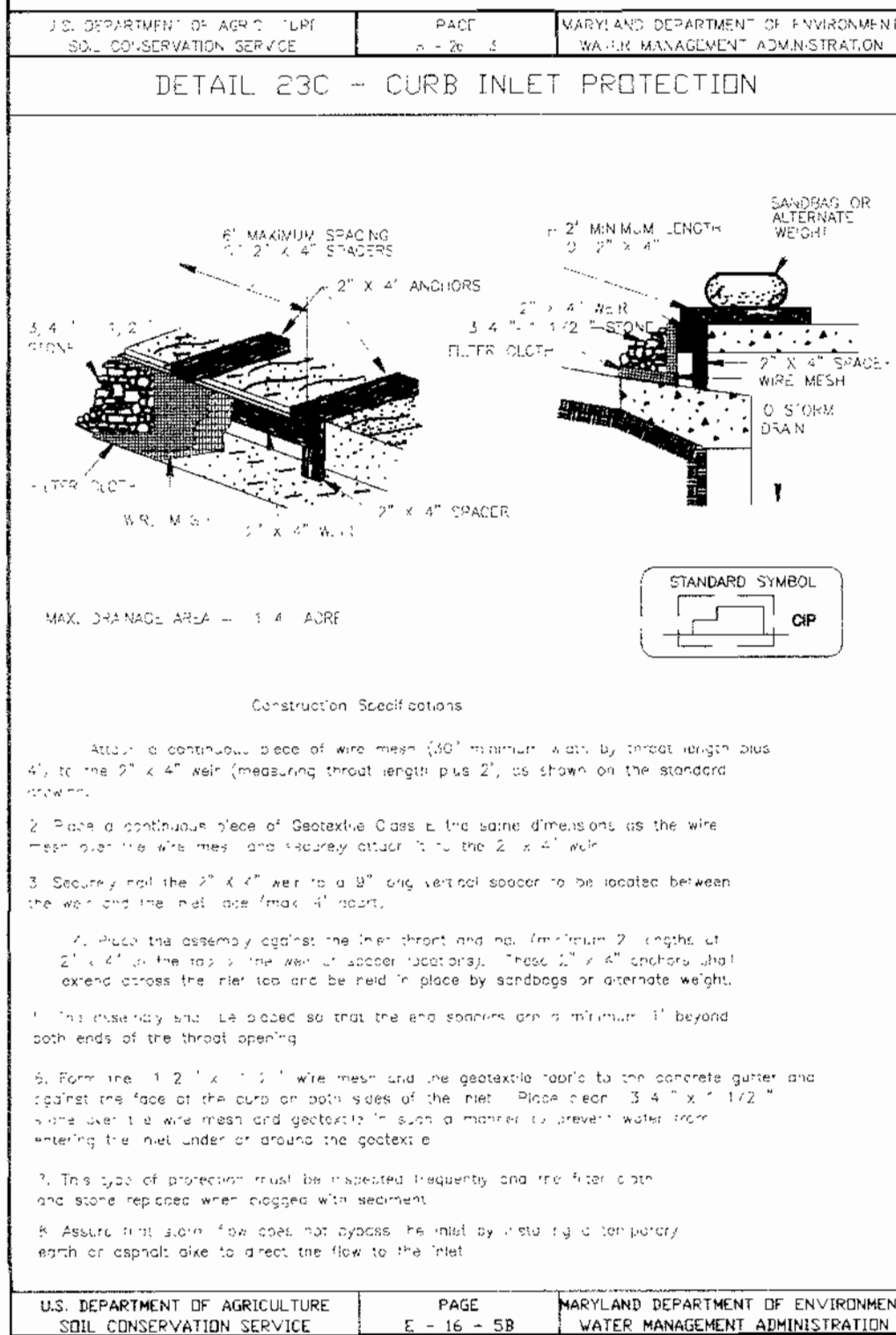
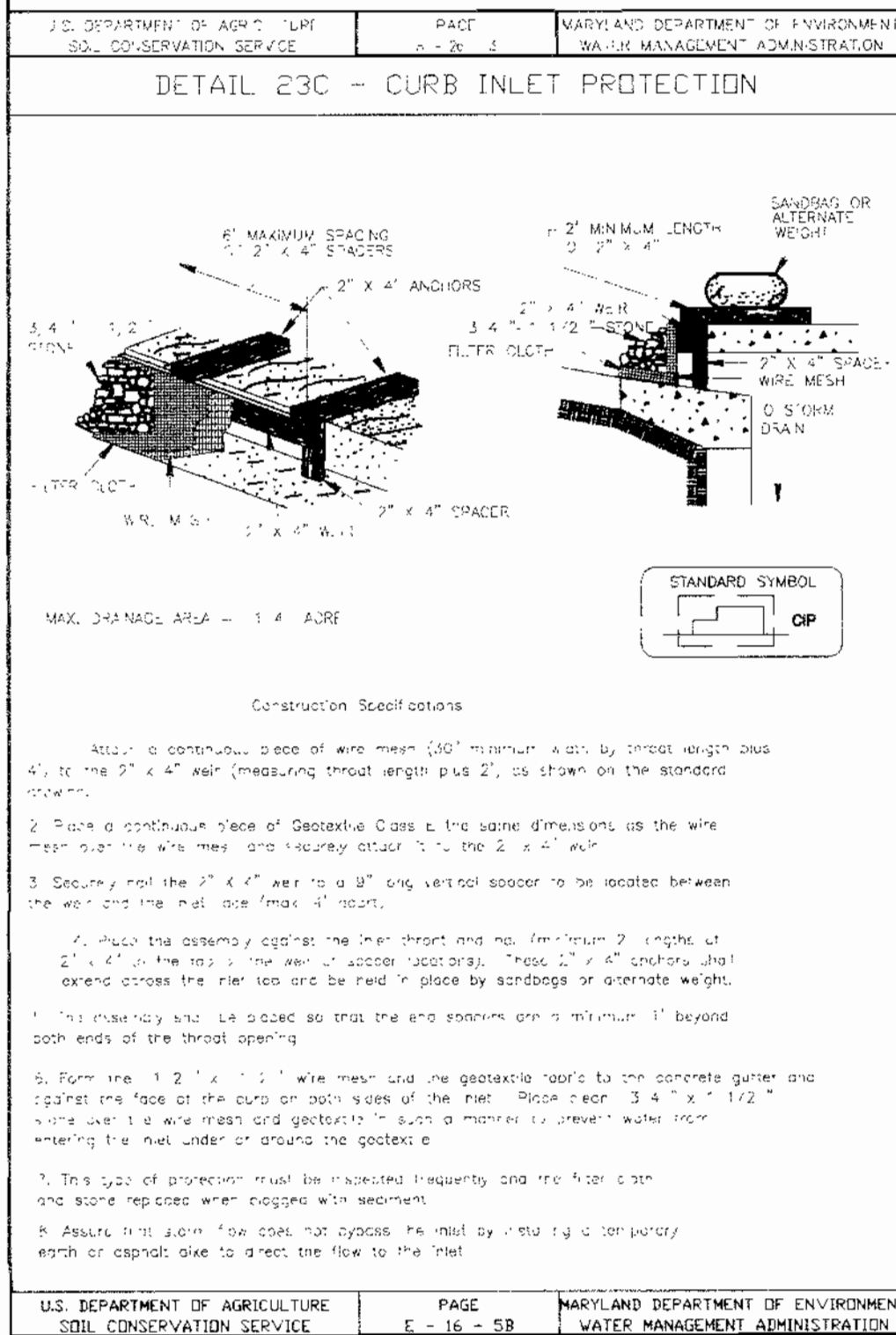
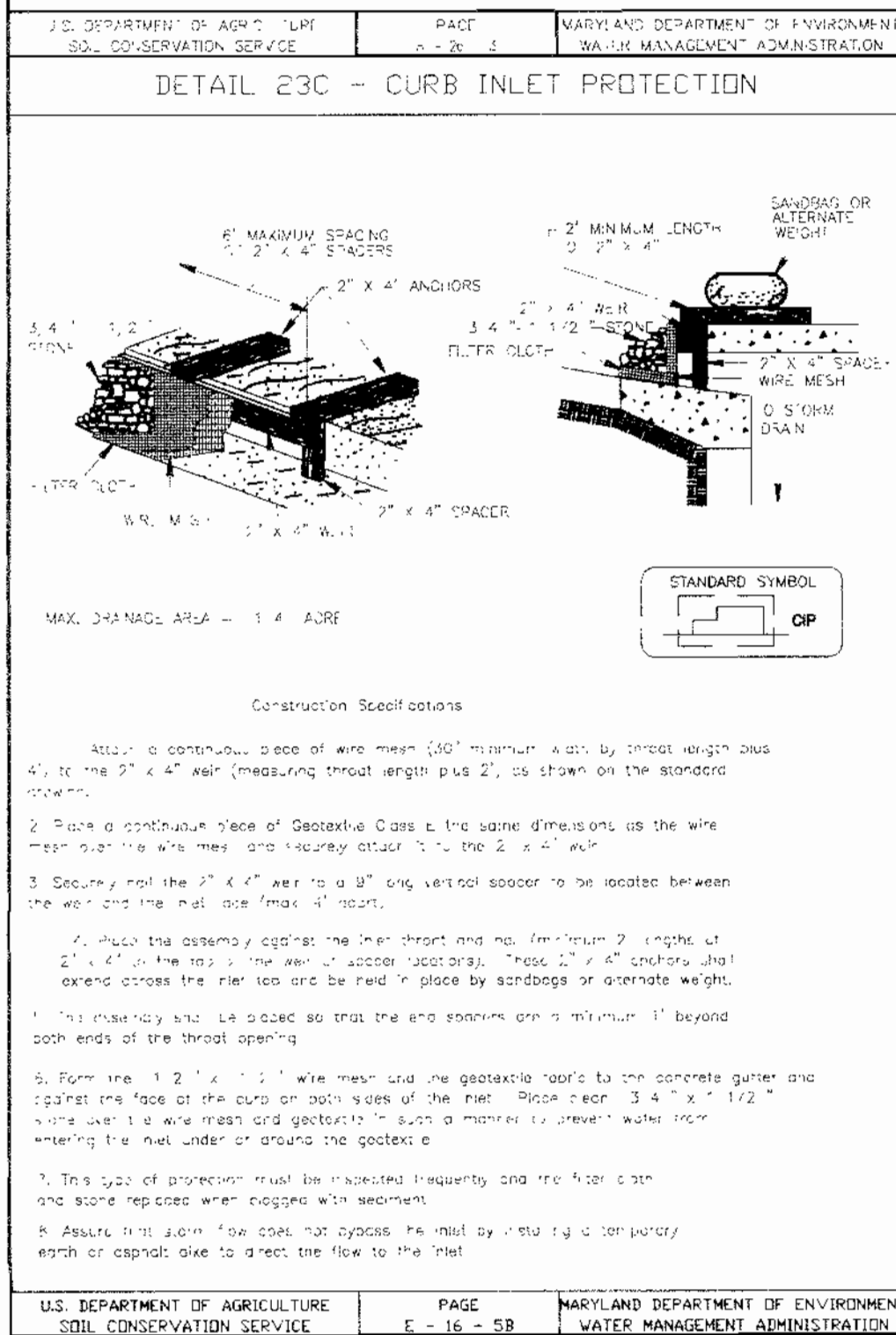
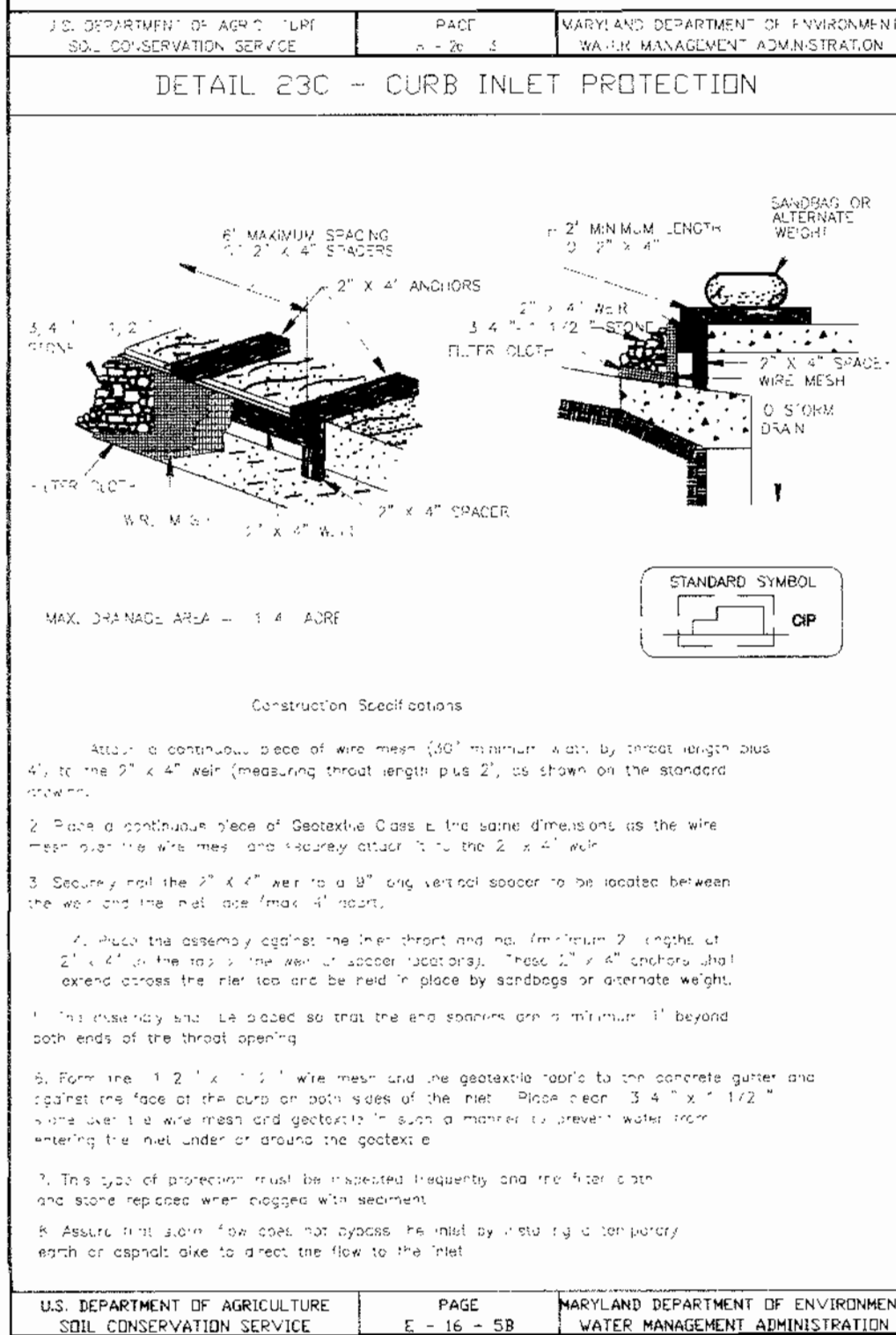
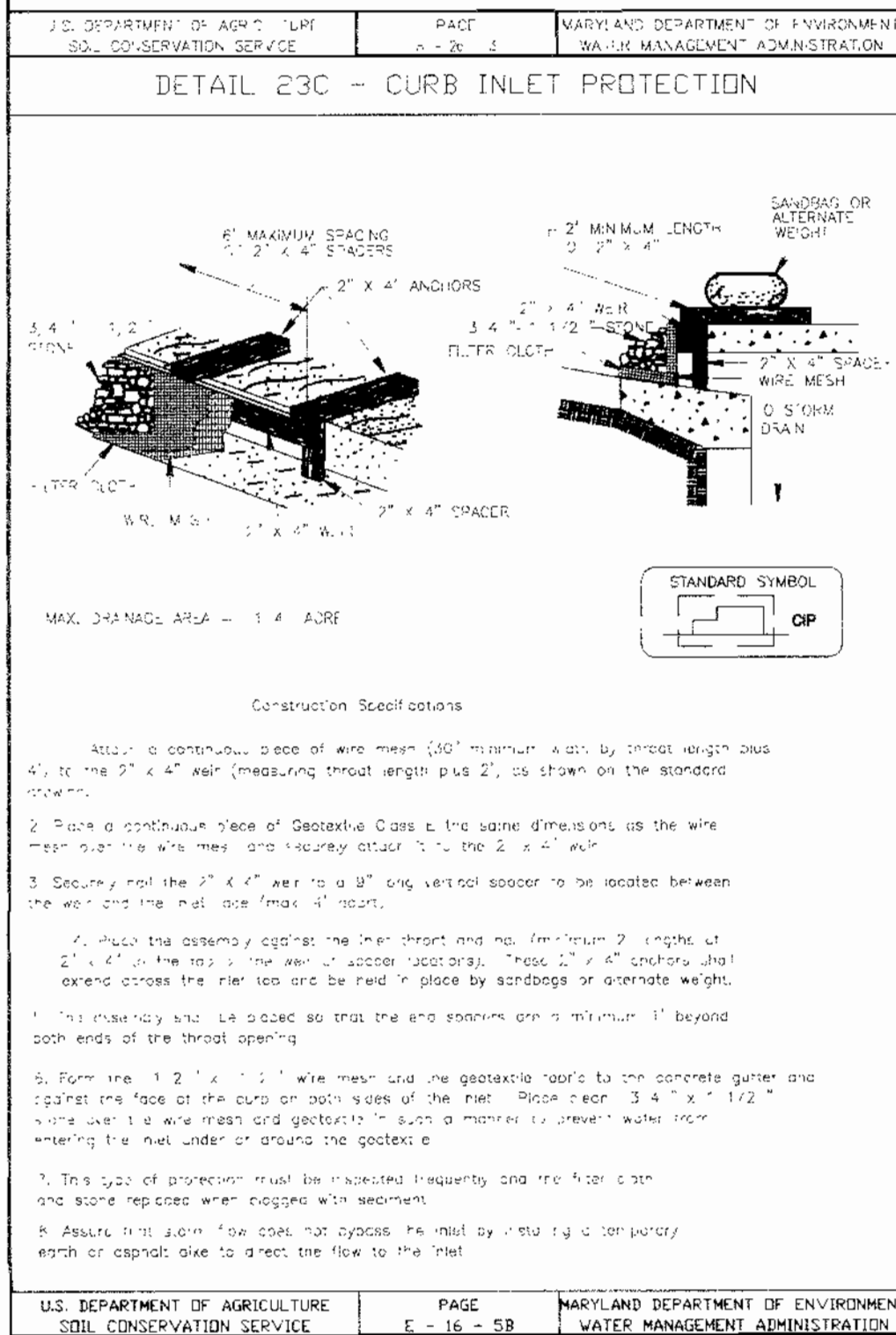
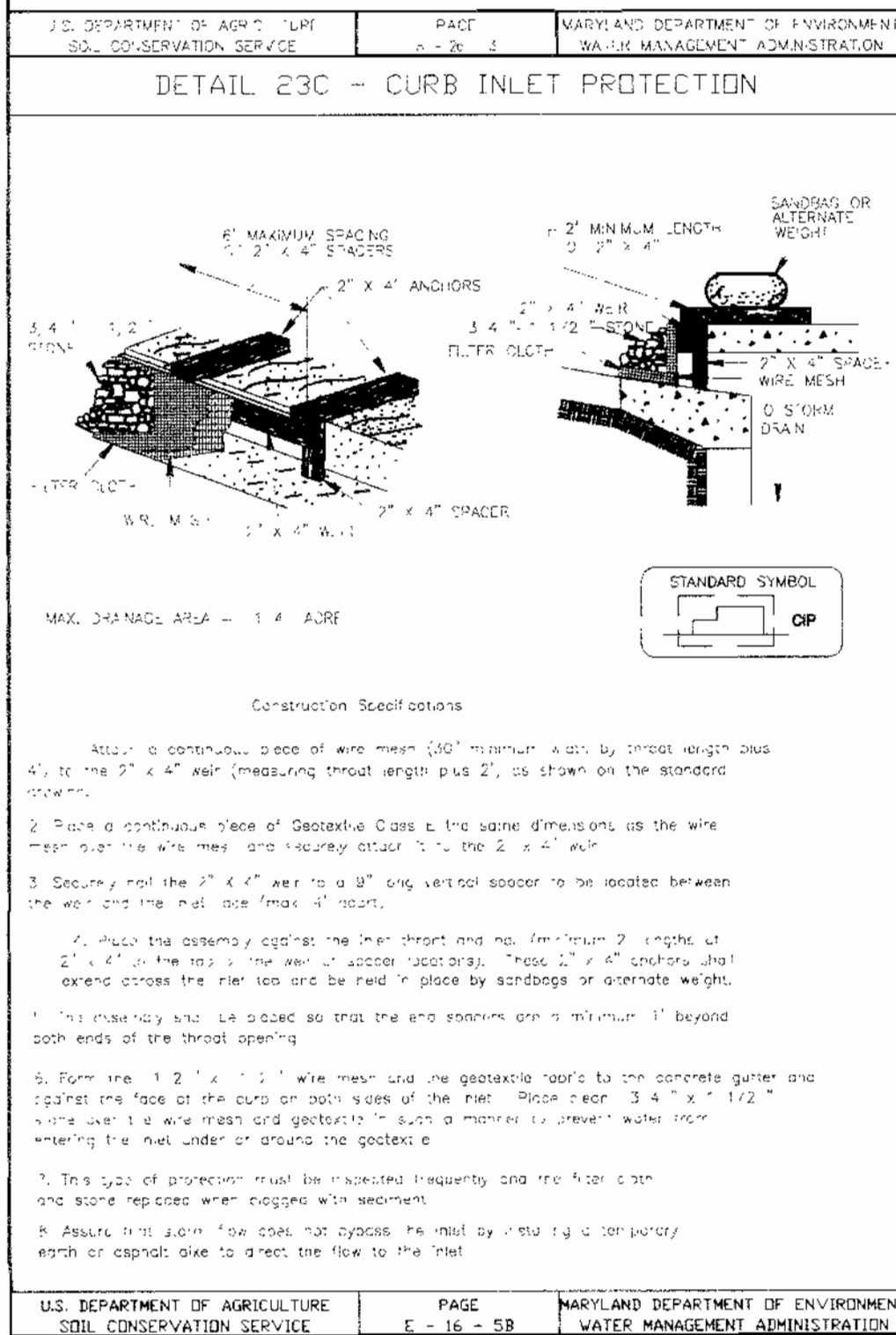
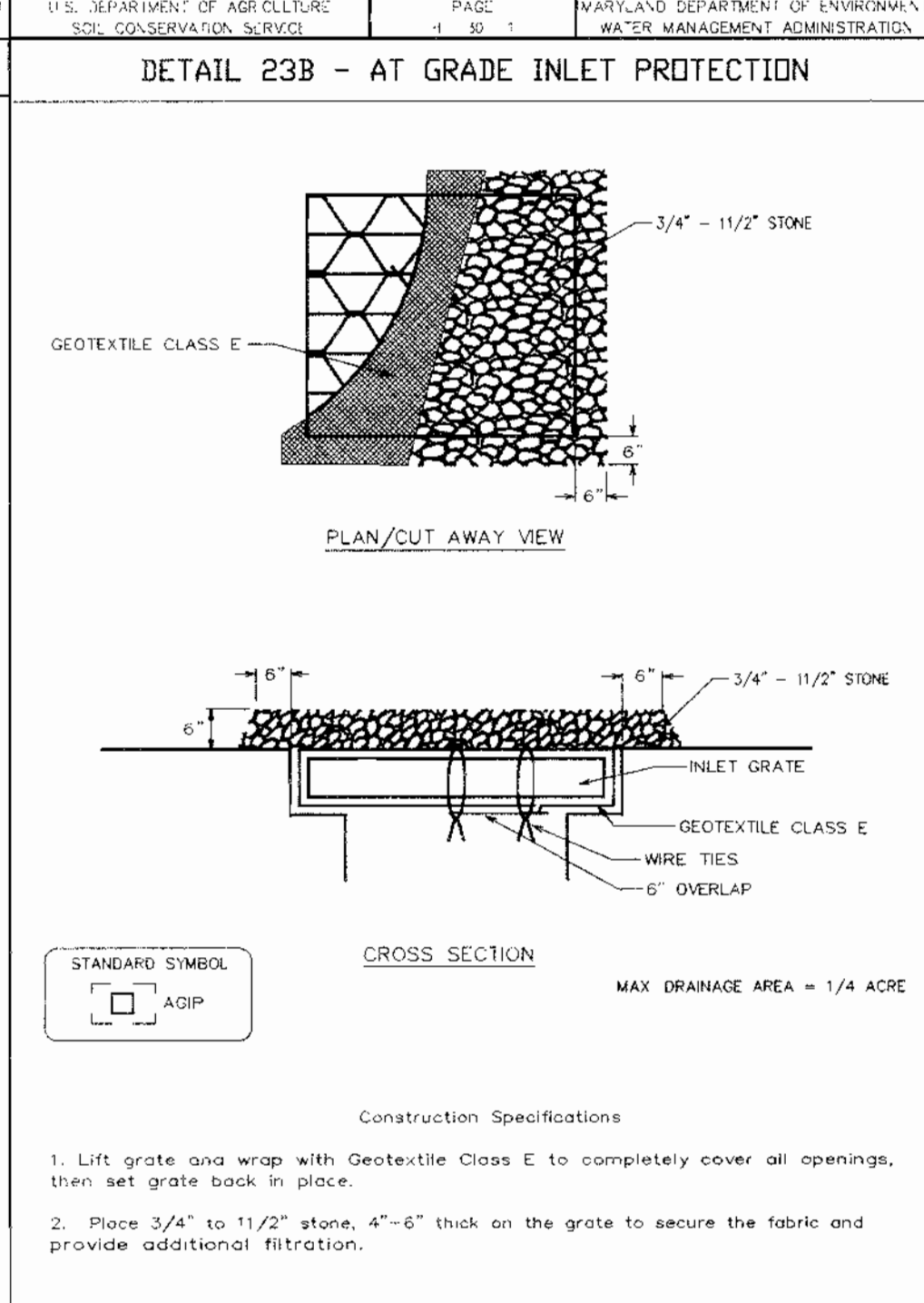
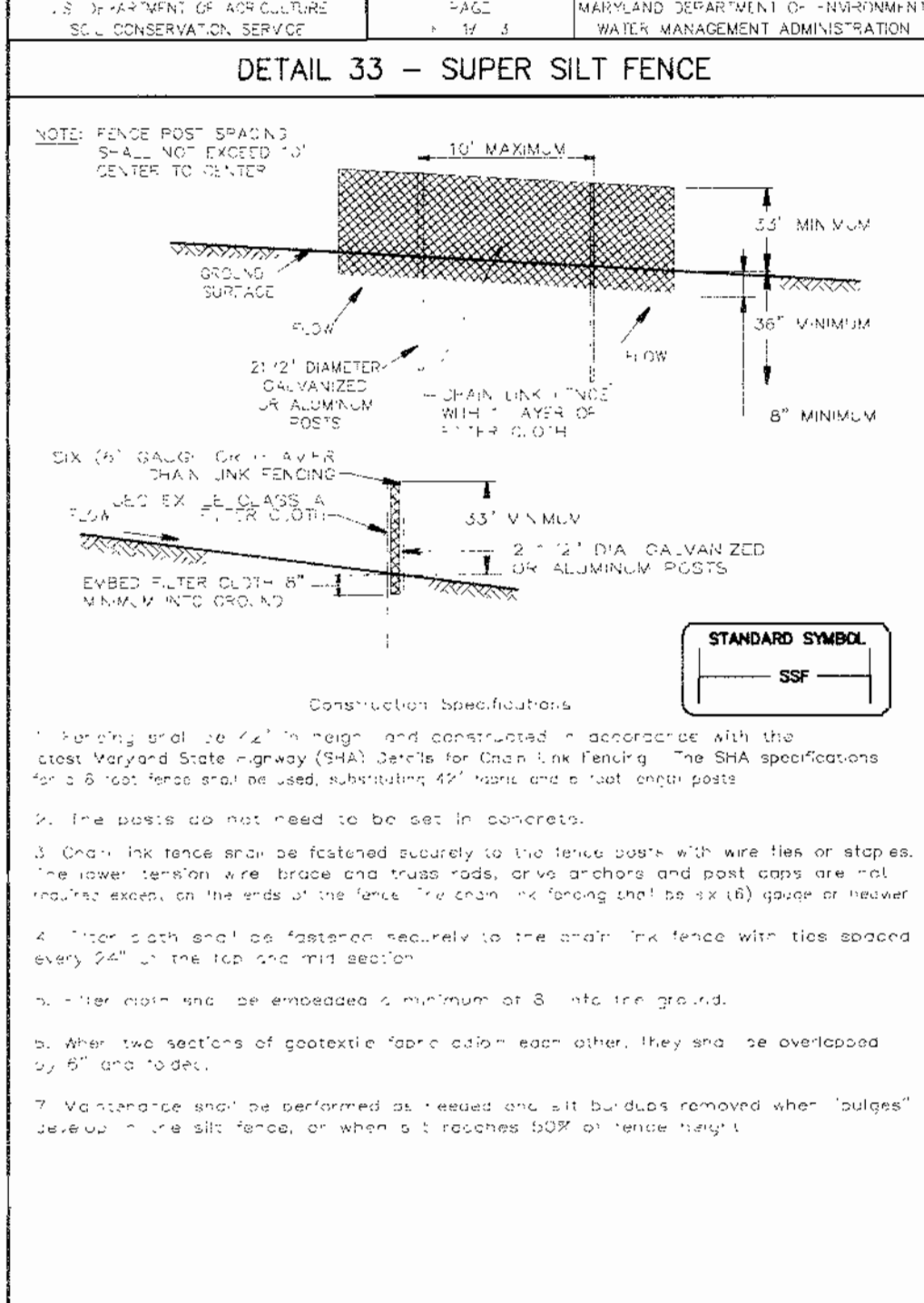
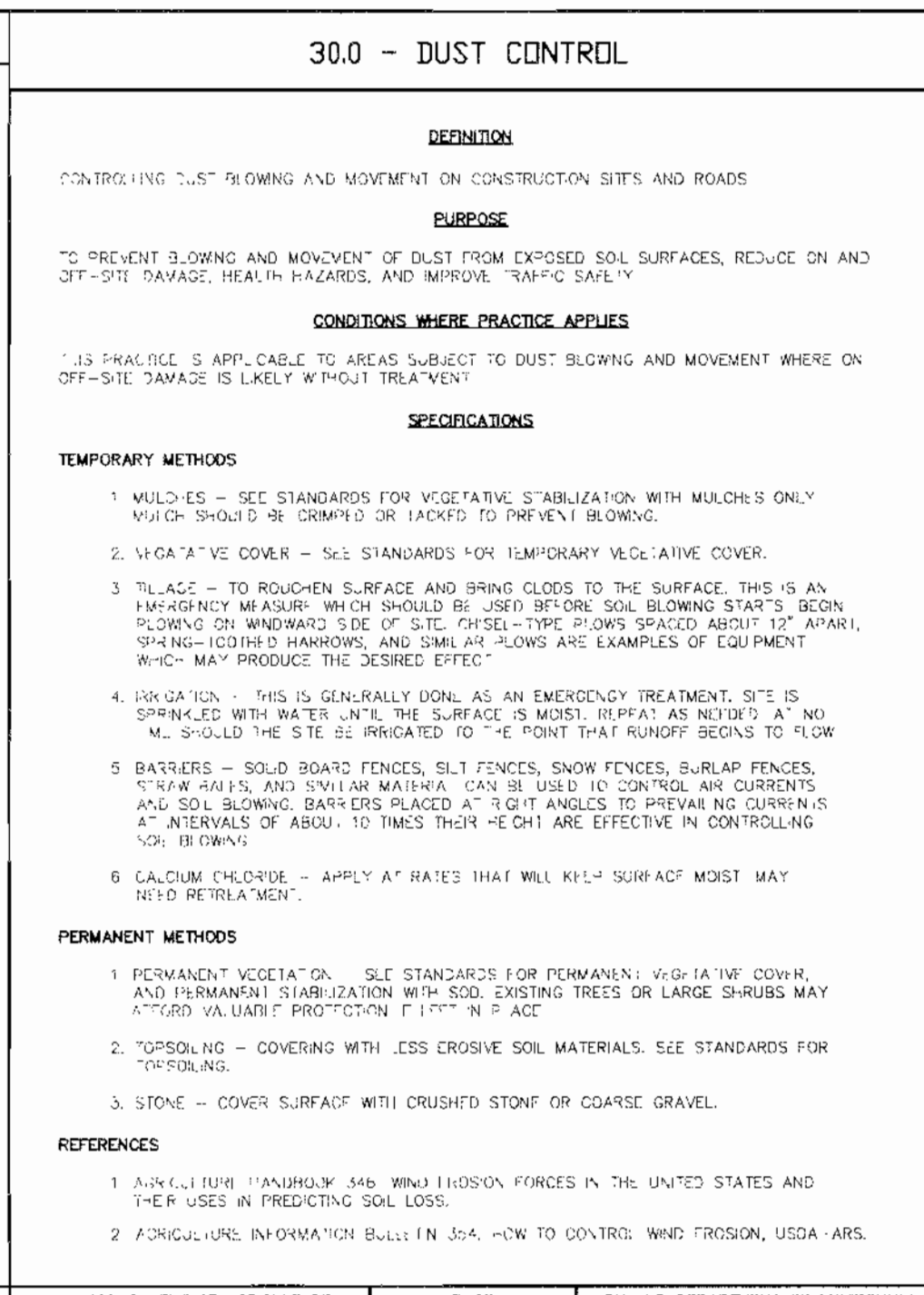
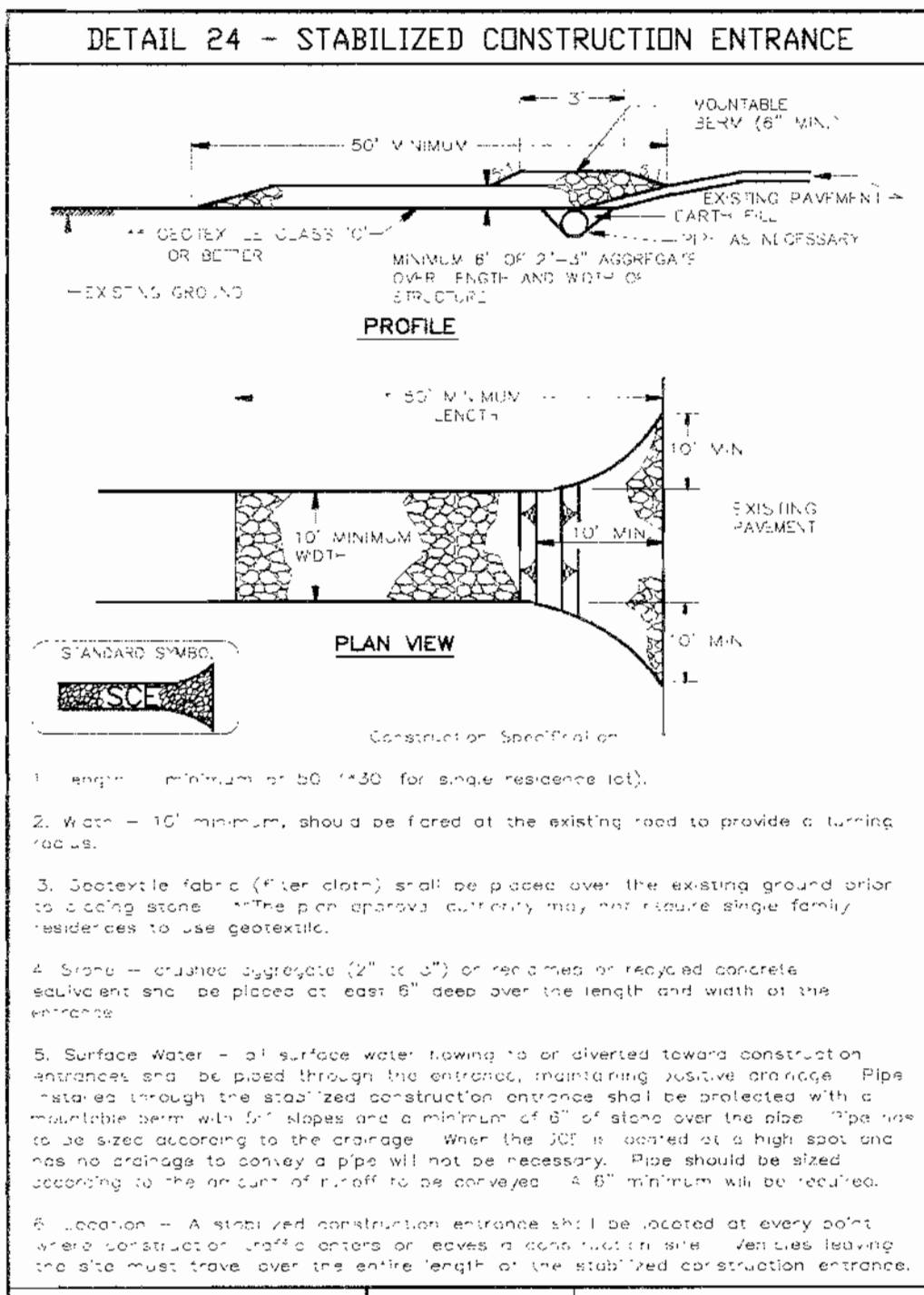
6-28-05  
 DATE  
 DESIGNED BY : CJR/ACR  
 DRAWN BY: MAD  
 PROJECT NO. 11449/3-1/ENGR/  
 PLANS/C200ESC.DWG  
 DATE : JUNE 28, 2005  
 SCALE : 1"=30'  
 DRAWING NO. 4 OF 9

- LEGEND**
- STABILIZED CONSTRUCTION ENTRANCE
  - LIMIT OF DISTURBANCE
  - SUPER SILT FENCE
  - DRAINAGE AREA LINE

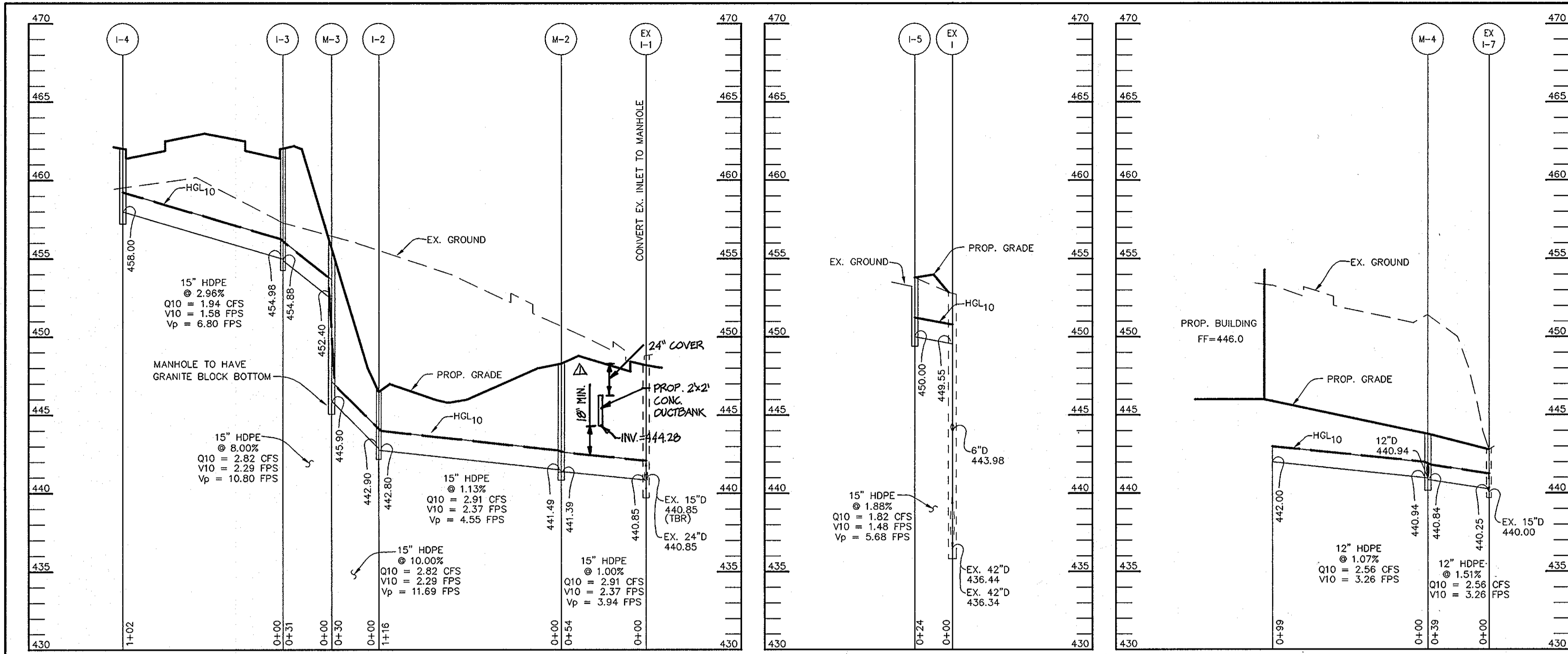


PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31687, EXPIRATION DATE: 11-28-12.

NEW SEAL AND SIGNATURE ARE APPLICABLE ONLY TO REVISIONS.



P:\project\11449\ENGR\PLANS\C901DET.dwg, 06-28-2005 11:15:10 AM, HP7500(36) pgs. 11



**STORM DRAIN PROFILE**

**STORM DRAIN PROFILE**

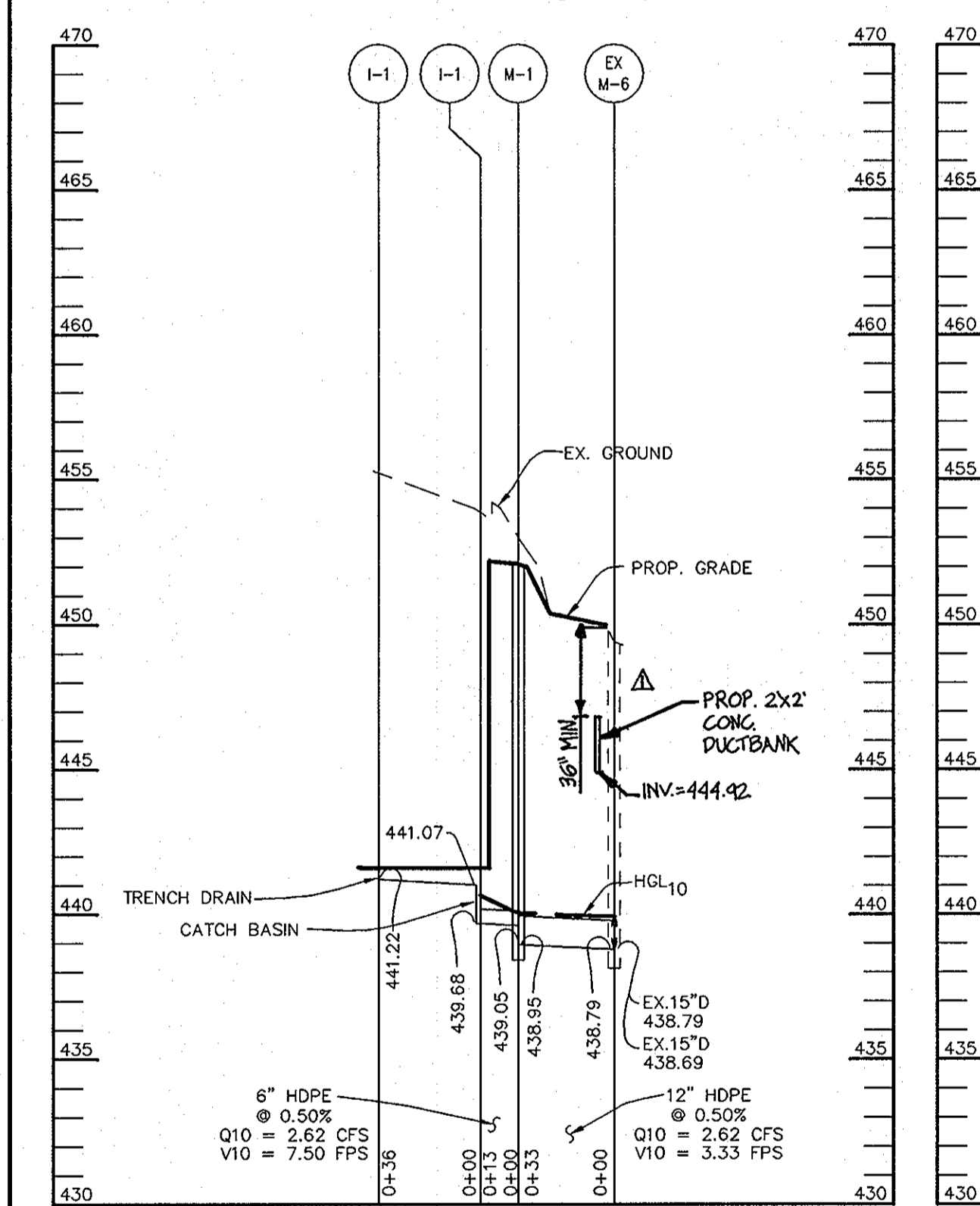
**STORM DRAIN PROFILE**

STRUCTURE SCHEDULE						
STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
I-1	TRENCH DRAIN	SEE PLAN	-	441.07 (6")	441.6	
I-2	MOD 'S'	N 563520 E 1345920	442.90 (15")	442.80 (15")	446.5	SEE DETAIL SHEET 7
I-3	A-5	N 563552.12 E 1345973.62	454.98 (15")	454.88 (15")	462.0	HOCO STD. DETAIL SD-4.40
I-4	A-5	N 563627.89 E 1346038.21	-	458.00 (15")	462.0	HOCO STD. DETAIL SD-4.40
I-5	A-5	N 563672.42 E 1346151.87	-	450.00 (15")	453.8	HOCO STD. DETAIL SD-4.40
M-1	4'-0" DIA.	N 563436 E 1345997	439.05 (8")	438.95 (12")	452.1	HOCO STD. DETAIL G-5.11
M-2	4'-0" DIA.	N 563406 E 1345941	441.49 (15")	441.39 (15")	448.2	HOCO STD. DETAIL G-5.11
M-3	4'-0" DIA.	N 563535 E 1345947	452.40 (15")	445.90 (15")	456.0	HOCO STD. DETAIL G-5.11
M-4	4'-0" DIA.	N 563464 E 1346247	440.84 (12")	440.84 (12")	443.8	HOCO STD. DETAIL G-5.11

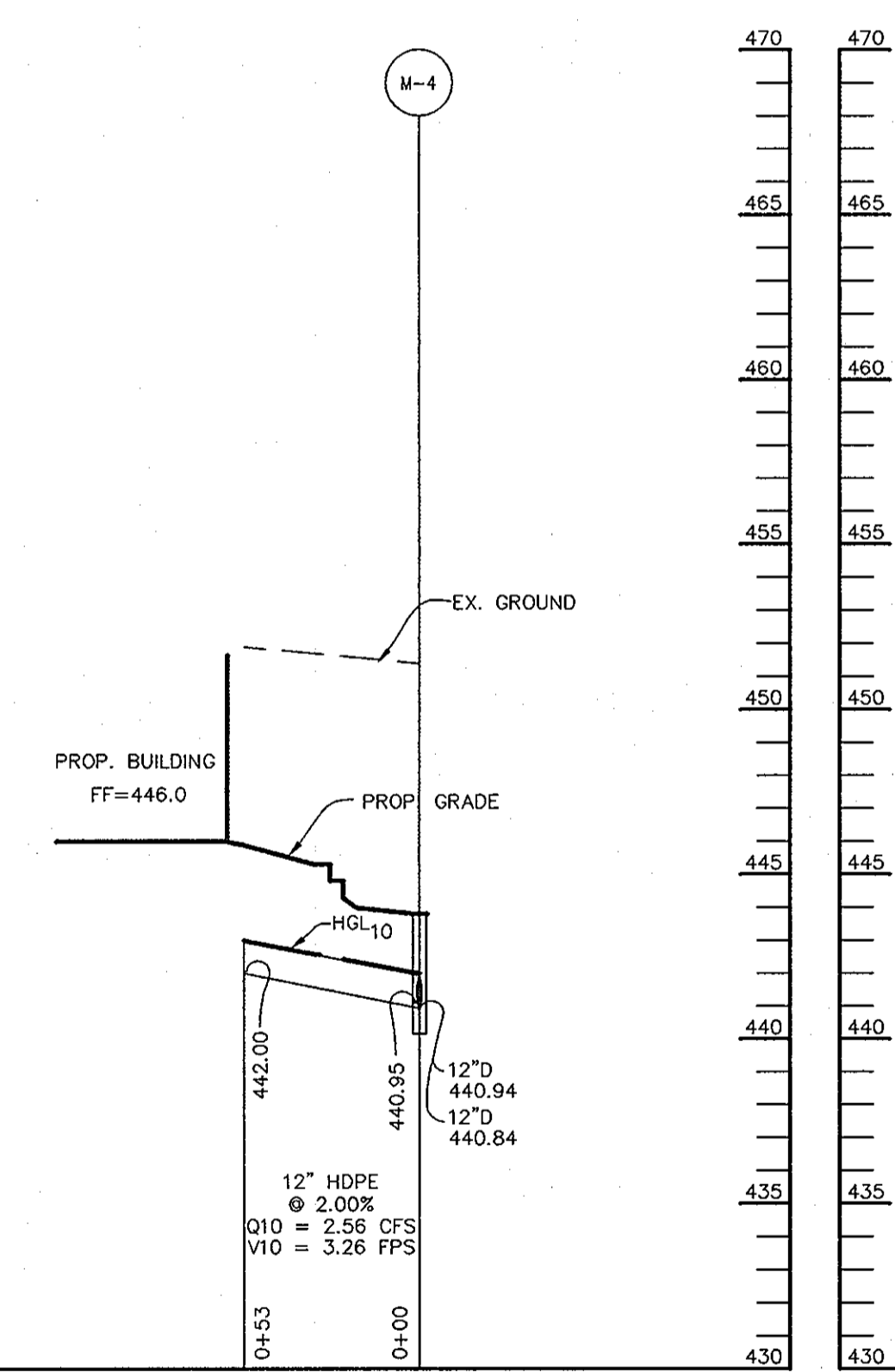
NOTES:  
LOCATION OF YARD INLETS AND MANHOLES IS AT CENTER OF TOP COVER; FOR "A" INLETS LOCATION IS GIVEN FOR CENTER OF THROAT OPENING AT FACE OF CURB;

**PIPE SCHEDULE**

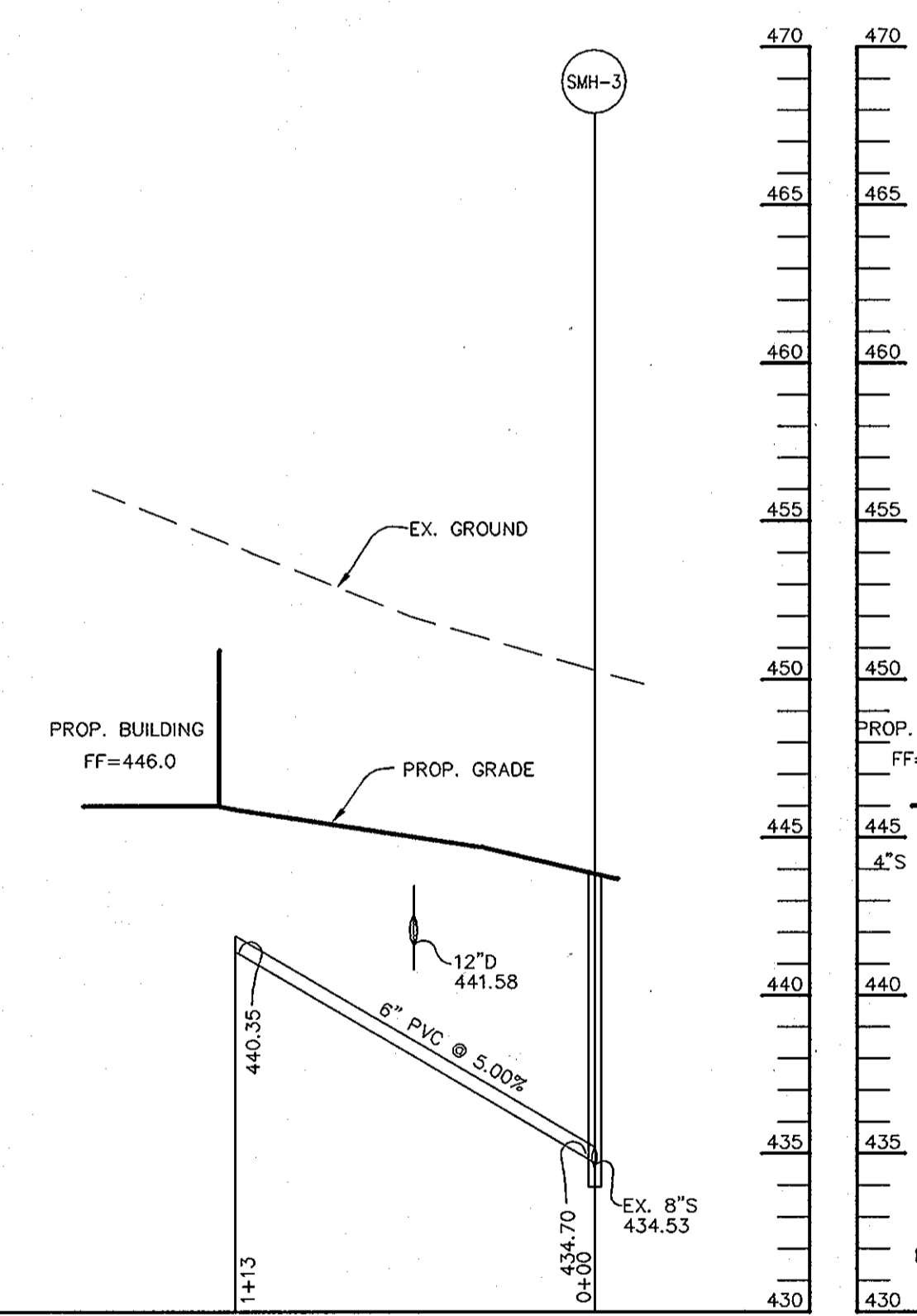
PIPE LENGTH	SIZE	TYPE
13	6"	HDPE
224	12"	HDPE
357	15"	HDPE



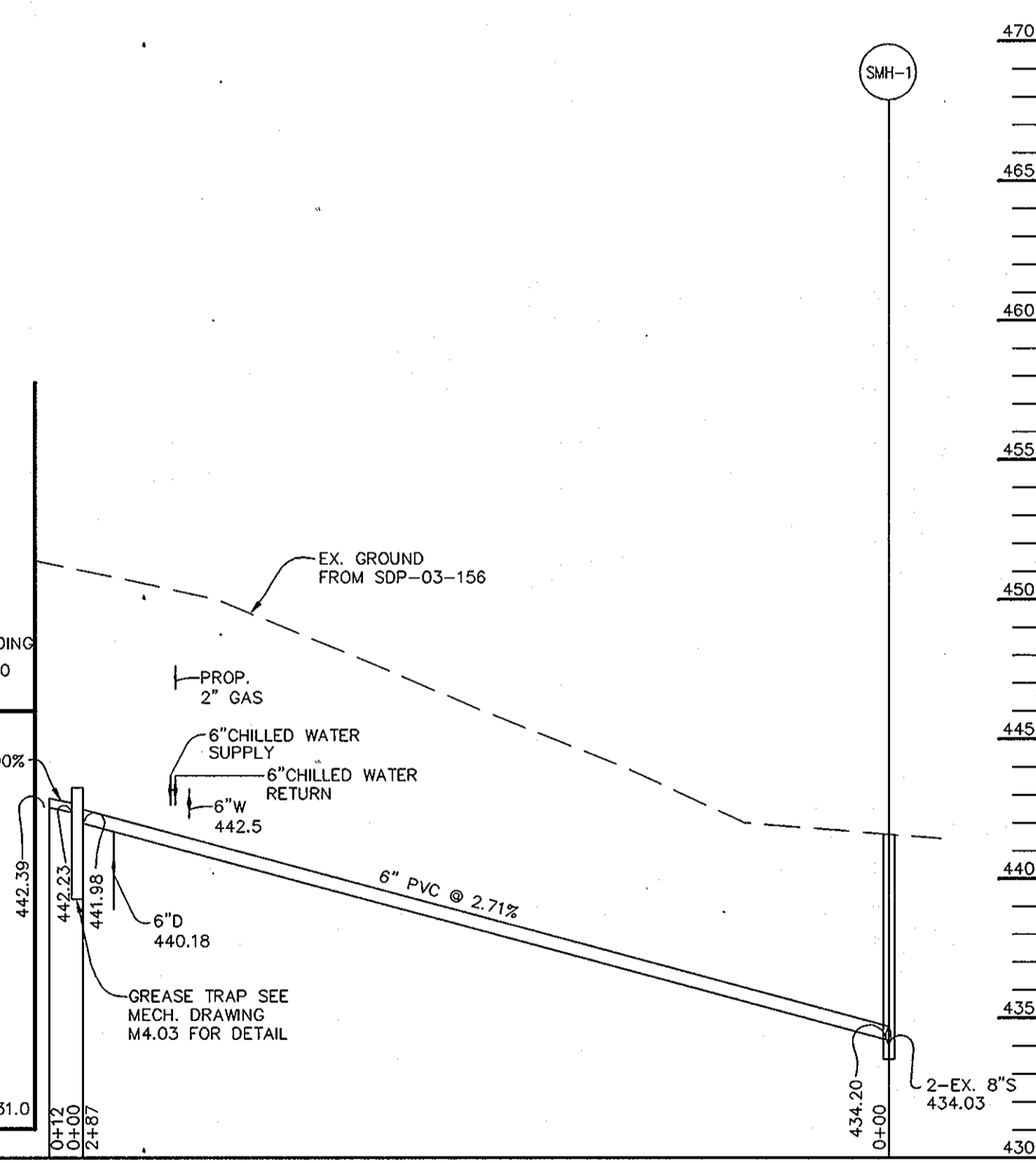
**STORM DRAIN PROFILE**



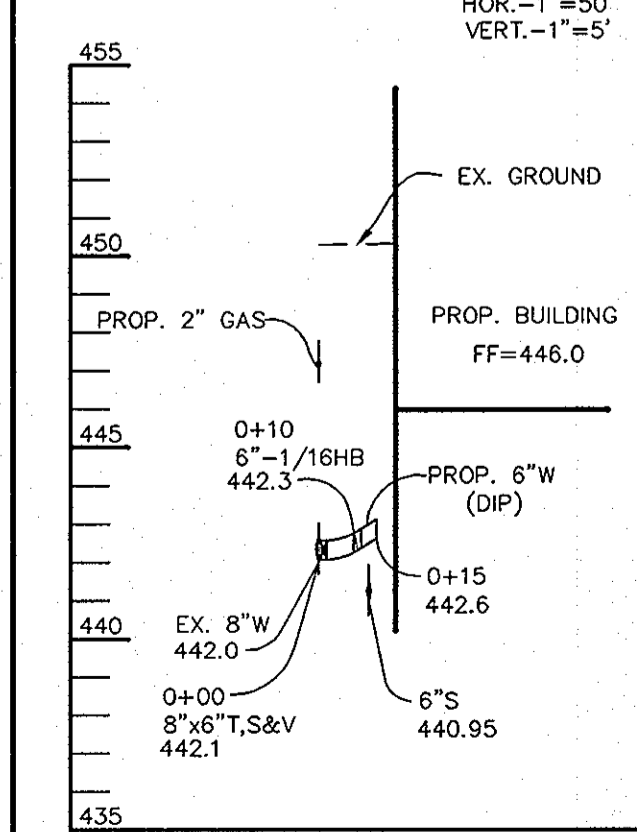
**STORM DRAIN PROFILE**



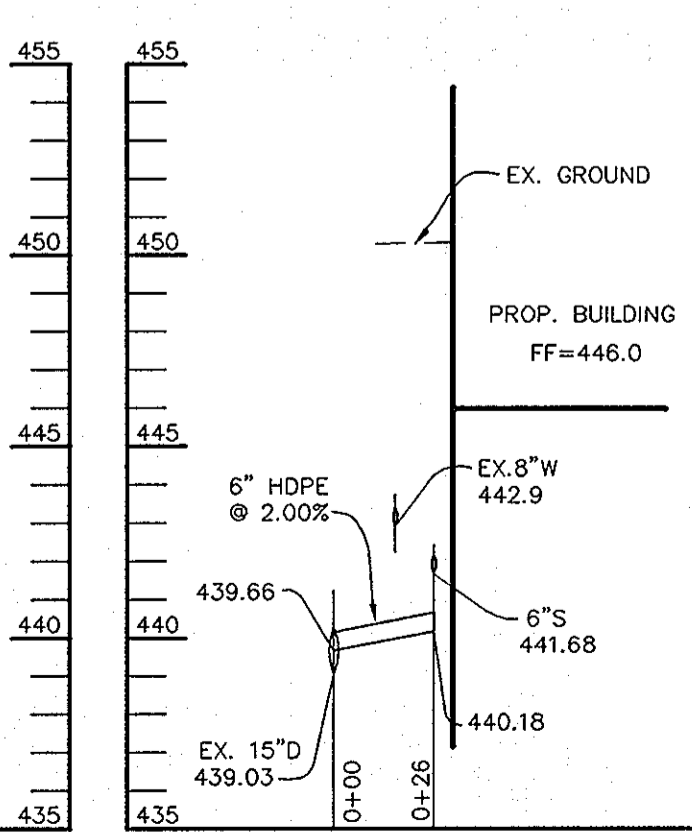
**SEWER PROFILE**



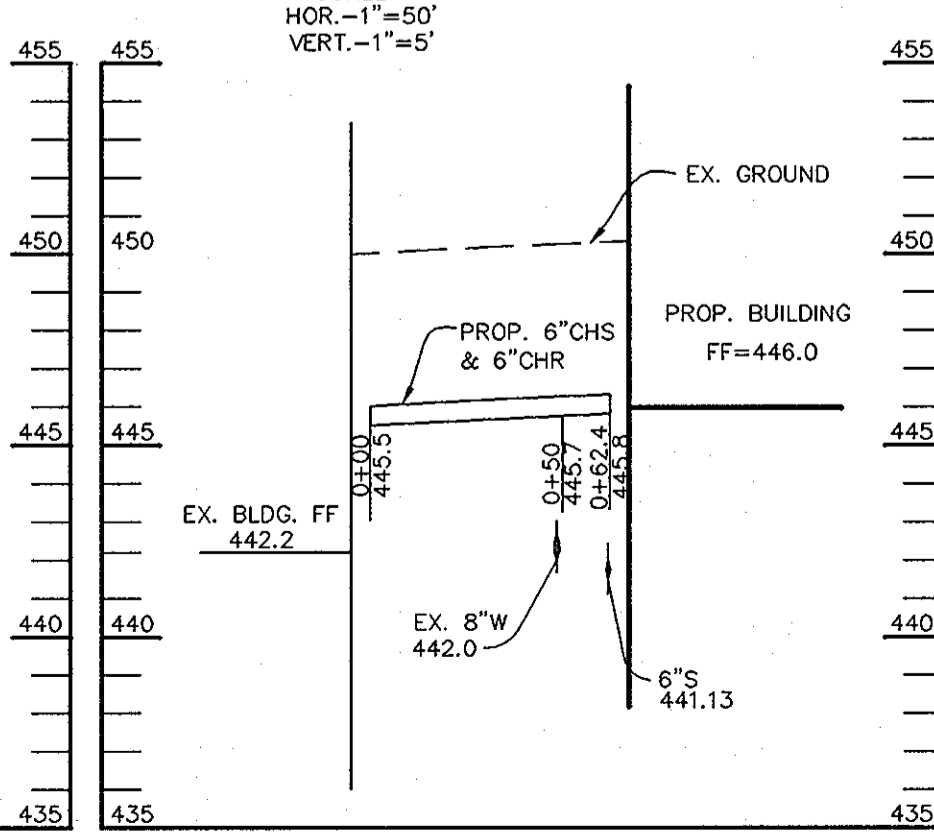
**SEWER PROFILE**



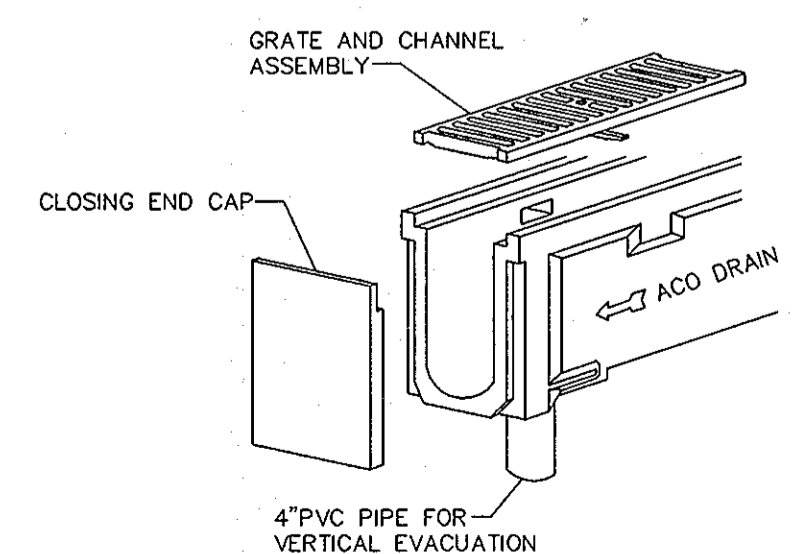
**WATER PROFILE**



**STORM DRAIN PROFILE**



**WATER PROFILE**



**ACO DRAIN DETAIL**

PART NO.	DIMENSIONS	DEPTH
NW 100-1	1M/39.37IN	4.5IN
NW 100-2	1M/39.37IN	4.8IN
NW 100-3	1M/39.37IN	5.0IN
NW 100-4	1M/39.37IN	5.3IN
NW 100-5	1M/39.37IN	5.5IN
NW 100-6	1M/39.37IN	5.7IN
NW 100-7	1M/39.37IN	6.0IN
NW 100-8	1M/39.37IN	6.2IN
NW 100-9	1M/39.37IN	6.4IN
NW 100-103	0.5M/19.7IN	6.4IN
NW 100-10	1M/39.37IN	6.7IN
900 SERIES CATCH BASIN	0.5M/19.7IN	23IN

THE SURFACE DRAINAGE SYSTEM SHALL BE ACO XHD 475 AS SUPPLIED BY ACO POLYMER PRODUCTS, INC., CHAROON, OHIO. THE SYSTEM SHALL BE 4" NOMINAL INTERNAL WIDTH AND MANUFACTURED WITH A CONTINUOUS SLOPE OF 0.6%. THE CHANNEL IRON FRAME AND GRATING SHALL BE DESIGNED TO WITHSTAND LOADINGS UP TO CLASS E (135,000 LBS).

THE CHANNELS SHALL BE MADE OF POLYESTER OR VINYLESTER CONCRETE MATERIAL WITH A DUCTILE IRON FLOW AND GRATING. LOCKING BARS SHALL BE INSTALLED IN THE PREFORMED RECESSES OF INSIDE CHANNEL WALLS AND THE GRATING SHALL BE LOCKED SECURELY IN POSITION BY BOLTING TO LOCKING BARS USING TWO STEEL BOLTS TO EACH METER LENGTH OF CHANNEL. MATERIAL WATER ABSORPTION RATE SHALL NOT EXCEED 0.1% BY WEIGHT. MATERIAL SHALL BE DESIGNED TO WITHSTAND A COMPRESSIVE STRENGTH RANGE BETWEEN 11,000 - 15,000 PSI. TENSILE STRESS OF 2,800 PSE. FLEXURAL STRENGTH OF 2,900 PSI, SALT PROOF, FROST PROOF AND RESILIENT TO DILUTE ACIDS AND ALKALIS.

THE CHANNEL SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31089, EXPIRATION DATE: 11-21-12.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: *Martha M. Lyle* DATE: 2/14/15

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 2/14/15

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 2/18/15

DATE: 3-14-2011

REVISION: ADD 2x2' CONC. DUCT BANK - APPROXIMATELY 600LF

OWNER / DEVELOPER: HOWARD COMMUNITY COLLEGE, 10901 LITTLE PATUXENT PARKWAY, COLUMBIA, MARYLAND 21044-3197, ATTN: MR. JAMES O. LASH, 410-772-4296

PROJECT: HOWARD COMMUNITY COLLEGE STUDENT SERVICES BUILDING

AREA: PARCEL 47 ZONED POR & NT, TAX MAP NO. 35, 36 BLOCK 6 & 1, 5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: PROFILES

Patton Harris Rust & Associates, pc  
Engineers, Surveyors, Planners, Landscape Architects.  
8818 Centre Park Drive, Columbia, MD 21045  
T 410.997.8900, F 410.997.9282

DATE: 6-28-05

DESIGNED BY: CJR/ACR

DRAWN BY: MAD

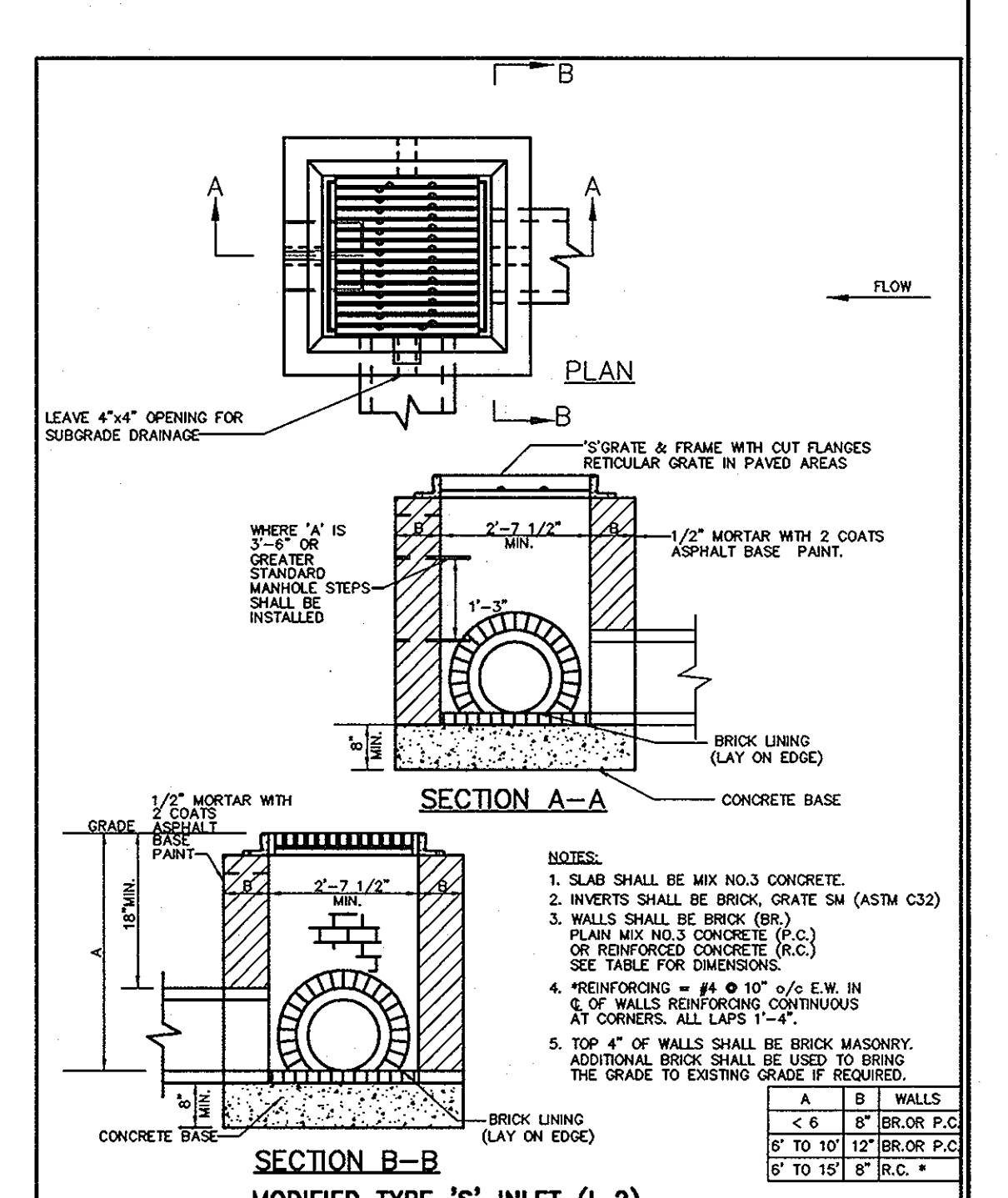
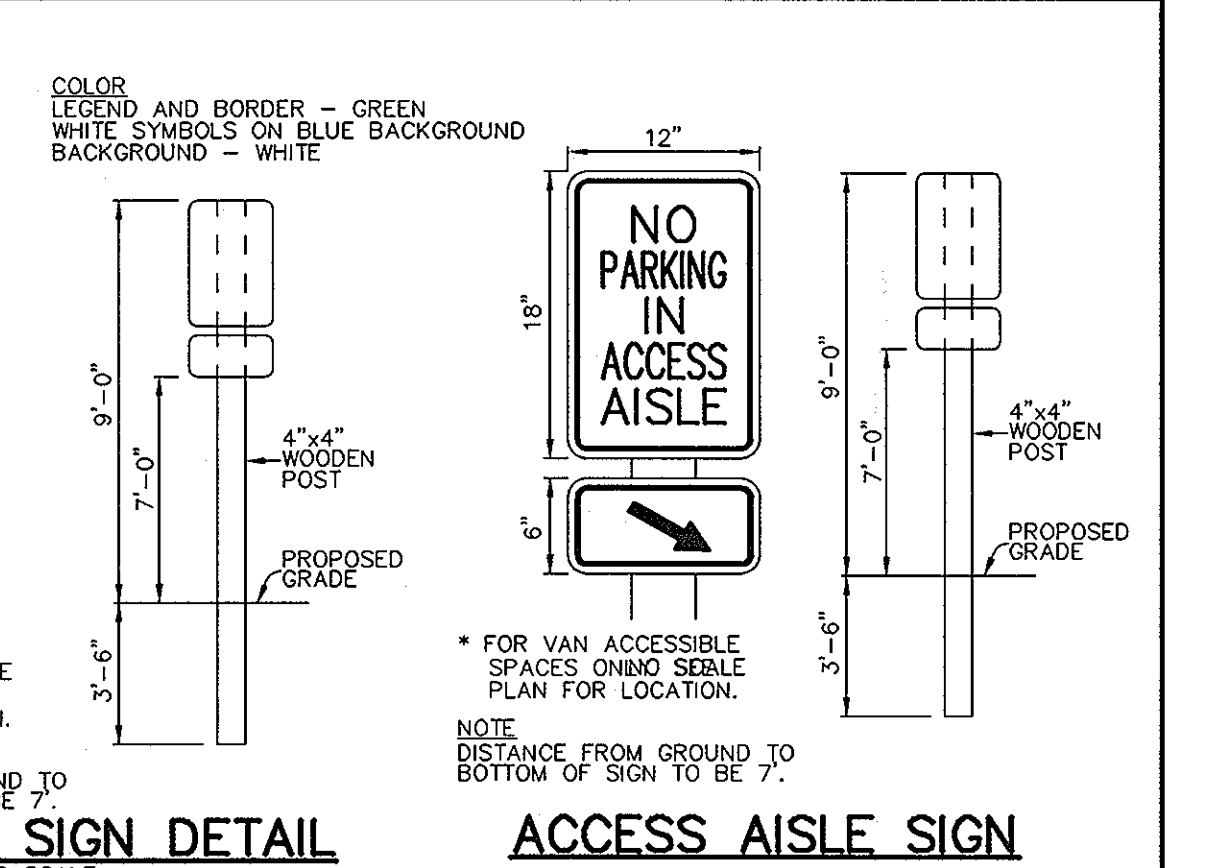
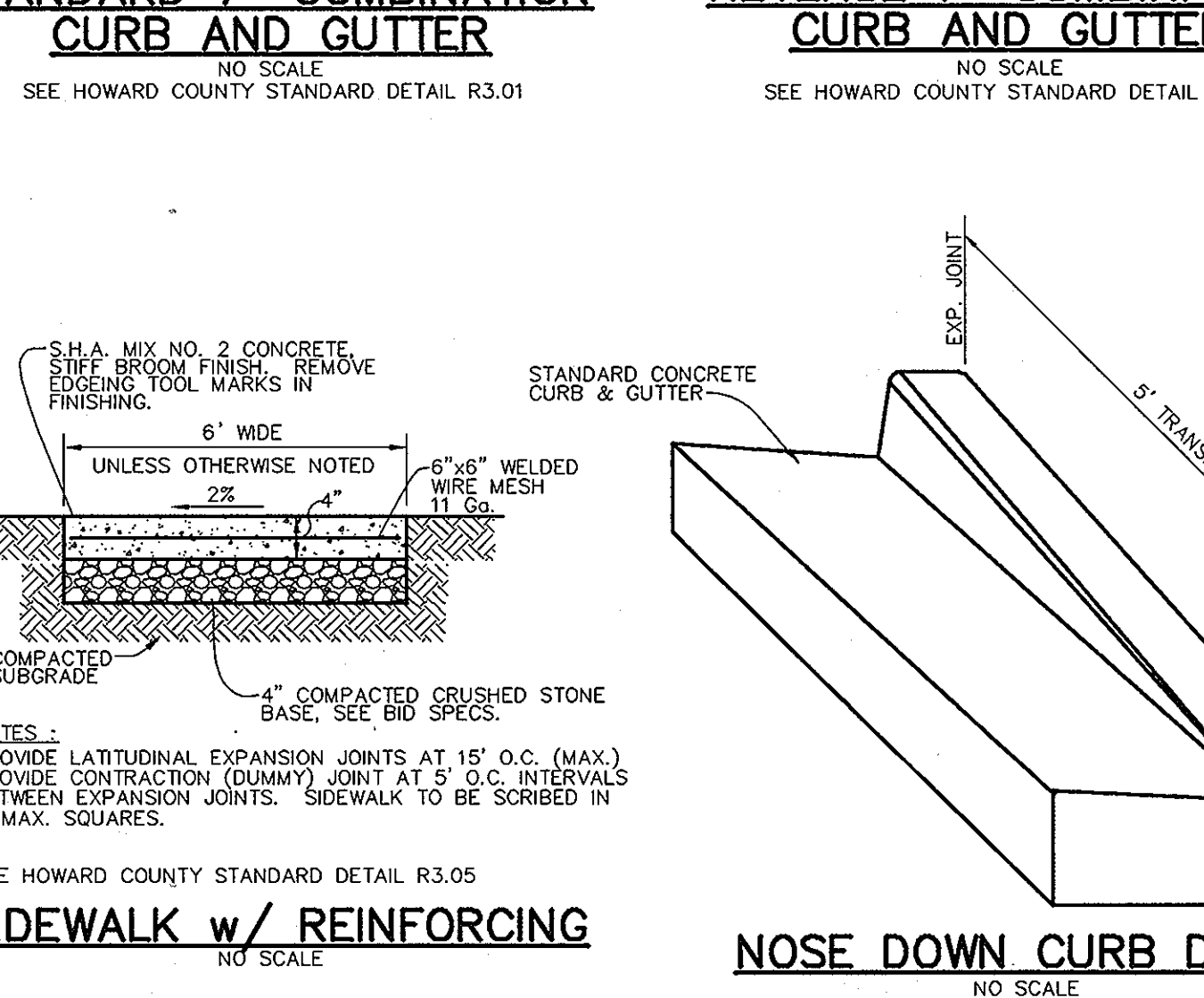
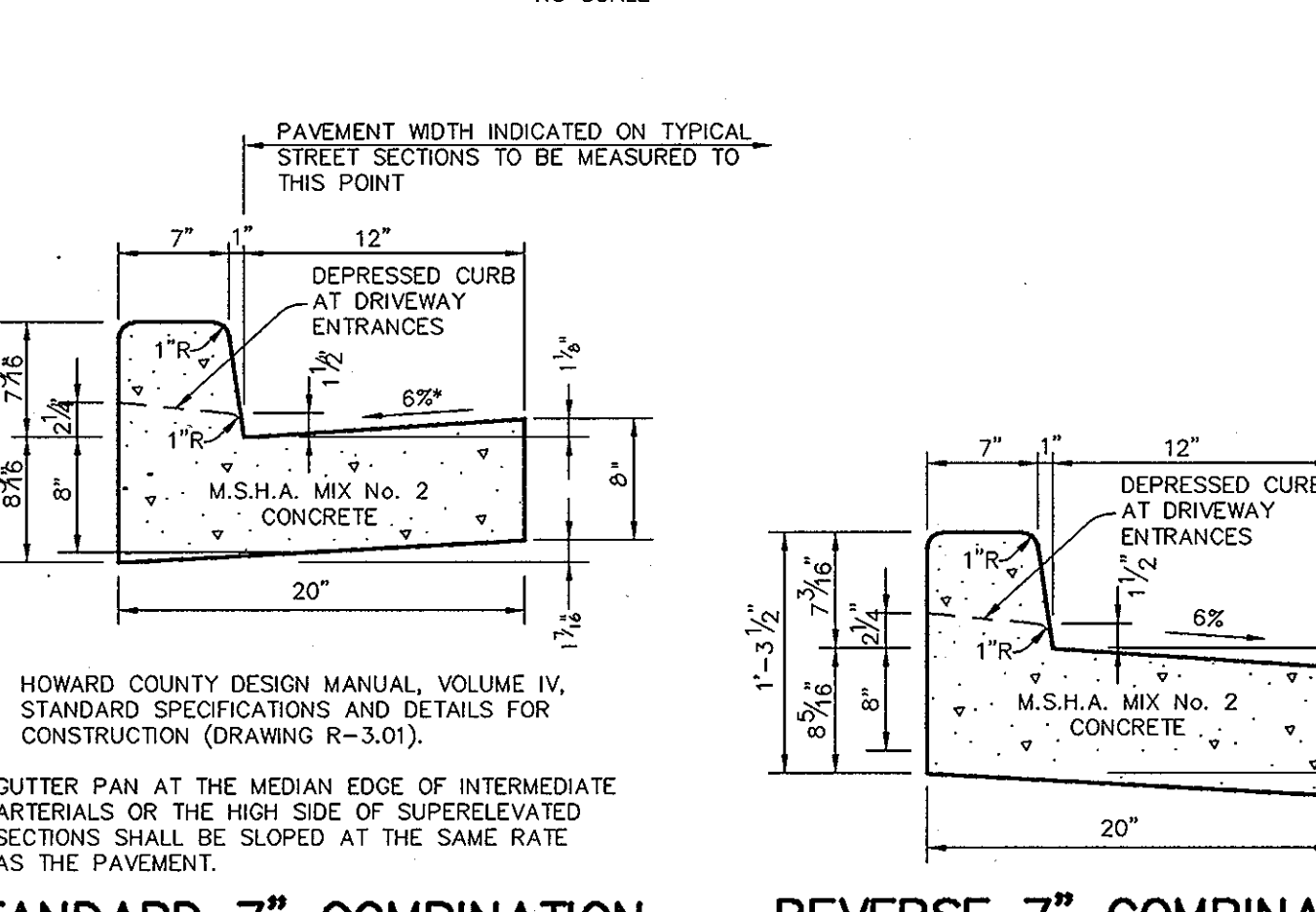
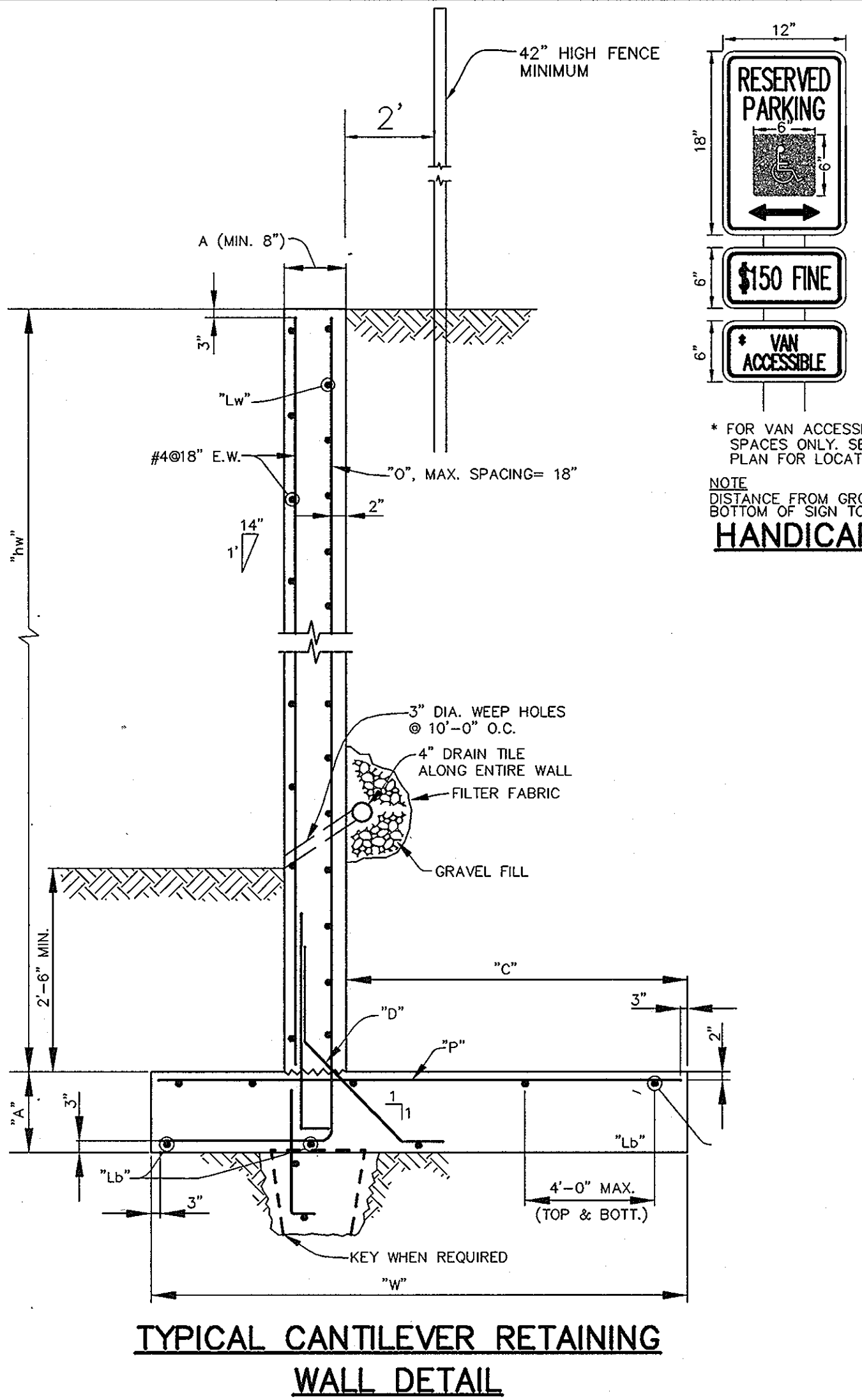
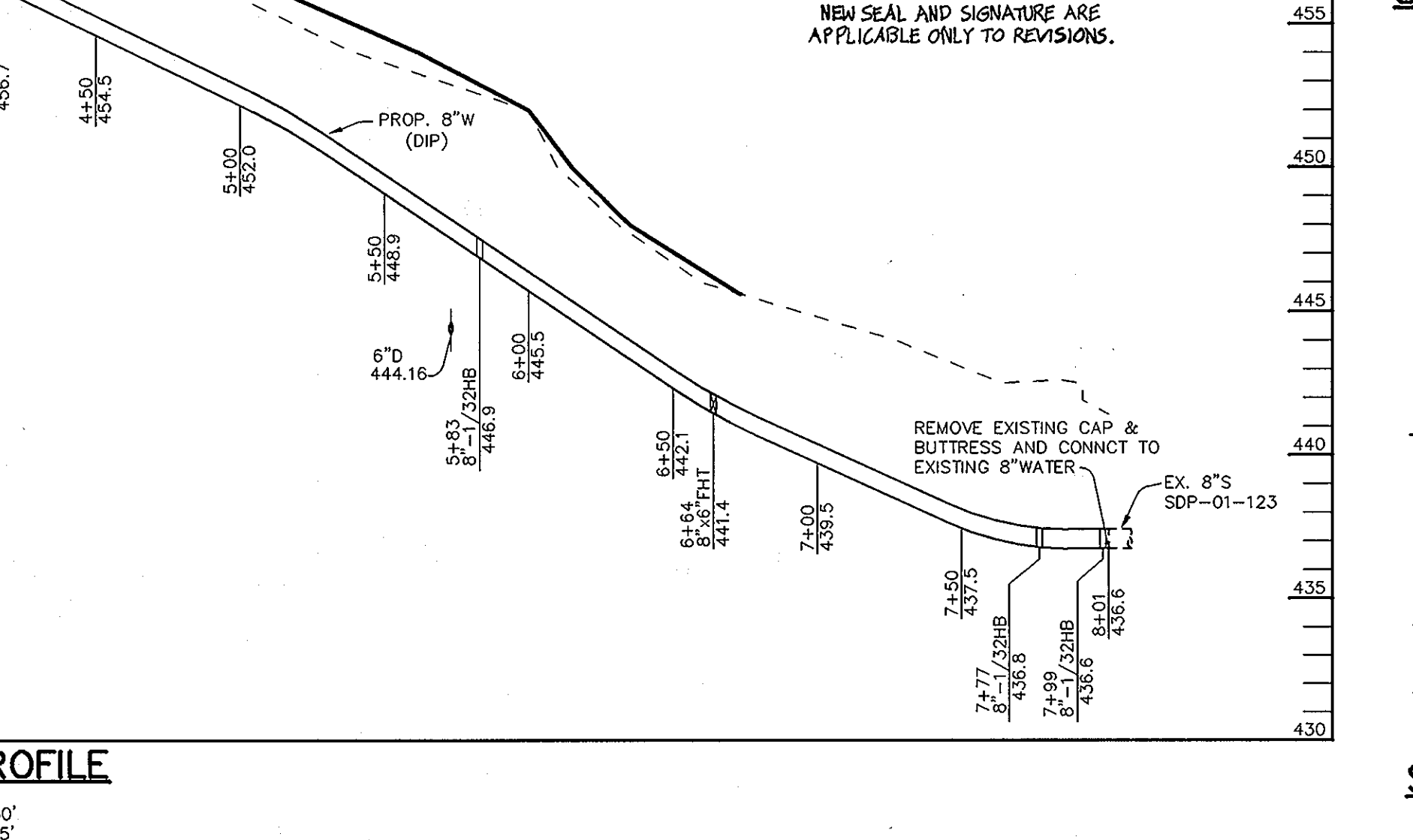
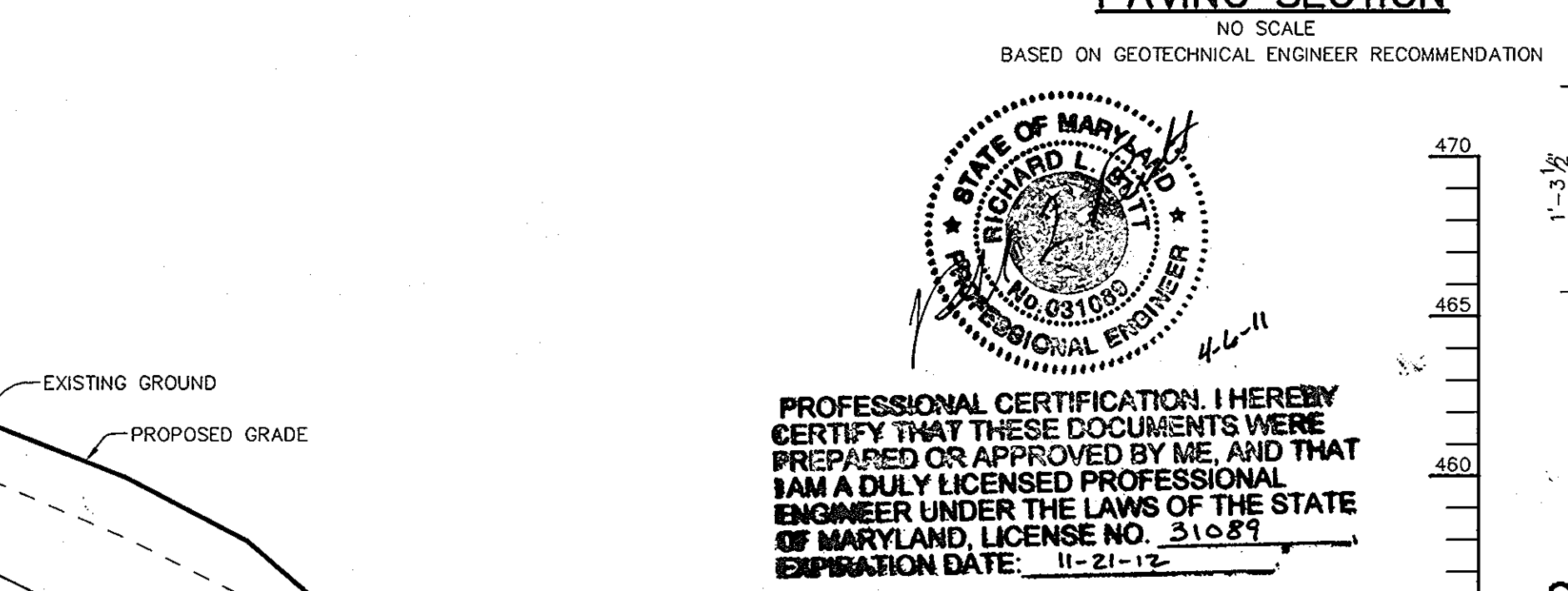
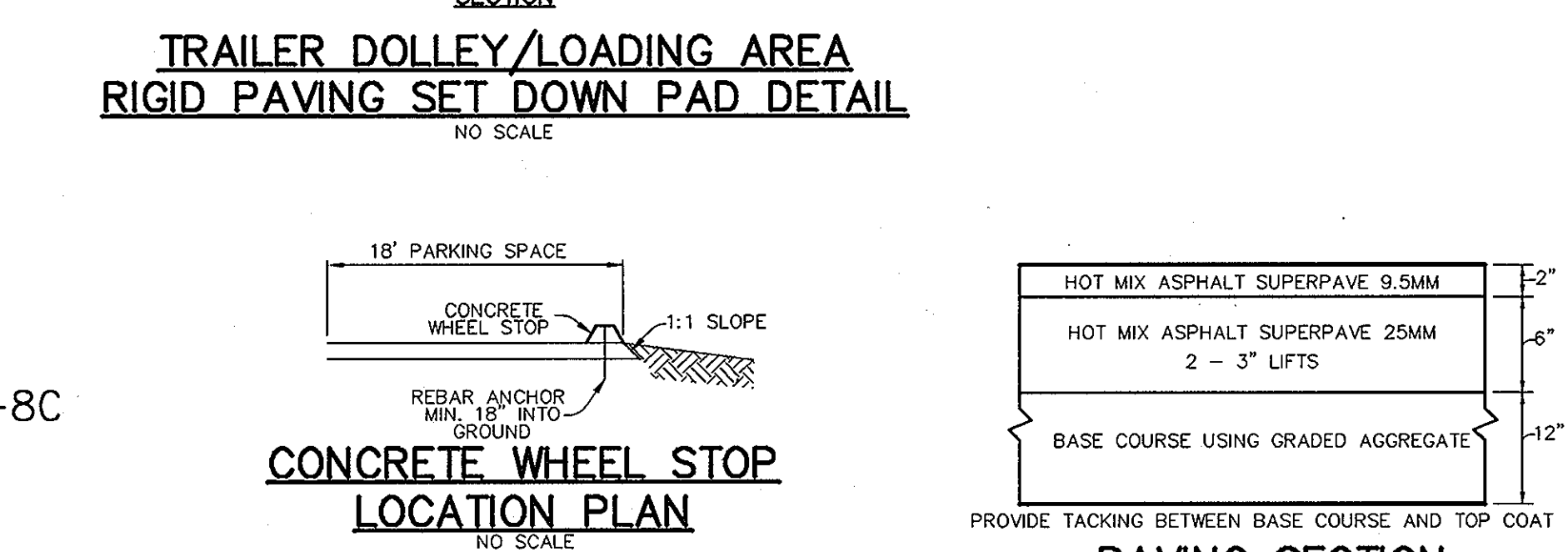
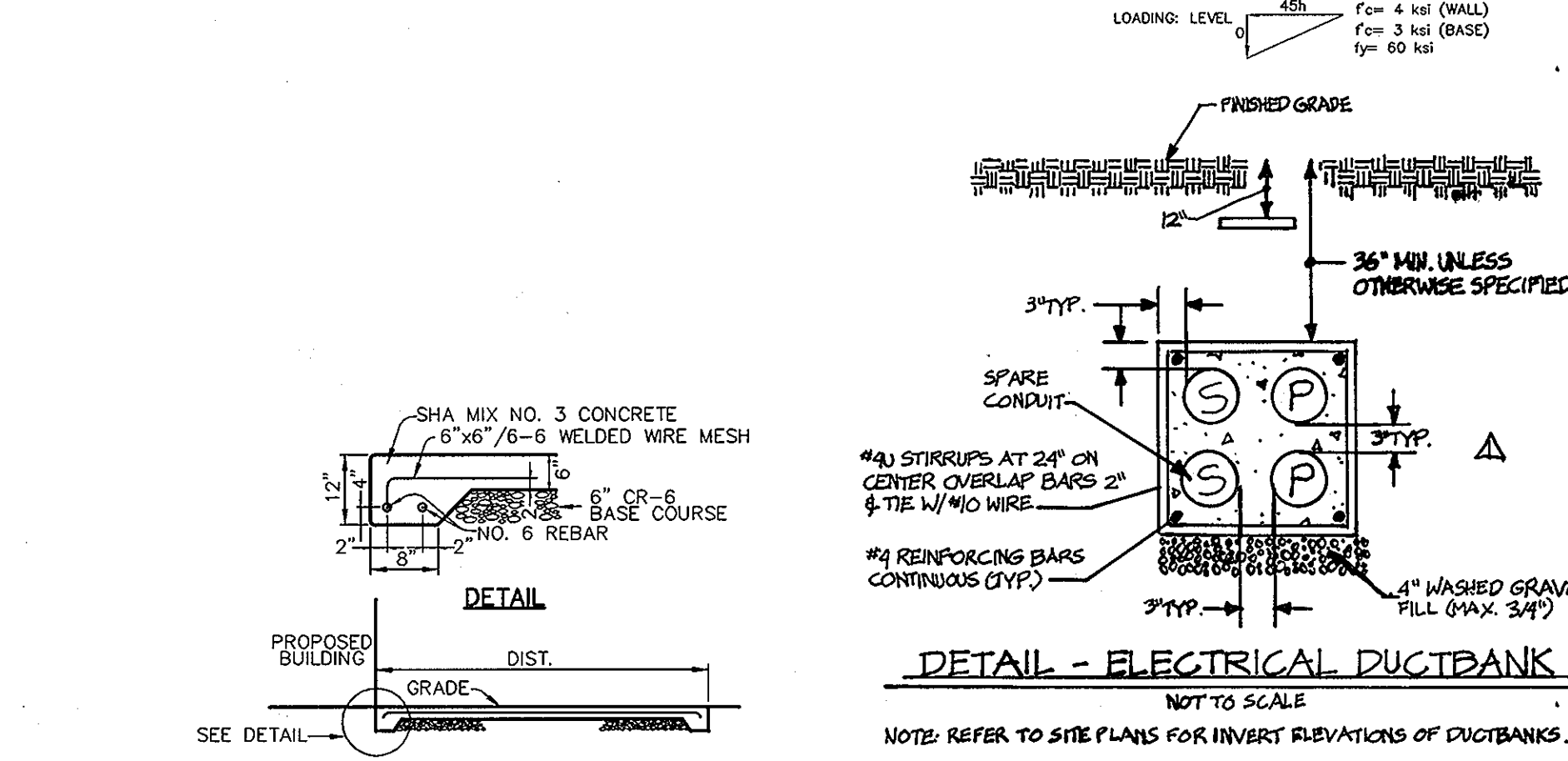
PROJECT NO. 11449/3-1/ENGR/PLANS/C700PRO.DWG

DATE: JUNE 28, 2005

SCALE: AS SHOWN

DRAWING NO. 6 OF 9

CANTILEVER RETAINING WALLS											
CONCRETE DIMENSIONS			BASE REINFORCEMENT		STEM		KEY				
HEIGHT ABOVE BASE	WIDTH OF WALL	HEEL	WIDTH OF BASE	"0" BARS DOWELS INTO STEM	"0" BARS DIAGONAL CORNER BARS	"1" BARS LONGITUDINAL	"1" BARS TOP	"1" BARS STRAIGHT LENGTHS	"1" BARS LONGITUDINAL	SIZE	"1" BARS INTO KEYS
ft.	in.	ft.-in.	ft.-in.	SIZE-SPACING	SHORT DOWEL	SIZE-SPACING	NUMBER-SIZE	SIZE-SPACING	SIZE-SPACING	in. x in.	SIZE-SPACE
3	8	1'-0"	2'-1"	#4@18	NONE	#4@18	4-#4	#4@18	NONE	#4@12	-
4	8	1'-7"	2'-8"	#4@18	NONE	#4@18	4-#4	#4@18	NONE	#4@12	-
5	8	2'-2"	3'-3"	#4@18	NONE	#4@18	4-#4	#4@18	NONE	#4@12	-
6	8	2'-5"	3'-9"	#4@18	NONE	#4@18	4-#4	#4@18	NONE	#4@12	-
7	8	2'-6"	4'-2"	#4@14	NONE	#4@14	4-#4	#4@14	NONE	#4@12	-
8	12	2'-8"	4'-8"	#4@14	NONE	#4@14	4-#4	#4@14	NONE	#4@12	-
9	12	3'-2"	5'-2"	#4@11	NONE	#4@11	4-#4	#4@11	NONE	#4@12	-
10	12	3'-7"	5'-9"	#5@12	NONE	#5@12	4-#4	#5@12	NONE	#4@12	-
11	13	4'-1"	6'-7"	#5@9	1'-0"	#4@9	4-#4	#4@9	#5@12	#4@12	-
12	14	4'-7"	7'-3"	#5@9	1'-0"	#4@9	4-#4	#5@9	#4@9	#4@12	-
13	14	5'-0"	7'-10"	#5@9	1'-3"	#4@9	4-#4	#5@9	#5@12	12x12	#4@18
14	15	5'-3"	8'-5"	#5@9	1'-4"	#4@9	6-#7	#5@9	#5@12	12x12	#4@18
15	16	5'-9"	9'-0"	#7@9	1'-9"	#4@9	6-#7	#5@9	#5@11	12x12	#4@18
16	17	6'-2"	9'-7"	#7@9	1'-9"	#5@9	6-#7	#5@9	#7@14	12x12	#4@18
17	18	6'-7"	10'-3"	#5@9	2'-4"	#5@9	7-#7	#7@9	#7@13	12x12	#4@18
18	18	7'-1"	10'-10"	#5@9	2'-4"	#5@9	7-#7	#7@9	#7@13	12x12	#4@18
19	19	7'-5"	11'-5"	#5@9	2'-11"	#5@9	7-#8	#5@9	#7@12	14x18	#5@18
20	20	7'-10"	12'-0"	#5@9	2'-11"	#5@9	7-#8	#5@9	#7@12	14x18	#5@18
21	21	8'-2"	12'-7"	#5@9	2'-11"	#5@9	7-#8	#5@9	#7@12	14x18	#5@18
22	23	8'-7"	13'-3"	#10@9	3'-9"	#5@9	7-#8	#7@9	#5@14	14x18	#5@18



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Mark J. Laughlin* 7/20/05  
DIRECTOR DATE

*Mark J. Laughlin* 7/14/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Linda Horvath* 7/18/05  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

3-14-2011 ADD 2X2 CONC. DUCT BANK - APPROXIMATELY 600LF

DATE NO. REVISION

OWNER / DEVELOPER  
HOWARD COMMUNITY COLLEGE  
10901 LITTLE PATUMENT PARKWAY  
COLUMBIA, MARYLAND 21044-3197  
ATTN: MR. JAMES O. LASH  
410-772-4296

PROJECT  
**HOWARD COMMUNITY COLLEGE STUDENT SERVICES BUILDING**

AREA  
PARCEL 47 ZONED POR & NT  
TAX MAP NO. 35, 36 BLOCK 6 & 1  
5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
**DETAILS**

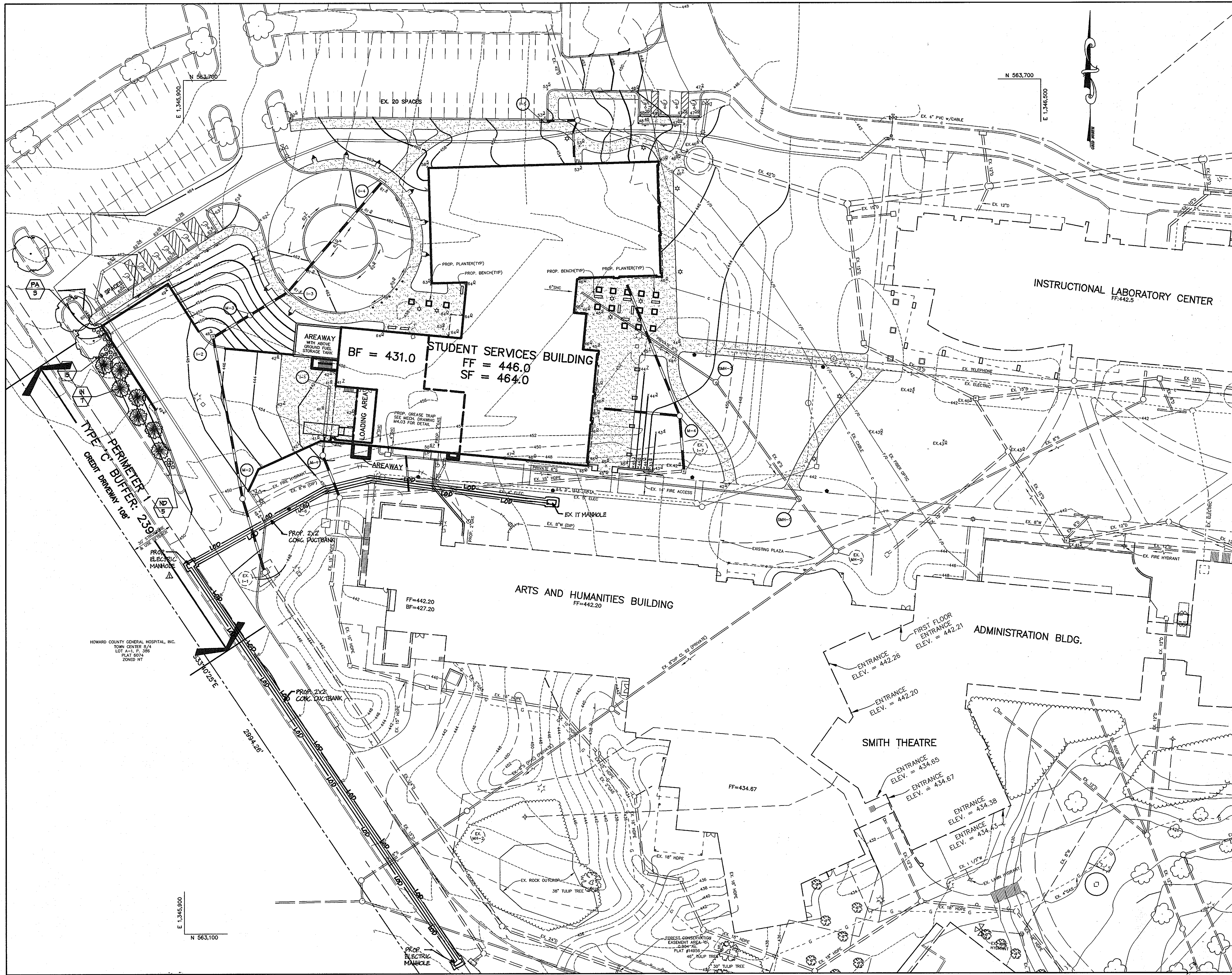
Patton Harris Rust & Associates, pc  
Engineers, Surveyors, Planners, Landscape Architects.  
8818 Centre Park Drive  
Columbia, MD 21045  
T 410.997.8900  
F 410.997.9282

6-28-05  
DATE OF REVISION

DESIGNED BY: CJR/ACR  
DRAWN BY: MAD  
PROJECT NO. 11449/3-1/ENGR/PLANS/C900DET.DWG  
DATE: JUNE 28, 2005  
SCALE: 1"=30'  
DRAWING NO. 7 OF 9

AIMER C. REMINGTON 49923

SDP-05-102



**LEGEND**

PROPERTY LINE	
CONTOUR LINES	
PROP. SHADE TREE	
PROP. EVERGREEN TREE	
PROP. ORNAMENTAL TREE	
PROP. SHRUBS	
PERIMETER LANDSCAPE REQUIREMENT	
PERIMETER LANDSCAPE EDGE LIMITS	



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31089, EXPIRATION DATE: 11-21-12.

NEW SEAL AND SIGNATURE ARE APPLICABLE ONLY TO REVISIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

<i>Mark P. Gyle</i>	7/10/05
DIRECTOR	DATE
<i>Michael...</i>	7/14/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Wanda...</i>	7/18/05
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

3-14-2011	ADD 2x2 CONC. DUCT BANK - APPROXIMATELY 600LF
DATE NO.	REVISION

OWNER / DEVELOPER  
 HOWARD COMMUNITY COLLEGE  
 10901 LITTLE PATUXENT PARKWAY  
 COLUMBIA, MARYLAND 21044-3197  
 ATTN: MR. JAMES O. LASH  
 410-772-4296

PROJECT  
**HOWARD COMMUNITY COLLEGE  
 STUDENT SERVICES BUILDING**

AREA  
 PARCEL 47 ZONED POR & NT  
 TAX MAP NO. 35, 36 BLOCK 6 & 1  
 5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
**LANDSCAPE PLAN**

Patton Harris Rust & Associates, pc  
 Engineers, Surveyors, Planners, Landscape Architects.  
 8818 Centre Park Drive  
 Columbia, MD 21045  
 T 410.997.8900  
 F 410.997.9282

DATE	DESIGNED BY: ALC
	DRAWN BY: ALC
	PROJECT NO. 11449/3-1/ENGR/ PLANS/L200LND.DWG
	DATE: JUNE 28, 2005
	SCALE: 1"=30'
	DRAWING NO. 8 OF 9



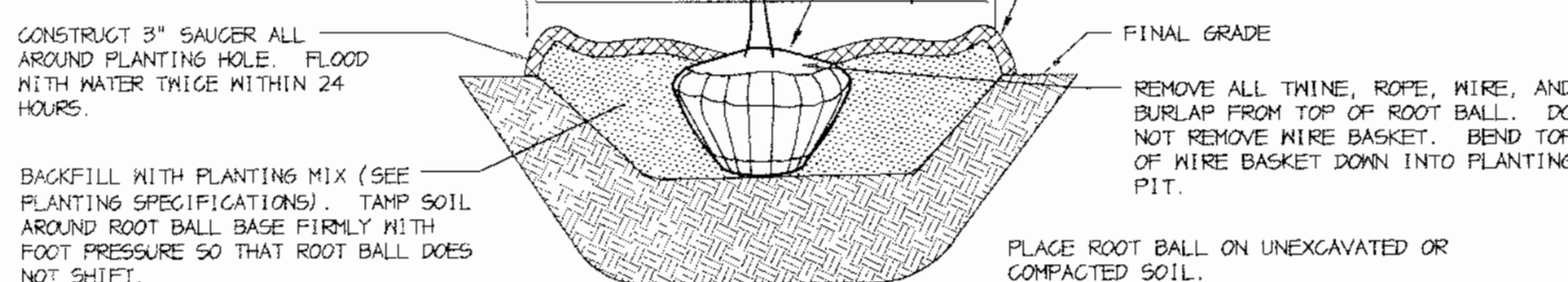
SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	1
NUMBER OF PARKING SPACES TO BE REMOVED	187
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	0
NUMBER OF ISLANDS PROVIDED	1

\* THIS PLAN REMOVES 187 PARKING SPACES. THE RESULTING PARKING LOT HAS EXISTING LANDSCAPED ISLANDS. WE ARE PROVIDING ONE NEW TREE TO FILL THE ONLY UNPLANTED ISLAND.

PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC/ COMMON NAME	SIZE	ROOT	REMARKS
PA	1	Platanus x acerifolia 'Bloodgood' Bloodgood London Planetree	2.5" cal.	B&B	Plant as shown
IN	7	Ilex x 'Nellie R. Stevens' Nellie Stevens Holly	6'-8' ht.	B&B	Plant as shown
ND	20	Nandina domestica 'Gulf Stream' Gulf Stream Nandina	24-30' ht.	Cont.	Plant as shown

NOTES:

1. SELECT ONLY NURSERY STOCK WITH A SINGLE LEADER UNLESS OTHERWISE SPECIFIED ON PLAN. PLANTS WITH CO-DOMINANT, MISSING, OR DAMAGED LEADERS SHALL BE REJECTED.
2. STAKE TREES ONLY IF RECOMMENDED ON THE PLANT SCHEDULE OR UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. STAKING DETAIL SHOWN ONLY IF RECOMMENDED.
3. DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5".

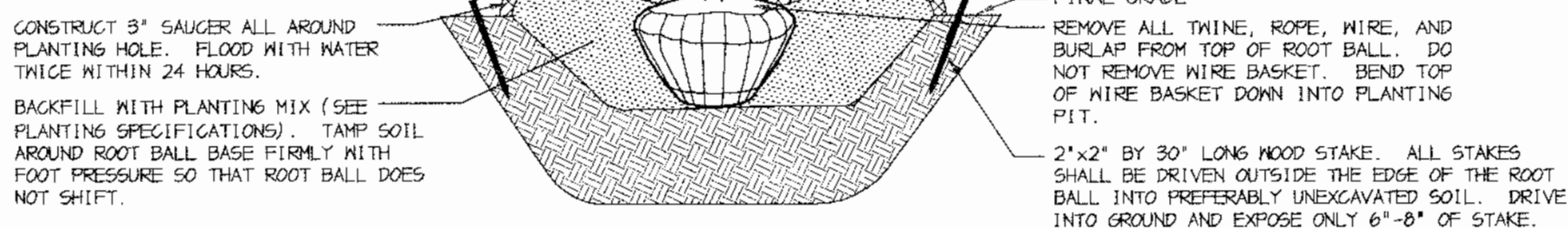


EVERGREEN B&B TREE PLANTING DETAIL

NOT TO SCALE

NOTES:

1. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
2. STAKE TREES AS SHOWN.
3. DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5".
4. PLACE ROOT BALL ON UNEXCAVATED OR COMPACTED SOIL.
5. TIGHTEN GUY ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. GUY SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 IN. OF GROWTH AND ALL BRANCHES SHALL BE BUFFERED FROM THE GUY.
6. TUCK ANY LOOSE ENDS OF THE GUY SO THAT NO LOOSE ENDS ARE EXPOSED.
7. INSTALL THREE GUYS PER TREE, SPACED EVENLY AROUND THE TRUNK.
8. REMOVE STAKES AFTER ONE YEAR.



DECIDUOUS B&B TREE PLANTING DETAIL (TREES 3" CAL. OR LARGER)

NOT TO SCALE

PLANTING SPECIFICATIONS

1. Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
2. All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
3. Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
4. Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
5. Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
6. Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
7. Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or Xylocopa cupreus leylandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
8. Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
9. Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.

10. Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
11. All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
12. Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
13. Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.), top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yew); top dress after planting with 1/4 to 1/2 cup lime each.
14. Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
15. Weed & insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing chlorpyrifos to be used as a means of pest control.
16. Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
17. Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
18. All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.

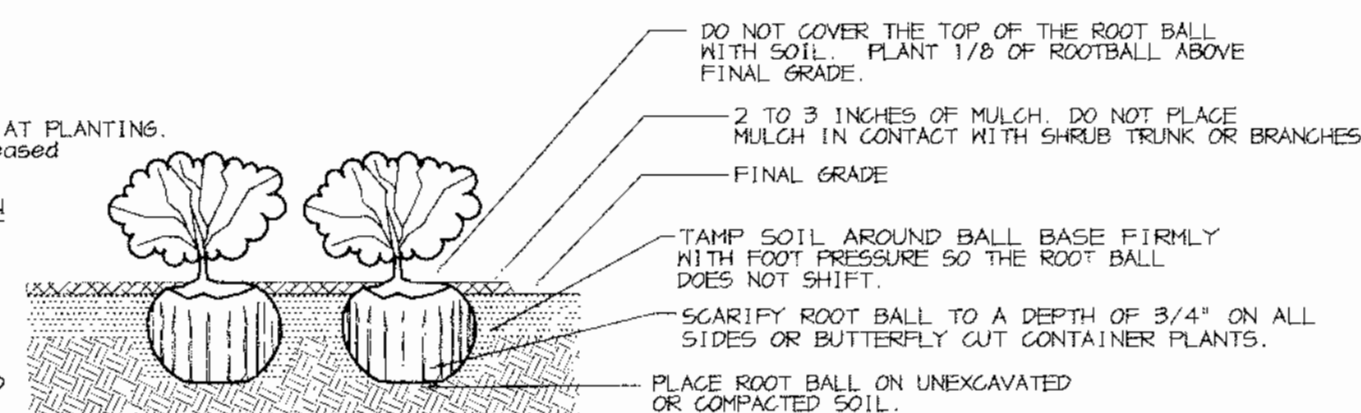
SCHEDULE A - PERIMETER LANDSCAPE EDGE	
	ADJACENT TO PERIMETER PROPERTIES
PERIMETER	1
LANDSCAPE TYPE	C
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±239'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	YES 100'
LINEAR FEET REMAINING	±131'
NUMBER OF PLANTS REQUIRED	
SHADE TREES	3
EVERGREEN TREES	7
SHRUBS	-
NUMBER OF PLANTS PROVIDED	
SHADE TREES	1
EVERGREEN TREES	7
SMALL FLOWERING TREES	20
SHRUBS	-

SCHEDULE 'A' NOTES:

- REGULATIONS DO NOT REQUIRE LANDSCAPE EDGES, BUFFERING, OR SCREENING BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT. (PAGE 17 OF THE HO. CO. LANDSCAPE MANUAL)
- EXPANSION TO EXISTING DEVELOPMENT OF LESS THAN 50% SHALL BE REQUIRED TO PROVIDE LANDSCAPING FOR THE ADDITIONAL DEVELOPMENT ONLY. (PAGE 3 OF THE HO. CO. LANDSCAPE MANUAL)
- PERIMETER 1 SUBSTITUTION- 20 SHRUBS SUBSTITUTED FOR 2 SHADE TREES

NOTES:

1. SEE PLANTING SPECIFICATIONS FOR PREPARATION OF PLANTING BED.
2. DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN, DAMAGED, OR DISEASED BRANCHES.
3. DIG PLANTING PIT 12" WIDER THAN THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 16".
4. FOR B&B SHRUBS, REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP OF ROOT BALL.
5. ALL CONTAINERS SHALL BE REMOVED BEFORE INSTALLATION.



SHRUB BED PLANTING DETAIL - B&B AND CONTAINER SHRUBS

NOT TO SCALE

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
2. THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
4. ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
5. ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
6. AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD. REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
7. NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.
8. NO SURETY IS REQUIRED FOR THIS PROJECT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Mark P. Lash* 7/14/05  
DIRECTOR DATE

*John J. ...* 7/14/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Andy ...* 7/15/05  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

OWNER / DEVELOPER  
HOWARD COMMUNITY COLLEGE  
10901 LITTLE PATUXENT PARKWAY  
COLUMBIA, MARYLAND 21044-3197  
ATTN: MR. JAMES O. LASH  
410-772-4296

PROJECT  
HOWARD COMMUNITY COLLEGE  
STUDENT SERVICES BUILDING

AREA PARCEL 47 ZONED POR & NT  
TAX MAP NO. 35, 36 BLOCK 6 & 1  
5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE  
LANDSCAPE SCHEDULES  
AND DETAILS

Patton Harris Rust & Associates, pc  
Engineers, Surveyors, Planners, Landscape Architects.  
8818 Centre Park Drive  
Columbia, MD 21045  
T 410.997.8900  
F 410.997.9282

DATE DESIGNED BY: ALC  
DRAWN BY: ALC  
PROJECT NO. 11449/3-1/ENGR/  
"PLANS/L201LND.DWG"  
DATE: JUNE 28, 2005  
SCALE: AS SHOWN  
DRAWING NO. 9 OF 9

DEVELOPER'S/BUILDER'S CERTIFICATE:  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Jamal Lash* 6-28-05  
SIGNATURE DATE

NOTE: THIS PLAN IS FOR PERMIT PURPOSES ONLY. SEE SHEETS L1.01 - L3.03 FOR LANDSCAPING PRICING.

SCOTT R. WOLFORD #797