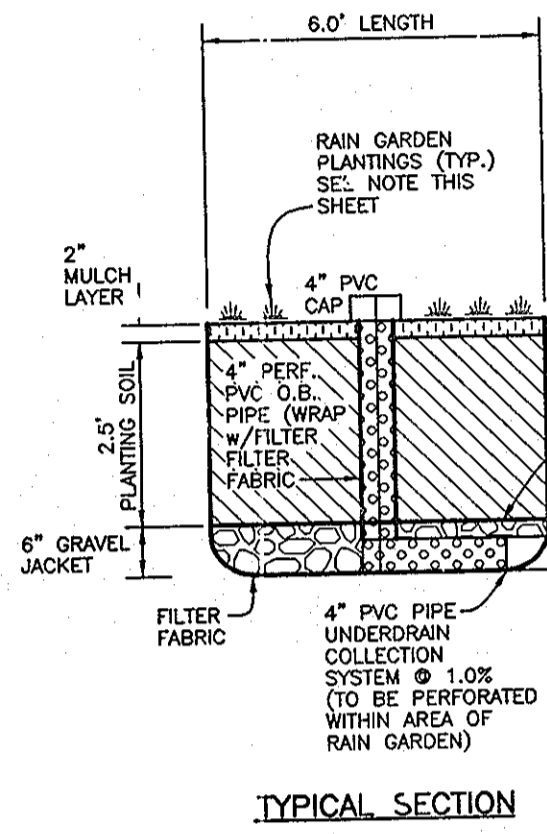
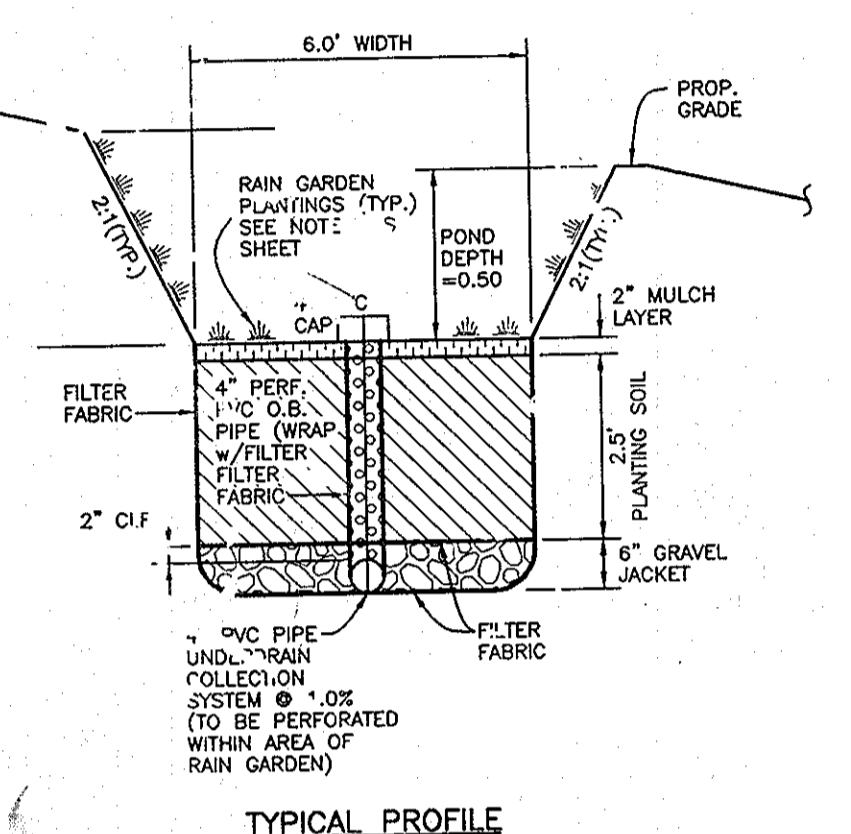
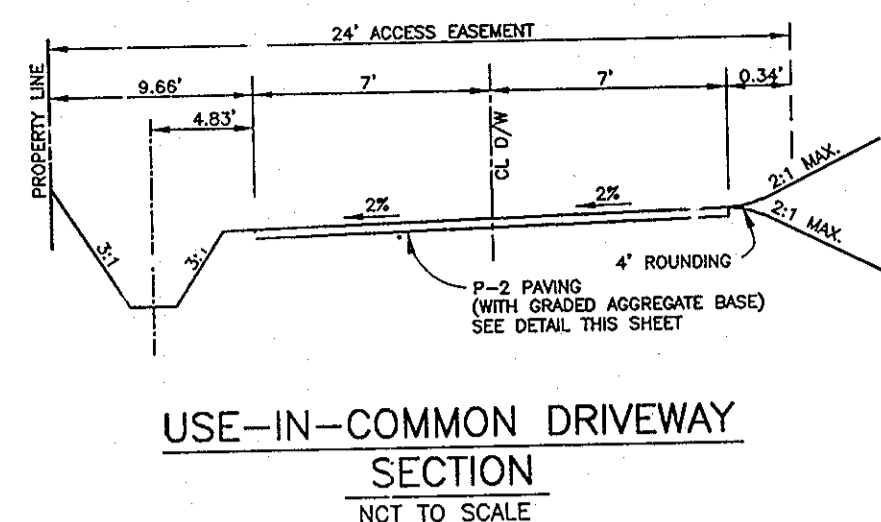
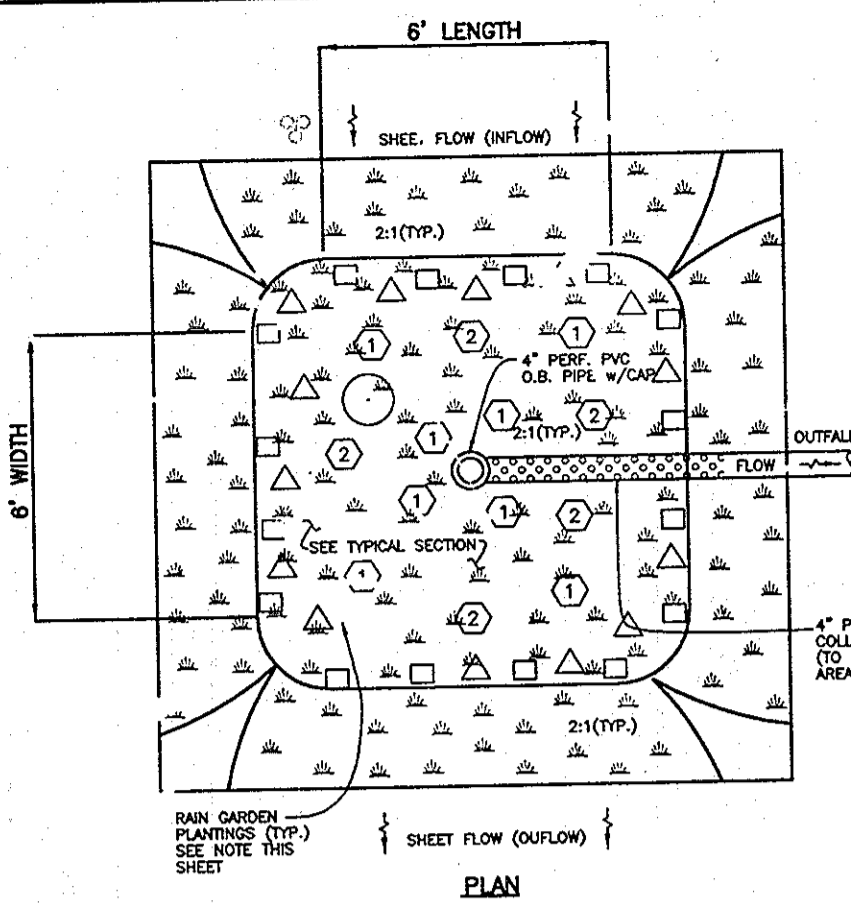


SITE DEVELOPMENT PLAN HANOVERS GRANT LOTS 1 thru 3



MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTING SOIL	SEE APPENDIX A: TABLE A-1	N/A	PLANTINGS ARE SITE SPECIFIC
MULCH	5" - 30-60% HARDWOOD	N/A	ADD 6 MONTHS MINIMUM FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY
UNDERDRAIN PIPING	4" SCH 40 PVC	0.375" TO 0.750"	3/8" PERFORATED 6" O/D, 4 HOLES PER ROW, MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES

OPERATION & MAINTENANCE SCHEDULE FOR RAIN GARDENS

- ANNUAL MAINTENANCE OF PLANT MATERIAL AND MULCH LAYER IS REQUIRED. MAINTENANCE OF MULCH IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH-OUT. ANY REPLACEMENT OF MULCH SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE & INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL & PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN THE SPRING AND FALL. THIS INSPECTION WILL INCLUDE: REMOVAL OF DEAD & DISEASED VEGETATION CONSIDERED BEYOND TREATMENT; TREATMENT OF ALL DISEASED TREES & SHRUBS; AND REPLACEMENT OF ALL DEFICIENT STAKES & WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE THE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS-NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

RAIN GARDEN - PLANTING DATA

- PLANTINGS WITHIN THE PONDING AREA OF THE RAIN GARDEN ARE TO BE OF A MEDIUM TO HIGH WATER TOLERANCE.
SUGGESTED SPECIES: CREEPING BUGLEWEED (AJUGA REPTANS), COMMON PERIWINKLE (VINCA MINOR), LILY-TURF (LIRIOPE, SP.)
- PLANTINGS ALONG THE PERIMETER (BERM) AREA OF THE RAIN GARDEN ARE TO BE OF A LOW TO MEDIUM WATER TOLERANCE.
SUGGESTED SPECIES: (PERENNIALS/ANNUALS) IRIS (IRIS VERSICOLOR), DAYLILY (HEMEROCALLIS SP.), W. GLORY (ASTILBE SP.)
- AVOID PLANTINGS WITH EXCESSIVE ROOT MASS IN POND AREA OF THE RAIN GARDEN NEAR O.B. PIPE AND UNDERDRAIN.

RAIN GARDEN - PLANTING SCHEDULE

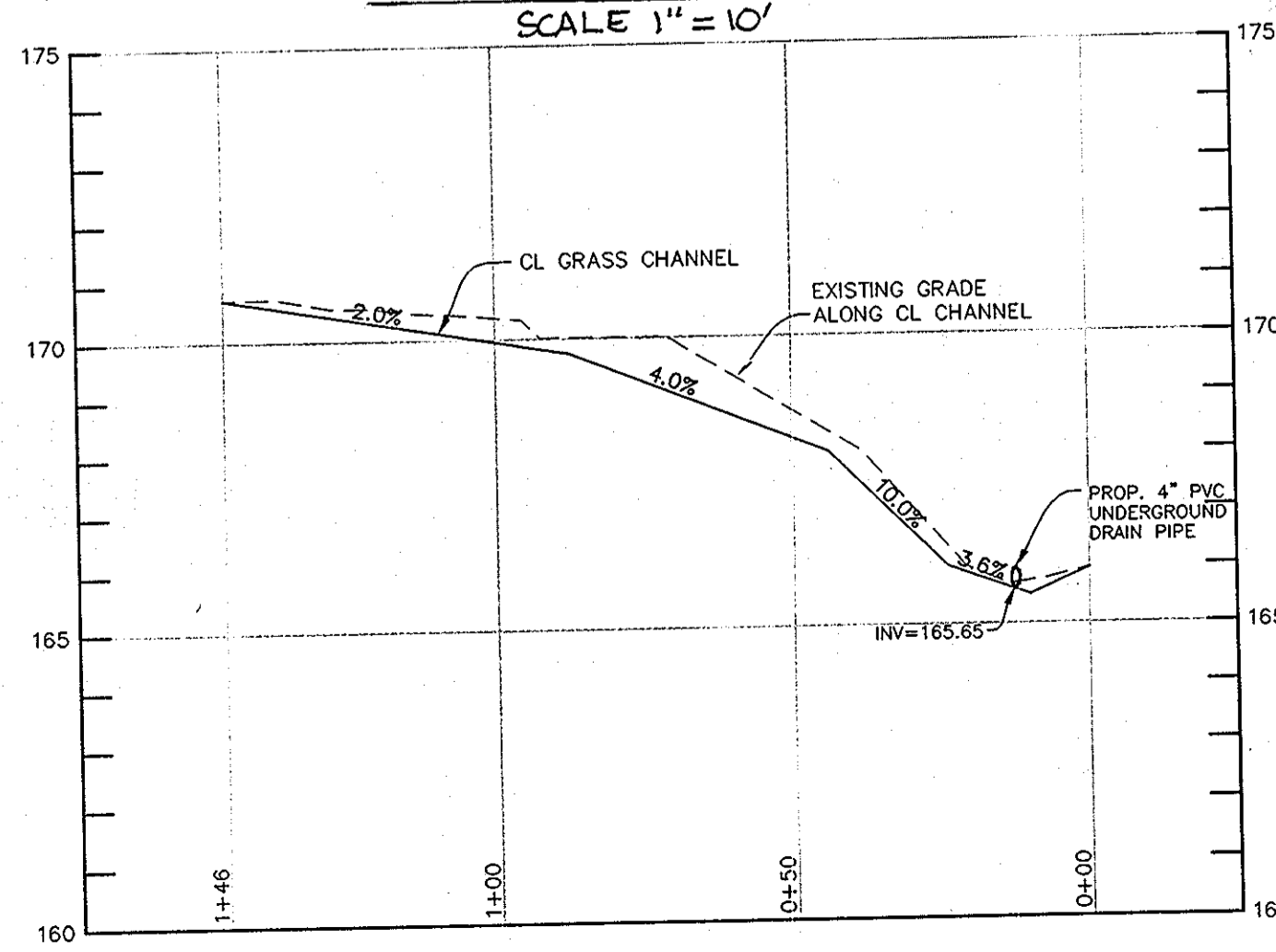
① VINCA MINOR (COMMON PERIWINKLE)	16
② AJUGA REPTANS (CREEPING BUGLEWEED)	3
③ IRIS VERSICOLOR (IRIS)	8
④ HEMEROCALLIS SP. (DAYLILY)	5
⑤ ACER RUBRUM (RED MAPLE)	1

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

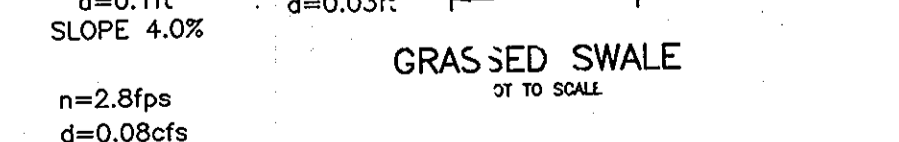
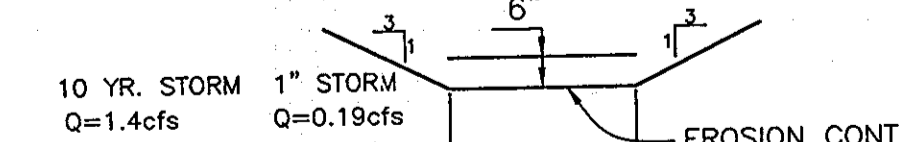
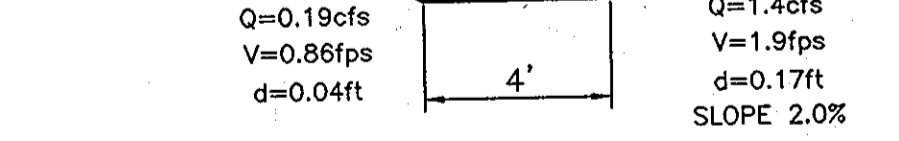
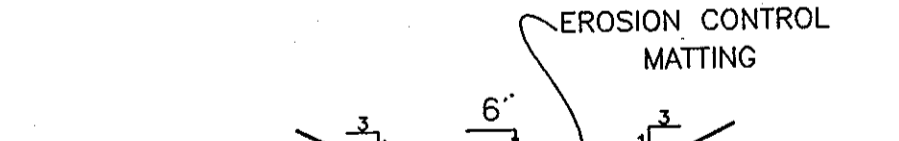
[Signature] 3/16/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 3/14/06
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 3/16/06
DIRECTOR



PLAN VIEW
SCALE: 1" = 30'



NO.	DESCRIPTION
1	SITE DEVELOPMENT AND GRADING PLAN
2	SEDIMENT, EROSION CONTROL, SOILS PLAN, NOTES AND DETAIL PLAN

LOT	STREET ADDRESS
1	6460 JULIE ANN DRIVE
2	6464 JULIE ANN DRIVE
3	6468 JULIE ANN DRIVE

LOT NO.	MIN. CELLAR	SHC INV. @ ESMT
1	164.78	157.73
2	165.27	159.71
3	165.47	159.78

CONTRACTOR TO CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY/EASEMENT LINE PRIOR TO CONSTRUCTION OF HOUSE TO ENSURE PROPER SHC SLOPES CAN BE MAINTAINED.

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- BUILDING RESTRICTION LINE
- EX. 30' PUBLIC WATER & SEWER & UTILITY EASEMENT
- EX. 10' PRIVATE STORMDRAIN & UTILITY EASEMENT
- EX. 24' PRIVATE DRIVEWAY ACCESS & DRAINAGE & MAINTENANCE EASEMENT
- EX. 10' PRIVATE STORMDRAIN & UTILITY EASEMENT
- FIRST FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- JULIE ANN BASIC MODEL
- HOUSE FOOTPRINT

GENERAL NOTES

- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- THIS SUBDIVISION IS EXEMPT FROM PROMOTING PERIMETER LANDSCAPING BECAUSE IT IS A RESUBDIVISION THAT CREATED NO ADDITIONAL LOTS.
- WP-12-09B WAS APPROVED ON JANUARY 19, 2012 TO WAIVE SECTION 16.15.6. CO. (3) EXEMPTION OF PLAN APPROVAL FOR DEVELOPER SHALL APPLY FOR SMALLING. PREPARE FOR ALL CONSTRUCTION AUTHORIZED ON THE APPROVED SITE PLAN (SDP-05-010) WITHIN 5 YEARS OF THE APPROVAL OF THIS WAIVER PETITION.

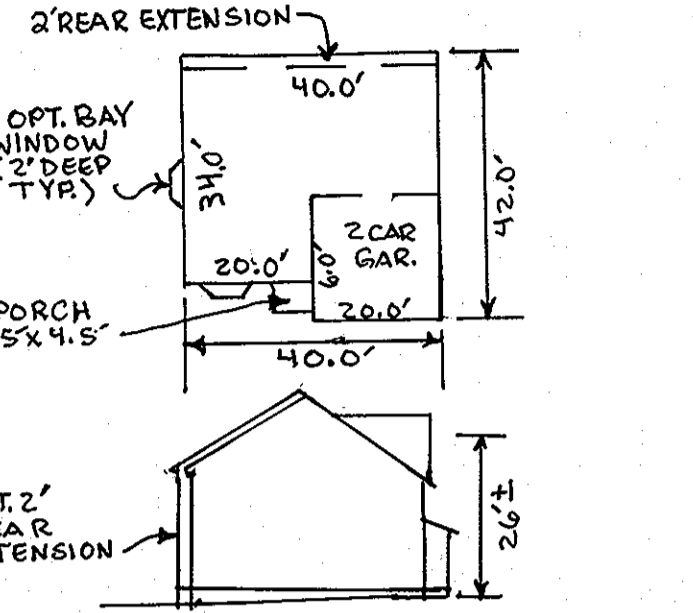
SITE ANALYSIS DATA CHART

A) TOTAL PROJECT AREA	0.52 AC.
B) AREA OF THIS PLAN SUBMISSION	0.52 AC.
C) APPROXIMATE LIMIT OF DISTURBANCE	0.49 AC.
D) PRESENT ZONING	R-12 RESIDENTIAL SFD UNITS
E) PROPOSED USE OF SITE	N/A
F) FLOOR SPACE PER LOT	N/A
G) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT(S)	3
H) TOTAL NUMBER OF UNITS PROPOSED	3
I) MAXIMUM NUMBER OF EMPLOYEES PER USE	N/A
J) NUMBER OF PARKING SPACES REQUIRED BY HO. CO. ZONING REGULATIONS	N/A
K) NUMBER OF PARKING SPACES PROVIDED	N/A
L) OPEN SPACE ON-SITE	N/A
M) PERCENTAGE OF GROSS AREA	N/A
N) AREA OF RECREATIONAL OPEN SPACE REQUIRED	N/A
O) PERCENTAGE OF GROSS AREA	N/A
P) PROPOSED WATER AND SEWER SYSTEMS	Public - Private

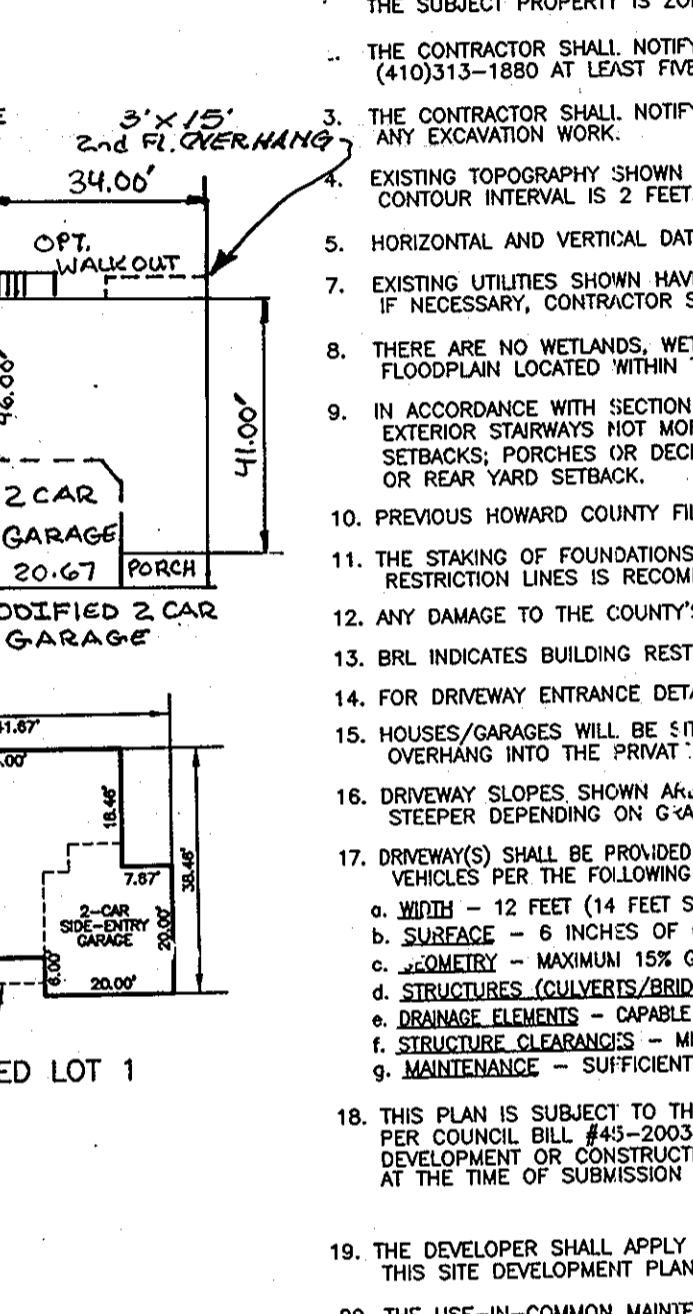
PERMIT INFORMATION CHART

SUBDIVISION NAME:	SECTION/AREA:	LOT/PARCEL #
HANOVERS GRANT	LOTS 1 thru 3	PARCEL 276
PLAT No.	GRID No.	ZONE
17949	14	R-12
TAX MAP	ELECTION DISTRICT	CENSUS TRACT
38	FIRST	6012.01
WATER CODE	SEWER CODE	
A-01	2150300	

HO. CO. #3805	ELEV. 193.726
STAMPED (BRASS OR ALUMINUM) DISC SET ON TOP OF A CONCRETE COLUMN 1" OR 2" BELOW GRADE	N 558378.575' E 1386524.158'
HO. CO. #3806	ELEV. 175.229
STAMPED (BRASS OR ALUMINUM) DISC SET ON TOP OF A CONCRETE COLUMN 1" OR 2" BELOW GRADE	N 557155.459' E 1384992.262'



PATUXTENT FOR LOT 3



GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-12 PER THE 02-02-04 COMPREHENSIVE ZONING PLAN.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT (410)313-1800 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM FINAL ROAD CONSTRUCTION DRAWINGS F-05-168. HORIZONTAL AND VERTICAL DATUM ARE NAD '83 - MONUMENTS 38E5 AND 3806.
- EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM CONTRACT DRAWINGS #14-4232-D AND 14-1381-D. IF NECESSARY, CONTRACTOR SHALL ADJUST ANY OR ALL STRUCTURE TOP ELEVATIONS TO MATCH SDP FILES.
- THERE ARE NO WETLANDS, WETLAND BUFFERS, STREAM BUFFERS, STEEP SLOPES OR 100-YEAR FLOODPLAIN LOCATED WITHIN THIS LIMIT OF SUBMISSION.
- IN ACCORDANCE WITH SECTION 12.8 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 15 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO AN SETBACKS; PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- PREVIOUS HOWARD COUNTY FILE NUMBERS: F-005-05, CONTRACT #14-4232-D
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
- BRL INDICATES BUILDING RESTRICTION LINE.
- FOR DRIVEWAY ENTRANCE DETAIL SEE HOWARD COUNTY STANDARD DETAILS R-603 & R-605.
- HOUSES/GARAGES WILL BE SITED ON LOTS SO THAT A SECOND-GAR. IF PARKED IN THE DRIVEWAY, WILL OVERHANG INTO THE PRIVATE ACCESS DRIVEWAY (18" MINIMUM CLEARANCE).
- DRIVEWAY SLOPES SHOWN ARE AVERAGE. THE SLOPE AT THE OUTSIDE EDGES COULD BE FLATTER OR STEEPER DEPENDING ON GRADE OF ROADWAY.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE).
 - SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
 - GRADE - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45 FOOT TURNING RADIUS.
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADS).
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - STRUCTURE CLEARANCES - MINIMUM 12 FEET.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL #43-2003 AND THE ZONING REGULATIONS AS AMENDED UNDER COUNCIL BILL #75-2005. DEVELOPER OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND OTHER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING PERMIT.
- THE DEVELOPER SHALL APPLY FOR BUILDING PERMITS FOR ALL LOTS AS SHOWN ON THIS SITE DEVELOPMENT PLAN WITHIN FIVE YEARS OF SIGNATURE APPROVAL OF THIS PLAN.
- THE USE-IN-COMMON MAINTENANCE AGREEMENT FOR LOTS 1-3 AND LOT 129 HAS BEEN RECORDED IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MARYLAND, AND IN LIBER 8763 AT FOLIO 672.
- THIS SUBDIVISION IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1202(b)(1)(v) OF HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT IS A RE-SUBDIVISION THAT CREATES NO ADDITIONAL LOTS.
- STORMWATER MANAGEMENT IS BEING PROVIDED FOR THESE LOTS BY USE OF ROOFTOP AND NON-ROOFTOP DISCONNECTION CRENITS AND THE INSTALLATION OF RAIN GARDENS WHICH ARE PRIVATELY OWNED AND MAINTAINED BY THE OWNER OF EACH RESPECTIVE LOT.
- APPROVED ZONING PERMIT NO. 04-081 DATED 7-21-04 WAS REVIEWED BY THE MARYLAND AVIATION ADMINISTRATION. IT WAS DETERMINED THAT THIS PROJECT DOES NOT FALL WITHIN THE BOUNDARIES OF GWIS AIRPORT NOISE ZONING.
- IN ACCORDANCE WITH SECTION 12.8.4 OF THE HOWARD COUNTY ZONING REGULATIONS AND BY LETTER DATED JANUARY 23RD, 2004 FROM THE DIRECTOR, HOWARD COUNTY OFFICE OF PLANNING AND ZONING, IT IS BEING DETERMINED THAT THE PORTION OF RYAN AVENUE NORTH OF ITS INTERSECTION WITH JULIE ANN DRIVE, AND JULIE ANN DRIVE NORTHWEST OF ITS CURRENT TERMINUS (IN FRONT OF LOT 129) SHALL NOT BE REGARDED AS ROAD RIGHT OF WAY WHEN APPLYING STRUCTURE SETBACKS FOR LOTS 1-3.
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NO.	DATE	REVISION
4	2-7-14	ADD SECTION OF SWALE ADJACENT TO WATER METER
3	12-12-12	ADD GENERAL NOTE 28 AND PATUXTENT HSE TYPE, REVISE FRONT BRL ON LOT 3 TO 20'
2	12-20-06	REVISE LOT 2 ADD 2 CAR GARAGE, RELOCATE RAIN GARDEN # 4
1	12-5-06	REVISE LOT 1 TO SHOW 2 CAR GARAGE ENTRY GARAGE, RELOCATE RAIN GARDEN # 2

BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE & SUITE 418
ELLICOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 FAX: 410-465-6644
www.benchmark-engineering.com

OWNER:
JULIE ANN ASSOCIATES, L.L.C.
5570 STERRETT PLACE
SUITE 201
COLUMBIA, MARYLAND 21044-2649
410-997-3815

BUILDER:
ITI CONSTRUCTION SERVICES, L.L.C.
8333 MAIN STREET
ELLICOTT CITY, MARYLAND 21043
410-465-5573

PROJECT:
HANOVERS GRANT
LOTS 1 thru 3
SINGLE-FAMILY DETACHED UNITS

LOCATION:
TAX MAP, SEC. GRID: 4
94° 31' 27.6"
PLAT NO. 17949
ELECTION DISTRICT 1
HOWARD COUNTY, MARYLAND

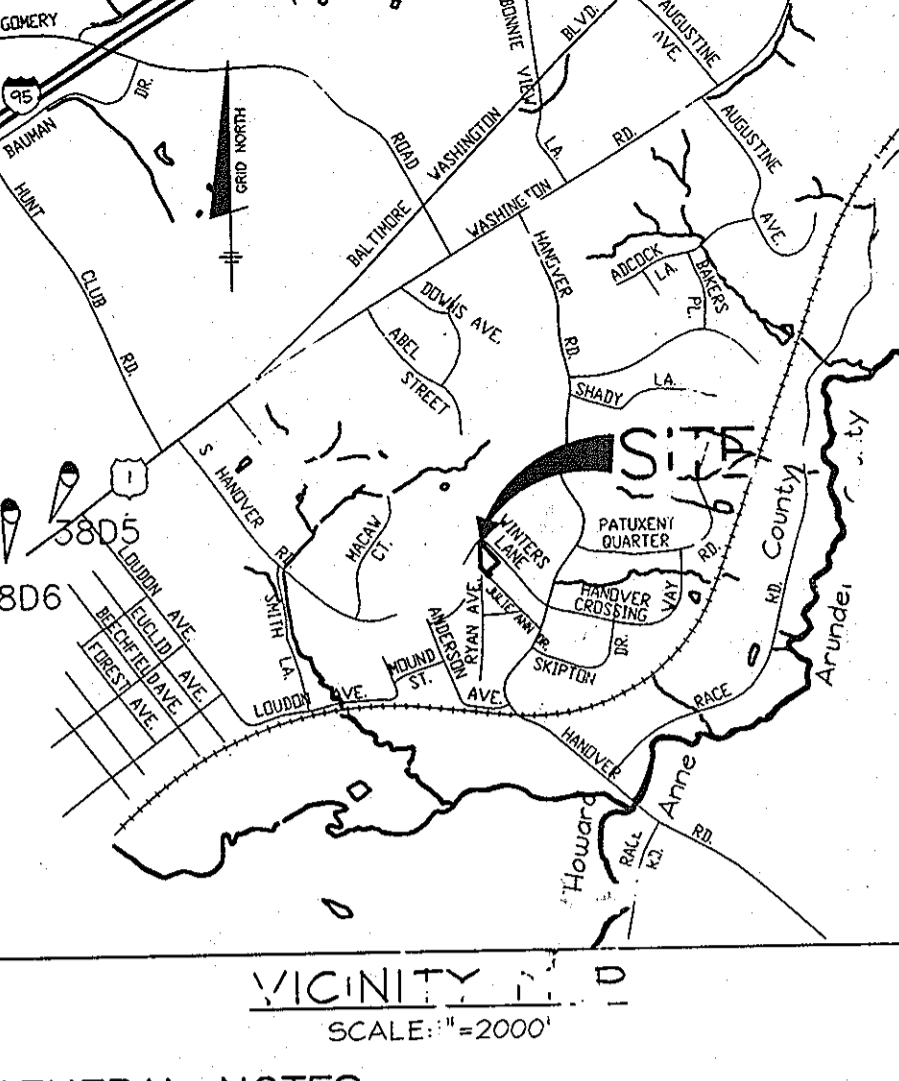
TITLE:
SITE DEVELOPMENT AND GRADING PLAN

DATE: JANUARY, 2005
JANUARY, 2006

SCALE: AS SHOWN

DES: DBT/DAM DRAFT: DBT/EDD CHECK: DAM

PR. JECT NO. 1718
SHEET 1 OF 2



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