

Site Development Plan for Proposed Office/Flex Buildings SDP 05-091 Parcel F Patapsco Valley Business Center Howard County, Maryland

DATE	NO.	REVISION DESCRIPTION
9/13/05	01	REVISED ENDS OF BUILDINGS, PARKING BAY ADDED, DISTRICTED BRUSH
2/16/06	02	REV. SIDE WALKS, BLDG. SIZE, ADDED PRKG., CURBS & STAIRS
8/1/06	03	ADDED DANCE STUDIO
9/15/11	04	ADDED GREASE TRAP ADA PARKING & RATIO

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND

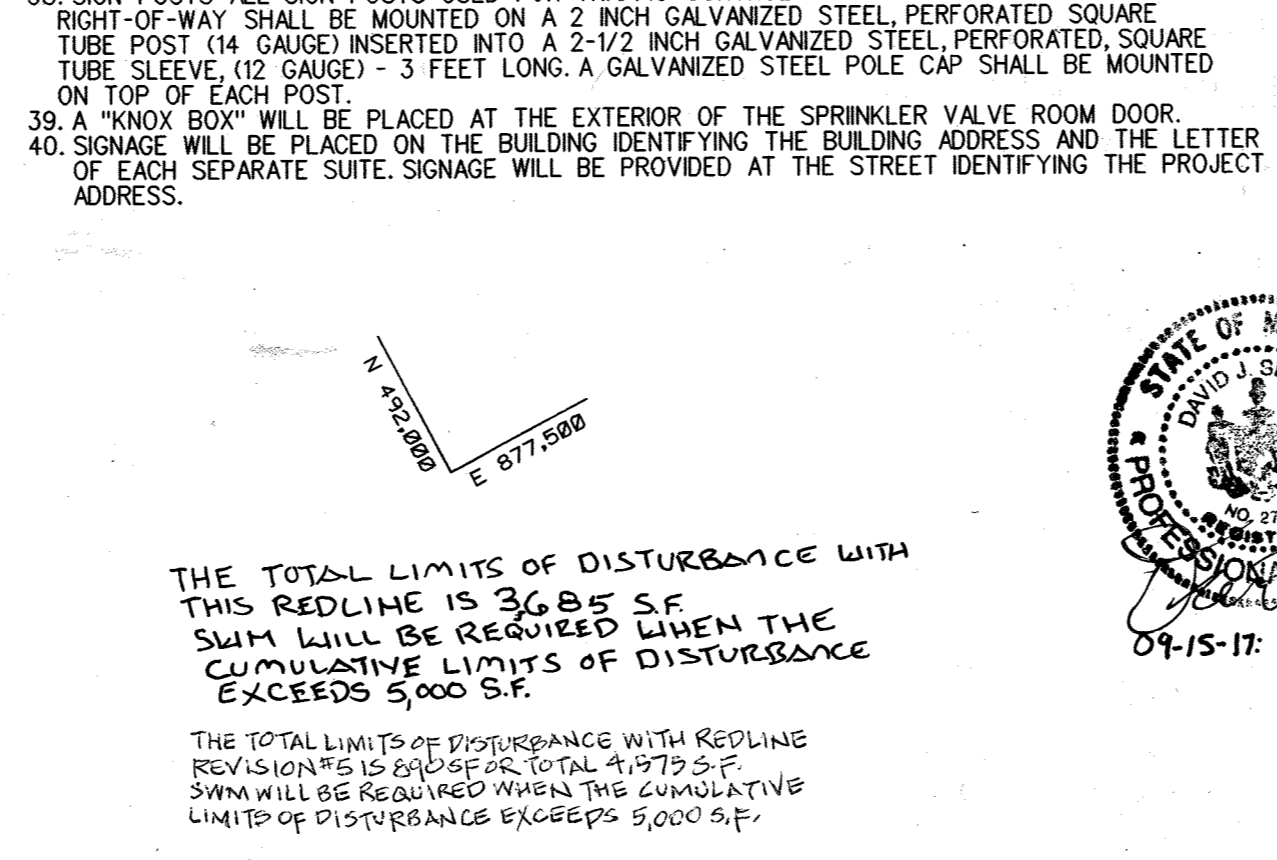
David Shanon
SIGNATURE OF ENGINEER
DAVID SHANON, P.E.
MD LICENSE NUMBER 21245
EXPIRATION DATE: 03-19-2018
DATE: 9-15-17

General Notes

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, THE HOWARD COUNTY PLUMBING CODE, PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES THAT MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY M&S UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC., SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY DUVIG & ASSOCIATES, P.A. DATED OCTOBER 2004. TOPO COMBINED WITH PLANS OF RECORD.
- WATER IS PUBLIC PER CONTRACT 14-4283-D DRAINAGE AREA IS PATAPSCO.
- SEWER ON SITE IS PRIVATE AND CONNECTS TO PUBLIC SEWER BUILT UNDER CONTRACT 14-3342-D DRAINAGE AREA IS PATAPSCO.
- THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE BY ITE, INC. PER REPORT DATED 1-08-2005.
- ALL FILL AREAS SHALL BE COMPACTED AS DETERMINED AND VERIFIED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER.
- REGIONAL STORMWATER MANAGEMENT IS PROVIDED IN A POND SYSTEM LOCATED ON PARCEL (G) APPROVED AS PART OF F-94-24. POND PROVIDES 2, 10 AND 100 YEAR MANAGEMENT AND WATER QUALITY.
- THERE ARE NO WETLANDS WITHIN THE DISTURBED AREA OF THIS SITE.
- THERE ARE NO FLOODPLAINS WITHIN THE DISTURBED AREA OF THIS SITE. 100 YEAR FLOODPLAIN AREAS WITHIN THE PARCEL F HAVE BEEN OFFERED FOR DEDICATION BY VIRTUE OF PLAT NO. 14626. FLOODPLAIN STUDY WAS APPROVED UNDER P-91-14 ON OCTOBER 1, 1992.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDINGS WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND ROOF DRAIN CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- EXISTING UTILITIES ARE BASED ON A COMBINATION OF PLANS OF RECORD AND FIELD RUN DATA.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL FILL SLOPES, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.

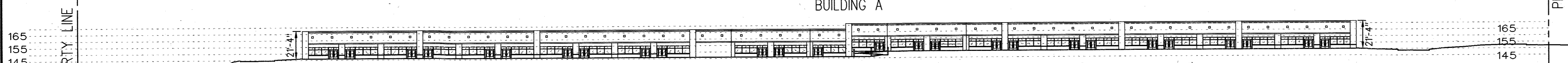
- PAVING MARKINGS TO BE "TRAFFIC WHITE"
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE ANWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRIMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED M-2 PER THE 2-2-2004 COMPREHENSIVE ZONING PLAN.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION/FOREST CONSERVATION FOR THIS PARCEL HAS BEEN ADDRESSED AS PART OF THE SUBDIVISION OF THIS PROPERTY APPROVED PER F-94-24. (P-91-14 app. prior to 12/31/92.)
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NO. 386A WAS USED FOR THIS PROJECT.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. DATED JANUARY 2005.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134, ZONING REGULATIONS.
- A DESIGN MANUAL WAIVER OF SECTIONS 2.5.2.H AND 2.6.1.H HAS BEEN APPROVED TO WAIVE PARTIAL SITE DISTANCE REQUIREMENTS AT THE TWO PROPOSED SITE ACCESS POINTS ALONG COCA COLA DRIVE AND TO ALLOW THE NORTHERMOST ACCESS POINT TO BE USED EXCLUSIVELY FOR PASSENGER VEHICLES. SEE LETTER DATED MARCH 21, 2005 FROM MR. CHARLES DAMMERS, P.E., CHIEF DEVELOPMENT ENGINEERING DIVISION.

Proposed Layout
Scale 1" = 100'



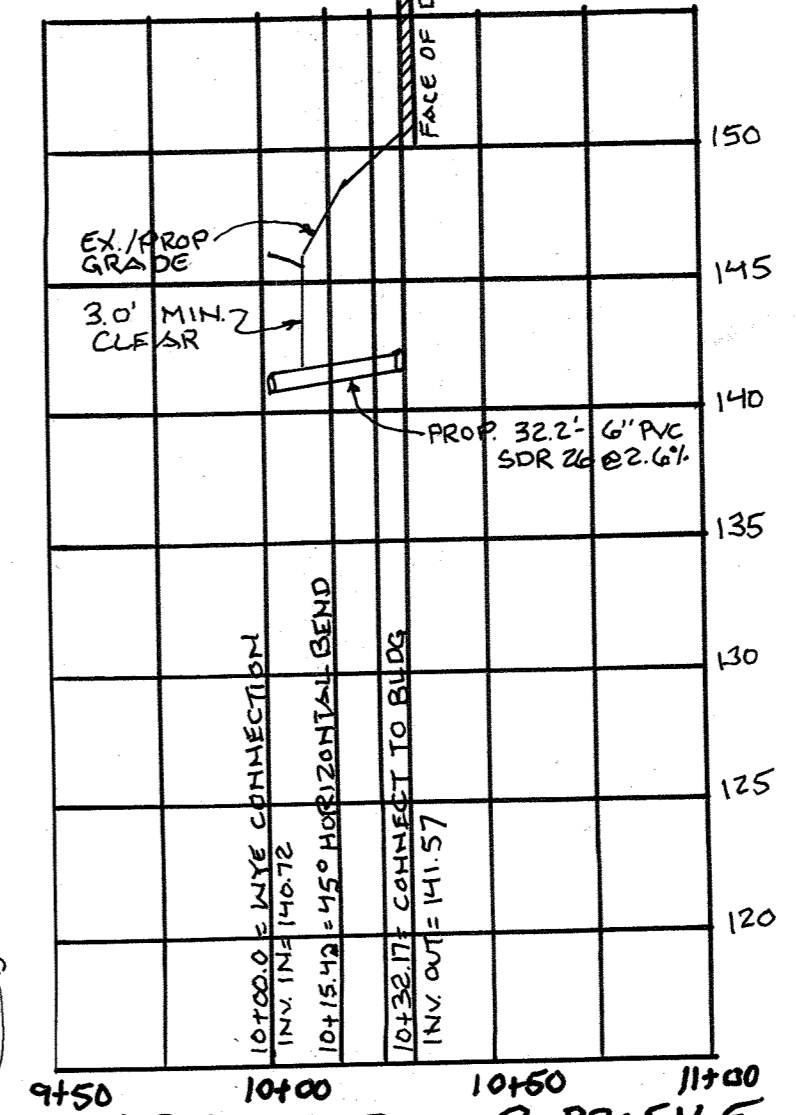
THE TOTAL LIMITS OF DISTURBANCE WITH THIS REDLINE IS 36,885 SF. SIGN WILL BE REQUIRED WHEN THE CUMULATIVE LIMITS OF DISTURBANCE EXCEEDS 5,000 SF.

THE TOTAL LIMITS OF DISTURBANCE WITH REDLINE REVISED TO 36,885 SF. TOTAL 4,979 SF. SIGN WILL BE REQUIRED WHEN THE CUMULATIVE LIMITS OF DISTURBANCE EXCEEDS 5,000 SF.

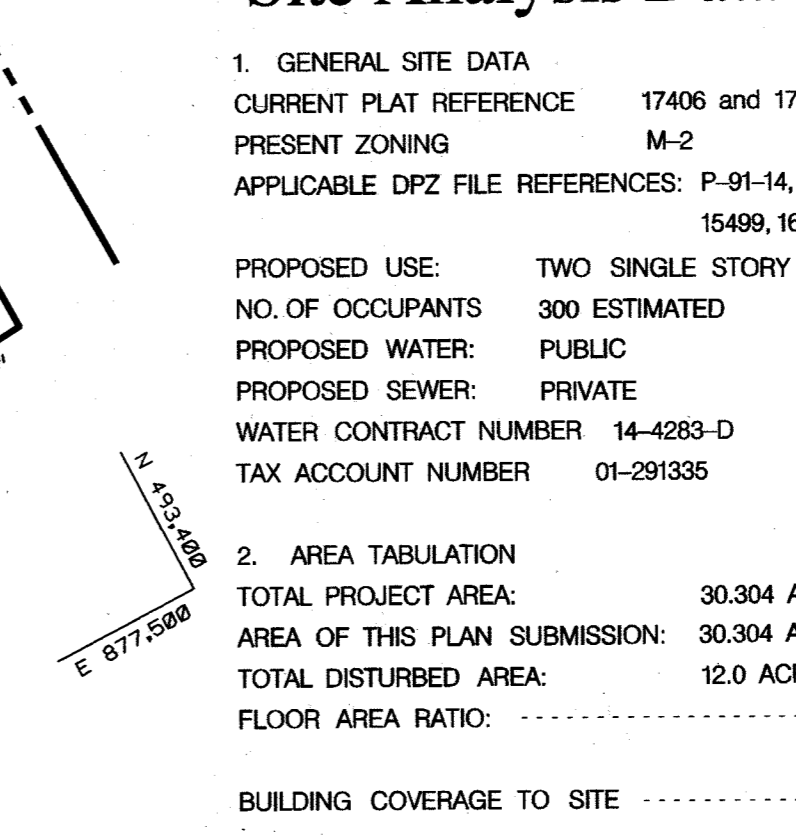


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BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE SUITE 304 HUNT VALLEY, MARYLAND 21031
PHONE: 410-221-9851 FAX: 410-221-9865 BLDG@BLDGINC.COM



Sanitary Lateral 1 Profile



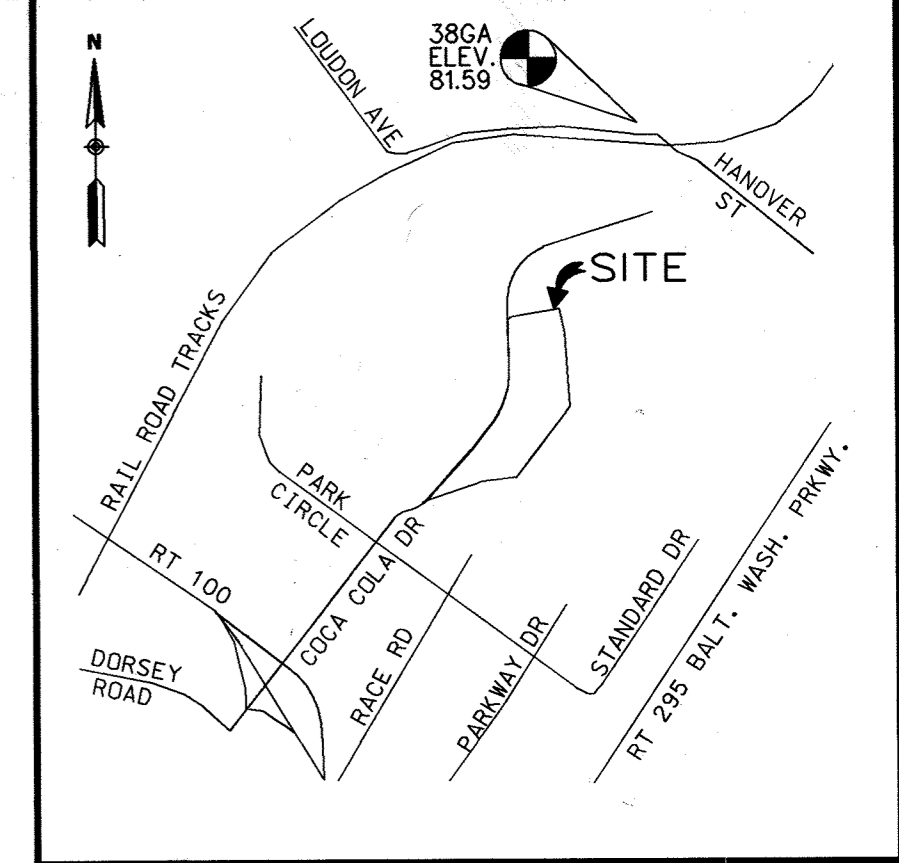
OPEN AREA PROVIDED: 21,156 ACRES = 70% of site area (AREA OF SITE MINUS BUILDINGS, DRIVEWAYS, PARKING LOTS)

3. OPEN SPACE DATA: N/A OPEN SPACE PROVIDED AS PART OF APPROVED SUBDIVISION

4. PARKING SPACE DATA: 6,000 SF @ 5 P.S./1,000 SF (DANCE STUDIO) = 30 SPACES
PARKING REQUIRED: BLDG. A - 2.5 SP/1,000 SF FOR 31,532 (HYBRID INDUSTRIAL/OFFICE) = 94 SPACES
BLDG. B - 3.3 SP/1,000 SF FOR 42,000 (OFFICE) = 139 SPACES
BLDG. C - 3.3 SP/1,000 SF FOR 33,252 (HYBRID INDUSTRIAL/OFFICE) = 84 SPACES
TOTAL PARKING REQUIRED: 417 SPACES

TOTAL PARKING PROVIDED: 448 SPACES (STRIPED SPACES)

TOTAL INCLUDES
436 STANDARD SPACES @ 9' X 18'
12 VAN ACCESSIBLE HANDICAP SPACES @ 24' X 18' TWO SIDE BY SIDE



COORDINATES AND BEARINGS ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROLS STATIONS: NAD 83. ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM NGVD 29 AND ARE BASED ON THE FOLLOWING HOWARD COUNTY SURVEY CONTROL STATIONS: (TRANSLATED METERS TO FEET)
386A ELEV. 81.59 NGVD29
NAD 27 N 495.148.2 E 877.713.8
NAD 88 N 555.897.32 E 1,390.132.13

Site Analysis Data Chart

1. GENERAL SITE DATA
CURRENT PLAT REFERENCE: 17406 and 17407
PRESENT ZONING: M-2
APPLICABLE DPZ FILE REFERENCES: P-91-14, S-91-19, WP-91-98, P-92-18, F-94-24, F-02-164 & F-04-67 F-05-160. PLATS 15496, 15498, 15499, 16376, 16377, 14626, 14626, 17406, 17407, F-05-167

PROPOSED USE: TWO SINGLE STORY OFFICE/FLEX BUILDINGS TOTALING 139,884 SF - BUILDING A
37,542 SF HYBRID IND./OFFICE
42,000 SF OFFICE
6,000 SF DANCE STUDIO

NO. OF OCCUPANTS: 300 ESTIMATED
PROPOSED WATER: PUBLIC
PROPOSED SEWER: PRIVATE
WATER CONTRACT NUMBER: 14-4283-D
TAX ACCOUNT NUMBER: 01-291335

2. AREA TABULATION
TOTAL PROJECT AREA: 30.304 ACRES
AREA OF THIS PLAN SUBMISSION: 30.304 ACRES
TOTAL DISTURBED AREA: 12.0 ACRES
FLOOR AREA RATIO: 139,884 SF (ULT.) GROSS FLOOR AREA (3.204 acres) = 10.67% of gross area
30,304 ACRES

BUILDING COVERAGE TO SITE: 139,884 SF (ULT.) GROUND FLOOR AREA (3.204 acres) = 10.67% of gross area
30,304 ACRES

OPEN AREA PROVIDED: 21,156 ACRES = 70% of site area
30,304 ACRES

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS:
County Health Officer Howard County Health Department Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 10/20/05
Chief, Division of Land Development Date: 7/5/05
Director Date: 7/5/05

FEBRUARY 16, 2006
REVISIONS THIS SHEET:
REVISED SITE ANALYSIS CHART AND LAYOUT DETAIL

SEPTEMBER 13, 2005
REVISIONS THIS SHEET:
REVISED SITE ANALYSIS CHART AND LAYOUT DETAIL

ADDRESS CHART

Building	Street Address
A	7380 Coca Cola Drive
B	7390 Coca Cola Drive

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	N/A	F
Plat or Subdivision	Grid #	Zoning
17406-07	20	M-2
Tax Map No.	Election District	Census Tract
38	1st	6012.02
Water Code	Sewer Code	
A 04	2160801	

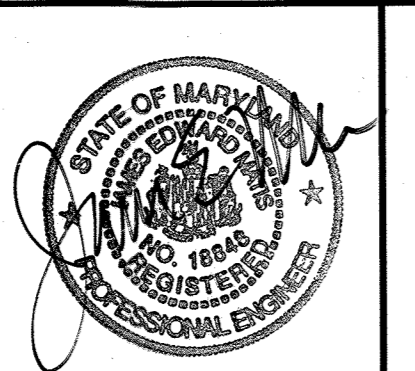
COVER SHEET
RED-LINE REV. 4-SEPTEMBER 15, 2017
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Red-Line Rev. 2-February 16, 2006

Howard County, Maryland
Scale: As Shown

September 13, 2005
June 16, 2005

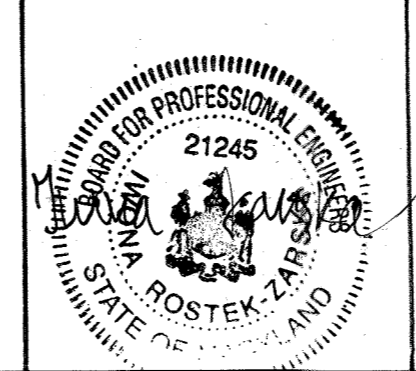
Sheet 1 of 13
SDP 05-091

Matis Warfield
consulting engineers
10540 York Road Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7004
Fax 410-683-1798
www.matiswarfield.com



Developer / Owner
Merritt PVI, LLC
By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

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230 SCHILLING CIRCLE SUITE 304 HUNT VALLEY, MARYLAND 21031
PHONE: 410-221-9851 FAX: 410-221-9865 BLDG@BLDGINC.COM



REVISION #6-BLDG (11/6/2021)
ADDED (1) TEMPORARY 9' X 31' RAMP TO BUILDING A.

REVISION #3-BLDG (08/09/16)
ADDED DANCE STUDIO (6,000 SF) WITHIN BUILDING A AND REVISED SITE ANALYSIS DATA CHART ACCORDINGLY. UPDATED SITE LAYOUT TO REFLECT CURRENT EXISTING CONDITIONS.

REVISION #5-BLDG (6/19/2021)
ADDED TWO CIRCULATING AREAS TO THE REAR OF BUILDING B AND REVISED SITE ANALYSIS DATA CHART ACCORDINGLY.

SHEET INDEX

SHEET	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN (SHEET 1)
3	SITE DEVELOPMENT PLAN (SHEET 2) AND DETAILS
4	SITE DETAILS
5	STORM WATER DRAINAGE AREA MAP & STORM DRAIN DETAILS
6	DRAIN PROFILES AND DETAILS
7	STORM DRAIN PROFILES
8	PRIVATE WATER AND SEWER PROFILES
9	SEDIMENT & EROSION CONTROL PLAN
10	SEDIMENT & EROSION CONTROL PLAN SHEET 2 & DETAILS
11	SEDIMENT CONTROL DRAINAGE AREA MAP & NOTES
12	FINAL LANDSCAPE PLAN
13	FINAL LANDSCAPE DETAILS

Public Street Light Location Data

Road Station	City	Description	Pole
25+90 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm
21+69 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm
20+02 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm

Notes:
 1. All curb radii are 4 feet unless otherwise noted.
 2. For limits of types of paving, Concrete Curb & Gutter, Conc. Walk & Handicap Access see Sheets 3, 4 & 6.

CVF 1040412 & 10403, LLC
 PARCEL D1
 PATASCO VALLEY BUSINESS CENTER
 TAX ACCT. NO. 289470
 DEED REF. 8444/485
 PLAT 16376 & 16377

Legend

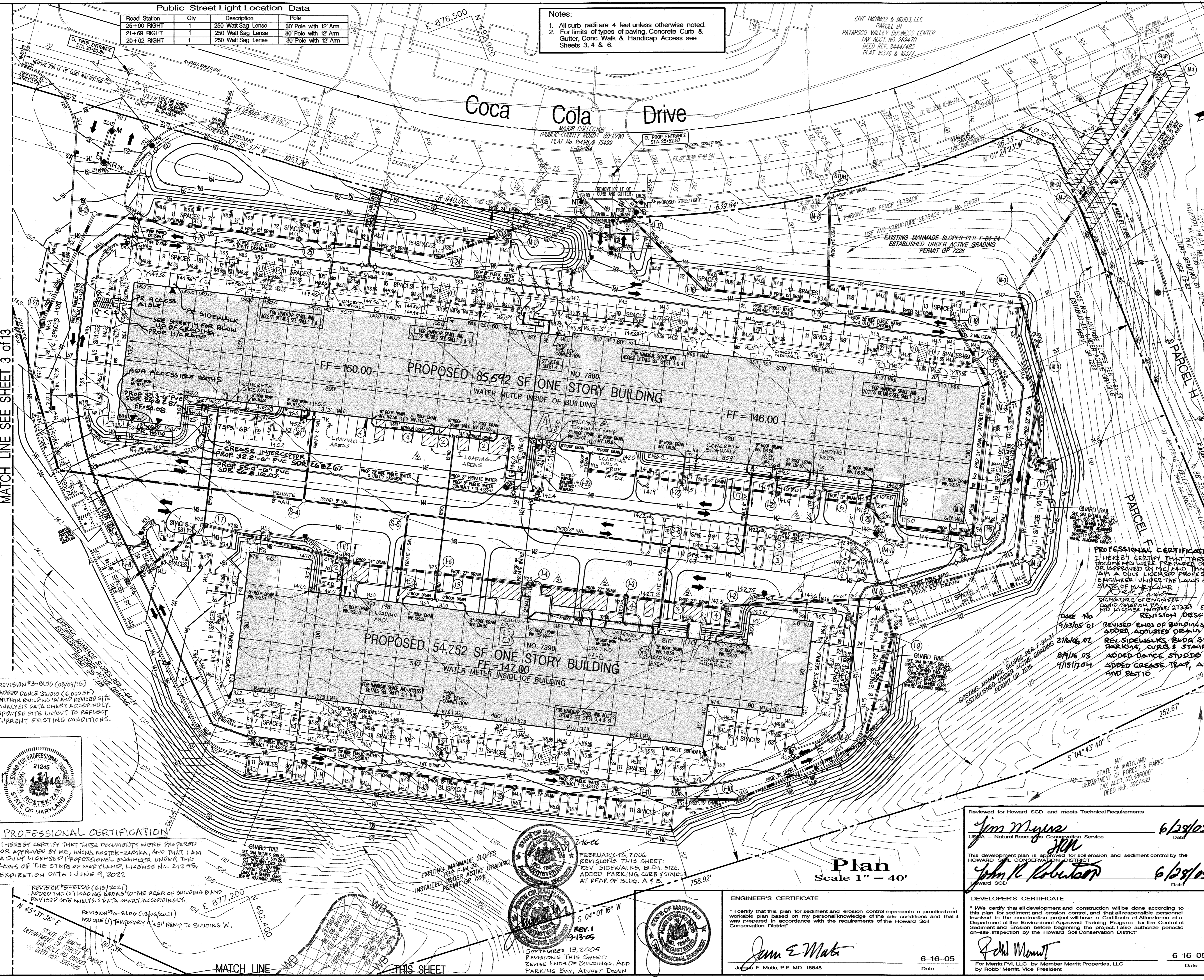
- Existing Contours
- Proposed Grades
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Storm Drain
- Existing Private Storm Drain
- Existing Curb and Gutter
- Proposed Conc. Curb & Gutter
- Proposed Concrete Paving
- Handicap Parking Space
- Guard Rail
- Future Grades by Others



09-15-17: REVISION 4

MATCH LINE THIS SHEET

MATCH LINE SEE SHEET 3 of 13



Traffic Signage at Entrances

Shown Thus • NT	Shown Thus • M
Shown Thus • S	Shown Thus • KR

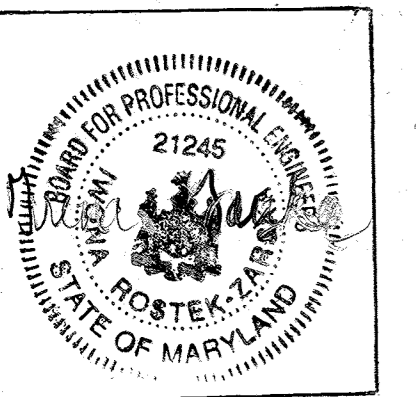
Developer / Owner
 Merritt PVI, LLC
 By Member - Merritt Properties, LLC
 By: Robb Merritt, Vice President
 c/o Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244
 Phone (410) 298-2600
 Fax (410) 298-9644

Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21030
 Phone 410-888-7904
 Fax 410-888-1794
 www.matiswarfield.com

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, DAVID W. ROSTEK, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21249, EXPIRATION DATE: JUNE 9, 2022.

DATE: 6/28/05
 9/13/05 01 REVISED ENDS OF BUILDINGS, PARKING BAY ADDED, ADJUSTED DRAIN
 2/16/06 02 REV. SIDEWALKS, BLDG. SIZE, ADDED PARKING, CURBS & STAIRS
 8/16/06 03 ADDED DANCE STUDIO
 9/15/06 04 ADDED GRESSE TRAP, ADA BARRIERS AND RATIO

REVISION #3-01/06 (08/09/16)
 ADDED DANCE STUDIO (6,000 SF) WITHIN BUILDING 'A' AND REVISED SITE ANALYSIS DATA CHART ACCORDINGLY. UPDATED SITE LAYOUT TO REFLECT CURRENT EXISTING CONDITIONS.



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, WLODA ROSTEK-ZASSKA, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21249, EXPIRATION DATE: JUNE 9, 2022.

REVISION #5-BLDG (6/15/2021)
 ADDED TWO (2) LEADING AREAS TO THE REAR OF BUILDING BAND. REVISED SITE ANALYSIS DATA CHART ACCORDINGLY.

REVISION #6-BLDG (12/06/2021)
 ADD ONE (1) TEMPORARY 1/2" RAMP TO BUILDING 'A'.

Plan
 Scale 1" = 40'

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 David W. Rostek
 License No. 21249
 EXPIRES: 06/09/2022

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 Wloda Rostek-Zasska
 License No. 21249
 EXPIRES: 06/09/2022

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 David W. Rostek
 License No. 21249
 EXPIRES: 06/09/2022

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

John E. Matis, P.E. MD 18848
 Date: 6-16-05

Reviewed for Howard SCD and meets Technical Requirements

Jim Mygala
 USA - Natural Resources Conservation Service
 Date: 6/28/05

John K. Robertson
 Howard SCD
 Date: 6/28/05

DEVELOPER'S CERTIFICATE
 I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

John Merritt
 For Merritt PVI, LLC by Member Merritt Properties, LLC
 Date: 6-16-05

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David W. Rostek
 Chief, Development Engineering Division
 Date: 6/28/05

Wloda Rostek-Zasska
 Chief, Land Development Division
 Date: 7/5/05

Parish D. Layton
 Director
 Date: 7/5/05

ADDRESS CHART

Building	Street Address
A	7380 Coca Cola Drive
B	7390 Coca Cola Drive

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
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Plot or Easement	Grid #	Zoning
17406-07	20	M-2
Water Code	Sewer Code	Electron District
A 04	2150501	38 1st 6012.02
		Tax Parcel No.
		Consensus Tract
		6012.02

Site Development Plan
 RED-LINE REV. 4 - SEPTEMBER 15, 2017
 Proposed Flex Office Buildings
 Parcel F
 Pataspco Valley Business Center

Red-Line Rev. 2 - February 16, 2006
 Red-Line Rev. 1 - September 13, 2005
 June 16, 2005

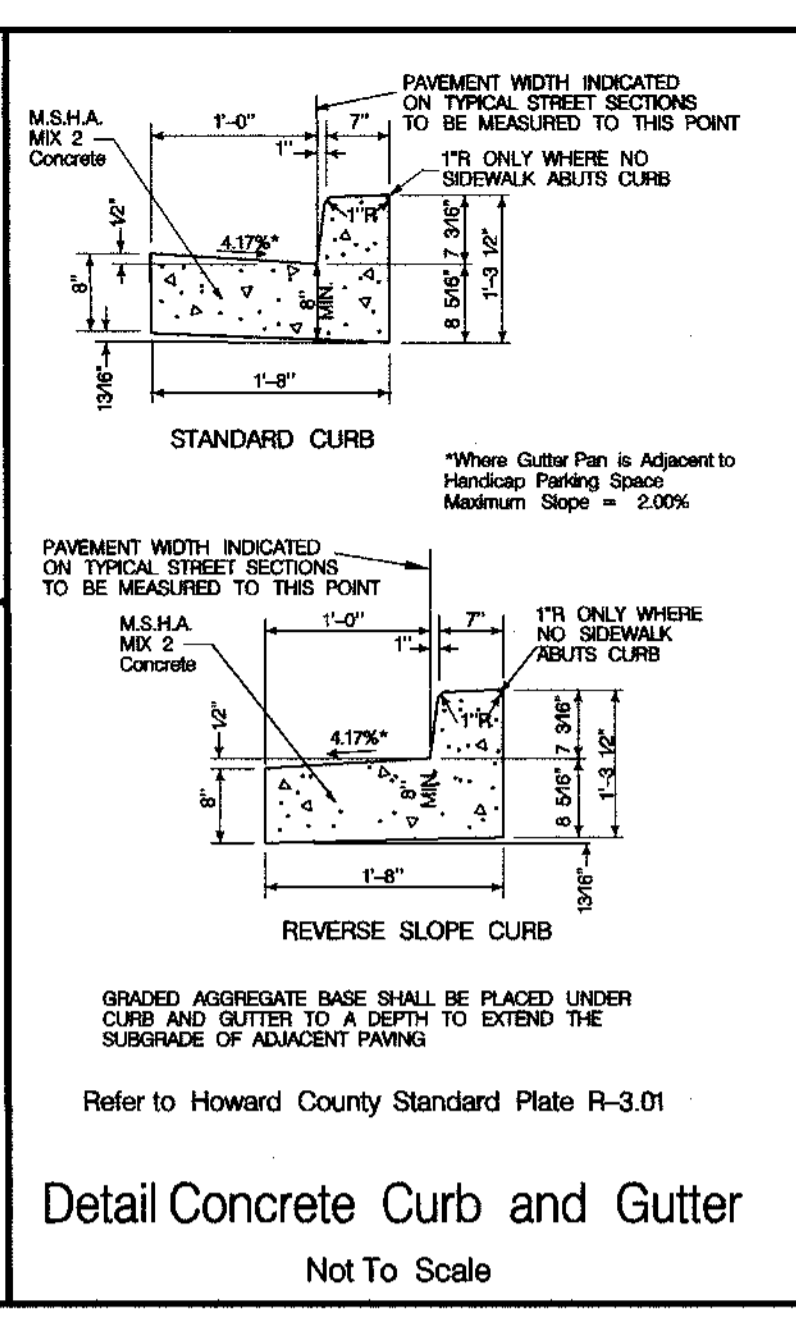
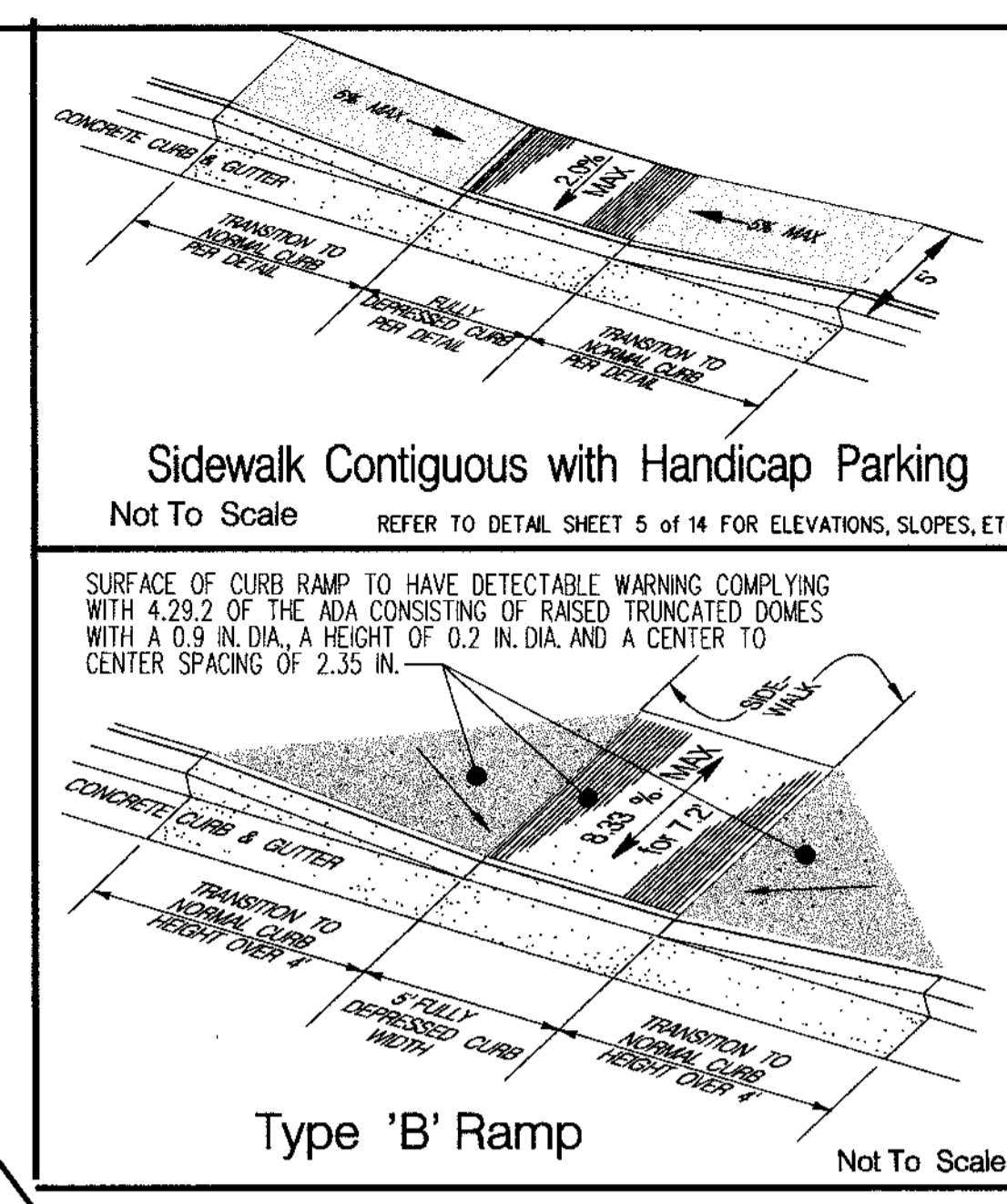
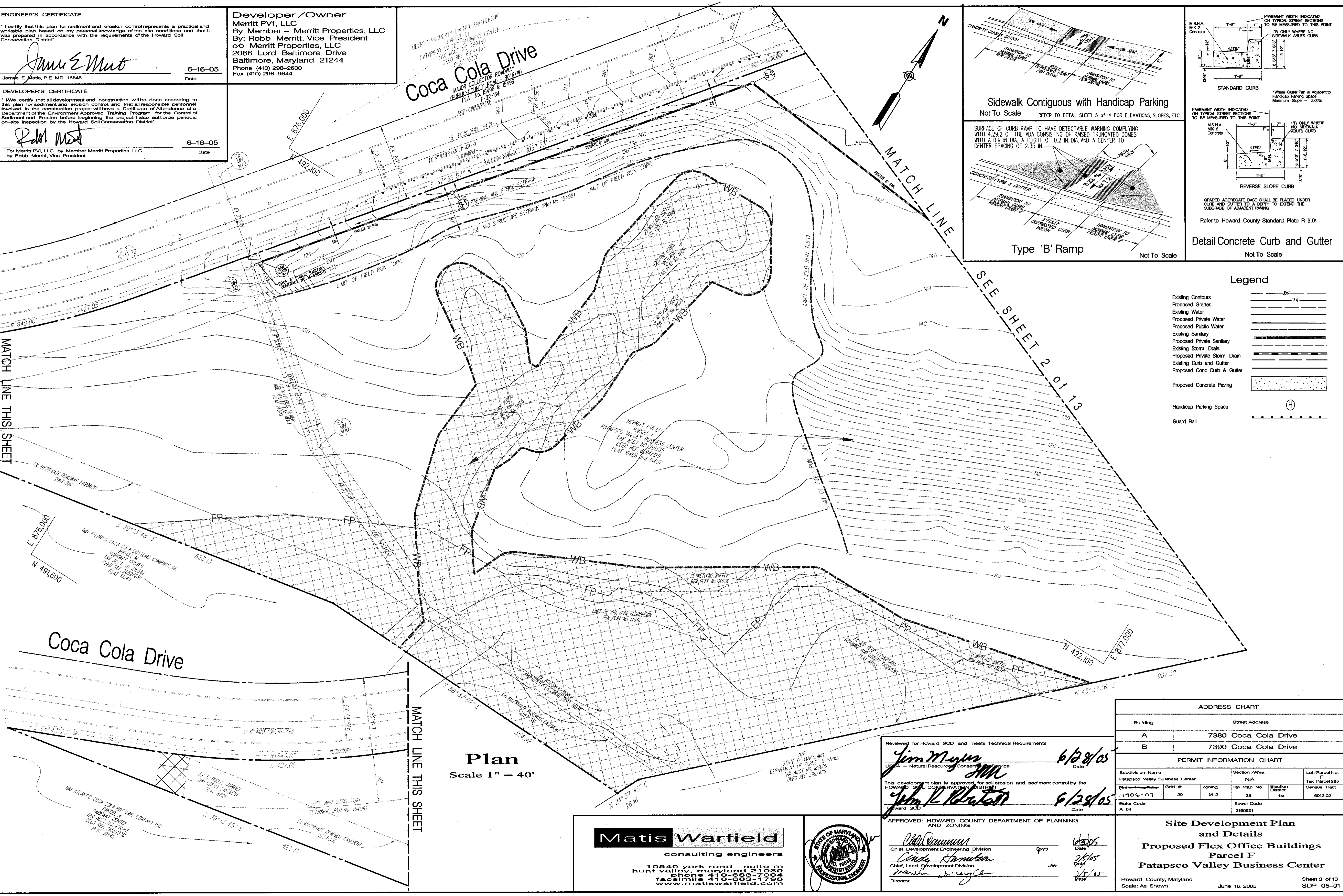
Howard County, Maryland
 Scale: As Shown

Sheet 2 of 13
 SDF 05-91

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James E. Matis
 James E. Matis, P.E. MD 18848
 Date: 6-16-05

Developer/Owner
 Merritt PVI, LLC
 By: Member - Merritt Properties, LLC
 By: Robb Merritt, Vice President
 c/o Merritt Properties, LLC
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Robb Merritt
 For Merritt PVI, LLC by Member Merritt Properties, LLC
 by Robb Merritt, Vice President
 Date: 6-16-05



Legend

- Existing Contours
- Proposed Grades
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Private Storm Drain
- Existing Curb and Gutter
- Proposed Conc. Curb & Gutter
- Proposed Concrete Paving
- Handicap Parking Space
- Guard Rail

Plan
 Scale 1" = 40'

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B	7390 Coca Cola Drive

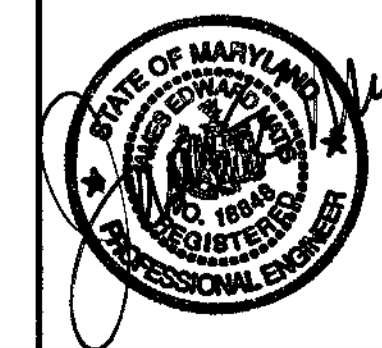
PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	N/A	F
Plan - This Sheet	Grid #	Tax Parcel 285
17106-07	M-2	6012.02
Water Code	Sewer Code	
A 04	2150501	

Reviewed for Howard SCD and meets Technical Requirements
Jim Meyer 6/28/05
 Date
 Approved by:
John R. Whitton 6/28/05
 Date
 Howard SCD

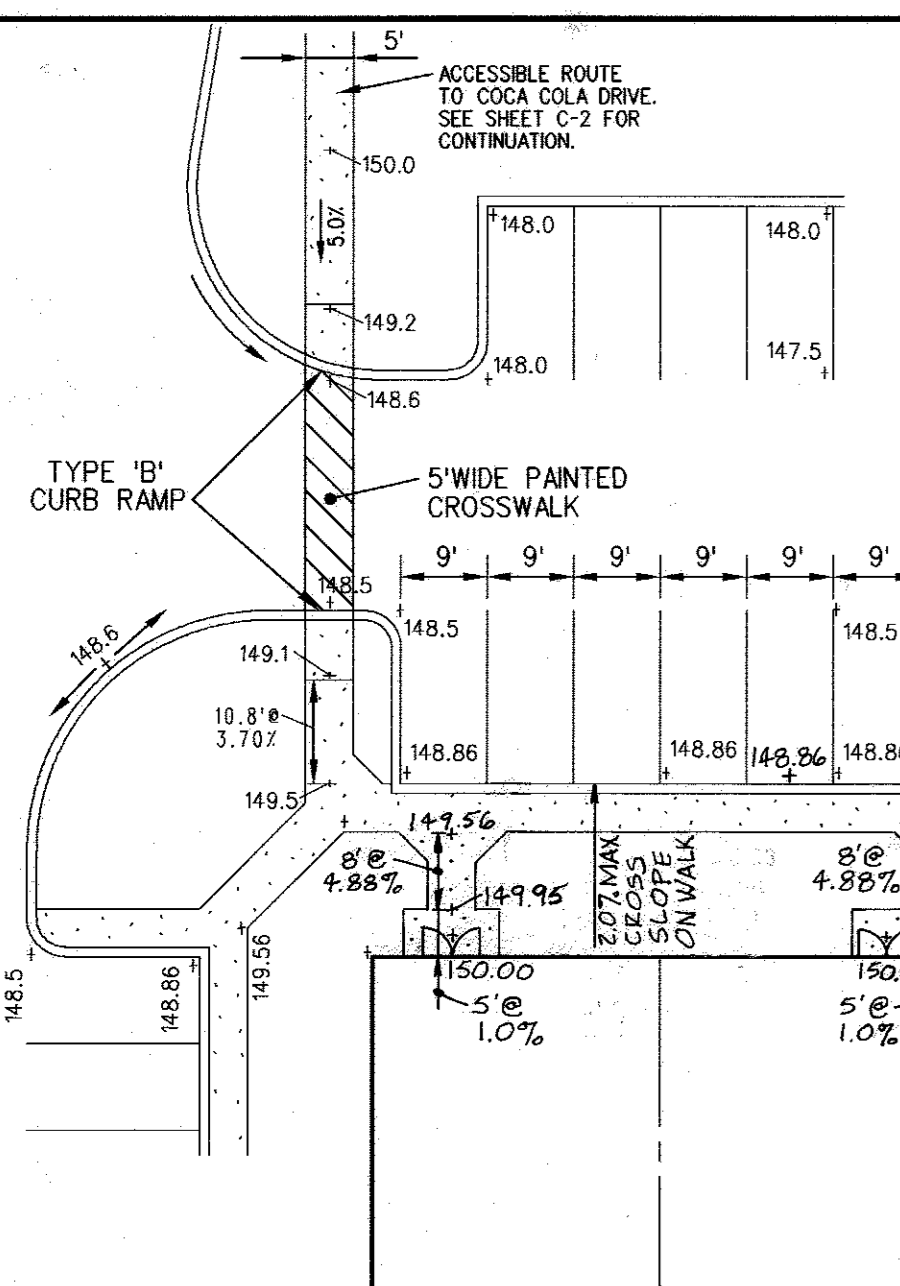
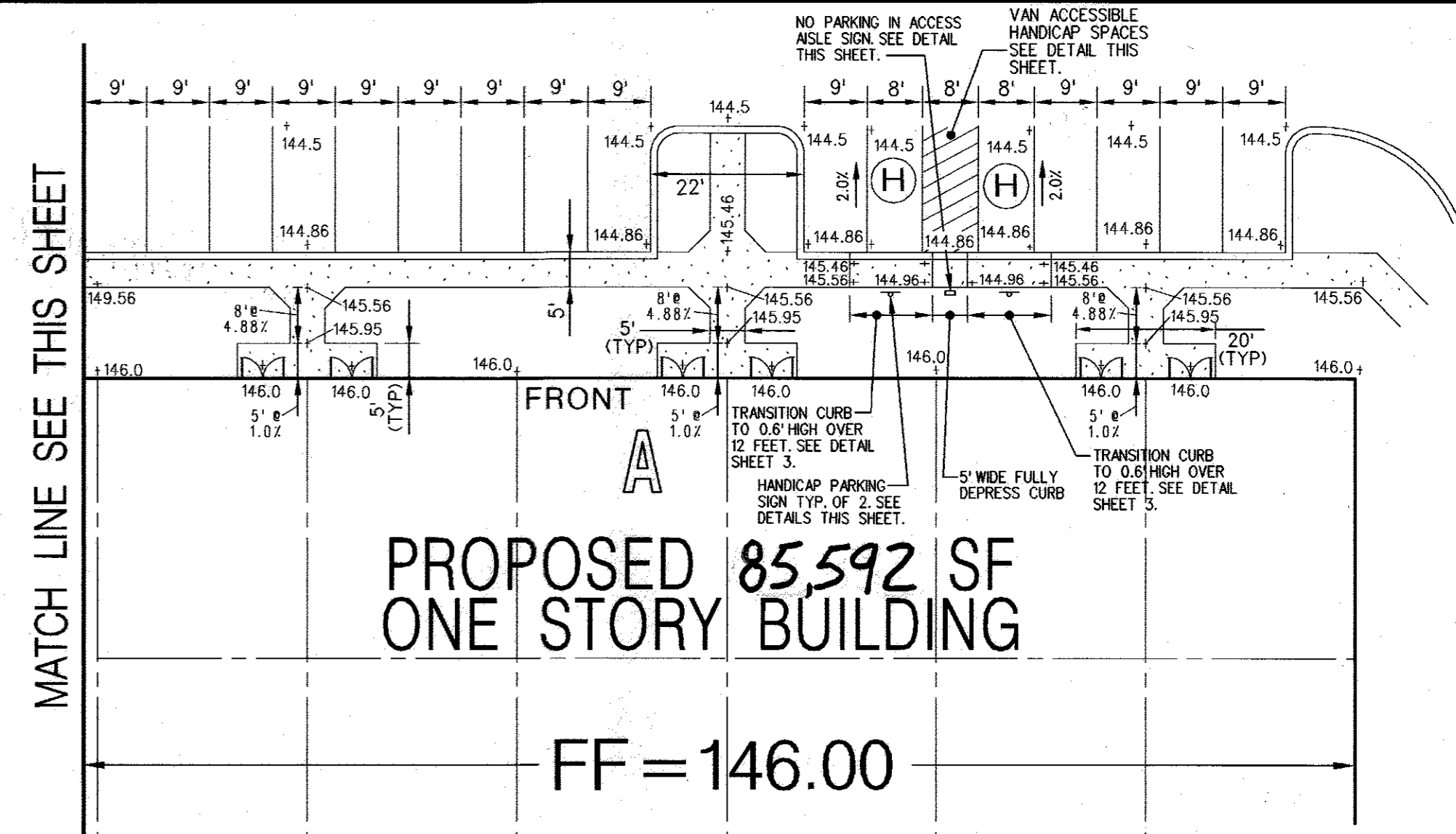
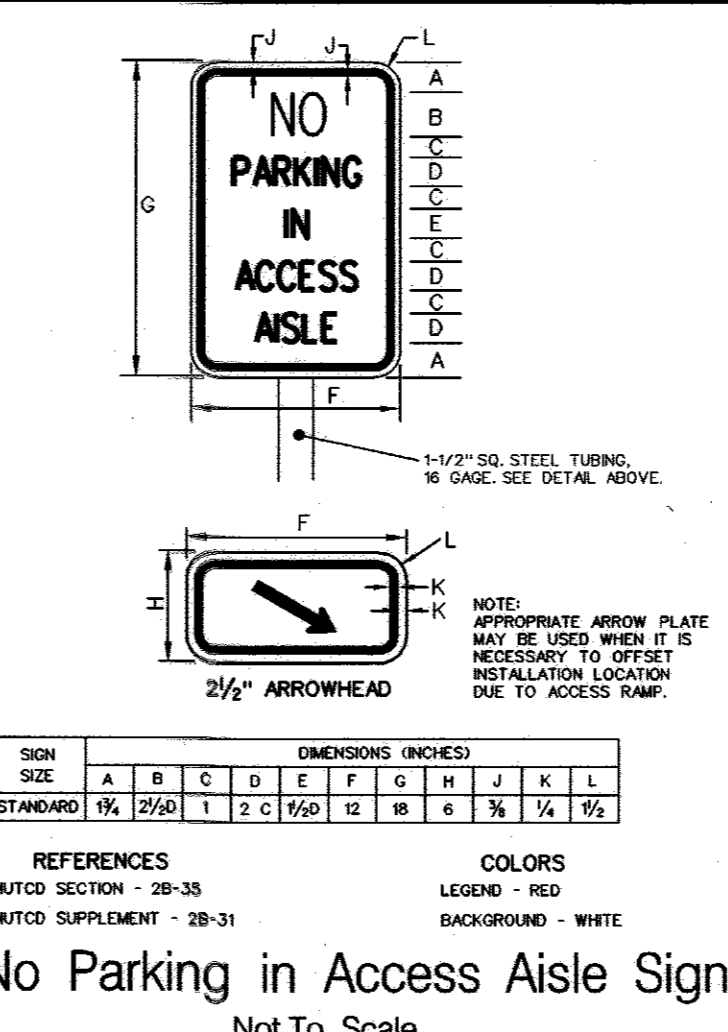
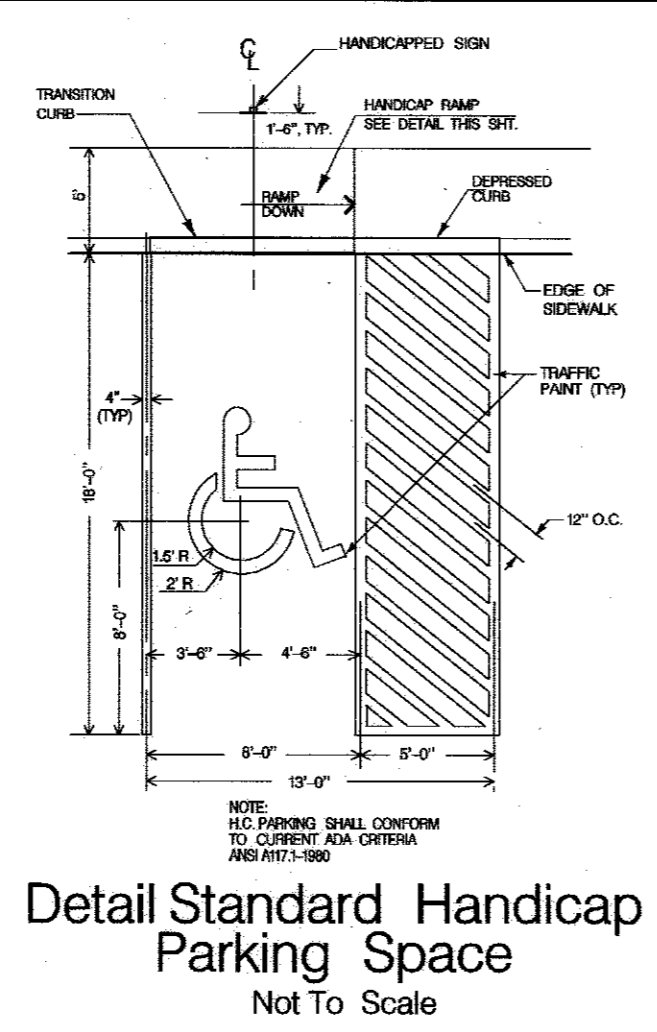
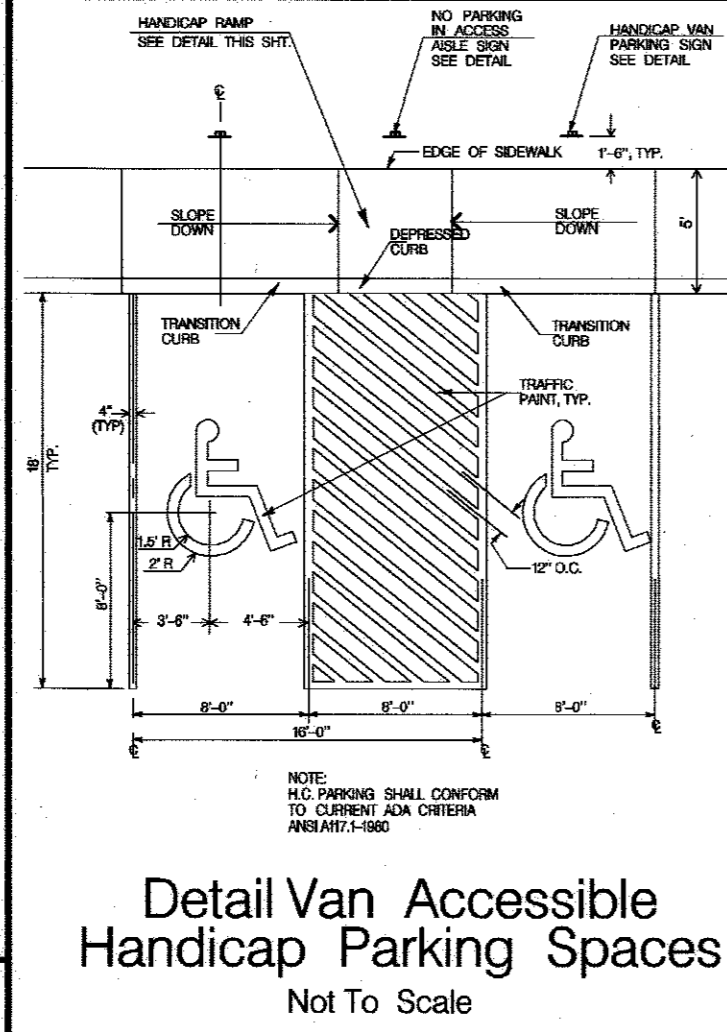
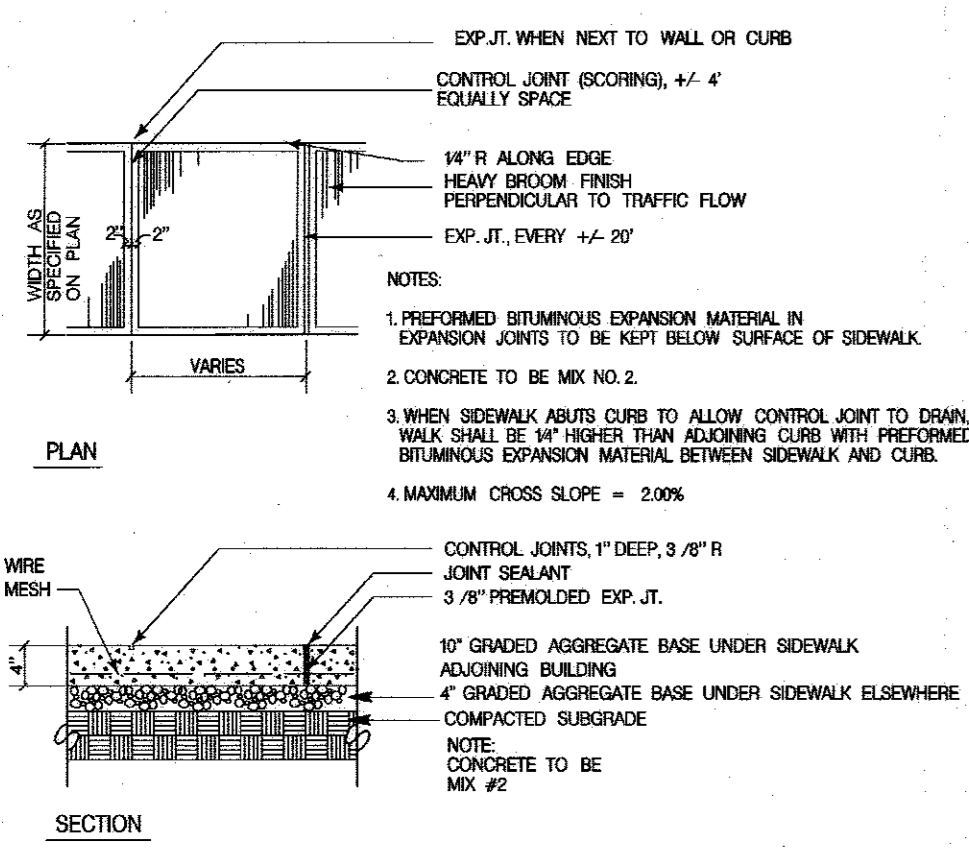
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chris Dammann 6/28/05
 Chief, Development Engineering Division
Andy Hamilton 7/5/05
 Chief, Land Development Division
Marsh D. Leavelle 7/5/05
 Director

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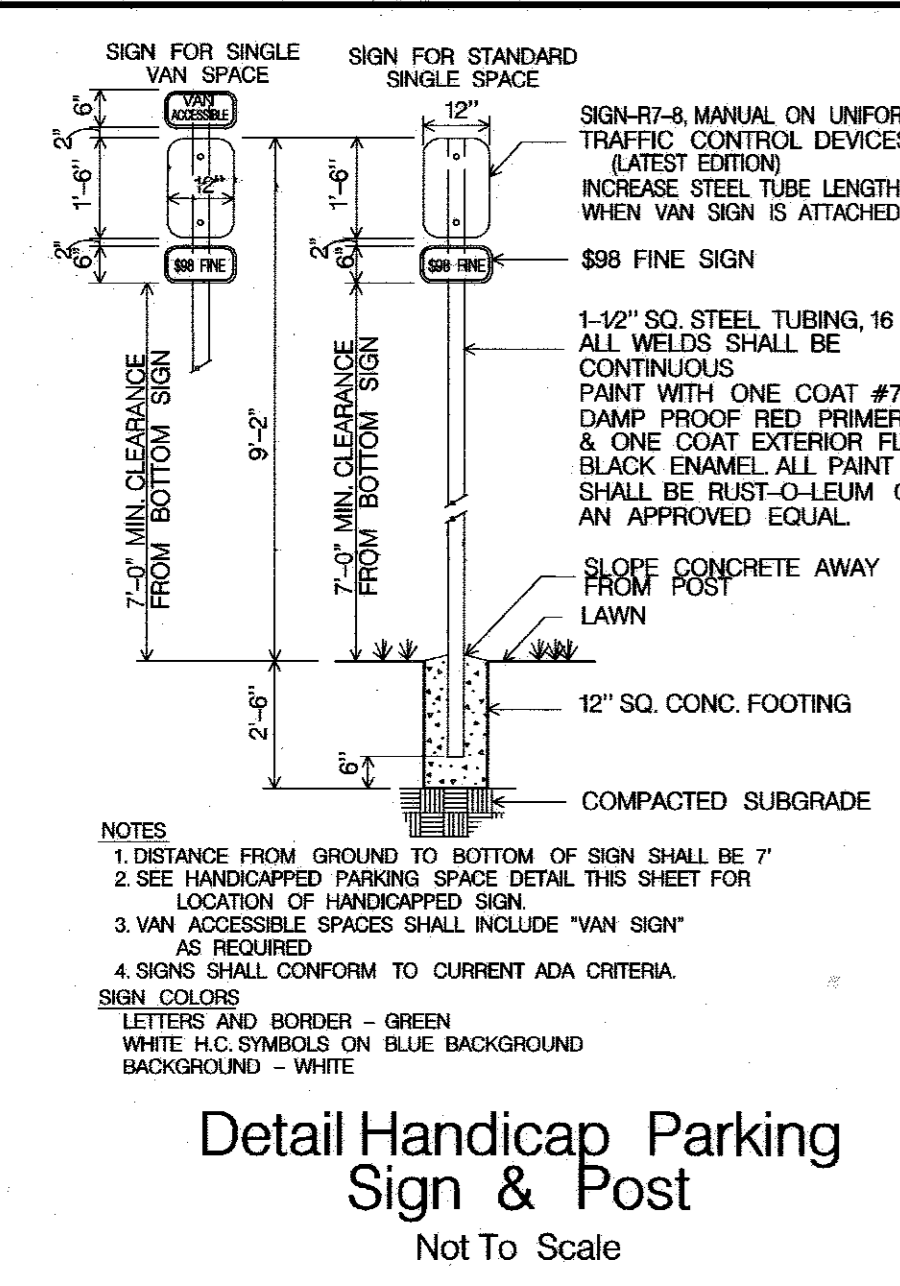
Site Development Plan and Details
Proposed Flex Office Buildings Parcel F
Patapsco Valley Business Center
 Howard County, Maryland
 Scale: As Shown
 June 16, 2005
 Sheet 3 of 13
 SDP 05-91

DP 05-91

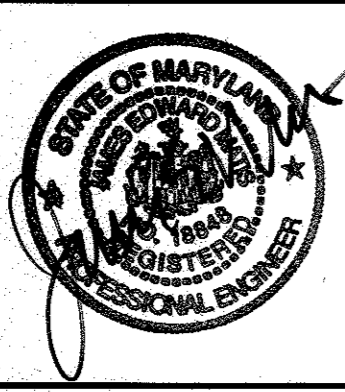


PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

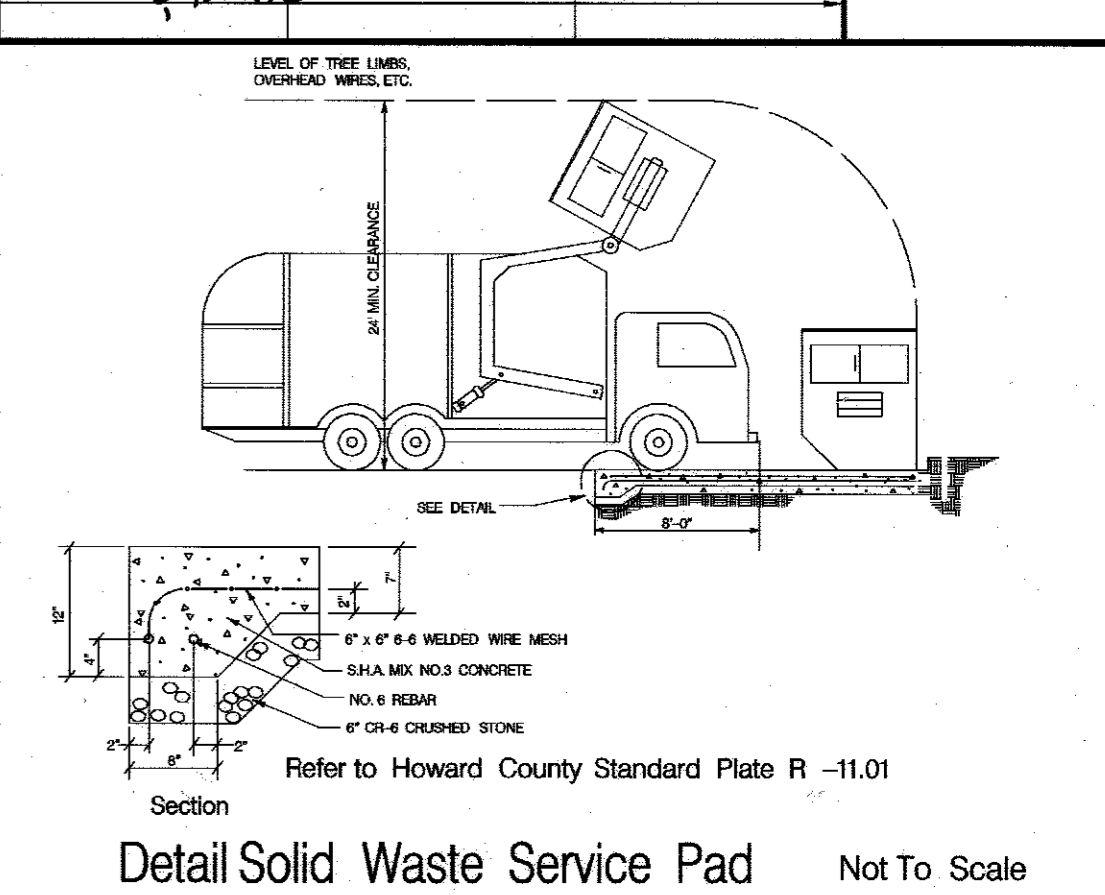
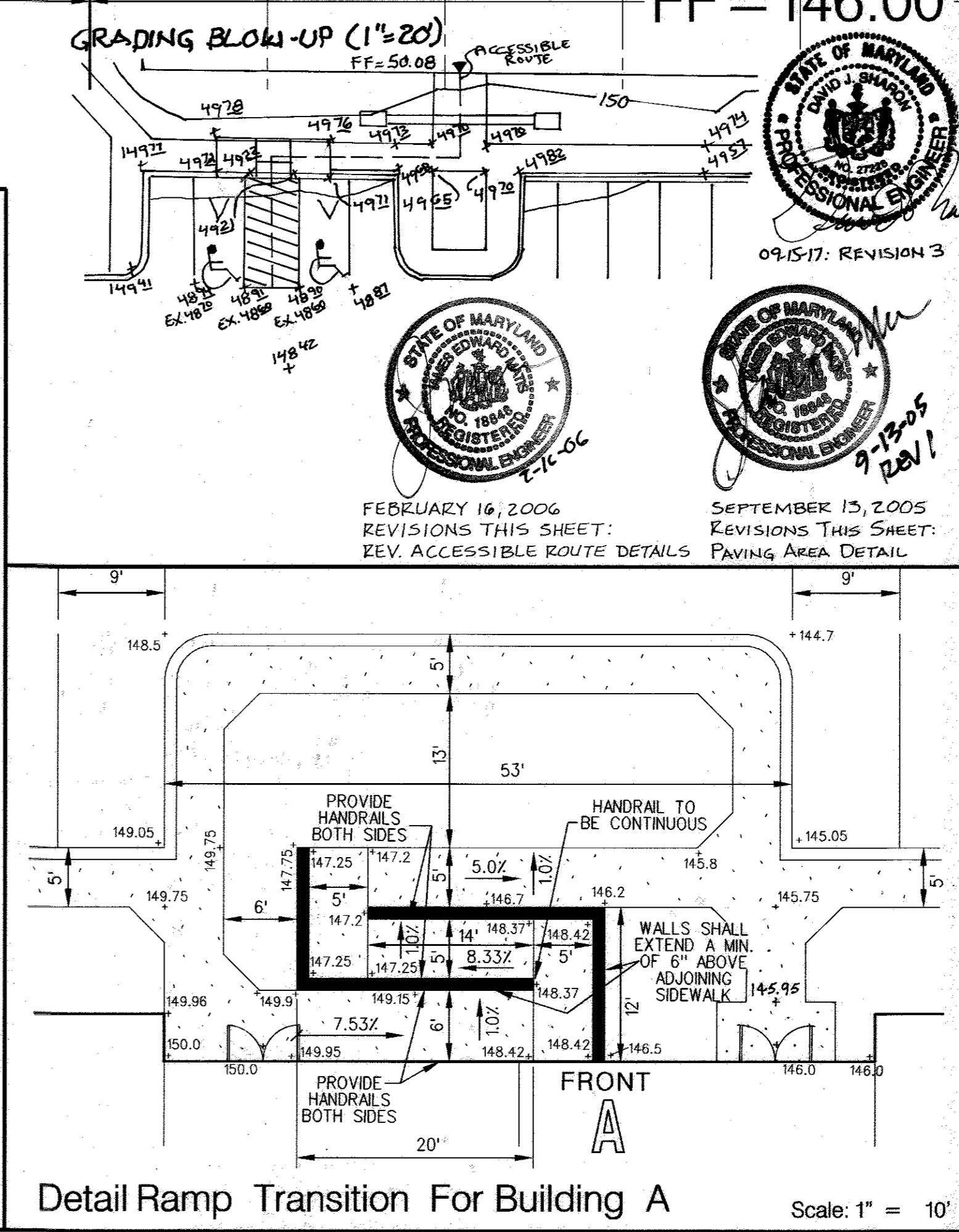
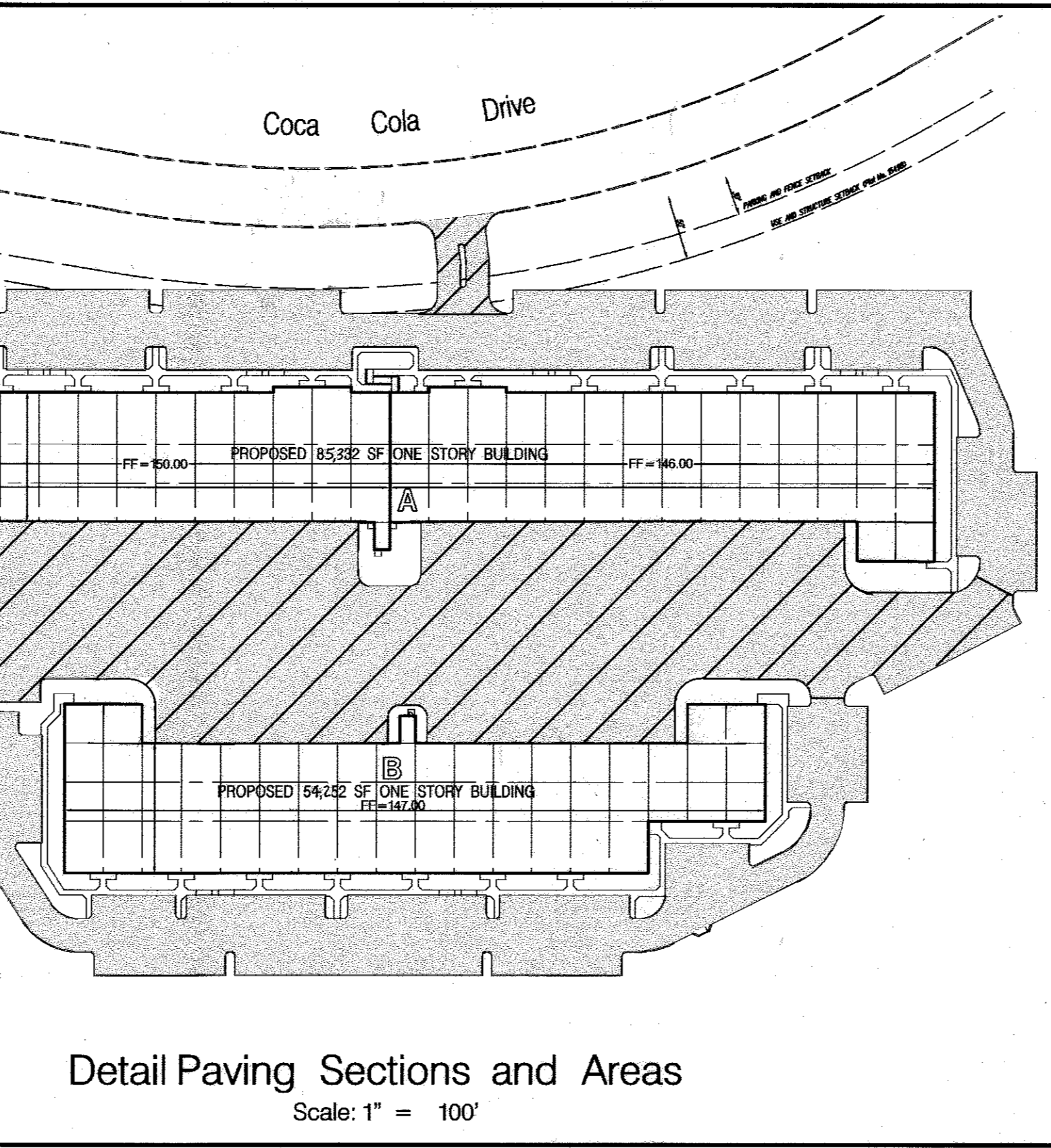
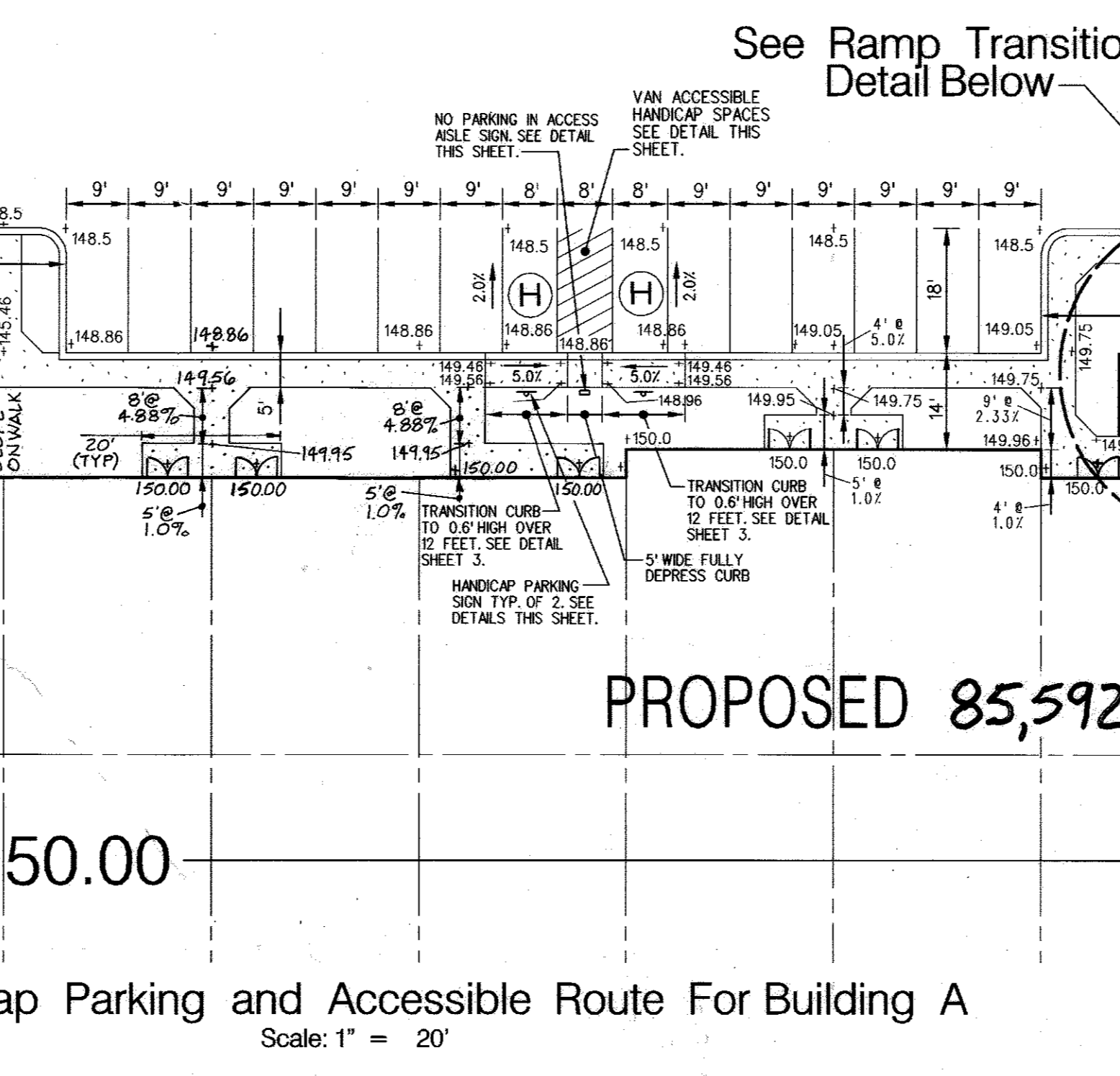
David Sharon 9/15/17
SIGNATURE OF ENGINEER DATE
DAVID SHARON, P.E.
MD LICENSE NUMBER: 27223
EXPIRATION DATE: 03-19-2018



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Developer / Owner
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By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
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Phone (410) 298-2600
Fax (410) 298-9644



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Dammann 7/15/05
Chief, Development Engineering Division
Andy Strambler 7/15/05
Chief, Division of Land Development
David de la Torre 7/15/05
Director

PERMIT INFORMATION CHART

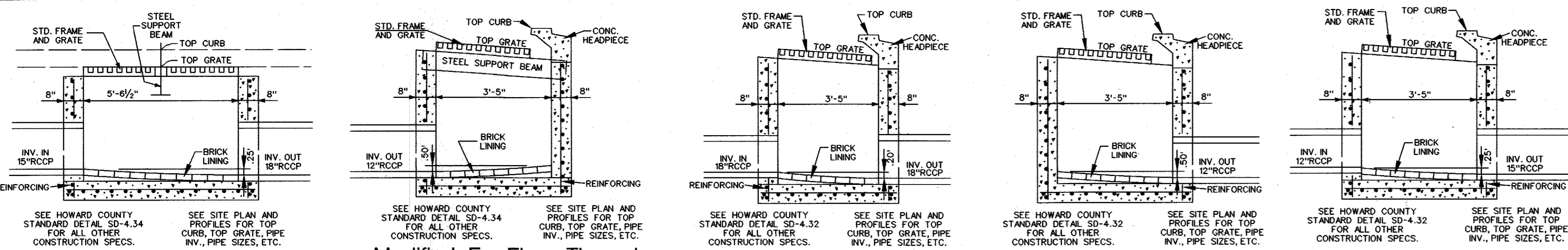
Subdivision Name	Patapsco Valley Business Center	Section / Area	N/A	Lot / Parcel No.	F
Plot or Lot/Folio	17-106-07	Zoning	M-2	Tax Map No.	38
Water Code	A-04	Election District	1st	Census Tract	6012.02
Water Code	A-04	Sewer Code	2150501		

RED-LINE REV. 3 - SEPTEMBER 15, 2017
Site Details

Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Red-Line Rev. 2 - February 16, 2006
Red-Line Rev. 1 - September 15, 2005
Howard County, Maryland
Scale: As Shown

September 15, 2005
Sheet 4 of 13
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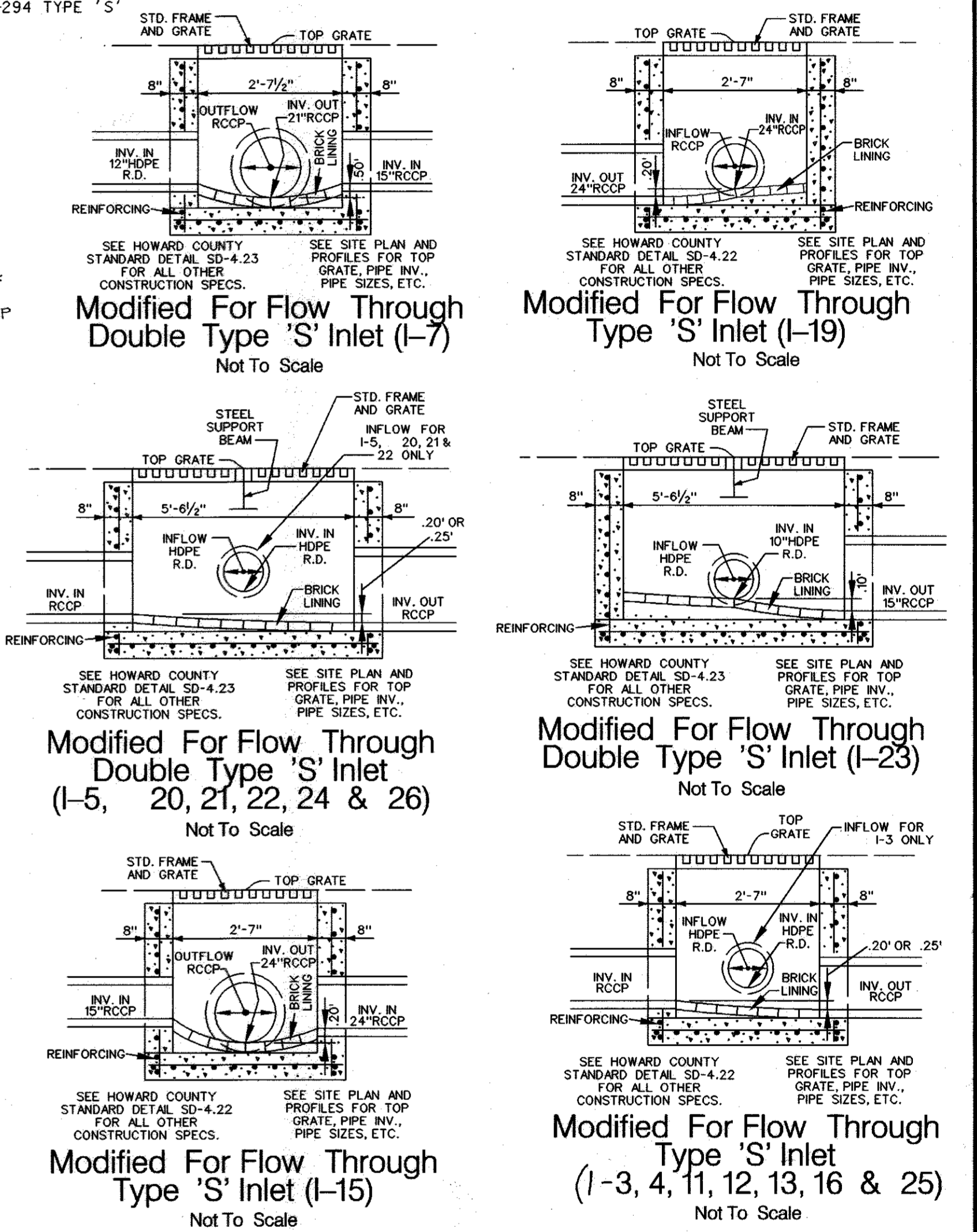
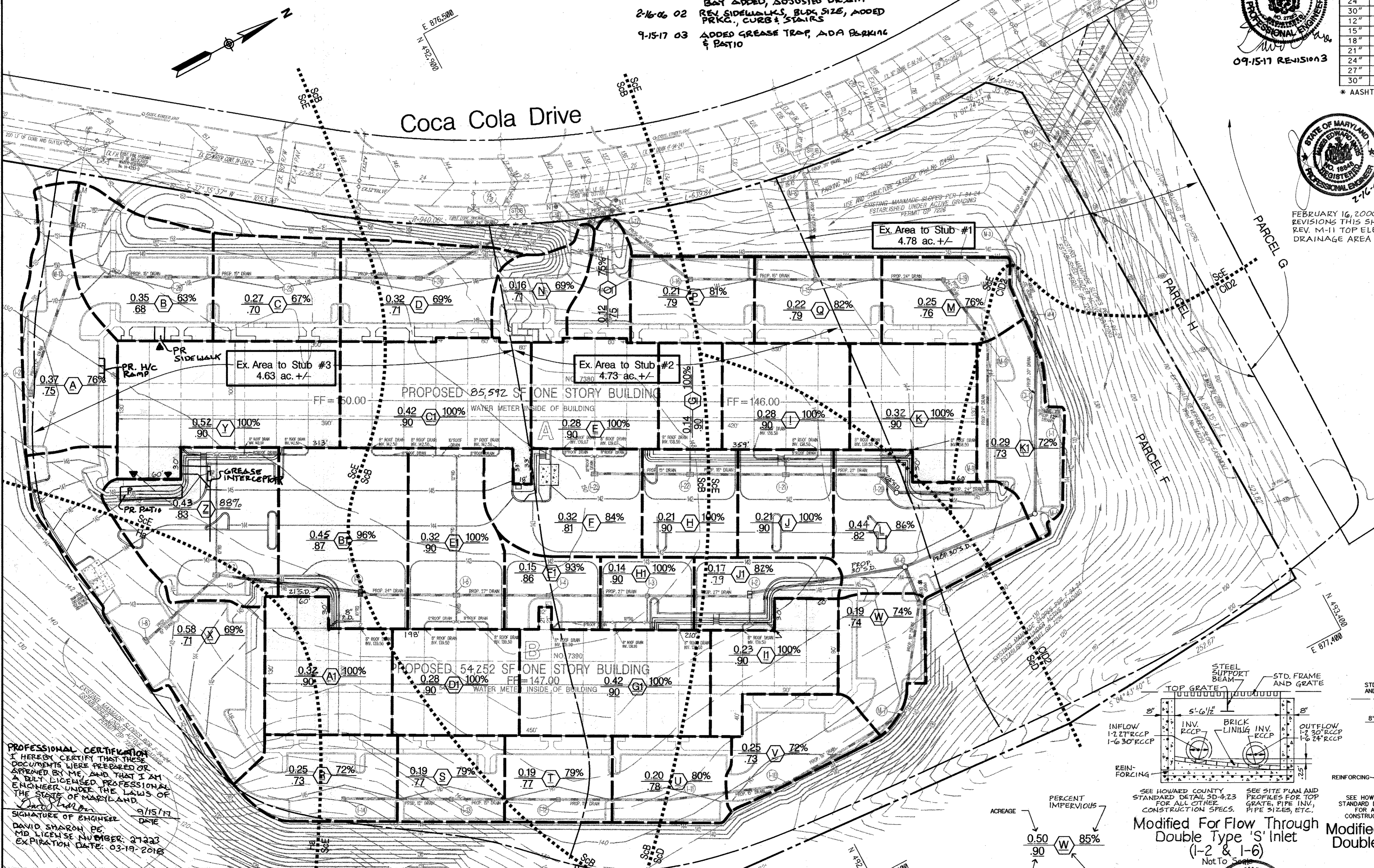


Modified For Flow Through Double Type 'S' Comb. Inlet (I-10) Not To Scale
 Modified For Flow Through Double Type 'S' Comb. Inlet (I-1) Not To Scale
 Modified For Flow Through Type 'S' Comb. Inlet (I-18) Not To Scale
 Modified For Flow Through Type 'S' Comb. Inlet (I-17) Not To Scale

STORM DRAIN STRUCTURE SCHEDULE					STORM DRAIN INLET SCHEDULE						
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS	NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	5' SHALLOW MANHOLE	92.80	92.60	99.50	STD. DTL. G 5.13	I-1	DBL. 'S' COMB.	-	137.99	143.60(TC)	STD. DTL. SD 4.34 *
M-1A	5' SHALLOW MANHOLE	101.83	98.33	108.00	STD. DTL. G 5.13	I-2	DBL. 'S'	134.97	134.72	142.50(TG)	STD. DTL. SD 4.23 **
M-2	5' SHALLOW MANHOLE	115.71	107.43	122.00	STD. DTL. G 5.13	I-3	TYPE 'S'	135.65	135.45	142.50(TG)	STD. DTL. SD 4.22 **
M-3	5' MANHOLE	131.07	130.87	140.00	STD. DTL. G 5.13	I-4	TYPE 'S'	136.31	136.11	142.50(TG)	STD. DTL. SD 4.22 **
M-4	5' MANHOLE	132.01	131.81	140.00	STD. DTL. G 5.13	I-5	DBL. 'S'	137.00	136.75	142.50(TG)	STD. DTL. SD 4.23 **
M-5	5' MANHOLE	132.12	132.92	144.40	STD. DTL. G 5.13	I-6	DBL. 'S'	137.70	137.45	142.50(TG)	STD. DTL. SD 4.23 **
M-6	5' MANHOLE	133.98	133.78	143.60	STD. DTL. G 5.13	I-7	DBL. 'S'	138.89	138.39	142.50(TG)	STD. DTL. SD 4.23 **
M-7	4' MANHOLE	138.10	137.90	145.00	STD. DTL. G 5.12	I-8	DBL. 'S'	-	139.34	142.50(TG)	STD. DTL. SD 4.23 **
M-8	5' MANHOLE	121.98	119.48	130.00	STD. DTL. G 5.13	I-9	'S' COMB.	137.37	137.17	144.60(TC)	STD. DTL. SD 4.32 **
M-9	4' MANHOLE	134.83	134.63	145.70	STD. DTL. G 5.12	I-10	DBL. 'S' COMB.	138.99	138.74	144.60(TC)	STD. DTL. SD 4.34 **
M-10	4' MANHOLE	135.75	135.55	145.00	STD. DTL. G 5.12	I-11	TYPE 'S'	139.76	139.56	144.60(TG)	STD. DTL. SD 4.22 **
M-11	4' SHALLOW MANHOLE	136.35	136.17	142.75	STD. DTL. G 5.12	I-12	TYPE 'S'	140.47	140.27	144.40(TG)	STD. DTL. SD 4.22 **
M-12	4' MANHOLE	139.39	137.39	147.00	STD. DTL. G 5.12	I-13	TYPE 'S'	141.22	140.97	144.40(TG)	STD. DTL. SD 4.22 **
M-13	4' MANHOLE	143.72	143.47	149.60	STD. DTL. G 5.12	I-14	TYPE 'S'	-	141.73	144.40(TG)	STD. DTL. SD 4.22 **
CI-1	CUT-IN	133.19	132.44	-	30" RCCP x 12" RCCP	I-15	TYPE 'S'	133.27	133.27	143.40(TG)	STD. DTL. SD 4.22 **
						I-16	TYPE 'S'	135.15	134.95	143.40(TG)	STD. DTL. SD 4.22 **
						I-17	'S' COMB.	135.88	135.63	139.40(TC)	STD. DTL. SD 4.32 **
						I-18	'S' COMB.	-	137.00	140.60(TC)	STD. DTL. SD 4.32 **
						I-19	TYPE 'S'	134.28	134.08	143.40(TG)	STD. DTL. SD 4.22 **
						I-20	DBL. 'S'	136.71	136.46	141.50(TG)	STD. DTL. SD 4.23 **
						I-21	DBL. 'S'	137.41	137.16	141.50(TG)	STD. DTL. SD 4.23 **
						I-22	DBL. 'S'	138.05	137.86	141.50(TG)	STD. DTL. SD 4.23 **
						I-23	DBL. 'S'	-	138.50	141.50(TG)	STD. DTL. SD 4.23 **
						I-24	DBL. 'S'	140.04	139.84	147.30(TG)	STD. DTL. SD 4.23 **
						I-25	TYPE 'S'	140.91	140.71	147.40(TG)	STD. DTL. SD 4.22 **
						I-26	DBL. 'S'	143.01	142.81	147.50(TG)	STD. DTL. SD 4.23 **
						I-27	DBL. 'S' COMB.	144.30	144.10	147.80(TC)	STD. DTL. SD 4.34 **

PIPE SCHEDULE				
SIZE	TYPE	PIPE LENGTH- FEET		
8"	PVC SCHEDULE 40	637		
10"	PVC SCHEDULE 40	231		
12"	PVC SCHEDULE 40	287		
24"	HDPE*	22		
30"	HDPE*	22		
12"	RCCP CL IV	260		
15"	RCCP CL IV	1126		
18"	RCCP CL IV	354		
24"	RCCP CL III	227		
24"	RCCP CL III	626		
27"	RCCP CL III	216		
30"	RCCP CL III	777		

- DATE NO REVISION DESCRIPTION
- 9-12-05 01 REVISED ENDS OF BUILDINGS PARKING LOT ADDED, ADJUSTED DRAIN
 - 2-16-06 02 REV. SIDEWALKS, BLDG. SIZE, ADDED PRKG., CURB & STAIRS
 - 9-15-17 03 ADDED GREASE TRAP, ADA PARKING & RATIO



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David C. ...
 Chief, Development Engineering Division
 Date: 9/15/17

Andy ...
 Chief, Division of Land Development
 Date: 7/5/15

Maria ...
 Director
 Date: 7/5/15

PERMIT INFORMATION CHART				
Subdivision Name	Section / Area	Lot / Parcel No.		
Patapsco Valley Business Center	NA	F		
Grid #	Zoning	Tax Map No.	Election District	Tax Parcel 2005 Census Tract
20	M-2	38	1st	6012.02
Water Code	Sewer Code			
A 04	2150501			

Matis Warfield
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 Fax 410-683-1798
 www.matiswarfield.com

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 NO. 18888
 DAVID SHARON PE
 MD LICENSE NUMBER 27223
 EXPIRATION DATE: 03-19-2018

Drainage Area Map
 Scale 1" = 50'

STORM WATER MANAGEMENT QUANTITY AND QUALITY PROVIDED IN REGIONAL FACILITY LOCATED ON ADJACENT PARCEL G (DPW FILE F-94-24)

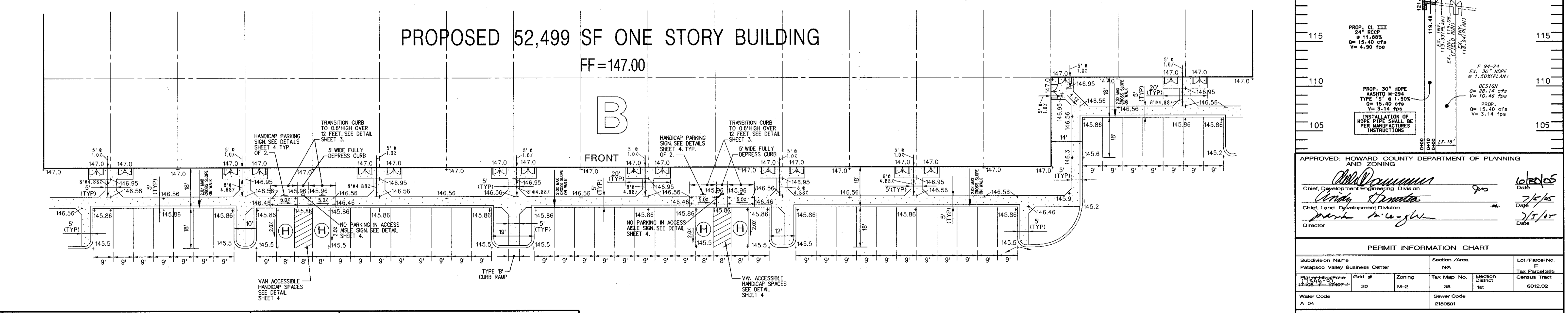
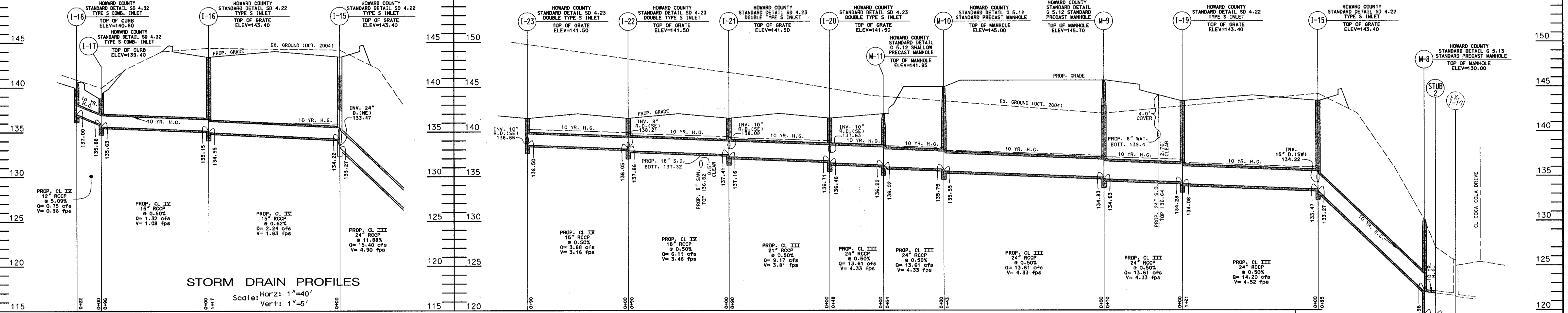
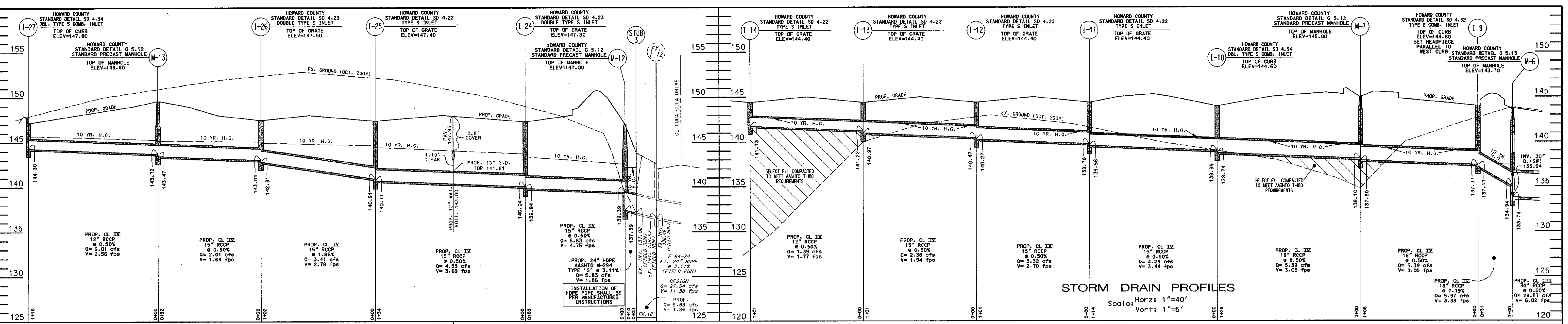
Developer / Owner
 Merritt PVI, LLC
 By Member - Merritt Properties, LLC
 By: Robb Merritt, Vice President
 c/o Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244
 Phone (410) 298-2600
 Fax (410) 298-9644

SEPTEMBER 13, 2005
 REVISIONS THIS SHEET:
 DRAINAGE AREA MAP / INLET STRUCTURE & PIPE SCHEDULES

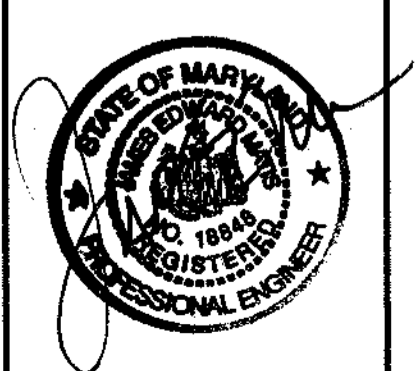
RED-LINE REV. 3 - SEPTEMBER 15, 2017
Stormwater Drainage Area Map & Storm Drain Details
Proposed Flex Office Buildings Parcel F
Patapsco Valley Business Center
 Red-Line Rev. 2 - February 16, 2006
 Red-Line Rev. 1 - September 13, 2005
 June 16, 2005

Howard County, Maryland
 Scale: As Shown

Sheet 5 of 13
 SDP 05-91



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Hunt Valley, Maryland 21114
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Facsimile 410-683-1798
www.matiswarfield.com



Developer / Owner
Merritt PVI, LLC
By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

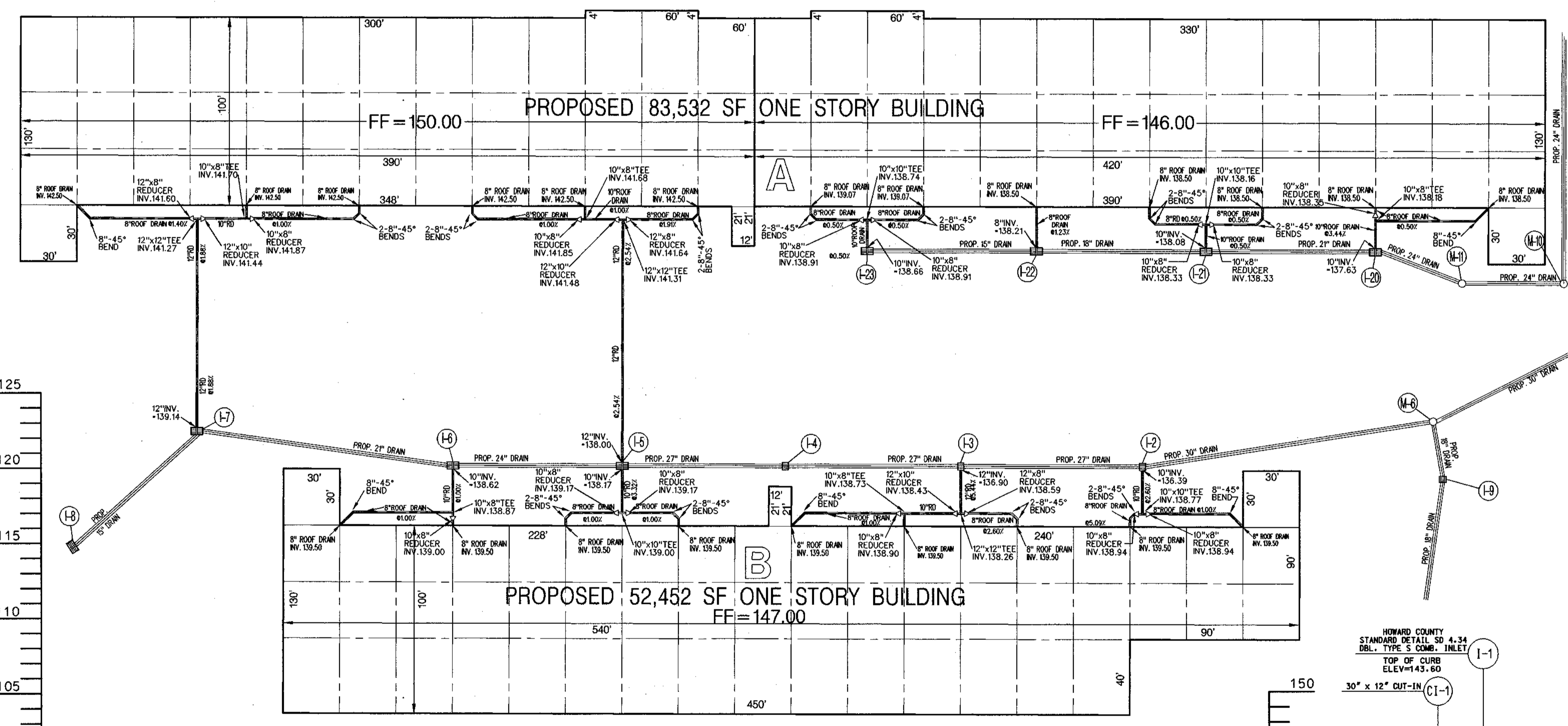
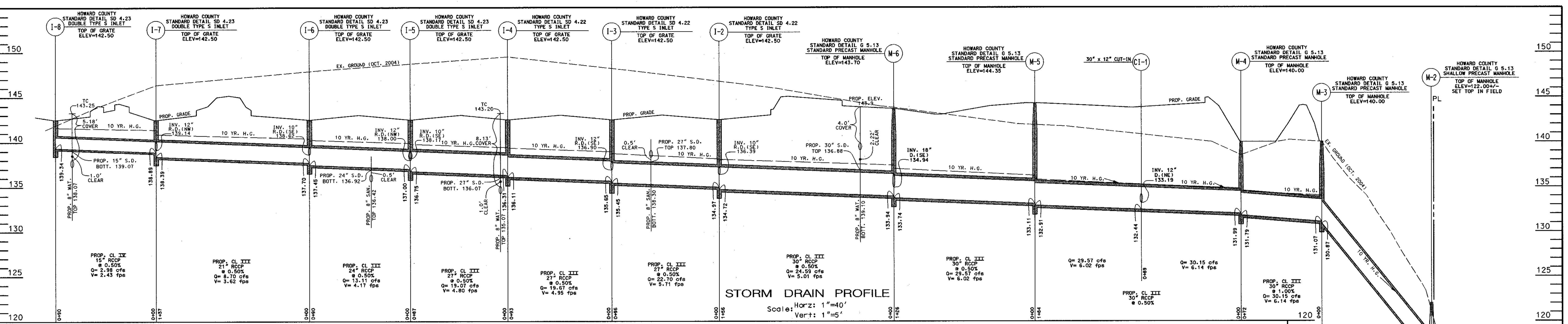
Detail Handicap Parking and Accessible Route For Building B
Scale: 1" = 20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Land Development Division
Director

PERMIT INFORMATION CHART			
Subdivision Name Patapsco Valley Business Center	Section/Area NA	Lot/Parcel No. F	
Planning Folio 27-06-1-2469-2	Grid # 20	Zoning M-2	Tax Map No. 38
Water Code A 04	Sewer Code 2180501	Election District 1st	Census Tract 6012.02

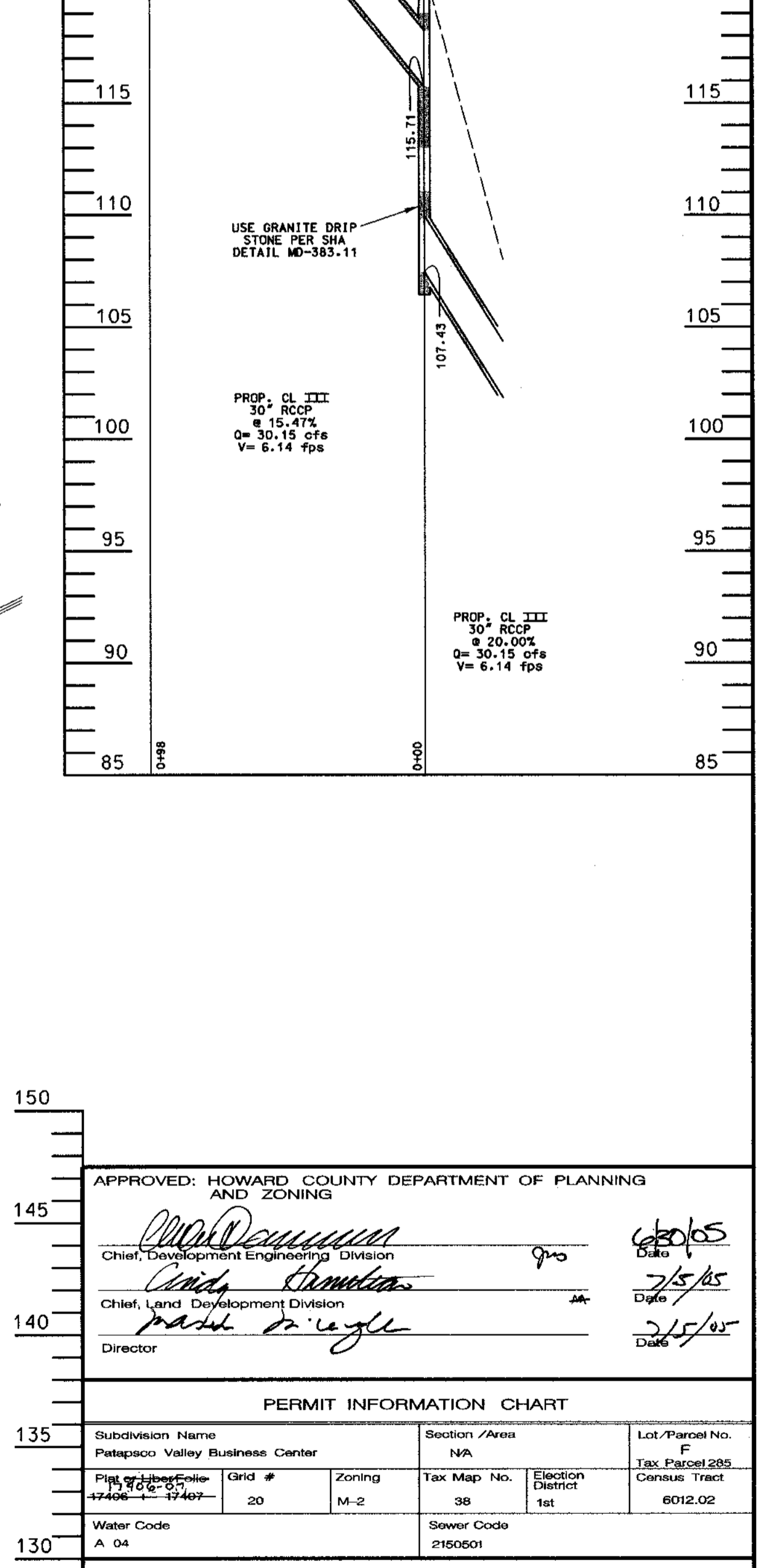
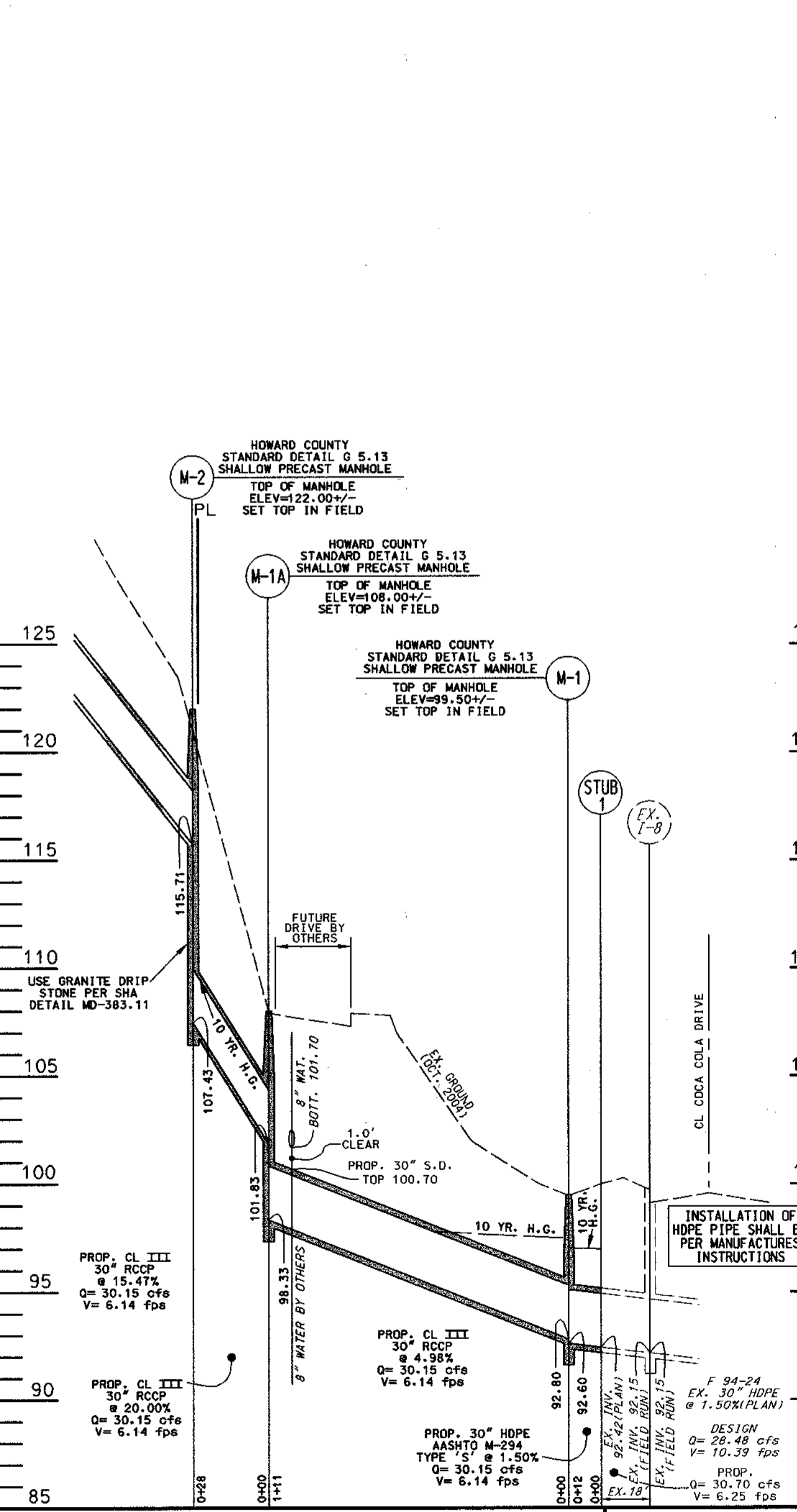
Private Storm Drain Profiles and Details
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Howard County, Maryland
Scale: As Shown
June 16, 2005
Sheet 6 of 13
SDP 05-91

SDP 05-91



Roof Drainage Detail
Scale: 1"=40'

NOTES:
1. ALL ROOF DRAINAGE TO BE PVC SCHEDULE 40.



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consulting engineers

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Baltimore, MD 21286
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Merritt PV1, LLC
By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2800
Fax (410) 298-9644

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David J. ...
Chief, Development Engineering Division

David ...
Chief, Land Development Division

Mark ...
Director

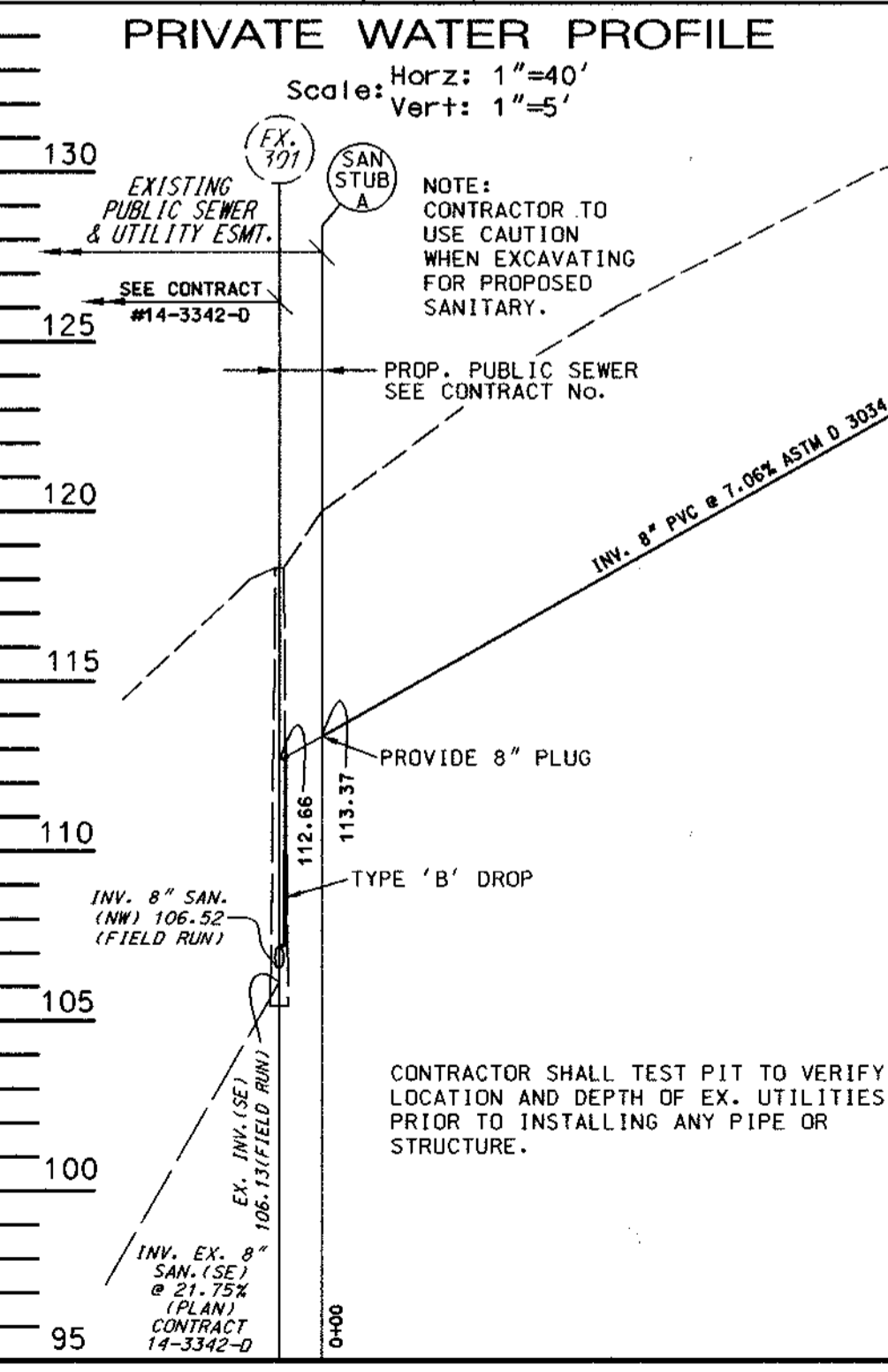
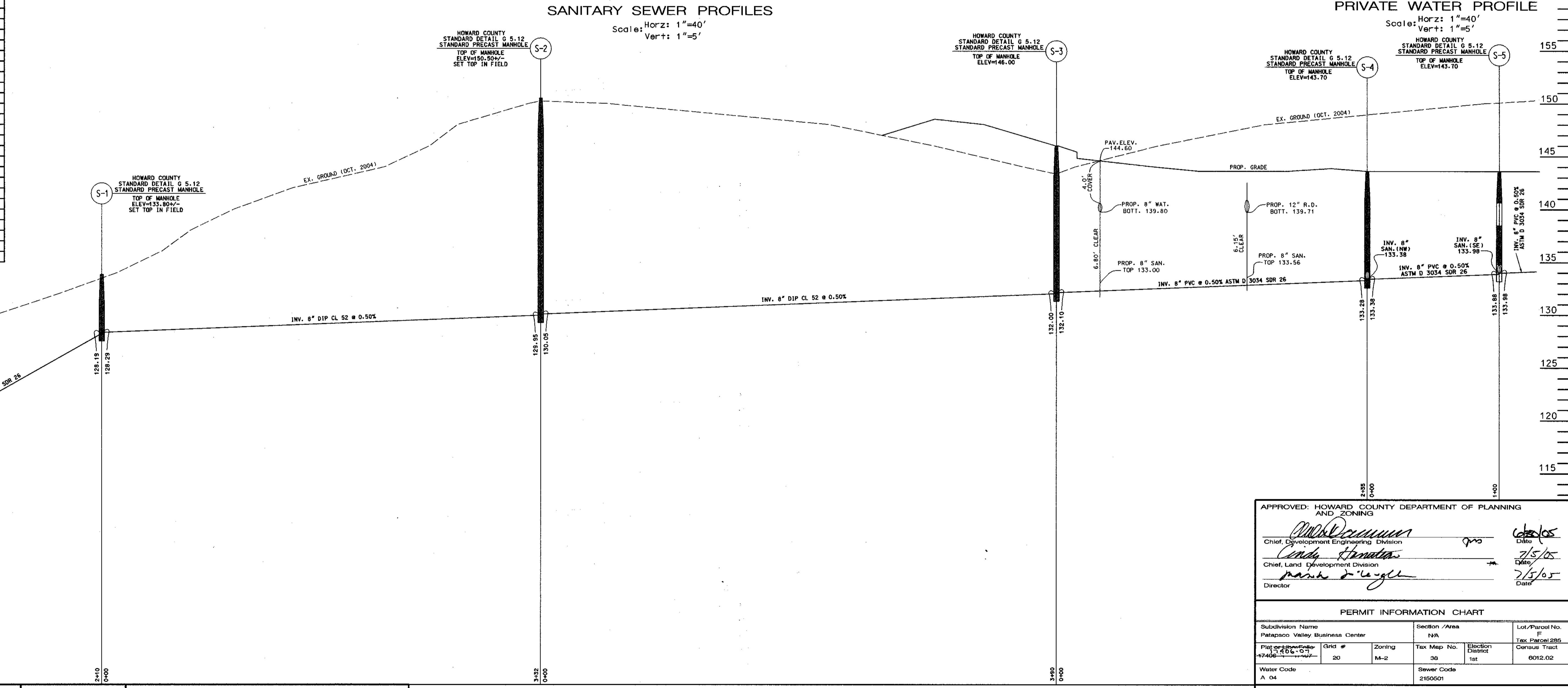
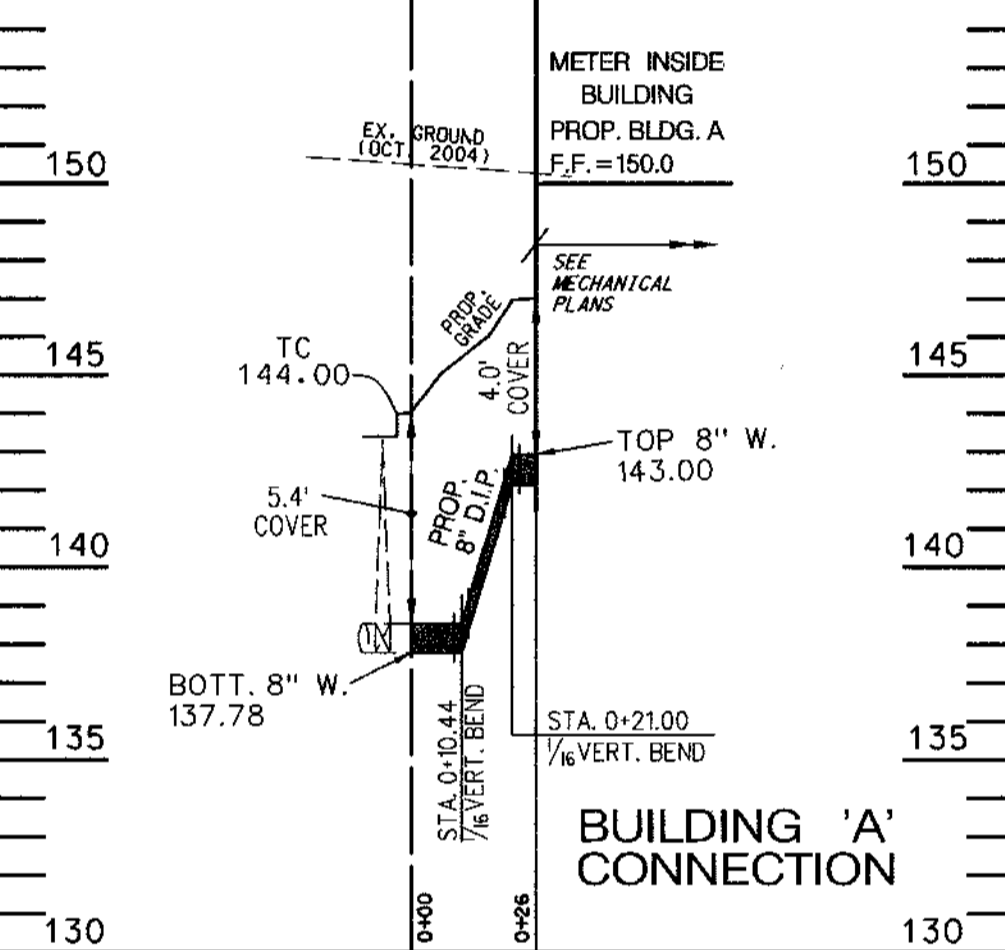
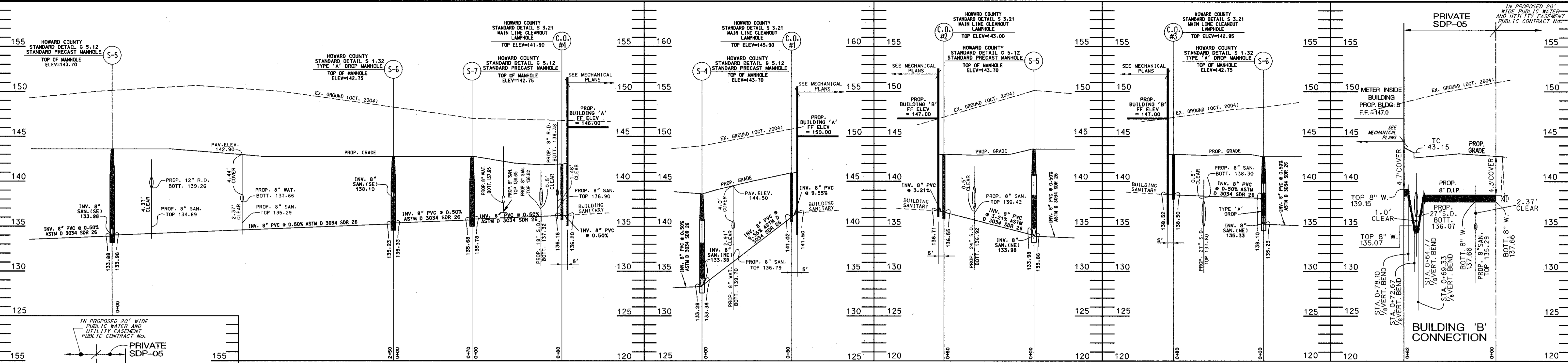
PERMIT INFORMATION CHART			
Subdivision Name Patapsco Valley Business Center	Section / Area NA	Water Code A 04	Lot / Parcel No. Tax Parcel 205 Census Tract 6012.02
Plan No. 47406-1-17409	Grid # 20	Zoning M-2	Election District 1st

Private Storm Drain Profiles and Details
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center

Howard County, Maryland
Scale: As Shown
June 16, 2005

Sheet 7 of 13
SDP 05-91

SDP 05-91



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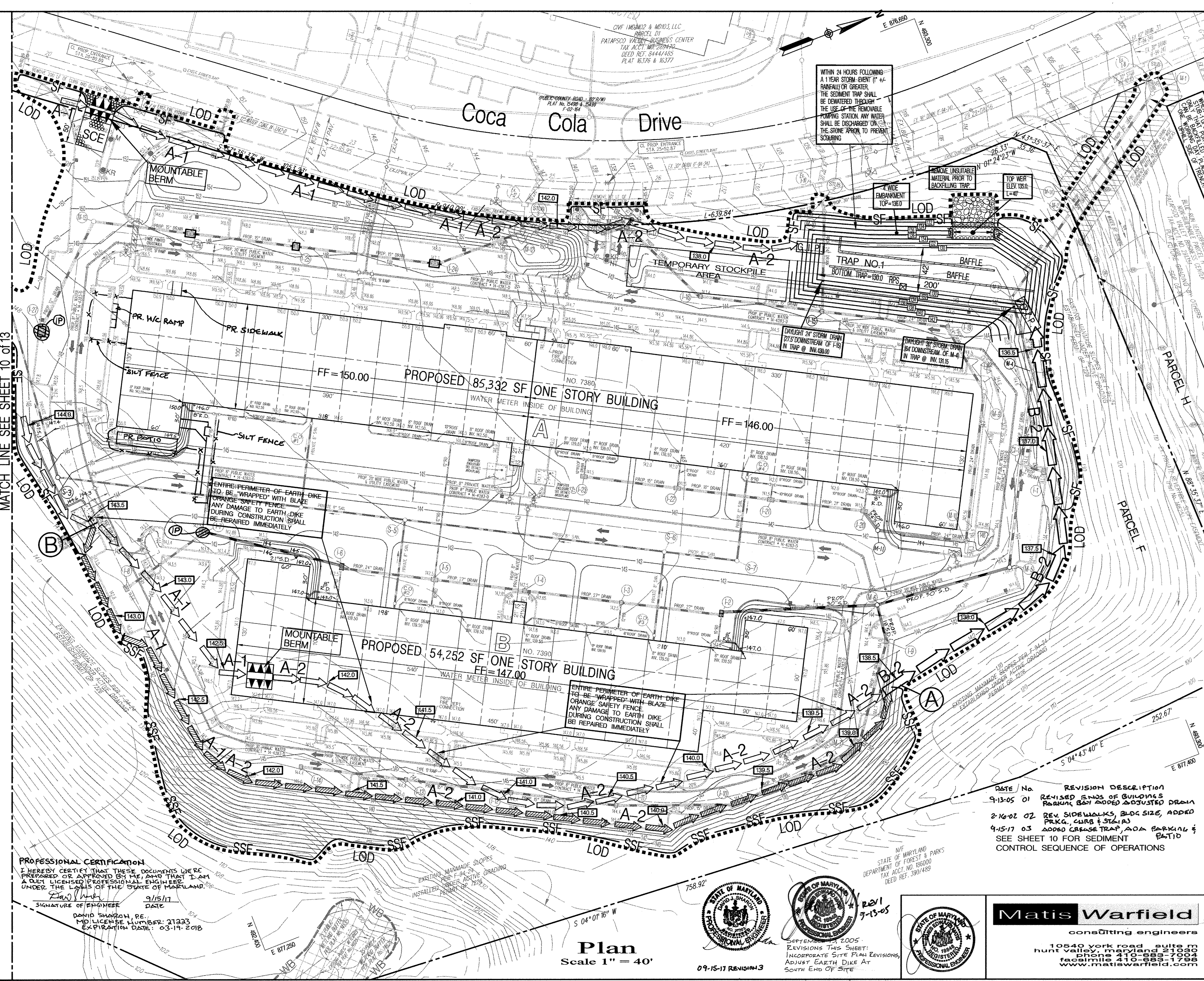
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Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

SANITARY SEWER PROFILE
Scale: Horz: 1"=40'
Vert: 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Land Development Division
Director

PERMIT INFORMATION CHART			
Subdivision Name Patapsco Valley Business Center	Section / Area N/A	Lot / Parcel No. F	Lot / Parcel 285
Plot or Parcel No. 17406-07	Grid # 20	Zoning M-2	Tax Parcel No. 6012.02
Water Code A 04	Sewer Code 2160501	Election District 30	Census Tract 6012.02

Private Sanitary Sewer and Water Profiles
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Howard County, Maryland
Scale: As Shown
June 6, 2005
Sheet 8 of 13
SDP 05-91



Legend

- Existing Contour
- Proposed Grades
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Private Storm Drain
- Existing Curb and Gutter
- Proposed Conc. Curb & Gutter
- Proposed Concrete Paving
- Handicap Parking Space
- Guard Rail
- Future Grades by Others
- Stabilized Construction Entrance

TRAP NUMBER	1
TYPE	SROST ST IV
EXISTING DRAINAGE AREA AC.	9.67
INTERIM DRAINAGE AREA AC.	10.00(6)
PROPOSED DRAINAGE AREA AC.	10.00
STORAGE REQUIRED C.F.	WET 16,000
	DRY 18,000
	TOTAL 36,000
STORAGE PROVIDED C.F.	WET 29,066
	DRY 24,508
	TOTAL 53,574
WEIR CREST ELEV.	135.0
BOTTOM ELEV.	130.0
TOP EMBANKMENT ELEV.	136.0
LIMIT WET STORAGE / ELEV.	133.0
CLEANOUT ELEV. = 1/2 WET STORAGE DEPTH	131.5
SIDE SLOPES	2 : 1
WET STORAGE ZONE ELEV.	130.0 - 133.0
DRY STORAGE ZONE ELEV.	133.0 - 135.0
BOTTOM DIMENSION	200' x 42' Irregular
EXIST. GROUND ELEV. AT OUTLET	134.0
OUTLET WIDTH	40'

(a) If proposed inlets clog

Developer / Owner
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 By Member - Merritt Properties, LLC
 By Robb Merritt, Vice President
 c/o Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244
 Phone (410) 298-2600
 Fax (410) 298-9644

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
James E. Matis
 James E. Matis, P.E. MD 18848
 6/16/05
 Date

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Robb Merritt
 For Merritt PV1, LLC by Member Merritt Properties, LLC
 by Robb Merritt, Vice President
 6/16/05
 Date

Reviewed for Howard SCD and meets Technical Requirements
Jim Meyer
 Jim Meyer, Natural Resources Conservation Service
 6/28/05
 Date
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John K. Blanton
 John K. Blanton, Howard SCD
 6/28/05
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
William D. Williams
 William D. Williams, Chief, Development Engineering Division
 6/28/05
 Date
David R. Williams
 David R. Williams, Chief, Land Development Division
 6/28/05
 Date
Mark A. Lytle
 Mark A. Lytle, Director

PERMIT INFORMATION CHART

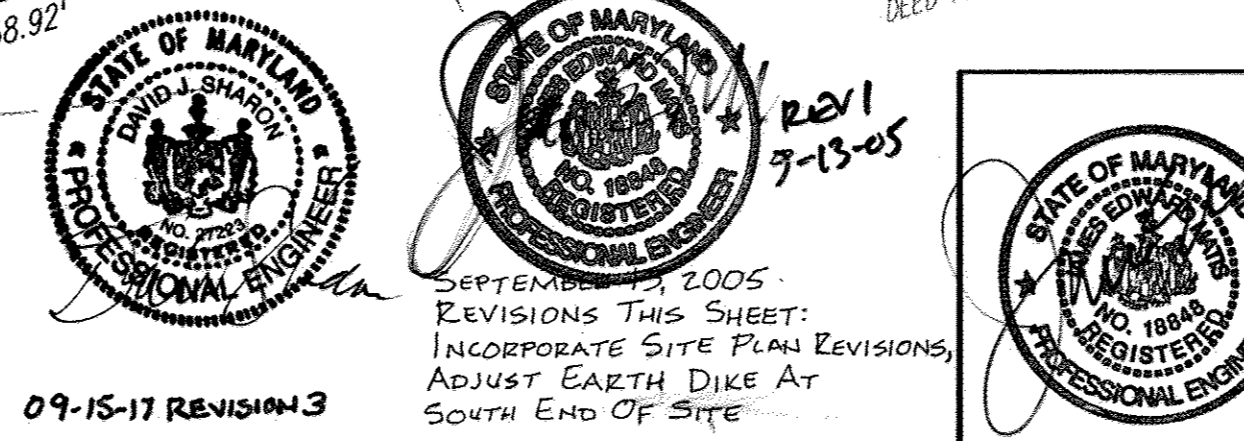
Subdivision Name	Patapsco Valley Business Center	Section / Area	N/A	Lot / Parcel No.	F
Plat or Subdiv. #	4446-01-1499	Zoning	M-2	Election District	1st
Water Code	A 04	Sewer Code	2150501	Consensus Tract	6012.02

Sediment & Erosion Control Plan
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
 Red-Line Rev. 3 - SEPTEMBER 15, 2017
 Red-Line Rev. 1 - September 13, 2005
 Howard County, Maryland
 Scale: As Shown
 Sheet 9 of 13
 SDP 05-91

WITHIN 24 HOURS FOLLOWING A 1 YEAR STORM-EVENT (1" +/- RAINFALL) OR GREATER, THE SEDIMENT TRAP SHALL BE DETAILED THROUGH THE USE OF THE REMOVABLE PUMPING STATION. ANY WATER SHALL BE DISCHARGED ON THE STONE APPROX. TO PREVENT SCOURING.

MATCH LINE SEE SHEET 10 OF 13

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
David M. Swanson
 David M. Swanson, P.E.
 MD LICENSE NUMBER: 21333
 EXPIRATION DATE: 03-19-2018
 9/15/17
 DATE



REVISIONS

DATE / No.	REVISION DESCRIPTION
9-13-05 01	REVISED ENDS OF BUILDINGS PARKING, BAY ADDED ADJUSTED DRAIN
2-10-02 02	REV. SIDEWALKS, BLDG SIZE, ADDED PRKG., CURB & STAIRS
4-15-17 03	ADDED GREASE TRAP, ADA PARKING & RESTROOM

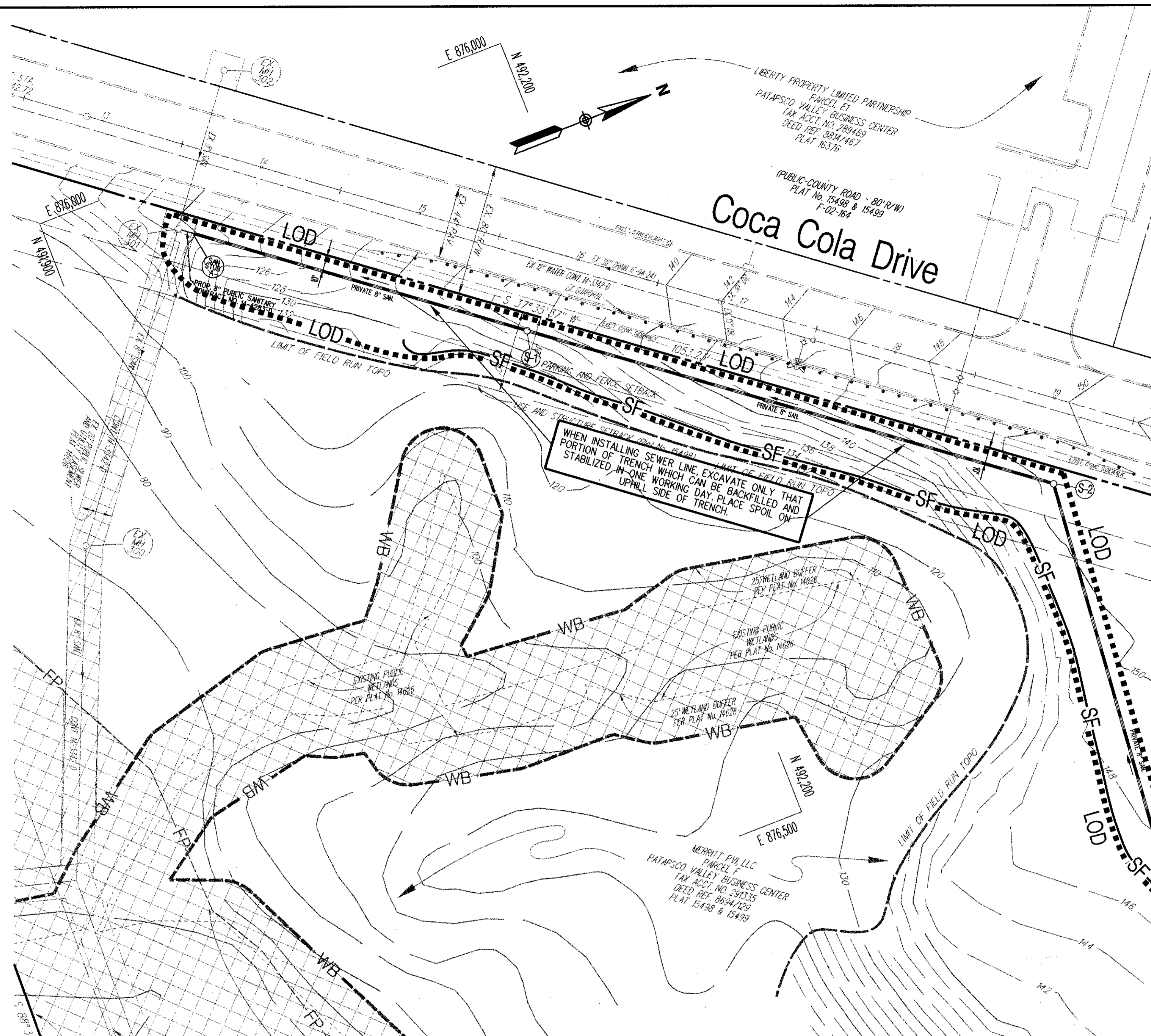
Matis Warfield
 consulting engineers
 10540 York Road Suite M
 Hunt Valley, Maryland 21038
 Phone 410-889-7004
 Fax 410-889-7004
 www.matiswarfield.com

Plan
 Scale 1" = 40'

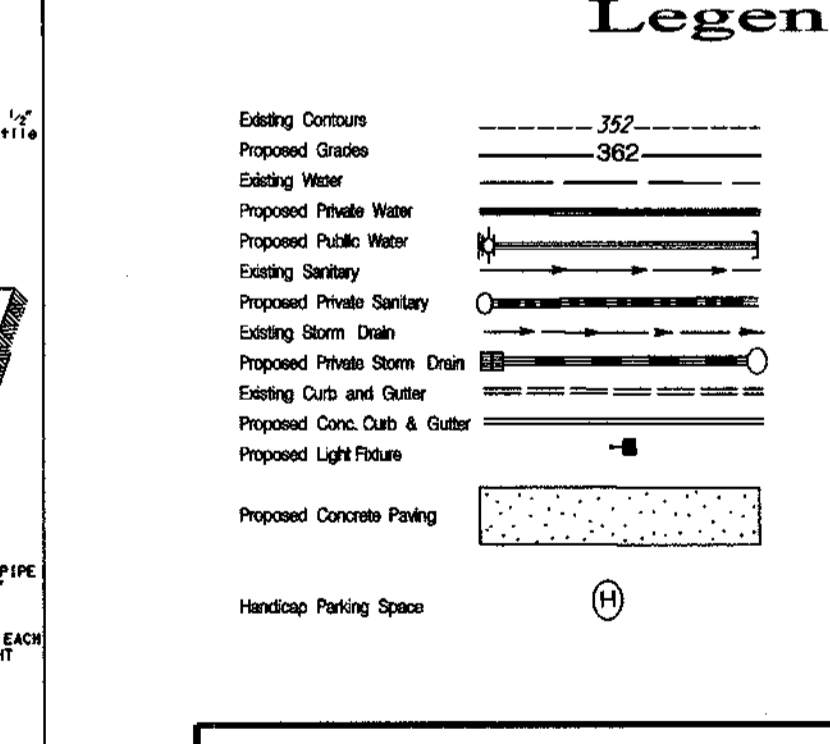
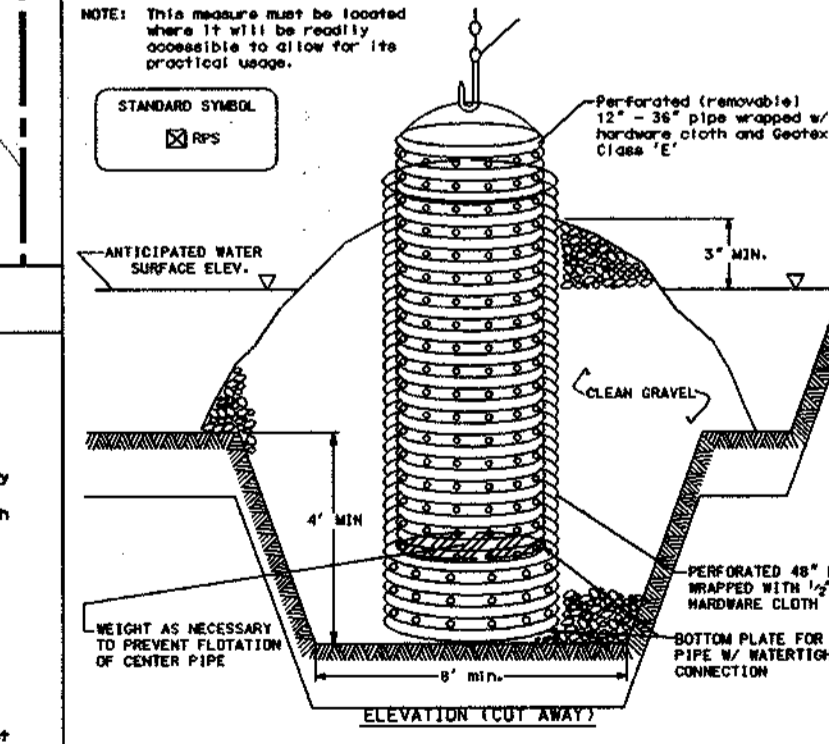
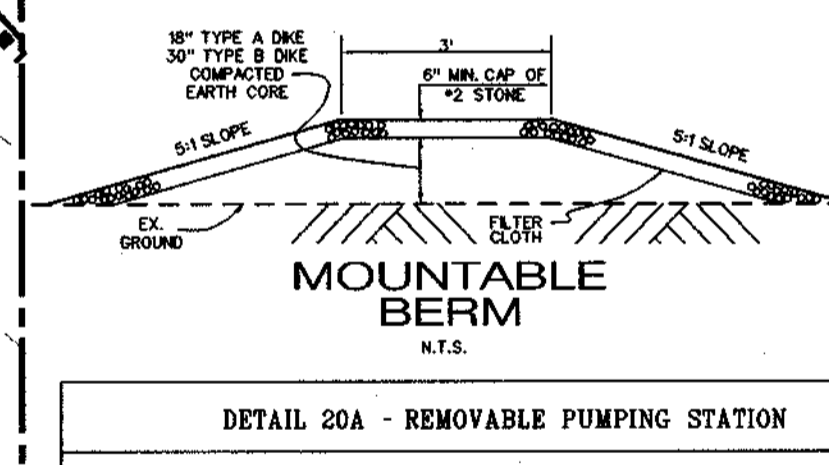
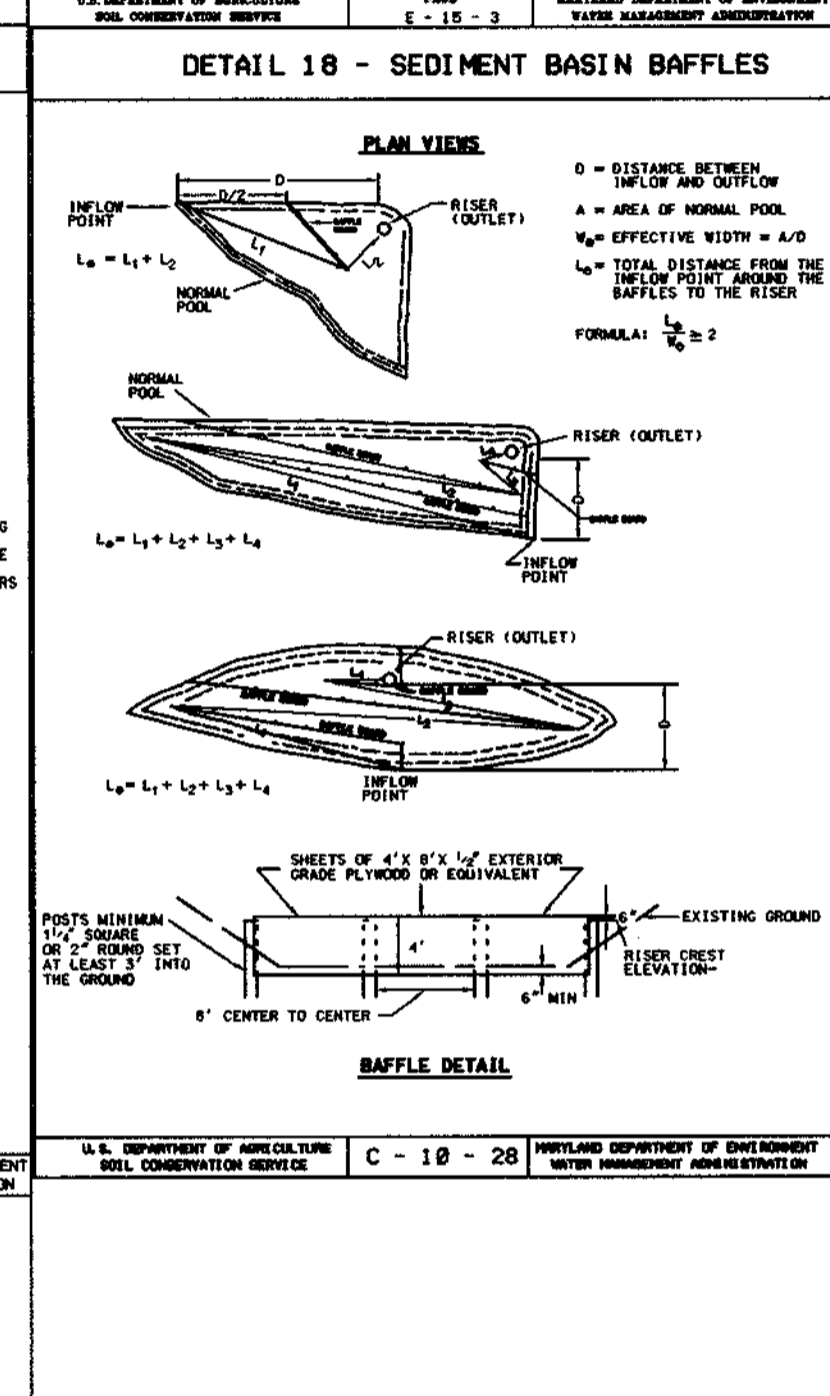
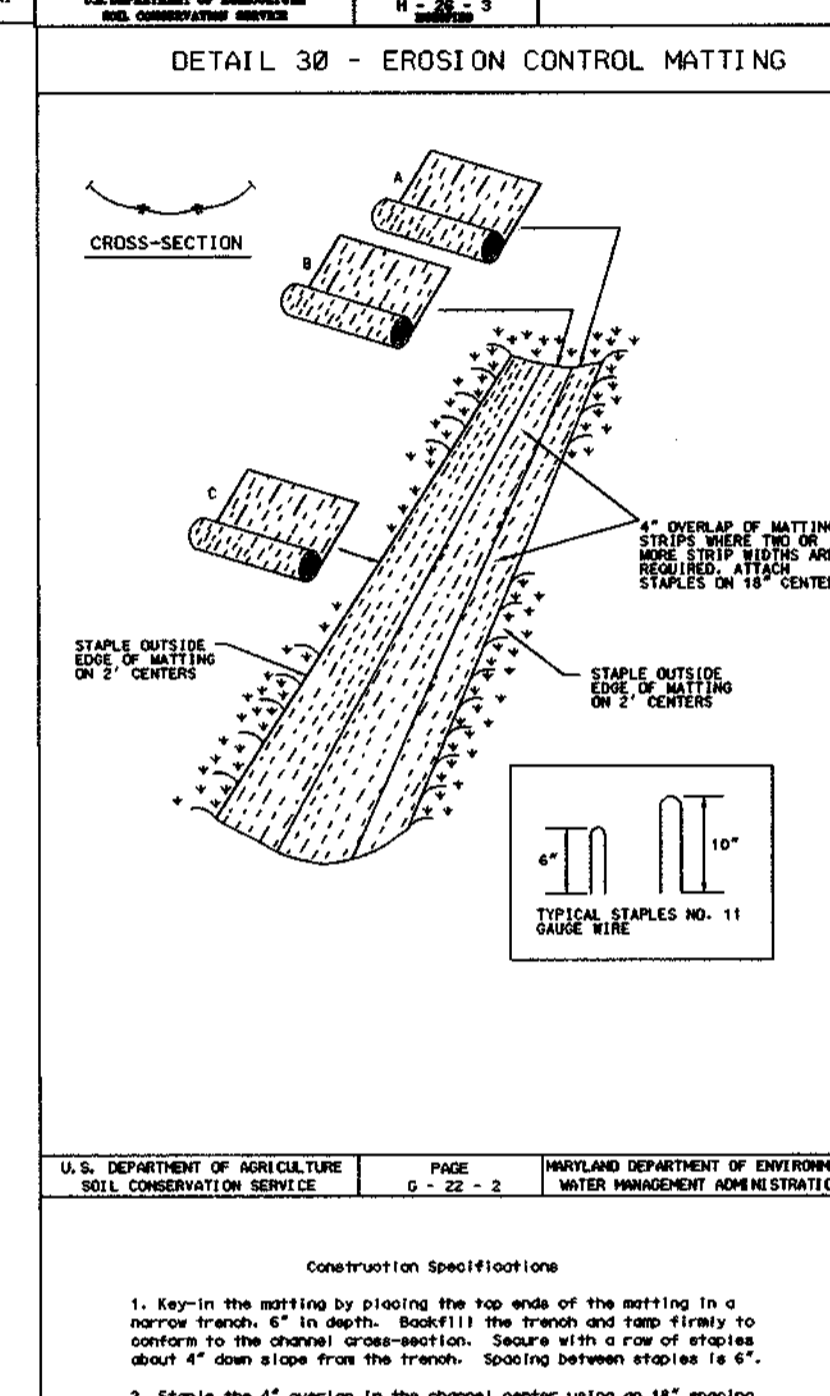
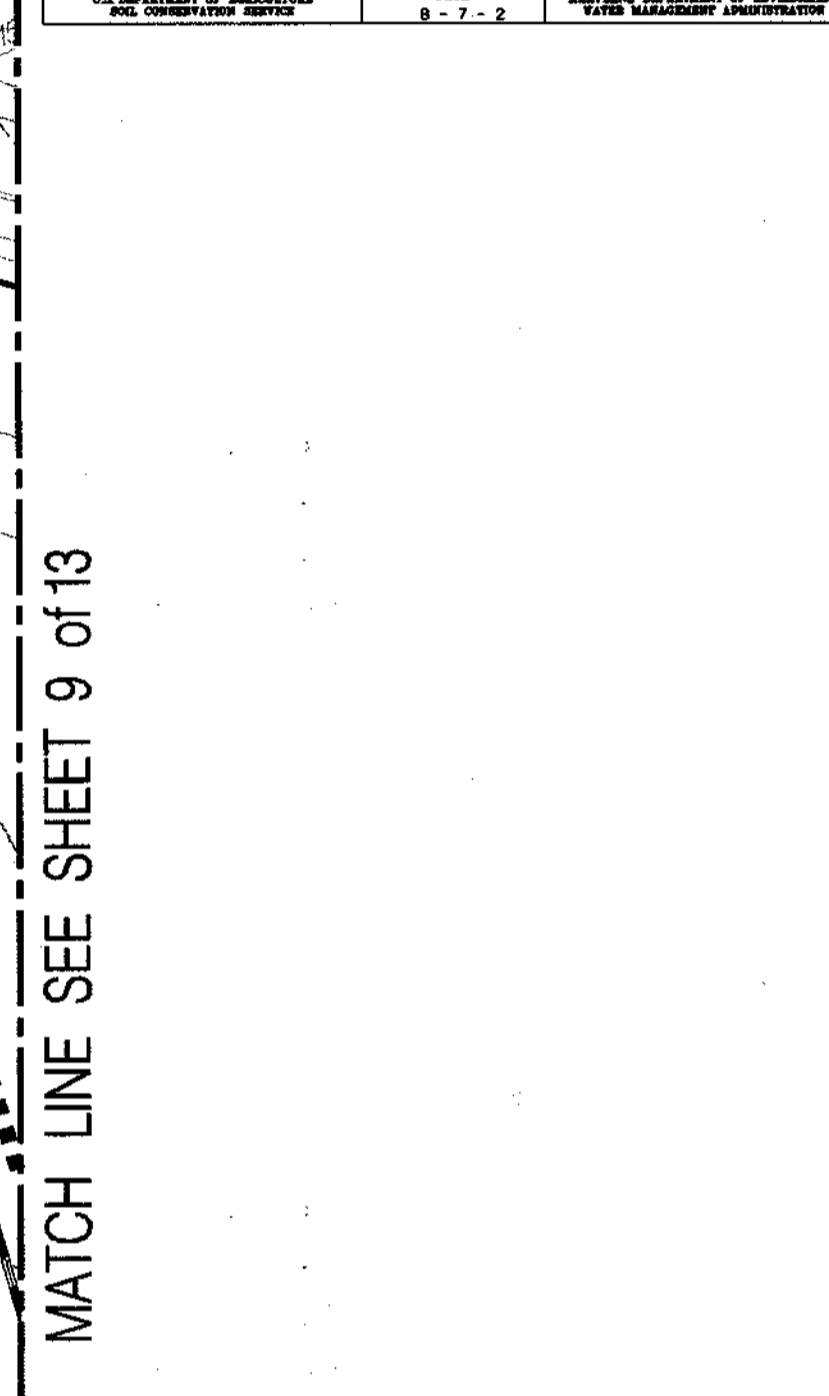
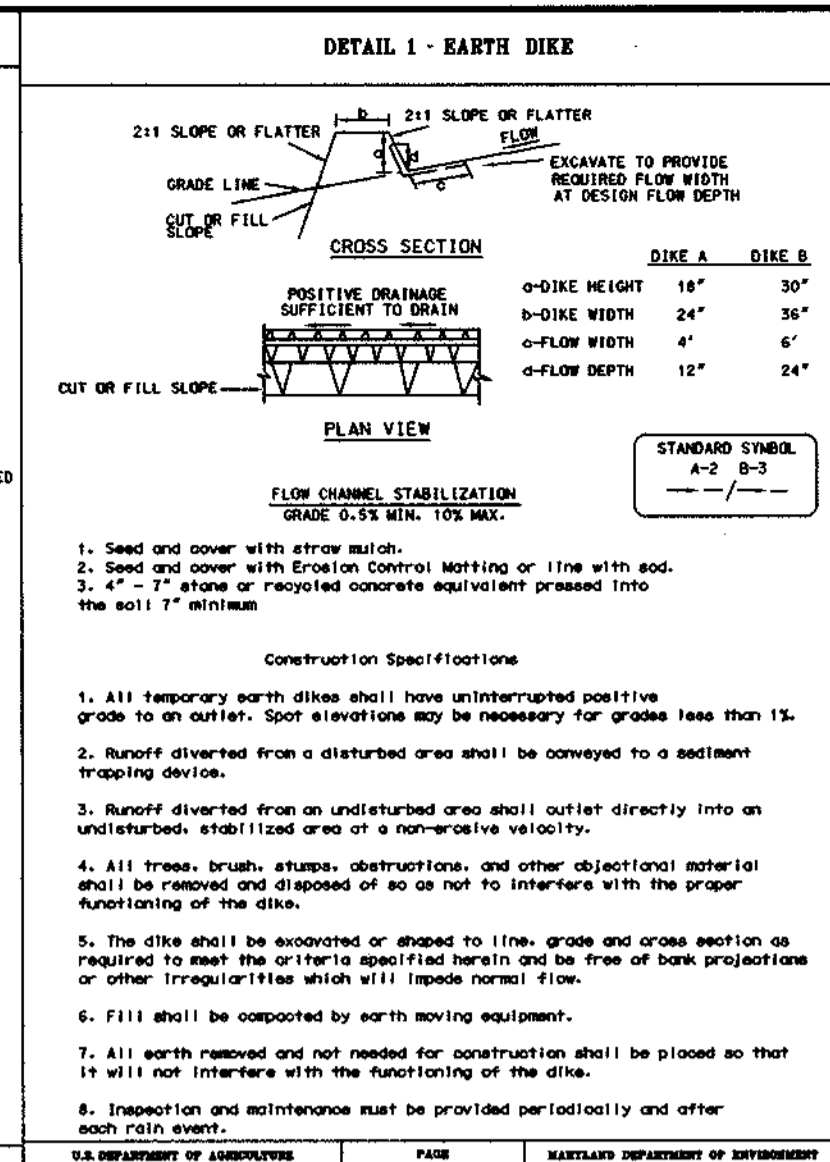
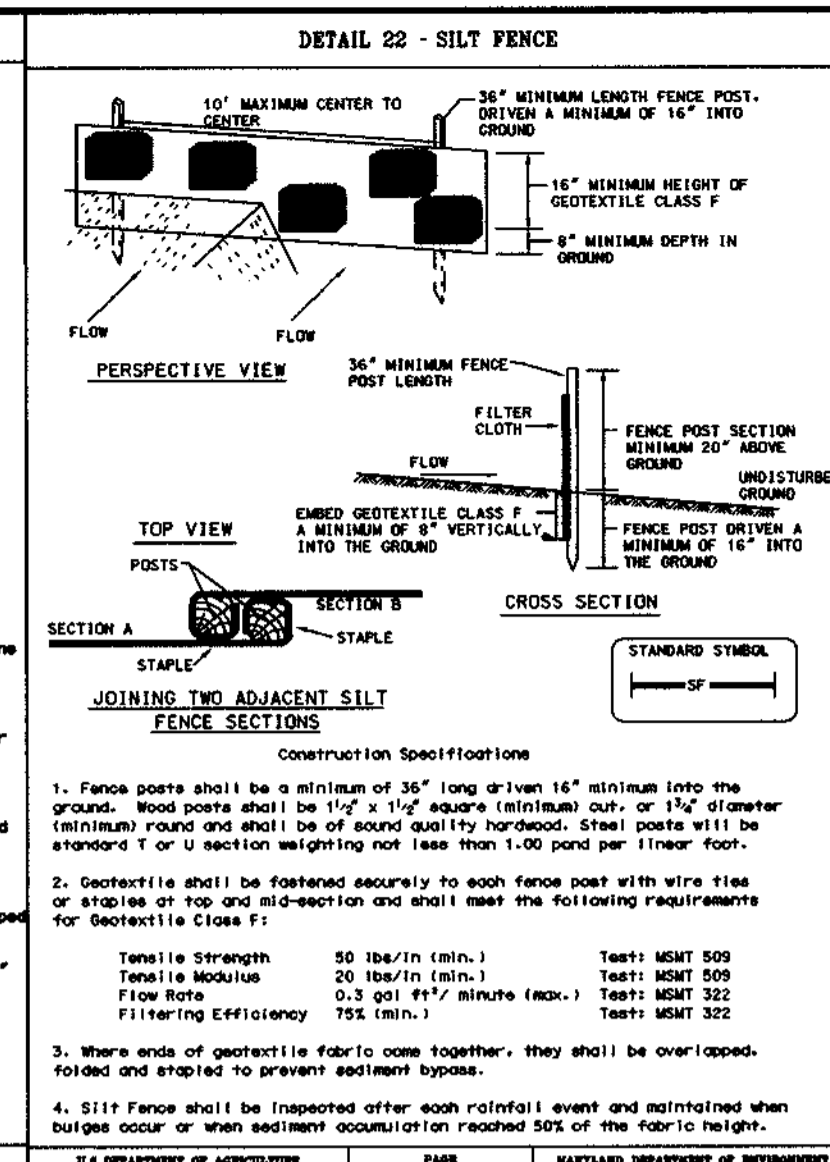
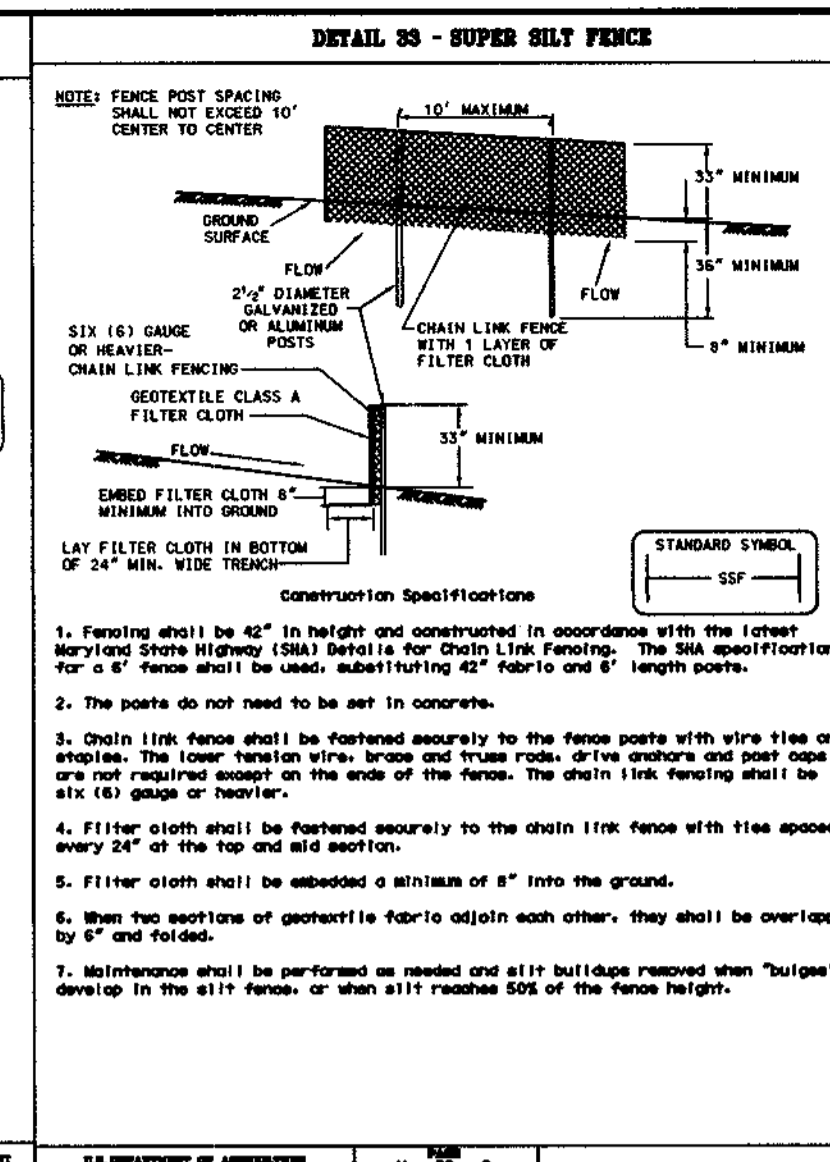
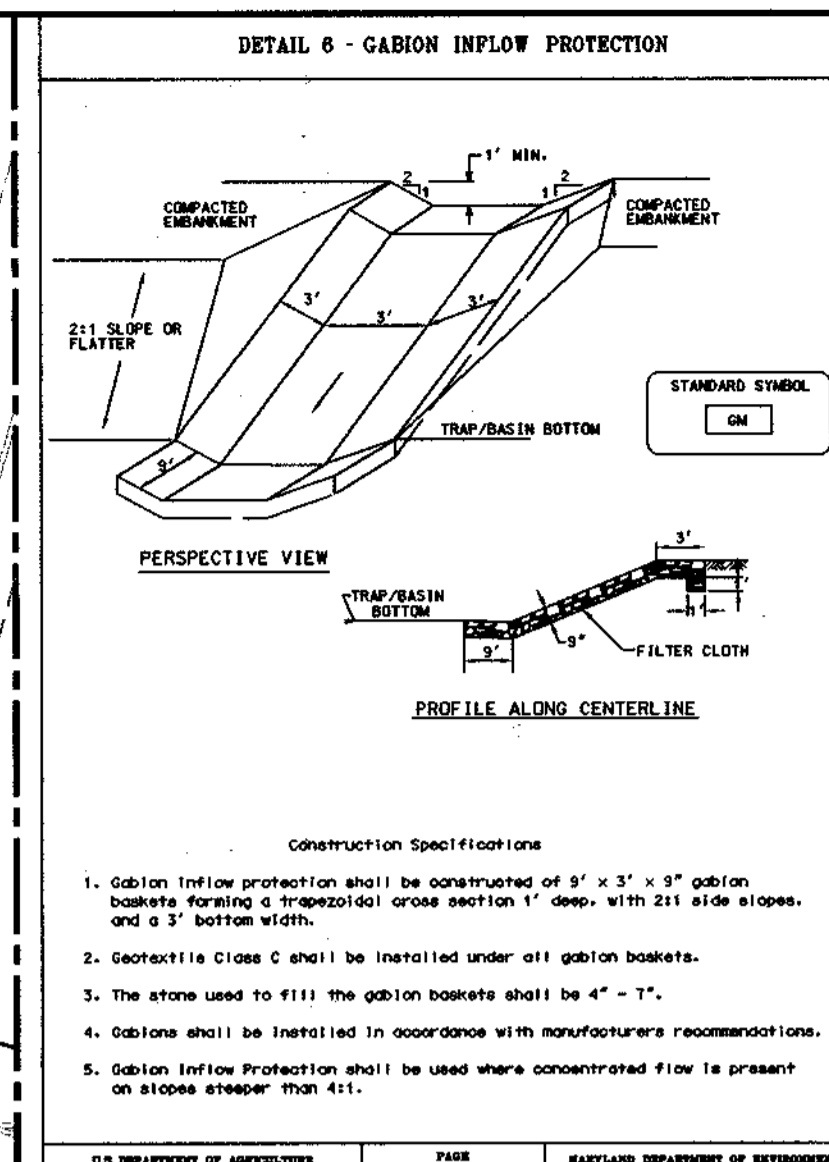
09-15-17 REVISION 3

SEPTEMBER 13, 2005
 REVISIONS THIS SHEET:
 INCORPORATE SITE PLAN REVISIONS,
 ADJUST EARTH DIKE AT
 SOUTH END OF SITE

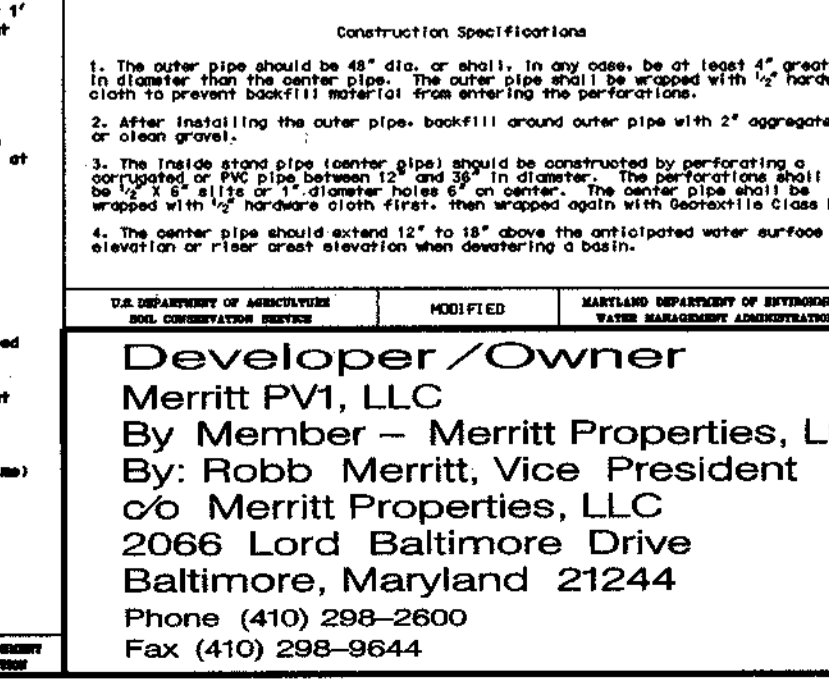
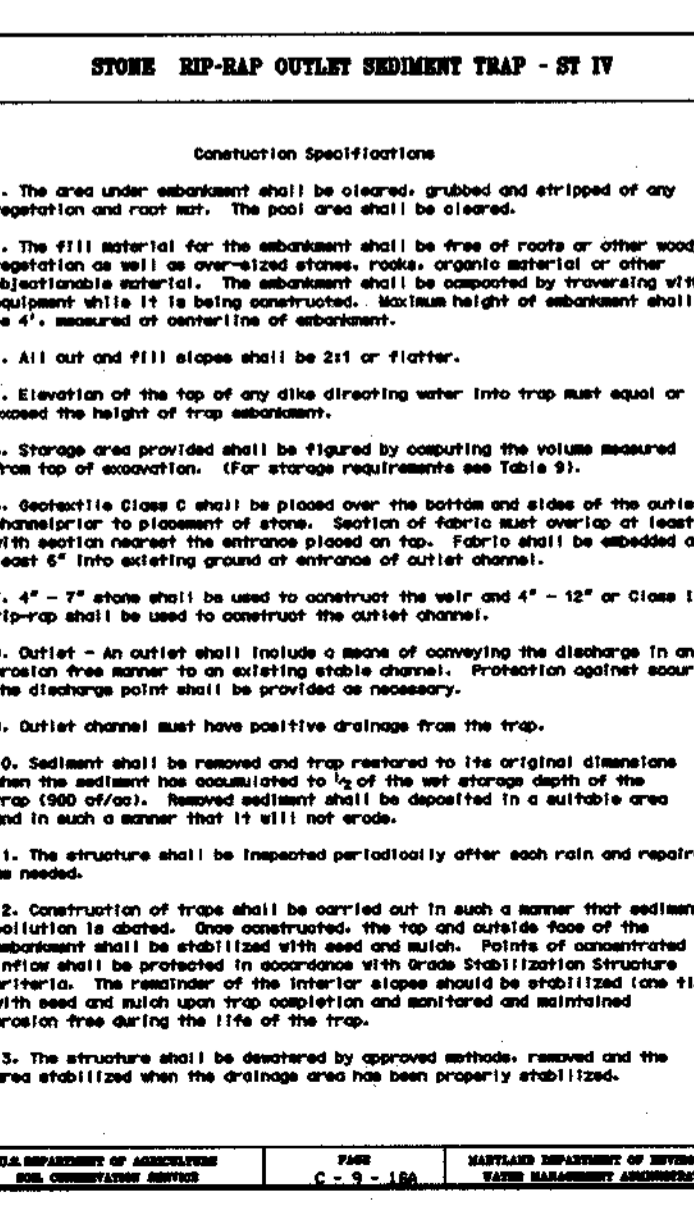
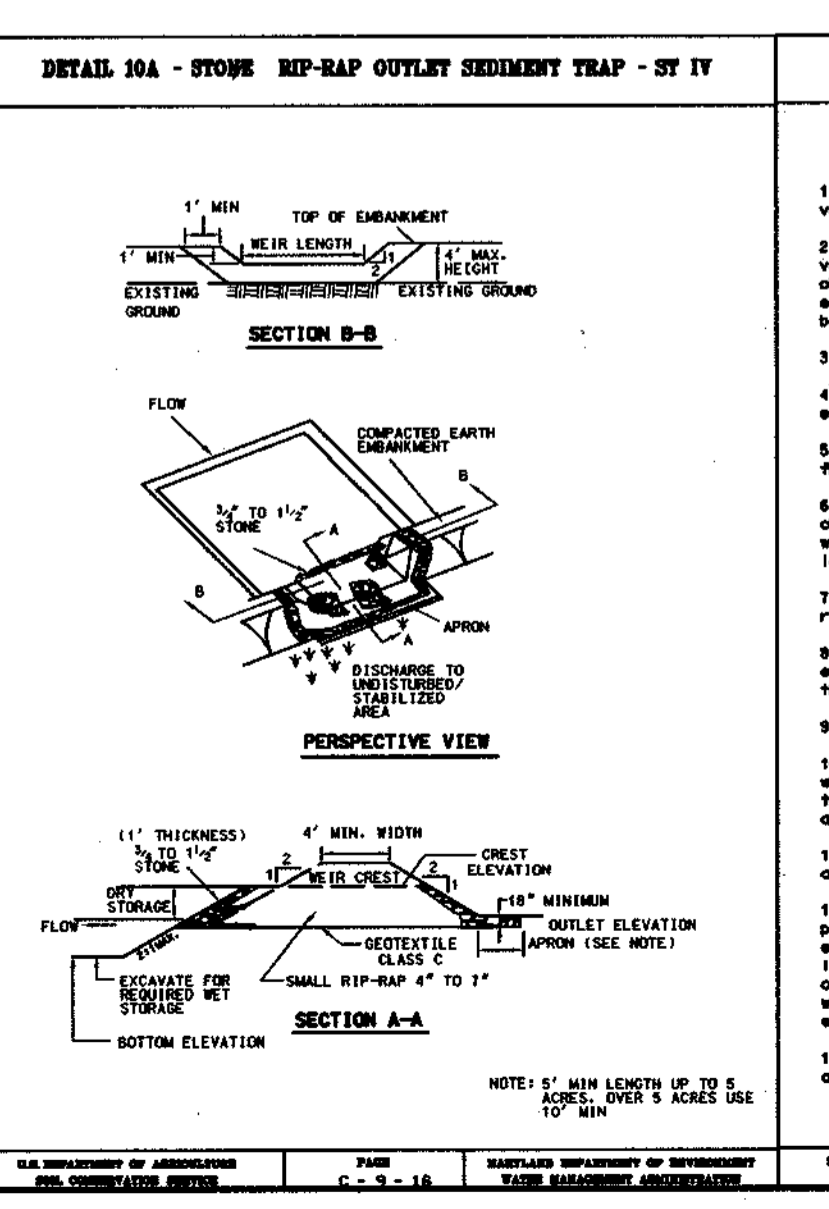
SDP 05.91



Plan
Scale 1" = 40'



TASK	EST. DAYS
1. Obtain grading permit.	21
2. With the approval of the Sediment Control Inspector install sediment & erosion control measures including stone construction entrance, stone/riprap outlet sediment trap with all appurtenances, earth dikes, silt fence and super silt fence. Do not install interim earth dike between point A and B at this time. Interim dike will be installed as part of Sequence #5. The entire perimeter of the A-1 & A-2 interior earth dikes between A and B must be "wapped" with blaze orange safety fencing. Any damage to this dike must be repaired immediately.	14
3. With the approval of the Sediment Control Inspector begin site grading, building foundations and utility installation.	90
4. Install 30" storm drain system beginning at Trap No. 1, 64' downstream of M-4 and install drainage system upstream through I-8 & I-14. Install 24" storm drain system beginning at Trap No. 1, 27.5' downstream of I-8 and install drainage system upstream through I-8 & I-14. Install 24" storm drain system beginning at Trap No. 3 and install drainage system upstream through I-27 (grade inlet protection for I-24, I-25, I-26 & I-27). Drainage system from Stub 1 and from Stub 2 may only be extended up to Trap edge. As inlets and associated storm drains become operational, leave inlets unprotected exceeding I-24, I-25, I-26 & I-27 to facilitate drainage to Trap. Flush storm drain systems periodically, following rainfall events to insure the systems remain functional and unclogged. Install sanitary sewer and water line. When installing sewer line from existing MH 301 upstream to MH 1 S-3, excavate only that portion of trench which can be backfilled and stabilized in one working day. Place spoil on uphill side of trench.	3
5. As grading progresses in the area of Building B, remove earth dike from point A to B and install Interim Earth Dike from Point A to B coincidental with proposed curbline.	30
6. Complete building foundation, slab and all possible grading and utility work. Stabilize disturbed areas in accordance with stabilization specifications.	45
7. Install curb and gutter and place stone subbase in all areas to receive paving except in sediment trap area or areas that will interrupt flow along earth dikes. Permanently stabilize areas to remain grass in accordance with stabilization specifications.	15
8. During dry weather only and with the approval of the Sediment Control Inspector flush storm drain systems downstream through Trap No. 1. Dewater & remove Trap No. 1, complete remaining portions of storm drain systems through Trap. Install remaining curb and gutter and stone subbase. Stabilize any areas to remain grass.	15
9. With the approval of the sediment control inspector proceed with paving operations.	3
10. With the approval of the Sediment Control Inspector remove remaining sediment control devices and stabilize those areas disturbed by this process.	



ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

James E. Matta
James E. Matta, P.E. MD 18848
Date: 6/16/05

DEVELOPER'S CERTIFICATE
I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Robb Merritt
For Merritt PVI, LLC by Member Merritt Properties, LLC
Date: 6/16/05

Reviewed for Howard SCD and meets Technical Requirements

Jim Moya 6/28/05
LUBMA - Natural Resources Commission Service
Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Howard 6/28/05
Howard SCD
Date

APPROVED FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS:

County Health Officer Howard County Health Department Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Decker 6/28/05
Chief, Development Engineering Division
Date

Cathy Hamilton 7/5/05
Chief, Development Division
Date

John R. Howard 7/5/05
Director
Date

PERMIT INFORMATION CHART

Subdivision Name	Patapsco Valley Business Center	Section/Area	NA	Lot/Parcel No.	17-03-07
Proposed Use	Office	Zoning	M-2	Election District	1st
Plan No.	47-00-1-1400	Tax Map No.	38	Census Tract	6012.02
Water Code	A 04	Sewer Code	2150501		

Sediment & Erosion Control Plan and Details
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center

Howard County, Maryland
Scale: As Shown
June 16, 2005

Sheet 10 of 13
SDP 05-91

Matis Warfield
consulting engineers

10540 York Road, Suite 100
Hunt Valley, Maryland 21086
Phone: 410-883-7004
Facsimile: 410-883-1798
www.matiswarfield.com

STATE OF MARYLAND
Professional Engineer
No. 11111
Expiration Date: 12/31/06

MATCH LINE SEE SHEET 9 of 13

SDP 05-91

Control Standard General Notes

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (315-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY MANUAL," STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS, SODS, TEMPORARY SEEDING, AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

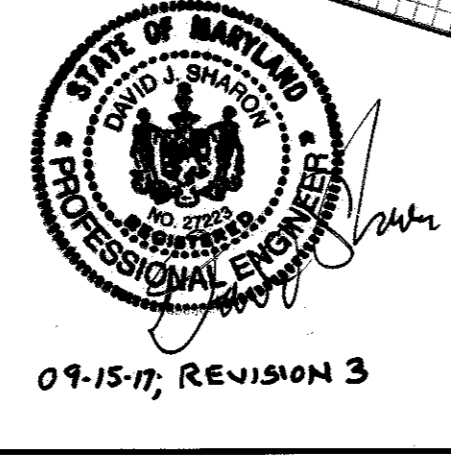
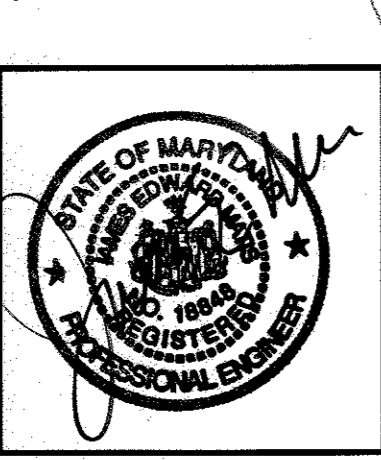
TOTAL AREA OF SITE	30,304 +/- ACRES
AREA DISTURBED	12.0 +/- ACRES
AREA TO BE ROOFED OR PAVED	9.2 +/- ACRES
AREA TO BE VEGETATIVELY STABILIZED	2.8 +/- ACRES
TOTAL CUT*	38,710 +/- CUBIC YARDS
TOTAL FILL* (INCLUDES 10% COMPACTION)	37,050 +/- CUBIC YARDS

 OFF-SITE WASTE/BORROW AREA LOCATION -
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
David Shanon
 SIGNATURE OF ENGINEER
 DAVID SHANON, P.E.
 MD LICENSE NUMBER: 21223
 EXPIRATION DATE: 03-19-2018
 9/15/17
 DATE

DATE NO.	REVISION DESCRIPTION
9-3-05 01	REVISED ENDS OF BUILDINGS, PARKING BAY ADDED, ADJUSTED DRAIN
2-16-06 02	REV. SIDEWALKS, BLOC. SIZE, ADDED PRKG., CURB & STAIRS
9-15-17 03	ADDED GREASE TRAP, ADA PARKING & RATIO

Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21030
 Phone 410-883-7004
 Facsimile 410-883-1798
 www.matiswarfield.com



Permanent / Temporary Seeding Notes

PERMANENT SEEDING NOTES
 APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
 SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
 SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
 1. PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ. FT.)
 2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.
 ALL SEED TO COMPLY WITH MARYLAND SEED LAW (AGRICULTURAL ARTICLE OF THE ANNOTATED CODE OF MARYLAND) ALL LAWN AND TURF SEED AND MIXTURES SHALL BE FREE FROM STATE OF MARYLAND LISTED RESTRICTED NOXIOUS WEEDS
PERMANENT SEEDING
 MIX NO.1 (FOR SLOPES LESS THAN 4:1 NOT SUBJECT TO REGULAR MOWING)
 APPLICATION RATE OF 234 LBS. PURE LIVE SEED / ACRE
 85% CERTIFIED TURF-TYPE TALL FESCUE 192 LBS. PURE LIVE SEED / ACRE
 10% CERTIFIED KENTUCKY BLUEGRASS 28 LBS. PURE LIVE SEED / ACRE
 5% PERENNIAL RYEGRASS 14 LBS. PURE LIVE SEED PER ACRE
 SUPPLEMENTAL SEED - ANNUAL RYEGRASS 25 LBS. PURE LIVE SEED PER ACRE
 MIX NO. 2 (FOR SLOPES GREATER THAN 4:1 NOT SUBJECT TO REGULAR MOWING)
 APPLICATION RATE OF 115 LBS. PURE LIVE SEED / ACRE
 75% HARD FESCUE 85 LBS. PURE LIVE SEED / ACRE
 20% CHEWINGS FESCUE 23 LBS. PURE LIVE SEED / ACRE
 5% KENTUCKY BLUEGRASS 7 LBS. PURE LIVE SEED / ACRE
 SUPPLEMENTAL SEED - REDTOP 3 LBS. PURE LIVE SEED PER ACRE
 MIX NO. 3 (WETLAND AREAS AND ASSOCIATED BUFFER ZONES)
 APPLICATION RATE OF 131 LBS. PURE LIVE SEED / ACRE
 60% FOWL MEADOW GRASS 83 LBS. PURE LIVE SEED / ACRE
 30% CHEWINGS FESCUE 34 LBS. PURE LIVE SEED / ACRE
 10% PERENNIAL RYEGRASS 14 LBS. PURE LIVE SEED / ACRE
 SUPPLEMENTAL SEED - REDTOP 3 LBS. PURE LIVE SEED / ACRE
 FOR THE PERIODS:
 MARCH 1 THRU APRIL 20, AND AUGUST 1 THRU OCTOBER 20,
 SEED MIXTURE NO. 1, NO. 2 AND NO. 3 MAY BE APPLIED
 FOR THE PERIOD:
 MAY 1 THRU JULY 31
 SEED WITH LITTLE BLUESTEM AT A RATE OF 13.6 LBS. PURE LIVE SEED / ACRE
 FOR THE PERIOD:
 OCTOBER 21 THRU FEBRUARY 28, PROTECT SITE BY:
 OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.
 OPTION (2) - USE SOD.
 OPTION (3) - TEMPORARY COVER OF ANNUAL RYEGRASS 50 LBS. PURE LIVE SEED / ACRE AND MULCH WITH 2 TONS / ACRE OF WELL ANCHORED STRAW TO BE FOLLOWED BY OVERSEEDING OF THE APPROPRIATE SEED MIXTURE IN THE SPRING
 MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1000 SQ. FT.) FOR ANCHORING.
 MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING.

Dust Control Specifications

TEMPORARY METHODS:
 1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
 2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
 3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THE RUNOFF BEGINS TO FLOW.
 5. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
 6. CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.
PERMANENT METHODS:
 1. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD, EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
 2. TOPSOILING - COVERING WITH LESS ERODIBLE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
 3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

Topsoil Specifications

210 STANDARD AND SPECIFICATIONS FOR TOPSOIL
Definition
 Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
Purpose
 To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
Conditions Where Practice Applies
 I. This practice is limited to areas having 2:1 or flatter slopes where:
 a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 c. The original soil to be vegetated contains material toxic to plant growth.
 d. The soil is so acidic that treatment with limestone is not feasible.
 II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.
Construction and Material Specifications
 I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
 II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
 i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel sticks, roots, trash, and other materials larger than 1 1/2 inch in diameter.
 ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
 iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 III. For sites having disturbed areas under 5 acres:
 i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 IV. For sites having disturbed areas over 5 acres:
 I. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 b. Organic contents of topsoil shall be not less than 1.5 percent by weight.
 c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 V. Topsoil Application
 i. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4 3/32" - 8 3/32" higher in elevation.
 iii. Topsoil shall be uniformly distributed in a 4 3/32" - 8 3/32" layer and lightly compacted to a minimum thickness of 4 3/32". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Developer / Owner
 Merritt PVI, LLC
 By Member - Merritt Properties, LLC
 By: Robb Merritt, Vice President
 c/o Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244
 Phone (410) 298-2600
 Fax (410) 298-9644

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
James E. Matis
 James E. Matis, P.E. MD 18848
 6/16/05
 Date

DEVELOPER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Robb Merritt
 For Merritt PVI, LLC by Member Merritt Properties, LLC
 by Robb Merritt, Vice President
 6/16/05
 Date

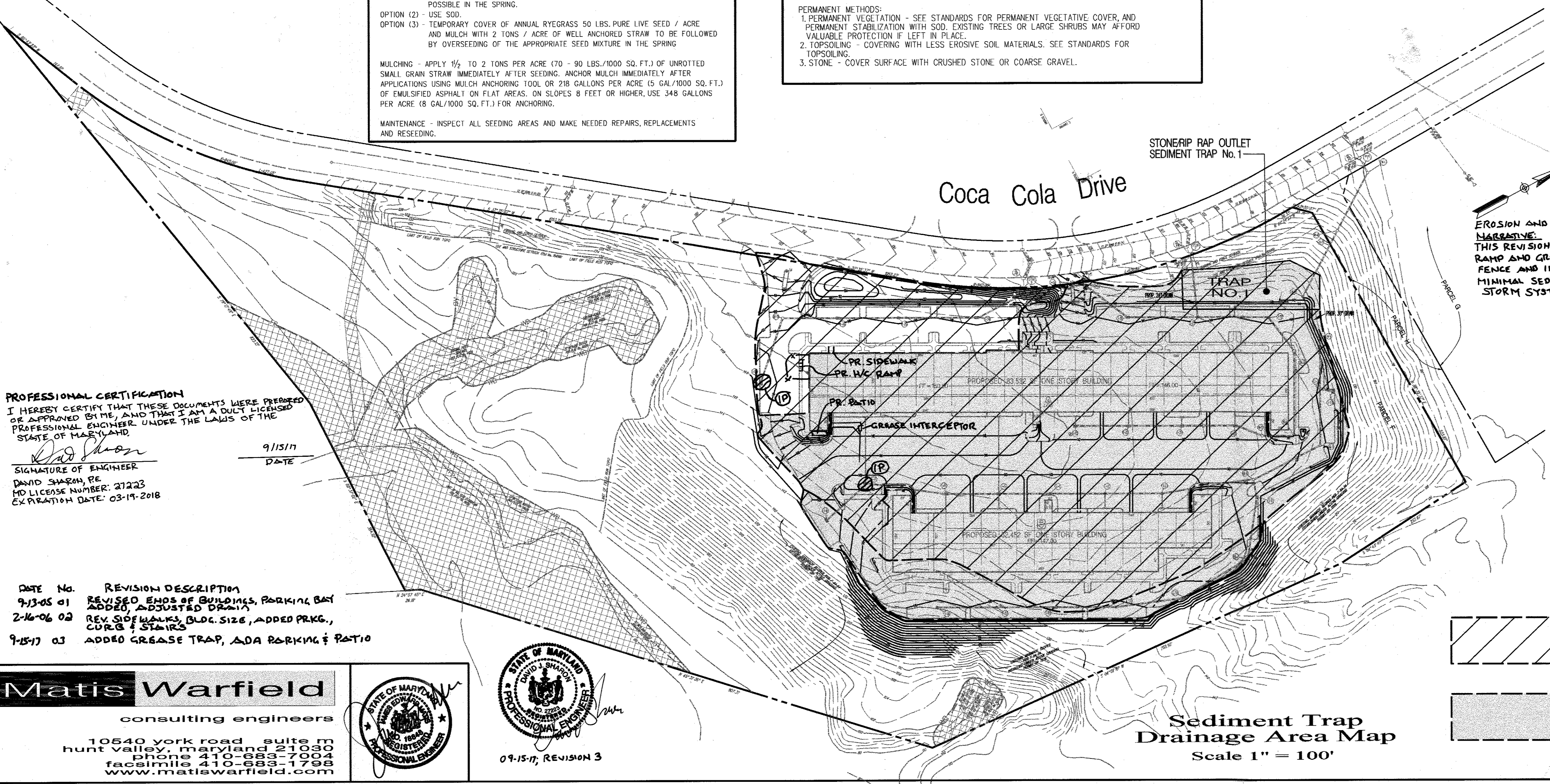
Reviewed for Howard SCD and meets Technical Requirements
Jim Meyer
 Jim Meyer
 USDA - Natural Resources Conservation Service
 6/28/05
 Date
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
John L. Wootton
 John L. Wootton
 Howard SCD
 6/28/05
 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chris Dunsen
 Chris Dunsen
 Chief, Development Engineering Division
 6/30/05
 Date
Andy Stambula
 Andy Stambula
 Chief, Land Development Division
 7/5/05
 Date
Randy D. Gagliardi
 Randy D. Gagliardi
 Director
 7/15/05
 Date

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	N/A	
Plan or License No.	Grid #	Zoning
17-50-05-01	20	M-2
47-406-17-407		
Water Code	Sewer Code	Tax Parcel No.
A 04	2150501	36
		Election District
		1st
		Census Tract
		6012.02

Sediment & Erosion Control Drainage Area Map and Notes
Proposed Flex Office Buildings Parcel F
Patapsco Valley Business Center
 RED-LINE REV 3 - SEPTEMBER 15, 2017
 Howard County, Maryland
 Scale: As Shown
 June 16, 2005
 Sheet 11 of 13
 SDP 05-91



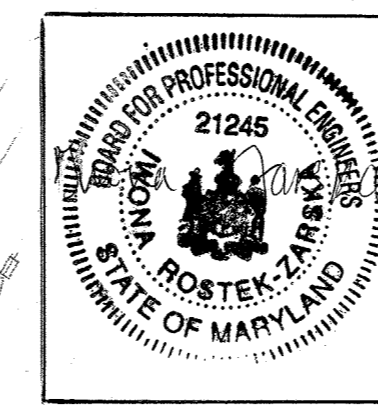
Sediment Trap Drainage Area Map
 Scale 1" = 100'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

Signature of Engineer: *David Sharon*
 DATE: 9/15/17
 DAVID SHARON, P.E.
 MD LICENSE NUMBER: 21233
 EXPIRATION DATE: 03-19-2018

1. This Plan is for planting purposes only.
2. This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
3. All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors Association.
4. A minimum 20 foot spacing is to be provided between street lights and street trees.



REVISION #3 - BLOC (08/01/16)
 ADDED DANCE STUDIO (6,000 SF) WITHIN BUILDING 'A' AND REVISED SITE ANALYSIS DATA CHART ACCORDINGLY.
 UPDATED SITE LAYOUT TO REFLECT CURRENT EXISTING CONDITIONS.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, WENNA ROSTEK-ZARSKA, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 4, 2022

REVISION #5
 ADDED TWO (2) LOADING AREAS TO THE REAR OF BUILDING 'B' AND REVISED SITE ANALYSIS DATA CHART ACCORDINGLY.

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
+	41	ACER RUBRUM 'KARPIK' KARPIK RED MAPLE	2 1/2" CAL.	B & B	
•	50	TILIA CORDATA 'GREENSPICE' LITTLE LEAF LINDEN	2 1/2" CAL.	B & B	
△	28	ULMUS PARVIFLOLIA CHINESE ELM	2 1/2" CAL.	B & B	
⊕	26	CHONANTHUS VIRGINICUS FRINGE TREE	8" 10" HT.	B & B	NO MORE THAN 5 TRUNKS
⊗	27	CERCIS CANADENSIS EASTERN REDBUD	8" 10" HT.	B & B	
⊙	62	PINUS STROBUS EASTERN WHITE PINE	6" 8" HT.	B & B	SPACE 10' O.C. STAGGER
⊕	30	PICEA ABIES NORWAY SPRUCE	6" 8" HT.	B & B	SPACE 10' O.C. STAGGER
CA	27	CLETHRA ALNIFOLIA SWEET PEPPERBUSH	24" 30" HT.	CONTAINER	
EA	77	EUONYMUS ALATUS COMPACTA DWARF WINGED EUONYMUS	2 1/2" 3" HT.	B & B	SPACE 5' O.C. STAGGER
JC	46	JUNIPERUS CHINENSIS SARGENTI SARGENT'S JUNIPER	18" 24" SPD.	CONTAINER	SPACE 3' O.C. STAGGER
SG	56	SPIRAEA BUMALDA 'GOLD MOUND' 'GOLD MOUND' SPIREA	18" 24" SPD.	B & B	SPACE 5' O.C. AS SHOWN
AG	206	ABELIA GRANDIFLORA GLOSSY ABELIA	24" 30" HT.	B & B	SPACE 5' O.C. AS SHOWN
EF	2865	EUONYMUS FORTUNEI VAR. COLORATUS PURPLE LEAF WINTERCREEPER	2 1/4"	POT	SPACE 12" O.C. STAGGER

NOTE: CONTRACTOR TO CHECK WITH MARYLAND AVIATION ADMINISTRATION MR. JOE CORBETT @ 410-869-7370 IF ANY SUBSTITUTIONS ARE REQUIRED.

- DATE No. REVISION DESCRIPTION
- 9-10-05 01 REVISED ENDS OF BUILDINGS, PARKING SPACES ADDED, ADJUSTED DRAIN
 - 2-16-06 02 REV SIDEWALKS, BLOC SIZE ADDED, PRICE, CURB & STAIRS
 - 8-9-06 03 ADDED DANCE STUDIO
 - 9-15-17 04 ADDED GREASE TRAP, ADA PARKING & PATIO

SCHEDULE A
PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties	1	2	3	4
Perimeter Number	1	2	3	4	5	6
Landscape Type	B / E	NOT REG'D	C	NOT REG'D		
Linear Feet of Roadway Frontage/Perimeter	347 LF / 699 LF	342 / 150 / 47 LF	1012 LF	1045 / 84 LF.		
Credits for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	YES- 690 LF		
Credits for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO		
Number of Plants Required	7 / 17	N/A	25	N/A		
Shade Trees	9	N/A	51	N/A		
Evergreen Trees	175	N/A	0	N/A		
Number of Plants Provided	26		25			
Shade Trees	36		47			
Other Trees (2:1 substitution)	7		6			
Shrubs (10:1 substitution)	103					

(Describe plant substitution credits below if needed)

This site extends beyond the sheet. To the south on the site is an existing wetland and wooded buffer to remain. We substituted overgreen and flowering trees across the front of the site in lieu of some of the shrubs.

LANDSCAPE SURETY NOTE:
 FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 33,950.00

68 SHADE TREES
 60 EVERGREEN TREES
 175 SHRUBS

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	4-4-9
Number of Trees Required	23
Number of Trees Provided	41
Shade Trees	
Other Trees (2:1 substitution)	
Internal Islands Required	23
Internal Islands Provided (Min 200 SF)	23

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *Wanda* Date: 9/15/17
 Chief, Division of Land Development: *Cindy* Date: 2/5/15
 Director: *John* Date: 2/5/15

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	NA	F
Plat No. 11906-07	Grid # 20	Zoning M-2
Water Code A 04	Tax Map No. 38	Election District 1st
	Sewer Code 2150501	Lot / Parcel No. F 6012.02

RED-LINE REV. 4 - SEPTEMBER 15, 2017
Final Landscape Plan
 Proposed Flex Office Buildings
 Parcel F
 Patapsco Valley Business Center
 Red-Line Rev. 2 - February 16, 2006
 Howard County, Maryland
 Scale: 1" = 50'
 September 13, 2005
 Sheet 12 of 13
 SDP 05-91

Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21038
 phone 410-683-7004
 facsimile 410-683-1798
 www.matiswarfield.com

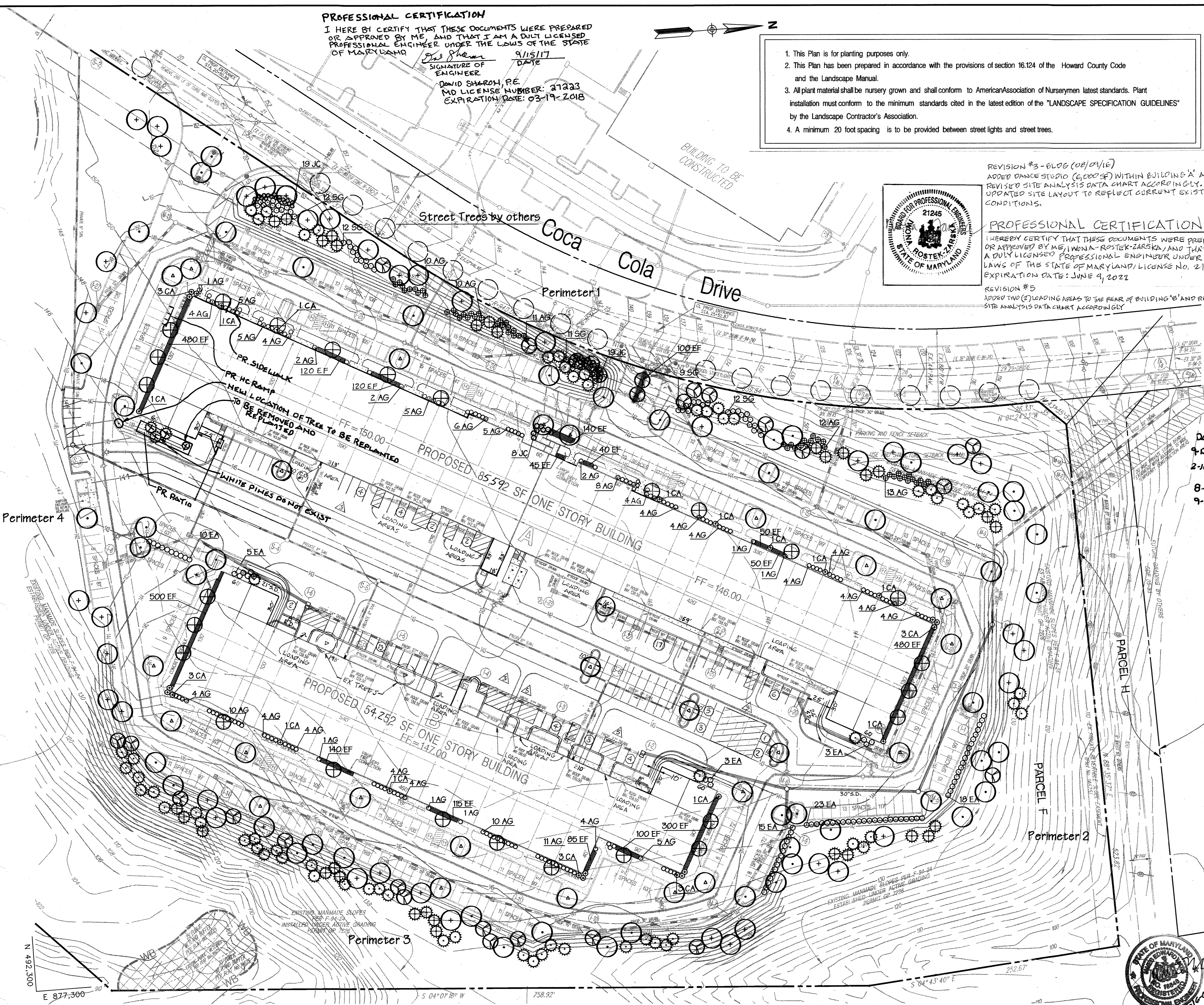
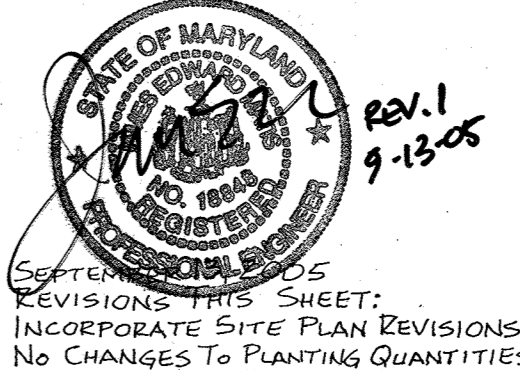


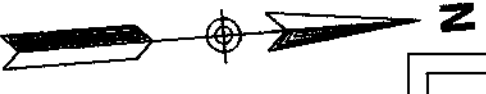
Developer / Owner
 Merritt PVI, LLC
 By Member - Merritt Properties, LLC
 By: Robb Merritt, Vice President
 c/o Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244
 Phone (410) 298-2600
 Fax (410) 298-9644

**LANDSCAPE ARCHITECTS
 HUMAN & ROHDE, INC.**
 512 Virginia Avenue
 Towson, Maryland 21286
 410 825 3885

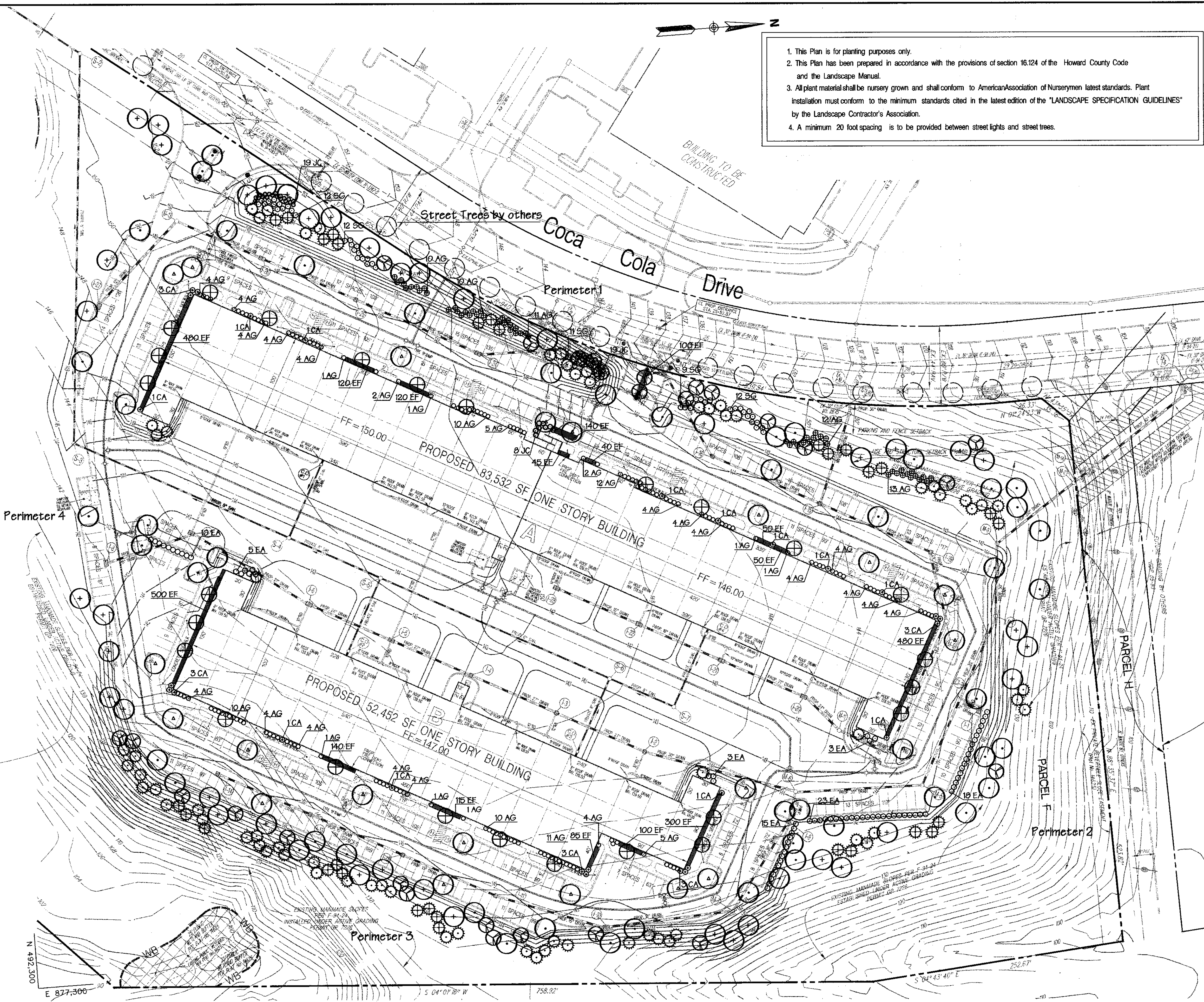
Developer's/Builder's Certificate:
 1/ We certify that the landscaping shown on this plan will be done according to the plan, and shall be completed in accordance with this plan per Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
 1/ We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Howard County Department of Planning and Zoning.
 For Merritt PVI, LLC by Member Merritt Properties, LLC
 Date: 6-16-05

NOTE:
 THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.





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 4. A minimum 20 foot spacing is to be provided between street lights and street trees.



Plan
 Scale: 1" = 50'

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
(+)	41	ACER RUBRUM 'KARFICK' 'KARFICK' RED MAPLE	2 1/2" CAL.	B & B	
(•)	50	TILIA CORDATA 'GREENSPIRE' LITTLE LEAF LINDEN	2 1/2" CAL.	B & B	
(A)	21	ULMUS PARVIFLOLA CHINESE ELM	2 1/2" CAL.	B & B	
(⊕)	26	CHONANTHUS VIRGINICUS FRINGE TREE	8" 1/2" HT.	B & B	NO MORE THAN 5 TRUNKS
(⊗)	27	CECIS CANADENSIS EASTERN REDBUD	8" 1/2" HT.	B & B	
(⊙)	62	PINUS STROBUS EASTERN WHITE PINE	6" 8" HT.	B & B	SPACE 10' O.C. STAGGER
(⊕)	30	PICEA ABIES NORWAY SPRUCE	6" 8" HT.	B & B	SPACE 10' O.C. STAGGER
CA	27	CLETHRA ALNIFOLIA SWEET PEPPERBUSH	24" 30" HT.	CONTAINER	
EA	77	EUONYMUS ALATUS COMPACTA DWARF WINGED EUONYMUS	2 1/2" 3" HT.	B & B	SPACE 9' O.C. STAGGER
JC	46	JUNIPERUS CHINENSIS SARGENTII SARGENT'S JUNIPER	18-24" SPD	CONTAINER	SPACE 9' O.C. STAGGER
SG	56	SPIRAEA BUNALDA 'GOLD MOUND' 'GOLD MOUND' SPIRAEA	18-24" SPD	B & B	SPACE 9' O.C. AS SHOWN
AG	206	ABELIA GRANDIFLOA GLOSSY ABELIA	24" 30" HT.	B & B	SPACE 9' O.C. AS SHOWN
EF	2865	EUONYMUS FORTUNEI VAR. COLORATUS PURPLE LEAF WINTERCREEPER	2 1/4"	POT	SPACE 12" O.C. STAGGER

NOTE: CONTRACTOR TO CHECK WITH MARYLAND AVIATION ADMINISTRATION MR. JOE CORBETT @ 410-858-7370 IF ANY SUBSTITUTIONS ARE REQUIRED.

**SCHEDULE A
 PERIMETER LANDSCAPE EDGE**

Category	Adjacent to Roadways	Adjacent to Perimeter Properties	3	4
Perimeter Number	1	2	3	4
Landscape Type	B/E	NOT REQLD	C	NOT REQLD
Linear Feet of Roadway Frontage/Perimeter	347 LF / 699 LF	342 / 150 / 47 LF	102 LF	1045 / 84 LF
Credits for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	YES- 690 LF
Credits for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO
Number of Plants Required				
Shade Trees	7 / 17	N/A	25	N/A
Evergreen Trees	9	N/A	51	N/A
Shrubs	175	N/A	0	N/A
Number of Plants Provided				
Shade Trees	26		25	
Evergreen Trees	30		47	
Other Trees (2:1 substitution)	7		6	
Shrubs (10:1 substitution)	103			

This site extends beyond the sheet. To the south on the site is an existing wetland and wooded buffer to remain. We substituted evergreen and flowering trees across site front of the site in lieu of some of the shrubs.

**SCHEDULE B
 PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	340
Number of Trees Required	17
Number of Trees Provided	
Shade Trees	34
Other Trees (2:1 substitution)	
Internal Islands Required	17
Internal Islands Provided (Min. 200 SF)	17

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 33,950.00

66 SHADE TREES

60 EVERGREEN TREES

175 SHRUBS

NOTE:
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/5/05
 Chief, Division of Land Development: *[Signature]* Date: 2/5/05
 Director: *[Signature]* Date: 2/5/05

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	N/A	F
Plan No. 11406-07	Zoning M-2	Tax Map No. 38
Grid # 20	Election District 1st	Census Tract 6012.02
Water Code A 04	Sewer Code 2150501	

Matis Warfield
 consulting engineers
 10540 York Road, Suite 100
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 phone 410-883-7004
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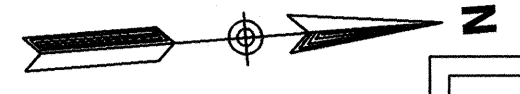


Developer/Owner
 Merritt PVI, LLC
 By Member - Merritt Properties, LLC
 By: Robb Merritt, Vice President
 c/o Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244
 Phone (410) 298-2600
 Fax (410) 298-9644

LANDSCAPE ARCHITECTS
HUMAN & ROHDE, INC.
 512 Virginia Avenue
 Towson, Maryland 21286
 410 825 3885

Developer's/Builder's Certificate:
 I/ We certify that the landscaping shown on this plan will be done according to the plan, and shall be completed in accordance with this plan per Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
 I/ We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Howard County Department of Planning and Zoning.
[Signature]
 For Merritt PVI, LLC by Member Merritt Properties, LLC
 by Robb Merritt, Vice President
 Date: 6-16-05

Final Landscape Plan
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
 Howard County, Maryland
 Scale: 1" = 50'
 June 16, 2005
 Sheet 12 of 13
 SDP 05-91



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•	50	TILIA CORDATA 'GREEK SPIRE' LITTLE LEAF LINDEN	2 1/2" - 3" CAL.	B & B	
4	21	ULMUS PARVIFOLIA CHINESE ELM	2 1/2" - 3" CAL.	B & B	
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EA	77	EUONYMUS ALATUS (COMPACTA) DWARF WINGED-ELDER	2 1/2" - 3" HT.	B & B	SPACE 5' O.C. STAGGER
JC	46	JUNIFERUS CHINENSIS 'SARGENTII' SARGENT'S JUNIFER	18" - 24" SPD	CONTAINER	SPACE 3' O.C. STAGGER
SG	56	SPIRAEA BUNALDA 'OLD MOUND' 'GOLD MOUND' SPIRAEA	18" - 24" SPD	B & B	SPACE 5' O.C. AS SHOWN
AG	206	ABELIA GRANDIFLORA GLOSSY ABELIA	24" - 30" HT.	B & B	SPACE 5' O.C. AS SHOWN
EF	2265	EUONYMUS FORTUNE VAR. COLORATUS PURPLE LEAF WHITE CREEPER	2 1/4"	POT	SPACE 12' O.C. STAGGER

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**SCHEDULE A
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Category	Adjacent to Roadways	Adjacent to Perimeter Properties	1	2	3	4
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Linear Feet of Roadway Frontage/Perimeter	347 LF / 699 LF	342 / 150 / 47 LF	1012 LF	1043 / 84 LF		
Credits for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	YES-690 LF		
Credits for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO		
Number of Plants Required						
Shade Trees	7 / 17	N/A	25	N/A		
Evergreen Trees	9	N/A	51	N/A		
Shrubs	175	N/A	0	N/A		
Number of Plants Provided						
Shade Trees	26		25			
Evergreen Trees	38		47			
Other Trees (2:1 substitution)	7		6			
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(Describe plant substitution credits below if needed)						

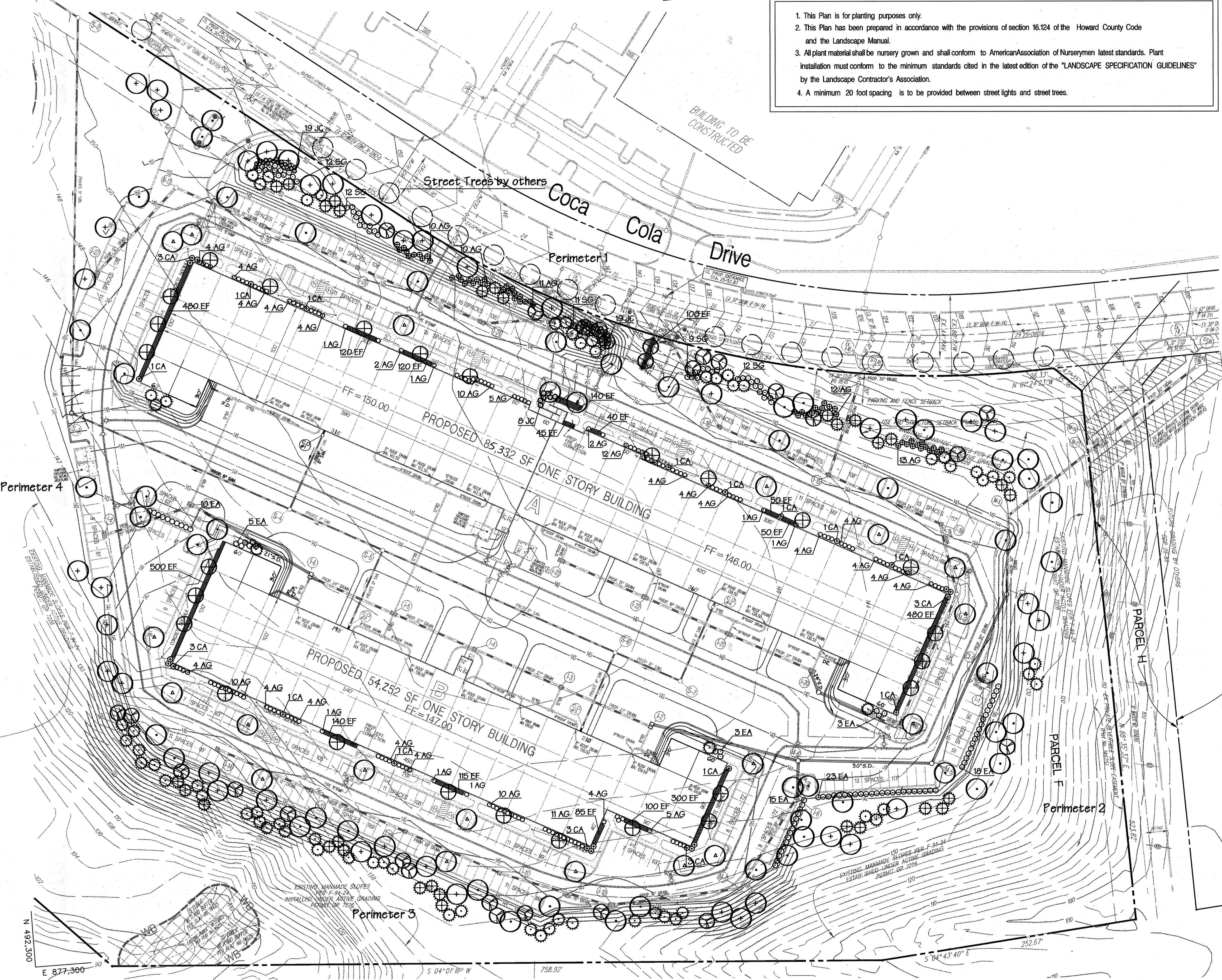
This site extends beyond the sheets. To the south on the site is an existing wetland and wooded buffer to remain. We substituted evergreen and flowering trees across the front of the site in lieu of some of the shrubs.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	349
Number of Trees Required	17
Number of Trees Provided	34
Shade Trees	
Other Trees (2:1 substitution)	
Internal Islands Required	17
Internal Islands Provided (Min 200 SF)	17

LANDSCAPE SURETY NOTE:
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66 SHADE TREES
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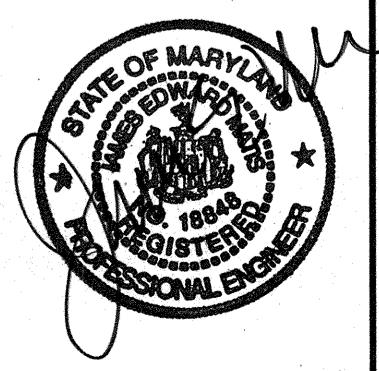
Plan
Scale: 1" = 50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	N/A	17406-07
Grid #	Zoning	Tax Map No.
20	M-2	38
Section District	Section District	Census Tract
1st	1st	6012.02
Water Code	Sewer Code	Tax Parcel 285
A 04	2150501	Census Tract
		6012.02

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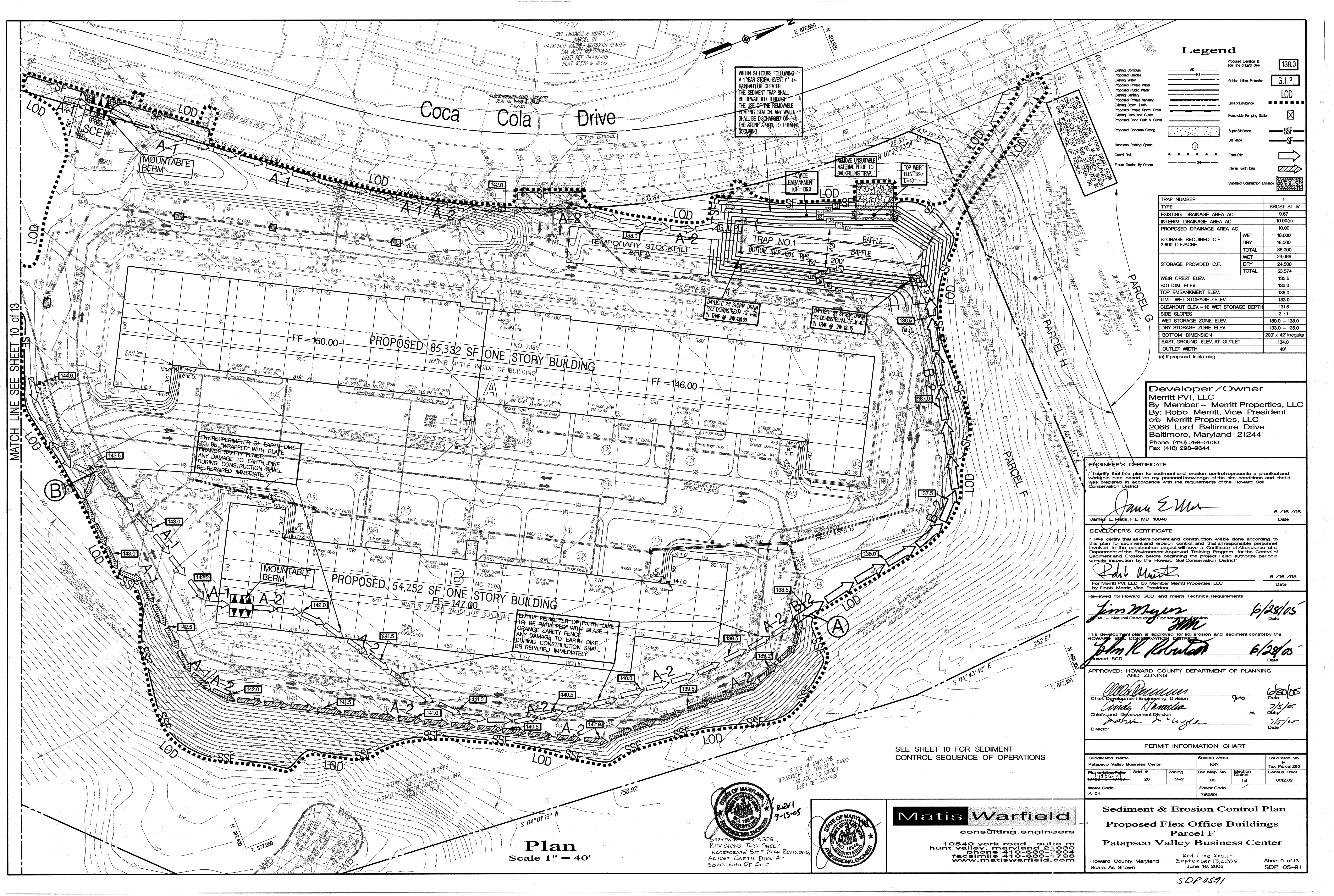
Developer / Owner
Merritt PVI, LLC
By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

LANDSCAPE ARCHITECTS
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For Merritt PVI, LLC by Member Merritt Properties, LLC
by Robb Merritt, Vice President
Date 6-16-05

STATE OF MARYLAND
SEPTIMUS J. BROWN, JR.
COMMISSIONER
REVISIONS THIS SHEET:
INCORPORATE SITE PLAN REVISIONS
NO CHANGES TO PLANTING QUANTITIES
12/1
1-13-05

Final Landscape Plan
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Howard County, Maryland
Scale: 1" = 50'
Red-Line Rev. 1 -
September 13, 2005
June 16, 2005
Sheet 12 of 13
SDP 05-91



Legend

- Existing Contour
- Proposed Grade
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Private Storm Drain
- Existing Curb and Gutter
- Proposed Conc. Curb & Gutter
- Proposed Concrete Paving
- Handicap Parking Space
- Guard Rail
- Future Grades by Others
- Proposed Elevation at Low Line of Earth Dike
- G.I.P.
- LOD
- Limit of Disturbance
- Removable Pumping Station
- Super Silt Fence
- Silt Fence
- Earth Dike
- Interim Earth Dike
- Stabilized Construction Entrance

TRAP NUMBER	1
TYPE	SROST ST IV
EXISTING DRAINAGE AREA AC.	9.67
INTERIM DRAINAGE AREA AC.	10.00(a)
PROPOSED DRAINAGE AREA AC.	10.00
STORAGE REQUIRED C.F.	WET 18,000
	DRY 18,000
	TOTAL 36,000
STORAGE PROVIDED C.F.	WET 29,068
	DRY 24,508
	TOTAL 53,574
WEIR CREST ELEV.	135.0
BOTTOM ELEV.	130.0
TOP EMBANKMENT ELEV.	136.0
LIMIT WET STORAGE / ELEV.	133.0
CLEANOUT ELEV. - 12 WET STORAGE DEPTH	131.5
SIDE SLOPES	2 : 1
WET STORAGE ZONE ELEV.	130.0 - 133.0
DRY STORAGE ZONE ELEV.	133.0 - 135.0
BOTTOM DIMENSION	200' x 42' Irregular
EXIST. GROUND ELEV. AT OUTLET	134.0
OUTLET WIDTH	40'

(a) If proposed inlets clog

Developer / Owner
 Merritt PV1, LLC
 By Member - Merritt Properties, LLC
 By: Robb Merritt, Vice President
 c/o Merritt Properties, LLC
 2066 Lord Baltimore Drive
 Baltimore, Maryland 21244
 Phone (410) 298-2600
 Fax (410) 298-9644

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 James E. Matis, P.E. MD 18848
 6/16/05
 Date

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Robb Merritt
 6/16/05
 Date

Reviewed for Howard SCD and meets Technical Requirements
 Jim Meyer
 6/28/05
 Date
 Jim Meyer
 NDA - Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 John K. Houston
 6/28/05
 Date
 Howard SCD

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Land Development Division
 Director

PERMIT INFORMATION CHART

Subdivision Name	Patapsco Valley Business Center	Section / Area	NA	Lot / Parcel No.	F
Map or Subdivision	17-01-01-01	Zoning	M-2	Tax Parcel No.	38
Water Code	A 04	Sewer Code	2150501	Election District	1st
				Consensus Tract	6012.02

Sediment & Erosion Control Plan
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
 Howard County, Maryland
 Scale: As Shown
 Red-Line Rev. 1 - September 13, 2005
 June 16, 2005
 Sheet 9 of 13
 SDP 05-91

WITHIN 24 HOURS FOLLOWING A 1 YEAR STORM EVENT (1" 24-HOUR RAINFALL) OR GREATER, THE SEDIMENT TRAP SHALL BE DETAILED THROUGH THE USE OF THE REMOVABLE PUMPING STATION. ANY WATER SHALL BE DISCHARGED ON THE STONE APRON TO PREVENT SCOURING.

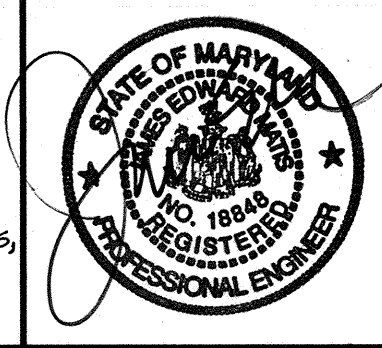
ENTIRE PERIMETER OF EARTH DIKE TO BE "WRAPPED" WITH BLAZE ORANGE SAFETY FENCE. ANY DAMAGE TO EARTH DIKE DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY.

ENTIRE PERIMETER OF EARTH DIKE TO BE "WRAPPED" WITH BLAZE ORANGE SAFETY FENCE. ANY DAMAGE TO EARTH DIKE DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY.

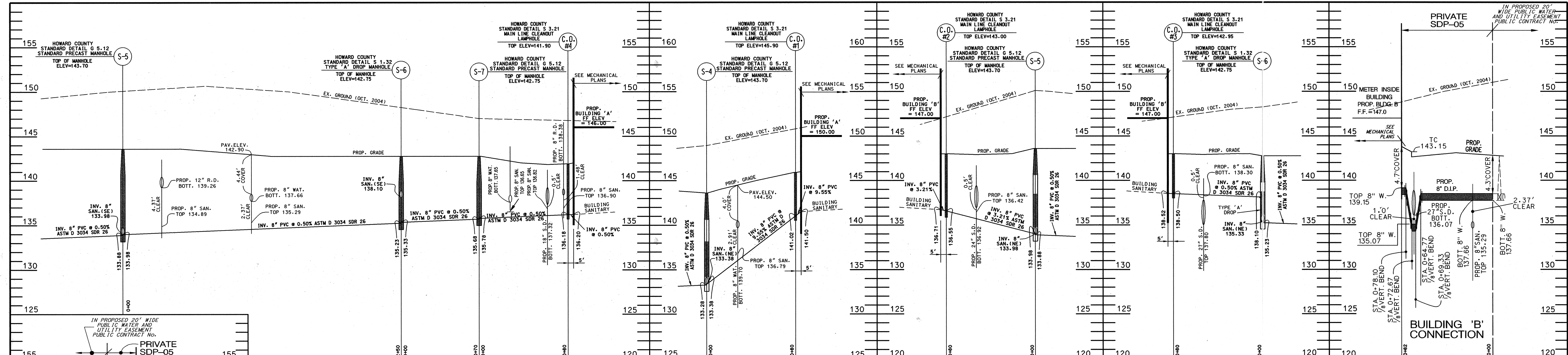
SEE SHEET 10 FOR SEDIMENT CONTROL SEQUENCE OF OPERATIONS

Plan
 Scale 1" = 40'

STATE OF MARYLAND
 DEPARTMENT OF FOREST & PARKS
 TAX ACCT. NO. 185000
 DEED REF. 3901489
 2011
 9-13-05



Matis Warfield
 consulting engineers
 10540 York Road Suite 10
 Hunt Valley, Maryland 21086
 Phone 410-689-1004
 Fax 410-689-1798
 www.matiswarfield.com

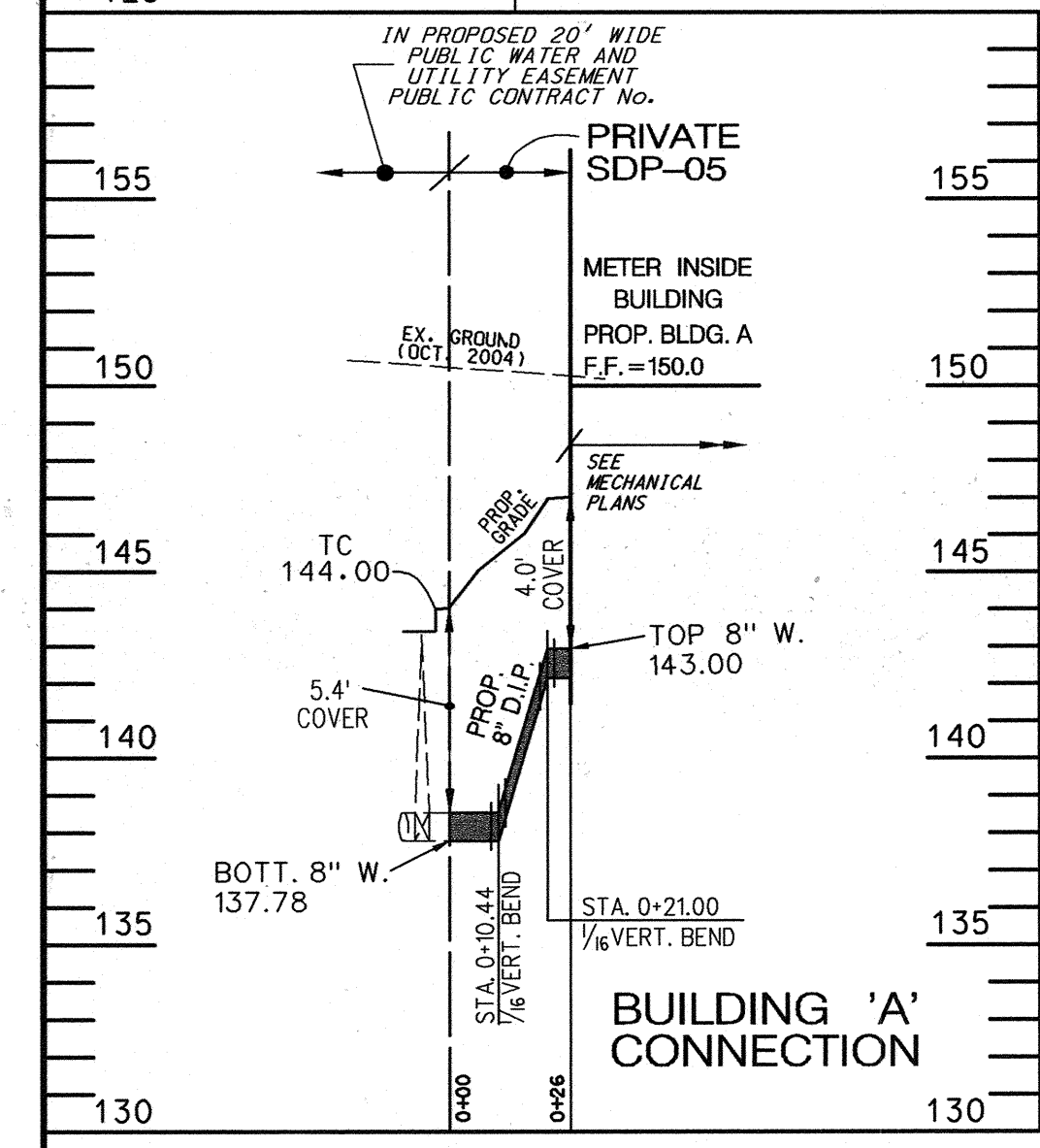


SANITARY SEWER PROFILES

Scale: Horz: 1"=40'
Vert: 1"=5'

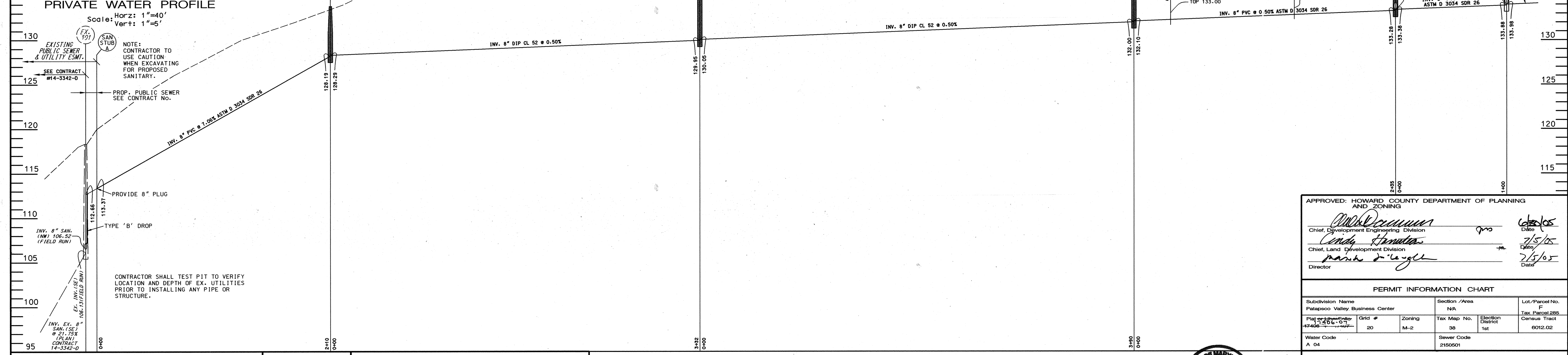
PRIVATE WATER PROFILE

Scale: Horz: 1"=40'
Vert: 1"=5'



PRIVATE WATER PROFILE

Scale: Horz: 1"=40'
Vert: 1"=5'



SANITARY SEWER PROFILE

Scale: Horz: 1"=40'
Vert: 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] Chief, Development Engineering Division Date: 7/5/05

[Signature] Chief, Land Development Division Date: 7/5/05

[Signature] Director

PERMIT INFORMATION CHART					
Subdivision Name	Section / Area	Lot / Parcel No.			
Patapsco Valley Business Center	NA	F			
Plot #	Grid #	Zoning	Tax Map No.	Election District	Census Tract
4740	20	M-2	30	1st	6012.02
Water Code	Sewer Code				
A 04	2150501				

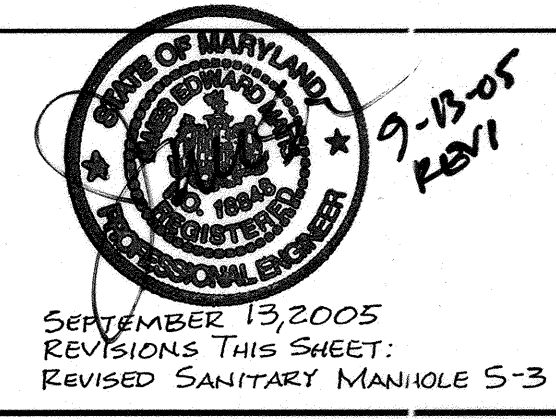
Matis Warfield
consulting engineers

10540 York Road, Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com



Developer / Owner
Merritt PVI, LLC
By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

SANITARY SEWER PROFILE
Scale: Horz: 1"=40'
Vert: 1"=5'



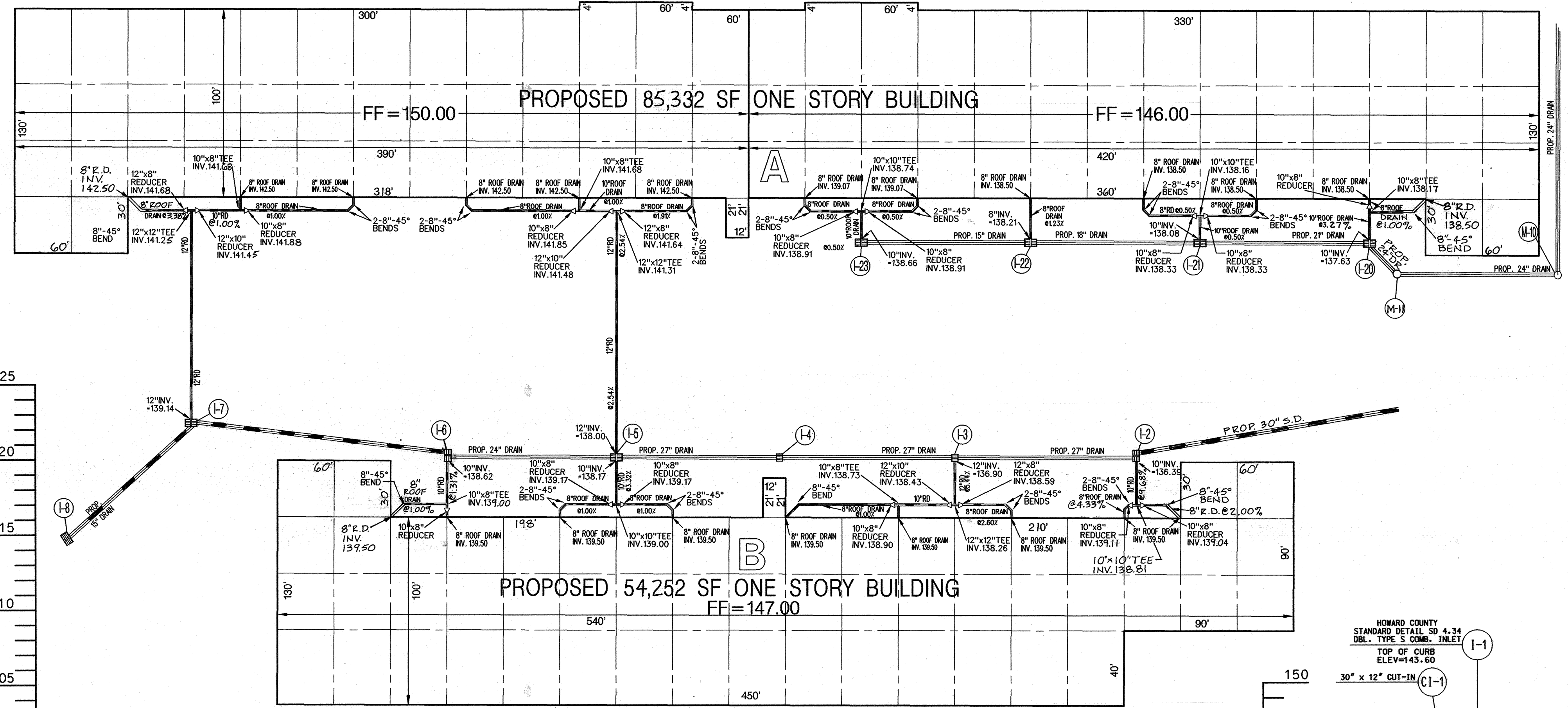
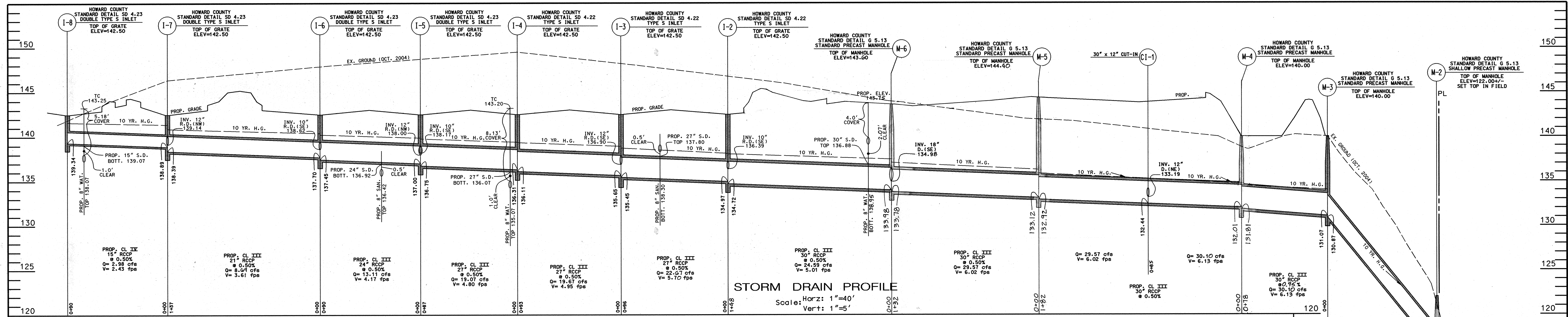
Private Sanitary Sewer and Water Profiles
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center

Howard County, Maryland
Scale: As Shown

Red-Line Rev. 1 -
September 13, 2005
June 6, 2005

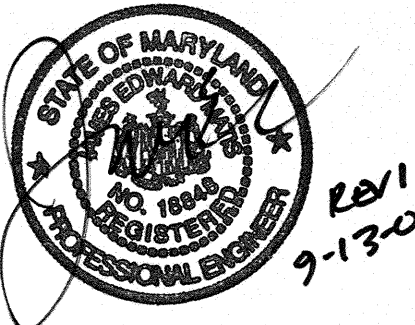
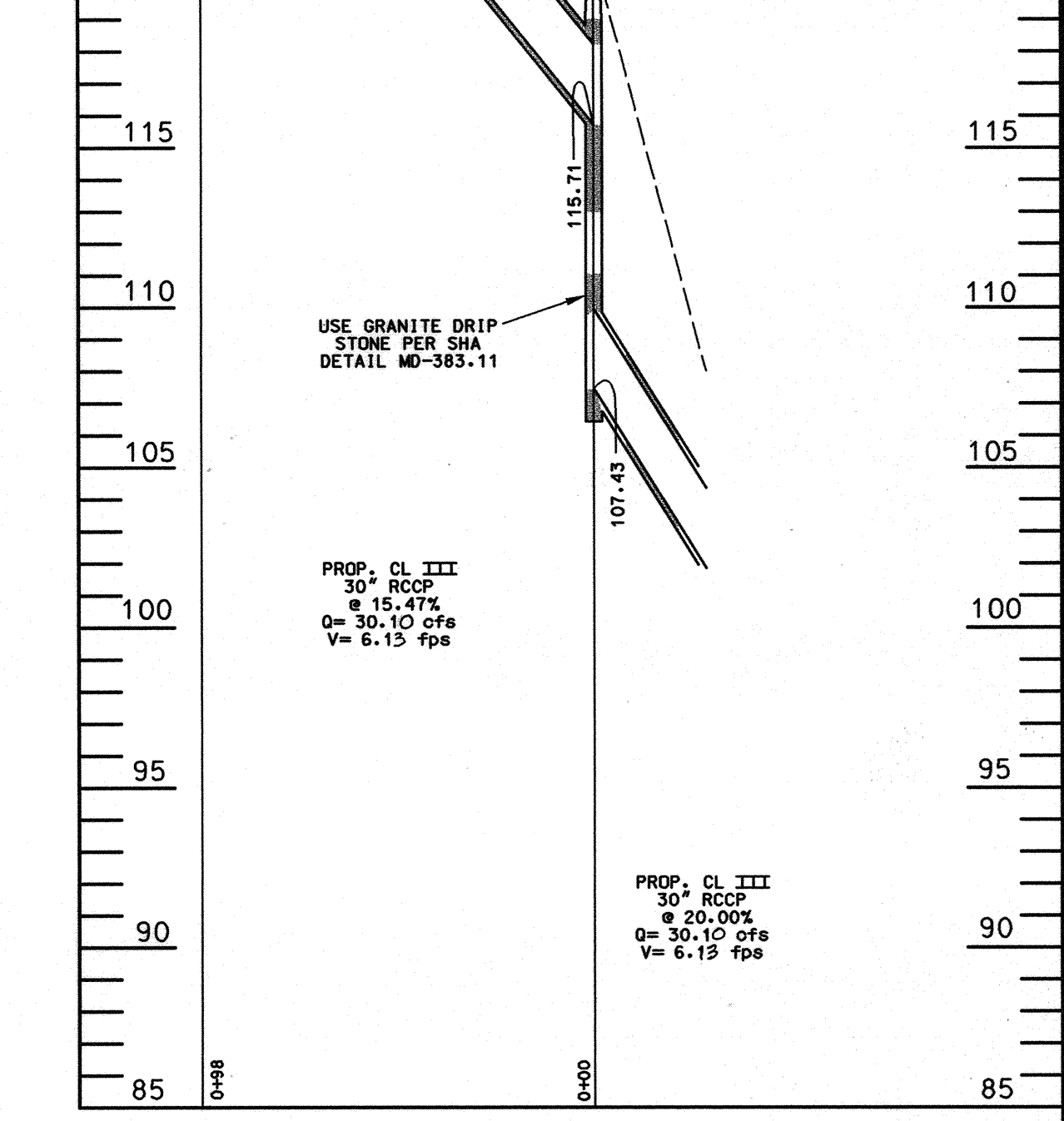
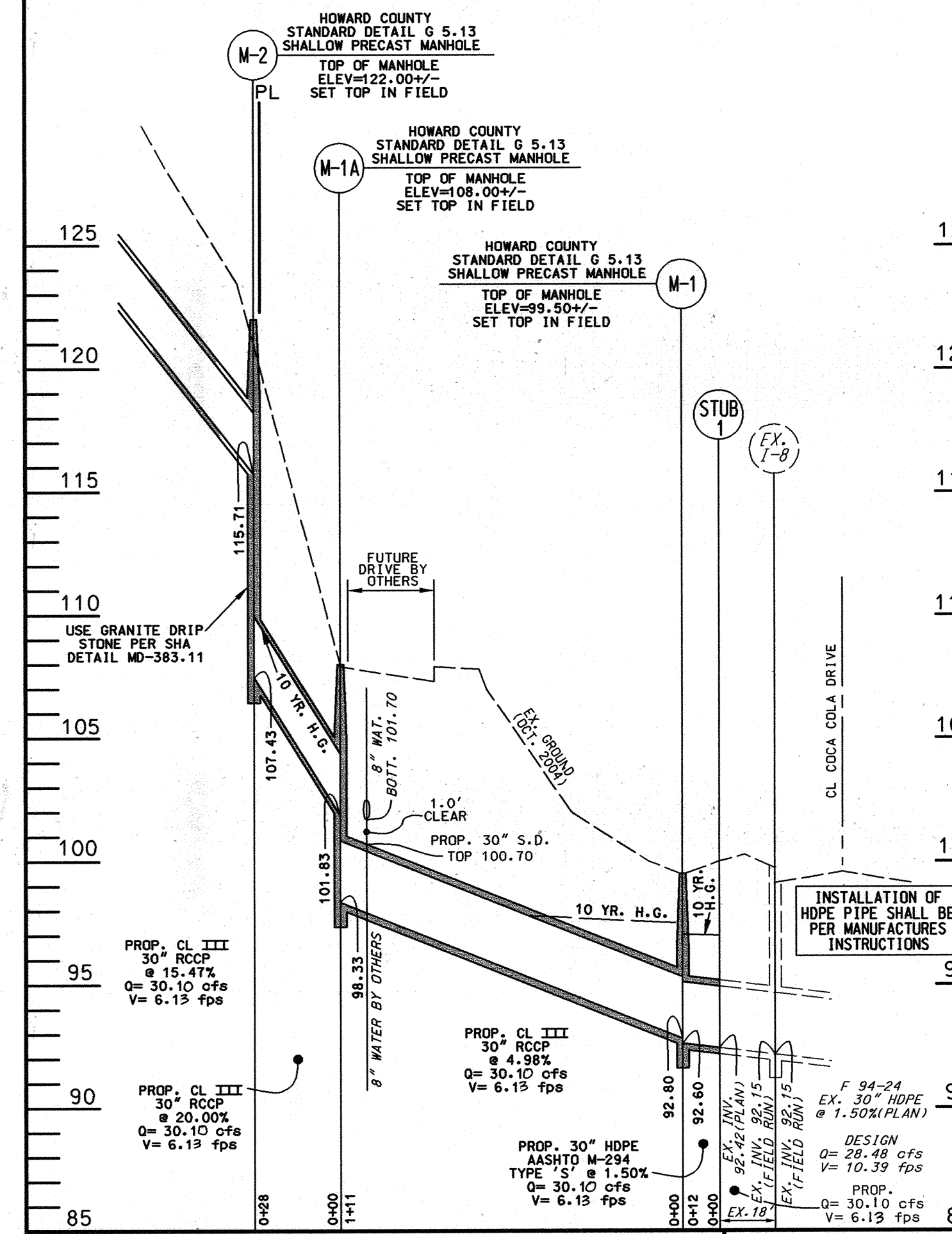
Sheet 8 of 13
SDP 05-91

SDP 05-91



Roof Drainage Detail
Scale: 1" = 40'

NOTES:
1. ALL ROOF DRAINAGE TO BE PVC SCHEDULE 40.



SEPTEMBER 13, 2005
REVISIONS THIS SHEET:
DRAIN PROFILE
ROOF DRAIN DETAIL

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Land Development Division
Director

PERMIT INFORMATION CHART			
Subdivision Name	Section / Area	Lot / Parcel No.	
Patapsco Valley Business Center	N/A	F	
Plan No.	Grid #	Zoning	Tax Parcel No.
47406-17407	20	M-2	38
Water Code	Sewer Code	Election District	Census Tract
A 04	2150501	1st	6012.02

Private Storm Drain Profiles and Details
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Howard County, Maryland
Scale: As Shown

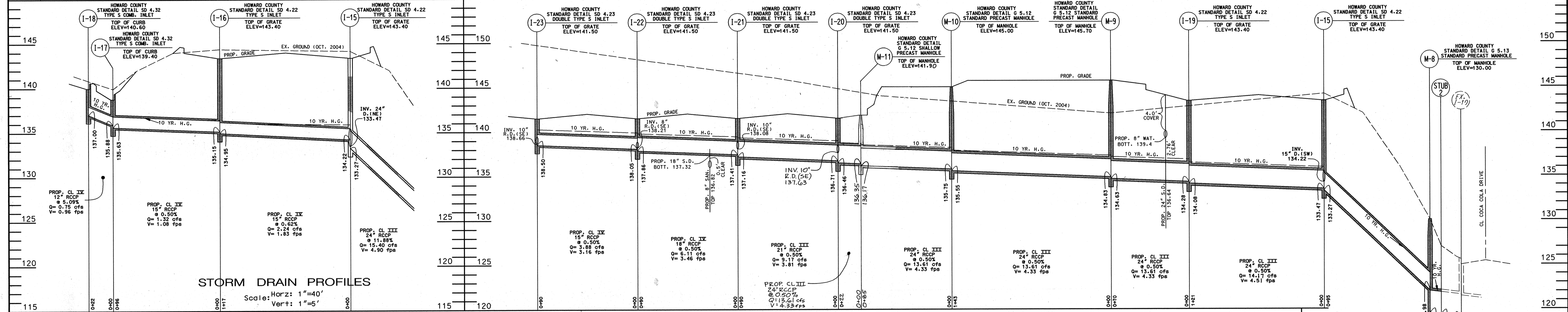
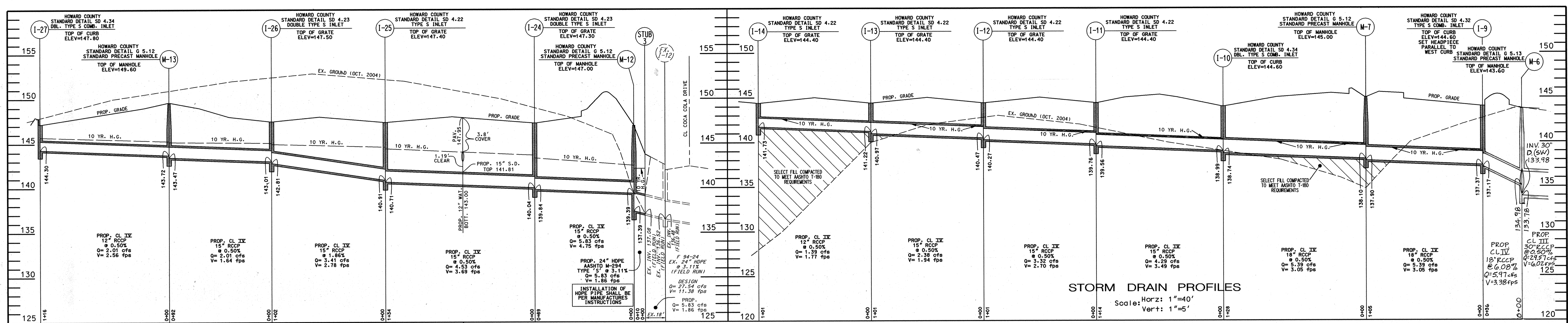
Red-Line Rev. 1-
September 13, 2005
June 16, 2005

Sheet 7 of 13
SDP 05-91

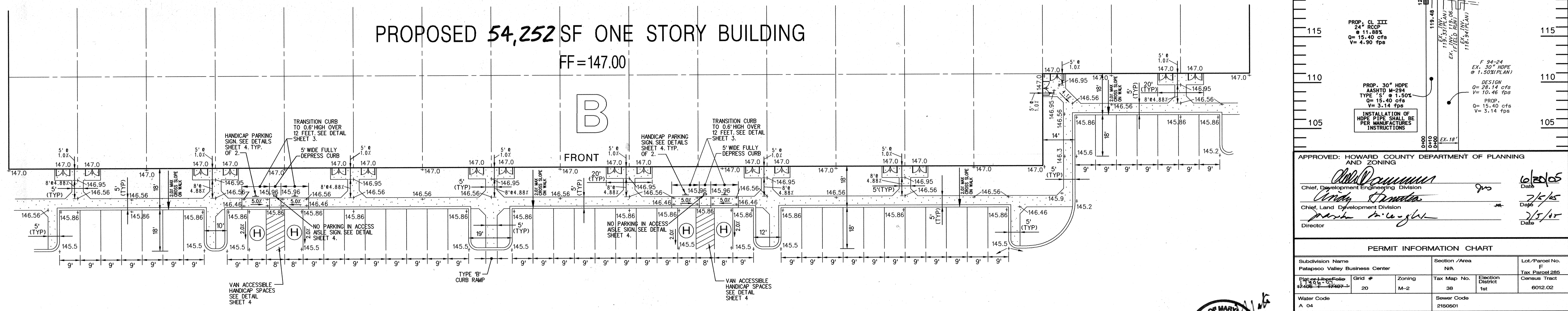
Matis Warfield
consulting engineers
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Phone 410-683-7004
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Developer / Owner
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By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
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Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644



PROPOSED 54,252 SF ONE STORY BUILDING
 FF=147.00



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

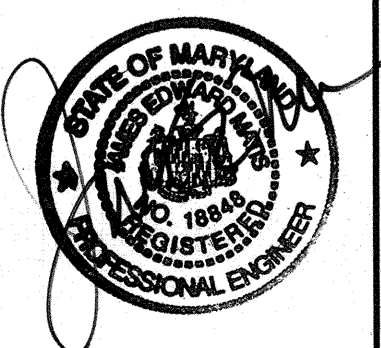
[Signature] Chief, Development Engineering Division
[Signature] Chief, Land Development Division
 Director

Date: 6/20/05
 Date: 7/5/05
 Date: 7/13/05

PERMIT INFORMATION CHART			
Subdivision Name Patapsco Valley Business Center	Section / Area NA	Lot / Parcel No. F	
File # 22-08-1-1449-3	Grid # 20	Zoning M-2	Tax Map No. 38
Water Code A 04		Election District 1st	Census Tract 6012.02
Sewer Code 2150501		Tax Parcel 285	

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Detail Handicap Parking and Accessible Route For Building B
 Scale: 1" = 20'



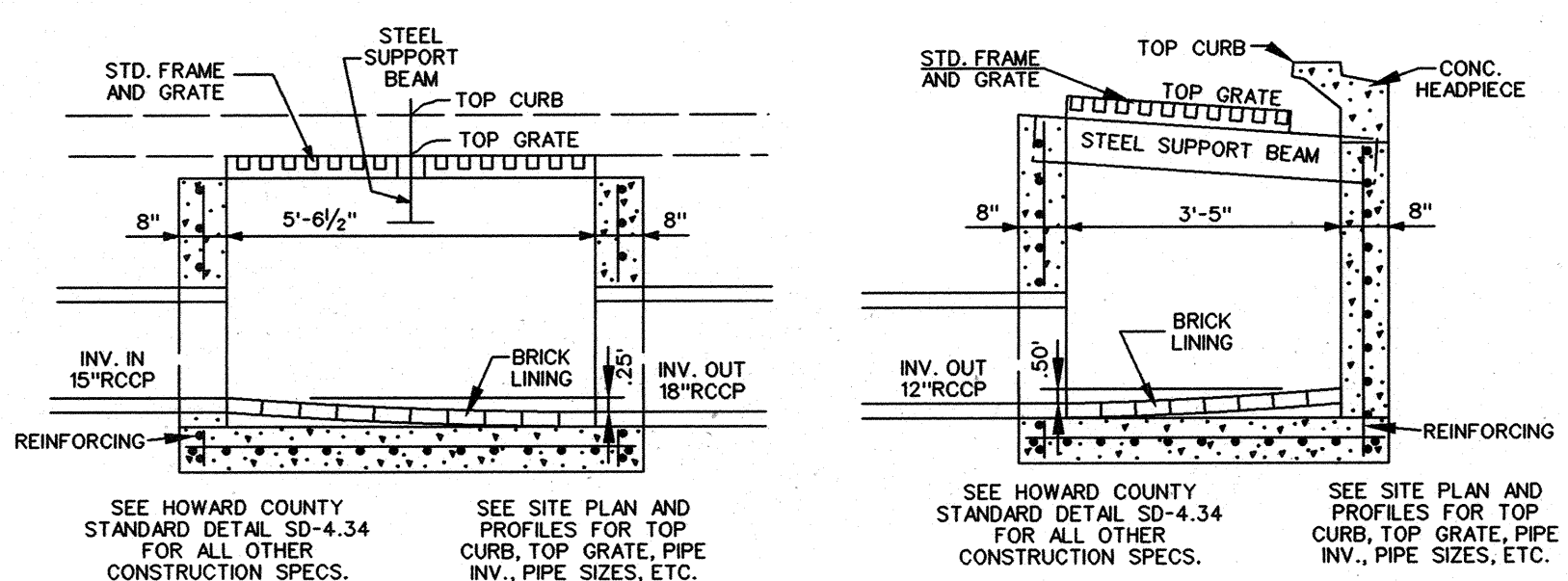
SEPTEMBER 13, 2005
 REVISIONS THIS SHEET:
 DRAIN PROFILES

Private Storm Drain Profiles and Details
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center

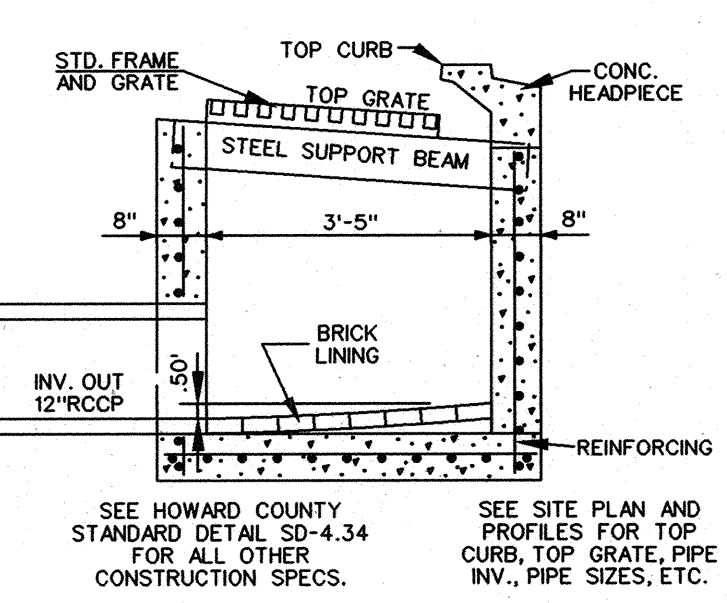
Howard County, Maryland
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Red-Line Rev. 1-
 September 13, 2005
 June 16, 2005

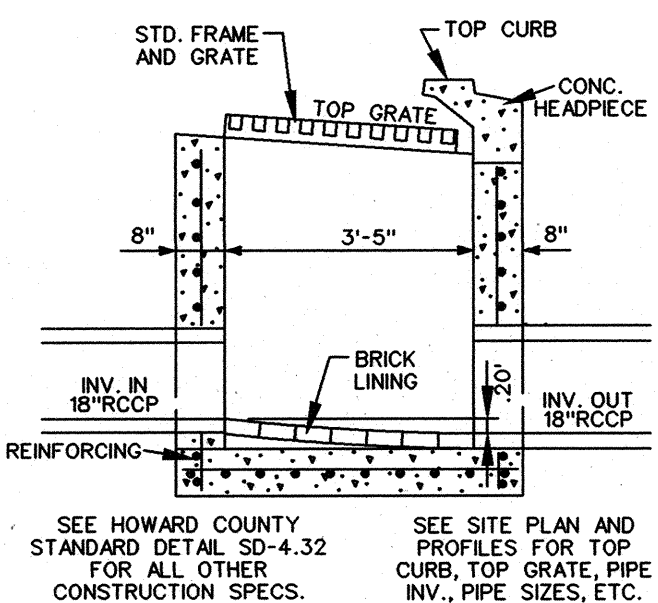
Sheet 6 of 13
 SDP 05-91



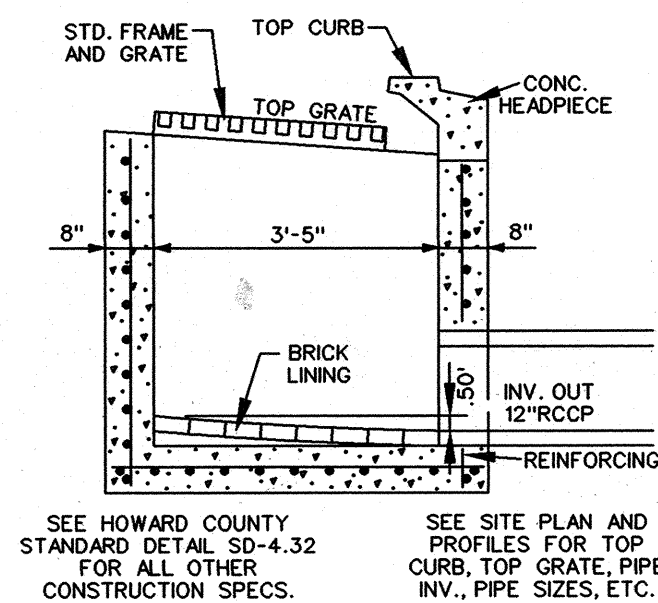
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Not To Scale



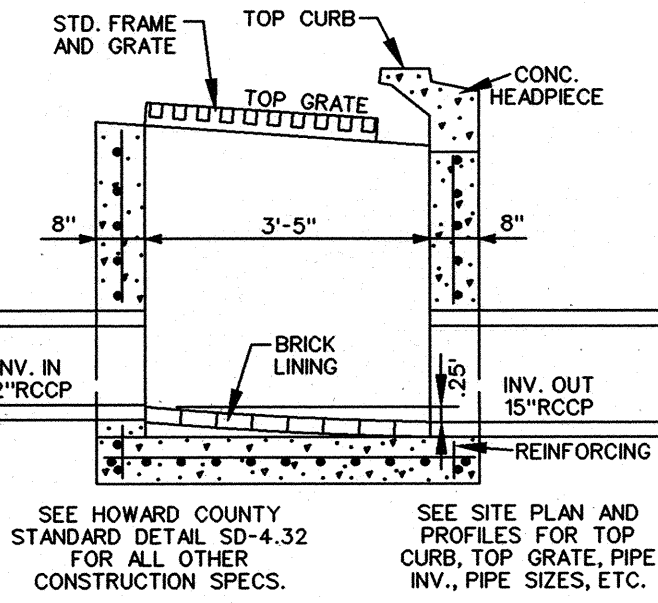
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Not To Scale



Modified For Flow Through Type 'S' Comb. Inlet (I-9)
Not To Scale



Modified For Flow Through Type 'S' Comb. Inlet (I-18)
Not To Scale



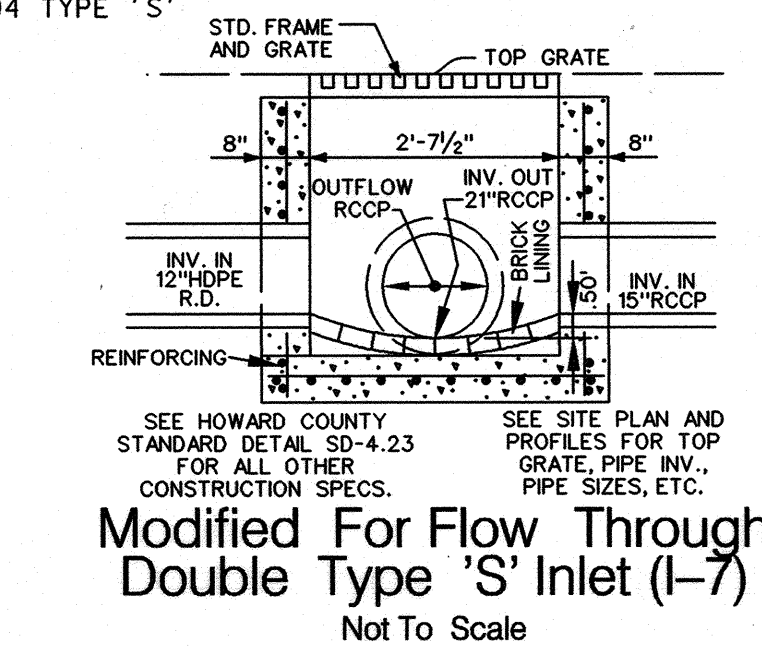
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Not To Scale

STORM DRAIN STRUCTURE SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	5' SHALLOW MANHOLE	92.80	92.60	99.50	STD. DTL. G 5.13
M-1A	5' SHALLOW MANHOLE	101.83	98.33	108.00	STD. DTL. G 5.13
M-2	5' SHALLOW MANHOLE	115.71	107.43	122.00	STD. DTL. G 5.13
M-3	5' MANHOLE	131.07	130.87	140.00	STD. DTL. G 5.13
M-4	5' MANHOLE	132.01	131.81	140.00	STD. DTL. G 5.13
M-5	5' MANHOLE	133.12	132.92	144.40	STD. DTL. G 5.13
M-6	5' MANHOLE	133.98	133.78	145.60	STD. DTL. G 5.13
M-7	4' MANHOLE	138.10	137.90	145.00	STD. DTL. G 5.12
M-8	5' MANHOLE	121.98	119.48	130.00	STD. DTL. G 5.13
M-9	4' MANHOLE	134.83	134.63	145.70	STD. DTL. G 5.12
M-10	4' MANHOLE	135.75	135.55	145.00	STD. DTL. G 5.12
M-11	4' SHALLOW MANHOLE	136.35	136.17	141.90	STD. DTL. G 5.12
M-12	4' MANHOLE	139.39	137.39	147.00	STD. DTL. G 5.12
M-13	4' MANHOLE	143.72	143.47	149.60	STD. DTL. G 5.12
C1-1	CUT-IN	133.19	132.44	-	30" RCCP x 12" RCCP

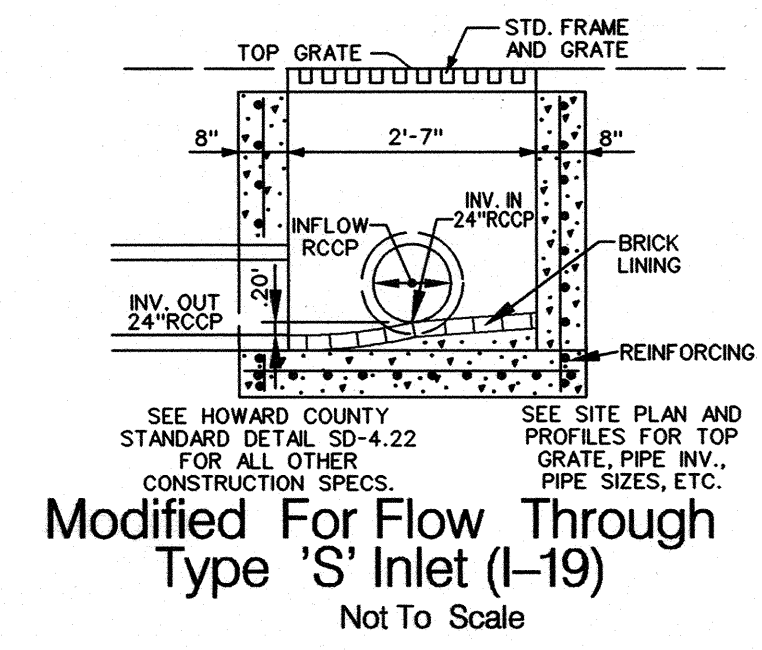
PIPE SCHEDULE		
SIZE	TYPE	PIPE LENGTH-FEET
8"	PVC SCHEDULE 40	6.39
10"	PVC SCHEDULE 40	231
12"	PVC SCHEDULE 40	287
24"	HDPE*	10
30"	HDPE*	22
12"	RCCP CL IV	2.60
15"	RCCP CL IV	1126
18"	RCCP CL IV	354
21"	RCCP CL III	227
24"	RCCP CL III	62.6
27"	RCCP CL III	276
30"	RCCP CL III	777

STORM DRAIN INLET SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	DBL. 'S' COMB.	-	137.99	143.60(TC)	STD. DTL. SD 4.34*
I-2	DBL. 'S'	134.97	134.72	142.50(TG)	STD. DTL. SD 4.23**
I-3	TYPE 'S'	135.65	135.45	142.50(TG)	STD. DTL. SD 4.22**
I-4	TYPE 'S'	136.31	136.11	142.50(TG)	STD. DTL. SD 4.22**
I-5	DBL. 'S'	137.00	136.75	142.50(TG)	STD. DTL. SD 4.23**
I-6	DBL. 'S'	137.70	137.45	142.50(TG)	STD. DTL. SD 4.23**
I-7	DBL. 'S'	138.89	138.39	142.50(TG)	STD. DTL. SD 4.23**
I-8	DBL. 'S'	-	139.34	142.50(TG)	STD. DTL. SD 4.23**
I-9	'S' COMB.	137.37	137.17	144.60(TC)	STD. DTL. SD 4.32**
I-10	DBL. 'S' COMB.	138.99	138.74	144.60(TC)	STD. DTL. SD 4.34**
I-11	TYPE 'S'	139.76	139.56	144.40(TG)	STD. DTL. SD 4.22**
I-12	TYPE 'S'	140.47	140.27	144.40(TG)	STD. DTL. SD 4.22**
I-13	TYPE 'S'	141.22	140.97	144.40(TG)	STD. DTL. SD 4.22**
I-14	TYPE 'S'	-	141.73	144.40(TG)	STD. DTL. SD 4.22**
I-15	TYPE 'S'	133.47	133.27	143.40(TG)	STD. DTL. SD 4.22**
I-16	TYPE 'S'	135.15	134.95	143.40(TG)	STD. DTL. SD 4.22**
I-17	'S' COMB.	135.88	135.63	139.40(TC)	STD. DTL. SD 4.32**
I-18	'S' COMB.	-	137.00	140.60(TC)	STD. DTL. SD 4.32**
I-19	TYPE 'S'	134.28	134.08	143.40(TG)	STD. DTL. SD 4.22**
I-20	DBL. 'S'	136.71	136.46	141.50(TG)	STD. DTL. SD 4.23**
I-21	DBL. 'S'	137.41	137.16	141.50(TG)	STD. DTL. SD 4.23**
I-22	DBL. 'S'	138.05	137.86	141.50(TG)	STD. DTL. SD 4.23**
I-23	DBL. 'S'	-	138.50	141.50(TG)	STD. DTL. SD 4.23**
I-24	DBL. 'S'	140.04	139.84	147.30(TG)	STD. DTL. SD 4.23**
I-25	TYPE 'S'	140.91	140.71	147.40(TG)	STD. DTL. SD 4.22**
I-26	DBL. 'S'	143.01	142.81	147.50(TG)	STD. DTL. SD 4.23**
I-27	DBL. 'S' COMB.	-	144.30	147.80(TC)	STD. DTL. SD 4.34

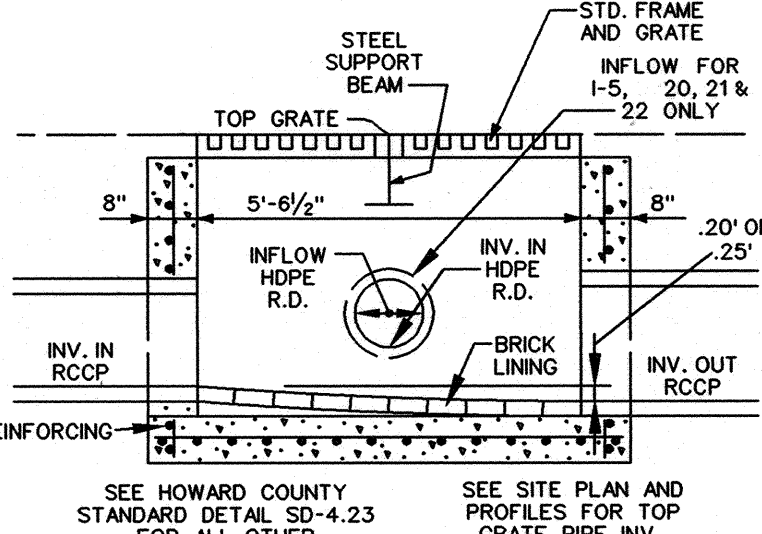
*MODIFIED, SEE DETAILS THIS SHEET
(TC)-TOP CURB
(TG)-TOP GRATE



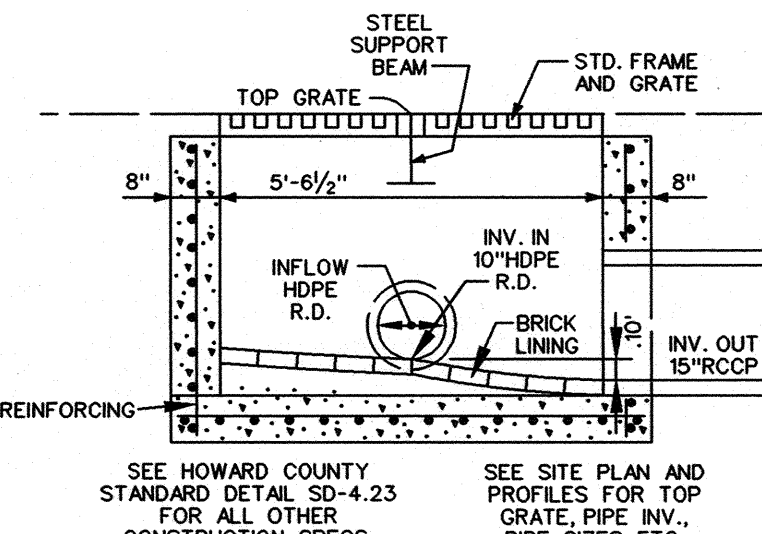
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Not To Scale



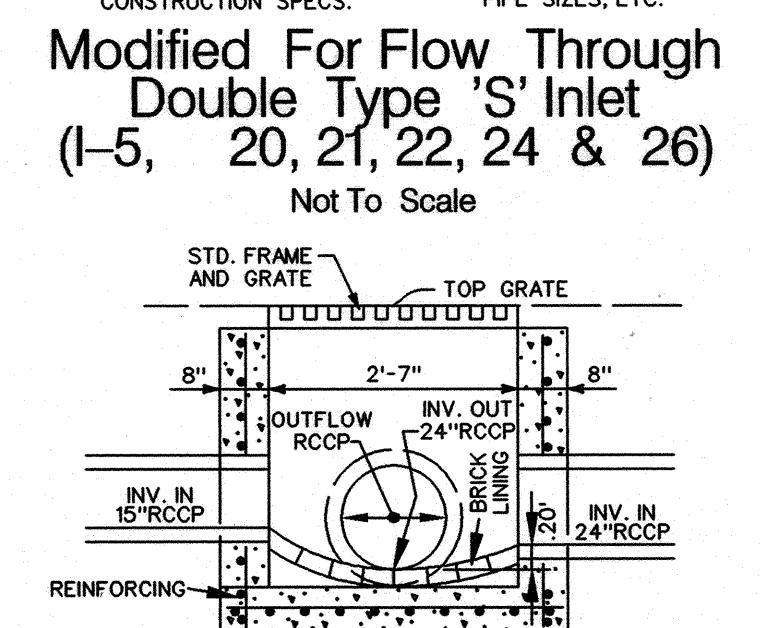
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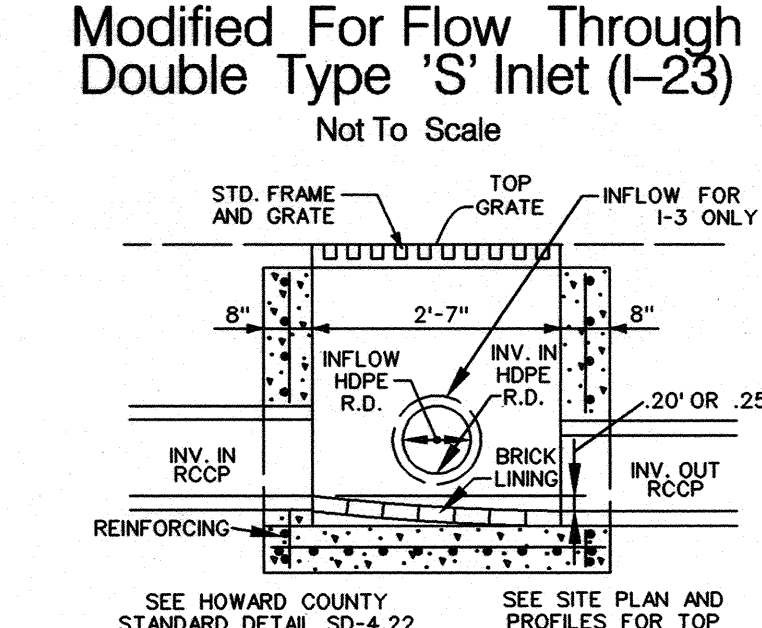
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Not To Scale



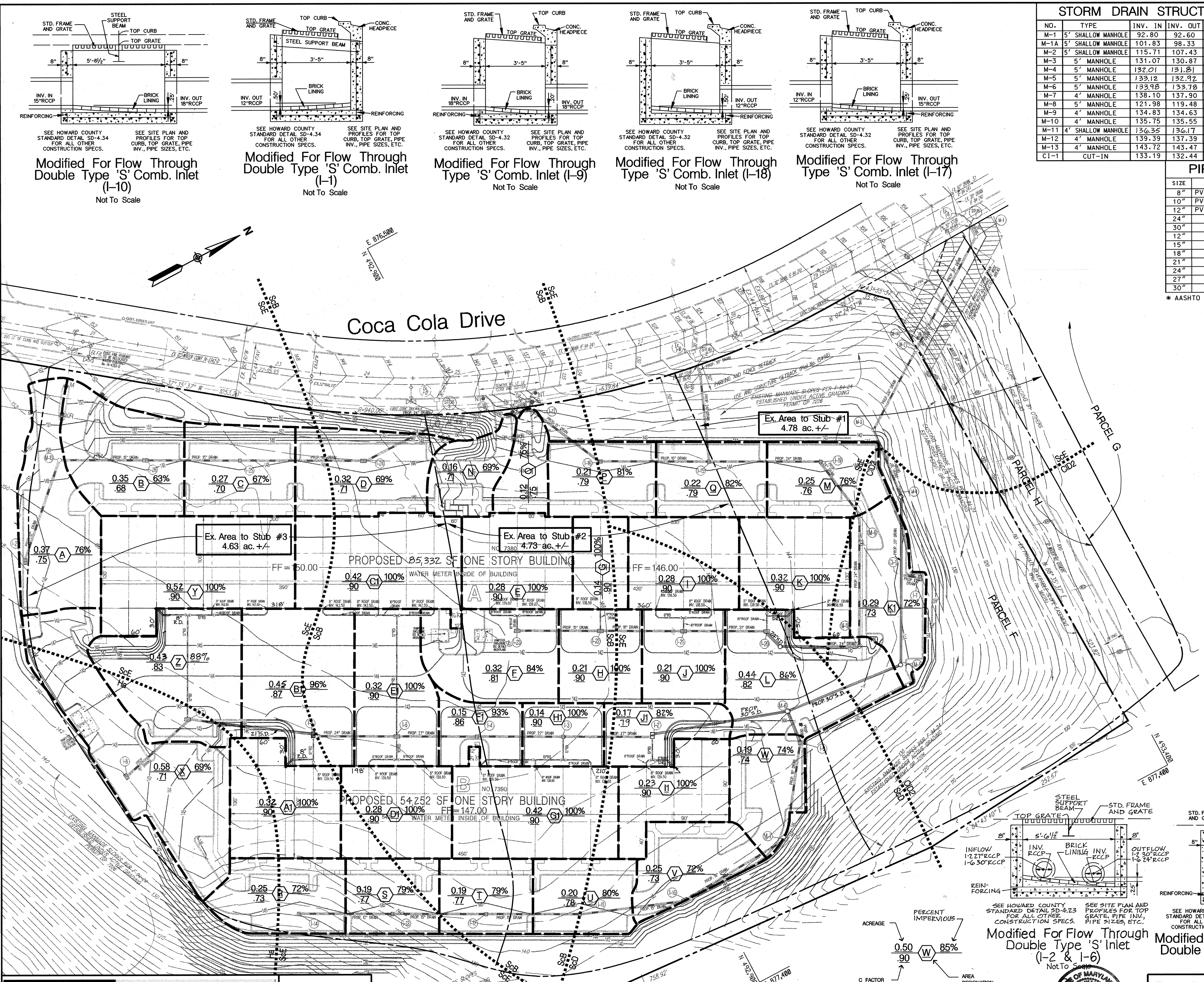
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Not To Scale



Modified For Flow Through Type 'S' Inlet (I-15)
Not To Scale



Modified For Flow Through Type 'S' Inlet (I-3, 4, 11, 12, 13, 16 & 25)
Not To Scale



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consulting engineers
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Facsimile 410-683-1798
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Drainage Area Map
Scale 1" = 50'
STORM WATER MANAGEMENT QUANTITY AND QUALITY PROVIDED IN REGIONAL FACILITY LOCATED ON ADJACENT PARCEL G (DPW FILE F-94-24)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

PERMIT INFORMATION CHART

Subdivision Name	Patapsco Valley Business Center	Section / Area	N/A	Lot / Parcel No.	F
Grid #	20	Zoning	M-2	Tax Parcel No.	38
Water Code	A 04	Sewer Code	2150501	Election District	1st
				Census Tract	6012.02

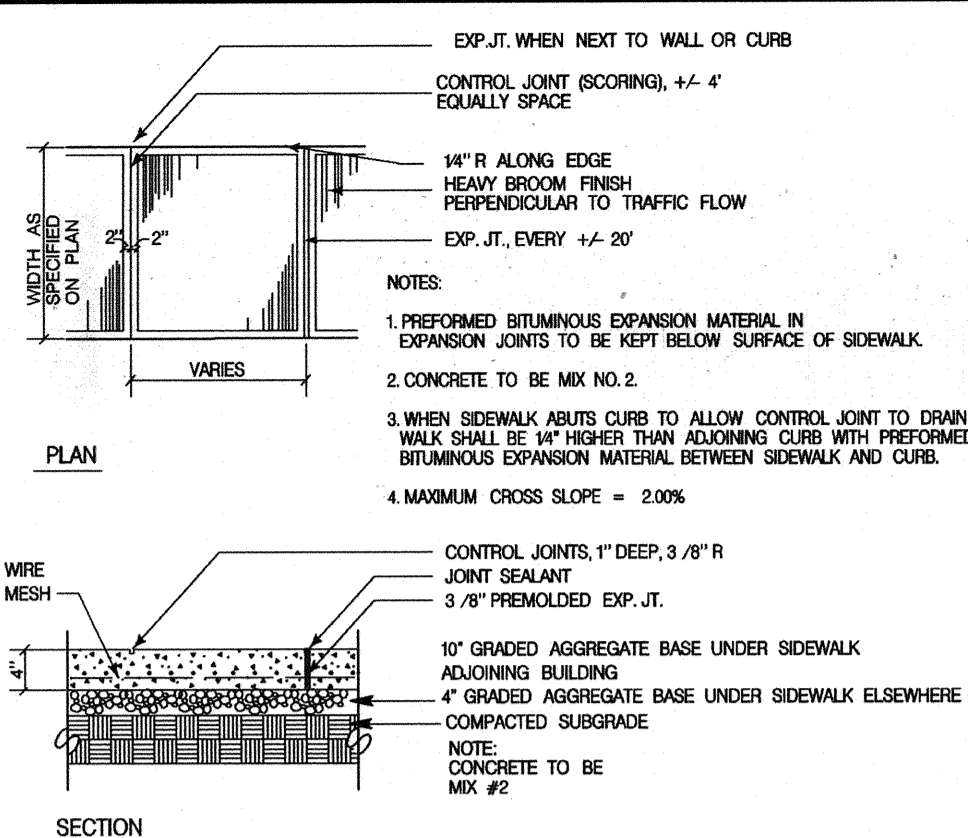
Developer / Owner
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By Member - Merritt Properties, LLC
By Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

September 13, 2005
REVISIONS THIS SHEET:
DRAINAGE AREA MAP / INLET STRUCTURE & PIPE SCHEDULES

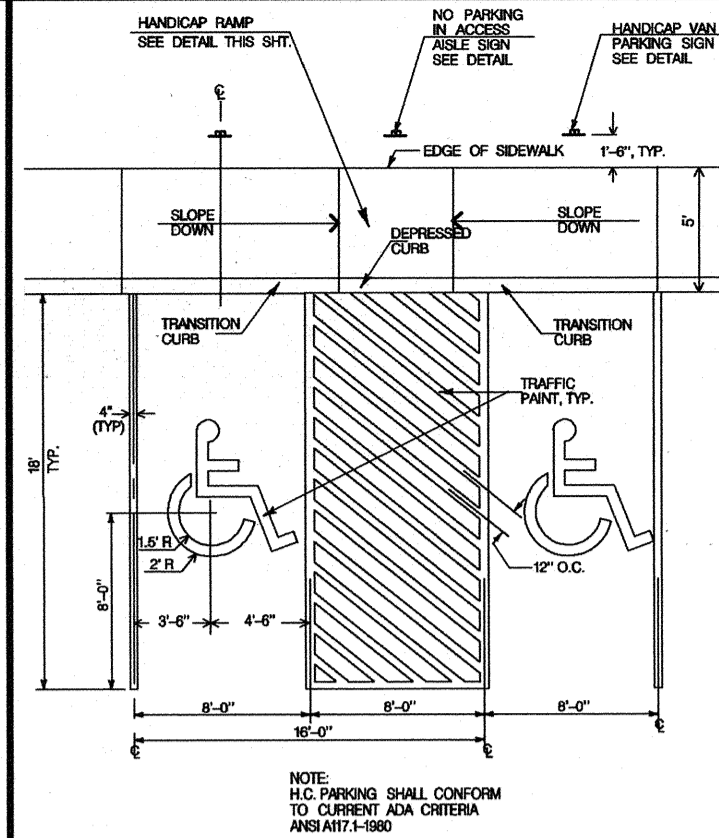
Stormwater Drainage Area Map & Storm Drain Details
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Howard County, Maryland
Scale: As Shown

Red-Line Rev. 1
September 13, 2005
June 16, 2005

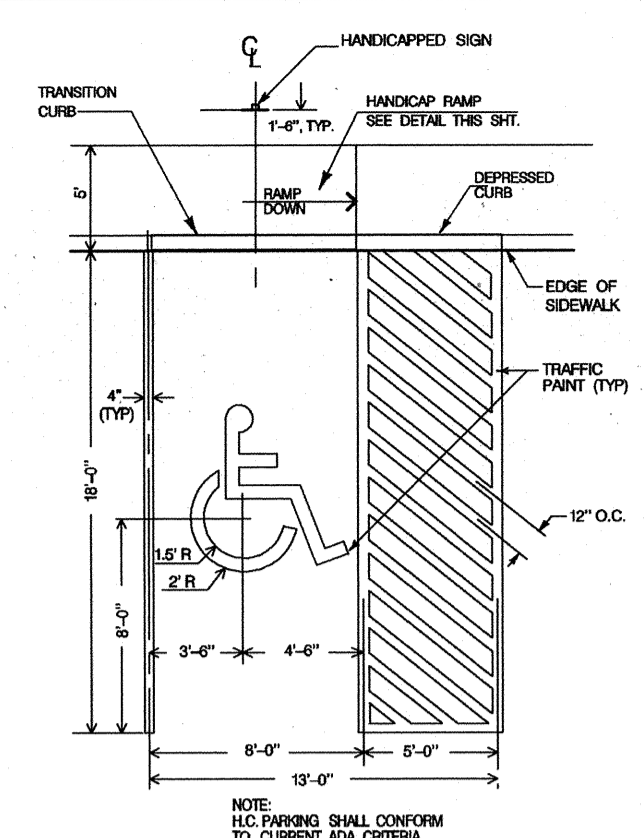
Sheet 5 of 13
SDP 05-91



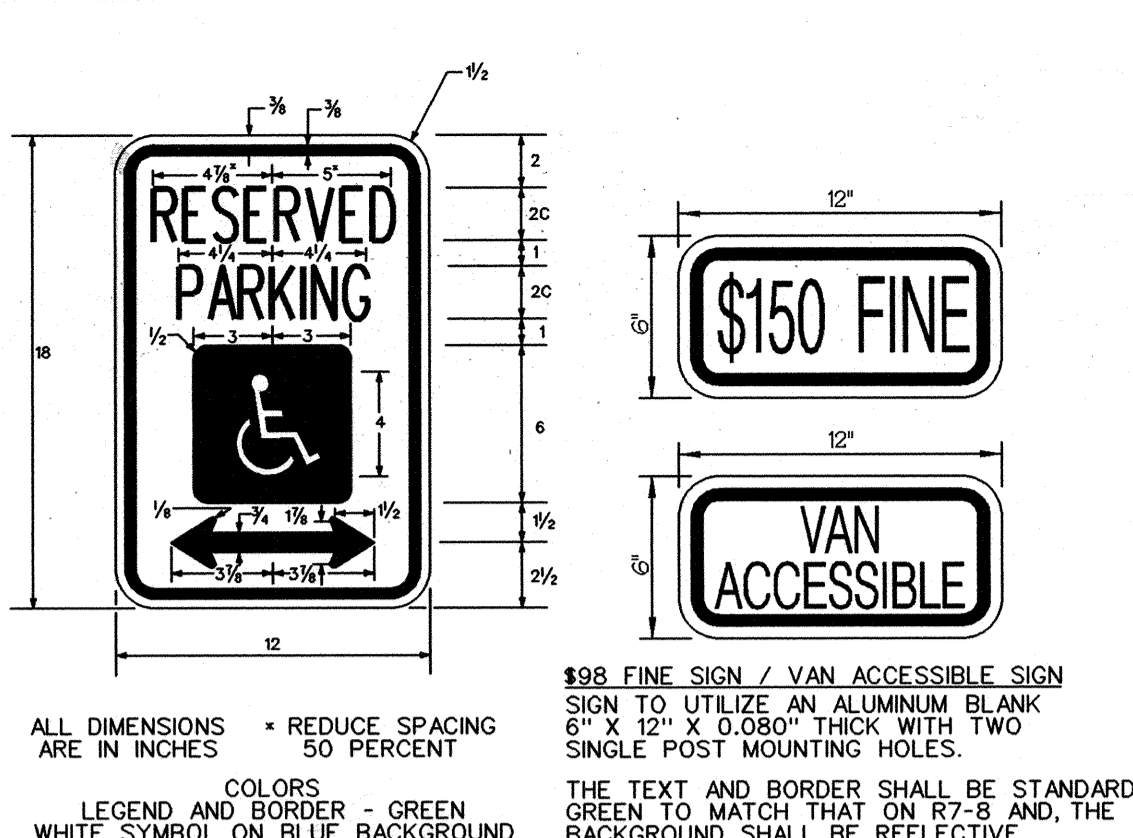
Detail Concrete Walk
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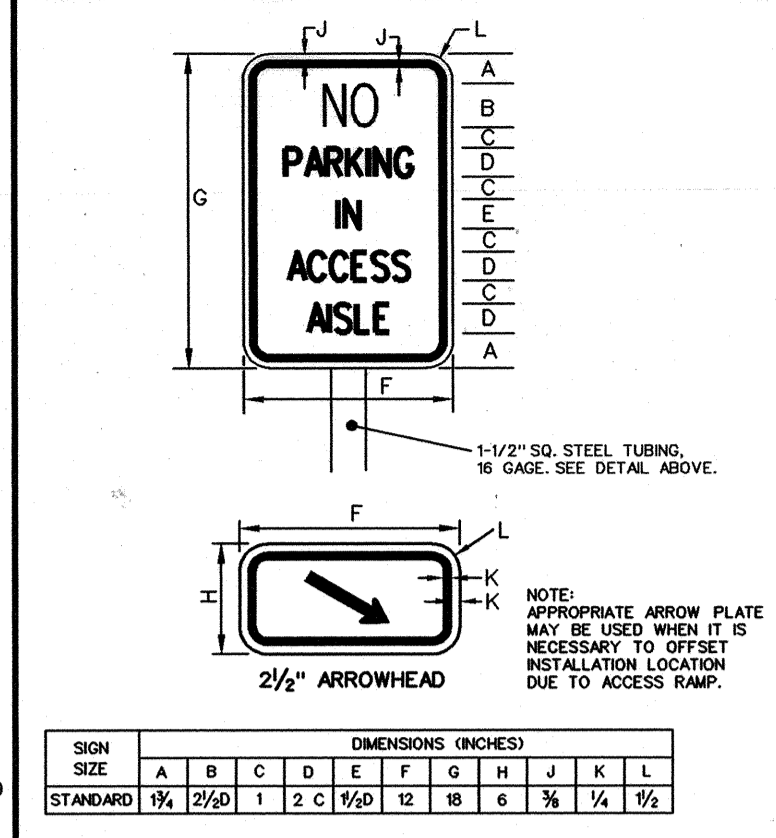
Detail Van Accessible Handicap Parking Spaces
Not To Scale



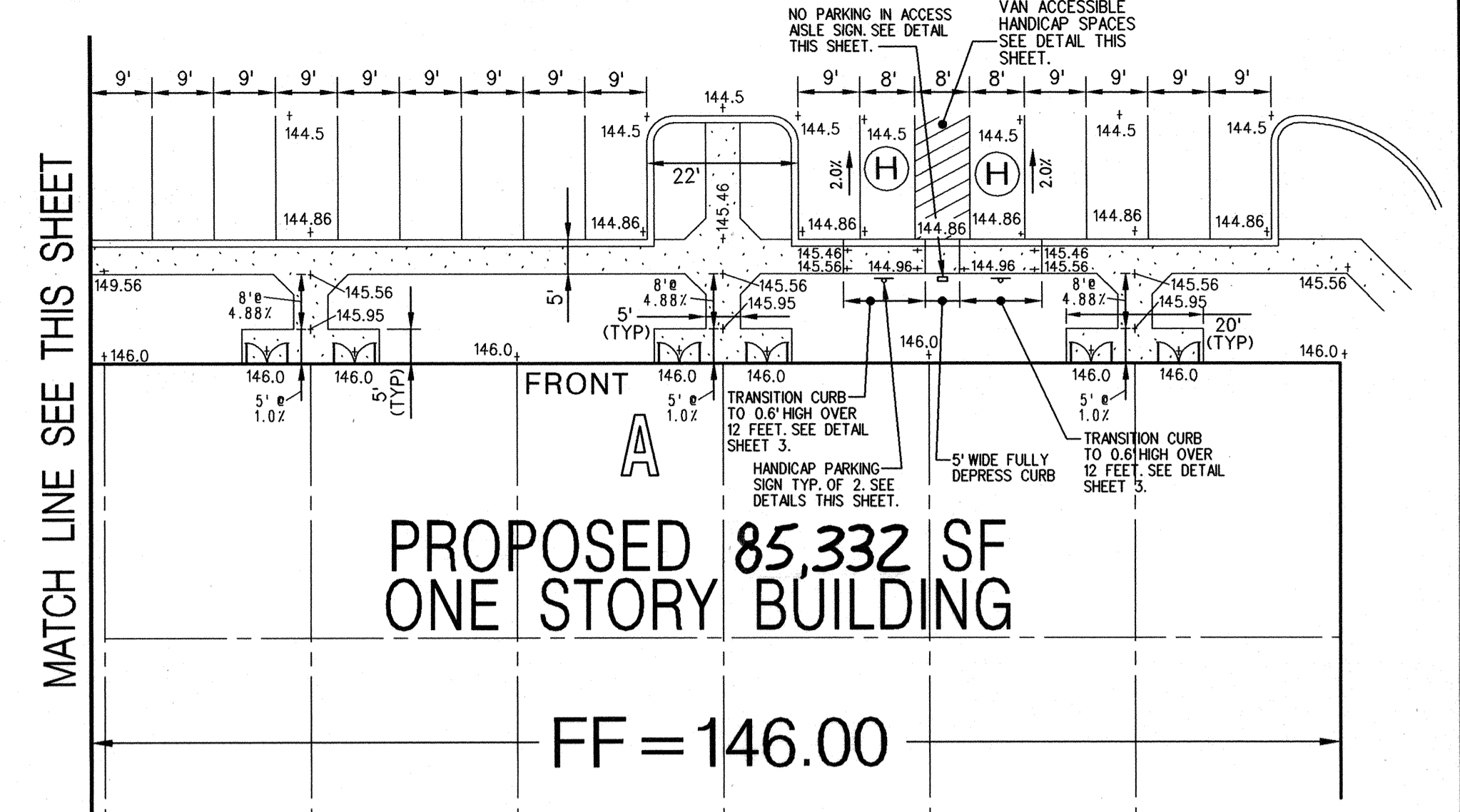
Detail Standard Handicap Parking Space
Not To Scale



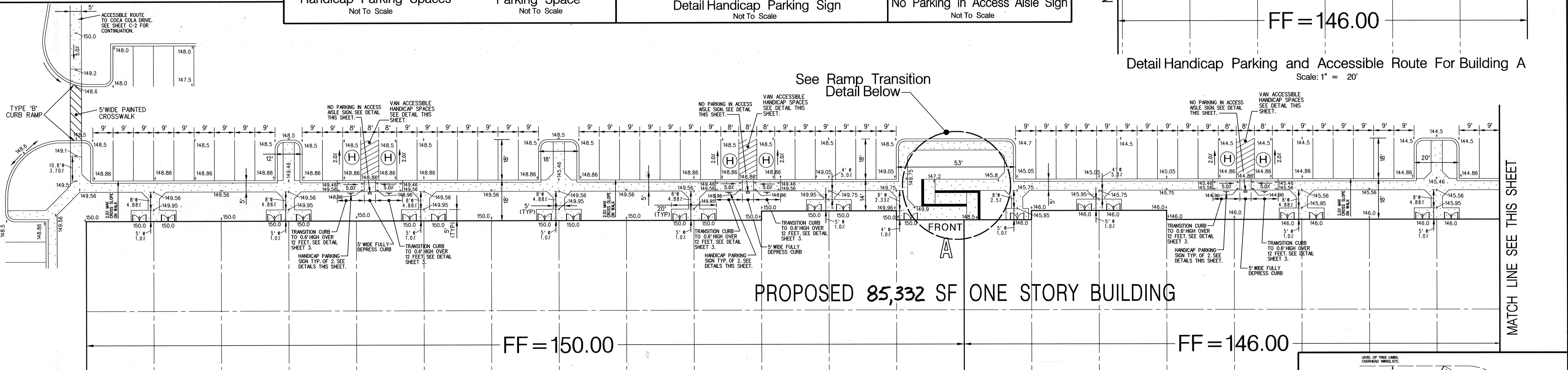
Detail Handicap Parking Sign
Not To Scale



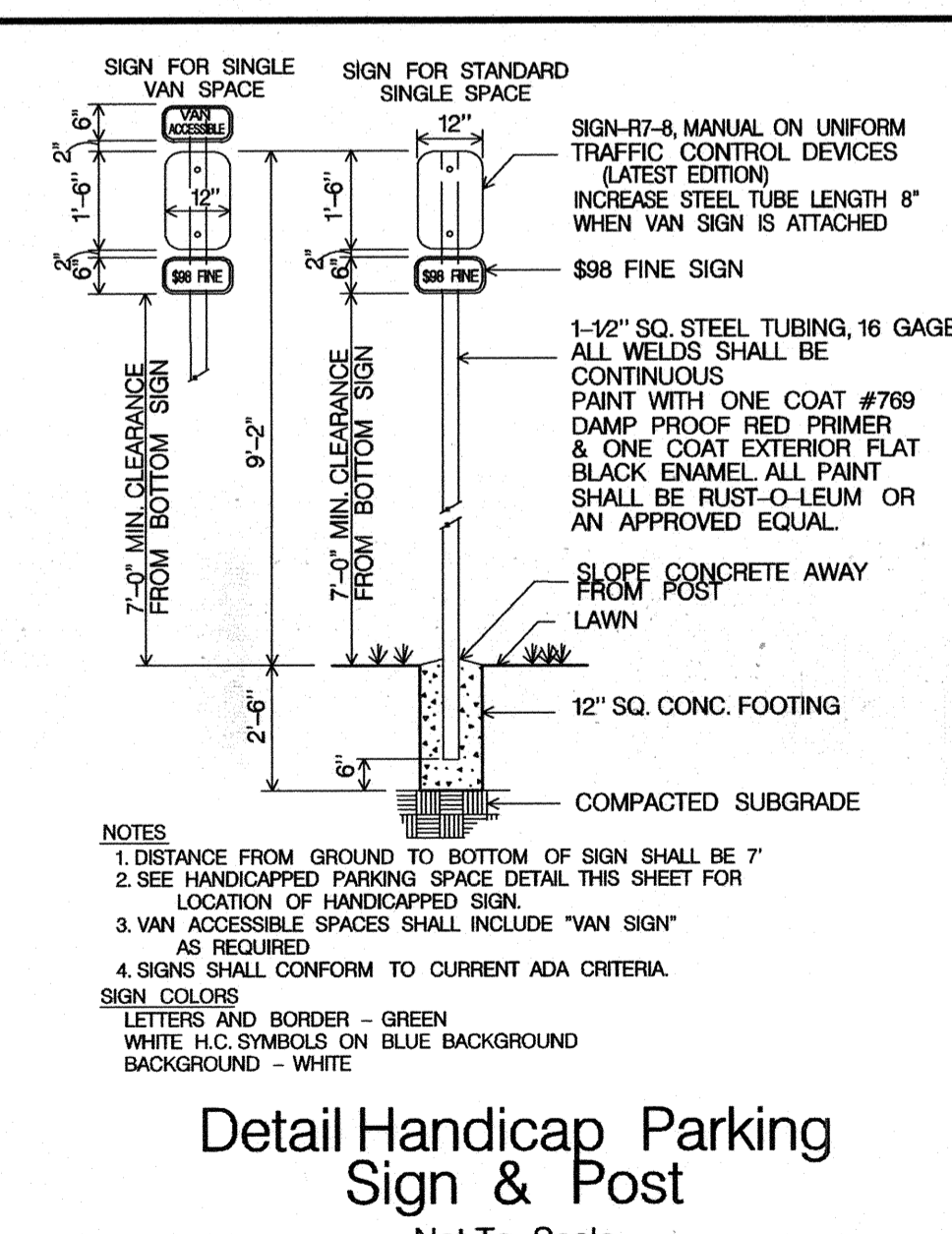
No Parking in Access Aisle Sign
Not To Scale



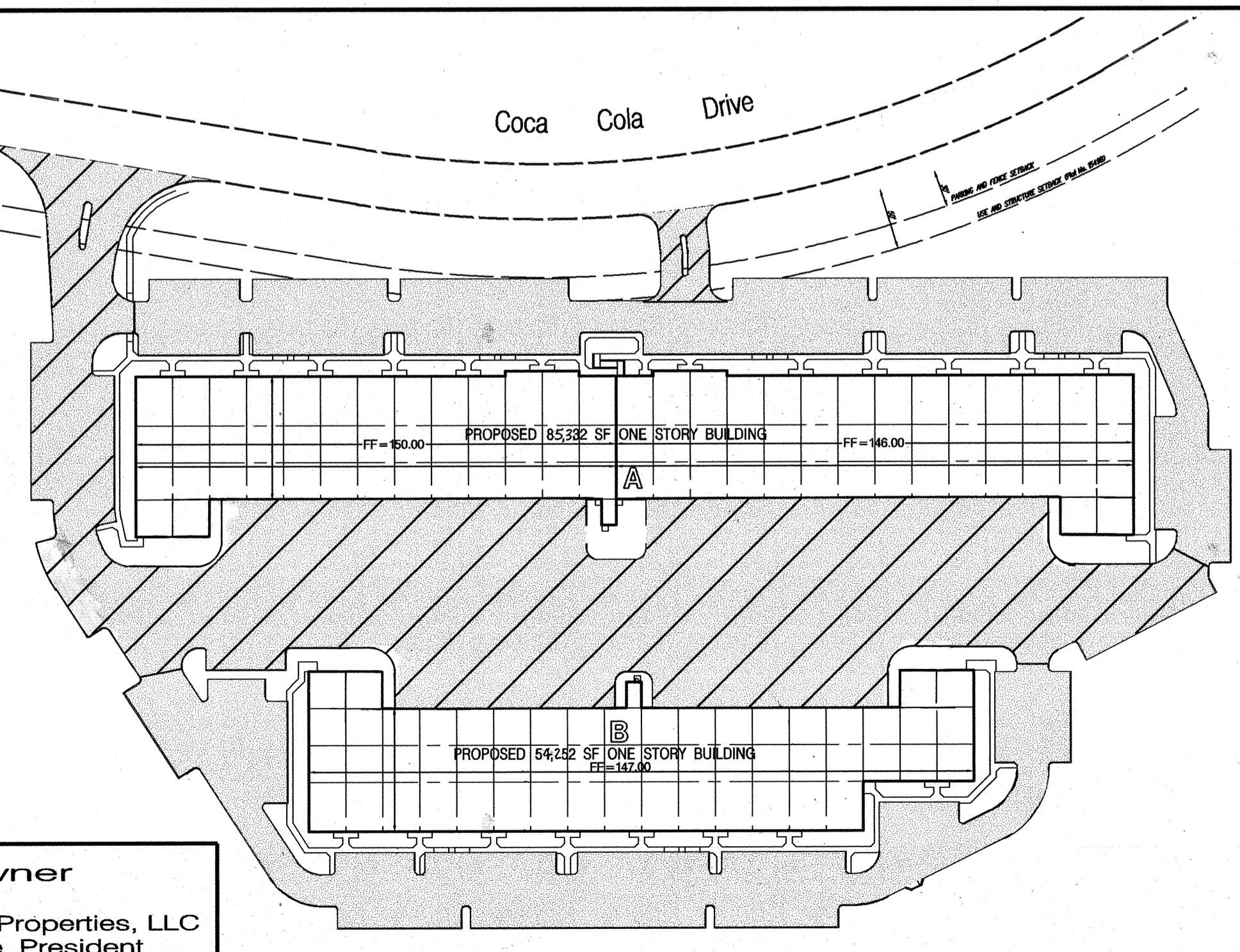
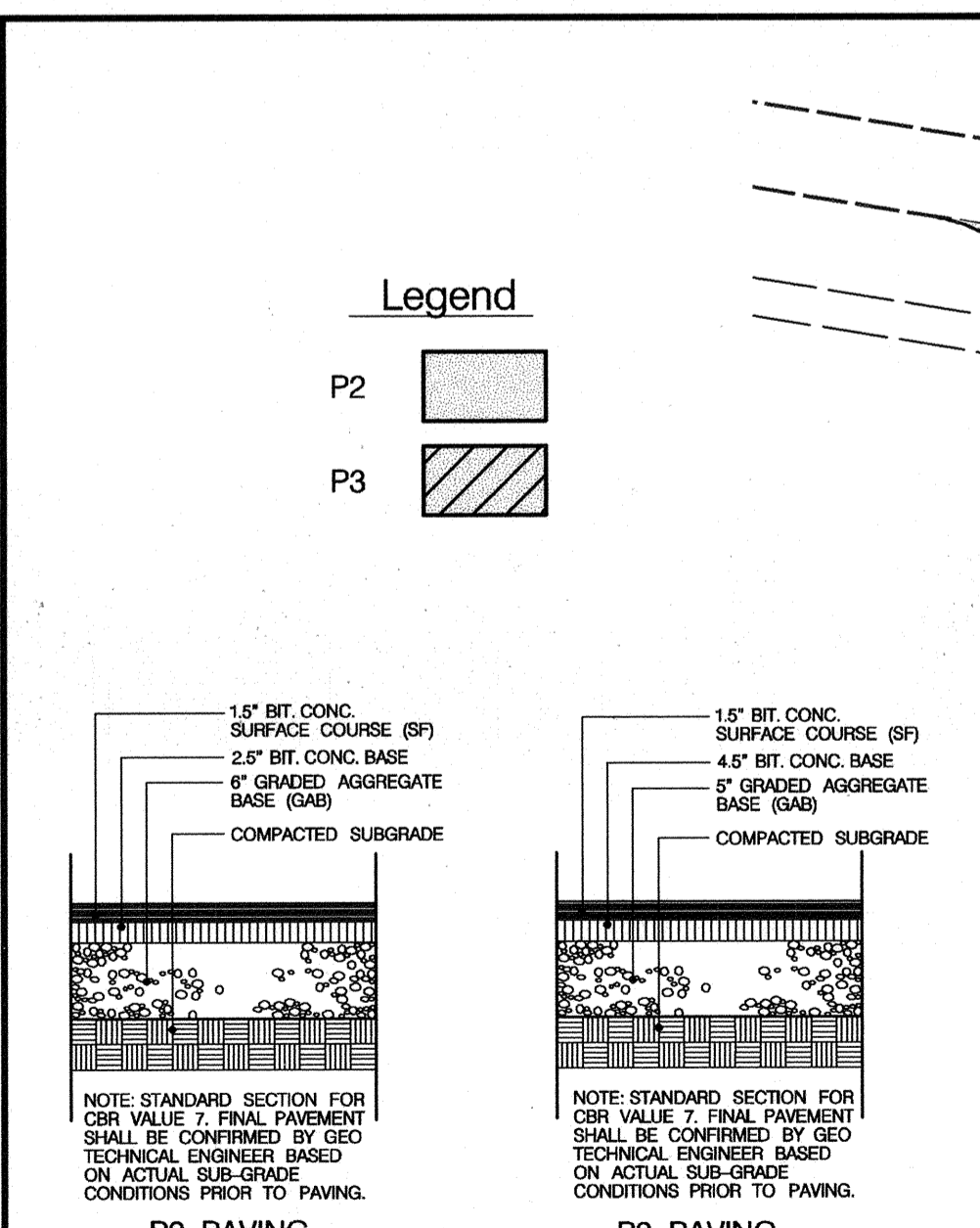
Detail Handicap Parking and Accessible Route For Building A
Scale: 1" = 20'



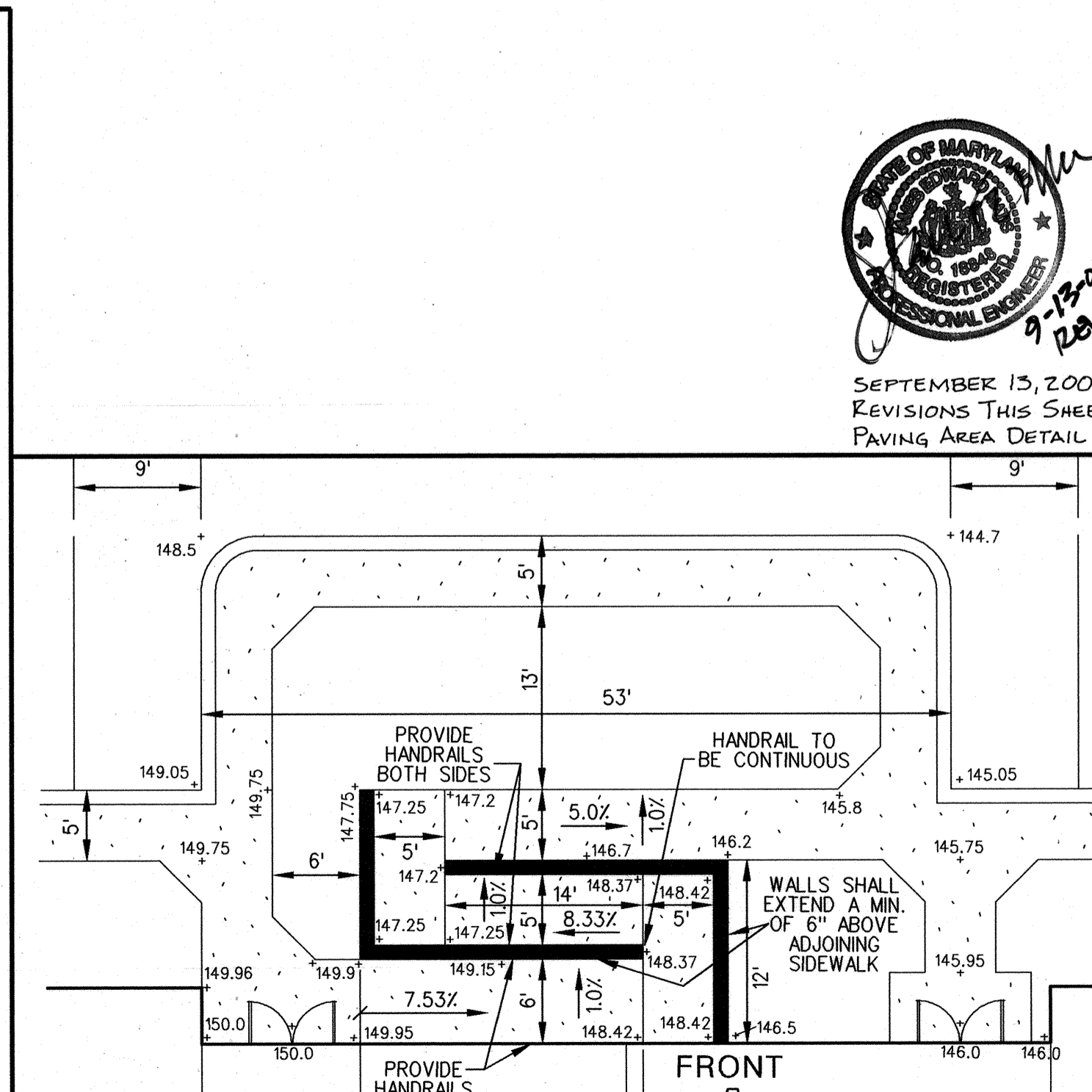
Detail Handicap Parking and Accessible Route For Building A
Scale: 1" = 20'



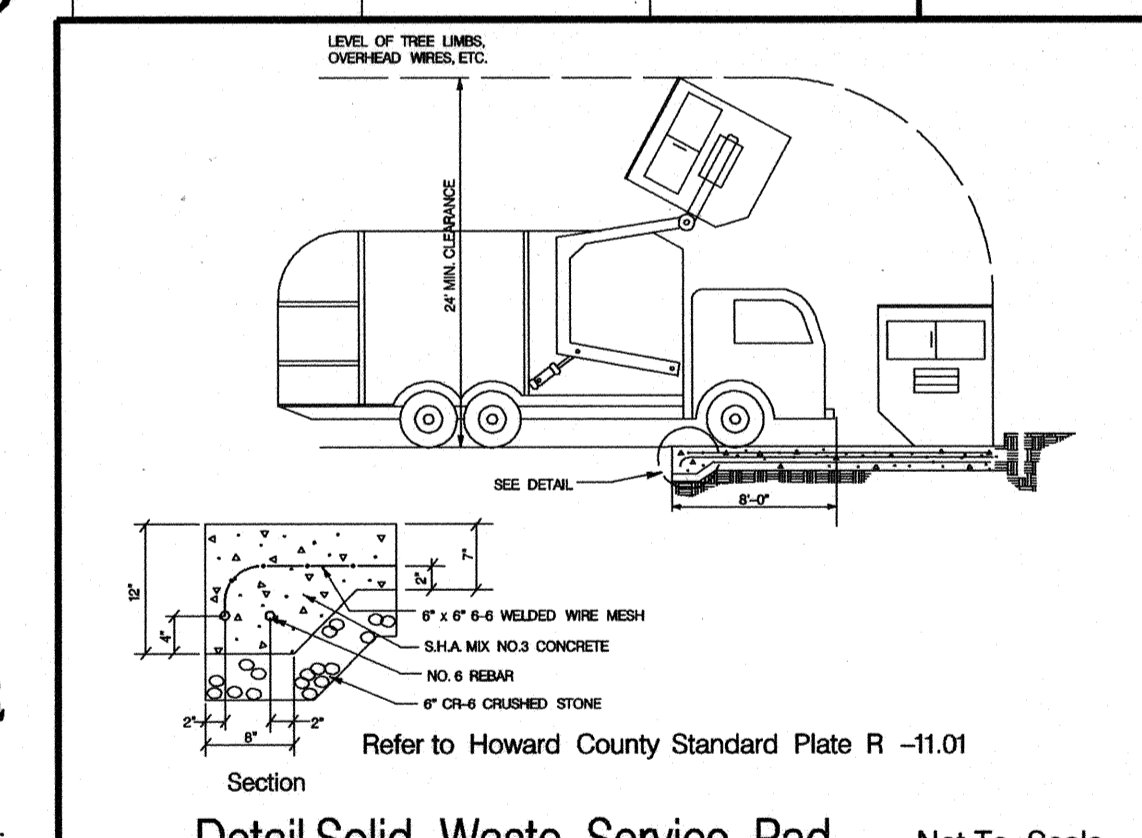
Detail Handicap Parking Sign & Post
Not To Scale



Detail Paving Sections and Areas
Scale: 1" = 100'



Detail Ramp Transition For Building A
Scale: 1" = 10'



Detail Solid Waste Service Pad
Not To Scale

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Division of Land Development
Director

SEPTEMBER 13, 2005
REVISIONS THIS SHEET:
PAVING AREA DETAIL

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	N/A	FF
Plan No. 17-06-C-13407	Grid # 20	Tax Parcel 285
Water Code A 04	Zoning M-2	Election District 1st
	Sewer Code 2150501	Census Tract 6012.02

Site Details
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center

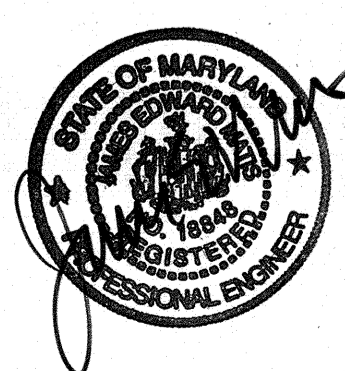
Howard County, Maryland
Scale: As Shown

Red-Line Rev. 1 - September 13, 2005
June 16, 2005

Sheet 4 of 13
SDP 05-91

Matis Warfield
consulting engineers

10540 York Road Suite M
Hunt Valley, Maryland 21030
Phone (410) 298-2600
Facsimile 410-688-1798
www.matiswarfield.com



Developer / Owner
Merritt PVI, LLC
By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

SDP 05-91

Public Street Light Location Data

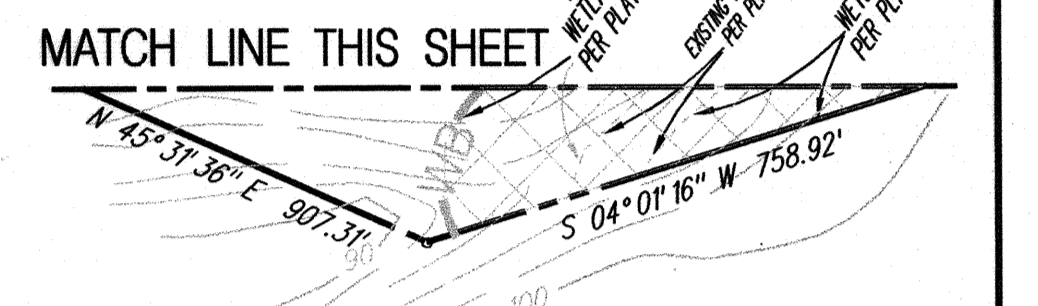
Road Station	Qty	Description	Pole
25+90 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm
21+69 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm
20+02 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm

Notes:
 1. All curb radii are 4 feet unless otherwise noted.
 2. For limits of types of paving, Concrete Curb & Gutter, Conc. Walk & Handicap Access see Sheets 3, 4 & 6.

CIV. 1010/02 & 1010/03, LLC
 PARCEL D1
 PATAPSCO VALLEY BUSINESS CENTER
 TAX ACCT. NO. 289470
 DEED REF. 9444/485
 PLAT 16376 & 16377

Legend

Existing Contours	--- 100 ---
Proposed Grades	--- 144 ---
Existing Water	—
Proposed Private Water	—
Proposed Public Water	—
Existing Sanitary	—
Proposed Private Sanitary	—
Existing Storm Drain	—
Proposed Private Storm Drain	—
Existing Curb and Gutter	—
Proposed Conc. Curb & Gutter	—
Proposed Concrete Paving	—
Handicap Parking Space	(H)
Guard Rail	—
Future Grades By Others	—



Traffic Signage at Entrances

	Shown Thus	• NT
	Shown Thus	• M
	Shown Thus	• S
	Shown Thus	• KR

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 10540 York Road, Suite M
 Hunt Valley, Maryland 21036
 Phone 410-683-7904
 Facsimile 410-683-1798
 www.matiswarfield.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Williams 10/20/05
 Chief, Development Engineering Division Date

John J. Donato 7/5/05
 Chief, Land Development Division Date

Robert J. Taylor 7/5/05
 Director Date

ADDRESS CHART

Building	Street Address
A	7380 Coca Cola Drive
B	7390 Coca Cola Drive

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	N/A	F
Plat or Liber/Folio	Grid #	Zoning
17406-07	20	M-2
Water Code	Sewer Code	Canvass Tract
A-04	2150501	0012.02

Site Development Plan
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center

Howard County, Maryland
 Scale: As Shown

Ed-Line Rev. 1-September 15, 2005
 June 16, 2005

Sheet 2 of 13
 SDP 05-91

Reviewed for Howard SCD and meets Technical Requirements

Jim Myer 6/29/05
 USA - Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John K. Robertson 6/29/05
 Howard SCD Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District"

John E. Matis
 September 13, 2005
 REVISION 13, 2005
 REVISE THIS SHEET.
 REVISIONS OF BUILDINGS, ADD PARKING BAY, ADJUST DRAIN

6-16-05
 Date
 John E. Matis, P.E. MD 18848

DEVELOPER'S CERTIFICATE

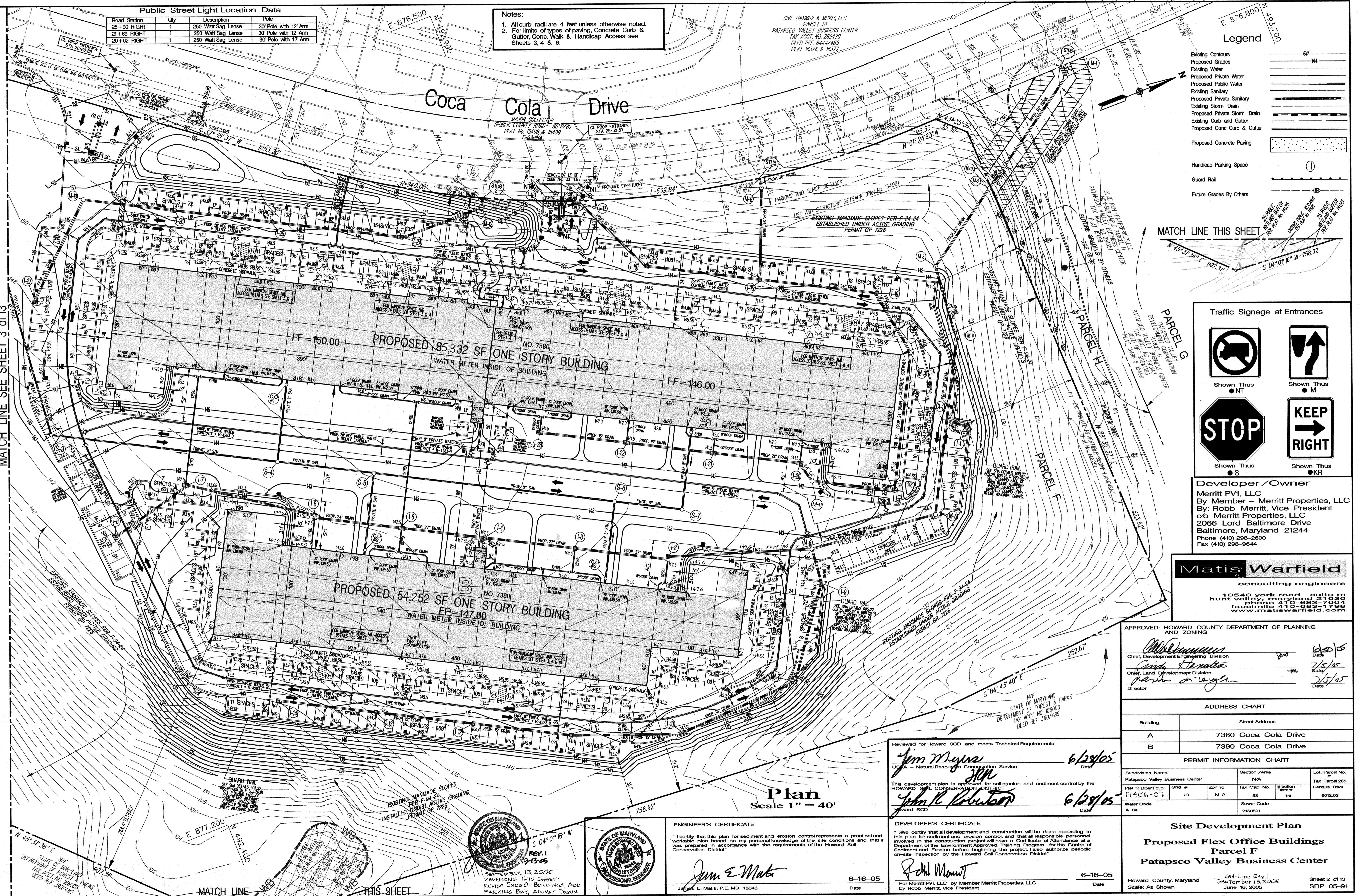
"We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District"

Robb Merritt
 For Merritt PV1, LLC by Member Merritt Properties, LLC
 by Robb Merritt, Vice President

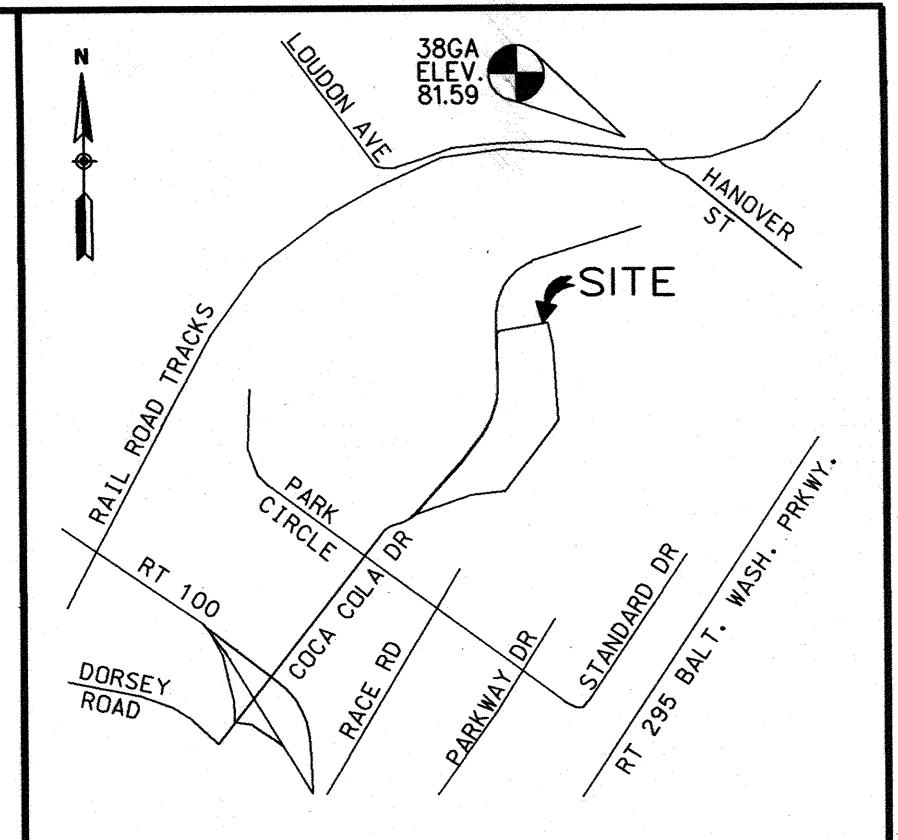
6-16-05
 Date

MATCH LINE SEE SHEET 3 OF 13

MATCH LINE THIS SHEET



Site Development Plan for Proposed Office/Flex Buildings SDP 05-091 Parcel F Patapsco Valley Business Center Howard County, Maryland



Vicinity Map
Scale 1" = 2000'

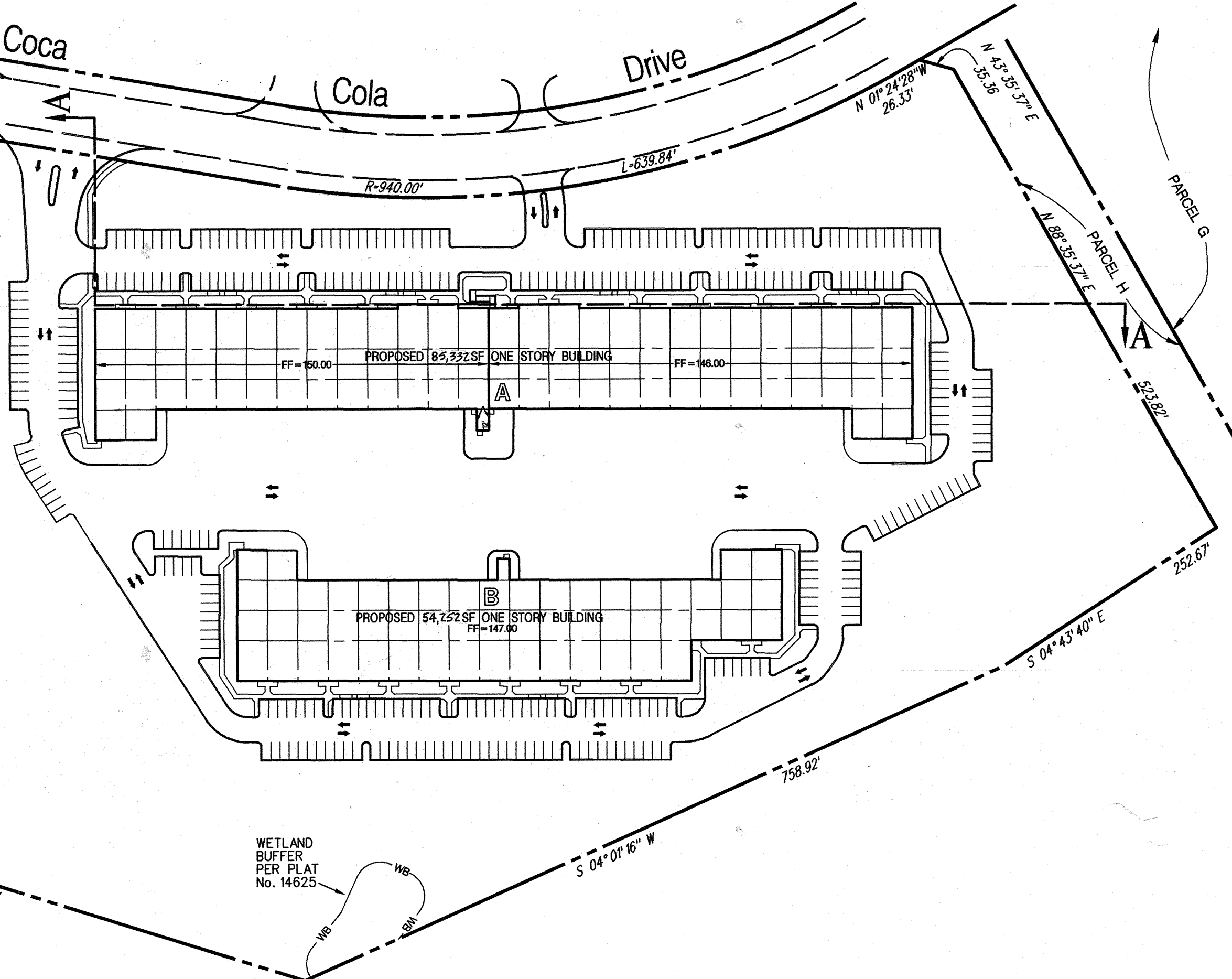
COORDINATES AND BEARINGS ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROLS STATIONS: NAD 83. ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM-NGVD 29 AND ARE BASED ON THE FOLLOWING HOWARD COUNTY SURVEY CONTROL STATIONS: (TRANSLATED METERS TO FEET).
38GA ELEV. 81.59 NGVD29
NAD 27 N 495,148.2 E 877,713.8
NAD 88 N 555,897.32 E 1,390,132.13

Site Analysis Data Chart

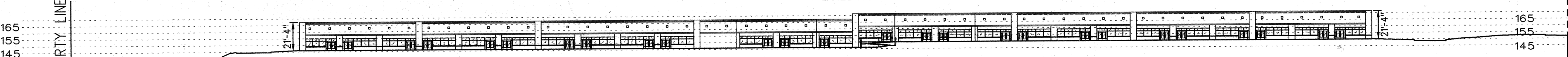
1. GENERAL SITE DATA	
CURRENT PLAT REFERENCE	17406 and 17407
PRESENT ZONING	M-2
APPLICABLE DPZ FILE REFERENCES:	P-91-14, S-91-19, WP-91-98, P-92-18, F-94-24, F-02-164 & F-04-67 F-05-160, PLATS 15496, 15498, 15499, 16376, 16377, 14625, 14626, 17406, 17407, F-05-167
PROPOSED USE:	TWO SINGLE STORY OFFICE/FLEX BUILDINGS TOTALING 139,584-SF
NO. OF OCCUPANTS	300 ESTIMATED
PROPOSED WATER:	PUBLIC
PROPOSED SEWER:	PRIVATE
WATER CONTRACT NUMBER	14-4283-D
TAX ACCOUNT NUMBER	01-291335
2. AREA TABULATION	
TOTAL PROJECT AREA:	30.304 ACRES
AREA OF THIS PLAN SUBMISSION:	30.304 ACRES
TOTAL DISTURBED AREA:	12.0 ACRES
FLOOR AREA RATIO:	139,584-SF (ULT.) GROSS FLOOR AREA / 30.304 ACRES = 0.106
BUILDING COVERAGE TO SITE:	139,584-SF (ULT.) GROUND FLOOR AREA (3,204-acres) = 10.6% of gross area / 30.304 ACRES
OPEN AREA PROVIDED:	21,566 (acres) = 70% of site area / 30.304 ACRES
3. OPEN SPACE DATA: N/A OPEN SPACE PROVIDED AS PART OF APPROVED SUBDIVISION	
4. PARKING SPACE DATA	
PARKING REQUIRED:	2.5 SPACES/1000 SF or 349 SPACES (HYBRID INDUSTRIAL/OFFICE SPACE)
PARKING PROVIDED:	349 SPACES (STRIPED SPACES)
TOTAL INCLUDES:	337 STANDARD SPACES @ 9' X 18'
	12 VAN ACCESSIBLE HANDICAP SPACES @ 24' X 18' TWO SIDE BY SIDE

General Notes

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, THE MARYLAND PLUMBING CODE, PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES THAT MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS (BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY DUVAL & ASSOCIATES, P.A. DATED OCTOBER 2004. TOPO COMBINED WITH PLANS OF RECORD.
- WATER IS PUBLIC PER CONTRACT 14-4283-D DRAINAGE AREA IS PATAPSCO.
- SEWER ON SITE IS PRIVATE AND CONNECTS TO PUBLIC SEWER BUILT UNDER CONTRACT 14-3342-D. DRAINAGE AREA IS PATAPSCO.
- THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE BY ITE, INC. PER REPORT DATED 1-08-2005.
- ALL FILL AREAS SHALL BE COMPACTED AS DETERMINED AND VERIFIED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER.
- REGIONAL STORMWATER MANAGEMENT IS PROVIDED IN A POND SYSTEM LOCATED ON PARCEL (G) APPROVED AS PART OF F-94-24. POND PROVIDES 2, 10 AND 100 YEAR MANAGEMENT AND WATER QUALITY.
- THERE ARE NO WETLANDS WITHIN THE DISTURBED AREA OF THIS SITE.
- THERE ARE NO FLOODPLAINS WITHIN THE DISTURBED AREA OF THIS SITE. 100 YEAR FLOODPLAIN AREAS WITHIN THE PARCEL F HAVE BEEN OFFERED FOR DEDICATION BY VIRTUE OF PLAT NO. 14626. FLOODPLAIN STUDY WAS APPROVED UNDER P-91-14 ON OCTOBER 1, 1992.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDINGS WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
- TRENCH COMPACTON FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, S/D, NO. G-2.01.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND ROOF DRAIN CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- EXISTING UTILITIES ARE BASED ON A COMBINATION OF PLANS OF RECORD AND FIELD RUN DATA.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1005 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL FILL SLOPES, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.
- PAVING MARKINGS TO BE "TRAFFIC WHITE"
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE ANWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRUMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED M-2 PER THE 2-2-2004 COMPREHENSIVE ZONING PLAN.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAM(S) OR THEIR REQUIRED BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 33,950.00 FOR 66 SHADE TREES, 60 EVERGREEN TREES AND 175 SHRUBS.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NO. 38GA WAS USED FOR THIS PROJECT.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. DATED JANUARY 2005.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134, ZONING REGULATIONS.
- A DESIGN MANUAL WAIVER OF SECTIONS 2.5.2.H and 2.6.1 HAS BEEN APPROVED TO WAIVE PARTIAL SITE DISTANCE REQUIREMENTS AT THE TWO PROPOSED SITE ACCESS POINTS ALONG COCA COLA DRIVE AND TO ALLOW THE NORTHERMOST ACCESS POINT TO BE USED EXCLUSIVELY FOR PASSENGER VEHICLES SEE LETTER DATED MARCH 21, 2005 FROM MR. CHARLES DAMMERS, P.E., CHIEF DEVELOPMENT ENGINEERING DIVISION.

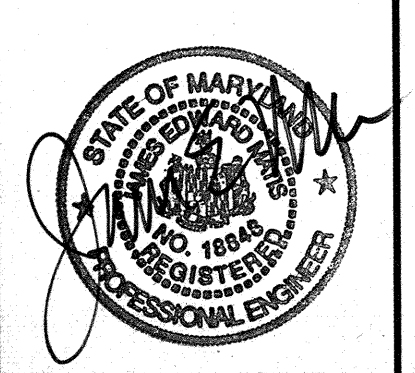


Proposed Layout
Scale 1" = 100'



Section A-A through Site
Scale 1" = 50' Horiz. & Vert.

Matis Warfield
consulting engineers
10540 York Road, Suite 106
Hunt Valley, Maryland 21086
Phone 410-683-7004
Facsimile 410-683-1798
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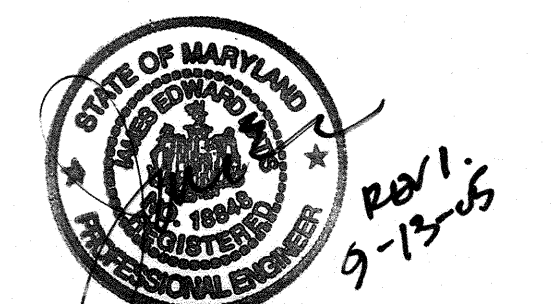
SHEET INDEX	
SHEET	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN (SHEET 1)
3	SITE DEVELOPMENT PLAN (SHEET 2) AND DETAILS
4	SITE DETAILS
5	STORM WATER DRAINAGE AREA MAP & STORM DRAIN DETAILS
6	DRAIN PROFILES AND DETAILS
7	STORM DRAIN PROFILES
8	PRIVATE WATER AND SEWER PROFILES
9	SEDIMENT & EROSION CONTROL PLAN
10	SEDIMENT & EROSION CONTROL PLAN SHEET 2 & DETAILS
11	SEDIMENT CONTROL DRAINAGE AREA MAP & NOTES
12	FINAL LANDSCAPE PLAN
13	FINAL LANDSCAPE DETAILS

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS:
County Health Officer Howard County Health Department Date
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date 10/20/05
Chief, Division of Land Development Date 7/5/05
Director Date 7/5/05

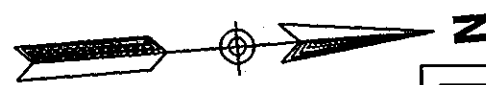
ADDRESS CHART	
Building	Street Address
A	7380 Coca Cola Drive
B	7390 Coca Cola Drive

PERMIT INFORMATION CHART				
Subdivision Name	Section / Area	Lot / Parcel No.	Plat or File #	Grid #
Patapsco Valley Business Center	NA	F		
17406-07	20	M-2	38	1st
Water Code	Sewer Code			
A-04	2150501			

Cover Sheet
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Howard County, Maryland Scale: As Shown
Red-Line Rev. 1-
September 13, 2005
June 16, 2005
Sheet 1 of 13
SDP 05-91



SENT 13, 2005
REVISIONS THIS SHEET:
REVISED SITE ANALYSIS CHART
AND LAYOUT DETAIL



1. This Plan is for planting purposes only.
 2. This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
 3. All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractor's Association.
 4. A minimum 20 foot spacing is to be provided between street lights and street trees.

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
+	41	ACER RUBRUM 'KARFICK' 'KARFICK' RED MAPLE	2 1/2" CAL.	B & B	
○	50	TILIA CORDATA 'GREENSPICE' LITTLE LEAF LINDEN	2 1/2" CAL.	B & B	
△	25	ULMUS PARVIFOLIA CHINESE ELM	2 1/2" CAL.	B & B	
⊕	26	CHONANTHUS VIRGINICUS FRINGE TREE	8'-10" HT.	B & B	NO MORE THAN 5 TRUNKS
⊗	27	CERCIS CANADENSIS EASTERN REDBUD	8'-10" HT.	B & B	
⊙	62	FINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B	SPACE 17' O.C. STAGGER
⊕	30	PICEA ABIES NORWAY SPRUCE	6'-8" HT.	B & B	SPACE 17' O.C. STAGGER
CA	27	CLETHRA ALNIFOLIA SWEET PEPPERBUSH	24"-30" HT.	CONTAINER	
EA	77	EUONYMUS ALATUS COMPACTA DWARF WINGED EUONYMUS	2 1/2" HT.	B & B	SPACE 5' O.C. STAGGER
JC	46	JUNIPERUS CHINENSIS SARGENTI SARGENT'S JUNIPER	18-24" SPD	CONTAINER	SPACE 3' O.C. STAGGER
SG	56	SPICEA BUMALDA 'GOLD MOUND' 'GOLD MOUND' SPICEA	18-24" SPD	B & B	SPACE 5' O.C. AS SHOWN
AG	206	ABELIA GRANDIFLORA GLOSSY ABELIA	24"-30" HT.	B & B	SPACE 5' O.C. AS SHOWN
EF	2865	EUONYMUS FORTUNEI VAR. COLORATUS PURPLE LEAF WINTERCREEPER	2 1/4"	POT	SPACE 12" O.C. STAGGER

NOTE: CONTRACTOR TO CHECK WITH MARYLAND AVIATION ADMINISTRATION MR. JOE CORDETT @ 410-269-7570 IF ANY SUBSTITUTIONS ARE REQUIRED.

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

Category	Adjacent to Roadways	Adjacent to Portner Properties	3	4
Perimeter Number	1	2	3	4
Landscape Type	B / E	NOT REQ'D	C	NOT REQ'D
Linear Feet of Roadway Frontage/Perimeter	347 LF / 689 LF	342 / 130 / 47 LF	102 LF	1043 / 84 LF.
Credits for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	YES- 690 LF
Credits for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO
Number of Plants Required	7 / 17	N/A	25	N/A
Shade Trees	9	N/A	51	N/A
Evergreen Trees	175	N/A	0	N/A
Shrubs				
Number of Plants Provided	26		25	
Shade Trees	30		47	
Evergreen Trees	7		6	
Other Trees (2:1 substitution)	103			
Shrubs (10:1 substitution)				
(Describe plant substitution credits below if needed)				

This site extends beyond the sheet. To the south on the site is an existing wetland and wooded buffer to remain. We substituted evergreen and flowering trees across the front of the site in lieu of some of the shrubs.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	4-49
Number of Trees Required	23
Number of Trees Provided	41
Shade Trees	
Other Trees (2:1 substitution)	
Internal Islands Required	23
Internal Islands Provided (Min. 200 9')	23

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 39,000.00

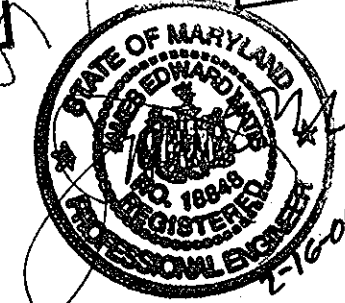
66 SHADE TREES

60 EVERGREEN TREES

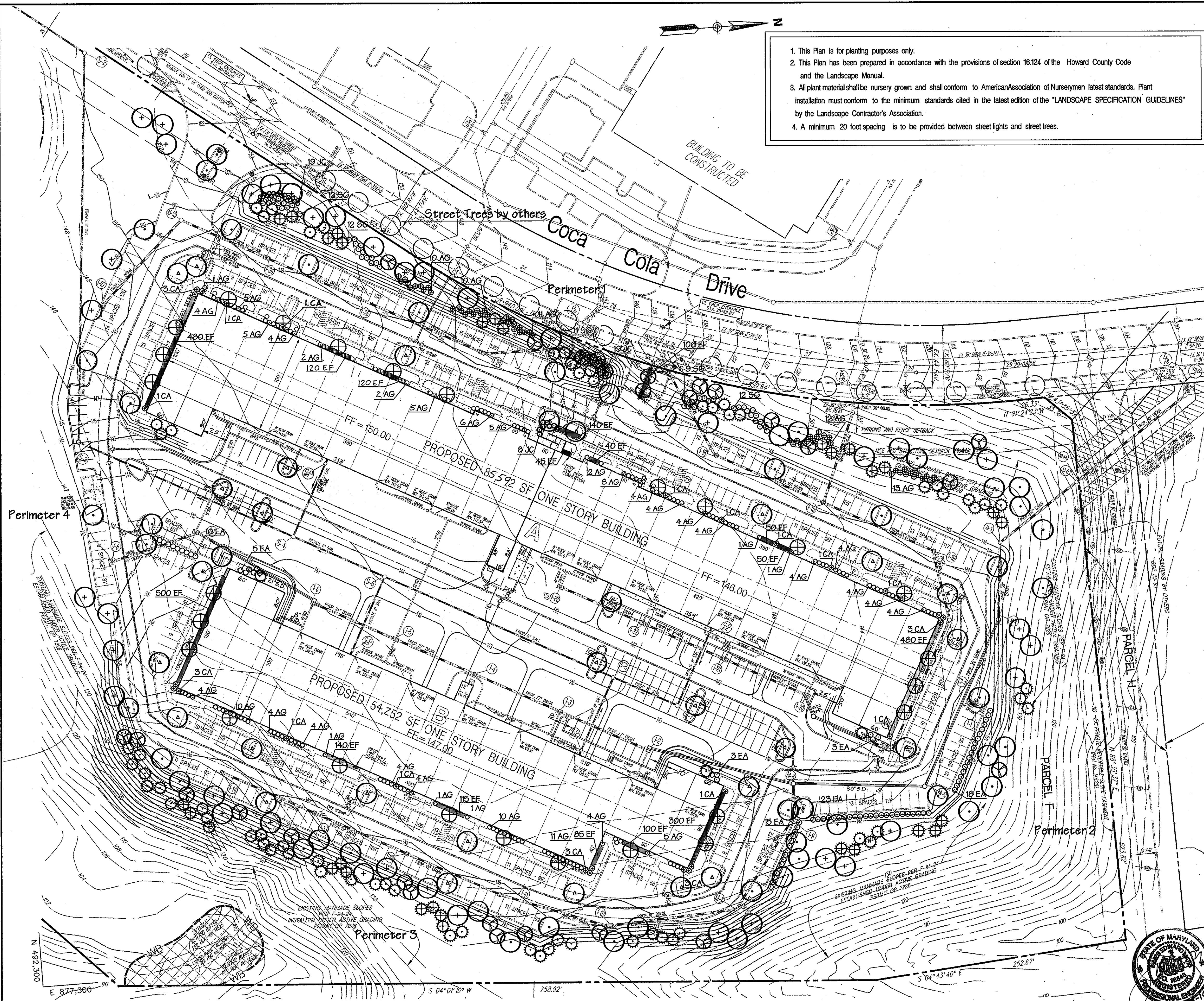
175 SHRUBS

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS--ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

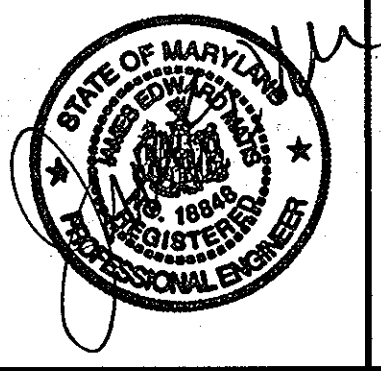


FEBRUARY 16, 2006 REVISIONS THIS SHEET: INCORPORATED SITE PLAN REVISIONS & REV. PLANTING LOCATIONS, APP. 7 LANDSCAPE PLANTS, AND 2 CHINESE ELMS



Plan
Scale: 1" = 50'

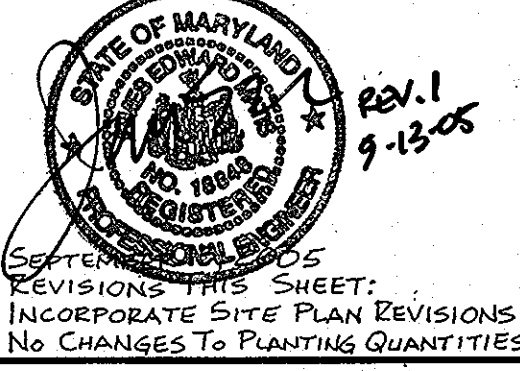
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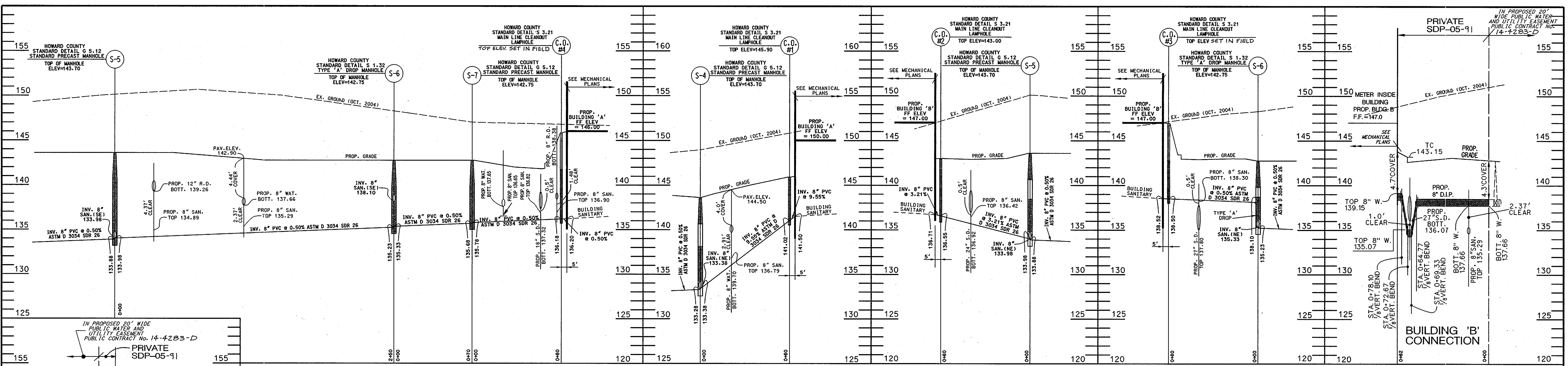
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LANDSCAPE ARCHITECTS
HUMAN & ROHDE, INC.
512 Virginia Avenue
Towson, Maryland 21286
410 825 3885

Developer's/Builder's Certificate:
I / We certify that the landscaping shown on this plan will be done according to the plan, and shall be completed in accordance with this plan per Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
I / We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Howard County Department of Planning and Zoning.
Robb Merritt
For Merritt PVI, LLC by Member Merritt Properties, LLC
Date 6-16-05



Final Landscape Plan
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Red-Line Rev. 2 - February 16, 2006
Red-Line Rev. 1 - September 13, 2005
September 13, 2005
Howards County, Maryland
Scale: 1" = 50'
Sheet 12 of 13
SDP 05-91

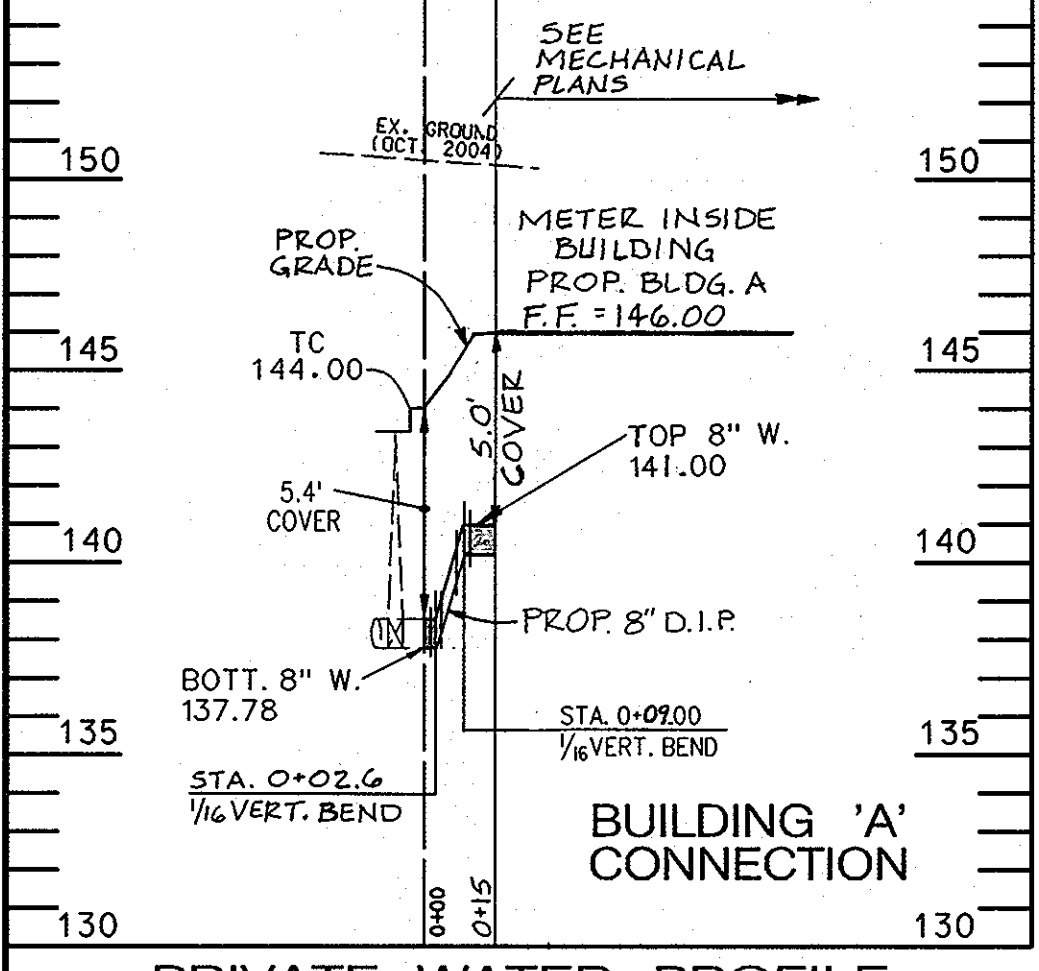


SANITARY SEWER PROFILES

Scale: Horz: 1"=40'
Vert: 1"=5'

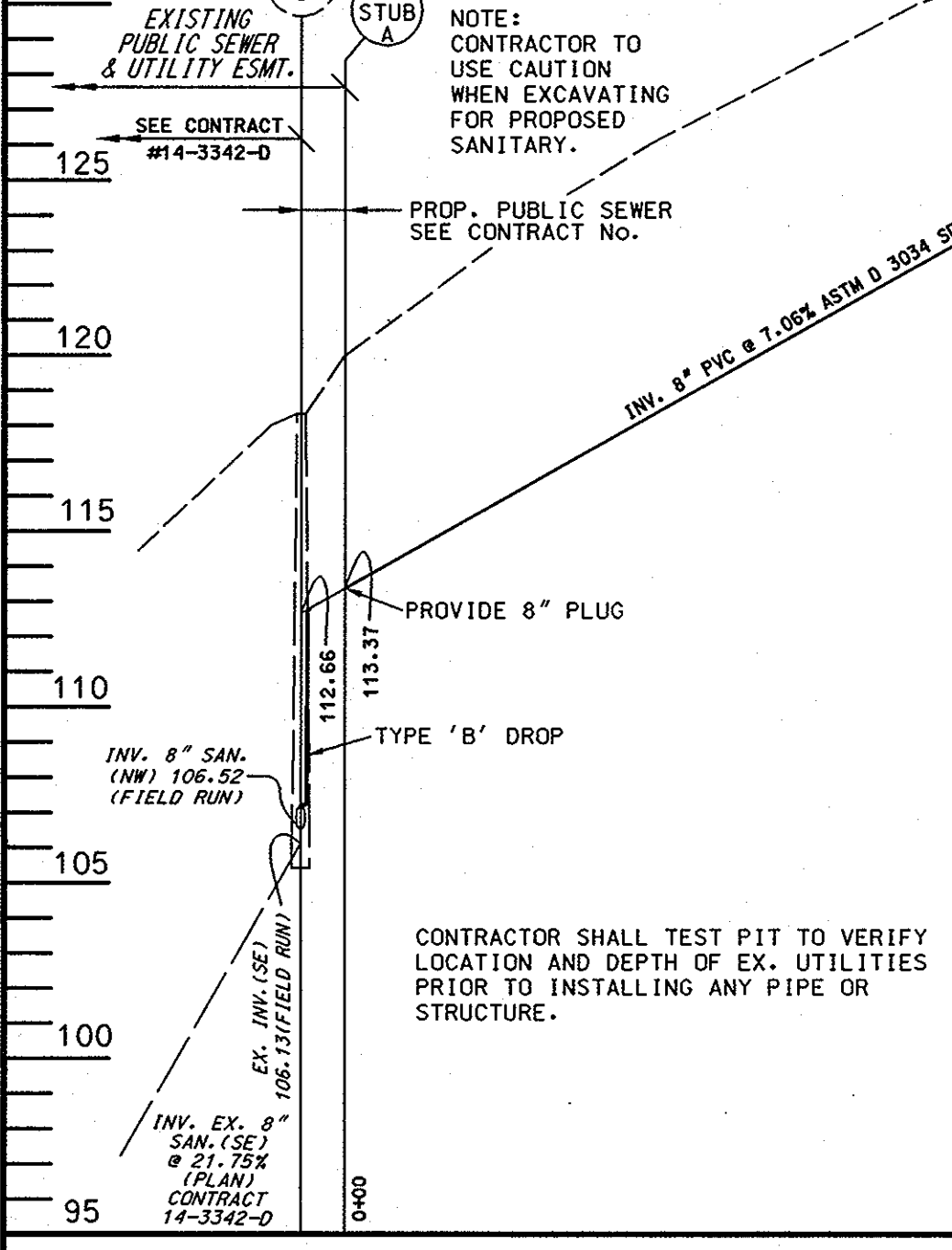
PRIVATE WATER PROFILE

Scale: Horz: 1"=40'
Vert: 1"=5'



PRIVATE WATER PROFILE

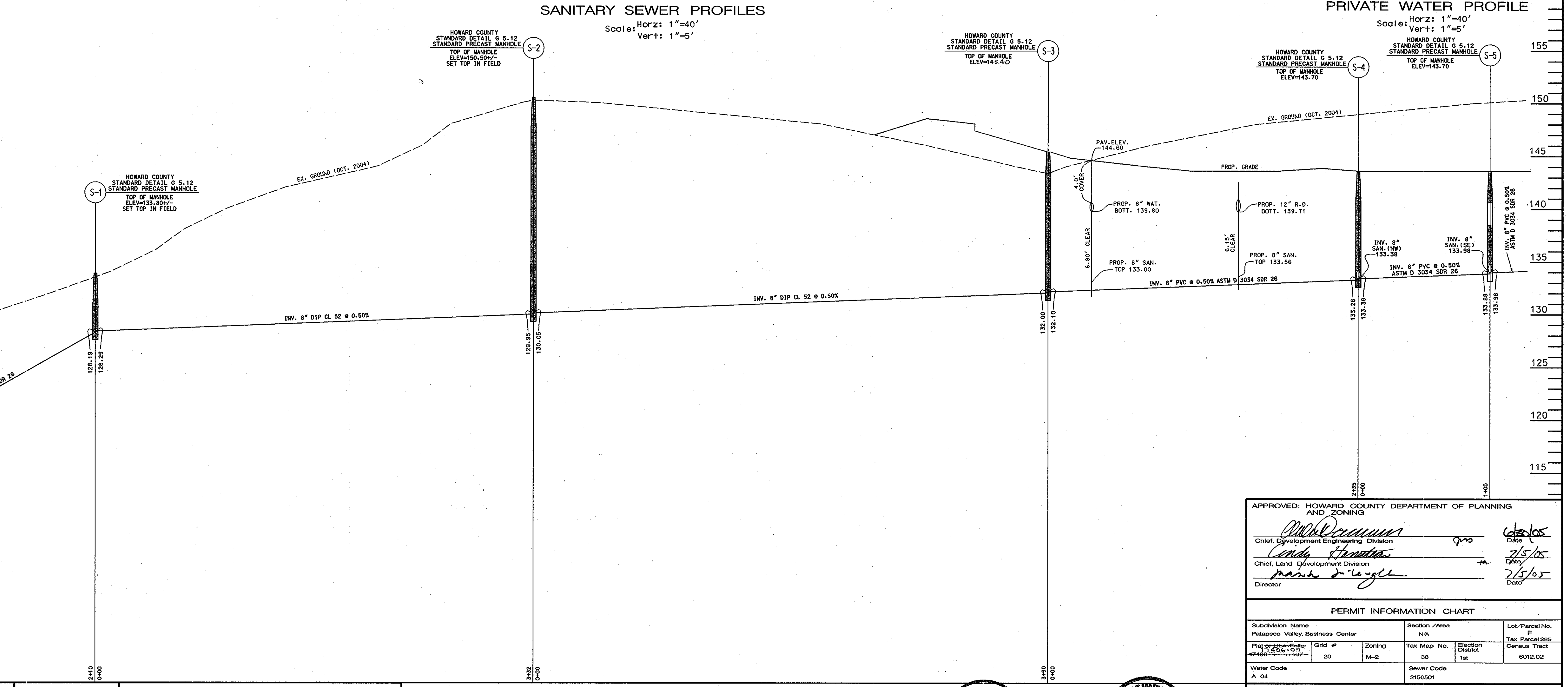
Scale: Horz: 1"=40'
Vert: 1"=5'



PRIVATE WATER PROFILE

Scale: Horz: 1"=40'
Vert: 1"=5'

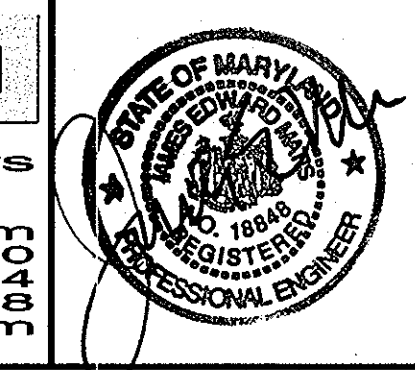
NOTE: CONTRACTOR TO USE CAUTION WHEN EXCAVATING FOR PROPOSED SANITARY.
PROVIDE 8" PLUG
TYPE 'B' DROP
CONTRACTOR SHALL TEST PIT TO VERIFY LOCATION AND DEPTH OF EX. UTILITIES PRIOR TO INSTALLING ANY PIPE OR STRUCTURE.



SANITARY SEWER PROFILE

Scale: Horz: 1"=40'
Vert: 1"=5'

Matis Warfield
consulting engineers
10540 York Road Suite M
hunt valley, maryland 21030
phone 410-883-7004
fax 410-633-1793
www.matiswarfield.com



Developer / Owner
Merritt PV1, LLC
By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: [Signature] Date: 7/5/05
Chief, Land Development Division: [Signature] Date: 7/5/05
Director: [Signature]

PERMIT INFORMATION CHART

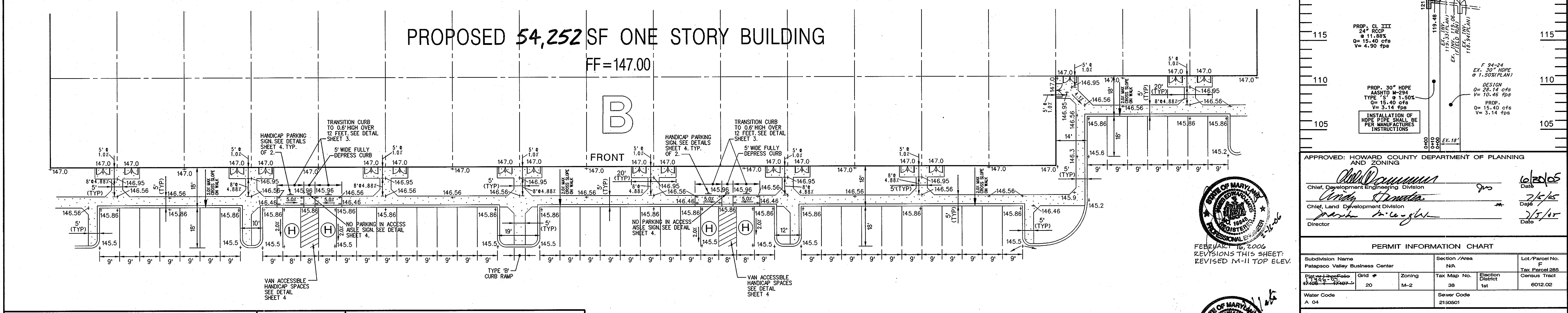
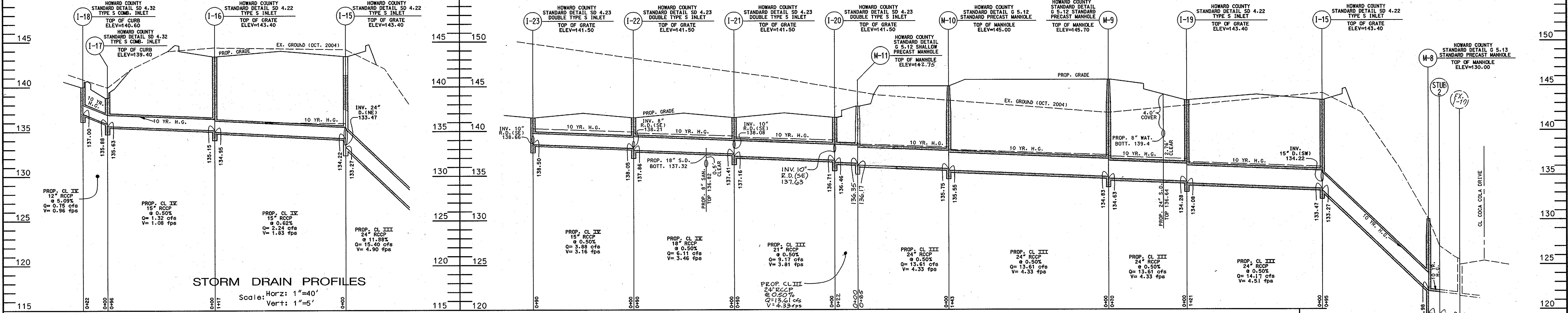
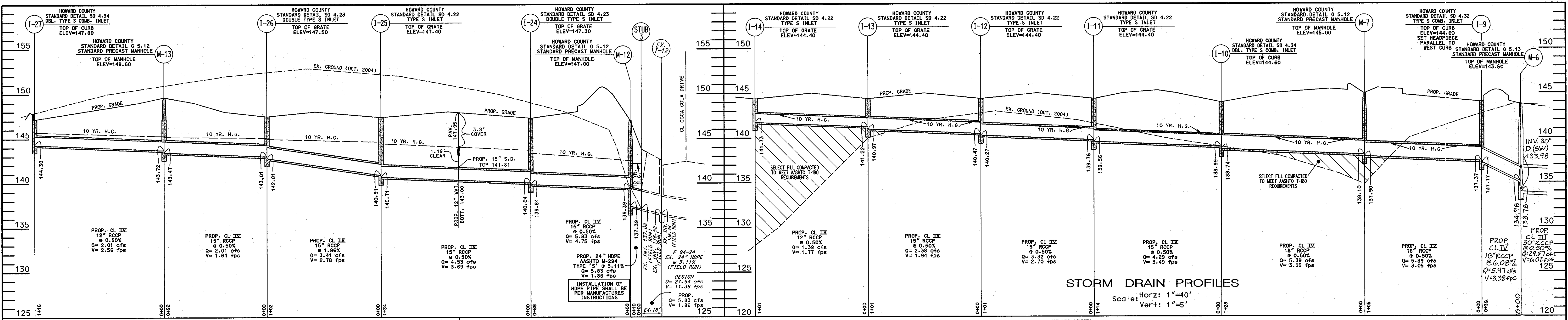
Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	NA	F
Plot #	Grid #	Zoning
47408	20	M-2
Water Code	Sewer Code	
A 04	2156501	

REVISIONS THIS SHEET:
REV. C.O.#3 8/2/05 TOP ELEV. AND BLDG. A PRIVATE WAT. PROF.

REVISIONS THIS SHEET:
REVISED SANITARY MANHOLE S-3

Private Sanitary Sewer and Water Profiles
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Red-Line Rev. 2 - February 10, 2006
Red-Line Rev. 1 - September 13, 2005
Howard County, Maryland
Scale: As Shown

Sheet 8 of 13
SDP 05-91



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Detail Handicap Parking and Accessible Route For Building B
Scale: 1" = 20'

SEPTEMBER 13, 2005
REVISIONS THIS SHEET:
DRAIN PROFILES

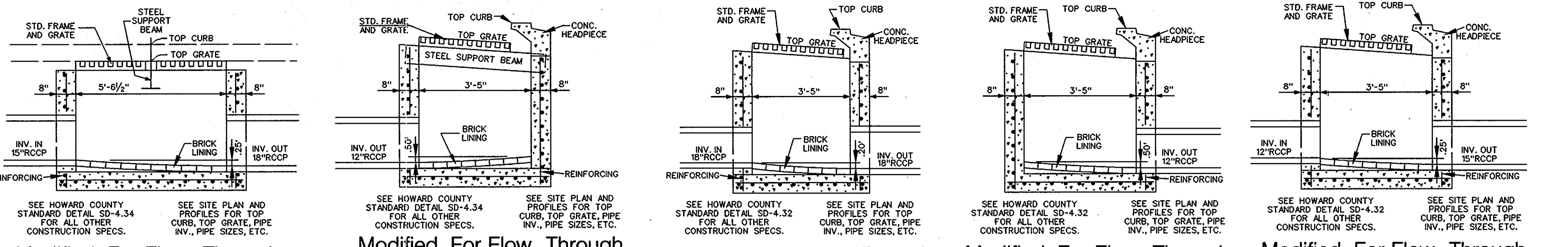
SEPTEMBER 13, 2005
REVISIONS THIS SHEET:
DRAIN PROFILES

PERMIT INFORMATION CHART

Subdivision Name Patapsco Valley Business Center	Section /Area NA	Lot/Parcel No. Tax Parcel 285
Map Code A-04	Zoning M-2	Section 38
Water Code A-04	Tax Map No. 1st	Election District 6012.02
	Server Code 2130601	Census Tract 6012.02

Private Storm Drain Profiles and Details
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
Red-Line Rev. 2-February 10, 2006
Red-Line Rev. 1-September 13, 2005
Howard County, Maryland
Scale: As Shown

Sheet 6 of 13
SDP 05-91



Modified For Flow Through Double Type 'S' Comb. Inlet (I-10) Not To Scale

Modified For Flow Through Double Type 'S' Comb. Inlet (I-1) Not To Scale

Modified For Flow Through Type 'S' Comb. Inlet (I-9) Not To Scale

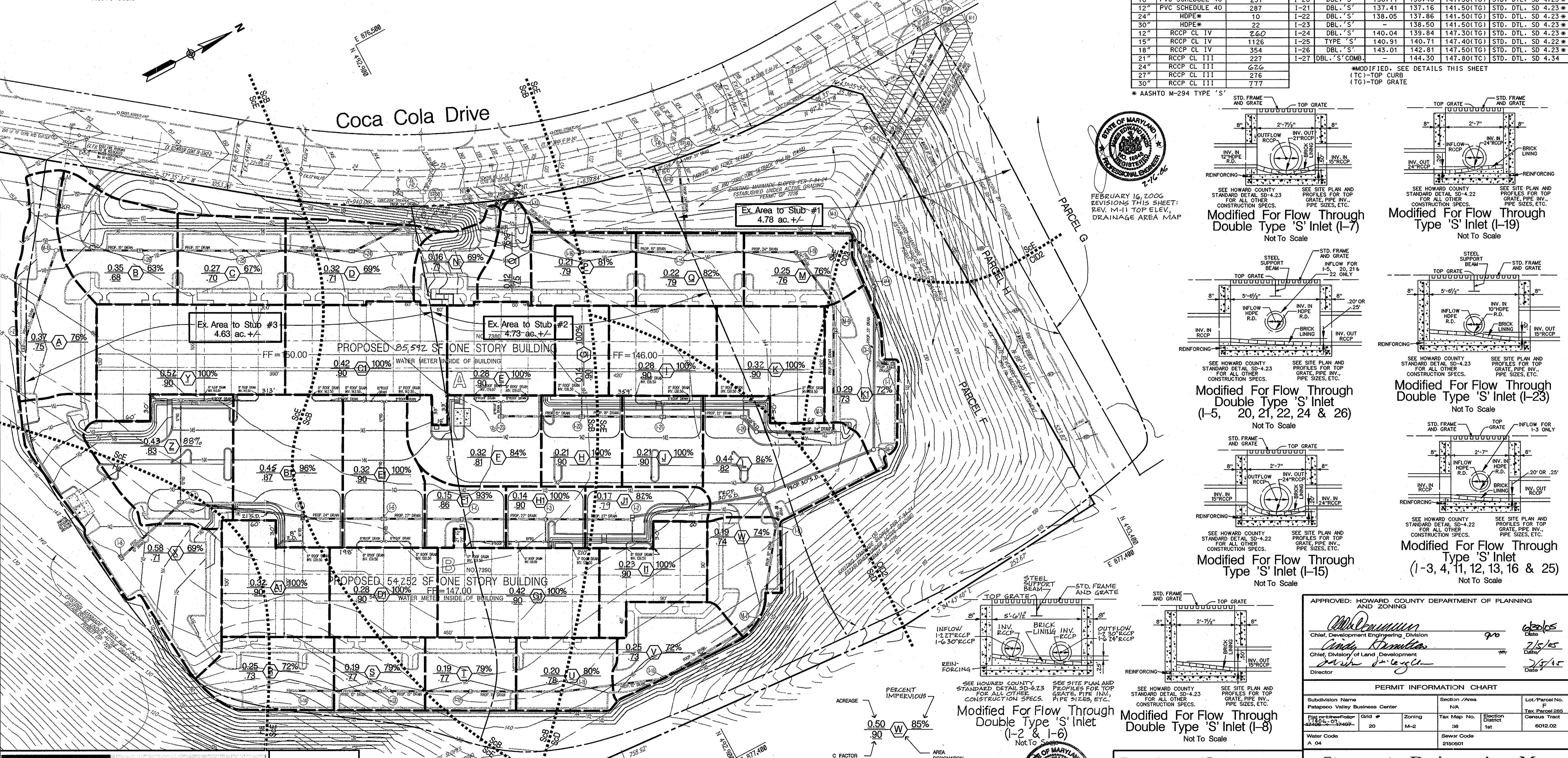
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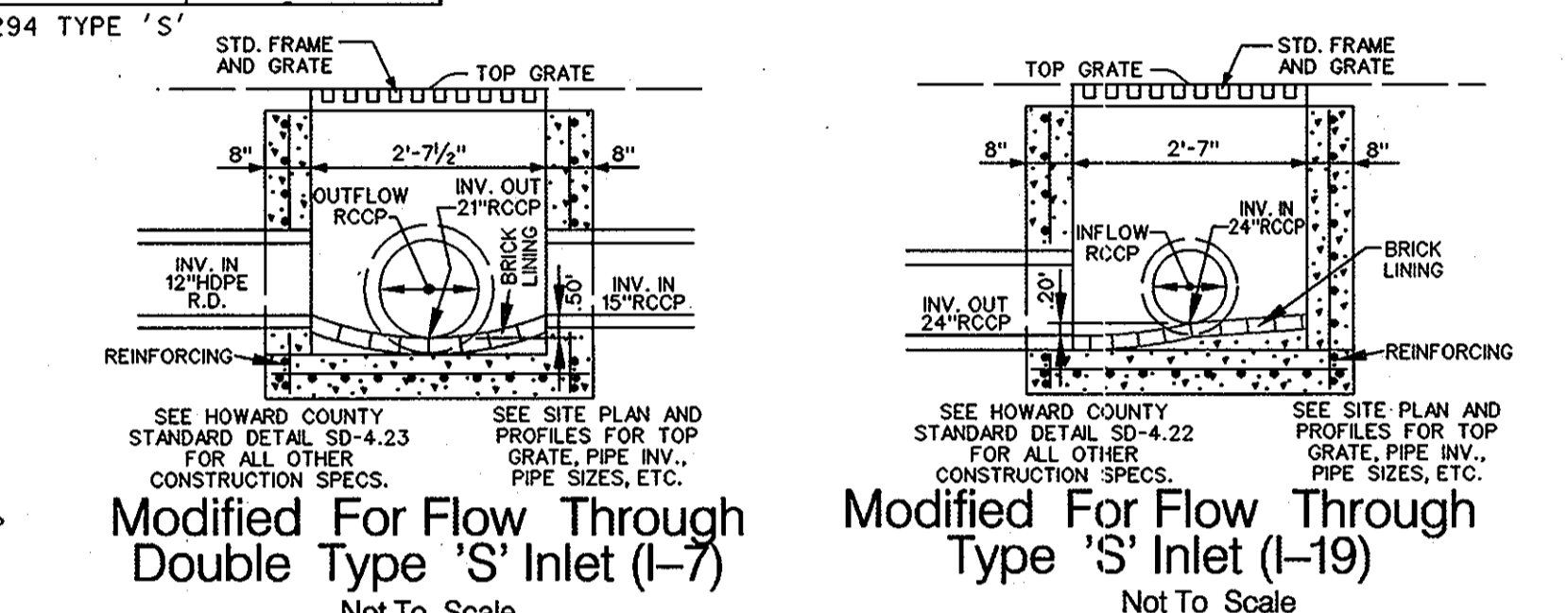
STORM DRAIN STRUCTURE SCHEDULE						STORM DRAIN INLET SCHEDULE					
NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS	NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	5' SHALLOW MANHOLE	92.80	92.60	99.50	STD. DTL. G 5.13	I-1	DBL. 'S' COMB.	-	137.99	143.60(TC)	STD. DTL. SD 4.34*
M-1A	5' SHALLOW MANHOLE	101.83	98.33	108.00	STD. DTL. G 5.13	I-2	DBL. 'S'	134.97	134.72	142.50(TG)	STD. DTL. SD 4.23**
M-2	5' SHALLOW MANHOLE	115.71	107.43	122.00	STD. DTL. G 5.13	I-3	TYPE 'S'	135.65	135.45	142.50(TG)	STD. DTL. SD 4.22**
M-3	5' MANHOLE	131.07	130.87	140.00	STD. DTL. G 5.13	I-4	TYPE 'S'	136.31	136.11	142.50(TG)	STD. DTL. SD 4.22**
M-4	5' MANHOLE	132.01	131.81	140.00	STD. DTL. G 5.13	I-5	DBL. 'S'	137.00	136.75	142.50(TG)	STD. DTL. SD 4.23**
M-5	5' MANHOLE	133.12	132.92	144.40	STD. DTL. G 5.13	I-6	DBL. 'S'	137.70	137.45	142.50(TG)	STD. DTL. SD 4.23**
M-6	5' MANHOLE	133.98	133.78	145.00	STD. DTL. G 5.13	I-7	DBL. 'S'	138.89	138.39	142.50(TG)	STD. DTL. SD 4.23**
M-7	5' MANHOLE	138.10	137.90	145.00	STD. DTL. G 5.12	I-8	DBL. 'S'	-	139.34	142.50(TG)	STD. DTL. SD 4.23**
M-8	5' MANHOLE	121.98	119.48	130.00	STD. DTL. G 5.13	I-9	'S' COMB.	137.37	137.17	144.60(TC)	STD. DTL. SD 4.32**
M-9	4' MANHOLE	134.83	134.63	145.70	STD. DTL. G 5.12	I-10	DBL. 'S' COMB.	138.99	138.74	144.60(TC)	STD. DTL. SD 4.34**
M-10	4' MANHOLE	135.75	135.55	145.00	STD. DTL. G 5.12	I-11	TYPE 'S'	139.76	139.56	144.40(TG)	STD. DTL. SD 4.22**
M-11	4' SHALLOW MANHOLE	136.35	136.17	142.75	STD. DTL. G 5.12	I-12	TYPE 'S'	140.47	140.27	144.40(TG)	STD. DTL. SD 4.22**
M-12	4' MANHOLE	139.39	137.39	147.00	STD. DTL. G 5.12	I-13	TYPE 'S'	141.22	140.97	144.40(TG)	STD. DTL. SD 4.22**
M-13	4' MANHOLE	143.72	143.47	149.60	STD. DTL. G 5.12	I-14	TYPE 'S'	-	141.73	144.40(TG)	STD. DTL. SD 4.22**
CI-1	CUT-IN	133.19	132.44	-	30" RCCP x 12" RCCP	I-15	TYPE 'S'	133.47	133.27	143.40(TG)	STD. DTL. SD 4.22**
						I-16	TYPE 'S'	135.15	134.95	143.40(TG)	STD. DTL. SD 4.22**
						I-17	'S' COMB.	135.88	135.63	139.40(TC)	STD. DTL. SD 4.32**
						I-18	'S' COMB.	-	137.00	140.60(TC)	STD. DTL. SD 4.32**
						I-19	TYPE 'S'	134.28	134.08	143.40(TG)	STD. DTL. SD 4.22**
						I-20	DBL. 'S'	136.71	136.46	141.50(TG)	STD. DTL. SD 4.23**
						I-21	DBL. 'S'	137.41	137.16	141.50(TG)	STD. DTL. SD 4.23**
						I-22	DBL. 'S'	138.05	137.86	141.50(TG)	STD. DTL. SD 4.23**
						I-23	DBL. 'S'	-	138.50	141.50(TG)	STD. DTL. SD 4.23**
						I-24	DBL. 'S'	140.04	139.84	147.30(TG)	STD. DTL. SD 4.23**
						I-25	TYPE 'S'	140.91	140.71	147.40(TG)	STD. DTL. SD 4.22**
						I-26	DBL. 'S'	143.01	142.81	147.50(TG)	STD. DTL. SD 4.23**
						I-27	DBL. 'S' COMB.	-	144.30	147.80(TC)	STD. DTL. SD 4.34**

PIPE SCHEDULE		
SIZE	TYPE	PIPE LENGTH-FEET
8"	PVC SCHEDULE 40	639
10"	PVC SCHEDULE 40	231
12"	PVC SCHEDULE 40	287
24"	HDPE*	10
30"	HDPE*	22
12"	RCCP CL IV	260
15"	RCCP CL IV	1126
18"	RCCP CL IV	354
21"	RCCP CL III	227
24"	RCCP CL III	626
27"	RCCP CL III	276
30"	RCCP CL III	777

*MODIFIED. SEE DETAILS THIS SHEET
(TC)-TOP CURB
(TG)-TOP GRATE

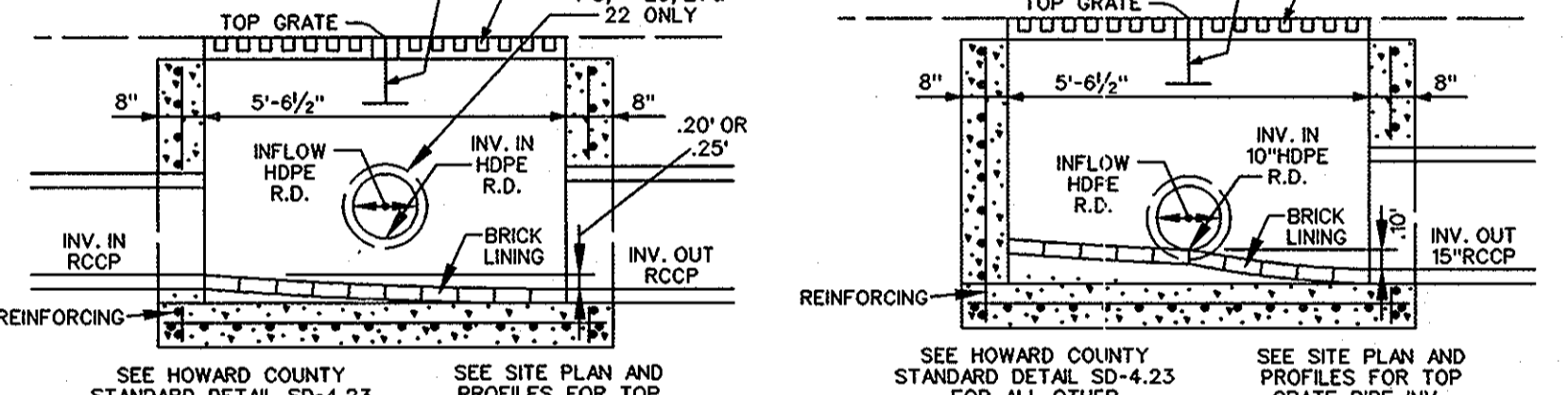


FEBRUARY 16, 2006
REVISIONS THIS SHEET:
REV. M-11 TOP ELEV.
DRAINAGE AREA MAP



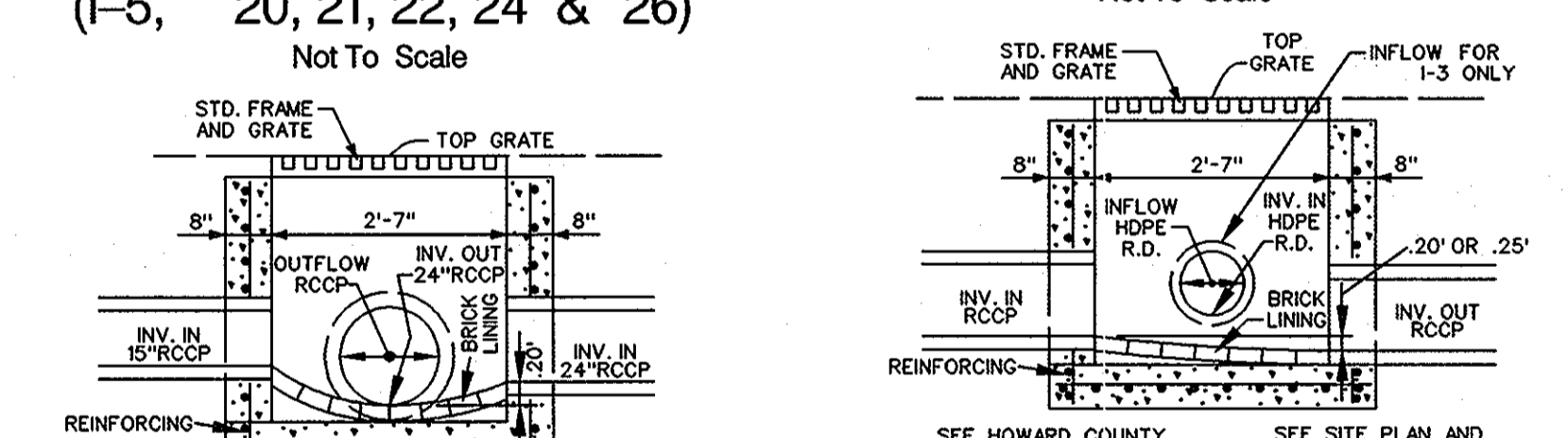
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Modified For Flow Through Type 'S' Inlet (I-19) Not To Scale



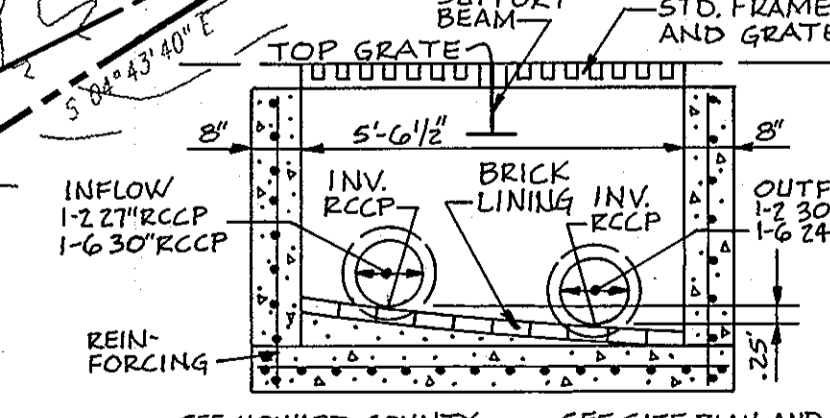
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Modified For Flow Through Double Type 'S' Inlet (I-23) Not To Scale

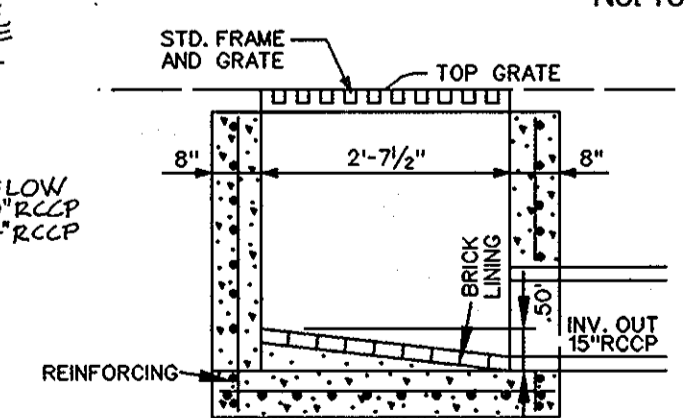


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Modified For Flow Through Type 'S' Inlet (I-3, 4, 11, 12, 13, 16 & 25) Not To Scale



Modified For Flow Through Double Type 'S' Inlet (I-2 & I-6) Not To Scale



Modified For Flow Through Double Type 'S' Inlet (I-8) Not To Scale

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering, Division
Chief, Division of Land Development

PERMIT INFORMATION CHART			
Subdivision Name	Section / Area	Lot / Parcel No.	Map No.
Patapsco Valley Business Center	N/A		
Map No. F-94-24	Grid # 20	Zoning M-2	Tax Map No. 38
Water Code A 04	Sewer Code 2150501	Election District 1st	Census Tract 6012.02

Matis Warfield
consulting engineers

10540 York Road, Suite 1030
Hunt Valley, Maryland 21086
Phone 410-883-7004
Facsimile 410-883-1798
www.matiswarfield.com

Drainage Area Map
Scale 1" = 50'

STORM WATER MANAGEMENT QUANTITY AND QUALITY PROVIDED IN REGIONAL FACILITY LOCATED ON ADJACENT PARCEL G (DPW FILE F-94-24)

Developer / Owner
Merritt PVI, LLC
By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2600
Fax (410) 298-9644

Stormwater Drainage Area Map & Storm Drain Details

Proposed Flex Office Buildings

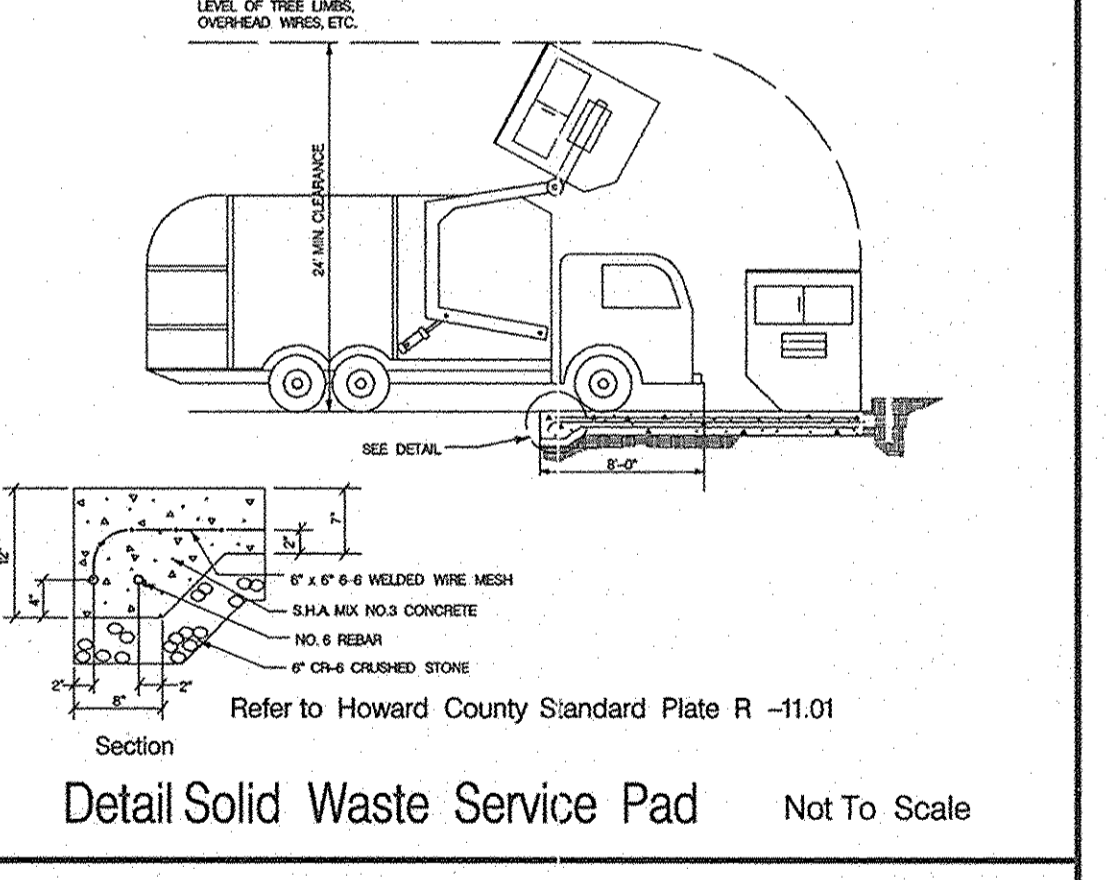
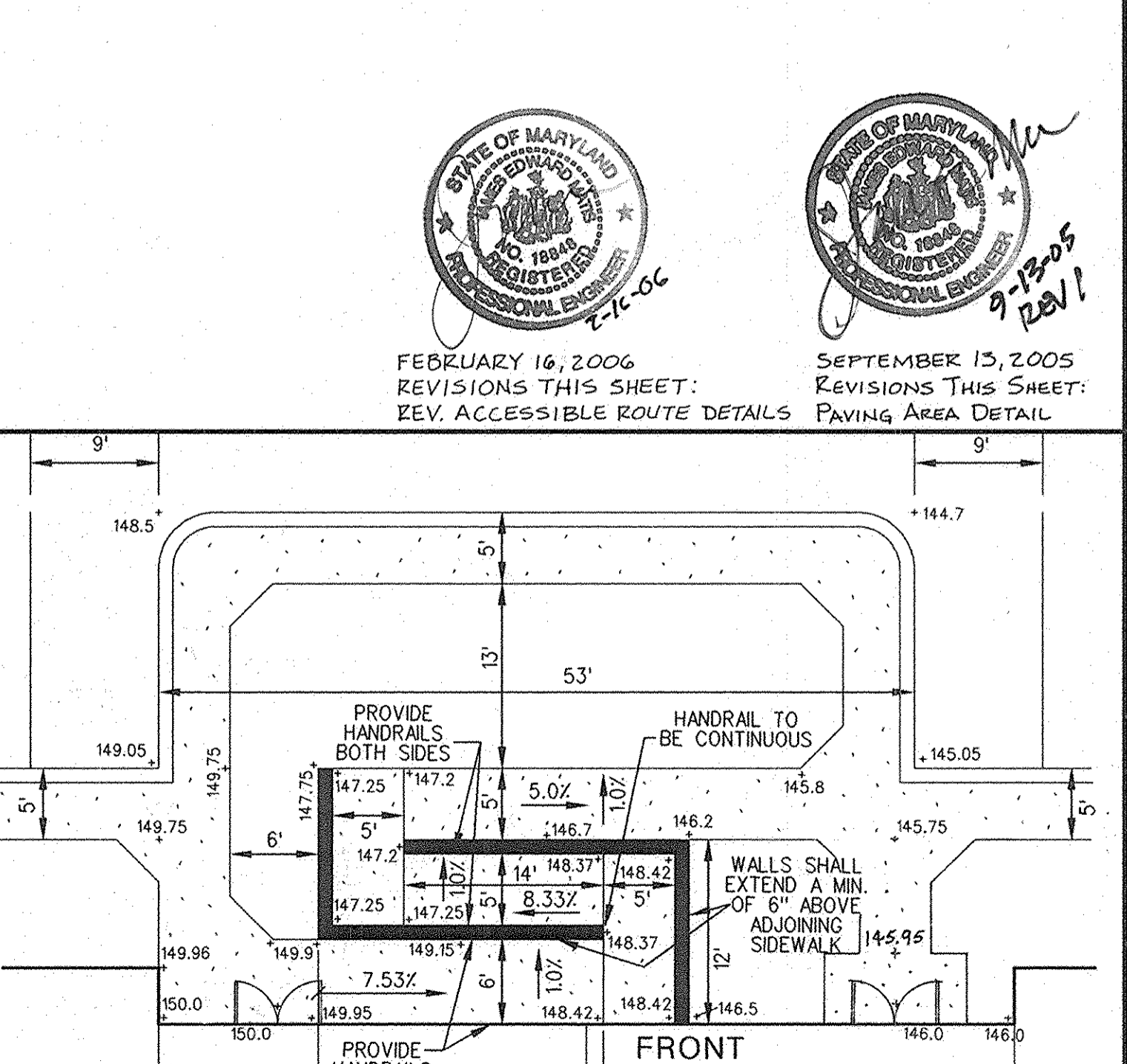
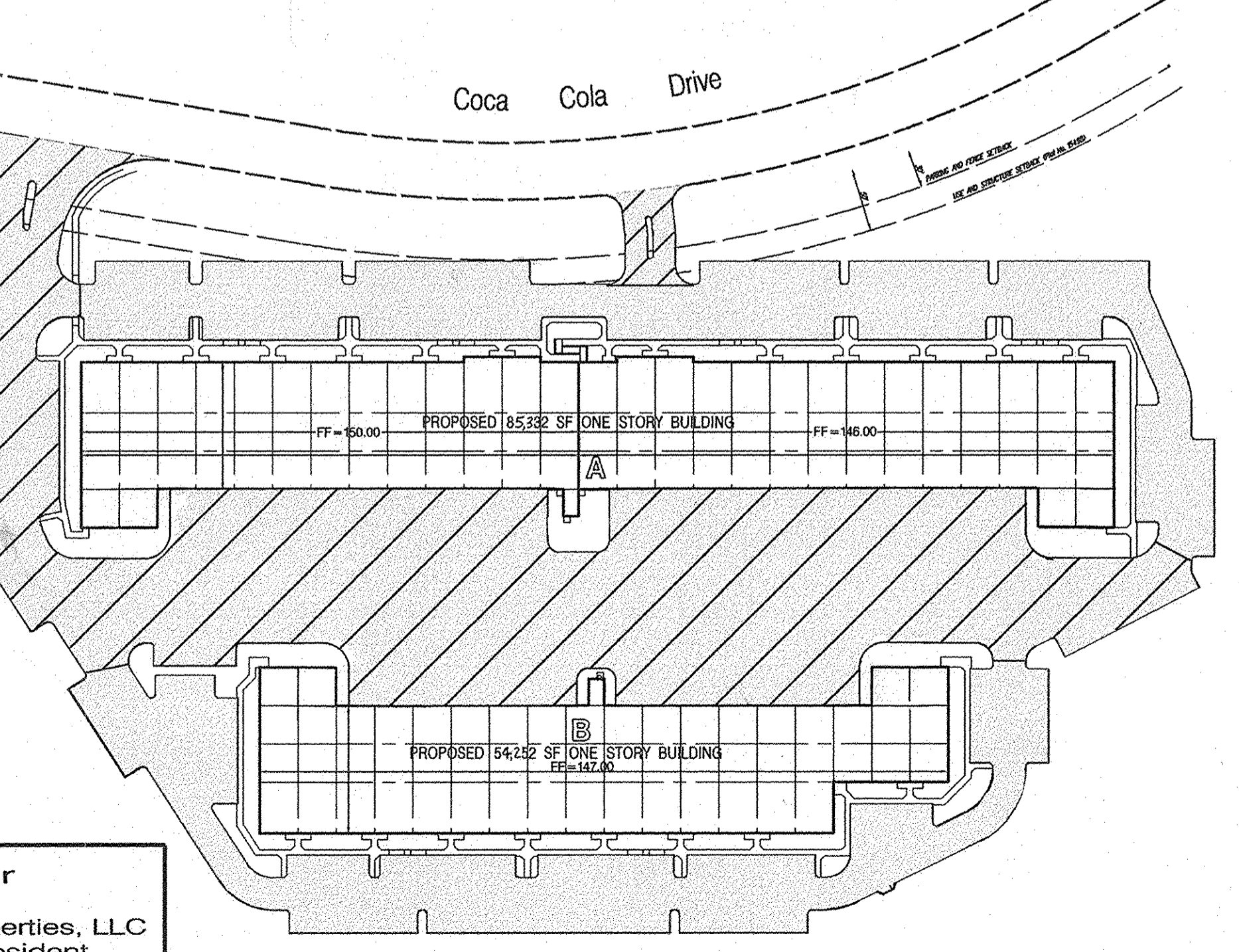
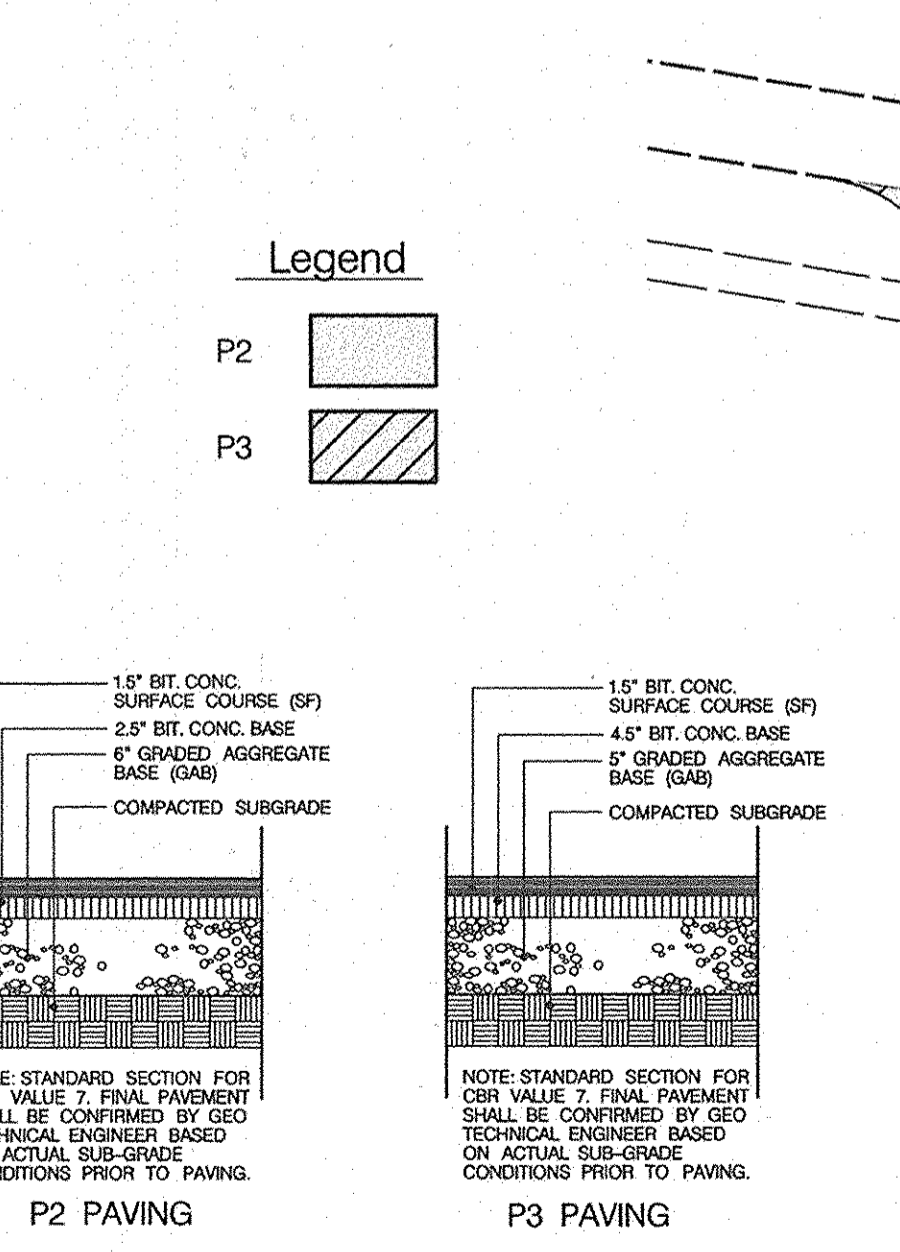
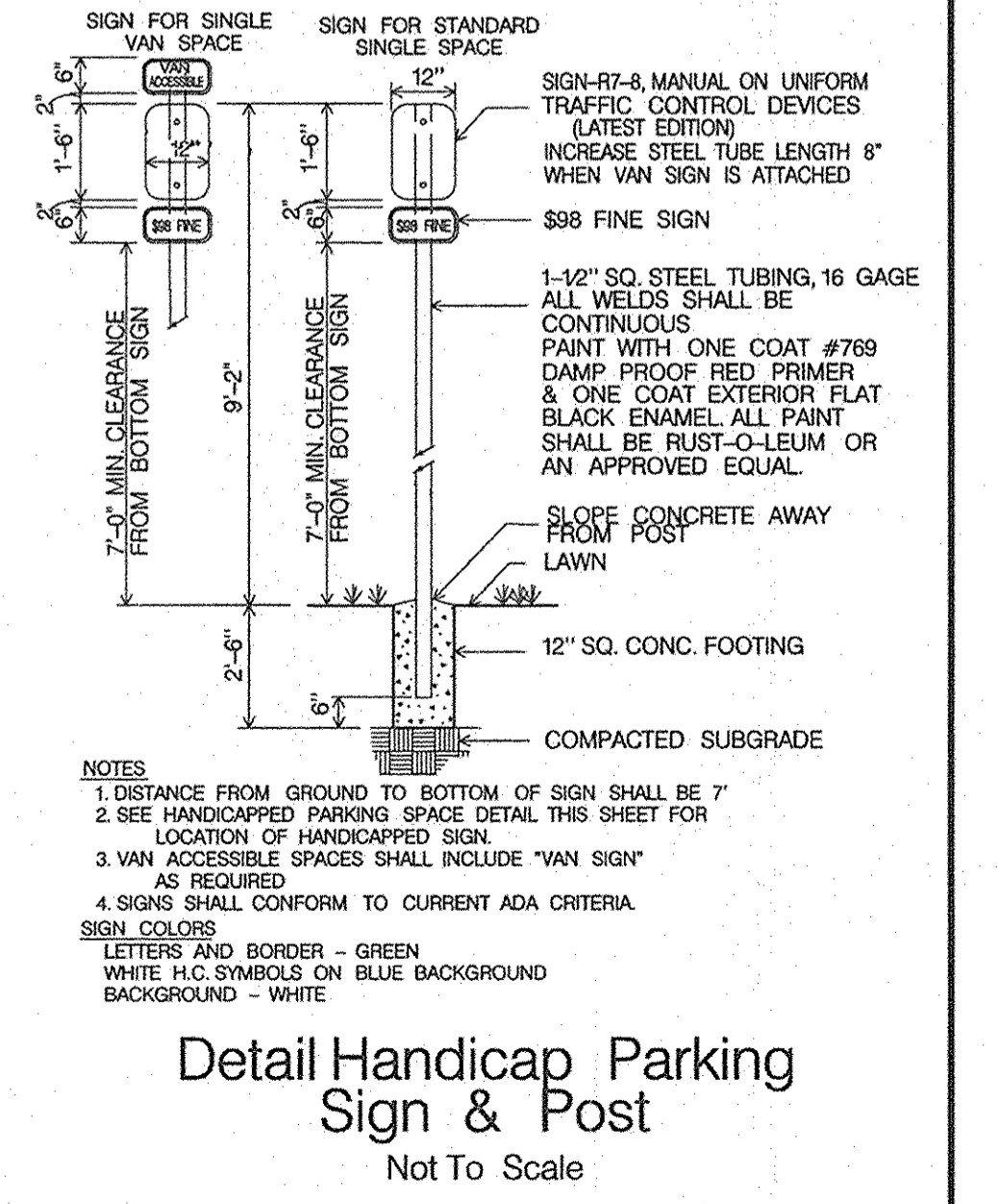
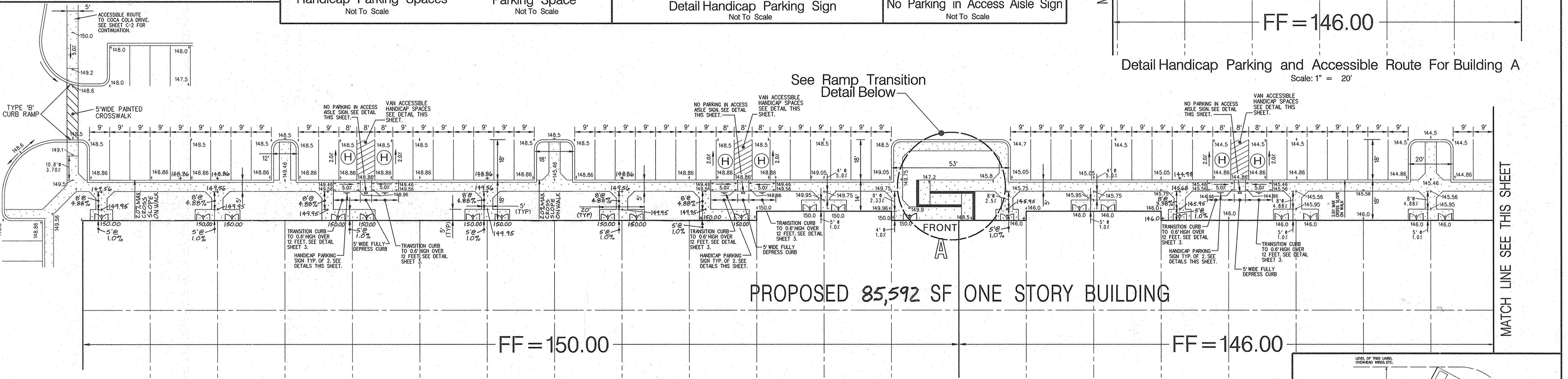
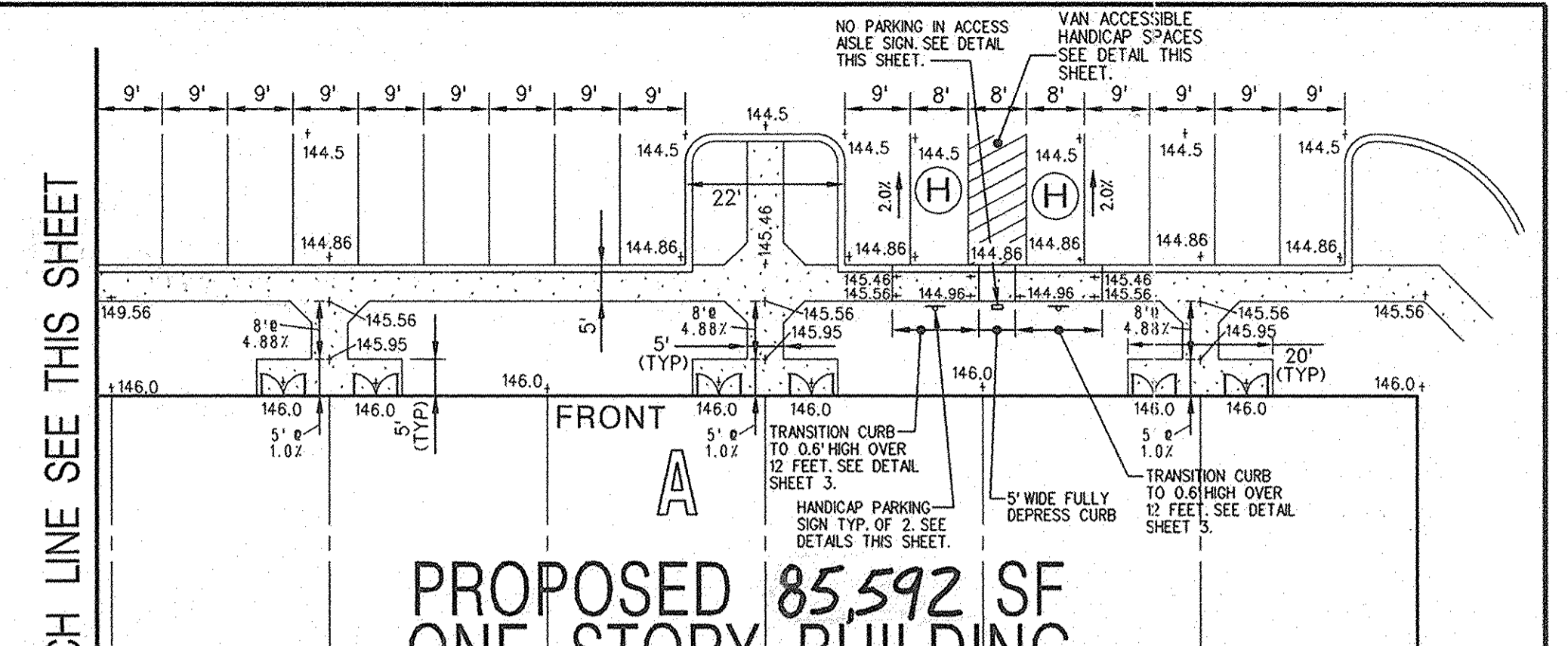
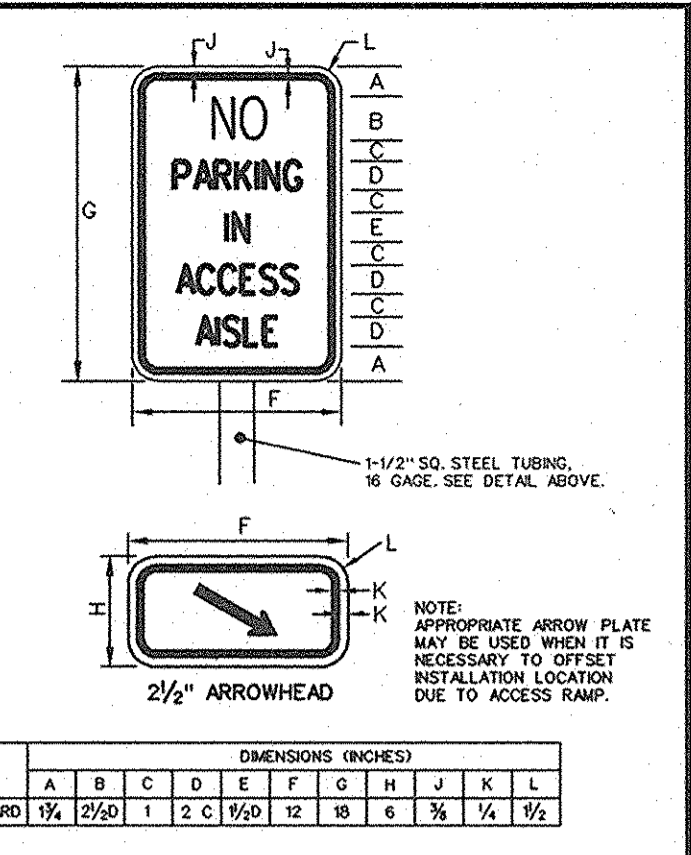
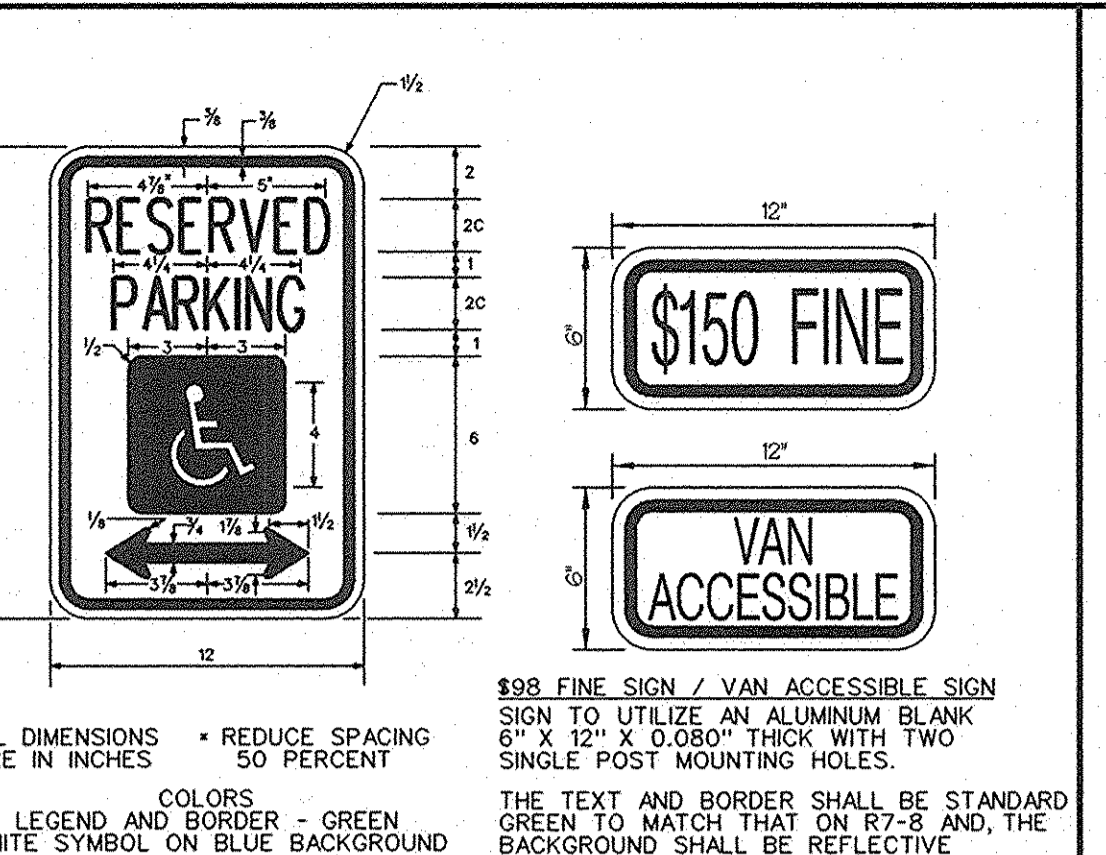
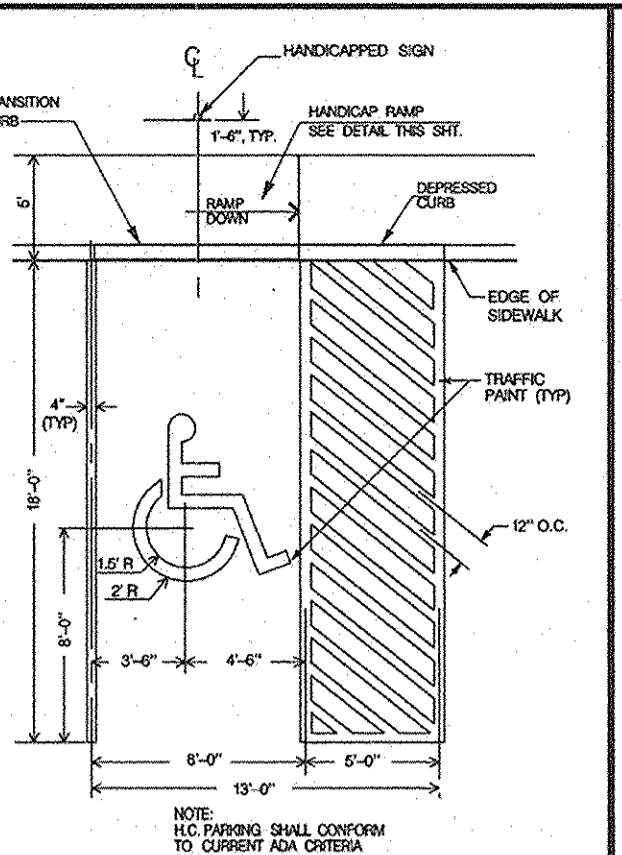
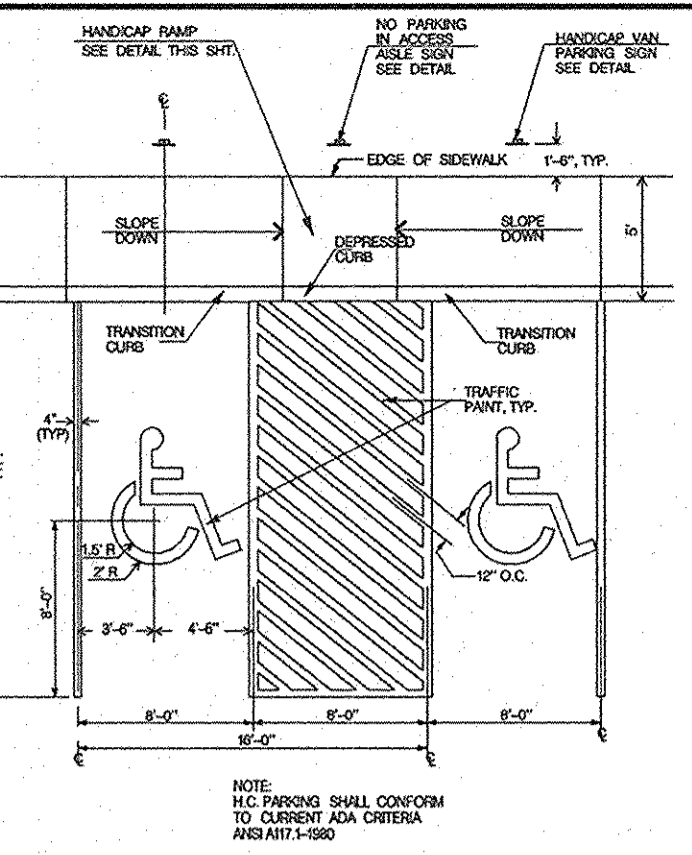
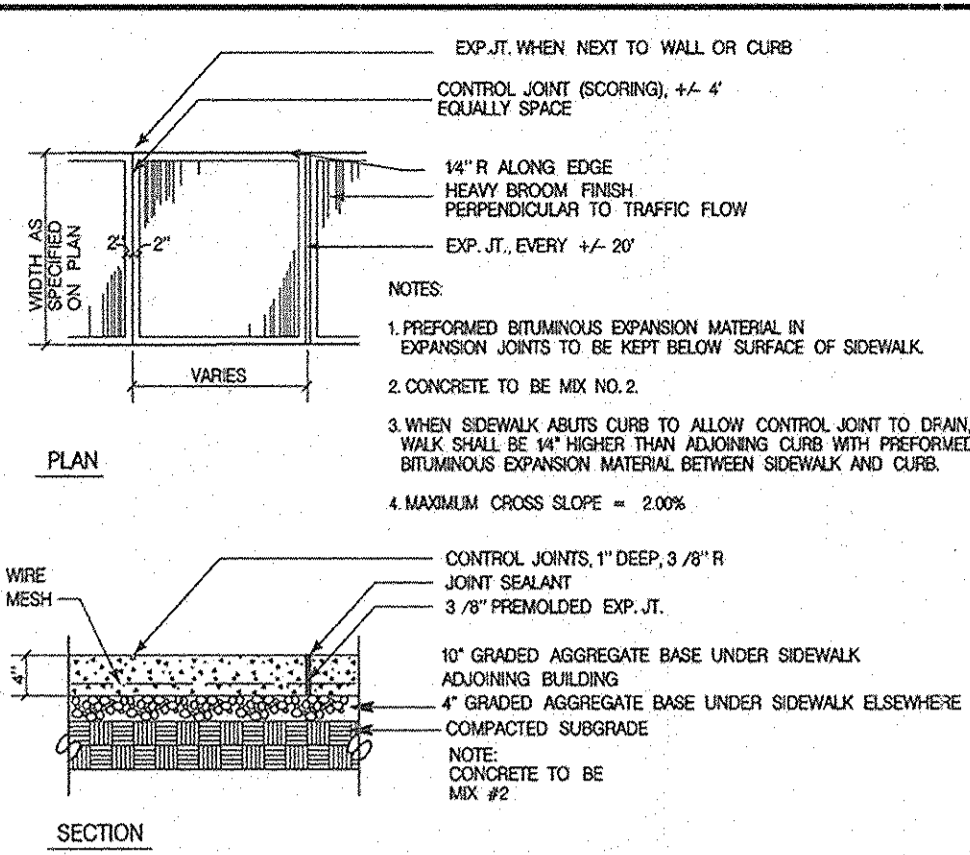
Parcel F

Patapsco Valley Business Center

Howard County, Maryland
Scale: As Shown

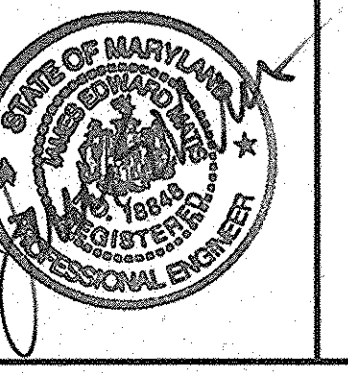
September 13, 2005
September 13, 2005
September 13, 2005

Sheet 5 of 13
SDP 05-91



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consulting engineers

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Fax (410) 298-9644

Detail Paving Sections and Areas
Scale: 1" = 100"

Detail Ramp Transition For Building A
Scale: 1" = 10"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Division of Land Development
Director

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapasco Valley Business Center	N/A	F
Plot # / Sub-Plot #	Grid #	Zoning
47406-1-13402	20	M-2
Water Code	Sewer Code	Election District
A 04	2150501	1st
		Census Tract
		6012.02

Site Details

Proposed Flex Office Buildings
Parcel F
Patapasco Valley Business Center

Red-Line Rev. 2 - February 16, 2006
Red-Line Rev. 1 - September 13, 2005

Howard County, Maryland
Scale: As Shown

Sheet 4 of 13
SDP 05-91

SDP 05-91

Public Street Light Location Data

Road Station	Qty	Description	Pole
25+90 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm
21+69 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm
20+02 RIGHT	1	250 Watt Sag Lense	30' Pole with 12' Arm

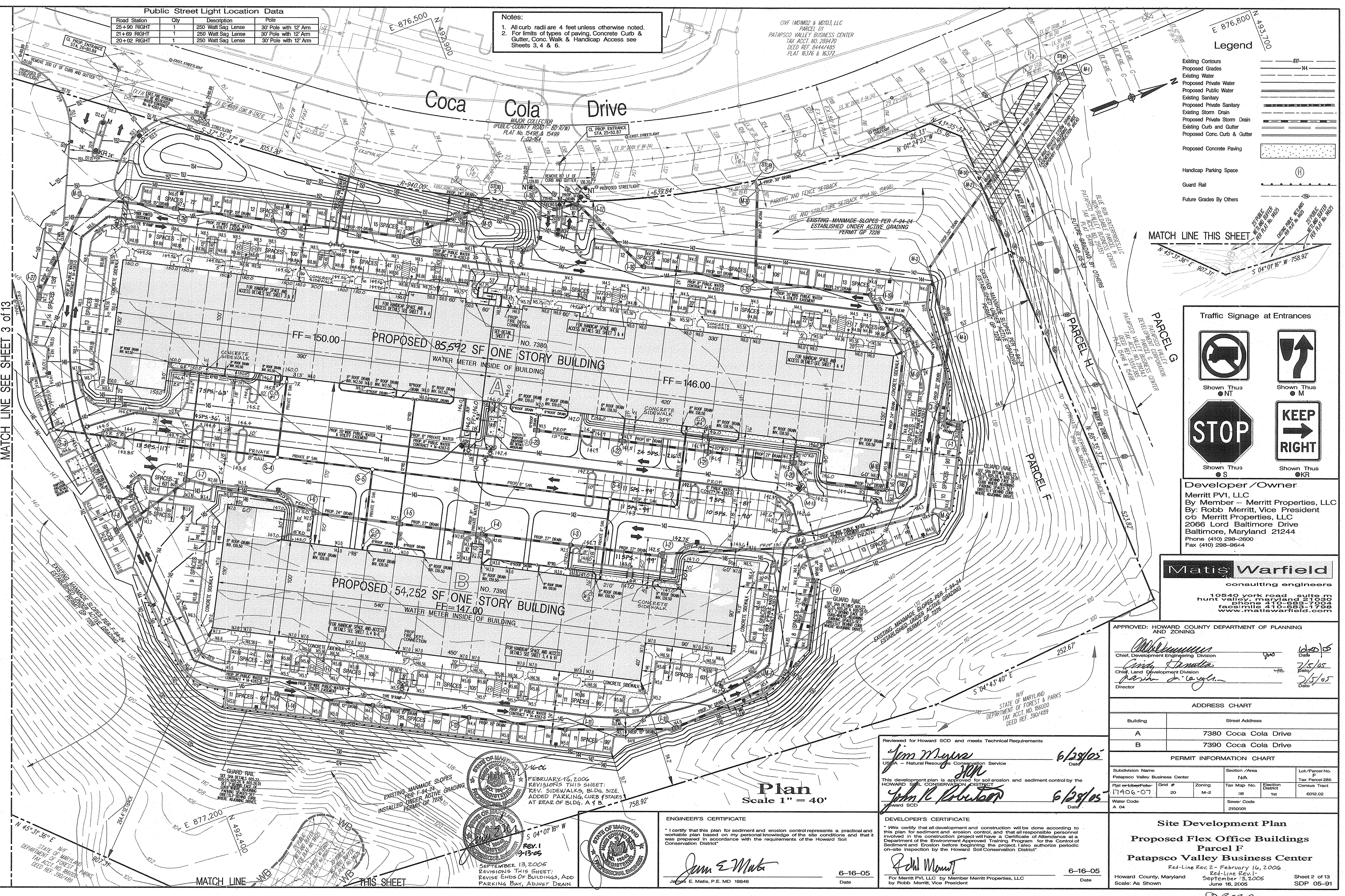
Notes:
 1. All curb radii are 4 feet unless otherwise noted.
 2. For limits of types of paving, Concrete Curb & Gutter, Conc. Walk & Handicap Access see Sheets 3, 4 & 6.

CIVIL ENGINEERING & ARCHITECTURE
 PATAPSCO VALLEY BUSINESS CENTER
 TAX ACCT. NO. 289470
 DEED REF. 8441/185
 PLAT 16376 & 16377

Legend

- Existing Contours
- Proposed Grades
- Existing Water
- Proposed Private Water
- Proposed Public Water
- Existing Sanitary
- Proposed Private Sanitary
- Existing Storm Drain
- Proposed Storm Drain
- Existing Curb and Gutter
- Proposed Conc. Curb & Gutter
- Proposed Concrete Paving
- Handicap Parking Space
- Guard Rail
- Future Grades By Others

MATCH LINE SEE SHEET 3 OF 13



Traffic Signage at Entrances

Shown Thus ● NT	Shown Thus ● M
Shown Thus ● S	Shown Thus ● KR

Developer / Owner
 Merritt PVI, LLC
 By: Member - Merritt Properties, LLC
 By: Robb Merritt, Vice President
 c/o Merritt Properties, LLC
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 Fax 410-688-7004
 www.matiswarfield.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

<i>Howard</i> Chief, Development Engineering Division	Date: 6/28/05
<i>John</i> Chief, Land Development Division	Date: 7/5/05
<i>Richard</i> Director	Date: 7/5/05

ADDRESS CHART

Building	Street Address
A	7380 Coca Cola Drive
B	7390 Coca Cola Drive

PERMIT INFORMATION CHART

Subdivision Name	Section / Area	Lot / Parcel No.
Patapsco Valley Business Center	N/A	F
Plat or License/Order	Grid #	Zoning
17406-07	20	M-2
Water Code	Sanitary Code	Election District
A 04	2150501	1st
		Census Tract
		6012.02

Site Development Plan
Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center
 Fed-Line Rev. 2 - February 16, 2006
 Ed-Line Rev. 1 - September 13, 2005
 Howard County, Maryland
 Scale: As Shown

Sheet 2 of 13
SDP 05-91

Plan
 Scale 1" = 40'

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

John E. Matis
 John E. Matis, P.E. MD 18848
 6-16-05 Date

DEVELOPER'S CERTIFICATE
 "We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Robb Merritt
 Robb Merritt
 For Merritt PVI, LLC by Member Merritt Properties, LLC
 6-16-05 Date

2-16-06
 FEBRUARY 16, 2006 REVISIONS THIS SHEET:
 REV. SIDEWALKS, BLDG. SIZE, ADDED PARKING, CURB & STAIRS AT REAR OF BLDG. A & B.

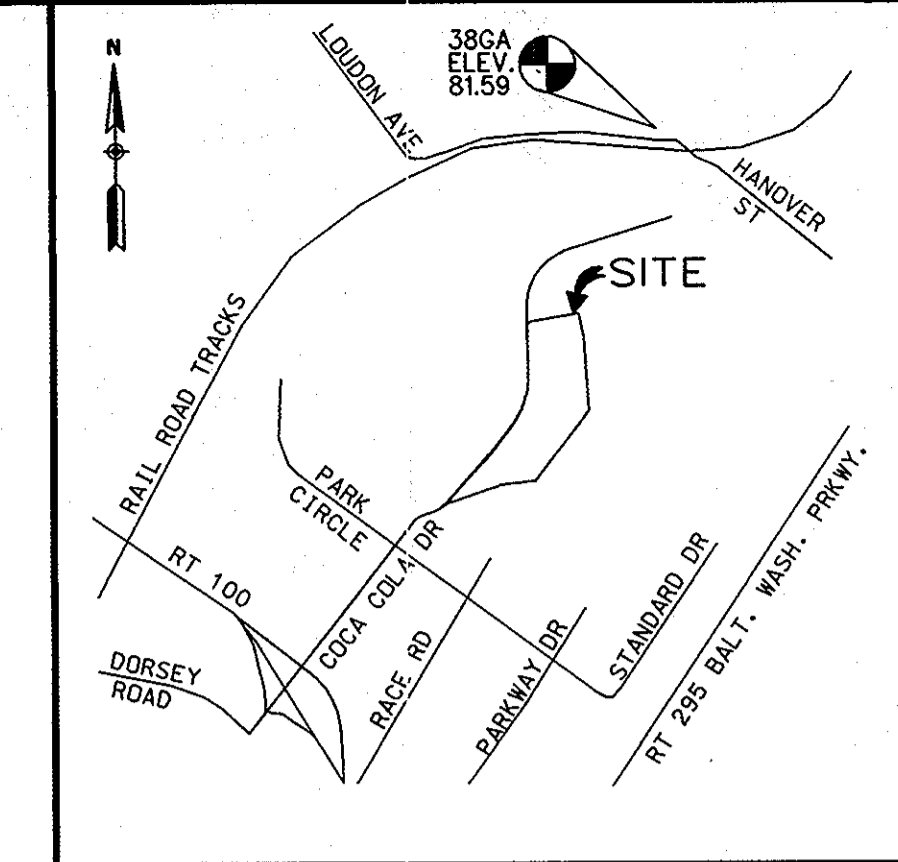
SEPTEMBER 13, 2005 REVISIONS THIS SHEET:
 REVISE ENDS OF BUILDINGS, ADD PARKING BAY, ADJUST DRAIN

Rev. 1
 9-13-05

STATE OF MARYLAND
 DEPARTMENT OF FOREST & PARKS
 TAX ACCT. NO. 189000
 DEED REF. 3901/185

MATCH LINE THIS SHEET

Site Development Plan for Proposed Office/Flex Buildings SDP 05-091 Parcel F Patapsco Valley Business Center Howard County, Maryland

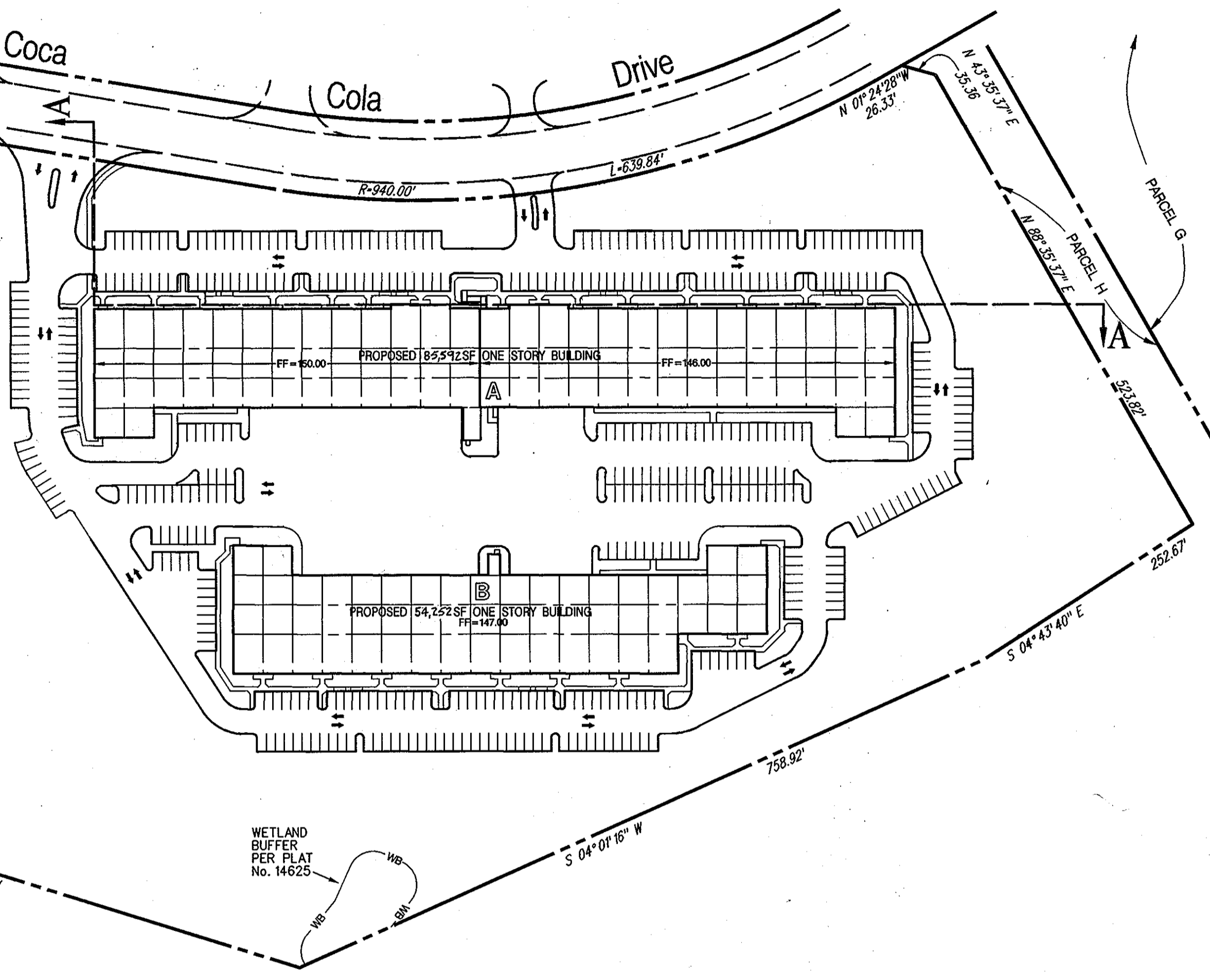


Vicinity Map
Scale 1" = 2000'

COORDINATES AND BEARINGS ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROLS STATIONS: NAD 83. ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM-NOVD 29 AND ARE BASED ON THE FOLLOWING HOWARD COUNTY SURVEY CONTROL STATIONS: (TRANSLATED METERS TO FEET).
38GA ELEV. 81.59 NGVD29
NAD 27 N 495,148.2 E 877,713.8
NAD 88 N 555,897.32 E 1,390,132.13

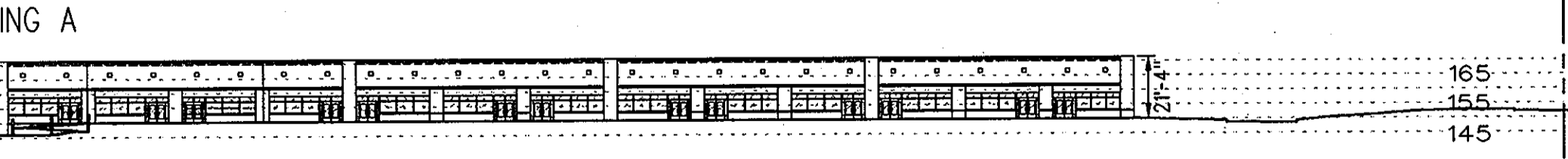
General Notes

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, THE HOWARD COUNTY PLUMBING CODE, PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
2. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES THAT MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
4. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
5. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY DUVAL & ASSOCIATES, P.A. DATED OCTOBER 2004. TOPO COMBINED WITH PLANS OF RECORD.
7. WATER IS PUBLIC PER CONTRACT 14-4283-D DRAINAGE AREA IS PATAPSCO.
8. SEWER ONSITE IS PRIVATE AND CONNECTS TO PUBLIC SEWER BUILT UNDER CONTRACT 14-3342-D. DRAINAGE AREA IS PATAPSCO.
9. THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE BY ITE, INC. PER REPORT DATED 1-08-2005.
10. ALL FILL AREAS SHALL BE COMPACTED AS DETERMINED AND VERIFIED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER.
11. REGIONAL STORMWATER MANAGEMENT IS PROVIDED IN A POND SYSTEM LOCATED ON PARCEL (G) APPROVED AS PART OF F-94-24. POND PROVIDES 2, 10 AND 100 YEAR MANAGEMENT AND WATER QUALITY.
12. THERE ARE NO WETLANDS WITHIN THE DISTURBED AREA OF THIS SITE.
13. THERE ARE NO FLOODPLAINS WITHIN THE DISTURBED AREA OF THIS SITE. 100 YEAR FLOODPLAIN AREAS WITHIN THE PARCEL F HAVE BEEN OFFERED FOR DEDICATION BY VIRTUE OF PLAT NO. 14626. FLOODPLAIN STUDY WAS APPROVED UNDER P-91-14 ON OCTOBER 1, 1992.
14. OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDINGS WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
15. TRENCH COMPACTOR FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, S.D. NO. G-2.01.
16. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
17. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
18. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND ROOF DRAIN CONNECTIONS WITH THE MECHANICAL DRAWINGS.
19. EXISTING UTILITIES ARE BASED ON A COMBINATION OF PLANS OF RECORD AND FIELD RUN DATA.
20. THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
21. THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
22. ALL FILL SLOPES, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.



Proposed Layout
Scale 1" = 100'

23. PAVING MARKINGS TO BE "TRAFFIC WHITE"
24. CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
25. ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE ANWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
26. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRUMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
27. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
28. THE SUBJECT PROPERTY IS ZONED M-2 PER THE 2-2-2004 COMPREHENSIVE ZONING PLAN.
29. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS AND FOREST CONSERVATION EASEMENT AREAS.
30. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
31. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 33,950.00 FOR 66 SHADE TREES, 60 EVERGREEN TREES AND 175 SHRUBS.
32. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION/FOREST CONSERVATION FOR THIS PARCEL HAS BEEN ADDRESSED AS PART OF THE SUBDIVISION OF THIS PROPERTY APPROVED PER F-94-24. (P-91-14 app. prior to 12/31/02)
33. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
34. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NO. 38GA WAS USED FOR THIS PROJECT.
35. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. DATED JANUARY 2005.
36. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134, ZONING REGULATIONS.
37. A DESIGN MANUAL WAIVER OF SECTIONS 2.5.2.H AND 2.6.1 HAS BEEN APPROVED TO WAIVE PARTIAL SITE DISTANCE REQUIREMENTS AT THE TWO PROPOSED SITE ACCESS POINTS ALONG COCA COLA DRIVE AND TO ALLOW THE NORTHERMOST ACCESS POINT TO BE USED EXCLUSIVELY FOR PASSENGER VEHICLES. SEE LETTER DATED MARCH 21, 2005 FROM MR. CHARLES DAMMERS, P.E., CHIEF DEVELOPMENT ENGINEERING DIVISION.



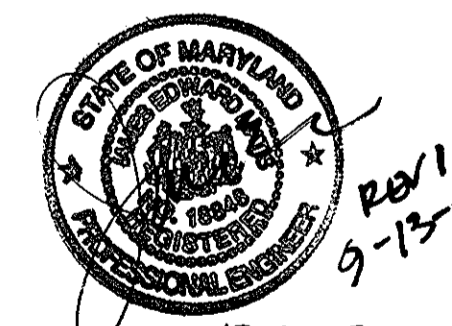
Section A-A through Site
Scale 1" = 50' Horiz. & Vert.

Site Analysis Data Chart

1. GENERAL SITE DATA	
CURRENT PLAT REFERENCE	17406 and 17407
PRESENT ZONING	M-2
APPLICABLE DPZ FILE REFERENCES:	P-91-14, S-91-19, WP-91-98, P-92-18, F-94-24, F-02-164 & F-04-67 F-05-160, PLATS 15496, 15498, 15499, 16376, 16377, 14625, 14626, 17406, 17407, F-05-167
PROPOSED USE:	TWO SINGLE STORY OFFICE/FLEX BUILDINGS TOTALING 139,544 SF
NO. OF OCCUPANTS:	300 ESTIMATED
PROPOSED WATER:	PUBLIC
PROPOSED SEWER:	PRIVATE
WATER CONTRACT NUMBER	14-4283-D
TAX ACCOUNT NUMBER	01-291935
2. AREA TABULATION	
TOTAL PROJECT AREA:	30.304 ACRES
AREA OF THIS PLAN SUBMISSION:	30.304 ACRES
TOTAL DISTURBED AREA:	12.0 ACRES
FLOOR AREA RATIO:	139,544 SF (ULT.) GROSS FLOOR AREA = 0.106 30,304 ACRES
BUILDING COVERAGE TO SITE:	139,544 SF (ULT.) GROUND FLOOR AREA (3.24 acres) = 10.6% of gross area 30,304 ACRES
OPEN AREA PROVIDED:	21,156 sq ft = 70% of site area 30,304 ACRES
3. OPEN SPACE DATA: N/A OPEN SPACE PROVIDED AS PART OF APPROVED SUBDIVISION	
4. PARKING SPACE DATA	
PARKING REQUIRED: BLDG. A - 2.5 SPS/1000 SF FOR 43,592 (HYBRID INDUSTRIAL/OFFICE) = 109 SPACES	
BLDG. B - 2.5 SPS/1000 SF FOR 11,000 (OFFICE) = 28 SPACES	
BLDG. C - 2.5 SPS/1000 SF FOR 85,252 (HYBRID INDUSTRIAL/OFFICE) = 84 SPACES	
TOTAL PARKING REQUIRED:	402 SPACES
TOTAL PARKING PROVIDED:	449 SPACES (STRIPED SPACES)
TOTAL INCLUDES	
437 STANDARD SPACES @ 9' X 18'	
12 VAN ACCESSIBLE HANDICAP SPACES @ 24' X 18' TWO SIDE BY SIDE	



FEBRUARY 16, 2006
REVISIONS THIS SHEET:
REVISED SITE ANALYSIS CHART
AND LAYOUT DETAIL



SEPTEMBER 13, 2005
REVISED THIS SHEET:
REVISED SITE ANALYSIS CHART
AND LAYOUT DETAIL

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS:	
County Health Officer Howard County Health Department	Date
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division	Date
Chief, Division of Land Development	Date
Director	Date

ADDRESS CHART	
Building	Street Address
A	7380 Coca Cola Drive
B	7390 Coca Cola Drive

PERMIT INFORMATION CHART			
Subdivision Name	Section / Area	Lot / Parcel No.	
Patapsco Valley Business Center	NA	Parcel 285	
Plat or Label/Block	Grid #	Zoning	Tax Map No. / Election District / Census Tract
17406-07	20	M-2	114 / 6012.02
Water Code	Sewer Code		
A 04	MS0501		

SHEET INDEX	
SHEET	TITLE
1	COVER SHEET
2	SITE DEVELOPMENT PLAN (SHEET 1)
3	SITE DEVELOPMENT PLAN (SHEET 2) AND DETAILS
4	SITE DETAILS
5	STORM WATER DRAINAGE AREA MAP & STORM DRAIN DETAILS
6	DRAIN PROFILES AND DETAILS
7	STORM DRAIN PROFILES
8	PRIVATE WATER AND SEWER PROFILES
9	SEDIMENT & EROSION CONTROL PLAN
10	SEDIMENT & EROSION CONTROL PLAN SHEET 2 & DETAILS
11	SEDIMENT CONTROL DRAINAGE AREA MAP & NOTES
12	FINAL LANDSCAPE PLAN
13	FINAL LANDSCAPE, DETAILS

Cover Sheet

Proposed Flex Office Buildings
Parcel F
Patapsco Valley Business Center

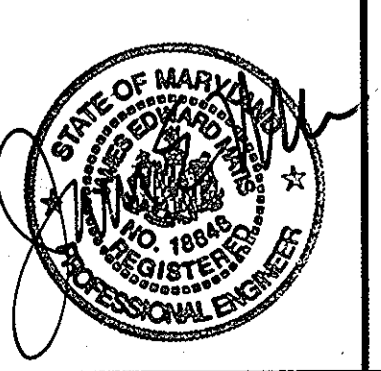
Red-Line Rev. 2-February 16, 2006
Red-Line Rev. 1-September 13, 2005

Howard County, Maryland
Scale: As Shown

June 16, 2005
Sheet 1 of 13
SDP 05-91

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By Member - Merritt Properties, LLC
By: Robb Merritt, Vice President
c/o Merritt Properties, LLC
2066 Lord Baltimore Drive
Baltimore, Maryland 21244
Phone (410) 298-2800
Fax (410) 298-9644