

### SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	N/A	A
Linear Feet of Roadway Frontage/Perimeter	N/A	1236' ±
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	N/A	YES-974 L.F.
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N/A	NO
Number of Plants Required Shade Trees Evergreen Trees	N/A	Using 262 L.F. 1460±5 Shade
Number of Plants Provided Shade Trees Evergreen Trees		5 Shade
Other Trees (211 substitution) Shrubs (101 substitution) (Describe plant substitution credits below if needed)		

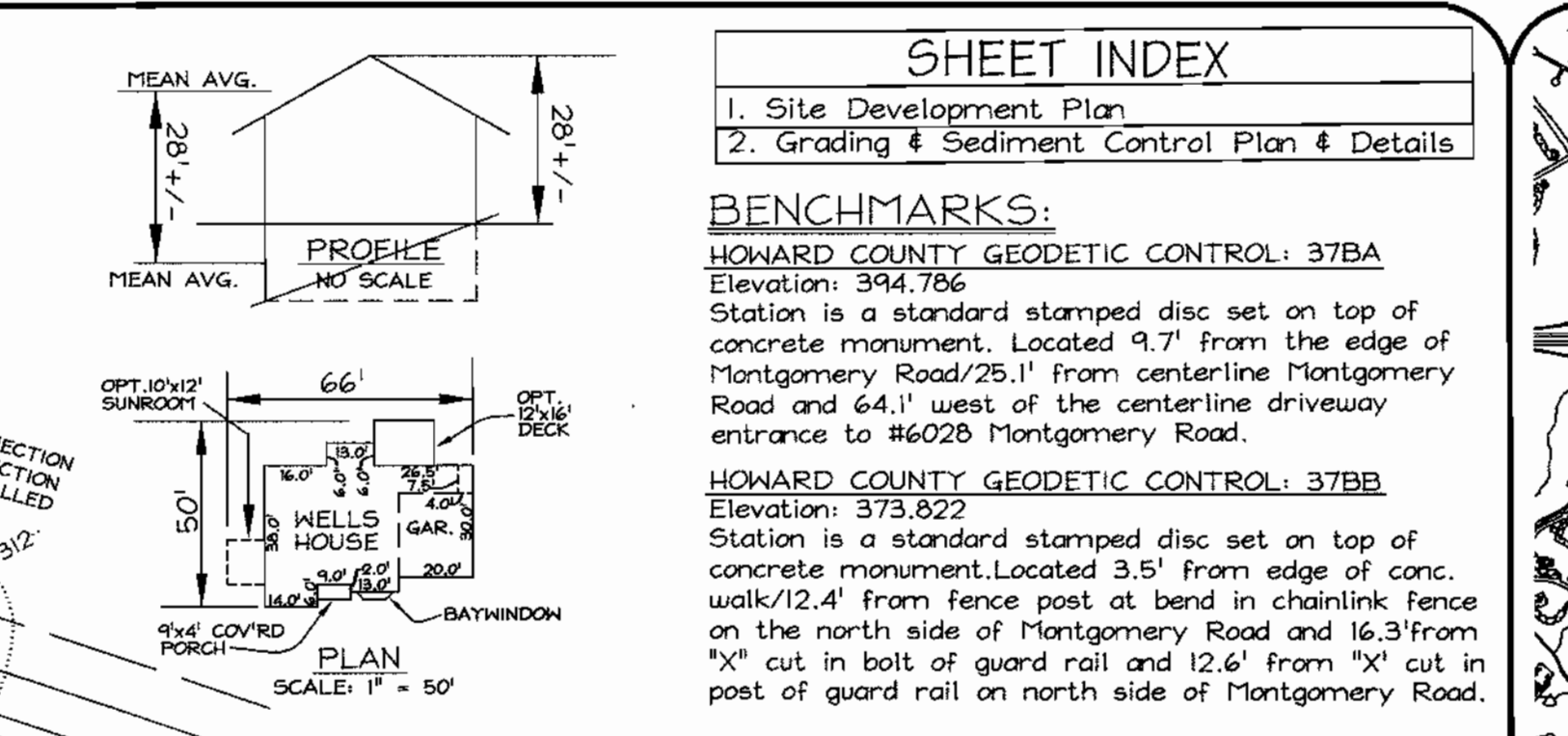
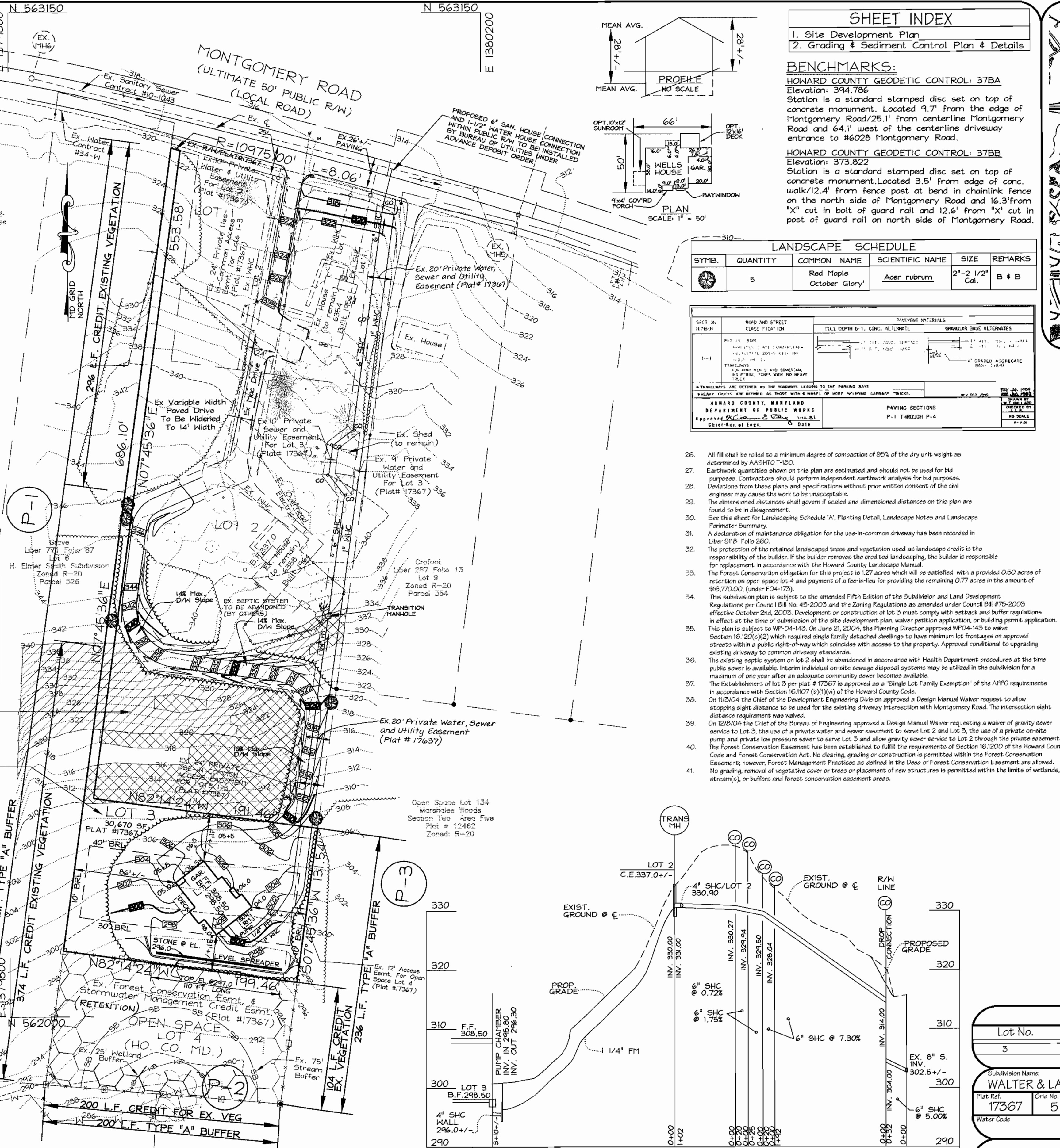
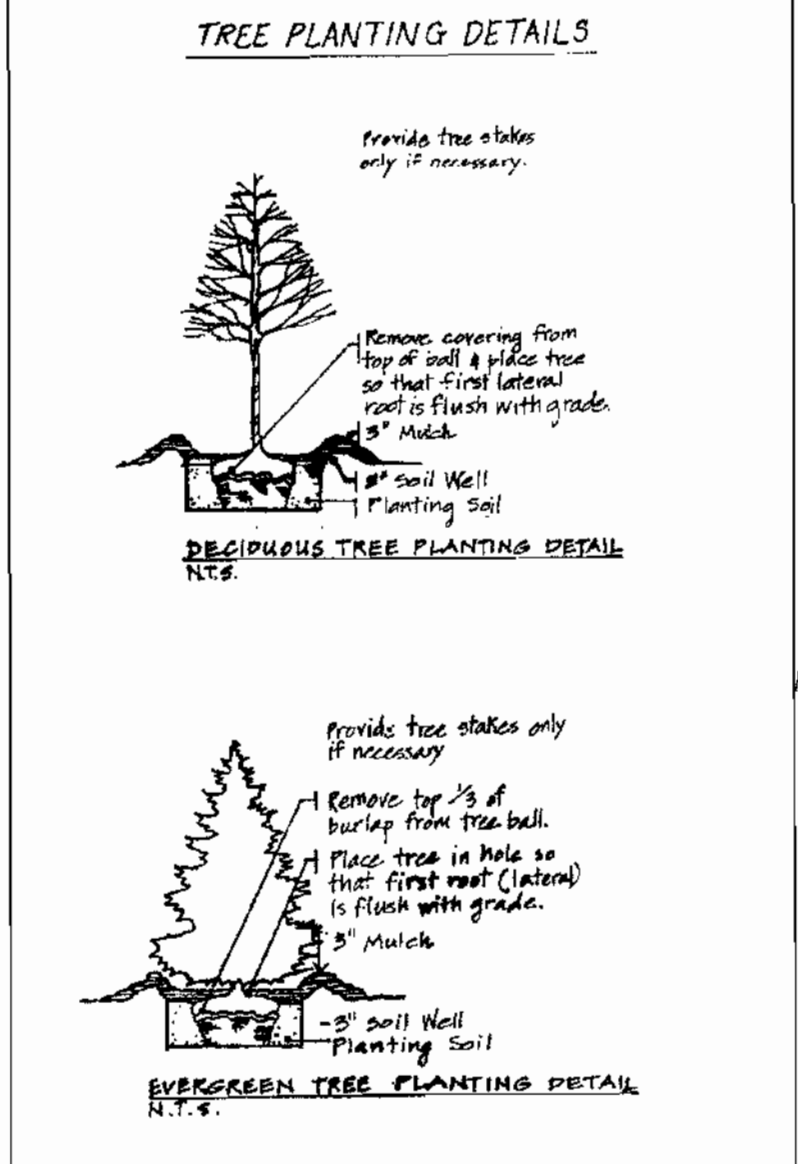
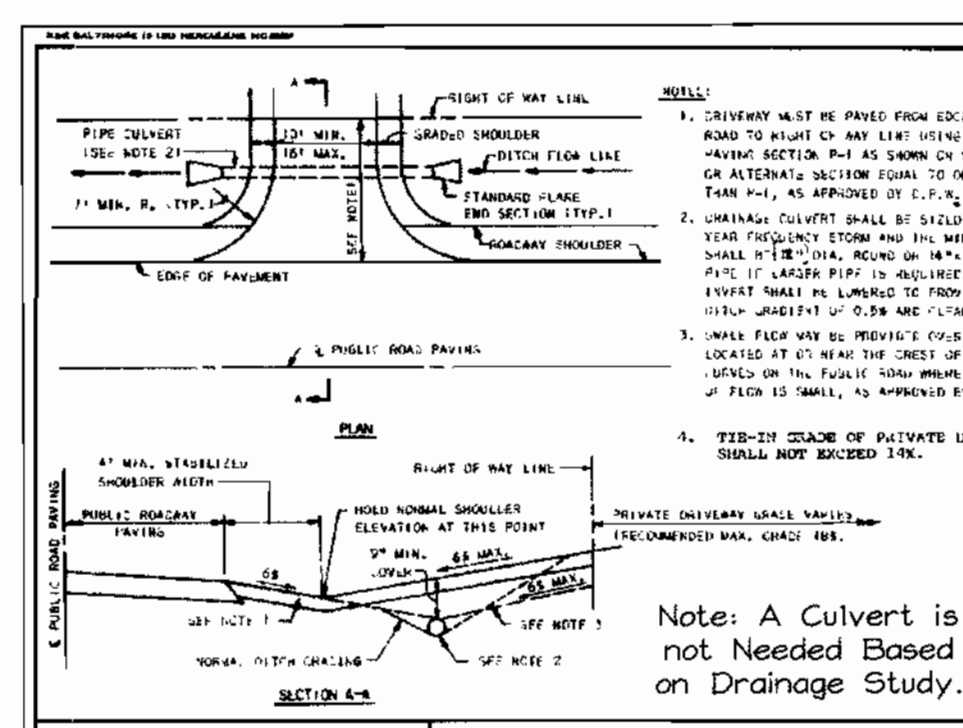
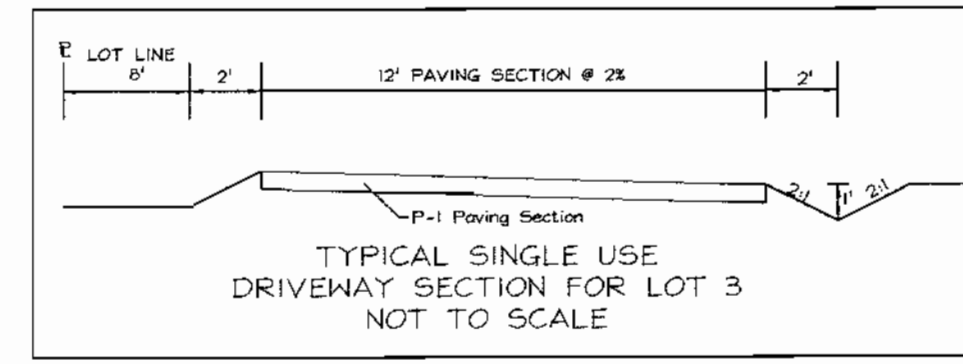
### LANDSCAPE NOTES:

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Howard County Landscape Manual.
- The Owner/Developer is responsible for planting of all material required to meet the standards established by the Howard County Landscape Manual.
- Financial Surety for the required landscaping will be posted with the builder's grading permit in the amount of \$150,000.
- The Owner, Tenant and/or their agents shall be responsible for maintenance of the required landscaping, plant materials, berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new material to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- All plant materials shall conform to the American Nurserymen's Association, American nursery stock.
- No clearing of existing vegetation is permitted within the landscape edge for which credit is being taken; however, landscape maintenance is authorized.
- At the time of installation, all shrubs and other plantings herewith listed and approved for the site, shall be of the proper height requirements in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.

Comments: \* 1236 L.F. - 974 L.F. = 262 L.F. required perimeter to be planted  
262 L.F. divided by 60 L.F. = 4.3 shade or 5 Shade

### LANDSCAPE PERIMETER TABLE

Perimeter No.	Perimeter Length	Buffer Type	Adjacent Land Use
1	800 L.F.	A	SFD
2	200 L.F.	A	SFD
3	236 L.F.	A	OPEN SPACE
Total	1236 L.F.		



### LANDSCAPE SCHEDULE

SYMB.	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
	5	Red Maple	Acer rubrum	2\"-2 1/2\" Cal.	B & B

LANDSCAPE NOTES:

- All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by AASHTO T-99.
- Earthwork quantities shown on this plan are estimated and should not be used for bid purposes. Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptably.
- The dimensional dimensions shall govern if scaled and dimensioned annotations on this plan are found to be in disagreement.
- See this sheet for Landscaping Schedule 'A', Planting Detail, Landscape Notes and Landscape Parameter Summary.
- A declaration of maintenance obligation for the use-in-common driveway has been recorded in Liber 98A, Folio 260.
- The protection of the retained landscaped trees and vegetation used as landscape credit is the responsibility of the builder. If the builder removes the critical landscaping, the builder is responsible for replacement in accordance with the Howard County Landscape Manual.
- The Forest Conservation obligation for this project is 1.27 acres which will be satisfied with a provided 0.50 acres of retention on open space lots 4 and payment of a fee-in-lieu for providing the remaining 0.77 acres in the amount of \$16,770.00 (under F04-173).
- This subdivision plan is subject to the amended Fifth Edition of the Subdivision and Land Development Regulations per Council Bill No. 45-2003 and the Zoning Regulations as amended under Council Bill #75-2003 effective October 2nd, 2003. Development or construction of Lot 3 must comply with setback and buffer regulations in effect at the time of submission of the site development plan, water petition application, or building permit application. This plan is subject to WF-04-143. On June 21, 2004, the Planning Director approved WF04-143 to waive Section 16.122(c)(2) which required single family detached dwellings to have minimum lot frontages on approved streets with a public right-of-way which coincides with access to the property. Approved conditional to upgrading existing driveway to common driveway standards.
- The existing septic system on lot 2 shall be abandoned in accordance with Health Department procedures at the time public sewer is available. Individual onsite sewage disposal systems may be utilized in the subdivision for a maximum of one year after an adequate community sewer becomes available.
- The establishment of Lot 3 per plat # 17367 is approved as a 'Single Lot Family Exemption' of the AFPO requirements in accordance with Section 16.107 (9)(10) of the Howard County Code.
- On 10/04/04 the Chief of the Development Engineering Division approved a Design Manual Waiver request to allow stopping eight distance to be used for the existing driveway intersection with Montgomery Road. The intersection eight distance requirement was waived.
- On 12/04/04 the Chief of the Bureau of Engineering approved a Design Manual Waiver requesting a waiver of gravity sewer service and private low pressure sewer to serve Lot 3 and allow gravity sewer service to Lot 2 through the private easement. The Forest Conservation Easement has been established to fulfill the requirements of Section 16.122(d) of the Howard County Code and the Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement; however, Forest Management Practices as defined in the Deed of Forest Conservation Easement are allowed.
- No grading, removal of vegetation cover or trees or placement of new structures is permitted within the limits of wetlands, stream(s), or buffers or forest conservation areas.

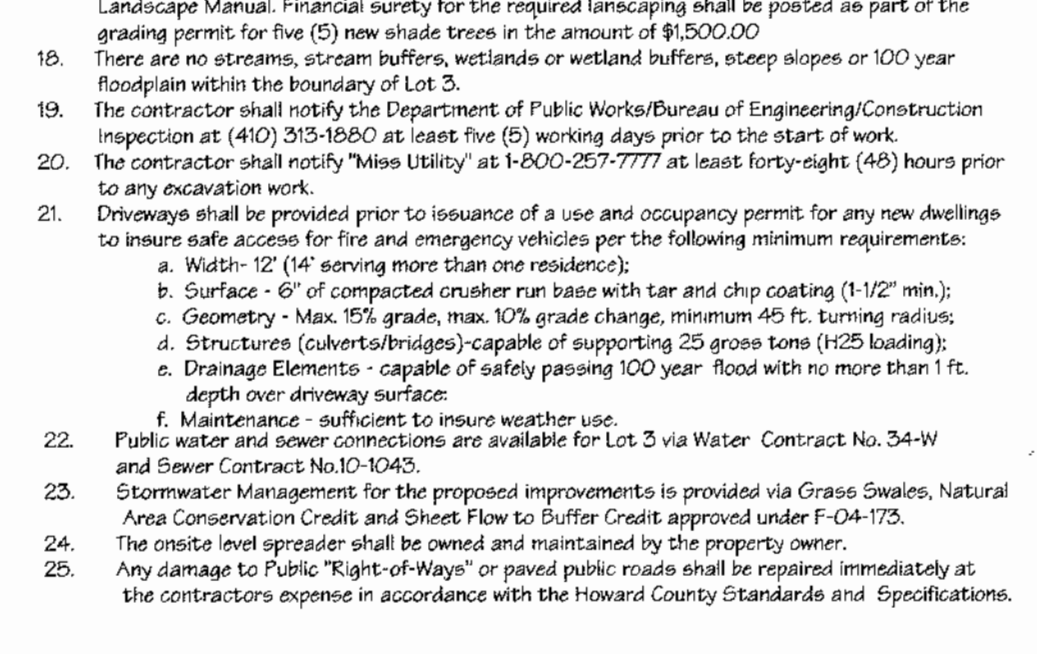


### VICINITY MAP

1\" = 2000'

### GENERAL NOTES:

- The subject property is zoned R-20 per the 2/2/04 Comprehensive Zoning Plan.
- All construction shall be in accordance with the latest Standards and Specifications of Howard County Design Manual Vol. IV and current MSHA Standards & Specifications.
- Project background:  
Location: Montgomery Road just southwest of Montgomery Road  
Eliquis, Maryland 21075  
Tax Map: Map 37 - Field Map Parcel: P10 B8 & B9 - Grid: 5  
Election District: 1st  
Current Plat Reference: #17367
- The Boundary shown herein is based on the above referenced record plat.
- The topography shown herein was field run by LDE, Inc. in November, 2003.
- Horizontal and Vertical Datum are related to the Maryland State Plane Coordinate System (NAD 83) as projected from from Howard County Control Stations No. 375A & 375B.
- Any damage caused by the contractor to existing public utility, including paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- The existing utilities shown herein are located from field survey and construction drawing of record. The contractor shall locate existing utilities to his own satisfaction and will be responsible for any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.
- There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities within the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.
- Site Analysis Data:  
a. Total Project Area (Lot 3): 0.7041 Acres  
b. Area of Plan Submission: 1.35 Acres +/-  
c. Limit of Disturbed Area: 1.09 Acres +/-  
d. Present Zoning Designation: R-20  
e. Proposed Site and Structure Use: One (1) SFD house  
f. Building coverage of site: 2784 s.f. (0.064 Ac.), 91% of site area  
g. Applicable DPZ File References: WF04-143, F04-173
- There are no wetlands on Lot 3 per a field investigation by LDE, Inc. in January, 2004.
- In accordance with Section 129 of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setback, porch or deck, open or enclosed may project not more than 10 feet into the front or rear yard setbacks.
- The existing common driveway for lots 1, 2 & 3 will provide vehicular access to lot 3.
- For flag or piston lots, refuse collection, snow removal and road maintenance are provided by the jurisdiction of the flag or piston lot and not to the common lot driveway. See Architectural Plans for building dimensions and design details.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
- Landscaping for Lot 3 is provided in accordance with a certified landscape plan on file with the record plat #17367 in accordance with section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping will be posted as part of the grading permit for five (5) new shade trees in the amount of \$150,000.
- There are no streams, stream buffers, wetlands or wetland buffers, steep slopes or 100 year floodplains within the boundary of Lot 3.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1500 at least five (5) working days prior to the start of work.
- The contractor shall notify 'Miss Utility' at 1-800-267-7777 at least forty-eight (48) hours prior to any excavation work.
- Driveways shall be provided prior to issuance of a use and occupancy permit for any new dwellings to insure safe access for fire and emergency vehicles per the following minimum requirements:  
a. Width- 12' (14' covering more than one residence)  
b. Surface - 6\" of compacted crusher run base with tar and chip coating (1-1/2\" min.);  
c. Geometry - Max. 15% grade, max. 10% grade change, minimum 45 ft. turning radius;  
d. Structures (culverts/bridges) capable of supporting 25 gross tons (125 loading);  
e. Drainage Elements - capable of safely passing 100 year flood with no more than 1 ft. depth over driveway surface;  
f. Maintenance - sufficient to insure weather use.
- Public water and sewer connections are available for Lot 3 via Water Contract No. 34-W and Sewer Contract No. 10-1043.
- Stormwater Management for the proposed improvements is provided via Grass Swales, Natural Area Conservation Credits and Sheet Flow to Buffer and Filtered Infiltration under F-04-173.
- The onsite level spreader shall be owned and maintained by the property owner.
- Any damage to Public 'Right-of-Way' or paved public roads shall be repaired immediately at the contractor's expense in accordance with the Howard County Standards and Specifications.



### ADDRESS CHART

Lot No.	Street Address
3	6350 MONTGOMERY ROAD

Subdivision Name: WALTER & LAVERNE BROWN PROPERTY Sect./Area: N/A Lot No: 3  
Plat Ref: 17367 Grid No: 5 Zoning: R-20 Tax Map No: 37 Election District: 1st Census Tract: 6011.01  
Water Code: D04 Sewer Code: 2152700

### LDE, INC.

9250 Rumsley Road, Suite 106, Columbia, MD. 21045  
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED	SITE DEVELOPMENT PLAN	SCALE
JMB	WALTER & LAVERNE BROWN PROPERTY	1\" = 50'
DRAWN	LOT 3 & THE USE-IN-COMMON DRIVEWAY SERVING LOTS 1-3 & OPEN SPACE LOT 4	DRAWING
1 OF 2	PLAT #17367	
CHECKED	F10 PARCEL 89 & 90	JOB NO.
BDB	Tax Map No. 37, Grid No. 5	03-037.3
DATE	1st Election District, Howard County, Maryland	FILE NO.
04/20/05	OWNER/DEVELOPER: RICHARD & KIMBERLY WELLS	SDP05-089
	8812 Marham Dr	
	Elliotts City, Maryland 21043	
	410-461-0789	

### DEVELOPER'S / BUILDER'S CERTIFICATION

I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I further certify that upon completion a Letter of Landscape Installation, accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.

Signature of Developer/Builder: *Walter Brown* 5/19/05

### APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: *Paula Dwyer* 6/6/05

### THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCE CONSERVATION SERVICE: *[Signature]*

### THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Chief, Development Engineering Division: *Wendy Hamilton* 6/6/05

Chief, Development Engineering Division: *[Signature]* 6/3/05

### ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL IS PRACTICAL AND WORKABLE IN AN INDIVIDUAL AND/OR CONSTRUCTION AND/OR MAINTENANCE PLANS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Signature of Engineer: *Bruce D. Burton* 5/19/05

### DEVELOPER'S CERTIFICATE

"I WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT." ALSO I AUTHORIZE PERIODIC ONLINE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Signature of Developer: *Walter Brown* 5/19/05

### ENGINEER'S CERTIFICATE

Signature of Engineer: *Bruce D. Burton* 5/19/05

### DEVELOPER'S CERTIFICATE

Signature of Developer: *Walter Brown* 5/19/05

### PRIVATE SEWER PROFILE

SCALE: HORZ. 1\" = 100'  
VERT. 1\" = 10'

### REVISIONS

No.	Date	Description

### APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: *Paula Dwyer* 6/6/05

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Chief, Development Engineering Division: *Wendy Hamilton* 6/6/05

Chief, Development Engineering Division: *[Signature]* 6/3/05

SDP 05 - 089

HOWARD SOIL CONSERVATION DISTRICT  
STANDARD SEDIMENT CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (343-1855).
- 2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", and revisions thereto.
- 3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 7 calendar day period for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1. If 14 days are to all other disturbed or graded areas on the project site.
- 4. All sediment traps/fences shown must be located and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- 5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section G) for permanent seeding, soil, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- 7. Site Analysis:

Total Area of Site	0.7041	Acres
Area Disturbed	1.313	Acres
Area to be roofed or paved	0.21	Acres
Area to be vegetatively stabilized	0.28	Acres
Total Culvert Length	4.00	Cu. Yds.
Total Fill	400	Cu. Yds.
Off-site waste area location	N/A	
- 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- 9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- 10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading other building or grading inspection agencies may not be authorized until the initial approval by the inspection agency is received.
- 11. Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

- Definition  
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
- Purpose  
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, material toxic to plants, and/or unacceptably soil gradation.
- Conditions Where Practice Applies
- 1. This practice is limited to areas having 2:1 or flatter slopes where:
    - a. The texture of the exposed subsoil is not suitable to produce vegetative growth.
    - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
    - c. The original soil to be vegetated contains material toxic to plant growth.
    - d. The soil is so acidic that treatment with lime is not feasible.
  - 2. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plan.
- Construction and Material Specifications
- 1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS in conjunction with Maryland Agricultural Experiment Station.
  - 2. Topsoil Specifications - Soil to be used as topsoil must meet the following:
    - a. Topsoil shall be a loam, sandy loam, clay loam, silty loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regulated topsoil shall be a mixture of contrasting textured subsoil and shall contain less than:
      - 1. 1% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
      - 2. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
      - 3. Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 lbs/ton (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over the designated area and worked into the soil in conjunction with tillage operations as described in the following paragraphs.
    - b. Topsoil shall be a loam, sandy loam, clay loam, silty loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority, may be used if of natural topsoil.
    - c. All lime of acid soil shall be applied at a rate of 100-200 lbs per acre (0.5 to 1.0 tons per acre) depending on soil test results. Lime shall be applied in a uniform manner over the area to be treated and worked into the soil to a depth of 6-8 inches.
    - d. No soil or seed shall be placed on soil which has been treated with soil stabilizers or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
    - e. Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used if of natural topsoil.
  - 3. For sites having disturbed areas under 5 acres:
    - a. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
    - b. For sites having disturbed areas over 5 acres:
      - 1. Soil test results must be obtained. If the soil test results dictate the application of a soil amendment, the soil amendment shall be applied at a rate of 100-200 lbs per acre (0.5 to 1.0 tons per acre) depending on soil test results. The soil amendment shall be applied in a uniform manner over the area to be treated and worked into the soil to a depth of 6-8 inches.
      - 2. Organic content of topsoil shall be not less than 15% by weight.
      - 3. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
      - 4. No soil or seed shall be placed on soil which has been treated with soil stabilizers or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
- VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as follows:
  - 1. Composted Sludge Material for use as a soil conditioner: For sites having disturbed areas over 5 acres shall be tested to prescribe applications and for sites having disturbed areas under 5 acres shall conform to the following requirements:
    - a. Composted sludge shall be applied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.03.
    - b. Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
    - c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
  - 2. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lbs/1,000 square feet, and 1/3 the normal lime application rate.
- References: Guidelines for Agricultural, Soil Preparation and Seeding. MDA, PA, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1973.

HOWARD SOIL CONSERVATION DISTRICT  
PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

- 1) PREFERRED - Apply 2 tons per acre dolomitic limestone (92 lbs/1000q. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000q. sq. ft.) before seeding. Harrow or disk into upper three inches of soil.
- 2) ACCEPTABLE - Apply 2 tons per acre dolomitic limestone (92 lbs/1000q. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000q. sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

SEEDING - For the period March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre Kentucky 31 Tall Fescue and 2 lbs. per acre (0.5 lbs/1000q. ft.) of weeping lovegrass. During the period of October 16 thru February 29, protect site by Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

MULCHING - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000q. ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 210 gallons per acre (5 gal/1000q. ft.) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 345 gallons per acre (8 gal/1000q. ft.) for anchoring.

MAINTENANCE - Inspects all seeding areas and make needed repairs, replacements and reseeding.

HOWARD SOIL CONSERVATION DISTRICT  
TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS - Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000q. sq. ft.).

SEEDING - For period March 1 thru April 30, and from August 1 thru October 15 seed with 2-12 lbs/1000q. sq. ft. of annual ryegrass (3.2 lbs/1000q. sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.7 lbs/1000q. sq. ft.). For the period November 16 thru February 29, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use soil.

MULCHING - Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000q. sq. ft.) of untreated weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 210 gallons per acre (5 gal/1000q. sq. ft.) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 345 gallons per acre (8 gal/1000q. sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

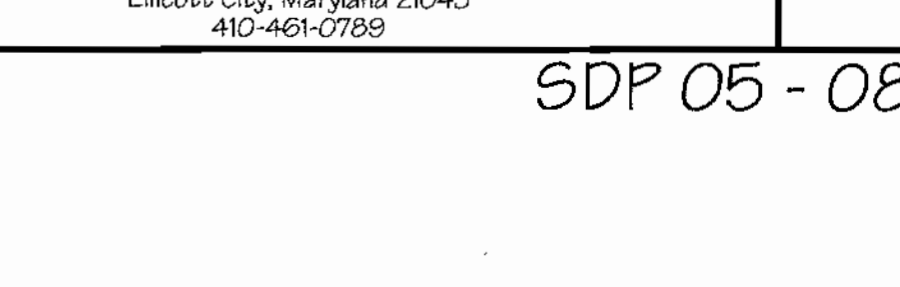
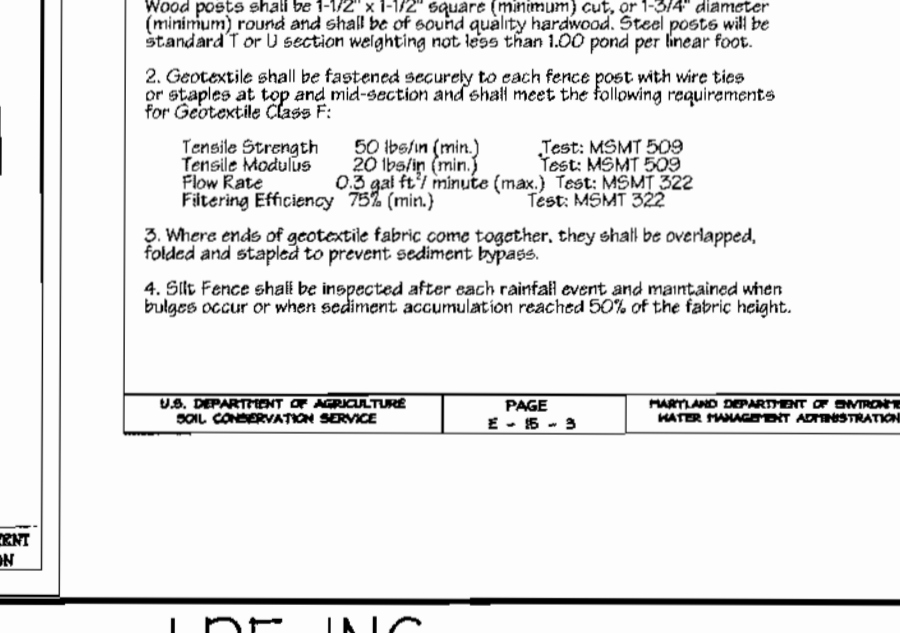
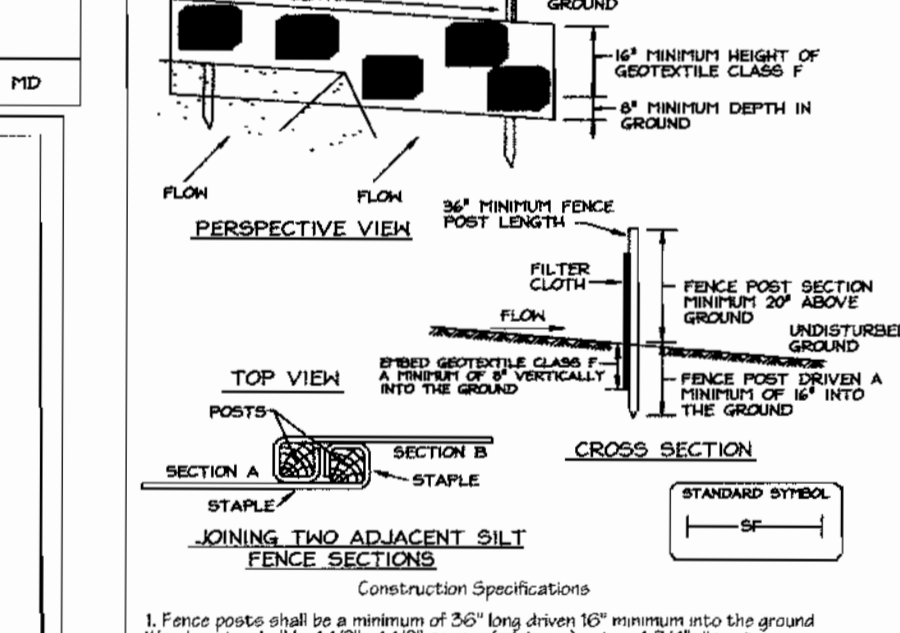
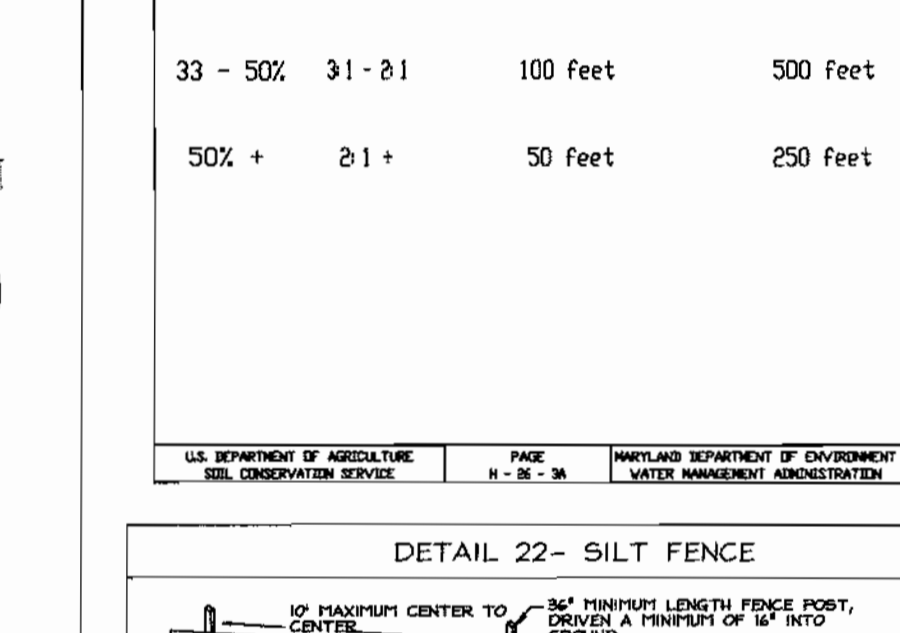
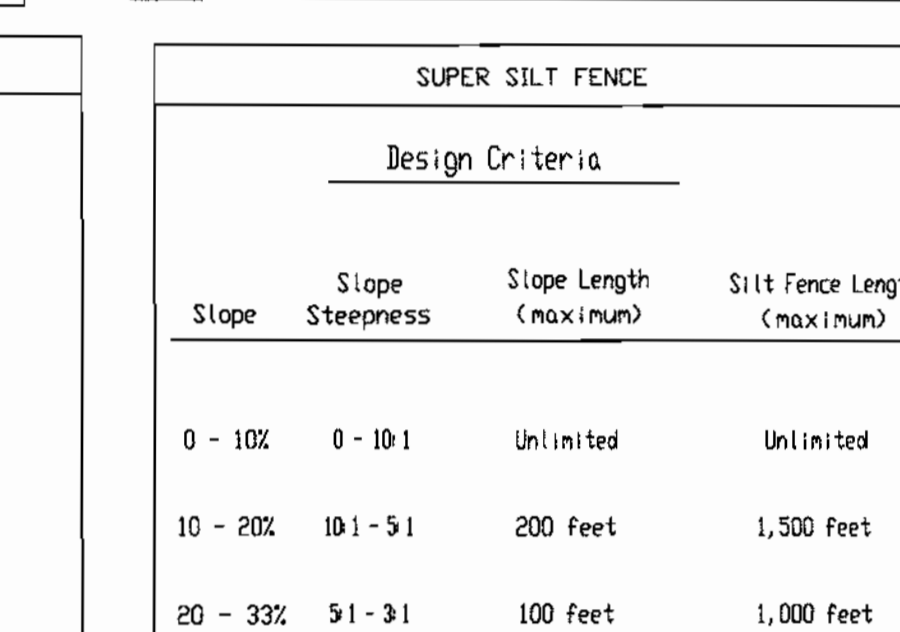
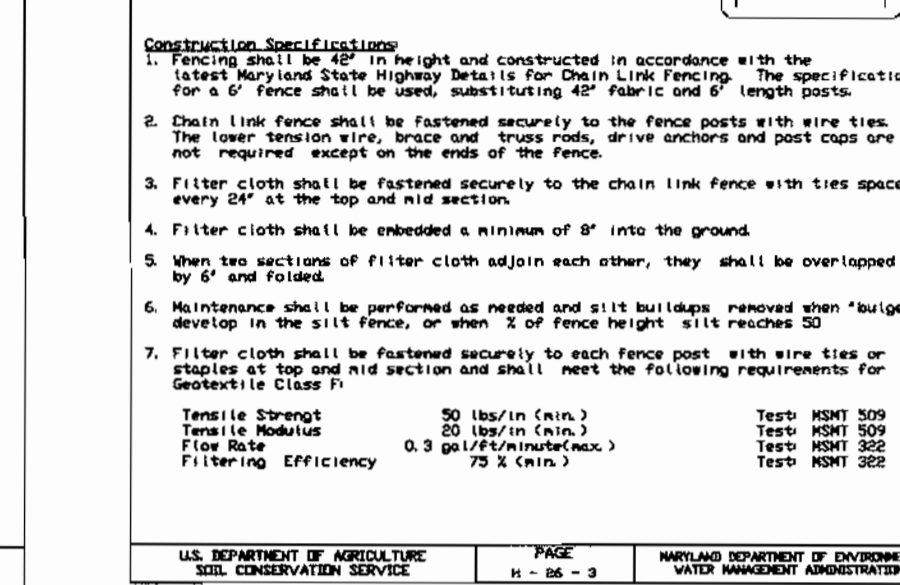
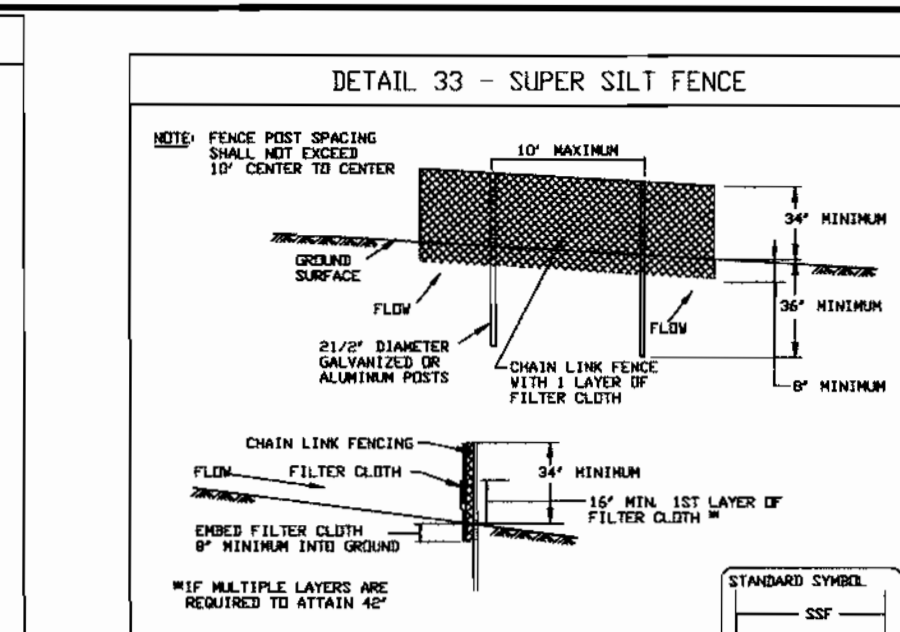
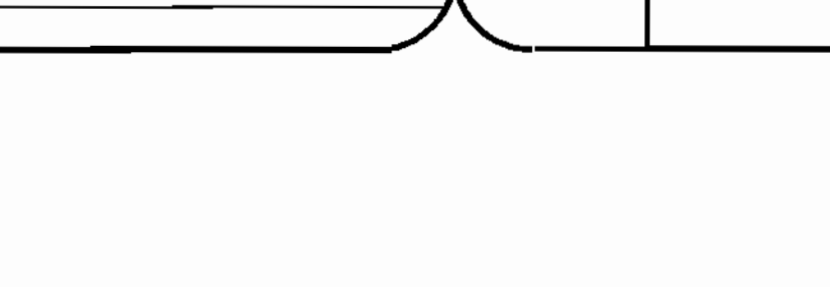
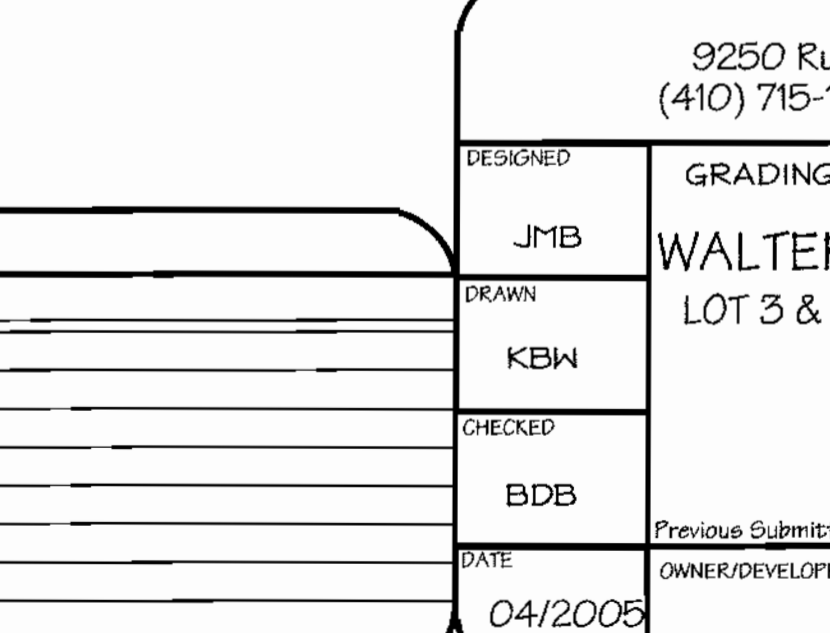
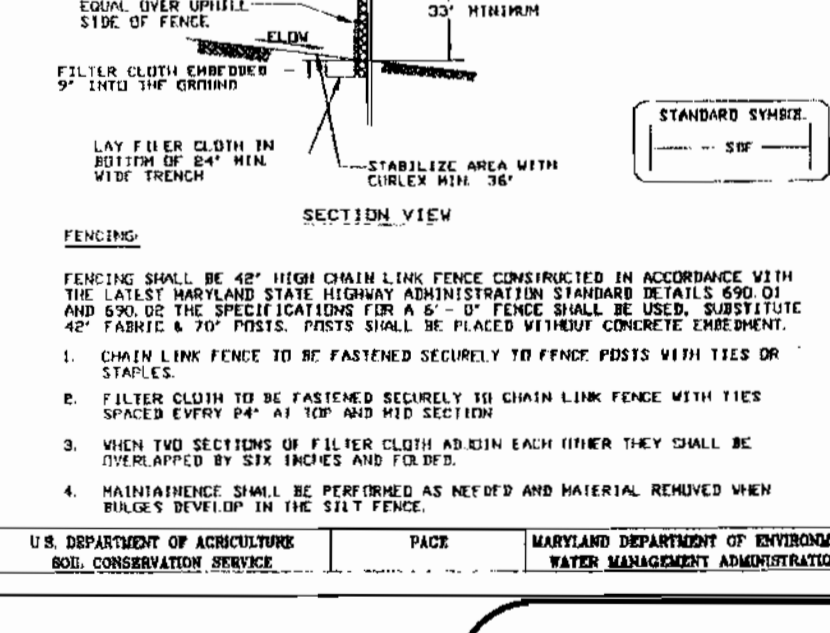
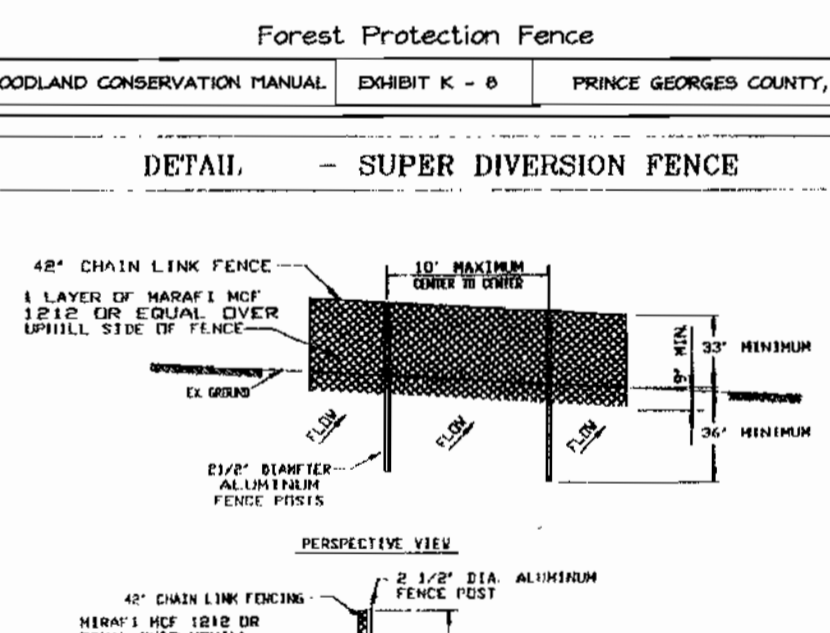
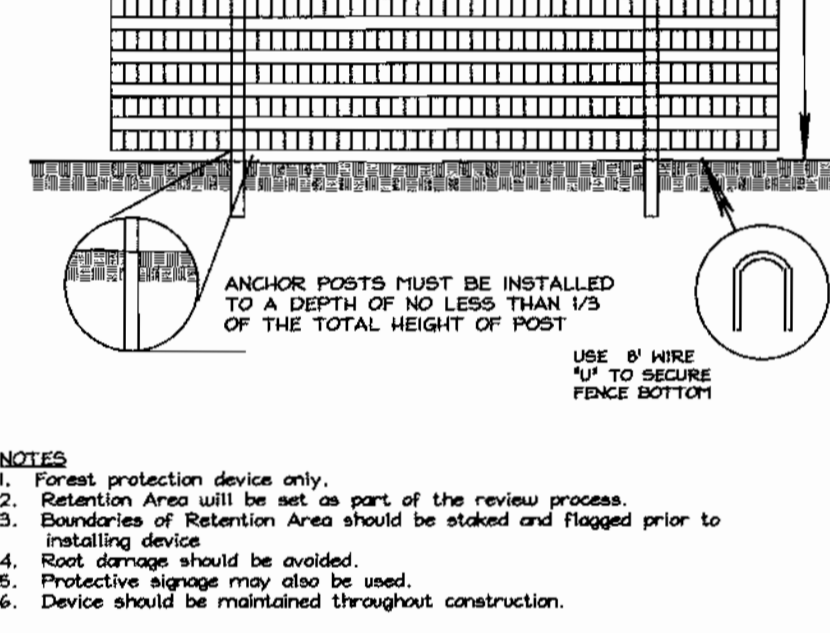
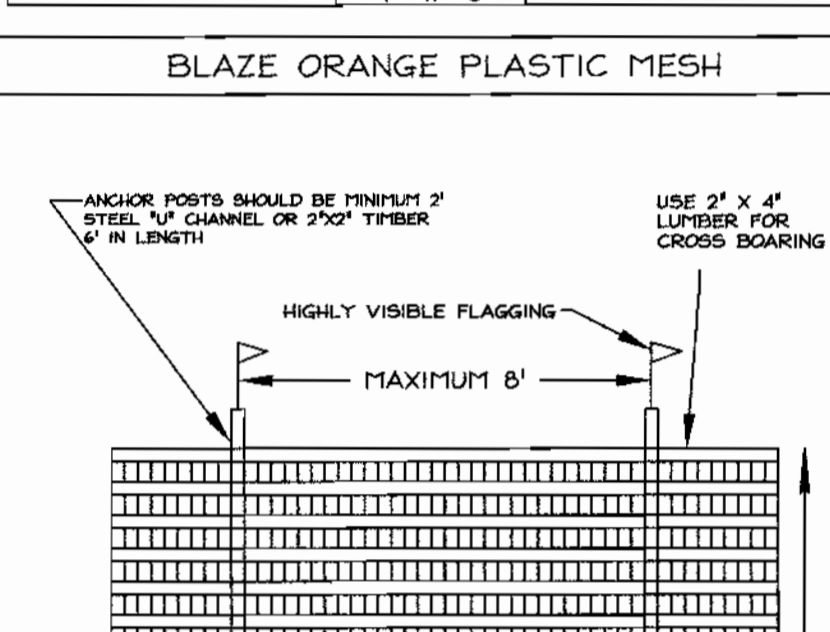
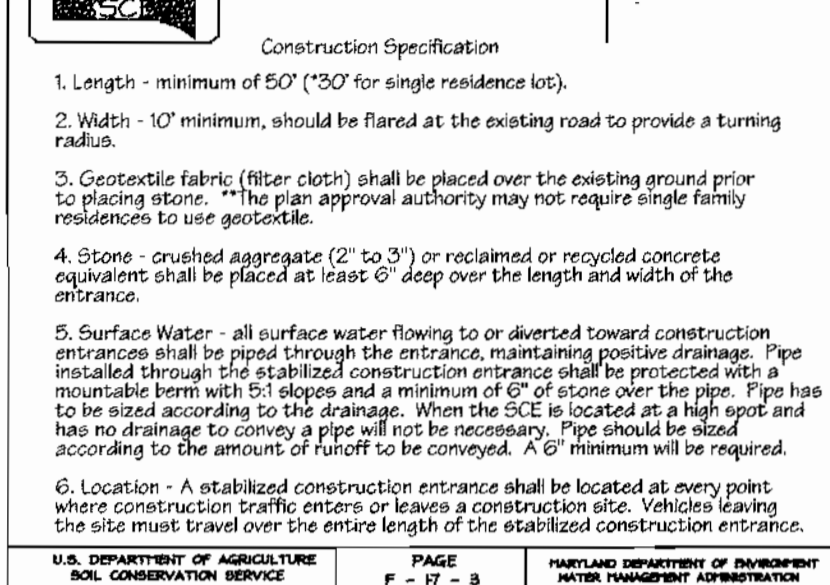
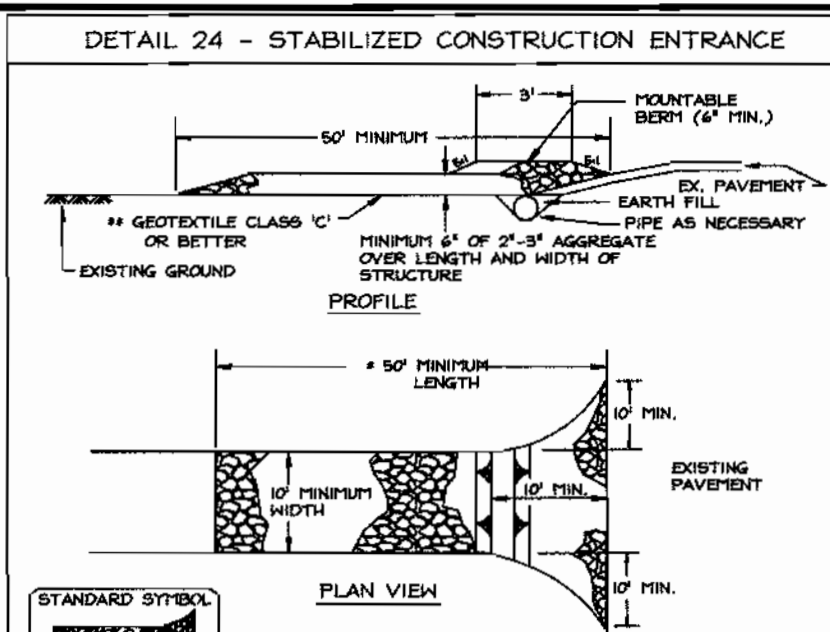
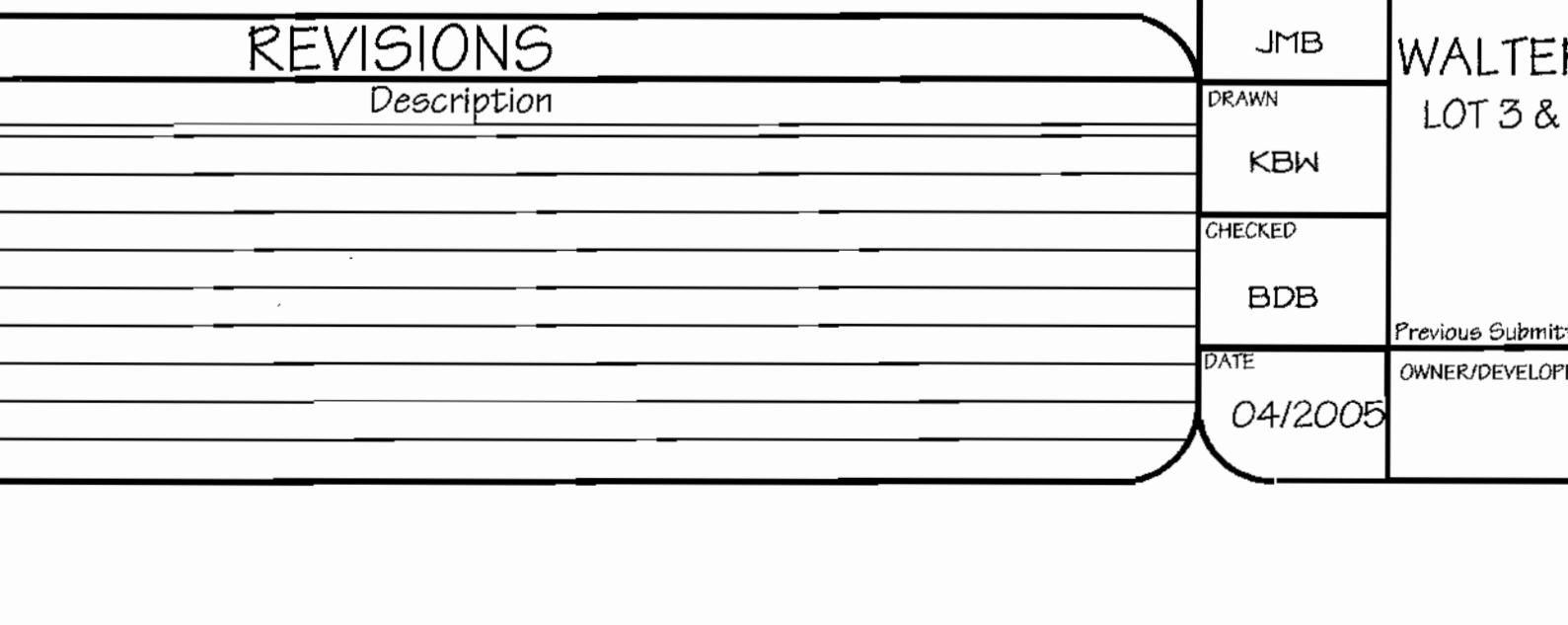
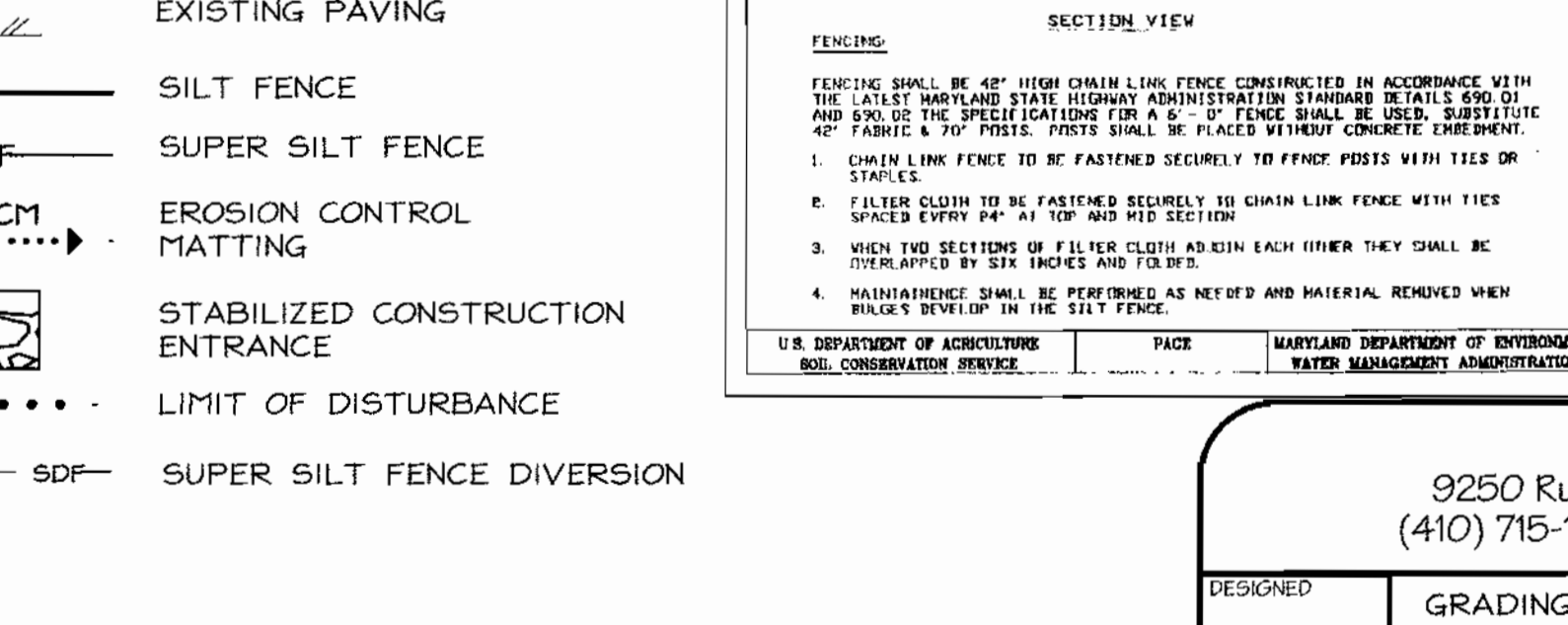
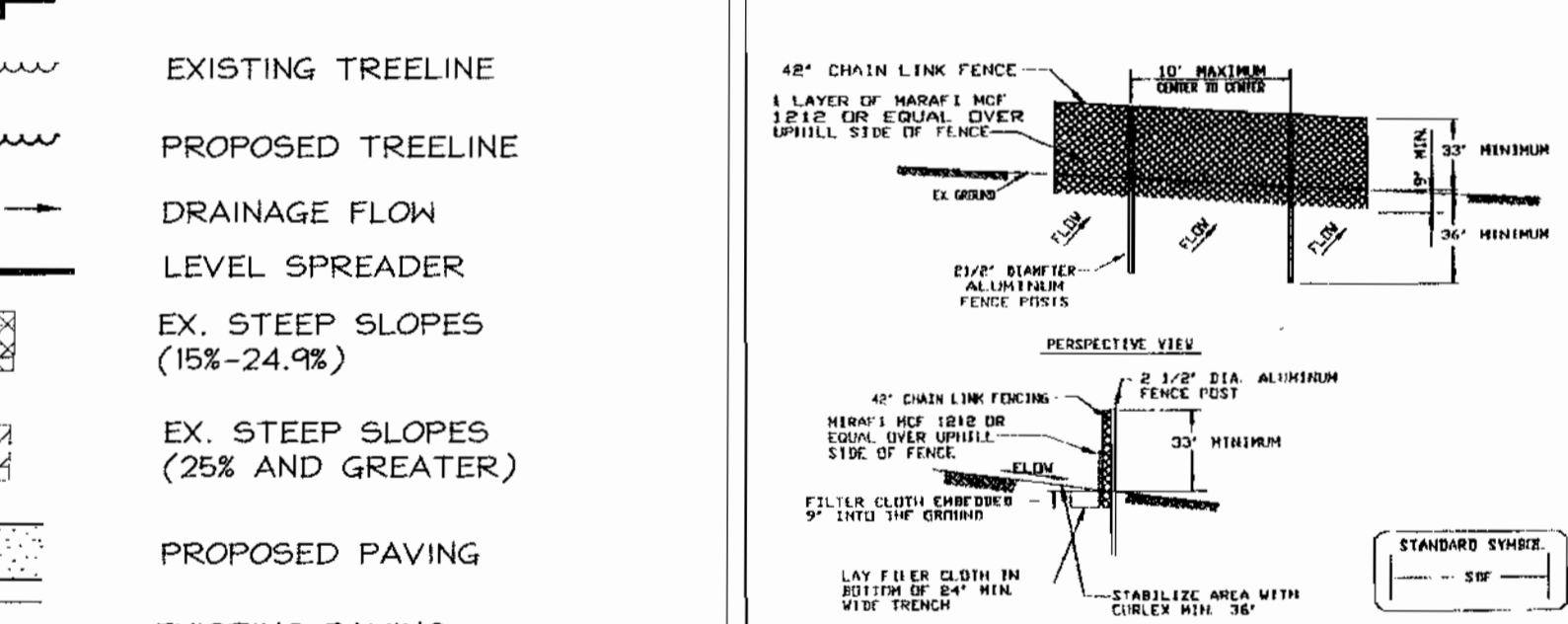
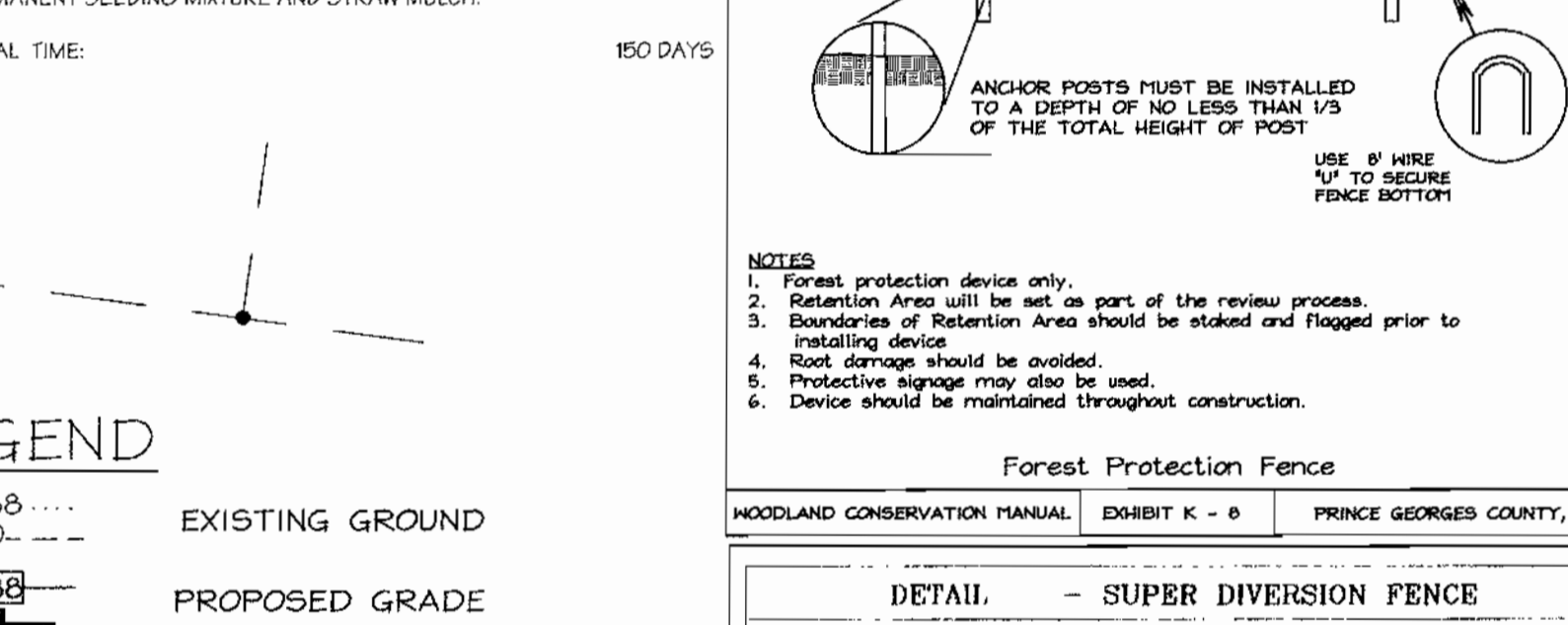
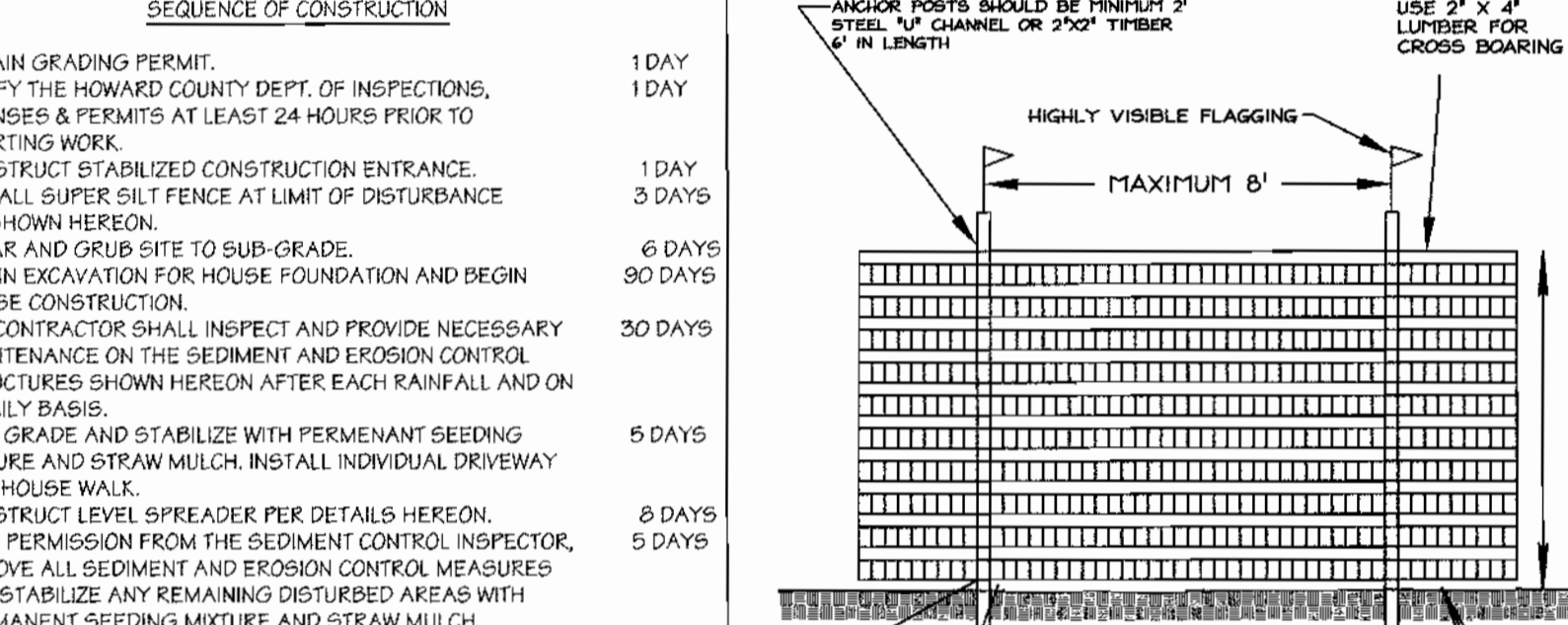
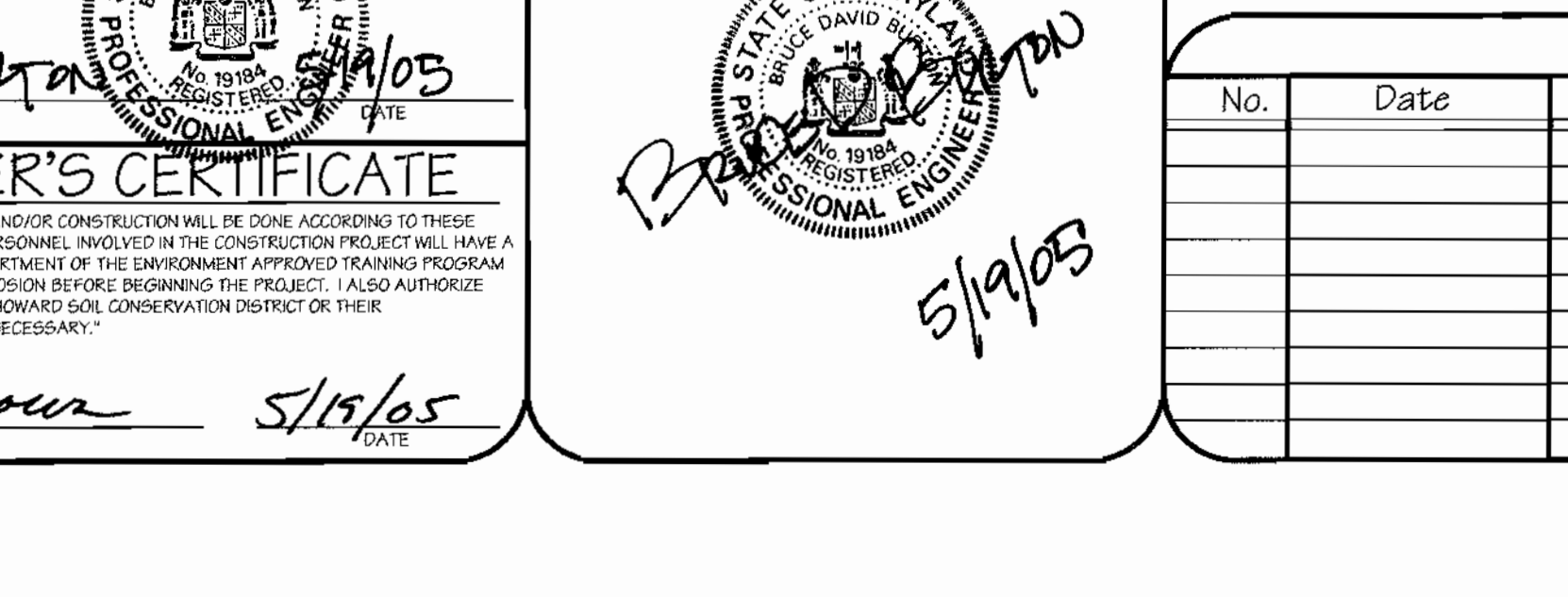
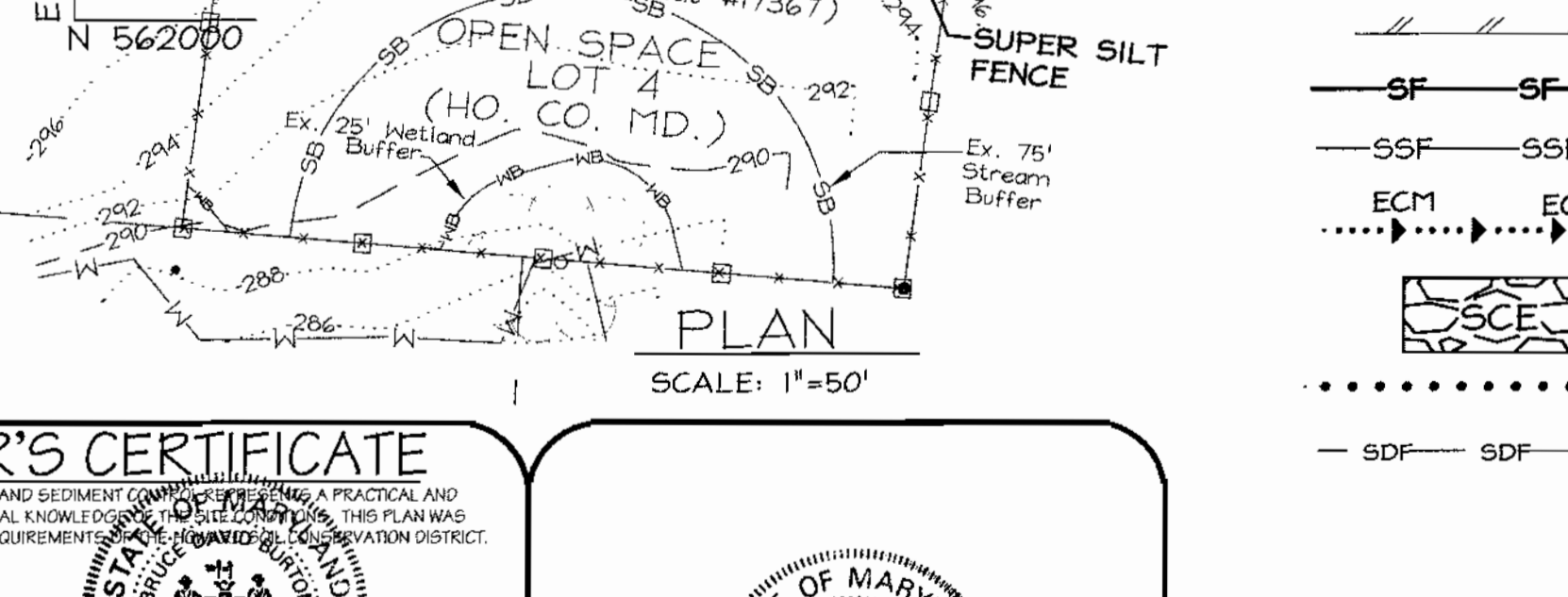
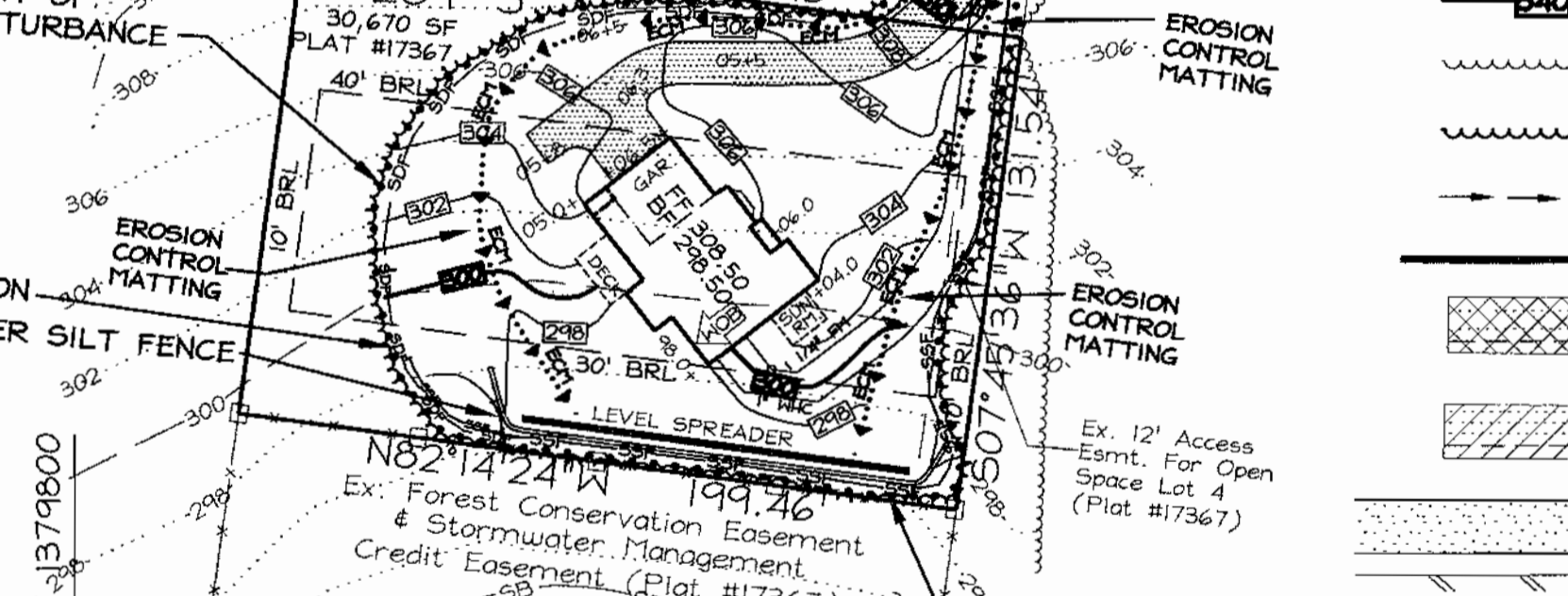
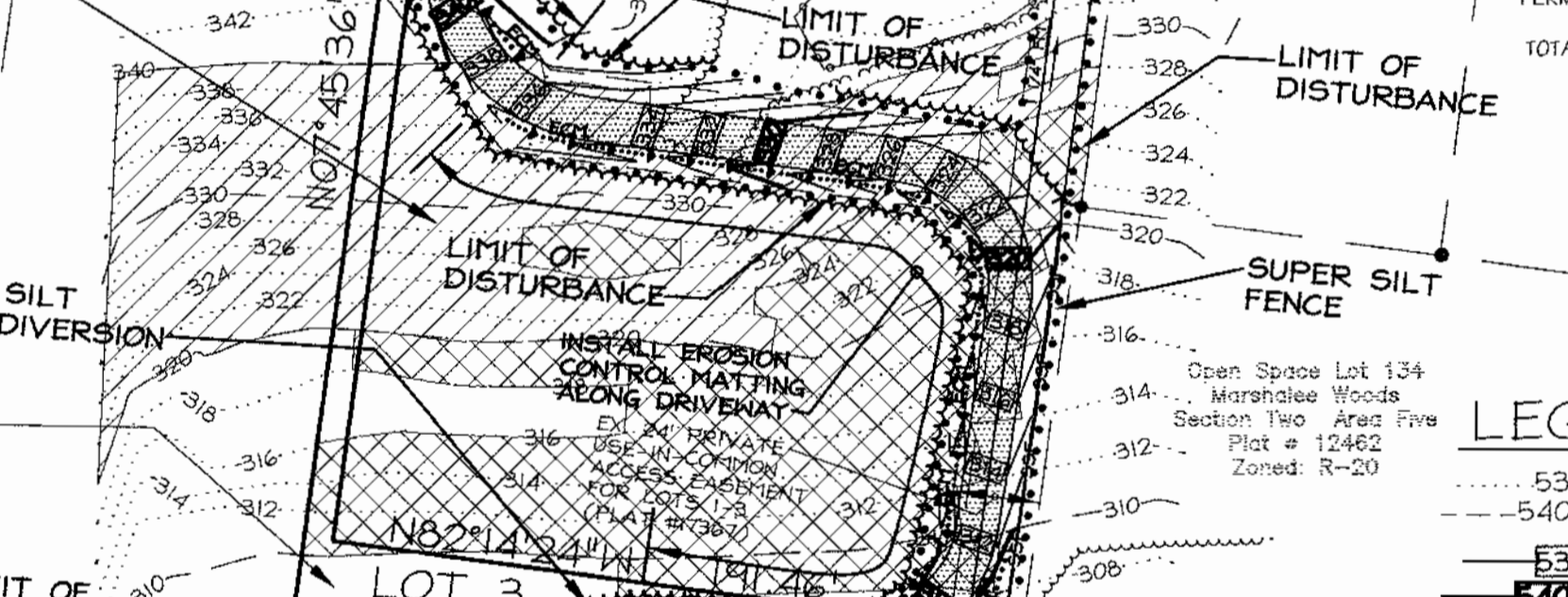
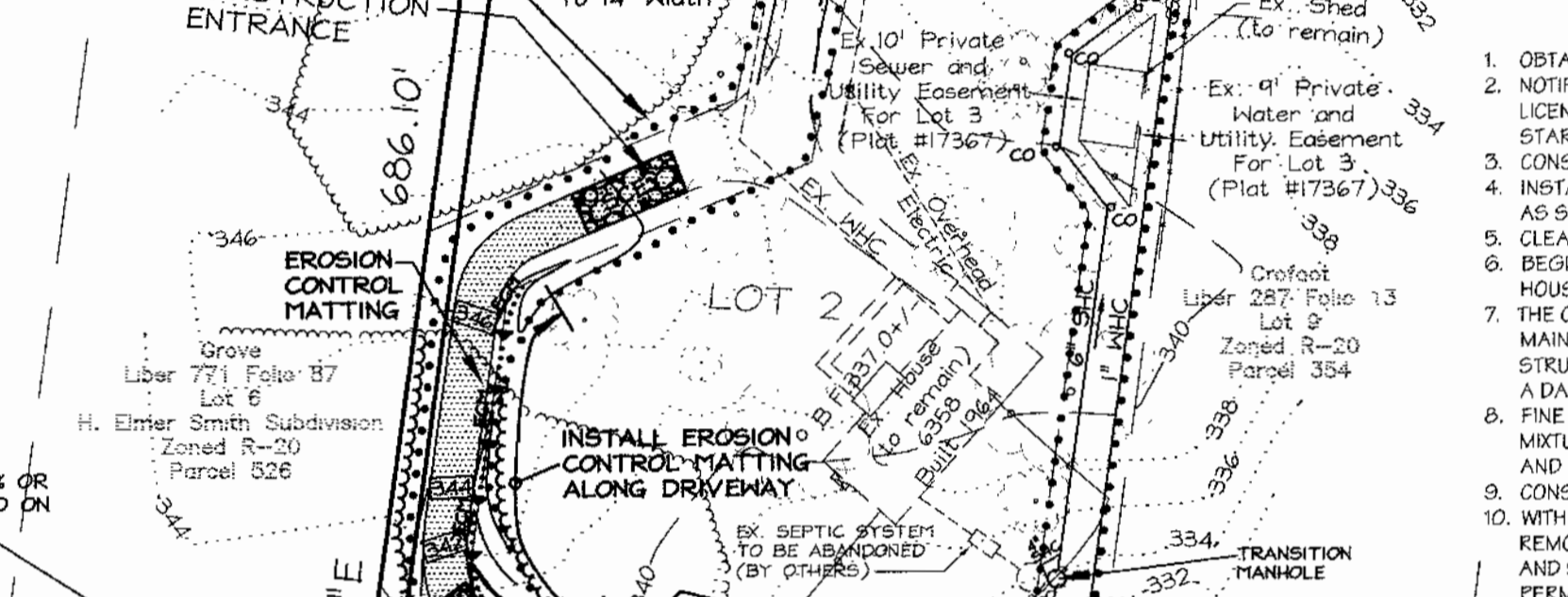
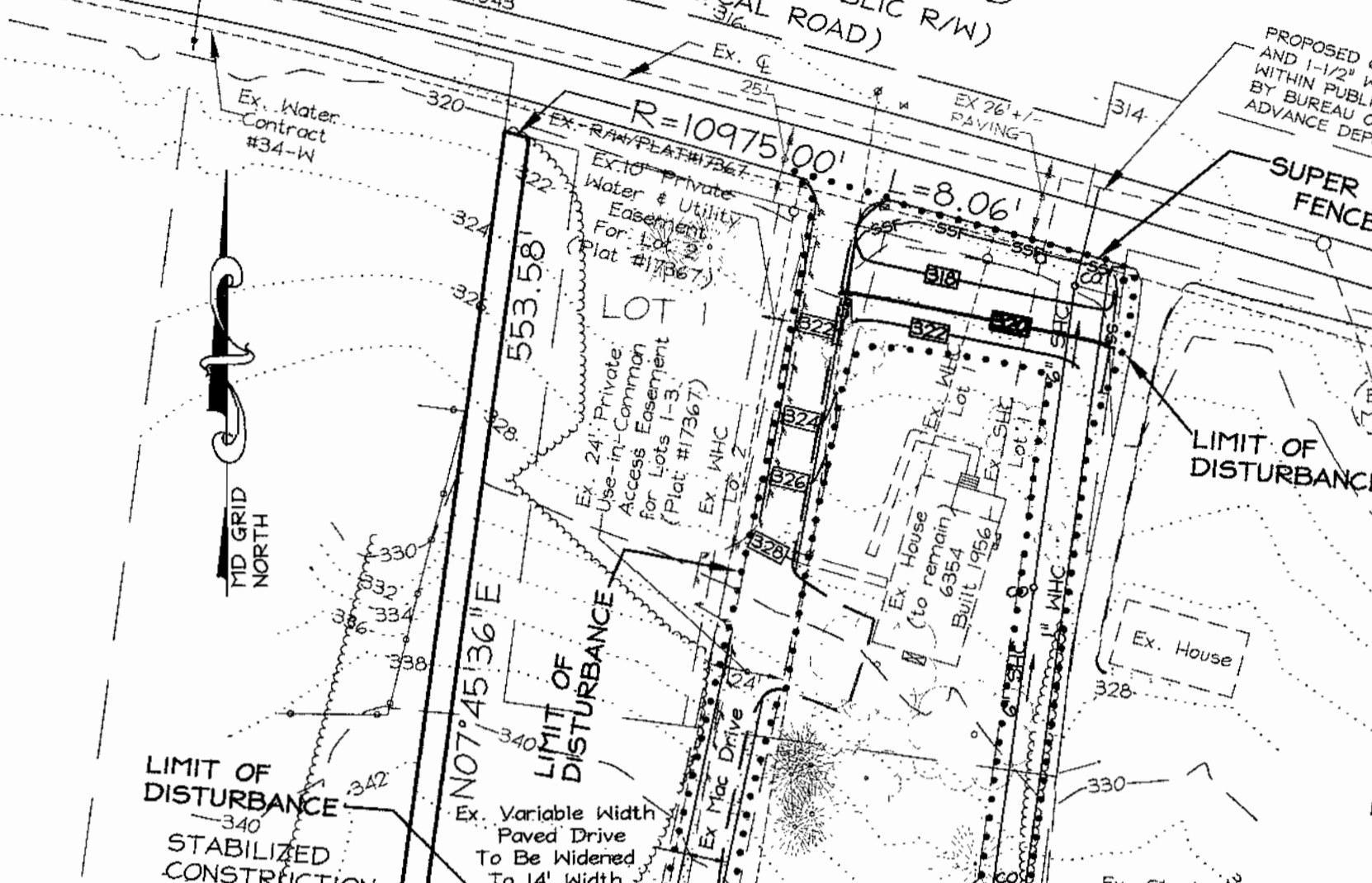
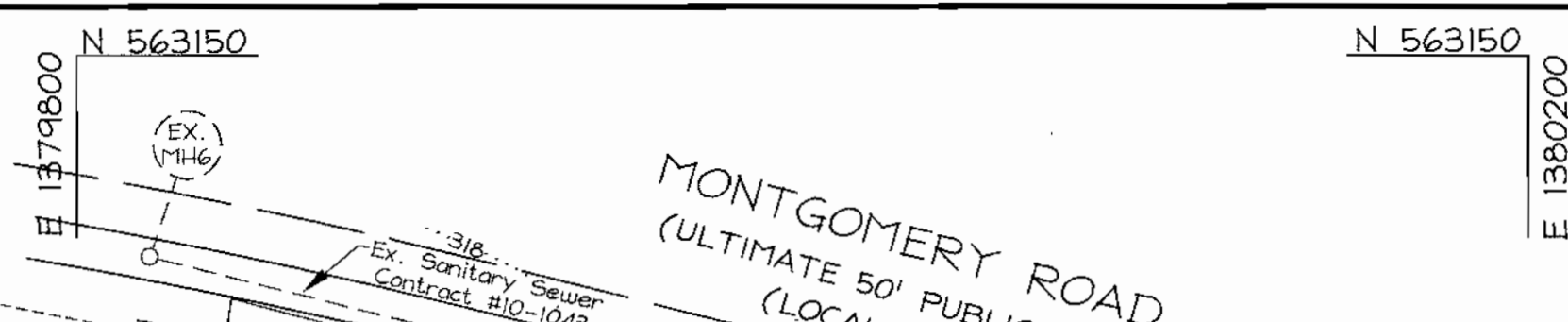
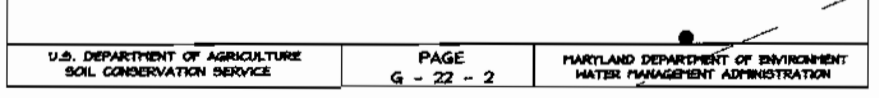
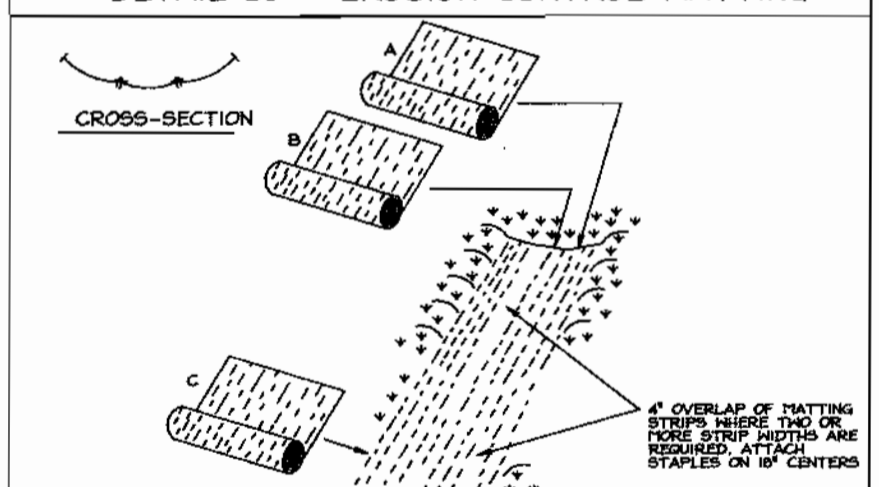
EROSION CONTROL MATTING

Construction Specifications

- 1. Key in the matting along the top edge of the matting in a narrow trench. In an open trench, the trench and camp firmly to the matting along the top edge of the matting. Spacing between staples is 6" about 4" down slope from the trench.
- 2. Staple the 4" overlap in the channel center using an 18" spacing between staples.
- 3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- 4. Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 centering rows down the center.
- 5. Where one roll of matting ends and another begins, the end of the top strip shall be stapled to the upper edge of the lower strip 2 staples apart. Staple the strip with a double row of staples along the 4" overlap in a staggered pattern on either side.
- 6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed in.

DETAIL 30 - EROSION CONTROL MATTING



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

6/6/05 DATE

6/6/05 DATE

6/6/05 DATE

6/6/05 DATE

6/6/05 DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

ENGINEER'S CERTIFICATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

DEVELOPER'S CERTIFICATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

REVISIONS

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

LDE, INC.

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

6/1/05 DATE

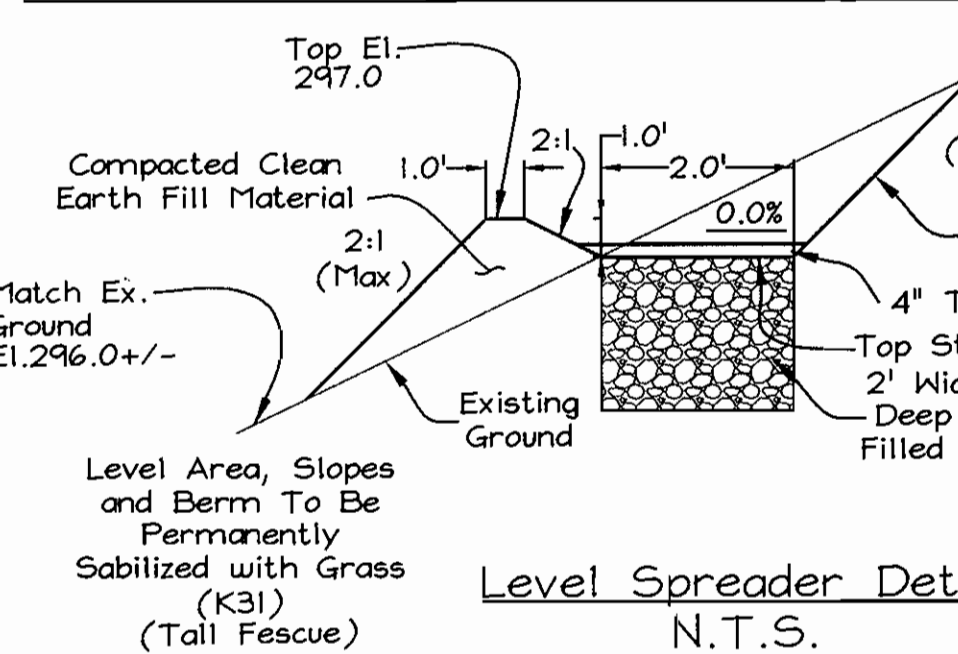
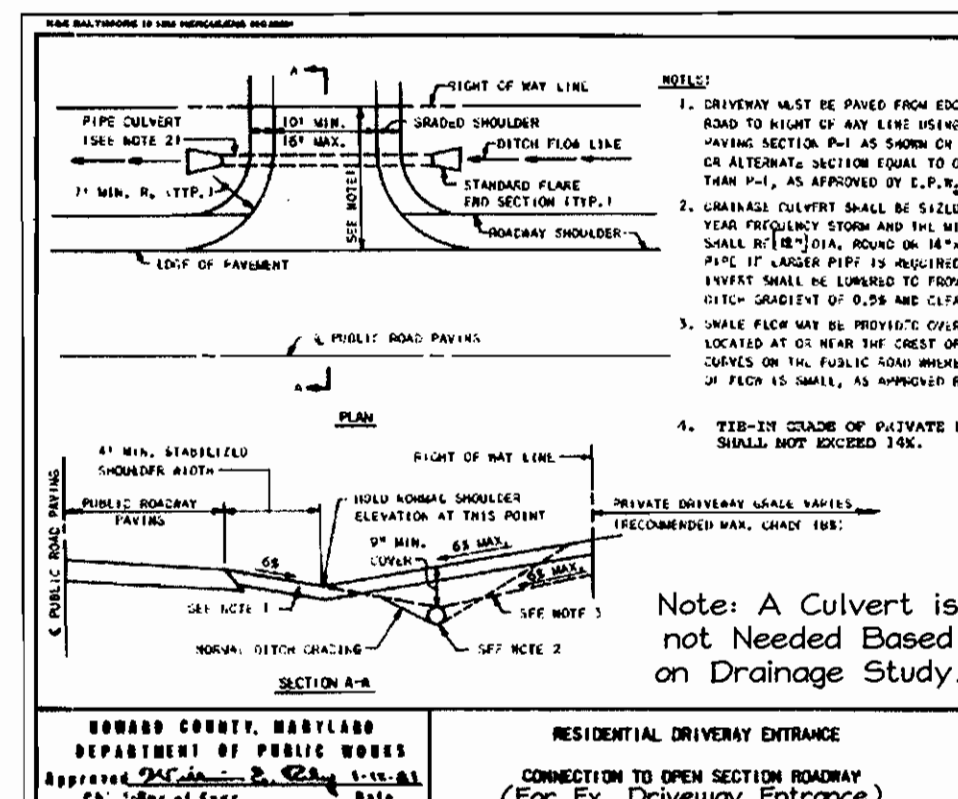
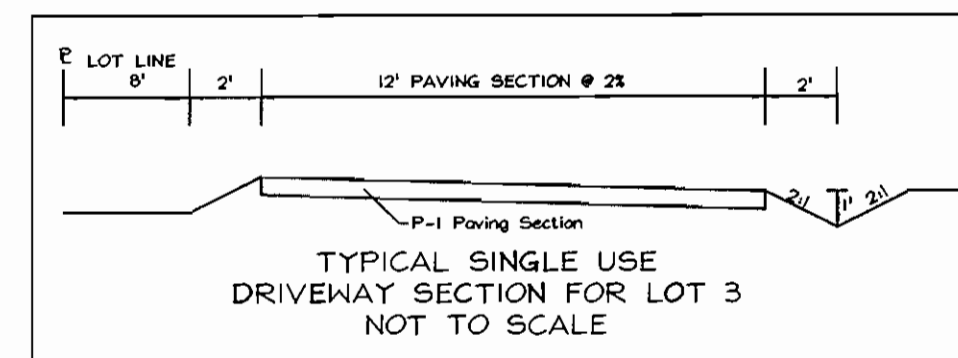
6/1/05 DATE

SDP 05 - 089

SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Linear Feet of Roadway Frontage/Perimeter	N/A	1236'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	N/A	YES-974 L.F.
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N/A	NO
Number of Plants Required Shade Trees Evergreen Trees Shrubs	N/A	Using 262 L.F. 1:60=5 Shade 5 Shade
Number of Plants Provided Shade Trees Evergreen Trees Other Trees (2:1 substitution) Shrubs (10:1 substitution) (Describe plant substitution credits below if needed)		

Comments: # 1236 L.F. - 974 L.F. = 262 L.F. required perimeter to be planted.  
262 L.F. divided by 60 L.F. = 4.3 shade or 5 Shade

LANDSCAPE PERIMETER TABLE			
Perimeter No.	Perimeter Length	Buffer Type	Adjacent Land Use
1	600 L.F.	A	SFD
2	200 L.F.	A	SFD
3	236 L.F.	A	OPEN SPACE
Total	1236 L.F.		

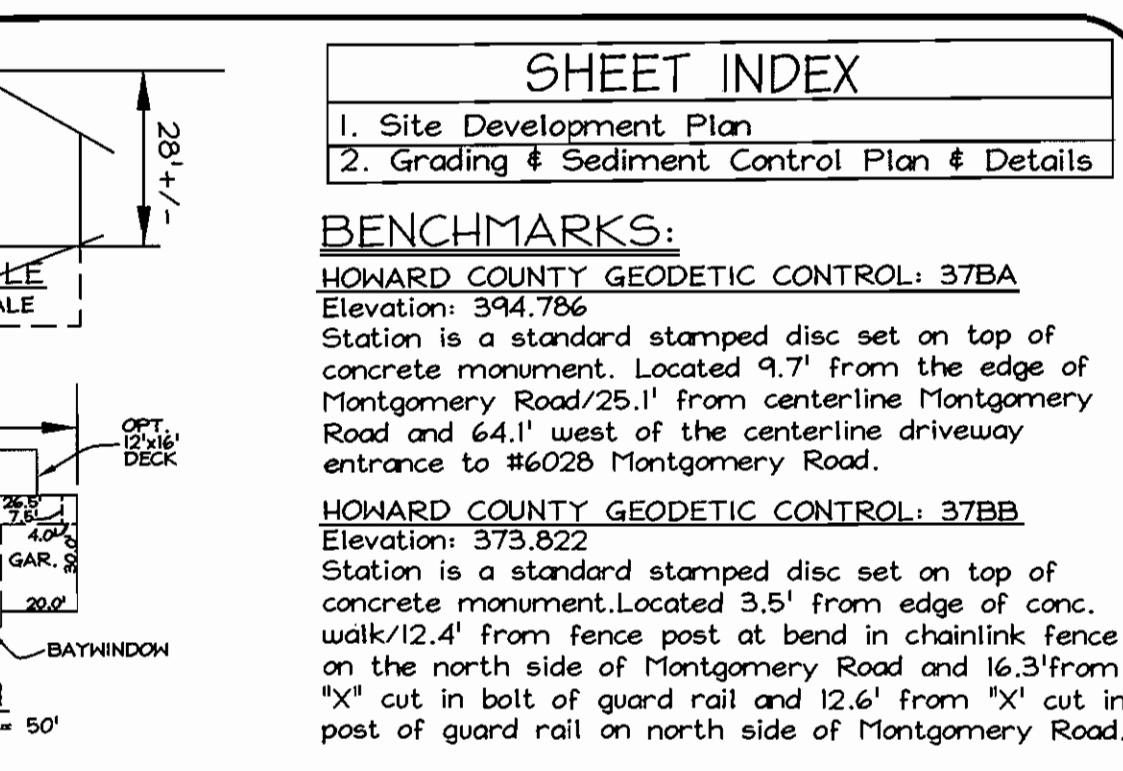
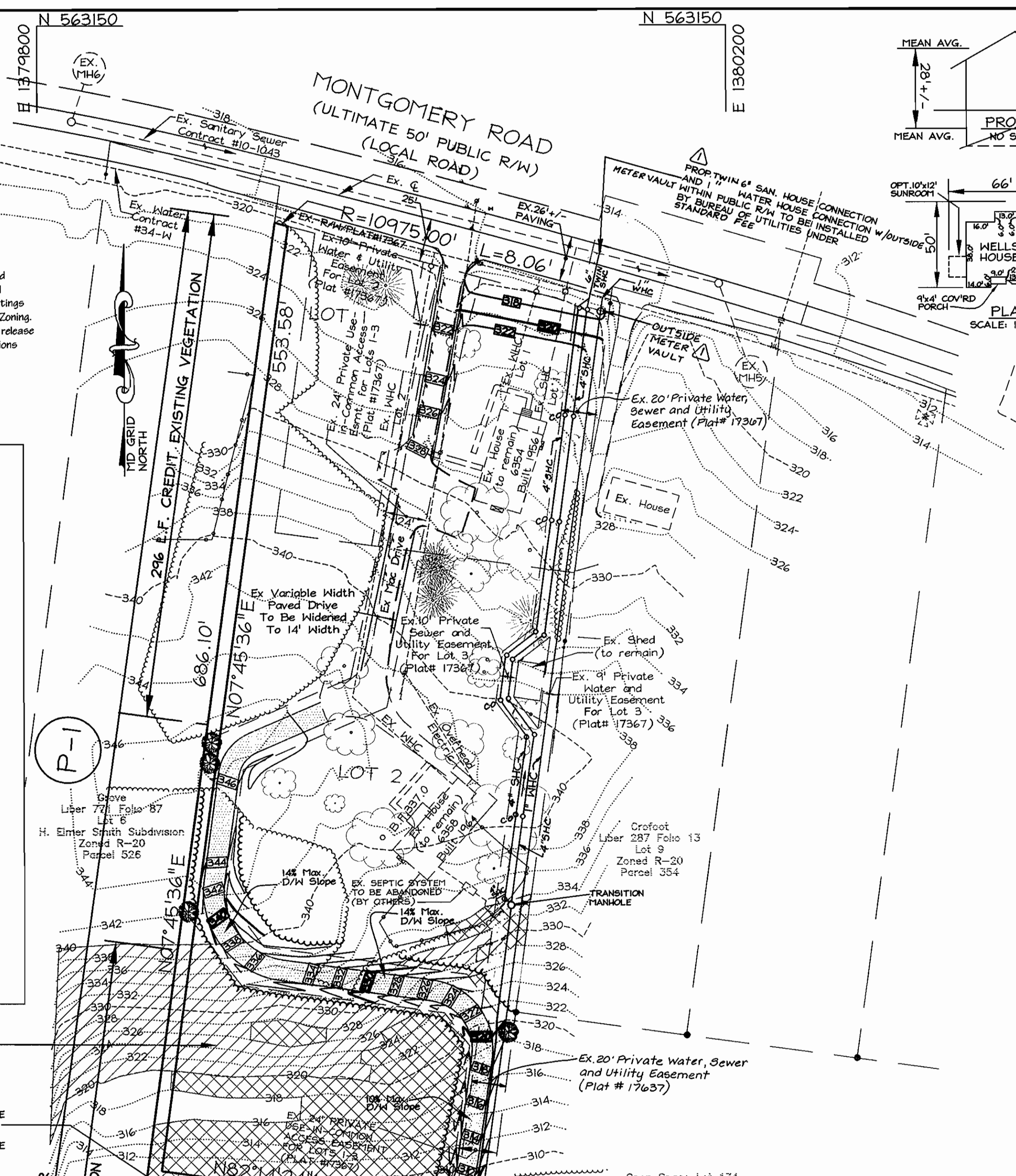
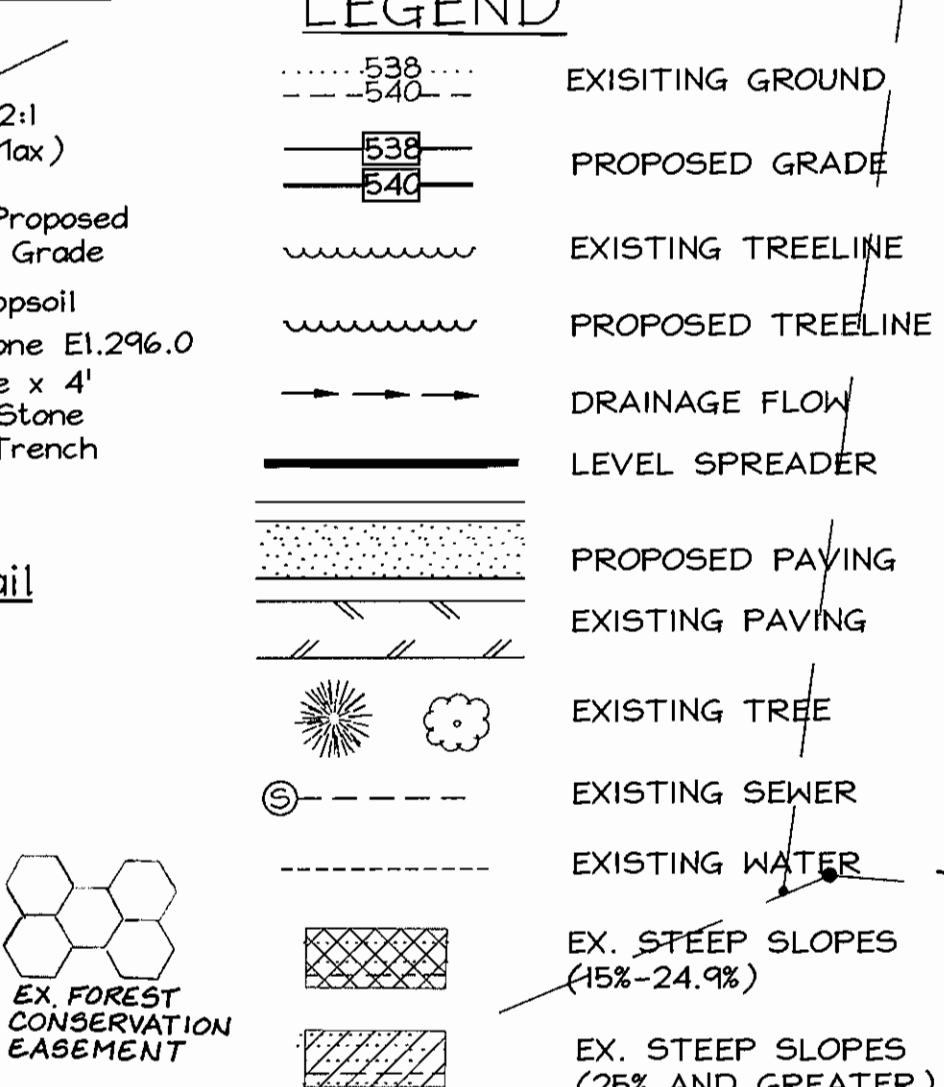
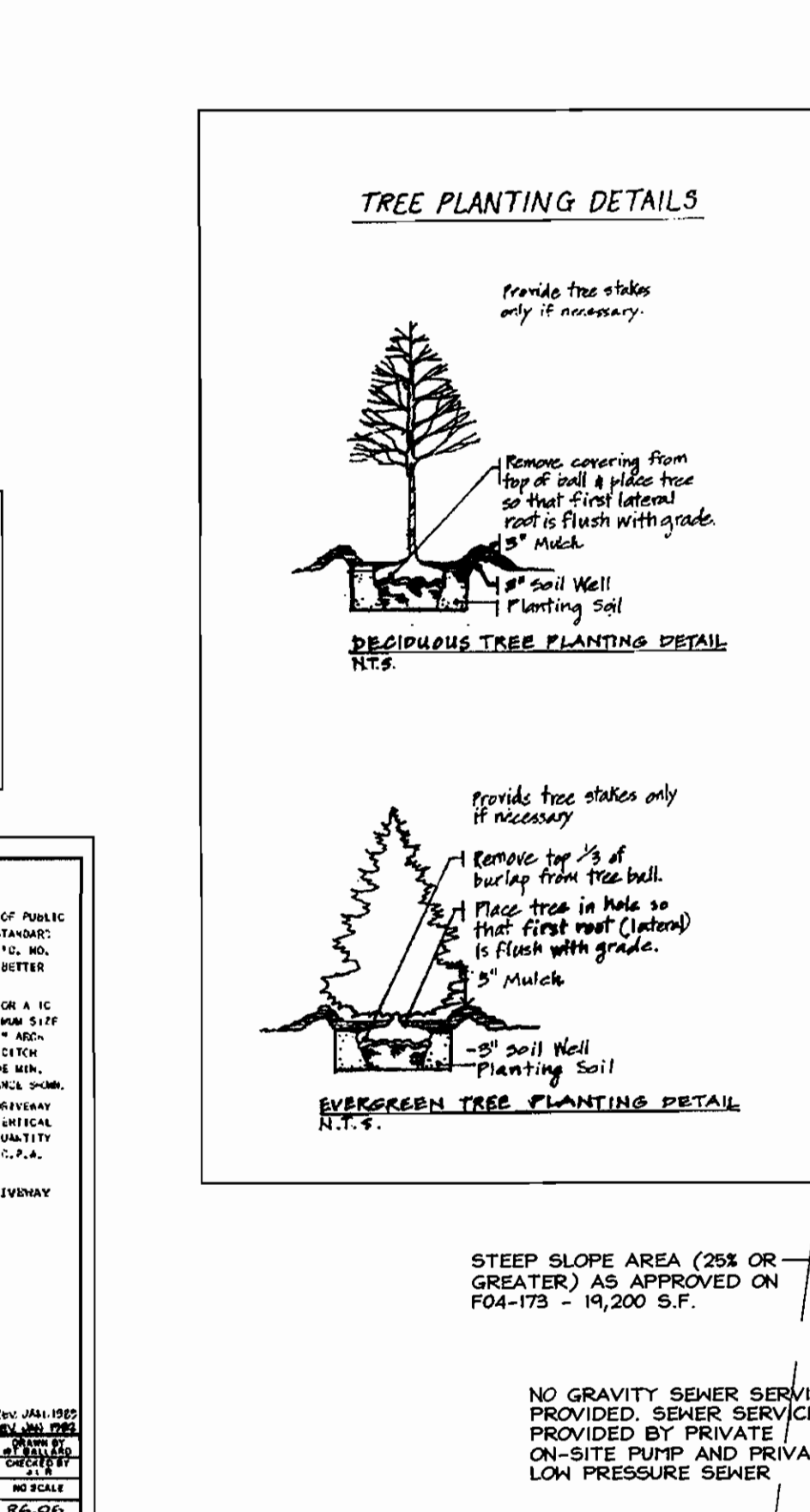


**DEVELOPER'S / BUILDER'S CERTIFICATION**  
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I further certify that upon completion a Letter of Landscape Installation, accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.

*Laverne Brown* 5/19/05  
SIGNATURE OF DEVELOPER / BUILDER

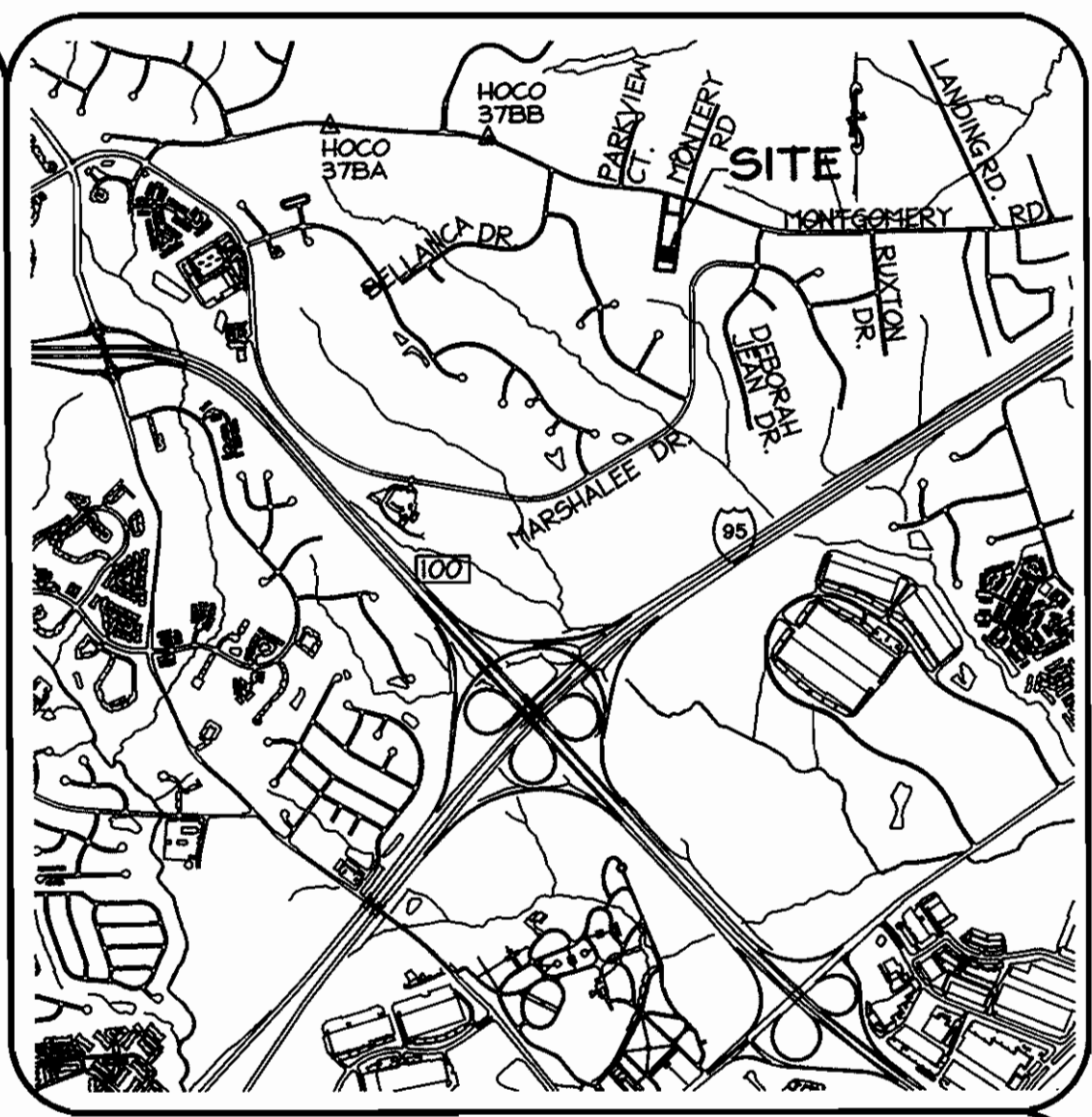
**LANDSCAPE NOTES:**

- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Howard County Landscape Manual.
- The Owner/Developer is responsible for planting of all material required to meet the standards established by the Howard County Landscape Manual.
- Financial Surety for the required landscaping will be posted with the builder's grading permit in the amount of \$150,000.
- The Owner, Tenant and/or their agents shall be responsible for maintenance of the required landscaping, plant materials, berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- All plant materials shall conform to the American Associated Nurserymen's publication, American nursery stock.
- No clearing of existing vegetation is permitted within the landscape edge for which credit is being taken; however, landscape maintenance is authorized.
- At the time of installation, all shrubs and other plantings herewith listed and approved for the site, shall be of the proper height requirements in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.



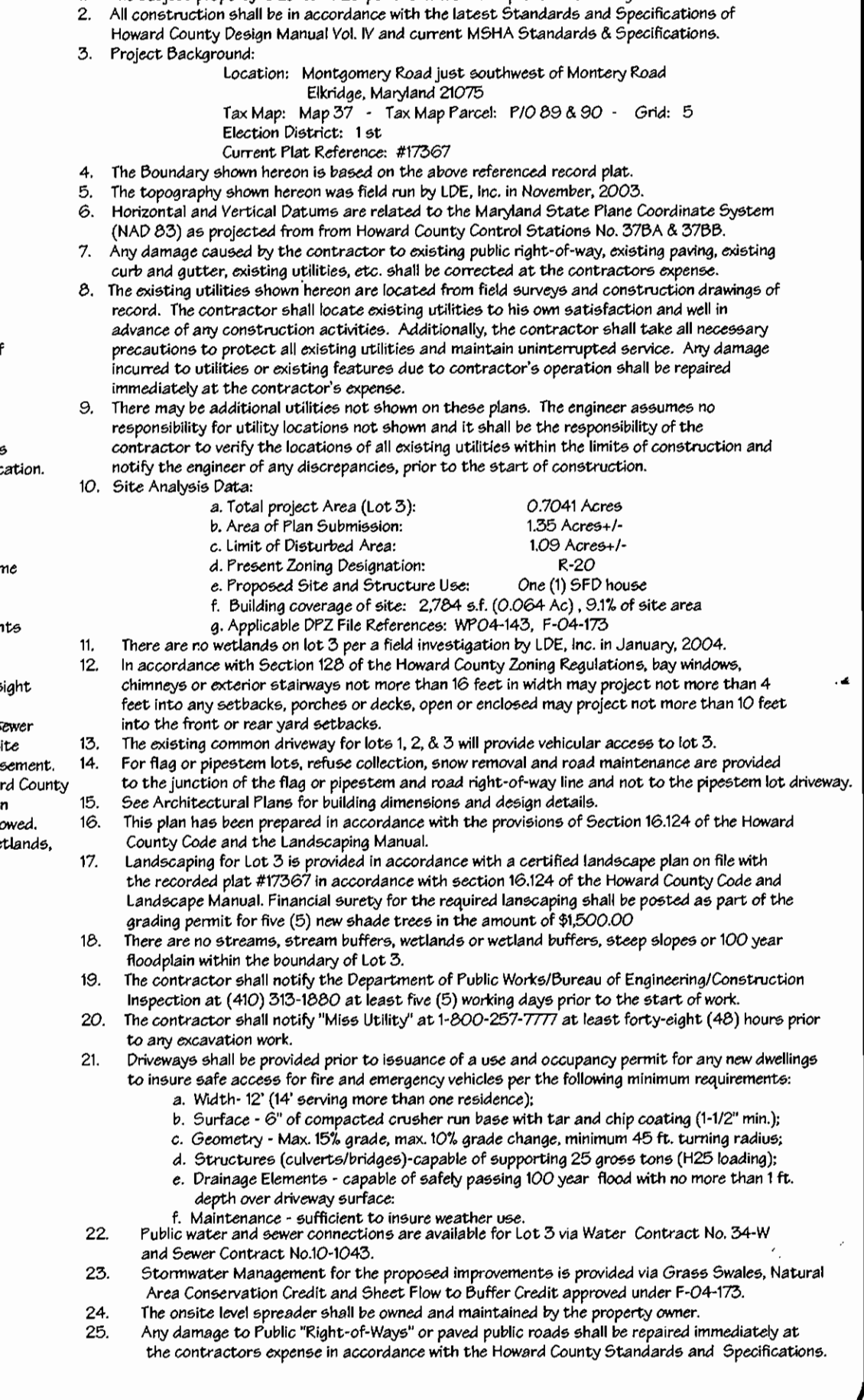
LANDSCAPE SCHEDULE					
SYMB.	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	REMARKS
(Symbol)	5	Red Maple	<i>Acer rubrum</i>	2'-2 1/2' Cal.	B # B

- All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by AASHTO T-150.
- Earthwork quantities shown on this plan are estimated and should not be used for bid purposes. Contractors should perform independent earthwork analysis for bid purposes. Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptable.
- The dimensional distances shown on this plan are scaled and dimensional distances on this plan are to be in feet.
- See this sheet for Landscaping Schedule 'A', Planting Detail, Landscape Notes and Landscape Perimeter Summary.
- A declaration of maintenance obligation for the use-in-common driveway has been recorded in Liber 9185 Folio 260.
- The protection of the retained landscape trees and vegetation used as landscape credit is the responsibility of the builder. If the builder removes the credited landscaping, the builder is responsible for replacement in accordance with the Howard County Landscape Manual.
- The Forest Conservation obligation for this project is 127 acres which will be satisfied with a provided 0.50 acre of retention on open space lot 4 and payment of a fee-in-lieu for providing the remaining 0.77 acre in the amount of \$167,000 (under F04-173).
- This subdivision plan is subject to the amended Fifth Edition of the Subdivision and Land Development Regulations per Council Bill No. 45-2003 and the Zoning Regulations as amended under Council Bill #75-2003 effective October 2nd, 2003. Development or construction of Lot 3 must comply with setback and buffer regulations in effect at the time of submission of the site development plan, waiver petition application, or building permit application.
- This plan is subject to WP-04-143, On June 21, 2004, the Planning Director approved WP04-143 to waive Section 16.120(c)(2) which required single family detached dwellings to have minimum lot frontages on approved streets within a public right-of-way which coincides with access to the property. Approval conditioned on upgrading existing driveway to common driveway standards.
- The existing septic system on lot 2 shall be abandoned in accordance with Health Department procedures at the time public sewer is available. Interim individual on-site sewage disposal systems may be utilized in the subdivision for a maximum of one year after an adequate community sewer becomes available.
- The establishment of lot 3 per plat # 17367 is approved as a "Single Lot Family Exemption" of the APFO requirements in accordance with Section 16.107 (b)(1)(iv) of the Howard County Code.
- On 11/30/04 the Chief of the Development Engineering Division approved a Design Manual Waiver request to allow stopping sight distance to be used for the existing driveway intersection with Montgomery Road. The intersection sight distance requirement was waived.
- On 12/10/04 the Chief of the Bureau of Engineering approved a Design Manual Waiver requesting a waiver of gravity sewer service to Lot 3, the use of a private water and sewer easement to serve Lot 2 and Lot 3, the use of a private on-site pump and private low pressure sewer to serve Lot 3 and allow gravity sewer service to Lot 2 through the private easement. The Forest Conservation Easement has been established to fulfill the requirements of Section 16.120 of the Howard County Code and Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement; however, Forest Management Practices as defined in the Deed of Forest Conservation Easement are allowed.
- No grading, removal of vegetation or trees or placement of new structures is permitted within the limits of wetlands, streams, or buffers and forest conservation easement areas.



**GENERAL NOTES:**

- The subject property is zoned R-20 per the 2/2/04 Comprehensive Zoning Plan.
- All construction shall be in accordance with the latest Standards and Specifications of Howard County Design Manual Vol. IV and current MSHA Standards & Specifications.
- Project Location: Montgomery Road just southwest of Monterey Road Elkhairs, Maryland 21075. Tax Map: Map 37 - Tax Map Parcel: P10 B9 & 90 - Grid: 5 Election District: 1st Current Plat Reference: #17367
- The Boundary shown hereon is based on the above referenced record plat.
- The topography and vertical datums are related to the Maryland State Coordinate System (NAD 83) as projected from Howard County Control Stations No. 078A & 078B.
- Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- The existing utilities shown hereon are located from field surveys and construction drawings of record. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.
- There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities with the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.
- Site Analysis Data:
  - Total project Area (Lot 3): 0.7041 Acres
  - Area of Plan Submission: 1.326 Acres +/-
  - Area of Disturbed Area: 1.09 Acres +/-
  - Present Zoning Designation: R-20
  - Proposed Site and Structures Use: One (1) SFD house
  - Building coverage of site: 2784 s.f. (0.064 AC), 0.31% of site area
  - Applicable DPZ File Reference: WP04-143, F-04-173
- There are no wetlands on Lot 3 per a field investigation by LDE, Inc. in January, 2004.
- In accordance with Section 16.124 of the Howard County Zoning Regulations, lay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches or decks, open or enclosed may project not more than 10 feet into the front or rear yard setbacks.
- The existing common driveway for lots 1, 2 & 3 shall provide vehicular access to lot 3.
- For flag or pipeline lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipeline and road right-of-way by the property owner.
- See Architectural Plans for building dimensions and design details.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
- Landscaping for Lot 3 is provided in accordance with section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping shall be posted as part of the grading permit for five (5) new shade trees in the amount of \$150,000.
- There are no streams, stream buffers, wetlands or wetland buffers, steep slopes or 100 year floodplain within the boundary of Lot 3.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1800 at least five (5) working days prior to the start of work. The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
- Drainways shall be provided prior to issuance of a use and occupancy permit for any new dwellings to insure safe access for fire and emergency vehicles per the following minimum requirements:
  - Width - 12' (14' serving more than one residence);
  - Surface - 6" of compacted crushed run limestone with tar and chip coating (14:1 mix);
  - Geometry - max. 15% grade, max. 10% grade change, minimum 45 ft. turning radius;
  - Structures (culverts/bridges)-capable of supporting 25 gross tons (125 loading);
  - Drainage Elements - capable of safely passing 100 year flood with no more than 1 ft. depth over driveway surface;
  - Maintenance - sufficient to insure weather use.
- Public water and sewer connections are available for Lot 3 via Water Contract No. 34-W and Sewer Contract No. 104-143.
- Stormwater Management for the proposed improvements is provided via Grass Swales, Natural Area Conservation Credits and Sheet Flow to Buffer Credits approved under F-04-173.
- The onsite level spreader shall be owned and maintained by the property owner.
- Any damage to Public Right-of-Way or paved public roads shall be repaired immediately at the contractor's expense in accordance with the Howard County Standards and Specifications.



**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**  
*June 24, 2005*  
DATE

**THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.**  
NATURAL RESOURCE CONSERVATION SERVICE  
DATE: *5/19/05*

**THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.**

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SUBDIVISION PLAN AND PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Bruce D. Burton* 5/19/05  
SIGNATURE OF ENGINEER

**DEVELOPER'S CERTIFICATE**  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*Laverne Brown* 5/19/05  
SIGNATURE OF DEVELOPER

**REVISIONS**

No.	Date	Description
1	5/19/05	Revise Water and Sewer Connection Service to Lot 2 and Lot 3.

**PRIVATE SEWER PROFILE/LOTS 2 & 3**  
SCALE: HORZ. 1"=100'  
VERT. 1"=10'

**LDE, INC.**  
9250 Rumsey Road, Suite 106, Columbia, MD. 21045  
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

**DESIGNED:** JMB  
**DRAWN:** KBW  
**CHECKED:** BDB  
**DATE:** 04/20/05

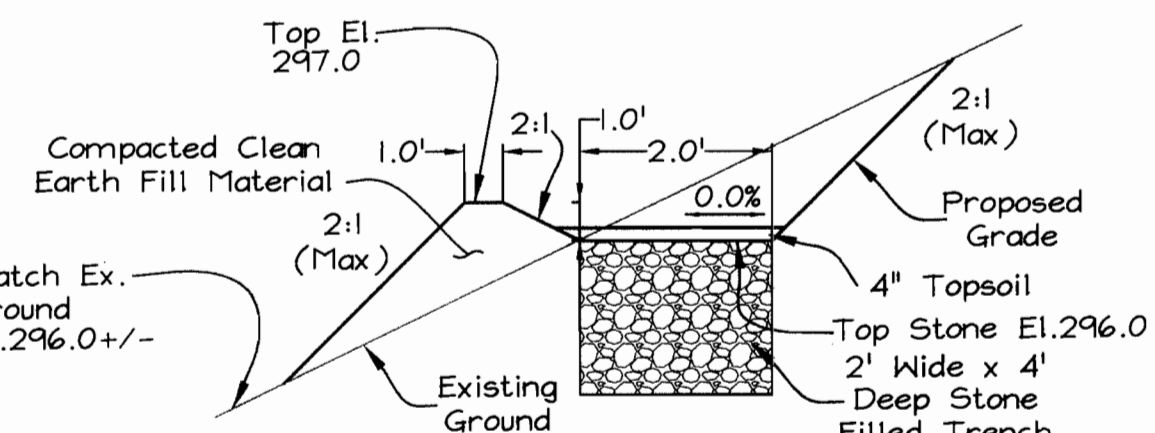
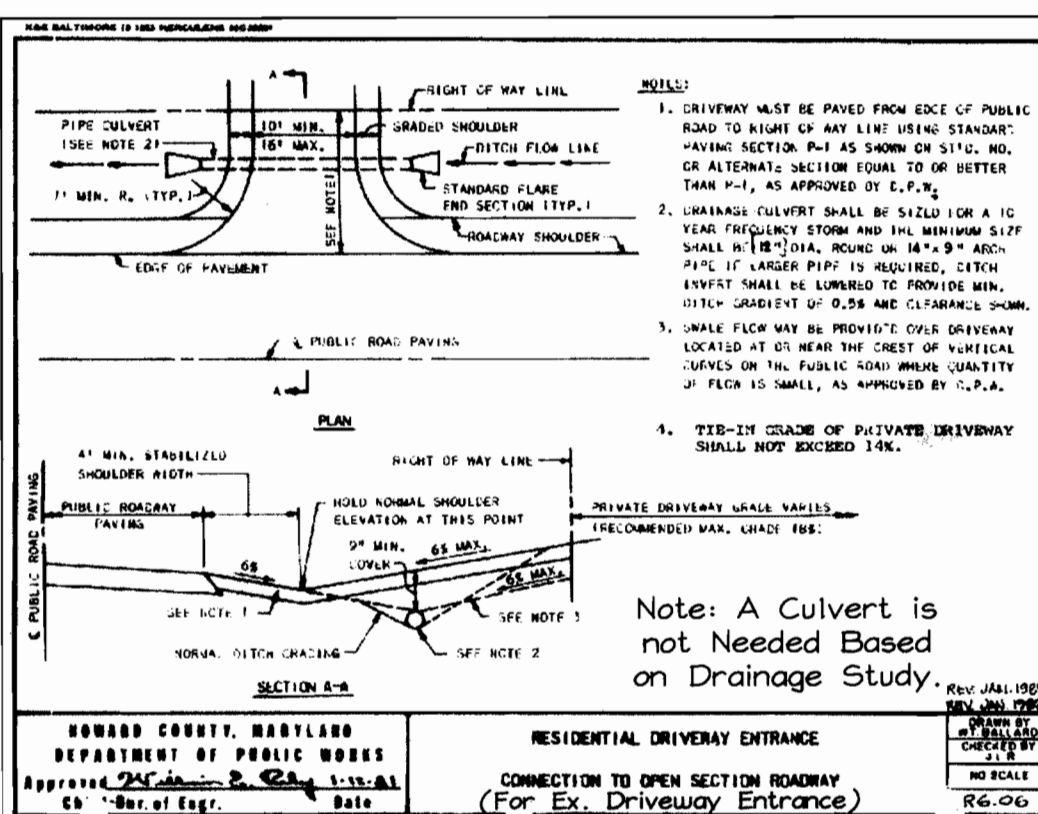
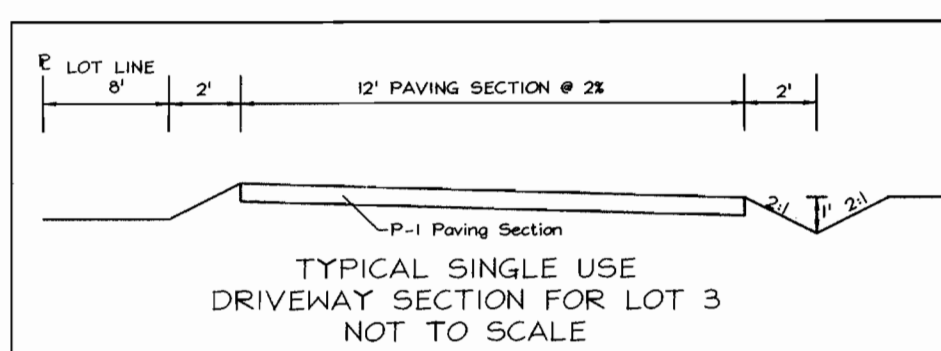
**SITE DEVELOPMENT PLAN**  
WALTER & LAVERNE BROWN PROPERTY  
LOT 3 & THE USE-IN-COMMON DRIVEWAY SERVING LOTS 1-3 & OPEN SPACE LOT 4  
PLAT #17367  
P10 PARCEL 89 & 90  
Tax Map No. 37, Grid No. 5  
1st Election District, Howard County, Maryland  
Previous Submittal: WP04-143, F04-173  
OWNER/DEVELOPER: RICHARD & KIMBERLY WELLS  
8812 Manahan Drive  
Ellicott City, Maryland 21043  
410-461-0789

SCALE: 1" = 50'  
DRAWING: 1 OF 2  
JOB NO: 03-037.3  
FILE NO: SDP05-089

Category	Adjacent to Roadways	Adjacent to Perimeter Properties
Landscape Type	N/A	A
Linear Feet of Roadway Frontage/Perimeter	N/A	1236'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	N/A	YES-974 L.F.
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N/A	NO
Number of Plants Required: Shade Trees Evergreen Trees Shrubs	N/A	Using 262 L.F. 160+5 Shade 5 Shade
Number of Plants Provided: Shade Trees Evergreen Trees Other Trees (21 substitution) Shrubs (011 substitution) (Describe plant substitution credits below if needed)		

Comments: \* 1236 L.F. - 974 L.F. = 262 L.F. required perimeter to be planted.  
262 L.F. divided by 60 L.F. = 4.3 shade or 5 Shade

Perimeter No	Perimeter Length	Buffer Type	Adjacent Land Use
1	800 L.F.	A	SFD
2	200 L.F.	A	SFD
3	236 L.F.	A	OPEN SPACE
Total	1236 L.F.		



**DEVELOPER'S / BUILDER'S CERTIFICATION**  
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I further certify that upon completion a Letter of Landscape Installation, accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.

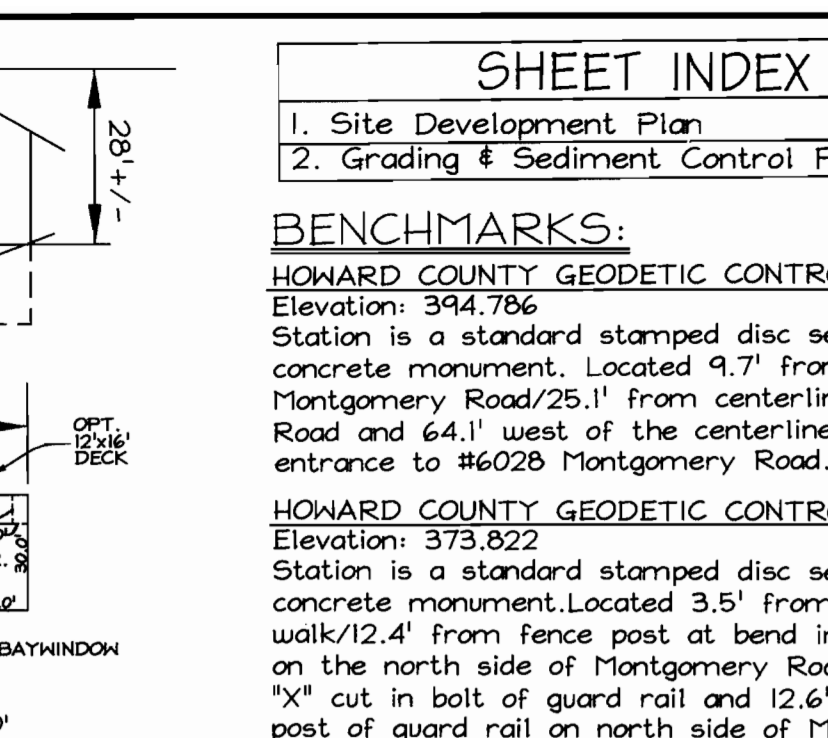
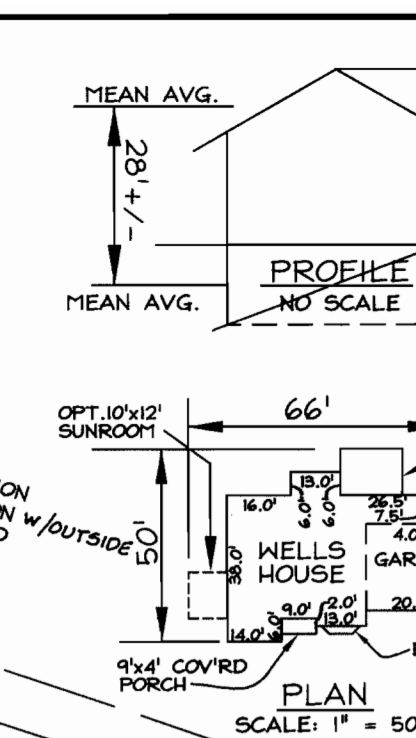
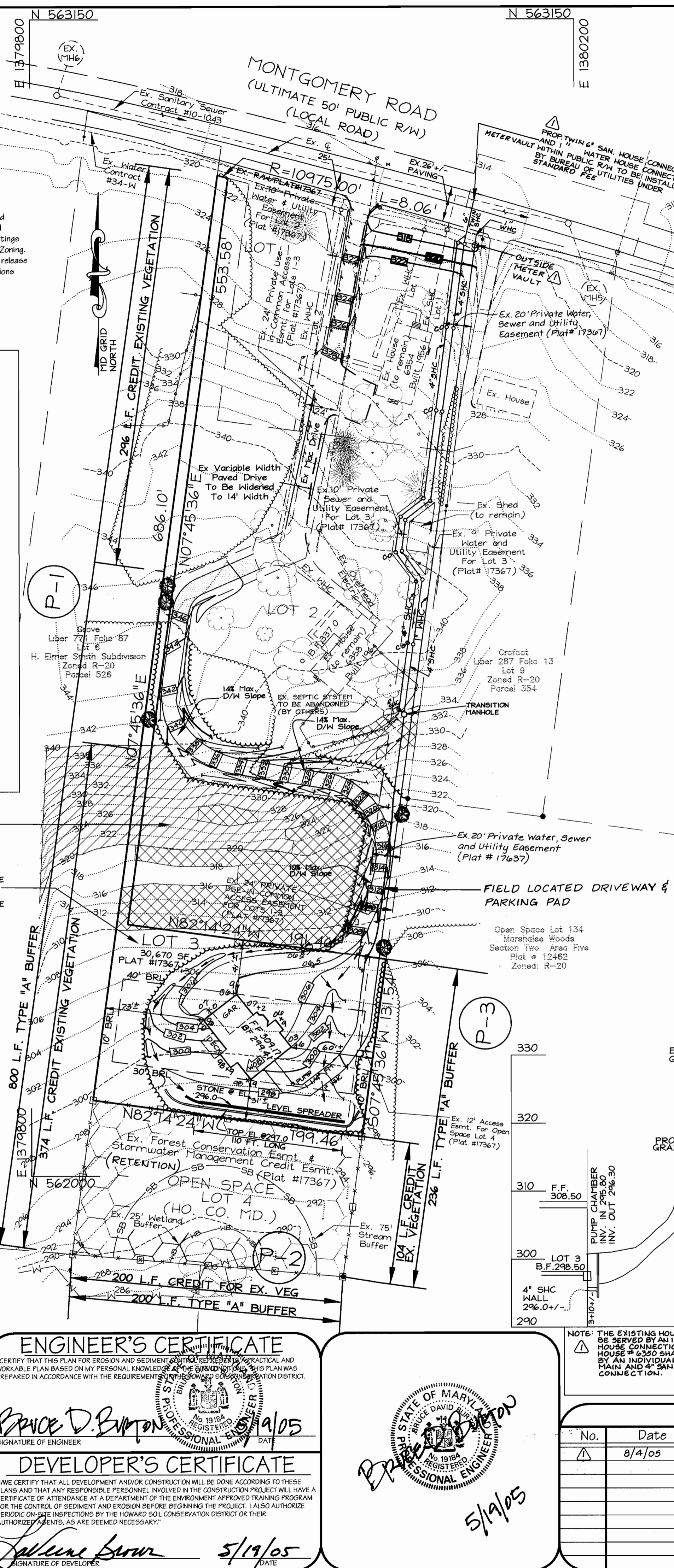
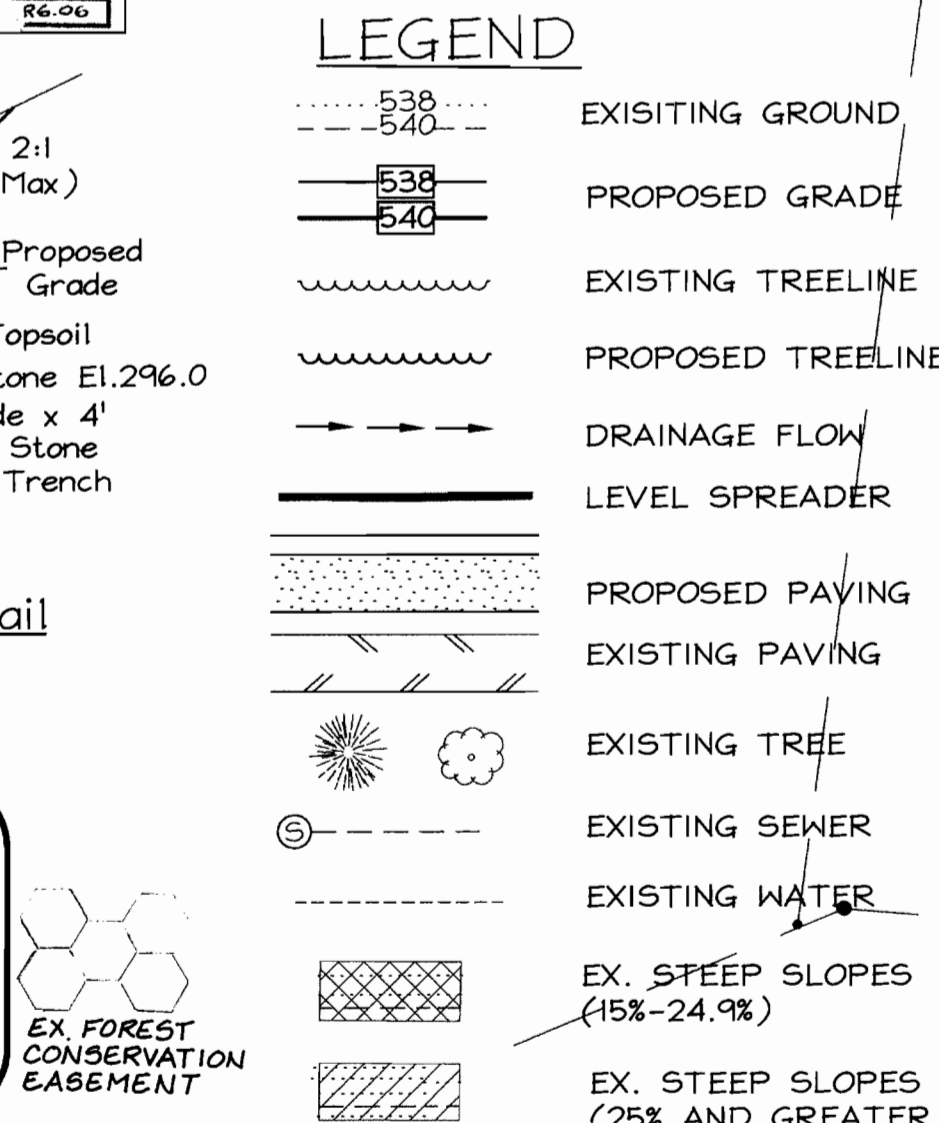
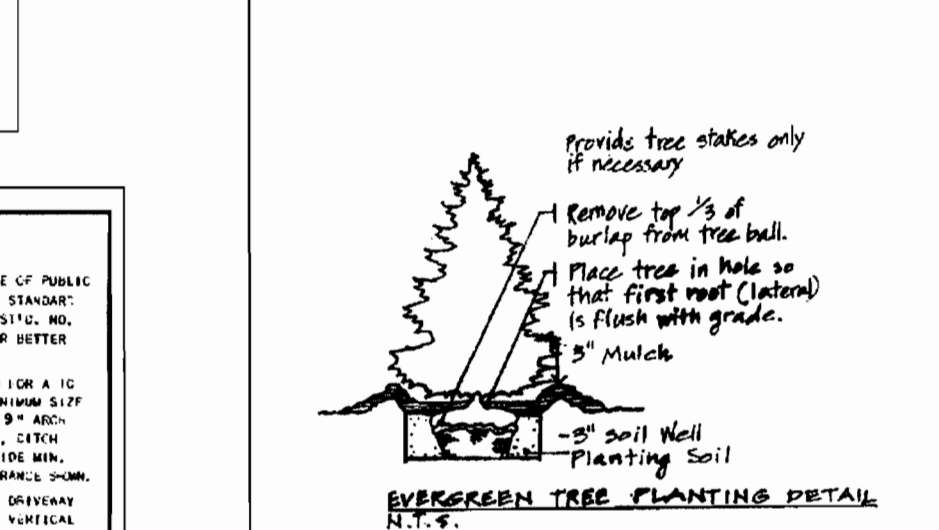
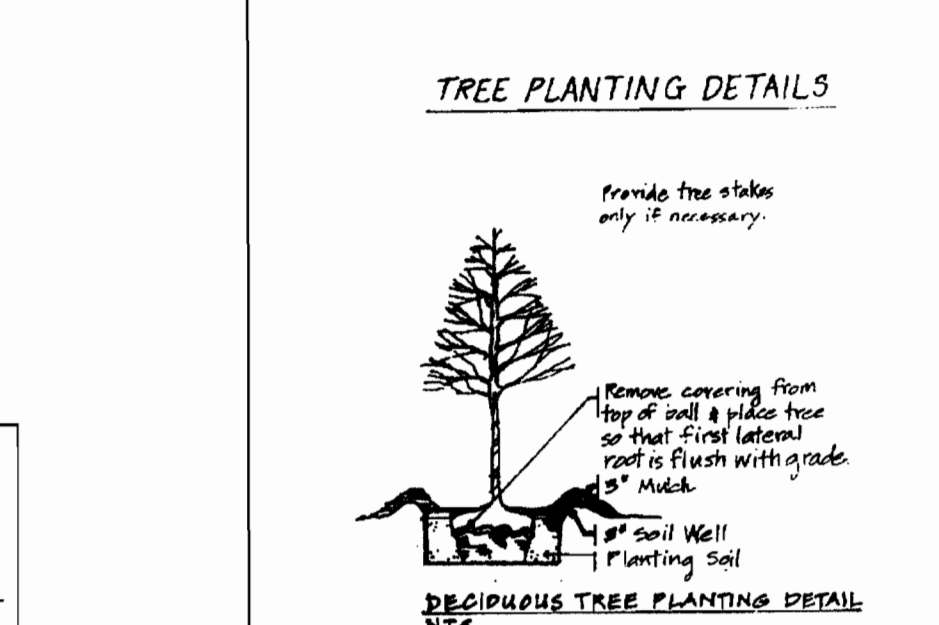
Signature: *Laverne Brown* 5/19/05  
SIGNATURE OF DEVELOPER / BUILDER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
Signature: *Marlene De Voe* 6/6/05  
DIRECTOR DATE

Signature: *Wendy Hamilton* 6/6/05  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

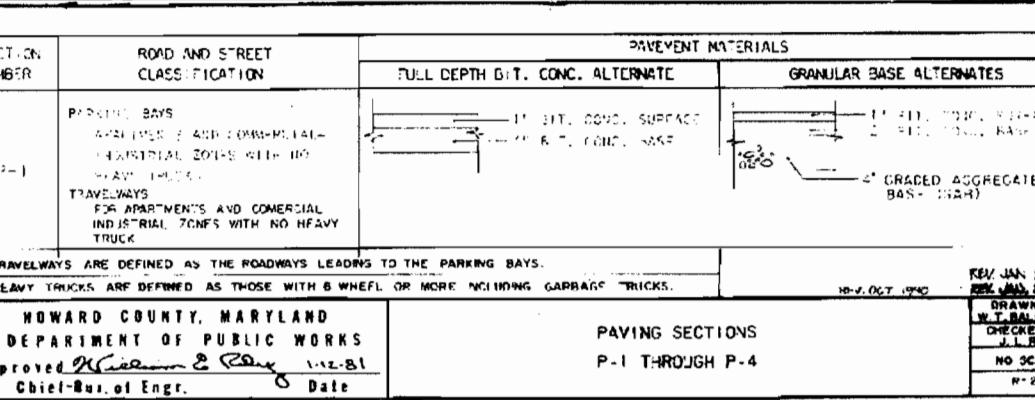
Signature: *Laverne Brown* 4/3/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

- LANDSCAPE NOTES:**
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Howard County Landscape Manual.
  - The Owner/Developer is responsible for planting of all material required to meet the standards established by the Howard County Landscape Manual.
  - Financial Surety for the required landscaping will be posted with the builder's grading permit in the amount of \$1500.00.
  - The Owner, Tenant and/or their agents shall be responsible for maintenance of the required landscaping, plant materials, berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
  - All plant materials shall conform to the American Associated Nurserymen's Publication, American nursery stock.
  - No clearing of existing vegetation is permitted within the landscape edge for which credit is being taken; however, landscape maintenance is authorized.
  - At the time of installation, all shrubs and other plantings herewith listed and approved for the site, shall be of the proper height requirements in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certifications.

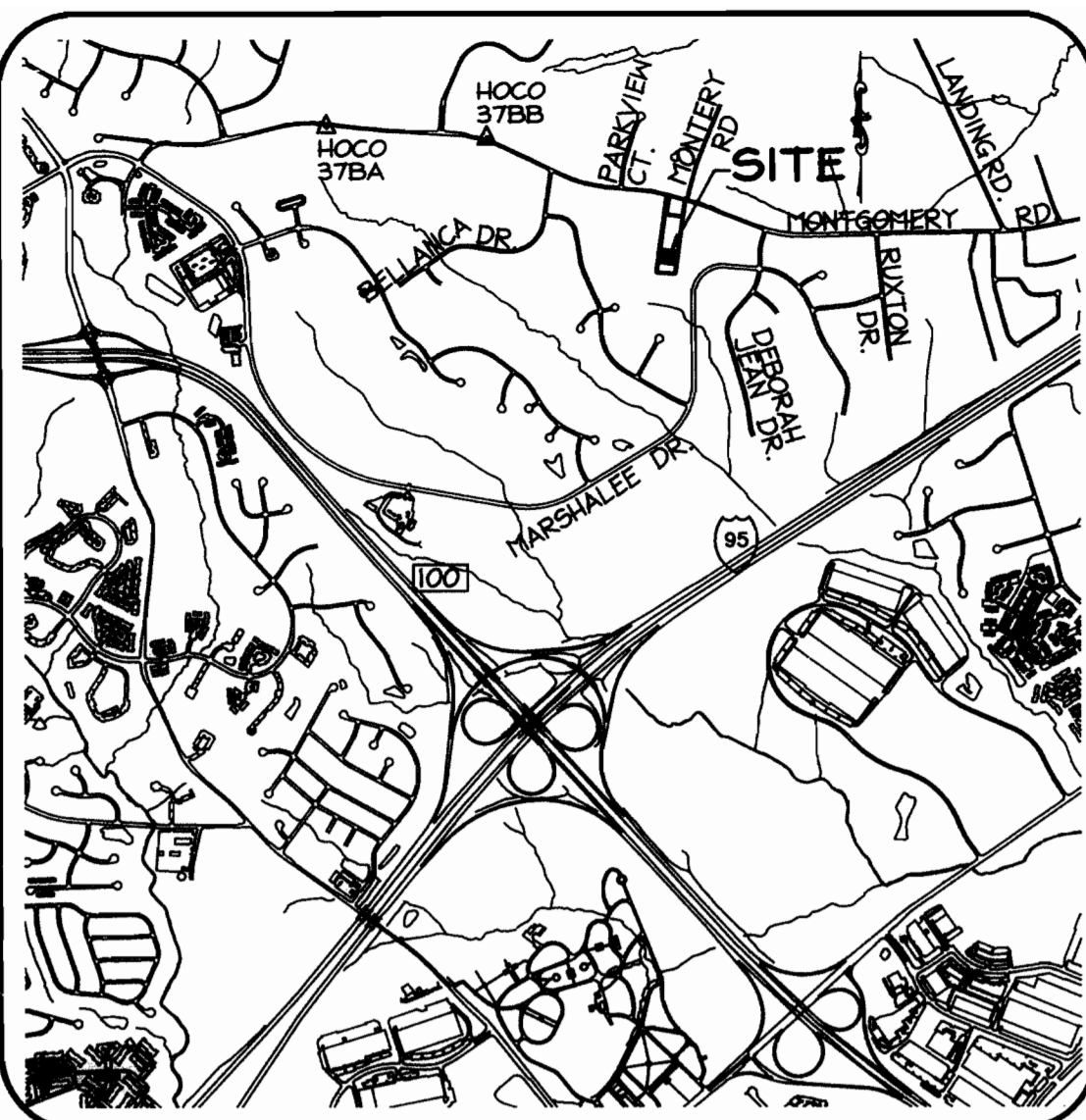


**LANDSCAPE SCHEDULE**

SYMB.	QUANTITY	COTTONE NAME	SCIENTIFIC NAME	SIZE	REMARKS
	5	Red Maple October Glory	Acer rubrum	2'-2 1/2' Cal.	B & B



- All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by AASHTO T-99.
- Earthwork quantities shown on this plan are estimated and should not be used for bid purposes. Contractors should perform independent earthwork analysis for bid purposes. Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptably.
- The dimensions shown on this plan are based on scaled and dimensioned drawings on this plan and are to be in disagreement.
- See this sheet for Landscaping Schedule 'A', Planting Detail, Landscape Notes and Landscape Perimeter Summary.
- A declaration of maintenance obligation for the use-in-common driveway has been recorded in Liber 916 Folio 250.
- The protection of the retained landscaped trees and vegetation used as landscape credit is the responsibility of the builder. If the builder removes the credited landscaping, the builder is responsible for replacement in accordance with the Howard County Landscape Manual.
- The Forest Conservation obligation for this project is 1.27 acres which will be satisfied with a provided 0.50 acre of retention on open space lot 4 and payment of a fee-in-lieu for providing the remaining 0.77 acres in the amount of \$10,770.00 (under F04-173).
- This subdivision plan is subject to the amended Fifth Edition of the Subdivision and Land Development Regulations per Council Bill No. 45-2003 and the Zoning Regulations as amended under Council Bill 875-2003 effective October 2nd, 2003. Development or construction of lot 3 must comply with setback and buffer regulations in effect at the time of submission of the site development plan, waiver petition application, or building permit application. This plan is subject to WFO-143. On June 2, 2004, the Planning Director approved WFO-143 to waive Section 16.122(c)(2) which required single family detached dwellings to have minimum lot frontages on approved streets with a public right-of-way which coincides with access to the property. Approved conditions to upgrading existing driveway to common driveway standards.
- The existing septic system on Lot 2 shall be abandoned in accordance with Health Department procedures at the time public sewer is available. Interim individual on-site sewage disposal systems may be utilized in the subdivision for a maximum of one year after an adequate community sewer becomes available.
- The establishment of Lot 3 per plat #17367 is approved as a "Single Lot Family Exemption" of the AFPO requirements in accordance with Section 16.107(b)(1)(iv) of the Howard County Code.
- On 11/20/04 the Chief of the Bureau of Engineering approved a Design Manual Waiver request to allow stopping sight distance to be used for the existing driveway intersection with Montgomery Road. The intersection sight distance requirement was waived.
- On 12/04/04 the Chief of the Bureau of Engineering approved a Design Manual Waiver requesting a waiver of gravity sewer service to Lot 3, the use of a private water and sewer easement to serve Lot 2 and Lot 3, the use of a private on-site pump and private low pressure sewer to serve Lot 3 and approved gravity sewer service to Lot 2 through the private easement. The Forest Conservation Easement has been established to fulfill the requirements of Section 16.122(d) of the Howard County Code and Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement, however, Forest Management Practices as defined in the Deed of Forest Conservation Easement are allowed. No grading, removal of vegetative cover or trees or placement of new structures is permitted within the limits of wetlands, stream(s), or buffers and forest conservation areas.
- On 12/04/04 the Chief of the Bureau of Engineering approved a Design Manual Waiver request to allow stopping sight distance to be used for the existing driveway intersection with Montgomery Road. The intersection sight distance requirement was waived.
- On 12/04/04 the Chief of the Bureau of Engineering approved a Design Manual Waiver requesting a waiver of gravity sewer service to Lot 3, the use of a private water and sewer easement to serve Lot 2 and Lot 3, the use of a private on-site pump and private low pressure sewer to serve Lot 3 and approved gravity sewer service to Lot 2 through the private easement. The Forest Conservation Easement has been established to fulfill the requirements of Section 16.122(d) of the Howard County Code and Forest Conservation Act. No clearing, grading or construction is permitted within the Forest Conservation Easement, however, Forest Management Practices as defined in the Deed of Forest Conservation Easement are allowed. No grading, removal of vegetative cover or trees or placement of new structures is permitted within the limits of wetlands, stream(s), or buffers and forest conservation areas.



**VICINITY MAP**  
1" = 2000'

- GENERAL NOTES:**
- The subject property is zoned R-20 per the 2/2/04 Comprehensive Zoning Plan.
  - All construction shall be in accordance with the latest Standards and Specifications of Howard County Design Manual Vol. IV and current MSHA Standards & Specifications.
  - Project Background:  
Location: Montgomery Road just southwest of Monterey Road  
Ehrharts, Maryland 21075  
Tax Map: Map 37 - Tax Map Parcel: P10 89 & 90 - Grid 5  
Election District: 1st  
Current Plat Reference: #17367
  - The Boundary shown hereon is based on the above referenced record plat.
  - The topography shown hereon was field run by LDE, Inc. in November, 2003.
  - Horizontal and Vertical Datasets are related to the Maryland State Plane Coordinate System (NAD 83) as projected from Howard County Control Station No. 378A & 378B.
  - Any damage caused by the contractor to existing public rights-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
  - The existing utilities shown hereon are located from field surveys and construction drawings of record. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.
  - There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities within the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.
  - Site Analysis Data:  
a. Total project Area (Lot 3): 0.2041 Acres  
b. Area of Plan Submission: 1.030 Acres / 1.030 Acres /  
c. Limit of Disturbance Area: R-20  
d. Present Zoning Designation: One (1) SFD house  
e. Proposed Site and Structure Use: One (1) SFD house  
f. Building coverage of site: 2.784 s.f. (0.004 Ac.) 91% of site area  
g. Applicable DPZ File References: WFO-143, F-04-173
  - There are no wetlands on Lot 3 per a field investigation by LDE, Inc. in January, 2004.
  - In accordance with Section 12B of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches or decks, open or enclosed may project not more than 10 feet into the front or rear yard setbacks.
  - The existing common driveway for lots 1, 2, & 3 will provide vehicular access to lot 3.
  - For flag or pipeline lots, reduce culch, snow removal and road maintenance are provided for the location of the flag or pipeline and road right-of-way line and not to the upstream lot boundary. See Architectural Plans for building dimensions and design details.
  - This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
  - Landscaping for Lot 3 is provided in accordance with a certified landscape plan on file with the recorded plat #17367 in accordance with section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping shall be posted as part of the grading permit for five (5) new shade trees in the amount of \$1500.00.
  - There are no streams, stream buffers, wetlands or wetland buffers, steep slopes or 100 year floodplain within the boundary of Lot 3.
  - The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1900 at least five (5) working days prior to the start of work.
  - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
  - Driveways shall be provided prior to issuance of a use and occupancy permit for any new dwellings to insure safe access for fire and emergency vehicles per the following minimum requirements:  
a. Width - 12' (14' serving more than one residence) as shown on site plan.  
b. Surface - 6' of compacted crusher run base with tar and chip coating (1-1/2" min.).  
c. Geometry - Max. 10% grade, max. 10% grade change, minimum 45 ft. turning radius.  
d. Structures (curbs, gutters, etc.) capable of supporting 25 gross tons (1025 loadings).  
e. Drainage Elements - capable of safely passing 100 year flood with no more than 1 ft. depth over driveway surface.
  - Maintenance - sufficient to insure wet-weather use.
  - Public water and sewer connections are available for Lot 3 via Water Contract No. 34-W and Sewer Contract No. 10-1043.
  - Stormwater Management for the proposed improvements is provided via Grass Swales, Natural Area Conservation Credits and Sheet Flow to Buffer Credit approved under F-04-173.
  - The onsite level spreader shall be owned and maintained by the property owner.
  - Any damage to Public "Right-of-Way" or paved public roads shall be repaired immediately at the contractor's expense in accordance with the Howard County Standards and Specifications.

**ADDRESS CHART**

Lot No.	Street Address
3	6350 MONTGOMERY ROAD

Subdivision Name	Sect/Block	Lot No.
WALTER & LAVERNE BROWN PROPERTY	N/A	3

Plat Ref	Grid No.	Zoning	Tax Map No.	Election District	Census Tract
17367	5	R-20	37	1st	6011.01

Water Code	Sewer Code
D04	2152700

**LDE, INC.**  
9250 Rumsey Road, Suite 106, Columbia, MD. 21045  
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED	SITE DEVELOPMENT PLAN	SCALE
JMB	WALTER & LAVERNE BROWN PROPERTY LOT 3 & THE USE-IN-COMMON DRIVEWAY SERVING LOTS 1-3 & OPEN SPACE LOT 4	1" = 50'

DRAWN	LOT 3 & THE USE-IN-COMMON DRIVEWAY SERVING LOTS 1-3 & OPEN SPACE LOT 4	DRAWING
KBW	FLAT #17367	1 OF 2

CHECKED	JOB NO.
BDB	

DATE	OWNER/DEVELOPER	FILE NO.
04/2005	RICHARD & KIMBERLY WELLS 8812 Marahan Drive Ellicott City, Maryland 21043 410-461-0789	SDP05-089

**REVISIONS**

No.	Date	Description
1	8/4/05	Revise Water and Sewer Connection Service to Lot 2 and Lot 3.

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE AND THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CODE.  
Signature: *Bruce D. Burton* 5/19/05  
REGISTERED PROFESSIONAL ENGINEER

**DEVELOPER'S CERTIFICATE**  
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD COUNTY CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.  
Signature: *Laverne Brown* 5/19/05

**NATURAL RESOURCE CONSERVATION SERVICE**  
Signature: *Laverne Brown* 5/19/05

**HOWARD SOIL CONSERVATION DISTRICT**  
Signature: *Laverne Brown* 5/19/05

**DEVELOPER'S / BUILDER'S CERTIFICATION**  
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I further certify that upon completion a Letter of Landscape Installation, accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.  
Signature: *Laverne Brown* 5/19/05

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**  
Signature: *Marlene De Voe* 6/6/05  
DIRECTOR DATE

**CHIEF, DIVISION OF LAND DEVELOPMENT**  
Signature: *Wendy Hamilton* 6/6/05  
DATE

**CHIEF, DEVELOPMENT ENGINEERING DIVISION**  
Signature: *Laverne Brown* 4/3/05  
DATE

## STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction. (503-1952)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. All revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within a 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be checked and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. (Section G) for permanent seeding, sod, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 

Total Area of Site	0.7041	Acres
Area Disturbed	1.09	Acres
Area to be roofed or paved	0.21	Acres
Area to be vegetatively stabilized	0.88	Acres
Total Cus	400	Cu. Yds.
Total Fill	400	Cu. Yds.
Off-site waste area location	N/A	
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of perimeter erosion and sediment control, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval of the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.

## 21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

- Definition:**  
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
- Purpose:**  
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- Conditions Where Practice Applies:**
- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.**
- Construction and Material Specifications:**
- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
    - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 1% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
    - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, johnsongrass, muscadine poison ivy, dandelion, or others as specified.
    - Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
    - For sites having disturbed areas under D acres:
      - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
      - For sites having disturbed areas over 2 acres:
        - On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
          - a pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be pre-applied to raise the pH to 6.5 or higher.
          - Organic content of topsoil shall be not less than 1.5 percent by weight.
          - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
          - No soil or seed shall be placed on soil which has been treated with soil nutrients or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
        - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- Topsoil Application:
  - When topsoiling, maintain no-till erosion and sediment control practices such as diversion, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Practice Traps and Basins.
  - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" - 8" higher elevation.
  - Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
  - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and sodding preparation.
- Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge material may be applied as specified below:
  - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
    - a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
    - b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
    - c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
  - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.
- Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
  - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
    - a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
    - b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
    - c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
  - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

## PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:

- PREFERRED** - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (2 lbs/1000 sq. ft.).
- ACCEPTABLE** - Apply 2 tons per acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (25 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

**SEEDING** - For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (0.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs per acre (0.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue and 2 lbs per acre (0.02 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 15 thru February 28, protect site by Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Use seed, Option (3) - Seed with 60 lbs per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

**MULCHING** - Apply 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of untreated small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

**MAINTENANCE** - Inspect all seeding areas and make needed repairs, replacement and reseeding.

## TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

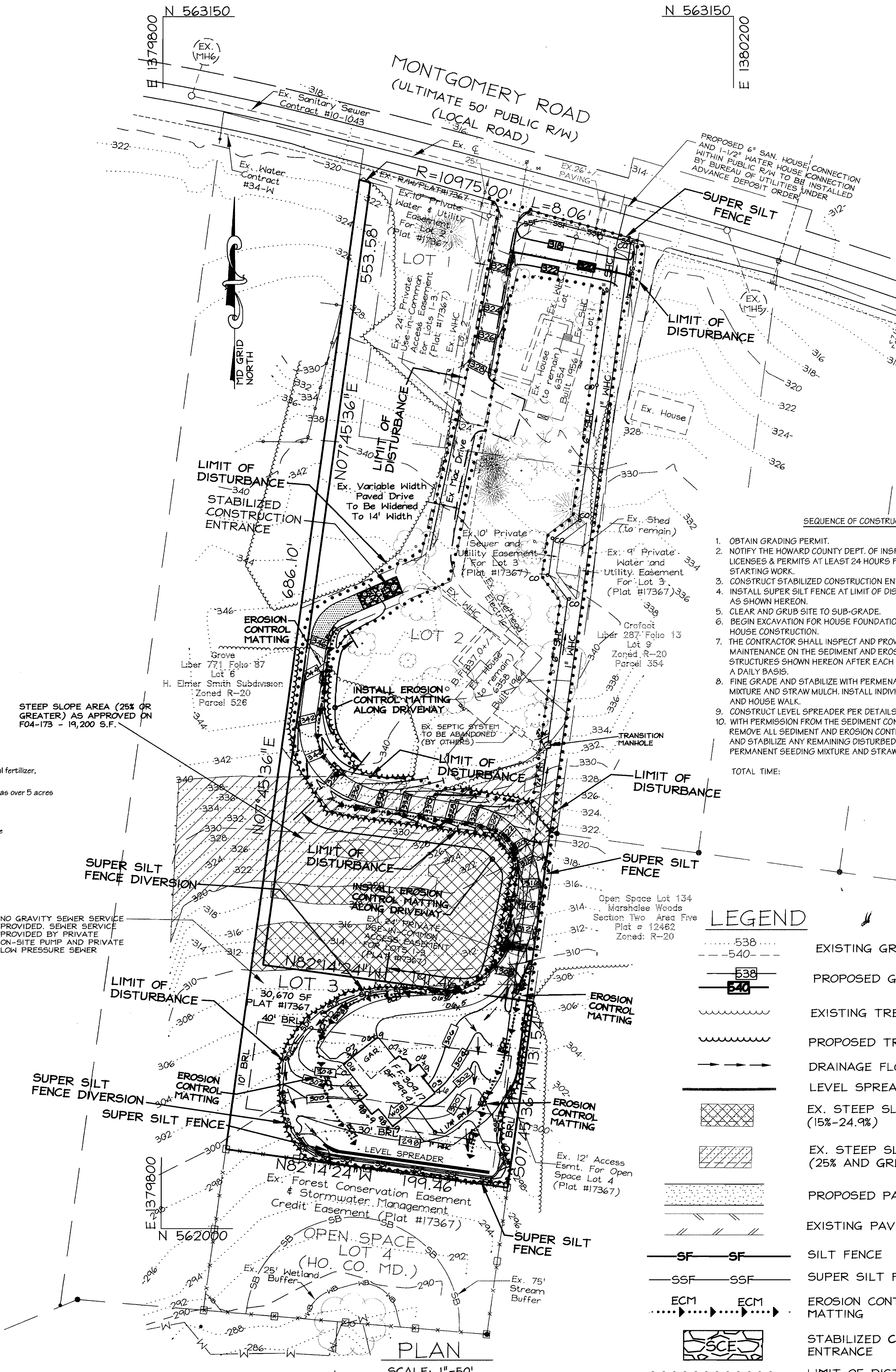
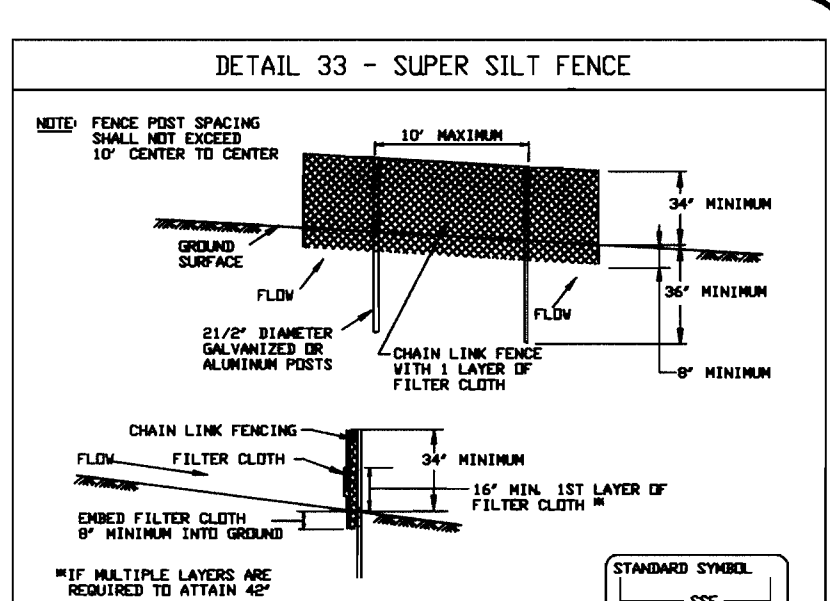
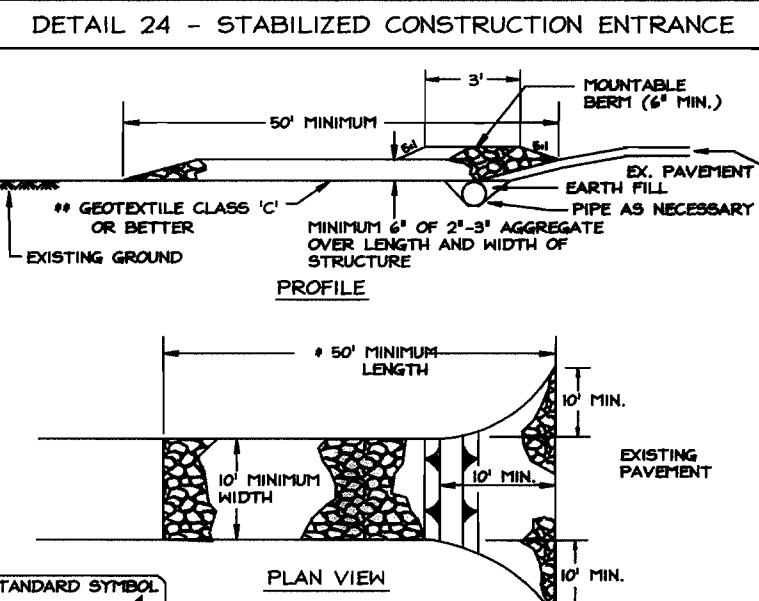
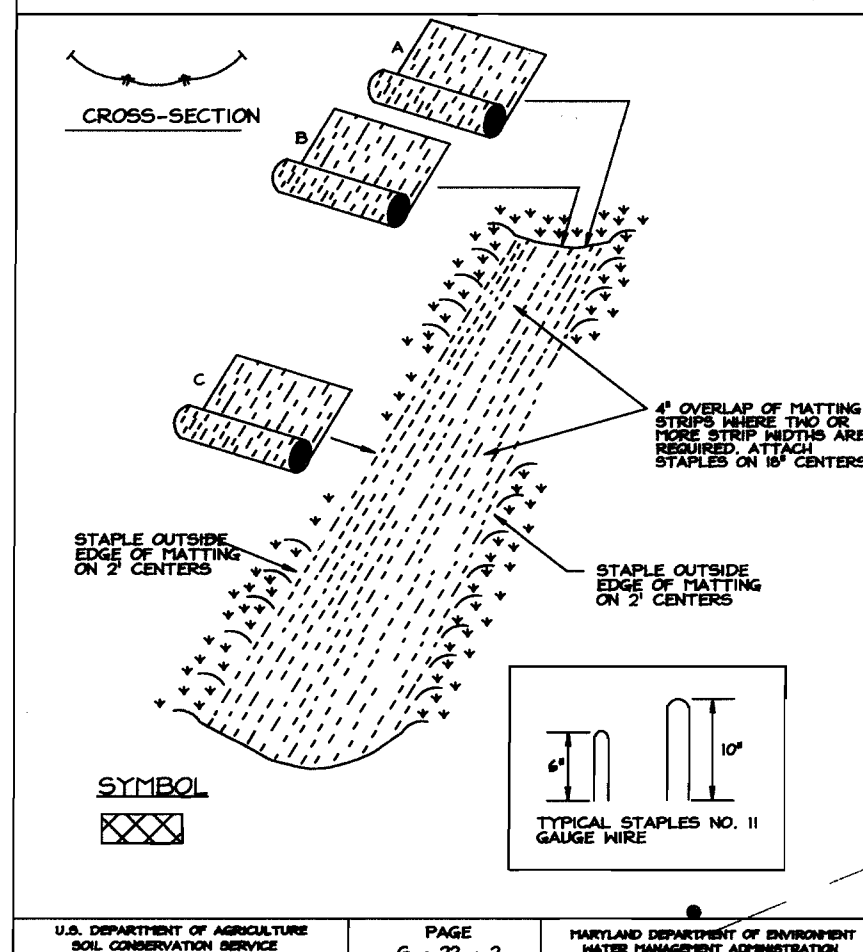
**SOIL AMENDMENTS:** - Apply 600 lbs per acre 10-10-10 fertilizer (4 lbs/1000 sq. ft.).

**SEEDING** - For periods March 1 thru April 30, and from August 15 thru October 15 seed with 2-12 bushels per acre of annual ryegrass (0.2 lbs/1000 sq. ft.). For the period May 1 thru August 14, seed with 3 lbs per acre of weeping lovegrass (0.07 lbs/1000 sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use seed.

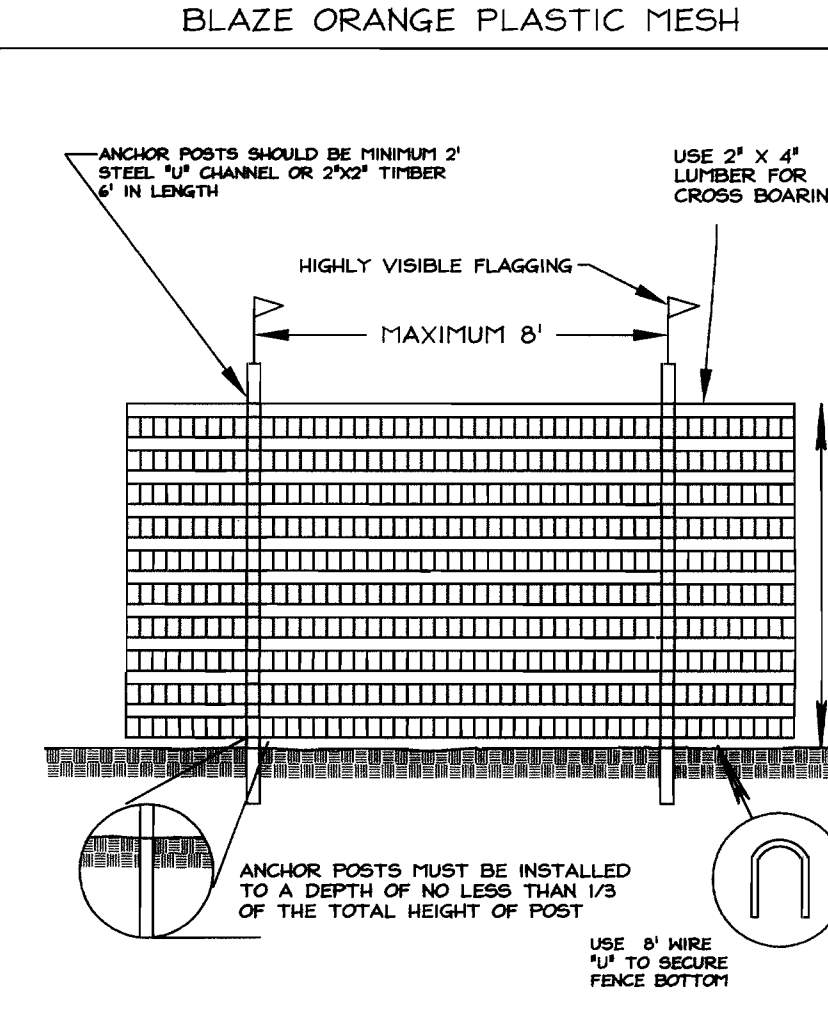
**MULCHING** - Apply 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of untreated weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 3 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional standards and methods not covered.

## DETAIL 30 - EROSION CONTROL MATTING



## BLAZE ORANGE PLASTIC MESH



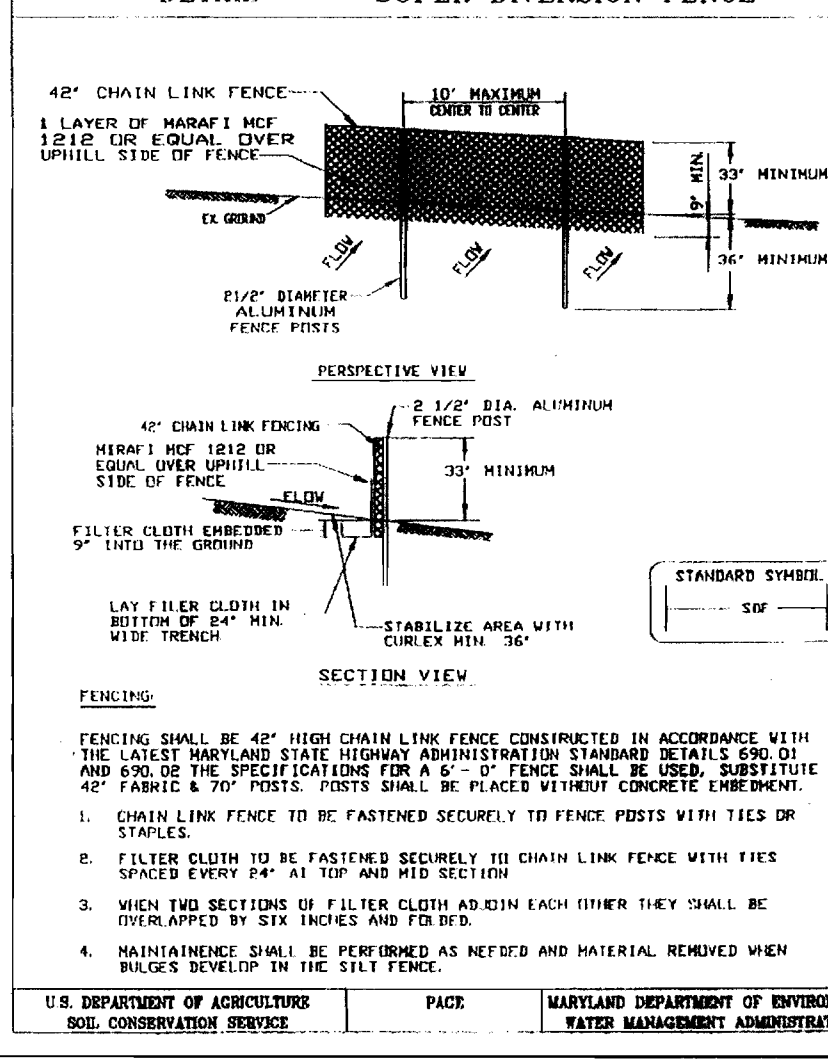
## SUPER SILT FENCE

**Design Criteria**

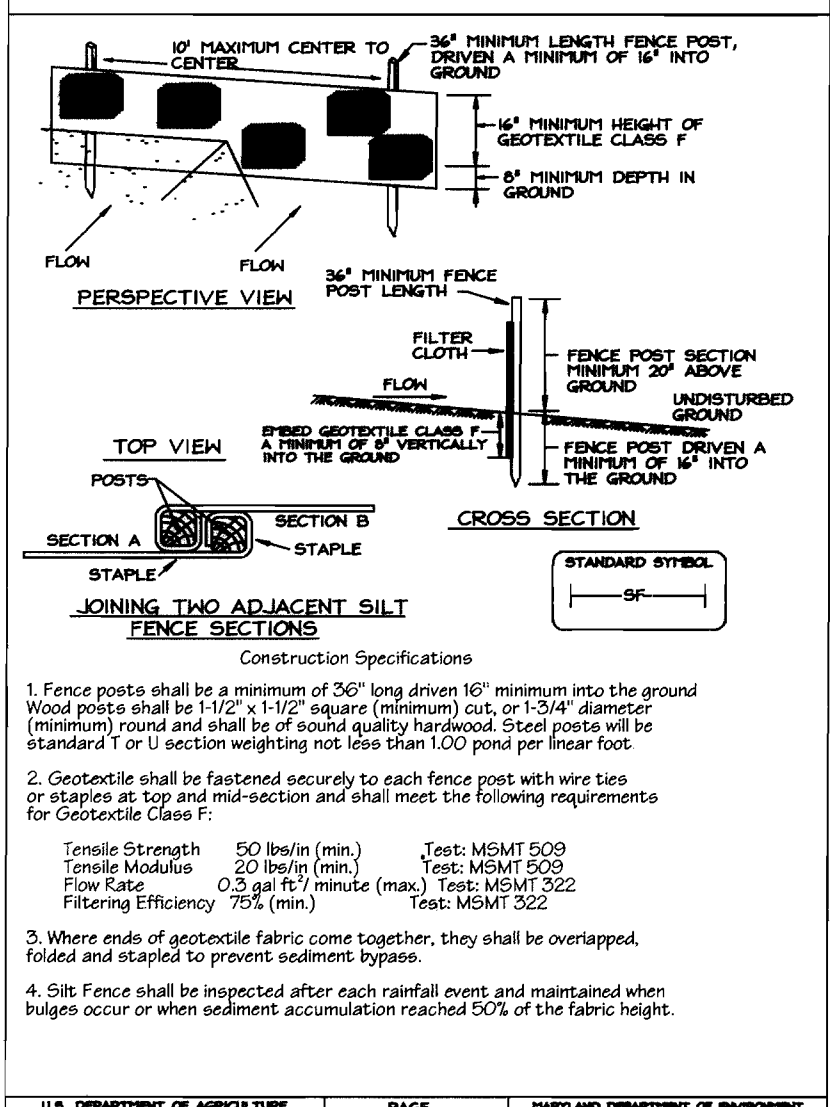
Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 1:1	Unlimited	Unlimited
10 - 20%	1:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE. PAGE: E-18-3. MARYLAND DEPARTMENT OF ENVIRONMENT, WATER MANAGEMENT ADMINISTRATION.

## DETAIL - SUPER DIVERSION FENCE



## DETAIL 22 - SILT FENCE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*March A. Lyle* 6/6/05  
DIRECTOR DATE

*Cindy Hodman* 6/6/05  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 6/3/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

*Jim Meyer* 6/11/05  
NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John C. [Signature]* 6/11/05  
HOWARD SOIL CONSERVATION DISTRICT DATE

## ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE AND EXPERIENCE. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

*Bruce D. Burton* 5/19/05  
SIGNATURE OF ENGINEER DATE

## DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED PERSONNEL AS DEEMED NECESSARY.

*Allison Brown* 5/19/05  
SIGNATURE OF DEVELOPER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 5/19/05  
DATE

## REVISIONS

No.	Date	Description

LDE, INC. 9250 Rumsey Road, Suite 106, Columbia, MD 21045 (410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: JMB  
DRAWN: KBW  
CHECKED: BDB  
DATE: 04/20/05

SCALE: As Shown  
DRAWING: 2 OF 2  
JOB NO.: 03-037.3  
FILE NO.: SDP05-089

OWNER/DEVELOPER: RICHARD & KIMBERLY WELLS  
8812 Manahan Drive  
Ellicott City, Maryland 21043  
410-461-0789

SDP 05 - 089