

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY (800-257-7777) AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/ BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED ON PLANS (SDP 98-104) DATED MARCH 1998, TITLED "DORSEY BUSINESS PARK PARCEL E", COMPLETED BY STV INCORPORATED, AND A "PROJECT AREA" FIELD SURVEY DATED OCTOBER 2004, COMPLETED BY KCI TECHNOLOGIES, INC.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION (A "PROJECT AREA" FIELD SURVEY CONDUCTED BY KCI TECHNOLOGIES, INC. DATED OCTOBER 2004, AND PLANS/SDP 98-104) DATED MARCH 1998, TITLED "DORSEY BUSINESS PARK PARCEL E" COMPLETED BY STV INCORPORATED.
- OBSTRUCTIONS SHOWN ON THESE DRAWINGS ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION. IN THE EVENT THAT INFORMATION IS IN CONFLICT WITH INFORMATION OUTLINED, THE CONTRACTOR SHALL IMMEDIATELY BRING IT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING ANY WORK.
- CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN HEREON BEFORE STARTING ANY WORK ON THESE PLANS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR THE COST OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- CONTRACTOR SHALL REMOVE DRIVEWAY ENTRANCES, STRUCTURES, AND CONCRETE WALK TO LIMITS INDICATED ON THE DRAWING.
- CONTRACTOR SHALL NOT PROCEED WITH ANY DEMOLITION WORK UNTIL ALL UTILITY DISCONNECTIONS ARE COMPLETED AND VERIFIED IN WRITING.
- BURNING OF COMBUSTIBLE MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
- CONTRACTOR SHALL INSURE THAT ALL MATERIAL REMOVED FROM DEMOLISHED STRUCTURES ARE LEGALLY DISPOSED OF OFF SITE.
- SEE SITE PLAN FOR LIMITS OF APPROXIMATE SIDEWALK, CURB AND GUTTER AND PAVING REMOVAL.
- EXISTING CURB AND GUTTER & CONCRETE SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT. NO PATCHING SHALL BE PERMITTED.
- A GEOTECHNICAL STUDY WAS PREPARED BY D.W. KOZERA, INC. DATED NOVEMBER 2004. THE SOIL BORINGS ARE AVAILABLE FROM THE OWNER.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THIS PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL BUILDING INFORMATION. SEE SHEET C-4 FOR BUILDING ELEVATIONS.
- SEE MECHANICAL/ELECTRICAL/PLUMBING PLANS FOR ADDITIONAL MECHANICAL/ ELECTRICAL/PLUMBING DEMOLITION INFORMATION.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- TRAFFIC MITIGATION REQUIREMENTS FOR THE INTERSECTION OF U. S. RTE. 1 AND MD RTE. 103 WILL BE ACCOMPLISHED PER THE MEADOWS CORPORATE PARK PLANS (SDP-05-072)
- CONTRACTOR TO ADJUST TOP OF CURB GRADES AS NECESSARY TO PROVIDE SMOOTH TRANSITION TO EXISTING.
- SAW CUT EXISTING PAVEMENT AS NEEDED TO INSTALL NEW CONSTRUCTION.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- TRENCH BACKFILL IN GRASS AREAS SHALL BE COMPACTED TO A MINIMUM 90% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH A.A.S.H.T.O. VERIFY DESIGNATION T-120, METHOD C. TRENCH BACKFILL IN STRUCTURAL AND PAVEMENT AREAS SHALL BE PLACED IN EIGHT INCH LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698). IN PAVED AREAS, FILL BELOW THE TOP 12 INCHES SHOULD BE COMPACTED TO 97%.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES, I.E. MANHOLE FRAMES AND COVERS, ETC. WITHIN THE LIMITS OF THE CONTRACT TO PROPOSED GRADES AS REQUIRED.
- NO NOISE STUDY IS REQUIRED FOR THIS PROJECT.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AT ALL TIMES.
- CONTRACTOR SHALL COORDINATE ALL DISCONNECTIONS AND REMOVAL OF EXISTING GAS, ELECTRIC AND TELEPHONE SERVICES AND EQUIPMENT WITH BALTIMORE GAS & ELECTRIC AND VERIZON.
- CONTRACTOR SHALL INSTALL SEDIMENT CONTROLS PRIOR TO BEGINNING ANY WORK AND MAINTAIN SEDIMENT CONTROLS THROUGHOUT THE ENTIRE DURATION OF DEMOLITION AND CONSTRUCTION ACTIVITIES.
- IN THE EVENT THAT A PORTION OF A UTILITY IS TO BE REMOVED THE CONTRACTOR SHALL TERMINATE AND CAP TO THE LIMITS INDICATED IN ACCORDANCE WITH ALL STATE AND LOCAL REQUIREMENTS.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
- TOTAL FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$7,890.00 FOR 16 SHADE TREES IN THE AMOUNT OF \$4,800.00; 4 EVERGREENS IN THE AMOUNT OF \$600.00 AND 83 SHRUBS IN THE AMOUNT OF \$2,490.00, SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT.
- THIS SITE IS EXEMPT FROM FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1 202(b)(1)(iii) OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL BECAUSE IT HAS BEEN PREVIOUSLY GRADED UNDER SDP-98-104.
- ALL OUTDOOR LIGHTING SHALL CONFORM TO THE OUTDOOR LIGHT SECTION OF THE ZONING REGULATIONS.
- STORM WATER MANAGEMENT WATER QUANTITY AND WATER QUALITY HAS BEEN PROVIDED IN THE EXISTING ON-SITE POND.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 371A AND 386G WERE USED FOR THIS PROJECT.
- THIS PROJECT WAS GRANTED TWO ALTERNATIVE COMPLIANCES TO THE ROUTE 1 MANUAL ON MAY 10, 2005. THE FIRST ALTERNATIVE COMPLIANCE ALLOWS THE BUILDING TO HAVE AN 85-FOOT SETBACK INSTEAD OF THE REQUIRED 0-FOOT SETBACK (CHAPTER 4, SITE DESIGN, BUILDING LOCATION, REQUIREMENT NOS. 3, 4 & 5). THE SECOND ALTERNATIVE COMPLIANCE ALLOWS PARKING IN FRONT OF THE BUILDING, EXCEPT IN FRONT OF THE ENTRANCE, RATHER THAN THE SIDE OR REAR OF THE BUILDING (CHAPTER 4, SITE DESIGN, PARKING AREAS, REQUIREMENT NO. 1).

SITE DEVELOPMENT PLAN DORSEY BUSINESS PARK PARCEL E MARYLAND HOSPITAL ASSOCIATION BUILDING NO. 2 1st ELECTION DISTRICT HOWARD COUNTY, MARYLAND

BENCHMARK DATA

B.M. 371A ELEV. 195.760
N 553.315, 147
E 1,379,982.154

B.M. 386G ELEV. 175.228
N 557,193.493
E 1,384,932.262

DISC SET ON TOP OF CONCRETE COLUMN ALONG NORTH SIDE OF US RTE 1. 247 FEET NORTH EAST OF MAIN ENTRANCE TO MEADOWBRIDGE MEMORIAL PARK.

DISC SET ON TOP OF CONCRETE COLUMN ALONG SOUTHWEST SIDE OF US RTE 1. 6.6 FEET IN FRONT OF CHAIN LINK FENCE IN FRONT OF THE ATLANTIC SUPPLY CO.

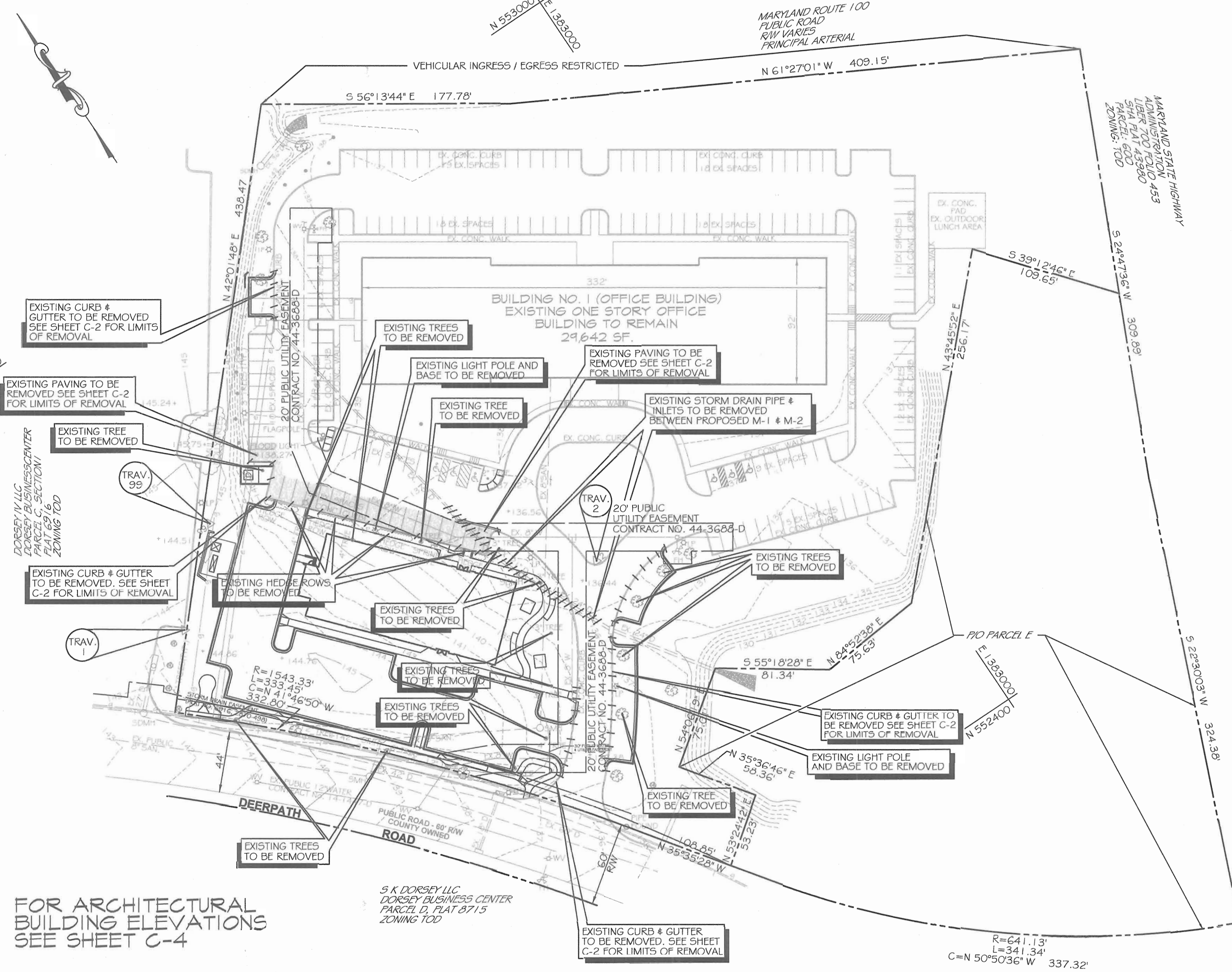


INDEX OF CIVIL DRAWINGS

SHEET	DESCRIPTION
C-1	EXISTING CONDITIONS / DEMOLITION PLAN
C-2	GRADING / UTILITY PLAN
C-3	SITE DETAILS
C-4	SITE DETAILS
C-5	EROSION & SEDIMENT CONTROL NOTES & DETAILS
C-6	LANDSCAPE PLAN AND DETAILS
C-7	LANDSCAPE PLAN AND DETAILS
C-8	LANDSCAPE PLAN AND DETAILS
C-9	STORM DRAIN DRAINAGE AREA MAP/ UTILITY PROFILES

SITE ANALYSIS DATA CHART

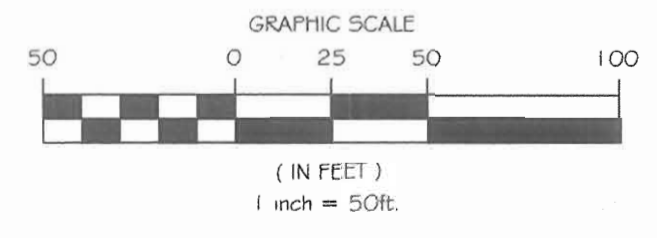
- SITE ADDRESS: PARCEL E
6820 DEERPATH ROAD
ELKRIDGE, MD 21075
- OWNER APPLICANT: MARYLAND HOSPITAL ASSOCIATION, LLC
(410) 379-6200 CONTACT PERSON: MR. FRANK MONIUS
- TAX ACCOUNT NO. : 01-209558
PROPERTY REFERENCE: MAP 37 PLAT 691 G
BLOCK 6
PARCEL 634 LOT PAR E
ELECTION DISTRICT NO. 1
- ZONING: TOD per 2002/04 COMPREHENSIVE REZONING
EXISTING USE: MEDICAL OFFICE ADMINISTRATION BUILDING "ONE STORY"
PROPOSED USE: MEDICAL OFFICE ADMINISTRATION BUILDING "TWO STORY"
GENERAL OFFICE
- SETBACKS: MINIMUM SETBACK FROM PUBLIC STREET RIGHT-OF-WAY:
0' FROM PUBLIC STREET RIGHT-OF-WAY
MINIMUM SETBACK FROM VICINAL PROPERTY:
0' FROM ALL ZONING DISTRICTS, ALL NON-RESIDENTIAL STRUCTURES
- AREA OF TOTAL SITE: 8.35 ACRES
- AREA OF EXPANSION SITE: 1.50 ACRES
- LIMIT OF DISTURBANCE: 1.50 ACRES
- AMENITY AREA OF NET SITE: 1.0% OF 1.50 ACRES (0.15 ACRES) REQUIRED
- EMPLOYEES PER SHIFT: 54 (BLDG. NO. 2)
- FLOOR SPACE: 1st FLOOR = 8,516 sq. ft.
2nd FLOOR = 8,516 sq. ft.
- EXISTING AREA OF PAVED PARKING: 78,022 sq. ft. OR 1.79 ACRES COVERAGE (2.1%)
NEW AREA OF PAVED PARKING: 20,937 sq. ft. OR 0.48 ACRES COVERAGE (5.7%)
TOTAL PAVED PARKING AREA: 2.27 ACRES, COVERAGE (26.7%)
EXISTING PARKING SPACES = 172 SPACES (INCLUDING 6 HANDICAPPED SPACES)
EXISTING REQUIRED PARKING (1000:5.0) = 29,642 s.f./1,000x5.0 = 148 REQ. SPACES (BLDG. NO. 1)
PROPOSED PARKING SPACES = 64 SPACES (INCLUDING 3 HANDICAPPED SPACES)
PROPOSED REQUIRED PARKING (1000:3.3) = 8,516 s.f./1,000x3.3 = 29 REQ. SPACES (BLDG. NO. 2; FIRST FLOOR ONLY; SECOND FLOOR WILL BE STORAGE)
- EXISTING AND PROPOSED BUILDING USE: MEDICAL OFFICE ADMINISTRATION BUILDING
- PARKING SPACES TO BE REMOVED = 8 (DUE TO NEW CONSTRUCTION)
TOTAL PARKING SPACES: 172+64-8 = 228 SPACES PROVIDED
TOTAL REQUIRED: 148+29 = 178 REQ. SPACES
- EXISTING BUILDING COVERAGE: 8.6%
ADDITIONAL BUILDING COVERAGE: 2.4%
EXISTING OPEN SPACE COVERAGE: 20%
EXISTING BUILDING COVERAGE 31,000 sq. ft. OR 0.72 ACRES
NEW BUILDING COVERAGE: 8,516 sq. ft. OR 0.20 ACRES
TOTAL BUILDING COVERAGE: 11.0%
- PREVIOUSLY APPROVED SDP-98-104 (ORIGINAL BUILDING CONSTRUCTION 1998)



FOR ARCHITECTURAL BUILDING ELEVATIONS SEE SHEET C-4

EXISTING CONDITIONS / DEMOLITION PLAN

SCALE: 1" = 50'



OWNER:
MARYLAND HOSPITAL ASSOCIATION
6820 DEERPATH ROAD
ELKRIDGE, MARYLAND 21075

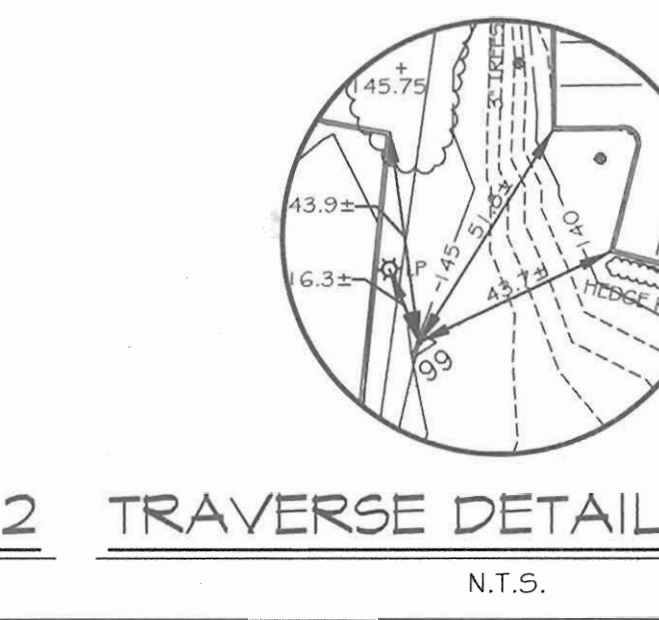
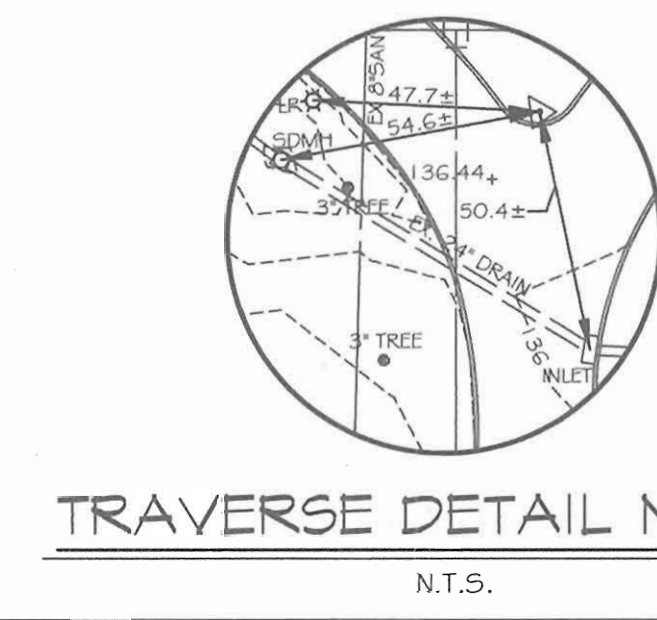
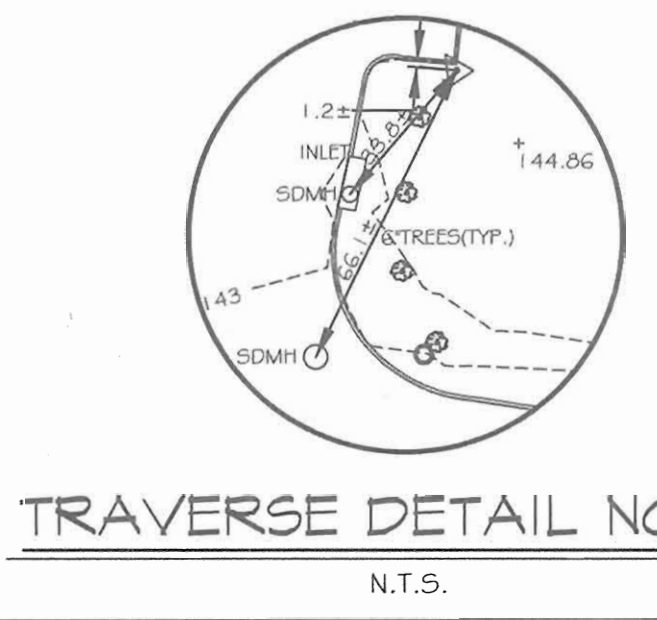
LEGEND

---	EX. INDEX CONTOUR	○	EX. LIGHT POLE
---	EX. INTERMEDIATE CONTOUR	□	EX. INLET
---	EX. CURB AND GUTTER	○	EX. TREE
---	EX. STORM DRAIN	○	EX. HEDGE ROW
---	EX. SANITARY SEWER	○	EXISTING SPOT ELEVATION
---	EX. WATER	○	APPROXIMATE LIMITS OF EX. PAVING TO BE REMOVED
---	EX. WATER VALVE	○	APPROX. LIMITS OF EX. UTILITIES AND CURB TO BE REMOVED
---	EX. FIRE HYDRANT	○	
---	EX. MANHOLE	○	
---	EX. CLEANOUT	○	

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 11/2/05

APPROVED: DIVISION OF LAND DEVELOPMENT
DATE: 11/2/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
DATE: 10/18/05



APPLICABLE FILE:
SDP-98-104

ADDRESS CHART

LOT / PARCEL #	STREET ADDRESS
EX. BLDG. NO. 1/ PAR. E PROP. BLDG. NO. 2/ PAR. E	6820 DEERPATH ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME:	SECT./AREA	PARCEL #
DORSEY BUSINESS PARK	1	634 LOT / PAR E
PLAT# OR U/F	GRID#	ZONE
6916	24	TOD
TAX MAP #	ELEC. DIST.	CENSUS TR.
37	1st	6012.02
WATER CODE	SEWER CODE	
A01	22200000;2220000	

EXISTING CONDITIONS / DEMOLITION PLAN
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
6820 DEERPATH ROAD
ELKRIDGE, MD 21075
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 50' DATE: JULY 19, 2005 SHEET: 1 OF 9

NO. REVISIONS DESCRIPTION

1240 Key Highway
Baltimore, MD 21220
TEL 410-752-3720
FAX 410-752-4823
colimorgallow.com

COLIMORE GALLOW ARCHITECTS

OBRECHT PROPERTIES LLC
4415 Deane Road, Suite 200
Thermopylae, MD 21158
Phone: 410-326-2005
Fax: 410-326-2367

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

10 North Park Drive
Hunt Valley, MD 21031
Phone: 410-316-7817
Fax: 410-316-7817
www.kci.com

KCI TECHNOLOGIES

STATE OF MARYLAND
PROFESSIONAL ENGINEER
10-4-05

PROJECT # 01042638
PERMIT ISSUE:
CONSTRUCTION ISSUE:

C-1

PROPOSED VERSA-LOK RETAINING WALL SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. COLOR TO BE APPROVED BY THE ARCHITECT.

CONTRACTOR SHALL PROVIDE POSITIVE FLOW TO INLET DURING CONSTRUCTION

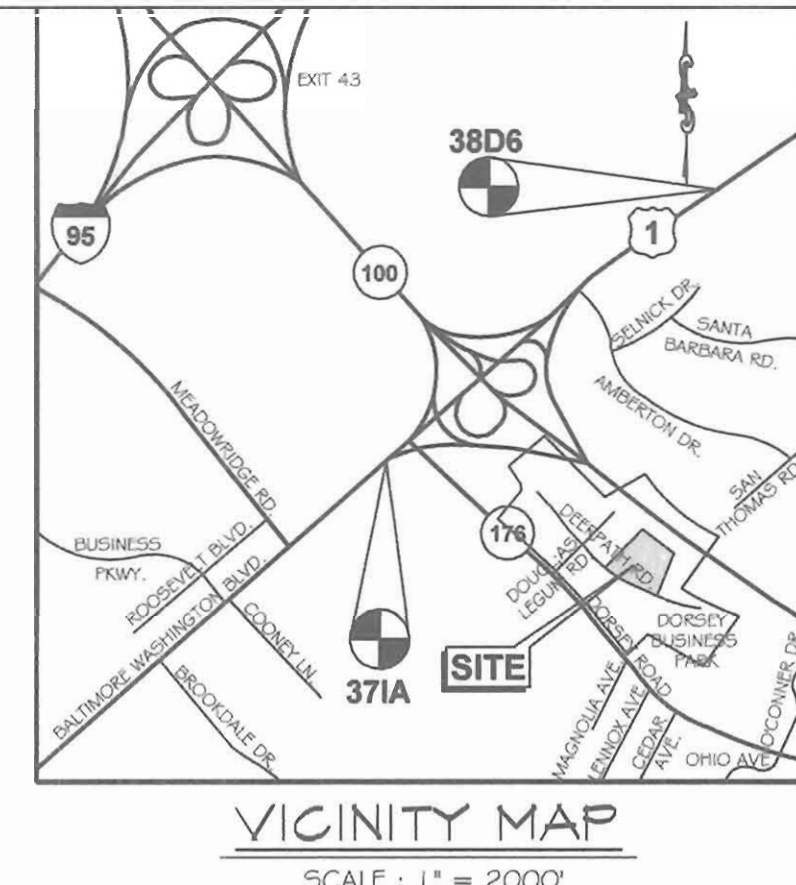
BENCHMARK DATA

B.M. 371A ELEV. 195.760
N 553,315.147
E 1,379,982.154

DISC SET ON TOP OF CONCRETE COLUMN ALONG NORTH SIDE OF I.P. RT# 1 247 FEET NORTHEAST OF MAIN ENTRANCE TO MEADOWBRIDGE MEMORIAL PARK.

B.M. 3806 ELEV. 175.228
N 557,155.459
E 1,384,492.222

DISC SET ON TOP OF CONCRETE COLUMN ALONG SOUTHWEST SIDE OF US RTE 1. 6.6 FEET IN FRONT OF CHAIN LINK FENCE IN FRONT OF THE ATLANTIC SUPPLY CO.



**BUILDING NO. 1 (OFFICE BUILDING)
EXISTING ONE STORY OFFICE
BUILDING TO REMAIN
(29,642 SF)**

**PROPOSED TWO STORY
MEDICAL OFFICE ADMIN. BUILDING NO. 2
(25,516 SF FIRST FLOOR GENERAL OFFICE USE)
F.F. 132.65**

LEGEND

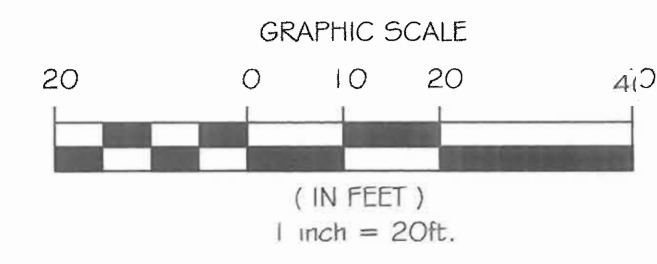
- EX. INDEX CONTOUR
- EX. 1' INTERMEDIATE CONTOUR
- EX. CURB AND GUTTER
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. WATER
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. MANHOLE
- EX. CLEANOUT
- EX. LIGHT POLE
- EX. INLET
- EX. TREE
- EX. WOODS LINE
- EX. SPOT ELEVATION
- SOIL BORING
- PROPOSED CLEANOUT
- PROPOSED CONTOUR
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SPOT ELEVATION
- PROPOSED LIGHT DUTY PAVING
- PROPOSED HEAVY DUTY PAVING
- PROPOSED SANITARY SEWER
- PROPOSED STORM DRAIN
- PROPOSED WATERLINE
- PROPOSED FENCE
- HANDICAP SYMBOL
- LIMIT OF DISTURBANCE
- APPROX. LIMITS OF MILL & RESURFACE
- PROPOSED PARKING LOT LIGHT (details/sheet #)

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY MISS UTILITY - (300) 257-7777 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
2. TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED ON PLANS DATED MARCH 1998, TITLED "DORSEY BUSINESS PARK PARCEL E" COMPLETED BY STV INCORPORATED, AND A "PROJECT AREA" FIELD SURVEY DATED OCTOBER 2004, COMPLETED BY KCI TECHNOLOGIES, INC.
3. EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION (A "PROJECT AREA" FIELD SURVEY CONDUCTED BY KCI TECHNOLOGIES, INC. DATED OCTOBER 2004, AND PLANS DATED MARCH 1998, TITLED "DORSEY BUSINESS PARK PARCEL E" COMPLETED BY STV INCORPORATED).
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5. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF CONSTRUCTION INSPECTION (410) 313-1880, FIVE (5) WORKING DAYS BEFORE STARTING THE WORK SHOWN ON THESE PLANS.
6. REMOVAL OF ANY SIDEWALK, CURB AND GUTTER AND/OR CONCRETE MOW STRIP SHALL BE AT NEAREST JOINT. NO PATCHING SHALL BE PERMITTED.
7. ADJUST TOP OF CURB GRADES AS NECESSARY TO PROVIDE SMOOTH TRANSITION TO EXISTING.
8. SAW CUT EXISTING PAVEMENT AS NEEDED TO INSTALL NEW CONSTRUCTION.
9. STRIP AND RESURFACE EXISTING PAVING AS NEEDED TO PROVIDE SMOOTH TRANSITION TO EXISTING GRADES. USE PAVING TIE IN DETAIL SHEET C-3.
10. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
13. ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE HOWARD COUNTY STANDARD DETAILS AND SPECIFICATIONS AND ALL REVISIONS THERETO, UNLESS OTHERWISE NOTED.
14. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES, I.E. MANHOLE FRAMES AND COVERS, ETC. TO FINISHED GRADE.
15. UNLESS OTHERWISE NOTED, PIPE ELEVATIONS REFER TO THE INVERT.
16. UNLESS OTHERWISE NOTED, ALL SEWER PIPE SHALL BE PVC SDR-35 CONFORMING TO THE REQUIREMENTS OF A.S.T.M. SPECIFICATION D-3034. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE & FITTINGS SHALL BE HANCOCK BLUE SEAL CORRUGATED POLYETHYLENE PIPE (H.D.P.E.) MANUFACTURED BY:
 - HANCOCK INCORPORATED
 - ONE WILLIAM DONNELLY INDUSTRIAL PARKWAY
 - WAVEKLY, NY 14892
 - 1-800-847-5880
17. ALL STRUCTURE DIMENSIONS REFER TO THE CENTERLINE OF THE STRUCTURES.
18. SEE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR CONTINUATION OF UTILITY CONNECTIONS TO BUILDING AND SITE LIGHTING INFORMATION.
19. CONTRACTOR SHALL CONNECT ALL ON-SITE UTILITIES TO THE PROPOSED BUILDING CONNECTIONS AS REQUIRED.
20. ALL CLEANOUTS TO BE HOWARD COUNTY STD. S-2-22.
21. FOR DEMOLITION PLAN SEE SHEET C-1.
22. FOR SEDIMENT AND EROSION CONTROL PLAN SEE SHEET C-5.
23. FOR SEDIMENT AND EROSION CONTROL NOTES AND DETAILS SEE SHEET C-6.
24. THE GEOTECHNICAL REPORT WAS PREPARED BY D.W. KOZERA INC. DATED NOVEMBER 23, 2004.
25. CLEANOUTS IN PAVED AREA ARE TO HAVE COUNTERSUNK LIDS.
26. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED ON THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFPA-110.1.2.1. SEE ELECTRICAL PLANS FOR DETAILS.
27. PROPER SIGNAGE SHALL BE PLACED ON THE BUILDING AND AT THE STREET IDENTIFYING EACH BUILDING'S ADDRESS. SEE ARCHITECTURAL PLANS FOR DETAILS.
28. THE PROPOSED WATER AND SEWER FOR THIS PROJECT IS CONTRACT NO. 44-4297-D.

GRADING / UTILITY PLAN

SCALE: 1" = 20'



GRADING / UTILITY PLAN
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
5220 DEERPATH ROAD
B KRIDGE MD 21075
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: JULY 19, 2005 SHEET: 2 OF 9

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 11/2/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 10/28/05

NO. REVISIONS DESCRIPTION

1340 Key Highway
Baltimore, MD 21230
TEL: 410-752-2720
FAX: 410-752-4823
collimreg@comcast.net

COLIMORE GALLOWAY ARCHITECTS

OBRECHT PROPERTIES LLC
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Timonium, MD 21087
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Fax: 410-956-2367

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

10 North Park Drive
Hunt Valley, MD 21030
Phone: (410) 313-6900
Fax: (410) 313-7817
www.kci.com

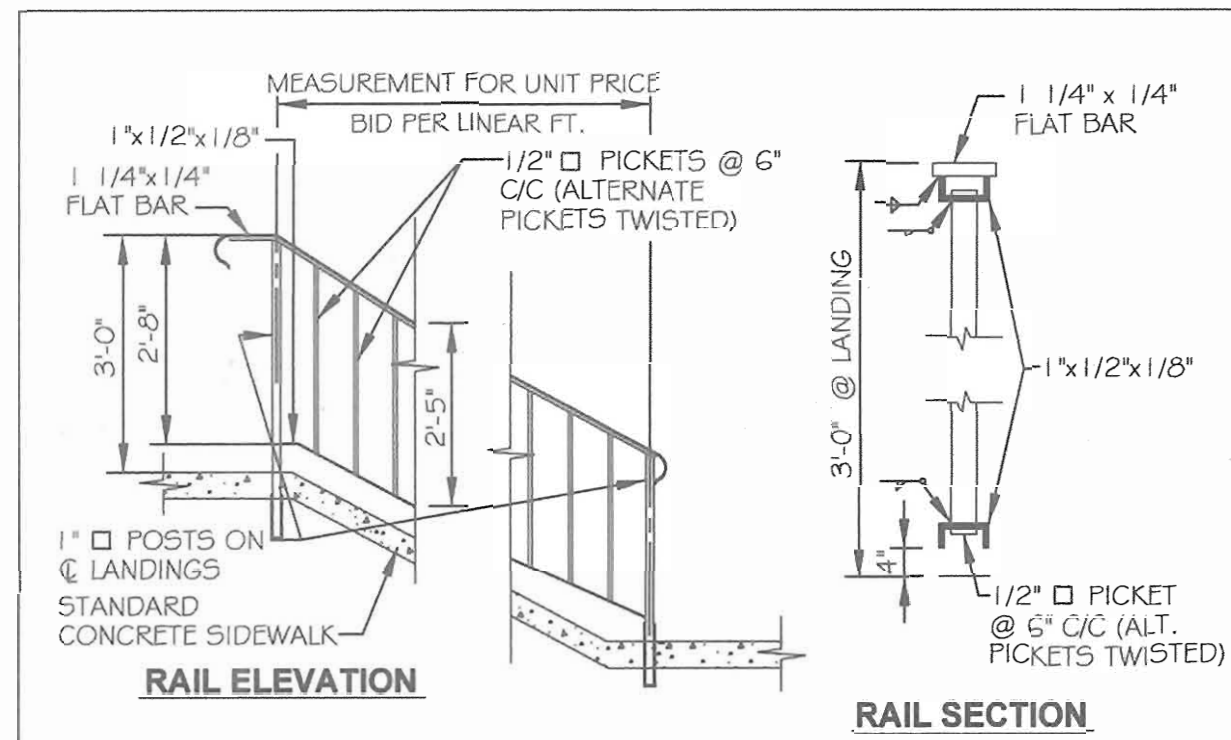
KCI TECHNOLOGIES

STATE OF MARYLAND
LICENSED PROFESSIONAL ENGINEER
10-4-05

PROJECT # 01042636
PERMIT ISSUE:
CONSTRUCTION ISSUE:

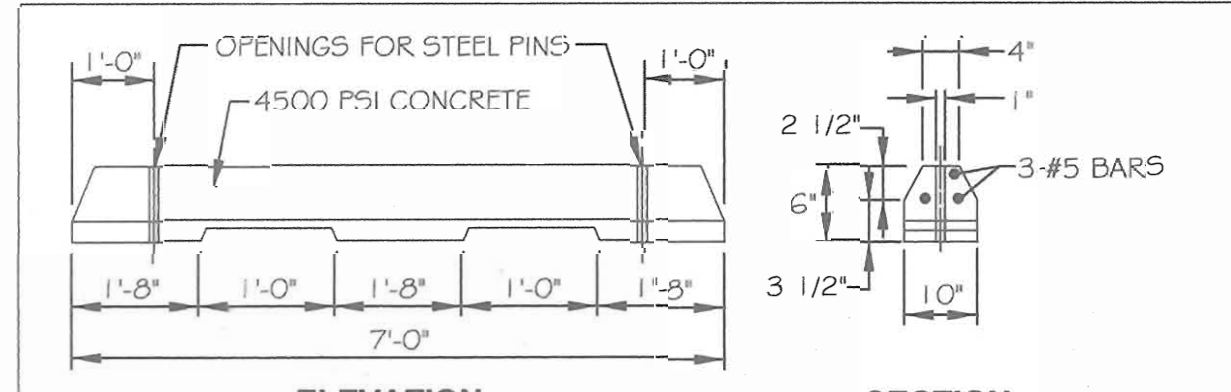
C-2

MA 2004 (11/14/2004) USE PLAN.DWG © KCI Technologies, Inc. SDP-05-088

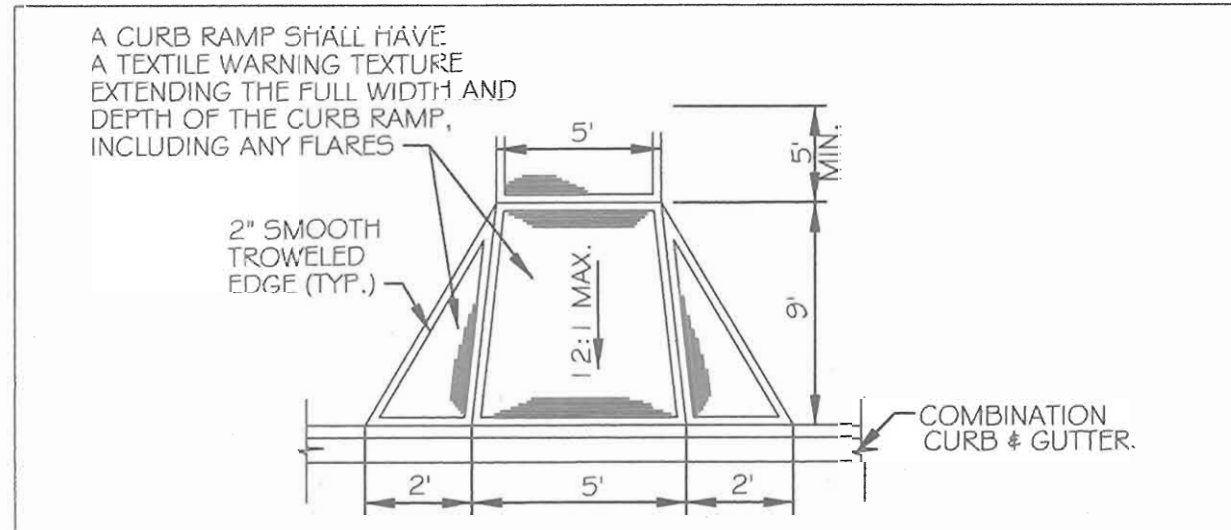


- NOTES:
1. UNLESS OTHERWISE NOTED, PAINTED RAILING SHALL BE FURNISHED.
2. RAILING AND POSTS TO BE PAINTED SHALL CONFORM TO A.S.T.M. DESIGNATION A36.
3. RAILING AND POSTS TO BE GALVANIZED SHALL CONFORM TO A.S.T.M. DESIGNATION A-441. SEE SPECIFICATIONS SECTION 20.1.8-35(B).
4. UNLESS OTHERWISE NOTED, RAILING SHALL BE FURNISHED FOR BOTH SIDES OF THE RAMP.
5. RAILING SHALL BE WELDED WITH ITS JOINTS GROUND SMOOTH AND FREE OF BURRS.
6. RAILING POSTS SHALL BE SET IN METAL SLEEVES, 6" DEEP AND FILLED WITH HOT POURED LEAD OR HOT POURED SULFUR OR AN EQUIVALENT EPOXY COMPOUND.
7. GALVANIZED RAILINGS SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION.
8. PAINTED RAILINGS SHALL BE PAINTED IN ACCORDANCE TO SECTION 34.07-3(G5) OF THE SPECIFICATIONS. EXCEPT THAT THE FINAL COAT SHALL BE BLACK.
9. THIS HANDRAIL IS TO BE USED ONLY AS PROTECTION FOR PEDESTRIANS AND SHOULD NOT BE PLACED IN ANY LOCATION WHERE IT MIGHT BE SUBJECT TO VEHICULAR IMPACT. FOR VEHICULAR PROTECTION, STANDARD GAIRD RAIL SHOULD BE USED.
10. THE RAILING SHALL BE PAID FOR AT THE UNIT PRICE BID PER LINEAR FOOT, MEASURED HORIZONTALLY, FOR STANDARD ORNAMENTAL RAILING FOR CONCRETE STAIRS COMPLETE IN PLACE; OR ITS COST SHALL BE INCLUDED IN THE LUMP SUM PRICE BID FOR STANDARD CONCRETE STAIRS COMPLETE IN PLACE.

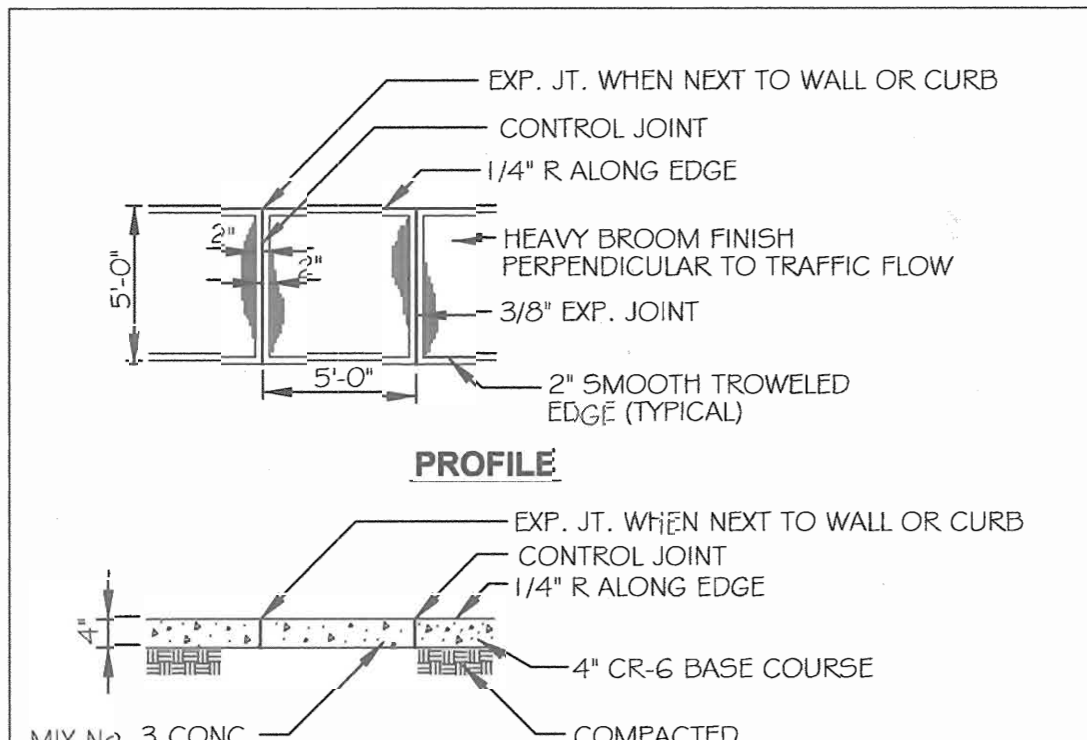
1 STANDARD ORNAMENTAL RAILING N.T.S.



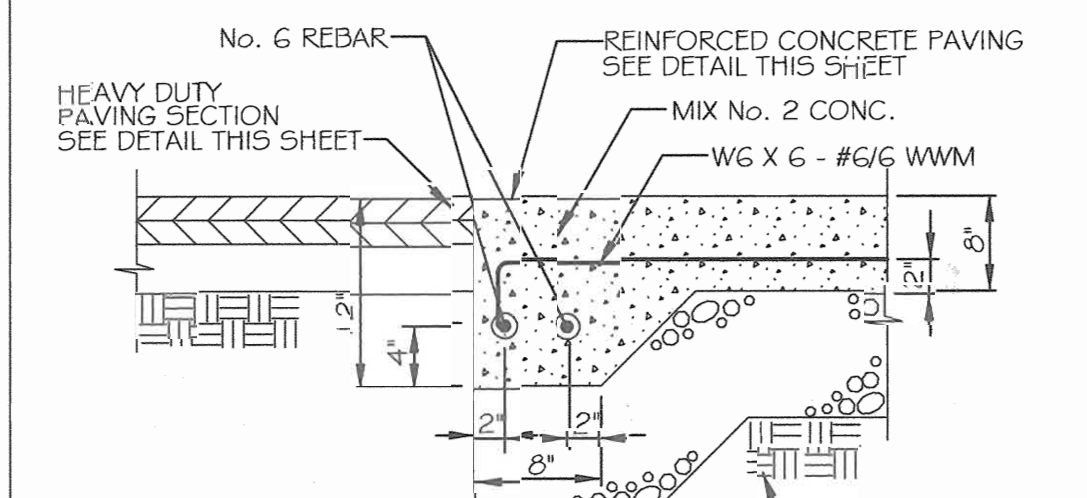
2 PRECAST CONCRETE WHEEL STOP N.T.S.



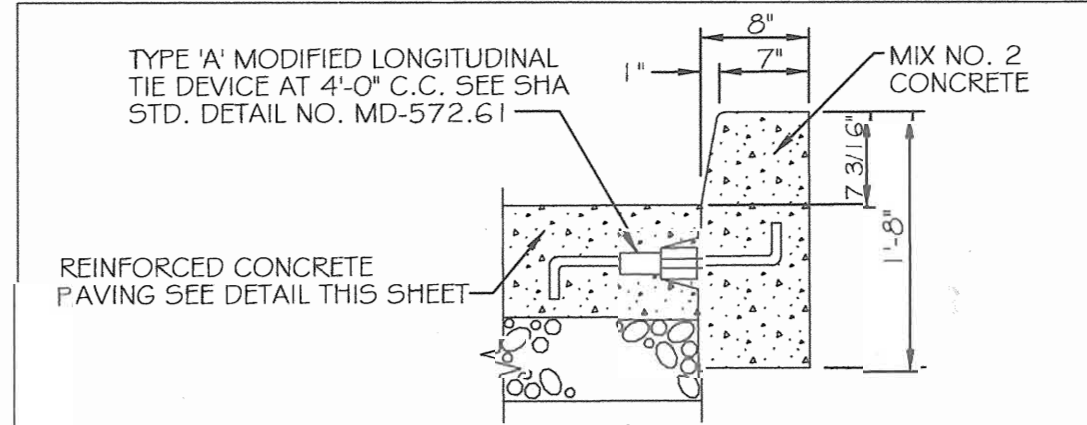
3 PEDESTRIAN RAMPS HO. CO. STD. R4.02 & R4.03 N.T.S.



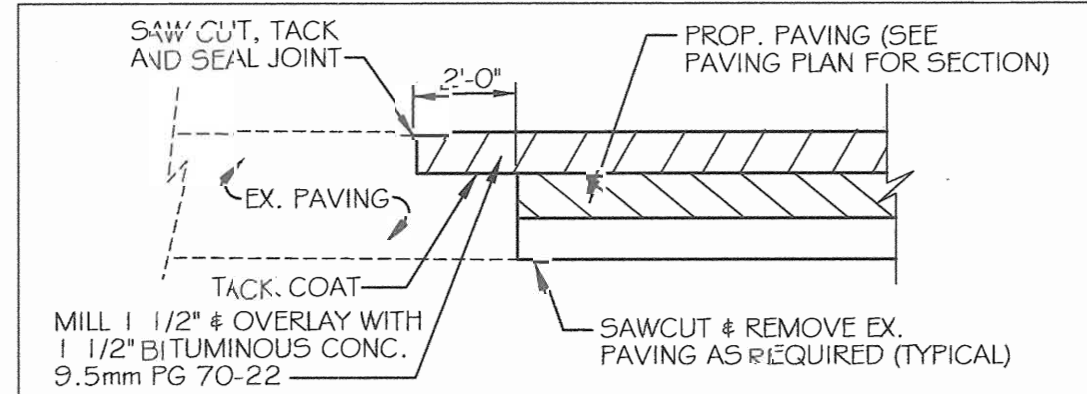
- NOTE: PROVIDE 2% CROSS-SLOPE FOR POSITIVE DRAINAGE AS REQUIRED.
- 4 CONCRETE SIDEWALK DETAIL HO. CO. STD. R3.05 N.T.S.**
1. PROVIDE EXPANSION JOINTS 15' C.C. MAX. AND SCORE JOINTS 6' C.C. (UNLESS OTHERWISE NOTED). EXPANSION JOINTS SHALL BE ZIP STRIP CONTROL JOINTS MANUFACTURED BY SUPERIOR FEATHERWEIGHT TOOLS (OR APPROVED EQUIVALENT) WITH 1/2" PREMOULDED BITUMINOUS JOINT MATERIAL. ALL CONTROL JOINTS SHALL BE SEALED WITH A POLYURETHANE SEALANT.
2. WHEN SIDEWALK ABUTS CURB, SIDEWALK SHALL BE 1/4" ABOVE CURB WITH ROOFING FELT SATURATED ON BOTH SIDES WITH ASPHALTIC MATERIAL BETWEEN THEM. ROOFING PAPER SHALL NOT WEIGH LESS THAN 39.8 LBS. PER S.F.



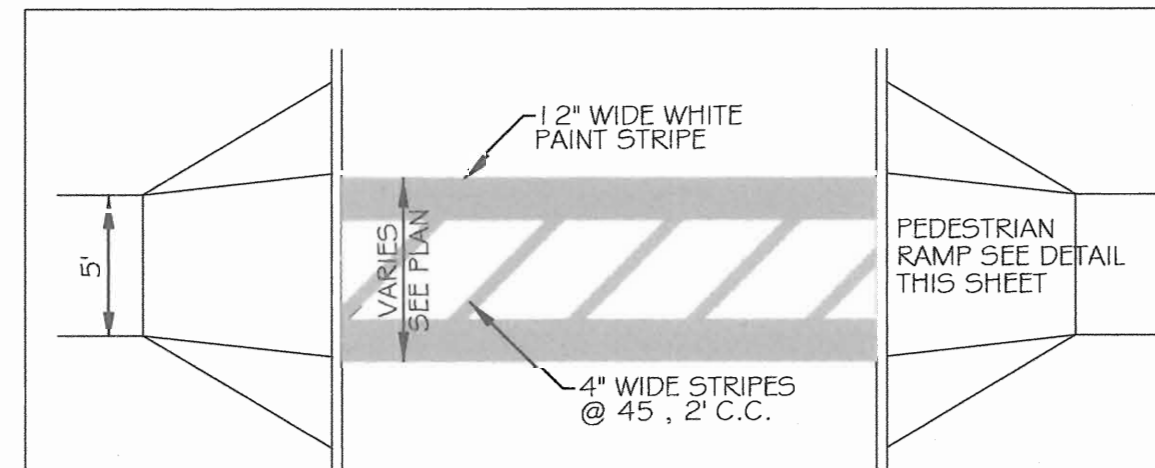
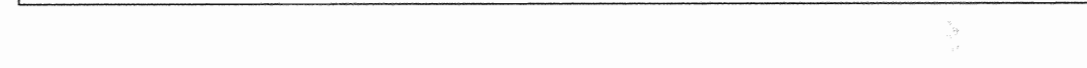
6 STANDARD BARRIER CURB HO. CO. STD. R3.03 N.T.S.



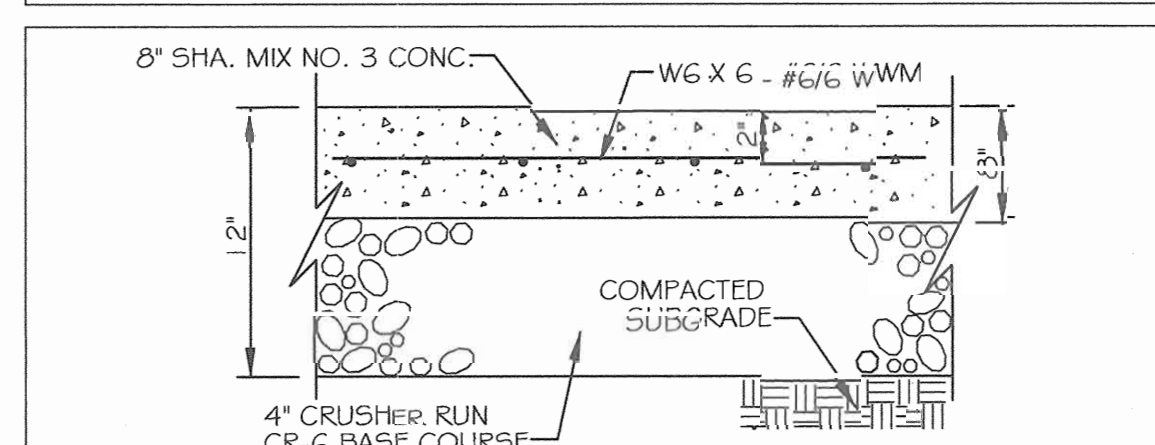
7 PAVING TIE-IN DETAIL N.T.S.



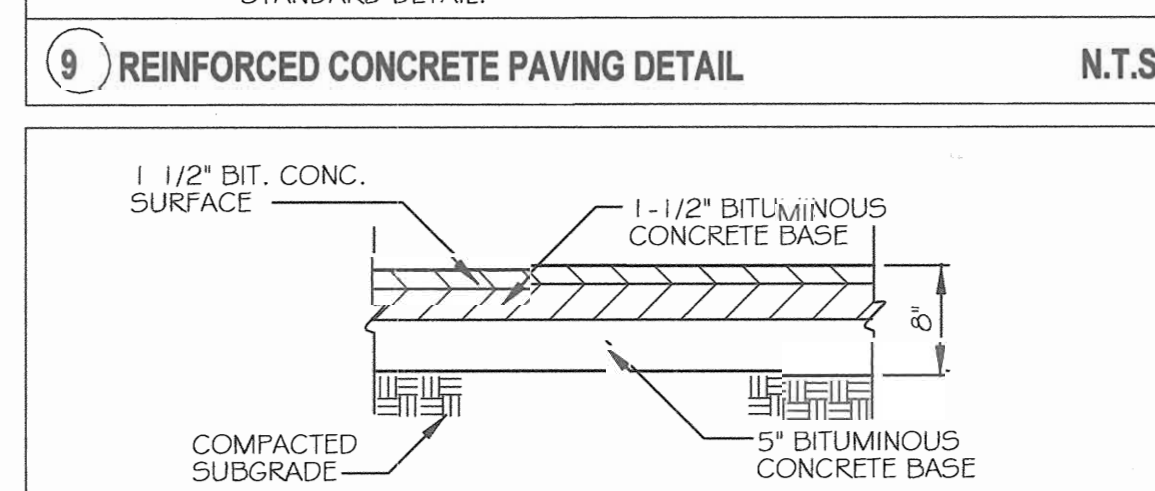
8 CROSS WALK PAINT STRIPING N.T.S.



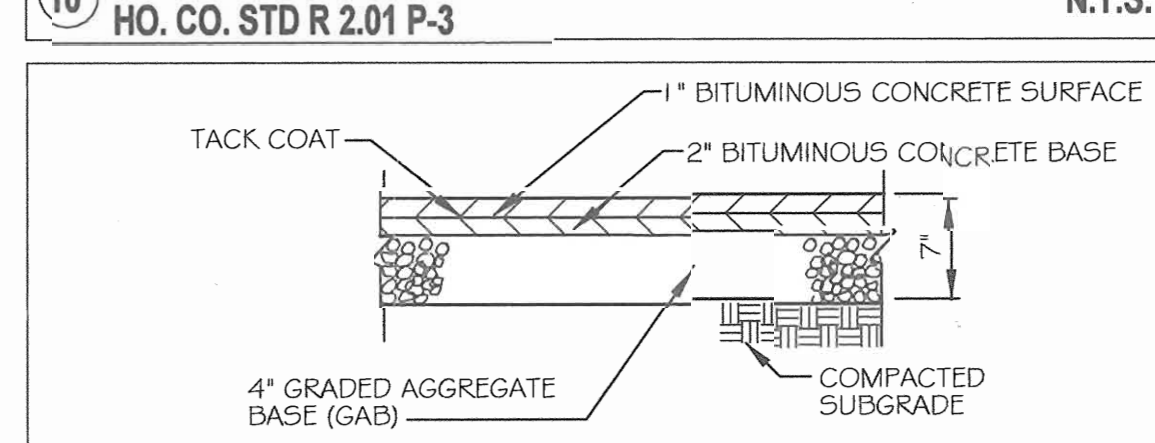
10 HEAVY DUTY PAVING DETAIL HO. CO. STD R 2.01 P-3 N.T.S.



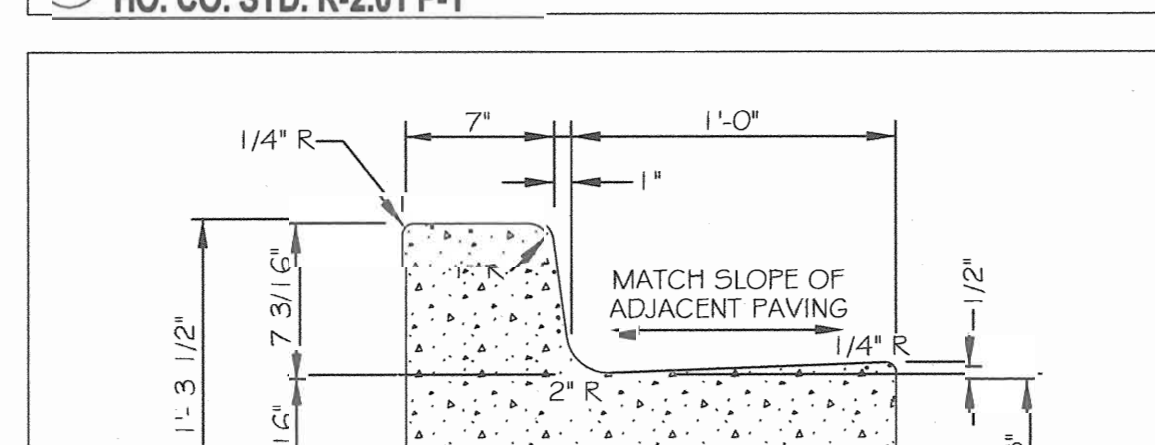
11 LIGHT DUTY PAVING DETAIL HO. CO. STD. R-2.01 P-1 N.T.S.



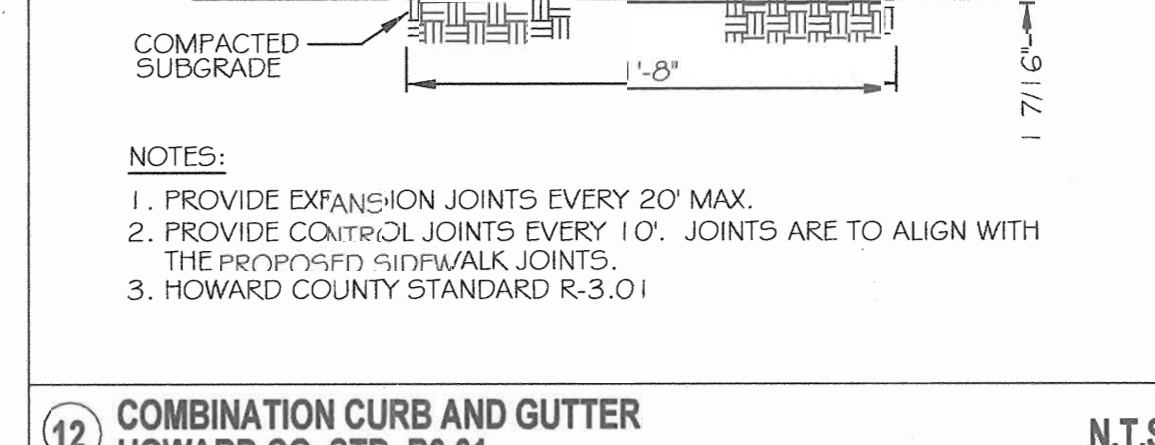
12 COMBINATION CURB AND GUTTER HOWARD CO. STD. R3.01 N.T.S.



13 DEPRESSED CURB & GUTTER AT PEDESTRIAN RAMP N.T.S.



14 BITUMINOUS CONCRETE SIDEWALK N.T.S.



15 10' HIGH DOUBLE SWING GATE & FENCE DETAIL N.T.S.



DATE

NO. REVISIONS DESCRIPTION

1340 Key Highway
Baltimore, MD 21230
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FAX 410-752-4823
collimoretgalloway.com

COLIMORE GALLOWAY ARCHITECTS

OBRECHT PROPERTIES LLC
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Timonium, MD 21088
Phone (410) 331-7817
Fax (410) 956-2367

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

10 North Park Drive
Hunt Valley, MD 21030
Phone (410) 331-7817
FAX (410) 331-7817
WWW.KCI.COM

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

[Signature] 11/2/05 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 11/7/05 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 10/2/05 DATE
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

[Signature] 10/28/05 DATE
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

STATE OF MARYLAND
PROFESSIONAL ENGINEER
10-27-05

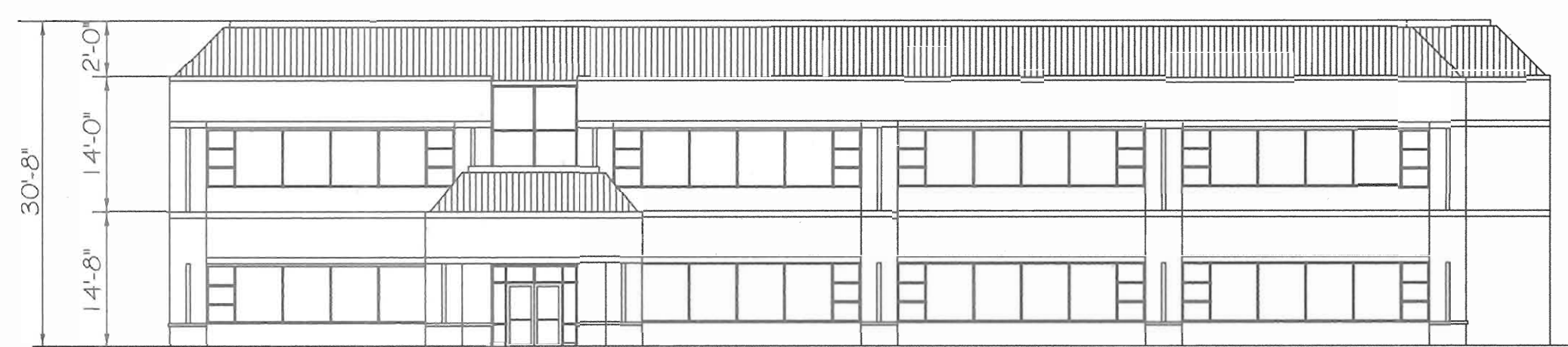
PROJECT # 01042698
PERMIT ISSUE:
CONSTRUCTION ISSUE:

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SDP-05-088

SDP-05-088

SCALE: AS SHOWN DATE: JULY 19, 2005 SHEET: 3 of 9

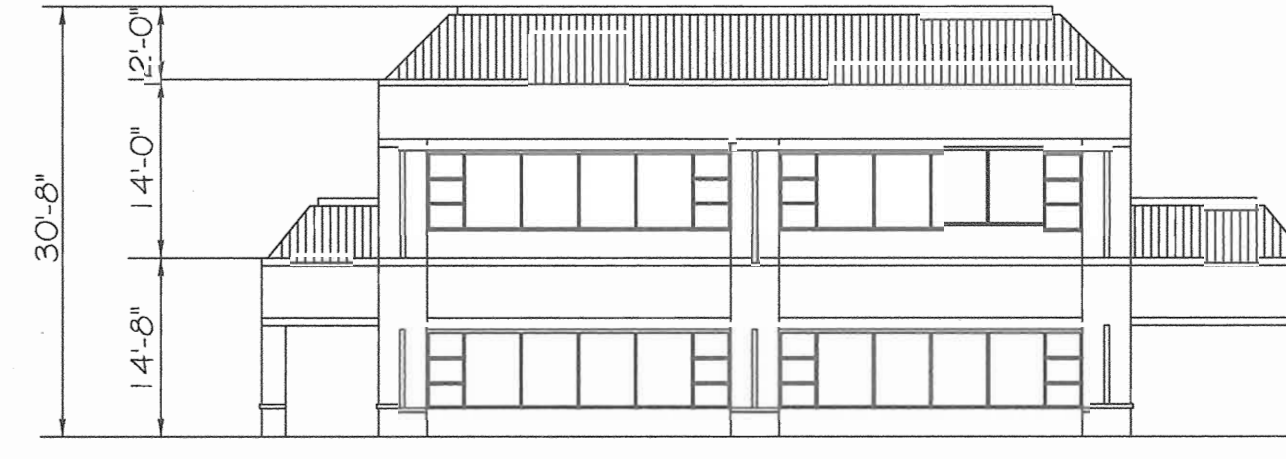
SITE DETAILS
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
6820 DEERPATH ROAD
ELK RIDGE, MD 21075
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JULY 19, 2005 SHEET: 3 of 9



FRONT



WEST SIDE

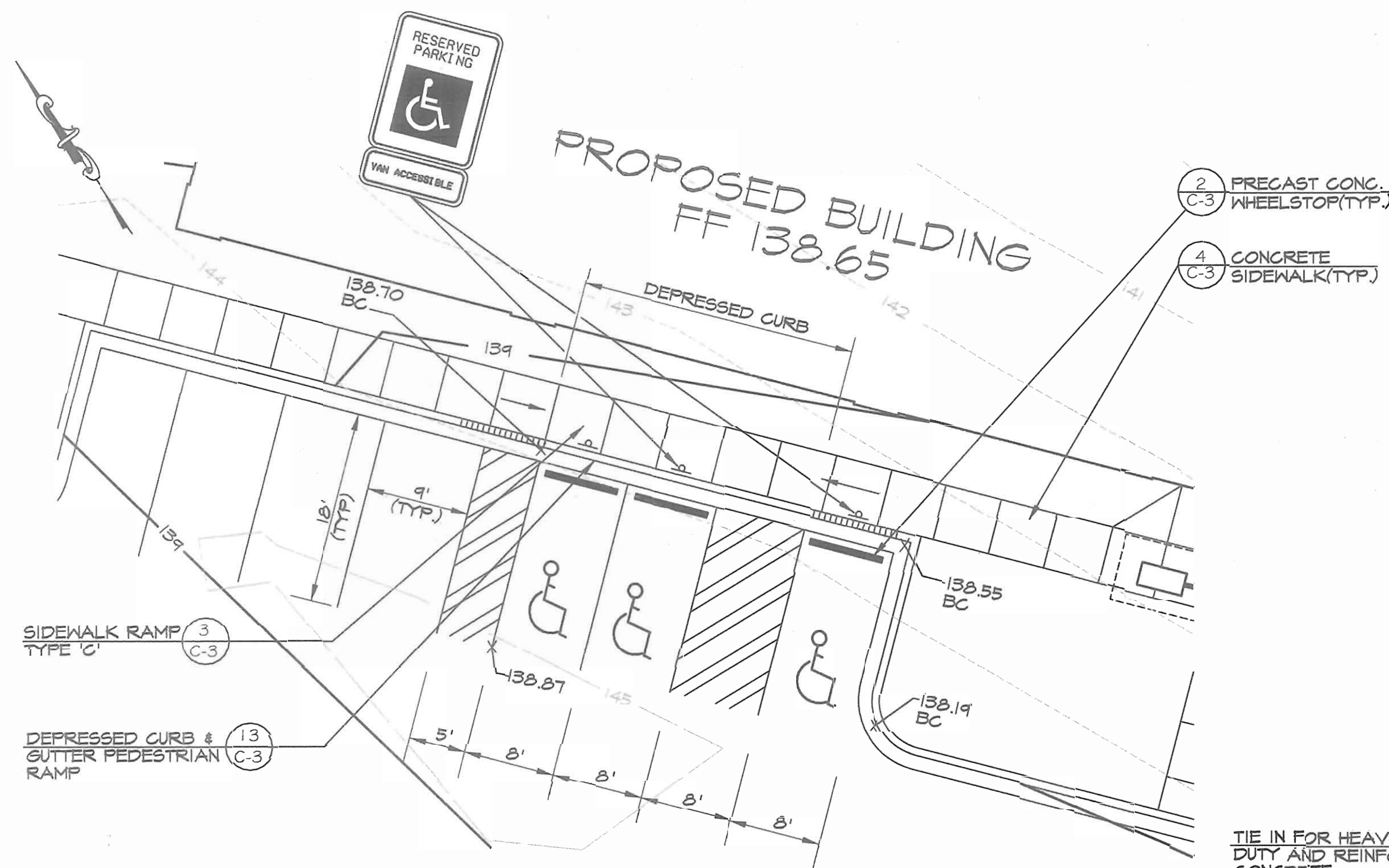


EAST SIDE

BUILDING ELEVATIONS

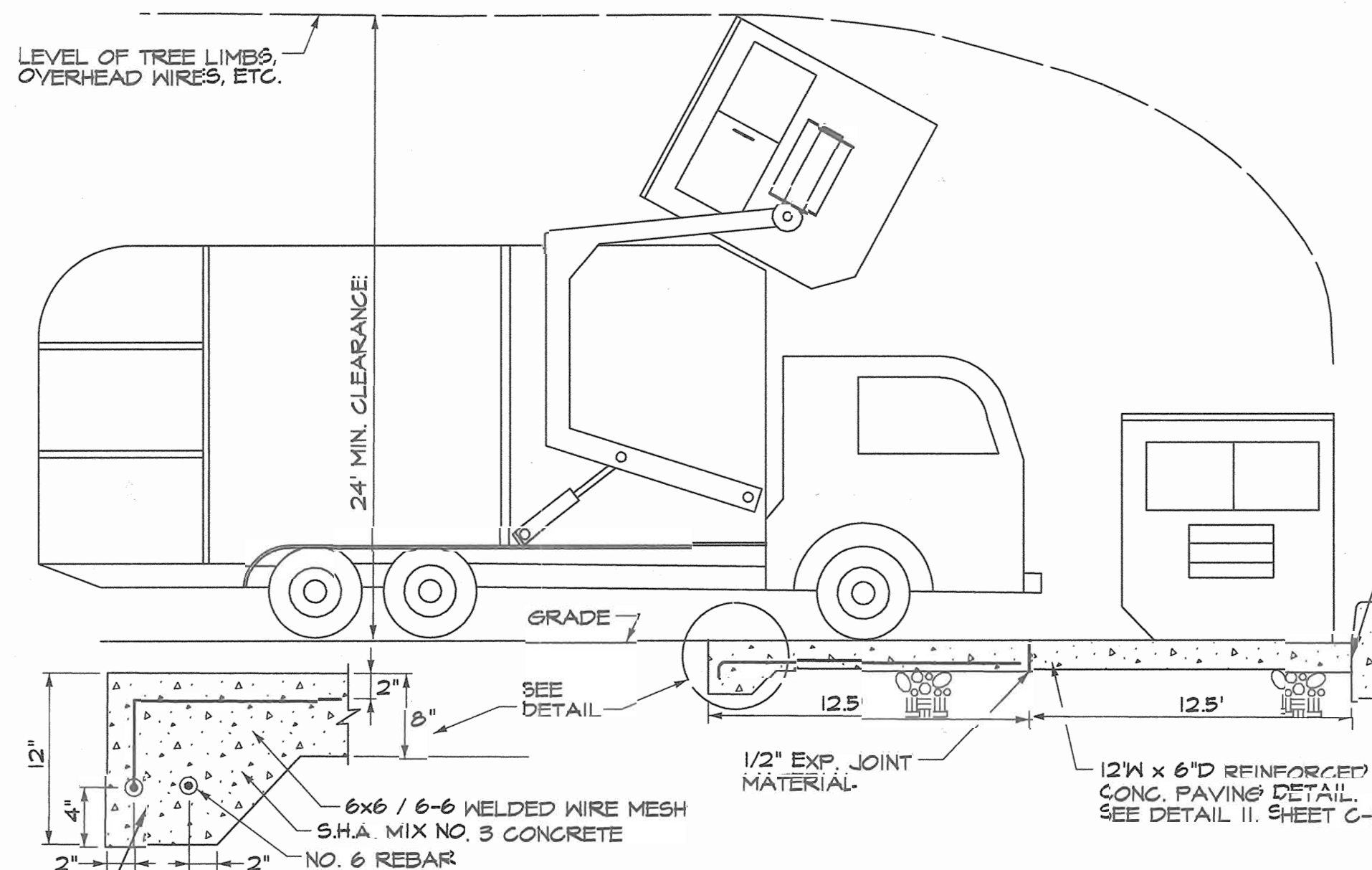
FOR ARCHITECTURAL DETAILS
SEE ARCHITECTURAL PLANS

SCALE: N.T.S.



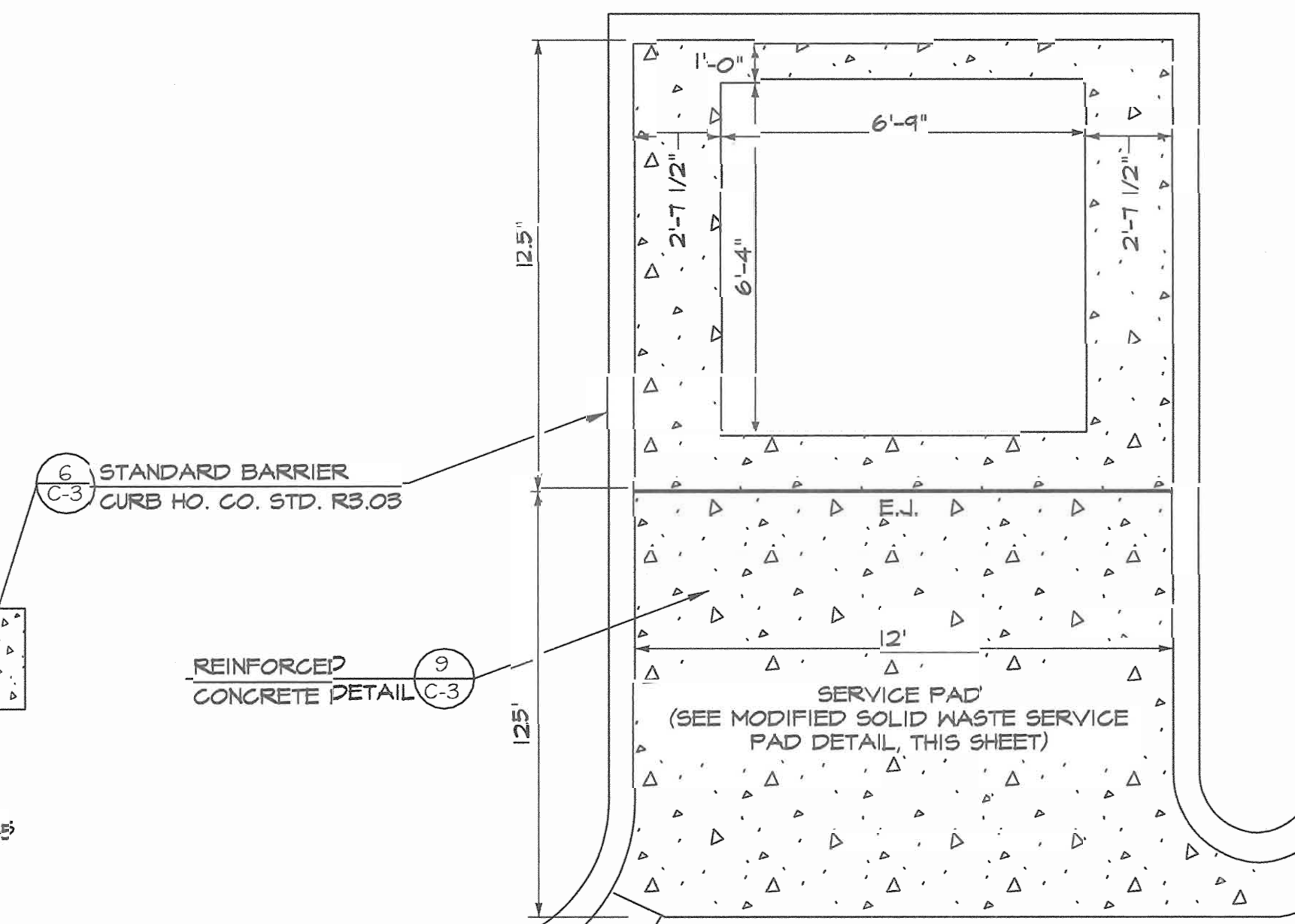
HANDICAP PARKING DETAIL

SCALE: 1" = 10'



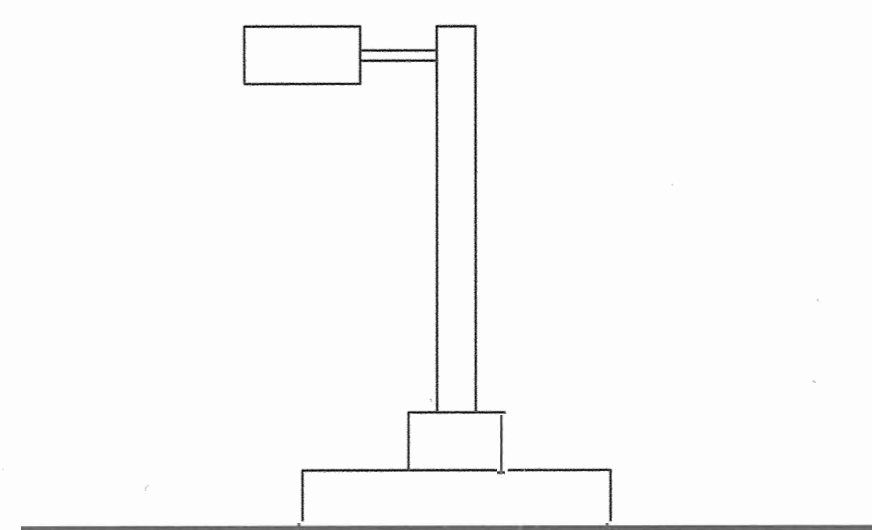
MODIFIED SOLID WASTE SERVICE PAD

N.T.S.



MODIFIED SOLID WASTE OPTIONAL CONTAINER ENCLOSURE

N.T.S.



PARKING LOT LIGHTS

THE LIGHTS IN THE PARKING AREA ARE TO BE LITHONIA, 400 WATT METAL HALIDE LAMPS ON A 50-FOOT POLE. THEY ARE ARRANGED AS A SINGLE UNIT. LIGHTS IN THE PARKING AREAS ARE TO BE INSTALLED ON CONCRETE CYLINDERS. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 154.D. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.



LIGHTING DETAIL

N.T.S.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Development Engineering Division *MAT* 11/2/05
 Chief, Division of Land Development *BB* 11/7/05
 Director *Mark A. Lopez* 11/7/05
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
 County Health Officer *Robert A. Wade* 10/28/05
 Director, Howard County Health Department *10/28/05*

SITE DETAILS
 DORSEY BUSINESS PARK, PARCEL E
 MARYLAND HOSPITAL ASSOCIATION
 BUILDING NO. 2
 2420 DEERPATH ROAD
 ELK RIDGE, MD 21075
 TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JULY 19, 2005 SHEET: 4 OF 9

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DATE: _____

NO. REVISIONS DESCRIPTION: _____

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 colimoregalloway.com

COLIMORE GALLOWAY ARCHITECTS

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 Fax: 410/331-2367

ENGINEERS:
 PLANNERS:
 SCIENTISTS:
 CONSTRUCTION MANAGERS:
 10 North Park Drive
 Hunt Valley, MD 21030
 Phone: 410/331-7800
 Fax: 410/331-7817
 www.kci.com

KCI TECHNOLOGIES

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 31082
 10-4-05

PROJECT # 01042690
 PERMIT ISSUE: _____
 CONSTRUCTION ISSUE: _____

C-4

CUT = 5,000 cuyd
FILL = 162 cuyd
TOTAL DISTURBED AREA = 65,169 SQ. FT. +/- (1.50 AC +/-)

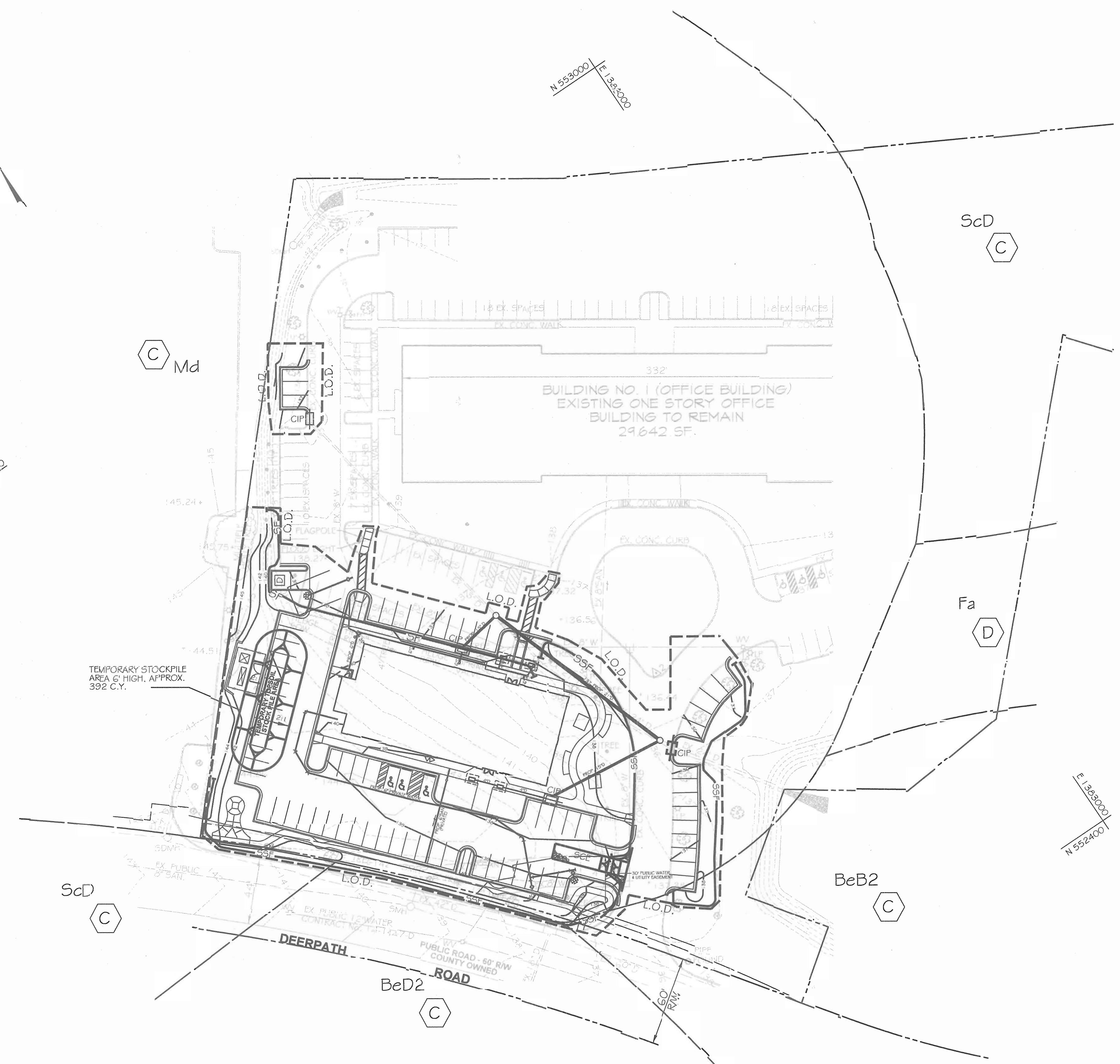
NOTE:
ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED
ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN
CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS
AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL,
AND REVISIONS THERETO.

SOIL CLASSIFICATION

- BeB2 BELTSVILLE SILT LOAM (1%-5% slopes)
- BeD2 BELTSVILLE SILT LOAM (10%-15% slopes)
- Fa FALLSINGTON LOAM
- Md MADE LAND
- ScD SANDY AND CLAYEY LAND (Moderately Sloped)

SEQUENCE OF CONSTRUCTION

- DAY 1 1. GRADING PERMIT TO BE OBTAINED PRIOR TO NOTICE TO PROCEED.
- DAY 2 2. CONTACT HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS AT LEAST 48 HOURS PRIOR TO STARTING WORK.
- DAY 3 3. CLEAR FOR AND INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- DAY 4-8 4. CLEAR AND GRUB FOR SEDIMENT AND EROSION CONTROL MEASURES OR DEVICES ONLY.
- DAY 9 5. INSTALL SILT FENCE AND TEMPORARY CONSTRUCTION FENCE.
- DAY 10 6. OBTAIN CERTIFICATION OF SEDIMENT CONTROL DEVICE PLACEMENT FROM HOWARD COUNTY INSPECTOR PRIOR TO ANY FURTHER CONSTRUCTION.
- DAY 11-20 7. CLEAR AND GRUB AND ROUGH GRADE SITE TO LIMITS OF DISTURBANCE. STOCKPILE AREAS ARE TO BE TEMPORARILY STABILIZED.
- DAY 21-25 8. BEGIN UTILITY CONSTRUCTION.
- DAY 26-130 9. BEGIN BUILDING CONSTRUCTION.
- DAY 131-138 10. INSTALL CURB & GUTTER PAVING BASE COURSE AND PROVIDE TEMPORARY STABILIZATION FOR ALL DISTURBED AREAS.
- DAY 139-144 11. FINE GRADE SITE, INSTALL WALKS, LANDSCAPING, AND PAVING SURFACE COURSE.
- DAY 145-150 12. AFTER OBTAINING PERMISSION FROM SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE ANY AREA DISTURBED BY THIS PROCESS.



EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 40'

LEGEND

- EX. INDEX CONTOUR
- EX. INTERMEDIATE CONTOUR
- EX. CURB AND GUTTER
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. WATER
- EX. SPOT ELEVATION
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. MANHOLE
- EX. CLEANOUT
- EX. LIGHT POLE
- EX. INLET
- EX. TREE
- EX. WOODS LINE
- L.O.D. LIMIT OF DISTURBANCE
- SF SILT FENCE
- SSF SUPER SILT FENCE
- PROP. 6" D PROPOSED STORM DRAIN
- PROP. 6" SAN. PROPOSED SANITARY SEWER
- PROP. 6" W PROPOSED WATERLINE
- PROP. CONCRETE WALK
- CIP CURB INLET PROTECTION
- SCE STABILIZED CONSTRUCTION ENTRANCE
- SOILS LINE
- SOIL CLASSIFICATION
- L.O.D. LIMIT OF DISTURBANCE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE 11/2/05
 DATE 11/9/05
 DATE 11/1/05
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE 11/28/05

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richard L. Butt
 ENGINEER
 Richard L. Butt, MD LICEN SE #31089
 DATE 10-4-05

BY THE DEVELOPER:
 I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

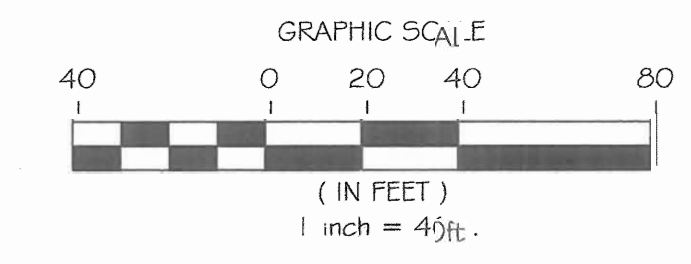
Russ Emerson
 DEVELOPER
 Russ Emerson - Obrecht Properties LLC
 DATE 10/15/05

Reviewed for HOWARD SCD and meets Technical Requirements.

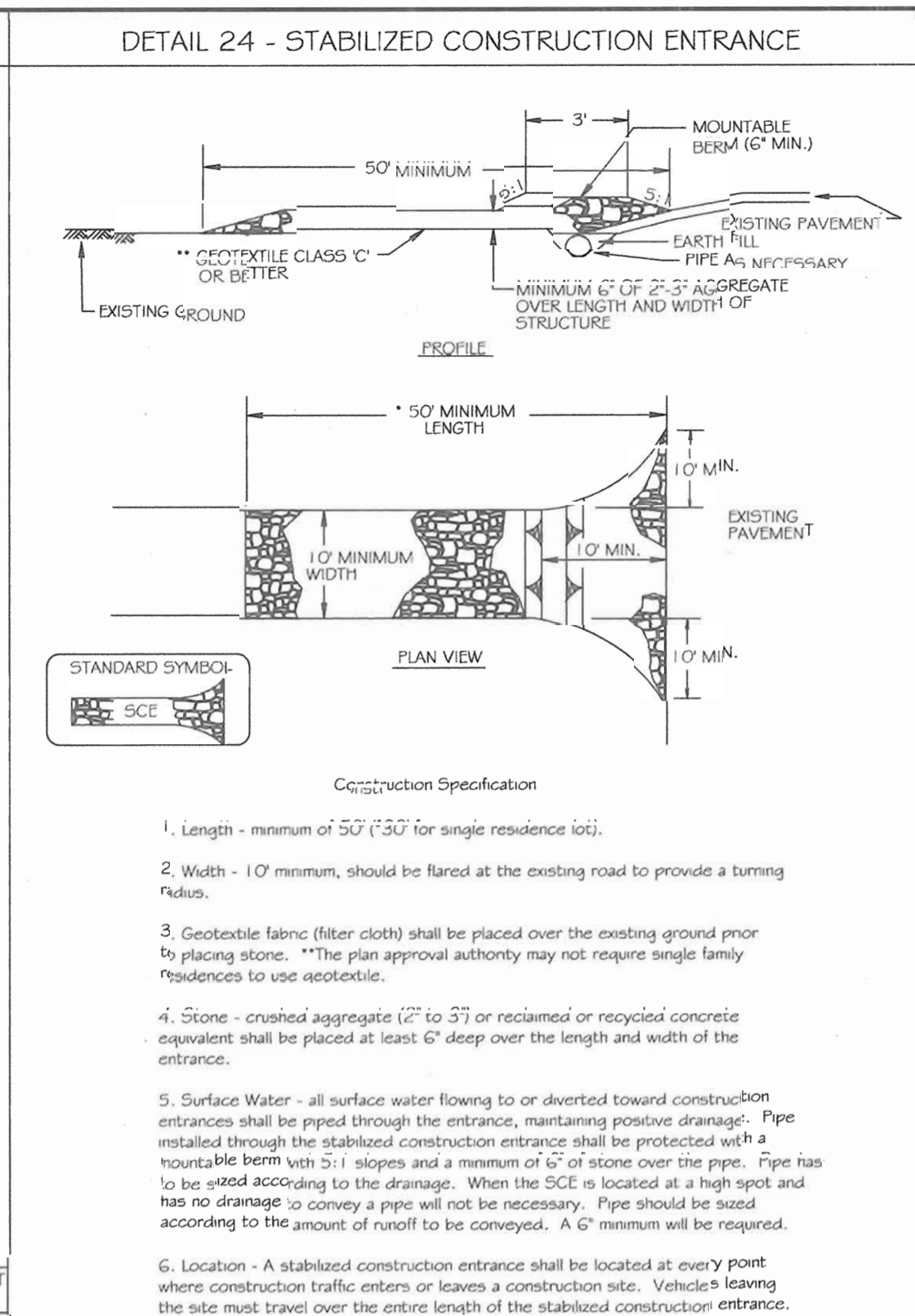
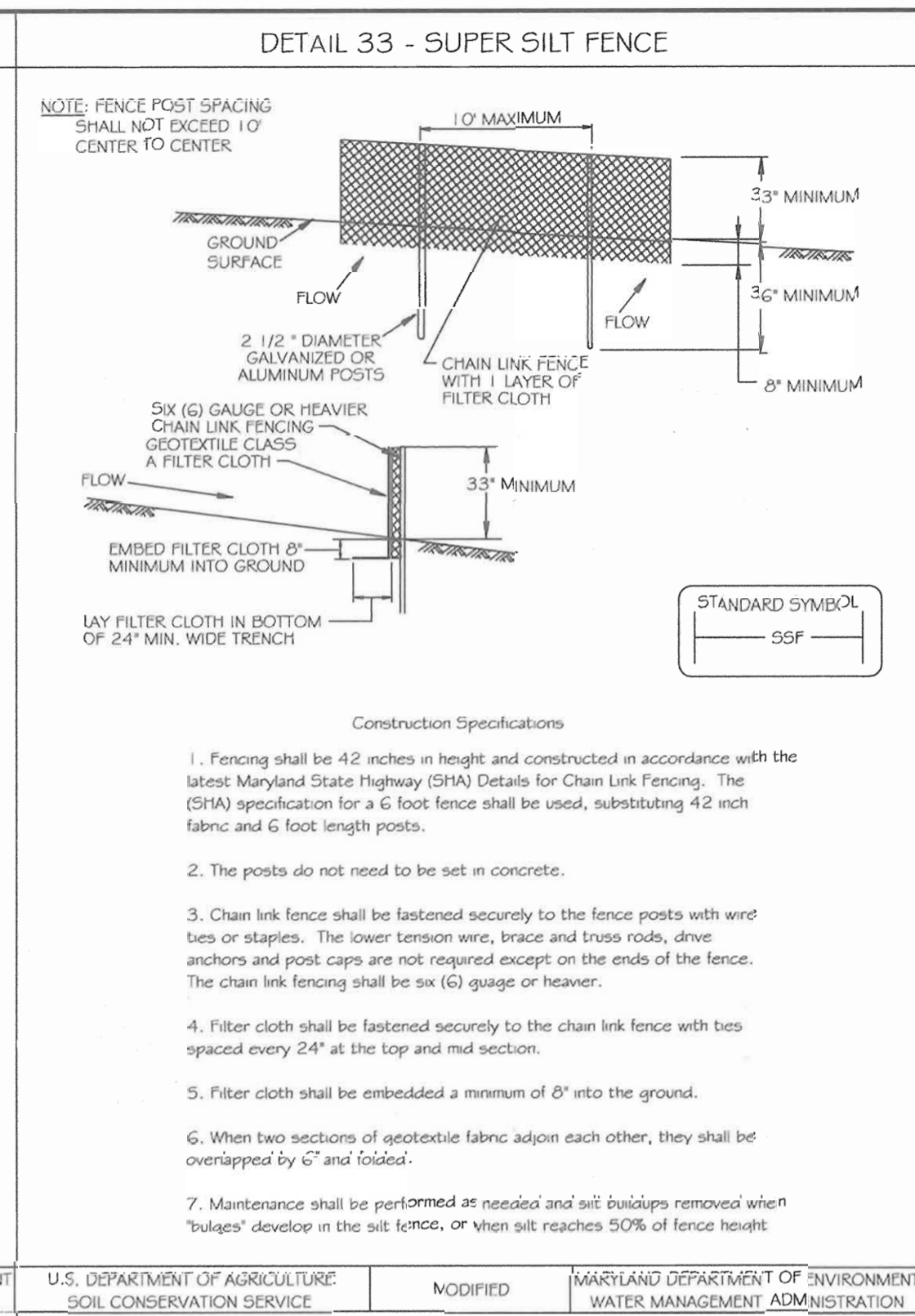
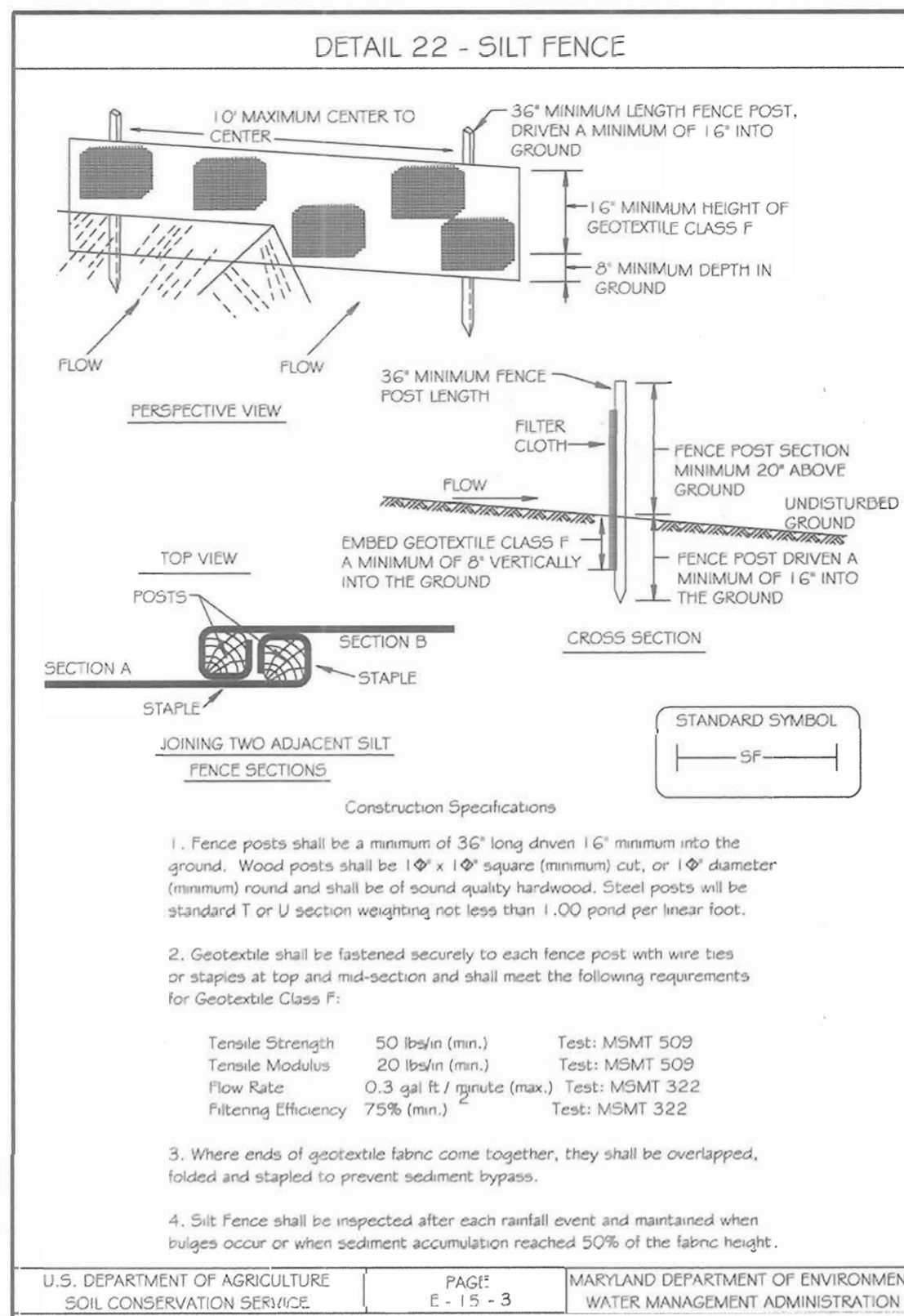
Jim Meyer
 USA - Natural Resources Conservation Services
 Date 10/15/05

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John L. Robinson
 Howard SCD
 Date 10/15/05



EROSION & SEDIMENT CONTROL PLAN
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
 6820 DEERPETH ROAD
 ELK RIDGE, MD 21075
 TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40' DATE: JULY 19, 2005 SHEET: 5 OF 9



HOWARD COUNTY SOIL CONSERVATION DISTRICT DETAILS AND SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS FOR THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND FOURTEEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

1. PERMANENT SEEDING:

A. SOIL TESTS: LIME AND FERTILIZER WILL BE APPLIED PER SOIL TESTS RESULTS FOR SITES GREATER THAN 5 ACRES. SOIL TESTS WILL BE DONE AT COMPLETION OF ROUGH GRADING. RATES AND ANALYSIS WILL BE PROVIDED TO THE GRADING INSPECTOR AS WELL AS THE CONTRACTOR.

B. OCCURRENCE OF ACID SULFATE SOILS (GRAYISH BLACK COLOR) WILL REQUIRE COVERING WITH A MINIMUM OF 12 INCHES OF CLEAN SOIL WITH 6 INCHES MINIMUM (APPING OF TOP SOIL. NO STOCKPILING OF MATERIAL IS ALLOWED. IF NEEDED, SOIL TESTS SHOULD BE DONE BEFORE AND AFTER A 6 WEEK INCUBATION PERIOD TO ALLOW OXIDATION OF SULFATES.

C. SEEDING: APPLY 5-6 POUNDS PER 1,000 SQUARE FEET OF TALL FESCUE BETWEEN FEBRUARY 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND OCTOBER 31. APPLY SEED UNIFORMLY ON A SLIGHT RYLE SEEDBED WITH A CYCLONE SEEDING DRILL, CULTIPACKER SEEDER OR HYDROSEEDER (SLURRY INCLUDES SEEDS AND FERTILIZER. RECOMMENDED ON STEEP SLOPES ONLY. MAXIMUM SEED DEPTH SHOULD BE 1/4 INCH IN CLAYEY SOILS AND 1/2 INCH IN SANDY SOILS WHEN USING OTHER THAN THE HYDROSEEDER METHOD. IRRIGATE IF SOIL MOISTURE IS DEFICIENT TO SUPPORT ADEQUATE GROWTH UNTIL VEGETATION IS FIRMLY ESTABLISHED. OTHER SEED MIXES ARE TO BE USED AS PER TABLE 25.1. TABLE 25.1 PERMANENT SEEDING FOR LOW MAINTENANCE AREAS FROM THE 1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. MIXES SUITABLE FOR THIS AREA ARE: 1, 3, AND 5-7. MIXES 5-7 ARE SUITABLE IN NON-ROWABLE SITUATIONS.

D. MULCHING: MULCH SHALL BE APPLIED TO ALL GRADED AREAS IMMEDIATELY AFTER SEEDING DURING THE TIME PERIODS WHEN SEEDING IS NOT PERMITTED. MULCH SHALL BE APPLIED IMMEDIATELY AFTER GRADING. MULCH SHALL BE UNROTATED, UNCHOPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 POUNDS PER 1,000 SQUARE FEET (2 SALES). IF A MULCH ANCHORING TOOL IS USED, APPLY 2.5 TONS PER ACRE. MULCH APPLIED SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF PROHIBITED NOXIOUS WEEDS. SPREAD MULCH UNIFORMLY, MECHANICALLY OR BY HAND, TO A DEPTH OF 1.0 INCHES.

E. SECURING STRAW MULCH: STRAW MULCH SHALL BE SECURED IMMEDIATELY FOLLOWING MULCH APPLICATION TO MINIMIZE MOVEMENT BY WIND OR WATER. THE FOLLOWING METHODS ARE PERMITTED:

(i) USE A MULCH ANCHORING TOOL WHICH IS DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE TO A MINIMUM DEPTH OF 2 INCHES. THIS IS THE MOST EFFECTIVE METHOD FOR SECURING MULCH. HOWEVER, IT IS LIMITED TO RELATIVELY FLAT AREAS WHERE EQUIPMENT CAN OPERATE SAFELY.

(ii) WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. IF MIXED WITH WATER, USE 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

(iii) LIQUID BINDERS MAY BE USED AND APPLIED HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF SLOPES. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION. BINDERS LISTED IN THE 1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL OR APPROVED EQUAL SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURERS.

(iv) LIGHTWEIGHT PLASTIC NETTING MAY BE USED TO SECURE MULCH. THE NETTING WILL BE STAPLED TO THE GROUND ACCORDING TO MANUFACTURERS RECOMMENDATIONS.

2. TEMPORARY SEEDING:

LIME: 100 POUNDS OF DOLOMITIC LIMESTONE PER 1,000 SQUARE FEET.

FERTILIZER: 15 POUNDS OF 10-10-10 PER 1,000 SQUARE FEET.

SEED: PERENNIAL RYE - 0.92 POUNDS PER 1,000 SQUARE FEET (FEBRUARY 1 THROUGH APRIL 30 OR AUGUST 15 THROUGH NOVEMBER 1).
MILLET - 0.92 POUNDS PER 1,000 SQUARE FEET (MAY 1 THROUGH AUGUST 15).
MULCH: SAME AS I AND E ABOVE.

3. NO FILLS MAY BE PLACED ON FROZEN GROUND. ALL FILL TO BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8 INCHES. ALL FILL IN ROADWAYS AND PARKING AREAS IS TO BE CLASSIFIED TYPE 2 AS PER ANNE ARUNDEL COUNTY CODE - ARTICLE 21, SECTION 2-308, AND COMPACTED TO 90% MINIMUM; COMPACTION TO BE DETERMINED BY ASTM D-1557-66 (MODIFIED PROCTOR). ANY FILL WITHIN THE BUILDING AREA IS TO BE COMPACTED TO A MINIMUM OF 95% AS DETERMINED BY METHODS VENTIONED. FILLS FOR FOND EMENT SHALL BE COMPACTED AS PER MD-379 CONSTRUCTION SPECIFICATIONS. ALL OTHER FILLS SHALL BE COMPACTED SUFFICIENTLY SO AS TO BE STABLE AND PREVENT EROSION AND SLIPAGE.

4. PERMANENT SOD:

INSTALLATION OF SOD SHOULD FOLLOW PERMANENT SEEDING DATES. PERMANENT SOD IS TO BE TALL FESCUE, STATE APPROVED SOD; LIME AND FERTILIZER PER PERMANENT SEEDING SPECIFICATIONS; AND LIGHTLY IRRIGATE SOIL PRIOR TO LAYING SOD. SOD IS TO BE LAID ON THE CONTOUR WITH ALL ENDS TIGHTLY BUTTING. JOINTS ARE TO BE STAGGERED BETWEEN ROWS. WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH THE SOIL. ALL SLOPES STEEPER THAN 3:1, AS SHOWN, ARE TO BE PERMANENTLY SODDED OR PROTECTED WITH AN APPROVED EROSION CONTROL. LETTING. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE APPLIED ON FROZEN GROUND. SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (WET UK Wt) AND/OR EXTREME TEMPERATURE MAY ADVERSELY AFFECT ITS SURVIVAL. IN THE ABSENCE OF ADEQUATE RAINFALL, IRRIGATION SHOULD BE PERFORMED TO INSURE ESTABLISHED SOD.

5. MINING OPERATIONS:

SEDIMENT CONTROL PLANS FOR MINING OPERATIONS MUST INCLUDE THE FOLLOWING SEEDING DATES AND MIXTURES:

FOR SEEDING DATES OF:
FEBRUARY 1 THROUGH APRIL 30 AND AUGUST 15 THROUGH OCTOBER 31, USE SEED MIXTURE OF TALL FESCUE AT THE RATE OF 2 POUNDS PER 1,000 SQUARE FEET AND WEEPING LOVEGRASS AT THE RATE OF 0.5 POUNDS PER 1,000 SQUARE FEET.

FOR SEEDING DATES OF MAY 1 THROUGH AUGUST 14, USE SEED MIXTURE OF TALL FESCUE AT THE RATE OF 2 POUNDS PER 1,000 SQUARE FEET AND WEEPING LOVEGRASS AT THE RATE OF 0.1 POUND PER 1,000 SQUARE FEET.

NOTE: USE OF THIS INFORMATION DOES NOT PRECLUDE MEETING ALL OF THE REQUIREMENTS OF THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

SILT FENCE

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE: E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

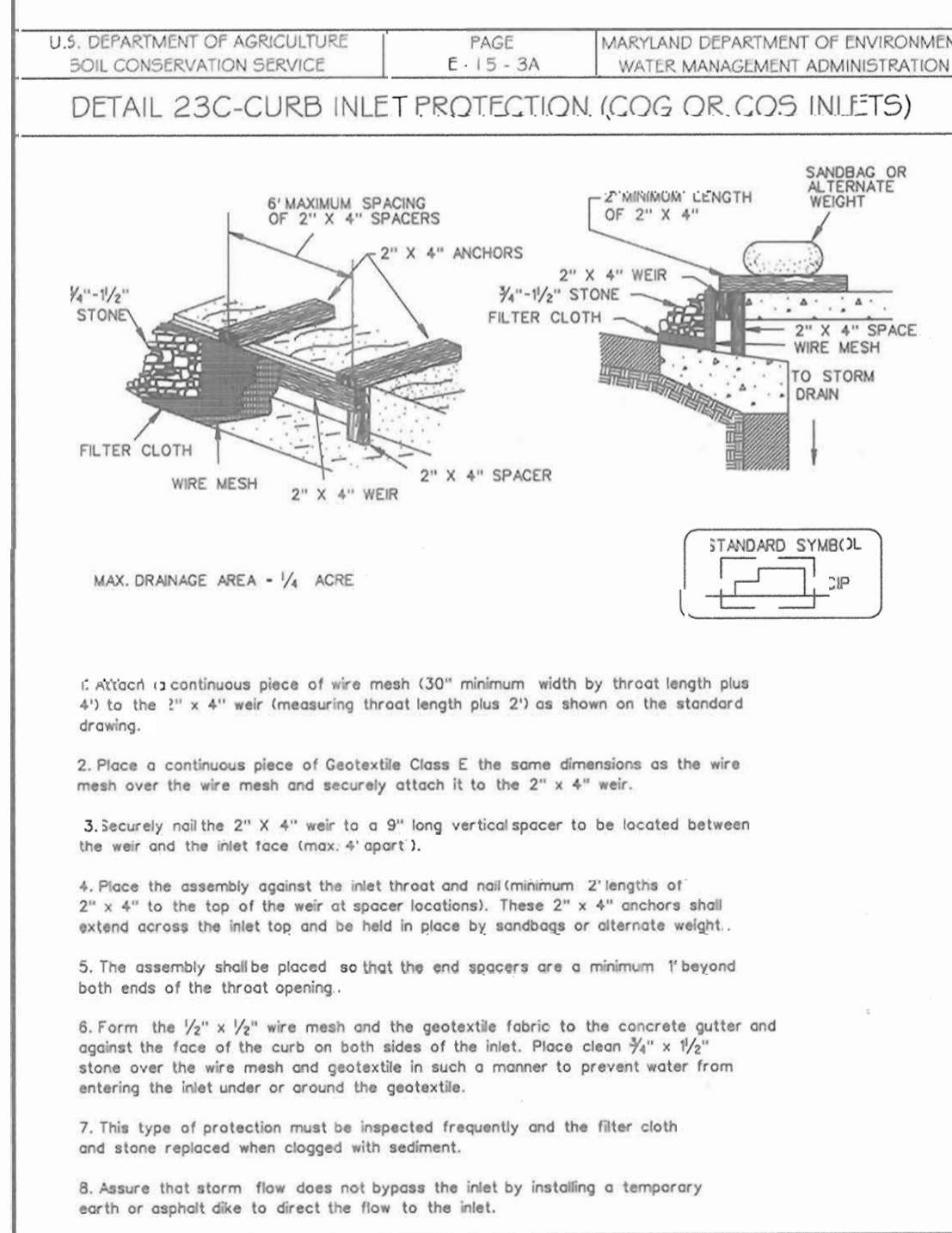
Note: In areas of less than 2% slope and sandy soils USDA general classification system, soil class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

SUPER SILT FENCE

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE: MODIFIED E-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
0 - 10%	2 - 10:1	unlimited
10 - 20%	10:1 - 5:1	200 feet
20 - 33%	5:1 - 3:1	100 feet
33 - 50%	3:1 - 2:1	100 feet
50% +	2:1 +	50 feet



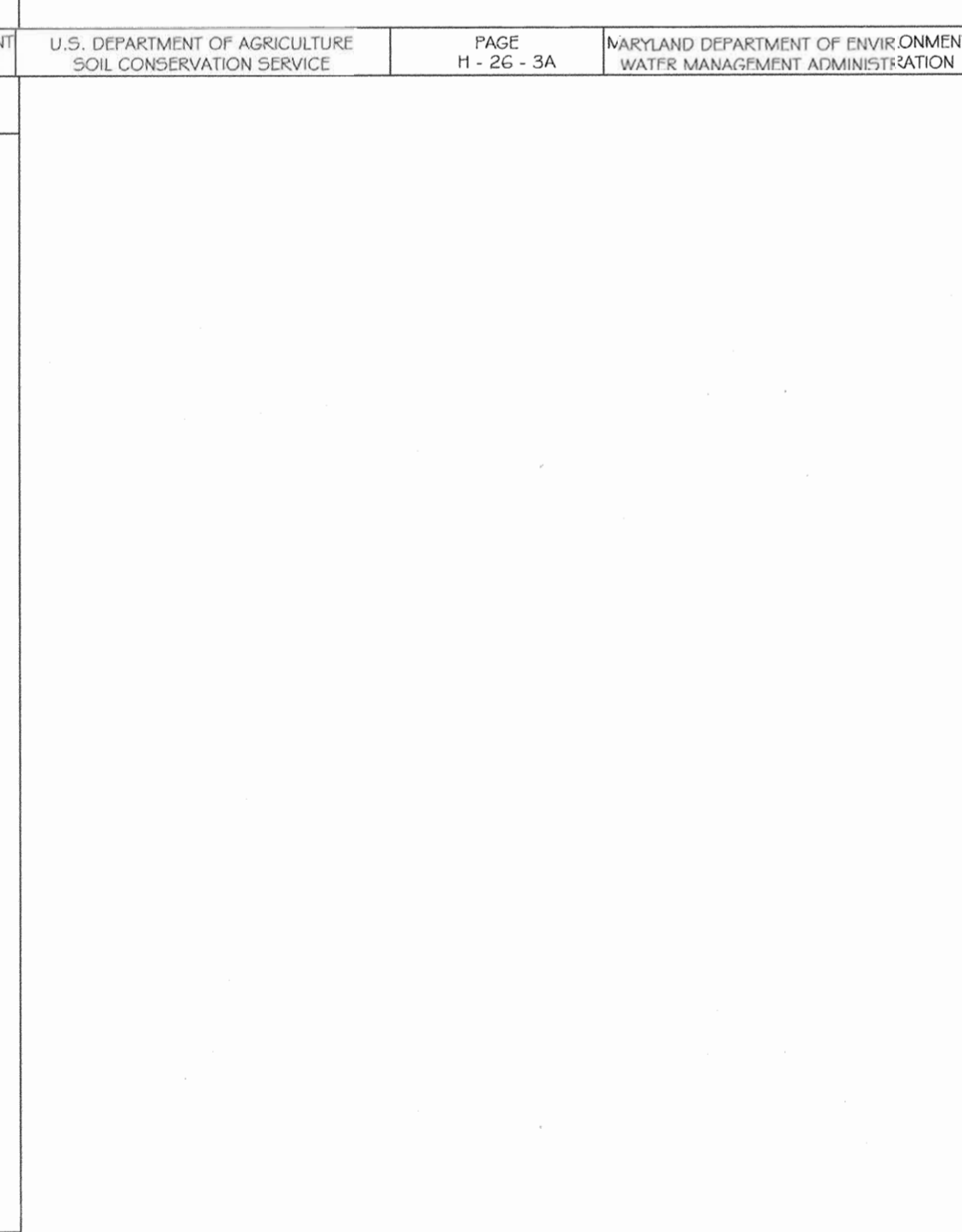
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE: E-16-5B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 11/2/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
COUNTY HEALTH OFFICER DATE: 10/18/05

BY THE ENGINEER:
Richard L. Butt, P.E. NO. 31089 DATE: 10-4-05

BY THE DEVELOPER:
Russ Enerson - Obrecht Properties LLC DATE: 10/17/05



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE: E-16-5A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 11/2/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
COUNTY HEALTH OFFICER DATE: 10/18/05

BY THE ENGINEER:
Richard L. Butt, P.E. NO. 31089 DATE: 10-4-05

BY THE DEVELOPER:
Russ Enerson - Obrecht Properties LLC DATE: 10/17/05



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE: E-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 11/2/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
COUNTY HEALTH OFFICER DATE: 10/18/05

BY THE ENGINEER:
Richard L. Butt, P.E. NO. 31089 DATE: 10-4-05

BY THE DEVELOPER:
Russ Enerson - Obrecht Properties LLC DATE: 10/17/05

STANDARD RESPONSIBILITY NOTES

1. DEVELOPERS CERTIFICATION:

(i) WE CERTIFY THAT:

A) ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN, AND FURTHER, AUTHORITY OF THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT BOARD OF SUPERVISORS OR THEIR AUTHORIZED AGENTS.

B) ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

RESPONSIBLE PERSON ON THE SITE: Malay Stojack

2. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHTS OF WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF SEDIMENTS INTO THE RIGHT OF ENTRY OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS OF WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN CALENDAR DAYS FOR THE SURFACE OF PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND FOURTEEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. THE SEDIMENT CONTROL APPROVALS ON THE PLAN EXTEND ONLY TO AREAS AND PRACTICES IDENTIFIED AS PROPOSED WORK.

5. THE APPROVAL OF THIS PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH ANY REQUIREMENTS OF ENVIRONMENTAL ISSUES.

6. THE DEVELOPER MUST REQUEST THAT THE DEPARTMENT OF INSPECTIONS AND PERMITS APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE GRADING OR BUILDING PERMIT AND THE ORDINANCE.

7. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE DEPARTMENT OF INSPECTIONS AND PERMITS SHALL BE REQUIRED ON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THE INITIAL APPROVAL BY THE DEPARTMENT OF INSPECTIONS AND PERMITS IS GIVEN.

8. APPROVAL SHALL BE WITHSTOOD ON FINAL STABILIZATION OF ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES BEFORE REMOVAL OF CONTROLS.

Signature: Russ Enerson - Obrecht Properties LLC, Executive Vice President
Address: 9475 DEERCO ROAD, SUITE 200, TIMONIUM, MD 21093
Telephone: (410) 561-5858

CONSULTANTS CERTIFICATION

THE DEVELOPER'S PLAN TO CONTROL SILT AND EROSION IS ADEQUATE TO CONTAIN THE SILT AND EROSION PROPERTY COVERED BY THE PLAN. I CERTIFY THAT THIS PLAN OF SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT PLAN SUBMITAL GUIDELINES AND THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SEDIMENT AND EROSION CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER.

Signature: Richard L. Butt, DATE: 10-4-05
MD. LICENSE NO. 31089
Firm Name: KCI TECHNOLOGIES INC.
Address: 10 NORTH PARK DRIVE, HUNT VALLEY, MD, 21030
Telephone: (410) 316-7855

EROSION & SEDIMENT CONTROL NOTES AND DETAILS
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
6820 DEERPATH ROAD, ELKRUNGE, MD 21025
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: N.T.S. DATE: JULY 19, 2005 SHEET: 6 OF 9

NO. REVISIONS DESCRIPTION

DATE

1240 Key Highway
Baltimore, MD 21220
TEL: 410-752-7270
FAX: 410-752-4823
colmoregalloway.com

COLMORE GALLOWAY ARCHITECTS

OBRECHT PROPERTIES LLC
4415 Deereco Road, Suite 200
Timonium, MD 21093
Phone: (410) 316-7857
Fax: (410) 561-2567

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

KCI TECHNOLOGIES

PROJECT # 01042698
PERMIT ISSUE:
CONSTRUCTION ISSUE:
C-6

STATE OF MARYLAND
PROFESSIONAL ENGINEER
10-4-05

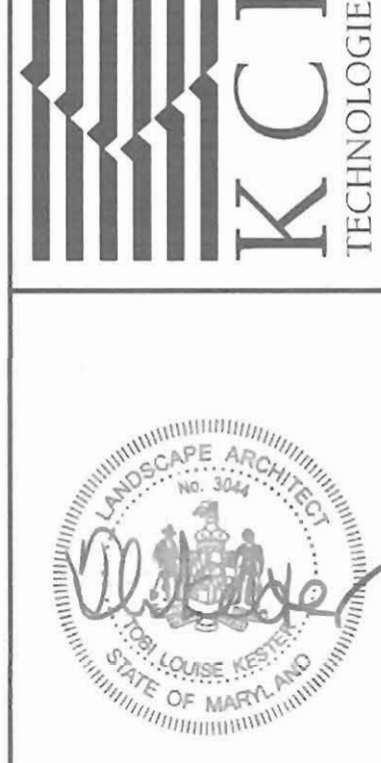
DATE	NO.	REVISIONS DESCRIPTION

1240 Key Highway
Baltimore, MD 21230
TEL 410/752-3720
FAX 410/752-4823
collimoregalloway.com



OBRECHT PROPERTIES LLC
4475 Deeress Road, Suite 200
Timonium, MD 21087
PH 410/313-7817
FAX 410-966-2367

CONSTRUCTION MANAGERS
10 North Park Drive
Hunt Valley, MD 21030
PHONE (410) 313-7817
FAX (410) 966-2367
WWW.KCI.COM



PROJECT # 01042698
PERMIT ISSUE:
CONSTRUCTION ISSUE:
C-7

PERIMETER LANDSCAPE EDGE

CATEGORY	PERIMETER 1	PERIMETER 2
LANDSCAPE TYPE	A	E
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	180 L.F.	332 L.F.
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	N/A	N/A
CREDIT FOR WALL FENCE OR BEAM (YES, NO, LINEAR FEET)	N/A	N/A
NUMBER OF PLANTS REQUIRED		
SHADE TREES	3	8
EVERGREEN TREES	0	0
SHRUBS	0	83
NUMBER OF PLANTS PROVIDED		
SHADE TREES	3	5
EVERGREEN TREES	0	2
OTHER TREES	0	2
SHRUBS	0	83*

*Includes 10 shrubs in parking island
PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	64
NUMBER OF TREES REQUIRED	4
NUMBER OF TREES PROVIDED	
SHADE TREES	5
OTHER TREES (2:1 SUBSTITUTION)	0

DUMPSTER SCREENING REQUIREMENTS

TYPE D SCREEN - 44 L.F.
LARGE TREES - 1
EVERGREEN TREES - 4

PROVIDED -
LARGE TREES - 1
EVERGREEN TREES - 4

AMENITY AREA:

TOTAL AMENITY AREA REQUIRED: 6,524 S.F. (0.15 AC)
TOTAL AMENITY AREA PROVIDED: 6,817 S.F. (0.16 AC)

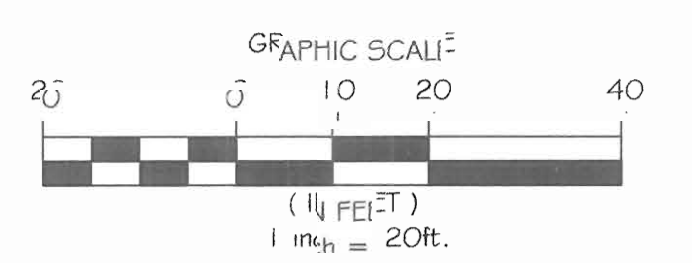
LANDSCAPING NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- TREES SHOULD BE PLANTED A MINIMUM OF 6 FEET FROM THE EDGE OF PAVING AND MUST BE A MINIMUM OF 5 FEET FROM ANY STORM DRAIN.
- TREES MUST BE PLANTED A MINIMUM OF 5 FEET FROM AN OPEN SPACE ACCESS, STEEP AND 10 FEET FROM A DRIVEWAY.
- SEE TREE PLANTING DETAIL - SHEET C-8
- TOTAL FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$7,890.00 FOR 6 SHADE TREES IN THE AMOUNT OF \$4,800.00; 4 EVERGREENS IN THE AMOUNT OF \$620.00 AND 83 SHRUBS IN THE AMOUNT OF \$2,490.00, SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT.

DEVELOPER'S BUILDER'S CERTIFICATION

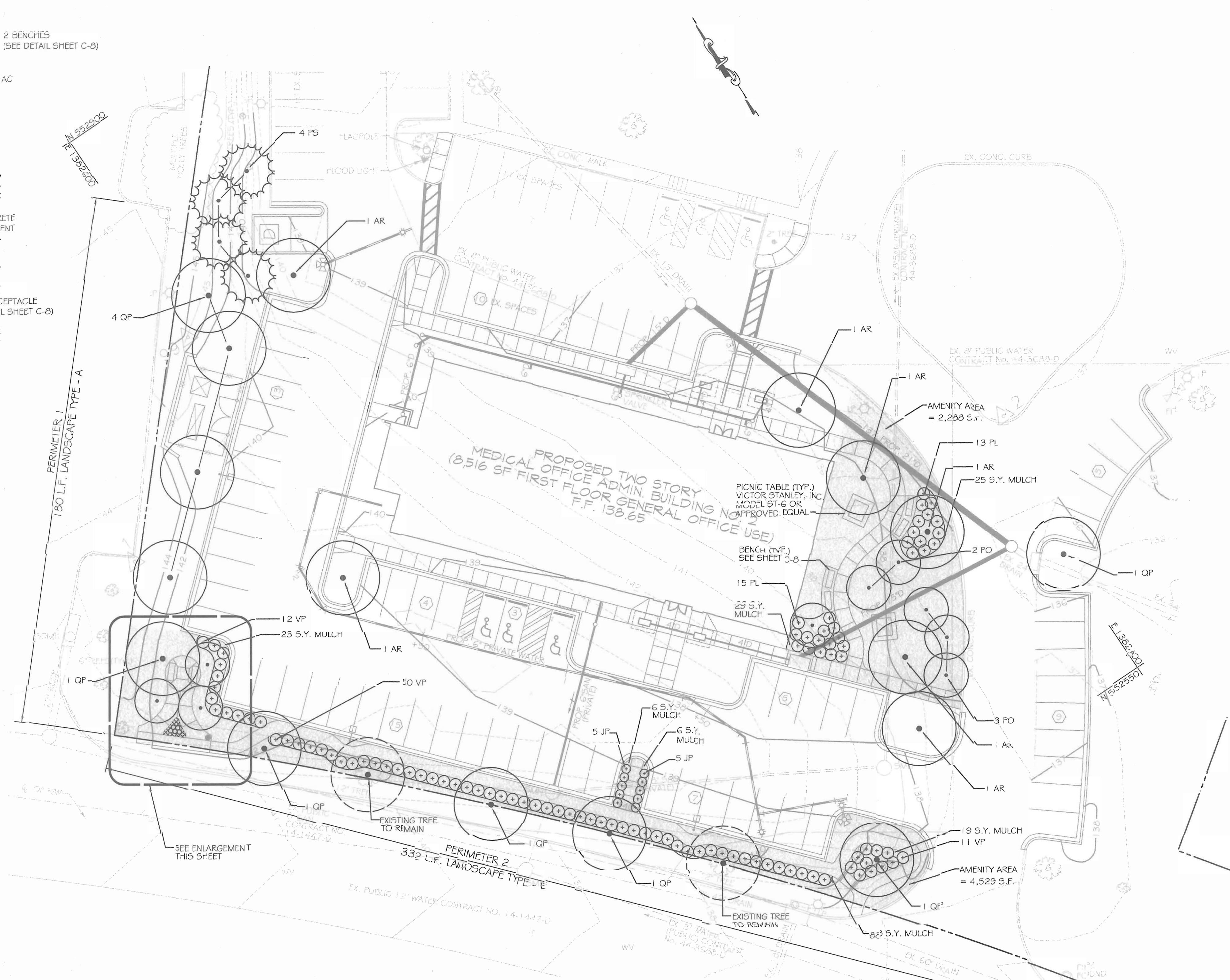
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THIS PLAN PER SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Russ Enerson 10/18/05
DEVELOPER **DATE**
RUSS ENERSON - OBRECHT PROPERTIES LLC



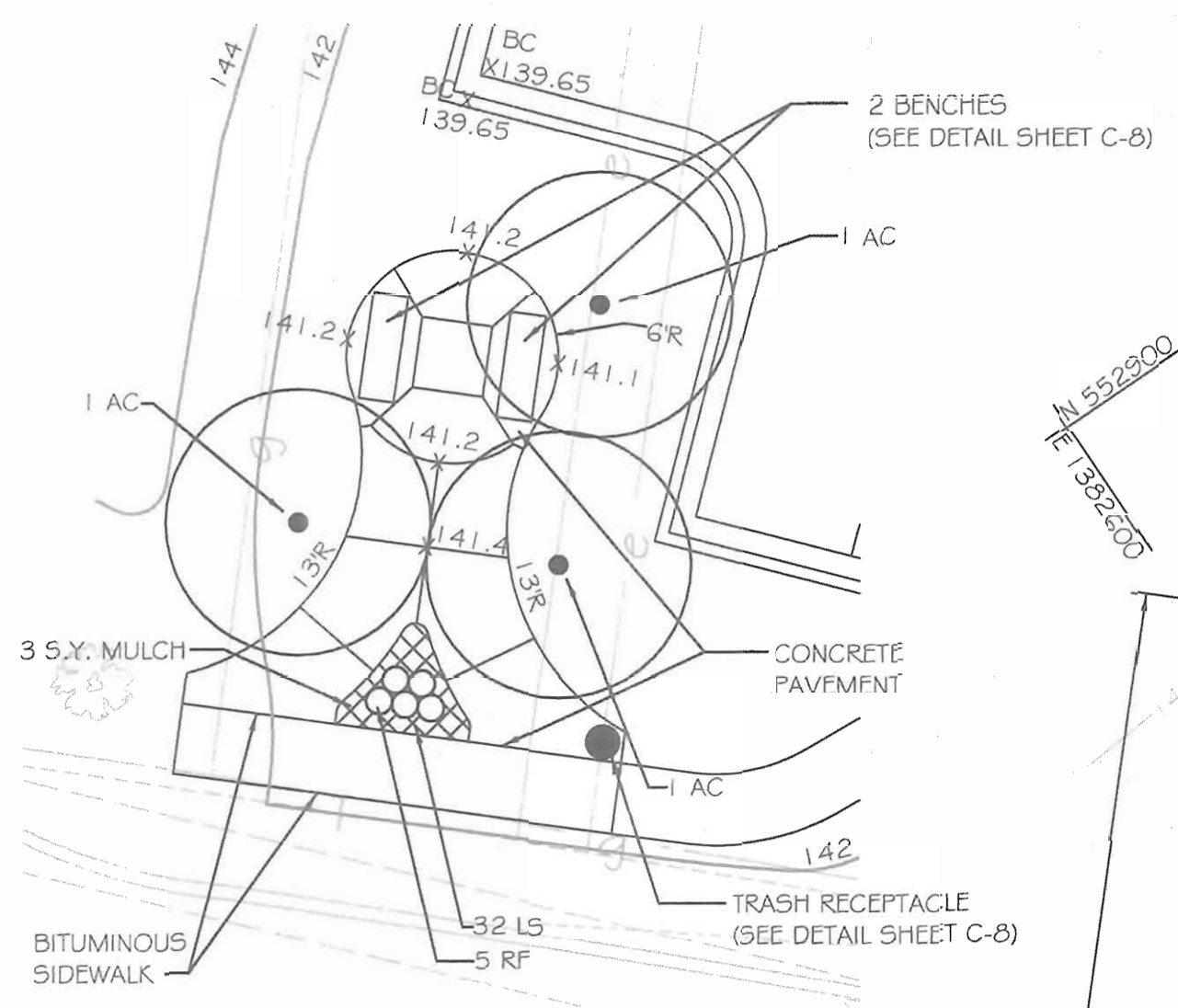
LANDSCAPE PLAN.

SCALE: 1" = 20'



T.O.D. AMENITY AREA ENLARGEMENT

SCALE: 1" = 10'



LEGEND

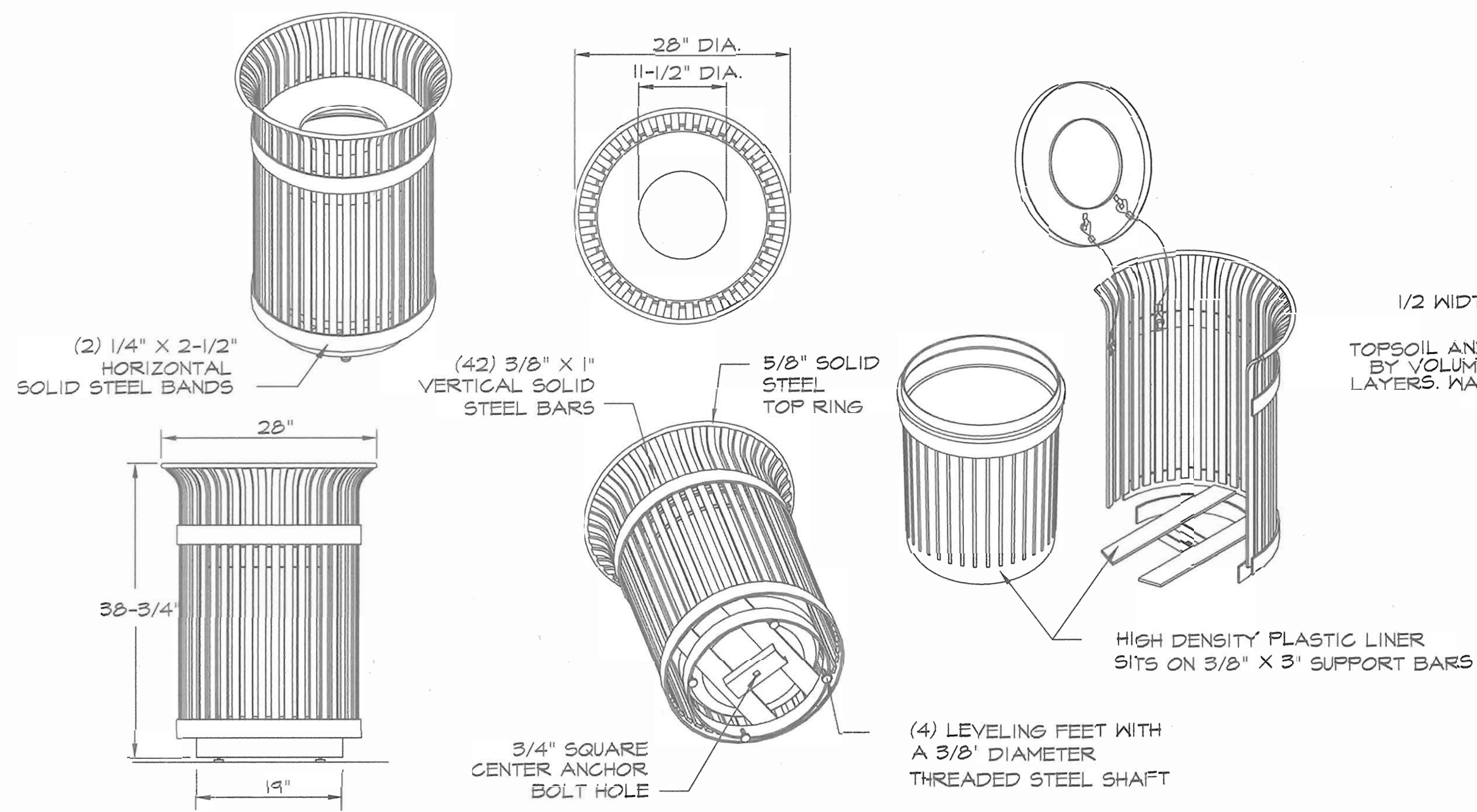
- EX. INDEX CONTOUR
- EX. INTERMEDIATE CONTOUR
- EX. CURB AND GUTTER
- EX. STORM DRAIN
- EX. SANITARY SEWER
- EX. WATER
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. MANHOLE
- EX. CLEANOUT
- EX. LIGHT POLE
- EX. INLET
- EX. TREE
- EX. WOODS LINE
- EX. SPOT ELEVATION
- PROPOSED CLEANOUT
- PROPOSED CONTOUR
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SPOT ELEVATION
- PROPOSED 6" SAN. PROP. 6" SAN.
- PROPOSED 6" D PROP. 6" D
- PROPOSED 6" W PROP. 6" W
- PROPOSED WATERLINE
- HANDICAPPED SYMBOL
- PROPOSED DECIDUOUS TREE
- PROPOSED EVERGREEN
- PROPOSED SHRUB
- T.O.D. AMENITY AREA
- PROPOSED PARKING LOT LIGHT

PLANT SCHEDULE

KEY	QUANTITY	BOTANICAL / COMMON NAME	SIZE	ROOT	COMMENTS
SHADE TREES:					
AR	7	ACER RUBRUM 'FRANKSRED' / RED 'SUNSET' MAPLE	2.5" CAL.	B&B	CENTRAL LEADER
QP	10	QUERCUS PALUSTRIS 'SOVEREIGN' / PIN OAK	2.5" CAL.	B&B	CENTRAL LEADER
ORNAMENTAL TREES:					
AC	3	AMIELANCHIER CANADENSIS / SERVICEBERRY	8" HT.	B&B	MULTI-STEM, 3 5'EM1 MIN.
PO	6	PRUNUS 'OKAME' / OKAME CHERRY	8" HT.	B&B	SPECIMEN
EVERGREEN TREES:					
PS	4	PINUS ETROBUS / WHITE PINE	8" HT.	5&D	FULL TO BASE
SHRUBS / GROUNDCOVERS / BULBS:					
JP	10	JUNIPUS PROCEMBENS 'NANA' / JAPANESE JUNIPER	18" x 16" x 14" Sp.	CONT.	HEAVY
VP	73	VIBURNUM X PRAGENSE / PRAGUE VIBURNUM	3" HT.	B&B	HEAVY
PL	28	PRUNUS LAUROCEAEUS 'OTTO LUYKEN' / OTTO LUYKEN CHERRY LAUREL	3" HT.	B&B	HEAVY
RF	15	RUDIBECKIA FULGIDA 'GOLDSTRUM' / BLACK-EYED SUSAN	1 QT	CONT.	PLANT 1 8" O.C.
LS	32	LIRIOPE SPICATA / CREEPING LIRIOPE	4" PLAT POT	CONT.	PLANT 12" O.C.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Development Engineering Division *M.D.* 11/2/05
 Chief, Division of Land Development *C.H.* 11/7/05
 Director *D.K.L.* 11/9/05
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
 County Health Officer *R.W.* 10/18/05
 Howard County Health Department

LANDSCAPE PLAN AND DETAILS
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
 6820 DEERPATH ROAD
 ELK RIDGE, MD 21075
 TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 20' DATE: JULY 19, 2005 SHEET: 7 OF 9



SECURITY
LID IS SECURED WITH VINYL COATED GALVANIZED STEEL AIRCRAFT CABLE. CABLE IS LOOPED AROUND ATTACHMENT BRACKETS AND CRIMPED IN PLACE.

LIDS
SHOWN WITH STANDARD TAPERED FORMED LID. AVAILABLE WITH OPTIONAL S-2 FORMED DOME, S-2 FORMED DOME WITH STAINLESS-STEEL ASHTRAY, AND DS-32 FORMED DOME W/ SELF CLOSING DOOR.

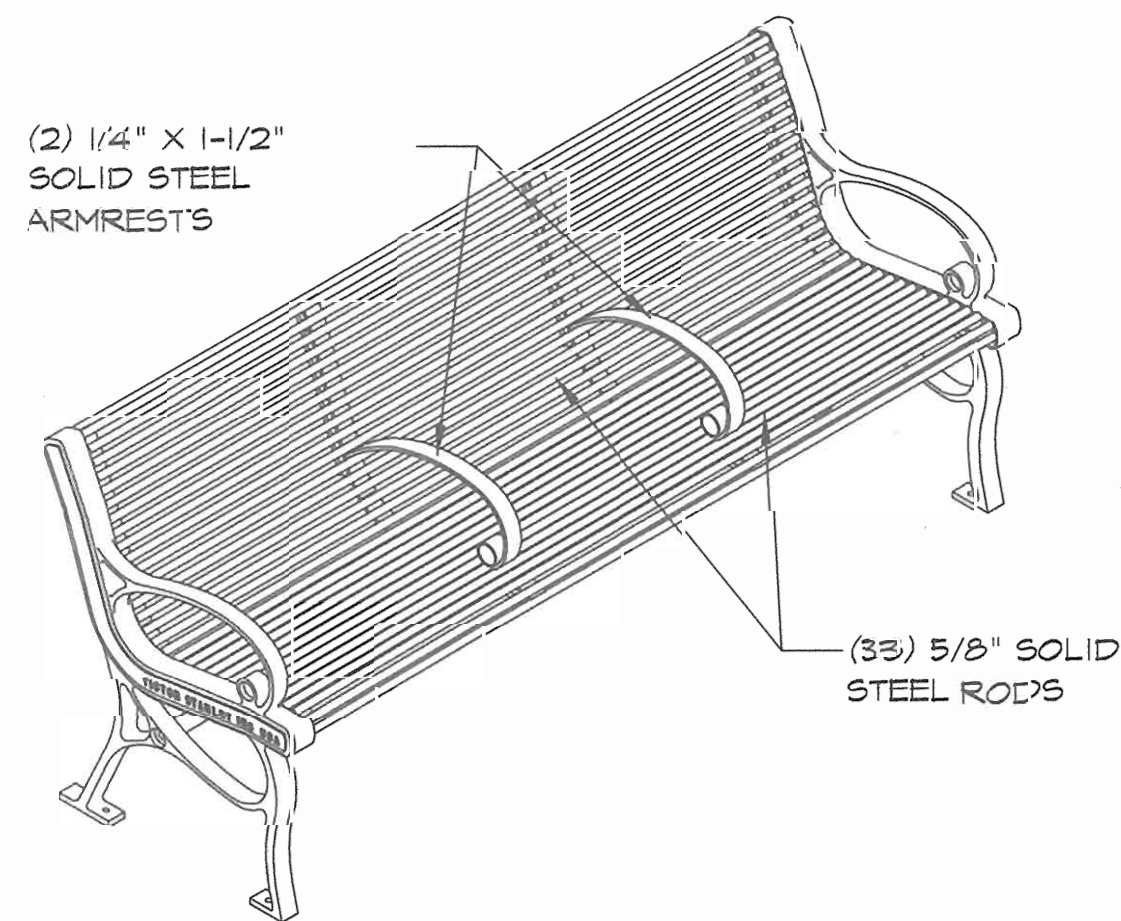
- NOTES:**
1. ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED, AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS. PRODUCTS ARE FULLY CLEANED AND PRETREATED, PREHEATED AND COATED WHILE HOT TO FILL CREVICES AND BUILD FILM COATINGS. COATED PARTS ARE THEN FULLY CURED TO COATING MANUFACTURER'S SPECIFICATIONS. THE THICKNESS OF THE RESULTING FINISH COAT AVERAGES 8-10 MILS (200-250 MICRONS).
 2. IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL RECEPTACLE IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS.
 3. ANCHOR BOLTS PROVIDED BY OTHERS.
 4. FOR HIGH SALT ABUSIVE CLIMATES, HOT DIP GALVANIZING BEFORE POWDER COATING IS AVAILABLE. SEE WRITTEN SPECIFICATIONS FOR DETAILS.
 5. ALL SPECIFICATIONS ARE SUBJECT TO CHANGE. CONTACT MANUFACTURER FOR DETAILS.

TRASH RECEPTACLE DETAIL

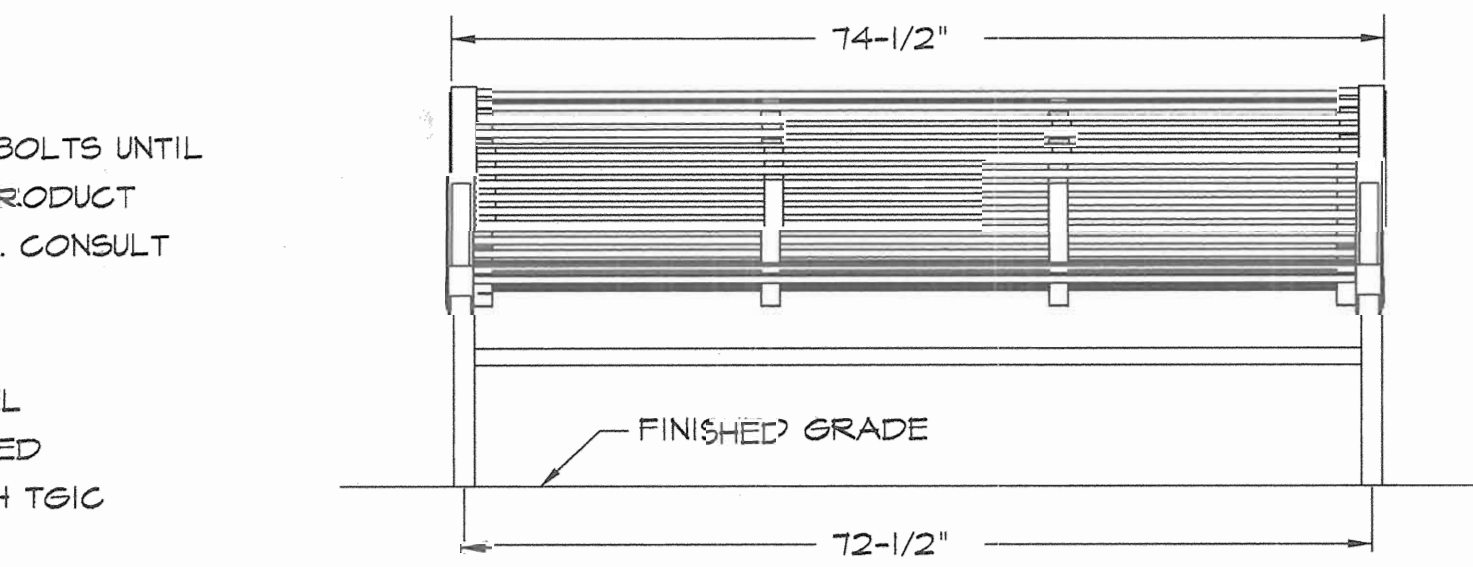
NOT TO SCALE

NOTE:
* IT IS NOT RECOMMENDED TO LOCATE ANCHOR BOLTS UNTIL BENCH IS IN PLACE. THIS VICTOR STANLEY, INC. PRODUCT MUST BE PERMANENTLY AFFIXED TO THE GROUND. CONSULT YOUR LOCAL CODES FOR REGULATIONS. *

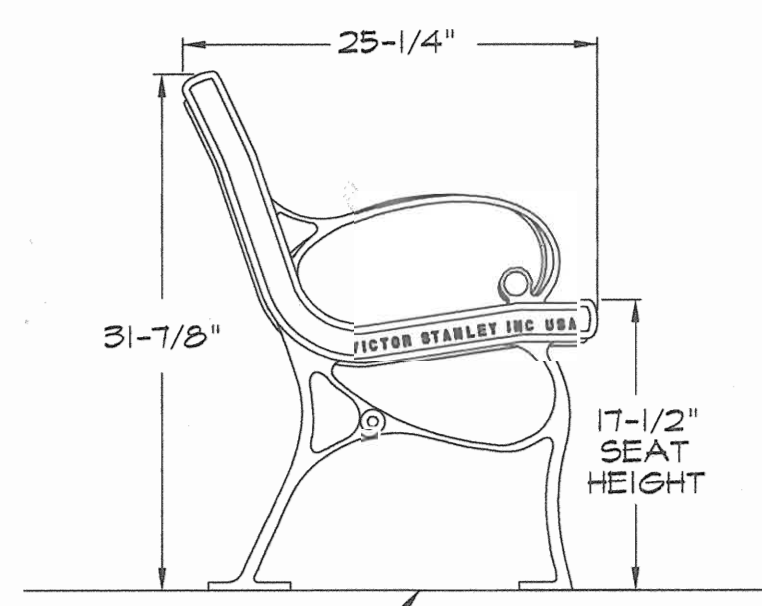
ALL FABRICATED METAL COMPONENTS ARE STEEL SHOTBLASTED, ETCHED, PHOSPHATIZED, PREHEATED AND ELECTROSTATICALLY POWDER-COATED WITH T.G.I.C. POLYESTER POWDER COATINGS.



PERSPECTIVE



FRONT VIEW

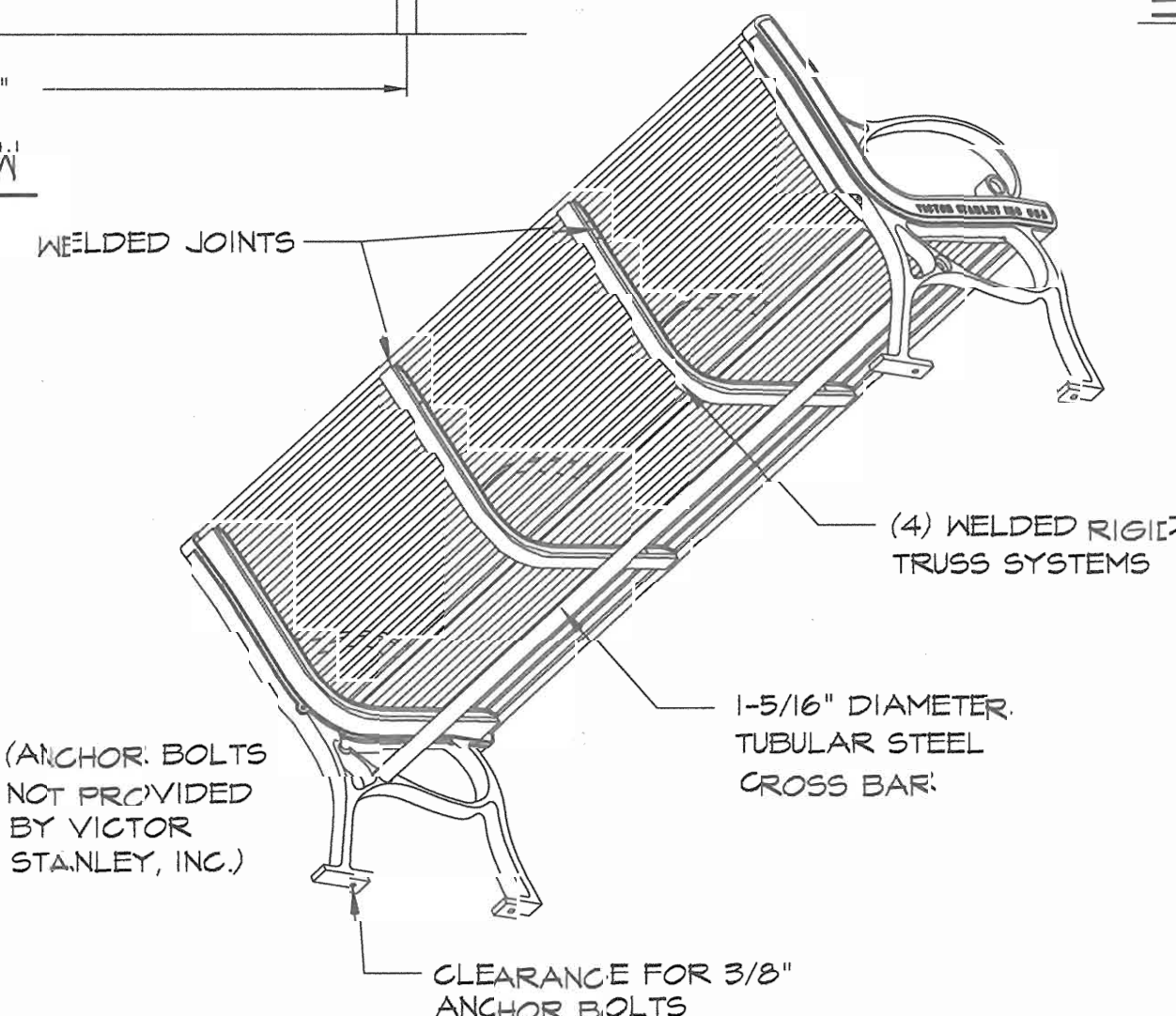


SIDE VIEW

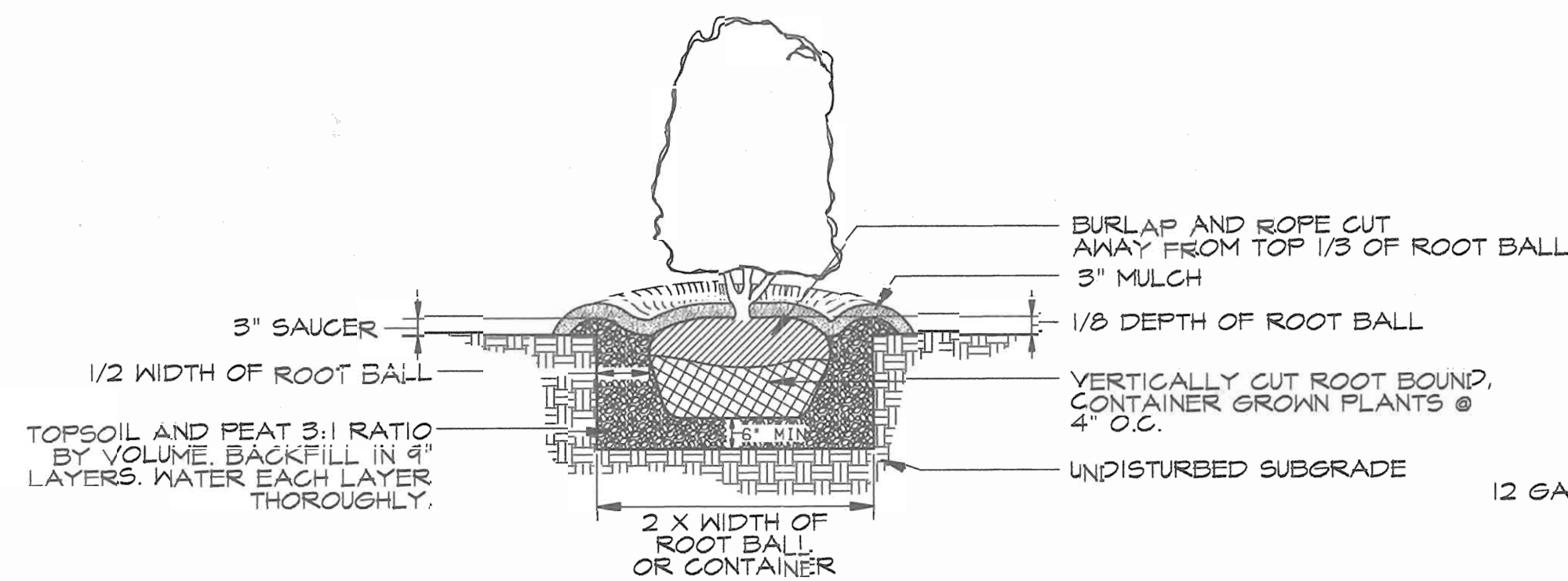
* ALL DIMENSIONS ARE IN INCHES *

BENCH DETAIL

NOT TO SCALE

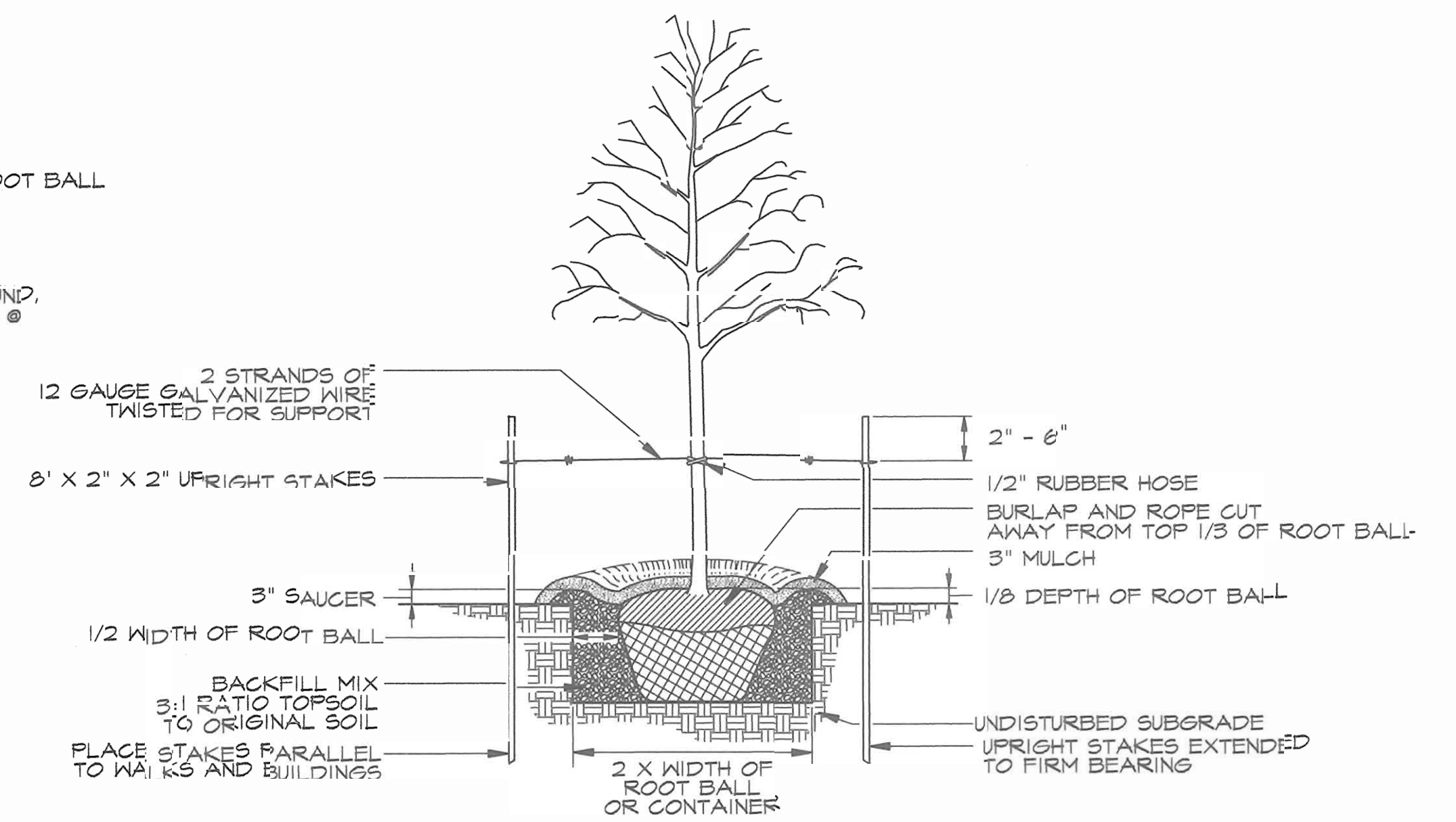


UNDER VIEW



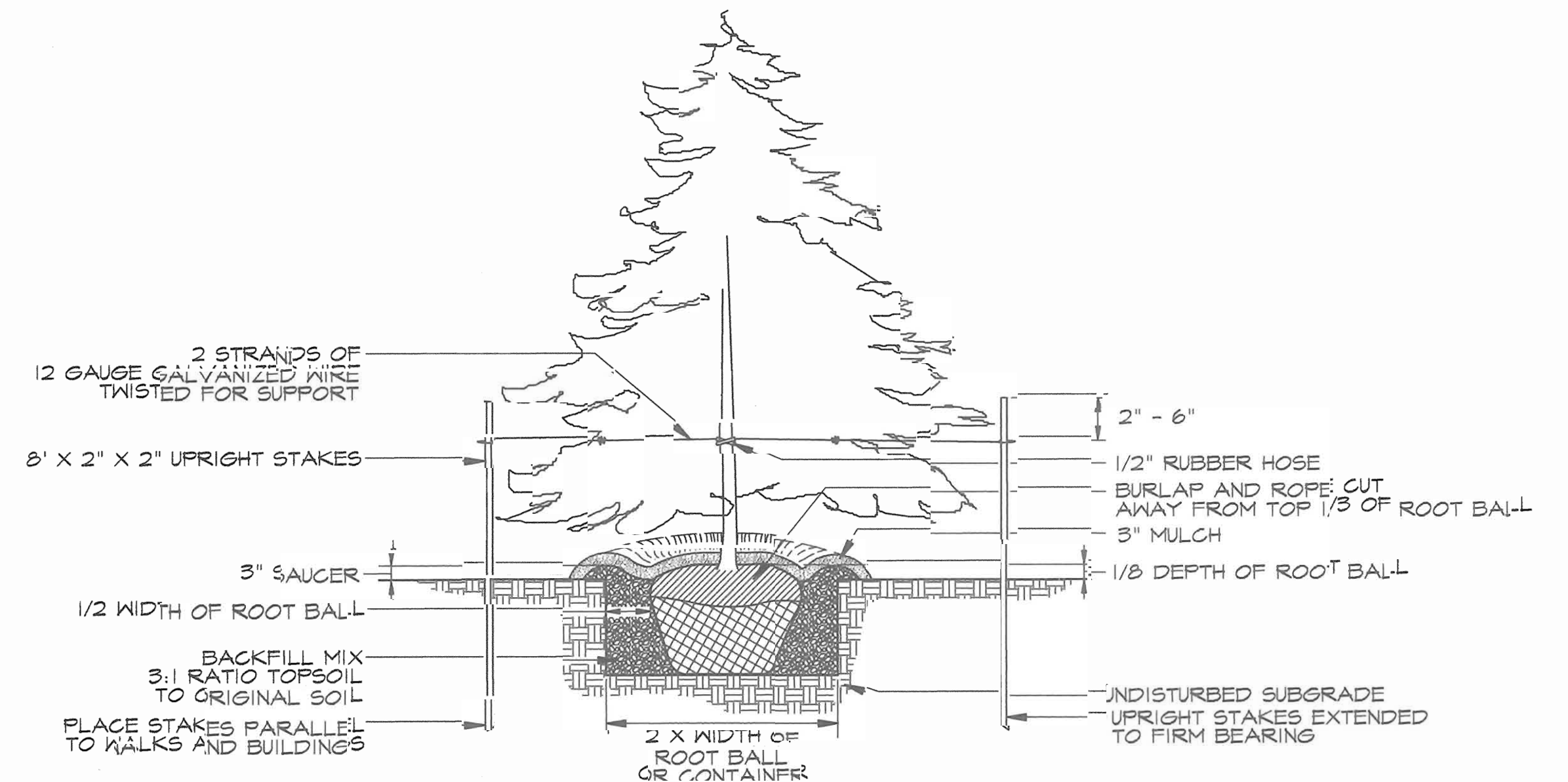
SHRUB PLANTING DETAIL

B & B AND CONTAINER GROWN
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL

B & B
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL

B & B
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Howard County 11/2/05 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION

Cindy Hamstra 11/3/05 DATE

BRIEF, DIVISION OF LAND DEVELOPMENT

Marvin P. Lepp 11/2/05 DATE

DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

Robert Walker 10/28/05 DATE

COUNTY HEALTH OFFICER

HOWARD COUNTY HEALTH DEPARTMENT

LANDSCAPE DETAILS

DORSEY BUSINESS PARK, PARCEL E

MARYLAND HOSPITAL ASSOCIATION

BUILDING NO. 2

6020 DEERPATH ROAD

ELCRIDGE, MD 21075

TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634

1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: SEE DETAIL DATE: JULY 15, 2005 SHEET: 8 OF 9

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DATE

NO. REVISIONS DESCRIPTION

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Baltimore, MD 21230
TEL 410/52-5720
FAX 410/52-4823
collimoregalloway.com

COLIMORE GALLOWAY ARCHITECTS

OBRECHT PROPERTIES LLC
4415 Deere Road, Suite 200
Timonium, MD 21088
TEL 410/561-2267
FAX 410/561-2267

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

10 North Park Drive
Hunt Valley, MD 21030
PH 410/331-7817
FAX 410/331-7817
www.kci.com

KCI TECHNOLOGIES

STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 1518
10-1-05

PROJECT # 01042698

PERMIT ISSUE:

CONSTRUCTION ISSUE:

C-8

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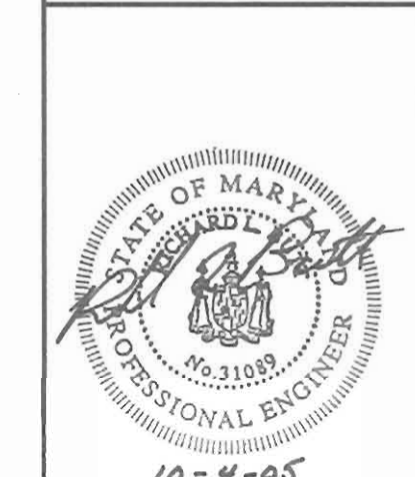
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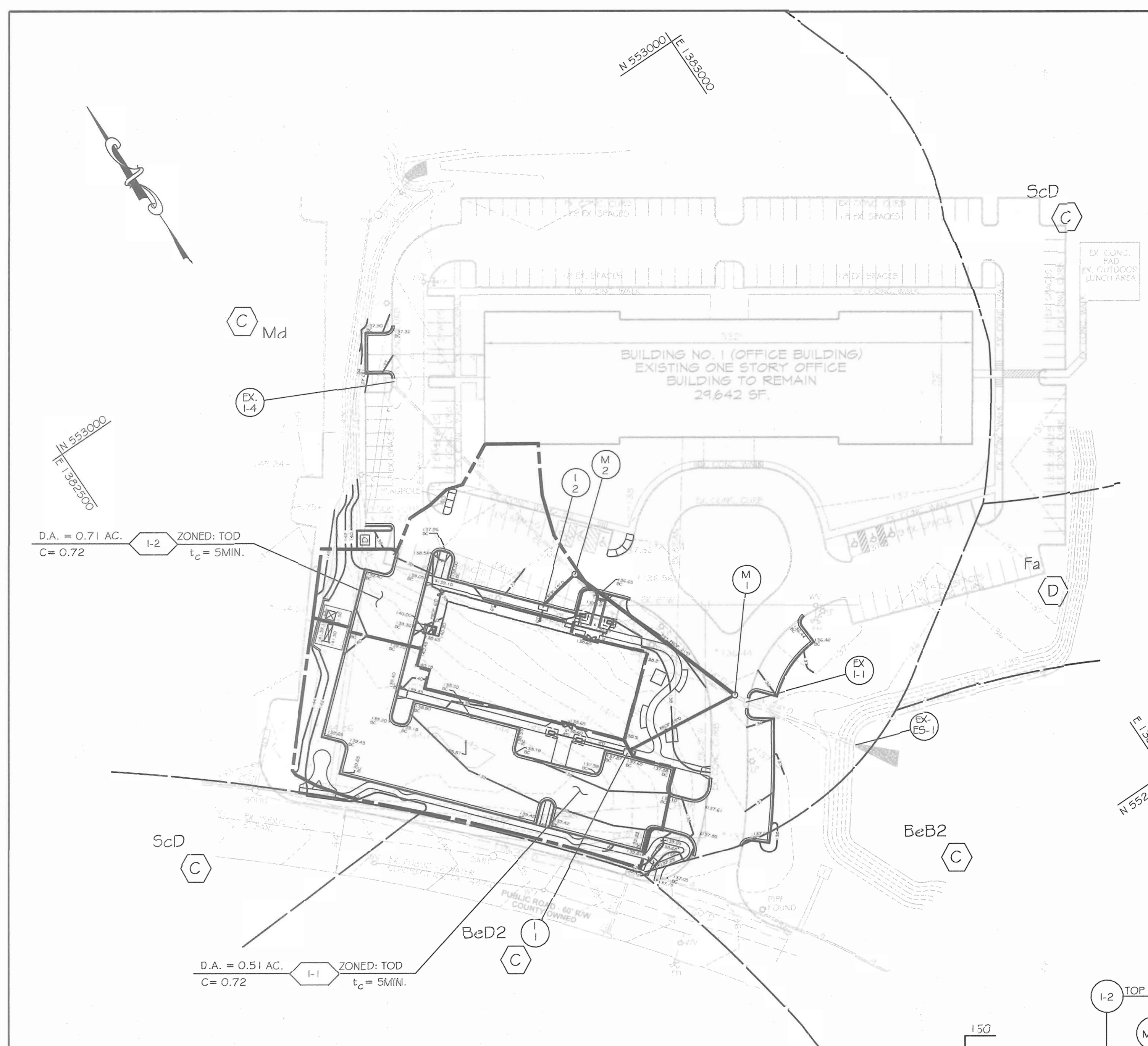
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PROPERTIES, LLC
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FAX (410) 561-2367

ENGINEERS
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CONSTRUCTION MANAGERS

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WWW.KCI.COM



PROJECT # 01042698
PERMIT ISSUE:
CONSTRUCTION ISSUE:
C-9



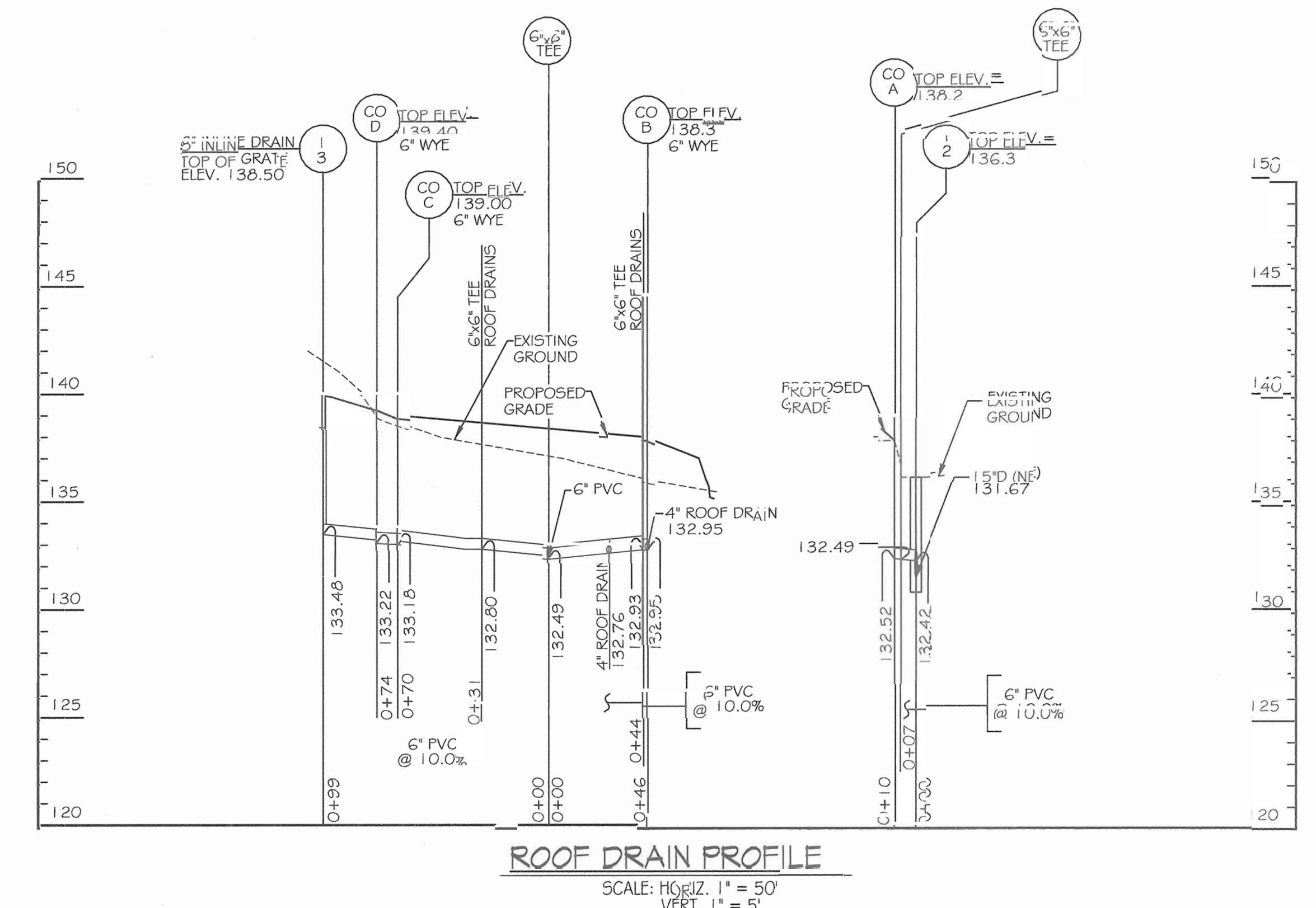
- LEGEND**
- 460 EX. INDEX CONTOUR
 - 462 EX. 2' INTERMEDIATE CONTOUR
 - DRAINAGE AREA BOUNDARY
 - - - SOILS LINE
 - SOIL CLASSIFICATION

- SOIL CLASSIFICATION**
- BeB2 BELTSVILLE SILT LOAM (1%-5% slopes)
 - BeD2 BELTSVILLE SILT LOAM (10%-15% slopes)
 - Fa FALLSINGTON LOAM
 - Md MADE LAND
 - Scd SANDY AND CLAYEY LAND (Moderately Sloping)

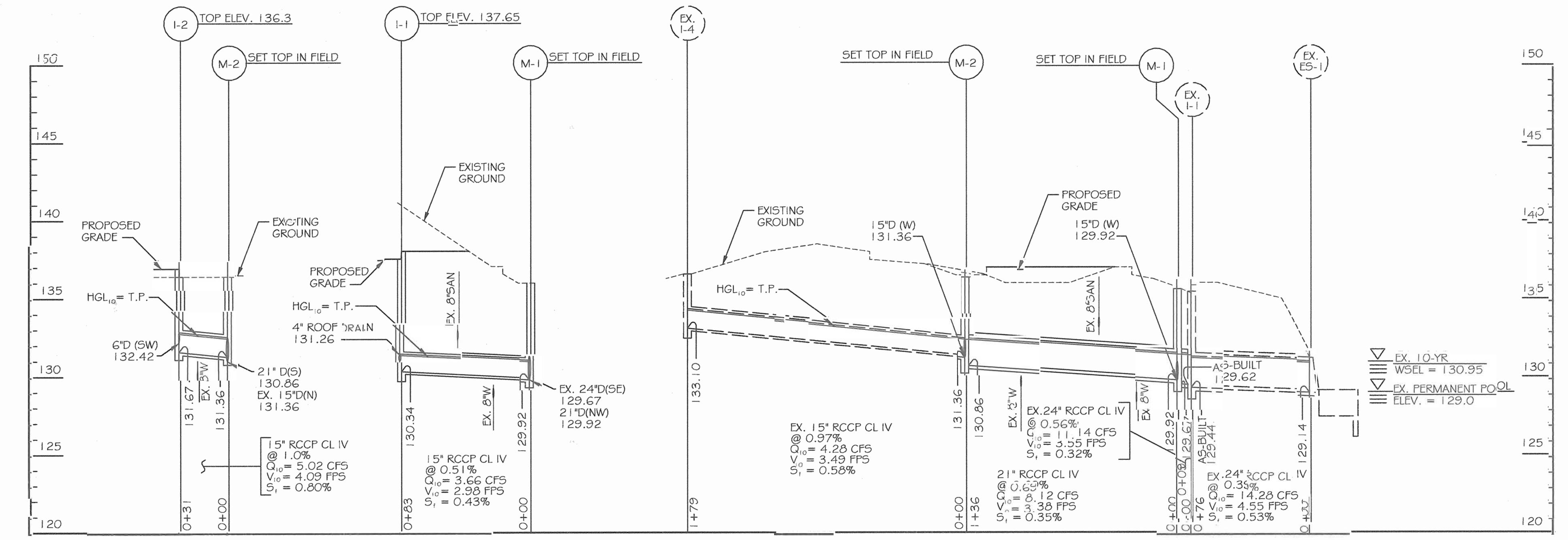
STORM DRAIN DRAINAGE AREA MAP
SCALE: 1" = 50'

STORM DRAIN STRUCTURE SCHEDULE						
NO.	TYPE	SIZE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	STD. PRECAST MANHOLE	48"	129.92	129.67	SET TOP IN FIELD*	G-5.12
M-2	STD. PRECAST MANHOLE	48"	131.36	130.86	SET TOP IN FIELD*	G-5.12
I-1	A-5 INLET	---	131.26	130.34	137.65	SD-4.01
I-2	A-5 INLET	---	132.42	131.67	136.30	SD-4.01 OR SD-4.40
I-3	8" INLINE DRAIN	---	---	133.48	138.50 TOP OF GRATE	W/ROOF DRAIN INLET OR APPROVED EQUAL
CO A	CLEANOUT	6"	---	132.49	138.20	---
CO B	CLEANOUT	6"	---	132.95	138.30	---
CO C	CLEANOUT	6"	---	133.18	139.00	---
CO D	CLEANOUT	6"	---	133.22	139.40	---

* CONTRACTOR TO SET MANHOLE COVER TO GRADE IN FIELD



ROOF DRAIN PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



STORM DRAIN PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE 11/2/05

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE 11/7/05

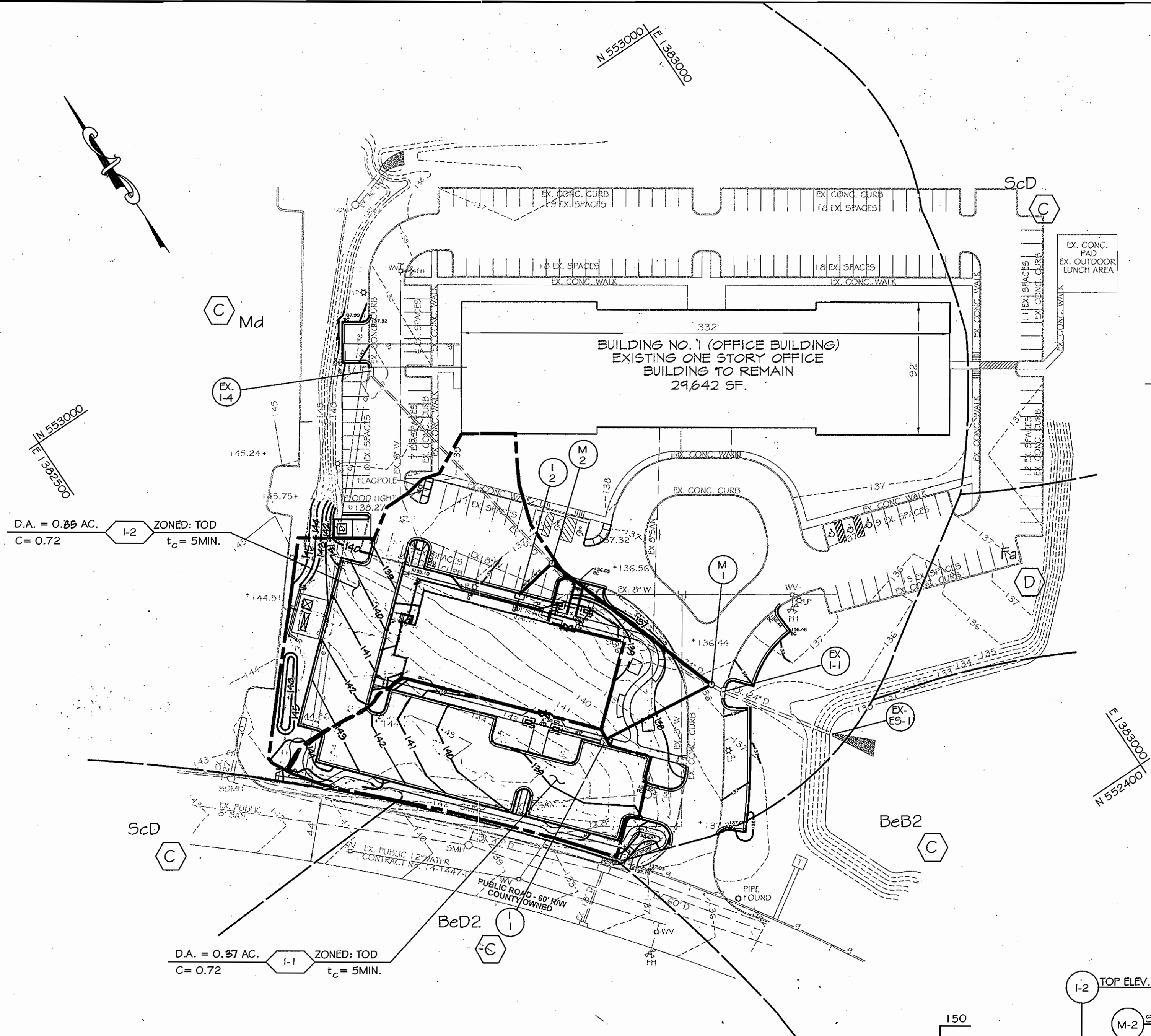
DIRECTOR *[Signature]* DATE 11/1/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

COUNTY HEALTH OFFICER *[Signature]* DATE 10/28/05

HOWARD COUNTY HEALTH DEPARTMENT

STORM DRAIN DRAINAGE AREA MAP / UTILITY PROFILES
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
6820 DEERPATH ROAD
ELK RIDGE, MD 21075
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. G34
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JULY 19, 2005 SHEET: 9 OF 9



- LEGEND**
- 460 — EX. INDEX CONTOUR
 - - - 462 - - - EX. 2' INTERMEDIATE CONTOUR
 - — — DRAINAGE AREA BOUNDARY
 - - - SOILS LINE
 - ⬡ SOIL CLASSIFICATION

- SOIL CLASSIFICATION**
- BeB2 BELTSVILLE SILT LOAM (1%-5% slopes)
 - BeD2 BELTSVILLE SILT LOAM (10%-15% slopes)
 - Fa FALLSINGTON LOAM
 - Md MADE LAND
 - ScD SANDY AND CLAYEY LAND (Moderately Sloping)

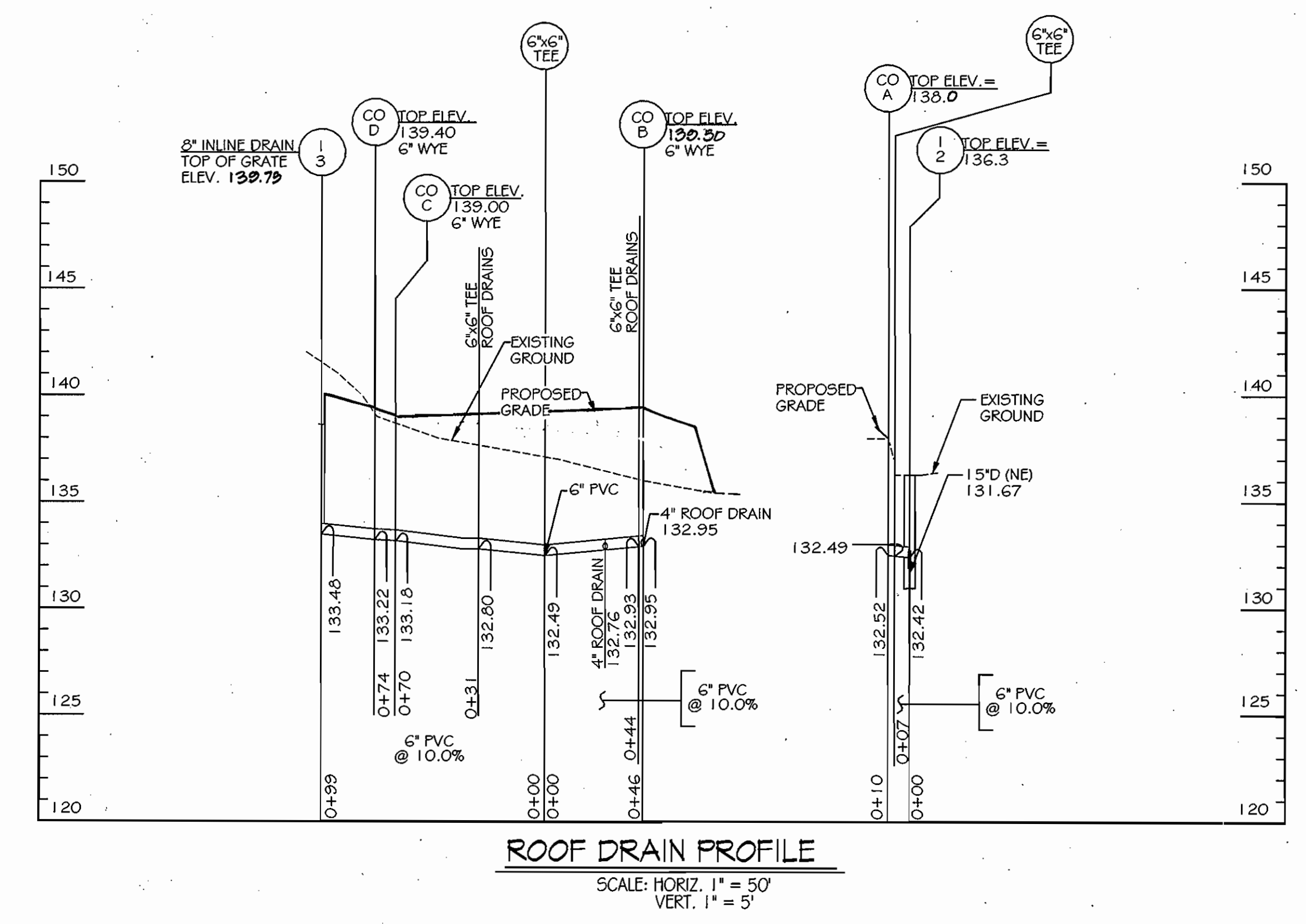
STORM DRAIN DRAINAGE AREA MAP
SCALE: 1" = 50'

STORM DRAIN STRUCTURE SCHEDULE						
NO.	TYPE	SIZE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	STD. PRECAST MANHOLE	48"	129.92	129.67	SET TOP IN FIELD*	G-5.12
M-2	STD. PRECAST MANHOLE	48"	131.36	130.86	SET TOP IN FIELD*	G-5.12
I-1	A-5 INLET	—	131.26	130.34	137.87	SD-4.01
I-2	A-5 INLET	—	132.42	131.67	136.30	SD-4.01 OR SD-4.40
I-3	8" INLINE DRAIN	—	—	133.48	139.75	TOP OF GRATE
CO A	CLEANOUT	6"	132.49	130.00	130.00	
CO B	CLEANOUT	6"	—	132.95	139.50	
CO C	CLEANOUT	6"	—	133.18	139.00	
CO D	CLEANOUT	6"	—	133.22	139.40	

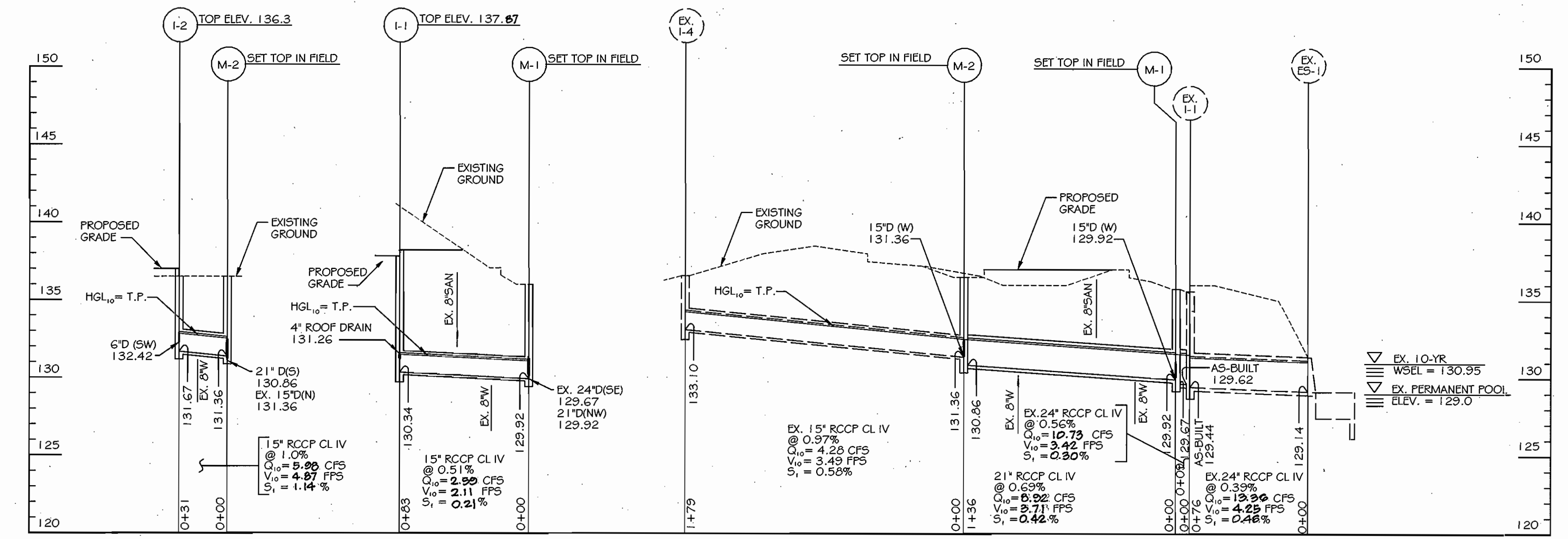
* CONTRACTOR TO SET MANHOLE COVER TO GRADE IN FIELD

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE 11/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE 11/7/05
 DIRECTOR *[Signature]* DATE 1/1/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
 COUNTY HEALTH OFFICER *[Signature]* DATE 10/28/05
 HOWARD COUNTY HEALTH DEPARTMENT



ROOF DRAIN PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



STORM DRAIN PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

STORM DRAIN DRAINAGE AREA MAP / UTILITY PROFILES
 DORSEY BUSINESS PARK, PARCEL E
 MARYLAND HOSPITAL ASSOCIATION
 BUILDING NO. 2
 620 DEERPATH ROAD
 ELK RIDGE, MD 21075
 TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JULY 19, 2005 SHEET: 9 OF 9

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NO. 1 REVISIONS DESCRIPTION DATE
 1 REVISED: DA, MAP, STRUCTURE SCHEDULE & PROFILES 12-2-05

1240 Key Highway
 Baltimore, MD 21230
 TEL: 410.752.3720
 FAX: 410.752.4823
 colimoregalloway.com

COLIMORE GALLOWAY ARCHITECTS

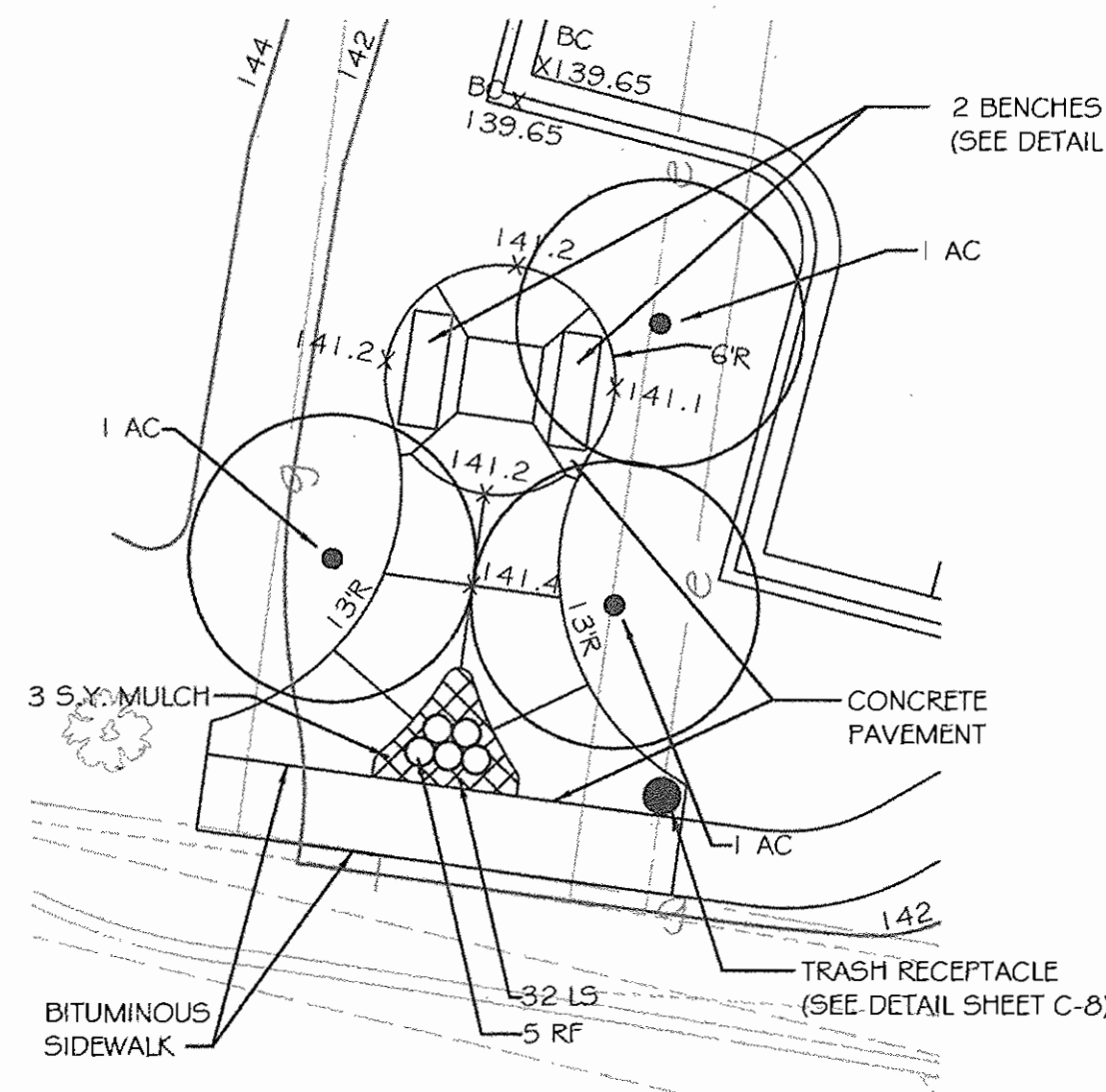
OBRECHT PROPERTIES, LLC
 9475 Deereco Road, Suite 200
 Hunt Valley, MD 21086
 TEL: (410) 316-7800
 FAX: (410) 316-7817
 www.kci.com

ENGINEERS
 PLANNERS
 CONSTRUCTION MANAGERS

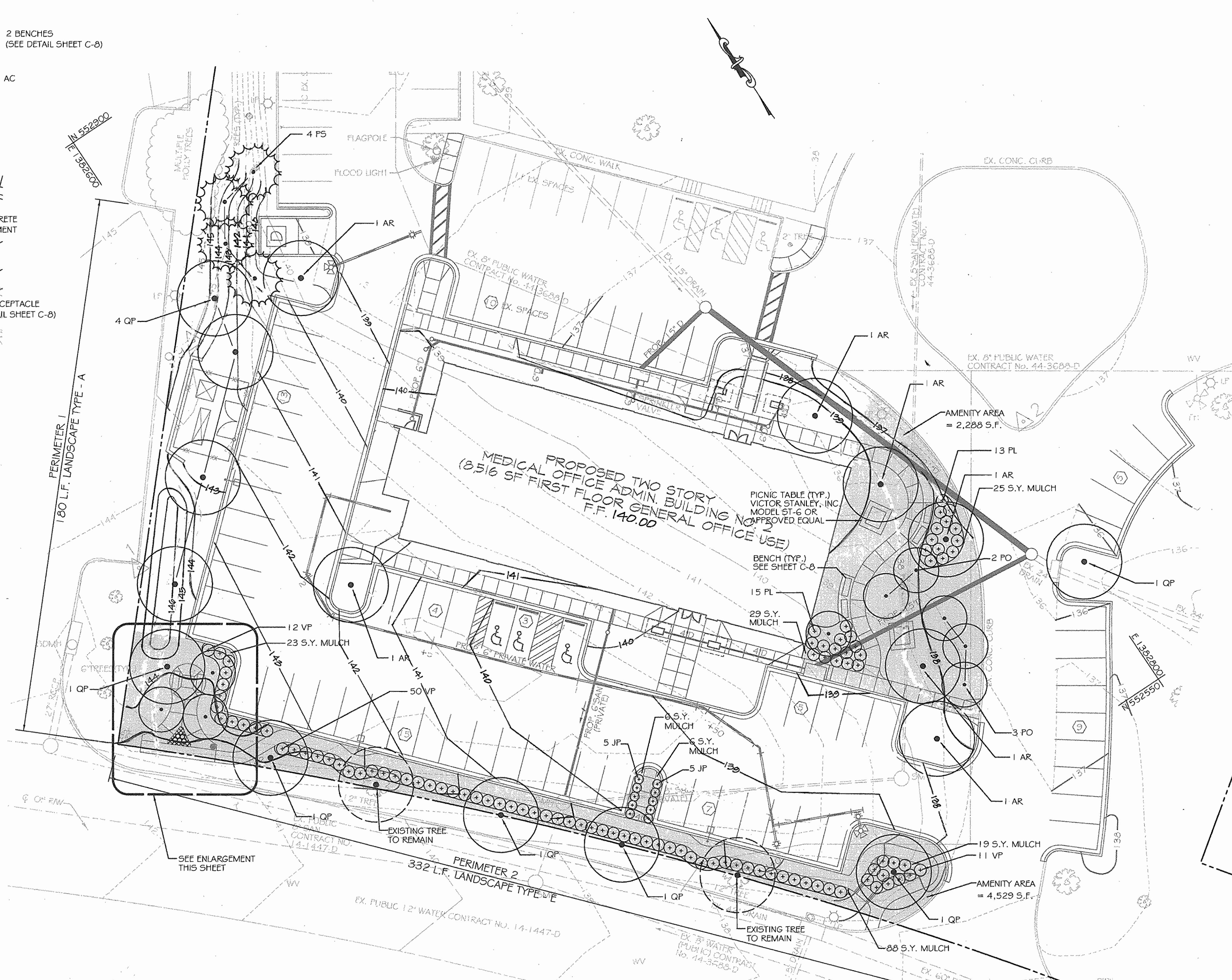
KCI TECHNOLOGIES
 10-4-05

PROJECT # 01042698
 PERMIT ISSUE:
 CONSTRUCTION ISSUE:

C-9



- LEGEND**
- 140 EX. INDEX CONTOUR
 - 137 EX. INTERMEDIATE CONTOUR
 - EX. CURB AND GUTTER
 - EX. STORM DRAIN
 - EX. SANITARY SEWER
 - EX. WATER
 - EX. WATER VALVE
 - EX. FIRE HYDRANT
 - EX. MANHOLE
 - EX. CLEANOUT
 - EX. LIGHT POLE
 - EX. INLET
 - EX. TREE
 - EX. WOODS LINE
 - EX. SPOT ELEVATION
 - PROPOSED CLEANOUT
 - 139 PROPOSED CONTOUR
 - PROPOSED CONCRETE SIDEWALK
 - +467.0 PROPOSED SPOT ELEVATION
 - PROP. 6" SAN. PROPOSED SANITARY SEWER
 - PROP. 6" D. PROPOSED STORM DRAIN
 - PROP. 6" W. PROPOSED WATERLINE
 - HANDICAPPED SYMBOL
 - PROPOSED DECIDUOUS TREE
 - PROPOSED EVERGREEN
 - PROPOSED SHRUB
 - T.O.D. AMENITY AREA
 - PROPOSED PARKING LOT LIGHT



PLANT SCHEDULE

KEY	QUANTITY	BOTANICAL / COMMON NAME	SIZE	ROOT	COMMENTS
SHADE TREES					
AR	7	ACER RUBRUM 'FRANKSRED' / RED SUNSET MAPLE	2.5" CAL.	B4B	CENTRAL LEADER
QP	10	QUERCUS PALUSTRIS 'SOVEREIGN' / PIN OAK	2.5" CAL.	B4B	CENTRAL LEADER
ORNAMENTAL TREES					
AC	3	AMELANCHIER CANADENSIS / SERVICEBERRY	8' HT.	B4B	MULTI-STEM, 3 STEM MIN.
PO	6	PRUNUS 'OKAME' / OKAME CHERRY	8' HT.	B4B	SPECIMEN
EVERGREEN TREES					
PS	4	PINUS STROBUS / WHITE PINE	8' HT.	B4B	FULL TO BASE
SHRUBS / GROUNDCOVERS / BULBS					
JP	10	JUNIPRUS PROCUMBENS 'NANA' / JAPGARDEN JUNIPER	18" to 24" Sp.	CONT.	HEAVY
VP	73	VIBURNUM X PRAGENSE / PRAGUE VIBURNUM	36" HT.	B4B	HEAVY
PL	28	PRUNUS LAUROCERASUS 'OTTO LUYKEN' / OTTO LUYKEN CHERRY LAUREL	30" HT.	B4B	HEAVY
RF	5	RUDIBECKIA FULGIDA 'GOLDSTRUM' / BLACK-EYED SUSAN	1 QT	CONT.	PLANT 18" O.C.
LS	32	LIRIOPE SPICATA / CREEPING LIRIOPE	4" PEAT POT	CONT.	PLANT 12" O.C.

199 S.Y. SHREDDED HARDWOOD BARK MULCH

PERIMETER LANDSCAPE EDGE

CATEGORY	PERIMETER 1	PERIMETER 2
LANDSCAPE TYPE	A	E
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	180 L.F.	332 L.F.
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	N/A	N/A
CREDIT FOR WALL FENCE OR BEAM (YES, NO, LINEAR FEET)	N/A	N/A
NUMBER OF PLANTS REQUIRED		
SHADE TREES	3	8
EVERGREEN TREES	0	0
SHRUBS	0	83
NUMBER OF PLANTS PROVIDED		
SHADE TREES	3	5
EXISTING TREES	0	2
EVERGREEN TREES	0	0
OTHER TREES	0	2
SHRUBS	0	83 *

*Includes 10 shrubs in parking island

PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	64
NUMBER OF TREES REQUIRED	4
NUMBER OF TREES PROVIDED	
SHADE TREES	5
OTHER TREES (2:1 SUBSTITUTION)	0

DUMPSTER SCREENING REQUIREMENTS

TYPE 'D' SCREEN - 44 L.F.
LARGE TREES - 1
EVERGREEN TREES - 4

PROVIDED -
LARGE TREES - 1
EVERGREEN TREES - 4

AMENITY AREA:

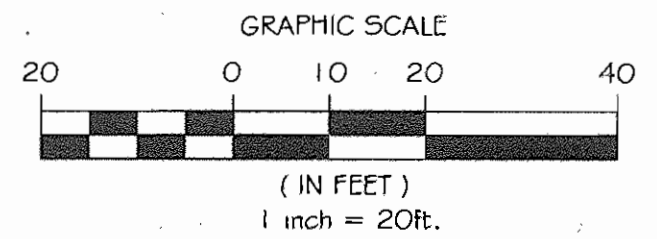
TOTAL AMENITY AREA REQUIRED: 6,534 S.F. (0.15 AC)
TOTAL AMENITY AREA PROVIDED: 6,817 S.F. (0.16 AC)

- LANDSCAPING NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - TREES SHOULD BE PLANTED A MINIMUM OF 6 FEET FROM THE EDGE OF PAVING AND MUST BE A MINIMUM OF 5 FEET FROM ANY STORM DRAIN.
 - TREES MUST BE PLANTED A MINIMUM OF 5 FEET FROM AN OPEN SPACE ACCESS STRIP AND 10 FEET FROM A DRIVEWAY.
 - SEE TREE PLANTING DETAIL - SHEET C-8
 - TOTAL FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$7,890.00 FOR 16 SHADE TREES IN THE AMOUNT OF \$4,800.00; 4 EVERGREENS IN THE AMOUNT OF \$600.00 AND 83 SHRUBS IN THE AMOUNT OF \$2,490.00, SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT.

DEVELOPER'S BUILDER'S CERTIFICATION

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THIS PLAN PER SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Russ Enerson 10/18/05
DEVELOPER DATE
RUSS ENERSON - OBRECHT PROPERTIES LLC



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION 11/2/05
Candy Hamilton DATE
CHIEF, DIVISION OF LAND DEVELOPMENT 11/7/05
Frank K. Wagle DATE
DIRECTOR 11/10/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Robert J. Walker 10/18/05
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

LANDSCAPE PLAN AND DETAILS
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
6820 DEERPATH ROAD
ELKCRIDGE, MD 21075
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: JULY 19, 2005 SHEET: 7 OF 9

NO. 1 REVISIONS DESCRIPTION
1 REVISED GRADING

1240 Key Highway
Baltimore, MD 21230
TEL 410/752-3720
FAX 410/752-4823
collin@kci.com

COLIMORE GALLOW ARCHITECTS

OBRECHT PROPERTIES LLC
4415 Deere Road, Suite 200
Thurmont, MD 21784
TEL 410-316-2805
FAX 410-561-2367

ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS
10 North Park Drive
Hunt Valley, MD 21086
TEL 410-316-7100
FAX 410-316-7817
www.kci.com

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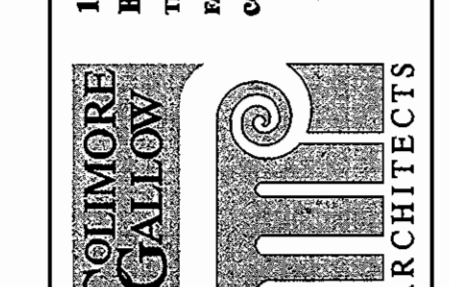
PROJECT # 01042698
PERMIT ISSUE:
CONSTRUCTION ISSUE:

10/4/05

C-7

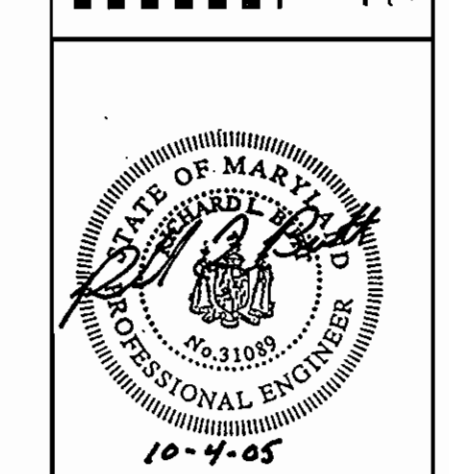
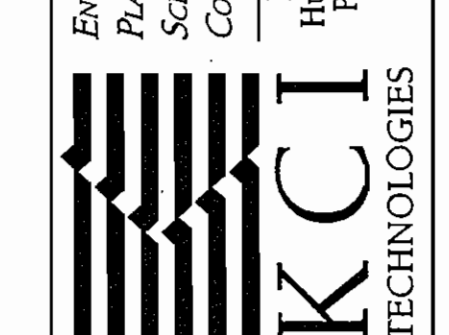
NO.	REVISIONS DESCRIPTION	DATE
1	REVISED GRADING	12-2-05

1240 Key Highway
Baltimore, MD 21230
TEL: 410.752.3720
FAX: 410.752.4823
collmoregalloway.com



OBRECHT
PROPERTIES LLC
4415 Deereco Road, Suite 200
Thurman, MD 21084
Phone: (410) 316-7817
Fax: 410-316-2287
www.obrecht.com

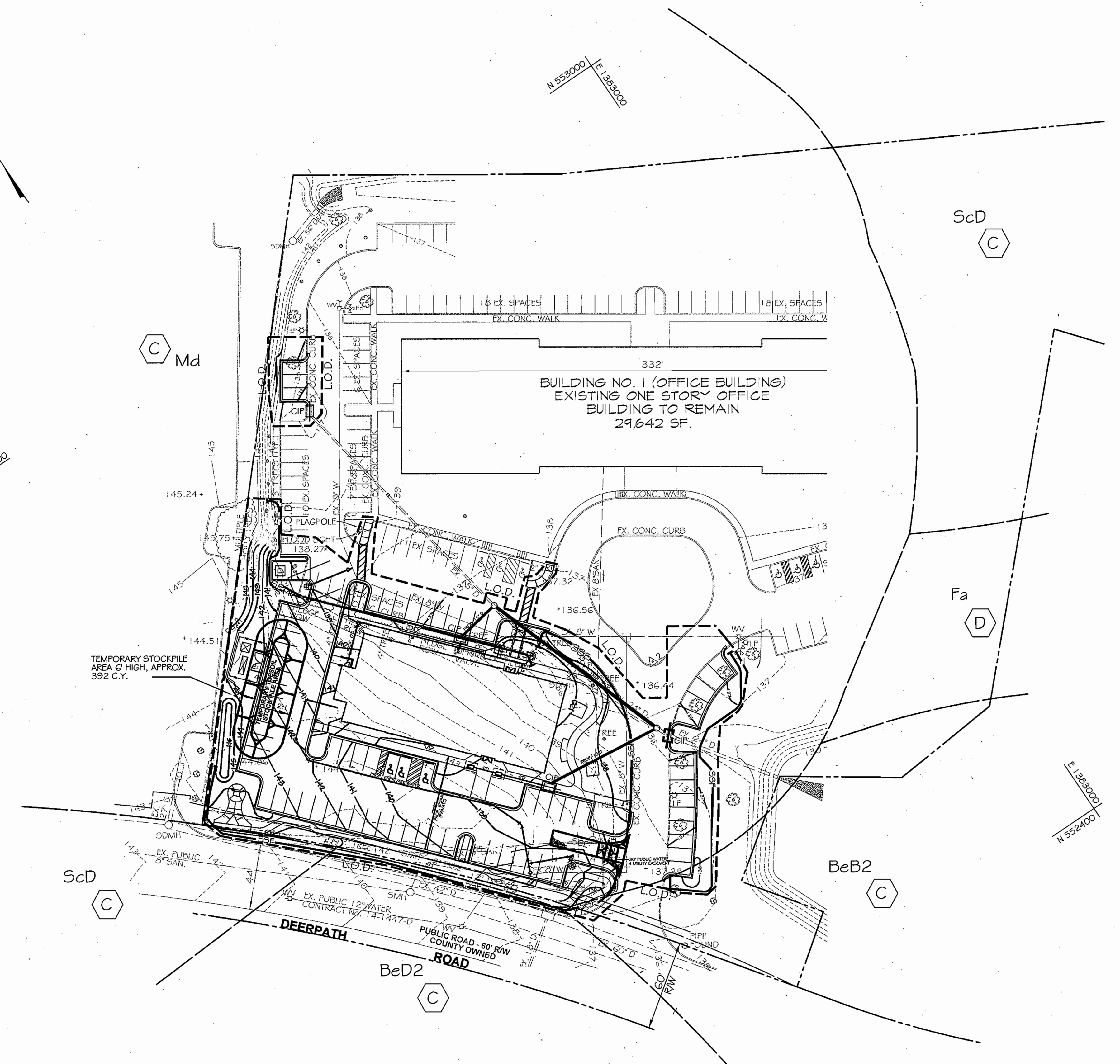
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS



PROJECT # 01042698
PERMIT ISSUE:
CONSTRUCTION ISSUE:
C-5

LEGEND

- 140 --- EX. INDEX CONTOUR
- 137 --- EX. INTERMEDIATE CONTOUR
- ==== EX. CURB AND GUTTER
- EX. STORM DRAIN
- EX. 8" SAN. EX. SANITARY SEWER
- EX. 8" W. EX. WATER
- + 467.0 EX. SPOT ELEVATION
- EX. WATER VALVE
- PH --- EX. FIRE HYDRANT
- EX. MANHOLE
- EX. CLEANOUT
- EX. LIGHT POLE
- EX. INLET
- EX. TREE
- EX. WOODS LINE
- L.O.D. --- LIMIT OF DISTURBANCE
- SF --- SF SILT FENCE
- SSF --- SSF SUPER SILT FENCE
- PROP. 6" D. --- PROPOSED STORM DRAIN
- PROP. 6" SAN. --- PROPOSED SANITARY SEWER
- PROP. 6" W. --- PROPOSED WATERLINE
- PROP. CONC. WALK --- PROPOSED CONCRETE WALK
- CIP --- CURB INLET PROTECTION
- SCE --- STABILIZED CONSTRUCTION ENTRANCE
- SOILS LINE
- SOIL CLASSIFICATION
- L.O.D. --- LIMIT OF DISTURBANCE



CUT = 2,500 cuyd
FILL = 162 cuyd
TOTAL DISTURBED AREA = 65,169 SQ. FT. +/- (1.50 AC +/-)

NOTE:
ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.

SOIL CLASSIFICATION

- BeB2 BELTSVILLE SILT LOAM (1%-5% slopes)
- BeD2 BELTSVILLE SILT LOAM (10%-15% slopes)
- Fa FALLSINGTON LOAM
- Md MADE LAND
- ScD SANDY AND CLAYEY LAND (Moderately Sloping)

SEQUENCE OF CONSTRUCTION

- DAY 1 1. GRADING PERMIT TO BE OBTAINED PRIOR TO NOTICE TO PROCEED.
- DAY 2 2. CONTACT HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS AT LEAST 48 HOURS PRIOR TO STARTING WORK.
- DAY 3 3. CLEAR FOR AND INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- DAY 4-8 4. CLEAR AND GRUB FOR SEDIMENT AND EROSION CONTROL MEASURES OR DEVICES ONLY.
- DAY 9 5. INSTALL SILT FENCE AND TEMPORARY CONSTRUCTION FENCE.
- DAY 10 6. OBTAIN CERTIFICATION OF SEDIMENT CONTROL DEVICE PLACEMENT FROM HOWARD COUNTY INSPECTOR PRIOR TO ANY FURTHER CONSTRUCTION.
- DAY 11-20 7. CLEAR AND GRUB AND ROUGH GRADE SITE TO LIMITS OF DISTURBANCE. STOCKPILE AREAS ARE TO BE TEMPORARILY STABILIZED.
- DAY 21-25 8. BEGIN UTILITY CONSTRUCTION.
- DAY 26-130 9. BEGIN BUILDING CONSTRUCTION.
- DAY 131-138 10. INSTALL CURB & GUTTER, PAVING BASE COURSE AND PROVIDE TEMPORARY STABILIZATION FOR ALL DISTURBED AREAS.
- DAY 139-144 11. FINE GRADE SITE, INSTALL WALKS, LANDSCAPING, AND PAVING SURFACE COURSE.
- DAY 145-150 12. AFTER OBTAINING PERMISSION FROM SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE ANY AREA DISTURBED BY THIS PROCESS.

EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 40'

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 11/21/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
COUNTY HEALTH OFFICER
DATE: 10/28/05

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Richard L. Butt
ENGINEER
Richard L. Butt, MD LICENSE #31089

BY THE DEVELOPER:
I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

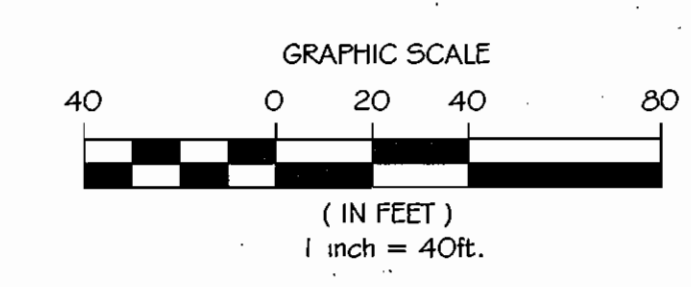
Russ Emerson
DEVELOPER
Russ Emerson - Obrecht Properties LLC

Reviewed for HOWARD SCD and meets Technical Requirements.

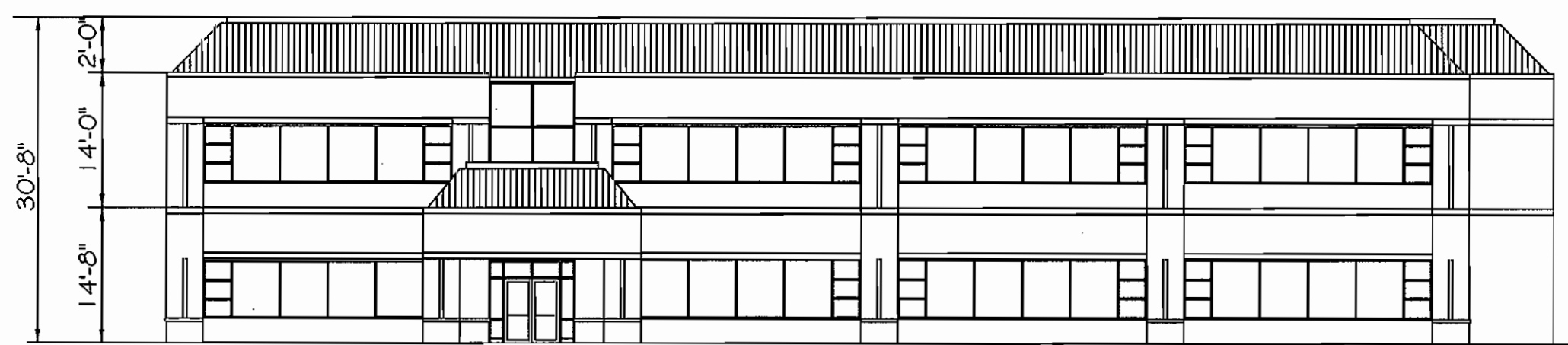
Jim Meyer
USDA - Natural Resources Conservation Services
Date: 10/17/05

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD
Date: 10/17/05



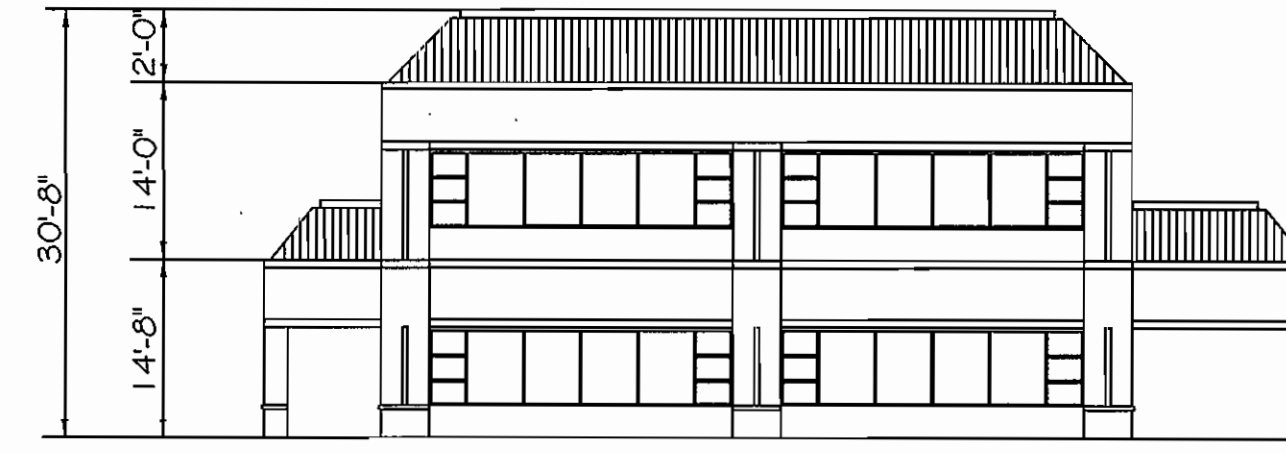
EROSION & SEDIMENT CONTROL PLAN
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
6020 DEERPATH ROAD
ELK RIDGE, MD 21075
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: JULY 19, 2005 SHEET: 5 OF 9



FRONT



WEST SIDE

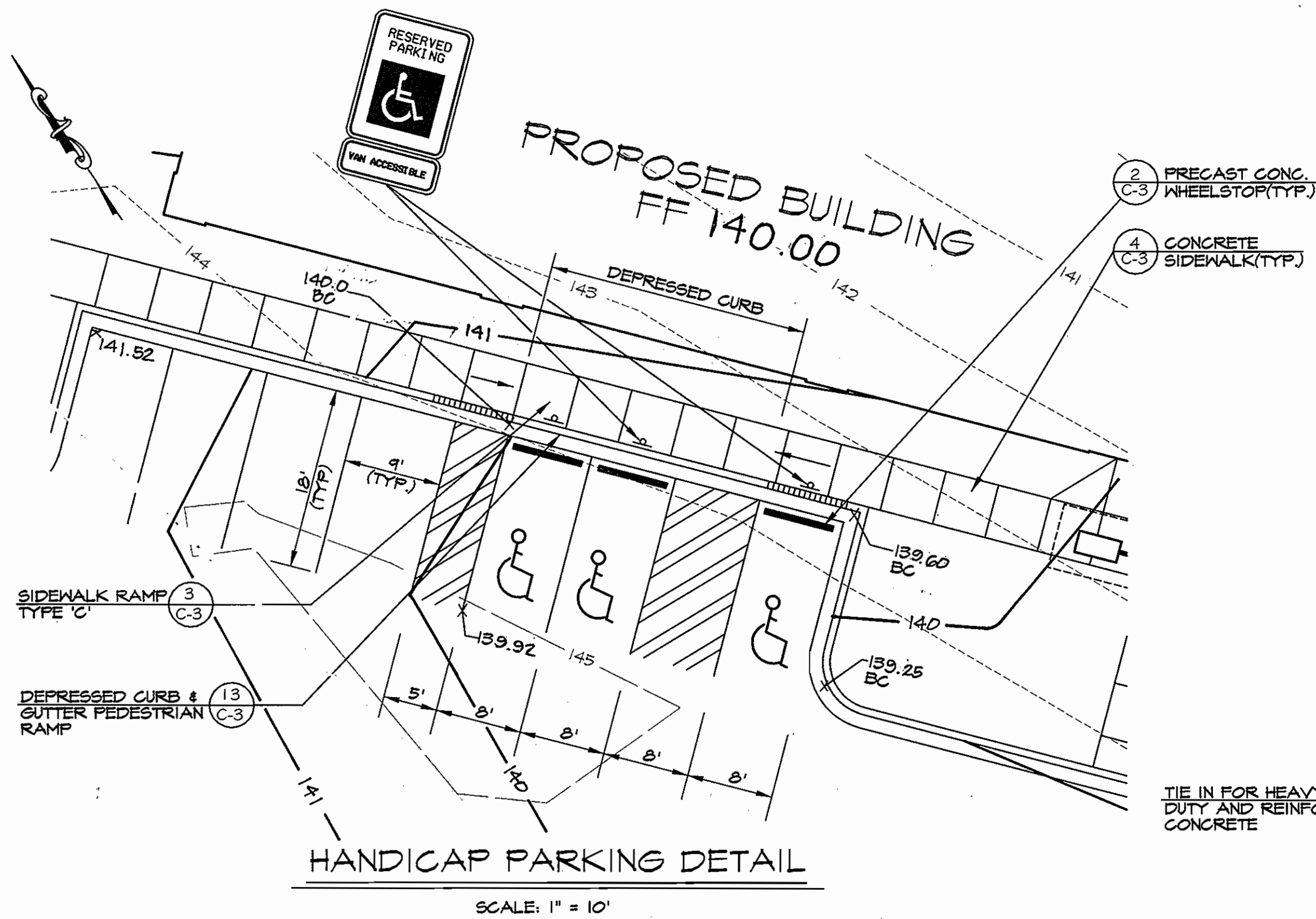


EAST SIDE

BUILDING ELEVATIONS

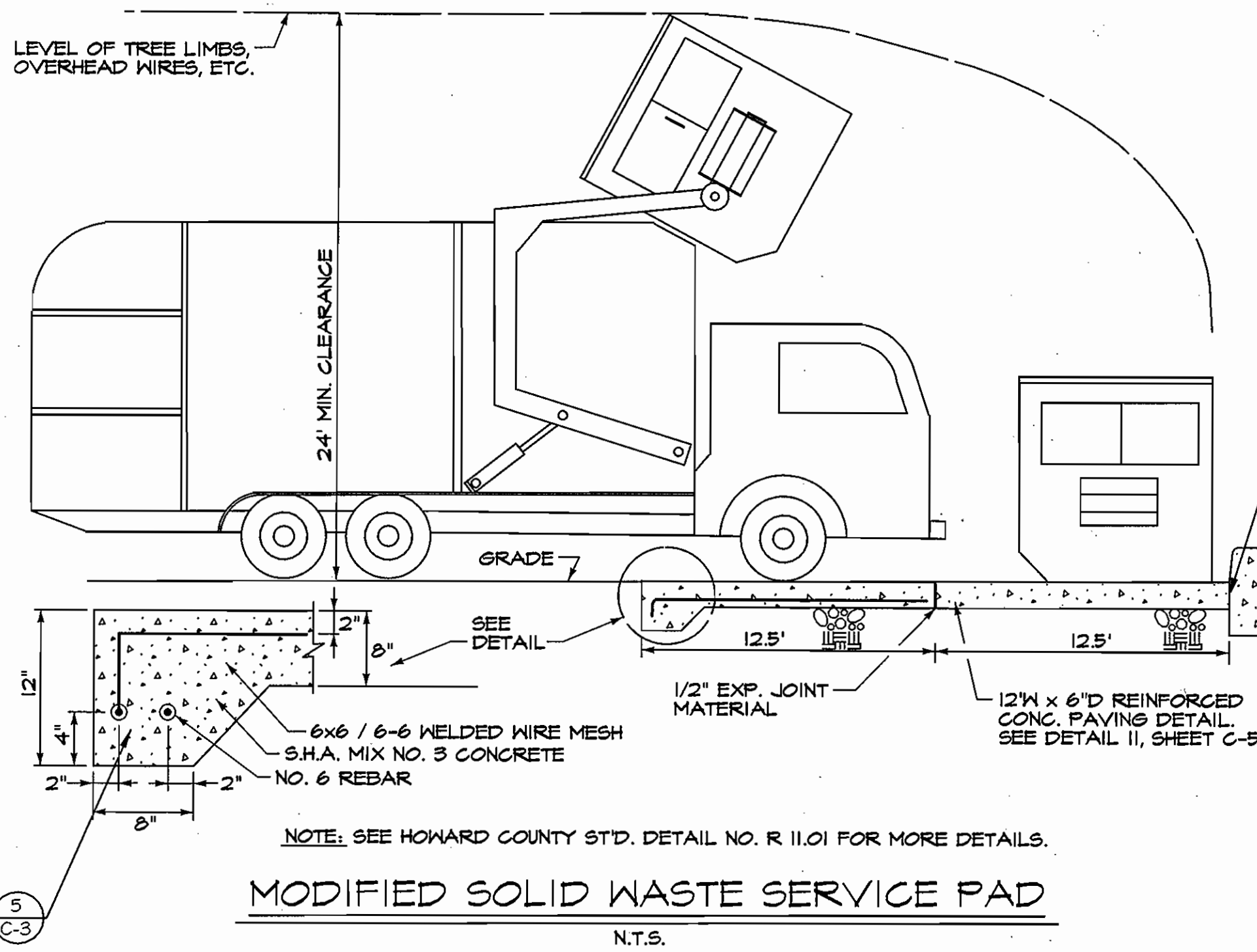
FOR ARCHITECTURAL DETAILS
SEE ARCHITECTURAL PLANS

SCALE: N.T.S.



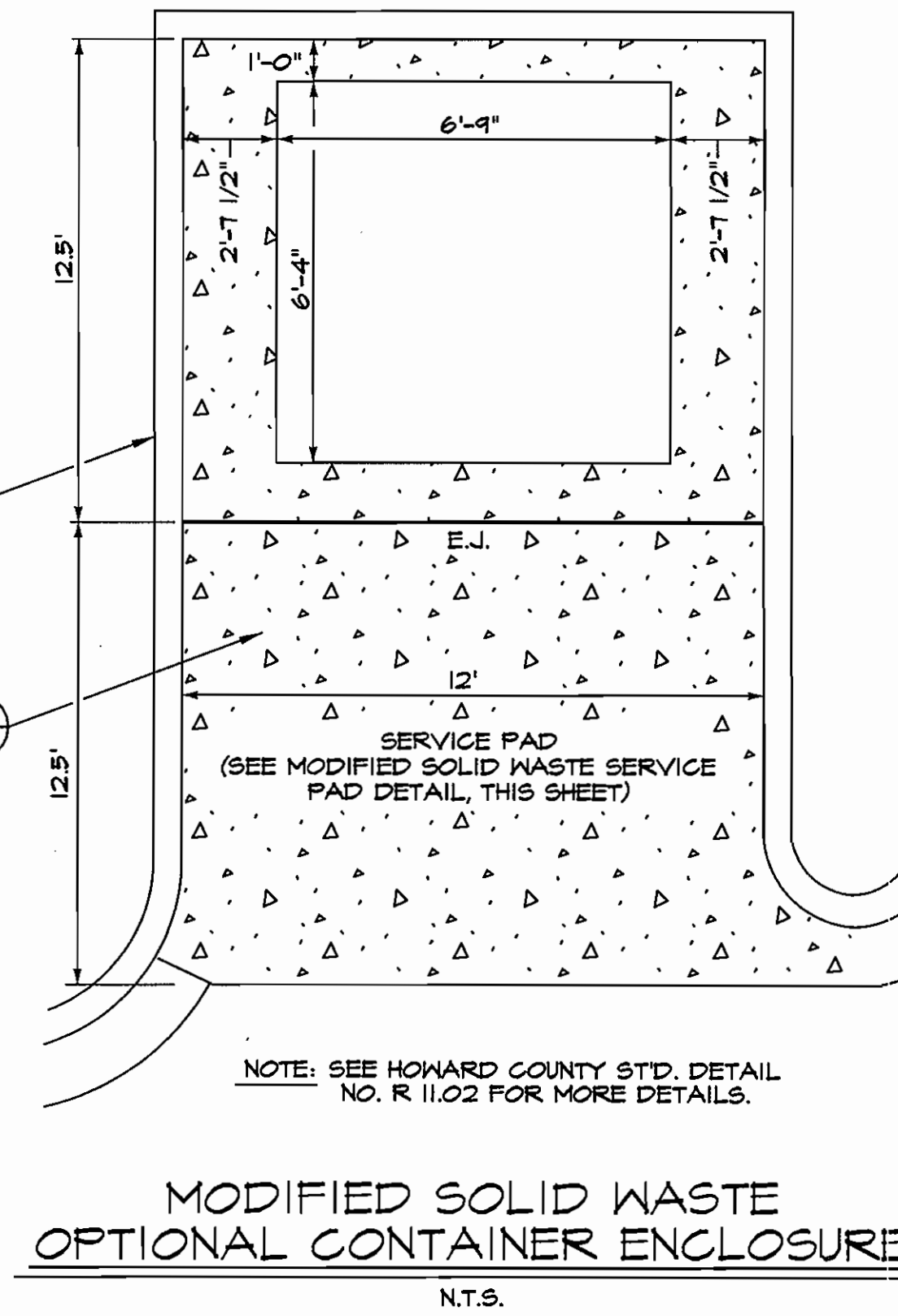
HANDICAP PARKING DETAIL

SCALE: 1" = 10'



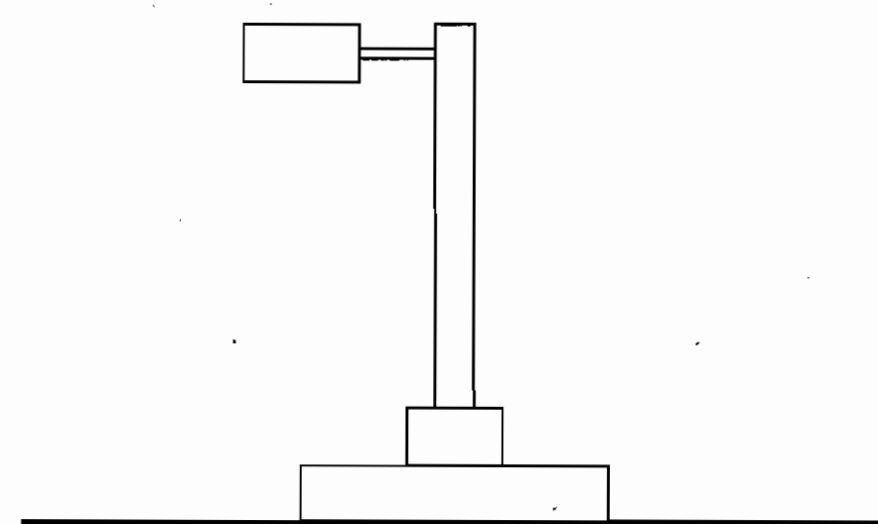
MODIFIED SOLID WASTE SERVICE PAD

N.T.S.



**MODIFIED SOLID WASTE
OPTIONAL CONTAINER ENCLOSURE**

N.T.S.



PARKING LOT LIGHTS

THE LIGHTS IN THE PARKING AREA ARE TO BE LITHONIA, 400 WATT METAL HALIDE LAMPS ON A 30-FOOT POLE. THEY ARE ARRANGED AS A SINGLE UNIT. LIGHTS IN THE PARKING AREAS ARE TO BE INSTALLED ON CONCRETE CYLINDERS. ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 154.D. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.

PARKING LOT LIGHT

LIGHTING DETAIL

N.T.S.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

[Signature] 11/2/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 11/2/05
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 11/2/05
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

[Signature] 10/28/05
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

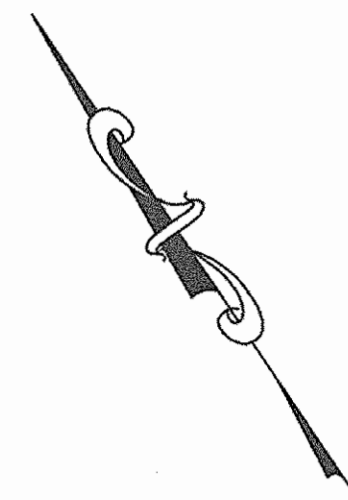
SITE DETAILS

**DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2**

6820 DEERPATH ROAD
ELKRIDGE, MD 21075
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: JULY 19, 2005 SHEET: 4 OF 9

NO.	1	REVISED GRADING AND SPOT ELEVATIONS	DATE	2-2-09
	REVISIONS DESCRIPTION			
1240 Key Highway Baltimore, MD 21230 TEL 410.752.3720 FAX 410.752.4823 colimoregalloway.com				
		ARCHITECTS		
OBRECHT PROPERTIES, LLC 4415 Deeroco Road, Suite 200 Timonium, MD 21088 TEL (410) 316-7817 FAX (410) 316-7817 www.obrecht.com				
ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS				
PROJECT #	01042698			
PERMIT ISSUE:				
CONSTRUCTION ISSUE:				
C-4				



PROPOSED VERSA-LOK RETAINING WALL SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. COLOR TO BE APPROVED BY THE ARCHITECT.

TW 140.00
BW 139.00
TW 141.00
BW 138.50

- COMBINATION CURB & GUTTER (TYP.) C-3
- LIGHT DUTY PAVING (TYP.) C-3
- PAVING TIE-IN (TYP.) C-3
- EX. I-4

SEE SHEET C-4 FOR PROPOSED DUMPSTER PAD DETAILS

CONTRACTOR SHALL PROVIDE POSITIVE FLOW TO INLET DURING CONSTRUCTION

BUILDING NO. 1 (OFFICE BUILDING)
EXISTING ONE STORY OFFICE BUILDING TO REMAIN
(29,642 SF)

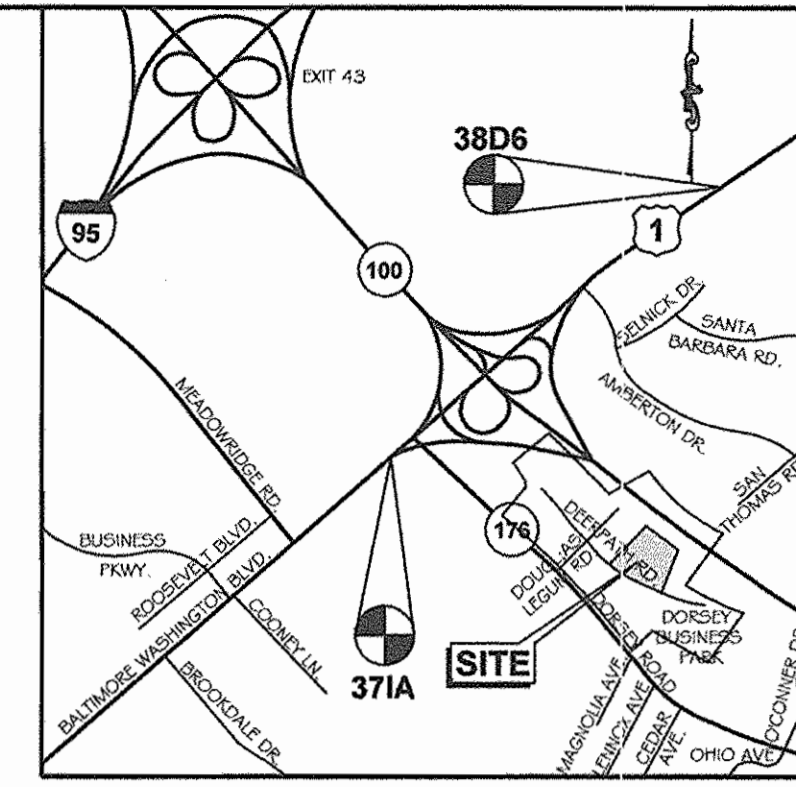
BENCHMARK DATA

B.M. 371A ELEV. 195.760
N 553,315.147
E 1,379,982.154

B.M. 38D6 ELEV. 175.228
N 557,155.459
E 1,384,992.262

DISC SET ON TOP OF CONCRETE COLUMN ALONG NORTH SIDE OF US RTE 1. 247 FEET NORTHEAST OF MAIN ENTRANCE TO MEADOWBRIDGE MEMORIAL PARK.

DISC SET ON TOP OF CONCRETE COLUMN ALONG SOUTHWEST SIDE OF US RTE 1. 6.6 FEET IN FRONT OF CHAIN LINK FENCE IN FRONT OF THE ATLANTIC SUPPLY CO.



VICINITY MAP
SCALE: 1" = 2000'

DATE	REVISIONS DESCRIPTION AND SPOT ELEVATIONS
12-2-05	

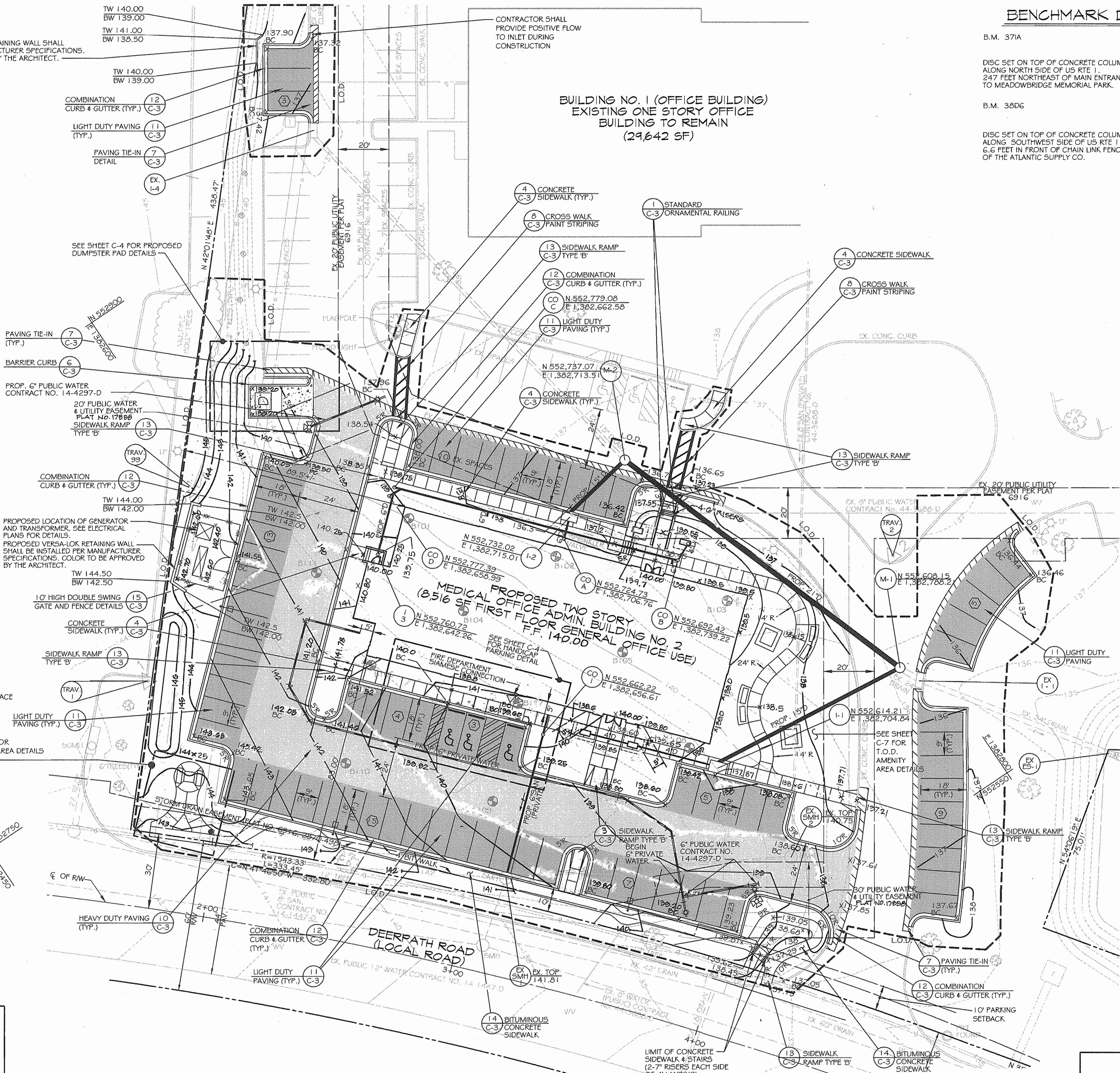
LEGEND

- 140 --- EX. INDEX CONTOUR
- 137 --- EX. 1' INTERMEDIATE CONTOUR
- EX. 15" --- EX. CURB AND GUTTER
- EX. 15" --- EX. STORM DRAIN
- EX. 8" SAN. --- EX. SANITARY SEWER
- EX. 8" W --- EX. WATER
- EX. W --- EX. WATER VALVE
- EX. F --- EX. FIRE HYDRANT
- EX. M --- EX. MANHOLE
- EX. C --- EX. CLEANOUT
- EX. L --- EX. LIGHT POLE
- EX. I --- EX. INLET
- EX. T --- EX. TREE
- EX. W --- EX. WOODS LINE
- +463.23 --- EX. SPOT ELEVATION
- B101 --- SOIL BORING
- 139 --- PROPOSED CONTOUR
- 139 --- PROPOSED CONCRETE SIDEWALK
- +467.0 --- PROPOSED SPOT ELEVATION
- 139 --- PROPOSED LIGHT DUTY PAVING
- 139 --- PROPOSED HEAVY DUTY PAVING
- PROP. 6" SAN. --- PROPOSED SANITARY SEWER
- PROP. 6"D --- PROPOSED STORM DRAIN
- PROP. 6"W --- PROPOSED WATERLINE
- XX --- XX --- PROPOSED FENCE
- H --- H --- HANDICAP SYMBOL
- L.O.D. --- LIMIT OF DISTURBANCE
- / / --- APPROX. LIMITS OF MILL & RESURFACE
- □ --- PROPOSED PARKING LOT LIGHT (details/sheet)

PROPOSED LOCATION OF GENERATOR AND TRANSFORMER. SEE ELECTRICAL PLANS FOR DETAILS.

PROPOSED VERSA-LOK RETAINING WALL SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS. COLOR TO BE APPROVED BY THE ARCHITECT.

SEE SHEET C-7 FOR T.O.D. AMENITY AREA DETAILS AND GRADING



GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY MISS UTILITY - (800) 257-7777 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK.
- TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED ON PLANS DATED MARCH 1998, TITLED "DORSEY BUSINESS PARK PARCEL E" COMPLETED BY STV INCORPORATED, AND A "PROJECT AREA" FIELD SURVEY DATED OCTOBER 2004, COMPLETED BY KCI TECHNOLOGIES, INC.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED ON THE BEST AVAILABLE INFORMATION (A "PROJECT AREA" FIELD SURVEY CONDUCTED BY KCI TECHNOLOGIES, INC. DATED OCTOBER 2004, AND PLANS DATED MARCH 1998, TITLED "DORSEY BUSINESS PARK PARCEL E" COMPLETED BY STV INCORPORATED).
- OBSTRUCTIONS SHOWN ON THIS DRAWING ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. KCI TECHNOLOGIES, INC. DOES NOT WARRANT OR GUARANTEE THE CORRECTNESS OR THE COMPLETENESS OF THE INFORMATION GIVEN. THE CONTRACTOR MUST VERIFY ALL SUCH INFORMATION TO HIS OWN SATISFACTION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF CONSTRUCTION INSPECTION (410) 313-1880, FIVE (5) WORKING DAYS BEFORE STARTING THE WORK SHOWN ON THESE PLANS.
- REMOVAL OF ANY SIDEWALK, CURB AND GUTTER AND/OR CONCRETE MOW STRIP SHALL BE AT NEAREST JOINT. NO PATCHING SHALL BE PERMITTED.
- ADJUST TOP OF CURB GRADES AS NECESSARY TO PROVIDE SMOOTH TRANSITION TO EXISTING.
- SAW CUT EXISTING PAVEMENT AS NEEDED TO INSTALL NEW CONSTRUCTION.
- STRIP AND RESURFACE EXISTING PAVING AS NEEDED TO PROVIDE SMOOTH TRANSITION TO EXISTING GRADES. SEE PAVING TIE IN DETAIL SHEET C-3.
- IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO MENTION SPECIFICALLY ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO COMPLETE SUCH WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTE THAT IN CASE OF A DISCREPANCY BETWEEN THE SCALED AND THE FIGURED DIMENSIONS SHOWN ON THESE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
- ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE HOWARD COUNTY STANDARD DETAILS AND SPECIFICATIONS AND ALL REVISIONS THERETO, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES, I.E. MANHOLE FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- UNLESS OTHERWISE NOTED, PIPE ELEVATIONS REFER TO THE INVERT.
- UNLESS OTHERWISE NOTED, ALL SEWER PIPE SHALL BE PVC SDR-35 CONFORMING TO THE REQUIREMENTS OF A.S.T.M. SPECIFICATION D-3034. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE & FITTINGS SHALL BE HANCOR BLUE SEAL CORRUGATED POLYETHYLENE PIPE (H.D.P.E.) MANUFACTURED BY:

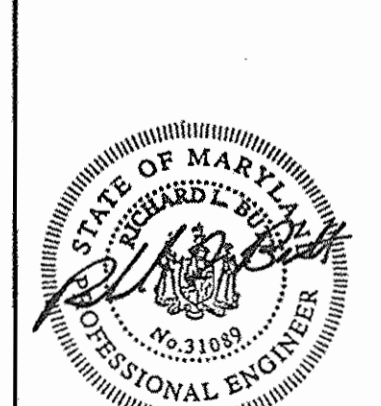
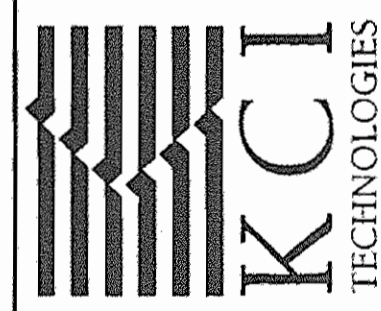
HANCOR INCORPORATED
ONE WILLIAM DONNELLY INDUSTRIAL PARKWAY
WAVERLY, NY 14892
1-800-847-5880
- ALL STRUCTURE DIMENSIONS REFER TO THE CENTERLINE OF THE "STRUCTURES".
- SEE MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR CONTINUATION OF UTILITY CONNECTIONS TO BUILDING AND SITE LIGHTING INFORMATION.
- CONTRACTOR SHALL CONNECT ALL ON-SITE UTILITIES TO THE PROPOSED BUILDING CONNECTIONS AS REQUIRED.
- ALL CLEANOUTS TO BE HOWARD COUNTY STD. 5-2.22.
- FOR DEMOLITION PLAN SEE SHEET C-1.
- FOR SEDIMENT AND EROSION CONTROL PLAN SEE SHEET C-5.
- FOR SEDIMENT AND EROSION CONTROL NOTES AND DETAILS SEE SHEET C-6.
- THE GEOTECHNICAL REPORT WAS PREPARED BY D.W. KOZERA INC., DATED NOVEMBER 23, 2004.
- CLEANOUTS IN PAVED AREA ARE TO HAVE COUNTERSUNK LIDS.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED ON THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NPFA-110.1.2.1 SEE ELECTRICAL PLANS FOR DETAILS.
- PROPER SIGNAGE SHALL BE PLACED ON THE BUILDING AND AT THE STREET IDENTIFYING EACH BUILDING ADDRESS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- THE PROPOSED WATER AND SEWER FOR THIS PROJECT IS CONTRACT NO. 44-4297-D.

1240 Key Highway
Baltimore, MD 21230
TEL 410-752,3720
FAX 410-752,8923
collmoregalloway.com



OBRECHT
PROPERTIES, LLC
4419 Deerpark Road, Suite 200
Thurman, MD 20858
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Fax: 410-266-2287
www.obrecht.com

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS



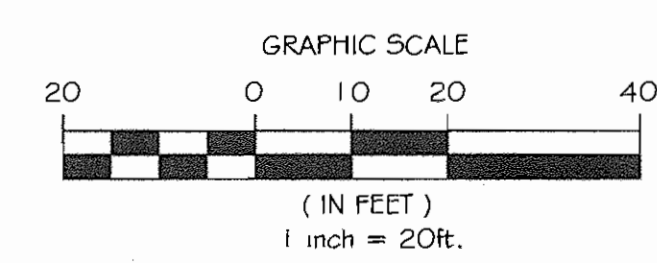
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 11/2/05

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 11/2/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 10/28/05

GRADING / UTILITY PLAN

SCALE: 1" = 20'



GRADING / UTILITY PLAN
DORSEY BUSINESS PARK, PARCEL E
MARYLAND HOSPITAL ASSOCIATION
BUILDING NO. 2
6020 DEERPARK ROAD
ELKBRIDGE, MD 21075
TAX MAP NO. 37, GRID NO. 24, PARCEL NO. 634
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: JULY 19, 2005 SHEET: 2 OF 9

PROJECT # 01042698
PERMIT ISSUE:
CONSTRUCTION ISSUE:

C-2