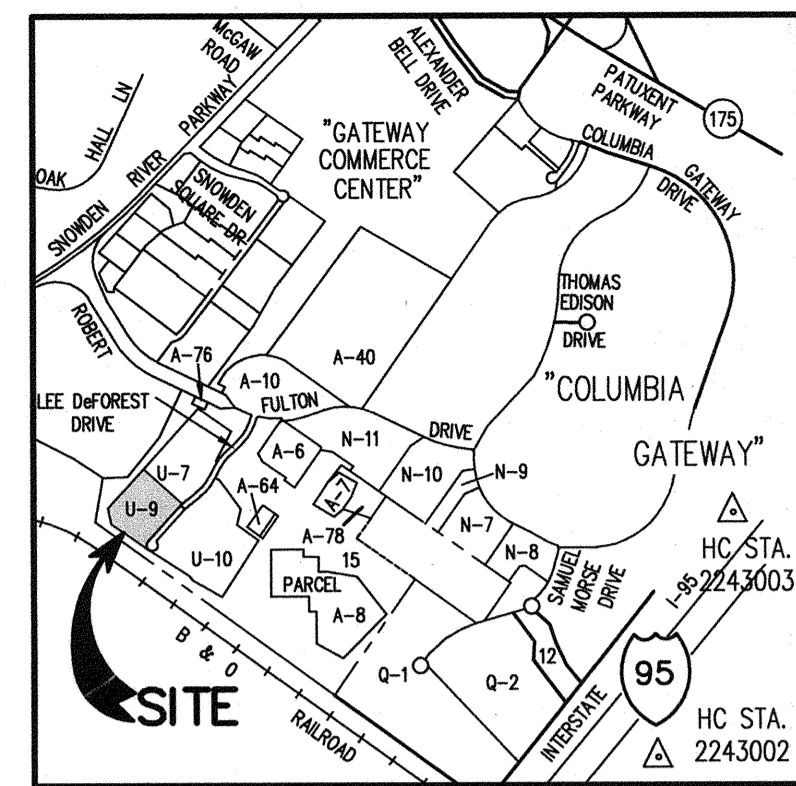


SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP
4	SEDIMENT CONTROL NOTES AND DETAILS
5	PROFILES
6	PROFILES AND DETAILS
7	DETAILS
8	LANDSCAPE PLAN
9	LANDSCAPE NOTES AND DETAILS

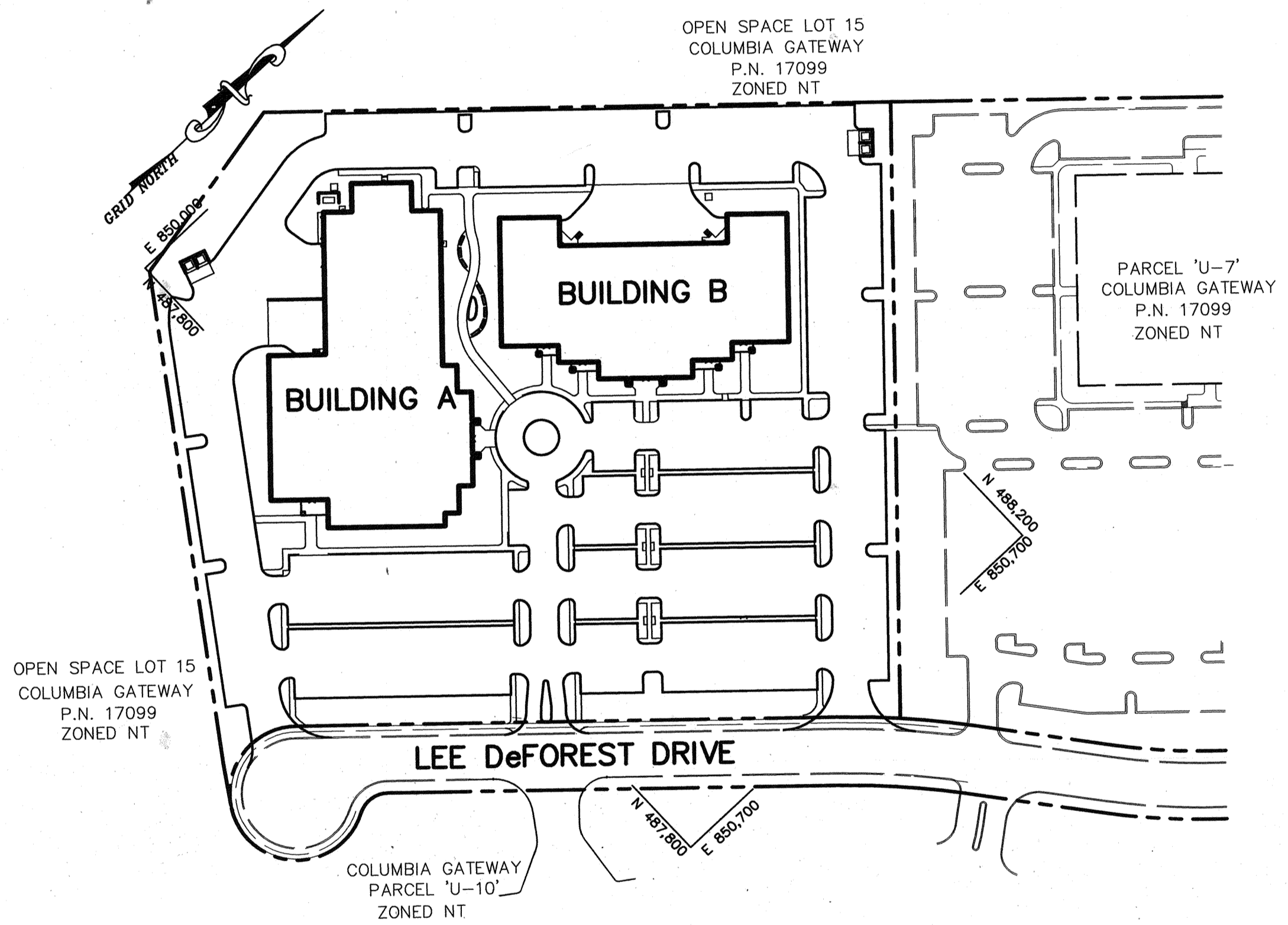
SITE DEVELOPMENT PLAN GATEWAY CENTRE COLUMBIA GATEWAY PARCEL U-9 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=2000'
COPYRIGHT ADC THE MAP PEOPLE
PERMITTED USE NO. 20894285

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY GUTSCHICK LITTLE & WEBER, P.A., DATED 2004.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 2243002 AND 2243003 WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 24-4254-D
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: CONTRACT NO. 24-4254-D
- THE STORMWATER QUALITY AND QUANTITY MANAGEMENT IS PROVIDED FOR THE DEVELOPMENT BY REGIONAL FACILITY UNDER F-00-74.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100- YEAR FLOODPLAIN STUDY FOR THIS PROJECT IS NOT REQUIRED.
- NO WETLANDS IMPACT THIS PROJECT.
- A TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED JULY 2004.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY PATTON HARRIS RUST & ASSOCIATES, PC DATED MARCH 2004.
- SUBJECT PROPERTY ZONED NT PER 02-02-04 COMPREHENSIVE ZONING PLAN, AMENDED PER ZB-969-M, FDP-236-A-1 EMPLOYMENT CENTER INDUSTRIAL LAND USE.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. P-86-22, S-84-44, S-85-28, F-86-127, F-86-182, F-87-63, WP-98-130, F-99-34, WP-99-113, WP-00-18, S-85-55, ZB-969M, WP-93-48, F-95-177, F-96-76, F-98-69, F-99-34, F-00-74, FDP 236-A-1, F-01-189, F-01-200, WP-05-03, F-04-164, SDP-05-58, F-05-39
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION REGULATIONS PER CB-45-2003 AND THE AMENDED ZONING REGULATIONS PER COUNCIL BILL 75-2003.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- THE MINIMUM SPACING BETWEEN TREES AND STREET LIGHTS IS 20'.
- SIGN POSTS: ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GA.) INSERTED INTO A 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GA.) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202(b)(1)(iv) OF THE HOWARD COUNTY CODE FOR PLANNED UNIT DEVELOPMENT (NEW TOWN) THAT WAS MORE THAN 50% DEVELOPED BEFORE DECEMBER 31, 1992.
- LANDSCAPING IS PROVIDED IN ACCORDANCE WITH ALTERNATIVE COMPLIANCE PROVISIONS OF THE LANDSCAPE MANUAL. A SURETY IN THE AMOUNT OF \$13,380 IS POSTED WITH THE DPW DEVELOPER'S AGREEMENT.



AREA TABULATION CHART

AREA OF PARCEL U-9	7.71 ACRES
LIMIT OF DISTURBED AREA	8.5 ACRES
PRESENT ZONING	NT EMPLOYMENT CENTER INDUSTRIAL
PROPOSED USE	OFFICE/WAREHOUSE
BUILDING A	FIRST FLOOR OFFICE - 33,750 SF FIRST FLOOR WAREHOUSE - 3,750 SF SECOND FLOOR OFFICE - 37,500 SF
BUILDING B	FIRST FLOOR OFFICE - 24,750 SF FIRST FLOOR WAREHOUSE - 2,750 SF SECOND FLOOR OFFICE - 27,500 SF
TOTAL OFFICE SPACE	123,500 SF
TOTAL WAREHOUSE SPACE	6500 SF
BUILDING COVERAGE	65,390 SF (19% OF SITE)
REQUIRED PARKING	
*OFFICE-2 SPACES/1000 SF=247	
**WAREHOUSE-0.5 SPACES/1000 SF=4	
TOTAL REQUIRED	251 SPACES
PROVIDED PARKING	422 SPACES (INCL. 13 HC SPACES***)

*PER FDP PHASE 236-A-1
**PER HOWARD COUNTY ZONING REGULATIONS
***HANDICAP PARKING REQUIRED PER BUILDING PER FOLLOWING:
BUILDING A: 75,000/130,000 x 424=245 SP. = 7 REQUIRED HC SPACES
BUILDING B: 55,000/130,000 x 424=180 SP. = 6 REQUIRED HC SPACES

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>[Signature]</i>	7/12/05
DIRECTOR	DATE
<i>[Signature]</i>	9/20/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	09/23/05
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

08-31-05	1	MODIFIED BUILDING FOOTPRINT, SIDEWALK AND PARKING
DATE NO.	REVISION	
OWNER	DEVELOPER	
GEAPE LAND HOLDING II, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6370	GATEWAY CENTRE LLC c/o BAXLEY DEVELOPMENT, INC. 8600 SNOWDEN RIVER PARKWAY SUITE 200 COLUMBIA, MARYLAND 21045 410-953-0050	

PROJECT
GATEWAY CENTRE
COLUMBIA GATEWAY PARCEL U-9

AREA TAX MAP 42 P/O PARCEL 513 & P/O PARCEL 671
ZONED NEW TOWN
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: 03/16/05

Replacement Sheet

BUILDING	STREET ADDRESS
A	7730 LEE DeFOREST DRIVE
B	7726 LEE DeFOREST DRIVE

SUBDIVISION NAME	COLUMBIA GATEWAY	SECT.	2	PARCEL	U-9
PLAT NO.	17356-57	BLOCK #	8	ZONING	NT
TAX MAP NO.	42	ELECT. DIST.	6	CENSUS TRACT	6012.02
WATER CODE	E06	SEWER CODE	4900000		

REVISED TITLE SHEET

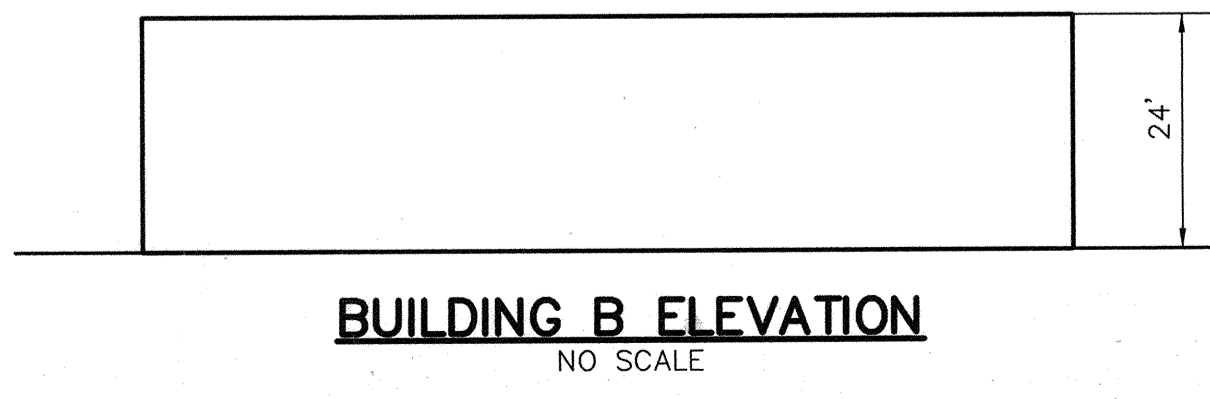
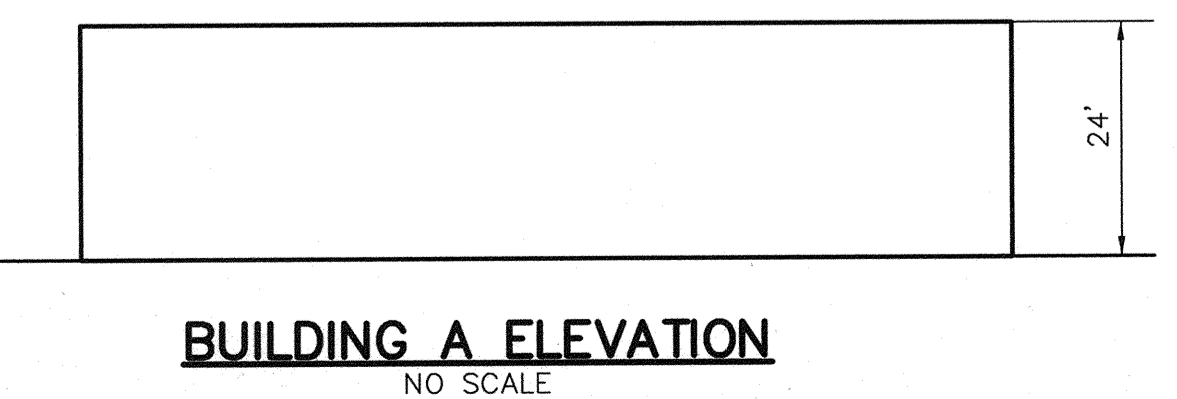
Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

PHRA

9-6-05

DESIGNED BY : C.J.R.
DRAWN BY: MAD
PROJECT NO : 12976-1-0
PLANS/COOCCOV
DATE : JUNE 28, 2005
SCALE : AS SHOWN
DRAWING NO. 1 OF 9

AIMEE C. REMINGTON #29923



NOTES:

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
3. ALL ON-SITE ROADS ARE PRIVATE.
4. STD/REV/BARR.CURB * - DENOTES TRANSITION BETWEEN STANDARD, REVERSE & BARRIER CURB
5. PUBLIC STREET LIGHT, 250 WATT HPS (SAG) MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE USING A 12' ARM.
6. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. THERE SHALL BE NO LANDSCAPING WITHIN 7.5' OF THE FIRE DEPARTMENT CONNECTION.
7. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4 - 5' IN HEIGHT AND NO MORE THAN 6' LATERSALLY FROM THE DOOR. THE LOCK SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFPA-1 10.12.1.

LEGEND

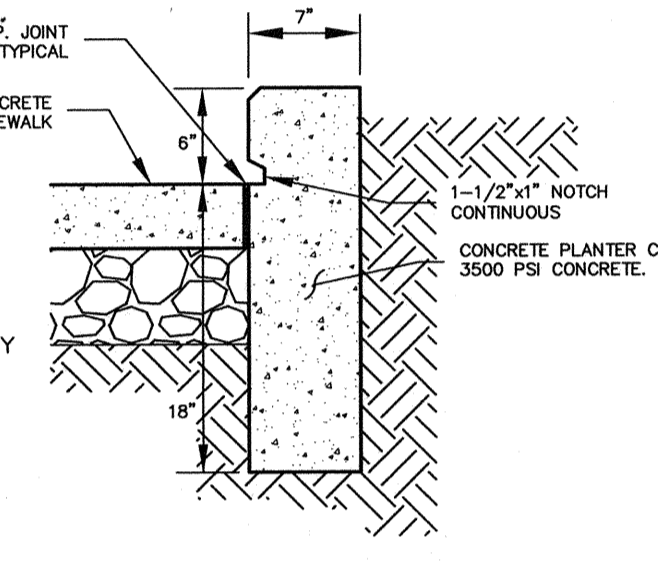
- EXISTING 10' CONTOURS
- EXISTING 2' CONTOURS
- PROPOSED 10' CONTOURS
- PROPOSED 2' CONTOURS
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN
- LD PAVING (LIGHT DUTY)
- HD PAVING (HEAVY DUTY)
- WHITE CONCRETE SIDEWALK (HO.CO. DETAIL R-3.05)
- EASEMENTS
- SEEDED CONCRETE
- FIRE DEPARTMENT CONNECTION

STREET LIGHT CHART		
NO.	LOCATION	DESCRIPTION
STREET LIGHT #1	21' LT. CL STA. 13+68 LEE DeFOREST DRIVE	250 WATT HPS (SAG) MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE USING A 12' ARM.
STREET LIGHT #2	21' LT. CL STA. 16+13 LEE DeFOREST DRIVE	
STREET LIGHT #3	EXISTING LIGHT TO BE RELOCATED BY HO.CO.	

PARKING LIGHT FIXTURE SCHEDULE

TYPE	LAMPS	MOUNTING	DESCRIPTION	VOLTAGE
	250W	25' ROUND	TYPE 3 CUT OFF STRAIGHT ALUMINUM POLE	208V
	250W	25' ROUND	TYPE 3 CUT OFF STRAIGHT ALUMINUM POLE	208V

PLANTER CURB SECTION



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE **03/16/05**

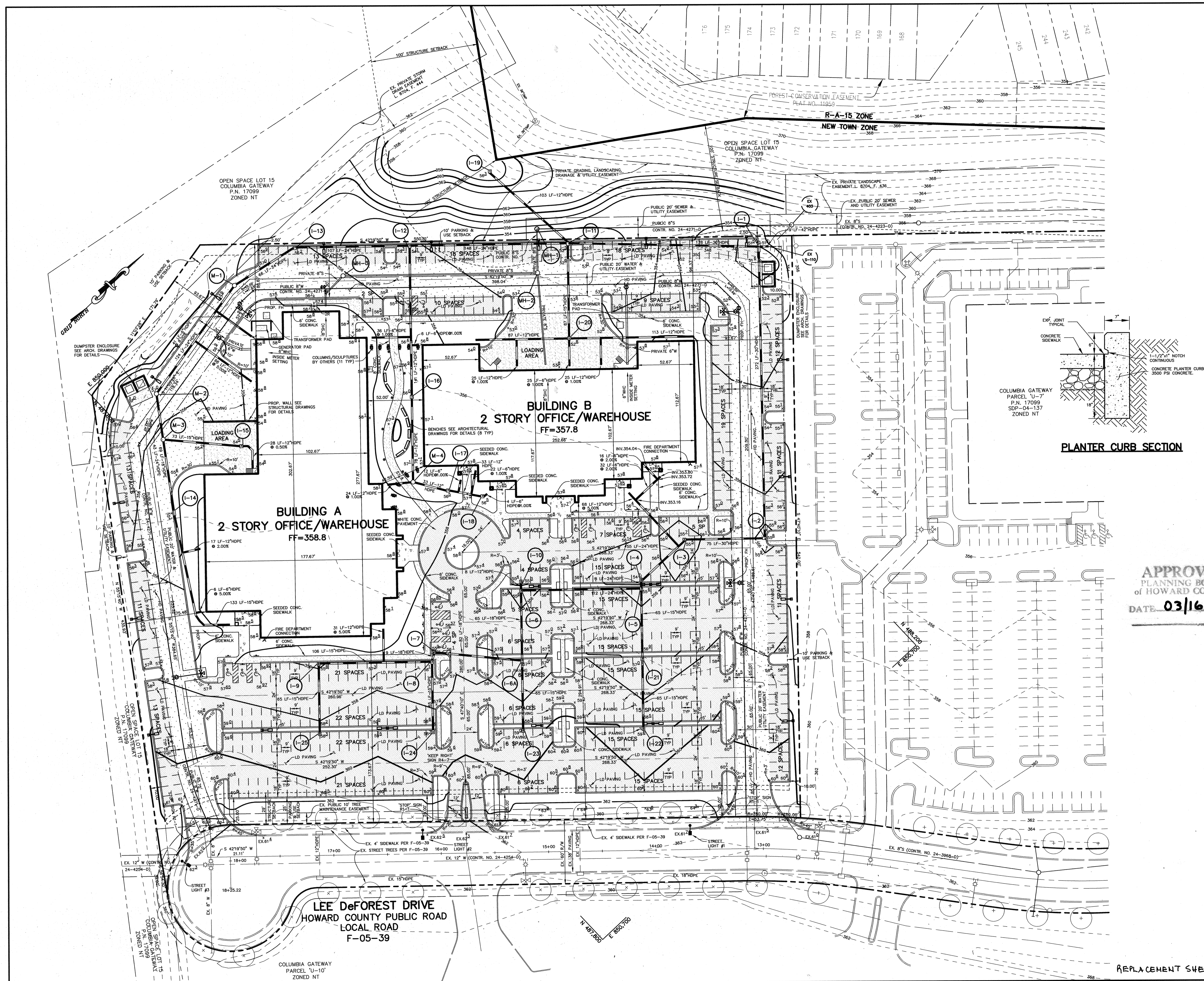
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
DIRECTOR	<i>Mark D. Caughy</i> 2/26/05 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>Mike</i> 9/21/05 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	<i>M. W. Antle</i> 09/23/05 DATE

08-31-05	1	MODIFIED BLDG. FOOTPRINT, DOCK AREA, SIDEWALKS AND PARKING. MODIFIED PLACING OF DOCK AND ENTRANCE	REVISION
OWNER	DEVELOPER		
GEAPE LAND HOLDING II, INC. 10275 LITTLE PATENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6370	GATEWAY CENTRE LLC c/o BAXLEY DEVELOPMENT, INC. 8600 SNOWDEN RIVER PARKWAY SUITE 200 COLUMBIA, MARYLAND 21045 410-953-0050		

PROJECT
 GATEWAY CENTRE
 COLUMBIA GATEWAY PARCEL U-9
 AREA TAX MAP 42 P/O PARCEL 513 & P/O PARCEL 671
 ZONED NEW TOWN
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
 REVISED SITE
 DEVELOPMENT PLAN
 Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

9-06-05 DATE
 STATE OF MARYLAND
 AME C. REMINGTON
 PROFESSIONAL ENGINEER
 DESIGNED BY: C.J.R.
 DRAWN BY: MAD
 PROJECT NO. 12976-1-0
 PLANS/C400SIT
 DATE: JUNE 28, 2005
 SCALE: 1"=40'
 DRAWING NO. 2 OF 9

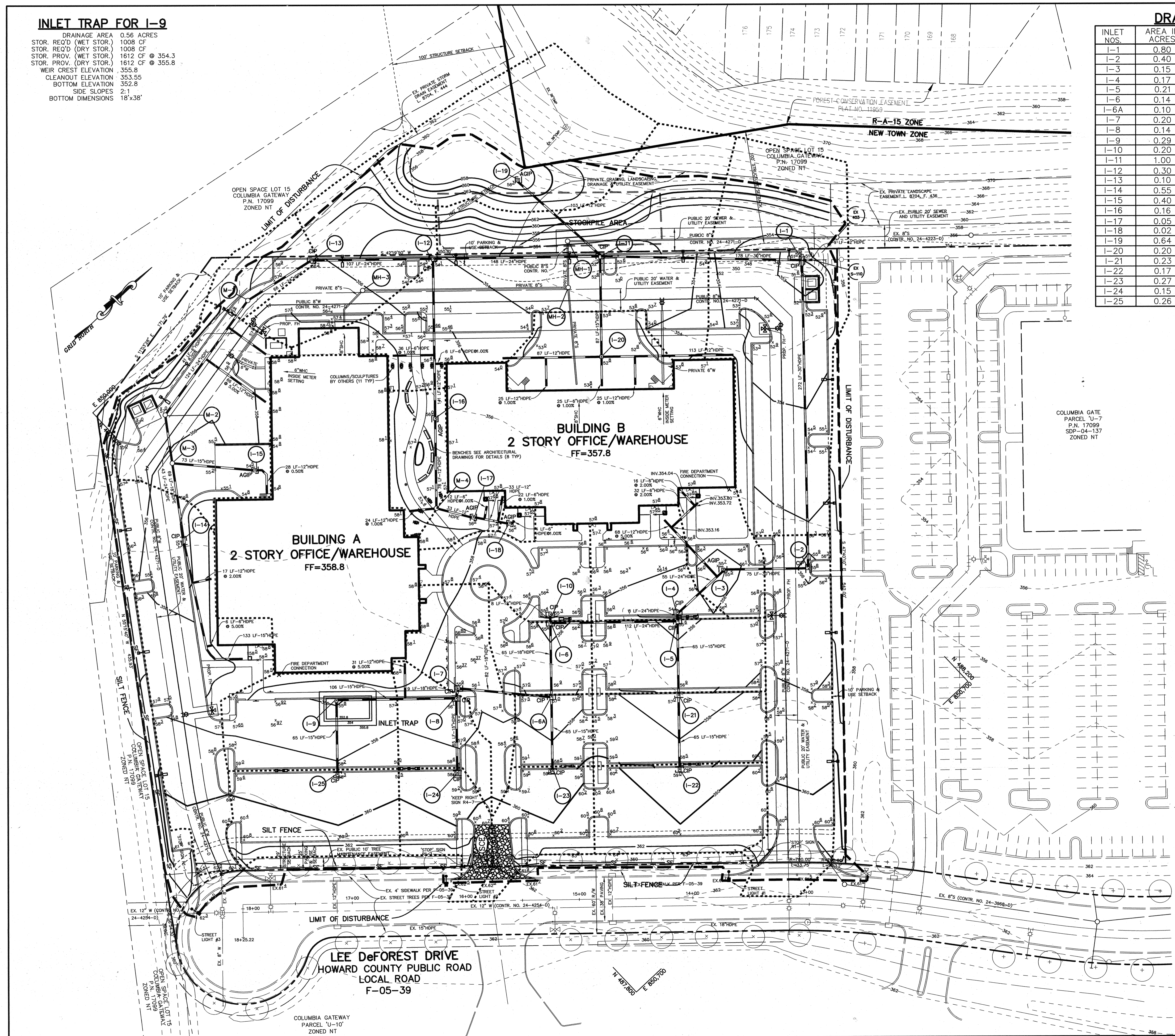


INLET TRAP FOR I-9

DRAINAGE AREA 0.56 ACRES
 STOR. REQ'D (WET STOR.) 1008 CF
 STOR. REQ'D (DRY STOR.) 1008 CF
 STOR. PROV. (WET STOR.) 1612 CF @ 354.3
 STOR. PROV. (DRY STOR.) 1612 CF @ 355.8
 WEIR CREST ELEVATION 355.8
 CLEANOUT ELEVATION 353.55
 BOTTOM ELEVATION 352.8
 SIDE SLOPES 2:1
 BOTTOM DIMENSIONS 18'x38'

DRAINAGE DATA

INLET NOS.	AREA IN ACRES	C FACTOR	PERCENT IMPERVIOUS
I-1	0.80	0.57	56
I-2	0.40	0.78	87
I-3	0.15	0.68	73
I-4	0.17	0.74	82
I-5	0.21	0.83	97
I-6	0.14	0.76	86
I-6A	0.10	0.73	80
I-7	0.20	0.69	75
I-8	0.14	0.72	80
I-9	0.29	0.79	79
I-10	0.20	0.79	90
I-11	1.00	0.61	63
I-12	0.30	0.53	50
I-13	0.10	0.46	40
I-14	0.55	0.69	75
I-15	0.40	0.69	75
I-16	0.16	0.78	87
I-17	0.05	0.46	40
I-18	0.02	0.53	50
I-19	0.64	0.19	0
I-20	0.20	0.79	90
I-21	0.23	0.80	91
I-22	0.17	0.70	77
I-23	0.27	0.71	78
I-24	0.15	0.73	80
I-25	0.26	0.76	85



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 03/16/05

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Rust 9-2-05
 DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Aimee C. Remington 9-06-05
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer 9-15-05
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Rust 9-15-05
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

David L. Light 7/25/05
 DIRECTOR DATE

Michael J. ... 9/2/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

M. W. ... 09/23/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

08-31-05	1	MODIFIED R.W. FOOTPRINT FOR LAKE SIDEWALKS AND PARKING, MEDIAN GRADING OF DOCK + ENTRANCE
DATE	NO.	REVISION

OWNER GEAPE LAND HOLDING II, INC. 10275 LITTLE PATENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6370	DEVELOPER GATEWAY CENTRE LLC c/o BAXLEY DEVELOPMENT, INC. 8600 SNOWDEN RIVER PARKWAY SUITE 200 COLUMBIA, MARYLAND 21045 410-953-0050
--	---

PROJECT
GATEWAY CENTRE
 COLUMBIA GATEWAY PARCEL U-9

AREA TAX MAP 42 P/O PARCEL 513 & P/O PARCEL 671
 ZONED NEW TOWN
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
REVISED GRADING, SEDIMENT CONTROL AND DRAINAGE AREA MAP

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

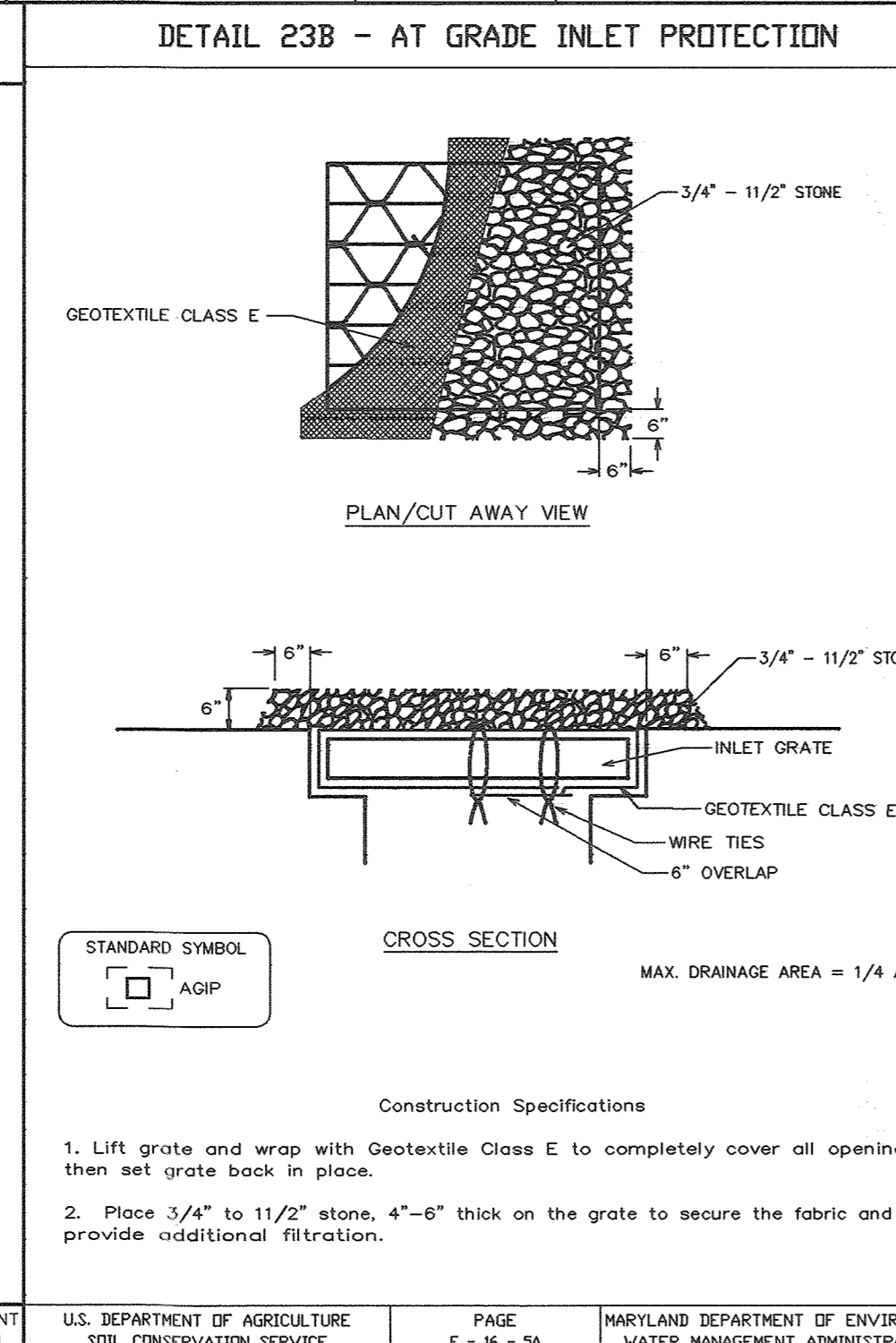
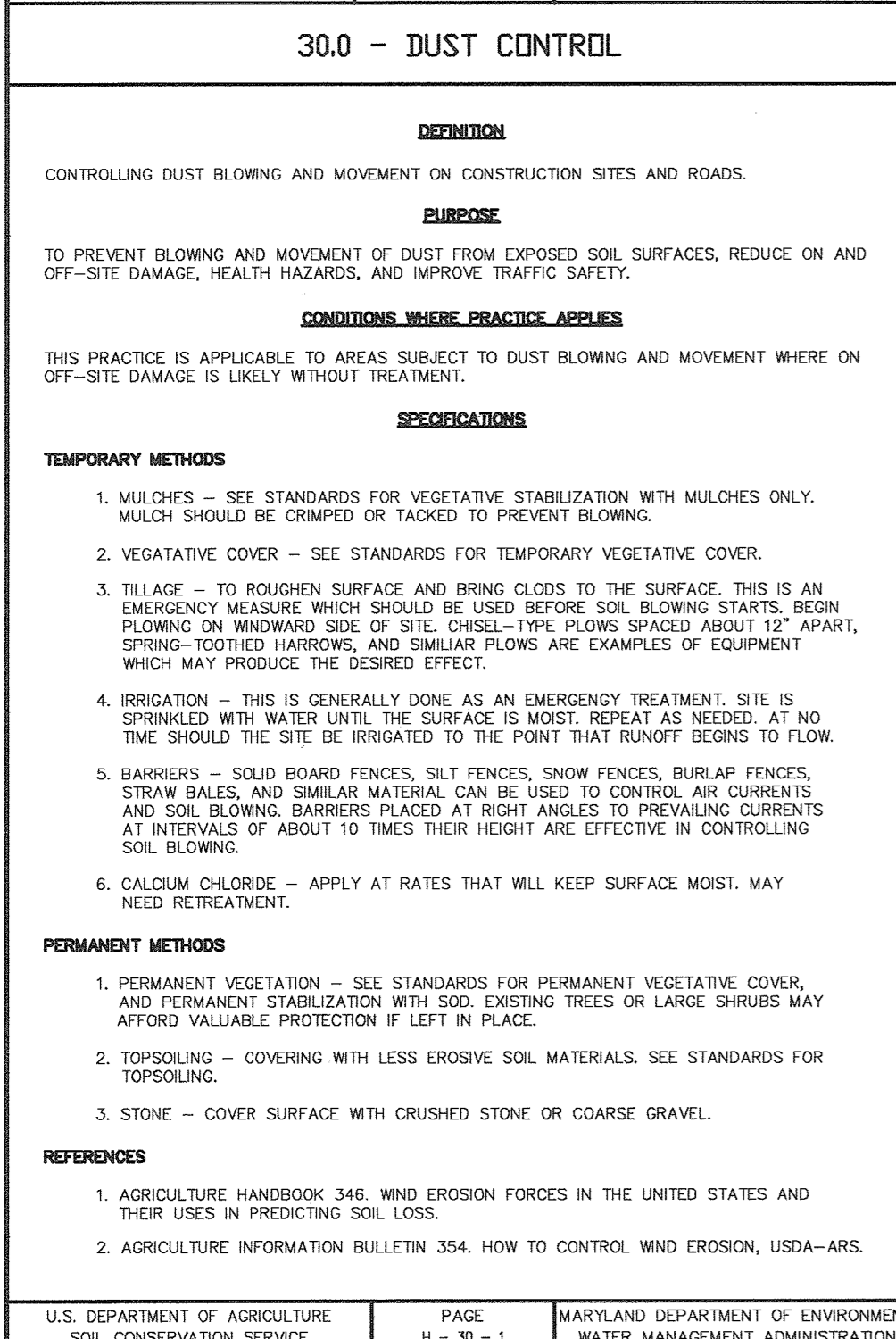
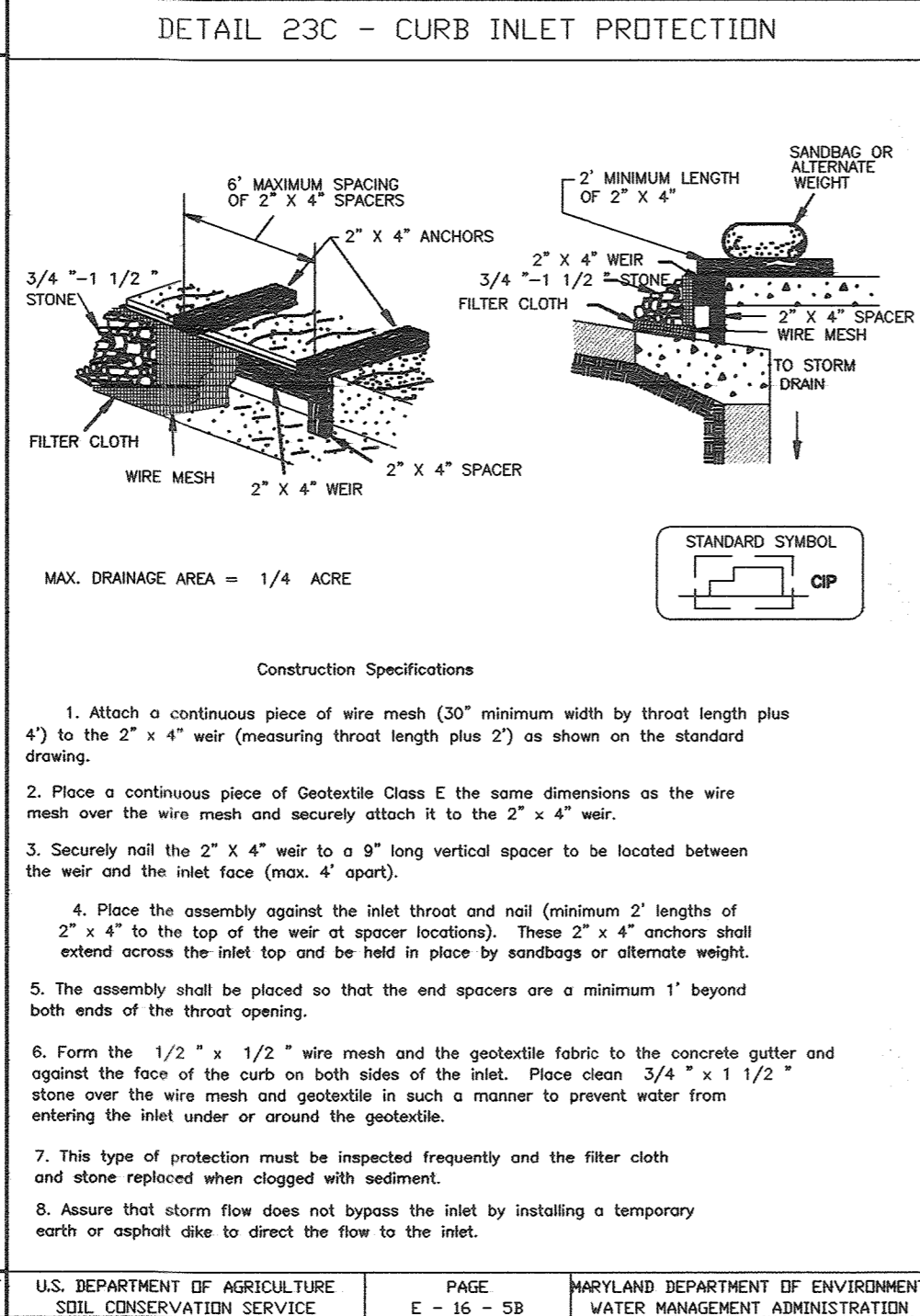
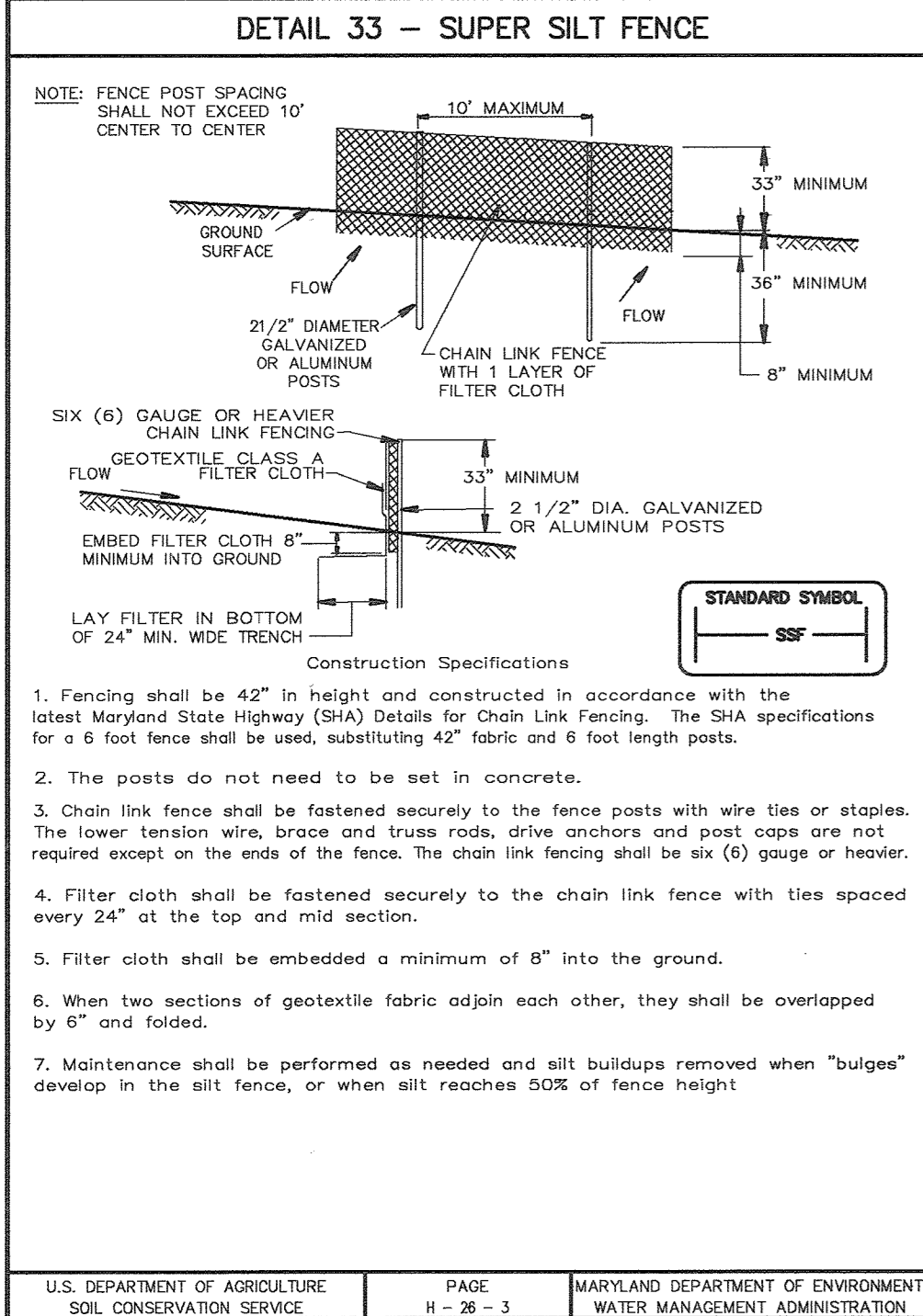
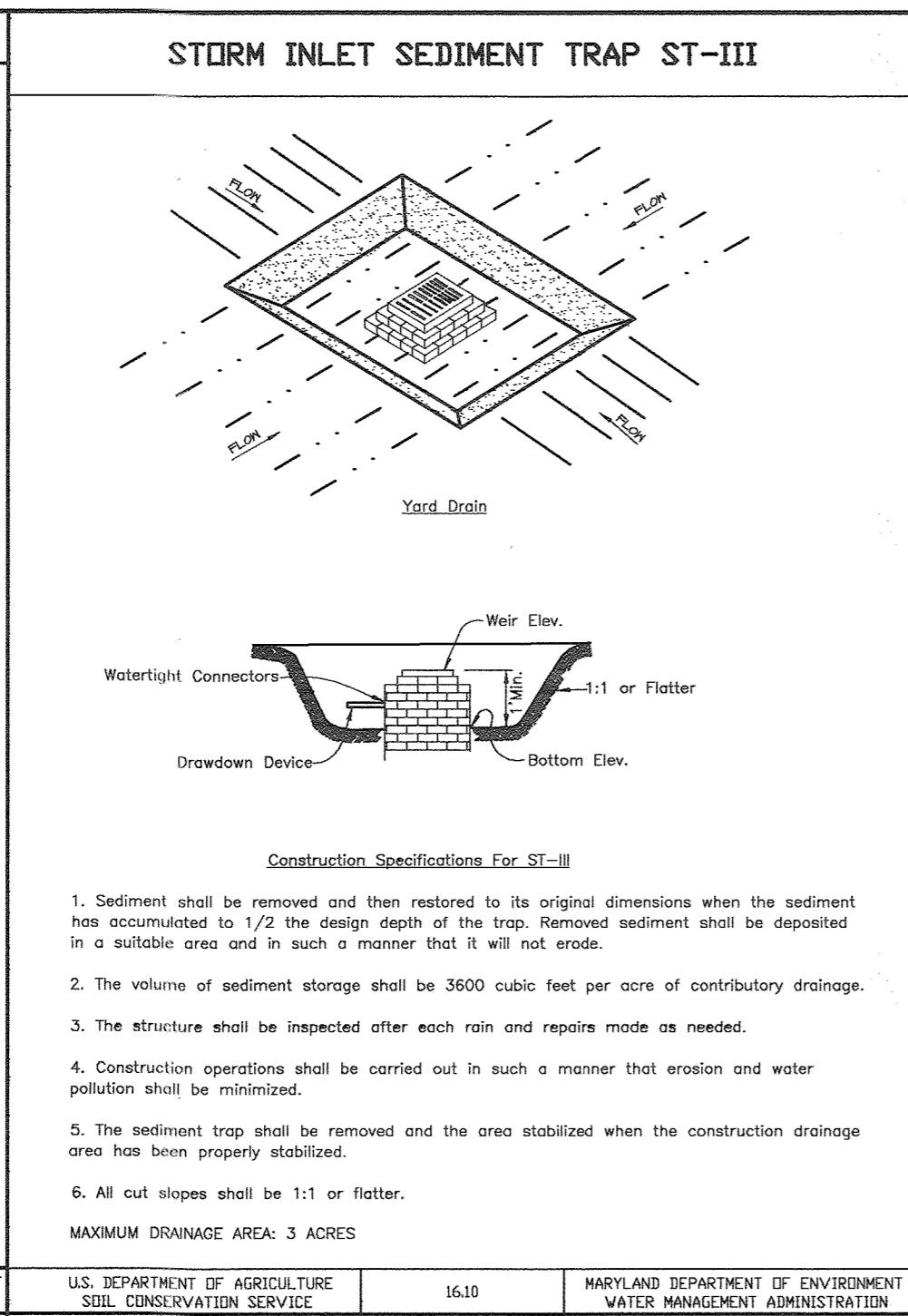
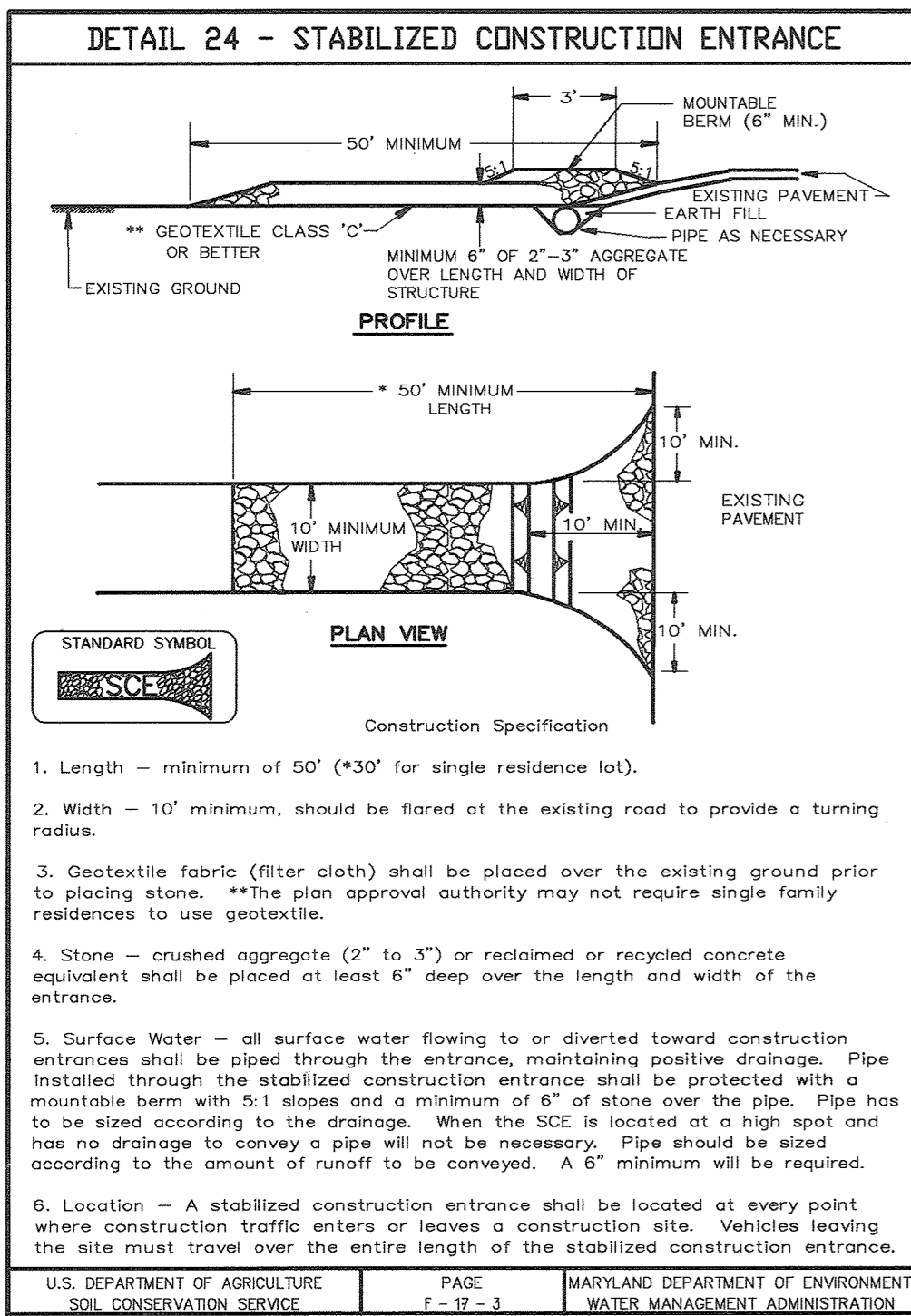
PHRA

9-06-05
 DATE

DESIGNED BY : C.J.R.
 DRAWN BY: MAD
 PROJECT NO. 12976-1-0
 PLANS/C200ESC
 DATE : JUNE 28, 2005
 SCALE : 1"=40'
 DRAWING NO. 3 OF 9

STATE OF MARYLAND
 AIMEE C. REMINGTON
 PROFESSIONAL ENGINEER
 No. 2992

REPLACEMENT SHEET
 SDP-05-087



21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SSCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTATION STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

- TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAC, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1-1/2" IN DIAMETER.
- TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- WHERE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

- PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

- ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 - TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 - NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

IV. TOPSOIL SUBSTITUTES TO AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY MAY BE USED IN LIEU OF NATURAL TOPSOIL.

II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION.
- TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR PRETTY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

- COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITE HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
 - COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-YA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, SUPER SILT FENCE. (1 WEEK)
- BEGIN ROUGH GRADING AND BUILDING CONSTRUCTION.
- AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL STORM INLETS, INLET PROTECTION, INLET TRAP AT I-9 AND WATER AND SEWER. (6 WEEKS)
- INSTALL CURB AND GUTTER THEN PROCEED ASPHALT PAVING. (6 WEEKS)
- APPLY TOPSOIL AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 DAYS)
- PERFORM FINE GRADING, LANDSCAPING, LIGHTING, SIDEWALK, AND COMPLETE BUILDING CONSTRUCTION. (6 MONTHS)
- UPON PERMISSION OF COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 DAY)

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PERMANENT SEEDING, SOO, TEMPORARY SEEDING, AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE	7.71 ACRES
AREA TO BE DISTURBED	8.5 ACRES
AREA TO BE ROOFED OR PAVED	2.0 ACRES
AREA TO BE VEGETATIVELY STABILIZED	6.5 ACRES
TOTAL CUT	8000 CU. YARDS
TOTAL FILL	8000 CU. YARDS

 OFFSITE WASTE AREA LOCATION TO HAVE ACTIVE GRADING PERMIT

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL STRUCTURES, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

12. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.

13. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.

14. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.).

SEEDING - FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS. PER 1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.07 LBS. PER 1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 800 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS. PER 1000 SQ.FT.).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIOD MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS. PER 1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.05 LBS. PER 1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY ONE OF THE FOLLOWING OPTIONS:

- 2 TONS PER ACRE OF WELL-ANCHORED MULCH STRAW AND SEED AS SOON AS POSSIBLE IN THE SPRING.
- USE SOO.
- SEED WITH 60 LBS. PER ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

BY THE DEVELOPER:

PARCEL 513 LLC.
DEVELOPER
5/25/05
DATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE ENGINEER:

Aimee C. Remington
ENGINEER
5/25/05
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

John M. Myers
NATURAL RESOURCE CONSULTANT SERVICE
6/11/05
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Roberts
HOWARD SOIL CONSERVATION DISTRICT
6/11/05
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark D. Lyle
DIRECTOR
6/16/05
DATE

Verde L. Jones, III
CHIEF, DEVELOPMENT ENGINEERING DIVISION
6/16/05
DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

DATE	NO.	REVISION

OWNER	DEVELOPER
GEAPE LAND HOLDING II, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6370	GATEWAY CENTRE LLC 670 BAXLEY DEVELOPMENT, INC. 8800 SNOOWDEN RIVER PARKWAY SUITE 200 COLUMBIA, MARYLAND 21045 410-953-0050

PROJECT: GATEWAY CENTRE
COLUMBIA GATEWAY PARCEL U-9

AREA: TAX MAP 42, P/O PARCEL 513 & P/O PARCEL 671
ZONED NEW TOWN
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT CONTROL NOTES
AND DETAILS

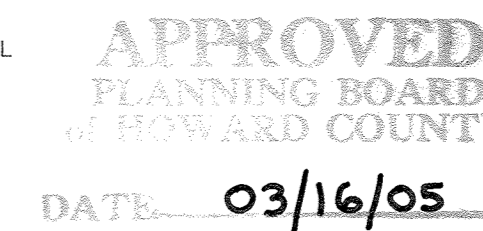
Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

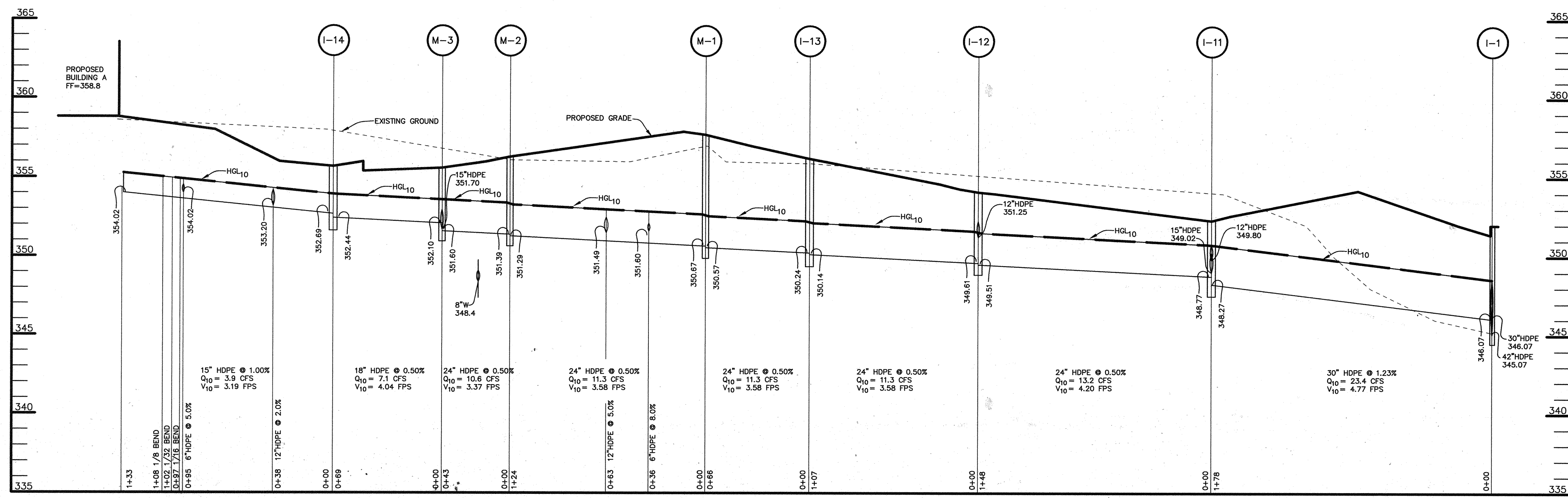
PHRA
DATE: 5-25-05

DESIGNED BY: C.J.R.
DRAWN BY: MAD
PROJECT NO: 12976-1-0
PLANS/C900DET

DATE: MAY 26, 2005
SCALE: AS SHOWN
DRAWING NO. 4 OF 9

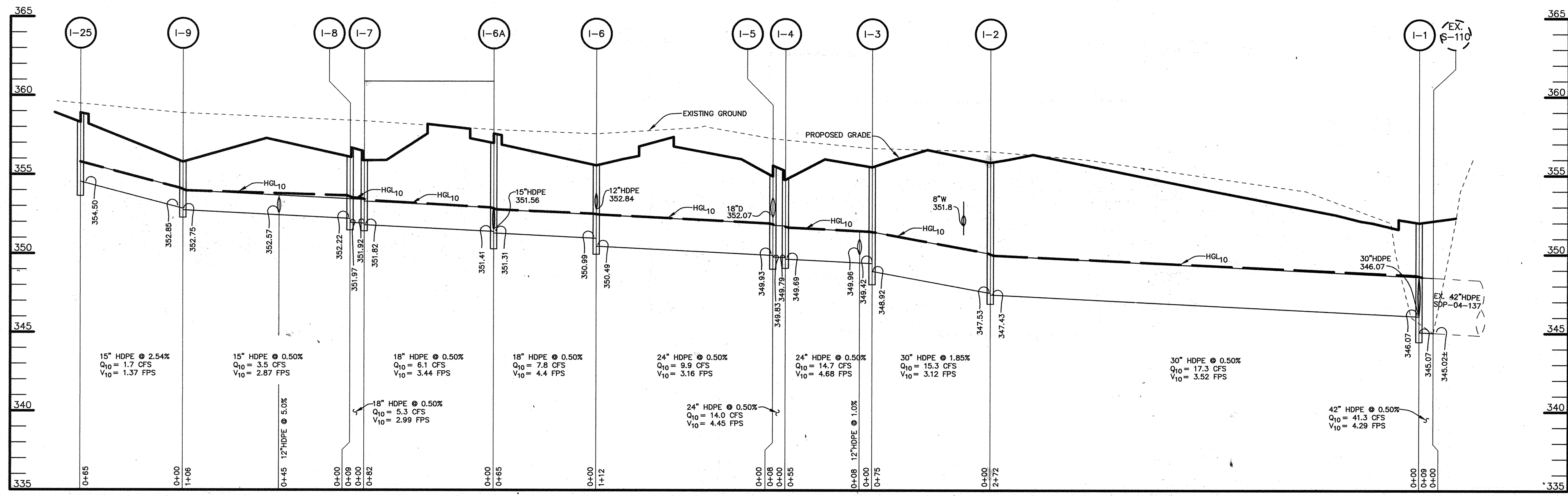
AIMEE C. REMINGTON #29923
SDP-05-087





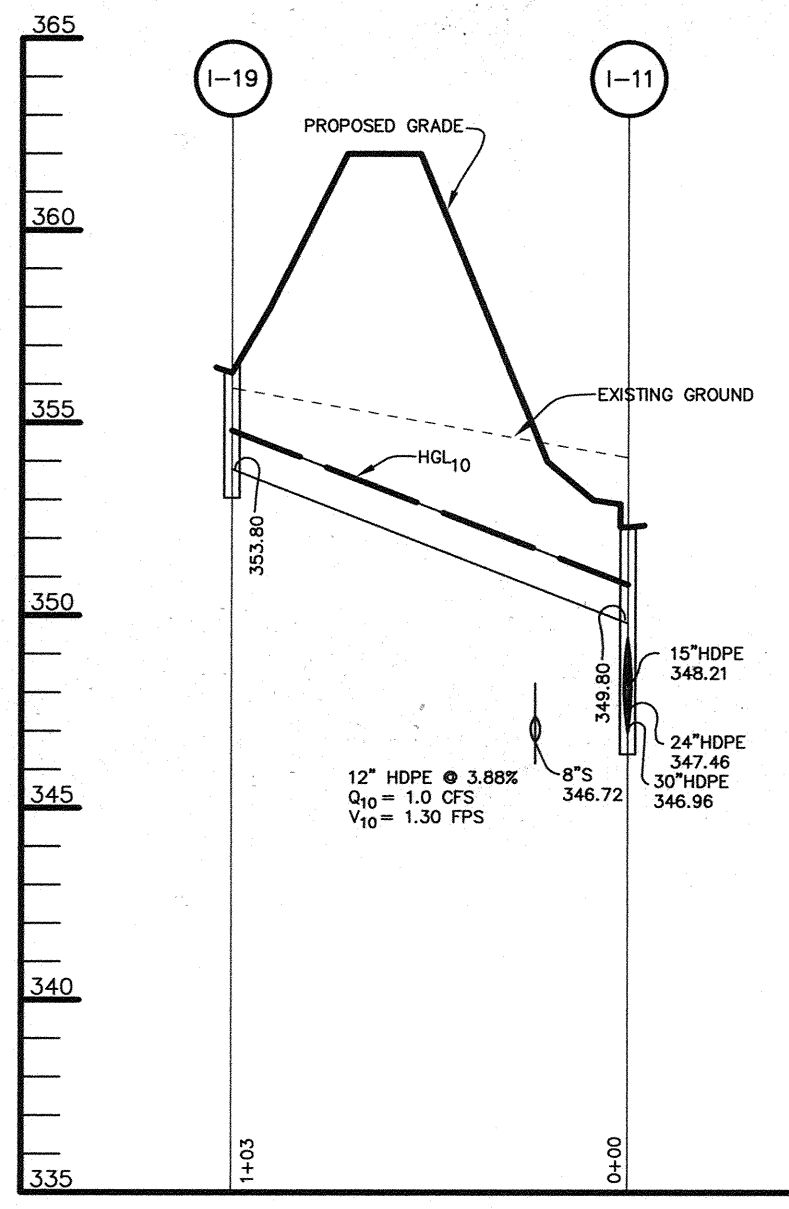
STORM DRAIN PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



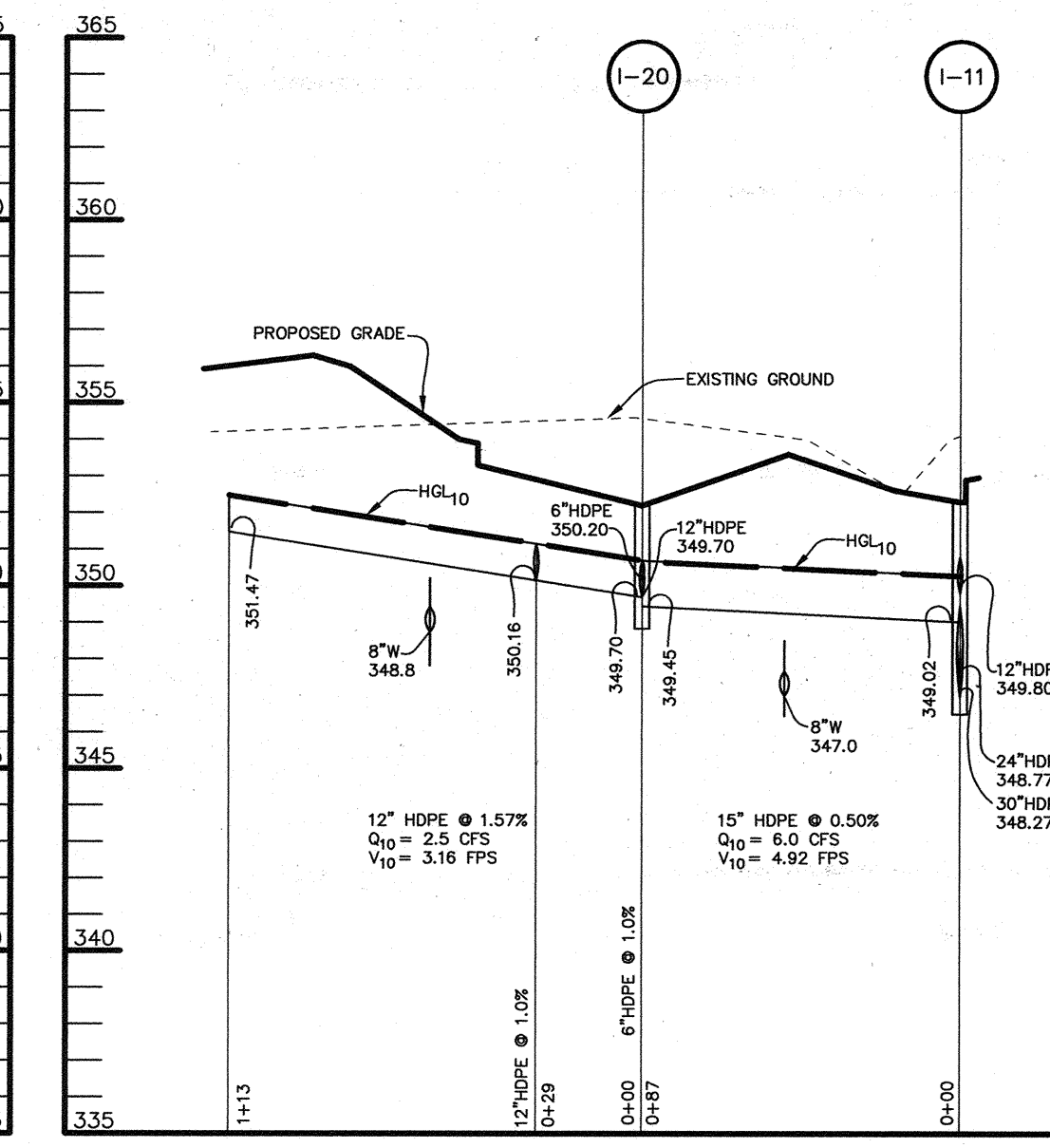
STORM DRAIN PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



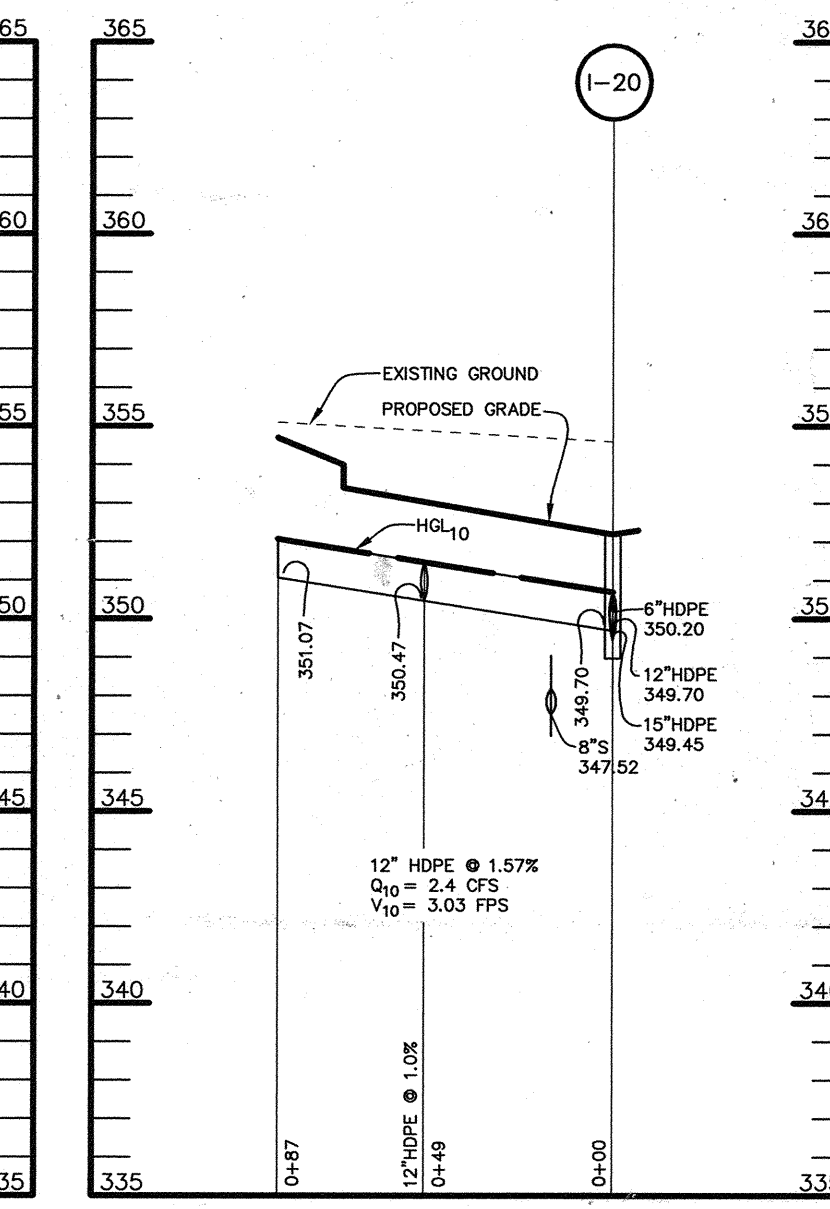
STORM DRAIN PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



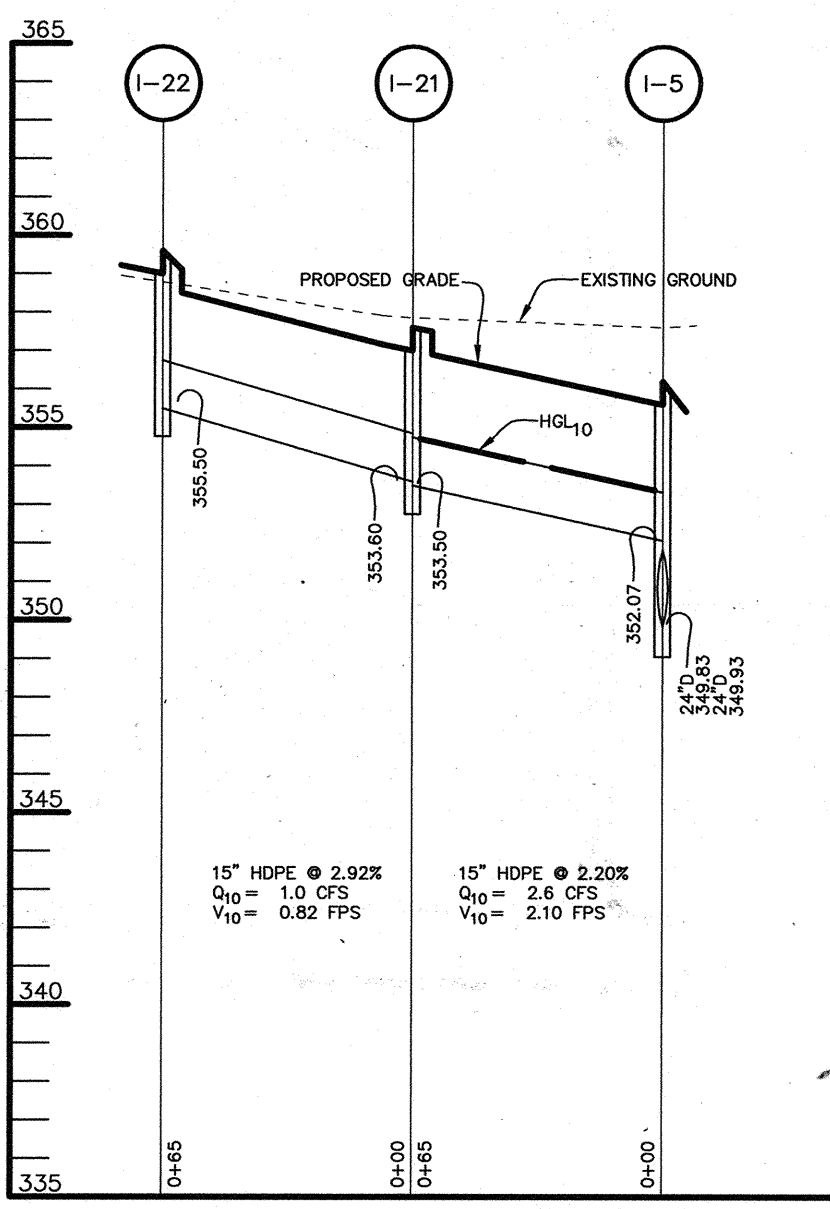
STORM DRAIN PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



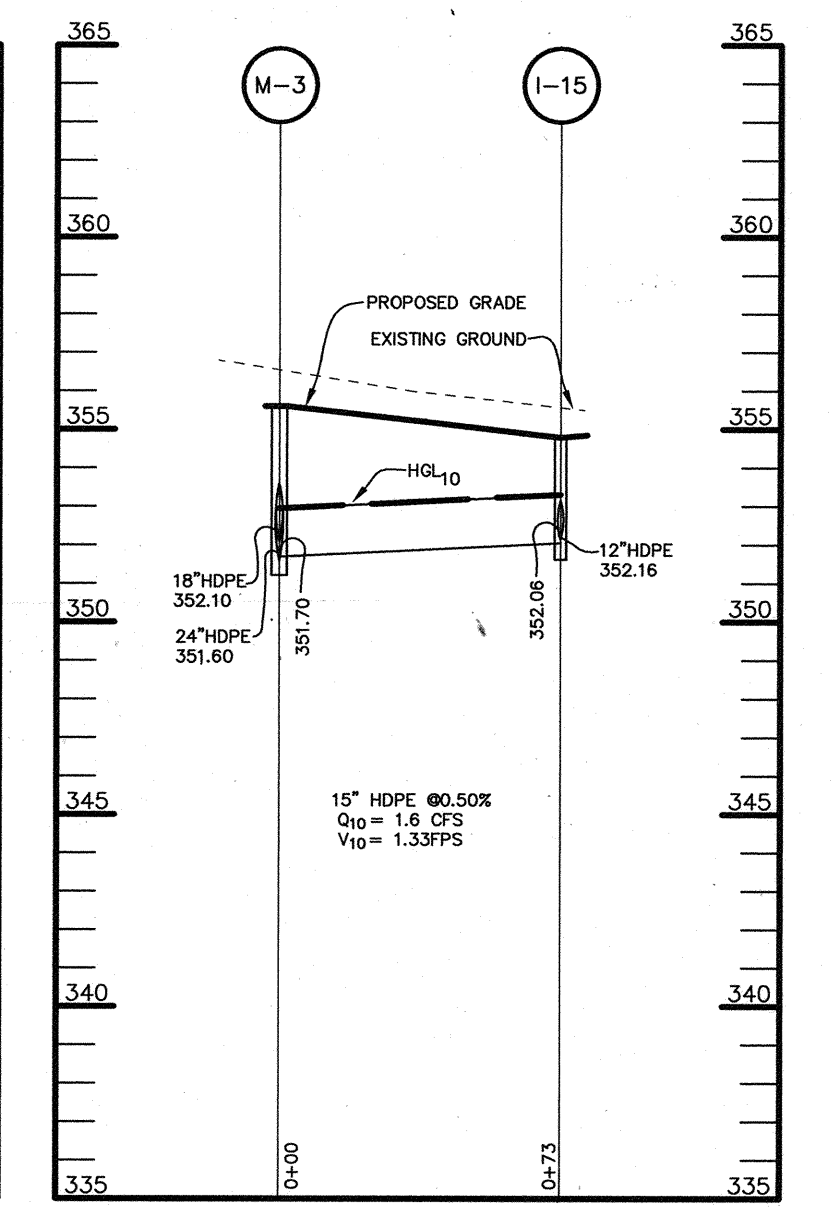
STORM DRAIN PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



STORM DRAIN PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'



STORM DRAIN PROFILE

SCALE:
HOR. - 1" = 50'
VERT. - 1" = 5'

PIPE SCHEDULE

PIPE LENGTH	SIZE	TYPE
800	12"	HDPE
648	15"	HDPE
225	18"	HDPE
663	24"	HDPE
525	30"	HDPE
9	42"	HDPE

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: 03/16/05

NOTES:
FOR END SECTIONS AND HEADWALLS THE LOCATION IS CENTER OF THROAT OPENING AT FACE OF STRUCTURE.
LOCATION OF INLETS AND MANHOLES IS AT CENTER OF TOP COVER; FOR "A" INLETS LOCATION IS GIVEN FOR CENTER OF THROAT OPENING AT FACE OF CURB.

STRUCTURE SCHEDULE							
STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS	
I-1	A-10	N 488346.45 E 850328.27	346.07 (30") 346.07 (30")	345.07 (42")	352.0	HOCO STD. DETAIL SD-4.41	
I-2	S COMB	N 488166.64 E 850531.91	347.53 (30")	347.43 (30")	356.2	HOCO STD. DETAIL SD-4.32	
I-3	3' WIDE	N 488110.28 E 850480.49	349.42 (24")	348.92 (30")	355.5	HOCO STD. DETAIL SD-4.22	
I-4	S COMB	N 488054.07 E 850481.74	349.79 (24")	349.69 (24")	355.3	HOCO STD. DETAIL SD-4.32	
I-5	S COMB	N 488050.70 E 850485.44	352.07 (15") 349.83 (24")	349.93 (24")	356.2	HOCO STD. DETAIL SD-4.32	
I-6	S COMB	N 487967.91 E 850410.02	352.84 (12") 350.99 (18")	350.49 (24")	356.2	HOCO STD. DETAIL SD-4.32	
I-6A	S COMB	N 487924.13 E 850458.07	351.41 (18")	351.31 (18")	357.6	HOCO STD. DETAIL SD-4.32	
I-7	S COMB	N 487867.68 E 850398.53	351.56 (15") 351.92 (18")	351.82 (18")	356.5	HOCO STD. DETAIL SD-4.32	
I-8	S COMB	N 487862.16 E 850401.62	352.22 (15") 352.22 (15")	351.97 (18")	356.7	HOCO STD. DETAIL SD-4.32	
I-9	S COMB	N 487784.17 E 850330.58	352.85 (15")	352.75 (15")	356.4	HOCO STD. DETAIL SD-4.32	
I-10	S COMB	N 487917.27 E 850406.32	330.05 (18")	329.95 (18")	355.9	HOCO STD. DETAIL SD-4.32	
I-11	S COMB	N 488220.79 E 850204.13	349.80 (12") 349.82 (15") 348.77 (24")	348.27 (30")	352.9	HOCO STD. DETAIL SD-4.32	
I-12	S COMB	N 488111.93 E 850104.97	351.25 (12") 349.61 (24")	349.51 (24")	354.7	HOCO STD. DETAIL SD-4.32	
I-13	S COMB	N 488033.01 E 850033.08	350.24 (24")	350.14 (24")	356.8	HOCO STD. DETAIL SD-4.32	
I-14	A-5	N 487780.27 E 850136.47	352.69 (15")	352.44 (18")	355.7	HOCO STD. DETAIL SD-4.40	
I-15	S	N 487870 E 850134	352.16 (12")	352.06 (15")	354.5	HOCO STD. DETAIL SD-4.22	
I-16	YARD	N 488016 E 850210	352.15 (12")	352.05 (12")	357.1	HOCO STD. DETAIL SD-4.14	
I-17	YARD	N 487981.23 E 850296.57	353.27 (12")	353.17 (12")	356.5	HOCO STD. DETAIL SD-4.14	
I-18	YARD	N 488001 E 850322	354.20 (6")	353.70 (12")	356.5	HOCO STD. DETAIL SD-4.14	
I-19	YARD	N 488212.96 E 850106.54	-	353.80 (12")	356.3	HOCO STD. DETAIL SD-4.14	
I-20	S	N 488160.34 E 850270.41	350.20 (6") 349.70 (12") 349.02 (12")	349.45 (15")	352.8	HOCO STD. DETAIL SD-4.22	
I-21	S COMB	N 488006.93 E 850533.49	353.60 (15")	353.50 (15")	357.6	HOCO STD. DETAIL SD-4.32	
I-22	S COMB	N 487963.16 E 850581.54	-	355.50 (15")	359.6	HOCO STD. DETAIL SD-4.32	
I-23	S COMB	N 487880.36 E 850506.12	-	355.00 (15")	359.6	HOCO STD. DETAIL SD-4.32	
I-24	S COMB	N 487818.39 E 850449.67	-	355.00 (15")	359.3	HOCO STD. DETAIL SD-4.32	
I-25	S COMB	N 487740.40 E 850378.63	-	354.50 (15")	358.9	HOCO STD. DETAIL SD-4.32	
M-1	4'-0" DIA.	N 487967.07 E 850021.29	350.67 (24")	350.57 (24")	357.6	HOCO STD. DETAIL G-5.11	
M-2	4'-0" DIA.	N 487845.13 E 850045.12	351.39 (24")	351.29 (24")	356.3	HOCO STD. DETAIL G-5.11	
M-3	4'-0" DIA.	N 487820.65 E 850080.42	351.70 (15") 352.10 (18")	351.60 (24")	356.6	HOCO STD. DETAIL G-5.11	
M-4	4'-0" DIA.	N 487862.96 E 850268.50	352.84 (12") 352.84 (12")	352.74 (12")	357.9	HOCO STD. DETAIL G-5.11	

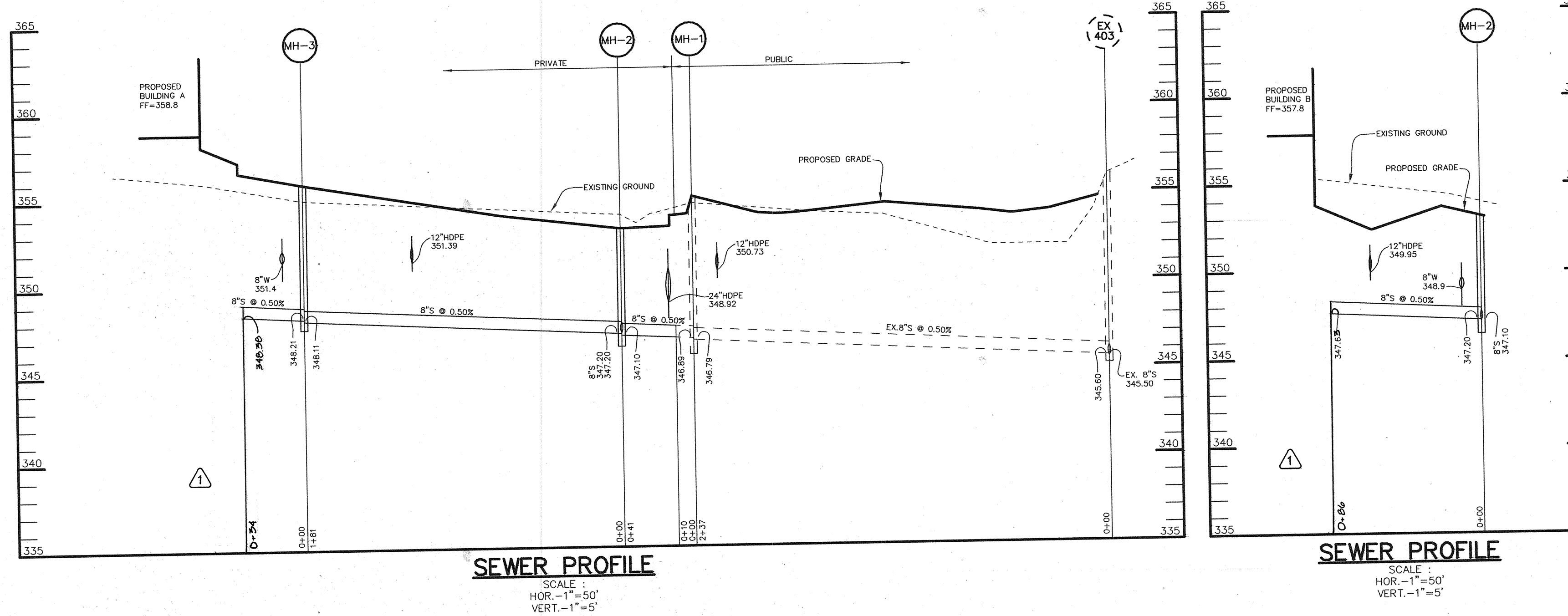
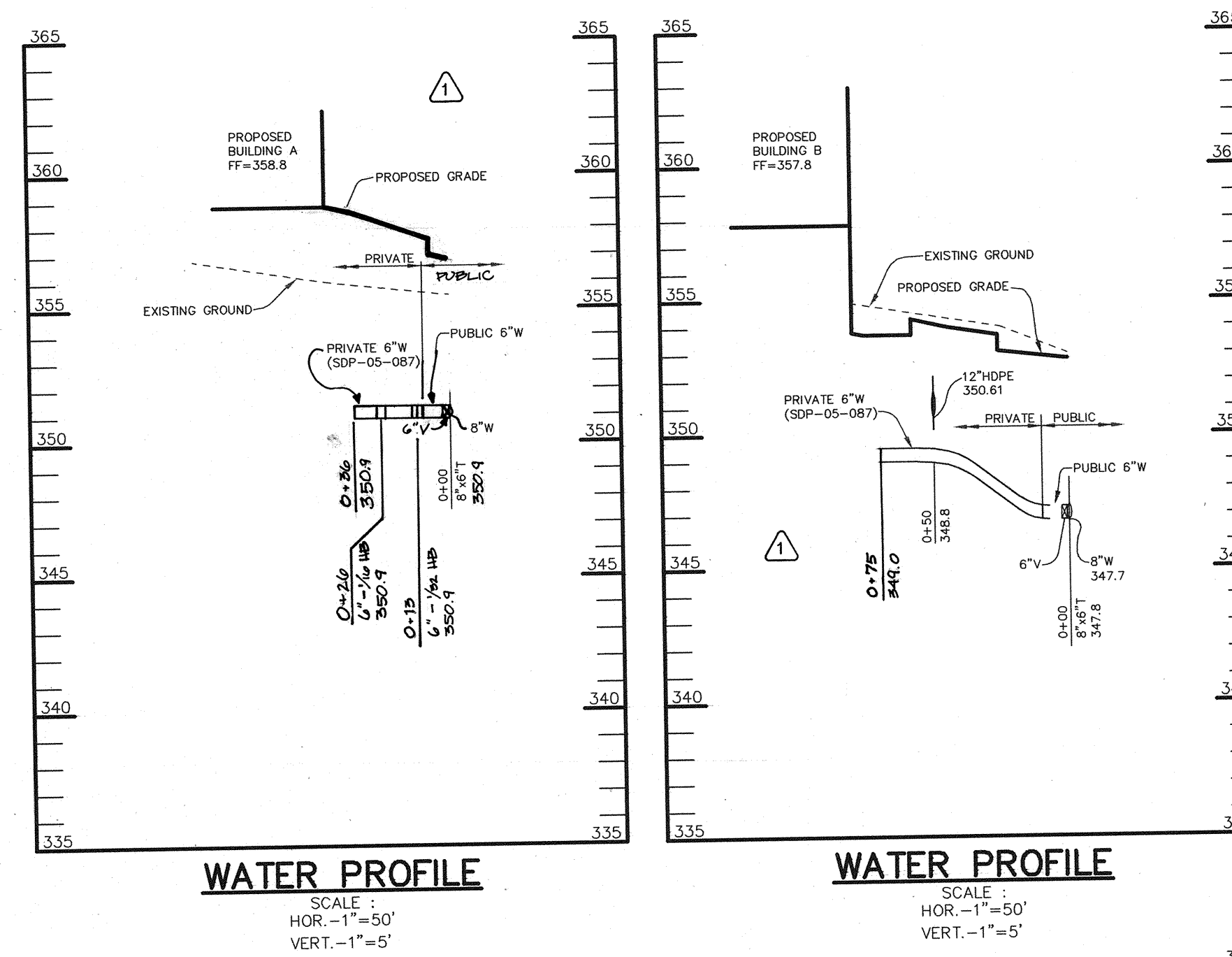
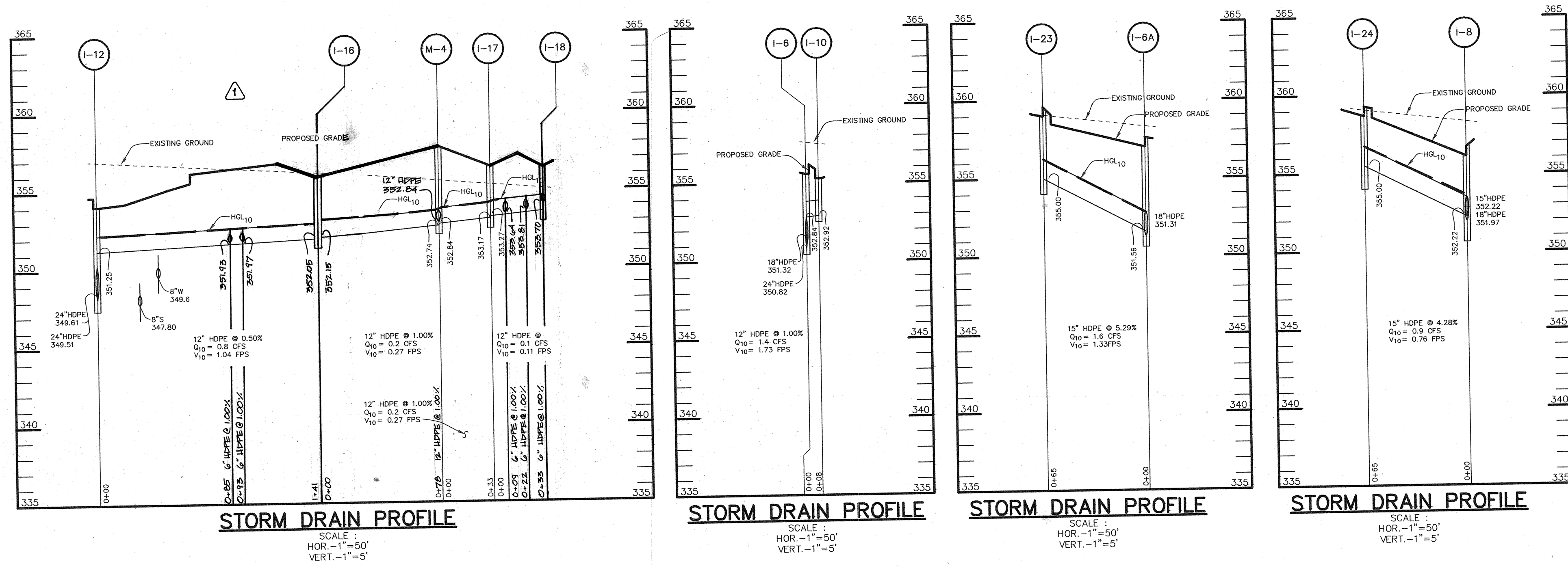
APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Shawna M. Loyell 7/25/05
 DIRECTOR DATE
Mark M. ... 9/6/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE
M. W. ... 09/23/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

08-31-05 1 **REVISED PROFILES AND DETAILS**
 DATE NO. REVISION
 OWNER: GEAPE LAND HOLDING II, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044
 410-992-6370
 DEVELOPER: GATEWAY CENTRE LLC
 c/o BAXLEY DEVELOPMENT, INC.
 8600 SNOWDEN RIVER PARKWAY
 SUITE 200
 COLUMBIA, MARYLAND 21045
 410-953-0050

PROJECT: **GATEWAY CENTRE**
COLUMBIA GATEWAY PARCEL U-9
 AREA TAX MAP 42 P/O PARCEL 513 & P/O PARCEL 671
 ZONED NEW TOWN
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE: **REVISED PROFILES**
Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

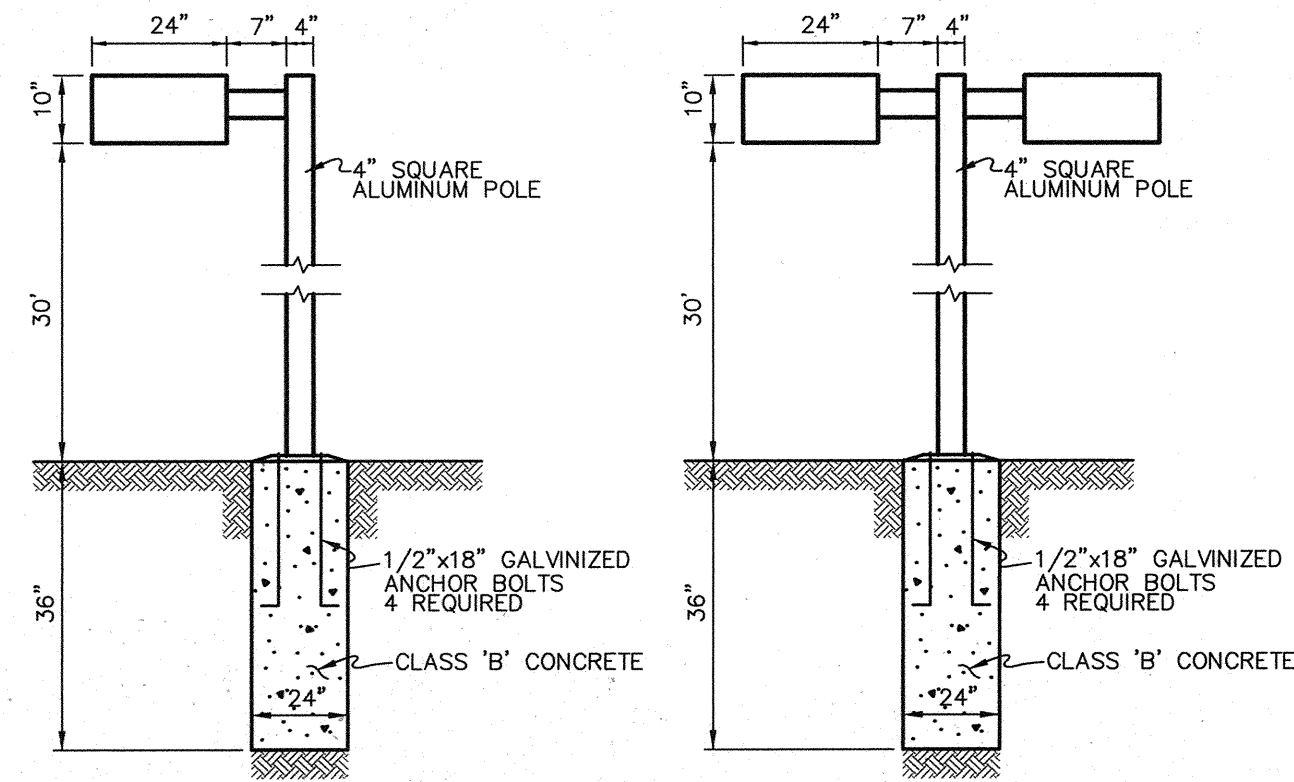
9-06-05
 STATE OF MARYLAND
 ANNE C. REMINGTON
 PROFESSIONAL ENGINEER
 NO. 29923
 DESIGNED BY : C.J.R.
 DRAWN BY: MAD
 PROJECT NO. 12976-1-0
 PLANS/C700PRO
 DATE : JUNE 28, 2005
 SCALE : AS SHOWN
 DRAWING NO. 5 OF 9



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>[Signature]</i> DIRECTOR	6/16/05 DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	6/16/05 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	6/16/05 DATE
B-21-05 (1) REVISED WATER, SEWER & STORM DRAIN PROFILES	
DATE NO.	REVISION
OWNER GEAPE LAND HOLDING II, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6370	DEVELOPER GATEWAY CENTRE LLC c/o BAXLEY DEVELOPMENT, INC. 8600 SNOWDEN RIVER PARKWAY SUITE 200 COLUMBIA, MARYLAND 21045 410-953-0050
PROJECT GATEWAY CENTRE COLUMBIA GATEWAY PARCEL U-9	
AREA TAX MAP 42 P/O PARCEL 513 & P/O PARCEL 671 ZONED NEW TOWN 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
TITLE PROFILES AND DETAILS	
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects. 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282	
DATE 6-25-05	DESIGNED BY: C.J.R.
<i>[Signature]</i> AIMEE C. REMINGTON #29923 PROFESSIONAL ENGINEER	DRAWN BY: M.A.D.
	PROJECT NO: 12976-1-0 PLANS/C701PRO
DATE: MAY 26, 2005	SCALE: AS SHOWN
DRAWING NO. 6 OF 9	

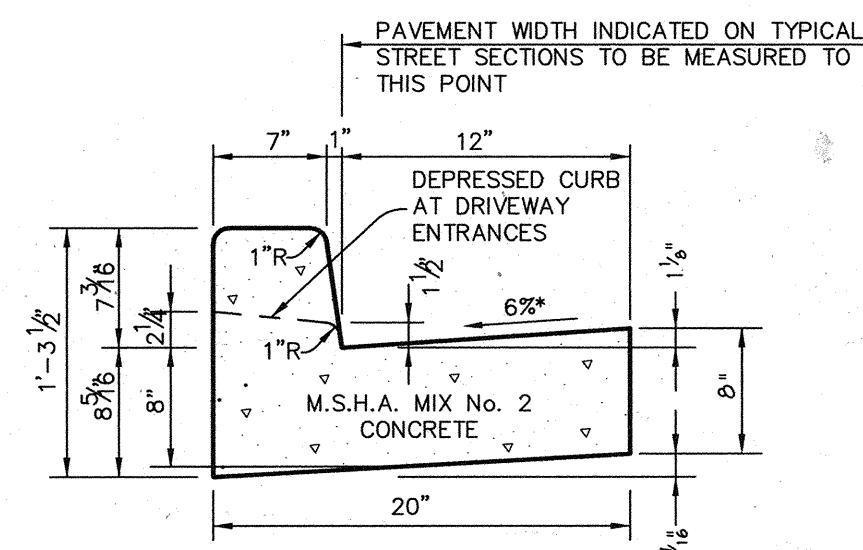
APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 03/16/05

- ALL LIGHT FIXTURES TO BE SINGLE LUMINAIRE 400 WATT MERCURY TYPE WITH METAL POLES AND DIRECTED DOWNWARD
- LOCATIONS OF LIGHT FIXTURES ARE ON THE PLAN AND ARE SHOWN THUS:
- LIGHTS TO BE MODULE II TYPE AS MANUFACTURED BY MOLDCAST OR APPROVED EQUAL.
- POLE AND FIXTURE TO HAVE BLACK POLYESTER ENAMEL FINISH.
- POLE TO BE LOCATED 3' BACK FROM BACK OF CURB.



LIGHT POLE DETAIL
NO SCALE

DUAL LIGHT POLE DETAIL
NO SCALE

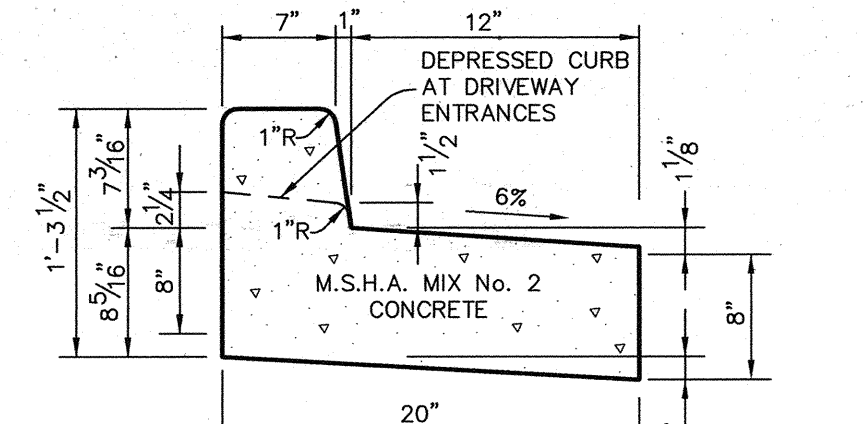


PAVEMENT WIDTH INDICATED ON TYPICAL STREET SECTIONS TO BE MEASURED TO THIS POINT

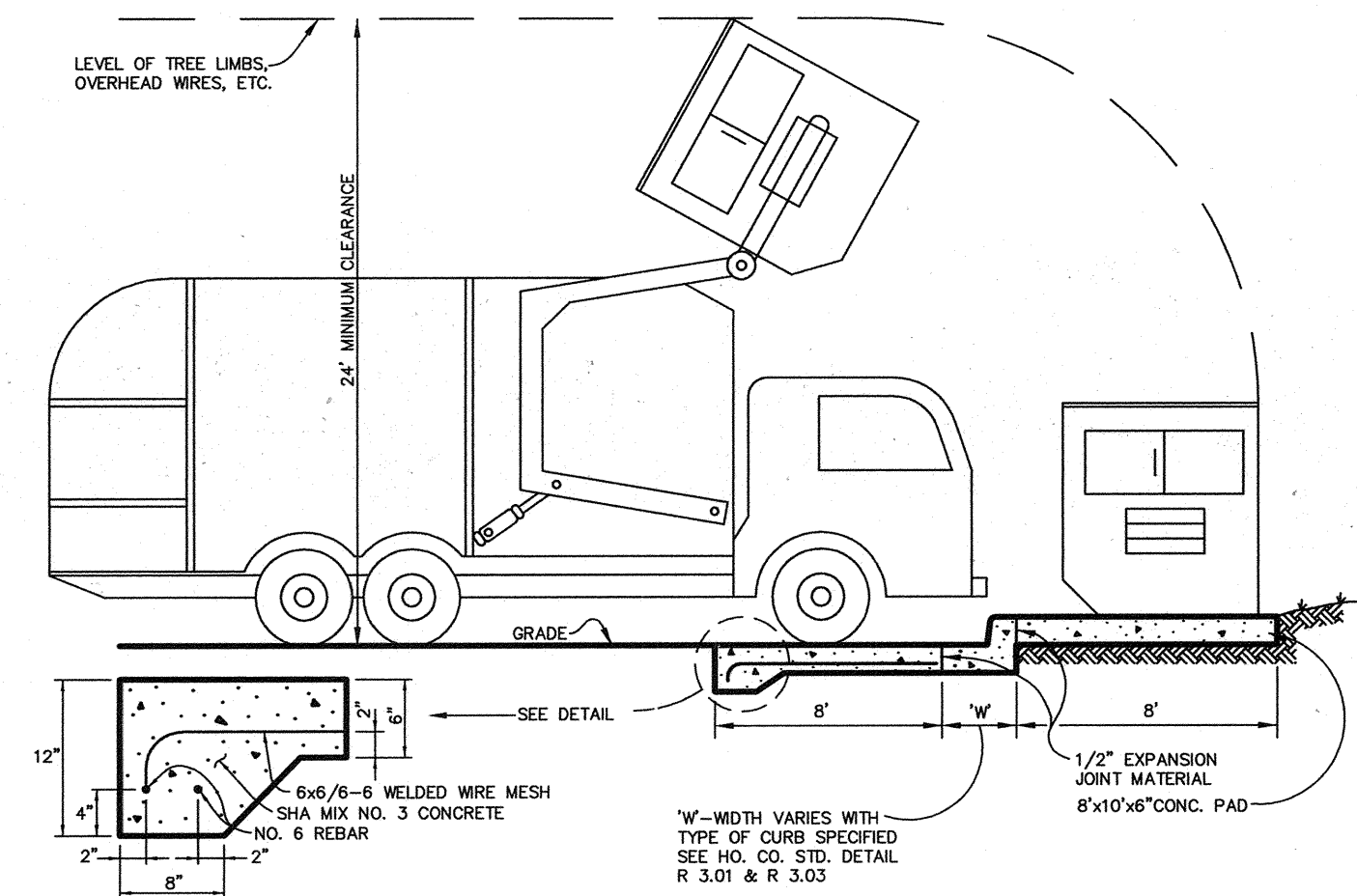
HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-3.01).

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AS THE PAVEMENT.

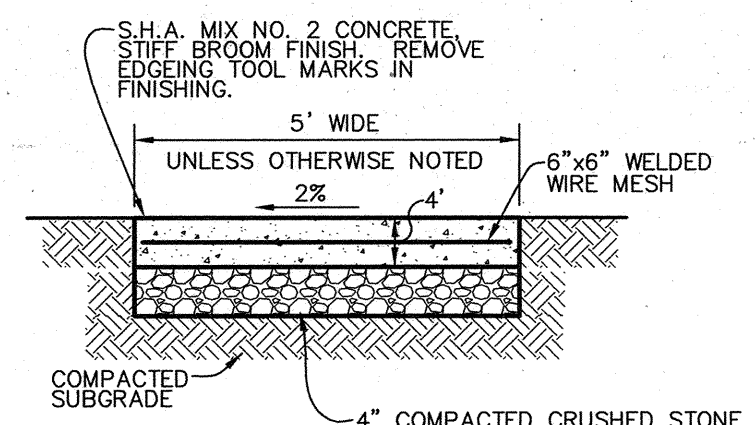
STANDARD 7" COMBINATION CURB AND GUTTER
NO SCALE



REVERSE 7" COMBINATION CURB AND GUTTER
NO SCALE

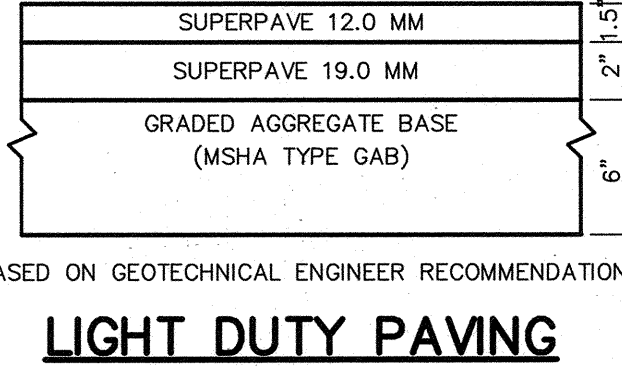


DUMPSTER PAD
NO SCALE

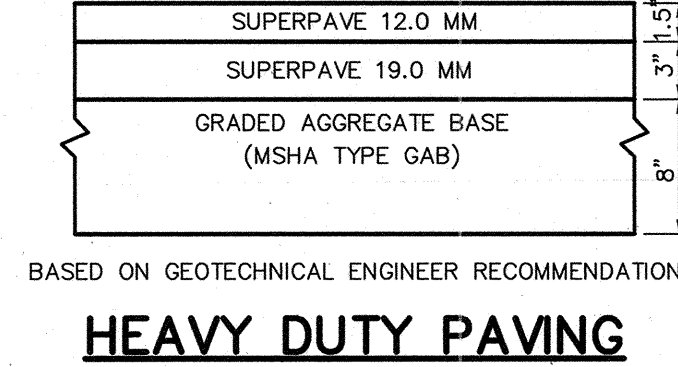


NOTES:
PROVIDE LATITUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.) PROVIDE CONTRACTION (DUMMY) JOINT AT 5' O.C. INTERVALS BETWEEN EXPANSION JOINTS. SIDEWALK TO BE SCRIBED IN 5' MAX. SQUARES.

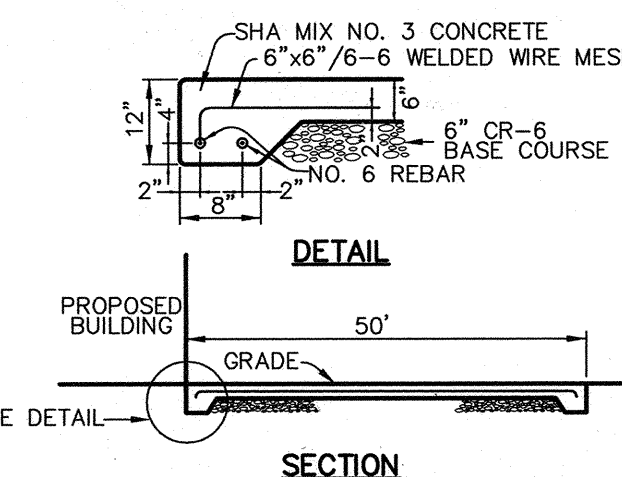
SIDEWALK w/ REINFORCING
NO SCALE



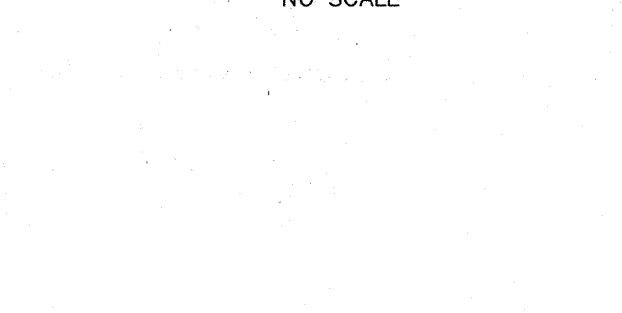
LIGHT DUTY PAVING
NO SCALE



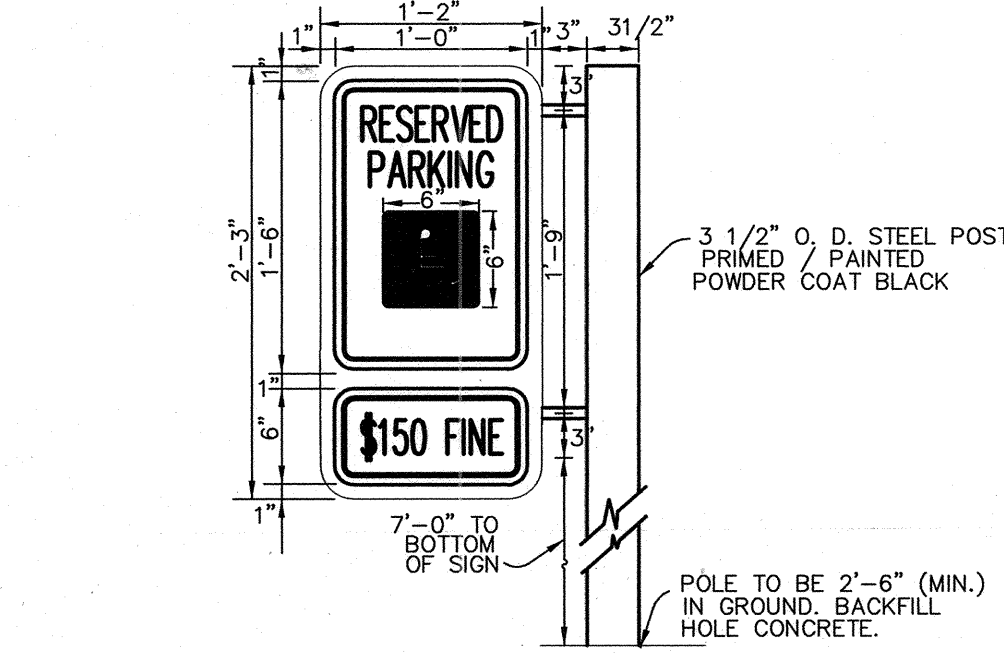
HEAVY DUTY PAVING
NO SCALE



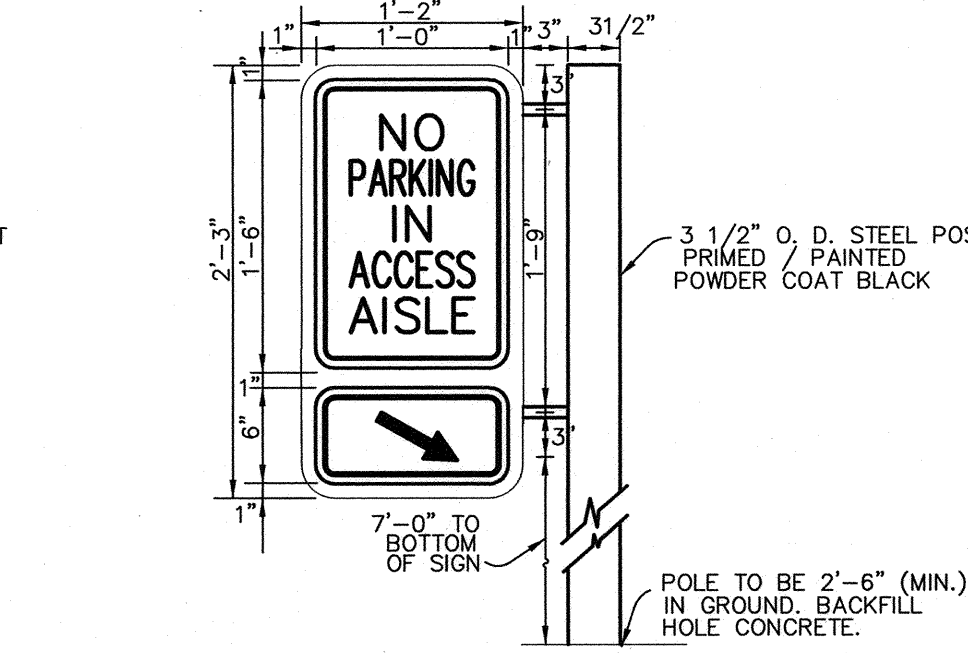
TRAILER DOLLY SETDOWN PAD DETAIL
NO SCALE



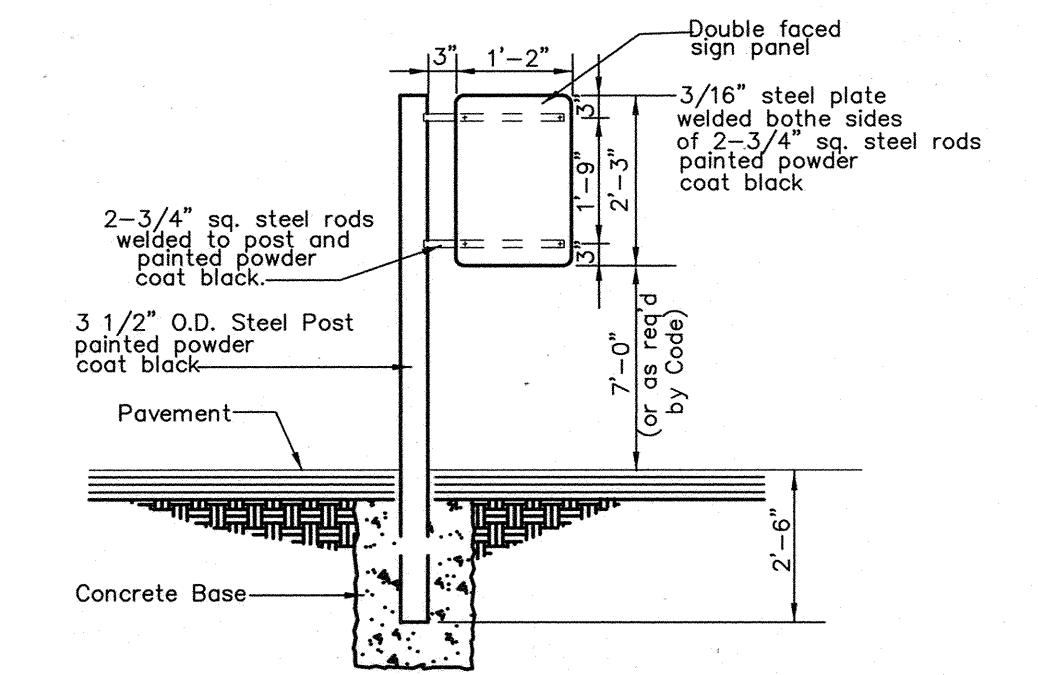
CONCRETE WHEEL STOP LOCATION PLAN
NO SCALE



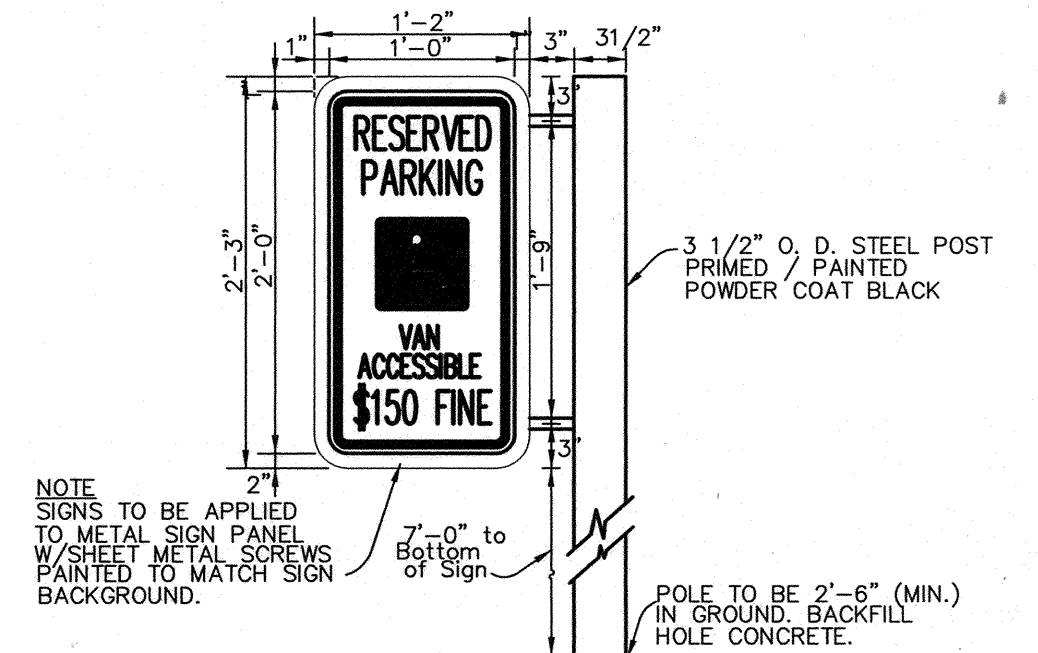
HANDICAP SIGN DETAIL
NO SCALE



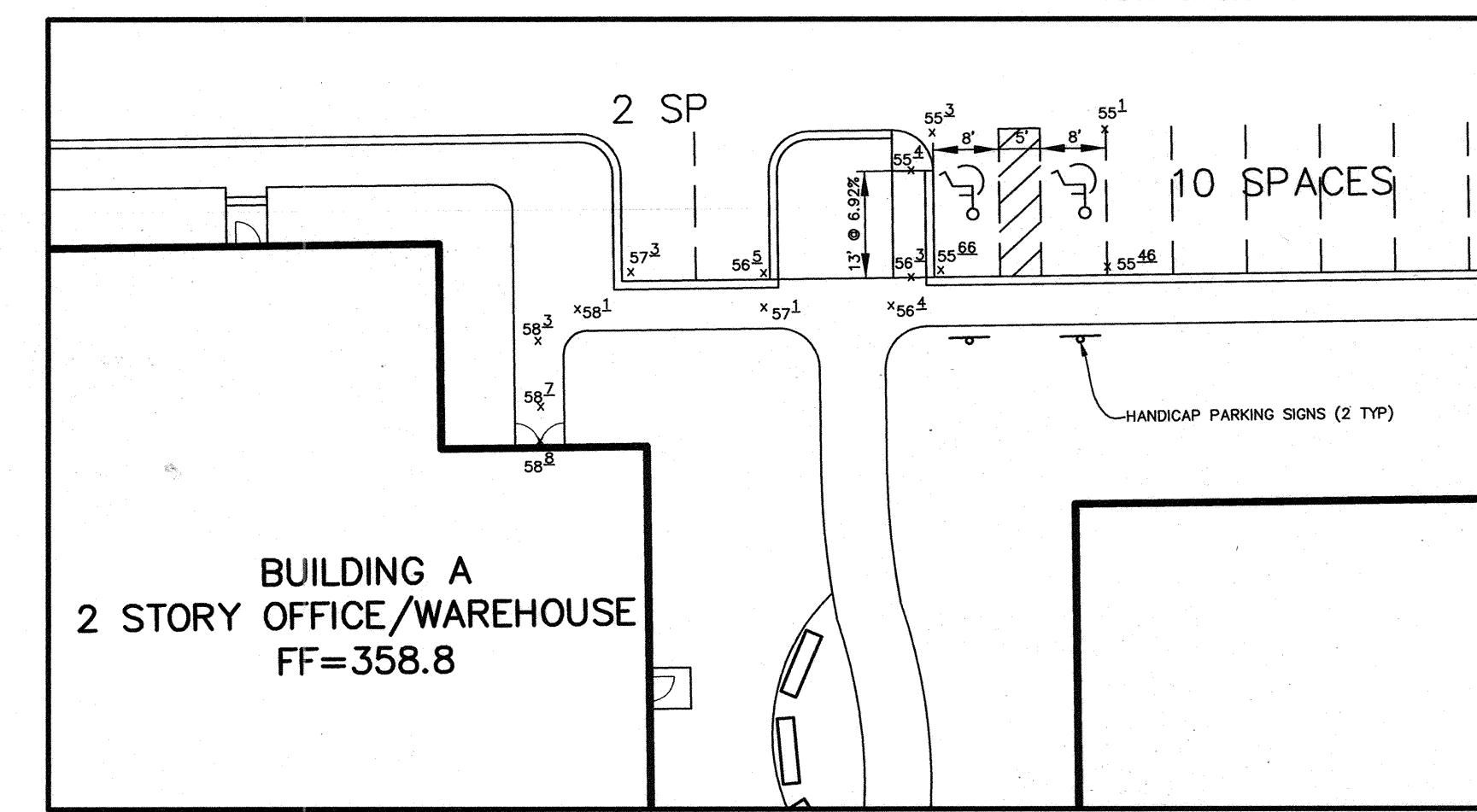
ACCESS AISLE SIGN DETAIL
NO SCALE



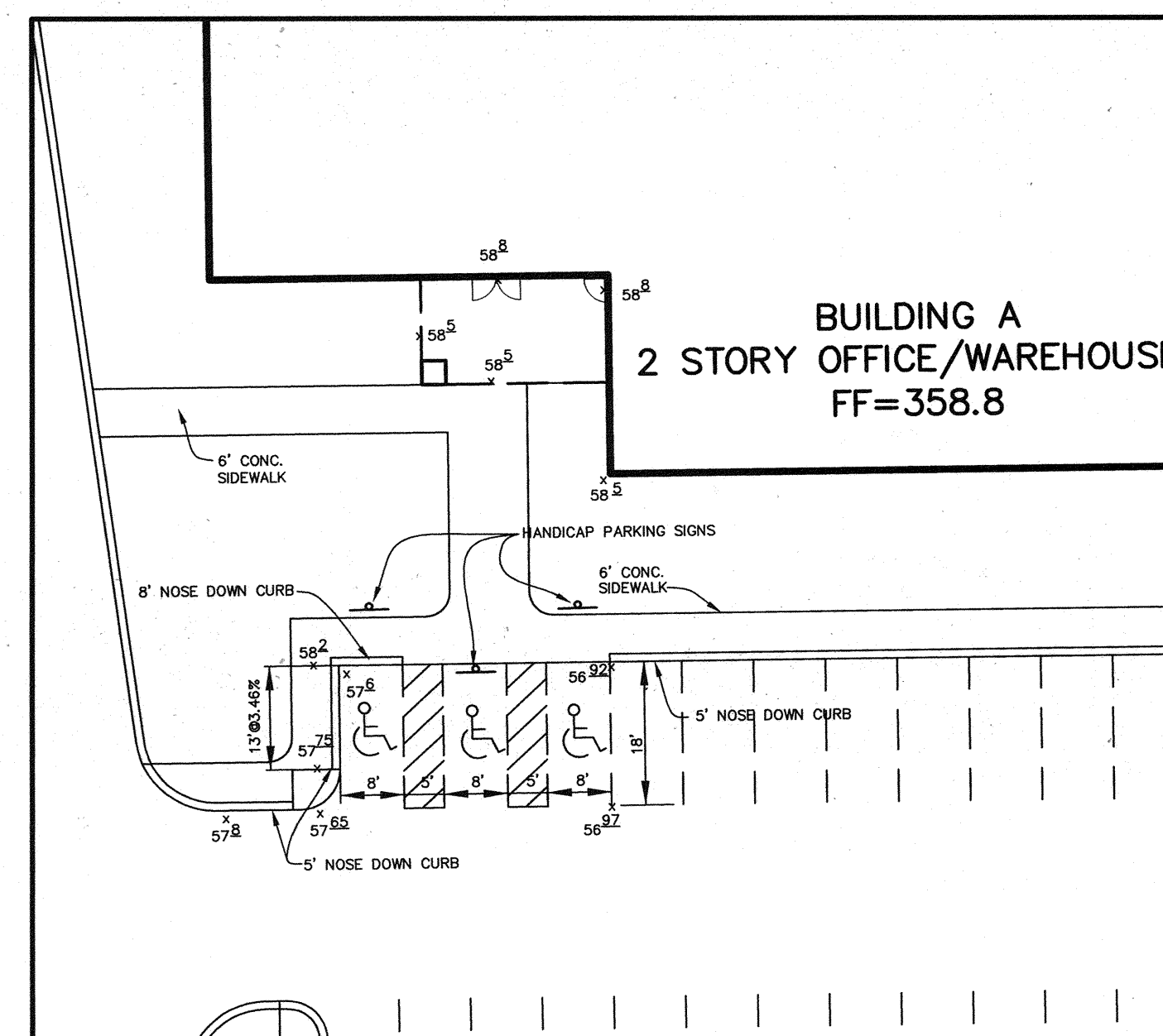
POST & SIGN PANEL DETAIL FOR HANDICAP SIGNS
NO SCALE



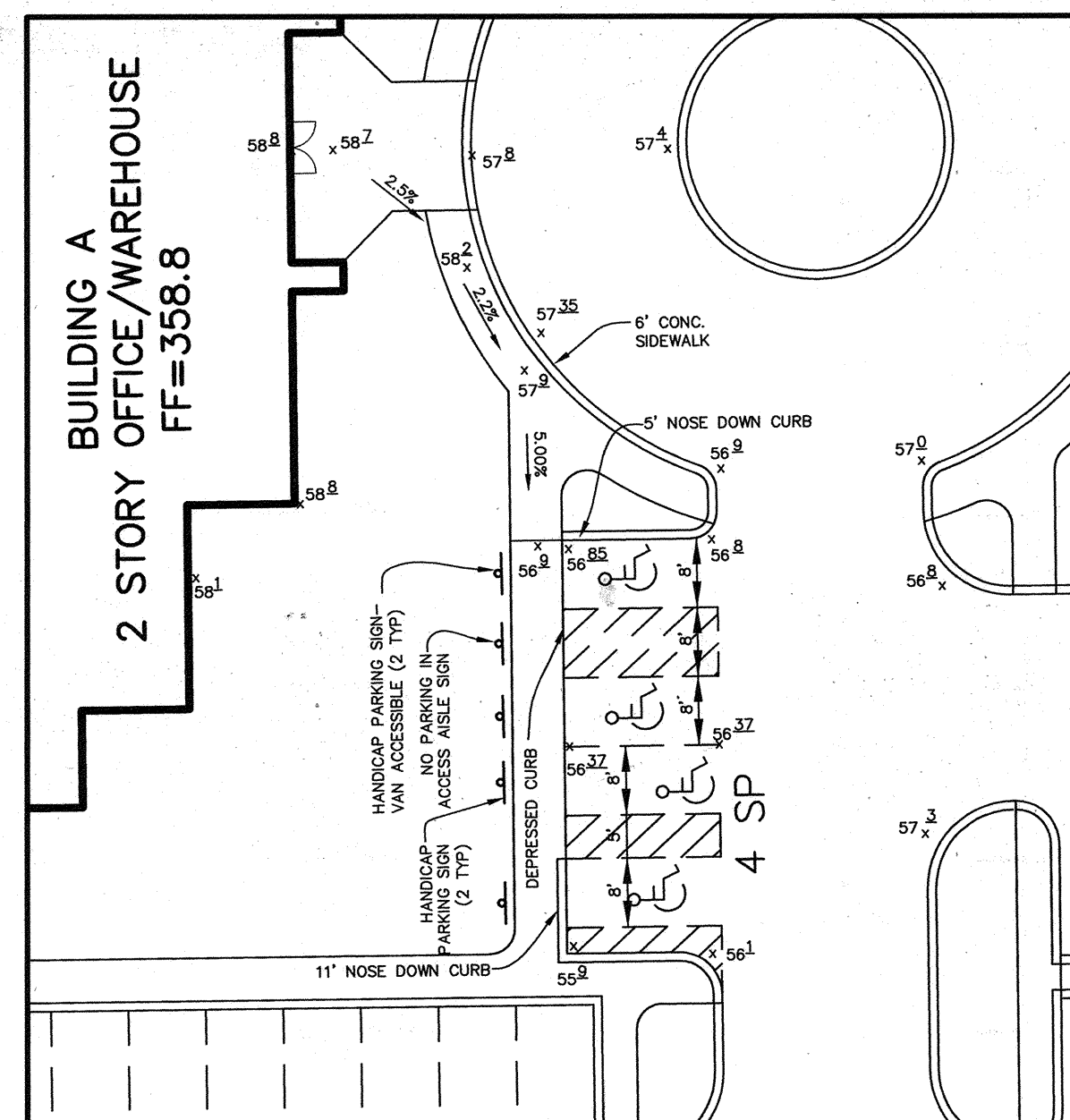
VAN ACCESSIBLE HANDICAP SIGN DETAIL
NO SCALE



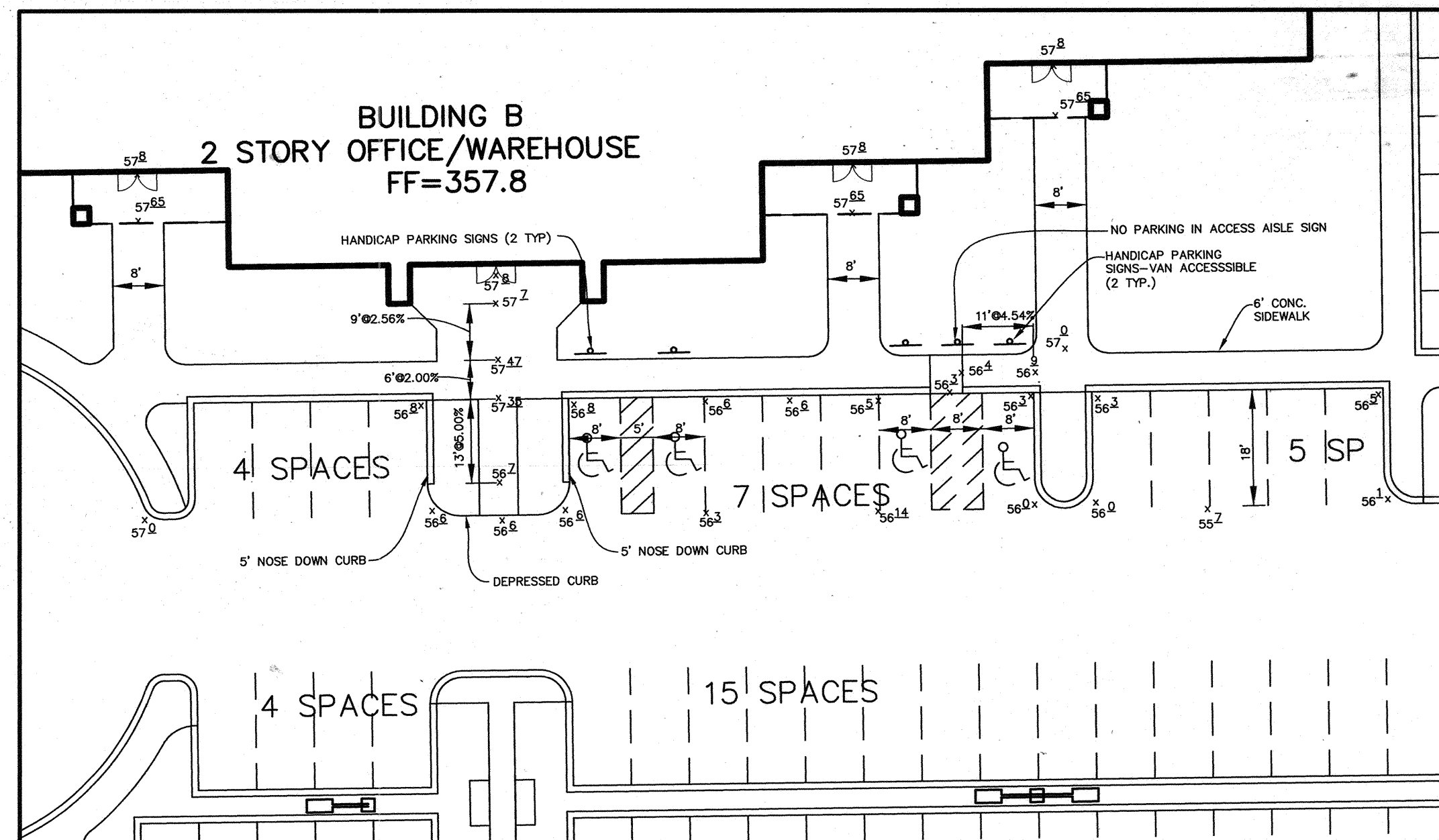
HANDICAP ACCESS PLAN
SCALE: 1"=20'



HANDICAP ACCESS PLAN
SCALE: 1"=20'



HANDICAP ACCESS PLAN
SCALE: 1"=20'



HANDICAP ACCESS PLAN
SCALE: 1"=20'

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 03/16/05

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark D. Taylor 9/22/05
DIRECTOR DATE

Michael J. ... 9/22/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION MKR DATE

M. W. ... 09/23/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

08-31-05 1 **MODIFIED HANDICAPPED PARKING DETAILS and PAVING DETAILS**

DATE NO. REVISION

OWNER: GEAPE LAND HOLDING II, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6370

DEVELOPER: GATEWAY CENTRE LLC c/o BAXLEY DEVELOPMENT, INC. 8600 SNOWDEN RIVER PARKWAY SUITE 200 COLUMBIA, MARYLAND 21045 410-953-0050

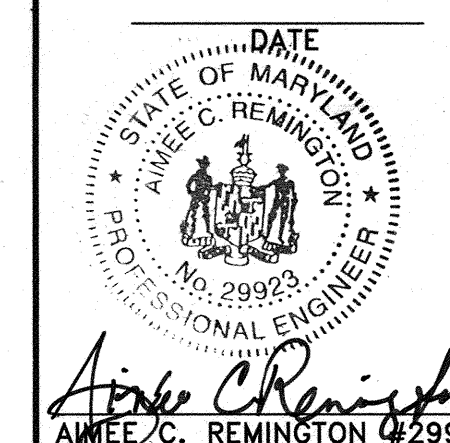
PROJECT: **GATEWAY CENTRE COLUMBIA GATEWAY PARCEL U-9**

AREA TAX MAP 42 P/O PARCEL 513 & P/O PARCEL 671 ZONED NEW TOWN 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

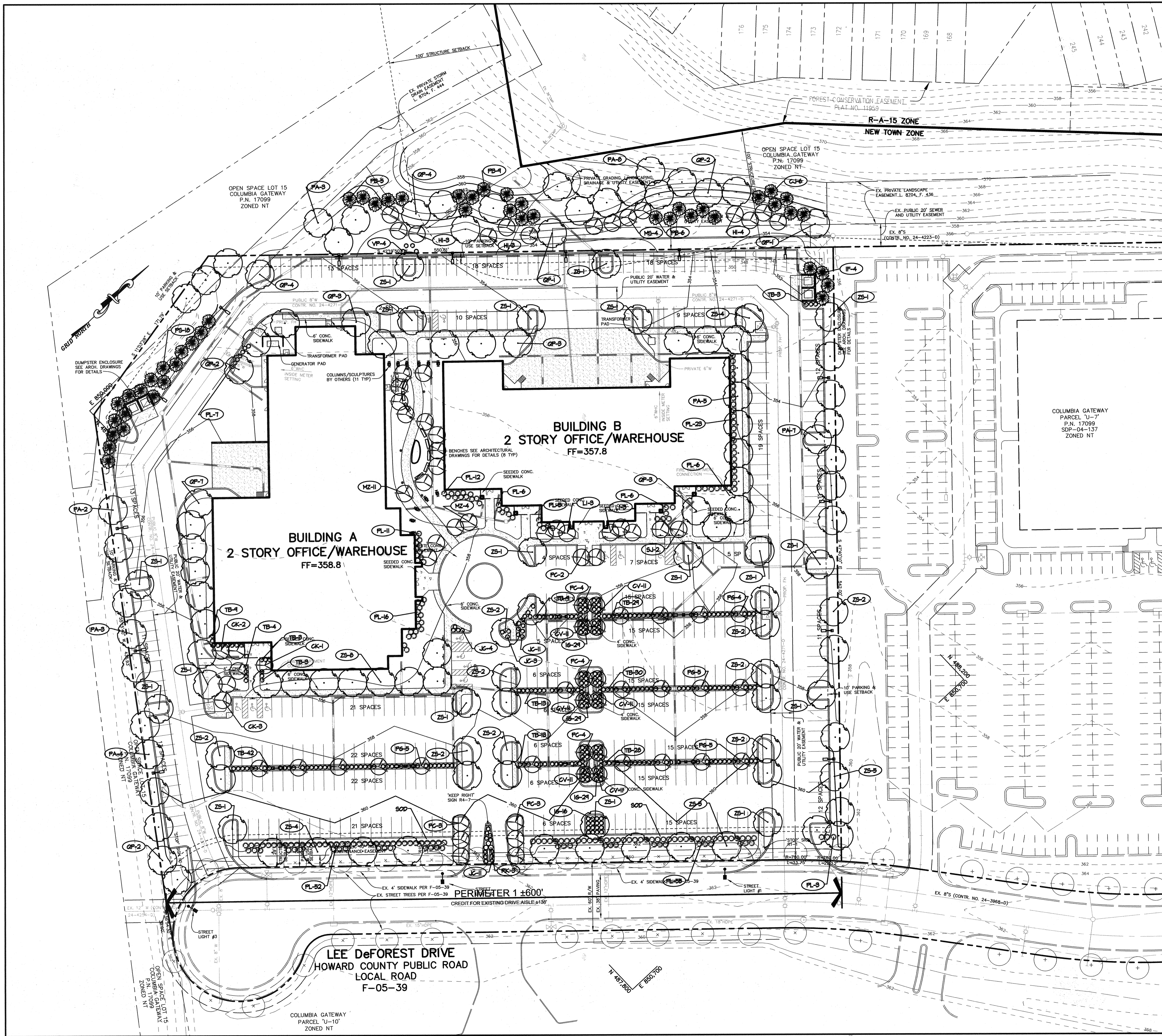
TITLE: **REVISED DETAILS**

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY: C.J.R.
DRAWN BY: MAD
PROJECT NO: 12976-1-0 PLANS/C901DET
DATE: JUNE 28, 2005
SCALE: AS SHOWN
DRAWING NO. 7 OF 9



REPLACEMENT SHEET



LEGEND

EX. TREELINE	
PROP. TREELINE	
PROPERTY LINE	
EXISTING CONTOUR LINES	
PROPOSED CONTOUR LINES	
EX. BUILDING	
PROPOSED BUILDING	
PROP. SHADE TREE	
PROP. ORNAMENTAL TREE	
PROP. SHRUBS	
PERIMETER LANDSCAPE REQUIREMENT	

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE 03/16/05

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>Mark Kaylor</i>	3/2/05
DIRECTOR	DATE
<i>Mike Dumas</i>	9/2/05
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	DATE
<i>M. W. Wolford</i>	09/23/05
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
08-31-05	1. REVISED LANDSCAPE BETWEEN BUILDINGS AND IN FRONT OF BUILDING B
DATE NO.	REVISION
OWNER	DEVELOPER
GATEWAY LAND HOLDING II, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044 410-992-6370	GATEWAY CENTRE LLC c/o BAXLEY DEVELOPMENT, INC. 8600 SNOWDEN RIVER PARKWAY SUITE 200 COLUMBIA, MARYLAND 21045 410-953-0650
PROJECT	GATEWAY CENTRE COLUMBIA GATEWAY PARCEL U-9
AREA TAX MAP 42	P/O PARCEL 513 & P/O PARCEL 671 ZONED NEW TOWN 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	REVISED LANDSCAPE PLAN
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects.	
PHRA 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282	
DATE	DESIGNED BY: PJS
	DRAWN BY: KLM
	PROJECT NO. 12976-1-0 'PLANS'
	DATE: JUNE 28, 2005
	SCALE: 1"=40'
<i>Scott R. Wolford</i> SCOTT R. WOLFORD #797	DRAWING NO. 8 OF 9

LEE DeFOREST DRIVE
 HOWARD COUNTY PUBLIC ROAD
 LOCAL ROAD
 F-05-39

REPLACEMENT SHEET

SDP-05-087

PLANTING SPECIFICATIONS

- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
- Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or Xcupressocyparis leylandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.); top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yews): Top dress after planting with 1/4 to 1/2 cup lime each.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Weed & insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing chlorpyrifos to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.

PLANT LIST					
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	SPACING
PA	32	PLANTANUS x ACERFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	2.5"-3" CAL., 12'-14' HT. MIN.	B&B	PLANT AS SHOWN
QP	35	QUERCUS PHELLOS WILLOW OAK	2.5"-3" CAL., 12'-14' HT. MIN.	B&B	PLANT AS SHOWN
ZS	62	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	2.5"-3" CAL., 12'-14' HT. MIN.	B&B	PLANT AS SHOWN
CK	6	CORNUS KOUSA KOUSA DOGWOOD	8'-10' HT.	B&B	SINGLE STEM
HI	10	HAMAMELIS NITERMEDIA 'ARNOLD PROMISE' ARNOLD PROMISE WITCHHAZEL	2"-2.5" CAL., 8'-10' HT. MIN.	B&B	PLANT AS SHOWN
MS	5	MAGNOLIA x SOULANGIANA SAUCEUR MAGNOLIA	2"-2.5" CAL., 8'-10' HT. MIN.	B&B	PLANT AS SHOWN
PC	20	PRUNUS CERASIFERA ATROPURPUREA 'THUNDERCLOUD' THUNDERCLOUD PURPLELEAF PLUM	2"-2.5" CAL., 8'-10' HT. MIN.	B&B	PLANT AS SHOWN
PG	19	PRUNUS SARCENTI 'HILLIER SPIRE' HILLIER SPIRE CHERRY	2"-2.5" CAL., 8'-10' HT. MIN.	B&B	PLANT AS SHOWN
SJ	2	STYRAX JAPONICUS JAPANESE SNOWBELL	2"-2.5" CAL., 8'-10' HT. MIN.	B&B	PLANT AS SHOWN
CJ	6	CRYPTOMERIA JAPONICA JAPANESE CRYPTOMERIA	2"-2.5" CAL., 6'-8' HT. MIN.	B&B	PLANT AS SHOWN
IF	4	ILEX X ATTENUATA 'FOSTER' FOSTER'S HOLLY	5'-6' HT.	B&B	PLANT AS SHOWN
PB	20	PICEA ABIES NORWAY SPRUCE	6'-8' HT.	B&B	PLANT AS SHOWN
PS	18	PINUS STROBUS EASTERN WHITE PINE	6'-8' HT.	B&B	PLANT AS SHOWN
IG	103	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY	2.5"-3" HT.	CONT.	PLANT AS SHOWN
JC	30	JUNIPERUS CONFERTA 'BLUE PACIFIC' BLUE PACIFIC SHORE JUNIPER	3 GAL.	CONT.	PLANT AS SHOWN
PL	202	PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN CHERRY LAUREL	2"-2.5" HT.	B&B	PLANT AS SHOWN
RK	3	ROSA 'KNOCK OUT' KNOCK OUT ROSE	3 GAL.	CONT.	PLANT AS SHOWN
TB	186	TAXUS BACCATA 'REPANDENS' SPREADING ENGLISH YEW	18"-24" HT.	CONT.	PLANT AS SHOWN
CV	66	COREOPSIS VERTICILLATA 'MOONBEAM' MOONBEAM COREOPSIS	1 GAL.	CONT.	18" O.C.
MZ	15	MALUS x ZUMI 'CALOCARPA' CALOCARPA CRABAPPLE	2"-2.5" CAL., 8'-10' HT. MIN.	B&B	PLANT AS SHOWN

PROPOSED PLANTINGS ARE BASED ON THE FOLLOWING COLUMBIA GATEWAY DESIGN REQUIREMENT:
22 SHADE TREES / GROSS ACRE

22 SHADE TREES X 7.71 ACRES = 169 SHADE TREES REQUIRED

PROPOSED PLANTINGS INCLUDE:
127 SHADE TREES
48 EVERGREEN TREES
82 ORNAMENTAL TREES

L1	6	LAGERSTROEMIA INDICA 'BILOXI' BILOXI CRAPPEMYRTLE	2"-2.5" CAL., 8'-10' HT. MIN.	B&B	PLANT AS SHOWN
VP	4	VIBURNUM PLICATUM 'TOMENTOSUM' DOUBLEFILE VIBURNUM	2.5"-3" HT.	CONT.	PLANT AS SHOWN

NOTES:

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, GO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES AS SHOWN.

- DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5'.

- TIGHTEN GUYS ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. GUYS SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 IN. OF GROWTH AND BUFFER ALL BRANCHES.

- TUCK ANY LOOSE ENDS OF THE GUY SO THAT NO LOOSE ENDS ARE EXPOSED.

INSTALL TWO STAKES ON OPPOSITE SIDES OF TREE, PARALLEL TO THE DIRECTION OF THE PREVAILING WINDS, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL INTO PREFERABLY UNEXCAVATED SOIL.

DECIDUOUS B&B TREE PLANTING DETAIL (TREES 3" CAL. OR SMALLER)

NOT TO SCALE

NOTES:

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, GO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKE TREES AS SHOWN.

- DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5'.

- PLACE ROOT BALL ON UNEXCAVATED OR COMPACTED SOIL.

- TIGHTEN GUY ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. GUY SHALL BE LONG ENOUGH TO ACCOMMODATE 1.5 IN. OF GROWTH AND ALL BRANCHES SHALL BE BUFFERED FROM THE GUY.

- TUCK ANY LOOSE ENDS OF THE GUY SO THAT NO LOOSE ENDS ARE EXPOSED.

- INSTALL THREE GUYS PER TREE, SPACED EVENLY AROUND THE TRUNK.
- REMOVE STAKES AFTER ONE YEAR.

CONSTRUCT 3" SAUCER ALL AROUND PLANTING HOLE. FLOOD WITH WATER TWICE WITHIN 24 HOURS.

BACKFILL WITH PLANTING MIX (SEE PLANTING SPECIFICATIONS). TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

DECIDUOUS B&B TREE PLANTING DETAIL (TREES 3" CAL. OR LARGER)

NOT TO SCALE

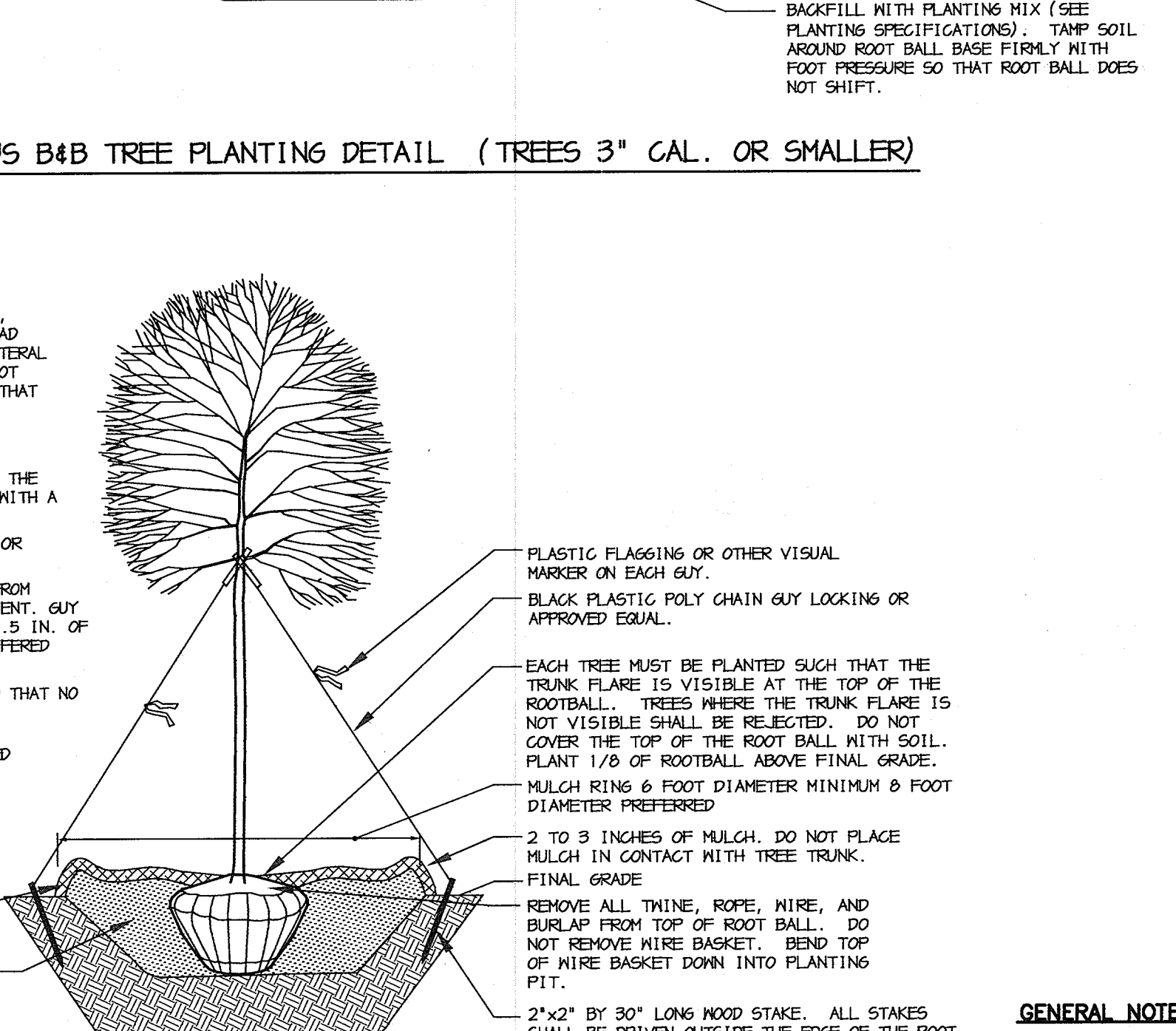
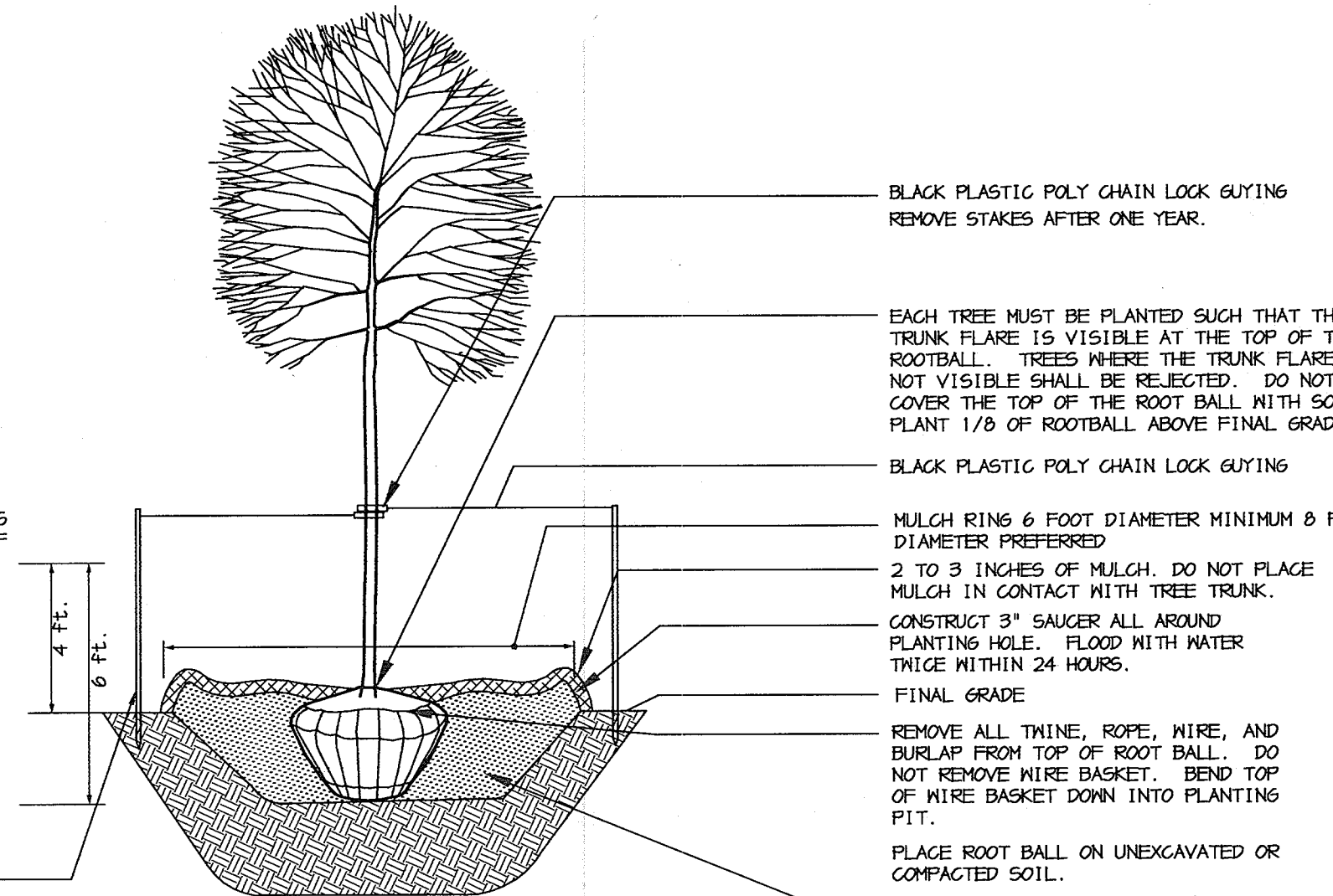
SCHEDULE A - PERIMETER LANDSCAPE EDGE

	ADJACENT TO ROADWAYS
PERIMETER	1
LANDSCAPE TYPE	E
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±600'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	YES 138'
LINEAR FEET REMAINING	±462'
NUMBER OF PLANTS REQUIRED	12
SHADE TREES	0
EVERGREEN TREES	0
SHRUBS	116
NUMBER OF PLANTS PROVIDED	12
SHADE TREES	0
ORNAMENTAL TREES	0
EVERGREEN TREES	0
SHRUBS	116

NOTE: REMAINDER OF PERIMETERS ABOUT SAME SUBDIVISION AND THEREFORE HAVE NO PLANTING REQUIREMENT.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

PARKING LOT	1
NUMBER OF PARKING SPACES	422
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	21
NUMBER OF TREES PROVIDED	28
SHADE	14
ORNAMENTAL	14
NUMBER OF LANDSCAPED ISLANDS PROVIDED	35



NOTES:

- SELECT ONLY NURSERY STOCK WITH A SINGLE LEADER UNLESS OTHERWISE SPECIFIED ON PLAN. PLANTS WITH GO-DOMINANT, MISSING, OR DAMAGED LEADERS SHALL BE REJECTED.
- STAKE TREES AS SHOWN.

- DIG PLANTING PIT TWICE AS WIDE AS THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 5'.

CONSTRUCT 3" SAUCER ALL AROUND PLANTING HOLE. FLOOD WITH WATER TWICE WITHIN 24 HOURS.

BACKFILL WITH PLANTING MIX (SEE PLANTING SPECIFICATIONS). TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

EVERGREEN B&B TREE PLANTING DETAIL

NOT TO SCALE

NOTES:

- SEE PLANTING SPECIFICATIONS FOR PREPARATION OF PLANTING BED.
- DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN, DAMAGED, OR DISEASED BRANCHES.

- DIG PLANTING PIT 12" WIDER THAN THE DIAMETER OF THE TOP OF THE ROOT BALL WITH A MINIMUM PLANTING PIT DIAMETER OF 18".

- FOR B&B SHRUBS: REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP OF ROOT BALL.

- ALL CONTAINERS SHALL BE REMOVED BEFORE INSTALLATION.

SHRUB BED PLANTING DETAIL - B&B AND CONTAINER SHRUBS

NOT TO SCALE

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE ALTERNATIVE COMPLIANCE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$13,380.
33 SHADE TREES @ \$300 = \$9,900
0 ORNAMENTAL TREES @ \$150 = \$0
0 EVERGREEN TREES @ \$150 = \$0
116 SHRUBS @ \$30 = \$3,480
- THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
- AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
- NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.

DEVELOPER'S/BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

PARCEL 5-9, LLC
5/15/05
DATE

DATE	NO.	REVISION
01-28-04	1	REVISED PLANT LIST PER SITE REVISIONS

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 03/16/05

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: *M. H. Hagle* 6/18/05 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *M. K.* 6/9/05 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT: *K. J. Landwehr* 6/16/05 DATE

1-10-04 ADDED TO PLANT LIST
8-21-05 REVISED PLANT LIST

DATE NO. REVISION

OWNER	DEVELOPER
GEAPE LAND HOLDING II, INC. 10275 LITTLE PARKWAY COLUMBIA, MARYLAND 21044 410-992-6370	GATEWAY CENTRE LLC 6/A BAXLEY DEVELOPMENT, INC. 8600 SNOWDEN RIVER PARKWAY SUITE 200 COLUMBIA, MARYLAND 21045 410-953-0050

PROJECT: GATEWAY CENTRE
COLUMBIA GATEWAY PARCEL U-9

AREA TAX MAP 42 P/O PARCEL 513 & P/O PARCEL 671
ZONED NEW TOWN
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

LANDSCAPE NOTES AND DETAILS

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DATE	DESIGNED BY :
DATE	PJS
DATE	DRAWN BY: KLM
DATE	PROJECT NO. 12976-1-0 PLANS/
DATE	MAY 26, 2005
DATE	SCALE : AS SHOWN
DATE	DRAWING NO. 9 OF 9

SCOTT R. WOLFORD #797

SDP-05-087

SHEET INDEX	
SHEET	TITLE
1	COVER SHEET
2	GRADING & SEDIMENT CONTROL PLAN
3	GRADING & SEDIMENT CONTROL PLAN
4	GRADING AND SEDIMENT CONTROL PLAN & SWM DETAILS
5	SWM POND PLAN AND PROFILES
6	FOREBAY & SEDIMENT BASIN DETAILS
7	SWM POND WEIR WALL CONSTRUCTION DETAILS
8	SEDIMENT CONTROL NOTES AND DETAILS
9	SWM DETAILS & BORINGS
10	STORMWATER MANAGEMENT SPECIFICATIONS & BORINGS
11	INLET DRAINAGE AREA MAP
12	STORM DRAIN PROFILES
13	STORM DRAIN PROFILES
14	STORM DRAIN PROFILES
15	ROAD PROFILES
16	ROAD PROFILES AND BUILDING & OPEN SPACE DETAILS
17	PRIVATE SEWER PROFILES
18	LANDSCAPE PLAN
19	LANDSCAPE PLAN

SITE DEVELOPMENT PLAN

VILLAGE TOWNS

PHASE II, AREA 2,

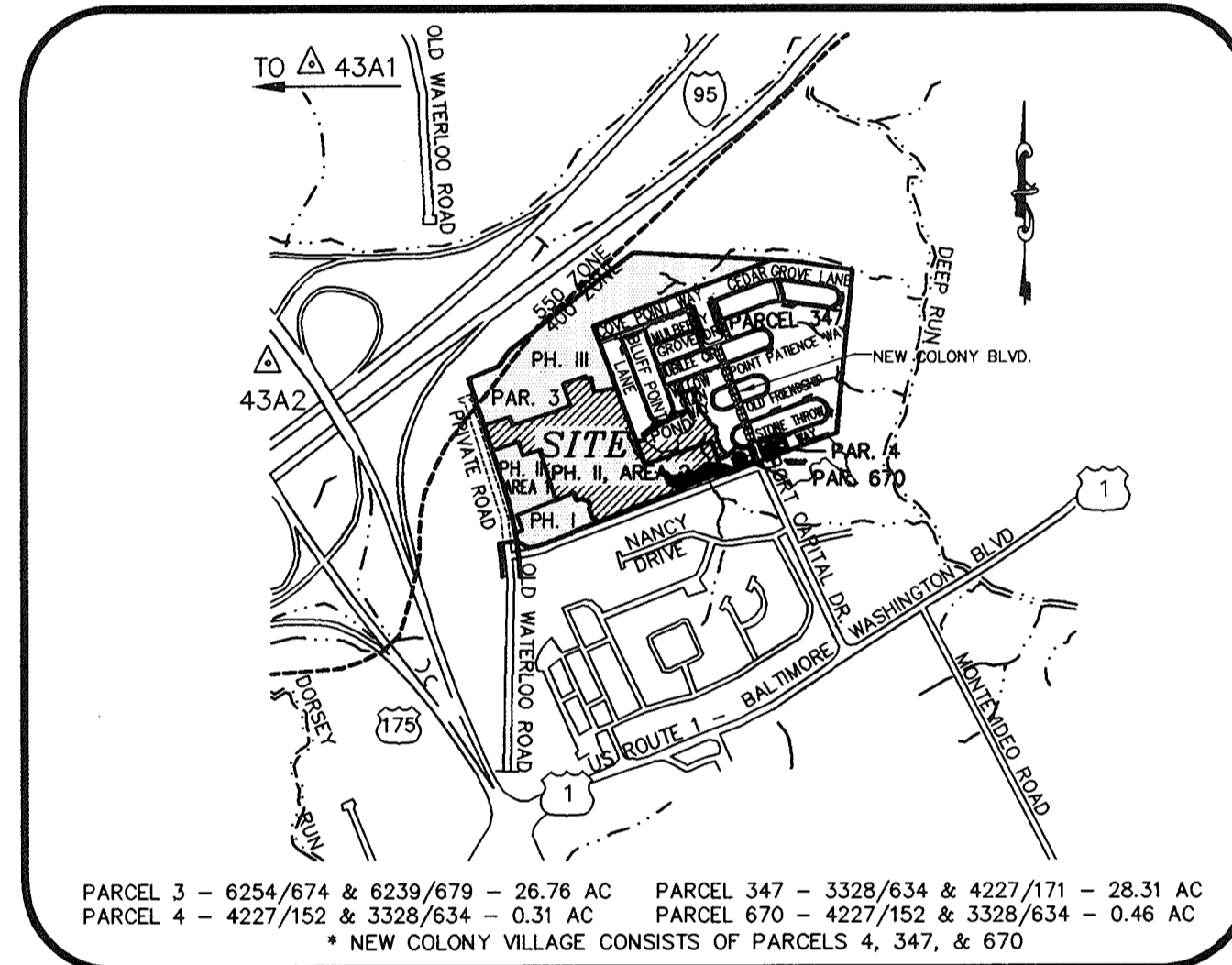
UNITS 21 THRU 82 & 113 THRU 177

& NEW COLONY VILLAGE, OPEN SPACE PARCEL E

FIRST ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

WETLANDS			
LINE	BEARING & DISTANCE	LINE	BEARING & DISTANCE
W1	S29°25'30"E 42.43'	W47	S17°56'04"E 30.27'
W2	S49°02'27"E 64.49'	W48	S63°48'34"E 37.45'
W3	N44°32'06"W 58.98'	W49	N85°49'47"E 66.37'
W4	N57°29'01"W 27.85'	W50	S21°15'16"W 26.43'
W5	N63°39'51"W 41.00'	W51	N67°33'31"E 58.60'
W6	S87°24'22"W 38.46'	W52	N03°19'06"W 56.61'
W7	N63°38'17"W 47.69'	W53	N70°51'56"E 11.29'
W8	N10°46'50"W 46.50'	W54	S03°12'31"E 45.31'
W9	N23°44'48"W 40.70'	W55	S28°12'25"E 21.61'
W10	N68°37'19"W 66.66'	W56	S88°28'09"E 40.71'
W11	N07°03'50"W 54.70'	W57	S33°29'47"E 47.06'
W12	S71°14'42"W 11.17'	W58	N46°38'35"E 59.52'
W13	N18°45'18"W 40.65'	W59	N18°45'18"W 11.46'
W14	N38°12'24"W 33.44'	W176	N86°48'28"E 6.42'
W15	N32°15'17"W 46.50'	W177	N56°19'49"W 8.41'
W16	N10°04'54"E 42.42'	W178	N31°38'07"W 7.21'
W17	N11°53'49"W 55.26'	W179	N12°40'59"W 7.14'
W18	N12°55'40"W 43.32'	W180	N20°17'02"W 5.66'
W19	N04°35'00"E 29.70'	W181	N00°17'21"W 5.52'
W20	N10°45'53"W 22.80'	W182	N01°31'50"E 7.62'
W21	S80°21'58"E 7.63'	W183	N06°17'52"E 6.33'
W22	S17°21'58"E 65.99'	W184	N45°46'03"E 4.65'
W23	S16°48'50"E 56.62'	W185	N60°58'32"E 6.21'
W24	N81°46'52"E 30.39'	W186	N49°10'25"E 4.03'
W25	S21°22'03"E 43.10'	W187	N61°57'22"E 10.48'
W26	S10°47'34"E 28.38'	W188	N64°31'30"E 10.42'
W27	S00°07'43"W 38.36'	W189	N64°25'58"E 6.13'
W28	S00°27'44"W 40.11'	W190	N23°31'38"E 7.09'
W29	S07°27'02"W 31.83'	W191	N75°09'10"E 9.95'
W30	S43°29'35"W 37.52'	W192	S81°59'57"E 6.97'
W31	N89°29'22"W 43.14'	W193	S76°36'40"E 5.10'
W32	N88°47'40"W 19.10'	W194	S61°29'23"E 5.01'
W33	S23°56'50"W 19.46'	W195	S30°35'43"E 5.27'
W34	S88°10'42"W 28.95'	W196	S24°41'17"E 6.15'
W35	S01°23'17"E 21.27'	W197	S15°30'59"E 5.68'
W36	S14°27'37"E 48.42'	W198	S12°08'55"E 6.67'
W37	S86°30'44"W 40.90'	W199	S00°17'05"W 8.06'
W38	S32°40'41"W 28.98'	W200	S21°43'18"W 6.35'
W39	N42°08'34"W 38.67'	W201	S48°41'31"W 6.57'
W40	N54°59'58"W 36.49'	W202	N62°27'54"W 7.14'
W41	N11°11'28"W 59.50'	W203	S82°42'58"W 11.32'
W42	N74°20'11"W 19.79'	W204	S62°35'45"W 11.41'
W43	N08°16'48"W 38.00'	W205	S65°19'13"W 12.30'
W44	N09°29'29"W 25.94'	W206	S64°16'45"W 9.95'
W45	N02°47'27"E 66.42'	W207	S70°00'05"E 9.45'
W46	S88°54'49"E 11.61'		



VICINITY MAP

SCALE: 1"=1000'

SITE TABULATION

AREA	PHASE I	PHASE II	PHASE II	PHASES I & II
	(SDP-01-121)	AREA 1 (SDP-04-54)	AREA 2 (SDP-03-102)	
AREA	1.91 Ac.	2.16 Ac.	10.81 Ac.	14.88 Ac.
ZONING	R-MH	R-MH	R-MH	R-MH
PROPOSED USE	SFA	SFA	SFA	SFA
AREA OF 100 YEAR FLOODPLAIN	0	0	0.49 Ac.	0.49 Ac.
AREA OF 25% OR GREATER SLOPES	0	0	0	0.00 Ac.
NET AREA	1.91 Ac.	2.16 Ac.	10.32 Ac.	14.39 Ac.
NO. OF UNITS ALLOWED (15 UNITS PER NET ACRE)	28	32	154	214
NO. OF UNITS PROPOSED	20	30	127	177
OPEN SPACE PROVIDED	0.48 Ac.	0.54 Ac.	2.70 Ac.	3.72 Ac.
RECREATION OPEN SPACE REQUIRED	3,500 SF PASSIVE (200 SF ACTIVE)	12,000 SF PASSIVE (300 SF ACTIVE)	50,800 SF PASSIVE (1,270 SF ACTIVE)	66,300 SF PASSIVE (1,770 SF ACTIVE)
RECREATION OPEN SPACE PROVIDED	0	0**	4,200 SF ACTIVE	4,200 SF ACTIVE
RESIDENTIAL PARKING SPACES REQUIRED	40	60	254	354
RESIDENTIAL PARKING SPACES PROVIDED	42**	63**	281**	386**

* ACTIVE RECREATION REFERS TO INDIVIDUAL SPORT RELATED ACTIVITIES INCLUDING BASKETBALL, TENNIS, OR OTHER SPORTS COURTS OR FIELDS. PASSIVE RECREATION REFERS TO PARKS, SQUARES, OR OPEN GRASSED SPACES.
 ** A SPORTS COURT WILL BE PROVIDED UNDER THE FUTURE SITE DEVELOPMENT PLAN FOR THE REMAINDER OF PHASE II.
 *** PARKING PROVIDED INCLUDES PARKING IN GARAGES, DRIVEWAYS, COMMON PARKING AREAS, AND SINGLE PARKING SPACES.
 PHASE I - 20 GARAGE SPACES, 11 DRIVEWAY SPACES, 10 COMMON PARKING SPACES, AND 1 SINGLE PARKING SPACE.
 PHASE II, AREA 1 - 17 GARAGE SPACES, 17 DRIVEWAY SPACES, AND 2 SINGLE PARKING SPACES.
 PHASE II, AREA 2 - 83 GARAGE SPACES, 83 DRIVEWAY SPACES, 103 COMMON PARKING SPACES, AND 12 SINGLE PARKING SPACES.

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
VILLAGE TOWNS	PHASE II, AREA 2	PARCEL 3 & NEW COLONY VILLAGE, 0.5 PARCEL E
PLAT # OR L/F	GRID #	ZONING
6254/674 #	3	R-MH
TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
43	FIRST	6012.02
WATER CODE	SEWER CODE	
B-01	2420000	

* P.N. 17137, 17138, 17140 (0.5 PAR. E)

OWNER
 VILLA ASSOCIATES, LLC
 25 MAIN STREET
 REISTERSTOWN, MARYLAND 21138
 (410) 526-4030

BUILDER
 RYAN HOMES
 11460 CROWNE DRIVE, SUITE 128
 OWINGS MILLS, MARYLAND 21117
 (410) 654-0501

- GENERAL NOTES:**
- THE SUBJECT PROPERTY IS ZONED R-MH PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
 - MISS UTILITY: 1-800-257-7777
 - C&P TELEPHONE COMPANY: (410) 725-9978
 - HOWARD COUNTY BUREAU OF UTILITIES: (410) 313-4900
 - AT&T CABLE LOCATION DIVISION: (410) 393-3533
 - BALTIMORE GAS & ELECTRIC: (410) 685-0123
 - STATE HIGHWAY ADMINISTRATION: (410) 531-5533
 - HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION: (410) 313-1880
 - PROJECT BACKGROUND:
 - LOCATION: TAX MAP 43 - PARCEL 3 - FIRST ELECTION DISTRICT.
 - ZONING: R-MH (DEVELOPED AS R-15)
 - GROSS AREA OF TRACT: 26.76 AC. (INCLUDES PHASE II, AREA 1 & FUTURE PHASE III)
 - AREA OF PLAN SUBMISSION: 10.81 AC. OR 474,055 SQ. FT. (PHASE II, AREA 2)
 - PROPOSED USE FOR SITE: RESIDENTIAL (SINGLE FAMILY ATTACHED).
 - OPEN SPACE REQUIRED: 2.70 ACRES OR 23%.
 - OPEN SPACE PROVIDED: 4.17 ACRES (181,850 SQ.FT.) OR 38.6%.
 - RECREATIONAL OPEN SPACE REQUIRED: 1,570 SQ. FT. ACTIVE OR 62,800 SQ. FT. PASSIVE.
 - RECREATIONAL OPEN SPACE PROVIDED: 4,200 SQ. FT. ACTIVE.
 - DIPZ FILE NOS.: S-94-96-WP-98-32, SDP-06-20, SDP-97-03, SDP-97-88, SDP-97-114, SDP-97-115, SDP-01-121, SDP-02-044, WP-03-89, SDP-04-54, F-00-168, PLAT #4327-14328, F-01-001, PLAT #14344-14345, F-05-001, PLAT #17135-17144, F-04-066, PLAT #17327-17345.
 - BOUNDARY AND TOPOGRAPHY IS SHOWN HEREON IS BASED ON A FIELD RUN & MONUMENTED SURVEY OR ABOUT MARCH 1995 AND SUPPLEMENTED BY TOPOGRAPHIC SURVEY ON OR ABOUT SEPTEMBER 2002 AND STREAM INVERT VERIFICATION IN OCTOBER 2003 BY MILDENBERG, BOENDER & ASSOCIATES, INC.
 - COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 43A1 & 43A2.
 - STA. No. 43A1 N 552,081.811 ELEV. 306.79 * STD. CONC. MON. SET FLUSH WITH SURFACE, IN
 - E 1,370,625.810 ELEV. 292.55 * STD. CONC. MON. SET FLUSH WITH SURFACE, SOUTH
 - E 1,370,784.343 ELEV. 292.55 * STD. CONC. MON. SET FLUSH WITH SURFACE, SOUTH
 - E 1,372,040.182 ELEV. 292.55 * STD. CONC. MON. SET FLUSH WITH SURFACE, SOUTH
 - ALL DRIVEWAY ENTRANCES FOR THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL R 6.03. LOCAL TRAVELWAY PAVING IS TO BE TYPE P-2 OR P-3 PAVING, SEE DETAILS ON SHEET 4.
 - HOWARD COUNTY STANDARD R-3.01-MODIFIED COMBINATION CURB AND GUTTER WILL BE USED, UNLESS OTHERWISE NOTED.
 - ALL ROADS AND STORM DRAIN SYSTEMS IN THIS DEVELOPMENT ARE PRIVATE.
 - STORMWATER MANAGEMENT FOR THIS PHASE, AREAS 1 & 2, AND FUTURE PHASE III ARE PROVIDED BY A P-3 WET POND (POND #2). WATER QUALITY IS BEING PROVIDED BY EXTENDED DETENTION IN THE WET POND. REV IS BEING PROVIDED BY GRASS SWALES FOR AREA 2 & PHASE III. IF STORM WATER MANAGEMENT CREDITS FOR AREA 2, PHASE 3 CANNOT BE ACCUMULATED AS SHOWN ON THE SUPPLEMENTAL DRAINAGE AREA MAP. ADDITIONAL STORM WATER MANAGEMENT MEASURES MAY BE REQUIRED. POND # 2 IS TO BE PRIVATELY OWNED AND MAINTAINED.
 - COMPACTION IN FILL AREAS TO BE 95% STANDARD PROCTOR AS DETERMINED PER AASHTO T-180.
 - CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
 - THERE ARE NO EXISTING STRUCTURES ON-SITE.
 - NO HISTORIC STRUCTURES OR BURIAL GROUNDS EXIST ON-SITE PER THE HOWARD COUNTY HISTORIC SITES LIST DATED DECEMBER 1994 AND THE HOWARD COUNTY CEMETERIES AND GRAVESITES INVENTORY, RESOLUTION # 47-1994. TO THE BEST OF THE KNOWLEDGE OF THE CURRENT OWNER, NO GRAVES EXIST ON-SITE.
 - FLOODPLAIN STUDY PREPARED BY MILDENBERG, BOENDER & ASSOCIATES, INC. ON JUNE 1995, APPROVED UNDER SDP-96-20.
 - WETLAND DELINEATION PERFORMED BY HILLIS-CARNES ASSOCIATES, INC. ON AUGUST 1996. APPROVED BY US ARMY CORPS OF ENGINEERS, REF. NO. 1996-01042-3.
 - PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
 - TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, INC. ON JUNE 15, 1995, APPROVED UNDER S-94-39. AN UPDATED TRAFFIC STUDY WAS PREPARED ON JUNE 9, 1998 BY THE TRAFFIC GROUP, INC. AND APPROVED UNDER NEW COLONY VILLAGE, PHASE 4, SDP-01-121.
 - NOISE STUDY AND MITIGATION WAS APPROVED AS PART OF THE NEW COLONY VILLAGE, PHASE 3 THRU 6, SDP-97-114, SDP-97-115, SDP-00-07, AND SDP-01-121.
 - ON SITE FOREST CONSERVATION EASEMENT 6.52 AC.(RETENTION) HAS BEEN PROVIDED UNDER NEW COLONY VILLAGE, PHASE 4 (SDP-97-115). A THIRD OF THE 20.67 ACRES REFORESTATION REQUIRED (6.89 ACRES) HAS BEEN SATISFIED VIA OFF-SITE REFORESTATION ON ROSEBARK PROPERTY. PRESERVATION PARCEL A UNDER NEW COLONY VILLAGE, PHASE 4, THE REMAINING 13.78 ACRES OF REFORESTATION REQUIRED HAS BEEN DIVIDED BETWEEN THE REMAINING PHASES OF THE PROJECT. ONE-THIRD OR 4.593 ACRES OF REFORESTATION WAS REQUIRED AS PART OF EACH PHASE. THIS REQUIREMENT HAS BEEN SATISFIED VIA PAYMENT OF A FEE-IN-LIEU OF REFORESTATION OF \$80,021.33 FOR PHASE 5 (SDP-00-70), PAYMENT OF FEE-IN-LIEU OF REFORESTATION OF \$100,035.54 FOR PHASE 6 (SDP-01-121), AND OFF-SITE REFORESTATION OF 4.543 ACRES ON ROMITI FARM, TAX MAP 2, PARCEL 61 SEE P.O.F.C.E. PLAT 3 15440 FOR PHASE 7 (SDP-02-044).
 - PLAT OF FOREST CONSERVATION (FOR ON-SITE RETENTION) AND PUBLIC 100 YEAR FLOODPLAIN & UTILITY EASEMENT FOR NEW COLONY VILLAGE WAS RECORDED AS PLAT #4327-14328 (F-00-168). THE OFF-SITE REFORESTATION HAS BEEN RECORDED AS REVISION PLAT FOR ROSEBARK PROPERTY, PRESERVATION PARCEL A, UNDER PLAT #14344-14345 (F-01-11).
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENT)
 - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
 - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT RADIUS.
 - D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
 - IF MATERIAL IS WITHIN 8% OF OPTIMUM MOISTURE, WORKING THE MATERIAL UNTIL REQUIRED COMPACTION IS ACHIEVED IS CONTRACTOR'S RESPONSIBILITY.
 - PER SECTION 128 OF THE ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - ZONING AND SETBACK CRITERIA BASED ON R-A-15 AS ALLOWED UNDER R-MH ZONING SECTION 128.G.
 - THE INDIVIDUAL HOUSES ARE RESTRICTED TO A MAXIMUM 36 FOOT HEIGHT FROM THE MEAN OF ROOF TO THE MEAN GRADE ALONG THE SIDE OF HOUSE.
 - NO DISTURBANCE CLEARING OR GRADING IS PERMITTED IN WETLAND, WETLAND & STREAM BUFFERS, FLOODPLAIN, AND FOREST CONSERVATION, OTHER THAN THAT WHICH WAS APPROVED UNDER WP-03-89.
 - THE ENTIRE DEVELOPMENT EXCLUDING THE UNITS WILL BE OWNED BY ONE (1) ENTITY. THE OPERATION AND MAINTENANCE OF THE COMMON FEATURES/ELEMENTS WILL BE BY THAT SAME ENTITY, VILLAGE TOWNS CONDOMINIUM ASSOCIATION. PROPOSED WATER IS PUBLIC. CONNECTION WILL BE MADE TO CONTRACT #14-4125-2. SEWER WILL BE PRIVATE. SEE SHEET 7 OF 18 AND SDP-04-54, SHEET 5 OF 7.
 - WATER AND SEWER SERVICE TO THESE UNITS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND PUBLIC SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF THE ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME. PLANS FOR PUBLIC WATER SYSTEMS HAVE BEEN APPROVED BY THE DEPARTMENT OF THE ENVIRONMENT AND THESE FACILITIES WILL BE AVAILABLE TO ALL UNITS OFFERED FOR SALE.
 - EXISTING SEDIMENT CONTROL APPROVED UNDER SDP-96-20 AND SUPPLEMENTED BY PROPOSED ON-SITE CONTROLS UNDER THIS PLAN ARE TO BE UTILIZED.
 - ALL PLAN DIMENSIONS ARE TO THE BOTTOM FACE OF CURB, UNLESS OTHERWISE NOTED.
 - THIS PROJECT IS SUBJECT TO THE PROVISIONS OF OCTOBER 23, 2003, WAVING SECTION 16.116(G)(1) AND 16.116(G)(2) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO PERMIT THE REMOVAL OF VEGETATIVE COVER AND GRADING IN FORESTED 25 WETLAND BUFFERS AND FORESTED 50' AND 75' STREAM BUFFERS FOR THE INSTALLATION OF A 48" CARRIER PIPE FOR A STORM DRAIN PIPE WHICH WILL DIRECT DRAINAGE FROM THE VILLAGE TOWNS, PHASE 2 THROUGH PHASE 4, TO THE WETLANDS AND WOODS WETLAND, PHASE 4. APPROVAL SUBJECT TO:
 - COMPLIANCE WITH THE DEED CONDITIONS OF 10/21/03;
 - ANY REQUIRED 404/401 PERMITS/CERTIFICATES AND/OR WDE LETTER OF AUTHORIZATION MUST BE OBTAINED OR THE WAKER APPROVED PRIOR TO THE START OF CONSTRUCTION;
 - NO WAIVERS TO THE SUBDIVISION REGULATIONS AND/OR DESIGN MANUAL WILL BE GRANTED FOR THE REDESIGN OR REVISION TO SWM #2;
 - THE 48" CARRIER PIPE FOR THE STORM DRAIN PIPE SHALL BE INSTALLED UNDER THE WETLAND AND STREAM BY UTILIZATION OF THE JACK AND BORE INSTALLATION METHOD/PROCEDURE. THE WAIVER APPLIES ONLY TO THE DISTURBANCE ASSOCIATED WITH THE INSTALLATION OF THIS PIPE.
 - PARCEL 3 IS SUBJECT TO MODERATE INCOME HOUSING UNIT DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE TWENTY (20) UNITS PROPOSED UNDER SDP-01-121 RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6725, FOLIO 0532. THESE DOCUMENTS STATE THAT VILLAGE TOWNS, PHASE I UNITS 390, 391, AND 392, THE THREE (3) REQUIRED MODERATE INCOME HOUSING UNITS, ARE SUBJECT TO THESE COVENANTS AND RESTRICTIONS. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 1, SDP-04-54, WHICH REQUIRES FIVE (5) REQUIRED MODERATE INCOME HOUSING UNITS (UNITS 162 THRU 166) FOR THE THIRTY (30) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 8598, FOLIO 330. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2, WHICH REQUIRES TWENTY (20) REQUIRED MODERATE INCOME HOUSING UNITS (UNITS 134 THRU 142 AND UNITS 167 THRU 177) FOR THE ONE HUNDRED TWENTY-TWO (122) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 9101, FOLIO 409 & COVENANTS AT L-9101, F. 346.
 - ALL SINGLE FAMILY ATTACHED UNIT GARAGES TO BE USED FOR THE PARKING OF MOTOR VEHICLES ONLY, IN ACCORDANCE WITH ZONING SECTION 133.D.2a.
 - APPLICATION WAS APPROVED ON AUGUST 7, 2002, BY THE MDE NON-TIDAL WETLANDS & WATERWAYS DIVISION FOR THE UTILITY CROSSLANDS AND STREAM BUFFERS FOR THE INSTALLATION OF A STORM DRAIN PIPE UNDER TRACKING # 02-NI-0307/200264943.
 - ALL STORM DRAINS ARE PRIVATE.
 - THE SINGLE PARKING SPACES SHOWN ON THESE PLANS ARE FOR UNITS 29, 36, 40, 44, 67, 73, 78, 113, 124, 133, 138, & 171.
 - TRASH AND RECYCLING SERVICES WILL BE PROVIDED PRIVATELY AND NOT BY HOWARD COUNTY.
 - STREET LIGHTS 144" TALL SHALL BE INSTALLED AT 30' SPACING AT STA 20+85 TO STA 20+85.0/5' RIGHT ARIE TO BE 250 WATT HPS VAPOR FIXTURE WITH A 30" POLE AND A 12" ARM.
 - DEWATERING PUMPS AND PIPING FOR THE SWM SHALL BE STORED IN THE NEW COLONY VILLAGE RECREATION CENTER.

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Developer: *[Signature]* DATE: 1/12/05
 Printed Name of Developer: *[Name]*

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED UPON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Engineer: *[Signature]* DATE: 1/12/05
 Printed Name of Engineer: JOHN B. MILDENBERG

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

USA - NATURAL RESOURCE CONSERVATION SERVICE DATE: 1/12/05

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: 1/12/05

APPROVED: DEPARTMENT OF PLANNING AND ZONING DATE: 1/12/05

CHEF, DEVELOPMENT ENGINEERING DIVISION DATE: 1/12/05

CHEF, OFFICE OF LAND DEVELOPMENT DATE: 1/12/05

DIRECTOR DATE: 1/12/05

ADDRESS CHART

UNIT NO.	STREET ADDRESS	UNIT NO.	STREET ADDRESS	UNIT NO.	STREET ADDRESS	UNIT NO.	STREET ADDRESS
21	7096 MAIDEN POINT PLACE	53	7032 HOLLY SPRINGS LANE	115	7047 OAK GROVE WAY	147	7182 DEEP FALLS WAY
22	7094 MAIDEN POINT PLACE	54	7030 HOLLY SPRINGS LANE	116	7049 OAK GROVE WAY	148	7148 DEEP FALLS WAY
23	7092 MAIDEN POINT PLACE	55	7028 HOLLY SPRINGS LANE	117	7051 OAK GROVE WAY	149	7146 DEEP FALLS WAY
24	7090 MAIDEN POINT PLACE	56	7024 HOLLY SPRINGS LANE	118	7053 OAK GROVE WAY	150	7144 DEEP FALLS WAY
25	7088 MAIDEN POINT PLACE	57	7022 HOLLY SPRINGS LANE	119	7055 OAK GROVE WAY	151	7142 DEEP FALLS WAY
26	7086 MAIDEN POINT PLACE	58	7020 HOLLY SPRINGS LANE	120	7142 FOX HARBOR WAY	152	7140 DEEP FALLS WAY
27	7084 MAIDEN POINT PLACE	59	7018 HOLLY SPRINGS LANE	121	7140 FOX HARBOR WAY	153	7138 DEEP FALLS WAY
28	7082 MAIDEN POINT PLACE	60	7016 HOLLY SPRINGS LANE	122	7138 FOX HARBOR WAY	154	7136 DEEP FALLS WAY
29	7115 DEEP FALLS WAY	61	7015 HOLLY SPRINGS LANE	123	7136 FOX HARBOR WAY	155	7134 DEEP FALLS WAY
30	7113 DEEP FALLS WAY	62	7017 HOLLY SPRINGS LANE	124	7132 FOX HARBOR WAY	156	7130 DEEP FALLS WAY
31	7119 DEEP FALLS WAY	63	7019 HOLLY SPRINGS LANE	125	7134 FOX HARBOR WAY</		