

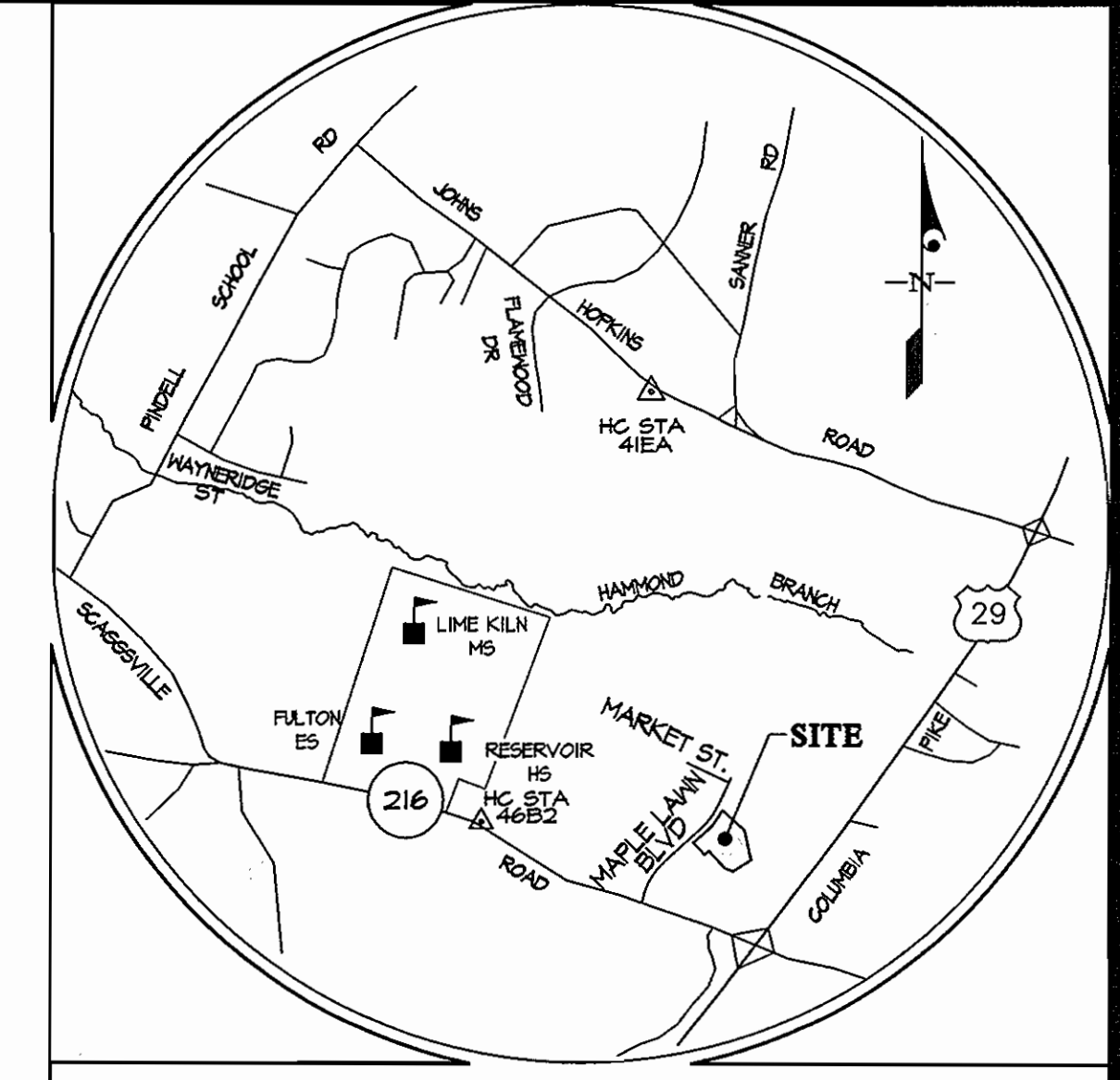
SITE DEVELOPMENT PLAN MAPLE LAWN FARMS OFFICE BUILDING 3 and M&T BANK PARCELS C-21 & C-22

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 315-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-TTTT AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:
LOCATION: TAX MAP #46, GRIDS 3 & 4
ZONING: MXD-3
ELECTION DISTRICT: 5TH
PARCEL C-21 & C-22 AREA: 0.7420 & 4.8405 AC.
REG. REF.: PLAT NOS. 1694, 1791/18 & 1956B
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 315-4000 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- PROPOSED USE: OFFICE BUILDING AND BANK.
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD SURVEY INFORMATION BY GUTSCHICK, LITTLE WEBER, P.A. BY DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
- COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 416A, 416B, 416A AND NO. 4682.
- PROPERTY IS ZONED MXD-3 PER THE 10-18-13 COMPREHENSIVE ZONING PLAN. PER ZB-495M HAS APPROVED 2/8/01 GRANTING APPROVAL TO FDP.
- See Department of Planning & Zoning file numbers: 5-0-11, ZB-495M, PB-293, NP-01-111, NP-02-54-11, P-02-12, F-03-07, F-04-15, F-05-15B (PA 1781-18), F-07-10, F-08-016 AND F-09-20 (PLAT 1956B).
- WATER AND SEWER SERVICE IS PUBLIC.
- ALL EXISTING WATER AND SEWER IS PER CONTRACT NOS. 24-4062-D AND 24-4262-D.
- ALL EXISTING PUBLIC STORM DRAIN IS PER F-03-07 AND SDF-04-14.
- STORMWATER MANAGEMENT IS BEING PROVIDED BY F-03-07, ALONG WITH A DRYWELL AND STORMCEPTOR ON THIS SITE PLAN. THE DRYWELL IS FOR REV. AND IT TREATS PARCEL C-6 PLUS THE PORTION OF THE MAPLE LAWN BLVD. R.O.M. FRONTING THIS PARCEL.
- RECORDING REFERENCE: PLAT NOS. 1694 AND 1956B.
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- THIS PROPERTY HAS BROUGHT INTO THE METROPOLITAN DISTRICT ON AUGUST 8, 2001.
- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER PB-318 AND 5-06-16.
- AS A CONSEQUENCE OF THE SKETCH PLAN 5-0-11 APPROVED PRIOR TO NOVEMBER 15, 2001, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- OPEN SPACE LOTS CONTAIN ACTIVE RECREATIONAL FACILITIES AS ALLOWED BY THE APPROVED COMPREHENSIVE DEVELOPMENT CRITERIA.
- PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-495M AND THE DECISION AND ORDER FOR PB CASE NO. 393 (5-0-11).
- THE TRAFFIC STUDY WAS APPROVED AS PART OF SKETCH PLAN 5-0-11.
- WATER AND SEWER HOUSE CONNECTION LIMITS SHOWN ON THESE PLANS IS FROM THE ROAD R/W TO WITHIN 5' OF THE BUILDING. REFER TO ARCHITECTURALS FOR REMAINDER ON CONSTRUCTION.
- FOREST CONSERVATION FOR THIS SITE HAS BEEN PROVIDED UNDER F-03-07.
- ALL EASEMENTS (PUBLIC AND PRIVATE) SHOWN ON THESE PLANS ARE PER RECORDED PLAT 1694 THRU 1694, UNLESS OTHERWISE NOTED.
- BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL USE, A NOISE STUDY IS NOT REQUIRED.
- BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM BY AN INSIDE METER.
- THIS OFFICE BUILDING IS LOCATED IN AN EMPLOYMENT AREA WHICH IS NOT PART OF A RETAIL CENTER.
- SEE SHEETS I AND II FOR LANDSCAPE/SURETY REQUIREMENTS.
- THE SHARED ACCESS AND PARKING REQUIREMENT FOR ALL THE PARCELS ON THE EAST SIDE OF MAPLE LAWN BLVD. (PARCELS C-1, C-10, C-11, C-21 AND C-22) IS COVERED BY SECTION 10.11, ACCESS AND PARKING EASEMENT IN "AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MAPLE LAWN COMMERCIAL ASSOCIATION, INC." AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 7194 AT FOLIO 393.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THE LOWER LEVEL OF OFFICE BUILDING NO. 3 IS TO BE UTILIZED ONLY FOR STORAGE AND MECHANICAL EQUIPMENT. THE AREA DOES NOT COUNT TOWARDS FLOOR AREA RATIO (F.A.R.) CALCULATIONS AND DOES NOT REQUIRE PARKING. HOWEVER, IF ANY PORTION OF THE LOWER LEVEL BECOMES OFFICE OR RETAIL, IN THE FUTURE, THEN THE F.A.R. AND PARKING TABULATIONS WILL HAVE TO BE REVISED.
- ON FEBRUARY 03, 2005 THE HOWARD COUNTY PLANNING BOARD APPROVED THIS SDF FOR THE REQUESTED SETBACK REDUCTIONS FROM 15' TO 12' BETWEEN THE OFFICE BUILDING AND ADJACENT PARKING AREAS AS REQUIRED BY THE DEVELOPMENT CRITERIA. THE CRITERIA HAS SINCE BEEN AMENDED WITH THE APPROVAL OF 5-06-16.
- ON DECEMBER 07, 2006 THE HOWARD COUNTY PLANNING BOARD APPROVED THIS SDF FOR THE CONSTRUCTION OF A NEW ONE-STORY WAREHOUSE BUILDING AND OTHER RELATED SITE IMPROVEMENTS. THE WAREHOUSE IS NOT BUILT, AND SUBSEQUENTLY, A REDLINE REVISION FOR A "M&T BANK" WAS SUBMITTED TO DPZ. THE DEPARTMENT OF PLANNING AND ZONING DETERMINED (ON JANUARY 3, 2008) THAT THE REDLINE REVISION TO ADD THE "M&T BANK" WILL NOT REQUIRE RE-APPROVAL OF THIS SDF BY PLANNING BOARD IN ACCORDANCE WITH SECTION 27.13, "MINOR ADDITIONS AND MODIFICATIONS" OF THE HOWARD COUNTY ZONING REGULATIONS.

BENCHMARKS

- 416A ELEV. = 462.16
STANDARD DISC ON CONCRETE MONUMENT
- 4682 ELEV. = 474.61
STANDARD DISC ON CONCRETE MONUMENT



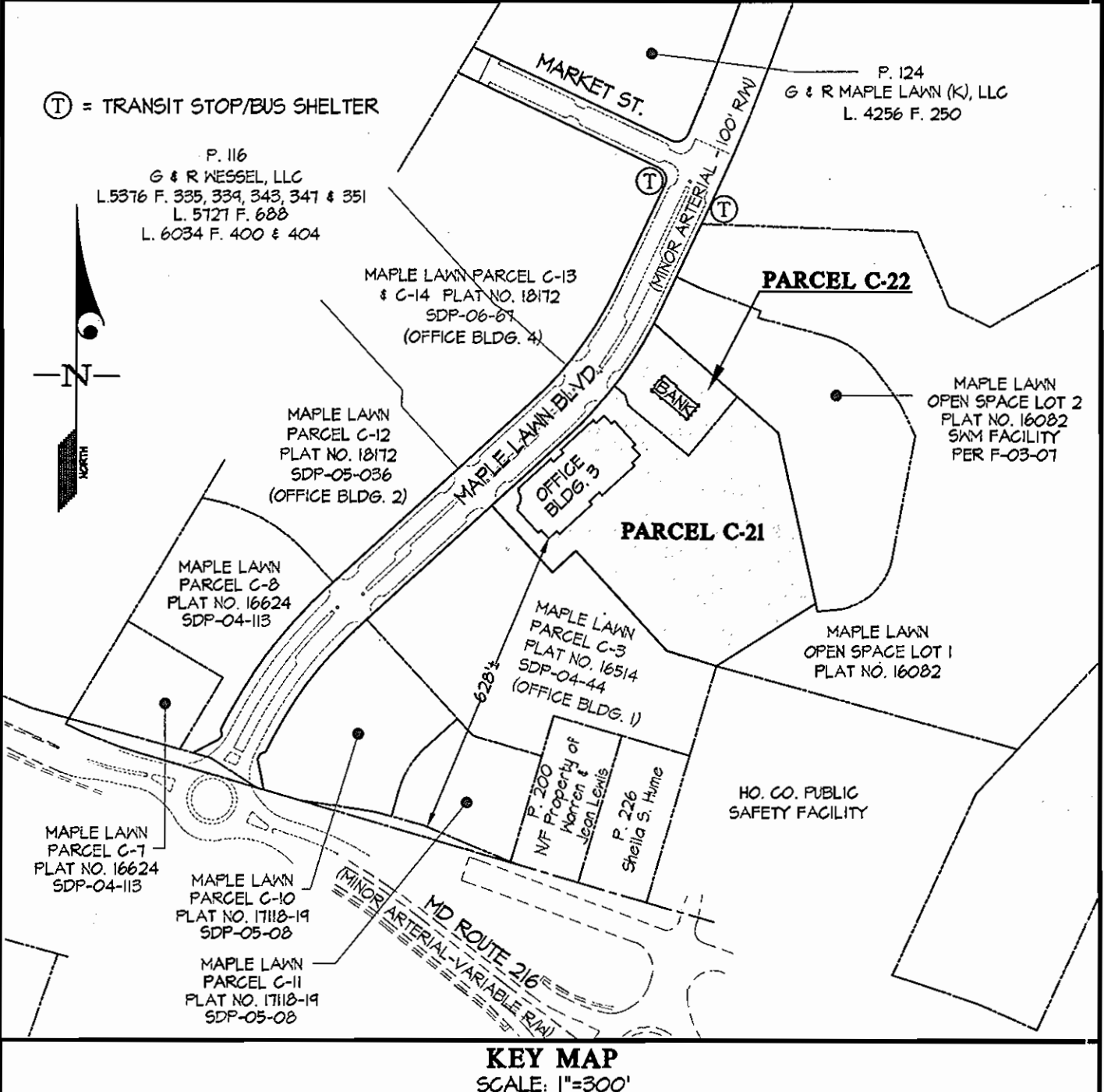
VICINITY MAP
SCALE: 1" = 2000'

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DETAILS
- SITE DETAILS
- UTILITY PROFILES
- STORMCEPTOR & RECHARGE FACILITY DETAILS
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES AND DETAILS
- DRAINAGE AREA MAP
- LANDSCAPE PLAN
- LANDSCAPE NOTES AND DETAILS
- RETAINING WALL CONSTRUCTION DETAILS

SITE ANALYSIS DATA CHART

1. GROSS SITE AREA:	PARCEL C-21 = 0.7420 AC.	PARCEL C-22 = 4.8405 AC.	TOTAL = 5.5825 AC.
2. LIMIT OF DISTURBED AREA = 5.01 AC.			
3. ZONING: MXD-3.			
4. PROPOSED USE: OFFICE BUILDING & BANK.			
5. BUILDING COVERAGE FOR OFFICE BUILDINGS #3 & BANK:	OFFICE BUILDING NO. 3 = 0.6401 AC. (14.3% OF PARCEL C-22)		
	BANK (incl. canopy & overhang) = 0.1190 AC. (6.41% OF PARCEL C-21)		
6. FLOOR AREA RATIO CALCULATIONS:			
OFFICE BUILDING NO. 3	30,085 S.F. = 0.6401 AC. (14.3% OF PARCEL C-22)		
LOWER LEVEL (Mechanical & storage only see note #30)	= 10,000 S.F.		
FLOORS ONE THROUGH FOUR (AT 50,085 EACH)	= 120,340 S.F. or 2.7626 AC.		
BANK BUILDINGS AREA	= 3,400 S.F. or 0.078 AC.		
TOTAL F.A.R. (for both parcels 2,891 bldgs / 5,582.5 sites)	= 0.51		



KEY MAP
SCALE: 1" = 500'

COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

PARCEL SIZE
NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.

HEIGHT
MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:

- COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE STORIES.
- COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOOT OF PLAT SHALL NOT EXCEED FOUR STORIES.
- COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 500 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.
- COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 500 FEET AND 500 FEET FROM MD. ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
- COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET OF MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES ABOVE THE HIGHEST ADJOINING GROUND.
- COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT WITHIN 300' OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES.
- COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300' OF MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES ABOVE THE HIGHEST ADJOINING GROUND.

PERMITTED USES
THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:

EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE POR, B-1 AND M-1 DISTRICTS, AS PER PETITIONERS FOR EXHIBIT 18, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS: FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINER THEATERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.

THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE POR, B-1 AND M-1 DISTRICTS WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS COMPREHENSIVE SKETCH PLAN PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY WHEELED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED.

- PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES
- THEATERS, LEGITIMATE AND DINNER
- THEATERS, MOVIE
- PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMERCIAL COMMUNICATIONS TOWERS.

THE FOLLOWING USE RESTRICTIONS ALSO APPLY:

- NO MORE THAN 5% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
- CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED
- A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.
- NO SINGLE RETAIL CENTER SHALL EXCEED 150,000 SQUARE FEET. RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION HOWEVER FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL STORES AND PERSONAL SERVICE BUSINESS SHALL NOT EXCEED 10,540 (800 SQUARE FEET PER GROSS ACRES). NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE M-1 & S DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER.

SECTION 12B.F SHALL APPLY TO EMPLOYMENT LAND USE AREAS.

COVERAGE
NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.

FLOOR AREA RATIO (F.A.R.)
OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.

SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS")
THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS:

- 50' FROM THE BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216.
- 10' FROM THE RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD.
- NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BLVD AS NOTED ABOVE.
- 10' FROM ANY OTHER PROPERTY LINE.

PARKING SETBACKS

- 15' TO PUBLIC RIGHT-OF-WAY OF SANNER ROAD (MAPLE LAWN BOULEVARD) EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, AND 10' TO ANY OTHER PROPERTY OR BOUNDARY LINE (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, OR WHERE A PARCEL LINE LIES WITHIN A USE-IN-COMMON PARKING AREA SERVING MULTIPLE PARCELS).
- 20' TO PROJECT BOUNDARY LINE ALONG JOHNS HOPKINS OR ROUTE 216.

EXCEPTIONS TO SETBACK REQUIREMENTS
STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

EXCEPT FOR THE FOLLOWING, SECTION 12B.A.J APPLIES:

- BAY WINDOWS, BALCONIES, FRENCH BALCONIES, PORTICOS, CORNICES, AWNINGS, SIGNS, AND SIMILAR ARCHITECTURAL ELEMENTS MAY ENROACH FULLY INTO ANY SETBACK.
- ARCADES MAY ENROACH INTO ANY SETBACK TO WITHIN 1' OF THE PROPERTY LINE. WHERE SUCH ARCADES ARE PROPOSED, THE FRONT FACADE MAY ALIGN VERTICALLY WITH THE FRONT OF THE ARCADE, THEREBY REDUCING THE REQUIRED FRONT SETBACK ACCORDINGLY. AN ARCADE IS AN ARCHED BUILDING OR PORTION OF A BUILDING, OR GALLERY OFTEN COVERED WITH A ROOF STRUCTURE OR BUILDING SUPPORTED BY A SERIES OF ARCHES AND/OR COLUMNS OR PIERS.

PARKING

- A MINIMUM OF FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES.
- A MINIMUM OF 3.5 PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA THAT IS DEVOTED TO OFFICE OR RESEARCH AND DEVELOPMENT USES.
- NO PARKING REQUIREMENT IS IMPOSED UPON ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN BUILDINGS WHICH PRIMARILY SERVES TENANTS AND EMPLOYEES OF SUCH BUILDINGS.
- ONE PARKING SPACE SHALL BE PROVIDED FOR EACH BEDROOM CONTAINED WITHIN ANY HOTEL, INN OR SIMILAR FACILITY AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF SUCH FACILITY.
- ONE PARKING SPACE SHALL BE PROVIDED FOR EACH THREE SEATS WITHIN ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN A HOTEL, INN OR SIMILAR FACILITY OR AS A FREESTANDING STRUCTURE AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF ANY SUCH FACILITY.
- ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO BEDS IN ANY HOSPITAL OR CLINIC, ONE PARKING SPACE SHALL BE PROVIDED FOR EACH EMPLOYEE ON A MAJOR SHIFT, AND EIGHT PARKING SPACES SHALL BE PROVIDED FOR EACH DOCTOR TREATING OUTPATIENTS ON A MAJOR SHIFT.

INDUSTRIAL USES:

- WAREHOUSE: 0.5 SPACES PER 1,000 SQUARE FEET
- TEXTILE SPACE (INDUSTRIAL/OFFICE): 2.5 SPACES PER 1,000 SQUARE FEET
- OTHER INDUSTRIAL: 2.0 SPACES PER 1,000 SQUARE FEET

RECREATIONAL USES:

- HEALTH CLUB: 10.0 SPACES PER 1,000 SQUARE FEET
- SWIMMING POOL, COMMUNITY: 10 SPACES PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME BY THE DEPT. OF HEALTH
- TENNIS COURT: 2.0 SPACES PER COURT

REQUIRED MINIMUM PARKING FOR ALL SUCH COMMERCIAL AND EMPLOYMENT USES SHALL BE NET OFF-STREET. ADDITIONAL PARKING MAY BE ACCOMMODATED ON-STREET, IN PARALLEL PARKING WITHIN PUBLIC ROAD RIGHTS-OF-WAY, PARALLEL SPACES LOCATED ON PARKING AREAS ADJACENT TO PUBLICLY MAINTAINED ROADWAYS OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS, IN AND/OR OUT OF THE PUBLIC R/W. REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTION 133.D.3 (Parking Studies), 133.E.1 (Shared Parking) and 133.E.2 (Trip Reduction Plans).

FLOOR AREA RATIO (F.A.R.) TRACKING CHART

DPZ FILE NO.	PARCEL AREA	FLOOR AREA	F.A.R.
SDF-04-44 (Office Bldg. 1)	4.40 AC. (14,350 S.F.)	43,945 S.F.	0.44
SDF-04-46 (Retail Bldg. 1 & Bank)	3.17 AC. (11,193 S.F.)	24,086 S.F.	0.77
SDF-05-08 (Retail Bldg. 2 & Gas Station)	3.20 AC. (11,420 S.F.)	22,218 S.F.	0.16
SDF-05-036 (Office Bldg. 2)	4.24 AC. (14,602 S.F.)	43,945 S.F.	0.51
SDF-05-041 (Office Bldg. 3 & M&T Bank)	5.58 AC. (19,220 S.F.)	123,740 S.F.	0.51
SDF-06-067 (Office Bldg. 4)	4.78 AC. (16,681 S.F.)	100,288 S.F.	0.48
SDF-06-148 (Medical & 3 Office Bldgs.)	8.54 AC. (29,180 S.F.)	121,620 S.F.	0.35
SDF-07-02 (Bank, School, Retail, & Restaurant)	7.36 AC. (25,684 S.F.)	45,225 S.F.	0.14
SUB-TOTAL	41.21 Acres	1,435 Acres	0.35
EMPLOYMENT AREA RECORDED AS R/W	11.64 Acres		
TOTAL AREA RECORDED AS EMPLOYMENT	54.45 Acres	1,435 Acres	0.24
TOTAL REMAINING EMPLOYMENT AREA	6.44 Acres		

PARKING TABULATION

GROSS GENERATION DATA

	OFFICE BUILDING NO. 3	M&T BANK
LOWER LEVEL (MECHANICAL & STORAGE ONLY)	10,000 S.F. (see note #30)	NA
GROUND FLOOR	21,226 S.F.	9,400
SECOND THRU 4TH FLOOR (@ 21,226 S.F. EACH)	81,650 S.F.	NA
TOTAL FLOOR REABLE AREA*	108,856 S.F.	9,400
PARKING RATIO REQUIRED PER 1,000 S.F.	3.5	5.0
NUMBER OF SPACES REQUIRED	360 SPACES	17 SPACES

PARKING PROVIDED: 355 SPACES ON PARCEL C-21, 20 SPACES ON PARCEL C-22 AND 824 ON-SITE SPACES TOTAL AVAILABLE AS SHARED PARKING FOR THE BUSINESSES ON THE EAST SIDE OF MAPLE LAWN BLVD. SEE SHEET 12 FOR THE SHARED PARKING ANALYSIS.

* AS DEFINED BY BOMA (BUILDING OWNERS AND MANAGERS ASSOCIATION) GUIDELINES.

PARKING DISTRIBUTION

PARCEL NUMBER	C-21	C-22	C-3	C-10 & 11	TOTAL
4'x8' PARKING SPACES (40')	341	14	302	114	771
PARALLEL PARKING SPACES	5	0	10	7	22
HANDICAP PARKING SPACES	4	1	8	8	26
TOTAL ON-SITE SPACES	355	20	320	129	824
ON-STREET PARKING SPACES	4	6	10	0	25
TOTAL PARKING PROVIDED	364	26	330	129	849

- TOTAL NUMBER OF OVERALL ADJUSTED REQUIRED PARKING SPACES = 763 SPACES PER THE SHARED PARKING ANALYSIS.
- SEE SHEET 3 FOR THE ENTIRE PARKING FIELD ON THE EAST SIDE OF MAPLE LAWN BOULEVARD (FOR THE ABOVE PARCELS) AND THE SHARED PARKING ANALYSIS.

ADDRESS CHART	
BUILDING NO.	STREET ADDRESS
3	8161 MAPLE LAWN BOULEVARD
BANK	8155 MAPLE LAWN BOULEVARD

WATER CODE:	SEWER CODE:
E21	7645000

SUBDIVISION NAME:		SECTION/AREA	PARCELS
MAPLE LAWN FARMS		BUSINESS DISTRICT/AREA 1	PARS. C-21 & C-22

PLAT NOS.	ZONE	TAX MAP	BLOCK	ELEC. DIST.	CENSUS TRACT
1694, 1791/18, 1956B & 20139	MXD-3	46	3 & 4	5	6051.02

DESIGN MANUAL VOLUME II HANDBOOK

1. THE HANOVER OF THE 10' HORIZONTAL CLEARANCE (PER DAY II, SECTION 8.4.A) BETWEEN THE UTILITY EASEMENT AND THE PROPOSED BUILDING WAS APPROVED ON 08/30/2006 WITH THE FOLLOWING STIPULATION:

- NO IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED WITHIN THE PUBLIC WATER SEWER AND UTILITY EASEMENTS THAT WILL IMPEDER OR HINDER ACCESS TO THE WATER OR SEWER MAINS.
- IMPROVEMENTS SUCH AS BUILDING OVERHANGS, DECKS, FENCINGS, AND TREES SHALL NOT BE PLACED WITHIN THE EASEMENT.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12915, EXPIRATION DATE: MAY 26, 2009.

THE PURPOSE FOR REVISING THIS SITE DEVELOPMENT PLAN IS TO SHOW THE CHANGES ASSOCIATED WITH M&T BANK ADDITION IN THE PARKING LOT ON THE NORTH SIDE OF OFFICE BUILDING NO. 3

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: FEBRUARY 3, 2005 and DECEMBER 7, 2006

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Maria D. Woyle* 2/25/08

Chief, Division of Land Development: *Cindy Hamt* 2/25/08

Chief, Development Engineering Division: *[Signature]* 2/21/08

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 FAX: 301-989-2524

10/10/08
1/15/08
DATE

Rev. site analysis & FAR charts, rev. parking tabulation
revised title block, incorporated changes associated with M&T Bank

BY: *[Signature]*
APPR.

PREPARED FOR:
G&R Maple Lawn, Inc. et al.
Suite 410, Woodhome Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

REVISED COVER SHEET

MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK
PARCELS C-21 and C-22
PLAT NOS. 1694, 1791/18, 1956B and 20139

SCALE: AS SHOWN
ZONING: MXD-3
G. L. W. FILE NO.: 03053

DATE: Jan./2008
TAX MAP - GRID: 46: 3&4
SHEET: 1 OF 12

SITE DEVELOPMENT LEGEND

- 366 --- EX. CONTOUR
- 302 --- PROP. CONTOUR
- x 432.10 L.O.D. SPOT ELEVATION
- LIMIT OF DISTURBANCE
- EX. STORM DRAIN
- PROP. STORM DRAIN
- PROP. STORM DRAIN STRUCTURE NO.
- EX. S.S. EX. SANITARY SEWER
- S.S. (priv) PROP. SANITARY SEWER
- EX. 2"X EXISTING WATERLINE & FIRE HYDRANT
- 2"X (priv) PROPOSED WATERLINE
- EX. CURB & GUTTER
- CONCRETE CURB & GUTTER (DET. 3/4)
- GUTTER PAN
- FACE OF CURB
- FT/FC
- BACK OF CURB
- SPILL (REVERSE) G/G PORTION
- E.O.P. EDGE OF PAVEMENT
- CONCRETE/PAVER SIDEWALK (DET. 6/4)
- EASEMENT AREA (SHADED)
- ⑥ NUMBER OF PARKING SPACES
- ⑥ HANDICAPPED PARKING DESIGNATION
- ☀ EX. LIGHT FIXTURE & POLE
- ☀ PROP. LIGHT FIXTURES & POLE
- ☀ REFUSE DUMPSTER
- ☀ ELECTRICAL TRANSFORMER
- ▲ BUILDING INGRESS/EGRESS
- ⊙ SOIL BORING LOCATION AND NO.
- FC2 FOREST CONSERVATION ESMT. (FCE)
- SB --- STREAM BUFFER
- WB --- WETLAND BUFFER

- NOTES:**
1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOOR LINE (BOTTOM OF CURB) AT THE PC'S/PT'S, CORNERS AND TERMINUSES.
 2. ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 3. EXCEPT FOR THE STORM DRAIN PER F-03-01 (WITHIN THE UTILITY EASEMENT) ALL OTHER ON-SITE STORM ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. ALL ON-SITE WATER ARE PRIVATELY MAINTAINED EXCEPT THE PORTION OF THE 8" W AND FIRE HYDRANTS THAT ARE WITHIN THE 'PUBLIC WATER & UTILITY EASEMENT'. ALL ON-SITE SEWER LINES AND STRUCTURES PRIVATE AND SHALL BE PRIVATELY MAINTAINED.
 4. FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE DPW CONTRACT NO. 24-4262-D.
 5. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (BLDG, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
 6. ALL CURB RADI ARE 5' (FACE OF CURB @ FLOOR LINE) UNLESS NOTED OTHERWISE.
 7. BRICK POINT ALL THE BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 8. VEHICULAR ACCESS TO PARCEL C-6 FROM MAPLE LAWN BLVD. IS RESTRICTED TO THE 2 LOCATIONS SHOWN (PER F-03-01) IN THE VICINITY OF STATIONS 8+40 AND 11+40.
 9. THE FOUNDATION OF THE WAREHOUSE BUILDING NORTH WALL SHALL BE AT OR BELOW ELEVATION 426.00 (SEE HILLS-GARNES GEOTECHNICAL ENGINEERING STUDY OF OCTOBER 20, 2006 FOR ADDITIONAL INFORMATION). FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER.
 10. NO IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED WITHIN THE PUBLIC WATER SEWER AND UTILITY EASEMENTS THAT WILL IMPERE OR HINDER ACCESS TO THE WATER OR SEWER MAINS. IMPROVEMENTS SUCH AS, BUILDING OVERHANGS, DECKS, FENCING, AND TREES SHALL NOT BE PLACED WITHIN THE EASEMENT.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12415, EXPIRATION DATE, MAY 26, 2009.

APPROVED

PLANNING BOARD OF HOWARD COUNTY

DATE **FEBRUARY 3, 2005 and DECEMBER 7, 2006**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director *M. A. Leight* 2/25/05
 Chief, Division of Land Development *Janice Hunter* 2/25/05
 Chief, Development Engineering Division *W. J. ...* 2/25/05

GLWGUTSCHICK LITTLE & WEBER, P.A.

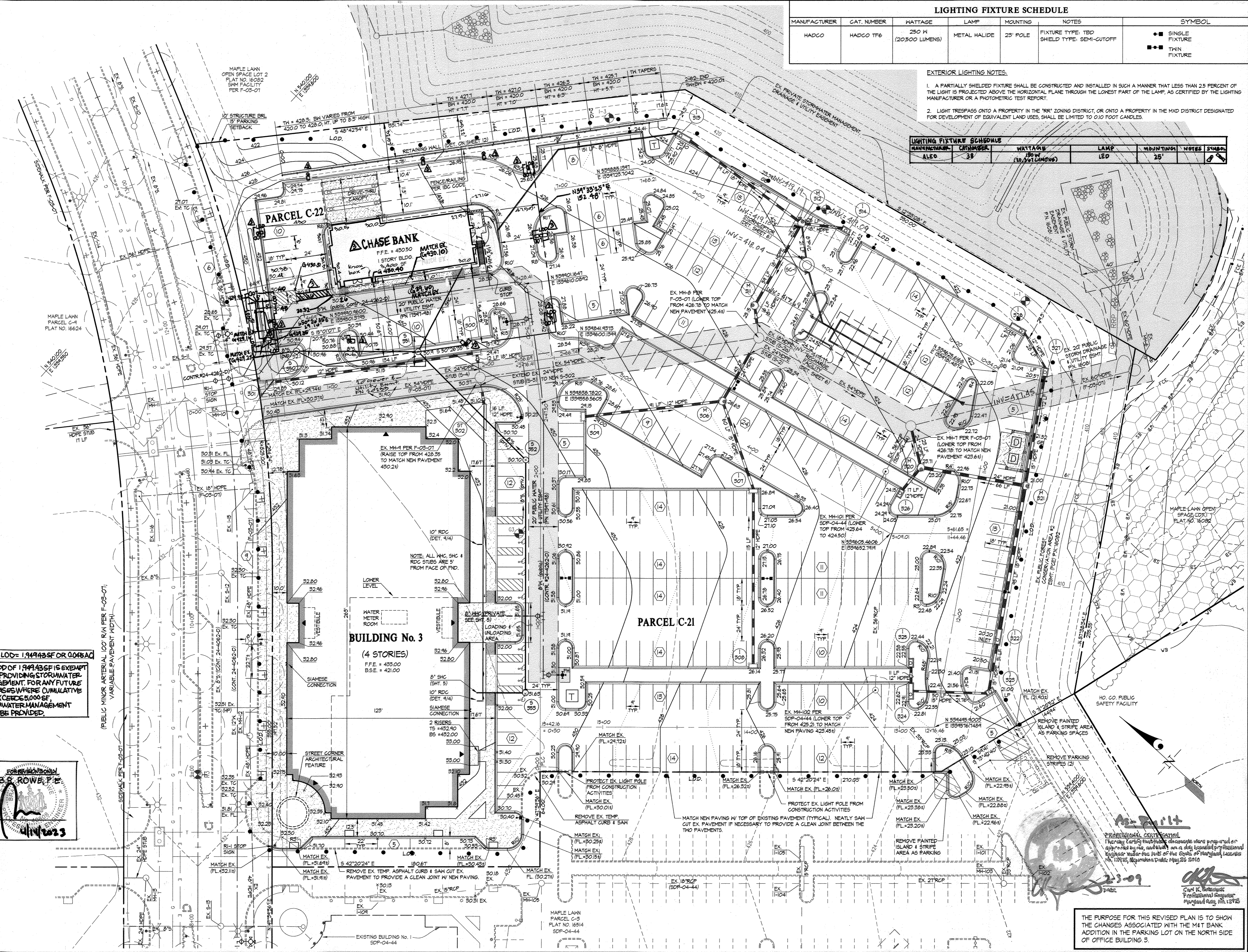
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

TOTAL LOD: 1,949,435 SF OR 0.045 AC

THE LOD OF 1,949,435 SF IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT, FOR ANY FUTURE INCREASES WHERE CUMULATIVE LOD EXCEEDS 5,000 SF STORMWATER MANAGEMENT SHALL BE PROVIDED.

FOR INFORMATION
B. C. ROWE, P.E.
 4/11/2003

03/09/13	REV. NEW TENANT TO CHASE BANK; NEW SITE LIGHTS; ADDITION OF PATHWAY TO RIGHT OF WAY	L3 W	
10/12/08	Rev bank footprint & add easmt for conversion of sewer (to 200 - 220) to public	k1 p	
1/15/08	added m&t bank and revised parking for bank		



LIGHTING FIXTURE SCHEDULE

MANUFACTURER	CAT. NUMBER	WATTAGE	LAMP	MOUNTING	NOTES	SYMBOL
HADCO	HADCO TF6	250 W (20,500 LUMENS)	METAL HALIDE	29' POLE	FIXTURE TYPE: TBD SHIELD TYPE: SEMI-CUTOFF	● SINGLE FIXTURE ■ THIN FIXTURE

- EXTERIOR LIGHTING NOTES:**
1. A PARTIALLY SHIELDED FIXTURE SHALL BE CONSTRUCTED AND INSTALLED IN SUCH A MANNER THAT LESS THAN 25 PERCENT OF THE LIGHT IS PROJECTED ABOVE THE HORIZONTAL PLANE THROUGH THE LOWEST PART OF THE LAMP, AS CERTIFIED BY THE LIGHTING MANUFACTURER OR A PHOTOMETRIC TEST REPORT.
 2. LIGHT TRESPASS ONTO A PROPERTY IN THE 'RR' ZONING DISTRICT, OR ONTO A PROPERTY IN THE 'HD' DISTRICT DESIGNATED FOR DEVELOPMENT OF EQUIVALENT LAND USES, SHALL BE LIMITED TO 0.10 FOOT CANDLES.

LIGHTING FIXTURE SCHEDULE

MANUFACTURER	CATEGORY	WATTAGE	LAMP	MOUNTING	NOTES	SYMBOL
ALEO	38	250 W (19,000 LUMENS)	LED	25'		●

PREPARED FOR:
 G&R Maple Lawn, Inc. et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

REVISED SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and CHASE BANK
PARCELS C-21 and C-22
 PLAT Nos. 16514, 17397/98, 10602 and 20133

ELECTION DISTRICT No. 5

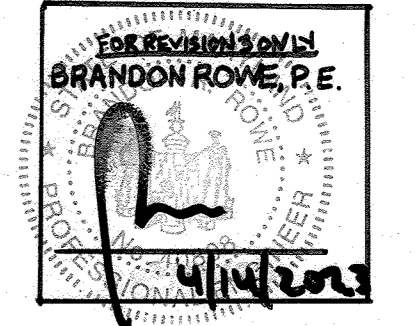
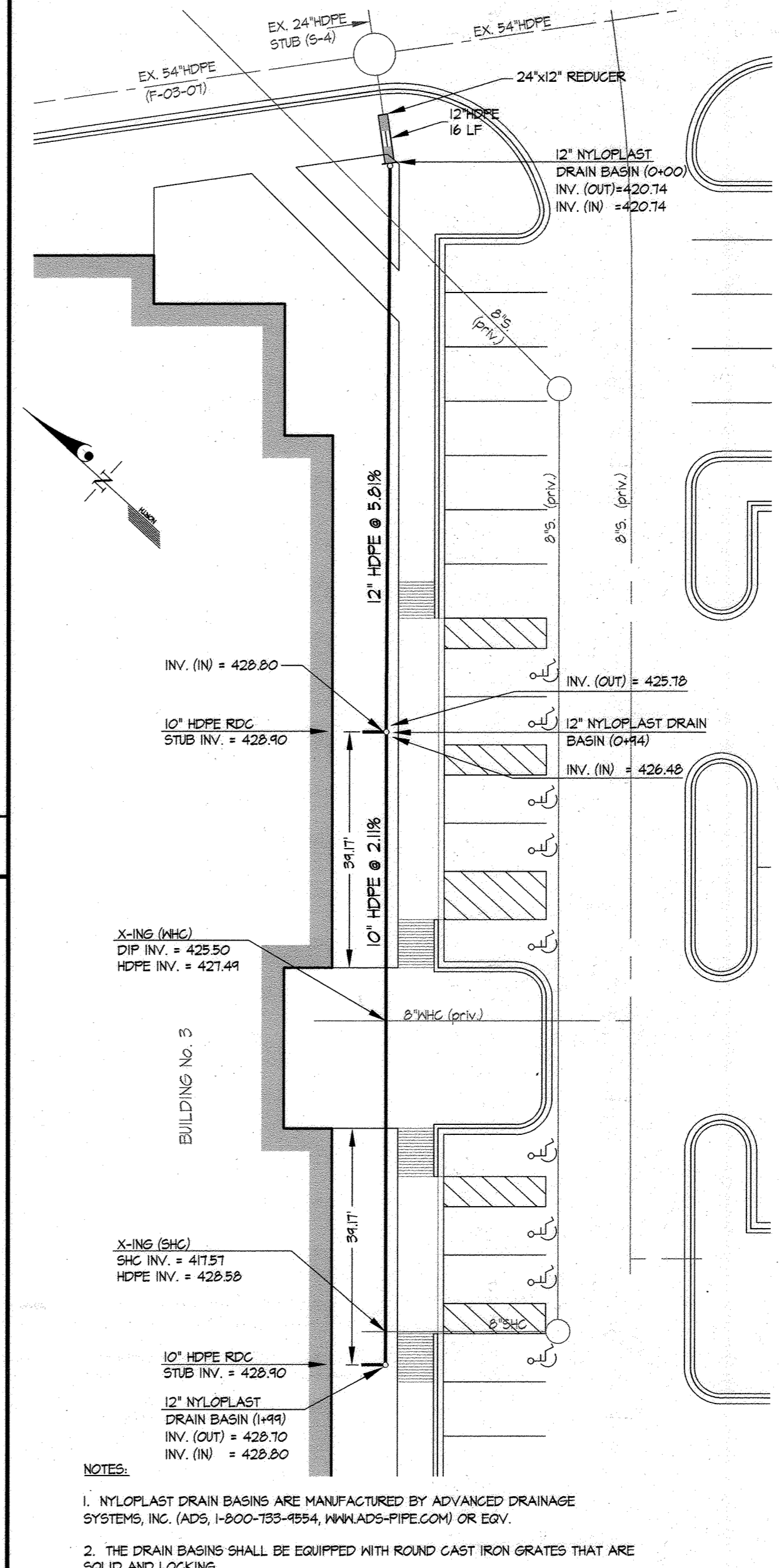
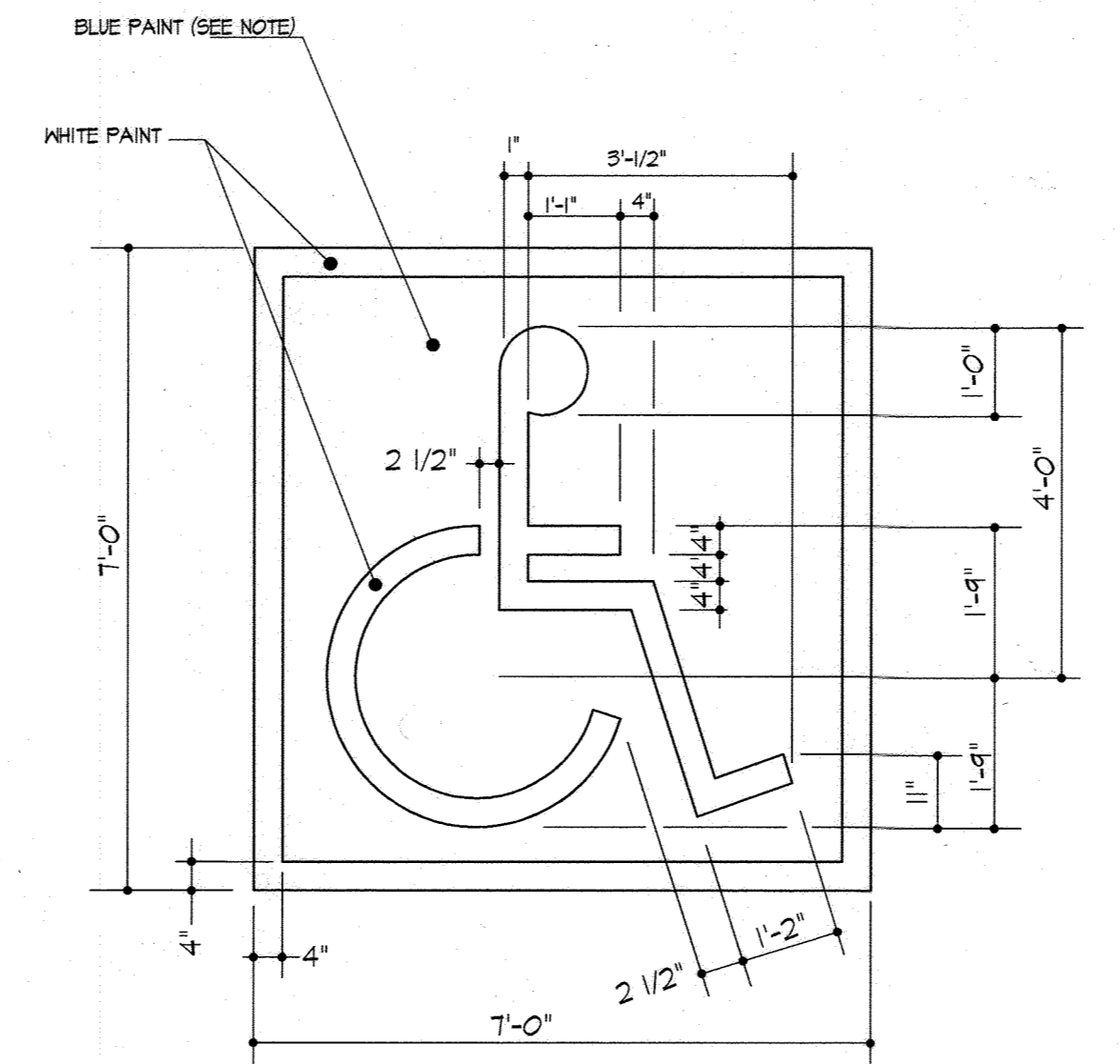
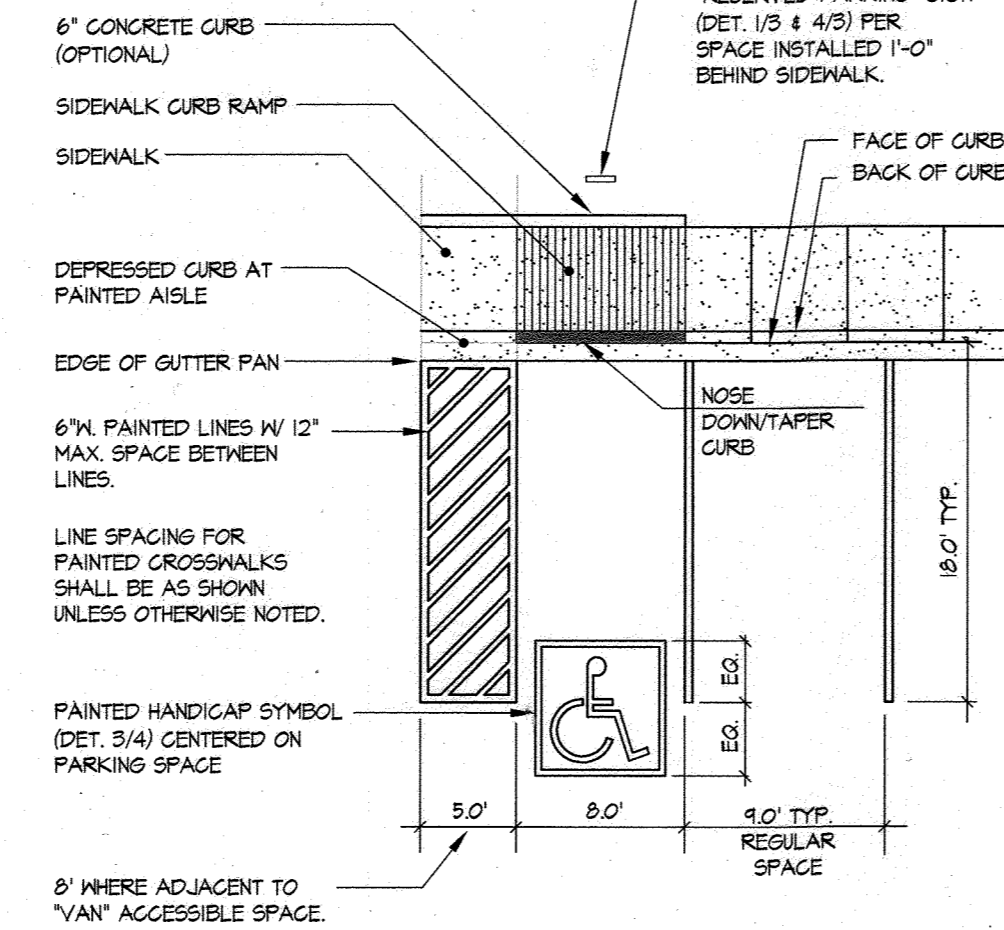
SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
Jan./2008	46: 3&4	2 OF 12

THE PURPOSE FOR THIS REVISED PLAN IS TO SHOW THE CHANGES ASSOCIATED WITH THE MAT BANK ADDITION IN THE PARKING LOT ON THE NORTH SIDE OF OFFICE BUILDING 3.



GENERAL NOTES:

1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL RT-8.
2. ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE PLAN.
3. SPACES INDICATED ON SITE PLAN AS "VAN" ACCESSIBLE SHALL BE SIGNED ACCORDINGLY.
4. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/ THE TOP OF THE SIGN 4'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
5. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
6. COLORS: LEGEND AND BORDER - GREEN
SYMBOL - WHITE ON BLUE BACKGROUND
BACKGROUND - WHITE

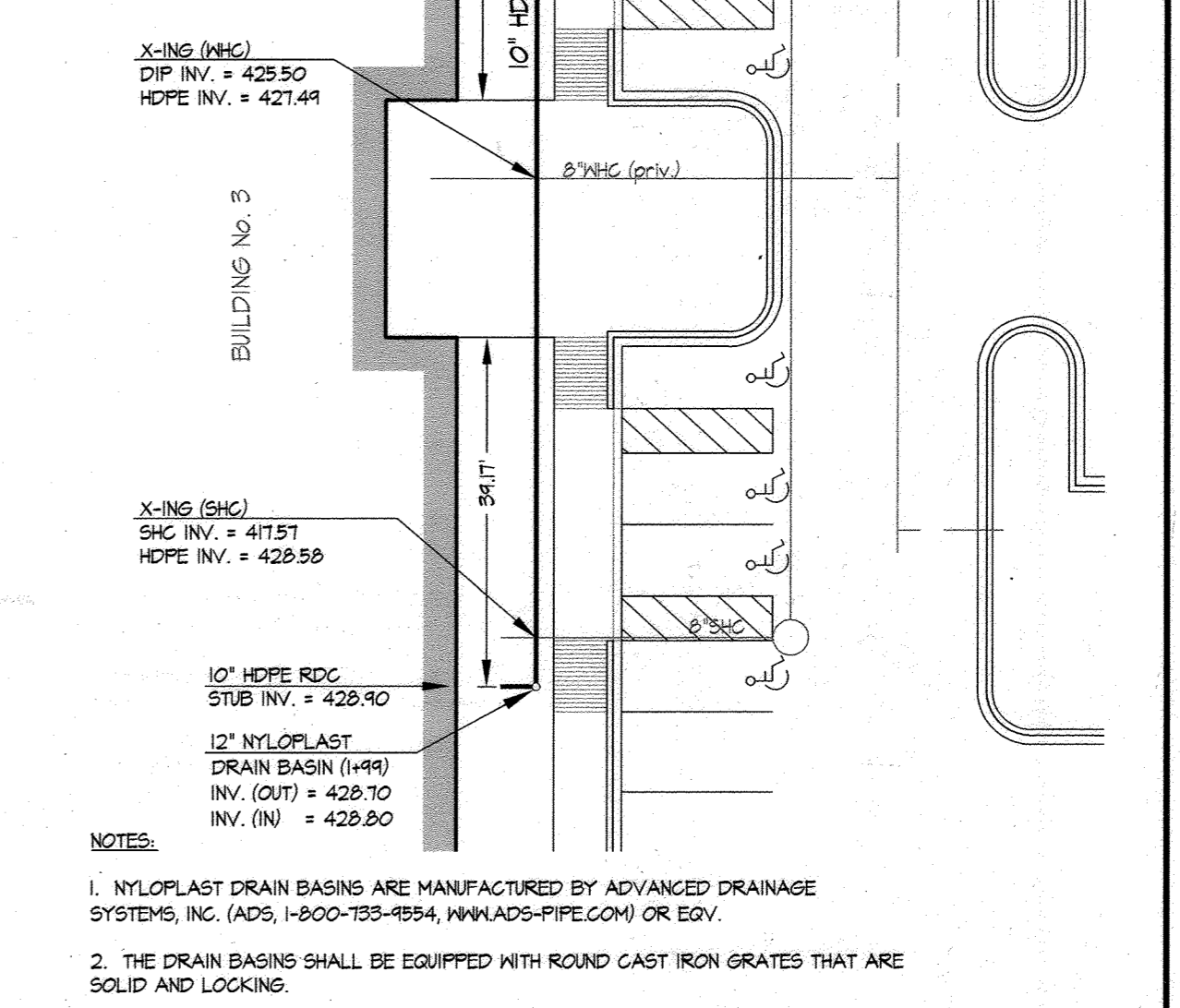
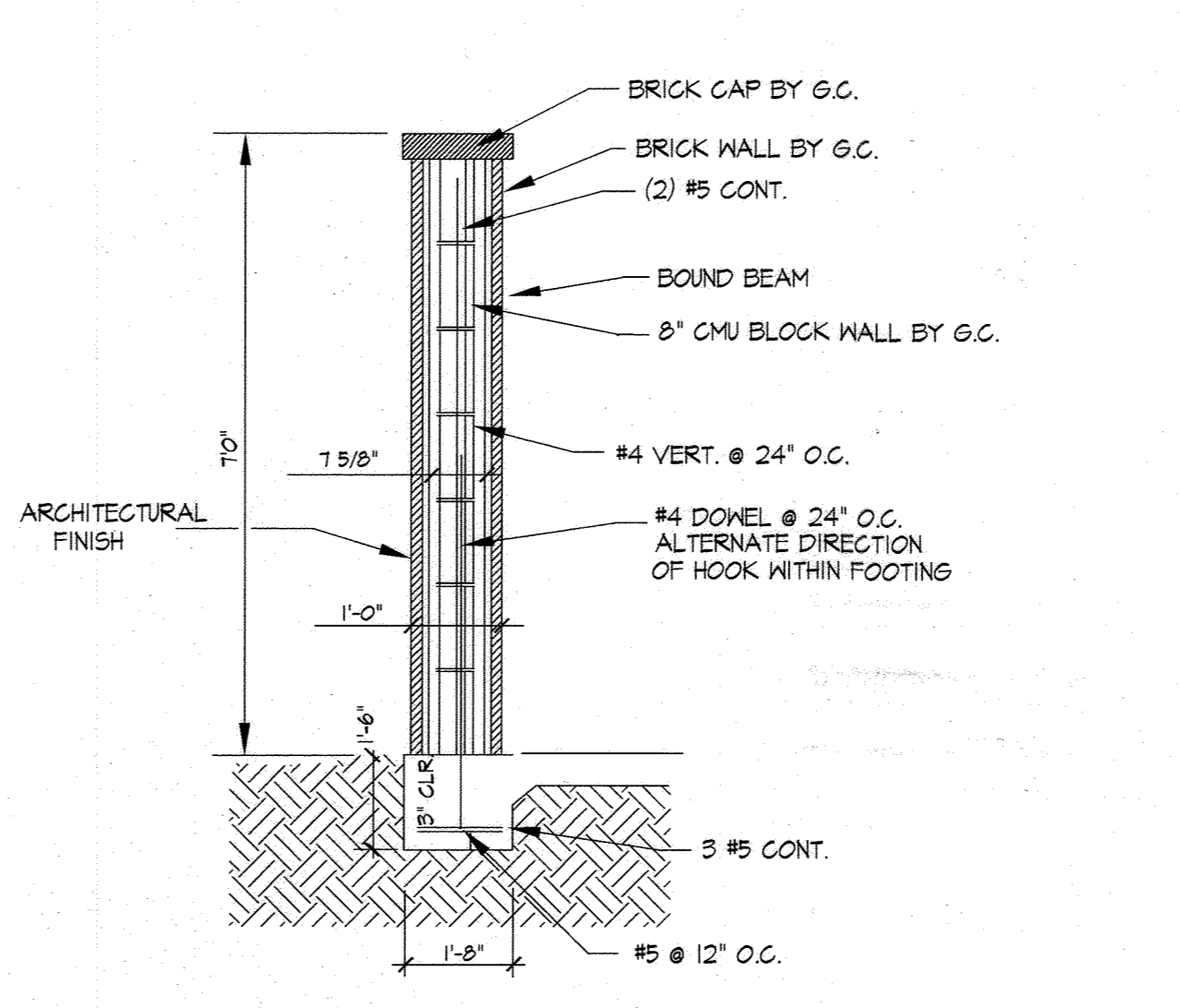
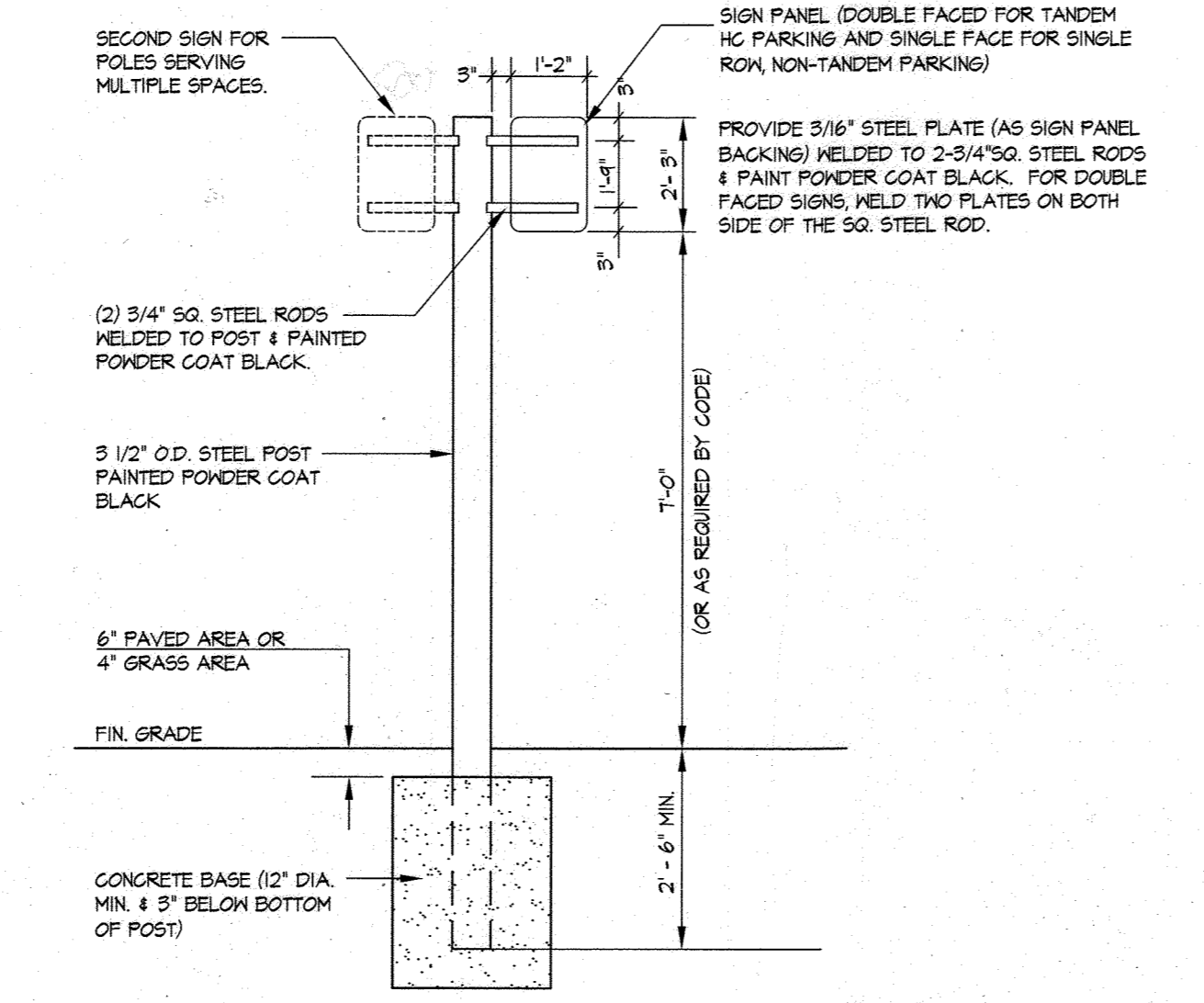
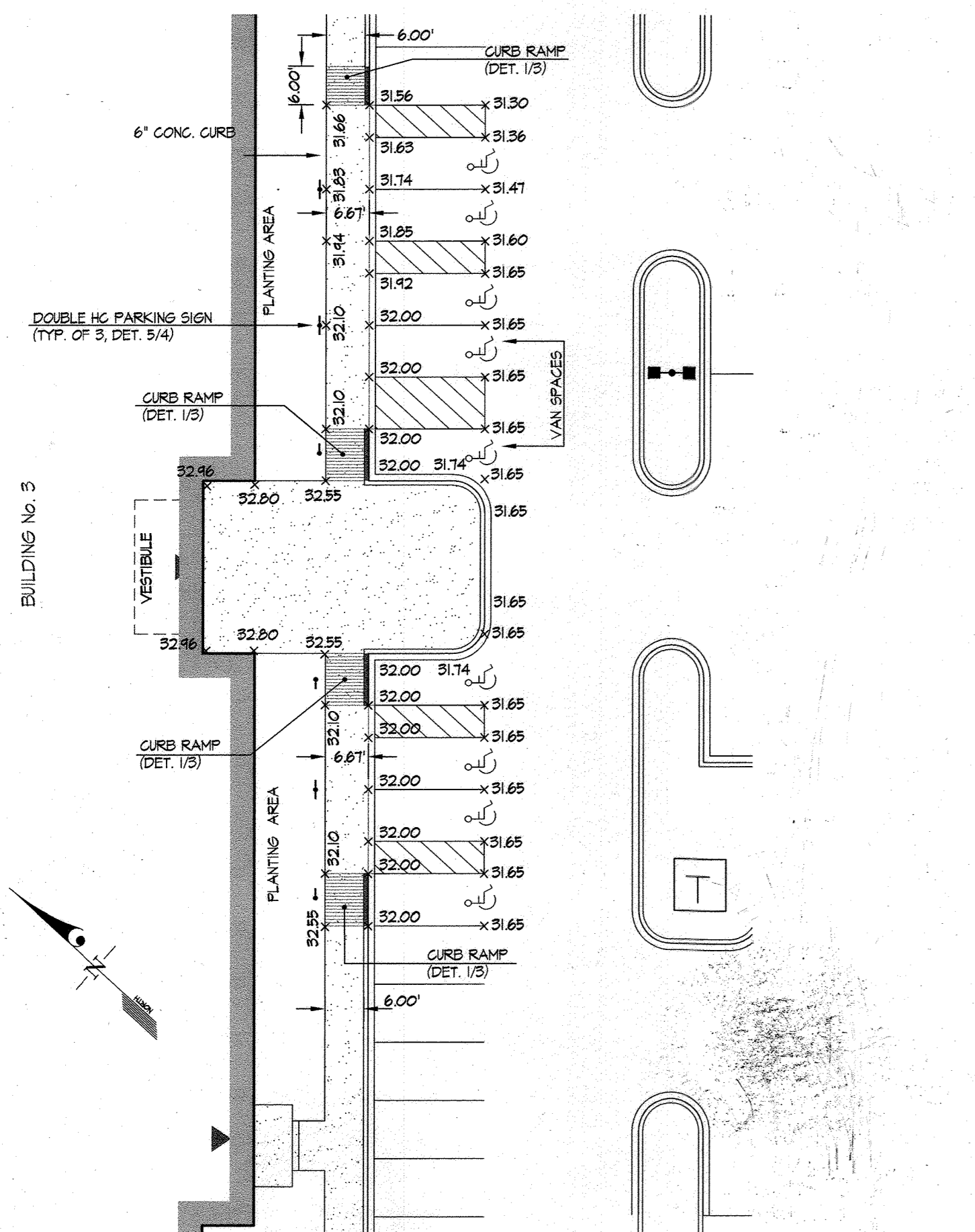


1 HANDICAP PARKING SIGNS DETAIL NO SCALE

2 PARKING SPACE LAYOUT NO SCALE

3 HANDICAP SPACE STENCIL LAYOUT NO SCALE

7 ROOF DRAIN CONNECTIONS (RDC) DETAIL SCALE: 1"=20'



4 ACCESSIBLE ROUTE TO BUILDING No. 3 EAST ENTRANCES SCALE: 1"=20'

5 POST and SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE

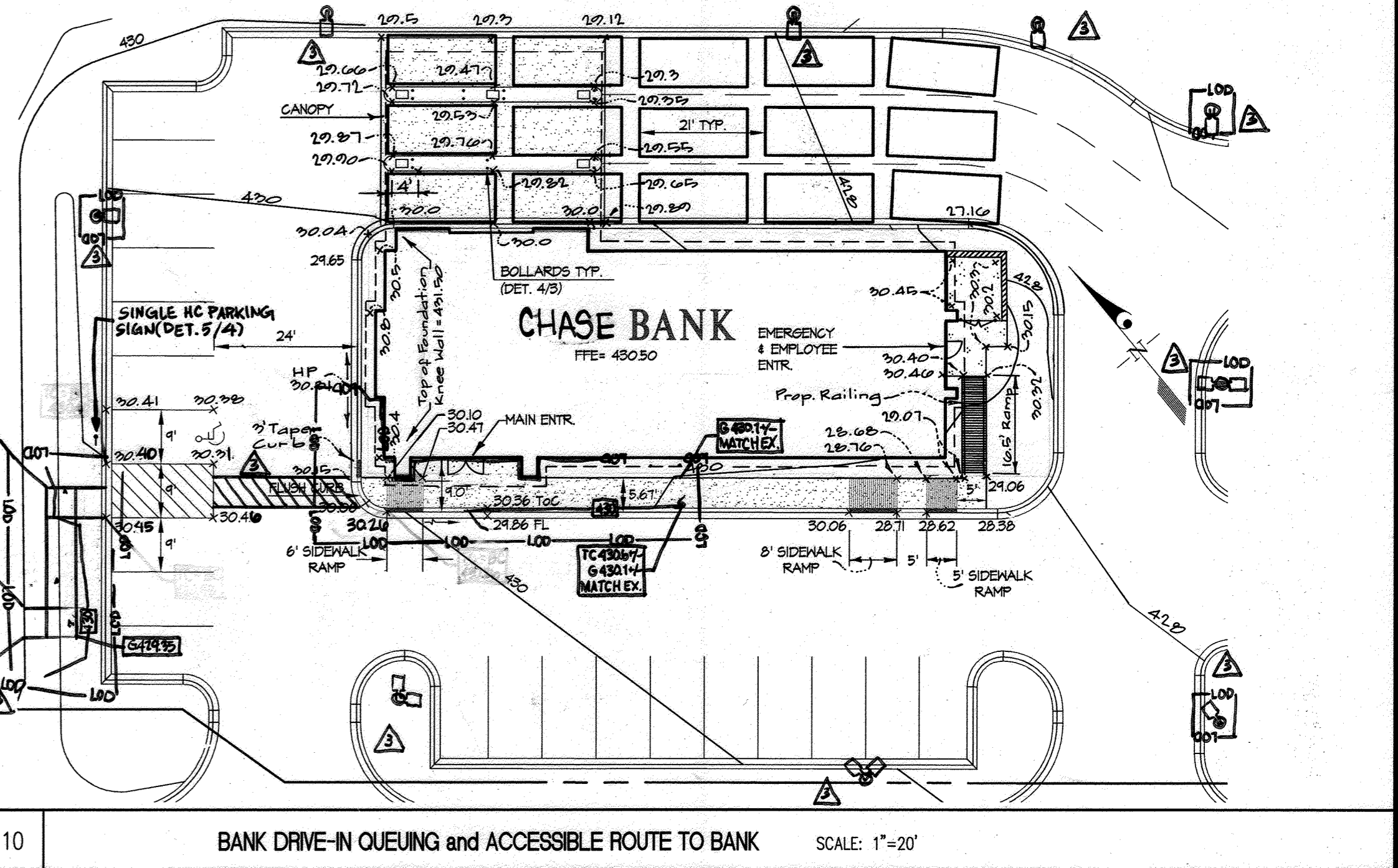
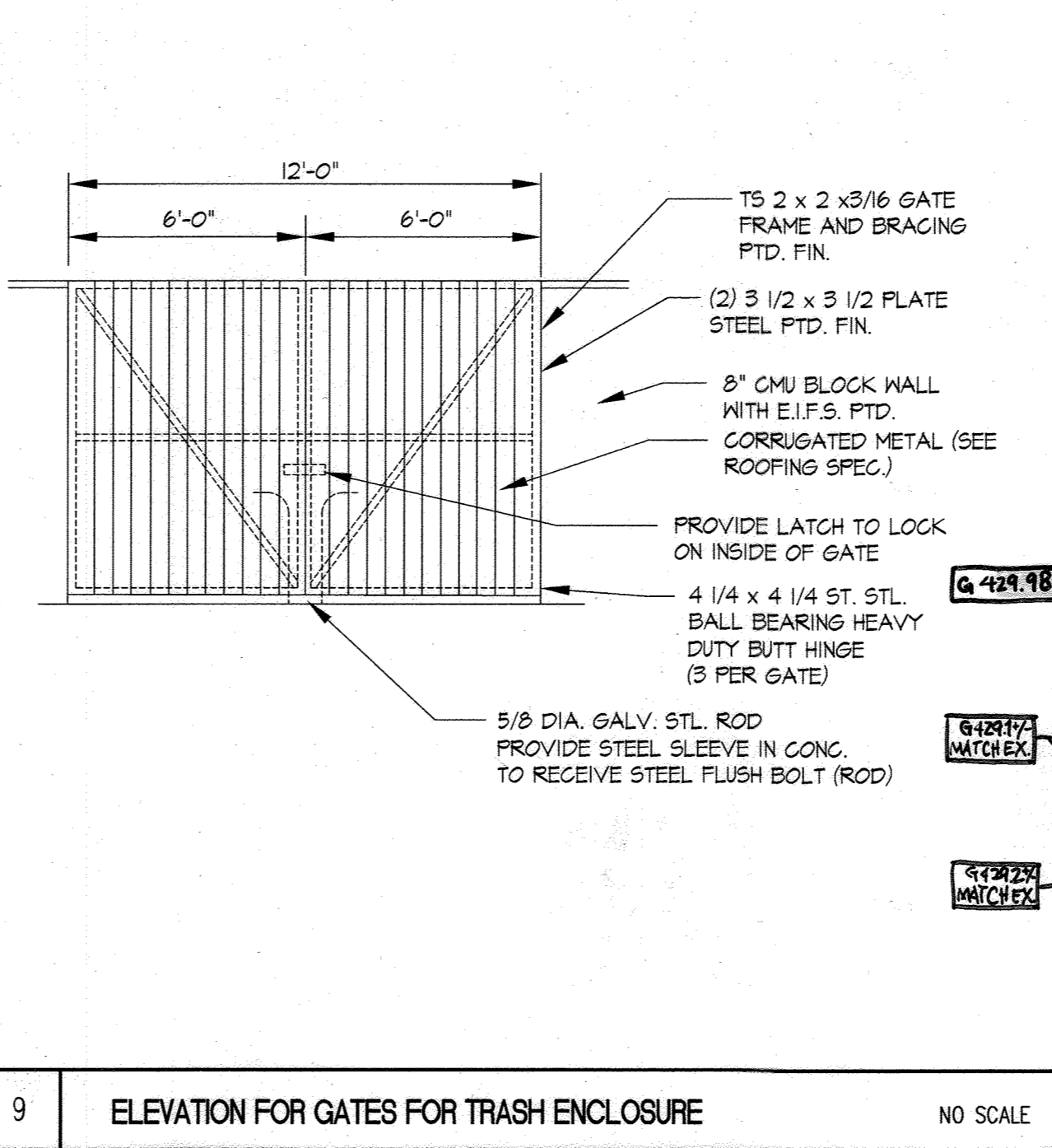
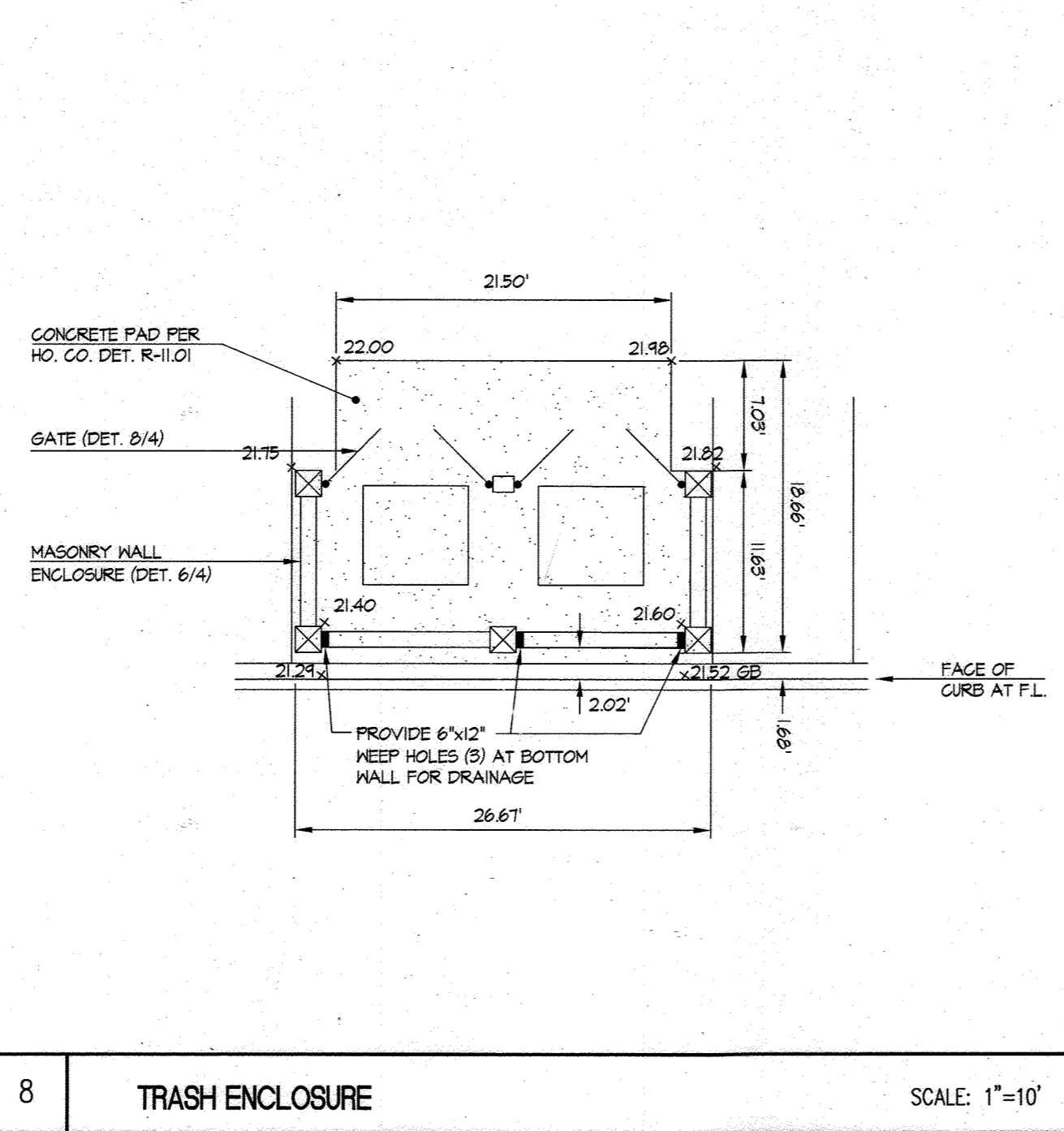
6 SECTION OF STONE WALL FOR TRASH ENCLOSURE NO SCALE

7 ROOF DRAIN CONNECTIONS (RDC) DETAIL SCALE: 1"=20'

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE FEBRUARY 3, 2005 and DECEMBER 7, 2006
KS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director *Frankie LaCaille* 2/25/04
Chief, Division of Land Development *Andy Hahn* 2/25/08
Chief, Development Engineering Division *Chris Williams* 2/21/08

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008.



8 TRASH ENCLOSURE SCALE: 1"=10'

9 ELEVATION FOR GATES FOR TRASH ENCLOSURE NO SCALE

10 BANK DRIVE-IN QUEUING and ACCESSIBLE ROUTE TO BANK SCALE: 1"=20'

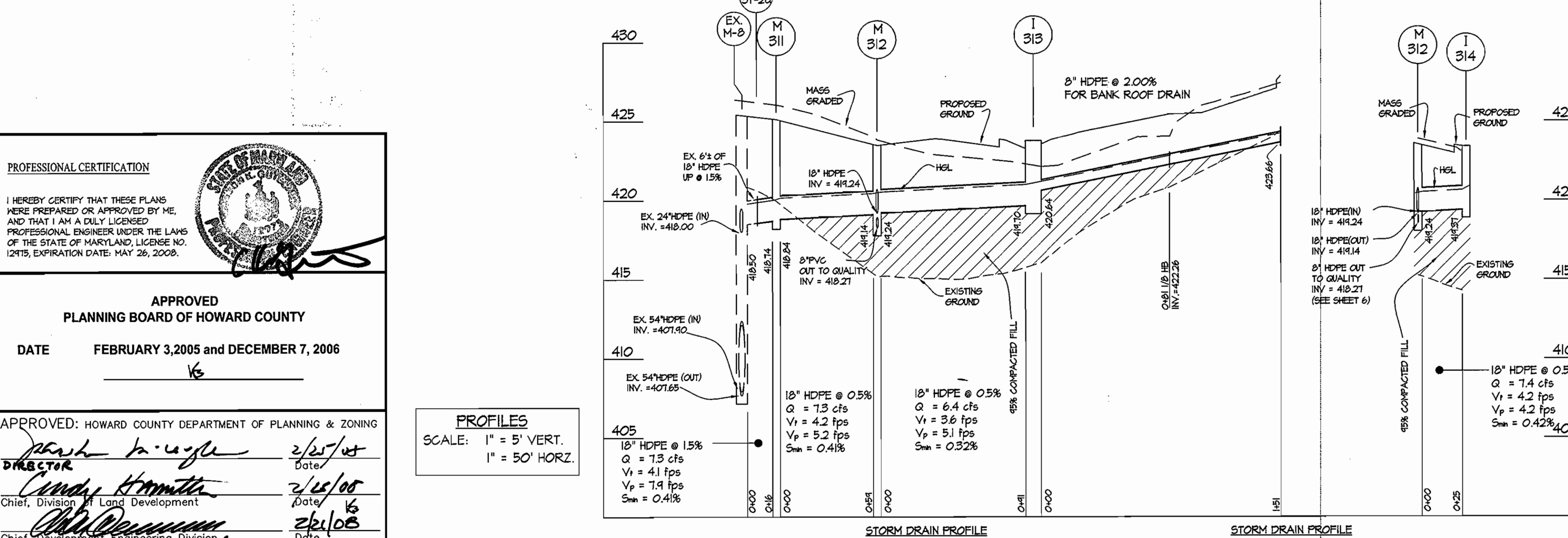
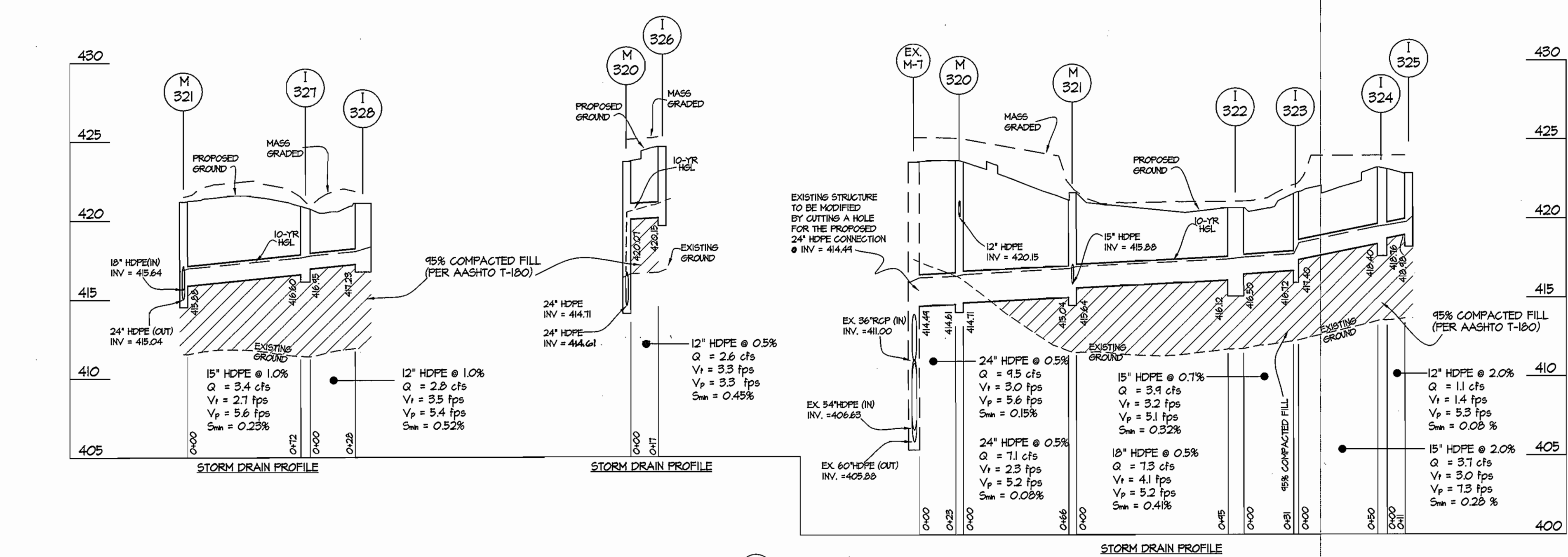
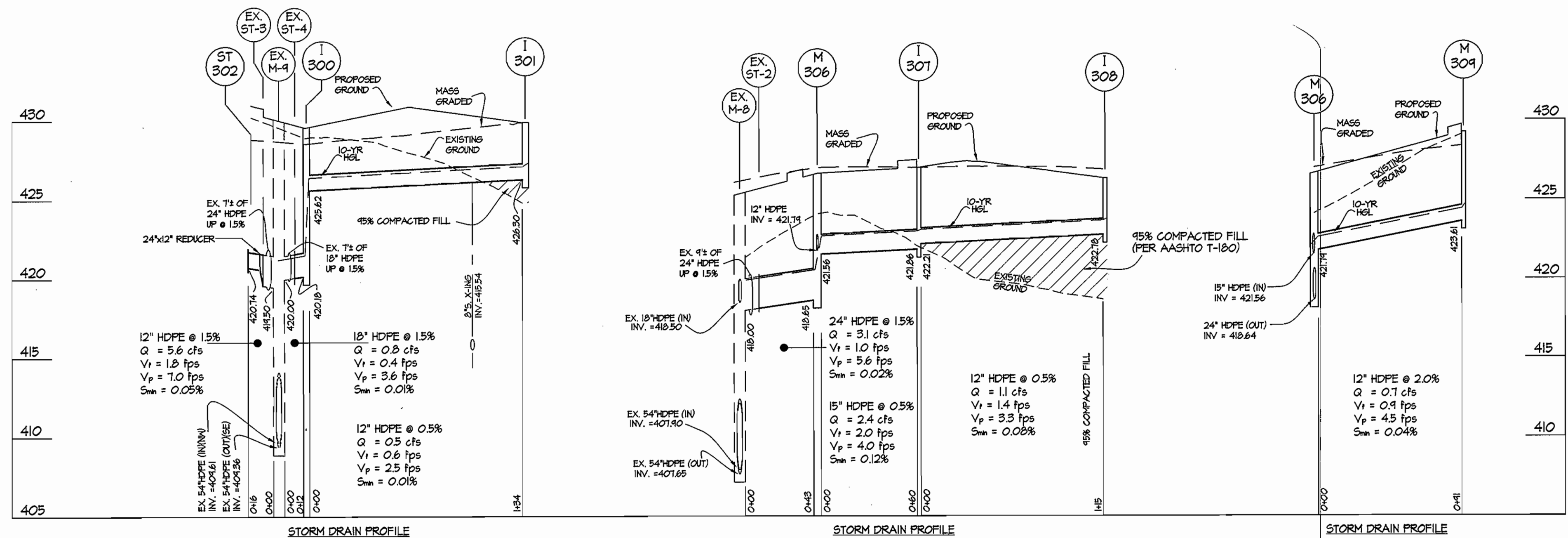
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
03/09/23	REV. NEW TENANT TO CHASE BANK; NEW SITE LIGHTS; ADDITION OF PATHWAY TO B.D.W.A. LSW	kjp	
10/23/08	Rev. Accessible Route to Bank Detail (det. 10)		
11/07	revised title block; add queuing and handicap accessibility detail for m&t bank		

PREPARED FOR:
G&R Maple Lawn, Inc. et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

REVISED SITE DETAILS		
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
Jan./2008	46: 3&4	4 OF 12

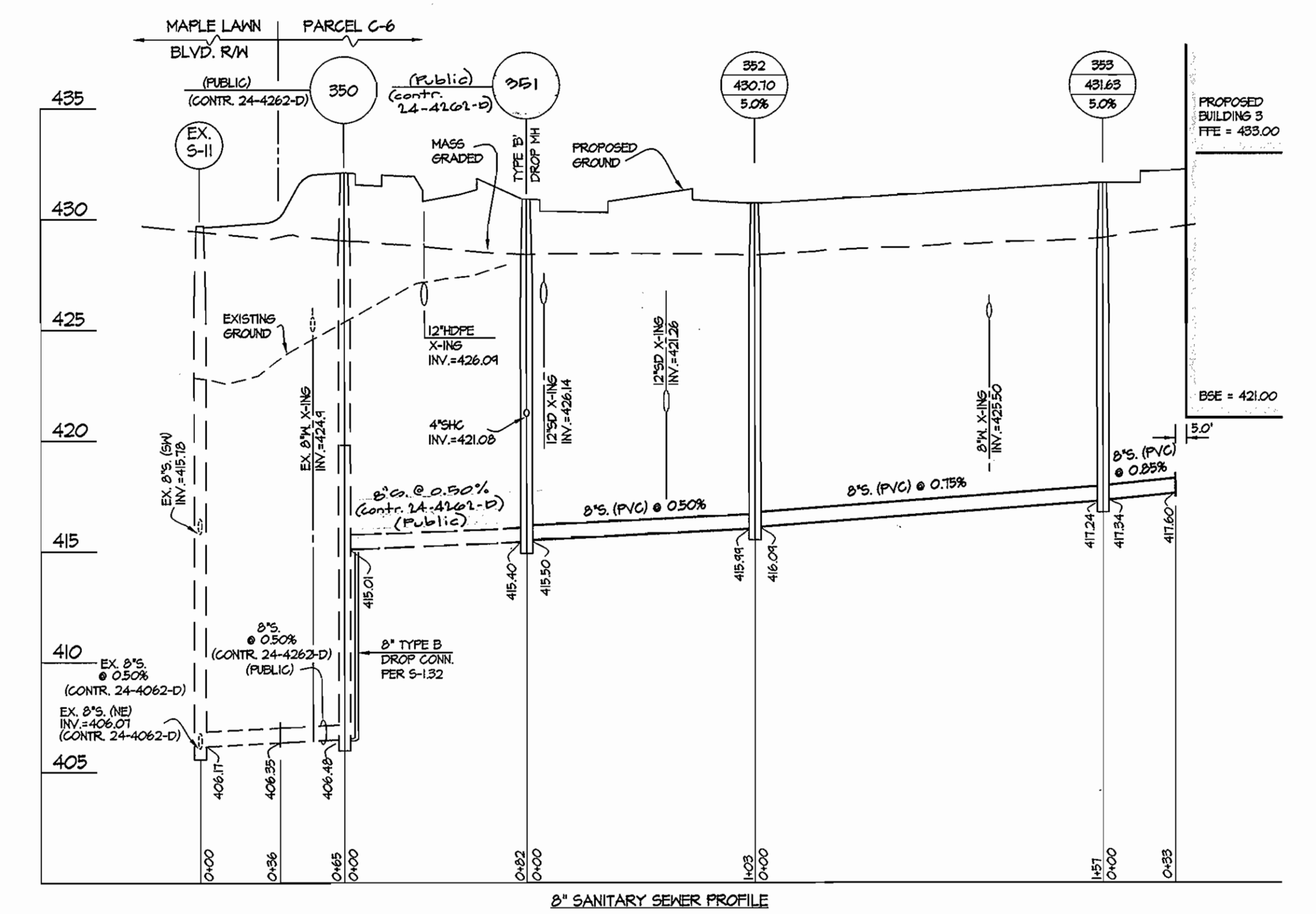
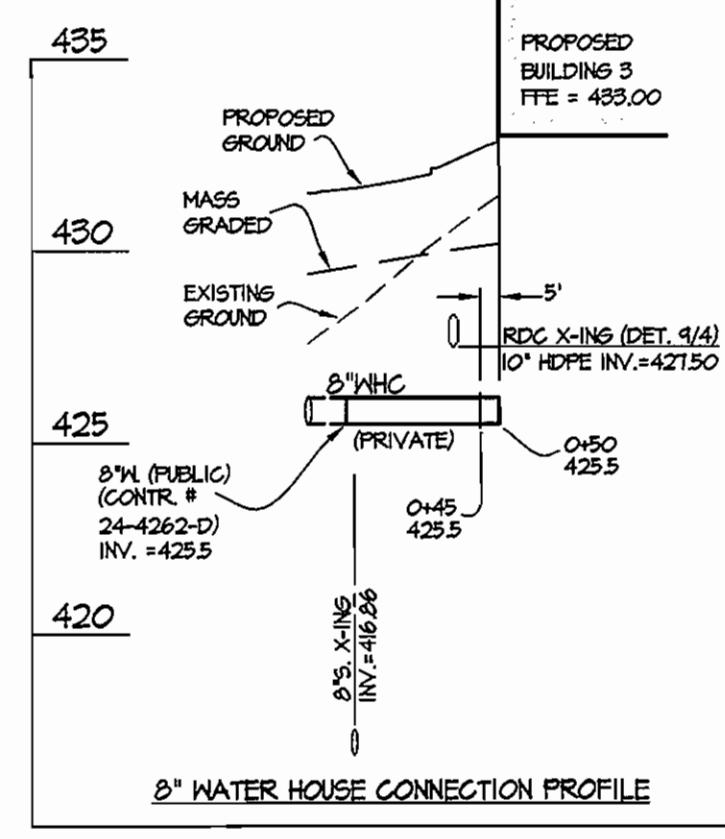
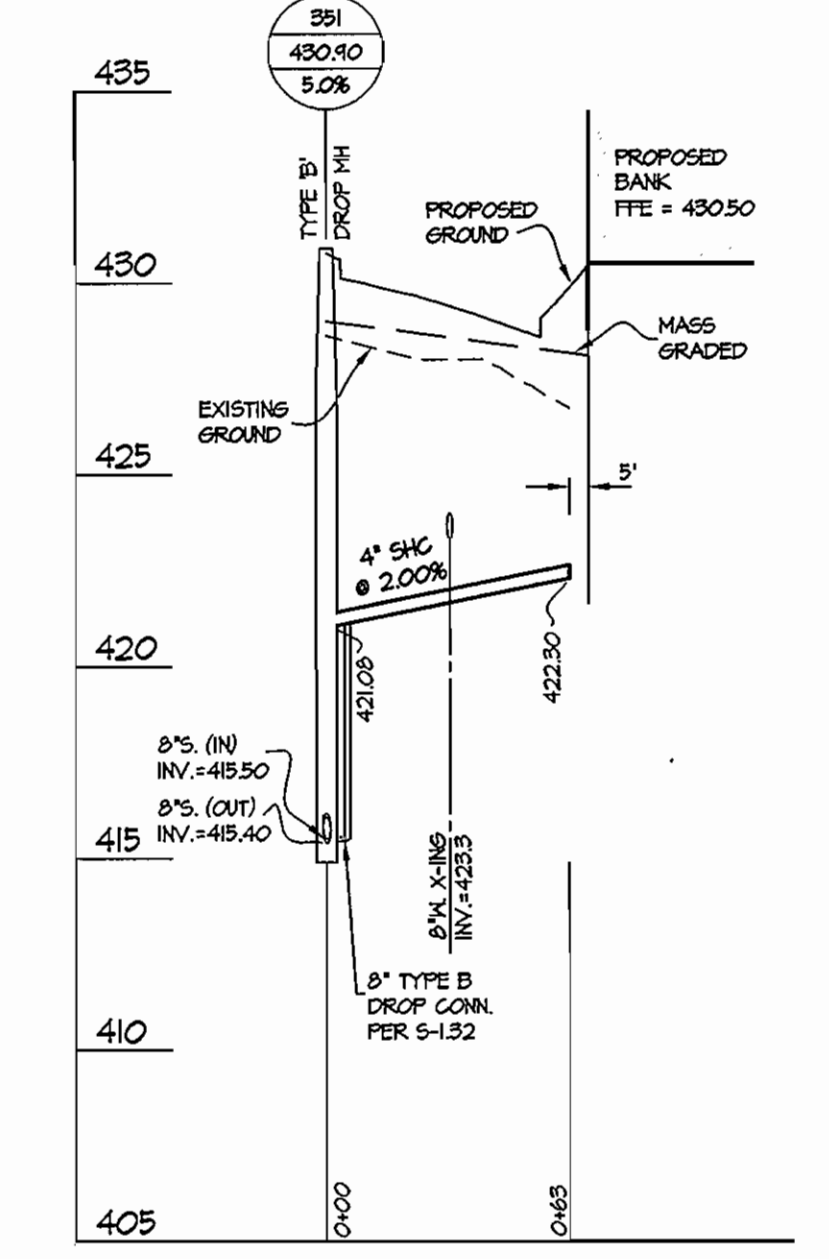
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and CHASE BANK
PARCELS C-21 and C-22
PLAT Nos. 16314, 17397/98, 109568 and 102333
HOWARD COUNTY, MARYLAND



SIZE & TYPE	QUANTITY	REMARKS
8" HDPE	151 LF.	
12" HDPE	946 LF.	
15" HDPE	125 LF.	
18" HDPE	285 LF.	
24" HDPE	180 LF.	
6" PVC	20 LF.	
8" PVC	154 LF.	
8" PVC PERF.	110 LF.	

- NOTES:**
- ALL STRUCTURES TO BE PRECAST.
 - COORDINATES FOR LOCATIONS ARE TO CENTERLINE OF THE STRUCTURE AT FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES.
 - SEE SHEET 6 FOR THE RECHARGE FACILITY DETAILS AND THE DIMENSIONS FOR THE BOTTOM SECTION OF MANHOLE 912.

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
I-300	DOUBLE 15"	3'-5"	430.25	430.18	425.62	420.18	HC SD 4.34	SEE PLANS
I-301	DOUBLE 15"	3'-5"	430.50	430.35	426.30	420.18	TERMINAL	HC SD 4.34
I-307	DOUBLE 15"	3'-5"	SUMP	427.54	422.21	421.86	HC SD 4.34	SEE PLANS
I-308	DOUBLE 15"	3'-5"	SUMP	426.64	422.78	421.86	HC SD 4.34	SEE PLANS
I-309	DOUBLE 15"	3'-5"	SUMP	424.65	423.61	421.86	HC SD 4.34	SEE PLANS
I-313	A-10	2'-6"	SUMP	423.60	420.64	419.10	HC SD 4.41	SEE PLANS
I-314	A-5	2'-6"	SUMP	423.27	419.37	416.12	HC SD 4.40	SEE PLANS
I-322	A-10	2'-6"	SUMP	420.10	416.50	416.12	HC SD 4.41	SEE PLANS
I-323	A-5	2'-6"	SUMP	421.50	417.40	416.12	HC SD 4.40	SEE PLANS
I-324	A-10	2'-6"	SUMP	423.85	423.12	418.76	HC SD 4.41	SEE PLANS
I-325	A-5	2'-6"	SUMP	422.88	418.98	416.12	TERMINAL	HC SD 4.40
I-326	A-5	2'-6"	SUMP	424.65	420.15	416.12	TERMINAL	HC SD 4.40
I-327	A-5	2'-6"	SUMP	421.07	416.45	416.60	HC SD 4.40	SEE PLANS
I-328	A-10	2'-6"	SUMP	421.33	421.04	417.23	TERMINAL	HC SD 4.41
M-306	MANHOLE	5'	---	426.63	421.74	418.65	HC G 5.13	SEE PLANS
M-311	MANHOLE	5'	---	425.15	418.24	418.74	HC G 5.13	SEE PLANS
M-312	MANHOLE	5'	---	423.42	419.24	419.14	HC G 5.13	SEE PLANS & SHEET 6
M-320	MANHOLE	5'	---	423.71	420.07	414.61	HC G 5.13	SEE PLANS
M-321	MANHOLE	5'	---	421.00	415.88	415.04	HC G 5.13	SEE PLANS



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12715, EXPIRATION DATE: MAY 29, 2009.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE: FEBRUARY 3, 2005 and DECEMBER 7, 2006

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 2/2/05
 Chief, Division of Land Development: *[Signature]* Date: 2/2/05
 Chief, Development Engineering Division: *[Signature]* Date: 2/2/05

PROFILES
 SCALE: 1" = 5' VERT.
 1" = 50' HORIZ.

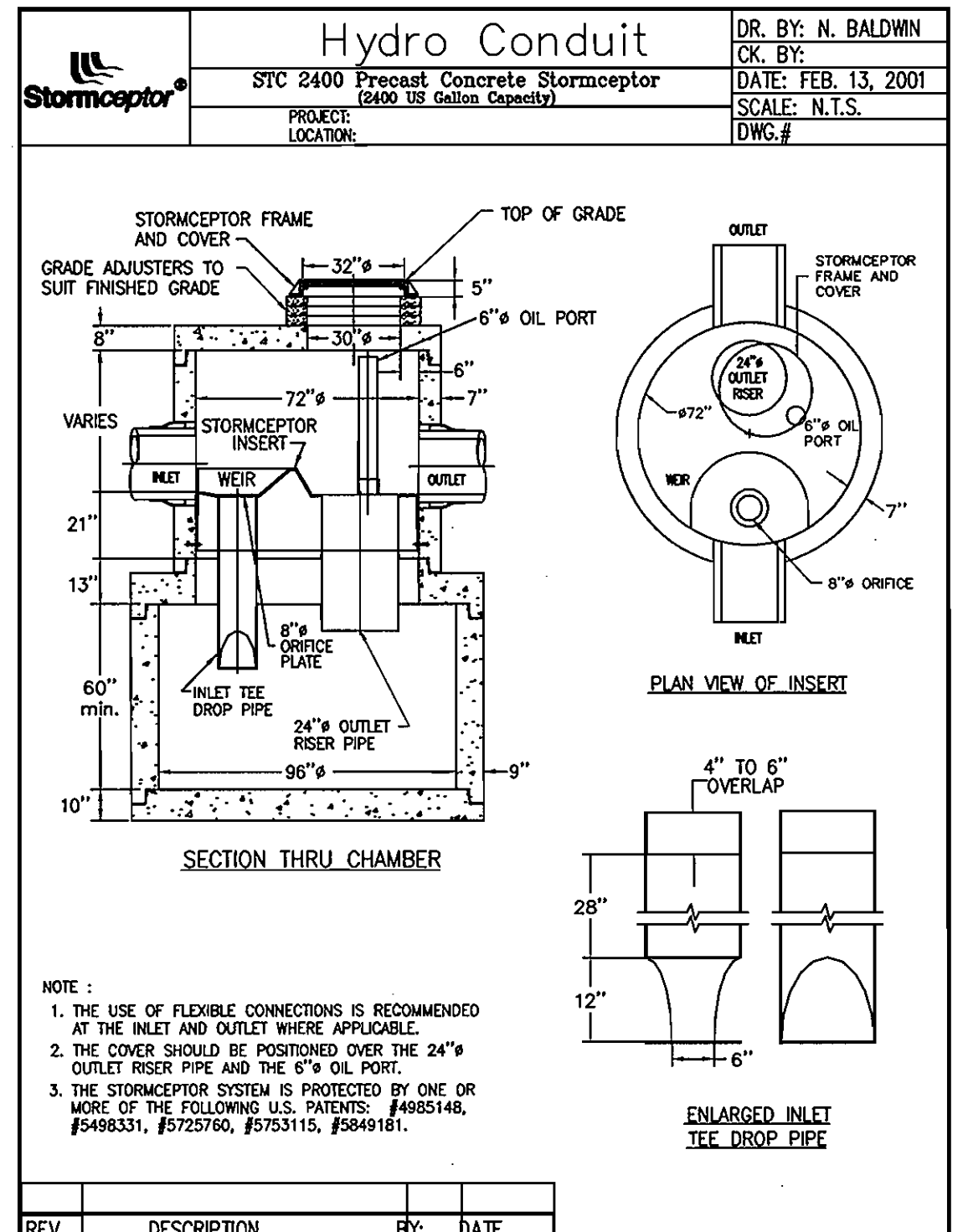
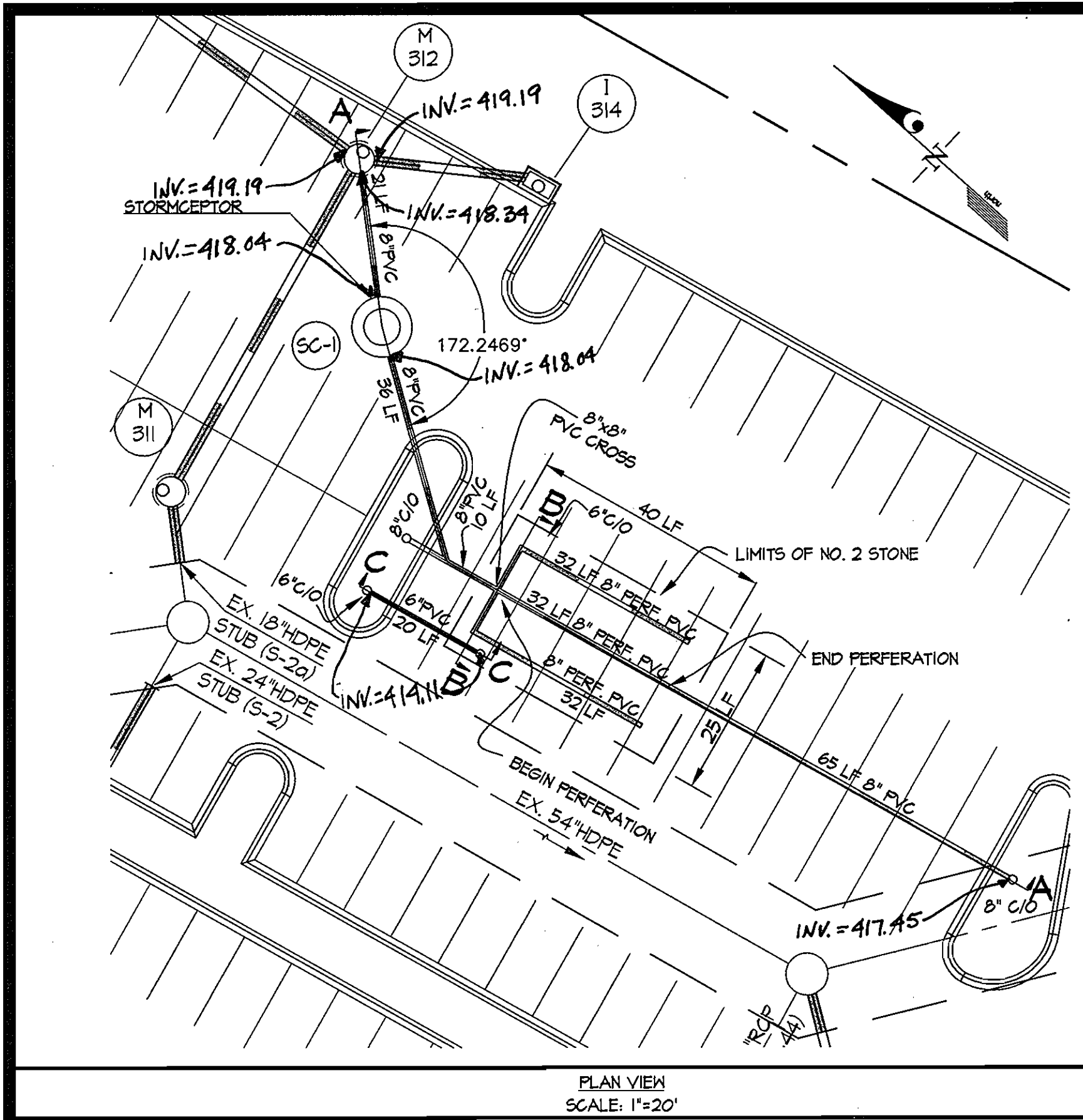
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-399-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
10/13/03	Changed Power (0-350 to 0-351) to Public		
1/15/08	revised title block; added 4" shc & 6" whc and roof drain connection for bank		

PREPARED FOR:
 G&R Maple Lawn, Inc. et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

REVISED UTILITY PROFILES
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK
 PARCELS C-21 and C-22
 PLAT Nos. 16514, 17397/98, 107508 and 20230
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
Jan./2008	46: 3&4	5 OF 12



Hydro Conduit
 DR. BY: N. BALDWIN
 DATE: FEB. 13, 2001
 SCALE: N.T.S.
 PROJECT: STC 2400 Precast Concrete Stormceptor
 LOCATION: 2400 N.T.S.

Stormceptor Order Request Form

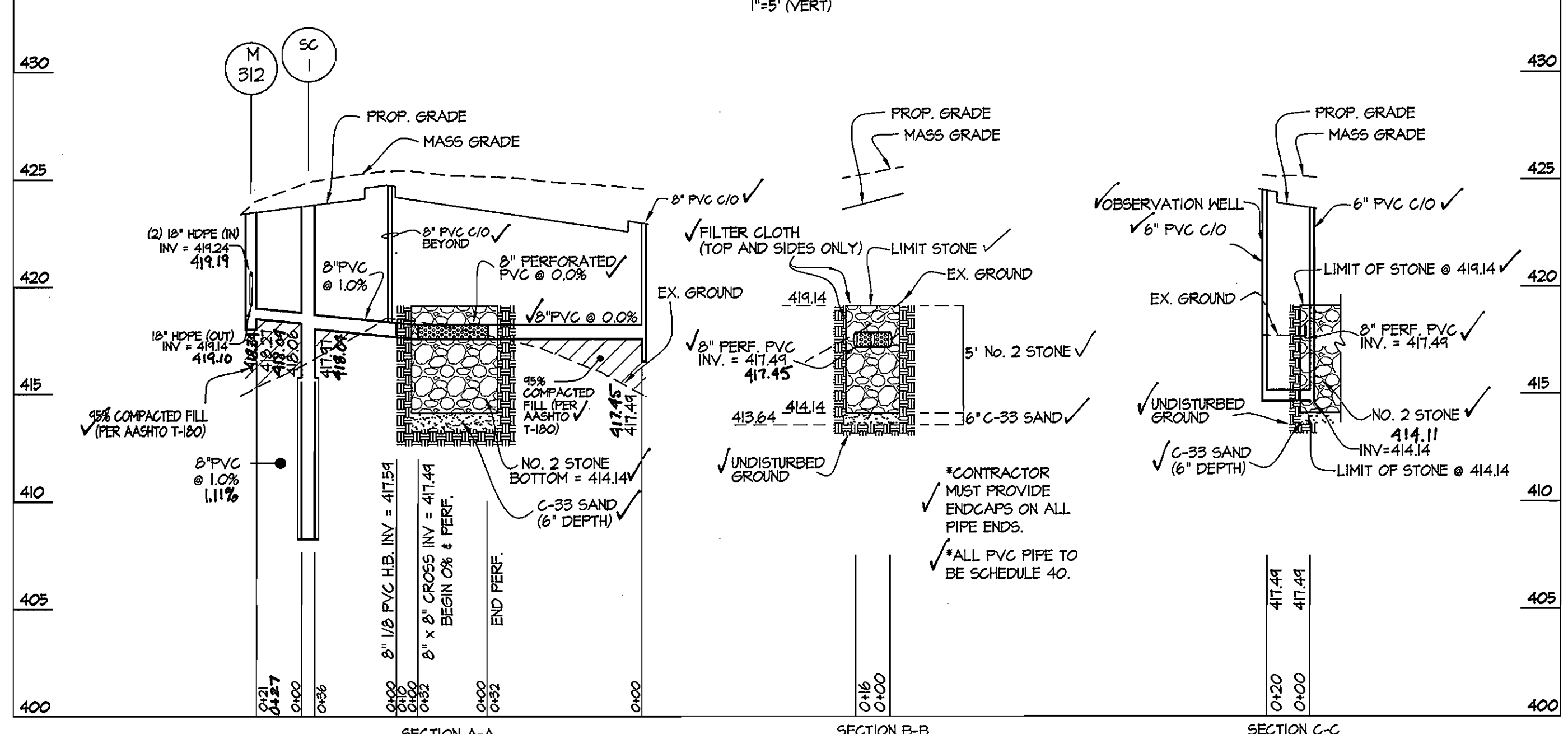
CONTRACTOR INFORMATION
 Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____
 Fax: _____

OWNER INFORMATION
 Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____
 Fax: _____

PLEASE FILL OUT COMPLETELY AND FAX TO: **CSIR** Hydro Conduit
 ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900
 FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARS, PHONE: (703)971-1900

NOTE: THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. THE COVER SHALL BE POSITIONED OVER THE 24\"/>

RECHARGE FACILITY PROFILES (Rev)
 SCALE: 1\"/>



APPROVED PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 2-3-05
 16

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: _____ Date: 2/1/05
 Chief, Division of Land Development: _____ Date: 8/3/05
 Chief, Development Engineering Division: _____ Date: 7/19/05

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE: 7-19-05
 THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

GEWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE, SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

REVISION	BY	APPR.

PREPARED FOR:
 G&R Maple Lawn, Inc. et al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

FOR PUBLICLY OWNED AND MAINTAINED RETENTION POND

ROUTINE MAINTENANCE (BY H.O.A.)

- FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE POND IS FUNCTIONING PROPERLY.
- TOP AND SIDE SLOPED OF THE EMBANKMENT SHALL BE MOVED A MINIMUM OF TWO (2) TIMES PER YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES AND MAINTENANCE ACCESS SHALL BE MOVED AS NEEDED.
- DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MAINTENANCE OPERATIONS AS NEEDED.
- VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS THE RIP-RAP OR GABION OUTLET AREA SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

NON-ROUTINE MAINTENANCE (BY COUNTY)

- STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE RISER, AND THE PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHALL BE REPAIRED DURING ROUTINE MAINTENANCE OPERATIONS.
- SEDIMENT SHALL BE REMOVED FROM THE POND AND FORDS; NO LATER THAN WHEN THE CAPACITY OF THE POND, IS HALF-FULL OF SEDIMENT OR WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, UPON APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES

- THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
- WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOSED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 12 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

OPERATIONS AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

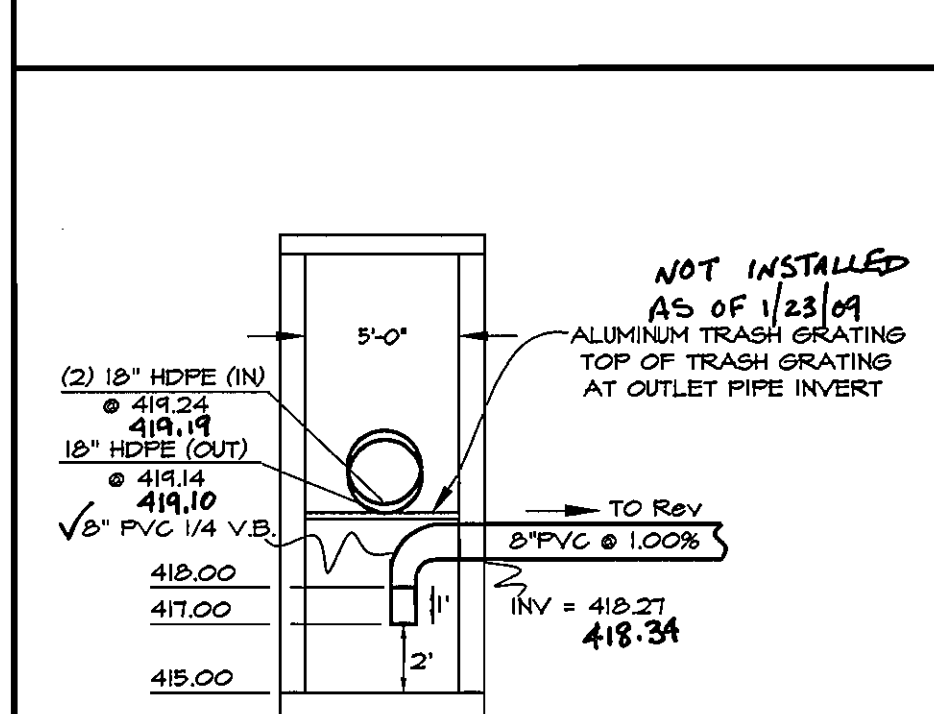
- THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR INSPECTION/MONITORING FORMS. INSPECTIONS SHALL BE DONE BY USING CLEAR FLEXIGLASS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE UNIT MUST BE CLEANED.
- THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.
- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN EACH UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
- THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR UNIT SHALL BE REPAIRED AS NEEDED.
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

EM-BANKMENT CORE - THE CORE SHALL BE PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS, THE TOP WIDTH OF THE CORE SHALL BE A MINIMUM OF FOUR FEET. THE HEIGHT SHALL EXTEND UP TO AT LEAST THE 10-YEAR WATER ELEVATION OR AS SHOWN ON THE PLANS, THE SIDE SLOPES SHALL BE 1 TO 1 OR FLATTER. THE CORE SHALL BE COMPACTED WITH A SHEEPSFOOT, RUBBER TIRE OR VIBRATORY ROLLER. FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT USED. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IF FORKED INTO A BALL, IT WILL NOT CRUMBLE, YET NOT BE SO WET THAT WATER CAN BE SQUEEZED OUT.

WHEN REQUIRED BY THE REVIEWING AGENCY THE MINIMUM REQUIRED DENSITY SHALL NOT BE LESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY, AND IS TO BE CERTIFIED BY THE ENGINEER AT THE TIME OF CONSTRUCTION. ALL COMPACTION IS TO BE DETERMINED BY AASHTO METHOD T-99 (STANDARD PROCTOR).

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M-312 LOW FLOW DIVERSION
 Scale: none

NOTE: LOW FLOW DIVERSION TO RECHARGE FACILITY MUST REMAIN BLOCKED UNTIL ALL AREAS DRAINING TO THE FACILITY ARE STABILIZED.

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, license No. 12495, expiration date: May 26, 2010.

2-3-09
 Carl K. Kautschick
 Professional Engineer
 Maryland Reg. No. 12495

CONSTRUCTION SPECIFICATIONS

THESE SPECIFICATIONS ARE APPROPRIATE TO ALL PONDS FACILITY NUMBER 14.3. ALL REFERENCES TO ASTM AND AASHTO SPECIFICATIONS APPLY TO THE MOST RECENT VERSION.

SITE PREPARATION

AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT, AND STRUCTURAL WORKS SHALL BE CLEARED, GROBED AND STRIPPED OF TOPSOIL. ALL TREES, VEGETATION, ROOTS AND OTHER OBSTRUCTIONABLE MATERIAL UNLESS OTHERWISE DESIGNATED ON THE PLANS, TREES, BRUSH AND STUMPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE.

AREAS TO BE COVERED BY THE RESERVOIR WILL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, RUBBISH AND OTHER OBSTRUCTIONABLE MATERIAL UNLESS OTHERWISE DESIGNATED ON THE PLANS. TREES, BRUSH AND STUMPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE.

ALL CLEARED AND GROBED MATERIAL SHALL BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE DAM AND RESERVOIR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE. WHEN SPECIFIED, A SUFFICIENT QUANTITY OF TOPSOIL WILL BE STOCKPILED IN A SUITABLE LOCATION FOR USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

EARTH FILL

MATERIAL - THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. THE FILL SHALL BE A MIXTURE OF ROCKS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", FROZEN OR OTHER OBSTRUCTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT SHALL BE UNFINISHED SOIL. CLASSIFICATION, E.G. SC, SH, OR SW, SHALL BE AT LEAST 30% PASSING THE #200 SIEVE. CONSIDERATION MAY BE GIVEN TO THE USE OF OTHER MATERIALS IN THE EMBANKMENT IF DESIGNED BY A GEOTECHNICAL ENGINEER. SUCH SPECIAL DESIGNS MUST HAVE CONSTRUCTION SUPERVISED BY A GEOTECHNICAL ENGINEER.

MATERIALS USED IN THE OUTER SHELL OF THE EMBANKMENT MUST HAVE THE CAPABILITY TO SUPPORT VEGETATION OF THE QUALITY REQUIRED TO PREVENT EROSION OF THE EMBANKMENT.

PLACEMENT - AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH THICK (BEFORE COMPACTION) LAYERS WHICH ARE TO BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. THE MOST THICK LAYERS OF FILL MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT, THE PRINCIPAL SPILLWAY MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.

COMPACTION - THE MOVEMENT OF THE HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRAVERSED BY NOT LESS THAN ONE TREAD TRACK OF HEAVY EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A MINIMUM OF FOUR COMPLETE PASSES OF A SHEEPSFOOT, RUBBER TIRE OR VIBRATORY ROLLER. FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT USED. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IF FORKED INTO A BALL, IT WILL NOT CRUMBLE, YET NOT BE SO WET THAT WATER CAN BE SQUEEZED OUT.

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SEQUENCE OF CONSTRUCTION

1. APPLY FOR A GRADING PERMIT AND ARRANGE FOR THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR. OBTAIN THE GRADING PERMIT AT THE MEETING (1 DAY).
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE AND SUPER SILT FENCE. (1 WEEK).
3. INSTALL THE PERIMETER CURB AND GUTTER AND ITS ASSOCIATED STORM DRAIN SYSTEMS (1-3/8" DIA TO STUB 2A AND 1-3/8" DIA TO EX. 441). INSTALL INLET PROTECTION TO THESE INLETS AS SOON AS THEY ARE INSTALLED (5-4 DAYS).
4. INSTALL THE REMAINING STORM DRAIN SYSTEMS AND OTHER SITE UTILITIES. INSTALL INLET PROTECTION AS SOON AS STORM DRAIN INLETS ARE INSTALLED (2 WEEKS). CAUTION: THE 8" PVC LEADING TO THE STORAGE/DRYWELL FACILITY FROM M-312 SHALL BE TEMPORARILY BLOCKED AT ITS OPENING IN M-312. INSPECT THE TEMPORARY BLOCKING AFTER EACH RAIN EVENT TO ENSURE THAT NO SEDIMENT IS ENTERING THE STORAGE/DRYWELL FACILITY UNTIL ALL DRAINAGE TO M-312 IS STABILIZED. TO FACILITATE INSPECTIONS, THE TRASH GRATE INSTALLATION MAY BE DELAYED WHILE THE 8" PVC IS TEMPORARILY BLOCKED.
5. FINE GRADE SITE AND INITIATE BUILDING CONSTRUCTION (2 WEEKS).
6. INSTALL REMAINING CURB AND GUTTER, SIDEWALKS AND BASE PAVEMENT ALL AREAS TO BE PAVED AND STABILIZE ALL OTHER DISTURBED AREAS WITH PERMANENT SEEDING, MULCH AND LANDSCAPING (2 WEEKS).
7. FLUSH AND PUMP CLEAN ALL STORM DRAIN SYSTEM (1 DAY).
8. WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR AND ALL AREAS DRAINING TO THE SEDIMENT CONTROLS HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROLS (2 DAYS).
9. INSTALL SURFACE COURSE PAVING AND PARKING LOT STRIPING (1 WEEK).
10. REMOVE THE TEMPORARY BLOCKING OF THE 8" PVC IN M-312 (DONE IN S.O.C. #4) AND INSTALL THE TRASH GRATING.
11. COMPLETE BUILDING INTERIOR WORK AND OBTAIN USE & OCCUPANCY PERMIT.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Phillip 7/19/05
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

John L. Roberts 7-19-05
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John L. Roberts 7/28/05
HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Meyer 7/28/05
NATURAL RESOURCES CONSERVATION SERVICE DATE

APPROVED BY HOWARD COUNTY
DATE 2-3-05

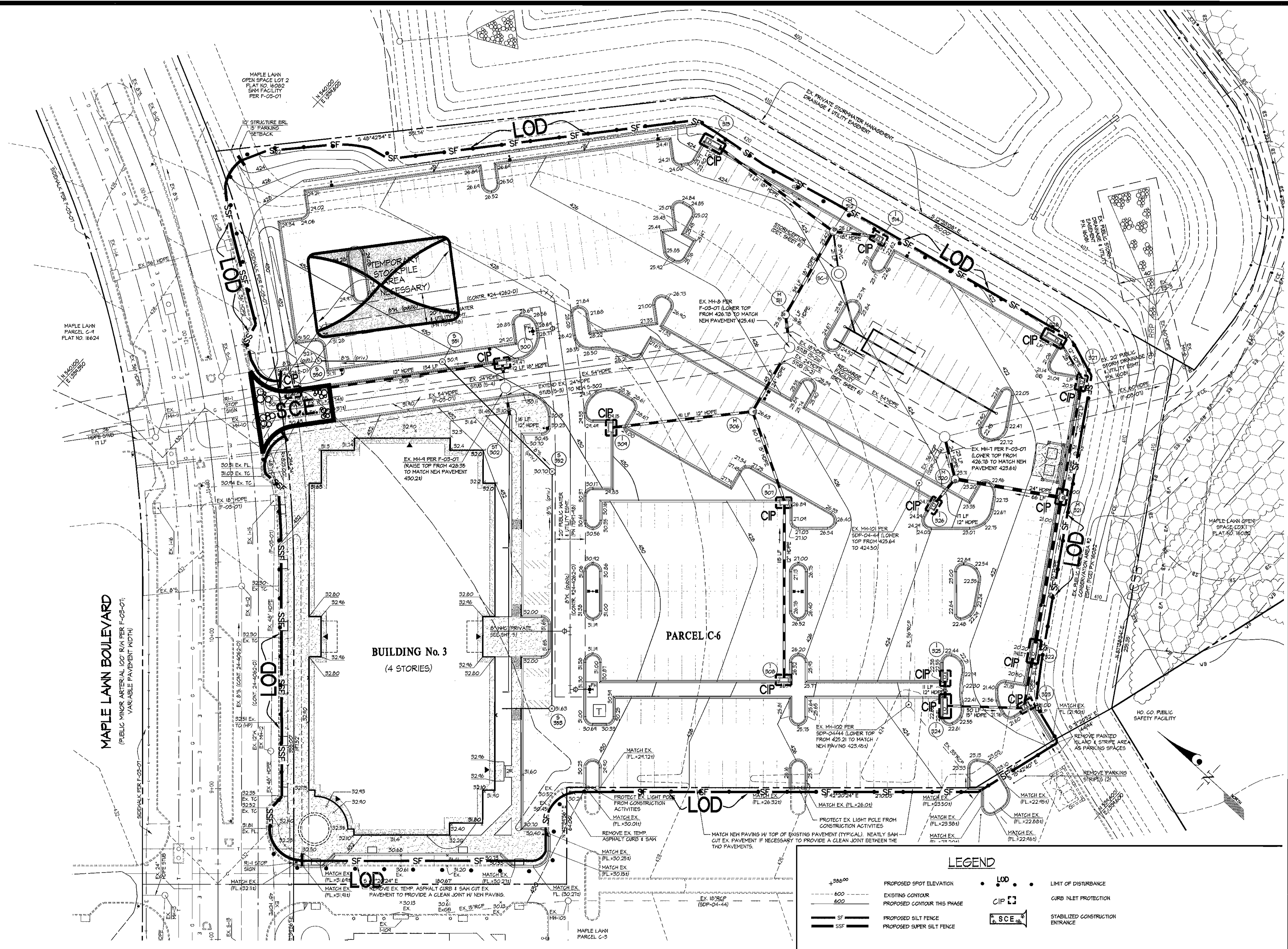
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark DeLongle 8/17/05
Director Date
Linda Hamann 5/18/05
Chief, Division of Land Development Date
Jim Meyer 7/14/05
Chief, Development Engineering Division MK Date

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

Drawings\96079\03053\SDP\03053-SNE.dwg DES. MBT DRN. KLP CHK. MBT



THIS PLAN IS FOR SEDIMENT & EROSION CONTROL PURPOSES ONLY!!

DATE	REVISION	BY	APPR.

PREPARED FOR:
G&R Maple Lawn, Inc. et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

SEDIMENT CONTROL PLAN

MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No.3
PARCEL C-6
PLAT NO. 16514, 17391, 43

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
12/APR/05	46: 3&4	7 OF 12

DRAINAGE AREA INFORMATION			
INLET	AREA (ACRES)	'C' VALUE	% IMP.
I-300	0.07	0.78	85%
I-301	0.10	0.78	85%
I-307	0.21	0.78	85%
I-308	0.17	0.78	85%
I-309	0.11	0.78	85%
I-313	0.91	0.78	85%
I-314	0.16	0.78	85%
I-322	0.51	0.78	85%
I-323	0.04	0.78	85%
I-324	0.39	0.78	85%
I-325	0.17	0.78	85%
I-326	0.39	0.78	85%
I-327	0.09	0.78	85%
I-328	0.42	0.78	85%
S-302	0.63	0.95	100%
Additional area to Ex. I-105			
S-302	0.08	0.81	87%
Total Area to Ex. I-105			
S-302	0.33	0.81	87%
TOTAL PROPOSED AREA = 5.31 acres			

DRAINAGE AREA TO EXISTING STRUCTURES	
STR. No.	PROP. DA TO STUB (ACRES)
EX. S-2	0.44
EX. S-2a	1.13
EX. S-3	0.63
EX. S-4	0.80
EX. MH-7	2.01

LEGEND

- 600 --- EXISTING CONTOUR
- 602 --- PROPOSED CONTOUR
- --- PROPOSED STORM DRAIN DRAINAGE DIVIDE
- --- DRAINAGE DIVIDE TO EXISTING CONNECTION

MAPLE LAWN BOULEVARD
(PUBLIC MINOR ARTERIAL 100' R/W PER F-03-07)
(VARIABLE PAVEMENT WIDTH)

BUILDING No. 3
(4 STORIES)

PARCEL C-6

APPROVED
HOWARD COUNTY
DATE: 2-3-05
KS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 March D. Laugel, Director, Date: 8/1/05
 Cindy Hamilton, Chief, Division of Land Development, Date: 5/16/05
 Chief, Development Engineering Division, Date: 7/29/05

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
 BURTONTOWN, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

PREPARED FOR:
 G&R Maple Lawn, Inc. et. al.
 Suite 410, Woodholme Center
 1823 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

DRAINAGE AREA MAP
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No.3
PARCEL C-6
 PLAT NO. 16514, 11797/88

SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
12/APR/05	46: 3&4	9 OF 12

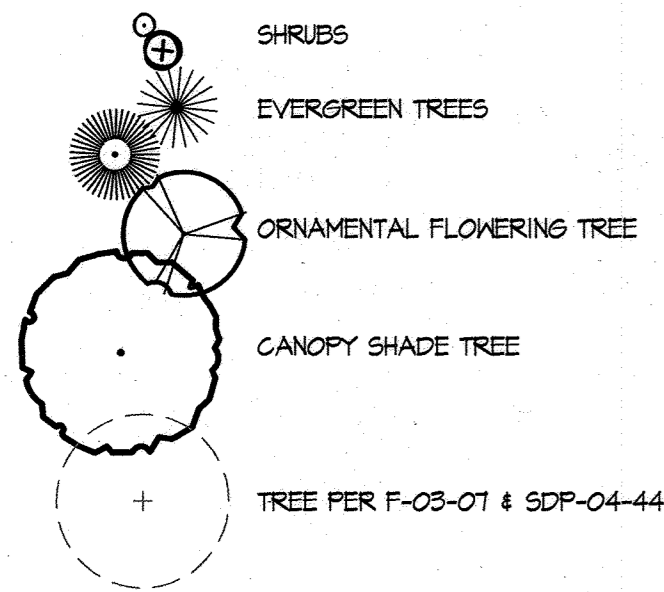
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DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

PLANTING LEGEND



LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF S-01-TT AND FB CASE NO. 393.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.

II. "SCHEDULE-A", "SCHEDULE-B" AND "SCHEDULE-D" (SEE SHEET II) ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IS \$20,070.00 FOR THE FOLLOWING PLANTS:

214 SHRUBS AT \$90.00/SHRUB	= \$ 19,260.00
57 SHADE TREES AT \$100.00/TREE	= \$ 5,700.00
17 EVERGREEN TREES AT \$150.00/TREE	= \$ 2,550.00

THE LANDSCAPE SURETY POSTED WITH THE DEVELOPER AGREEMENT WAS \$19,820.00, THEREFORE AN ADDITIONAL LANDSCAPE SURETY OF \$450.00 IS REQUIRED WITH THE GRADING PERMIT FOR THE BANK CONSTRUCTION.
FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-318-2290.

DEVELOPER'S / BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL, AND THE APPROVED MAPLE LAWN FARMS LANDSCAPE DESIGN DEVELOPMENT CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature]
NAME (DEVELOPER'S / BUILDER'S) _____ DATE 1-18-08

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE FEBRUARY 3, 2005 and DECEMBER 7, 2006
KS

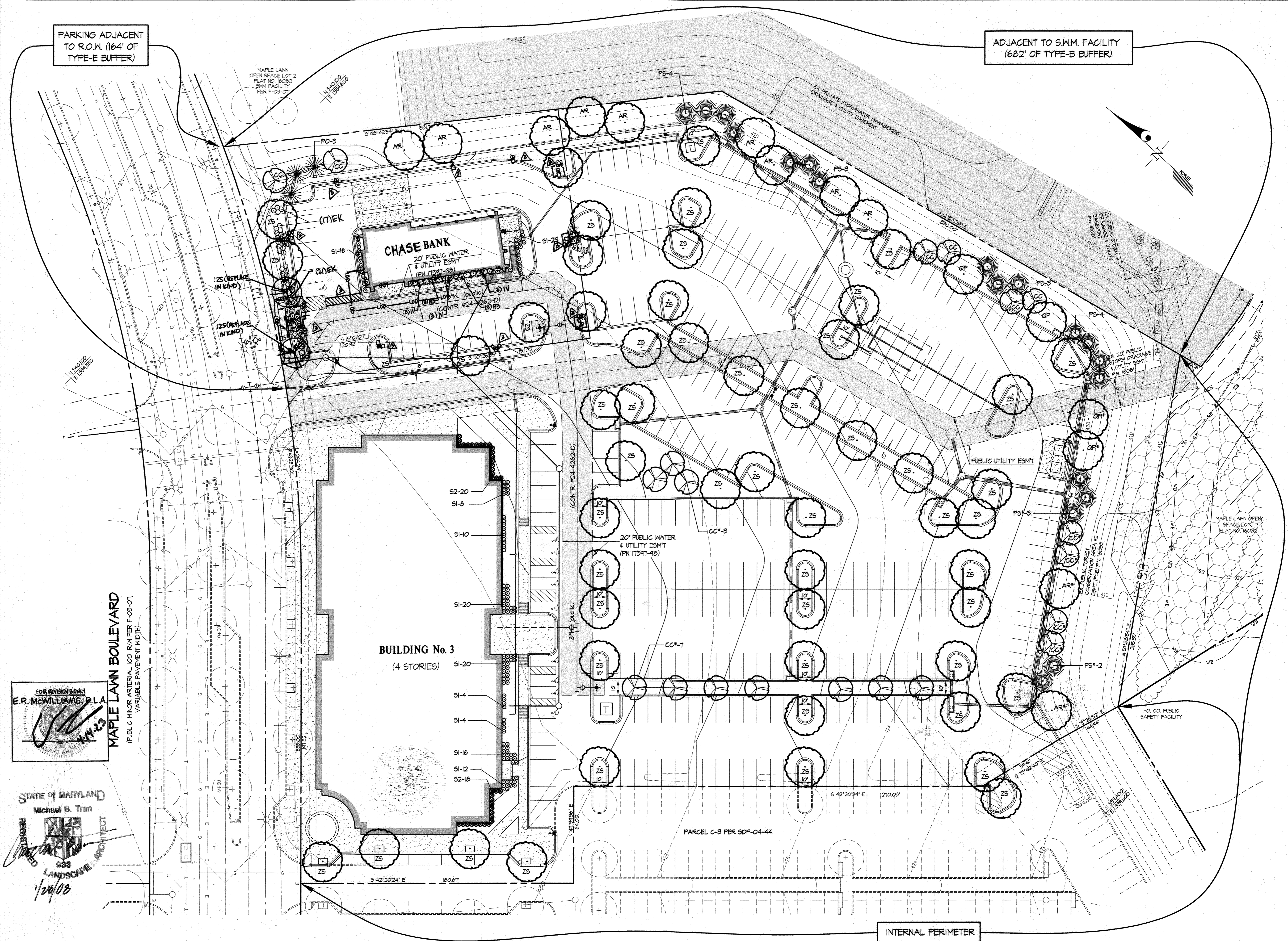
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/20/08
Director Date
[Signature] 2/20/08
Chief, Division of Land Development Date
[Signature] 2/20/08
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.

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Drawings\96079\03053\SDP\03053-LS.dwg DES. MBR. DRN. KLP CHK. MBT



PARKING ADJACENT TO R.O.W. (164' OF TYPE-E BUFFER)

ADJACENT TO S.W.M. FACILITY (682' OF TYPE-B BUFFER)

FOR REVIEW ONLY
E.R. McWILLIAMS, P.L.A.
[Signature]
1/14/08

STATE OF MARYLAND
Michael B. Tran
LANDSCAPE ARCHITECT
988 LANDSCAPE ARCHITECT
1/20/08

THIS PLAN IS FOR LANDSCAPE PLANTING PURPOSES ONLY

DATE	10/17/05	REV. NEW TENANT TO CHASE BANK, NEW PLANTINGS	LJW
DATE	1/15/08	add esmt. for conversion of sewer & removed conflicting trees	LJP
DATE	1/15/08	revised title block; added prop. bank; revised parking for bank and rev. associated landscaping	
DATE		REVISION	BY
			APPR.

PREPARED FOR:
G&R Maple Lawn, Inc. et al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

REVISED LANDSCAPE PLAN
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and CHASE BANK
PARCELS C-21 and C-22
PLAT Nos. 16514, 17397/98, 19508 and 20233
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	1"=30'	ZONING	MXD-3	G. L. W. FILE No.	03053
DATE	Jan./2008	TAX MAP - GRID	46: 3&4	SHEET	10 OF 12

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL ALL AND/OR DIG, BALL, BURLAP AND TRANSPANT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

1. PLANT NAMES

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES," LATEST EDITION.

2. PLANT STANDARDS

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HERE- AFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HELED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

3. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRG).

A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" DIAMETER
3.5" - 4"	14'-16'	8'-10'	36" DIAMETER
4" - 4.5"	16'-18'	8'-10'	40" DIAMETER
4.5" - 5"	16'-17'	10'-12'	44" DIAMETER
5" - 5.5"	16'-20'	10'-12'	48" DIAMETER
5.5" - 6"	18'-20'	12'-14'	52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAN STANDARDS".

4. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION

THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST, BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

B. PLANTING METHODS

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

1. PLANTING SEASONS

THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.

THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 15TH. NO PLANTINGS SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

2. DIGGING

ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B4B) IN ACCORDANCE WITH THE "AAN STANDARDS".

3. EXCAVATION OF PLANT PITS

THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES, DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL, DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"

A 20% COMPACTION FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF UNIFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. STAKING, GUYING AND WRAPPING

ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

A. STAKES: SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 7'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.

B. WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 3/16" 1 STRAND CABLE CADMIUM PLATED STEEL, WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

C. HOSE: SHALL BE NEK 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

D. ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED PLANTING DETAILS.

5. PLANT PRUNING, EDGING AND MULCHING

A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.

B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.

C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE, SHREDDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.

6. PLANT INSPECTION AND ACCEPTANCE

THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

7. PLANT GUARANTEE

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

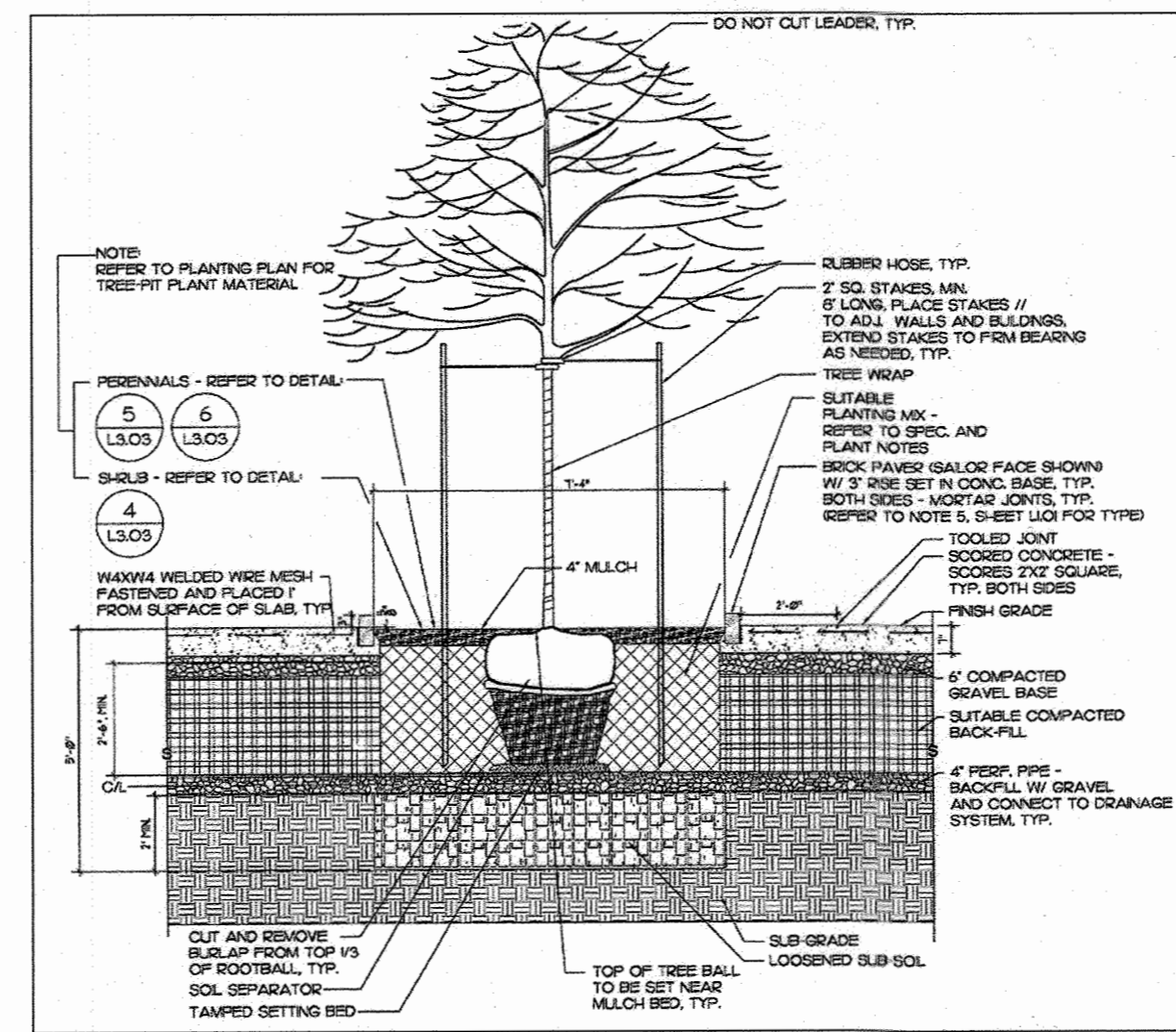
A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.

B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.

SODDING

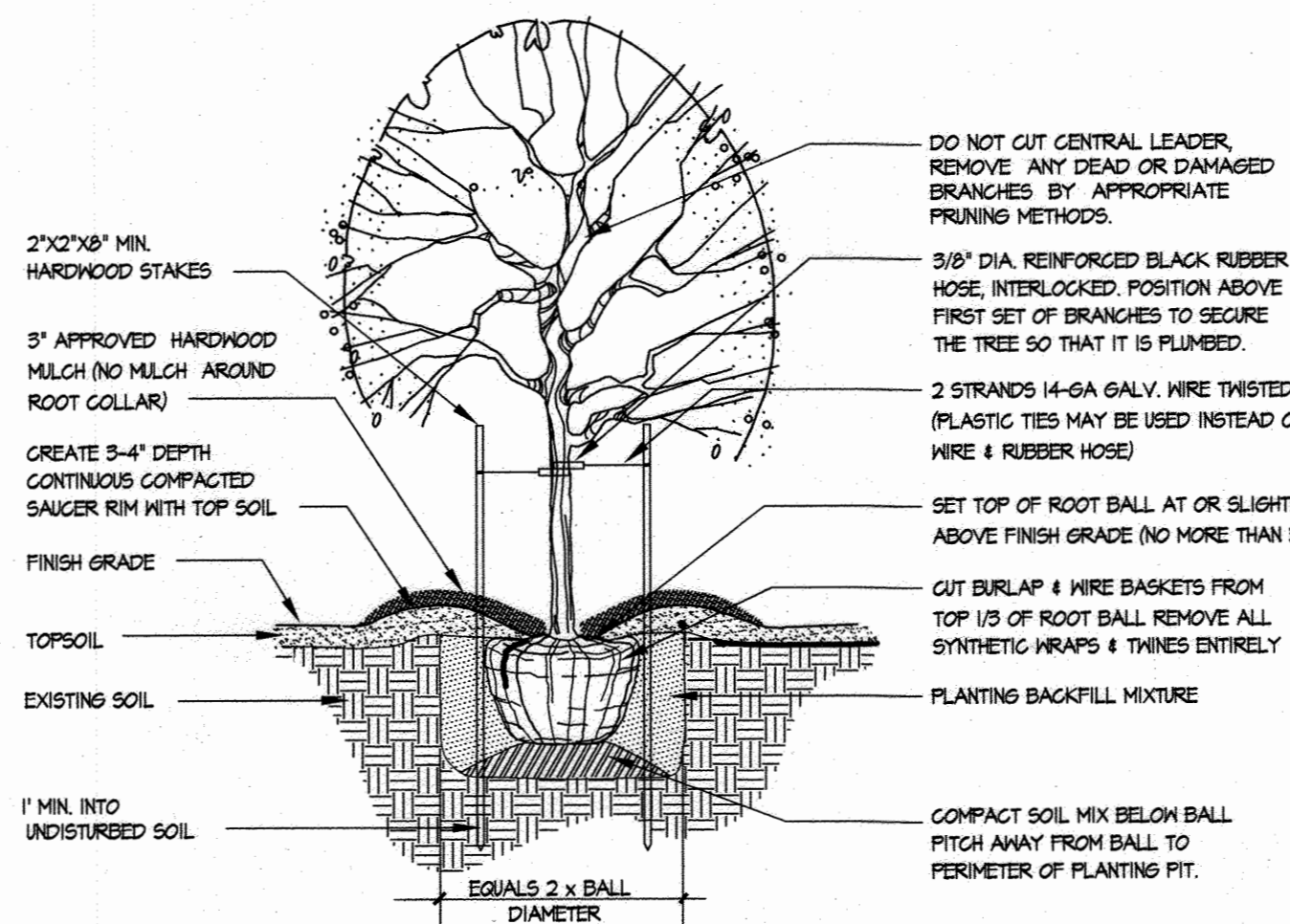
ALL SODDING SHALL BE IN ACCORDANCE TO THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.

ALL SOD SHALL BE STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY SOD CAPABLE OF GROWTH DEVELOPMENT WHEN PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE X 4' LONG. PROVIDE SOD COMPOSED PRINCIPALLY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS, COLUMBIA, VICTA, OR ESCORT.



TREE PLANTER DETAIL

SCALE: 1"=4'

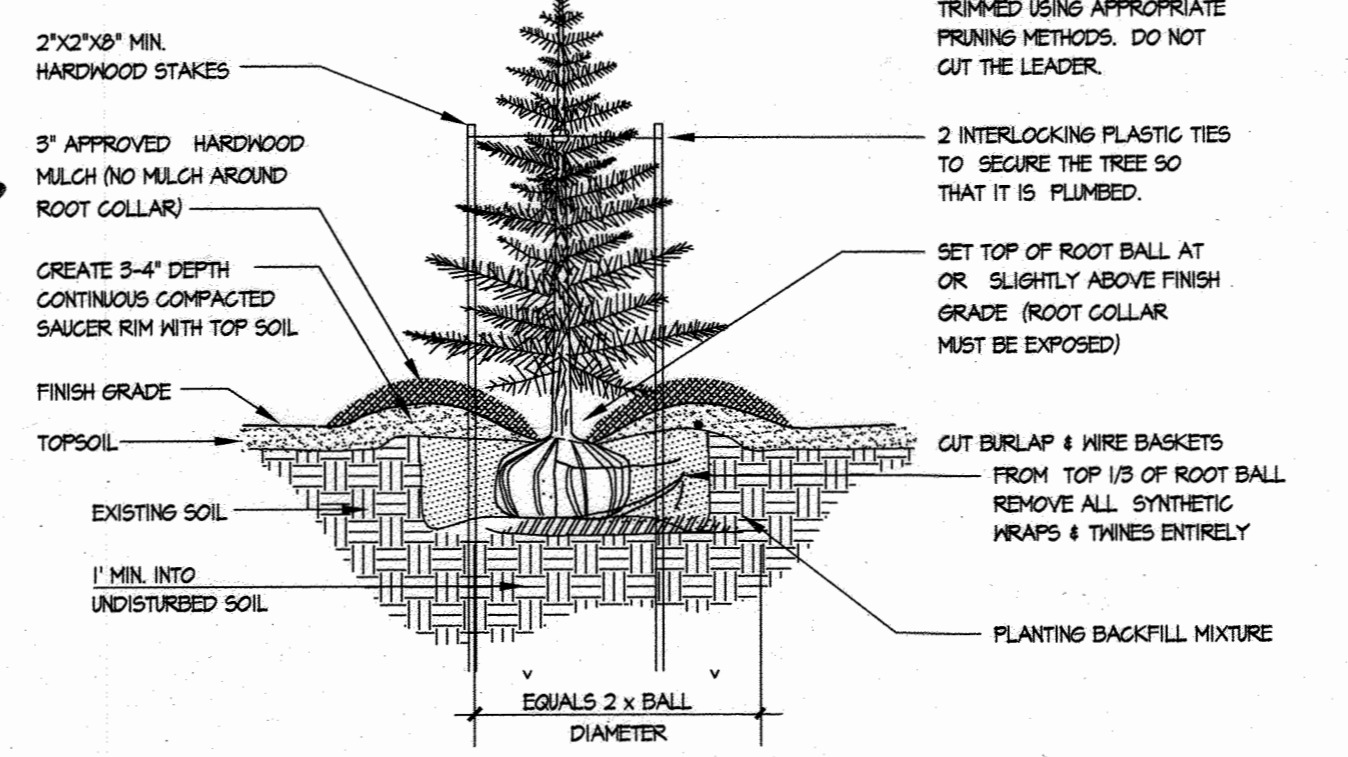


NOTE: ALL SUPPORTING DEVICES (STAKES, WRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL

FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
AK	39	QUERCUS SAUBOTANUS	HAWKTHORN	-	-
IV	12	IRIDAE VIRGINICA	HENRY'S GARNET	24-30" HT. - SPREAD	CONTAINER
BS	3	ROSA X BRUGSII	ROSA X BRUGSII	-	-
GRAND COVERS	QTY	SYMPLOCARPA	COMMON NAME	SIZE	CONTAINER
132	1	SYMPLOCARPA	SYMPLOCARPA	1 GAL. PBT	Q.C.C.



NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

EVERGREEN TREE PLANTING DETAIL

SCHEDULE-A: PERIMETER LANDSCAPE EDGE				
CATEGORY	BUILDING LENGTH (REAR & SIDES)	ADJACENT TO ROADWAYS (MAPLE LAWN BLVD)	ADJACENT TO STORMWATER MANAGEMENT FACILITY	
LOCATION	SIDE & REAR OF OFFICE BUILDING 3 and BANK	PARKING FRONTAGE	BUILDING FRONTAGE	COMMON PROPERTY LINE WITH OPEN SPACE LOT 2
LANDSCAPE BUFFER TYPE	1 SHRUB PER 4 LF OF BLDG LENGTH	TYPE-E	NONE REQUIRED PER MLF LANDSCAPE DESIGN CRITERIA (PART-F)	PER SCHEDULE-D (BELOW)
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	501' OF BLDG. PERIMETER (OFFICE 3)	96+42x2 = 180' (BANK)	164 LF.	
CREDIT FOR EX. VEGETATION (YES, NO; LINEAR FEET; DESCRIBE BELOW IF NEEDED)	NONE	NONE	1 shade tree	
CREDIT FOR WALL, FENCE OR BERM (YES, NO; LINEAR FEET; DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE	
NUMBER OF PLANTS REQUIRED				
SHADE TREES	N/A	N/A	4 (at 4:40)	
EVERGREEN TREES	N/A	N/A	N/A	
ORNAMENTALS	N/A	N/A	N/A	
SHRUBS	128	45	41 (at 1:4)	
NUMBER OF PLANTS PROVIDED				
SHADE TREES	N/A	N/A	1	
EVERGREEN TREES	N/A	N/A	N/A	
ORNAMENTALS	N/A	N/A	N/A	
SHRUBS	MORE THAN 128	45	43	
SUBSTITUTIONS MADE				
LANDSCAPE SURETY FOR REQUIRED PLANTS PER SCHEDULE-A: 4 SHADE TREES at \$300/TREE = \$ 1,200.00 214 SHRUBS at \$30/ SHRUB = \$ 6,420.00				

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F).

SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	375 SPACES (EXCLUDING THE PARALLEL PARKING SPACES WITHIN MAPLE LAWN BLVD)
NUMBER OF TREES REQUIRED	19 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	OVER 19
OTHER TREES (2:1 substitution)	N/A
LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-B: 19 SHADE TREES at \$300/TREE = \$ 5,700.00	

SCHEDULE D -- STORMWATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF PERIMETER	682'
NUMBER OF TREES REQUIRED (TYPE-B BUFFER)	
SHADE TREES (at 1:50)	14
EVERGREEN TREES (at 1:40)	17
NUMBER OF TREES PROVIDED	
SHADE TREES	13
EVERGREEN TREES	17
OTHERS (AS SUBSTITUTIONS AT 2:1)	6 ORNAMENTALS (AS SHADE TREE SUBSTITUTIONS)
LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-D: 14 SHADE TREES at \$300/TREE = \$ 4,200.00 17 EVERGREEN TREES at \$150/TREE = \$ 2,550.00	

THE ADDITIONAL LANDSCAPE SURETY OF \$450.00 FOR THE REVISED PLANTING ASSOCIATED WITH THE BANK ADDITION SHALL BE POSTED WITH THE GRADING PERMIT FOR THE BANK. THE NEW LANDSCAPE SURETY OF \$2,070.00 IS MORE THAN THE \$1,620.00 LANDSCAPE SURETY POSTED WITH THE DEVELOPERS AGREEMENT.

PLANT LIST				
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
AR, AR*	11	3-3.5" CAL.	ACER RUBRUM / OCTOBER GLORY / OCTOBER GLORY RED MAPLE	ALL B4B
OP, OP*	4	3-3.5" CAL.	QUERCUS PALUSTRIS / PIN OAK	
ZS	35	3-3.5" CAL.	ZELKOVA SERRATA VILLAGE GREEN / VILLAGE GREEN ZELKOVA	
CC, CC*	20	2.5-3" CAL.	GERGIS CANADENSIS / EASTERN REDBUD	B4B, TREE FORM (THIS PLANTING IS OPTIONAL)
PO	3	8' HT. MIN.	PICEA ORMORICA / SERBIAN SPRUCE	B4B, ALL SHALL HAVE AN INTACT CENTRAL LEADER
PS, PS*	14	8' HT. MIN.	PINUS STROBUS / EASTERN WHITE PINE	
S1	194	ALL 18" - 24" SPREAD	CHOOSE FROM THE FOLLOWING FOR BUILDING FOUNDATION PLANTING: AZALEA VAR. 'SUNSHINE PINK' / 'SUNSHINE WHITE' / 'KADRO' COTONEASTER DAMMERI / CORAL BEAUTY / CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS / TOM THUMB / TOM THUMB COTONEASTER JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR. 'BAR HARBOR' / 'ANDORRA' / WILTONI BLUE RUS' JUNIPERUS PROCEENSIS VAR. / DWARF JAPANESE GARDEN JUNIPER	ALL CONTAINERIZED
S2	36	ALL 24" - 30" SPREAD	CHOOSE FROM THE FOLLOWING FOR BUILDING FOUNDATION PLANTING: AZALEA VAR. 'DELAWARE VALLEY WHITE' / 'NEBESKY REEF' / 'WIND CRISPON' BERBERIS THUNDERFII / ATROPURPUREA / 'CRIMSON PYGMY' / 'CRIMSON PIGMY BARBERRY' DEUTZIA GRACILIS / SLENDER DEUTZIA ILEX ORENATA 'HELLEY' / 'DWARF JAPANESE HOLLY' ILEX GLABRA COMPACTA / 'DWARF INKBERRY' MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA JAPONICA 'SNOWMOUND' / 'SNOWMOUND SPIREA'	ALL CONTAINERIZED
TD	0	ALL 24" - 30" SPREAD	TANUS MEDIA 'DESIFORMIS' / 'DESIFORMIS YEN	CONTAINERIZED

TREES WITH AN ASTERISK (*) AS SHOWN ON SHEET 10 ARE OPTIONAL.

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE FEBRUARY 3, 2005 and DECEMBER 7, 2006

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 2/25/07

Chief, Division of Land Development: *[Signature]* Date: 2/25/07

Chief, Development Engineering Division: *[Signature]* Date: 2/21/08

STATE OF MARYLAND

Michael B. Tran

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

939 LANDSCAPE ARCHITECT

1/20/08

NOTE: SET ROOT BALL AT OR SLIGHTLY ABOVE FINISH GRADE.

CONTAINERS TO BE REMOVED PRIOR TO PLANTING. SCARIFY ROOT EDGES TO STIMULATE GROWTH.

3" MULCH - AS SPECIFIED

MOUND EARTH SAUCER (FOR ISOLATED PLANTING SITUATION)

PLANTING BACKFILL MIXTURE

SCARIFY SOIL BELOW ROOTBALL

EXISTING SOIL

SHRUB PLANTING DETAIL

FOR REVISION ONLY

ERIC MCWILLIAMS

PROFESSIONAL LANDSCAPE ARCHITECT

4-14-08

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MARYLAND 20886

TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

02/27/08 REVISED PLANT LIST

1/15/08 revised title block

DATE

REVISION

BY

APP'R.

PREPARED FOR:

G&R Maple Lawn, Inc. et al.

Suite 410, Woodholme Center

1829 Reisterstown Road

Baltimore, MD 21208

ATTN: Charlie O'Donovan

410-484-8400

REVISION

BY

APP'R.

REVISED LANDSCAPING DETAILS AND NOTES

MAPLE LAWN FARMS

BUSINESS DISTRICT, OFFICE BUILDING No. 3 and CHASE BANK

PARCELS C-21 and C-22

PLAT Nos. 16514, 17397/98, 10562 and 20133

ELECTION DISTRICT No. 5

SCALE AS SHOWN

ZONING MXD-3

G. L. W. FILE No. 03053

DATE Jan./2008

TAX MAP - GRID 46: 3&4

SHEET 11 OF 12

SDP-05-47

SPECIFICATIONS

KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

- 1.01 Description**
 A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
 B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
 C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling

- A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
 B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units

- A. Modular concrete units shall conform to the following architectural requirements:
 face color - concrete gray - standard manufacturers' color may be specified by the Owner.
 face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
 bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
 exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
 B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
 C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
 compressive strength = 3000 psi minimum;
 absorption = 8% maximum (6% in northern states) for standard weight aggregates;
 dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, ± 1/16" unit height - top and bottom planes;
 unit size - 8" (H) x 16" (W) x 16" (D) minimum;
 unit weight - 100 lbs/unit minimum for standard weight

- aggregates;
 inter-unit shear strength - 1000 pif minimum at 2 psi normal pressure;
 geogrid/unit peak connection strength - 1000 pif minimum at 2 psi normal force.
 D. Modular concrete units shall conform to the following constructability requirements:
 vertical setback = 1/8" ± per course (near vertical) or 1" ± per course per the design;
 alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
 maximum horizontal gap between erected units shall be - 1/2 inch.

2.02 Shear Connectors

- A. Shear connectors shall be 1/2 inch diameter theroset isophthalic polyester resin-protected fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units.
 Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
 B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material

- A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill

- A. Unit drainage fill shall consist of #57 crushed stone.
 B. One cubic foot, minimum, of drainage fill shall be used for each square foot of wall face. Drainage fill shall be placed within cores of, between, and behind units to meet this requirement.

2.05 Reinforced Backfill

- A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-80
No. 200	0-60

 Plasticity Index (PI) < 15 and Liquid Limit < 40 per ASTM D-4318.
 B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement

- A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe

- A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3: EXECUTION

3.01 Excavation

- A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad

- A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
 B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation

- A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
 B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
 C. Install shear/connecting devices per manufacturer's recommendations.
 D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.

3.04 Structural Geogrid Installation

- A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
 B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
 C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to

- backfill placement on the geogrid.
 D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement

- A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
 B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
 C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
 D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
 E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
 F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
 G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation

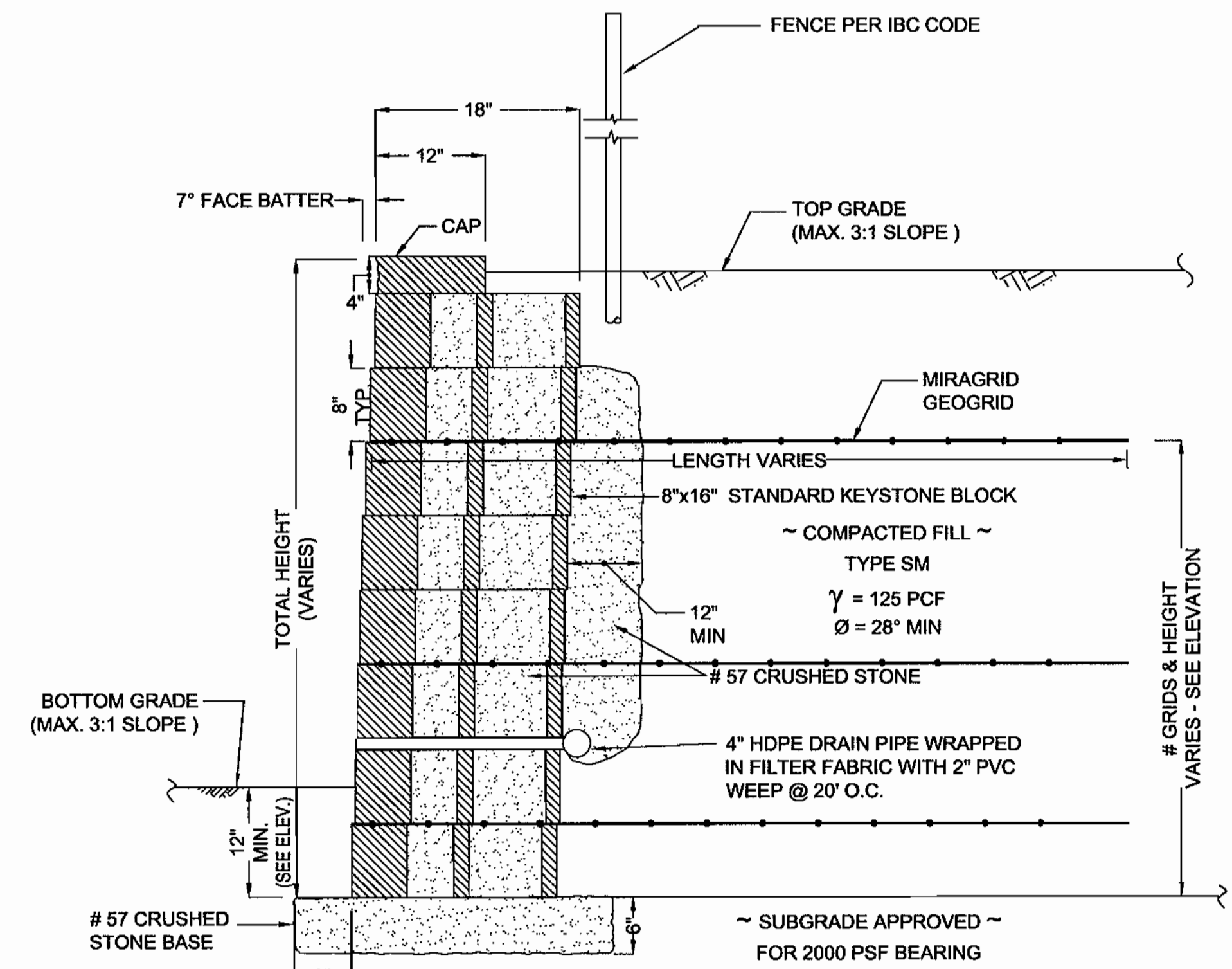
- A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control

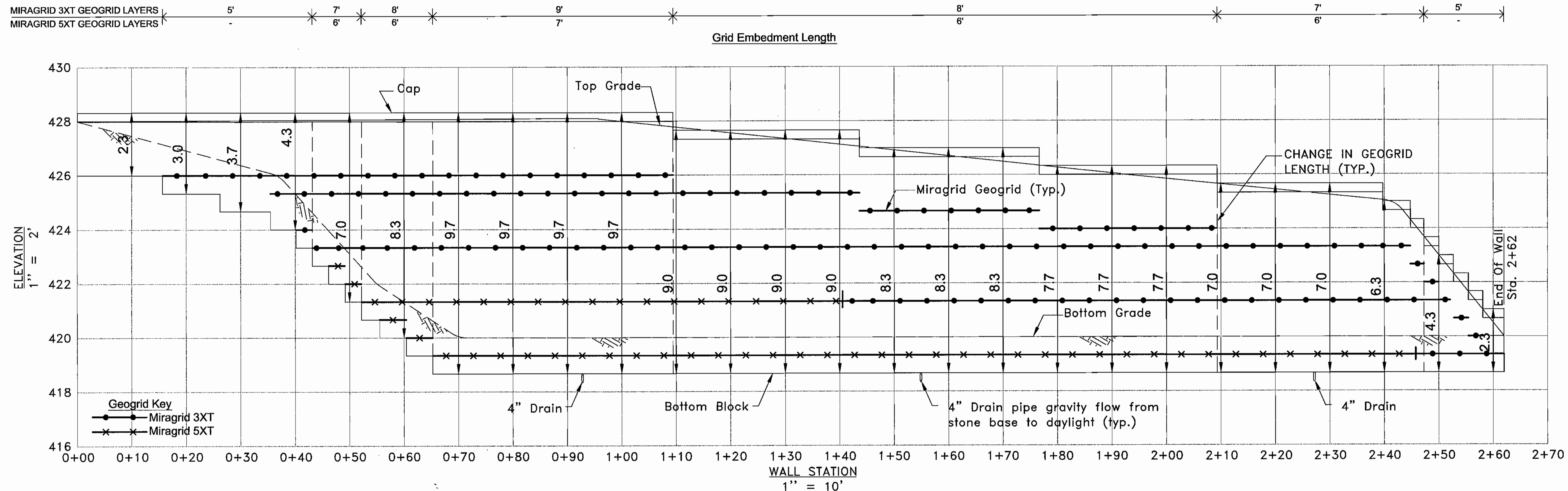
- A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
 B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.

NOTES:

- No trees shall be planted within 10 feet of the top of the retaining wall.
- Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
- The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
- The suitability of fill material shall be confirmed by the on-site soils technician. Each 8' lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
- One soil boring is required every one hundred feet along the length of the wall. Copies of the boring reports shall be provided to the Howard County Inspector prior to the start of the construction.



TYPICAL WALL SECTION
N.T.S.



WALL ELEVATION
1" = 10'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *M. J. ...* Date: 8/14/05
 Chief, Division of Land Development: *C. ...* Date: 8/14/05
 Chief, Development Engineering Division: *M. ...* Date: 7/29/05

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 2-3-05
 K

HILLIS-CARNES
 ENGINEERING ASSOCIATES, INC.
 12011 Guilford Road Suite 106 Annapolis Junction, Maryland 20701
 Baltimore, MD 21104-4788 D.C. (301) 470-4239 Fax (410) 860-0988

PREPARED FOR:
 G&R MAPLE LAWN, INC. ET. AL.
 SUITE 410, WOODHOLME CENTER
 1629 REGISTERSTOWN ROAD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

RETAINING WALL CONSTRUCTION DETAILS

MAPLE LAWN FARMS
 BUSINESS DISTRICT, OFFICE BUILDING No.3
 PARCEL C-6
 PLAT NO. 16514, 17397/03

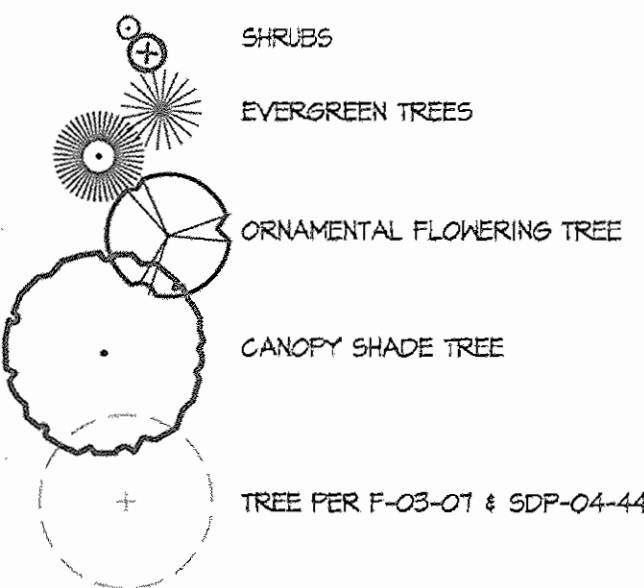
SCALE	ZONING	HCEA FILE No.
AS SHOWN	MXD-3	04164-B
DATE	TAX MAP - GRID	SHEET
12/2/04	46: 3&4	12 OF 12

DES. RWS	DRN. AM	CHK. RMH	DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

PLANTING LEGEND



LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-01-11 AND PB CASE NO. 393.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- "SCHEDULE-A", "SCHEDULE-B" AND "SCHEDULE-C" (SEE SHEET II) ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IS \$20,070.00 FOR THE FOLLOWING PLANTS:
 214 SHRUBS AT \$90.00/SHRUB = \$ 19,260.00
 37 SHADE TREES AT \$300/TREE = \$ 11,100.00
 17 EVERGREEN TREES AT \$150/TREE = \$ 2,550.00
 THE LANDSCAPE SURETY POSTED WITH THE DEVELOPER AGREEMENT WAS \$19,620.00, THEREFORE, AN ADDITIONAL LANDSCAPE SURETY OF \$450.00 IS REQUIRED WITH THE GRADING PERMIT FOR THE BANK CONSTRUCTION.
 FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2550.

DEVELOPER'S / BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL, AND THE APPROVED MAPLE LAWN FARMS LANDSCAPE DESIGN DEVELOPMENT CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

ML
 NAME (DEVELOPER'S / BUILDER'S) _____ DATE 1-18-08

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE FEBRUARY 3, 2005 and DECEMBER 7, 2006
KS

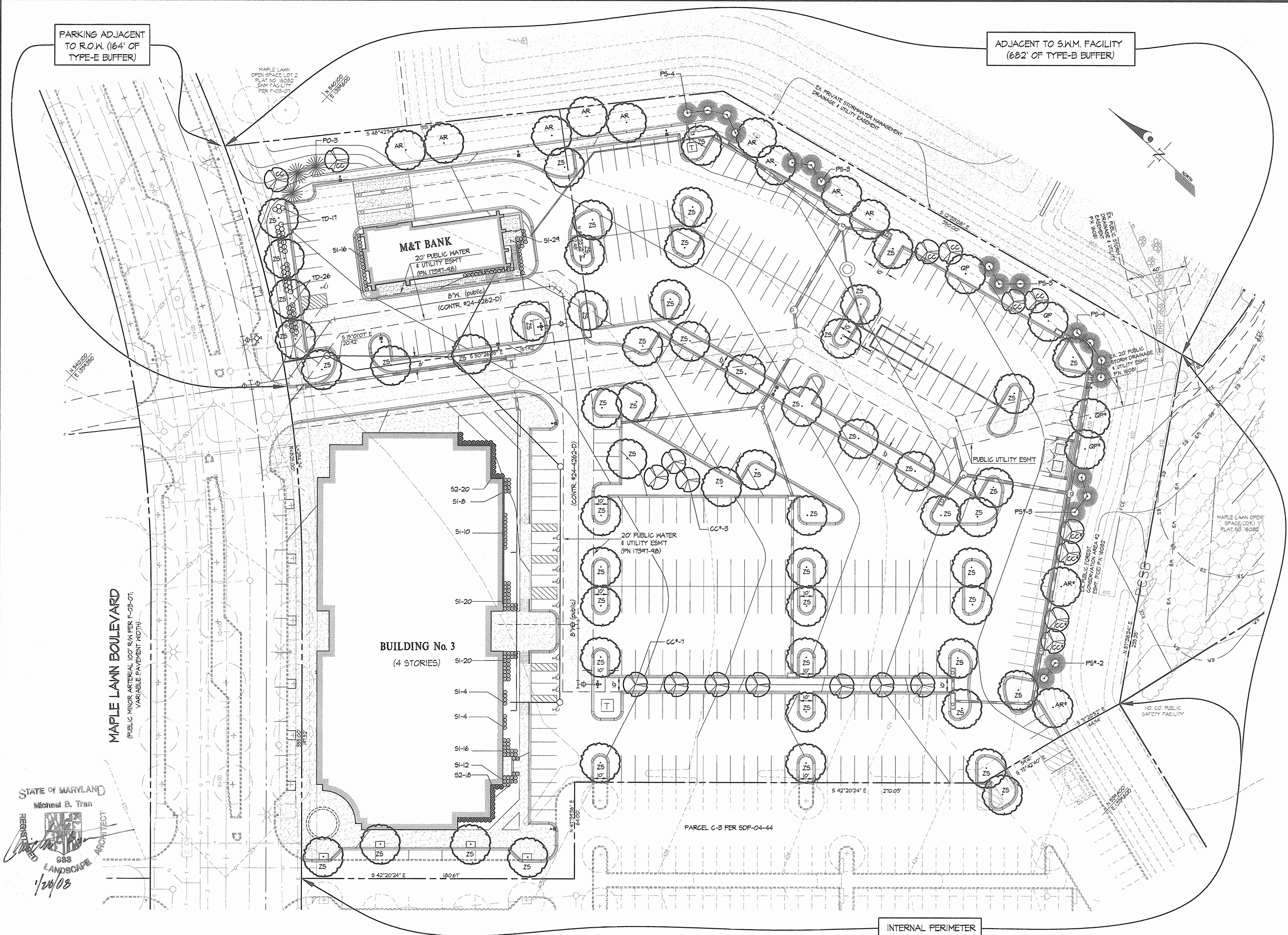
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frankie M. Coyle 2/25/08
 Director Date
Christy Harris 2/25/08
 Chief, Division of Land Development Date
Michael B. Tran 2/26/08
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-883-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

Drawings\96079\03053\SDP\03053-LS.dwg DES. MBT DRN. KLP CHK. MBT



PARKING ADJACENT TO R.O.W. (164' OF TYPE-E BUFFER)

ADJACENT TO S.W.M. FACILITY (682' OF TYPE-B BUFFER)

MAPLE LAWN BOULEVARD
 (PUBLIC MINOR ARTERIAL 100' R/W PER F-03-07, VARIABLE PAVEMENT WIDTH)

STATE OF MARYLAND
 Michael B. Tran
 988 LANDSCAPE ARCHITECT
 1/26/08

THIS PLAN IS FOR LANDSCAPE PLANTING PURPOSES ONLY

1/15/08	revised title block; added prop. bank, revised parking for bank and rev. associated landscaping	BY	APPR.	PREPARED FOR: G&R Maple Lawn, Inc. et al. Suite 410, Woodholme Center 1829 Reisterstown Road Baltimore, MD 21208 ATTN: Charlie O'Donovan 410-484-8400	REVISED LANDSCAPE PLAN MAPLE LAWN FARMS BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK PARCELS C-21 and C-22 PLAT Nos. 16514, 17397/98 and 19568	SCALE 1"=30'	ZONING MXD-3	G. L. W. FILE No. 03053
				ELECTION DISTRICT No. 5	HOWARD COUNTY, MARYLAND	DATE Jan./2008	TAX MAP - GRID 46: 3&4	SHEET 10 OF 12

DRAINAGE AREA INFORMATION			
INLET	AREA (ACRES)	C VALUE	% IMP.
I-300	0.07	0.70	85%
I-301	0.10	0.70	85%
I-307	0.21	0.70	85%
I-308	0.17	0.70	85%
I-304	0.11	0.70	85%
I-313	0.97	0.70	85%
I-314	0.16	0.70	85%
I-322	0.51	0.70	85%
I-323	0.04	0.70	85%
I-324	0.34	0.70	85%
I-325	0.17	0.70	85%
I-326	0.34	0.70	85%
I-327	0.04	0.70	85%
I-328	0.42	0.70	85%
S-302	0.63	0.95	100%
Additional area to Ex. I-105			
S-302	0.08	0.81	87%
Total Area to Ex. I-105			
S-302	0.33	0.81	87%
TOTAL PROPOSED AREA = 5.31 acres			

DRAINAGE AREA TO EXISTING STRUCTURES	
STR. No.	PROP. DA TO STUB (ACRES)
EX. S-2	0.41
EX. S-2a	1.13
EX. S-3	0.63
EX. S-4	0.80
EX. MH-7	2.01

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM DRAIN DRAINAGE DIVIDE
- DRAINAGE DIVIDE TO EXISTING CONNECTION

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12715, EXPIRATION DATE: MAY 26, 2008.



APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE FEBRUARY 3, 2005 and DECEMBER 7, 2006

MS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Barbara M. Coyle* Date: *2/25/08*
 Chief, Division of Land Development: *Candy Hatten* Date: *2/25/08*
 Chief, Development Engineering Division: *Charles O'Donovan* Date: *2/21/08*

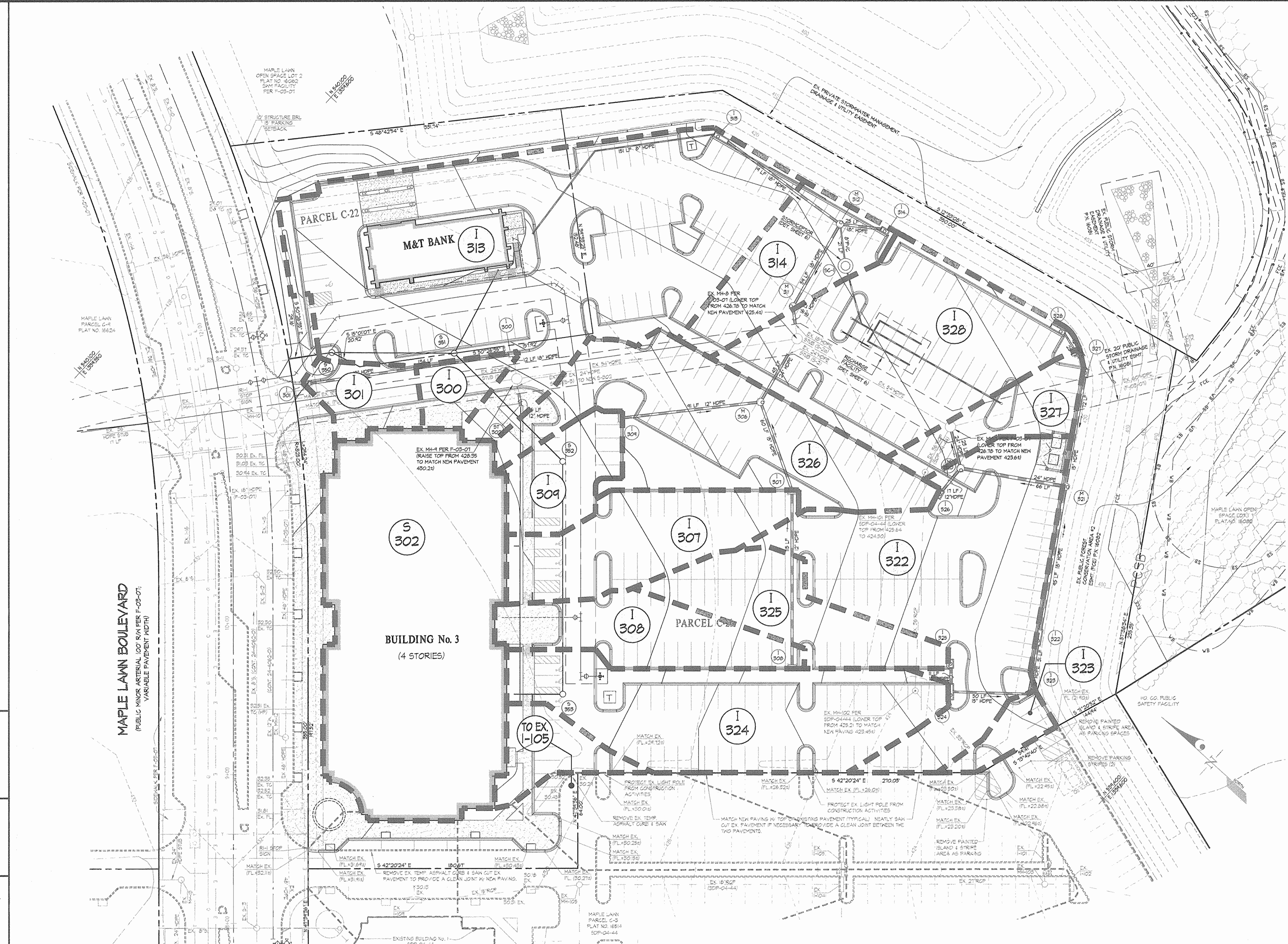
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3309 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-380-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

PREPARED FOR:
 G&R Maple Lawn, Inc. et al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

REVISED DRAINAGE AREA MAP
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK
 PARCELS C-21 and C-22
 PLAT Nos. 16514, 17397/98 and 19568

SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
Jan./2008	46: 3&4	9 OF 12

DATE	REVISION	BY	APP'R.
1/15/08	revised title block; added prop. bank and revised parking layout for bank		



- SEQUENCE OF CONSTRUCTION**
1. APPLY FOR A GRADING PERMIT AND ARRANGE FOR THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR. OBTAIN THE GRADING PERMIT AT THE MEETING (1 DAY).
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE AND SUPER SILT FENCE. (1 WEEK).
 3. INSTALL THE PERIMETER CURB AND GUTTER AND ITS ASSOCIATED STORM DRAIN SYSTEMS (1-3/8" DIA TO 5/8" DIA AND 1-3/8" DIA TO EX MH1). INSTALL INLET PROTECTION TO THESE INLETS AS SOON AS THEY ARE INSTALLED (3-4 DAYS).
 4. INSTALL THE REMAINING STORM DRAIN SYSTEMS AND OTHER SITE UTILITIES. INSTALL INLET PROTECTION AS SOON AS STORM DRAIN INLETS ARE INSTALLED (2 WEEKS). CAUTION: THE 8" PVC LEADING TO THE STORAGE/RETENTION FACILITY FROM M-3/2 SHALL BE TEMPORARILY BLOCKED AT ITS OPENING IN M-3/2. INSPECT THE TEMPORARY BLOCKING AFTER EACH RAIN EVENT TO ENSURE THAT NO SEDIMENT IS ENTERING THE STORAGE/RETENTION FACILITY UNTIL ALL DRAINAGE TO M-3/2 IS STABILIZED. TO FACILITATE INSPECTIONS, THE TRASH GRATE INSTALLATION MAY BE DELAYED WHILE THE 8" PVC IS TEMPORARILY BLOCKED.
 5. FINE GRADE SITE AND INITIATE BUILDING CONSTRUCTION (2 WEEKS).
 6. INSTALL REMAINING CURB AND GUTTER, SIDEWALKS AND BASE PAVE ALL AREAS TO BE PAVED AND STABILIZE ALL OTHER DISTURBED AREAS WITH PERMANENT SEEDING, MULCH AND LANDSCAPING (2 WEEKS).
 7. FLUSH AND PUMP CLEAN ALL STORM DRAIN SYSTEM (1 DAY).
 8. WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR AND ALL AREAS DRAINING TO THE SEDIMENT CONTROLS HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROLS (2 DAYS).
 9. INSTALL SURFACE COURSE PAVING AND PARKING LOT STRIPING (1 WEEK).
 10. REMOVE THE TEMPORARY BLOCKING OF THE 8" PVC IN M-3/2 (DONE IN S.O.C. #4) AND INSTALL THE TRASH GRATING.
 11. COMPLETE BUILDING INTERIOR WORK AND OBTAIN USE & OCCUPANCY PERMIT.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT."

Signature of Developer/Builder: *[Signature]* DATE: 1-18-08

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer: *[Signature]* DATE: 1-28-08

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Soil Conservation District: *[Signature]* DATE: 1/31/08

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Signature of Natural Resources Conservation Service: *[Signature]* DATE: 12/27/07

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO.: 12275
EXPIRATION DATE: May 16, 2008

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: FEBRUARY 3, 2005 and DECEMBER 7, 2006

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 2/6/08
Chief, Division of Land Development: *[Signature]* Date: 2/25/08
Chief, Development Engineering Division: *[Signature]* Date: 2/16/08

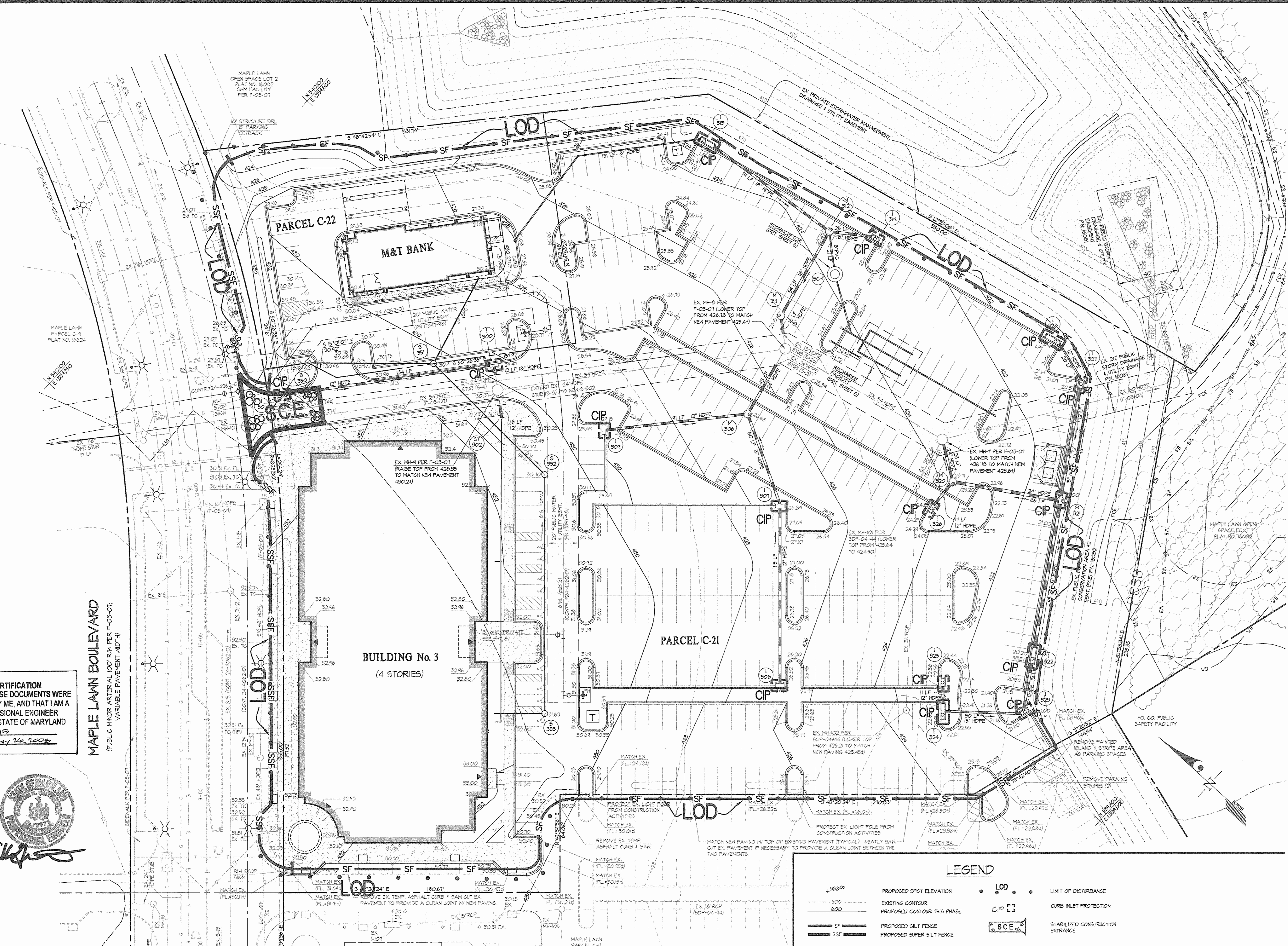
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

THIS PLAN IS FOR SEDIMENT & EROSION CONTROL PURPOSES ONLY

PREPARED FOR:
C&R Maple Lawn, Inc. et al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

REVISED SEDIMENT CONTROL PLAN
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK
PARCELS C-21 and C-22
PLAT Nos. 16514, 17397/98 and 19568
ELECTION DISTRICT No. 5

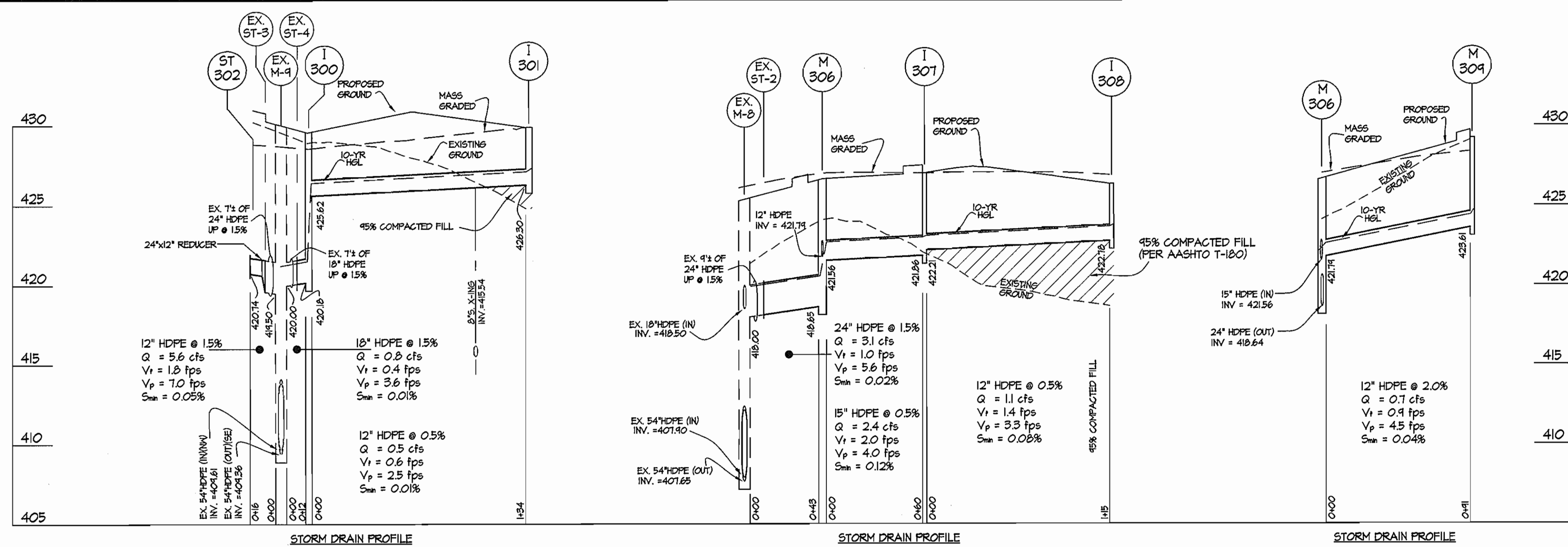
SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
Jan./2008	46: 3&4	7 OF 12



LEGEND

--- 388.00 ---	PROPOSED SPOT ELEVATION	• LOD •	LIMIT OF DISTURBANCE
--- 600 ---	EXISTING CONTOUR	CIP	CURB INLET PROTECTION
--- 600 ---	PROPOSED CONTOUR THIS PHASE	SCE	SEDIMENT CONTROL ENTRANCE
--- SF ---	PROPOSED SILT FENCE		
--- SSF ---	PROPOSED SUPER SILT FENCE		

1/15/08	rev. title block, added bank and revise parking for bank	DES. MBT	DRN. KLP	CHK. MBT
DATE	REVISION	BY	APPR.	



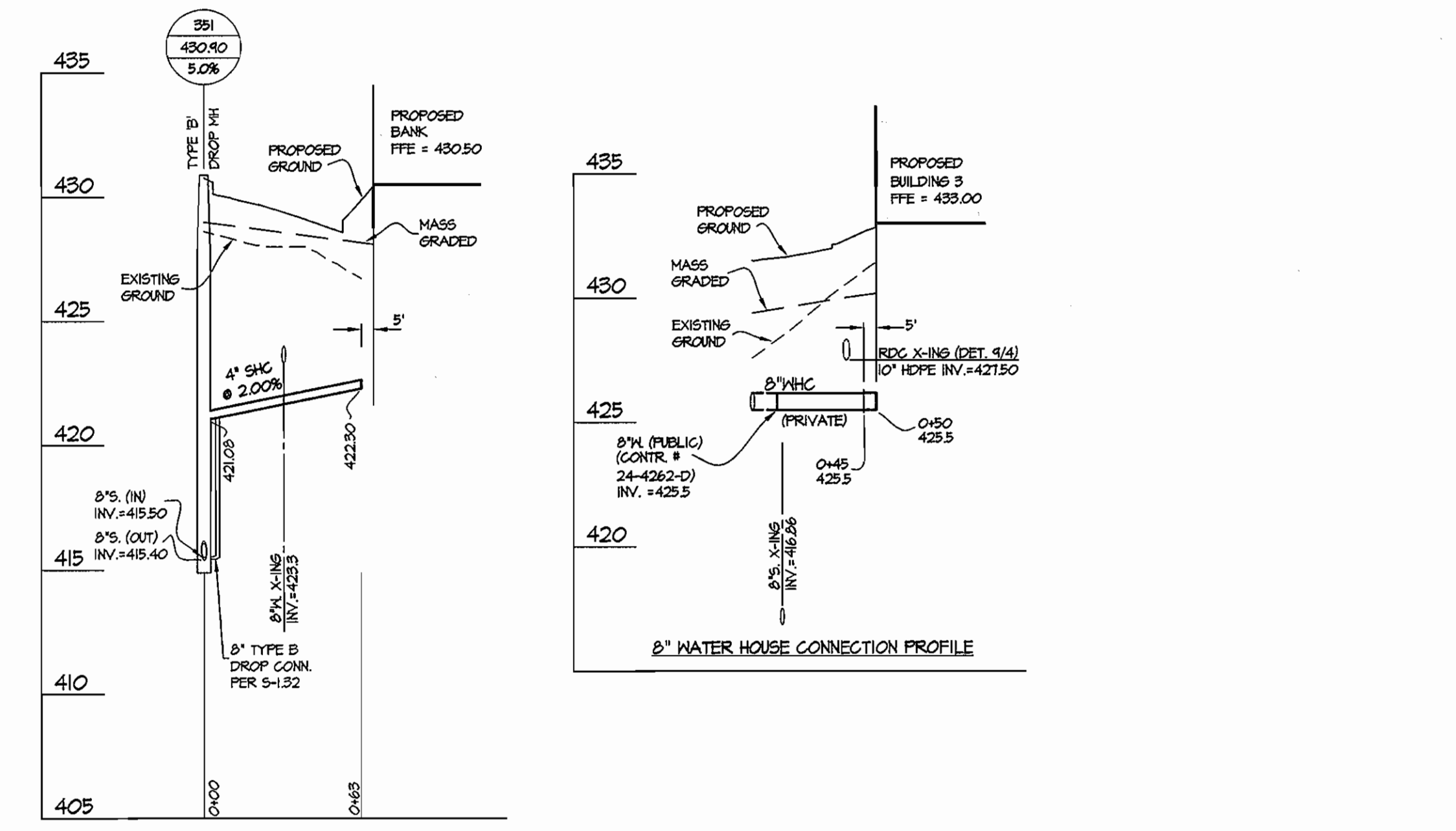
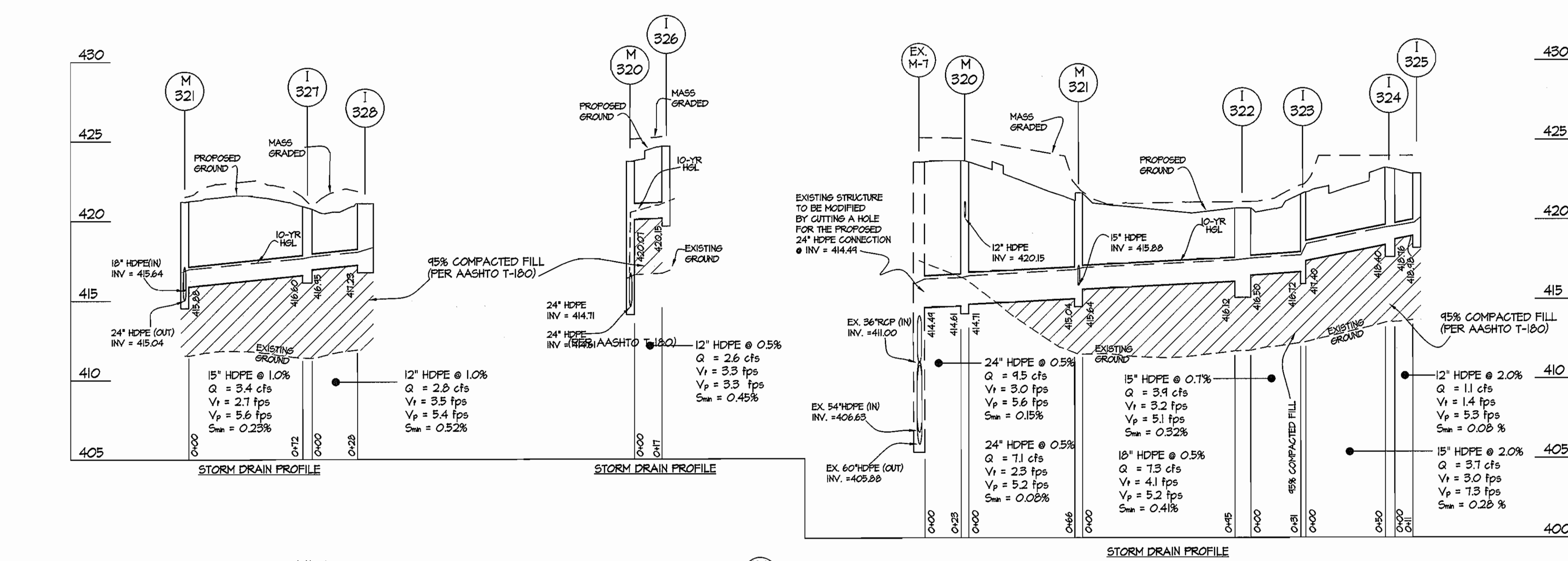
STORM DRAIN PIPE SCHEDULE

SIZE & TYPE	QUANTITY	REMARKS
8" HDPE	151 L.F.	
12" HDPE	396 L.F.	
15" HDPE	125 L.F.	
18" HDPE	285 L.F.	
24" HDPE	130 L.F.	
6" PVC	20 L.F.	
8" PVC	134 L.F.	
8" PVC PERF.	110 L.F.	

NOTES:
 1. ALL STRUCTURES TO BE PRECAST.
 2. COORDINATES FOR LOCATIONS ARE TO CENTERLINE OF THE STRUCTURE AT FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES.
 3. SEE SHEET 6 FOR THE RECHARGE FACILITY DETAILS AND THE DIMENSIONS FOR THE BOTTOM SECTION OF MANHOLE 312.

STORM DRAIN STRUCTURE SCHEDULE

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
I-300	DOUBLE 'S'	3'-5"	430.25	430.13	425.62	420.18	HC SD 4.34	SEE PLANS
I-301	DOUBLE 'S'	3'-5"	430.50	430.35	426.50	421.00	HC SD 4.34	SEE PLANS
I-307	DOUBLE 'S'	3'-5"	427.34	422.21	421.86	416.73	HC SD 4.34	SEE PLANS
I-308	DOUBLE 'S'	3'-5"	426.64	422.78	421.86	416.73	HC SD 4.34	SEE PLANS
I-304	DOUBLE 'S'	3'-5"	424.65	423.61	421.86	416.73	HC SD 4.34	SEE PLANS
I-313	A-10	2'-6"	423.60	420.64	419.10	414.10	HC SD 4.41	SEE PLANS
I-314	A-5	2'-6"	423.27	419.37	416.12	411.12	HC SD 4.40	SEE PLANS
I-322	A-10	2'-5"	420.70	416.50	416.12	411.12	HC SD 4.41	SEE PLANS
I-323	A-5	2'-6"	421.50	417.40	416.12	411.12	HC SD 4.40	SEE PLANS
I-324	A-10	2'-6"	423.85	421.50	418.76	413.76	HC SD 4.41	SEE PLANS
I-325	A-5	2'-6"	422.88	418.98	416.12	411.12	HC SD 4.40	SEE PLANS
I-326	A-5	2'-6"	424.65	420.15	416.12	411.12	HC SD 4.40	SEE PLANS
I-327	A-5	2'-6"	421.07	416.95	416.60	411.60	HC SD 4.40	SEE PLANS
I-328	A-10	2'-6"	421.33	421.04	417.23	412.23	HC SD 4.41	SEE PLANS
M-306	MANHOLE	5'	---	426.63	421.71	418.65	HC @ 5.13	SEE PLANS
M-311	MANHOLE	5'	---	425.15	418.24	418.14	HC @ 5.13	SEE PLANS
M-312	MANHOLE	5'	---	423.42	419.24	419.14	HC @ 5.13	SEE PLANS & SHEET 6
M-320	MANHOLE	5'	---	423.71	420.07	414.61	HC @ 5.13	SEE PLANS
M-321	MANHOLE	5'	---	421.00	415.88	415.04	HC @ 5.13	SEE PLANS



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12415, EXPIRATION DATE: MAY 26, 2008.

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: FEBRUARY 3, 2005 AND DECEMBER 7, 2006

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frank A. Wolfe 2/25/05
DIRECTOR Date

Cindy Hammett 2/16/05
Chief, Division of Land Development Date

Chad Williams 2/16/05
Chief, Development Engineering Division Date

PROFILES

SCALE: 1" = 5' VERT.
1" = 50' HORZ.

GLWGutschick Little & Weber, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
1/15/08	revised title block; added 4" snc & 6" whc and roof drain connection for bank		

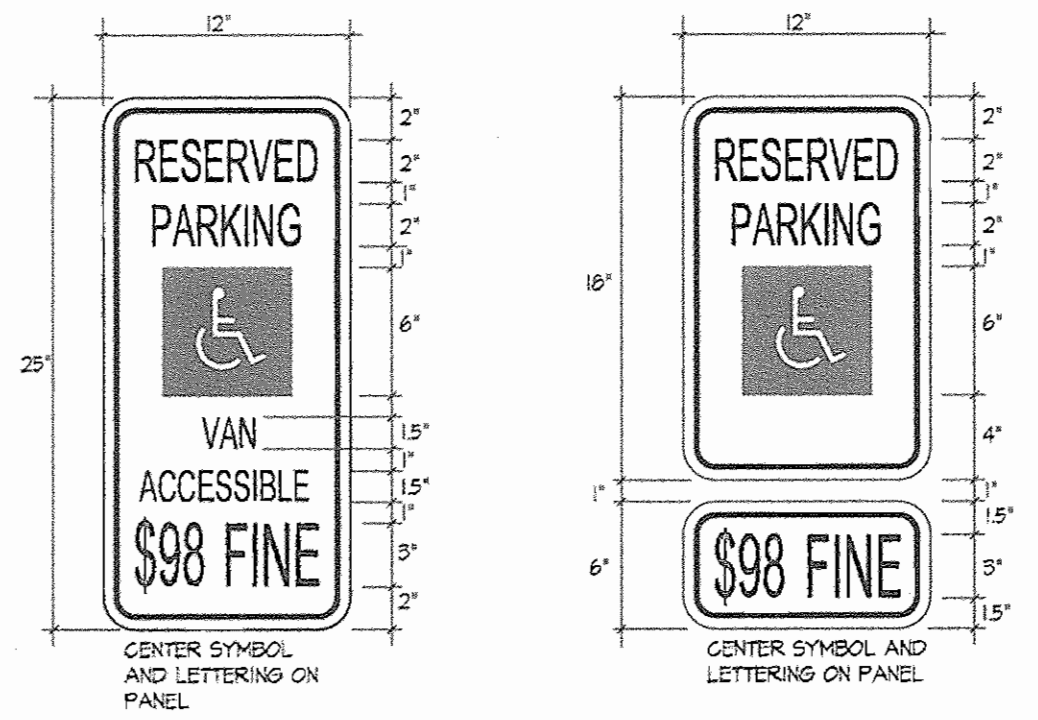
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Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

REVISED UTILITY PROFILES

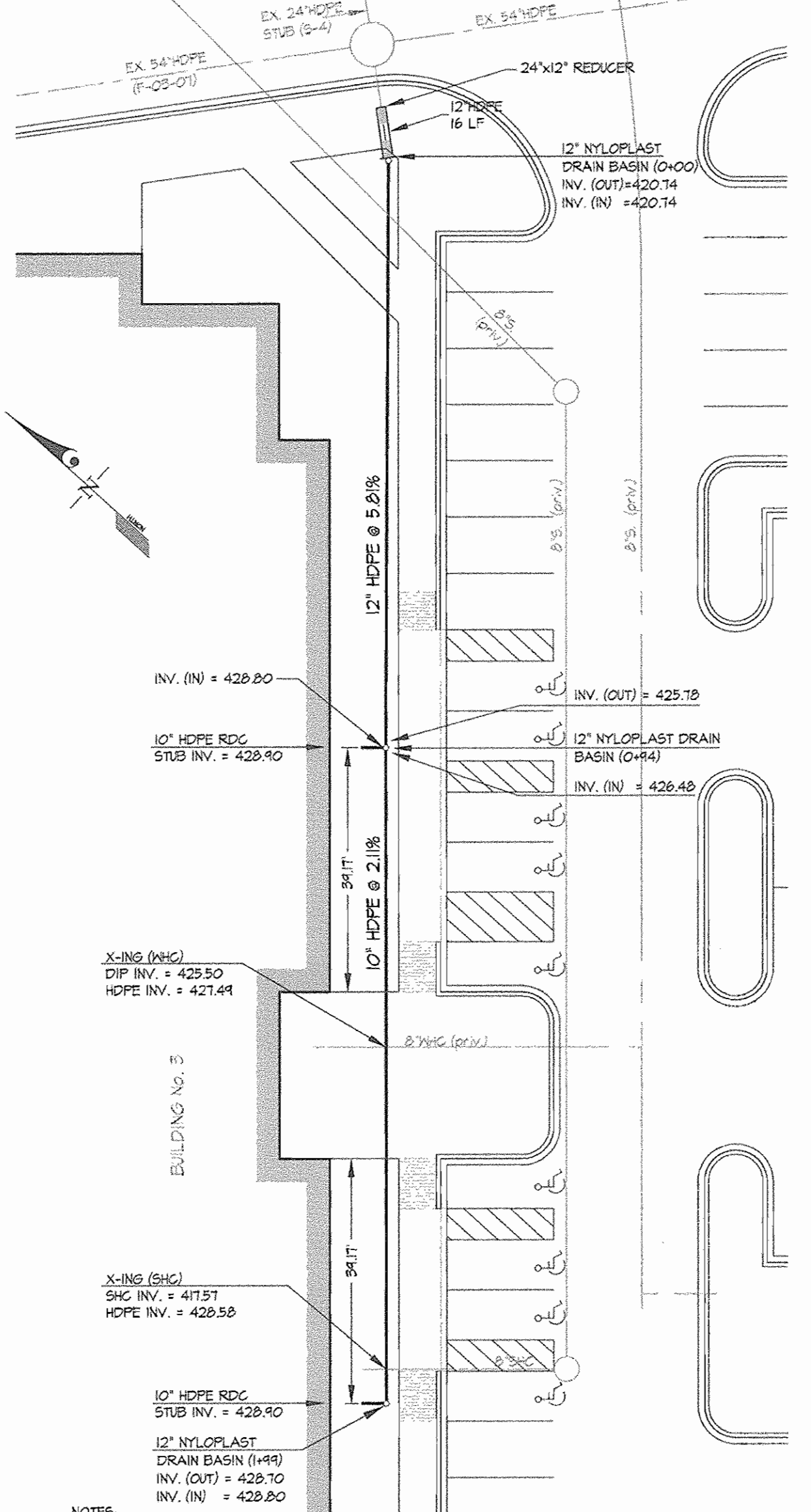
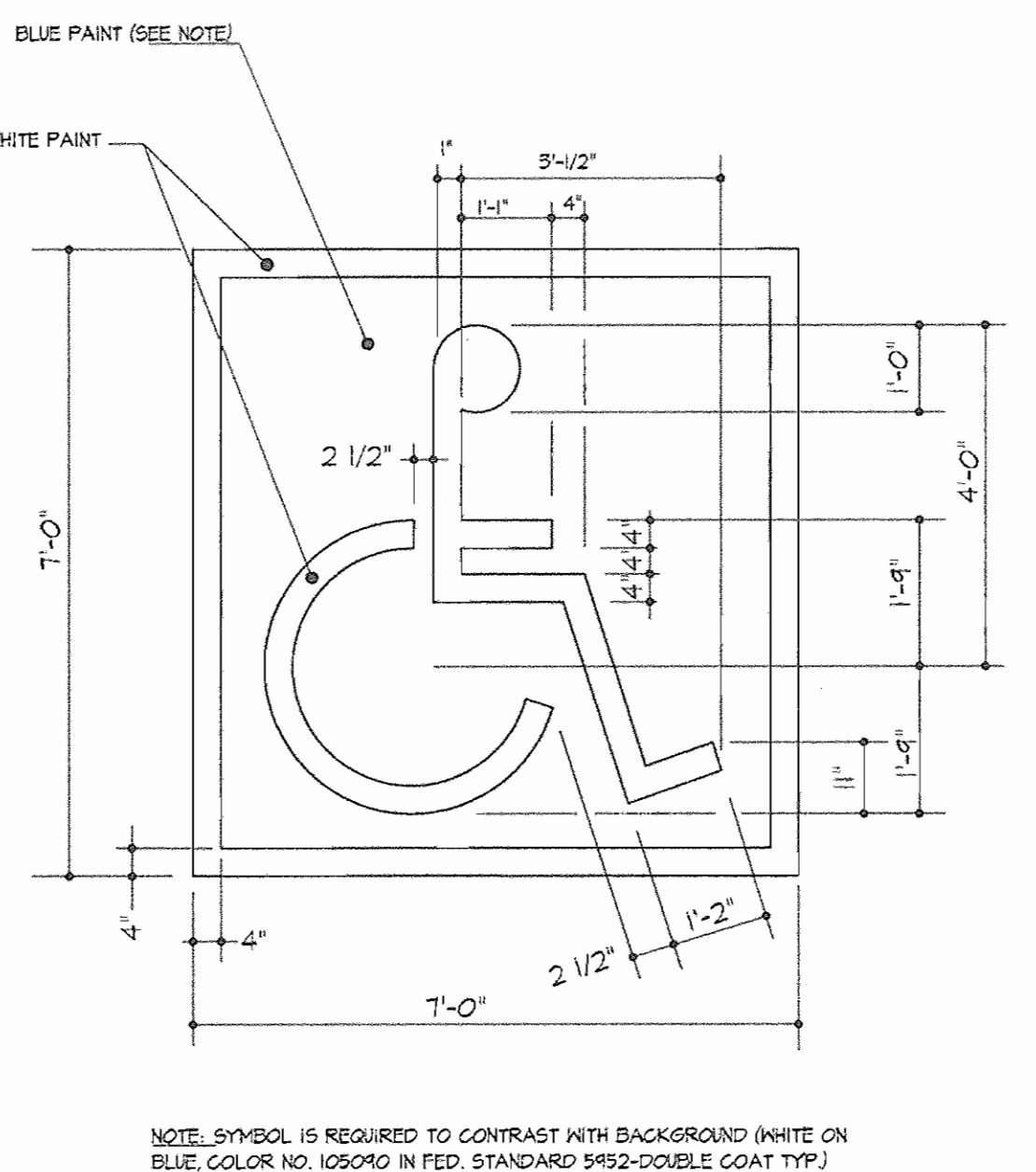
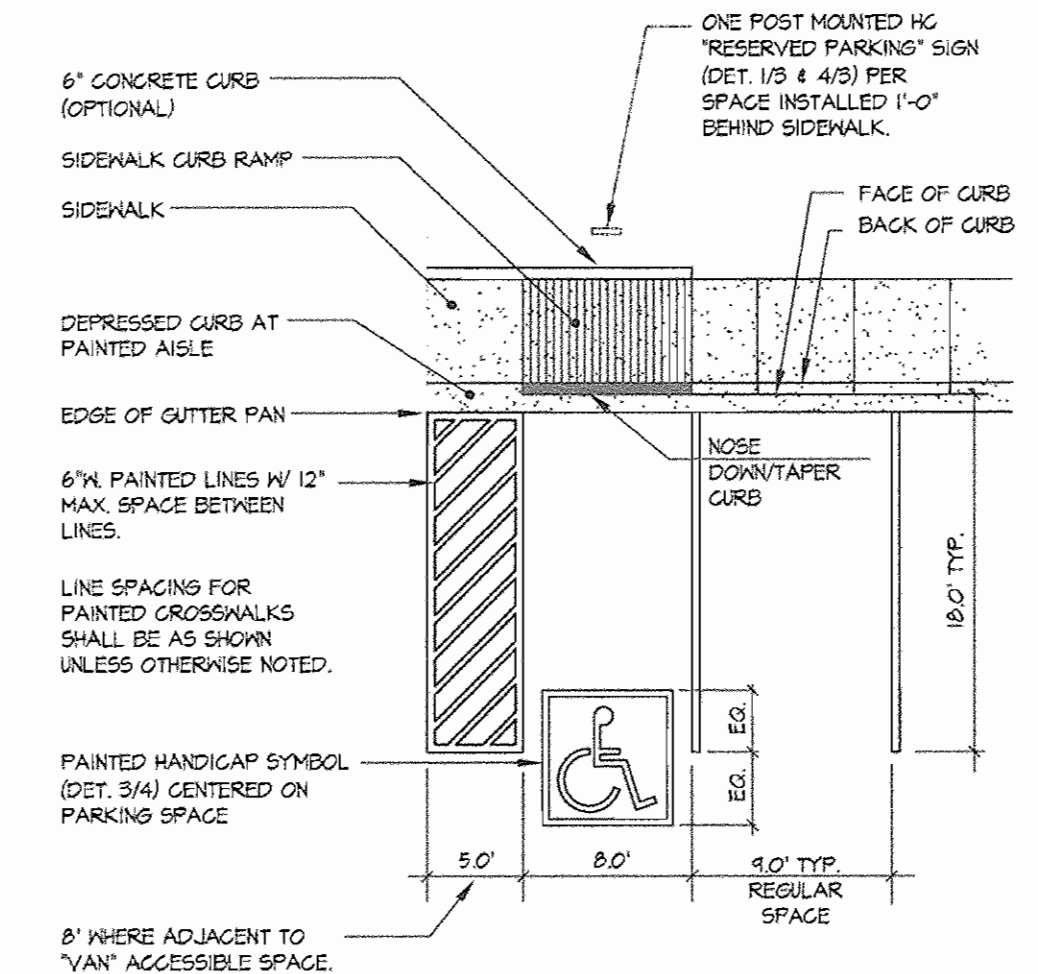
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK
PARCELS C-21 and C-22
PLAT Nos. 16514, 17397/98 and 19568

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
Jan./2008	46: 3&4	5 OF 12



- GENERAL NOTES:
- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL RT-8.
 - ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE PLAN.
 - SPACES INDICATED ON SITE PLAN AS "VAN" ACCESSIBLE SHALL BE SIGNED ACCORDINGLY.
 - SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS IN THE TOP OF THE SIGN 4" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 - SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 - COLORS: LEGEND AND BORDER - GREEN
SYMBOL - WHITE ON BLUE BACKGROUND
BACKGROUND - WHITE

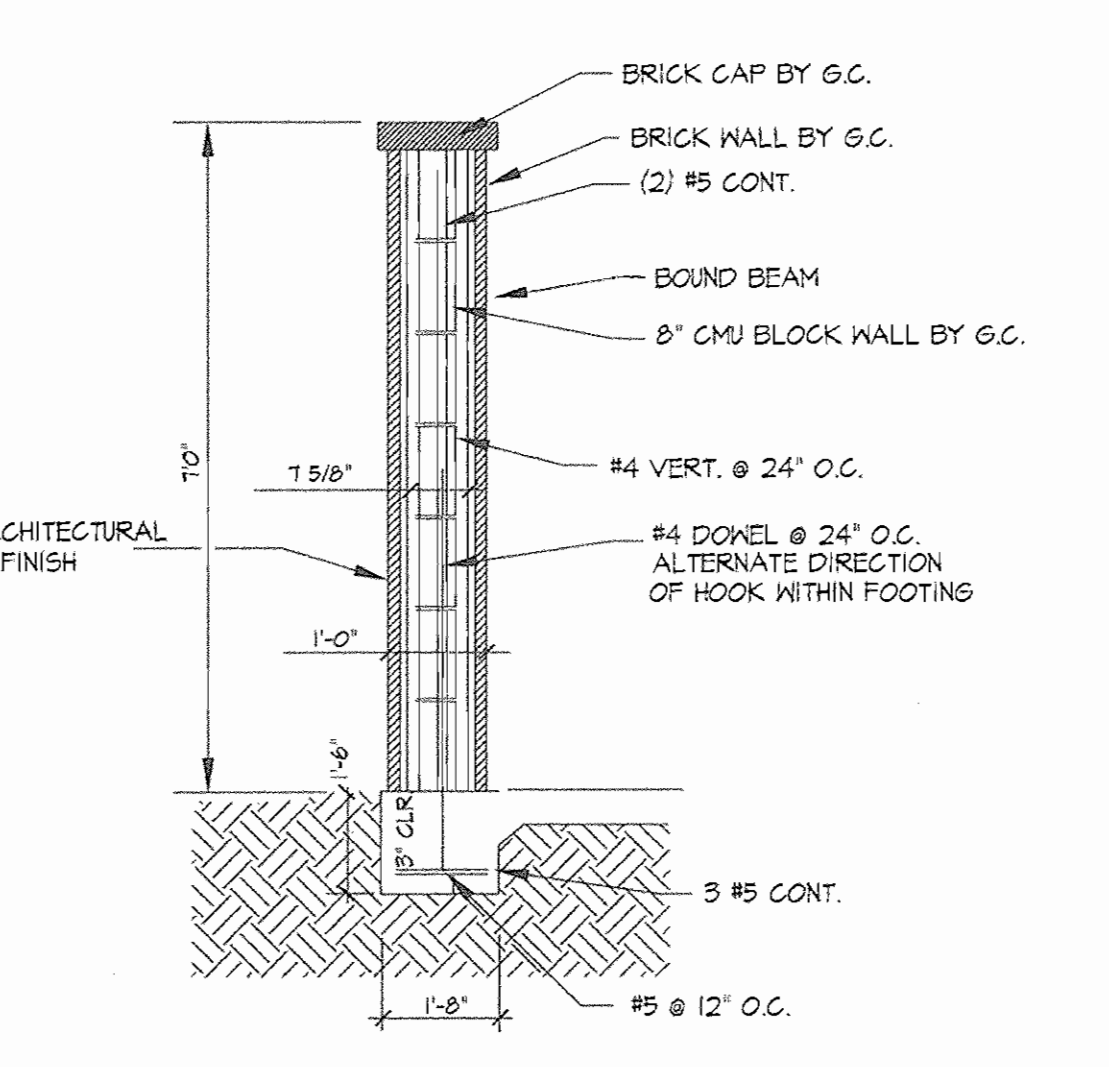
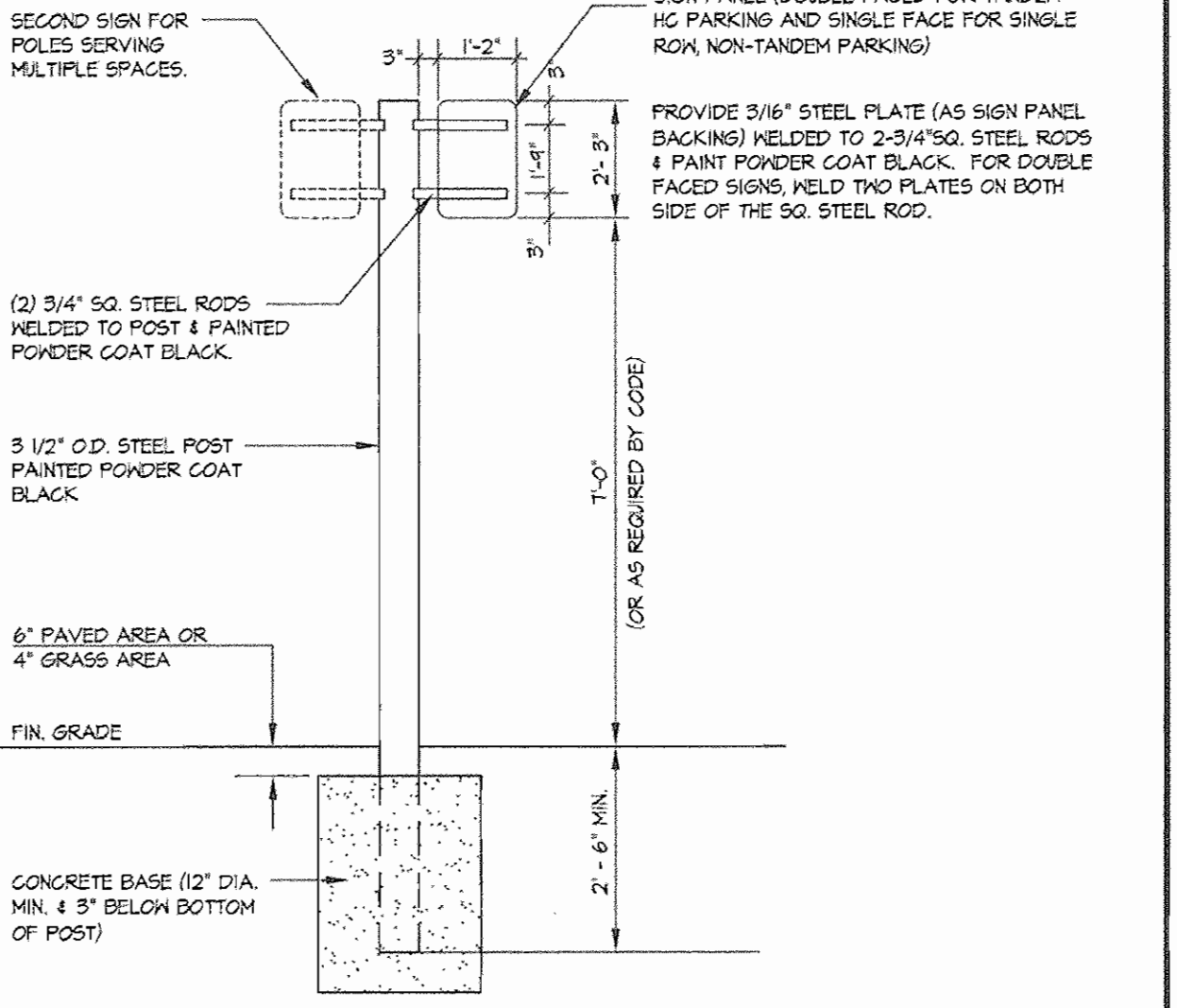
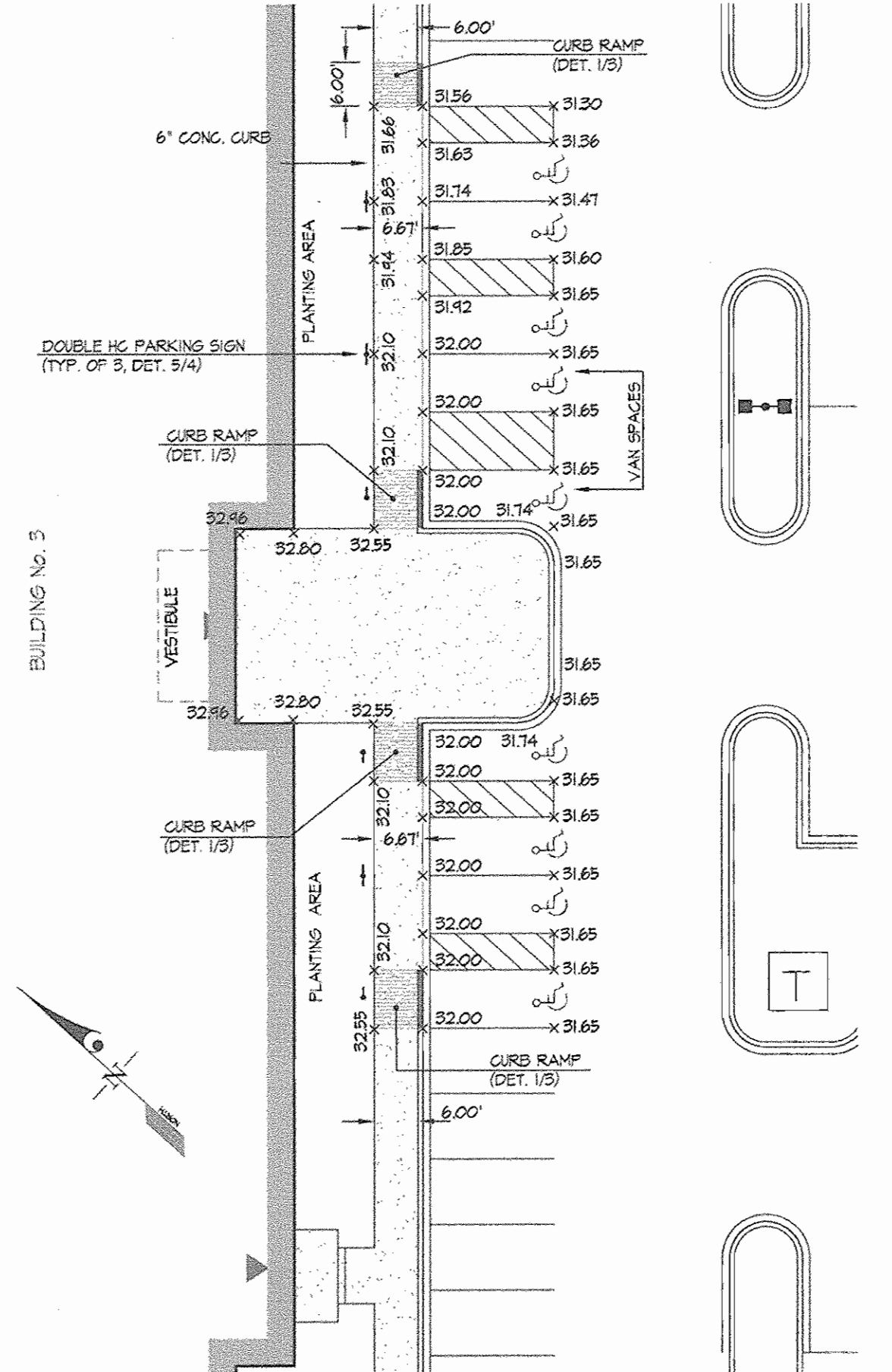


1 HANDICAP PARKING SIGNS DETAIL NO SCALE

2 PARKING SPACE LAYOUT NO SCALE

3 HANDICAP SPACE STENCIL LAYOUT NO SCALE

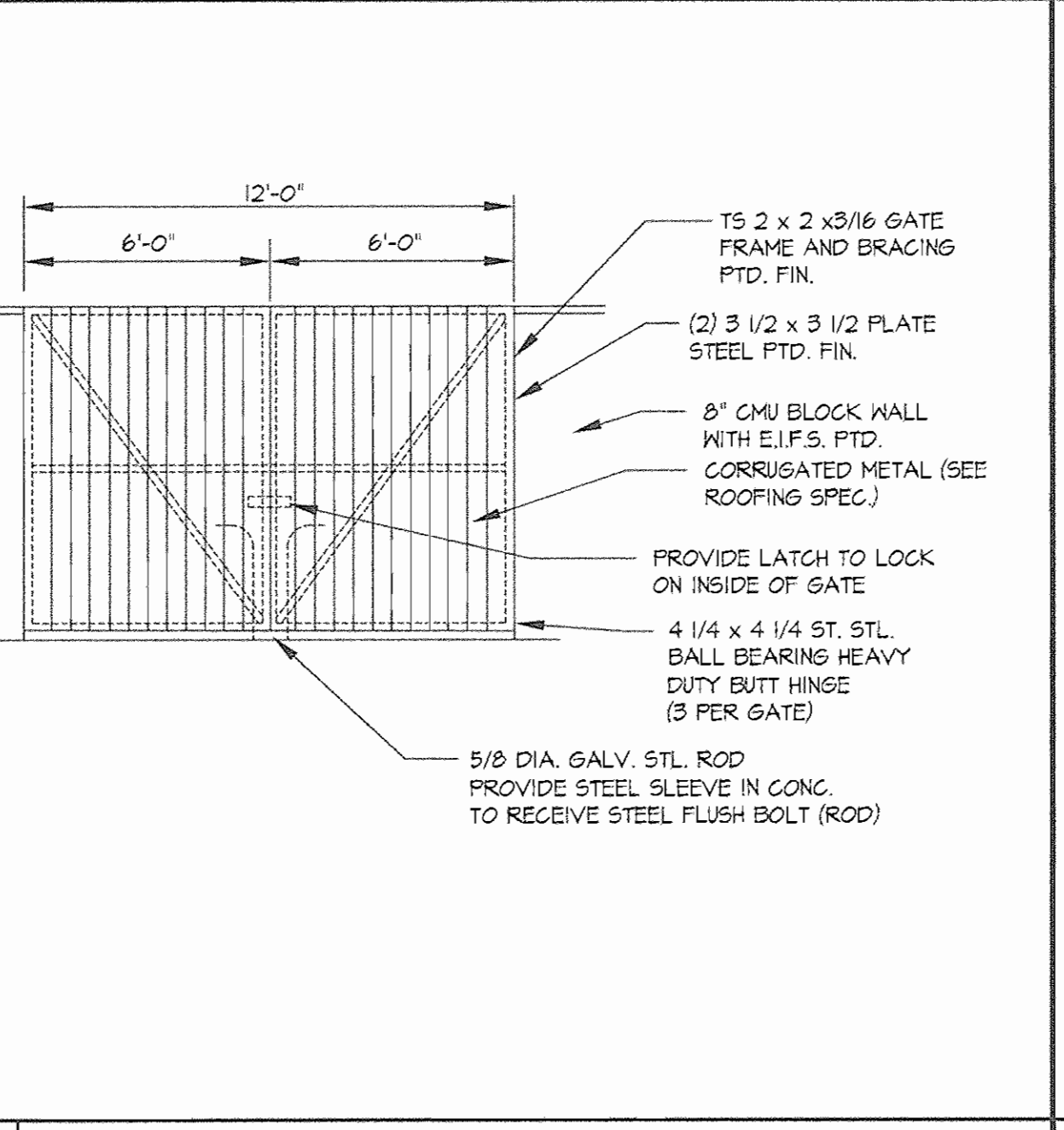
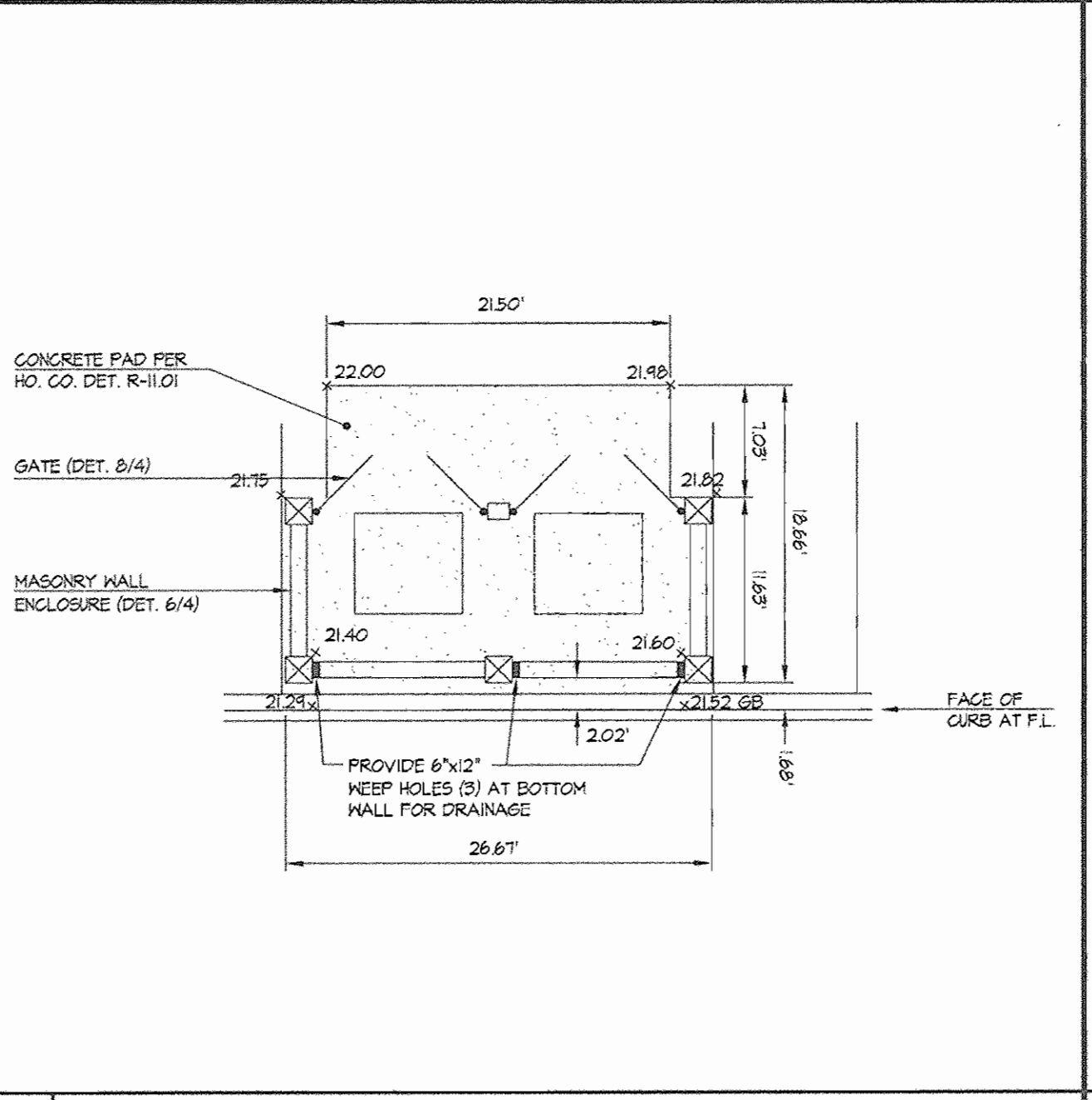
7 ROOF DRAIN CONNECTIONS (RDC) DETAIL SCALE: 1"=20"



5 POST and SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE

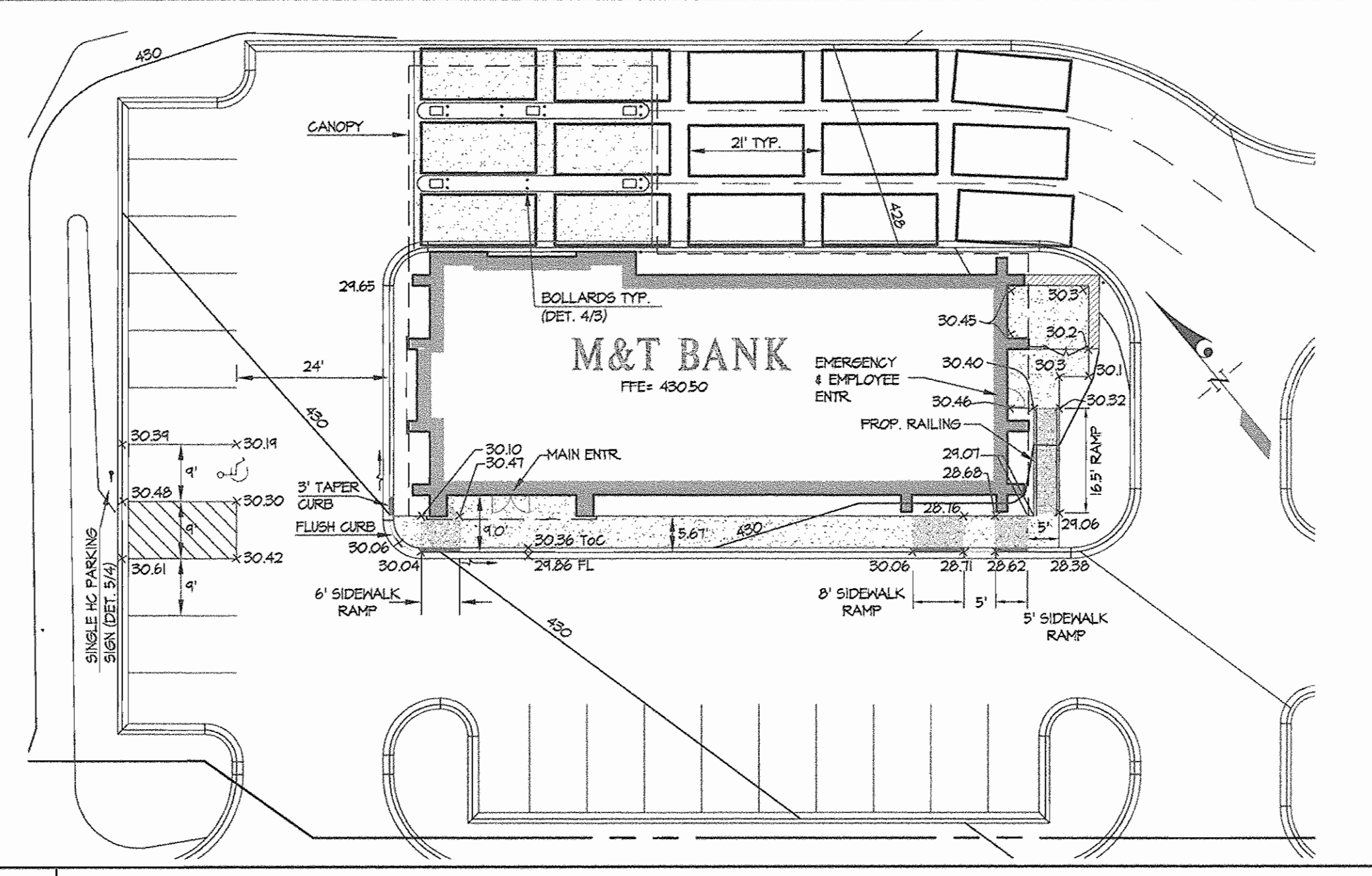
6 SECTION OF STONE WALL FOR TRASH ENCLOSURE NO SCALE

4 ACCESSIBLE ROUTE TO BUILDING No. 3 EAST ENTRANCES SCALE: 1"=20'



8 TRASH ENCLOSURE SCALE: 1"=10'

9 ELEVATION FOR GATES FOR TRASH ENCLOSURE NO SCALE



10 BANK DRIVE-IN QUEUING and ACCESSIBLE ROUTE TO BANK SCALE: 1"=20'

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE FEBRUARY 3, 2005 and DECEMBER 7, 2006
KS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Wanda Laugel* 2/25/05
Chief, Division of Land Development: *Chris Hines* 2/25/05
Chief, Development Engineering Division: *Chris Hines* 2/25/05

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.

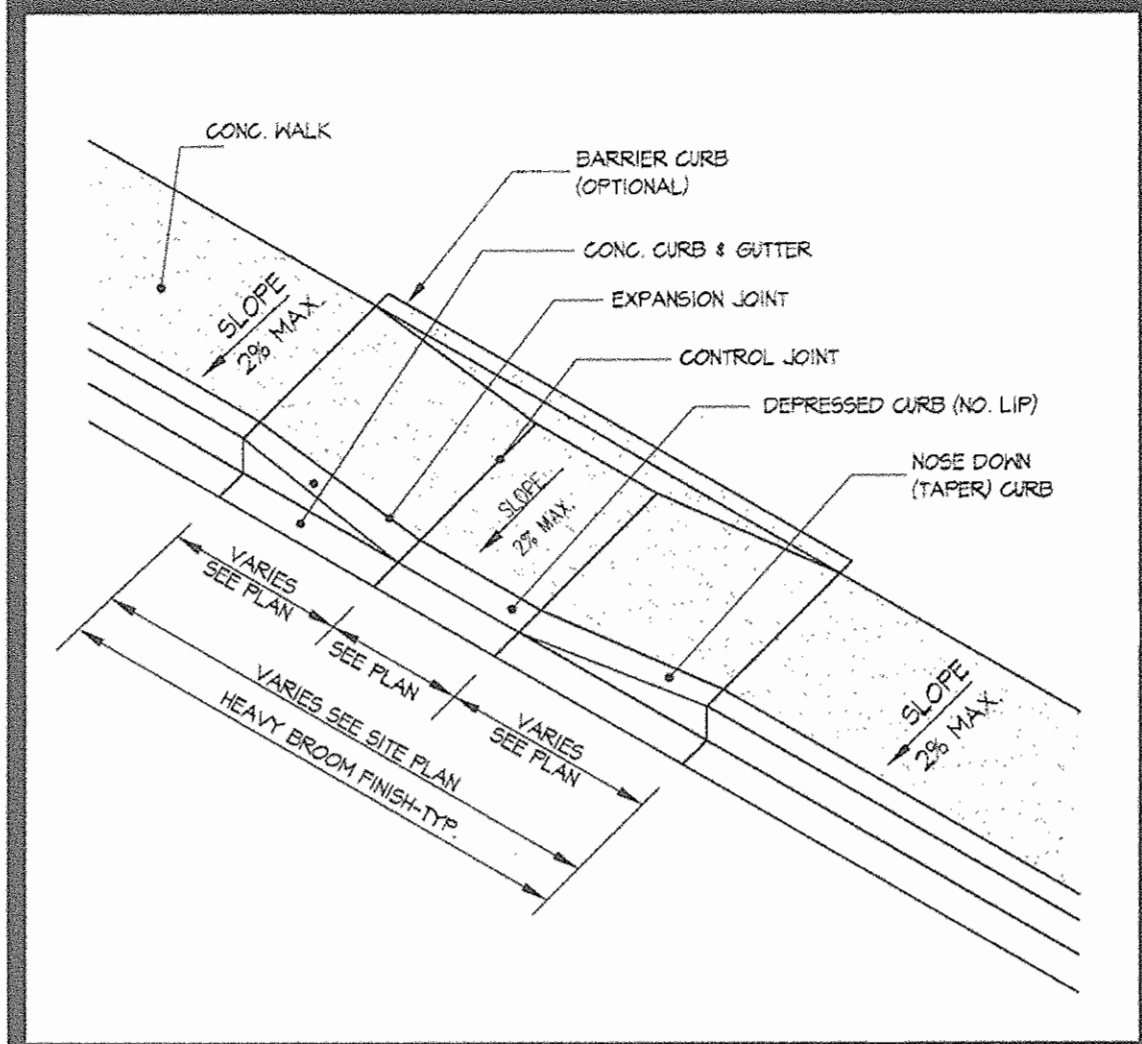
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE, SUITE 230 - BERTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20865
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

11/07	revised title block; add queuing and handicap accessibility detail for m&t bank	DES. MBT	DRN. KLP	CHK.
DATE	REVISION	BY	APPR.	

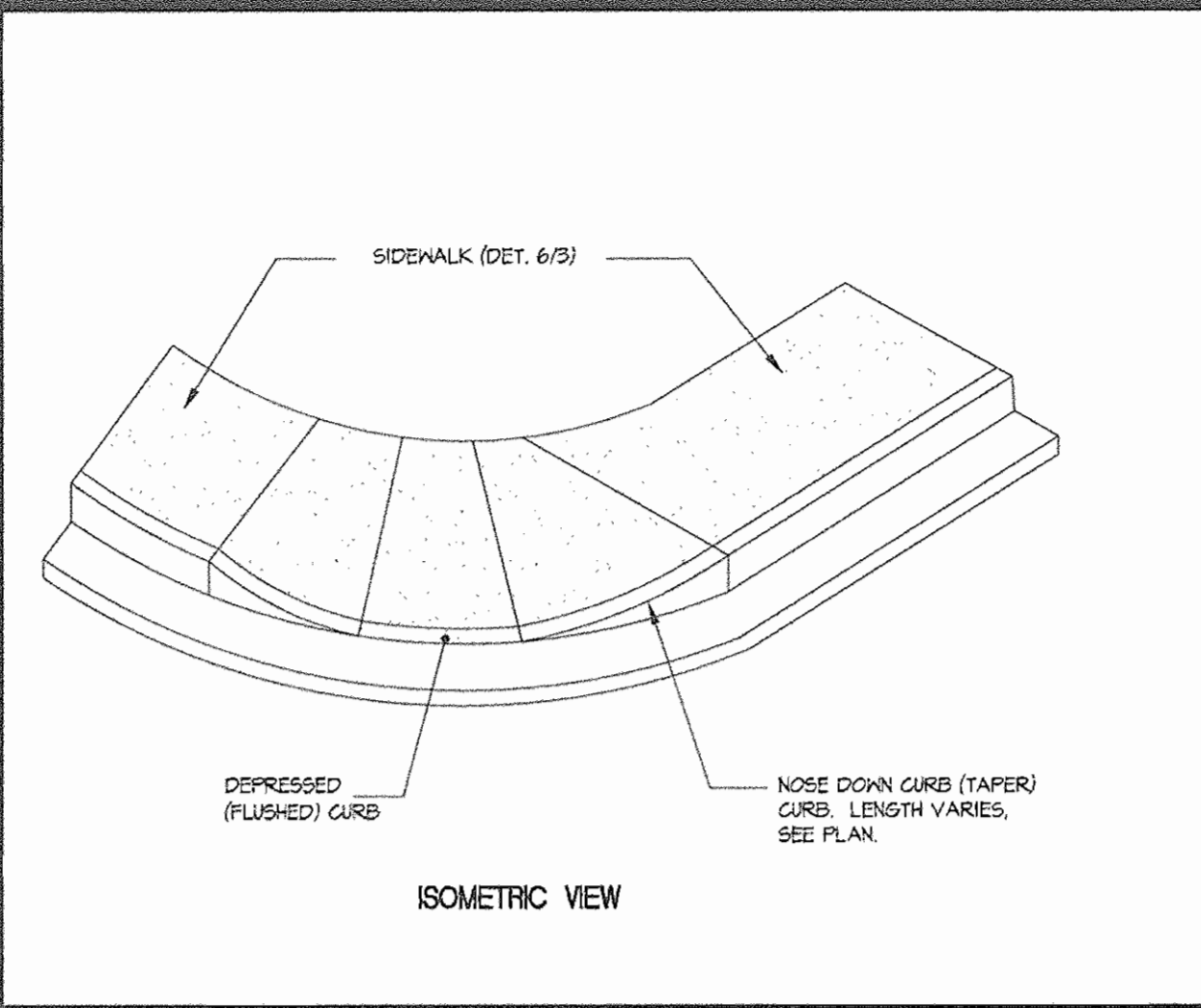
PREPARED FOR:
G&R Maple Lawn, Inc. et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

REVISED SITE DETAILS
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK
PARCELS C-21 and C-22
PLAT Nos. 16514, 17397/98 and 19568
ELECTION DISTRICT No. 5

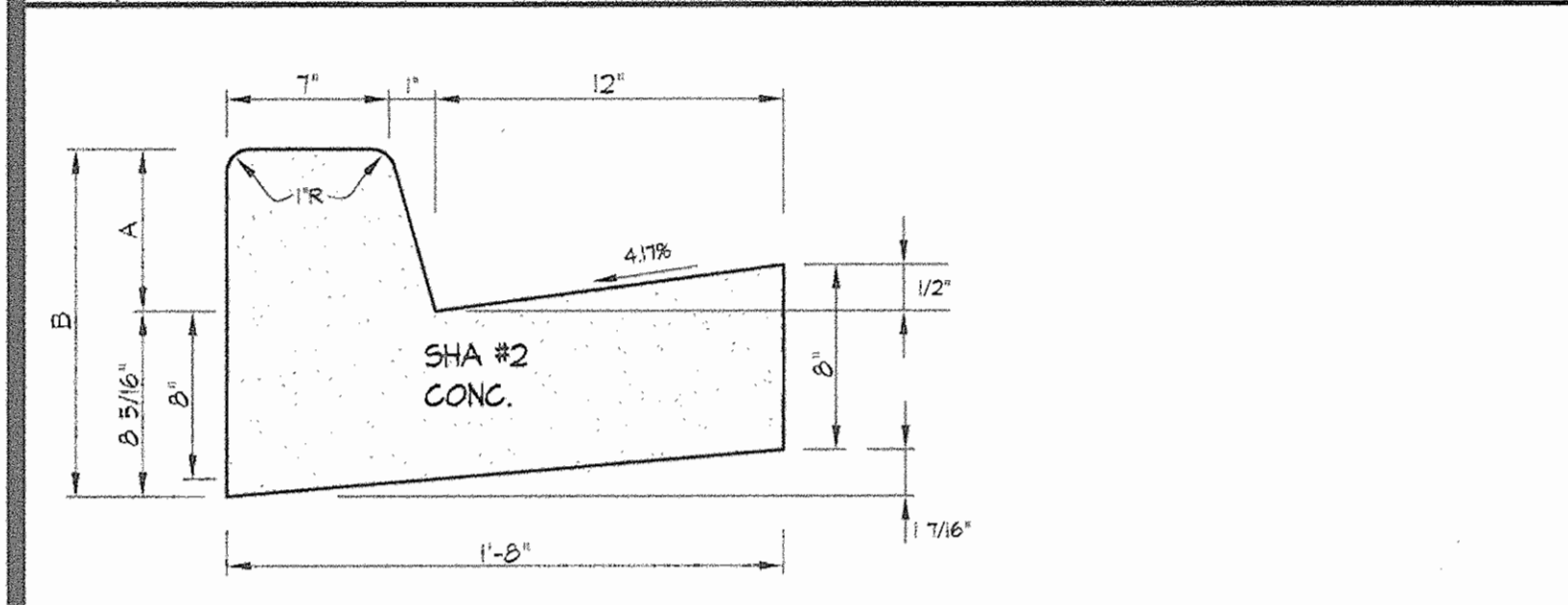
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03053
DATE	TAX MAP -- GRID	SHEET
Jan, 2008	46: 3&4	4 OF 12



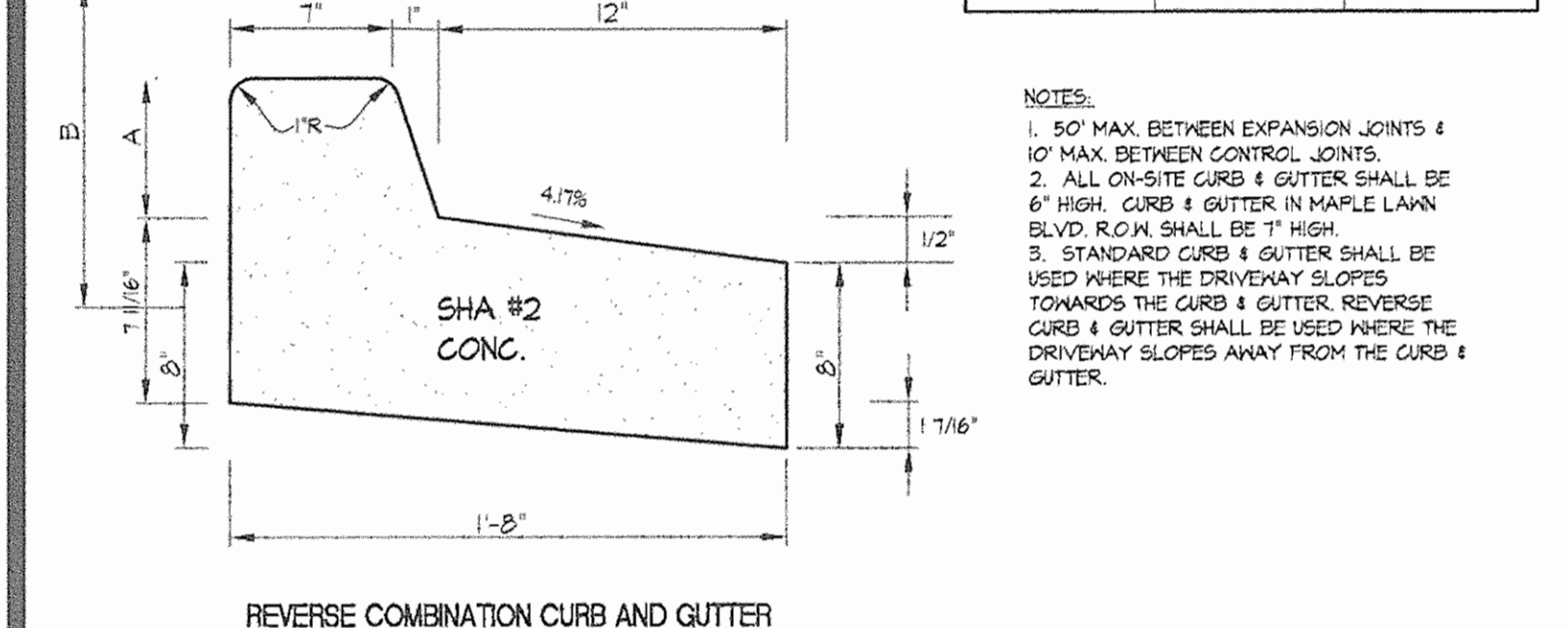
1 TYPE-A HANDICAP RAMP DETAIL NO SCALE



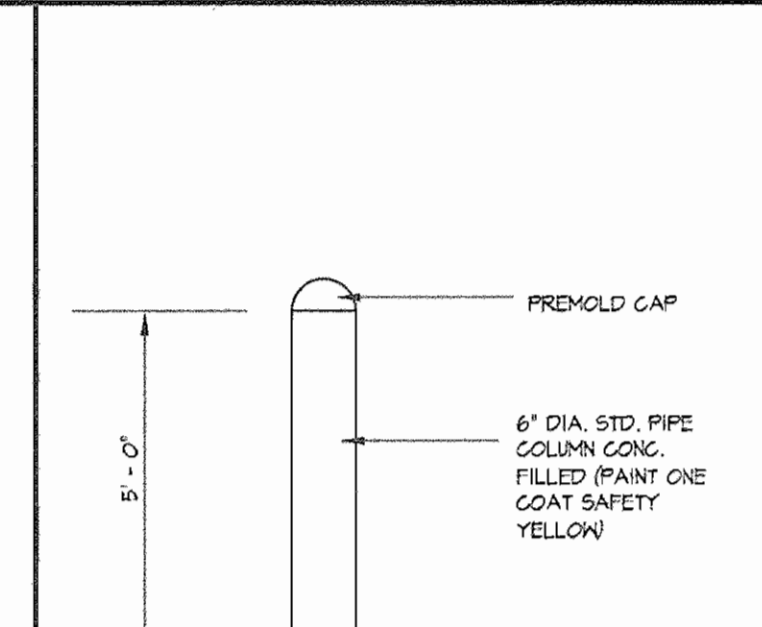
2 TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION NO SCALE



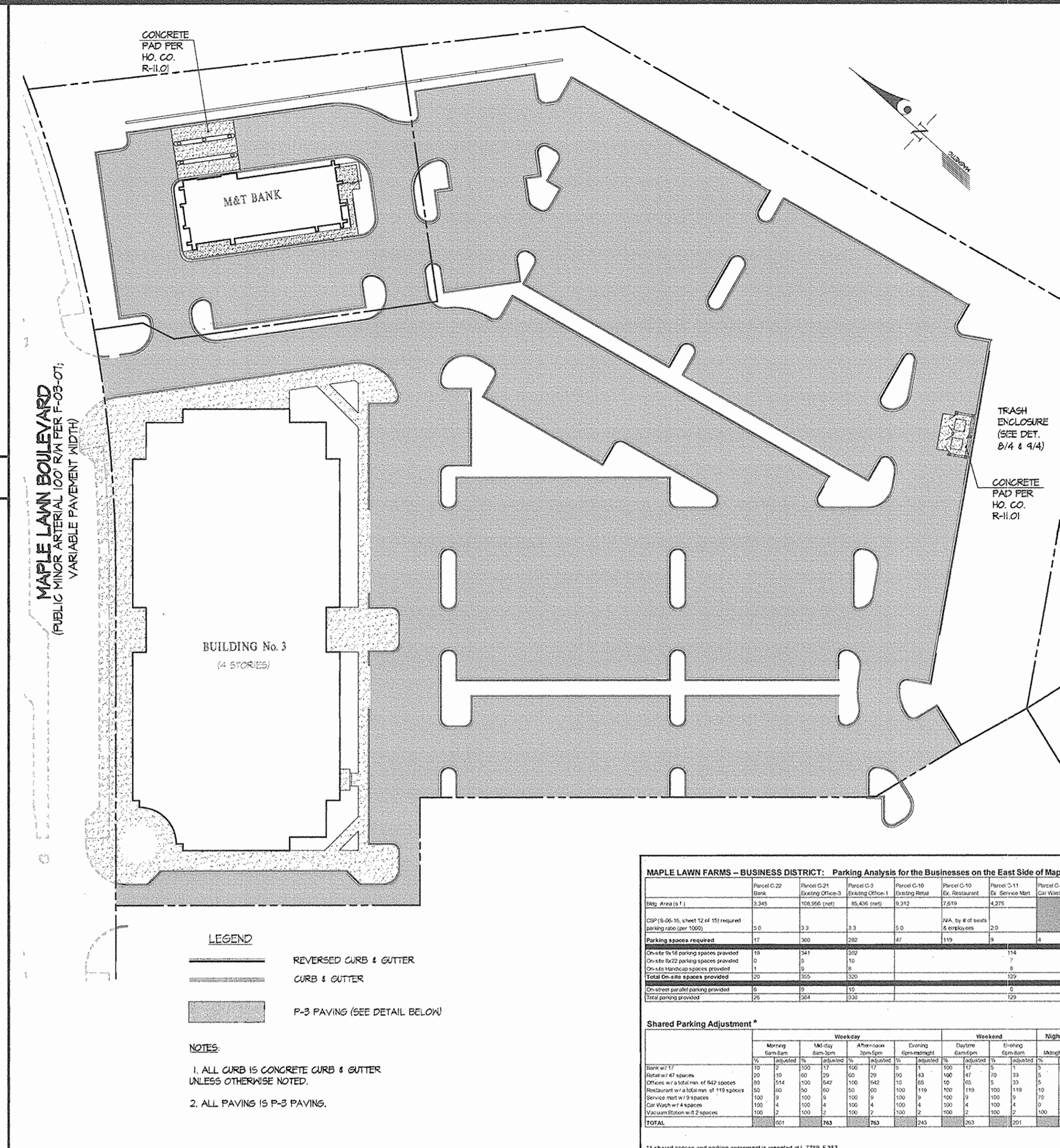
CURB HEIGHT	A	B
6"	6"	1'-2 5/16"
7"	7 3/16"	1'-3 1/2"



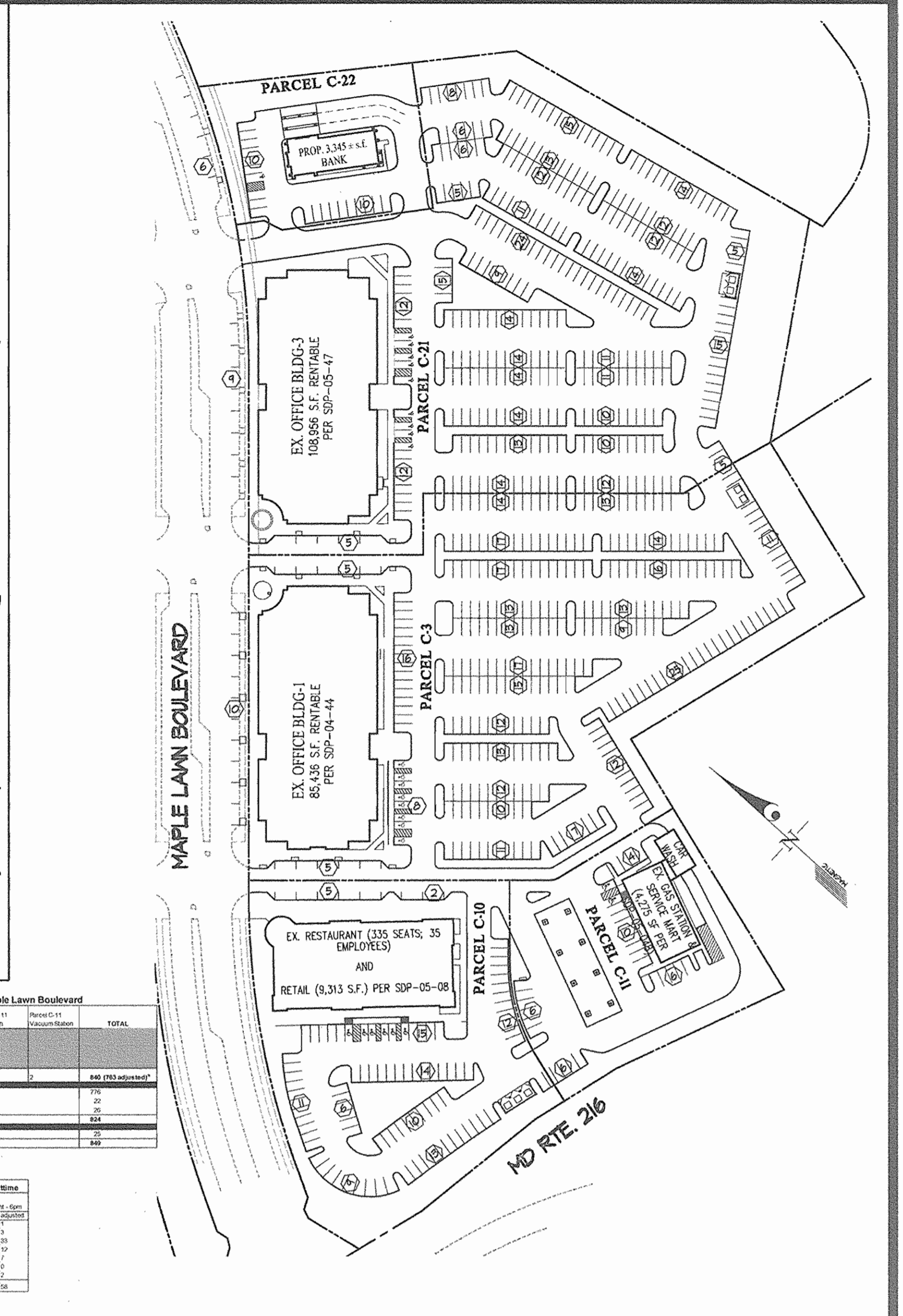
3 TYPE-A CONCRETE CURB AND GUTTER (STANDARD AND REVERSE) NO SCALE



4 BOLLARD DETAIL NO SCALE



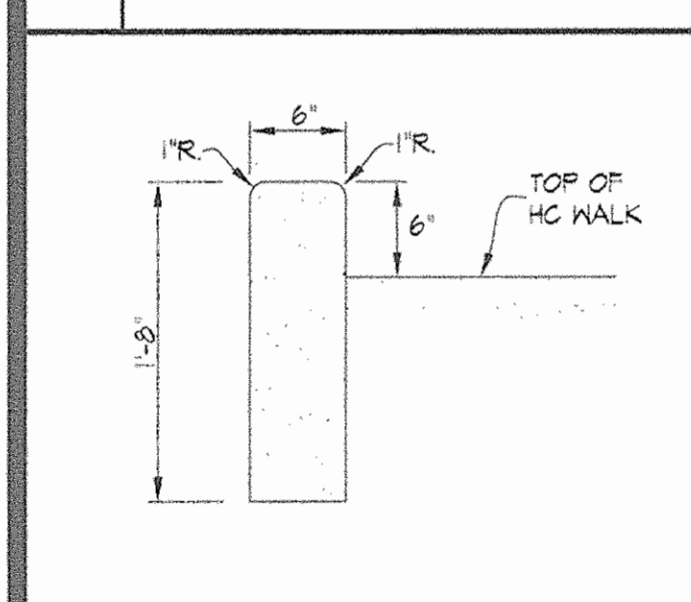
PAVING PLAN SCALE: 1"=50'



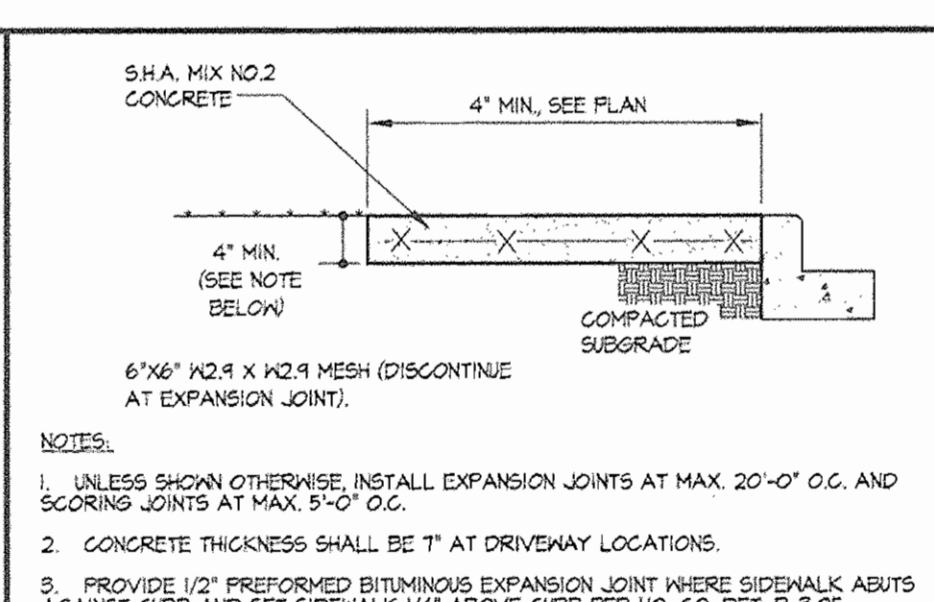
PARKING ANALYSIS SCALE: 1"=100'

MAPLE LAWN FARMS - BUSINESS DISTRICT: Parking Analysis for the Businesses on the East Side of Maple Lawn Boulevard

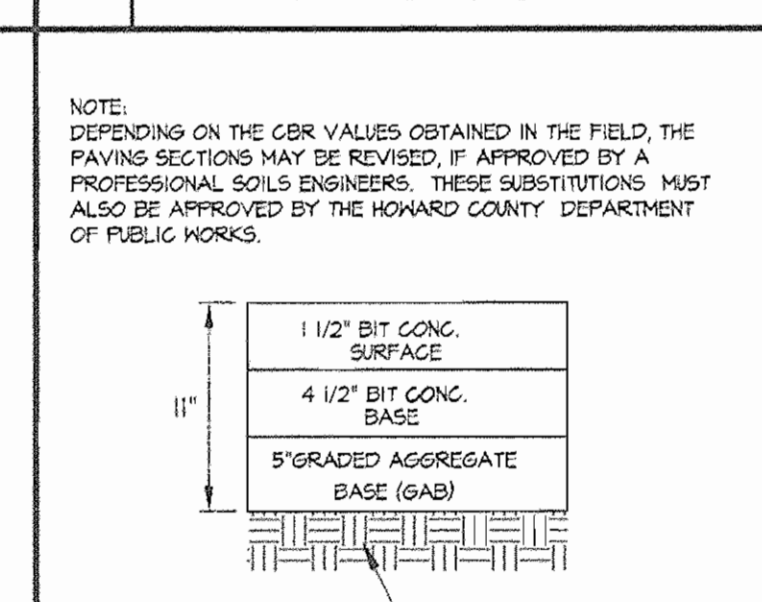
Map Area (S.F.)	Parcel G-22 Bank	Parcel G-21 (Existing) M&T Bank	Parcel G-3 (Existing) M&T Bank	Parcel G-40 (Existing) M&T Bank	Parcel G-40 (Existing) M&T Bank	Parcel G-11 (Existing) M&T Bank	Parcel G-11 (Existing) M&T Bank	TOTAL
3,288	100,000	85,400	8,372	1,072	1,072	1,072	1,072	192,596
SDP (15-55-11, sheet 12 of 15 required) (parking rate per 1000)	33	37	37	33	33	33	33	33
Banking spaces provided	33	37	37	33	33	33	33	33
Banking spaces required	33	37	37	33	33	33	33	33
Available for SDP parking spaces provided	0	0	0	0	0	0	0	0
Available for SDP parking spaces required	0	0	0	0	0	0	0	0
Total on-site spaces provided	33	37	37	33	33	33	33	33
Total on-site spaces required	33	37	37	33	33	33	33	33
Shared parking provided	0	0	0	0	0	0	0	0
Shared parking required	0	0	0	0	0	0	0	0



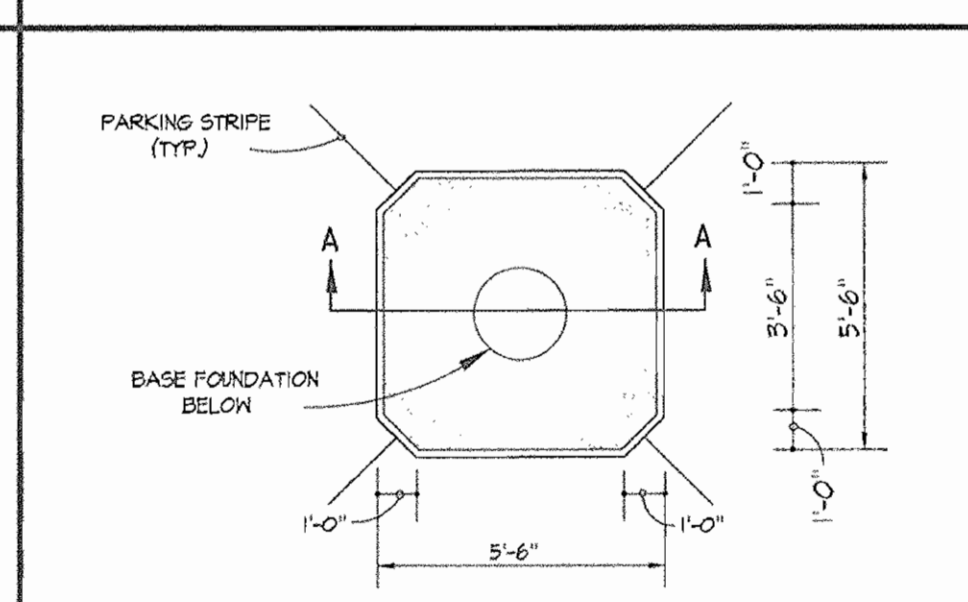
5 6" HC SIDEWALK BARRIER CURB NO SCALE



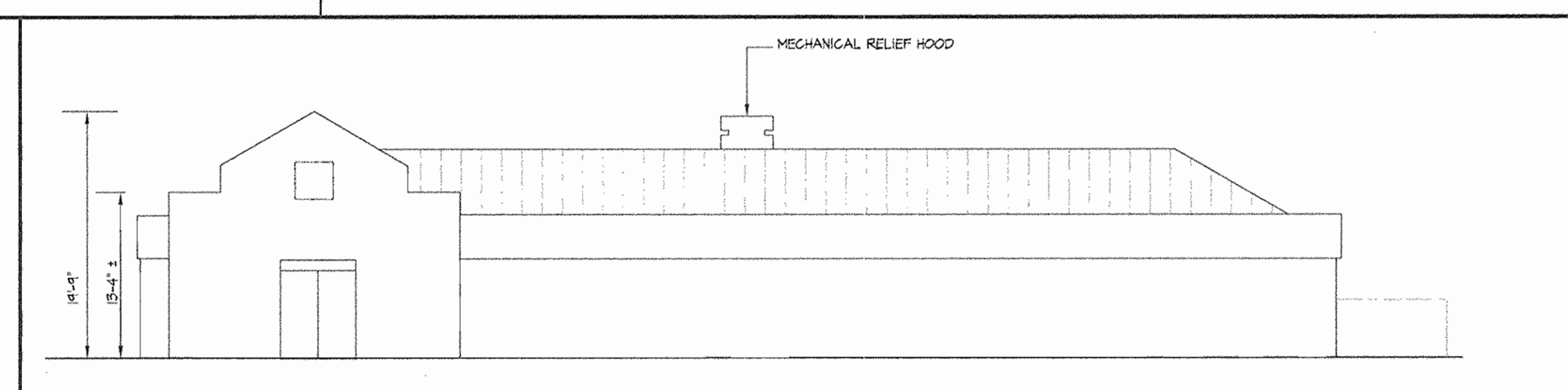
6 TYPICAL SIDEWALK SECTION NO SCALE



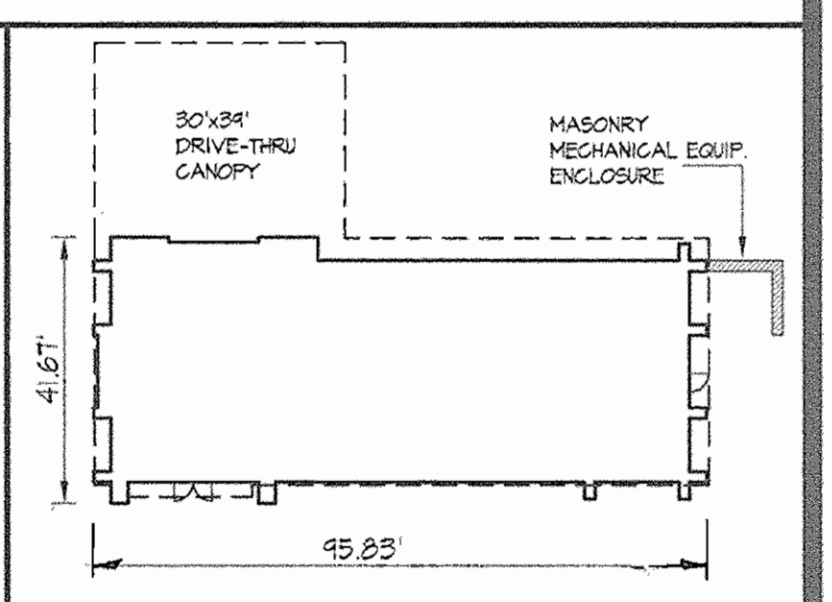
7 BITUMINOUS PAVING SECTIONS NO SCALE



8 CONCRETE LIGHT POLE ISLAND DETAIL NO SCALE



BANK ELEVATION - FRONT NO SCALE

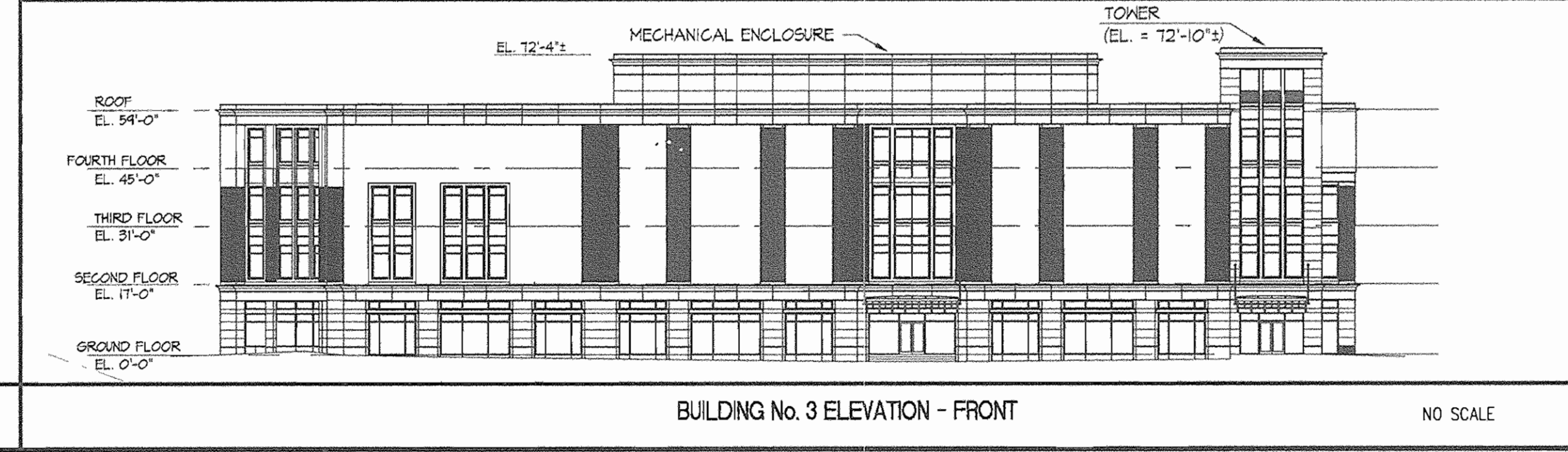


BANK FOOTPRINT NO SCALE

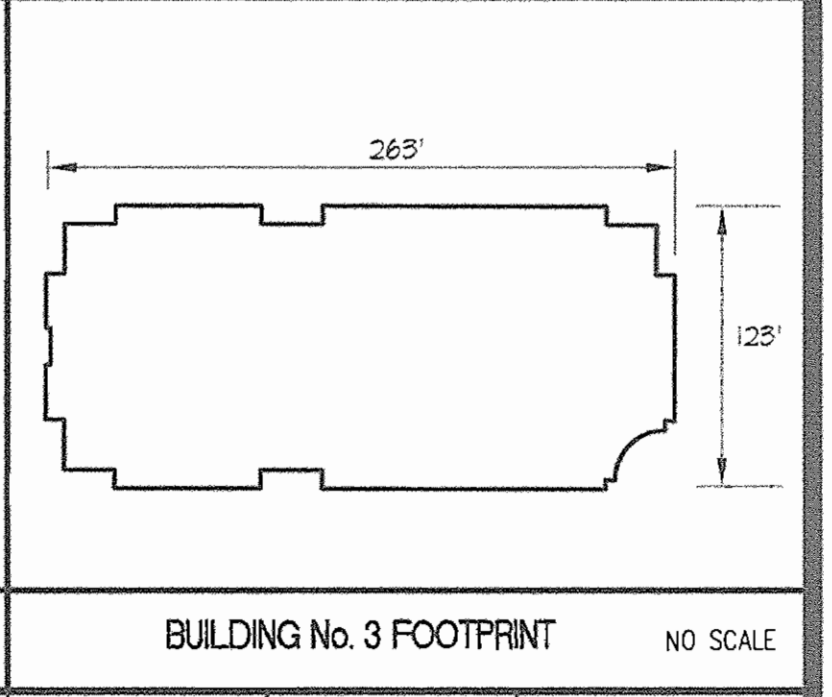
APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE FEBRUARY 3, 2005 AND DECEMBER 7, 2006

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 2/25/06
Chief, Division of Land Development: [Signature] Date: 2/25/06
Chief, Development Engineering Division: [Signature] Date: 2/25/06

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2009.



BUILDING No. 3 ELEVATION - FRONT NO SCALE



BUILDING No. 3 FOOTPRINT NO SCALE

GLWGuttschick Little & Weber, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
BURTOWNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
11/07	revised title block; added bank footprint and elevation and revised paving plan		

PREPARED FOR:
G&R Maple Lawn, Inc. et. al.
Suite 410, Woodholme Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

REVISED SITE DETAILS
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK
PARCELS C-21 and C-22
PLAT Nos. 16514, 17397/98 and 19568
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
Jan, 2008	46: 3&4	3 OF 12

SITE DEVELOPMENT PLAN MAPLE LAWN FARMS OFFICE BUILDING 3 and M&T BANK PARCELS C-21 & C-22

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-2860 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-TTTT AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:
LOCATION: TAX MAP #46, GRIDS 3 & 4
ZONING: MXD-3
ELECTION DISTRICT: 5TH
PARCEL C-21 & C-22 AREA: 0.7420 & 4.8405 AC.
REG. REF.: PLAT Nos. 16514, 17397/98 & 19568
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- PROPOSED USE: OFFICE BUILDING AND BANK.
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY INFORMATION BY GUTSCHICK, LITTLE & WEBER, P.A. & DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
- COORDINATES AND BEARINGS ARE BASED UPON THE '88 MD STATE COORDINATE SYSTEM (NAD 83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 41E4, 41E3, 41E4 AND NO. 44E2.
- PROPERTY IS ZONED MXD-3 PER THE 10-18-13 COMPREHENSIVE ZONING PLAN. PER ZB-195M WAS APPROVED 2/6/01 GRANTING APPROVAL TO TOP.
- See Department of Planning & Zoning file numbers: S-01-T, ZB-195M, PB-553, KP-01-11(M), KP-02-54(M), P-02-12, P-03-01, P-04-31, P-04-15, SDP-04-44, F-03-08 (PA, 17941-43), PB-519, S-03-016 AND P-03-20 (Plat #19568).
- WATER AND SEWER SERVICE IS PUBLIC.
- ALL EXISTING WATER AND SEWER IS PER CONTRACT Nos. 24-4062-D AND 24-4262-D.
- ALL EXISTING PUBLIC STORM DRAIN IS PER F-03-01 AND SDP-04-44.
- STORMWATER MANAGEMENT IS BEING PROVIDED BY F-03-01, ALONG WITH A DRYWELL AND STORMCEPTOR ON THIS SITE PLAN. THE DRYWELL IS FOR REV AND IT TREATS PARCEL C-6 PLUS THE PORTION OF THE MAPLE LAWN BLVD. R.O.M. FRONTING THIS PARCEL.
- RECORDING REFERENCE: PLAT Nos. 16514 and 19568.
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- THIS PROPERTY WAS BROUGHT INTO THE METROPOLITAN DISTRICT ON AUGUST 8, 2001.
- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER PB-519 AND S-06-16.
- AS A CONSEQUENCE OF THE SKETCH PLAN S-01-T APPROVAL PRIOR TO NOVEMBER 15, 2001, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- OPEN SPACE LOTS CONTAIN ACTIVE RECREATIONAL FACILITIES AS ALLOWED BY THE APPROVED COMPREHENSIVE DEVELOPMENT CRITERIA.
- PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-195M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (S-01-T).
- THE TRAFFIC STUDY WAS APPROVED AS PART OF SKETCH PLAN S-01-T.
- WATER AND SEWER HOUSE CONNECTION LIMITS SHOWN ON THESE PLANS IS FROM THE ROAD R/W TO WITHIN 5' OF THE BUILDING. REFER TO ARCHITECTURALS FOR REMAINDER ON CONSTRUCTION.
- FOREST CONSERVATION FOR THIS SITE HAS BEEN PROVIDED UNDER F-03-01.
- ALL EASEMENTS (PUBLIC AND PRIVATE) SHOWN ON THESE PLANS ARE PER RECORDED PLAT #519 THRU 16514, UNLESS OTHERWISE NOTED.
- BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL USE, A NOISE STUDY IS NOT REQUIRED.
- BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM IN AN INSIDE METER.
- THIS OFFICE BUILDING IS LOCATED IN AN EMPLOYMENT AREA WHICH IS NOT PART OF A RETAIL CENTER.
- SEE SHEETS 10 AND 11 FOR LANDSCAPE/SURETY REQUIREMENTS.
- THE SHARED ACCESS AND PARKING REQUIREMENT FOR ALL THE PARCELS ON THE EAST SIDE OF MAPLE LAWN BLVD. (PARCELS C-1, C-2, C-10, C-21 AND C-22) IS COVERED BY SECTION 1011, ACCESS AND PARKING EASEMENT IN AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITION AND RESTRICTIONS FOR MAPLE LAWN COMMERCIAL ASSOCIATION, INC. AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 1784 AT FOLIO 353.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THE LOWER LEVEL OF OFFICE BUILDING NO. 3 IS TO BE UTILIZED ONLY FOR STORAGE AND MECHANICAL EQUIPMENT. THE AREA DOES NOT COUNT TOWARDS FLOOR AREA RATIO (F.A.R.) CALCULATIONS AND DOES NOT REQUIRE PARKING, HOWEVER, IF ANY PORTION OF THE LOWER LEVEL BECOMES OFFICE OR RETAIL IN THE FUTURE, THEN THE F.A.R. AND PARKING TABULATIONS WILL HAVE TO BE REVISED.
- ON FEBRUARY 03, 2005 THE HOWARD COUNTY PLANNING BOARD APPROVED THIS SDP WITH THE REQUESTED SETBACK REDUCTIONS FROM 15' TO 12.5' BETWEEN THE OFFICE BUILDING AND ADJACENT PARKING AREAS AS REQUIRED BY THE DEVELOPMENT CRITERIA. THE CRITERIA HAS SINCE BEEN AMENDED WITH THE APPROVAL OF S-06-16.
- ON DECEMBER 01, 2006 THE HOWARD COUNTY PLANNING BOARD APPROVED THIS SDP FOR THE CONSTRUCTION OF A NEW ONE-STORY WAREHOUSE BUILDING AND OTHER RELATED SITE IMPROVEMENTS. THE WAREHOUSE IS NOT BUILT, AND SUBSEQUENTLY, A REDLINE REVISION FOR A "M&T BANK" WAS SUBMITTED TO DPZ. THE DEPARTMENT OF PLANNING AND ZONING DETERMINED ON MARCH 3, 2008 THAT THE REDLINE REVISION TO ADD THE "M&T BANK" WILL NOT REQUIRE RE-APPROVAL OF THIS SDP BY PLANNING BOARD IN ACCORDANCE WITH SECTION 127.3, "MINOR ADDITIONS AND MODIFICATIONS" OF THE HOWARD COUNTY ZONING REGULATIONS.

DESIGN MANUAL VOLUME II WAIVER

- THE WAIVER OF THE 10' HORIZONTAL CLEARANCE (PER DMV II, SECTION 5.4.A.5) BETWEEN THE UTILITY EASEMENT AND THE PROPOSED BUILDING WAS APPROVED ON 08/NOV/2006 WITH THE FOLLOWING STIPULATION:
 - NO IMPROVEMENTS SHALL BE CONSTRUCTED OR PLACED WITHIN THE PUBLIC WATER SEWER AND UTILITY EASEMENTS THAT WILL IMPERE OR HINDER ACCESS TO THE WATER OR SEWER MAINS.
 - IMPROVEMENTS SUCH AS BUILDING OVERHANGS, DECKS, FENCING, AND TREES SHALL NOT BE PLACED WITHIN THE EASEMENT.


 G. L. W. File No. 03053
 1-25-08

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.

THE PURPOSE FOR REVISING THIS SITE DEVELOPMENT PLAN IS TO SHOW THE CHANGES ASSOCIATED WITH M&T BANK ADDITION IN THE PARKING LOT ON THE NORTH SIDE OF OFFICE BUILDING NO. 3

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: FEBRUARY 3, 2005 and DECEMBER 7, 2006

K

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *M. D. Leyle* Date: 2/23/08

Chief, Division of Land Development: *Cindy Hunter* Date: 2/15/08

Chief, Development Engineering Division: *John* Date: 2/15/08

GLWGutSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4024

DRAWINGS\96079\03052\SDP\03052-CS.dwg DES. MBT DRN. KLP CHK. MBT

1/15/08 revised title block; incorporated changes associated with M&T Bank
DATE REVISION BY APPR.

COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

- PARCEL SIZE**
NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.
- HEIGHT**
MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:
- COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE STORIES.
 - COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
 - COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.
 - COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
 - COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET OF MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES ABOVE THE HIGHEST ADJOINING GROUND.
 - COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT WITHIN 300' OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES.
 - COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300' OF MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES ABOVE THE HIGHEST ADJOINING GROUND.

PERMITTED USES

- THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:
- EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE POR-B1 AND M-1 DISTRICTS, AS PER PETITIONER'S POP EXHIBIT 1B, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES PERMITTED IN SUCH DISTRICTS: FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINNER THEATERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.

- THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE POR-B1 AND M-1 DISTRICTS WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS COMPREHENSIVE SKETCH PLAN PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED:

- PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES
 - THEATERS, LEGITIMATE AND DINNER
 - THEATERS, MOVIE
 - PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMERCIAL COMMUNICATIONS TOWERS.
- THE FOLLOWING USE RESTRICTIONS ALSO APPLY:
- NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
 - CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED
 - A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.
 - NO SINGLE RETAIL CENTER SHALL EXCEED 150,000 SQUARE FEET. RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION. HOWEVER FOR ALL RETAIL CENTERS THE TOTAL SQUARE FEET FOR ALL NOT EXCEED 150,000 SQUARE FEET PER GROSS ACRES. NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE MXD-3 DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER.

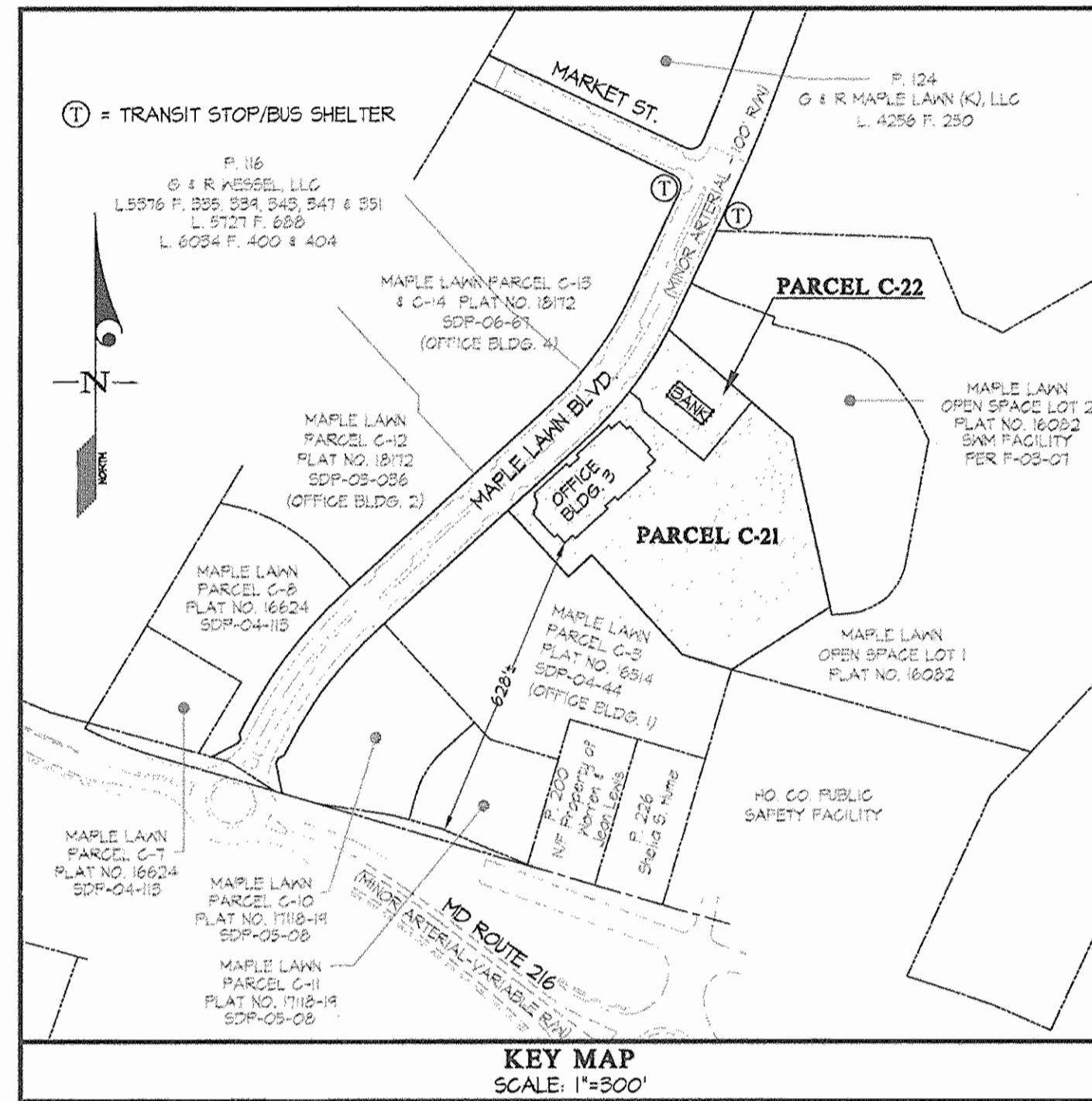
SECTION 128.F SHALL APPLY TO EMPLOYMENT LAND USE AREAS.

COVERAGE

NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.

FLOOR AREA RATIO (F.A.R.)

OVERALL LIMIT IS 0.39 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.



SHEET INDEX

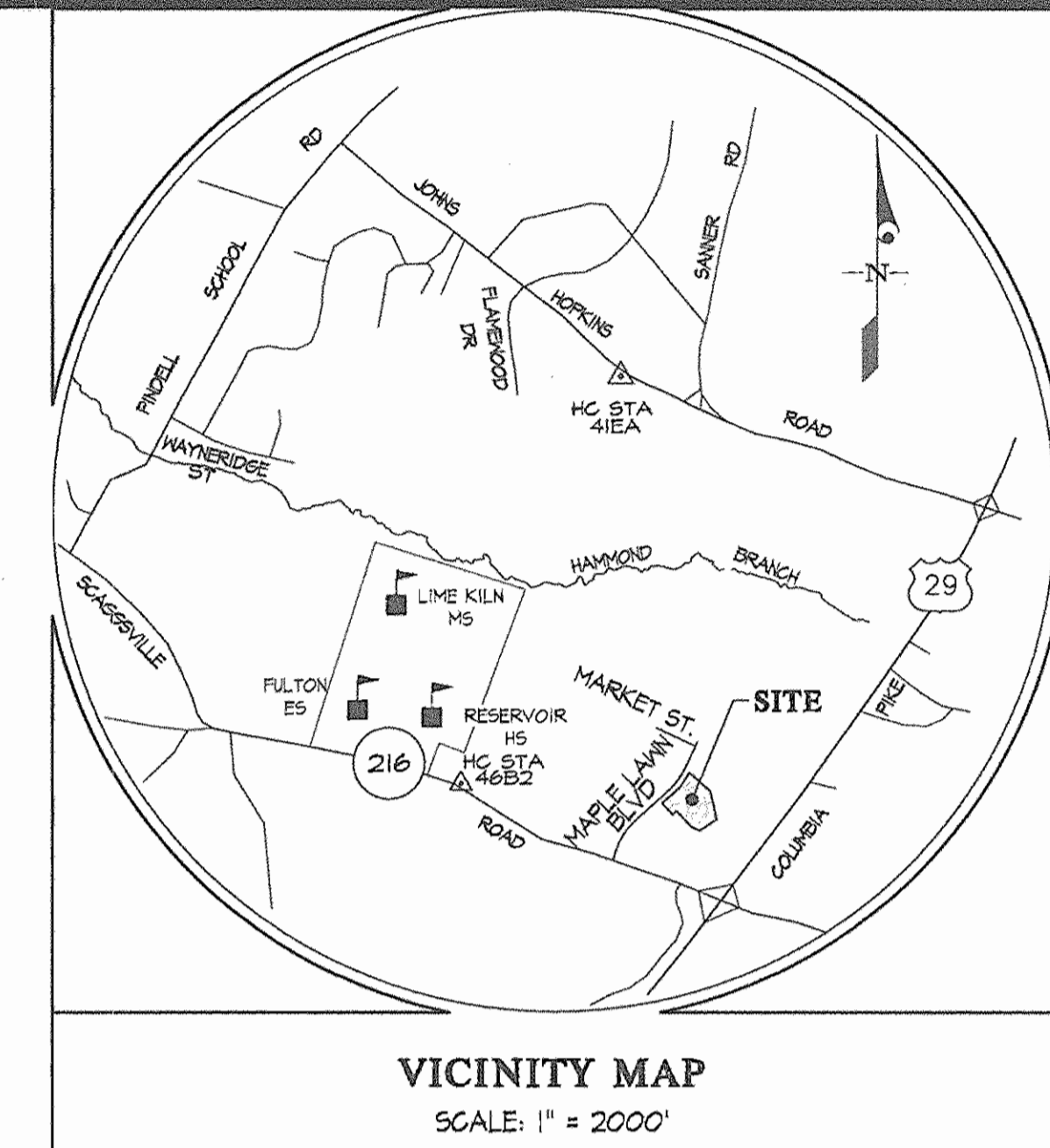
- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DETAILS
- SITE DETAILS
- UTILITY PROFILES
- STORMCEPTOR & RECHARGE FACILITY DETAILS
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES AND DETAILS
- DRAINAGE AREA MAP
- LANDSCAPE PLAN
- LANDSCAPE NOTES AND DETAILS
- RETAINING WALL CONSTRUCTION DETAILS

SITE ANALYSIS DATA CHART

- GROSS SITE AREA:
PARCEL C-21 = 0.7420 Ac.
PARCEL C-22 = 4.8405 Ac.
TOTAL = 5.5825 Ac.
- LIMIT OF DISTURBED AREA = 510± AC.
- ZONING: MXD-3.
- PROPOSED USE: OFFICE BUILDING & BANK.
- BUILDING COVERAGE FOR OFFICE BUILDING #3 & BANK:
OFFICE BUILDING NO. 3 = 0.6407 AC. (14.3% OF PARCEL C-22)
BANK (incl. canopy & overhang) = 0.1194 AC. (16.1% OF PARCEL C-21)
- FLOOR AREA RATIO CALCULATIONS:
OFFICE BUILDING NO. 3 = 10,000 S.F.
LOWER LEVEL (Mechanical & storage only see note #3B) = 120,340 S.F. or 2,162± AC.
FLOORS ONE THROUGH FOUR (AT 50,085 EACH) = 3,545 S.F. or 0.0768 AC.
BANK BUILDING = 360 SPACES
TOTAL F.A.R. (for both parcels 2,839± bldgs / 5,582± sites) = 0.51

BENCHMARKS

- 416A ELEV. = 462.16
STANDARD DISC. ON CONCRETE MONUMENT
- 46B2 ELEV. = 474.67
STANDARD DISC. ON CONCRETE MONUMENT



DPZ FILE NO.	PARCEL AREA	FLOOR AREA	F.A.R.
SDP-04-44 (Office Bldg. 1)	4.40 AC. (11,550 S.F.)	43,445 S.F.	0.44
SD-04-46 (Retail Bldg. 1 & Bank)	5.11 AC. (13,133 S.F.)	24,088 S.F.	0.17
SDP-05-02 (Retail Bldg. 2 & Gas Station)	3.20 AC. (13,4520 S.F.)	22,218 S.F.	0.16
SDP-05-036 (Office Bldg. 2)	4.24 AC. (18,4202 S.F.)	43,445 S.F.	0.51
SDP-05-047 (Office Bldg. 3 & M&T Bank)	5.58 AC. (243,230 S.F.)	123,685 S.F.	0.51
SDP-06-067 (Office Bldg. 4)	4.78 AC. (208,087 S.F.)	100,288 S.F.	0.48
SDP-06-148 (Medical & 3 Office Bldgs.)	8.54 AC. (371,450 S.F.)	121,620 S.F.	0.33
SDP-07-02 (Bank, School, Retail, & Restaurant)	7.36 AC. (320,651 S.F.)	45,225 S.F.	0.14
SUB-TOTAL	41.27 Acres	14.35 Acres	0.35
EMPLOYMENT AREA REGISTERED AS R/W	11.64 Acres		
TOTAL AREA REGISTERED AS EMPLOYMENT	54.45 Acres	14.35 Acres	0.24
TOTAL REMAINING EMPLOYMENT AREA	6.44 Acres		

PARKING TABULATION

LOWER LEVEL (MECHANICAL & STORAGE ONLY)	OFFICE BUILDING NO. 3	M&T BANK
GROUND FLOOR	10,000 S.F. (see note #3B)	NA
SECOND THRU 4TH FLOOR (@ 2,1210 S.F. EACH)	21,210 S.F.	3,545
TOTAL FLOOR RENTABLE AREA*	81,820 S.F.	NA
TOTAL FLOOR RENTABLE AREA*	108,156 S.F.	3,545
PARKING RATIO REQUIRED PER 1000 S.F.	3.3	5.0
NUMBER OF SPACES REQUIRED	360 SPACES	17 SPACES
PARKING PROVIDED:	355 SPACES ON PARCEL C-21, 20 SPACES ON PARCEL C-22 AND 824 ON-SITE SPACES TOTAL AVAILABLE AS SHARED PARKING FOR THE BUSINESSES ON THE EAST SIDE OF MAPLE LAWN BLVD. SEE SHEET 12 FOR THE SHARED PARKING ANALYSIS.	

* AS DEFINED BY BOMA (BUILDING OWNERS AND MANAGERS ASSOCIATION) GUIDELINES.

PARCEL NUMBER	C-21	C-22	C-5	C-10 & 11	TOTAL
4'x18' PARKING SPACES (90°)	341	19	302	114	776
PARALLEL PARKING SPACES	5	0	10	7	22
HANDICAP PARKING SPACES	9	1	8	8	26
TOTAL ON-SITE SPACES	355	20	320	124	824
ON-STREET PARKING SPACES	9	6	10	0	25
TOTAL PARKING PROVIDED	364	26	330	124	844

PARKING DISTRIBUTION NOTES:

- TOTAL NUMBER OF OVERALL ADJUSTED REQUIRED PARKING SPACES = 763 SPACES PER THE SHARED PARKING ANALYSIS.
- SEE SHEET 3 FOR THE ENTIRE PARKING FIELD ON THE EAST SIDE OF MAPLE LAWN BOULEVARD (FOR THE ABOVE PARCELS) AND THE SHARED PARKING ANALYSIS.

BUILDING No.	STREET ADDRESS
3	8161 MAPLE LAWN BOULEVARD
BANK	8155 MAPLE LAWN BOULEVARD

MATER. CODE:	SEWER CODE:	SECTION/AREA	PARCELS
E21	7615000	BUSINESS DISTRICT/AREA 1	PARS. C-21 & C-22
PLAT Nos. 16514, 17397/98 & 19568	ZONE MXD-3	TAX MAP 46	BLOCK 3 & 4
		ELEC. DIST. 5	CENSUS TRACT 605102

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03053
DATE	TAX MAP - GRID	SHEET
Jan./2008	46: 3&4	1 OF 12

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Baltimore, MD 21208
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410-484-8400

REVISED COVER SHEET
MAPLE LAWN FARMS
BUSINESS DISTRICT, OFFICE BUILDING No. 3 and M&T BANK
PARCELS C-21 and C-22
PLAT Nos. 16514, 17397/98 and 19568

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND