

ADDRESS CHART			
UNIT NO.	STREET ADDRESS	UNIT NO.	STREET ADDRESS
1	8896 SHINING OCEANS WAY	29	8857 SHINING OCEANS WAY
2	8896 SHINING OCEANS WAY	30	8855 SHINING OCEANS WAY
3	8894 SHINING OCEANS WAY	31	8853 SHINING OCEANS WAY
4	8892 SHINING OCEANS WAY	32	8849 SHINING OCEANS WAY
5	8890 SHINING OCEANS WAY	33	8847 SHINING OCEANS WAY
6	8888 SHINING OCEANS WAY	34	8845 SHINING OCEANS WAY
7	8886 SHINING OCEANS WAY	35	8848 SHINING OCEANS WAY
8	8884 SHINING OCEANS WAY	36	8846 SHINING OCEANS WAY
9	8905 SHINING OCEANS WAY	37	8844 SHINING OCEANS WAY
10	8903 SHINING OCEANS WAY	38	8842 SHINING OCEANS WAY
11	8901 SHINING OCEANS WAY	39	8840 SHINING OCEANS WAY
12	8899 SHINING OCEANS WAY	40	8835 SHINING OCEANS WAY
13	8897 SHINING OCEANS WAY	41	8833 SHINING OCEANS WAY
14	8895 SHINING OCEANS WAY	42	8831 SHINING OCEANS WAY
15	8893 SHINING OCEANS WAY	43	8829 SHINING OCEANS WAY
16	8891 SHINING OCEANS WAY	44	8827 SHINING OCEANS WAY
17	8889 SHINING OCEANS WAY	45	8825 SHINING OCEANS WAY
18	8878 SHINING OCEANS WAY	46	8819 SHINING OCEANS WAY
19	8876 SHINING OCEANS WAY	47	8817 SHINING OCEANS WAY
20	8874 SHINING OCEANS WAY	48	8815 SHINING OCEANS WAY
21	8872 SHINING OCEANS WAY	49	8813 SHINING OCEANS WAY
22	8870 SHINING OCEANS WAY	50	8811 SHINING OCEANS WAY
23	8868 SHINING OCEANS WAY	51	8808 SHINING OCEANS WAY
24	8867 SHINING OCEANS WAY	52	8806 SHINING OCEANS WAY
25	8865 SHINING OCEANS WAY	53	8804 SHINING OCEANS WAY
26	8863 SHINING OCEANS WAY	54	8802 SHINING OCEANS WAY
27	8861 SHINING OCEANS WAY (CONDO.)	9000	FORGOTTEN FLOWER DRIVE
28	8859 SHINING OCEANS WAY		

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND MSHA STANDARDS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (800) 257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY AND BOUNDARY INFORMATION WERE PROVIDED BY PLANS PREPARED BY GUTSCHICK LITTLE & WEBER, P.A.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS NOS. 37GB, 37GC AND 37DA WERE USED FOR THIS PROJECT.
- EXISTING WATER IS PUBLIC (CONTRACT NO. 24-3858-D, LITTLE PATUXENT).
- EXISTING SEWER IS PUBLIC (CONTRACT NO. 24-3858-D, LITTLE PATUXENT).
- STORMWATER MANAGEMENT FOR THIS SITE WAS INCLUDED IN THE DESIGN FOR THE SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A' THRU 'D', & LOTS 1 THRU 5. DRAINAGE FROM PARCEL C-1 IS TREATED IN THREE FACILITIES. FACILITY 1 IS A DETENTION FACILITY (DRY POND) LOCATED ON OPEN SPACE LOT 9, WHICH IS TO BE DEDICATED TO THE COLUMBIA ASSOCIATION FOR PUBLIC MAINTENANCE. FACILITY 2 IS THE SAME AS FACILITY 1, LOCATED ON OPEN SPACE LOT 8. FACILITY 3 IS A DETENTION/RETENTION FACILITY (WET POND) ON OPEN SPACE LOT 6 TO BE CONVEYED TO COLUMBIA ASSOCIATION AND PUBLICLY MAINTAINED. SUBDIVISION PLAN FILE NUMBER: F-01-142.
- EXISTING UTILITY INFORMATION WAS PROVIDED BY PLANS PREPARED BY GUTSCHICK, LITTLE & WEBER, P.A. APPROVED BY HOWARD COUNTY, DPZ REFERENCE NUMBER F-01-142 AND CONTRACT NO. 24-3858-D.
- THERE ARE NO FLOODPLAINS ON THIS SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- THE TRAFFIC STUDY PERFORMED BY WELLS AND ASSOCIATES APPROVED FOR THE FINAL PLAN WAS UPDATED FOR THIS PROJECT.
- DPZ REFERENCE NUMBERS:
 FDP-239 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1 FINAL DEVELOPMENT PLAN (ALLOWS USE BY RIGHT)
 F-01-142 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A' THRU 'D' & LOTS 1 THRU 5 RECORDED AS PLAT NO. 15182 THRU 15188
 F-01-142 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A' THRU 'D' & LOTS 1 THRU 5 CONSTRUCTION PLAN
 F-04-15 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A-1', 'B-1', 'C-1', 'D-1', AND E & LOTS 6 THRU 10 RECORDED AS PLAT NO. 16185 THRU 16191 (RESUBDIVISION OF PLATS 15182 THRU 15188)
 F-04-73 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'C-1' AND E & LOTS 6 RECORDED AS PLAT NO. 16493 THRU 16498 (RESUBDIVISION OF PLATS 16185 THRU 16191)
 F-04-180 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A-2', 'D-2', 'E-1' AND OPEN SPACE LOT 6
 CONTRACT NO. 24-0325-D PROPOSED PUBLIC WATER AND SEWER PLANS
 WP-03-110 - WAIVER PETITION FOR REDUCTION OF MINIMUM PUBLIC ROAD FRONTAGE
 F-05-175 PN 17601-17607
 STREET LIGHTS - SEE CONTRACT
- TO THE BEST OF OUR KNOWLEDGE AND PER PUBLIC RECORD, NO CEMETERIES OR BURIAL GROUNDS EXIST ON-SITE.
- SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- TRASH COLLECTION FOR THE SFA UNITS WILL BE PRIVATE.
- A GEOTECHNICAL STUDY WAS PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC. ON JANUARY 30, 2003.
- THE CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION BY VIRTUE OF THE FACT THAT IT IS PART OF THE COLUMBIA NEW TOWN, SUBDIVISION SECTION 16.1202(b)(1)(v), A PUD APPROVED PRIOR TO 12/31/92.
- ALL CURB RADI 5' UNLESS OTHERWISE NOTED.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A. WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE);
 B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/ TAR AND CHIP COATING (1-1/2" MIN.);
 C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;
 D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 F. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$75,570.00 HAS BEEN POSTED AS A PART OF THE DEVELOPER'S AGREEMENT.
- THIS PLAN HAS BEEN PREPARED TO MEET THE NEW TOWN "GUIDELINES FOR RESIDENTIAL PLANTING", PREPARED BY THE ROUSE COMPANY FOR COLUMBIA, MD.
- ARTICLES OF INCORPORATION FOR THE AGE RESTRICTED ADULT HOUSING COMMUNITY, THE KENDALL OVERLOOK CONDOMINIUM, INC. WERE RECORDED ON 12/16/03, RECORDING NUMBER(S) LIBER 00592 FOLIO 1680. THE KENDALL OVERLOOK DECLARATIONS WERE RECORDED ON 2/10/04.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION REGULATIONS.
 31. WAIVER PETITION, WP-03-110, WAS APPROVED BY THE PLANNING DIRECTOR ON SEPTEMBER 4, 2003. THE PETITION WAIVES SECTIONS 16.120(c)(1) TO PERMIT THE REQUIRED MINIMUM PUBLIC ROAD FRONTAGE OF 60 FEET TO BE REDUCED TO ZERO FEET FOR COMMERCIAL, INDUSTRIAL OR APARTMENT PARCELS/LOTS, AND 16.121(c)(1) TO PERMIT THE REQUIRED MINIMUM PUBLIC ROAD FRONTAGE OF 40 FEET TO BE REDUCED TO ZERO FEET FOR OPEN SPACE LOTS. THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. SIDEWALKS AND STREET TREES SHALL BE PROVIDED ALONG BOTH SIDES AND THE CUL-DE-SAC OF THE PROPOSED PRIVATE ROAD SECTION.
 2. THE ENCLOSED SHA COMMENTS.
 3. PRIVATE ACCESS AND MAINTENANCE EASEMENTS SHALL PROVIDE VEHICULAR ACCESS TO ALL OF THE PARCELS AND OPEN SPACE LOTS THAT WILL NOT HAVE FRONTAGE ON THE PUBLIC ROAD.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. AGE RESTRICTION DOCUMENTS L-9941 F-19.
- RECORDATION NUMBERS FOR ALL LEGAL DOCUMENTS PERTAINING TO THIS PARCEL WILL BE PROVIDED PRIOR TO APPROVAL. IT IS UNDERSTOOD THAT FINAL APPROVAL OF THIS SDP IS SUBJECT TO THE DEVELOPER/OWNER FURNISHING THIS INFORMATION TO THE DEPARTMENT OF PLANNING AND ZONING.
- THE PRIVATE LANDSCAPE AND MAINTENANCE EASEMENTS SHOWN ON THIS PLAN WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PER SUBDIVISION SECTION 16.120(b)(9)(ii) THE REQUIRED STRUCTURE SETBACK FROM A PUBLIC WATER AND SEWER EASEMENT IS 10 FEET.
- IN ACCORDANCE WITH SUBDIVISION SECTION 16.116(a)(2), CLEARING, GRADING, THE REMOVAL OF VEGETATIVE COVER AND/OR DEVELOPMENT ARE NOT PERMITTED WITHIN THE REQUIRED 50' STREAM BUFFER.
- THE H.O.A. WILL BE RESPONSIBLE FOR THE UPKEEP AND MAINTENANCE OF OPEN SPACE LOT 10.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR

8/16/05
DATE

9/2/05
DATE

9/2/05
DATE

SITE DEVELOPMENT PLAN

SNOWDEN RIVER BUSINESS PARK

SECTION 1 AREA 1

PARCEL D-2

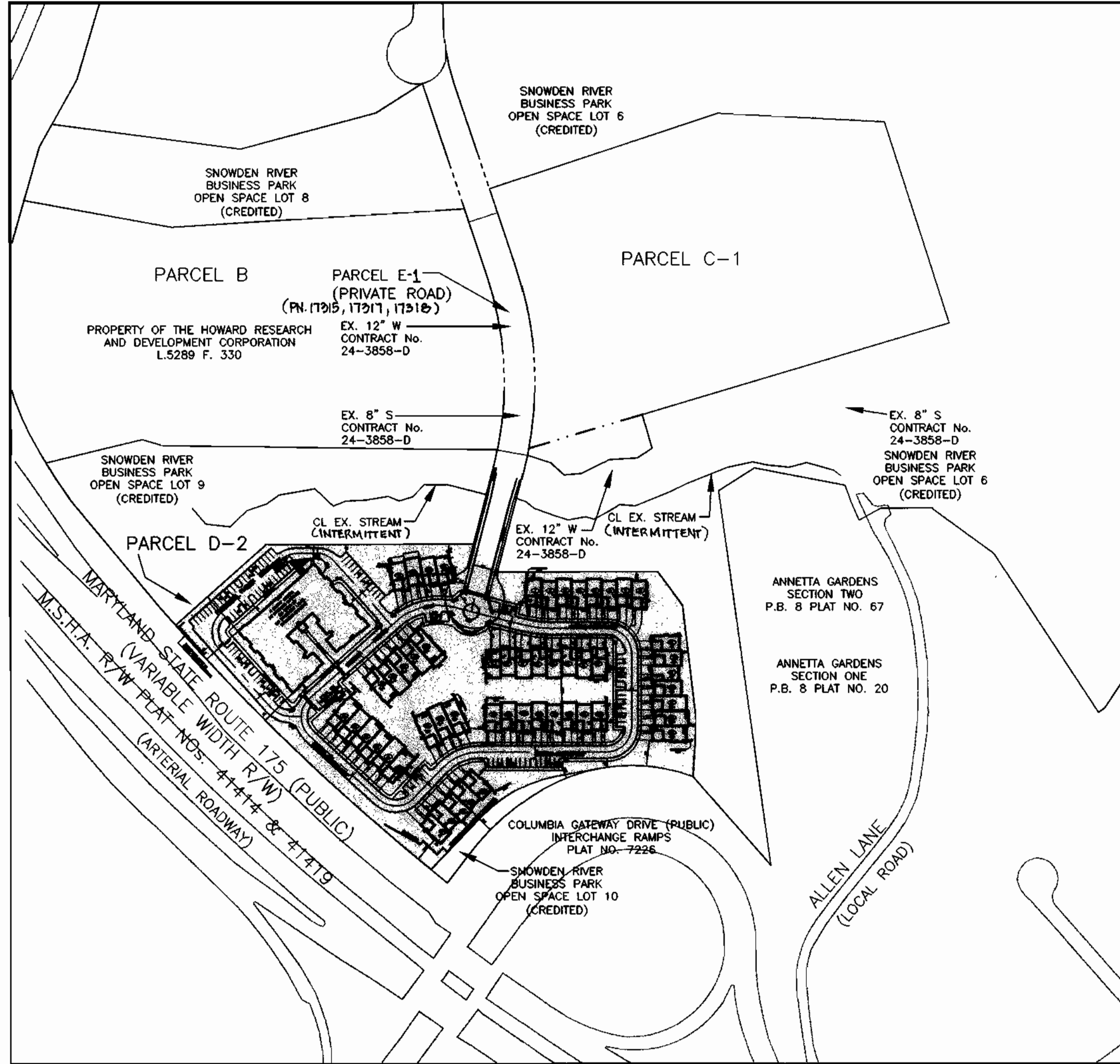
KENDALL OVERLOOK

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

DOCUMENT RECORDING REFERENCES:

- H.O.A. ARTICLES OF INCORPORATION. FILING NUMBER: 1000361990866051
- SHARED ACCESS/PARKING EASEMENT ON DRIED EARTH BLVD. F-05-175 / 17601-17607
- MAINTENANCE AGREEMENT FOR THE PRIVATE SECTION OF DRIED EARTH BLVD. LIBER 0903 / FOLIO 426
- GRADING AND LANDSCAPE MAINTENANCE EASEMENTS. LIBER 9170 FOLIO 627
- PLAT RECORDING NO. F-05-175 / 17601-17607
- AGE RESTRICTION DOCUMENTS. LIBER 9341 FOLIO 131
- SNOWDEN OVERLOOK COMMUNITY ASSOC. INC. DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS L 0903 F-426, L 9941 F-211



LOCATION MAP
SCALE: 1"=200'

BENCHMARKS

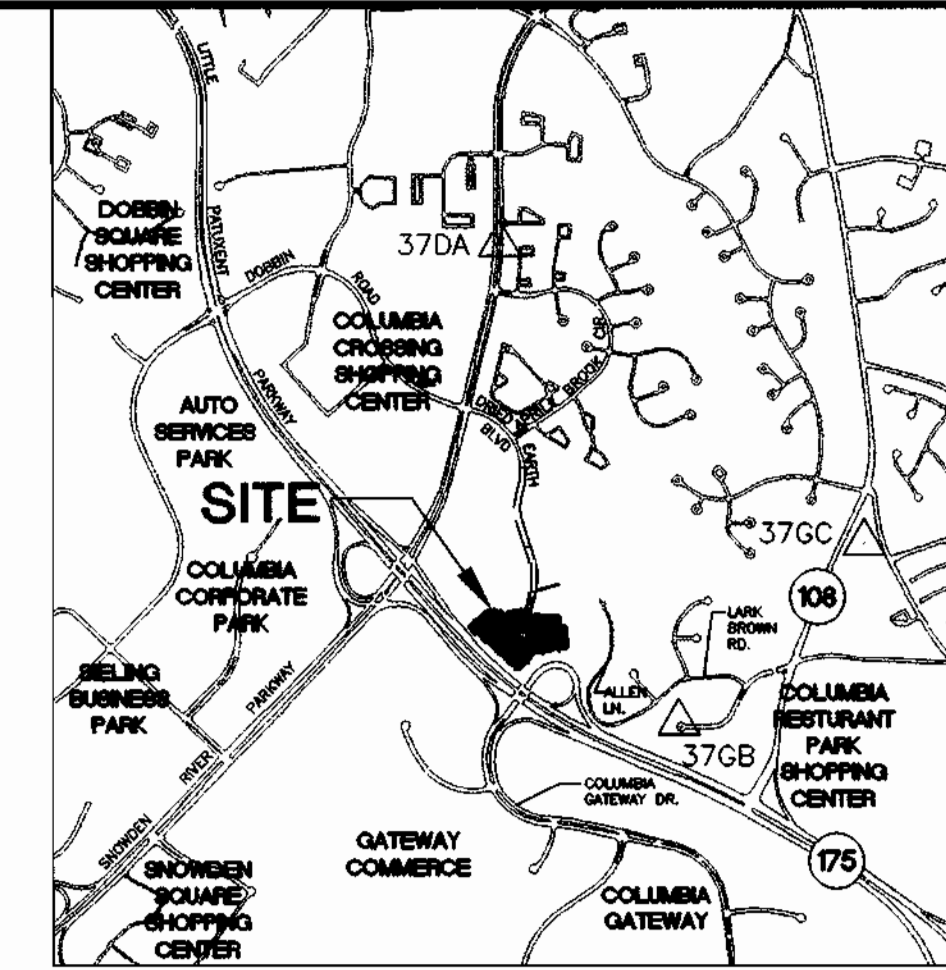
BENCHMARK # 37GB
 HOWARD COUNTY GEODETIC SURVEY CONTROL
 N 553,452.829 E 1,368,503.19 ELEVATION=325.233'

BENCHMARK # 37GC
 HOWARD COUNTY GEODETIC SURVEY CONTROL
 N 555,250.797 E 1,370,946.37 ELEVATION=331.192'

BENCHMARK # 37DA
 HOWARD COUNTY GEODETIC SURVEY CONTROL
 N 558,667.518 E 1,366,857.48 ELEVATION=379.786'

SHEET INDEX

- C-1 TITLE SHEET
- C-2 SITE DEVELOPMENT PLAN
- C-3 SITE DEVELOPMENT PLAN
- C-4 ARCHITECTURAL FOOTPRINTS AND ELEVATIONS
- C-5 SITE DETAILS
- C-6 PAVING PLAN
- C-7 ROAD PROFILES
- C-8 ROAD PROFILES
- C-9 UTILITY PLAN
- C-10 STORM DRAIN PROFILES
- C-11 STORM DRAIN PROFILES
- C-12 SANITARY PROFILES
- C-13 SEDIMENT & EROSION CONTROL PHASE I
- C-14 SEDIMENT & EROSION CONTROL PHASE II
- C-15 SEDIMENT & EROSION CONTROL NOTES & DETAILS
- C-16 SEDIMENT & EROSION CONTROL NOTES & DETAILS
- C-17 DRAINAGE AREA MAP
- C-18 LANDSCAPE PLAN
- C-19 LANDSCAPE DETAILS



VICINITY MAP

SCALE: 1" = 2,000'
 COPYRIGHT ADC THE MAP PEOPLE
 PERMITTED USE NO. 20602149
 MAP NO. 16 GRIDS E, I, O

SITE ANALYSIS

- TOTAL PROJECT AREA: PARCEL D-2 9.8707 AC RECORDED UNDER PLAT NUMBER: F-04-190
- PRESENT ZONING PARCEL D-2: NT-EMPLOYMENT CENTER, INDUSTRIAL (FDP 239).
- TOTAL NUMBER OF UNITS PROPOSED: (DENSITY PERMITTED UNDER COLUMBIA AUTHORIZATION PLAN)
 17-30'x70' SFA UNITS
 37-30'x56' SFA UNITS
 TOTAL : 54 SFA UNITS (UNITS 1-54)
 56-CONDO UNITS
 TOTAL: 110 UNITS
- NUMBER OF PARKING SPACES REQUIRED:
 FROM APPROVED FDP-239:
 1 SPACE PER 3 LIVING UNITS
 (1 SPACE/3 UNITS) x 110 UNITS = 37 SPACES
 ZONING REGULATIONS:
 2 SPACES PER UNIT
 (2 SPACES/1 UNIT) x 110 UNITS = 220 SPACES
 0.5 SPACES PER UNIT FOR OVERFLOW
 (0.5 SPACES/1 UNIT) x 110 UNITS = 55 SPACES
 TOTAL REQUIRED PARKING SPACES = 275 SPACES
- NUMBER OF PARKING SPACES PROVIDED:
 SFA GARAGE:
 ONE CAR:
 11 SFA UNITS x 1 SPACE = 11 SPACES
 TWO CAR:
 43 SFA UNITS x 2 SPACES = 86 SPACES
 11 + 86 = 97 SPACES
 SFA DRIVEWAY:
 11 SFA UNITS HAVE 1 PARKING SPACE (TOTAL=11)
 43 SFA UNITS HAVE 2 PARKING SPACES (TOTAL=86)
 54 SFA UNITS WITH A TOTAL OF 97 DRIVEWAY SPACES
 CONDO:
 60 SPACES PROVIDED IN PARKING GARAGE
 70 SURFACE PARKING SPACES
 VISITOR: 41 COMMON PARKING SPACES
 TOTAL PROVIDED PARKING SPACES = 365 SPACES
- TOTAL SQUARE FOOT BUILDING COVERAGE/PERCENTAGE OF COVERAGE:
 PARCEL D-2
 30x70 SFA UNITS (17) 35,700 SF
 30x56 SFA UNITS (37) 62,160 SF
 56-CONDO UNITS 25,700 SF
 TOTAL BUILDING AREA 123,560 SF
 TOTAL PARCEL AREA 429,967.69 SF
 TOTAL BUILDING COVERAGE 28.74%
- H.R.D. APPROVALS
 - CONCEPTUAL SITE PLAN, SHEET 4.
 - PRELIMINARY LANDSCAPE PLAN, SHEET 19.

04/13/05

PERMIT INFORMATION CHART					
Subdivision Name	Section/Area	Parcel No.	Grid #	Zoning	Parcel No.
SNOWDEN RIVER BUSINESS PARK	SECTION 1/ AREA 1	D-2 & PART OF E-1	19	IND	6067.03
PLAT#					
17601-17607					
Water Code	E06	Sewer Code			3450000

OWNER/DEVELOPER/APPLICANT FAX NO: (410) 480-0543

A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467

C. COMPANY: THE RYLAND GROUP, INC.

D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260

E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

SHEET: C-1

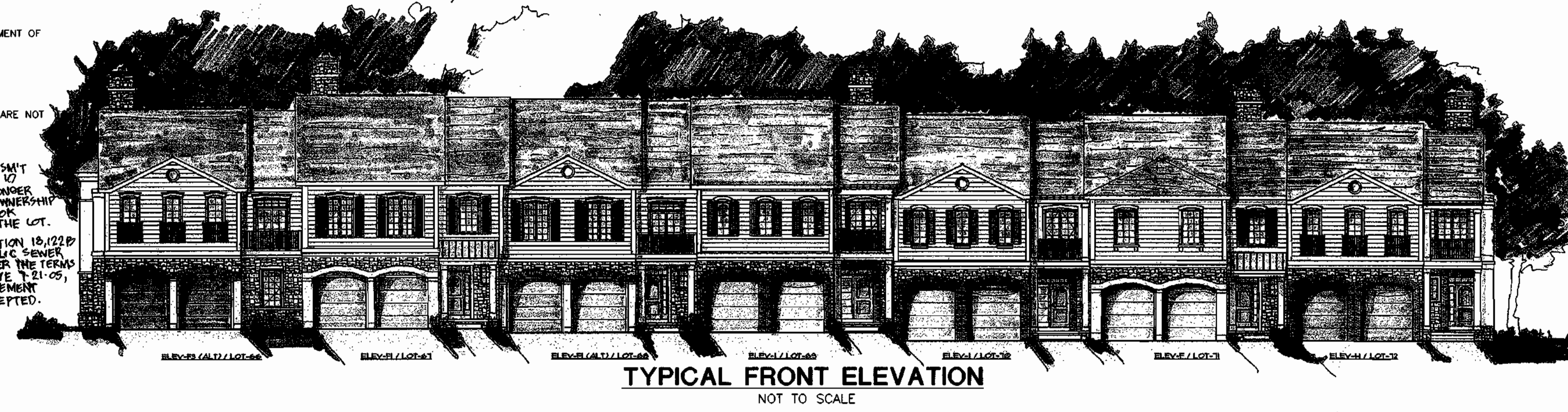
MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 778-1690
 FAX (410) 792-7396

SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
 KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
TITLE SHEET

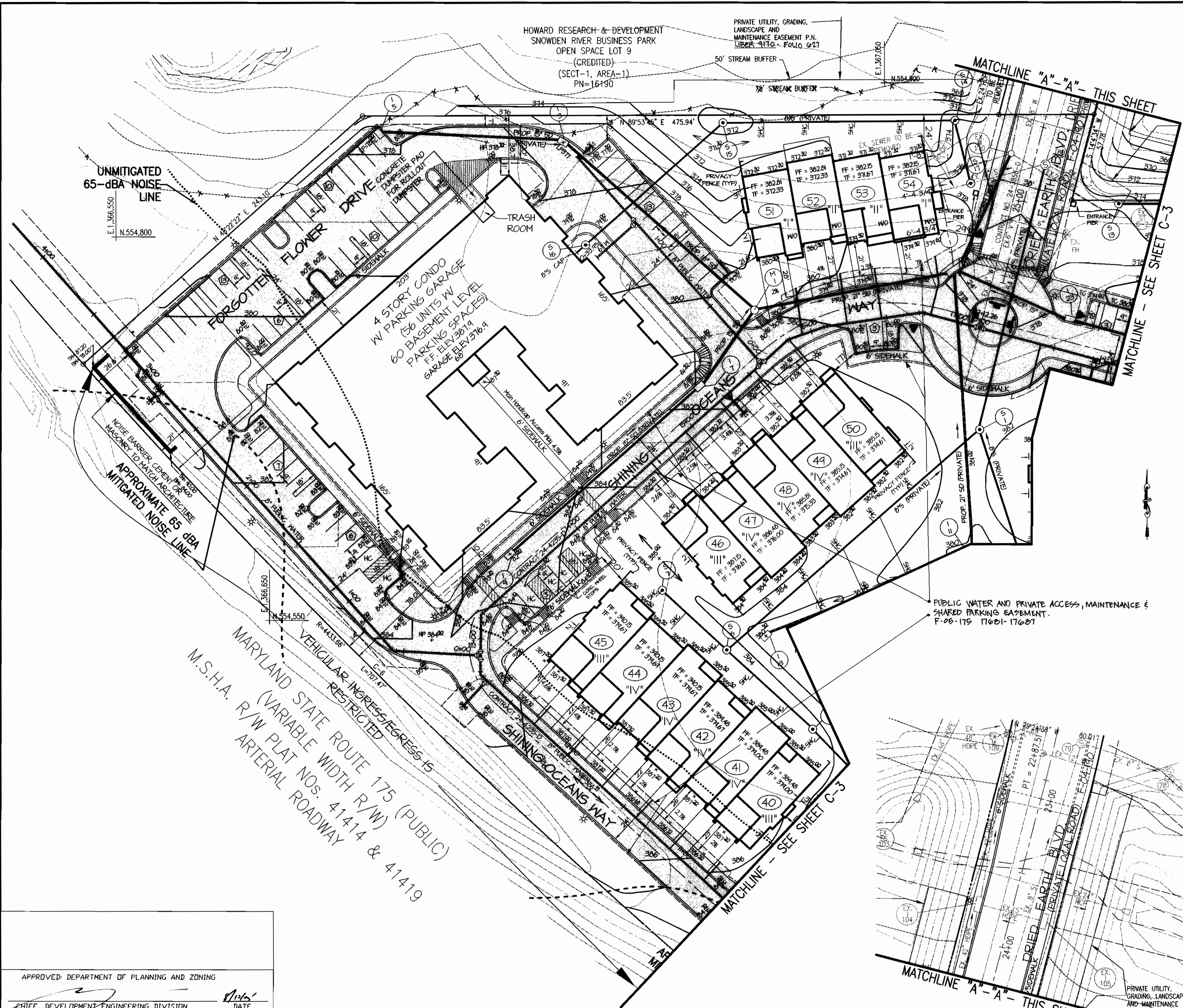
L 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: AS SHOWN
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 06/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: HRW
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 1 OF 19

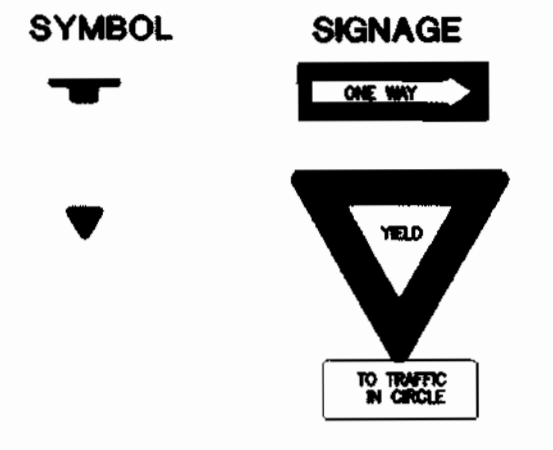


TYPICAL FRONT ELEVATION
NOT TO SCALE

SDP-05-037



ROUNDBOUT TRAFFIC CONTROL LEGEND



LEGEND

- PUBLIC WATER AND PRIVATE ACCESS, MAINTENANCE & SHARED PARKING EASEMENT F-05-175 17601-17607
- PRIVATE UTILITY, GRADING, LANDSCAPE AND MAINTENANCE EASEMENT L-1110 F-027
- PROPOSED CURB & GUTTER
- PROPOSED DRIVEWAY
- PROPOSED TOWNHOME
- CENTERLINE OF ROAD
- (44) PROPOSED TOWNHOME UNIT NUMBER
- "IV" PROPOSED UNIT TYPE
- 260 PROPOSED 10' CONTOUR
- 258 PROPOSED 2' CONTOUR
- 258 PROPOSED SPOT ELEVATIONS
- FF FINISHED FLOOR ELEVATION
- BF BASEMENT FLOOR ELEVATION
- 15" BSP PROPOSED PUBLIC SANITARY SEWER
- 8" BSP PROPOSED PRIVATE STORM DRAIN
- 4" PROPOSED 4" SEWER HOUSE CONNECTION
- PROPOSED STREET LIGHT
- PK PROPOSED WATER HOUSE CONNECTION
- PTM PROPOSED PUBLIC WATER LINE
- PH PROPOSED PUBLIC FIRE HYDRANT
- PROPOSED PUBLIC WATER VALVE
- PROPOSED PUBLIC WATER TEE (W/ 2 VALVES)
- (4) PROPOSED FITTING/HYDRANT NO.

- NOTES:**
1. ALL UNITS TO HAVE WATER METERS LOCATED OUTSIDE.
 2. TRASH REMOVAL FOR ALL SFA UNITS WILL BE PRIVATE.

04/13/05

NOTE:
ALL UNITS TO HAVE WATER METERS LOCATED OUTSIDE.

OWNER/DEVELOPER/APPLICANT		FAX NO.: (410) 480-0543
A. NAME: BRIAN KNAUFF	B. DAYTIME TELEPHONE: (410) 480-2467	
C. COMPANY: THE RYLAND GROUP, INC.		
D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260		
E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043		

SHEET: **C-2**

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-9792 or (301) 776-1690
FAX (410) 792-7396

SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
AGE RESTRICTED ADULT HOUSING
SITE DEVELOPMENT PLAN

L. 5289 F. 330
ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735-02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: 1" = 30'
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: HRW
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 2 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

DIRECTOR

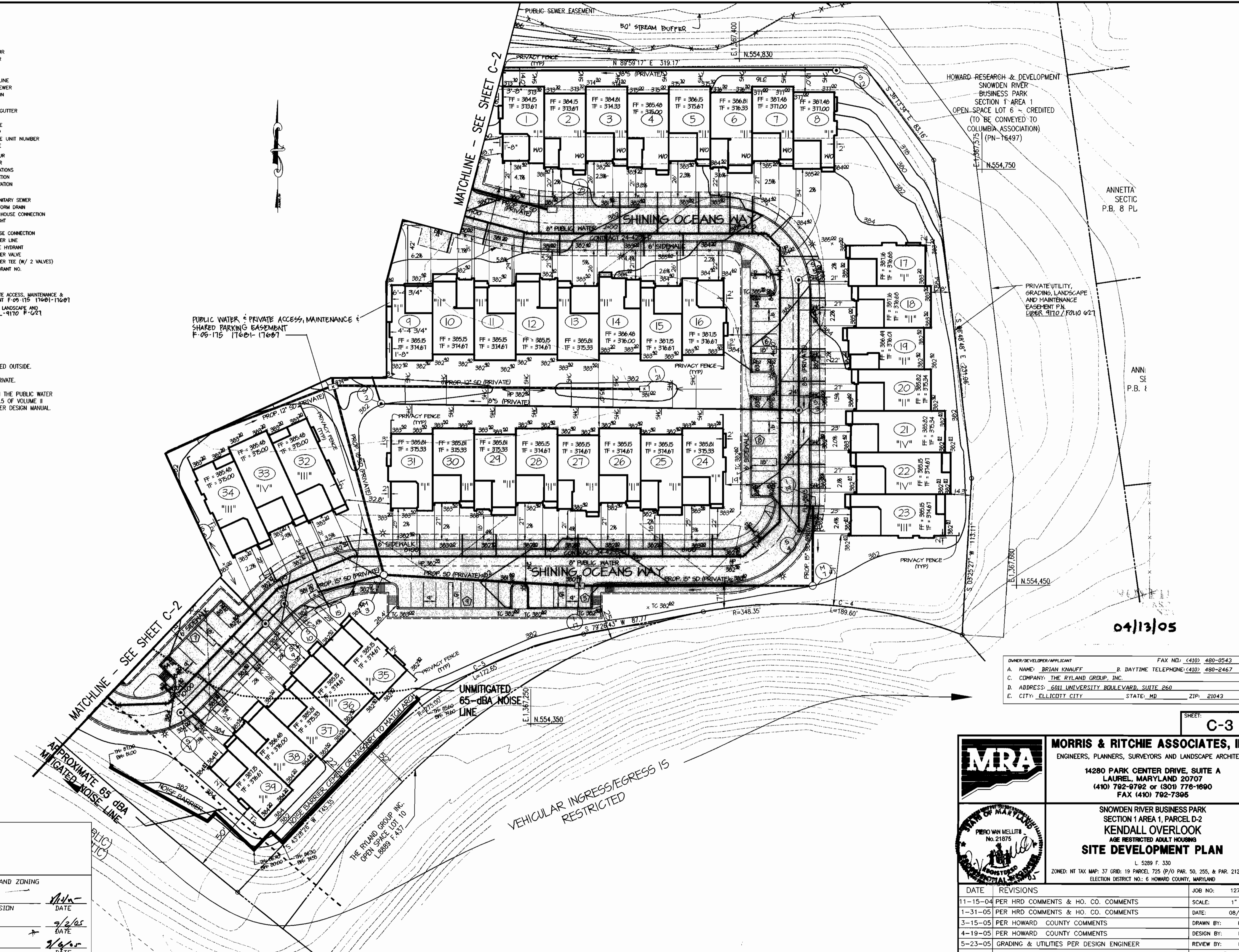
DATE: 9/2/05
 DATE: 9/2/05
 DATE: 9/2/05

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LEGEND

- STREAM BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING EASEMENT
- EXISTING CURB
- EXISTING PROPERTY LINE
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING WATER LINE
- PROPOSED CURB & GUTTER
- PROPOSED DRIVEWAY
- PROPOSED TOWNHOME
- CENTERLINE OF ROAD
- PROPOSED TOWNHOME UNIT NUMBER
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- 260 PROPOSED 10' CONTOUR
- 258 PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATIONS
- FINISHED FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- 8" PROPOSED PUBLIC SANITARY SEWER
- 12" SD PROPOSED PRIVATE STORM DRAIN
- 4" PROPOSED 4" SEWER HOUSE CONNECTION
- PROPOSED STREET LIGHT
- PROPOSED WATER HOUSE CONNECTION
- PROPOSED PUBLIC WATER LINE
- PROPOSED PUBLIC FIRE HYDRANT
- PROPOSED PUBLIC WATER VALVE
- PROPOSED PUBLIC WATER TEE (W/ 2 VALVES)
- PROPOSED FITTING/HYDRANT NO.
- PUBLIC WATER AND PRIVATE ACCESS, MAINTENANCE & SHARED PARKING EASEMENT F-05-175 17601-17607
- PRIVATE UTILITY, GRADING, LANDSCAPE AND MAINTENANCE EASEMENT L-9170 F-021

- NOTES:**
1. ALL UNITS TO HAVE WATER METERS LOCATED OUTSIDE.
 2. TRASH REMOVAL FOR ALL SFA WILL BE PRIVATE.
 3. THE REQUIRED STRUCTURE SETBACK FROM THE PUBLIC WATER EASEMENT IS 10 FEET PER SECTION 5.4.B.5 OF VOLUME II OF THE HOWARD COUNTY WATER AND SEWER DESIGN MANUAL.



04/13/05

OWNER/DEVELOPER/APPLICANT: B. DAYTIME TELEPHONE: (410) 480-2467
 A. NAME: BRIAN KNAUFF
 B. COMPANY: THE RYLAND GROUP, INC.
 C. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 D. CITY: ELLICOTT CITY STATE: MD ZIP: 21043
 FAX NO.: (410) 480-0543

SHEET: C-3

MRA
 MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-0792 or (301) 776-1690
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SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
SITE DEVELOPMENT PLAN
 L. 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: 1" = 30'
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: HRW
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 3 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

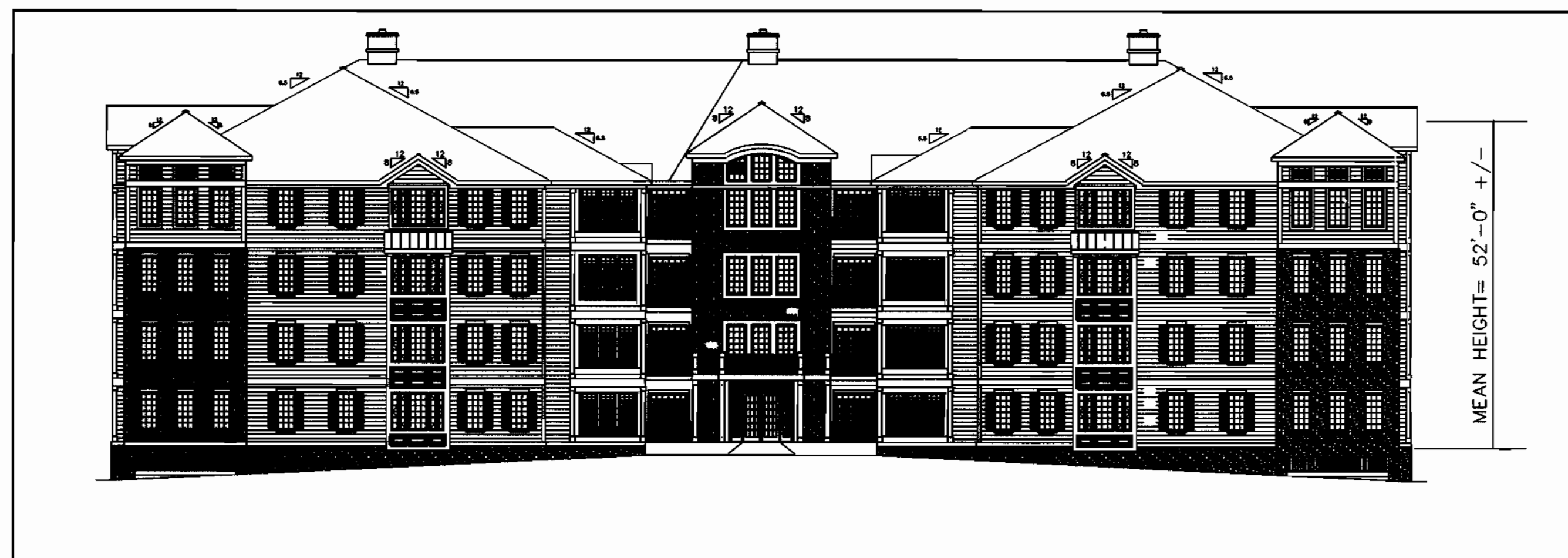
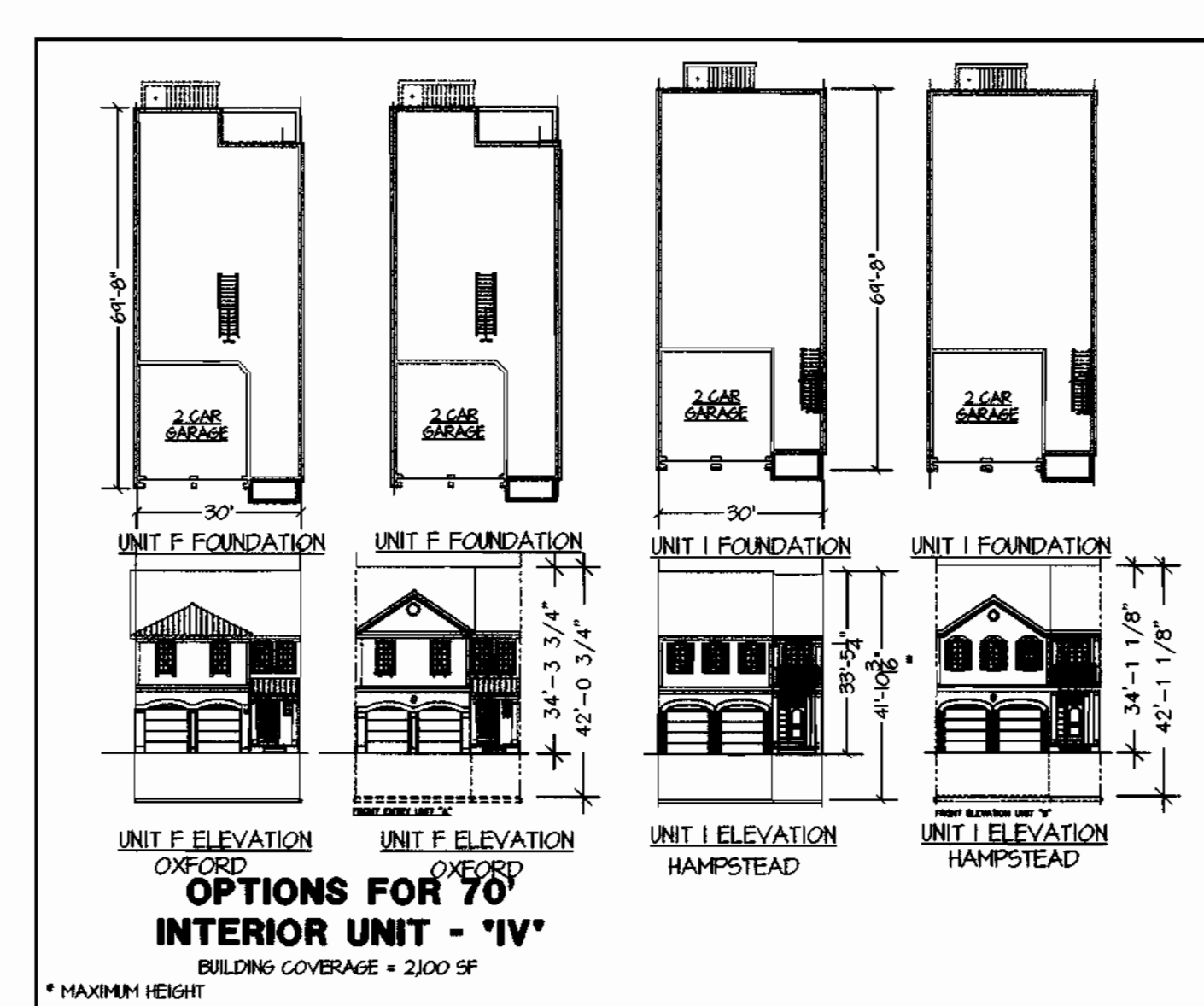
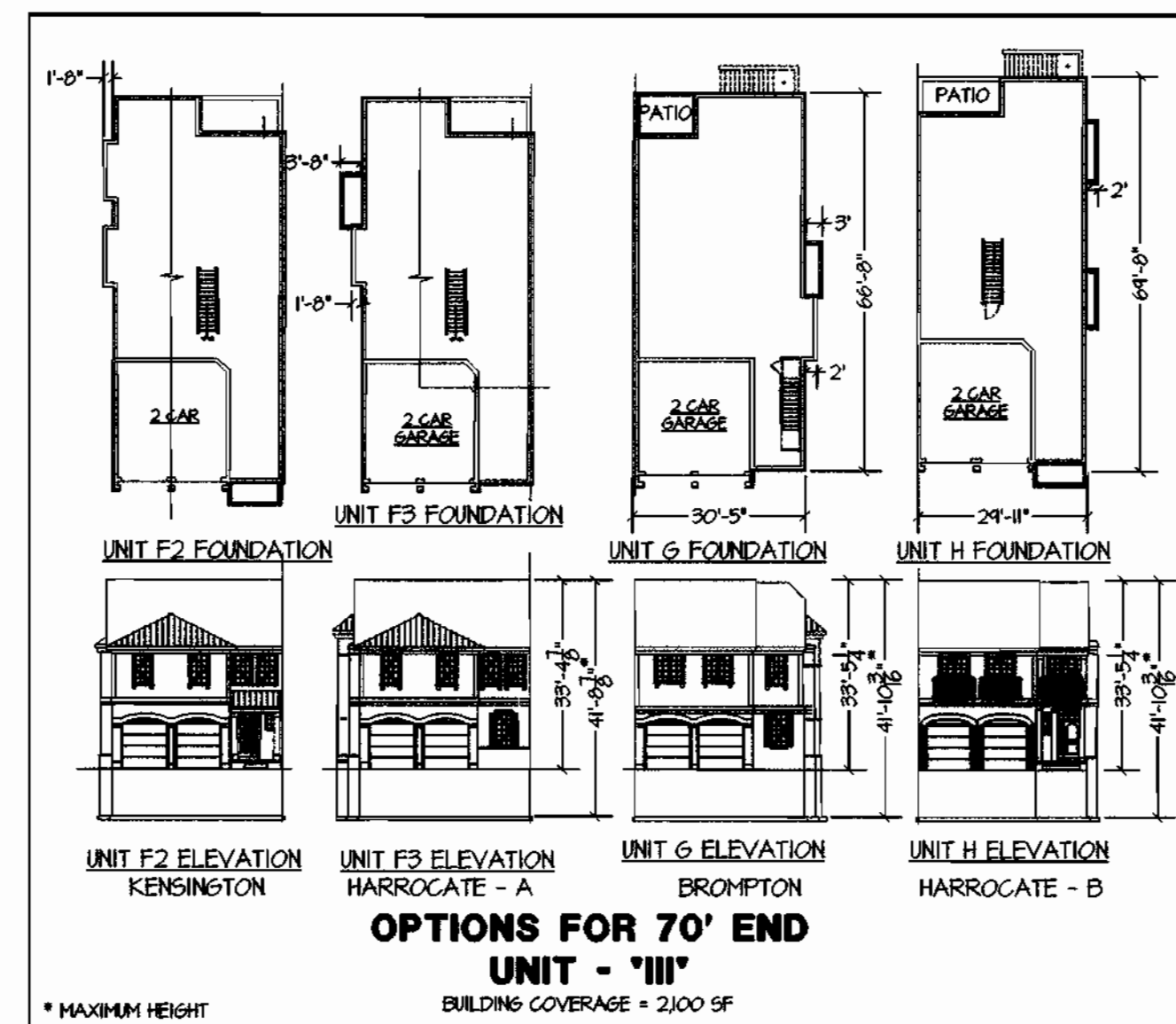
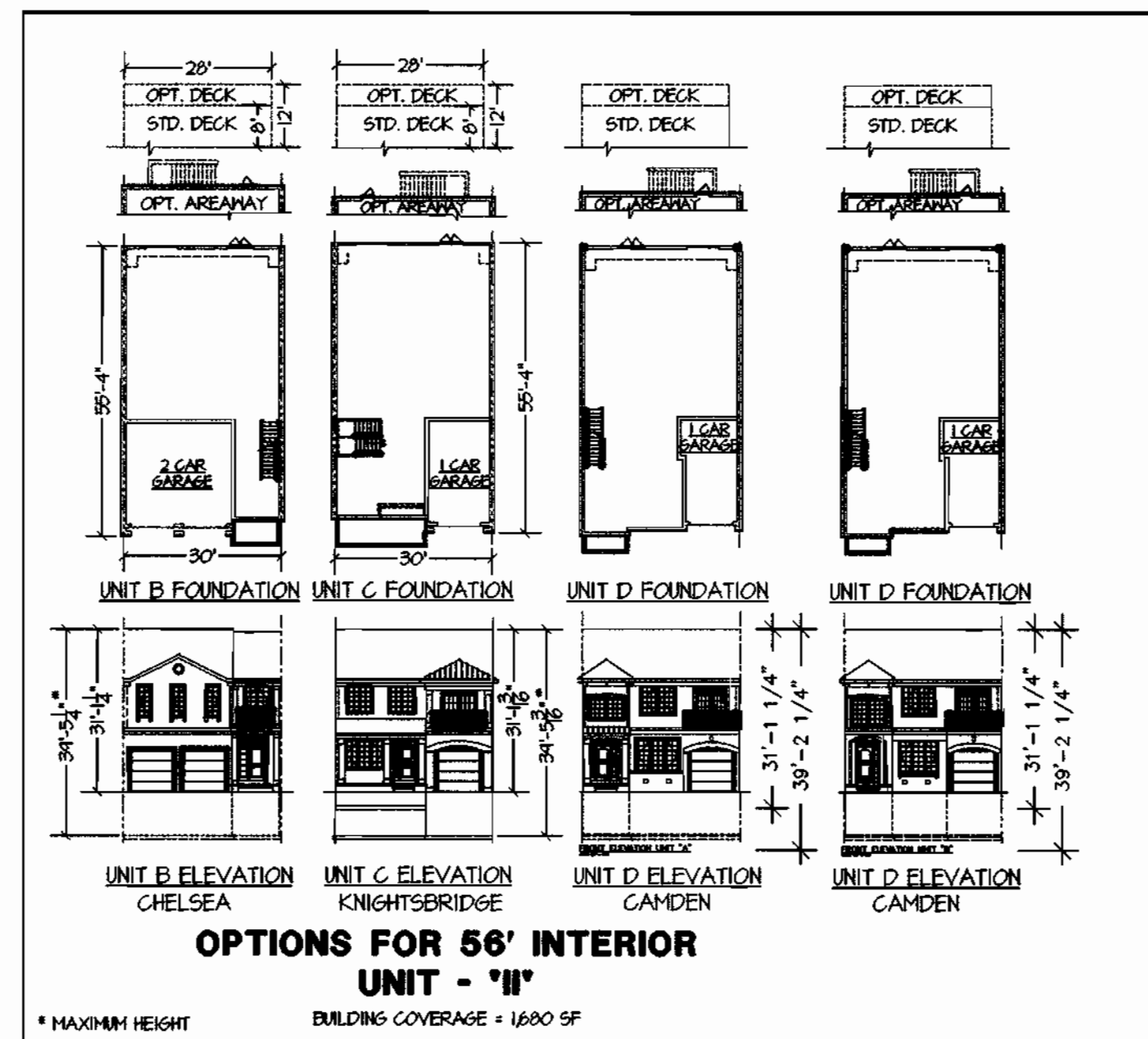
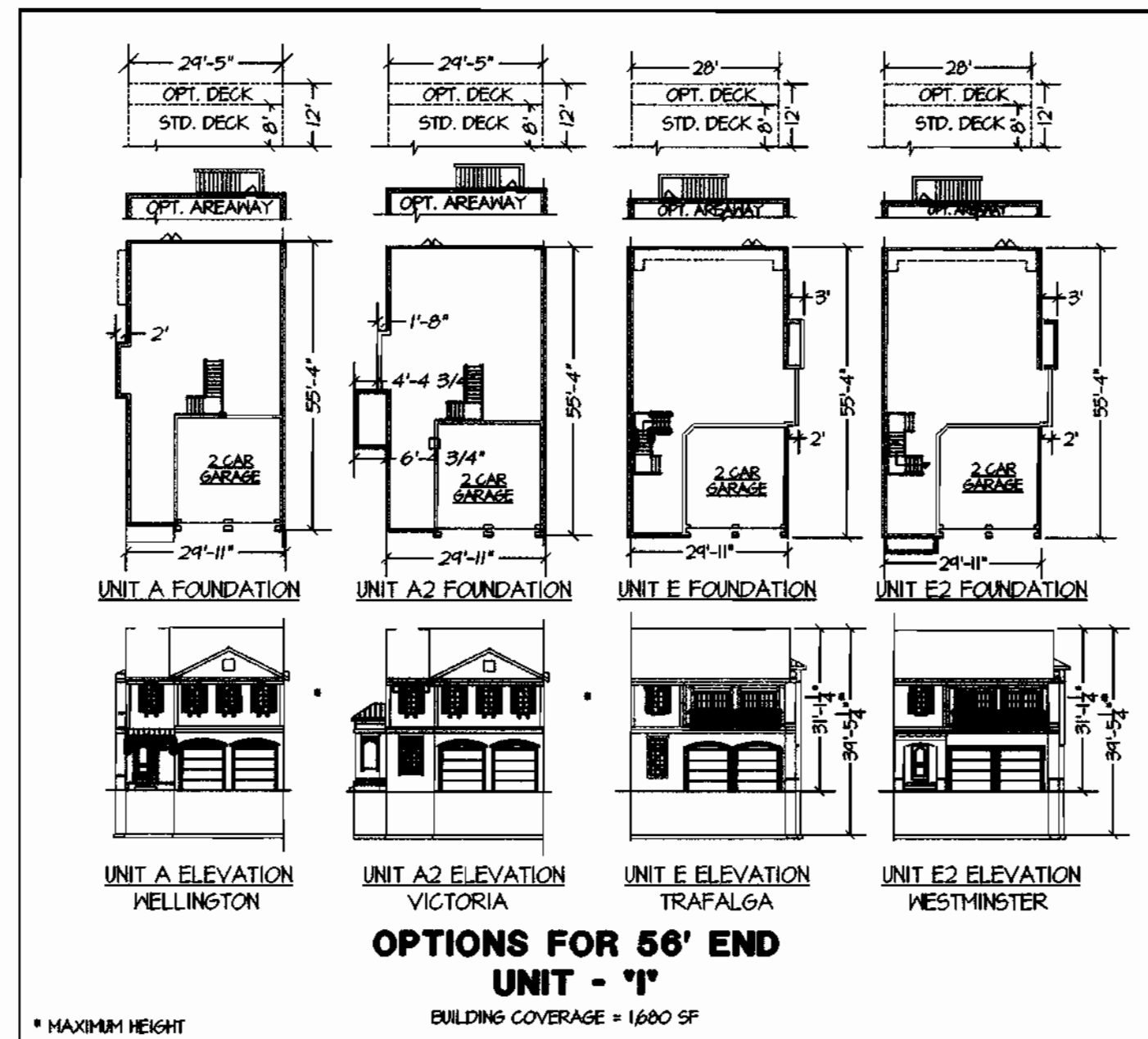
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 9/2/05

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 9/6/05

DIRECTOR: *[Signature]* DATE: 9/6/05

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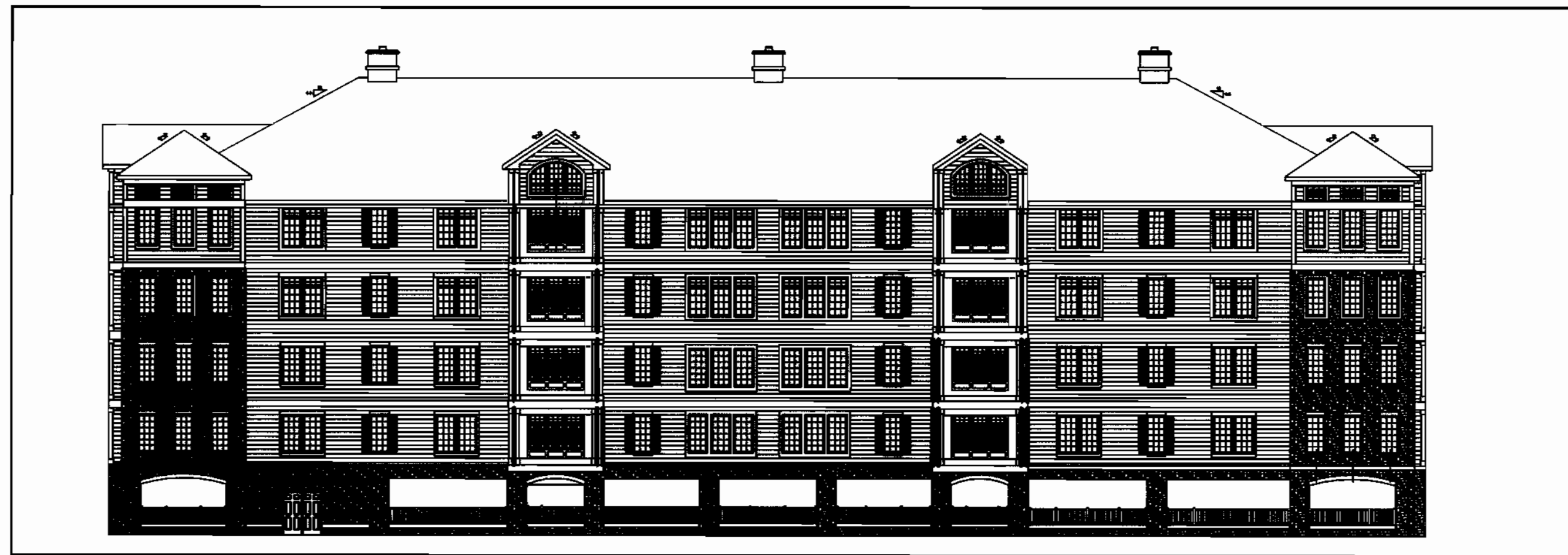
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SNOWDEN OVERLOOK CONDOMINIUM FRONT ELEVATION
NOT TO SCALE



SNOWDEN OVERLOOK CONDOMINIUM SIDE ELEVATION
NOT TO SCALE



SNOWDEN OVERLOOK CONDOMINIUM REAR ELEVATION
NOT TO SCALE



SNOWDEN OVERLOOK CONDOMINIUM COURTYARD ELEVATION
NOT TO SCALE

04/13/05

OWNER/DEVELOPER/APPLICANT: FAX NO.: (410) 480-0543
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

SHEET: **C-4**

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-9792 or (301) 776-1690
FAX (410) 792-7396

STATE OF MARYLAND
PIERO W. MELLITS
No. 21875
REGISTERED PROFESSIONAL ENGINEER
No. 25705

SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
AGE RESTRICTED ADULT HOUSING
ARCHITECTURAL FOOTPRINTS/ ELEVATIONS
L 5289 F. 330
ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: 1" = 10'
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DESIGN BY: HRW
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 4 OF 19

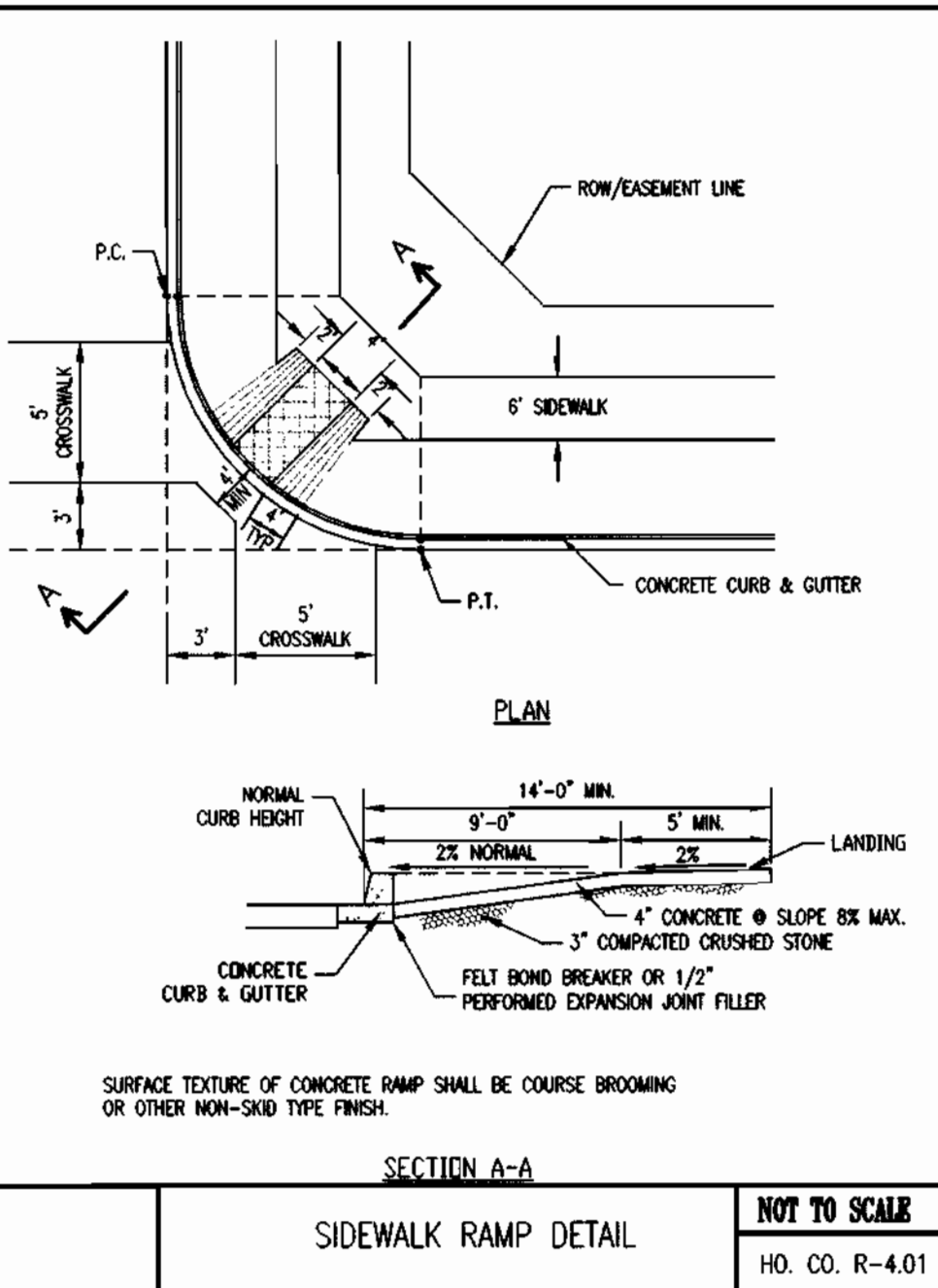
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APPROVED: DEPARTMENT OF PLANNING AND ZONING

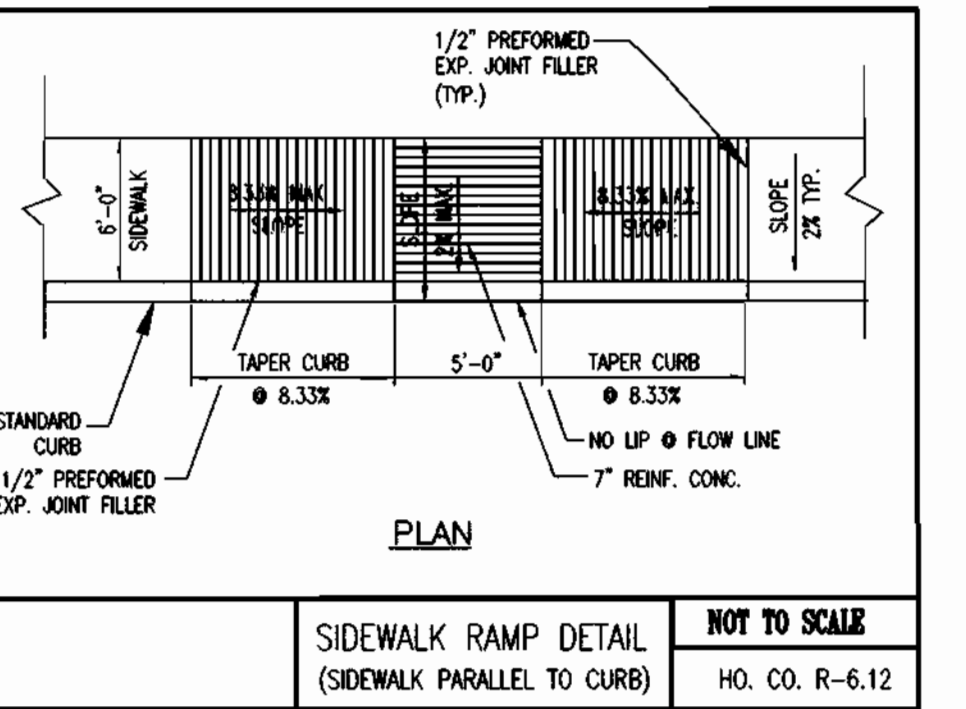
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 8/13/05 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* 9/2/05 DATE

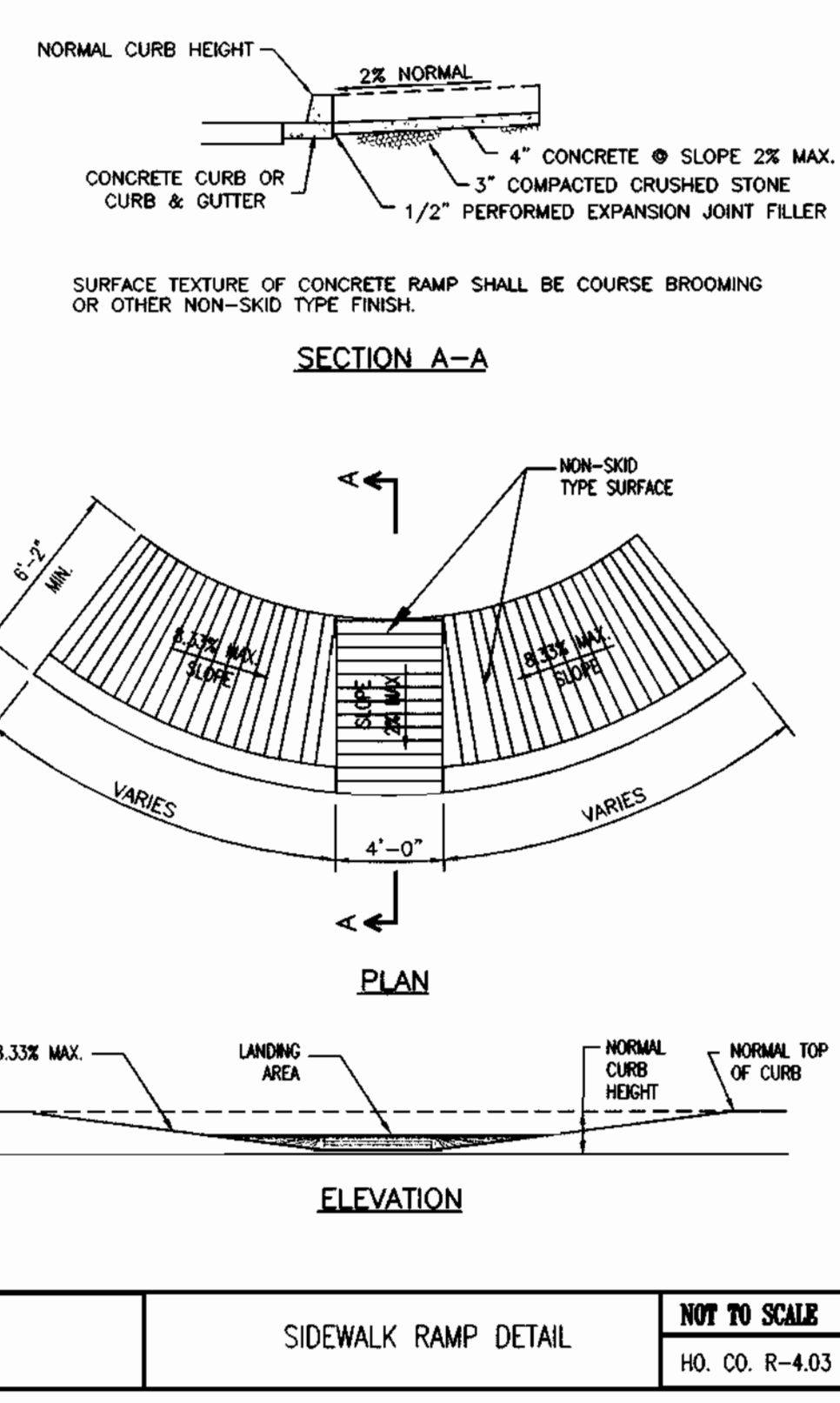
DIRECTOR: *[Signature]* 5/4/05 DATE



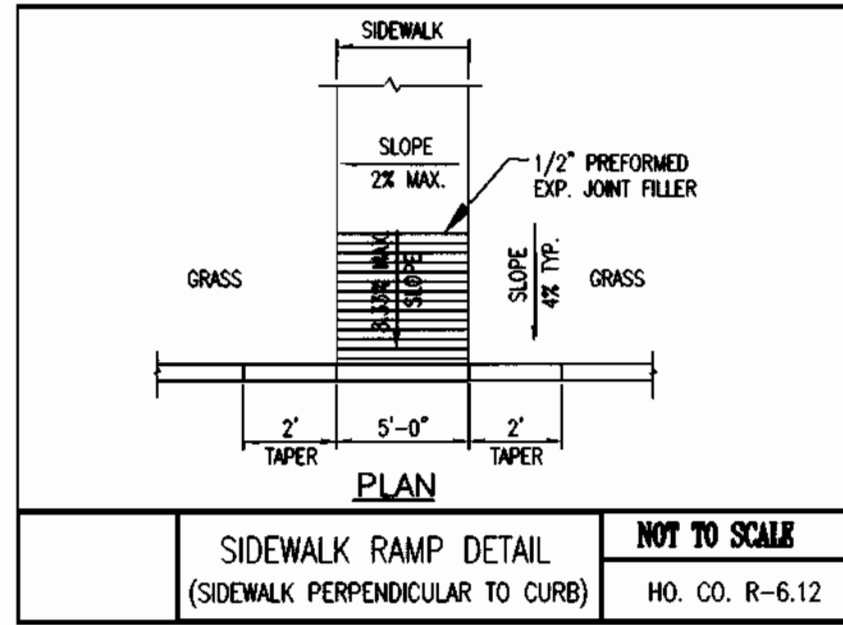
SIDEWALK RAMP DETAIL (SIDEWALK PERPENDICULAR TO CURB) NOT TO SCALE HO. CO. R-6.12



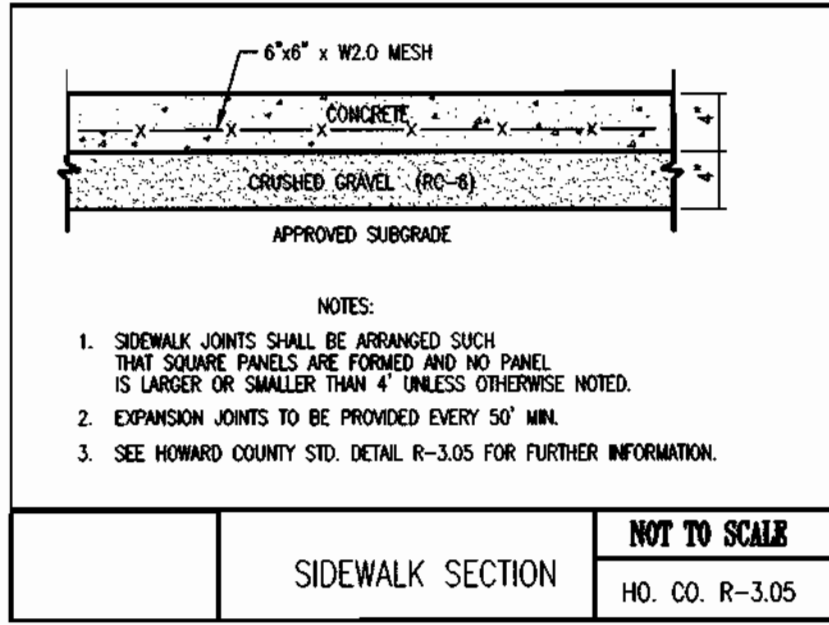
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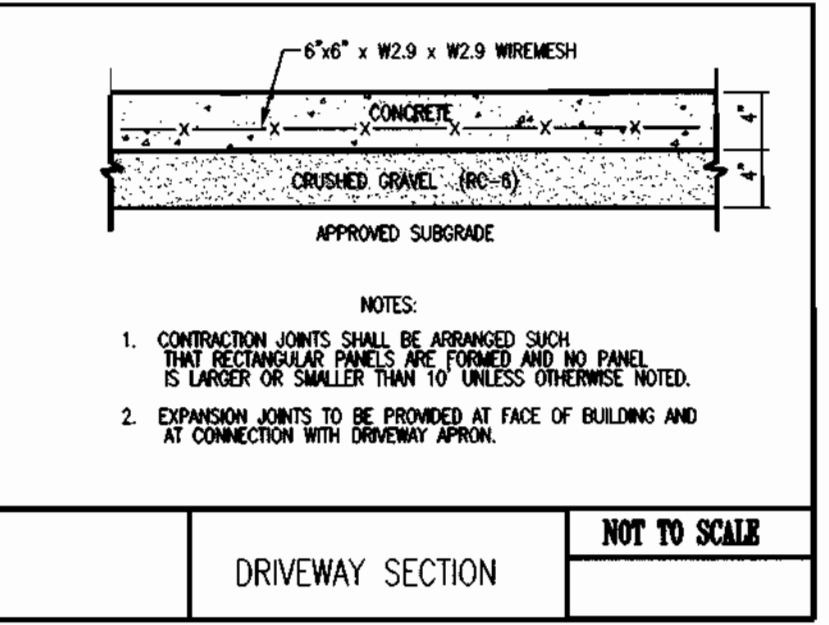
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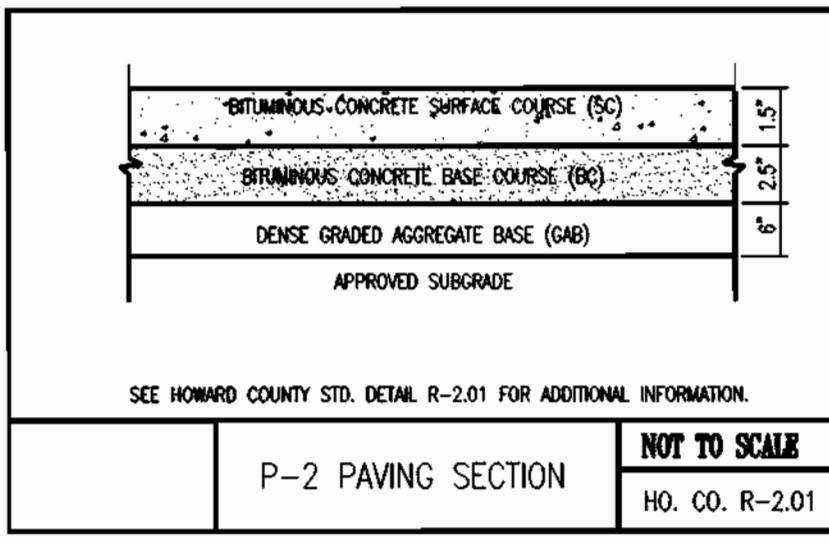
SIDEWALK RAMP DETAIL (SIDEWALK PERPENDICULAR TO CURB) NOT TO SCALE HO. CO. R-6.12



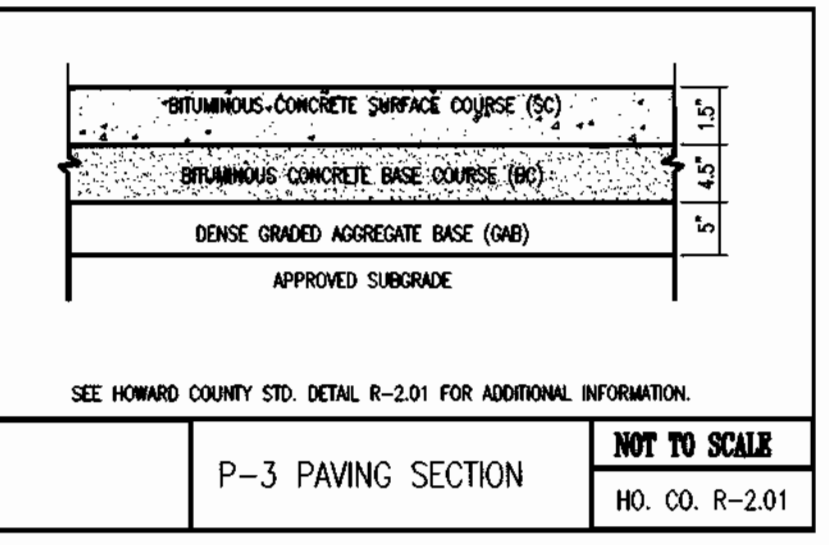
SIDEWALK SECTION NOT TO SCALE HO. CO. R-3.05



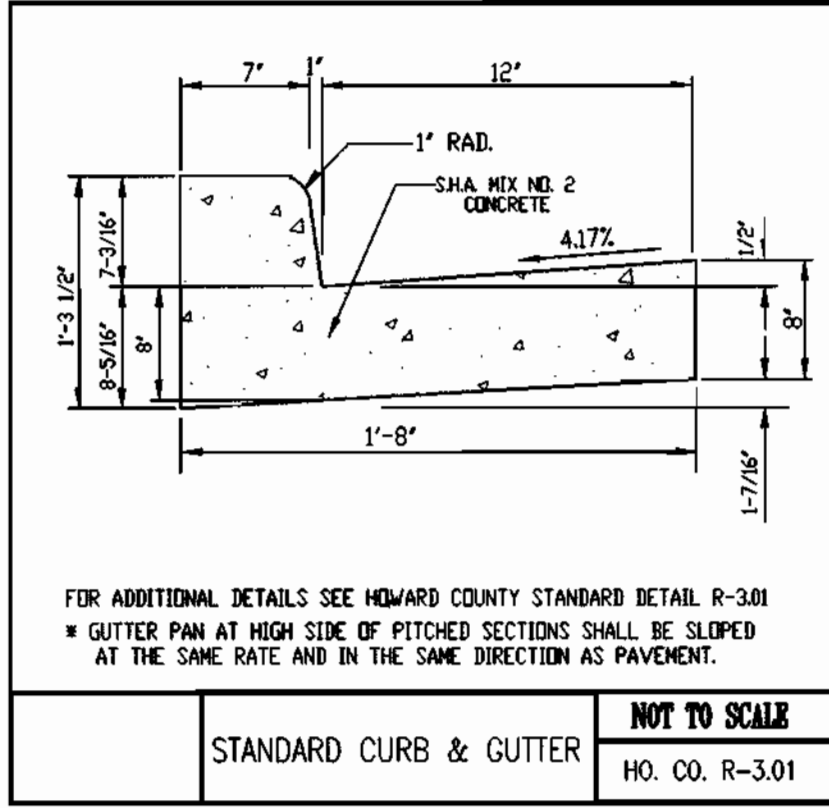
DRIVEWAY SECTION NOT TO SCALE



P-2 PAVING SECTION NOT TO SCALE HO. CO. R-2.01



P-3 PAVING SECTION NOT TO SCALE HO. CO. R-2.01



STANDARD CURB & GUTTER NOT TO SCALE HO. CO. R-3.01

SEE SHEET 8 FOR CURB TRANSITION DETAILS

UTILITY TRENCH BACKFILL

I. MATERIALS

A. PIPE BEDDING MATERIAL - PIPE BEDDING MATERIAL SHALL CONSIST OF GRADED ASPHALT BASE (GAB).

B. BACKFILL MATERIALS - USE GAB AS BACKFILL MATERIAL TO THE MINIMUM EXTENT SHOWN ON THE PLANS. THE BACKFILL FOR THE REMAINDER OF THE TRENCH SHALL CONSIST OF ON-SITE OR OFF-SITE SOILS CONFORMING TO THE REQUIREMENT OF THE GEOTECHNICAL REPORT AND CITY/COUNTY SPECIFICATIONS. NO STONES LARGER THAN 2 INCHES SHOULD BE ALLOWED WITHIN 2 FEET OF THE UTILITY. LARGER STONE, UP TO 8 INCHES IN THE LARGEST DIMENSION CAN BE USED IN LIFTS 2 FEET ABOVE THE UTILITY. NO ORGANIC MATERIAL SHALL BE ALLOWED. FOR GRANULAR SOILS (LESS THAN 35% PASSING #200 SIEVE), THE SOIL MOISTURE SHOULD BE WITHIN 3 PERCENTAGE POINTS OF OPTIMUM UNLESS OTHERWISE DIRECTED BY PROJECT ENGINEER OR COUNTY SPECIFICATIONS. FOR FINE-GRAINED SOILS (GREATER THAN 35% PASSING #200 SIEVE), THE SOIL MOISTURE SHOULD BE WITHIN 0 TO PLUS 4 PERCENT OF OPTIMUM UNLESS OTHERWISE DIRECTED BY ENGINEER OR COUNTY SPECIFICATIONS.

THE COMPACTION REQUIREMENT SHALL BE 92 PERCENT OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY FOR MATERIAL PLACED BELOW THE TOP 12-INCHES OF ROADWAY SUBGRADE. THE TOP 12 INCHES SHOULD BE COMPACTED TO 95% UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THE TOP 12 TO 24 INCHES OF SOIL MAY BE REQUIRED TO MEET CERTAIN MATERIAL PROPERTIES FOR SUBGRADE SUPPORT FOR PAVEMENTS.

II. BACKFILLING PROCEDURES

A. CONTRACTOR SHALL PLACE LEVEL LIFTS OF SOIL ADJACENT AND ABOVE THE UTILITY. THE LIFT THICKNESS SHALL BE DEPENDENT UPON THE TYPE OF EQUIPMENT BEING USED FOR COMPACTION AND THE MATERIALS. THE FOLLOWING SHALL BE USED AS A GUIDE:

1. FINE-GRAINED MATERIALS - FINE-GRAINED MATERIALS (MATERIALS WITH MORE THAN 35% PASSING #200 SIEVE) SHOULD BE COMPACTED WITH SHEEPS-FOOT TYPE ROLLER. THE LIFT THICKNESS SHOULD NOT EXCEED 4 INCHES IF HAND OPERATED EQUIPMENT IS USED. HAND EQUIPMENT WILL BE REQUIRED FOR COMPACTION AROUND MANHOLES, STRUCTURES AND ADJACENT TO AND OVER THE UTILITY. IF HEAVY CONSTRUCTION SHEEPS-FOOT COMPACTION EQUIPMENT IS USED, A MAXIMUM LOOSE LIFT THICKNESS SHOULD BE NO GREATER THAN THE LENGTH OF THE SHEEPS-FOOT OR A MAXIMUM OF EIGHT INCHES. EACH LIFT SHOULD BE UNIFORMLY COMPACTED WITH A SUFFICIENT NUMBER OF PASSES TO OBTAIN THE REQUIRED DEGREE OF COMPACTION. THE SOIL CLOSURE AND VOIDS MUST BE ELIMINATED DURING BACKFILLING, RESULTING IN A HOMOGENEOUS SOIL MATRIX.

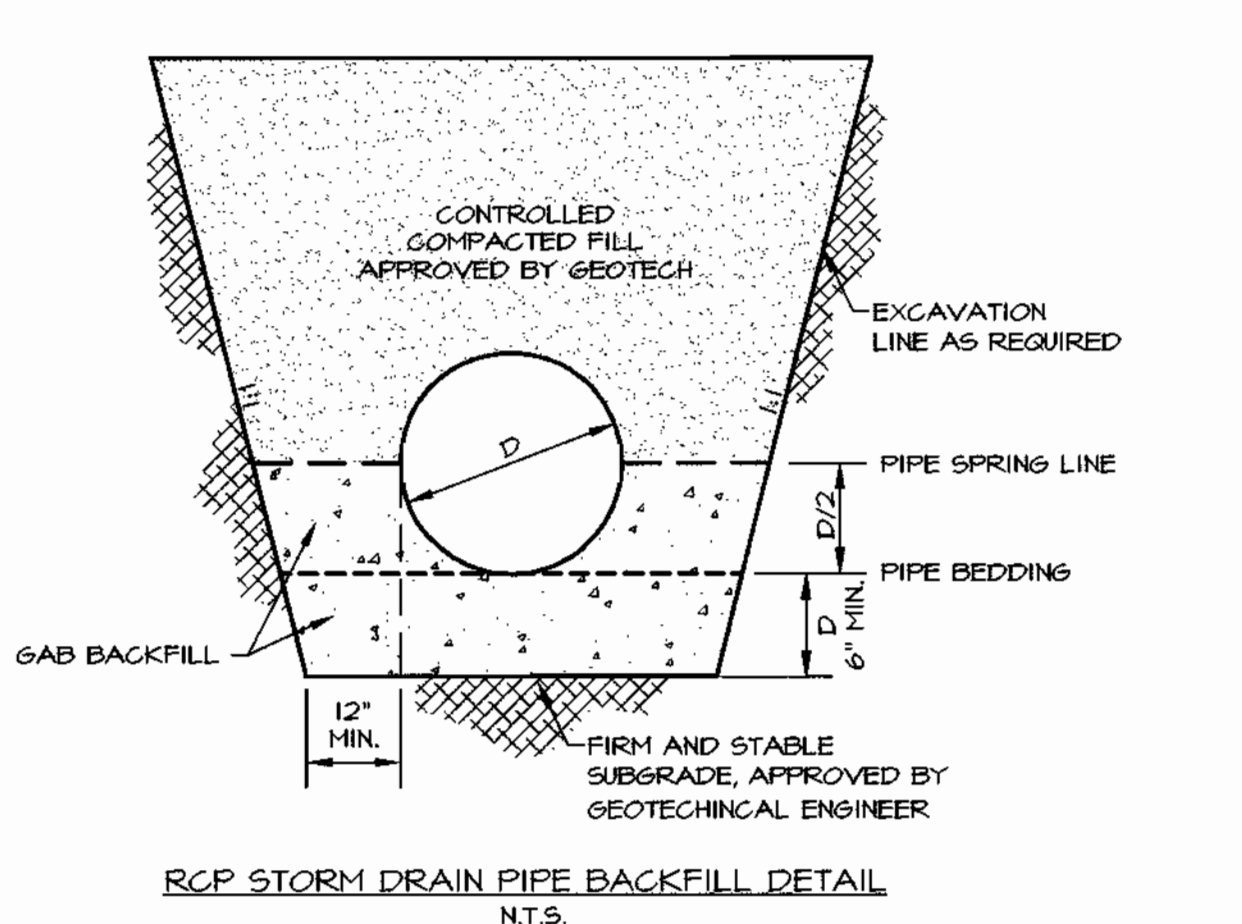
2. GRANULAR SOILS - GRANULAR SOILS (MATERIALS WITH LESS THAN 35% PASSING #200 SIEVE) SHOULD BE COMPACTED WITH A VIBRATORY TYPE COMPACTION EQUIPMENT. THE LOOSE LIFT THICKNESS SHOULD NOT EXCEED 4 INCHES FOR HAND OPERATED EQUIPMENT. HAND EQUIPMENT WILL BE REQUIRED AROUND MANHOLES, STRUCTURES AND ADJACENT TO AND ABOVE THE UTILITY. IF HEAVY VIBRATORY COMPACTION EQUIPMENT IS USED, THEN THE LOOSE LIFT THICKNESS CAN BE INCREASED TO 8 INCHES. EACH LIFT SHOULD BE UNIFORMLY COMPACTED WITH A SUFFICIENT NUMBER OF PASSES TO OBTAIN THE RECOMMENDED DEGREE OF COMPACTION.

3. THE BACKFILL SHOULD BE WORKED USING HAND TOOLS AROUND PIPE HANCHO TO PROVIDE UNIFORM AND FIRM SUPPORT.

B. IF A LIFT FAILS TO MEET THE REQUIRED COMPACTION, THEN THE LIFT SHOULD BE RE-COMPACTED AND RETESTED. IF THE MATERIAL IS TOO WET OR TOO DRY, THE MOISTURE SHOULD BE ADJUSTED TO WITHIN THE REQUIRED RANGE PRIOR TO RE-COMPACTION.

III. TESTING

EACH LIFT OF FILL SHOULD BE MONITORED FOR STABILITY, LIFT THICKNESS AND COMPACTION EFFORT. A DENSITY TEST SHOULD BE PERFORMED FOR EACH LIFT OF FILL PLACED PER EVERY 150 FEET OF TRENCH. THIS REQUIREMENT INCLUDES THE UTILITY LATERAL CONNECTIONS. THE TEST PROCEDURE SHOULD BE THE SAND CONE METHOD (ASTM D-1556) OR THE NUCLEAR GAUGE METHOD (ASTM D-2922). THE TEST RESULTS SHOULD BE MADE AVAILABLE TO THE CONTRACTOR UPON THE COMPLETION OF THE TEST. FOR EACH TEST, THE TECHNICIAN SHOULD RECORD THE FOLLOWING: DATE, TEST LOCATION, TEST ELEVATION, MATERIAL TYPE, DEGREE OF COMPACTION; ONE-POINT RESULTS; LIFT THICKNESS; AND MOISTURE CONTENT.



RCP STORM DRAIN PIPE BACKFILL DETAIL N.T.S.

GENERAL SITEWORK NOTES

1. THE CORRECTNESS OR COMPLETENESS OF EXISTING INFORMATION SHOWN ON THE DRAWINGS IS NOT WARRANTED OR GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND UNDERGROUND FACILITIES, BY TEST PITS OR OTHER METHODS APPROVED BY THE OWNER'S REPRESENTATIVE, AS REQUIRED TO VERIFY EXACT LOCATIONS AND DEPTHS WITHIN THE LIMIT OF DISTURBANCE (LOD). ALL DISCREPANCIES BETWEEN INFORMATION SHOWN ON THE DRAWINGS AND THAT VERIFIED IN THE FIELD SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

2. EXISTING UTILITIES ARE TO REMAIN AND SHALL BE ADJUSTED TO PROPOSED FINISH GRADE UNLESS NOTED OTHERWISE ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL COSTS AND WORK REQUIRED TO ADJUST EXISTING AND INSTALL PROPOSED UTILITIES TO FINISH GRADE WITHIN THE LIMIT OF DISTURBANCE (LOD), INCLUDING OFF-SITE EASEMENTS AND PUBLIC RIGHTS-OF-WAY, AS APPLICABLE.

3. THE CONTRACTOR SHALL STAKE OUT THE LIMIT OF DISTURBANCE (LOD), THE LOCATION OF PROPOSED BUILDING AND RETAINING WALL LINES AND CORNERS, UTILITIES, ROAD AND DRIVEWAY CENTERLINES, AND PARKING AREAS FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

4. EXISTING CURB AND GUTTER, PAVING AND BASE, MAILBOXES, STEPS, AND OTHER EXISTING SURFACES AND FEATURES WITHIN THE LIMIT OF DISTURBANCE (LOD) SHALL BE REMOVED UNLESS NOTED OTHERWISE ON THE DRAWINGS, OR AS SPECIFIED BY THE APPLICABLE SPECIAL CONSTRUCTION NOTES.

5. CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD DETAILS AND SPECIFICATIONS ALONG WITH APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS, STANDARDS AND SPECIFICATIONS. REFER TO THE DRAWINGS, AND PROJECT MANUAL IF PART OF THE CONTRACT DOCUMENTS, FOR DESIGNATED MODIFICATIONS AND ADDITIONAL INFORMATION. CONTRACTOR SHALL COMPLY WITH APPLICABLE OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) LAWS AND REGULATIONS FOR WORK ON THIS PROJECT.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, NOT OBTAINED AND FURNISHED TO THE CONTRACTOR BY THE OWNER, AND PAYING RELATED FEES REQUIRED TO COMPLETE THE WORK ON THIS PROJECT.

7. THE CONTRACTOR SHALL REPLACE AT NO ADDITIONAL COST TO THE OWNER, EXISTING CURB AND GUTTER, PAVING, SIDEWALKS, TREES, PLANT MATERIAL AND OTHER ITEMS DESIGNATED TO REMAIN ON THE SITE AND WITHIN THE PUBLIC RIGHTS-OF-WAY WHICH ARE DAMAGED DURING CONSTRUCTION. AREAS DISTURBED, BUT NOT DESIGNATED FOR PAVING OR PLANTING AREAS, SHALL BE PERMANENTLY STABILIZED BY SEEDING OR SOODING IN ACCORDANCE WITH THE VEGETATIVE STABILIZATION NOTES ON THE DRAWINGS, AND SPECIFICATIONS IN THE PROJECT MANUAL WHEN APPLICABLE.

8. CURB AND GUTTER SHALL BE CONSTRUCTED WITH "REGULAR CROSS SLOPE" OR "REVERSE CROSS SLOPE" AS REQUIRED TO REFLECT THE DIRECTION OF SLOPE ON ADJACENT PAVING. REFER TO THE DRAWINGS FOR CURB AND GUTTER DETAILS. CURB AND GUTTER SHALL BE CONSTRUCTED WITH SMOOTH VERTICAL CURVE TRANSITIONS AT ALL HIGH POINT, LOW POINT AND INLET LOCATIONS.

9. SANITARY SEWER AND STORM DRAIN PIPE ELEVATIONS ARE TO THE INVERT UNLESS NOTED OTHERWISE ON THE DRAWINGS. UTILITY MANHOLES AND STORM DRAIN STRUCTURE FRAMES, GRATES, AND INLET HEADPIECES SHALL BE ADJUSTED AND INSTALLED AT THE SAME LINE, GRADE AND CROSS SLOPE OF PROPOSED FINISH GRADE IN ADJACENT LAWN AND PAVED AREAS.

10. WATER LINES SHALL BE INSTALLED WITH A MINIMUM COVER OF THREE AND A HALF FEET (3'-6") ABOVE THE TOP OF PIPE UNLESS NOTED OTHERWISE ON THE DRAWINGS.

11. SANITARY SEWER, ROOF AND STORM DRAIN CLEANOUTS LOCATED WITHIN PAVED AREAS SHALL BE A "FLUSH TYPE" INSTALLED AT THE SAME ELEVATION AS THE SURROUNDING PAVEMENT. REFER TO THE DRAWINGS FOR ADDITIONAL INFORMATION.

12. AREAS ADJACENT TO BUILDINGS, UNLESS OTHERWISE NOTED ON THE DRAWINGS, SHALL BE GRADED TO DIVERT WATER AWAY AT THE FOLLOWING MINIMUM GRADIENTS:
CONCRETE AND IMPERVIOUS SURFACES: 1% MINIMUM
LAWN AND PERVIOUS SURFACES: 2% MINIMUM

13. WHERE NEW CURB AND GUTTER MEETS EXISTING CURB AND GUTTER, THE EXISTING SHALL BE REMOVED TO THE NEAREST JOINT, OR SAW CUT TO PROVIDE A CLEAN, UNIFORM JOINT WITH THE NEW CURB AND GUTTER.

14. PROPOSED SPOT ELEVATIONS SHOWN IN DRIVEWAYS, SERVICE AND PARKING AREAS ARE THE TOP OF PAVED SURFACES AND BOTTOM OF CURBS UNLESS NOTED OTHERWISE ON THE DRAWINGS.

15. WHERE NEW CURB IS INSTALLED ADJACENT TO EXISTING PAVEMENT WHICH IS TO RECEIVE AN OVERLAY, THE OVERLAY THICKNESS MAY VARY AS REQUIRED (MINIMUM OF 1-INCH) IN ORDER TO MAINTAIN THE SPECIFIED CURB REVEAL AS SHOWN ON THE DETAILS. IT IS ANTICIPATED THAT MINOR FIELD ADJUSTMENT TO THE TOP OF CURB ELEVATIONS NOTED ON THE DRAWINGS MAY BE NECESSARY IN ORDER TO PROVIDE A UNIFORM CURB REVEAL. PROVIDE SMOOTH TRANSITION OF THE FINISHED SURFACE AND MAINTAIN FLOW ALONG THE CURBLINE INTO DRAINAGE STRUCTURES. CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL OF ADJUSTMENTS PRIOR TO INSTALLING NEW CURB.

16. REFER TO CONSTRUCTION DOCUMENTS PREPARED BY THE MECHANICAL OR ELECTRICAL ENGINEER FOR DISPOSITION OF EXISTING AND CONSTRUCTION OF NEW LIGHTING, COMMUNICATION, AND ELECTRICAL SERVICES, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

17. THE STORM DRAIN PIPES SHOULD BE FURNISHED AND INSTALLED WITH "O-RING GASKETED" BELL AND SPIGOT JOINTS TO PROVIDE A WATER-TIGHT JOINT.

18. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (800) 257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

19. CONTRACTOR TO ADHERE TO ALL FEDERAL, STATE, AND LOCAL CODE AND PERMIT REQUIREMENTS.

04/13/05

OWNER/DEVELOPER/APPLICANT: _____ FAX NO.: (410) 480-0543
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

SHEET: C-5

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 OR (301) 776-1690
 FAX (410) 792-7395

MARYLAND PROFESSIONAL SURVEYOR
 PIERO VAN MELLITS
 No. 21875
 Expires 12/31/05

**SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
 KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
 SITE DETAILS**
 L. 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

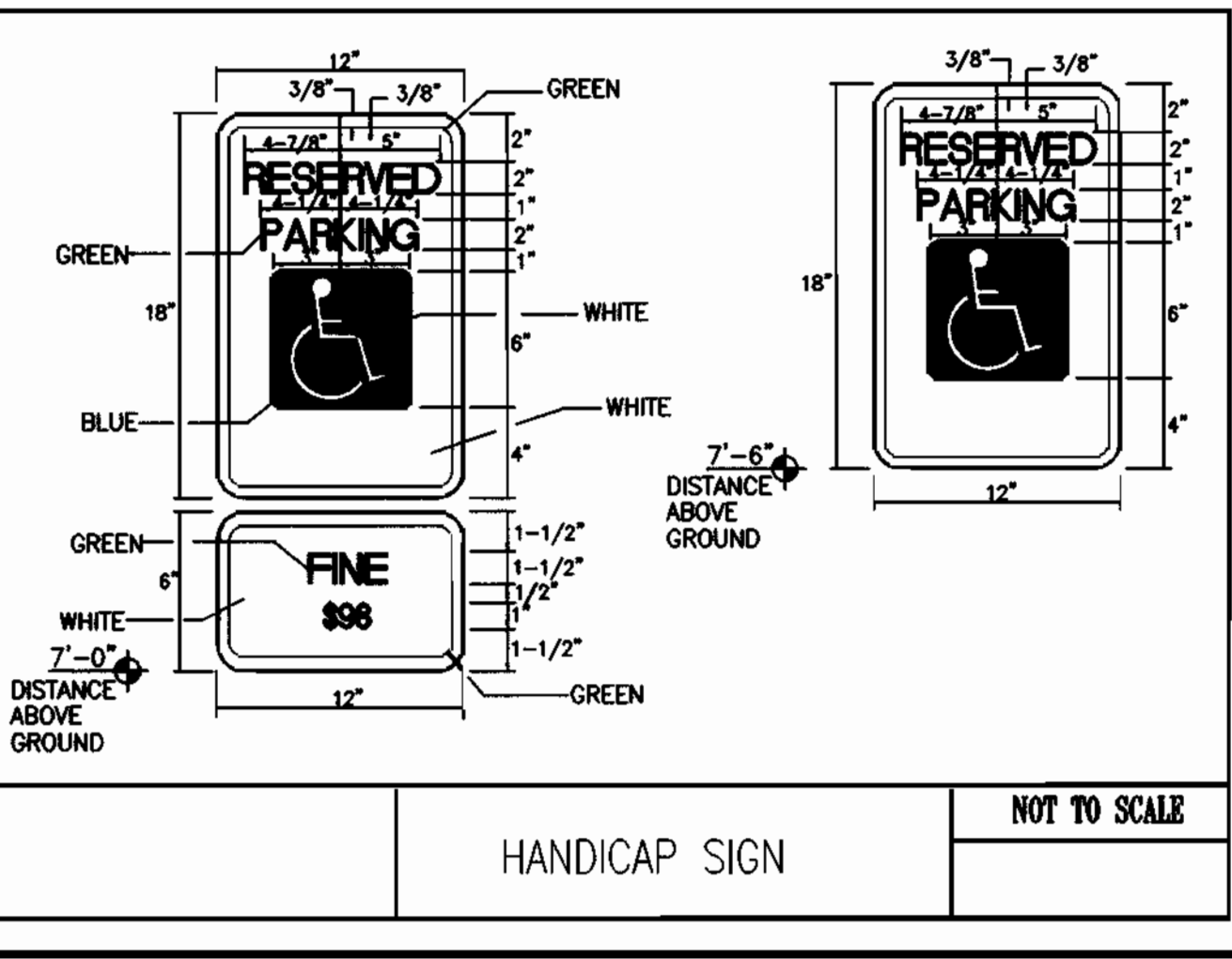
DATE	REVISIONS	JOB NO.	SCALE
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02	AS SHOWN
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS		DATE: 08/27/04
3-15-05	PER HOWARD COUNTY COMMENTS		DRAWN BY: HRW
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5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER		REVIEW BY: PVM

SHEET: 5 OF 19

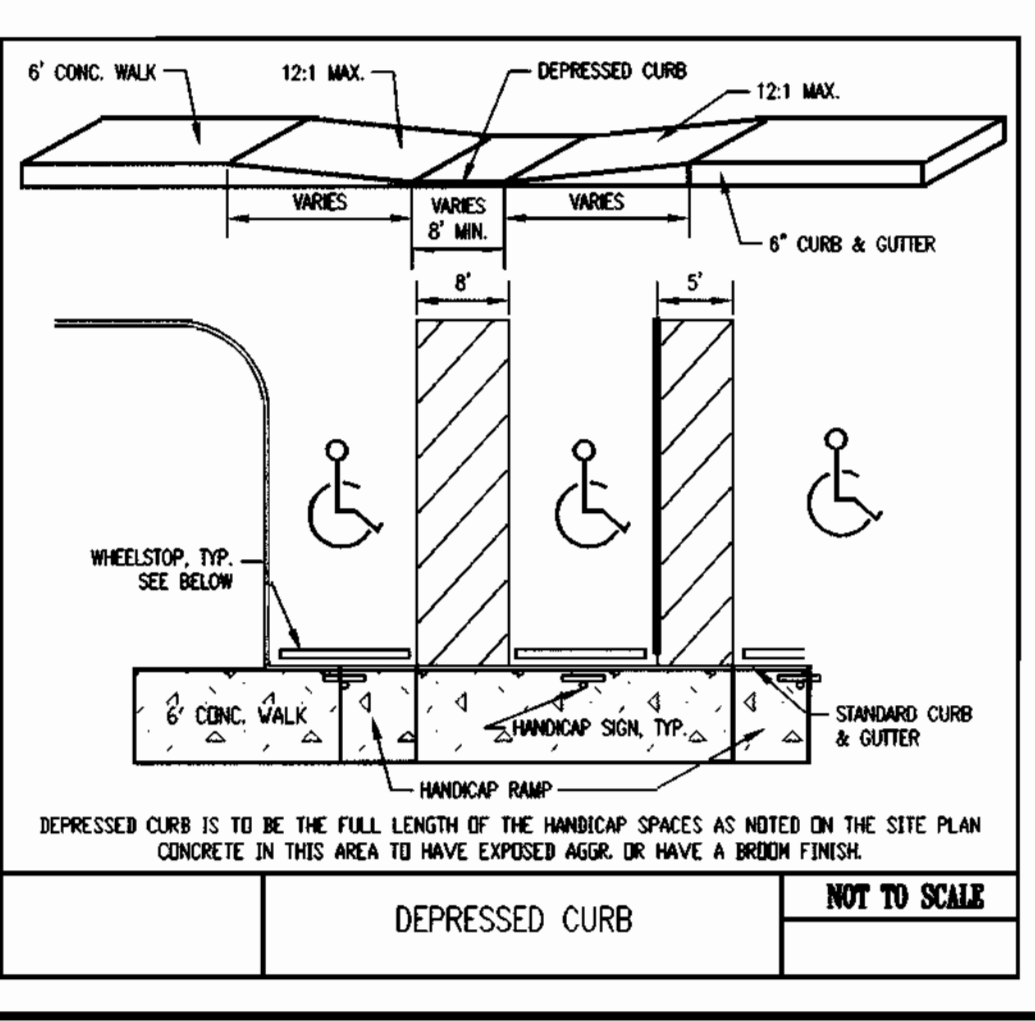
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

DATE: 8/16/05
 DATE: 9/6/05
 DATE: 9/6/05



HANDICAP SIGN NOT TO SCALE



DEPRESSED CURB NOT TO SCALE

SDP-05-037



LEGEND

- PROPOSED CURB & GUTTER
- PROPOSED DRIVEWAY
- PROPOSED TOWNHOME
- CENTERLINE OF ROAD
- (44) PROPOSED TOWNHOME UNIT NUMBER
- IV' PROPOSED UNIT TYPE
- STREAM BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING EASEMENT
- EXISTING CURB
- N41°08'00"E 598.31' EX. 8" S
- EX. 15' HOPE EX. 8" S
- EX. 8" W
- PROPOSED P-3 PAVEMENT SECTION
- PROPOSED P-2 PAVEMENT SECTION
- PROPOSED SIDEWALK SECTION
- PROPOSED MODIFIED CURB & GUTTER

PROPERTY LINE CURVE TABULATION

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-1	25.00	21.42	11.42	20.77	S. 02°58'28" E	48°05'44"
C-2	59.00	288.42	72.28	72.28	N. 72°25'25" W	278°11'48"
C-3	28.00	21.42	11.42	20.77	N. 39°07'31" E	49°05'54"
C-4	348.35	189.60	97.21	187.27	N. 84°57'42" W	311°11'05"
C-5	275.25	172.65	86.28	169.83	S. 61°27'54" W	355°58'17"
C-6	443.86	707.47	354.49	706.72	N. 46°11'55" W	09°08'33"

ROAD CENTERLINE CURVE TABULATION

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-7	220.00	56.01	28.18	55.86	S. 87°43'05" E	14°35'17"
C-8	50.00	78.54	50.00	70.71	S. 45°58'17" W	90°00'00"
C-9	103.00	81.18	42.28	78.97	S. 62°43'51" W	48°20'51"
C-10	50.00	77.84	49.31	70.22	S. 88°04'30" W	88°12'07"
C-11	50.00	83.51	55.24	74.14	N. 00°31'28" E	85°41'48"
C-12	130.00	122.52	69.42	122.97	N. 76°28'29" E	58°12'17"
C-13	50.00	41.21	21.88	40.05	N. 65°14'23" W	47°13'30"
C-14	50.00	78.54	50.00	70.71	N. 03°22'22" E	90°00'00"
C-15	50.00	36.74	18.38	35.45	N. 69°08'03" E	41°11'33"
C-16	50.00	42.30	22.51	41.05	S. 65°51'57" E	48°28'57"
C-17	50.00	78.54	50.00	70.71	S. 45°00'43" E	90°00'00"

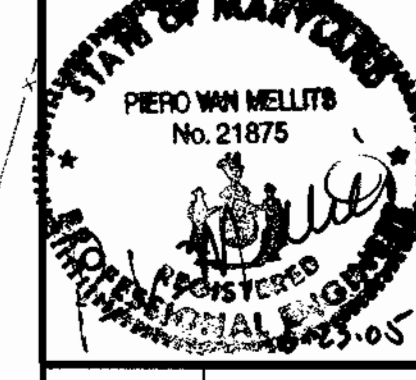
04/13/05

- NOTE:
- ① 5' TRANSITION FROM STANDARD TO MODIFIED CURB & GUTTER. SEE DETAIL ON SHEET C-8.
 - ② 5' TRANSITION FROM MODIFIED TO STANDARD CURB & GUTTER. SEE DETAIL ON SHEET C-9.
- CURB AND GUTTER SHALL MEET HOWARD COUNTY STANDARD DETAIL R-3-01.
- ③ REFER TO SHEET C-5 FOR STANDARD PAVING SECTIONS AND CURB & GUTTER DETAILS.

OWNER/DEVELOPER/APPLICANT: **BRIAN KNAUFF** FAX NO.: (410) 480-0543
 B. DAYTIME TELEPHONE: (410) 480-2467
 COMPANY: **THE RYLAND GROUP, INC.**
 ADDRESS: **6011 UNIVERSITY BOULEVARD, SUITE 260**
 CITY: **ELLCOTT CITY** STATE: **MD** ZIP: **21043**

SHEET: **C-6**

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
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 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 778-1690
 FAX (410) 792-7395



SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
PAVING PLAN
 L. 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: 1" = 40'
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: HRW
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 6 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

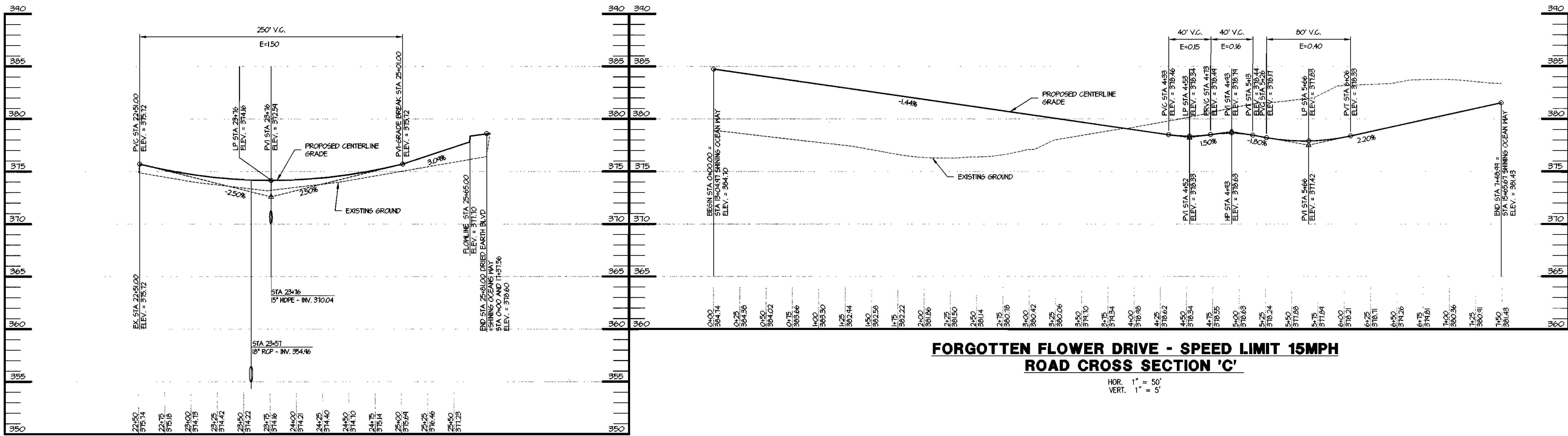
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: *9/1/05*

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: *9/2/05*

DIRECTOR: *[Signature]* DATE: *7/6/05*

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SDP-05-037



**DRIED EARTH BOULEVARD - SPEED LIMIT 15MPH
ROAD CROSS SECTION 'B'**

HOR. 1" = 50'
VERT. 1" = 5'

**FORGOTTEN FLOWER DRIVE - SPEED LIMIT 15MPH
ROAD CROSS SECTION 'C'**

HOR. 1" = 50'
VERT. 1" = 5'

APPROVED
04/13/05

PROVIDE CONTROLLED FILL TO 95% COMPACTION PER AASHTO T-180. PLACEMENT TO BE APPROVED BY THE GEOTECHNICAL ENGINEER.

OWNER/DEVELOPER/APPLICANT: _____ FAX NO: (410) 480-0543
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

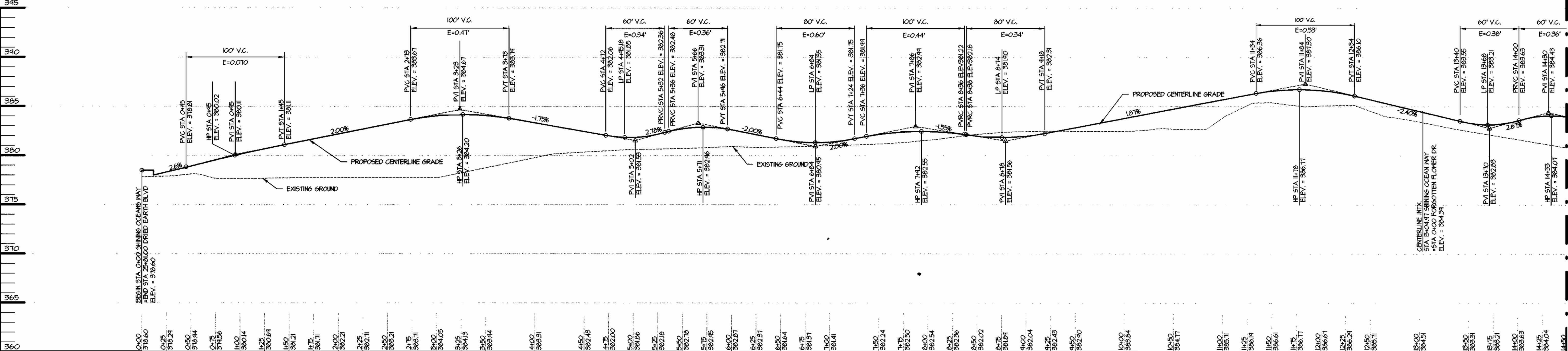
SHEET: C-7

	MORRIS & RITCHIE ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS 14280 PARK CENTER DRIVE, SUITE A LAUREL, MARYLAND 20707 (410) 792-0792 or (301) 778-1690 FAX (410) 792-7396	
	SNOWDEN RIVER BUSINESS PARK SECTION 1 AREA 1, PARCEL D-2 KENDALL OVERLOOK AGE RESTRICTED ADULT HOUSING ROAD PROFILES L 5289 F. 330 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385) ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND	
	PIERO VAN MELLITE No. 21875 REGISTERED PROFESSIONAL ENGINEER 05-05	
DATE 11-15-04 1-31-05 3-15-05 4-19-05 5-23-05	REVISIONS PER HRD COMMENTS & HO. CO. COMMENTS PER HRD COMMENTS & HO. CO. COMMENTS PER HOWARD COUNTY COMMENTS PER HOWARD COUNTY COMMENTS GRADING & UTILITIES PER DESIGN ENGINEER	JOB NO.: 12735.02 SCALE: AS SHOWN DATE: 08/27/04 DRAWN BY: KSZ/KH DESIGN BY: KSZ/KH REVIEW BY: PVM SHEET: 7 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 _____ DATE 8/16/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 _____ DATE 9/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
 _____ DATE 9/16/05
 DIRECTOR

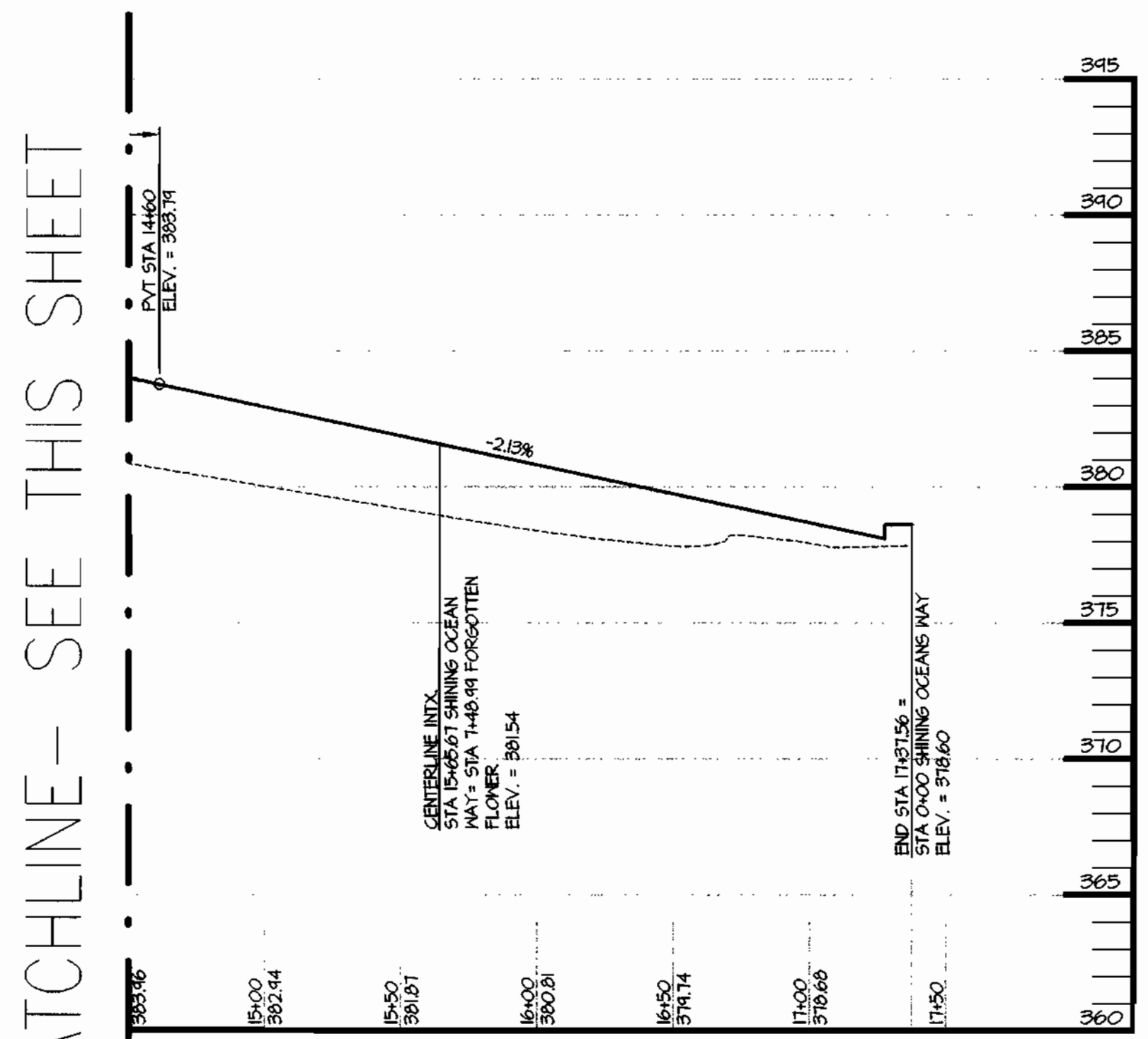
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MATCHLINE - SEE THIS SHEET



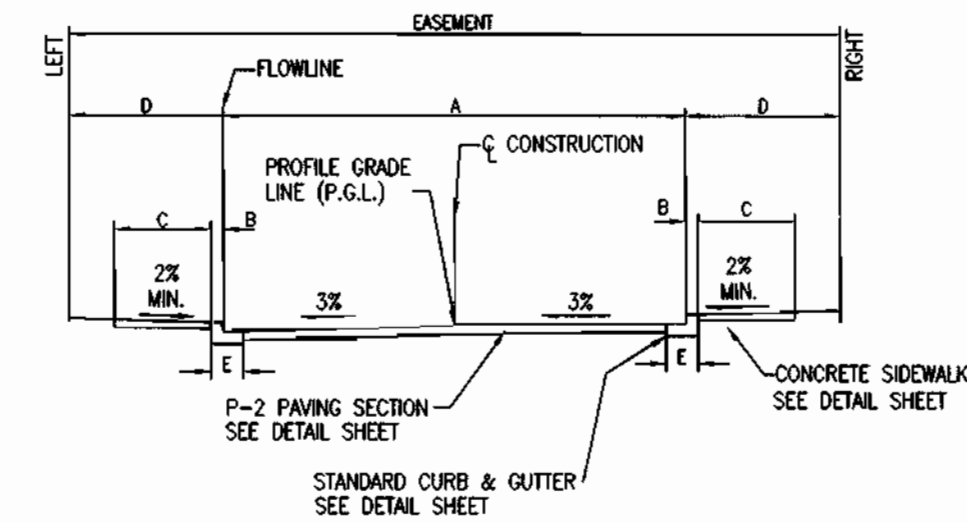
**SHINING OCEANS WAY - SPEED LIMIT 15MPH
ROAD CROSS SECTION 'A'**

HOR. 1" = 50'
VERT. 1" = 5'

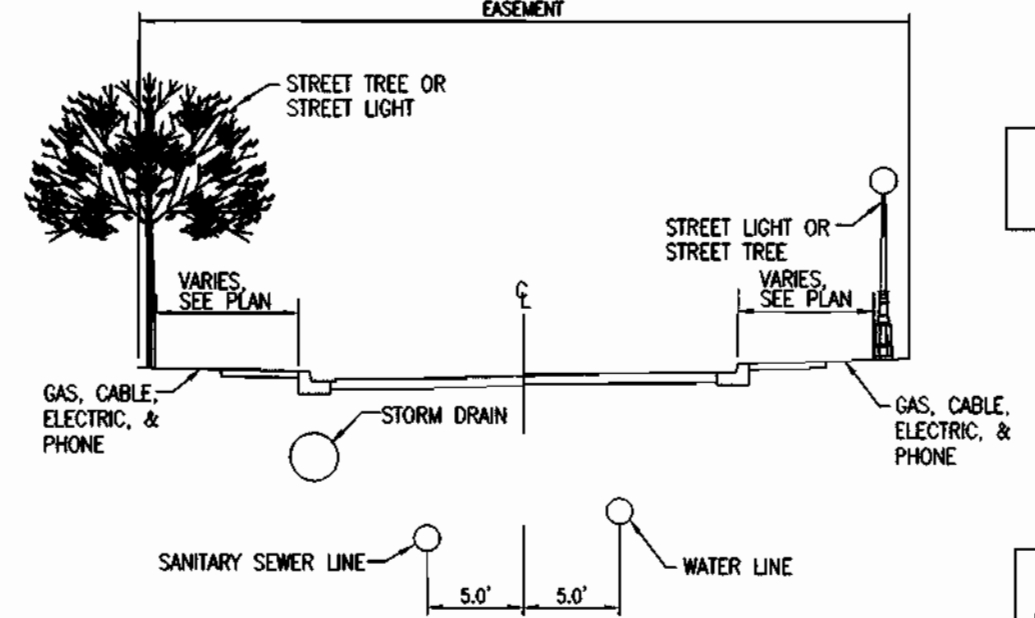


**SHINING OCEANS WAY - SPEED LIMIT 15MPH
ROAD CROSS SECTION 'A'**

HOR. 1" = 50'
VERT. 1" = 5'



**ROAD CROSS SECTION 'C'
STANDARD CURB**

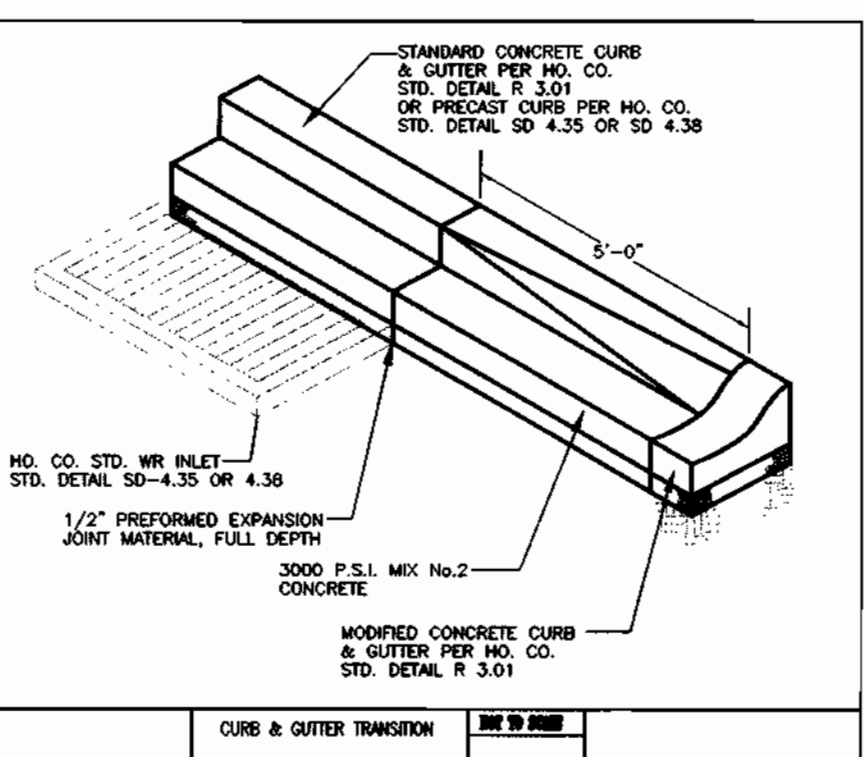
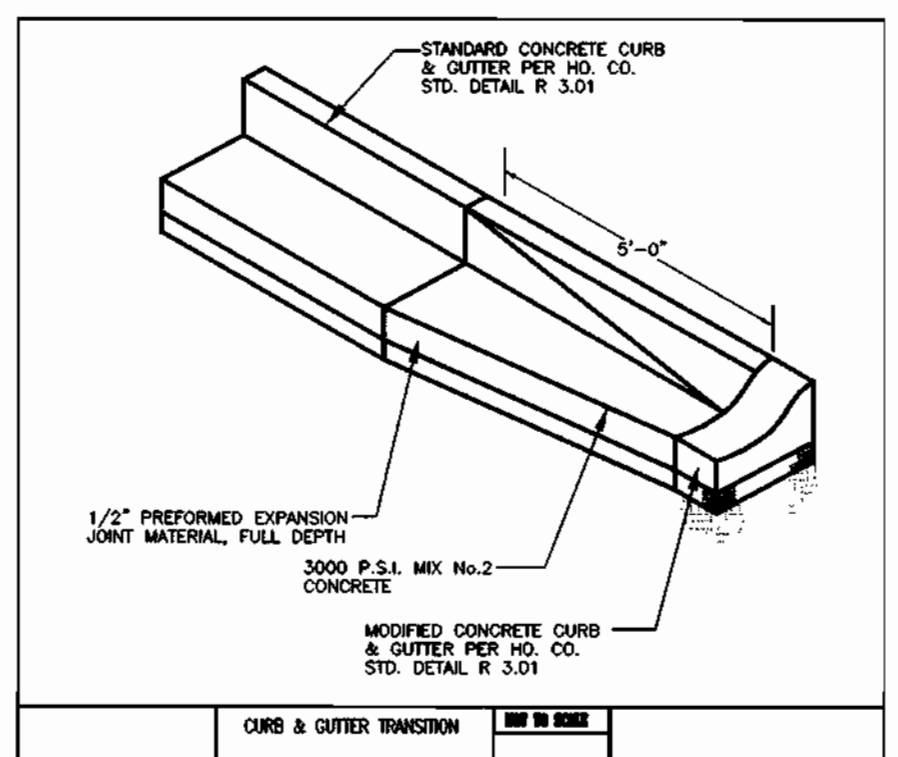


UTILITY CROSS SECTION

PROVIDE CONTROLLED FILL TO 95% COMPACTION PER AASHTO T-180. PLACEMENT TO BE APPROVED BY THE GEOTECHNICAL ENGINEER.

OWNER/DEVELOPER/APPLICANT		FAX NO.: (410) 480-0543	
A. NAME: BRIAN KNAUFF	B. DAYTIME TELEPHONE: (410) 480-2467		
C. COMPANY: THE RYLAND GROUP, INC.			
D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260			
E. CITY: ELLICOTT CITY	STATE: MD	ZIP: 21043	

04/13/05



SEE ROAD PLANS FOR LOCATION OF STANDARD CURB, MODIFIED CURB AND CURB TRANSITION AREAS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] DATE: 9/2/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] DATE: 9/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] DATE: 9/6/05
 DIRECTOR

C-8

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
ROAD PROFILES

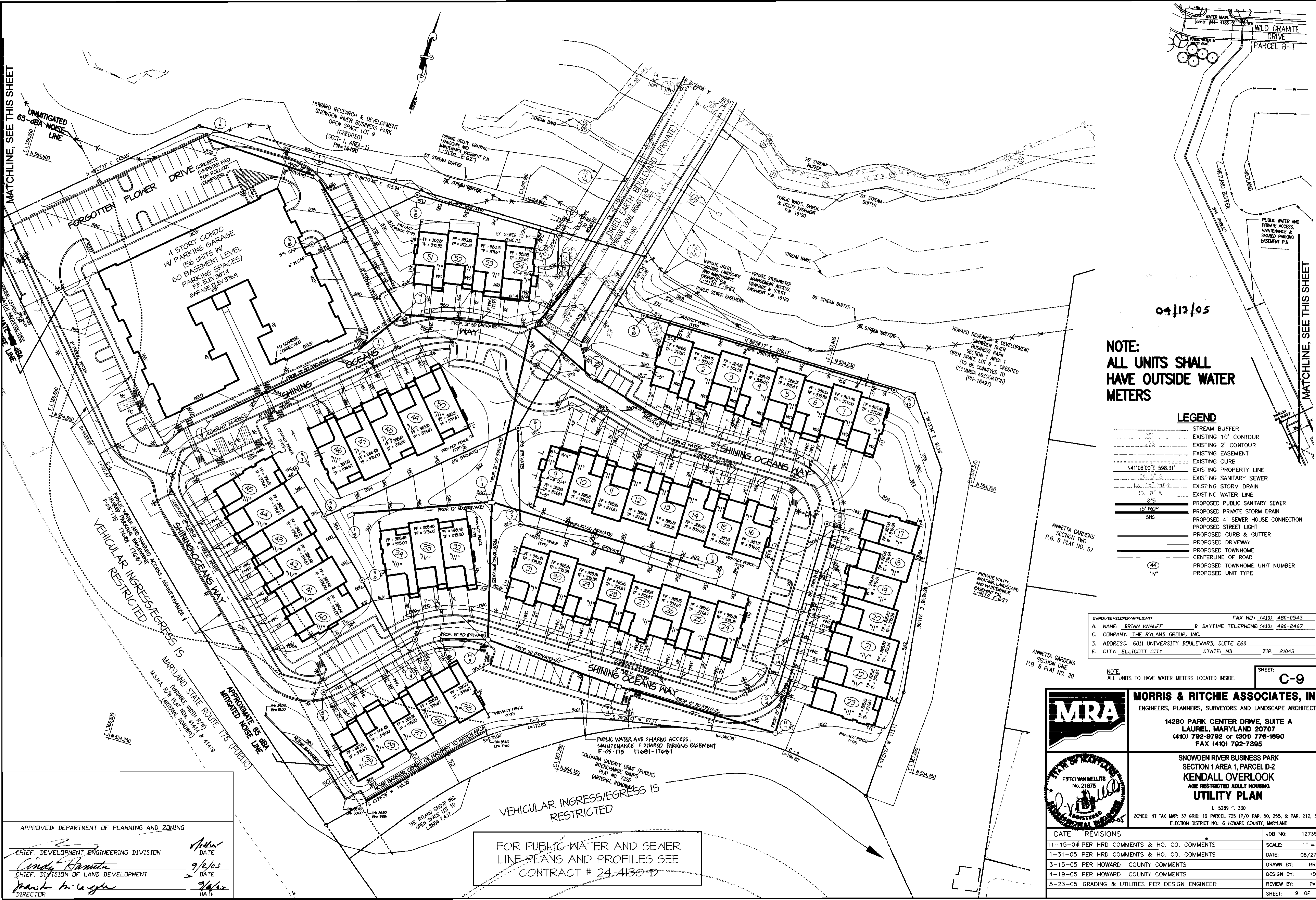
L. 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.	12735.02
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE:	AS SHOWN
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	DATE:	08/27/04
3-15-05	PER HOWARD COUNTY COMMENTS	DRAWN BY:	KSZ/KH
4-19-05	PER HOWARD COUNTY COMMENTS	DESIGN BY:	KSZ/KH
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	REVIEW BY:	PVM
		SHEET:	8 OF 19

MATCHLINE - SEE THIS SHEET

MATCHLINE, SEE THIS SHEET

MATCHLINE, SEE THIS SHEET



04/13/05

NOTE:
ALL UNITS SHALL
HAVE OUTSIDE WATER
METERS

LEGEND

- STREAM BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING EASEMENT
- EXISTING CURB
- EXISTING PROPERTY LINE
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING WATER LINE
- PROPOSED PUBLIC SANITARY SEWER
- PROPOSED PRIVATE STORM DRAIN
- PROPOSED 4" SEWER HOUSE CONNECTION
- PROPOSED STREET LIGHT
- PROPOSED CURB & GUTTER
- PROPOSED DRIVEWAY
- PROPOSED TOWNHOME
- CENTERLINE OF ROAD
- PROPOSED TOWNHOME UNIT NUMBER
- PROPOSED UNIT TYPE

OWNER/DEVELOPER/APPLICANT
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

NOTE:
 ALL UNITS TO HAVE WATER METERS LOCATED INSIDE.

SHEET: **C-9**

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

SNOWDEN RIVER BUSINESS PARK
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KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
UTILITY PLAN
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5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 9 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

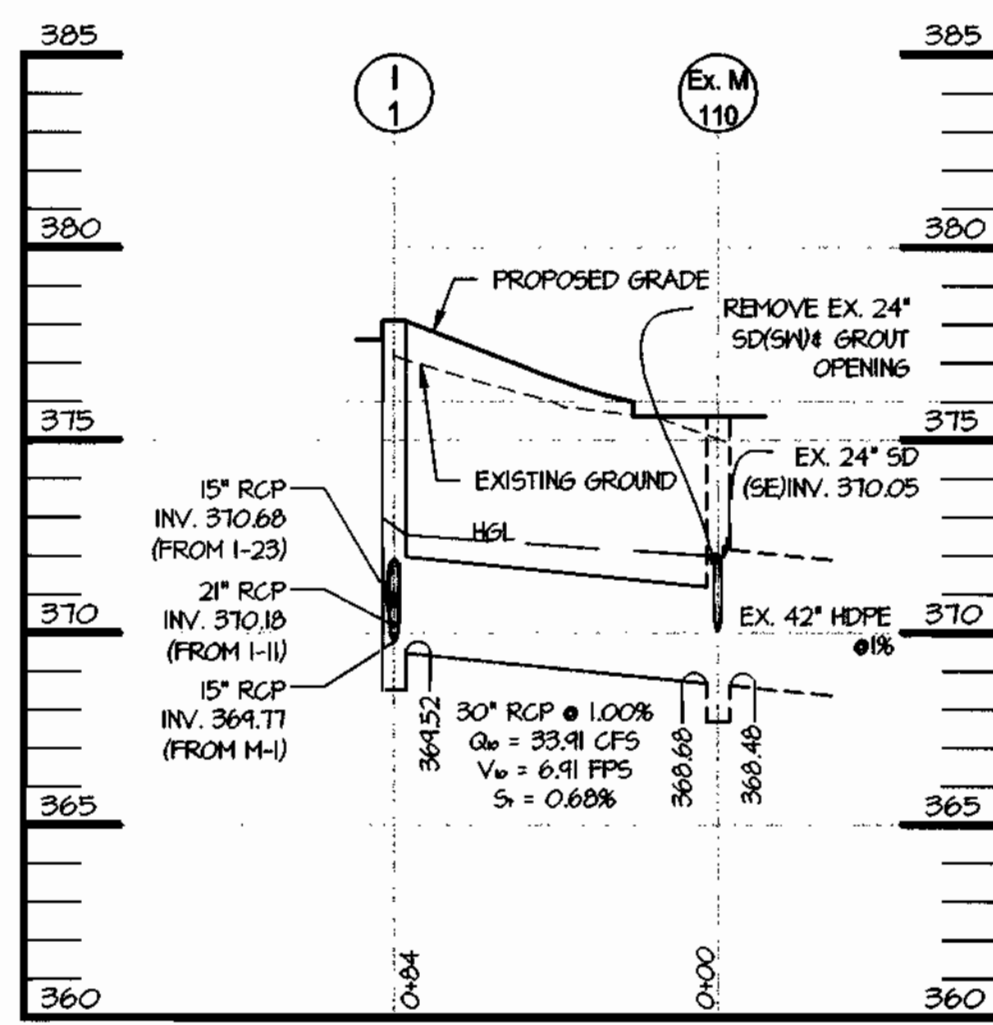
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Cindy Hamstra
 DATE: 9/2/05

CHIEF, DIVISION OF LAND DEVELOPMENT
Paul K. Lyle
 DATE: 9/2/05

FOR PUBLIC WATER AND SEWER
 LINE PLANS AND PROFILES SEE
 CONTRACT # 24-4130-D

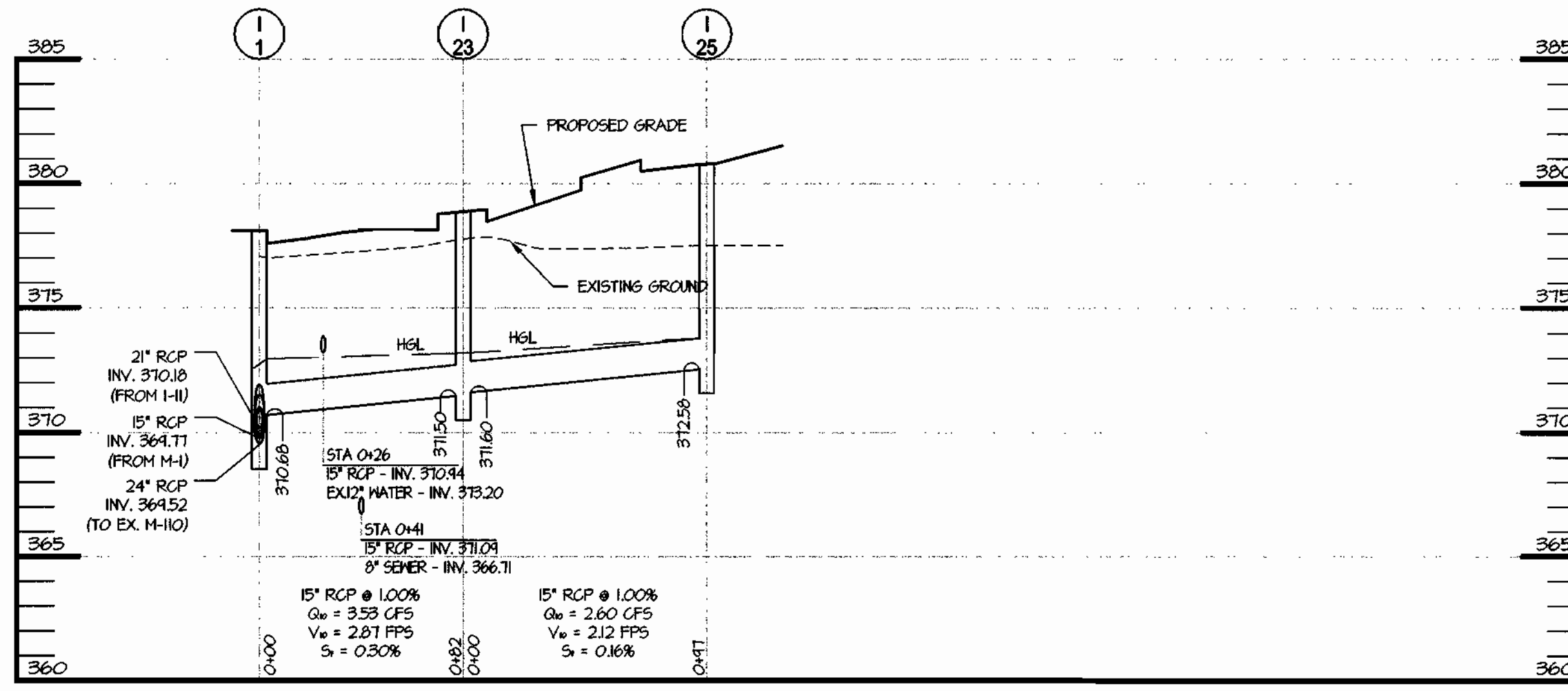
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SDP-05-037



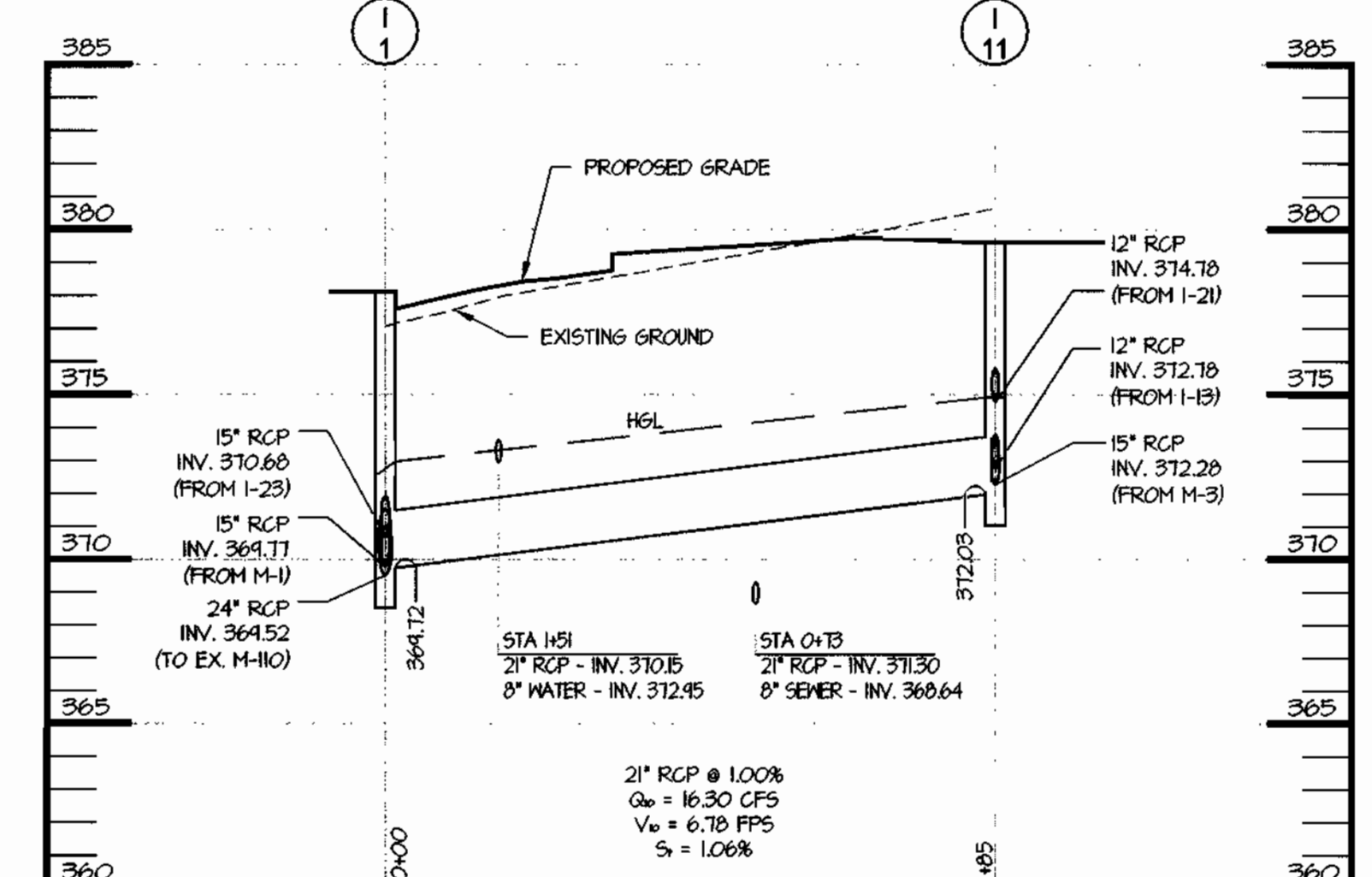
STORM DRAIN PROFILE

HOR. 1" = 50'
VERT. 1" = 5'



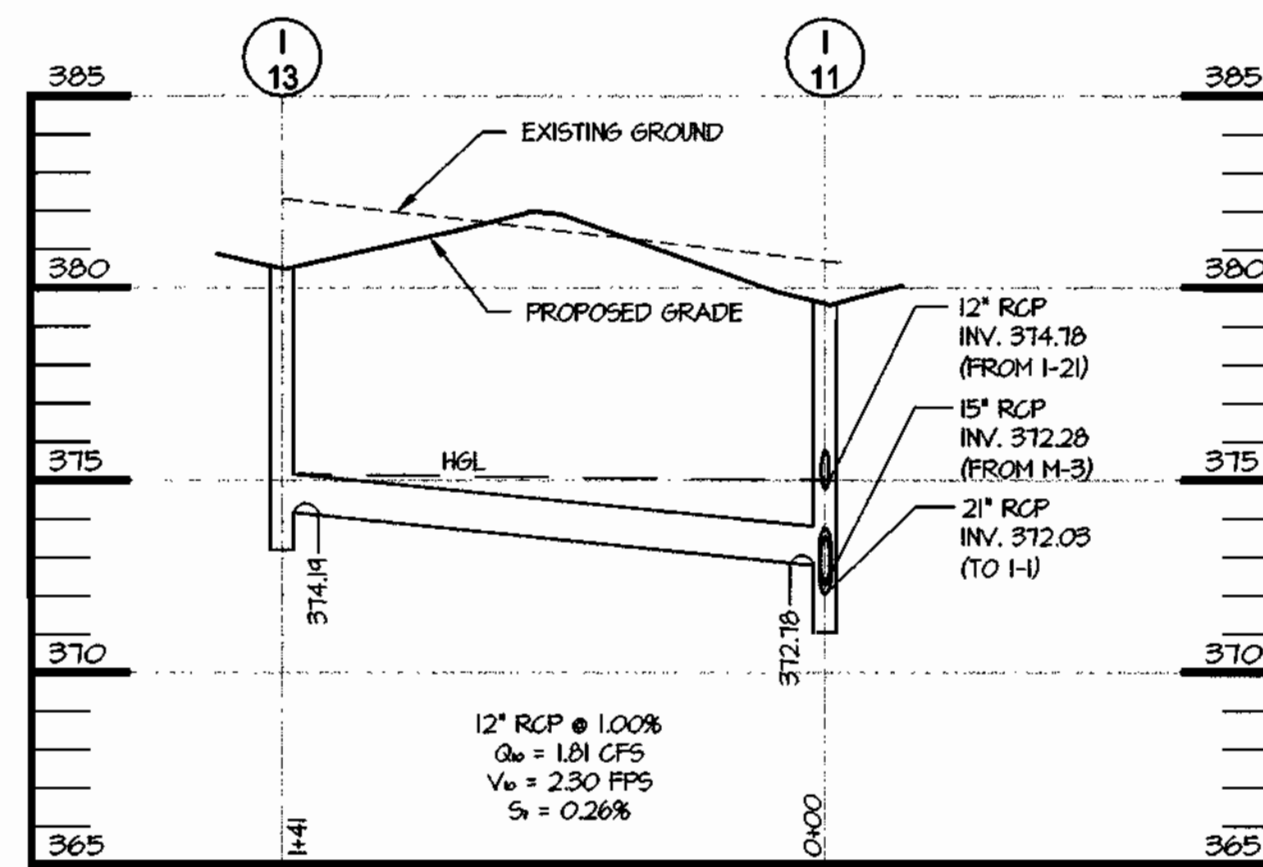
STORM DRAIN PROFILE

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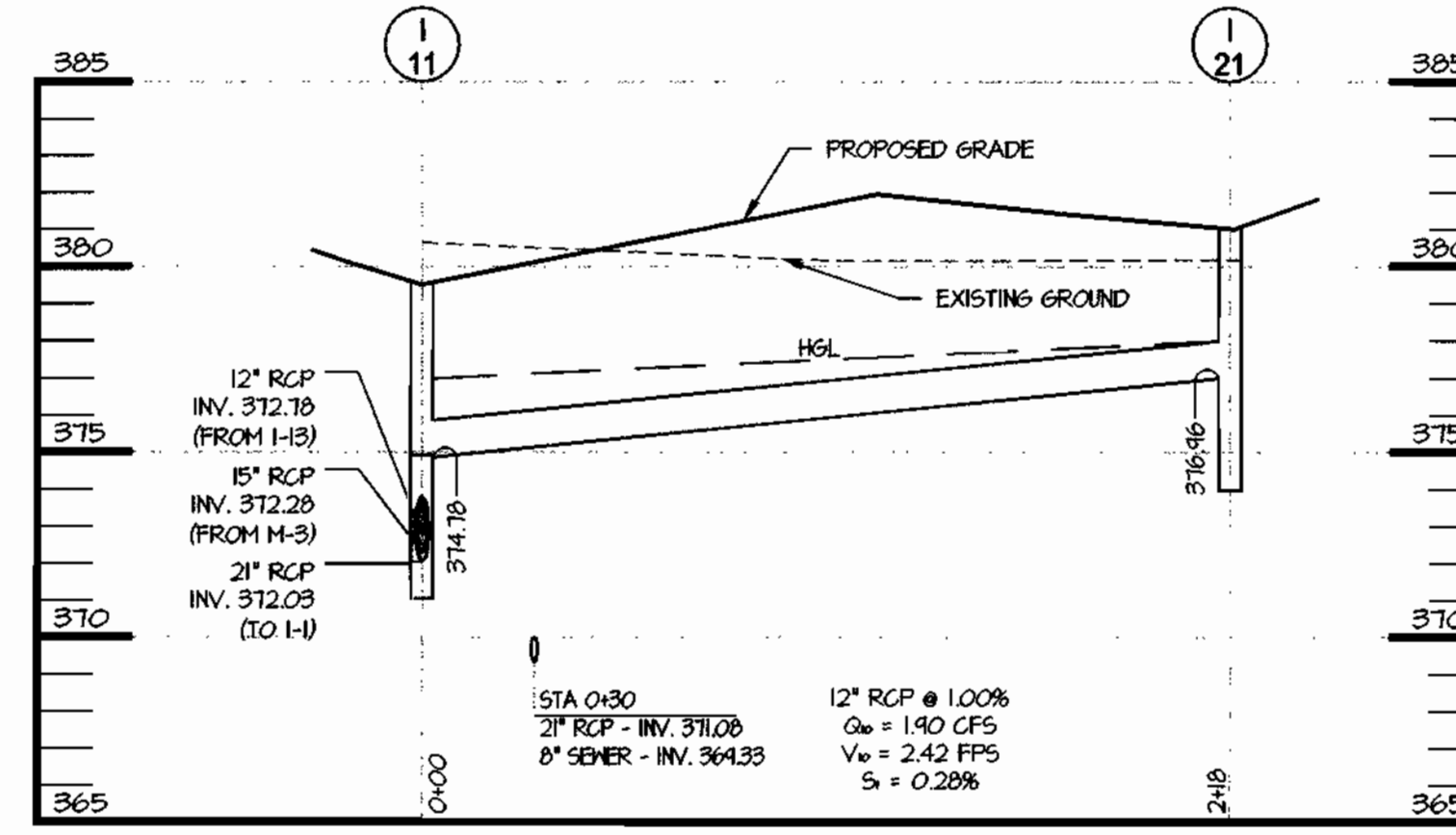
STORM DRAIN PROFILE

HOR. 1" = 50'
VERT. 1" = 5'



STORM DRAIN PROFILE

HOR. 1" = 50'
VERT. 1" = 5'



STORM DRAIN PROFILE

HOR. 1" = 50'
VERT. 1" = 5'

04/13/05

DOWNER/DEVELOPER/APPLICANT: B. DAYTIME TELEPHONE: (410) 480-0543
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

SHEET: **C-10**

- COORDINATES TO CENTER OF STRUCTURE AT FACE OF CURB FOR INLETS SET WITH THE CURB, CENTER OF STRUCTURE FOR MANHOLES, YARD INLETS, AND INLETS SET IN THE PAVEMENT.
- * TOP OF GRATE ELEVATION AT CENTER OF STRUCTURE AT FACE OF CURB, UNLESS TOP OF CURB (TC) ELEVATION IS NOTED. MANHOLE AND YARD INLET ELEVATIONS ARE AT CENTER OF RIM AND GRATE.

STORM DRAIN STRUCTURE SCHEDULE									
STR NO.	* TOP ELEV	INV IN	INV IN	INV IN	INV OUT	TYPE	WIDTH	NORTHING	EASTING
I-1	TC 378.10	370.68	370.18	639.77	369.52	PRECAST STANDARD TYPE A-10 INLET, HOWARD CO. STD. DETAIL SD4.41	5'	554,778.48	1,367,095.74
M-1	381.00	371.60	371.35	---	371.10	STANDARD 4' PRECAST MANHOLE, HOWARD CO. STD. DETAIL G5.12	48"	554,752.28	1,366,965.30
I-3	TC 377.50	373.22	---	---	372.97	PRECAST STANDARD TYPE WR INLET, HOWARD CO. STD. DETAIL SD4.35	---	554,861.50	1,366,840.74
I-5	TC 378.20	---	---	---	374.40	PRECAST STANDARD DOUBLE TYPE S INLET, HOWARD CO. STD. DETAIL SD4.23	---	554,867.61	1,366,721.02
I-7	381.30	372.31	---	---	372.21	PRECAST STANDARD TYPE WR INLET, HOWARD CO. STD. DETAIL SD4.35	---	554,702.49	1,366,929.47
I-9	382.80	---	---	---	373.96	PRECAST STANDARD TYPE WR INLET, HOWARD CO. STD. DETAIL SD4.35	---	554,593.05	1,366,806.39
I-11	379.60	372.78	372.28	---	372.03	STANDARD TYPE 'K' INLET, HOWARD CO. STD. DETAIL SD4.13	---	554,592.98	1,367,107.11
I-13	380.50	---	---	---	374.19	STANDARD TYPE 'K' INLET, HOWARD CO. STD. DETAIL SD4.12	---	554,539.65	1,366,972.55
M-3	382.00	373.93	---	---	373.68	STANDARD 4' PRECAST MANHOLE, HOWARD CO. STD. DETAIL G5.12	48"	554,457.27	1,367,143.93
I-15	381.50	---	---	---	374.37	PRECAST STANDARD TYPE WR INLET, HOWARD CO. STD. DETAIL SD4.35	---	554,443.12	1,367,093.80
I-17	380.87	375.50	---	---	375.40	PRECAST STANDARD DOUBLE TYPE S INLET, HOWARD CO. STD. DETAIL SD4.23	---	554,449.35	1,367,285.19
M-7	382.00	377.28	---	---	377.18	STANDARD 4' PRECAST MANHOLE, HOWARD CO. STD. DETAIL G5.12	48"	554,449.54	1,367,453.26
I-19	382.00	---	---	---	377.89	PRECAST STANDARD TYPE A-5 INLET, HOWARD CO. STD. DETAIL SD4.40	5'	554,527.68	1,367,449.03
I-21	381.00	---	---	---	374.96	STANDARD TYPE 'K' INLET, HOWARD CO. STD. DETAIL SD4.12	---	554,591.53	1,367,331.55
I-23	TC 379.12	371.60	---	---	371.50	PRECAST STANDARD TYPE A-5 INLET, HOWARD CO. STD. DETAIL SD4.40	5'	554,745.49	1,367,170.94
I-25	380.79	372.83	---	---	372.58	PRECAST STANDARD TYPE WR INLET, HOWARD CO. STD. DETAIL SD4.35	---	554,720.80	1,367,265.30

STORM DRAIN PIPE SCHEDULE		
SIZE	TYPE	LENGTH
12"	RCP CL IV	627'
15"	RCP CL IV	961'
18"	RCP CL IV	302'
21"	RCP CL IV	318'
30"	RCP CL IV	84'

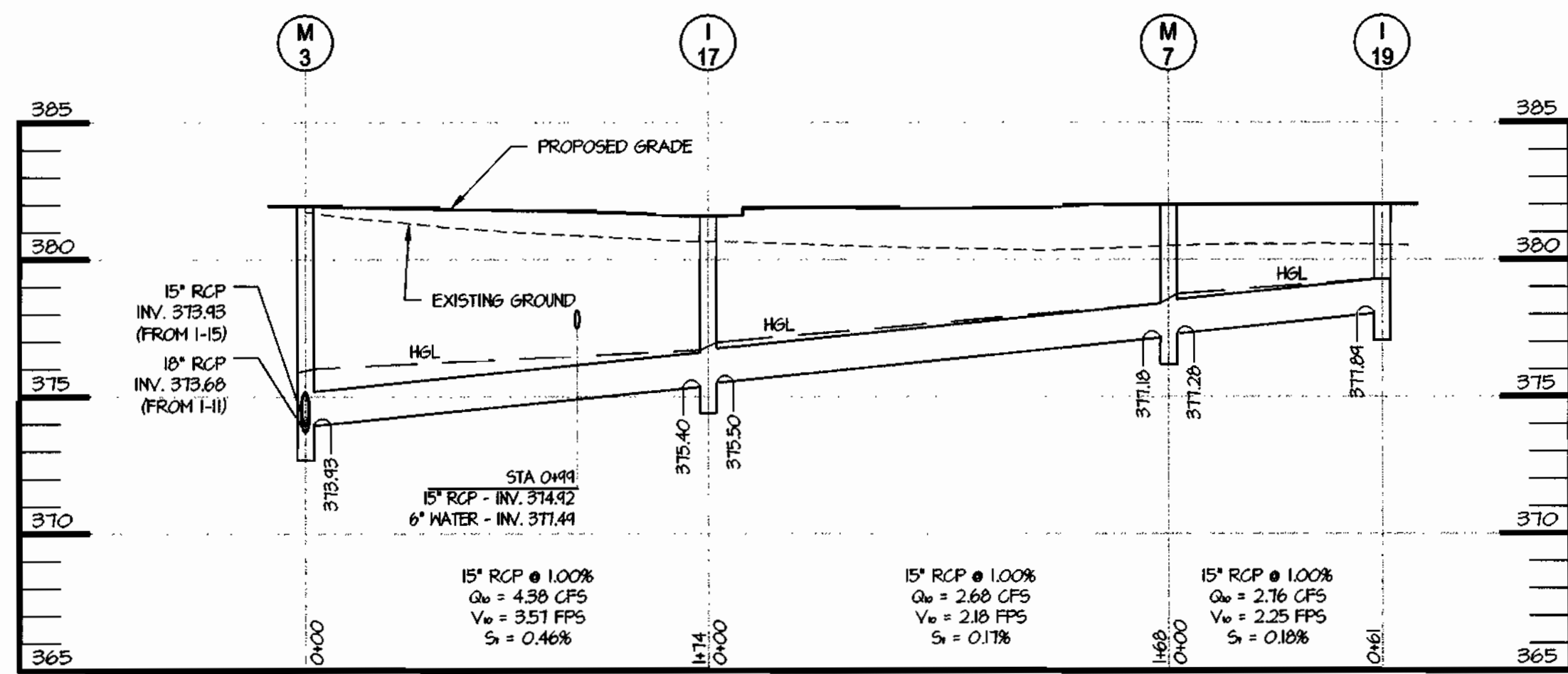
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE 8/14/05
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE 9/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] DATE 5/6/05
 DIRECTOR

MRA
 MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
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 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

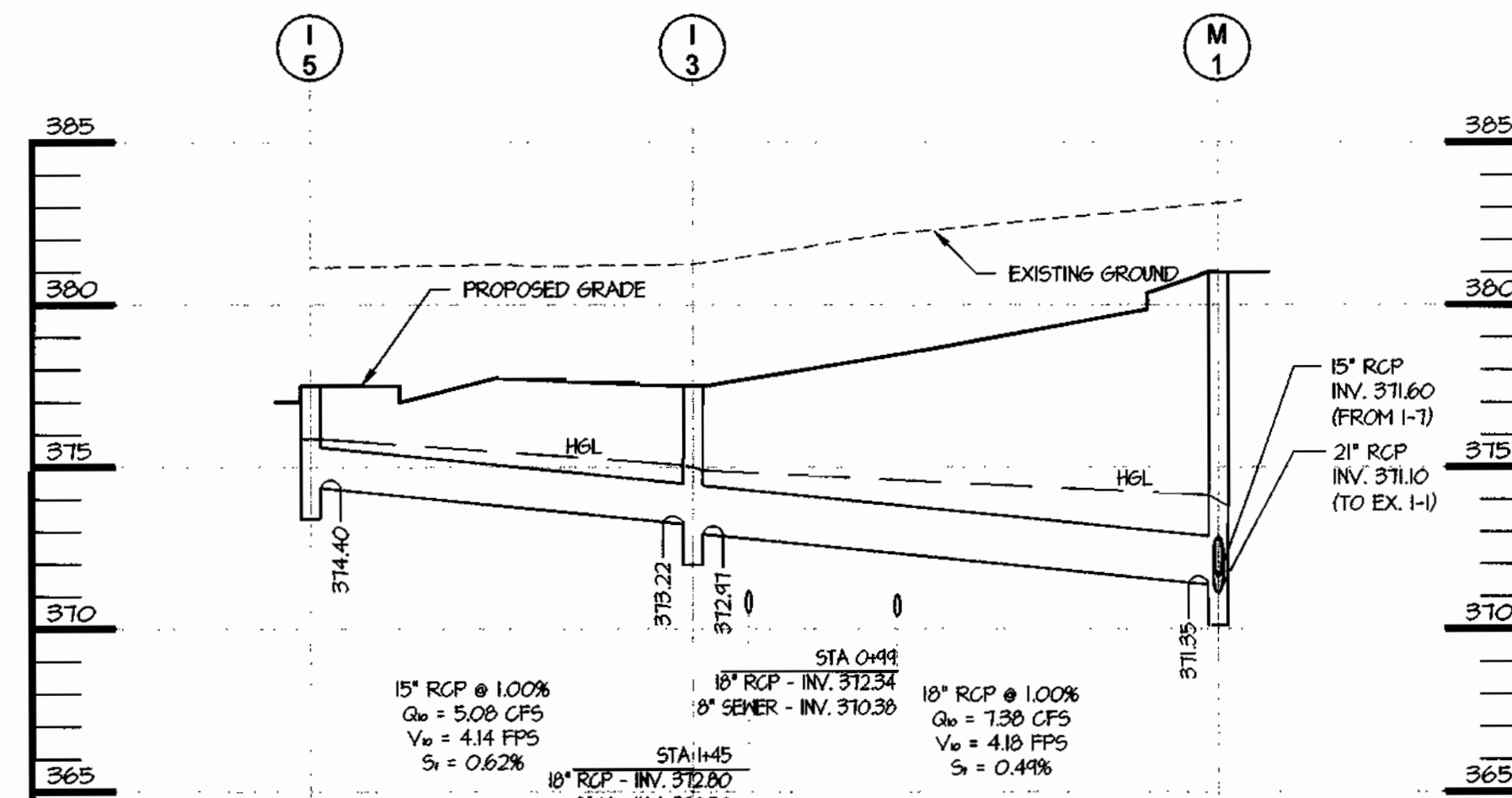
DATE	REVISIONS	JOB NO:
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		REVIEW BY: PVM
		SHEET: 10 OF 19

SDP-05-037



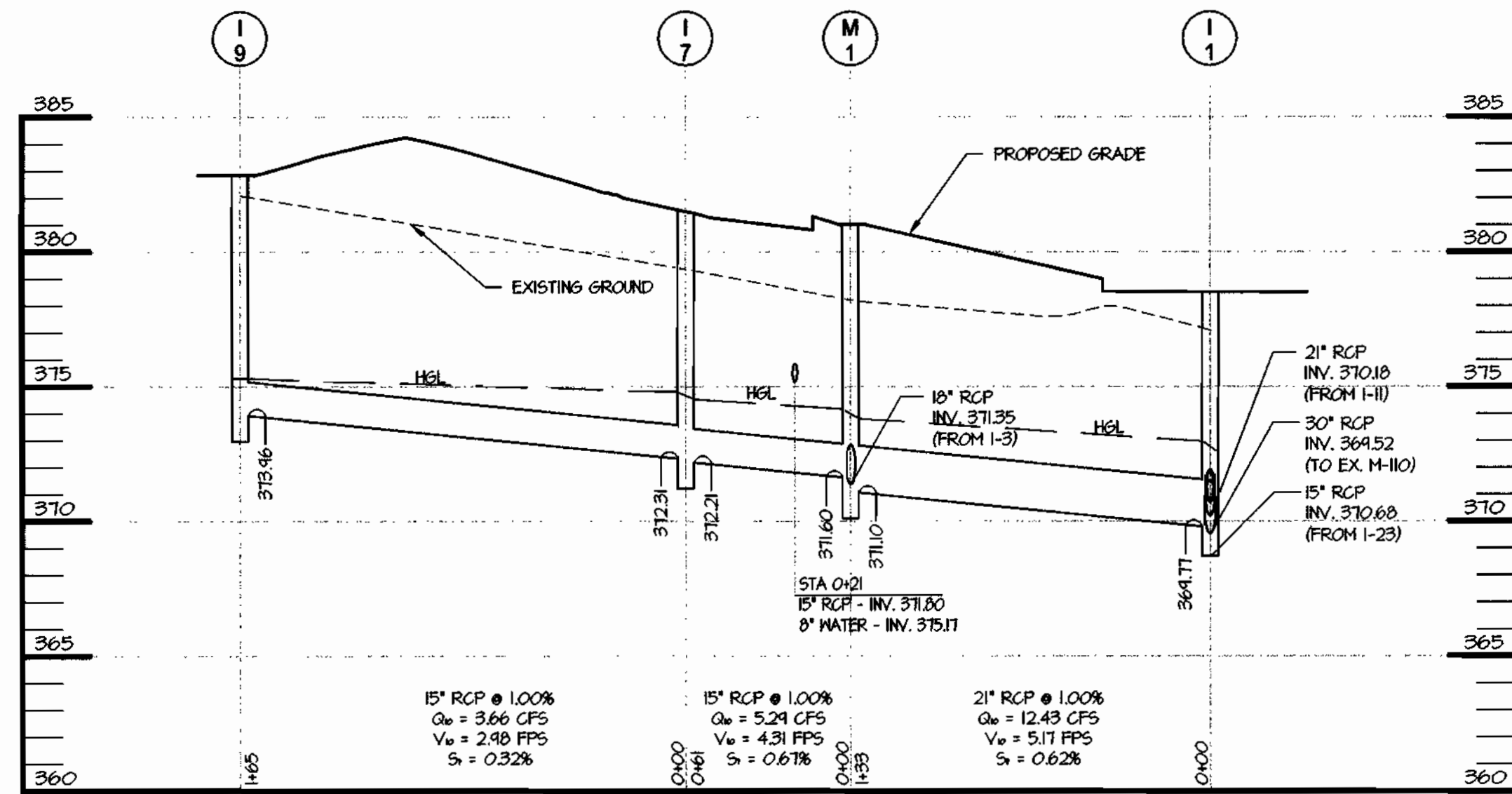
STORM DRAIN PROFILE

HOR. 1" = 50'
VERT. 1" = 5'



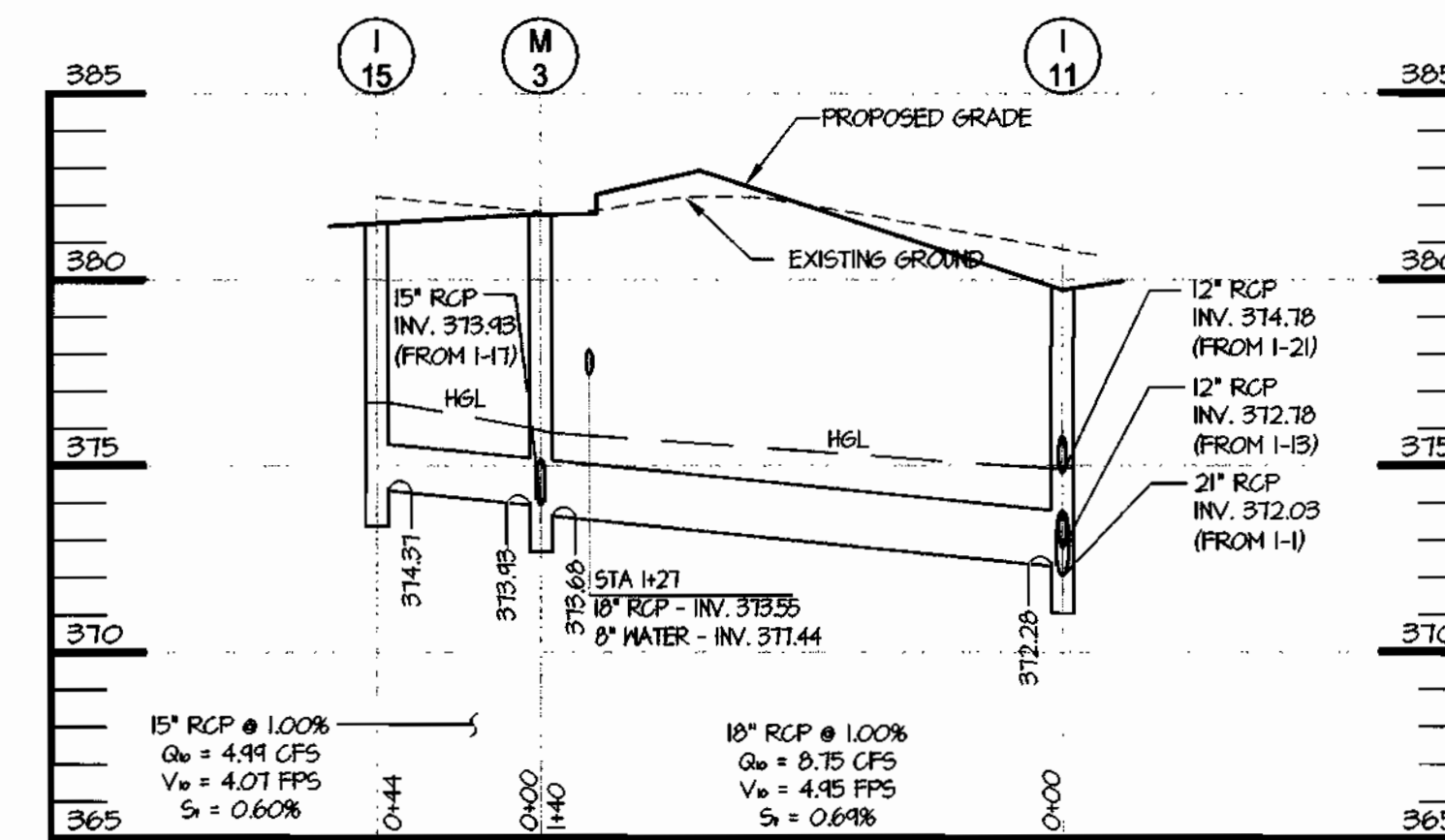
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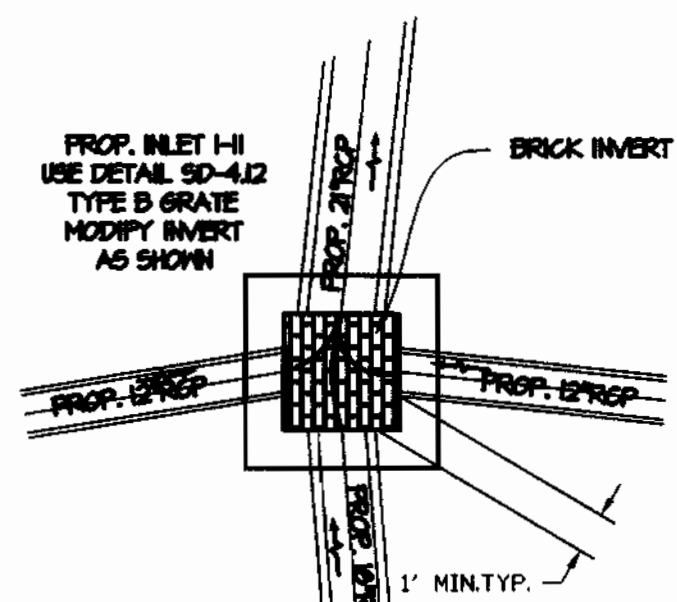
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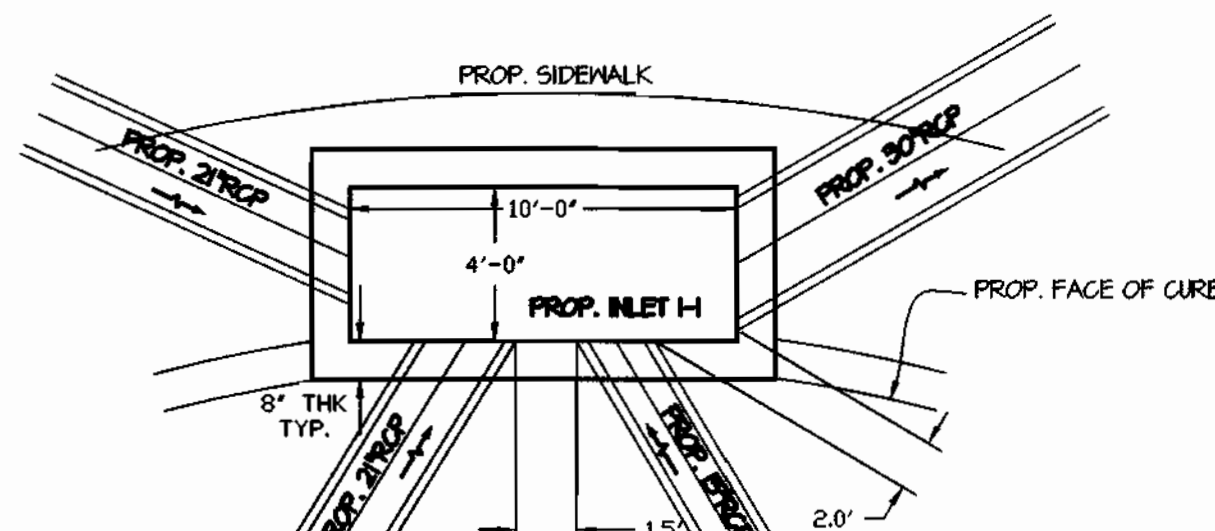
STORM DRAIN PROFILE

HOR. 1" = 50'
VERT. 1" = 5'



INLET I-11 DETAIL

SCALE: 1" = 5'



INLET I-1 DETAIL

SCALE: 1" = 5'

OWNER/DEVELOPER/APPLICANT: BRIAN KNAUFF FAX NO: (410) 480-0543
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLCOTT CITY STATE: MD ZIP: 21043

04/12/05

SHEET: **C-11**

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
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 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

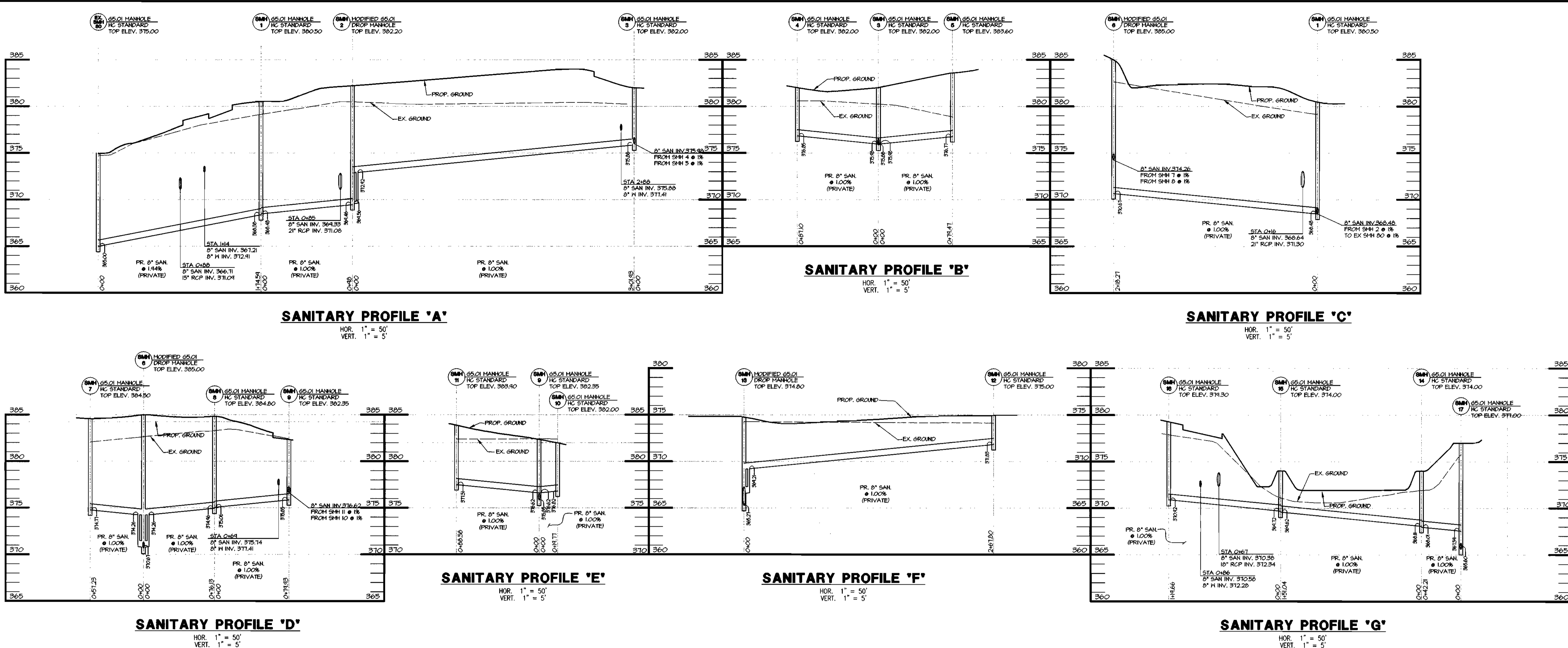
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		REVIEW BY: PVM
		SHEET: 11 OF 19

SDP-05-037

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APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: M/05 DATE: 7/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT: Cindy Hamata DATE: 7/2/05
 DIRECTOR: Barbara K. Goyke DATE: 5/6/05



04/13/05

OWNER/DEVELOPER/APPLICANT: FAX NO. (410) 480-0543
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

SHEET: C-12

SANITARY STRUCTURE SCHEDULE									
STR NO.	TOP ELEV.	INV. IN	INV. IN	INV. OUT	TYPE	REMARKS	LOCATION		
							NORTHING	EASTING	
SMH-1	380.50	368.48	---	368.38	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,674	1,367,112	
SMH-2	382.20	372.92	---	369.46	MODIFIED G5.01 DROP MANHOLE		554,581	1,367,142	
SMH-3	382.00	375.98	375.98	375.88	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,576	1,367,443	
SMH-4	382.00	---	---	376.85	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,489	1,367,443	
SMH-5	383.60	---	---	376.77	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,656	1,367,443	
SMH-6	385.00	374.26	---	370.67	MODIFIED G5.01 DROP MANHOLE		554,531	1,366,947	
SMH-7	384.50	---	---	374.77	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,570	1,366,905	
SMH-8	384.80	375.06	---	374.96	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,479	1,367,003	
SMH-9	382.35	376.62	---	375.85	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,422	1,367,059	
SMH-10	382.00	---	---	376.82	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,436	1,367,072	
SMH-11	383.90	---	---	377.51	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,358	1,366,998	
SMH-12	375.00	---	---	371.83	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,821	1,367,470	
SMH-13	374.80	369.21	---	365.27	MODIFIED G5.01 DROP MANHOLE		554,821	1,367,202	
SMH-14	374.00	368.11	---	368.01	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,875	1,367,096	
SMH-15	374.00	369.72	---	369.62	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,874	1,366,945	
SMH-16	379.30	---	---	370.92	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,795	1,366,855	
SMH-17	377.00	367.59	---	365.60	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,835	1,367,106	

STORM DRAIN PIPE SCHEDULE		
SIZE	TYPE	LENGTH
8"	PVC SDR-35	1,861.71'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
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 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

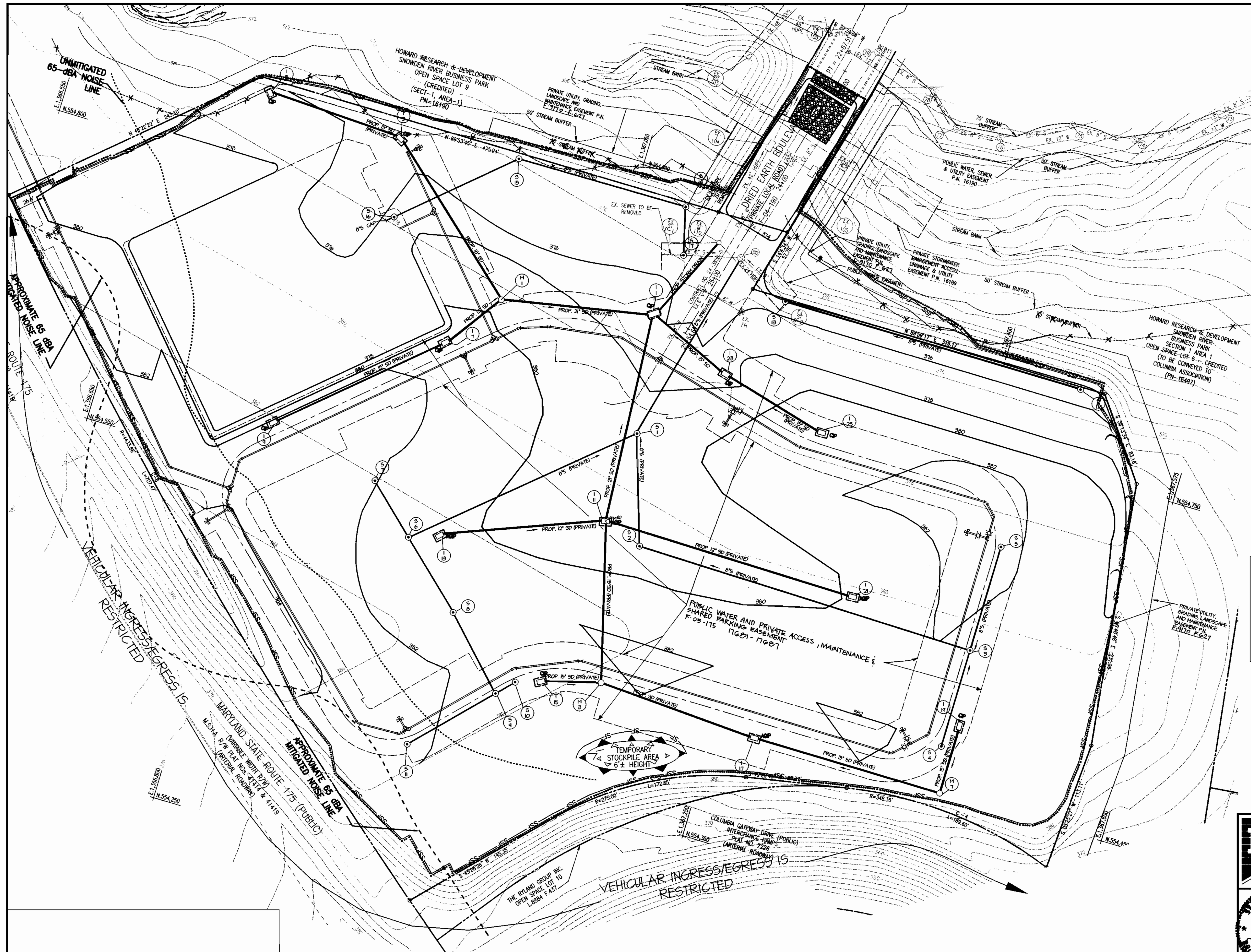
MRA

STATE OF MARYLAND
 PIERO VAN MELLITS
 No. 21875
 REGISTERED PROFESSIONAL ENGINEER

SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
SANITARY PROFILES
 L. 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: AS SHOWN
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: KSZ/KH
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KSZ/KH
		REVIEW BY: PVM
		SHEET: 12 OF 19

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LEGEND

260	PROPOSED 10' CONTOUR
258	PROPOSED 2' CONTOUR
33.46	PROPOSED SPOT ELEVATIONS
FF= 382.38	FINISHED FLOOR ELEVATION
BF= 372.38	BASEMENT FLOOR ELEVATION
[Symbol]	TEMPORARY STOCKPILE AREA
[Symbol]	PROPOSED TEMP. CONST. ENTRANCE
[Symbol]	PROPOSED INLET PROTECTION
[Symbol]	PROPOSED LIMIT OF DISTURBANCE
SSF	PROPOSED SUPER SILT FENCE
8" S	PROPOSED PUBLIC SANITARY SEWER
15" RCP	PROPOSED PRIVATE STORM DRAIN

NOTE: A DOUBLE ROW OF 'SUPER' SILT FENCE TO BE PROVIDED ALONG THE PORTION OF L.O.D. THAT FRONTS THE STREAM AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR. *JML*

04/13/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Meyer 8/5/05
 USDA - NATURAL RESOURCES CONSERVATION SERVICE DATE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT
John R. Robertson 8/5/05
 HOWARD SCD DATE

CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

OWNER/DEVELOPER/APPLICANT: _____ FAX NO: (410) 480-0543
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

SHEET: C-13

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MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 782-8792 or (301) 776-1690
 FAX (410) 782-7395

SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
SEDIMENT & EROSION CONTROL
PHASE I
 L. 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: 1" = 40'
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: HRW
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 13 OF 19

ROAD GRADES SHOWN ARE FOR SUBGRADE

THIS PLAN IS TO BE USED FOR SEDIMENT CONTROL PURPOSES ONLY.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] DATE
 DIRECTOR

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LEGEND

260	PROPOSED 10' CONTOUR
258	PROPOSED 2' CONTOUR
39.64	PROPOSED SPOT ELEVATIONS
FF = 302.33	FINISHED FLOOR ELEVATION
BF = 312.33	BASEMENT FLOOR ELEVATION
(Symbol: Dashed line with arrows)	TEMPORARY STOCKPILE AREA
(Symbol: Dotted line)	PROPOSED TEMP. CONST. ENTRANCE
(Symbol: Square with 'X')	PROPOSED INLET PROTECTION
(Symbol: Dotted line)	PROPOSED LIMIT OF DISTURBANCE
(Symbol: Dashed line)	PROPOSED SUPER SILT FENCE
(Symbol: Thick solid line)	PROPOSED PUBLIC SANITARY SEWER
(Symbol: Thin solid line)	PROPOSED PRIVATE STORM DRAIN
(Symbol: Dashed line)	PROPOSED 4" SEWER HOUSE CONNECTION
(Symbol: Dotted line)	PROPOSED STREET LIGHT
(Symbol: Dashed line)	PROPOSED CURB & GUTTER
(Symbol: Dashed line)	PROPOSED DRIVEWAY
(Symbol: Dashed line)	PROPOSED TOWNHOME CENTERLINE OF ROAD
(Symbol: Circle with '44')	PROPOSED TOWNHOME UNIT NUMBER
(Symbol: Circle with '14')	PROPOSED UNIT TYPE
(Symbol: Dashed line)	STREAM BUFFER
(Symbol: Dashed line)	EXISTING 10' CONTOUR
(Symbol: Dashed line)	EXISTING 2' CONTOUR
(Symbol: Dashed line)	EXISTING EASEMENT
(Symbol: Dashed line)	EXISTING CURB
(Symbol: Dashed line)	EXISTING PROPERTY LINE
(Symbol: Dashed line)	EXISTING SANITARY SEWER
(Symbol: Dashed line)	EXISTING STORM DRAIN
(Symbol: Dashed line)	EXISTING WATER LINE

04/13/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Meyer 2/13/05
 USDA - NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Robertson 2/15/05
 HOWARD SCD DATE

OWNER/DEVELOPER/APPLICANT: **BRIAN KNAUFF** FAX NO: (410) 480-0543
 A. NAME: **BRIAN KNAUFF** B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: **THE RYLAND GROUP, INC.**
 D. ADDRESS: **6011 UNIVERSITY BOULEVARD, SUITE 260**
 E. CITY: **ELLCOTT CITY** STATE: **MD** ZIP: **21043**

SHEET: **C-14**

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MORRIS & RITCHE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

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SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
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SEDIMENT & EROSION CONTROL
PHASE II
 L 5289 F. 330
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 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

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5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 14 OF 19

THIS PLAN IS TO BE USED FOR SEDIMENT CONTROL PURPOSES ONLY.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John Hamstra 9/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David M. Leagle 5/6/05
 DIRECTOR DATE

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SDP 05 037

**HOWARD SOIL CONSERVATION DISTRICTS
STANDARDS AND SPECIFICATIONS FOR TOPSOIL**

1. A MIN. OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD CO. DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855)

2. ALL VEGETATION AND STRUCTURAL ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 7 CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, DICES, PERMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, 6:1, 14:1 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DOES NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATING CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7. SITE ANALYSIS:

TOTAL AREA OF THE SITE	9.87 AC
AREA TO BE DISTURBED	10.70 AC
AREA TO BE STRUCTURALLY STABILIZED	7.49 AC
AREA TO BE VEGETATIVELY STABILIZED	3.21 AC
TOTAL CUT	0 CY
TOTAL FILL	507.37 CY
TOTAL IMPORT	507.37 CY

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTRIBUTED BY GRADING ACTIVITY FOR PLACEMENT OF TOPSOIL MUST BE REPAIR ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS IN ACCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11. TRENCHES FOR THE UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENTS, LOW NUTRIENT LEVELS, LOW pH, MATERIAL TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

1. TOPSOIL SALVAGES FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

2. TOPSOIL SPECIFICATIONS-SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIC OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE AGRICULTURAL AUTHORITY. REVERSE SLOPES SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 2% BY VOLUME OF CONCRETE, STONES, SLAG, COARSE FRAGMENTS, GRAVELS, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1/2" IN DIAMETER.

II. TOPSOIL SHALL BE FREE OF PLANTS OR PLANT PARTS SUCH AS TERMINAL GRASS, RICKETS, BIRDS NESTS, MICE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (800-1600 POUNDS PER 1000 SF) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

II. FOR SITE HAVING DISTURBED AREAS UNDER 5 ACRES

1. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN SOIL VEGETATION SECTION I-VEGETATIVE STABILIZATION METHODS AND MATERIALS.

III. TOPSOIL APPLICATION

1. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

2. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4'-6" HIGHER IN ELEVATION.

3. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SEEDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING- INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

I. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED AT THE TIME OF ACQUISITION (THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.

B. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 15 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A pH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.

C. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1000 SF.

II. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4LB/1000 SF, AND 1/2 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SEEDING, MD-VI-PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTE, REVISED 1975.

STANDARDS AND SPECIFICATIONS FOR LAND GRADING

DEFINITION
RESHAPING OF THE EXISTING LAND SURFACE IN ACCORDANCE WITH A PLAN AS DETERMINED BY ENGINEERING SURVEY AND LAYOUT.

PURPOSE
THE PURPOSE OF A LAND GRADING SPECIFICATION IS TO PROVIDE FOR EROSION CONTROL AND VEGETATIVE ESTABLISHMENT ON THOSE AREAS WHERE THE EXISTING LAND SURFACE IS TO BE RESHAPED BY GRADING ACCORDING TO PLAN.

DESIGN CRITERIA
THE GRADING PLAN SHALL BE BASED UPON THE INCORPORATION OF BUILDING DESIGNS AND STREET LAYOUTS THAT FIT AND UTILIZE EXISTING TOPOGRAPHY AND DESIRABLE NATURAL SURROUNDINGS TO AVOID EXTREME GRADIENT MODIFICATIONS. INFORMATION SUBMITTED MUST PROVIDE SUFFICIENT TOPOGRAPHIC SURVEYS AND SOIL INVESTIGATIONS TO DETERMINE LIMITATIONS THAT MUST BE IMPOSED ON THE GRADING OPERATION RELATED TO SLOPE STABILITY, EFFECT ON ADJACENT PROPERTIES AND DRAINAGE PATTERNS, MEASURES FOR DRAINAGE AND WATER REMOVAL AND VEGETATIVE TREATMENT, ETC.

MANY COUNTIES HAVE REGULATIONS AND DESIGN PROCEDURES ALREADY ESTABLISHED FOR LAND GRADING AND CUT AND FILL SLOPES. WHERE THESE REQUIREMENTS EXIST, THEY SHALL BE FOLLOWED. THE PLAN MUST SHOW EXISTING AND PROPOSED CONTOURS OF THE AREAS TO BE GRADED. THE PLAN SHALL ALSO INCLUDE PRACTICES FOR EROSION CONTROL, SLOPE STABILIZATION, SAFE DISPOSAL OF RUNOFF WATER AND DRAINAGE, SUCH AS WATERWAYS, LINED DITCHES, REVERSE SLOPE BENCHES (INCLUDE GRADE AND CROSS SECTION DRAWINGS), GRADING STRUCTURES, RETAINING WALLS, AND SURFACE AND SUBSURFACE DRAINS. THE PLAN SHALL ALSO INCLUDE PHASING OF THESE PRACTICES. THE FOLLOWING SHALL BE INCORPORATED INTO THE PLAN:

I. PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE RUNOFF TO STORM DRAINAGE OUTLETS OR TO STABLE WATER COURSES TO INSURE THAT SURFACE RUNOFF WILL NOT DAMAGE ADJACENT OR OTHER GRADED AREAS.

II. CUT AND FILL SLOPES THAT ARE TO BE STABILIZED WITH GRASSES SHALL NOT BE STEEPER THAN 2:1. WHERE THE SLOPE IS TO BE MOVED THE SLOPE SHOULD BE NO STEEPER THAN 3:1. 4:1 IS PREFERRED BECAUSE OF SAFETY FACTORS. CONSIDERATIONS THAT SHALL BE ADEQUATELY SHOWN ON THE PLANS:

III. REVERSE BENCHES SHALL BE PROVIDED WHENEVER THE VERTICAL INTERVAL HEIGHT OF ANY 2:1 SLOPE EXCEEDS 20 FEET FOR 3:1 SLOPE IT SHALL BE INCREASED TO 30 FEET AND FOR 4:1 TO 40 FEET. BENCHES SHALL BE LOCATED TO DIVIDE THE SLOPE FACE AS EQUALLY AS POSSIBLE AND SHALL CARRY THE WATER TO A STABLE CHANNEL, STEEP, ROCK OUTCROPPS, ETC., SHALL ALSO BE TAKEN INTO CONSIDERATION WHEN DESIGNING BENCHES.

A. BENCHES SHALL BE A MINIMUM OF SIX FEET WIDE TO PROVIDE FOR EASE OF MAINTENANCE.

B. BENCHES SHALL BE DESIGNED WITH A REVERSE SLOPE OF 6:1 OR FLATTER TO THE TOP OF THE UPPER SLOPE AND WITH A MINIMUM OF ONE FOOT IN DEPTH. BENCH GRADIENT TO THE OUTLET SHALL BE BETWEEN 2 PERCENT AND 3 PERCENT, UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS.

C. THE FLOW LENGTH WITHIN A BENCH SHALL NOT EXCEED 800' UNLESS ACCOMPANIED BY APPROPRIATE DESIGN AND COMPUTATIONS FOR FLOW CHANNEL STABILIZATION SEE TEMPORARY SWALE.

IV. SURFACE WATER SHALL BE DIVERTED FROM THE FACE OF ALL CUT AND/OR FILL SLOPES BY THE USE OF EARTH BIKES, DITCHES AND SWALES OR COVERED DRAINAGE BY THE USE OF A DESIGNED STRUCTURE, EXCEPT WHERE:

A. THE FACE OF THE SLOPE IS OR SHALL BE STABILIZED AND THE FACE OF ALL GRADED SLOPES SHALL BE PROTECTED FROM SURFACE RUNOFF UNTIL THEY ARE STABILIZED.

B. THE FACE OF SLOPE SHALL NOT BE SUBJECT TO ANY CONCENTRATED FLOWS OF SURFACE WATER SUCH AS FROM NATURAL DRAINAGES, GRADED SWALES, DOWNDROPS, ETC.

C. THE FACE OF THE SLOPE WILL BE PROTECTED BY SPECIAL EROSION CONTROL MATERIALS, TO INCLUDE, BUT NOT LIMITED TO, APPROVED VEGETATIVE STABILIZATION PRACTICES (SEE SECTION 0), RIP-RAP OR OTHER APPROVED STABILIZATION METHODS.

V. CUT SLOPES OCCURRING IN RIPABLE ROCK SHALL BE SERRATED AS SHOWN ON THE FOLLOWING DIAGRAM. THESE SERRATIONS SHALL BE MADE WITH CONVENTIONAL EQUIPMENT AS THE EXCAVATION IS MADE. EACH STEP OR SERRATION SHALL BE CONSTRUCTED IN THE CONTIGUOUS AND WILL HAVE STEPS CUT AT NOMINAL TWO-FOOT INTERVALS WITH NOMINAL THREE-FOOT HORIZONTAL SHELVES. THESE STEPS WILL VARY DEPENDING ON THE SLOPE RATIO OR THE CUT SLOPE. THE NOMINAL SLOPE LINE IS 3:1. THESE STEPS WILL WEATHER AND ACT TO HOLD MOISTURE, LIME, FERTILIZER AND SEED THUS PRODUCING A MUCH QUICKER AND LONGER LIVED VEGETATIVE COVER AND BETTER SLOPE STABILIZATION. OVERLAND FLOW SHALL BE DIVERTED FROM THE TOP OF ALL SERRATED CUT SLOPES AND CARRIED TO A SUITABLE OUTLET.

VI. SUBSURFACE DRAINAGE SHALL BE PROVIDED WHERE NECESSARY TO INTERCEPT SEEPAGE THAT WOULD OTHERWISE ADVERSELY AFFECT SLOPE STABILITY OR CREATE EXCESSIVELY WET SITE CONDITIONS.

VII. SLOPES SHALL NOT BE CREATED SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTIES WITHOUT ADEQUATELY PROTECTING SUCH PROPERTIES AGAINST SEDIMENTATION, EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED DAMAGES.

VIII. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STAMPS, BUILDING MATERIALS, AND OTHER OBJECTIONABLE MATERIAL. IT SHALL BE FREE OF STONES OVER TWO (2) INCHES IN DIAMETER WHERE COMPACTED BY HAND OR MECHANICAL TAMPERS OR OVER EIGHT (8) INCHES IN DIAMETER WHERE COMPACTED BY ROLLERS OR OTHER EQUIPMENT. FROZEN MATERIAL SHALL NOT BE PLACED IN THE FILL NOR SHALL THE FILL MATERIAL BE PLACED ON A FROZEN FOUNDATION.

IX. STOCKPILES, BORROW AREAS AND SPOIL SHALL BE SHOWN ON THE PLANS AND SHALL BE SUBJECT TO THE PROVISIONS OF THIS STANDARD AND SPECIFICATIONS.

X. ALL DISTURBED AREAS SHALL BE STABILIZED STRUCTURALLY OR VEGETATIVELY IN COMPLIANCE WITH SO2 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION.

VEGETATIVE ESTABLISHMENT

PERMANENT AND TEMPORARY SEEDING, SOODOING AND MULCHING

I. SITE PREPARATION
PERMANENT OR TEMPORARY VEGETATION SHALL BE ESTABLISHED WITHIN SEVEN (7) DAYS OF THE SURFACE OF SETTLEMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BENCHES, PERMETER SLOPES, BASINS, AND ALL SLOPES GREATER THAN 3:1 HORIZONTAL TO 1 VERTICAL (3:1) AND WITHIN 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. MULCHING MAY ONLY BE USED IN DISTURBED AREAS AS TEMPORARY COVER WHERE VEGETATION IS NOT FEASIBLE OR WHERE SEEDING COULD BE COMPLETED BECAUSE OF WEATHER.

II. SEED PREPARATION AND SEEDING APPLICATION
LIESEEN THE TOP LAYER OF THE SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT SUCH AS DISKS, HARROWS, ROLLERS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. INCORPORATE THE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF THE SOIL BY DISKING OR OTHER SUITABLE MEANS. ROCKS SHOULD NOT BE ROLLED OR DRAGGED SMOOTH, BUT LEFT IN A ROUGHENED CONDITION. STEEP SLOPES GREATER THAN 3:1 SHOULD BE TRACKED BY A DOZER, LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE SLOPE AND FRIBBLE PERMANENT COVER MAY REQUIRE AN APPLICATION OF TOPSOIL. IF SO, IT MUST MEET THE REQUIREMENTS SET FORTH IN SECTION 014 STANDARDS AND SPECIFICATIONS FOR TOPSOIL, FROM THE 1994 STANDARDS AND SPECIFICATIONS.

III. SOIL AMENDMENTS
SOIL TESTS SHALL BE MADE ON SITES OVER FIVE ACRES TO DETERMINE THE EXACT REQUIREMENTS FOR BOTH LIME AND FERTILIZER FOR SITES UNDER 5 ACRES. IN LIEU OF A SOIL TEST, APPLY THE FOLLOWING:

FERTILIZER NITROGEN 2 LBS/1000 SF (90 LBS/AC)
P2O5 4 LBS/1000 SF (175 LBS/AC)
K2O 4 LBS/1000 SF (174 LBS/AC)

GROUND LIMESTONE 2 TONS/AC

IV. SEEDING CONTROL PRACTICE SEEDING
SELECT A SEEDING MIXTURE FROM TABLE 25 OR 26 IN SECTION '0' OF THE 1994 STANDARDS AND SPECIFICATIONS. DOCUMENT SEEDING ON THE EROSION AND SEDIMENT CONTROL PLAN USING APPROPRIATE CHART BELOW. NOTE IF SEEDING CONTROL PRACTICES ARE IN FOR LONGER THAN 18 MONTHS, PERMANENT SEEDING IS REQUIRED.

V. TEMPORARY PERMANENT SEEDING MIXTURES AND RATES
SELECT A SEEDING MIXTURE FROM APPROPRIATE TABLE 25 OR 26 IN SECTION '0' OF THE 1994 STANDARDS AND SPECIFICATIONS. DOCUMENT SEEDING ON THE EROSION AND SEDIMENT CONTROL PLAN USING APPROPRIATE CHART BELOW.

TEMPORARY SEEDING SUMMARY

NO.	SPECIES	SEEDING DATE		SEEDING DEPTH	FERTILIZER RATE (LBS/AC)	LIME RATE (TNS/AC)
		APPLICATION RATE (LBS/AC)	DATE			
1	BARLEY OR RYE PLUS FOXTAIL MILLET	8/15-11/30	8/15-11/30	1/4"-1/2"	600 LBS/AC (15 LBS/1000 SF)	2 TONS/AC (100 LB/1000 SF)

PERMANENT SEEDING SUMMARY

NO.	SPECIES	SEEDING DATE		SEEDING DEPTH	N	P ₂ O ₅	K ₂ O	LIME RATE (TNS/AC)
		APPLICATION RATE (LBS/AC)	DATE					
3	TALL FESCUE (SS2)	8/15-11/30	8/15-11/30	1/4"-1/2"	2 LB/1000 SF	4 LB/1000 SF	4 LB/1000 SF	2 TONS/AC (100 LB/1000 SF)
	CHEVINGS FESCUE (102)	8/15-11/30	8/15-11/30	1/4"-1/2"	1000 SF	1000 SF	1000 SF	1000 SF
	KENTUCKY BLUE GRASS (52)	8/15-11/30	8/15-11/30	1/4"-1/2"	*900 LBS/AC OF 10-20-20			

VI. TURFGRASS ESTABLISHMENT

THIS INCLUDES LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. AREA TO RECEIVE SEED SHALL BE FILLED BY DISKING OR OTHER APPROVED MEANS TO A DEPTH OF 3 TO 5 INCHES, LEVELED AND RAKED TO PREPARE A PROPER SEEDBED. STONES AND DEBRIS OVER 1/2 INCHES IN DIAMETER SHALL BE REMOVED. THE RESULTING SEEDBED SHALL BE IN SUCH CONDITION THAT FUTURE MOWING OF CHOICE A TURFGRASS MIXTURE FROM PATE G-50 OF THE 1994 STANDARDS AND SPECIFICATIONS OR SELECT FROM THE LIST IN THE MOST CURRENT VERSION OF MARYLAND PUBLICATION, AGRICULTURE HANDBOOK #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".

VI. MULCHING

ALL SEEDING REQUIRE MULCHING. ALSO MULCH DURING NON-SEEDING DATES UNTIL SEEDING CAN BE DONE. MULCH SHALL BE UNFILLED, UNCHIPPED, SMALL GRAIN STRAW APPLIED AT A RATE OF A 2 TONS/ACRE OR 90 LBS/1000 SF (2 BALES). IF A MULCH ANCHORING TOOL IS USED, APPLY 2.5 TONS/ACRE. MULCH MATERIAL SHALL BE COMPLETELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF PROHIBITED NOXIOUS WEEDS. SPREAD MULCH UNIFORM, MECHANICALLY BY HAND, TO A DEPTH OF 1-2 INCHES. MULCH ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER MULCH PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY MULCH NETTING, MULCH ANCHORING TOOL, WOOD CELLULOSE FIBER OR LIQUID MULCH BINDER.

APPLY WOOD CELLULOSE FIBER AT A DRY WEIGHT OF 1500 LBS/ACRE, IF MIXED WITH WATER, USE 50 LBS OF WOOD CELLULOSE FIBER PER 1000 GALLONS OF WATER.

LIQUID BINDER SHOULD BE APPLIED HEAVIER AT THE EDGE, WHERE WIND CATCHES MULCH IN VALLEYS, AND ON CREST OF BAKES. THE REMAINDER OF THE AREA SHOULD APPLY UNIFORM AFTER BINDER APPLICATION. APPLY RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR AND MULCH. STABLE LIGHT WEIGHT PLASTIC NETTING OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD. SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD IS TO BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTIGUOUS STAGGERED JOINTS WITH ALL EDGES THOROUGHLY ABUTTED AND NOT OVER LAPPING. SOD SHALL BE ROLLED AND THOROUGHLY WATERED AFTER INSTALLATION. BARE SPOTS SHALL BE MAINTAINED TO A MINIMUM DEPTH OF MOISTURE FOR THE FIRST WEEK IS REQUIRED IN THE ABSENCE OF RAINFALL. SOD IS NOT TO BE APPLIED ON FROZEN GROUND.

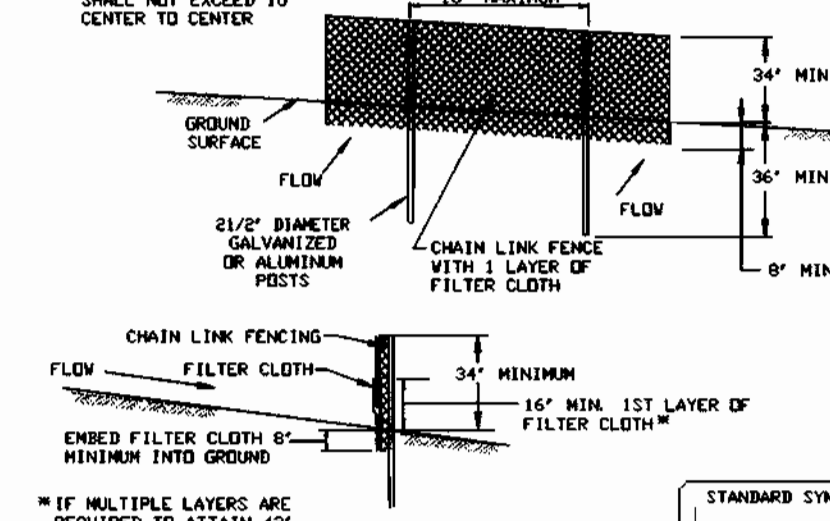
II. MAINTENANCE

A. IRRIGATE-APPLY MINIMUM 1" OF WATER EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE. WHEN SOIL MOISTURE BECOMES DEFICIENT PREVENT LOSS OF STAB OF PROTECTIVE VEGETATION.

B. REPAIRS- IF STAND PROVIDES 40% TO 94% GROUND COVERAGE, OVERSEED AND FERTILIZER USING HALF OF THE RATES ORIGINALLY APPLIED. IF STAND PROVIDES LESS THAN 40% COVERAGE, REESTABLISH AND STAND FOLLOWING ORIGINAL RATES AND PROCEDURES.

NOTE: USE OF THIS INFORMATION DOES NOT PRECLUDE MEETING ALL OF THE REQUIREMENTS OF THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, VEGETATIVE PRACTICES.

DETAIL 33 - SUPER SILT FENCE



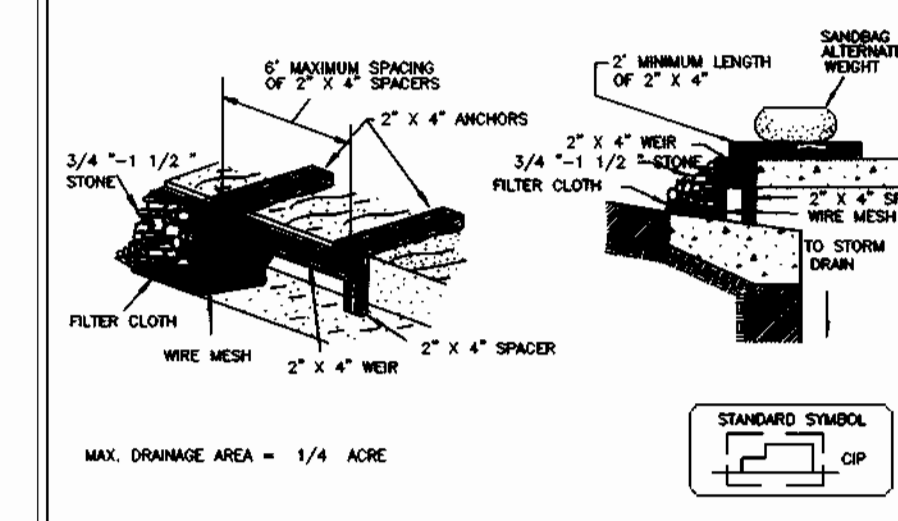
Construction Specifications

- Fencing shall be 48" in height and constructed in accordance with the latest Maryland State Highway Detention for Chain Link Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 6" length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, structural steel rods, drive anchors and post caps are not required except at the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with wire ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 6" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: NHT 509
Tensile Modulus	20 lbs/in (min.)	Test: NHT 507
Flow Rate	0.2 gal/ft ² /minute (max.)	Test: NHT 382
Filtering Efficiency	70% (min.)	Test: NHT 382

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-18-83 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23C - CURB INLET PROTECTION (CDS OR CDS INLETS)

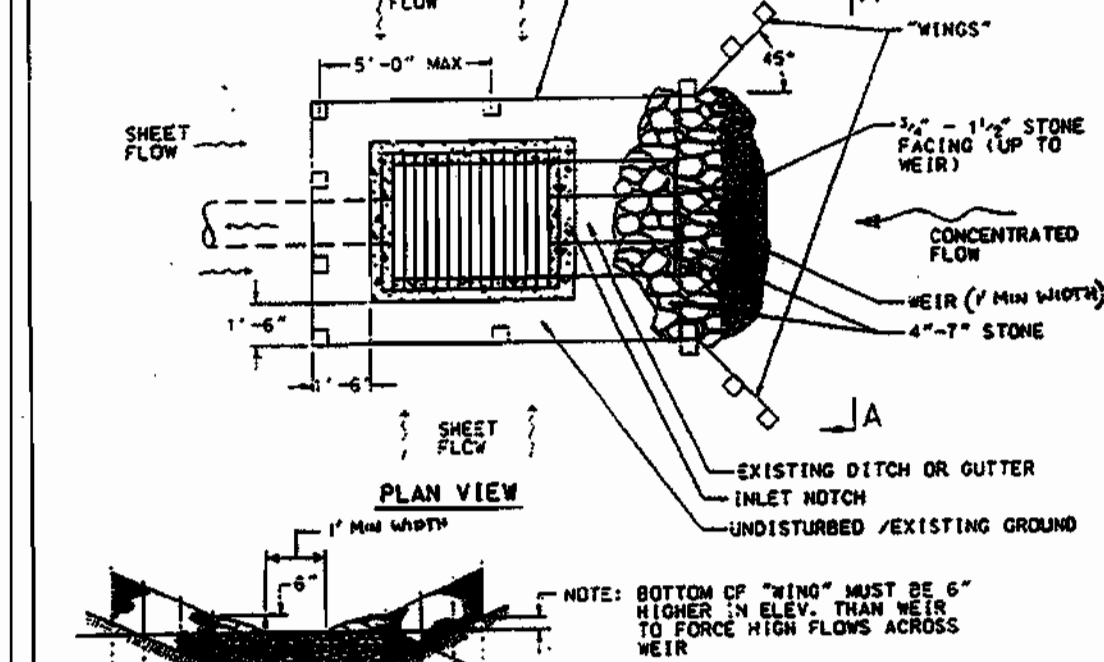


Construction Specifications

- Attach a continuous piece of wire mesh (30" minimum width by travel length plus 4") to the 2" x 4" wire (measuring travel length plus 2") shown on the standard drawing.
- Place a continuous piece of Geotextile Class E (or the same dimensions as the wire mesh over the wire mesh and secure closely to the 2" x 4" wire.
- Securely nail the 2" x 4" wire to a 9" long vertical stake to be located between the wire and the inlet face (max. 4" apart).
- Place the Geotextile against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the wall of upper location). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
- The assembly shall be placed so close to the inlet and spacers are a minimum 1' beyond both sides of the throat opening.
- Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete curb and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
- This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
- Ensure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-18-83 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23D - MEDIAN INLET PROTECTION

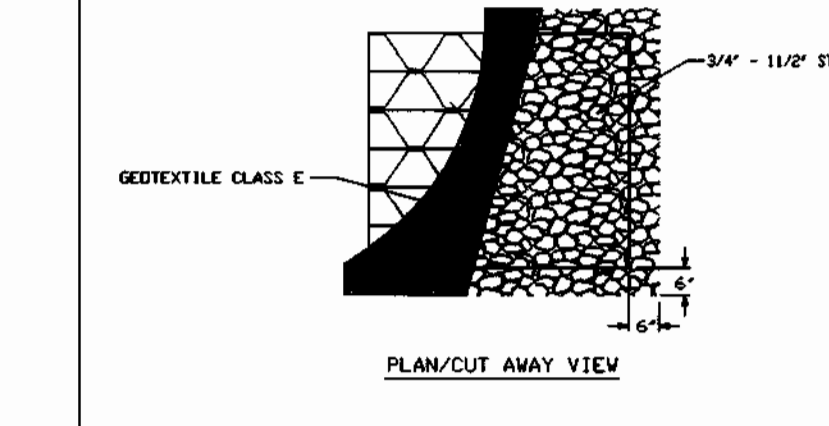


Construction Specifications

- Fence posts shall be 36" (min.) long, driven 16" into the ground and spaced 5' (max.) apart. Wood posts shall be 1 1/2" x 1 1/2" (min.) square cut or 1 1/2" (min.) diameter round and shall be of sound quality hardwood. Steel posts shall be standard T or U section weighing not less than 1.0 weight/foot.
- Geotextile Class F shall be fastened securely to each post with wire ties or staples at top and mid-section.
- Where ends of geotextile fabric come together they shall be overlapped, folded and stapled.
- Median inlet protection shall be inspected after each rain and maintained when bulges occur in the fabric or when the stone gets clogged.
- Stone used to construct the weir shall be 4" - 7" with a 1" thick layer of 3/4" - 1 1/2" stone on the upstream face.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-18-83 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23B - AT GRADE INLET PROTECTION

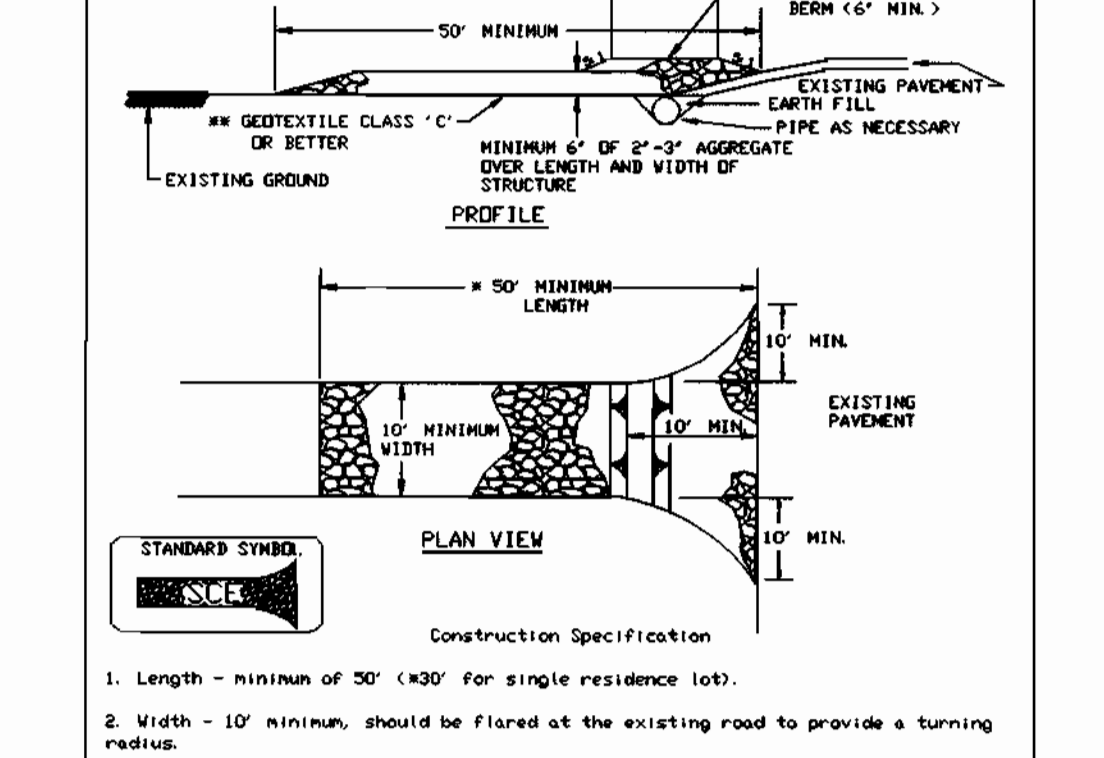


Construction Specifications

- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
- Place 3/4" x 3/4" stone, 4" or thicker on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-18-83 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



Construction Specifications

- Length - minimum of 50' (>30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. With prior approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or recycled or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 3:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. A 6" minimum will be required according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-18-83 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

04/13/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Meyer
LUDA - NATURAL RESOURCES CONSERVATION SERVICE
8/5/05 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Robertson
HOWARD SCD
8/5/05 DATE

OWNER/DEVELOPER/APPLICANT
A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
C. COMPANY: THE RYLAND GROUP, INC.
D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

FAX NO.: (410) 480-0543

SHEET: C-15

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-8792 or (301) 776-1690
FAX (410) 792-7396

SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
AGE RESTRICTED ADULT HOUSING
SEDIMENT & EROSION CONTROL
NOTES & DETAILS
L 5289 F. 330
ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.	SCALE
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02	1" = 40'
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS		DATE: 08/27/04
3-15-05	PER HOWARD COUNTY COMMENTS		DRAWN BY: HRW
4-19-05	PER HOWARD COUNTY COMMENTS		DESIGN BY: KDH
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER		REVIEW BY: PVM

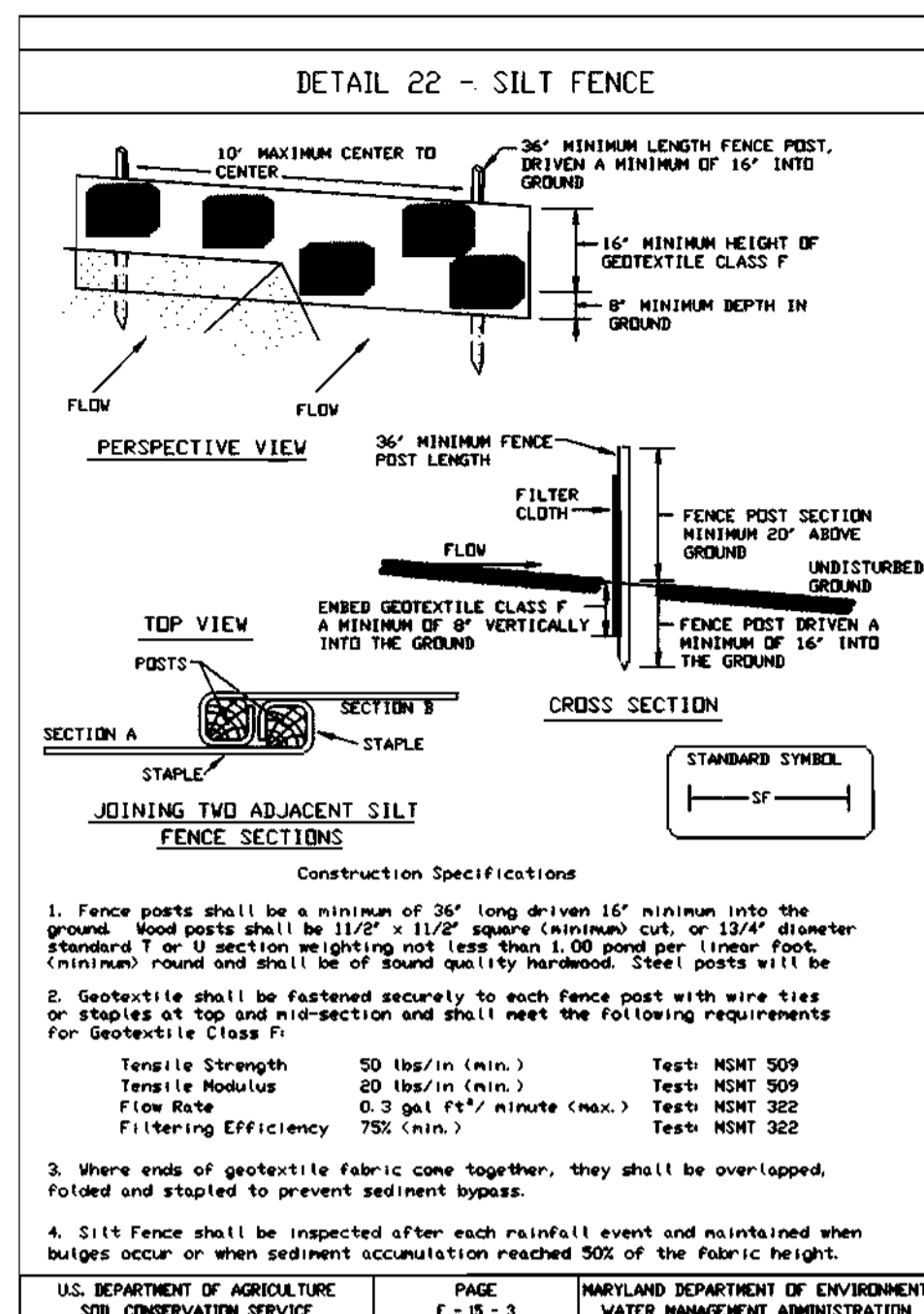
SHEET: 15 OF 19

SDP-05-037

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Date: 9/2/05
Date: 7/6/05

CHIEF, DIVISION OF LAND DEVELOPMENT
Date



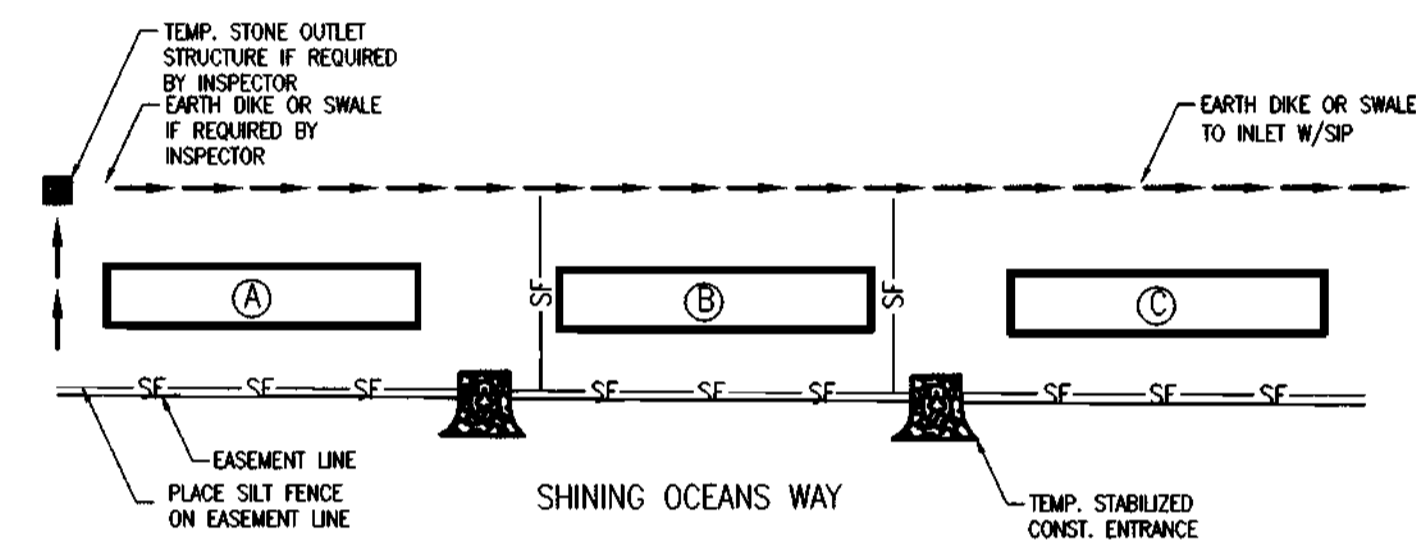
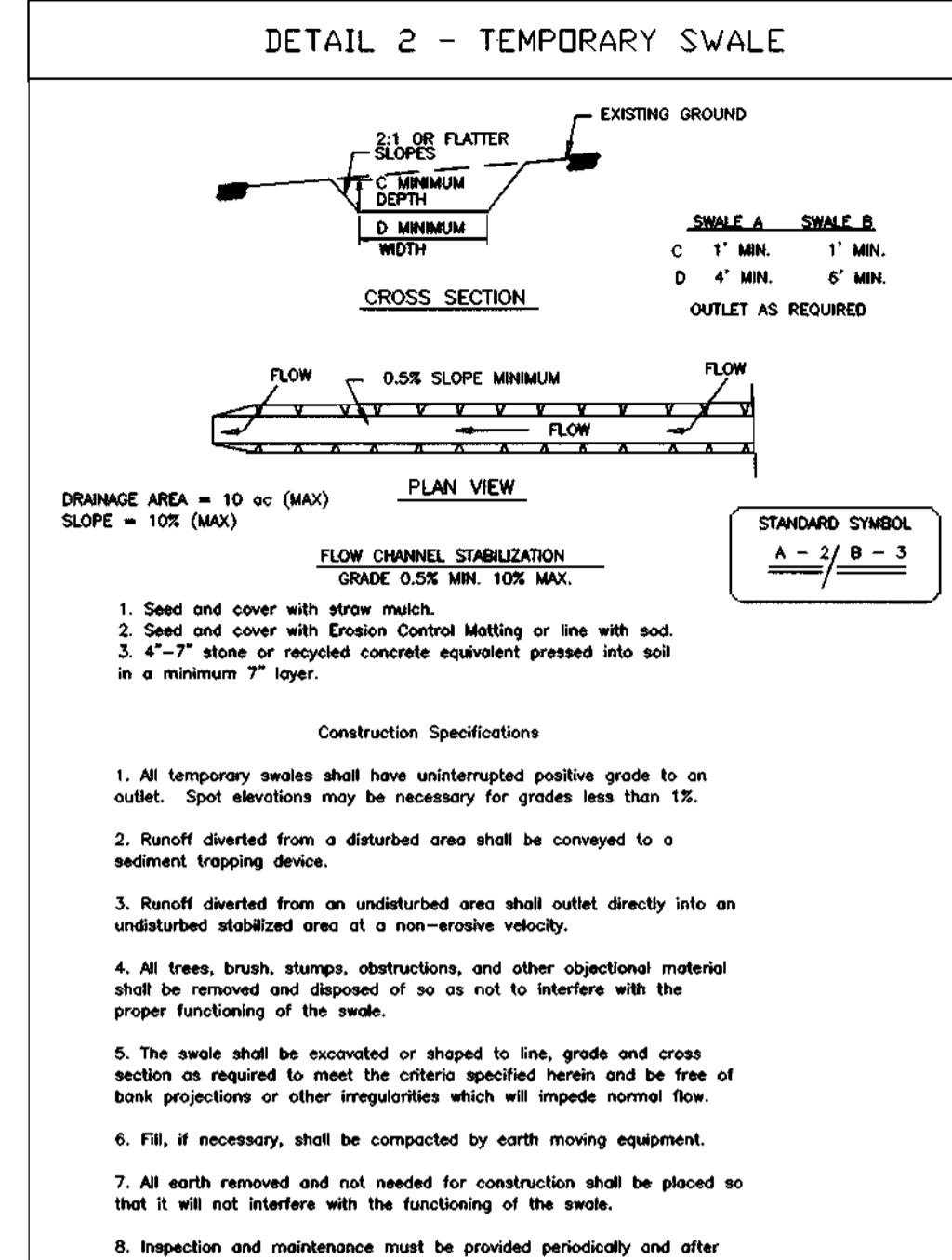
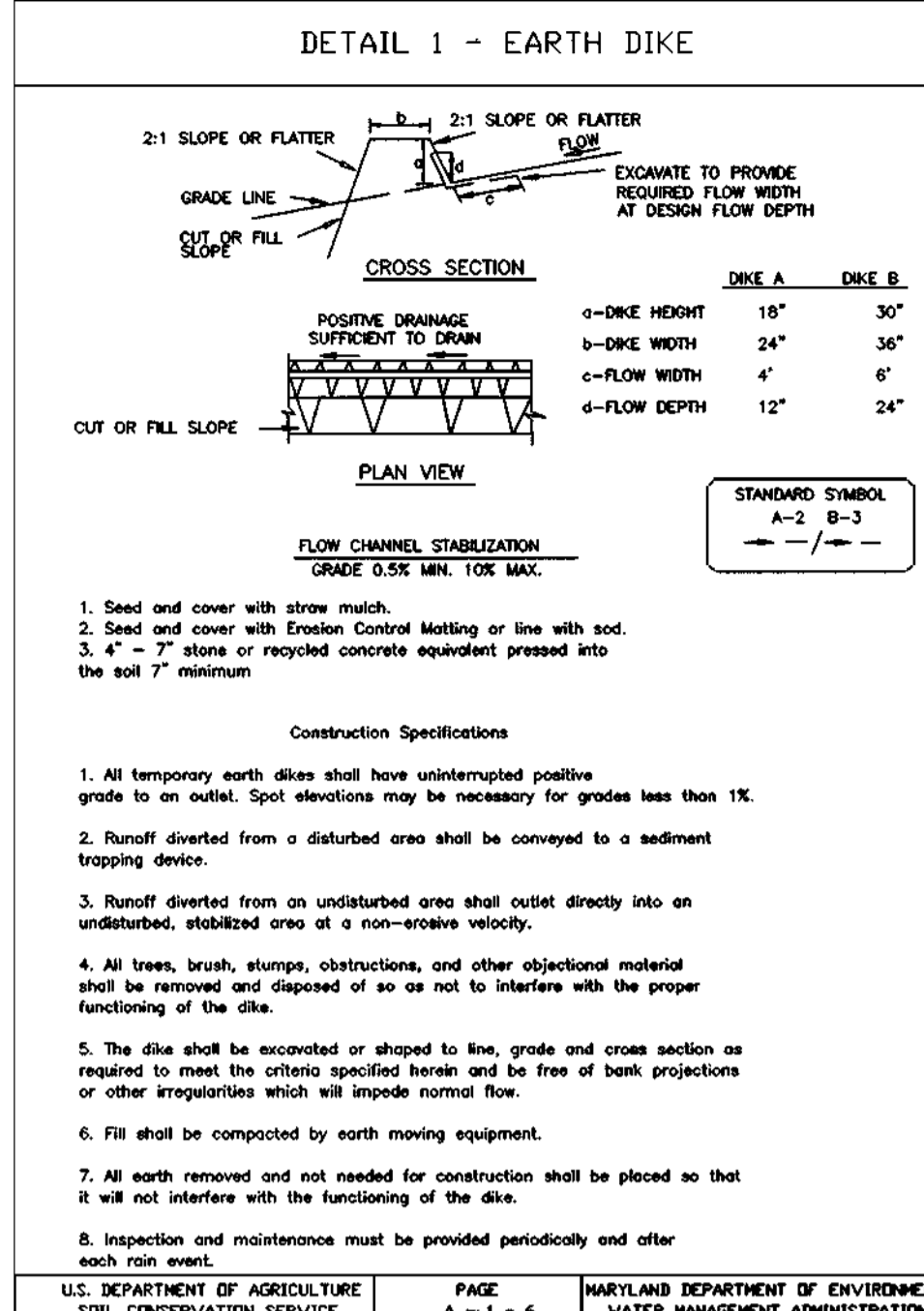
SILT FENCE

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-19-3a MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



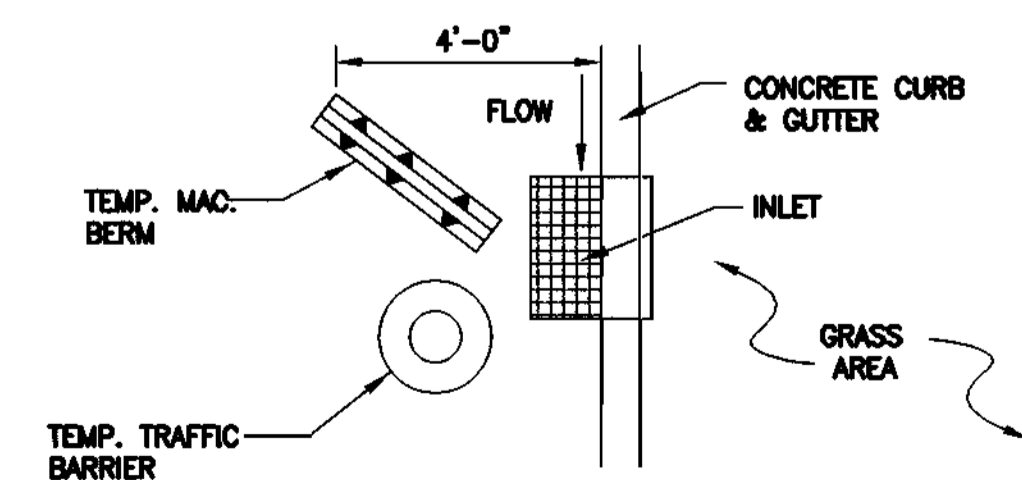
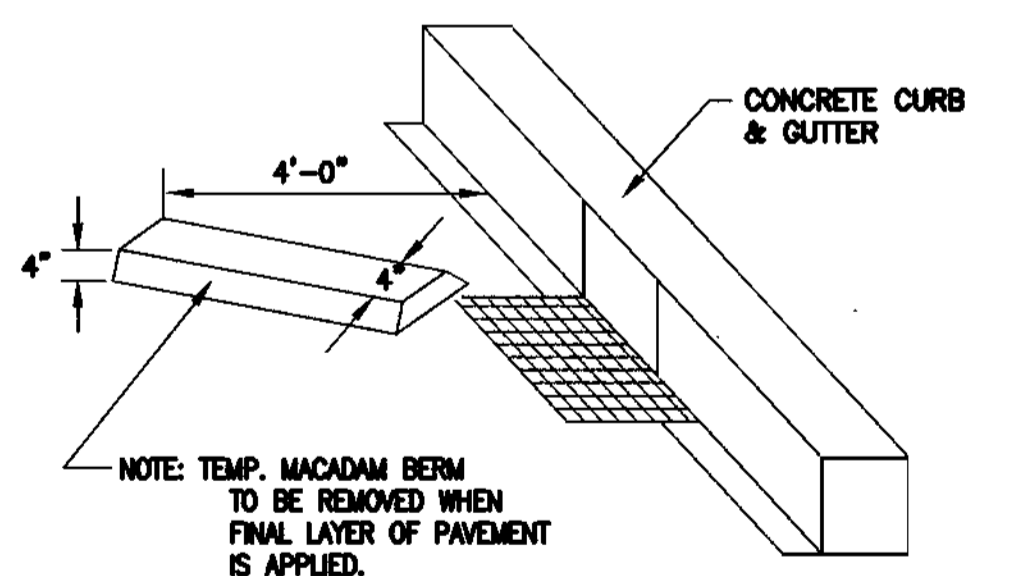
SEDIMENT CONTROL FOR TOWN HOUSE CONSTRUCTION

NOT TO SCALE

- INSURE THAT EARTH DIKE OR SWALES WITH TEMPORARY STONE OUTLET STRUCTURES ARE INSTALLED AT THE HIGH & LOW ENDS AND TO THE REAR OR FRONT (DEPENDING UPON DRAINAGE FLOW) OF THE LOT GROUPS.
- WHICHEVER GROUP IS TO BE CONSTRUCTED FIRST CAN BE DONE SO WITHOUT ANY MODIFICATIONS.
- IF THE GROUPS ARE CONSTRUCTED 'A' THAN 'B' THAN 'C', NO MODIFICATIONS WILL HAVE TO BE MADE THROUGHOUT THE CONSTRUCTION OF ALL THREE GROUPS.
- IF GROUP 'C' IS CONSTRUCTED AND STABILIZED FIRST, EARTH DIKE OR SWALE AND T.S.O.S. WILL HAVE TO BE INSTALLED ON THE LOW SIDE OF GROUP 'B'.
- IF GROUP 'B' IS CONSTRUCTED AND STABILIZED NEXT OR FIRST, THEN AN EARTH DIKE OR SWALE AND T.S.O.S. WILL HAVE TO BE INSTALLED ON THE LOW SIDE OF GROUP 'A'.
- IF EARTH DIKE IS EXISTING, IT IS TO BE BROKEN AND THE T.S.O.S. IS TO BE INSTALLED.
- A CLEAN WATER EARTH DIKE OR SWALE AND T.S.O.S. MAY BE NECESSARY ON THE UP/HIGH SIDE OF A PROPOSED LOT IF THE DRAINAGE AREA TO THE PROPOSED GROUP IS GREATER THAN 1/8 ACRE.

NOTE: IF HOMES ARE TO BE BUILT IN A DRAINAGE AREA CONTROLLED BY DIKES AND TRAP / BASIN, BREAK THE DIKE IN HALF ACRE DRAINAGE INCREMENTS ABOVE THE FIRST GROUP TO BE BUILT.

NOTE: IF HOMES ARE BUILT ON LOTS WITHOUT EARTH DIKES / SWALES, THEN SILT FENCE SHALL BE INSTALLED AS NECESSARY AROUND THE PERIMETER OF THE GROUP TO PREVENT ANY SEDIMENT LOADED MATERIAL FROM LEAVING THE LOT.



MACADAM BERM DETAIL

NOT TO SCALE

SEQUENCE OF CONSTRUCTION

- Phase I**
- OBTAIN ALL NECESSARY PERMITS. CONTACT THE HOWARD COUNTY OFFICE OF INSPECTIONS AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTACT MESS UTILITY. 1 DAY
 - CLEAR AND GRUB ONLY AREAS REQUIRED FOR INSTALLATION OF SEDIMENT CONTROLS. 2 DAYS
 - INSTALL ALL PERIMETER SEDIMENT AND EROSION CONTROL DEVICES PER PLAN. INSTALL STONE CONSTRUCTION ENTRANCE AS SHOWN ON THESE PLANS. 5 DAYS
 - WITH SEDIMENT CONTROL INSPECTOR'S APPROVAL, CLEAR AND GRUB SITE. PROVIDE TEMPORARY STABILIZATION AS REQUIRED BY INSPECTOR. 3 DAYS
 - BEGIN ROUGH GRADING OF SITE, AS SHOWN ON THESE PLANS, INCLUDING FORMATION OF THE ROADWAY SUBGRADE. 20 DAYS
 - BEGIN INSTALLATION OF SANITARY SEWERS AS SHOWN ON THE SANITARY SEWER PLAN, AND SANITARY SEWER PROFILE PLAN. 25 DAYS
 - BEGIN INSTALLATION OF STORM DRAINAGE, AS SHOWN ON THE SITE DEVELOPMENT PLANS, AND THE STORM DRAIN PROFILE PLAN. STRUCTURES 1-1, 1-3, 1-5, 1-7, 1-9, 1-11, 1-13, 1-15, 1-17, 1-19, 1-21, 1-23, AND 1-25 SHOULD BE CONSTRUCTED PRIOR TO IMPLEMENTING THE ROUGH GRADING IN THE AREA OF THESE INLETS. THE PROPOSED "X" INLET NOTCH ELEVATIONS SHALL BE SET TEMPORARILY TO THE ELEVATIONS SHOWN ON THESE PLANS. PLACE INLET PROTECTION AT INLETS UPON COMPLETION. 20 DAYS
 - BEGIN INSTALLATION OF THE WATER MAIN AND SERVICES, AS SHOWN ON THE WATER MAIN PLAN AND PROFILE PLANS. 20 DAYS
 - BEGIN INSTALLATION OF THE REMAINING UNDERGROUND UTILITIES. 20 DAYS
- Phase II**
- BEGIN BUILDING CONSTRUCTION PROVIDING EROSION AND SEDIMENT CONTROLS PER SEDIMENT CONTROL FOR TOWNHOUSE CONSTRUCTION DETAIL (SEE SHEET THIS SHEET). 90 DAYS
 - BEGIN TO FINAL GRADE SITE. INSTALL PAVING, CURB AND GUTTER, SIDEWALK, LANDSCAPING AND ANY OTHER FEATURES AS SHOWN ON THESE PLANS. AFTER THE BASE COURSE IS COMPLETED, INSTALL SILT FENCE AT THE EASEMENT LINE ON BOTH SIDES OF WARM WAVES LANE, SHINING OCEANS WAY AND SECRET WAVES DRIVE FOR THEIR ENTIRE LENGTHS. REMOVE THE CURB INLET PROTECTION (CIP) AND AT-GRADE INLET PROTECTION (AGIP) FROM INLETS LOCATED IN THE STREET. INSTALL TEMPORARY MACADAM BERMS TO DIRECT FLOW TO THE INLETS IN THE STREET (SEE DETAIL THIS SHEET). FOR INLETS 1-1, 1-3, 1-5, 1-7, 1-9, 1-11, 1-13, 1-15, 1-17, 1-19, 1-21, 1-23, AND 1-25 - ADJUST THE GRATE ELEVATION TO THE FINAL GRADE UTILIZING BRICK AND MORTAR. COMPLETE THE FINAL GRADING TO EACH INLET AND RE-INSTALL INLET PROTECTION. 60 DAYS
 - COMPLETE THE FINAL STREET PAVING, AS THE SURFACE COURSE PAVING PROGRESSES, REMOVE THE TEMPORARY MACADAM BERMS. 10 DAYS
 - PROVIDE FINAL PERMANENT STABILIZATION FOR ALL DISTURBED AREAS. 5 DAYS
 - WITH SEDIMENT CONTROL INSPECTOR'S APPROVAL, REMOVE ANY REMAINING INLET PROTECTION AND FLUSH THE STORM DRAIN SYSTEM. REMOVE ANY REMAINING SEDIMENT. 3 DAYS
 - UPON SEDIMENT CONTROL INSPECTOR'S APPROVAL, REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES AND PROVIDE PERMANENT STABILIZATION OF ANY REMAINING DISTURBED AREAS. 2 DAYS

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Meyer 8/13/05
USDA - NATURAL RESOURCES CONSERVATION SERVICE DATE

John K. Rhoton 8/13/05
HOWARD SCD DATE

04/13/05

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

P-V-Mellor 5.23.05
SIGNATURE OF ENGINEER - PRINTED NAME BELOW DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Rhoton 8/13/05
SIGNATURE OF DEVELOPER - PRINTED NAME BELOW DATE

OWNER/DEVELOPER/APPLICANT FAX NO: (410) 480-0543

A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467

C. COMPANY: THE RYLAND GROUP, INC.

D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260

E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

MRA MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 782-8792 or (301) 776-1690
FAX (410) 792-7395

SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
AGE RESTRICTED ADULT HOUSING
SEDIMENT & EROSION CONTROL
NOTES & DETAILS
L 5289 F. 330
ZONED: NT TAX MAP: 37 ORD: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.	SCALE:
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02	1" = 40'
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS		DATE: 08/27/04
3-15-05	PER HOWARD COUNTY COMMENTS		DRAWN BY: HRW
4-19-05	PER HOWARD COUNTY COMMENTS		DESIGN BY: KDH
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER		REVIEW BY: FVM

SHEET: 16 OF 19

AREA AND 'C' FACTOR TABULATION

INLET #	ZONING	SUBAREA	AREA	"C" FACTOR
I-1	NT	E	0.46	0.72
I-3	NT	B	0.47	0.72
I-5	NT	A	1.12	0.72
I-7	NT	D	0.39	0.72
I-9	NT	C	0.77	0.72
I-11	NT	L	0.67	0.72
I-13	NT	M	0.38	0.72
I-15	NT	N	1.05	0.72
I-17	NT	O	0.42	0.72
I-19	NT	P	0.67	0.72
I-21	NT	K	0.40	0.72
I-23	NT	H	0.25	0.72
I-25	NT	I	0.48	0.72

NOTE:

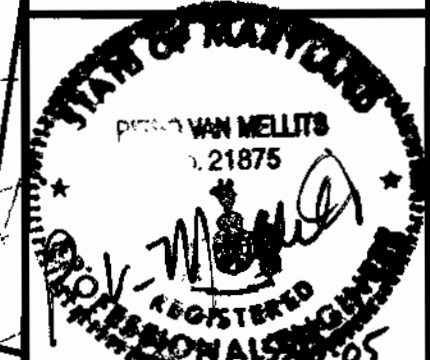
MASS GRADING WAS PERFORMED BY THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION AS DESIGNED BY GUTSCHICK, LITTLE & WEBER, P.A., CONSTRUCTION PLANS F-01442 DATED REV. 3/28/03. SOIL GROUPS WERE DETERMINED TO CONSIST PRIMARILY OF HYDROLOGIC GROUPS B AND C AS STATED BY GLYN'S STORMWATER MANAGEMENT REPORT FOR SNOWDEN RIVER BUSINESS PARK DATED JUNE, 2001. DRAINAGE FROM THE PRIVATE PORTION OF DRIED EARTH BLVD. FLOWS INTO EXISTING INLETS I-102 AND I-103 TO THE NORTH OF THE EXISTING TEE TURNAROUND AND TO EXISTING INLETS I-104 AND I-105 TO THE SOUTH OF THE PROPOSED TEMPORARY DEAD END. THE DRAINAGE AREAS TO THESE INLETS AS DESIGNED BY GLN HAVE BEEN SLIGHTLY ALTERED. HOWEVER, THE DEVIATIONS ARE NEGLIGIBLE.

04/13/05

OWNER/DEVELOPER/APPLICANT: FAX NO: (410) 480-0543
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

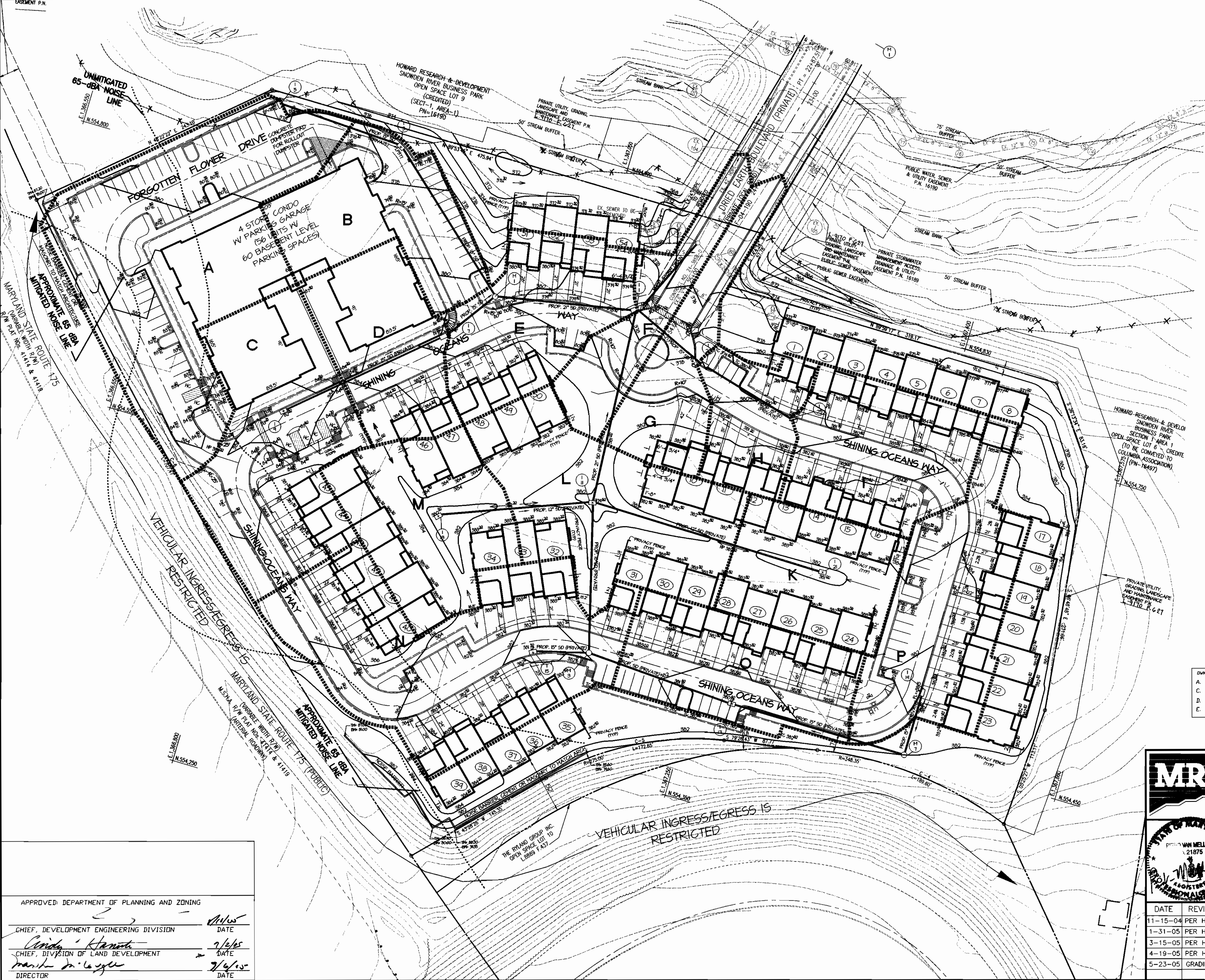
SHEET: **C-17**

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-0792 or (301) 778-1690
 FAX (410) 792-7395



SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
DRAINAGE AREA MAP
 L. 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
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5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		REVIEW BY: PVM
		SHEET: 17 OF 19



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE: 4/13/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] DATE: 7/6/05
 DIRECTOR [Signature] DATE: 7/6/05

P:\PROJ\1735D\Prof\SOP\1735D_17.dwg, layout1, 5/25/2005 11:12:15 AM, Copyright 2004 MRA, Inc.

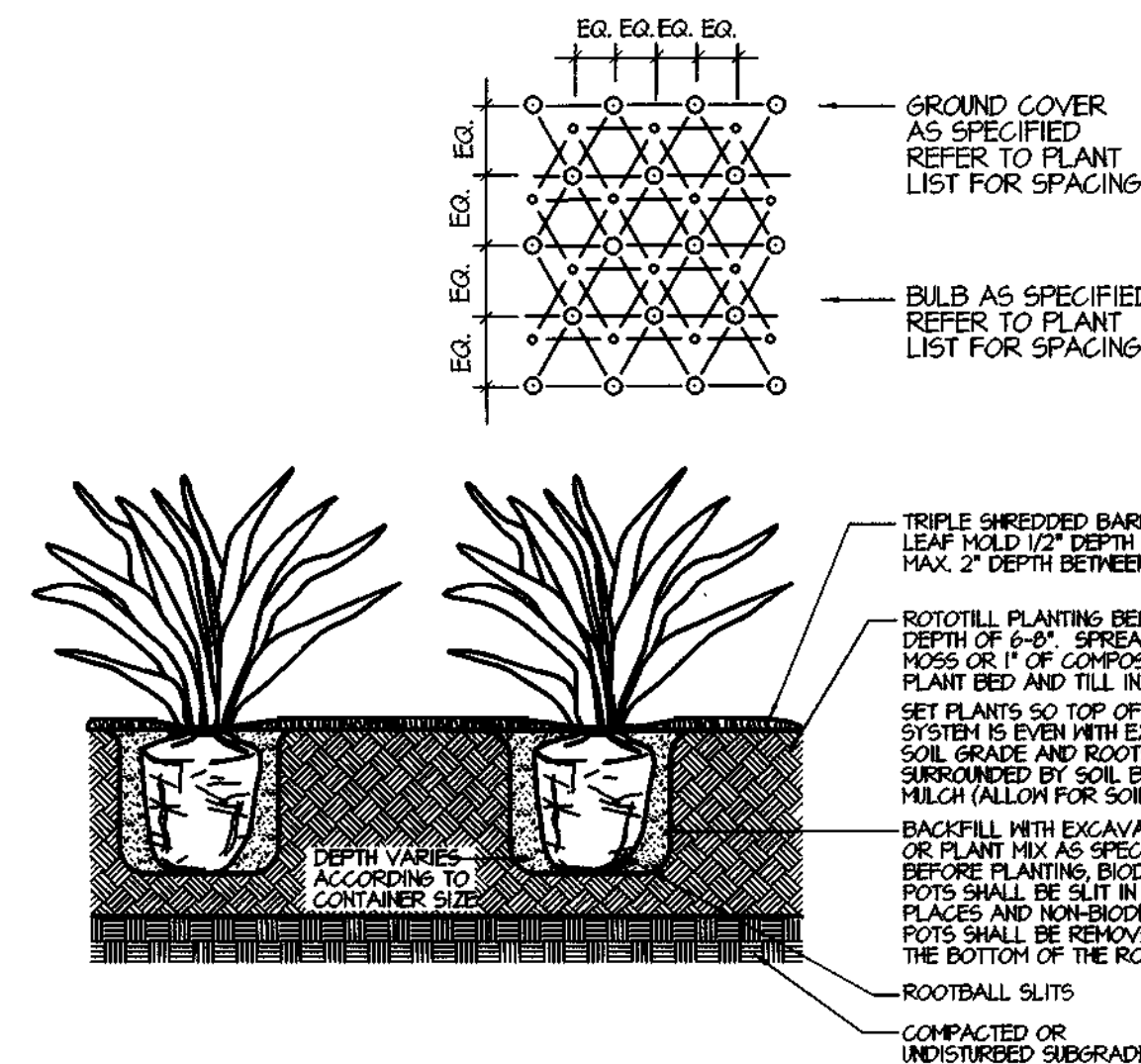
SOP-05-037

NOTES ON PLANTING:

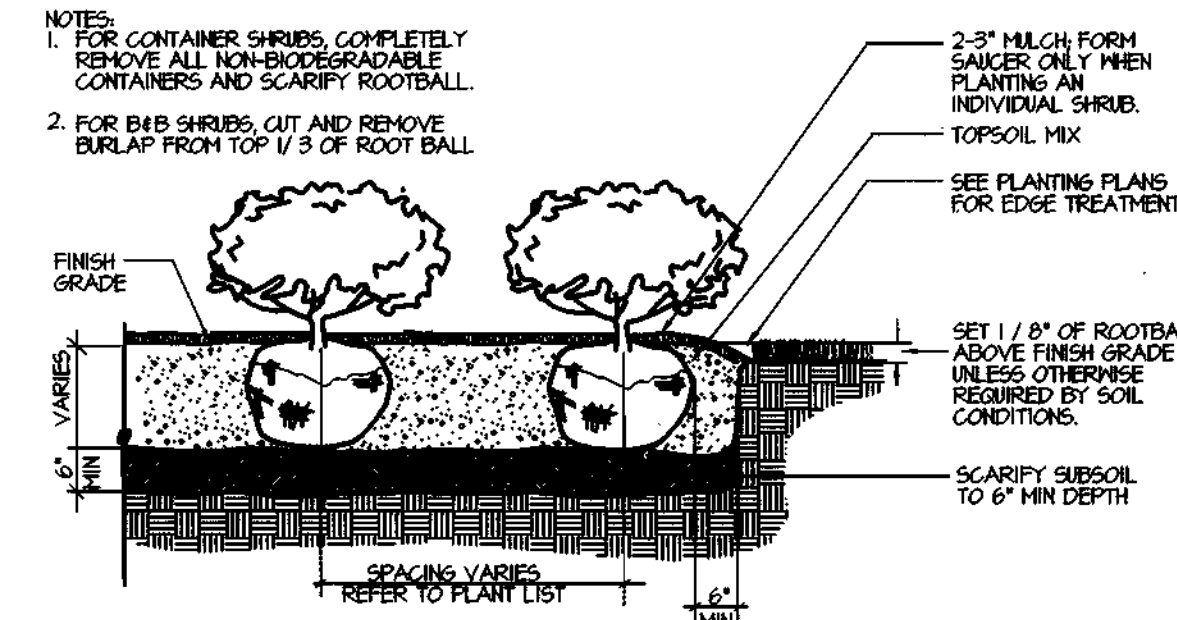
- A. CONTRACTOR SHALL CONTACT "MISS UTILITY" & SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE PROJECT PRIOR TO INSTALLATION.
- B. IF NECESSARY, THE CONTRACTOR MAY SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.
1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERMEN.
2. TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
3. TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
4. TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
5. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) FULL YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS, UNSATISFACTORY GROWTH, DISEASE OR DEATH. UNSATISFACTORY, UNHEALTHY, DYING OR DEAD PLANT MATERIAL (IN THE OPINION OF THE LANDSCAPE ARCHITECT) SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES.
6. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPED AREAS, WHICH SHALL INCLUDE WATERING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND FERTILIZING TO MAINTAIN HEALTHY GROWTH.
7. THE LANDSCAPE CONTRACTOR SHALL STAKEOUT PLANT LOCATIONS IN THE FIELD. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE SHALL OBSERVE THESE LOCATIONS PRIOR TO COMMENCING PLANT PIT EXCAVATION. THE LANDSCAPE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUESTED BY THE LANDSCAPE ARCHITECT.
8. ALL PLANT SAUCERS AND PLANT BEDS SHALL BE MULCHED WITH DOUBLE SHREDDED HARDWOOD MULCH, A MINIMUM OF 3" IN DEPTH.
9. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THIS SHALL APPLY TO SUBSTITUTIONS OF SPECIES, SIZE AND QUANTITY.
10. THE LANDSCAPE CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD BARK MULCH TO A DEPTH OF 3" UNDER AND SURROUNDING ALL NEW LANDSCAPED MASS PLANTING AREAS TO PROVIDE A UNIFORM AND CONTINUOUS SURFACE AND APPEARANCE BETWEEN AND AROUND ALL PLANT MATERIAL, BUILDING LINES AND PAVED AREAS. IN GENERAL, THIS PERTAINS TO ALL PLANT MATERIAL THAT IS PLANTED CLOSER THAN SIX (6) FEET CENTER TO CENTER. IT IS THE INTENT OF THIS CONTRACT TO INSTALL LANDSCAPE MAT UNDER THE ENTIRE AREA OF SHREDDED BARK MULCH.
11. TREES SHALL BE LOCATED: 1. A MINIMUM OF 5' FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES, WATER AND SEWER LINES. 2. TREES SHALL BE LOCATED 3' FROM SIDEWALKS.
12. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
13. CONTRACTOR SHALL SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM STRUCTURES.
14. TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN PLUMB AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
15. ALL TREE PITS, SHRUB BEDS, AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
16. CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTING) THAN ADJACENT SOIL.
17. SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF 'V' CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
18. CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
19. TREES & SHRUBS SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS: BETWEEN MARCH 15 AND MAY 15 AND BETWEEN AUGUST 15 AND NOVEMBER 15 OR AS APPROVED BY OWNERS REPRESENTATIVE.
20. ALL TREE STAKING AND GUYING SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TREES ARE ESTABLISHED.
21. SEEDED AREAS THAT WASH OUT MUST BE FILLED AND GRADED AS NECESSARY AND THE RESEED. SOME TYPE OF ANCHORING METHOD SHOULD THEN BE USED TO HOLD SEED AND MULCH IN PLACE; THIS IS ESPECIALLY IMPORTANT AROUND WATER COURSE, IN SWALES AND AREAS OF CONCENTRATED FLOWS, AND ON SLOPES.
22. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
23. QUANTITIES SHOWN ON THE PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL APPLY.
24. ALL PLANT BEDS SHALL BE CONTAINED WITH A SPADED EDGE UNLESS OTHERWISE NOTED ON DRAWINGS.
25. DEBRIS, RUBBISH & SUBSOIL SHALL BE CLEANED & REMOVED FROM THE SITE UPON COMPLETION OF PLANTING.

NOISE BARRIER WALL DETAILS

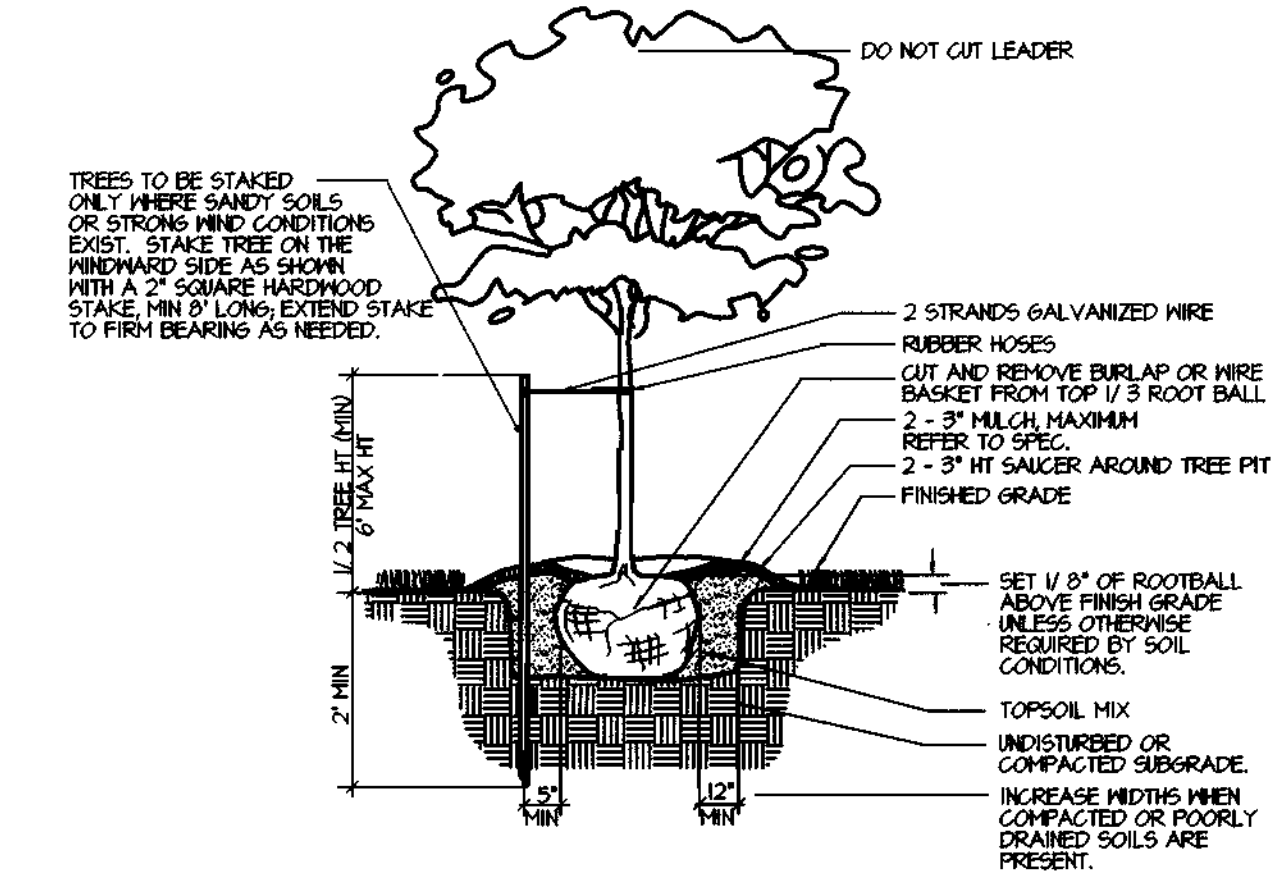
- THE NOISE BARRIER WALL IS TO BE A CONCRETE MASONRY TYPE CONSTRUCTION USING A CONTINUOUS SPREAD FOOTING AS A BASE.
- THE BARRIER FINISH IS TO BE DETERMINED BY THE OWNER
- THE BARRIER HEIGHT IS TO BE A MINIMUM OF FIVE (5) FEET AS RECOMMENDED BY THE ENGINEER'S NOISE STUDY DATED MARCH 17, 2004 AND PREPARED BY STAIANO ENGINEERING, INC.
- CONFORMITY WITH LOCAL CODE REQUIREMENTS REGARDING NOISE RESTRICTIONS IS REQUIRED.



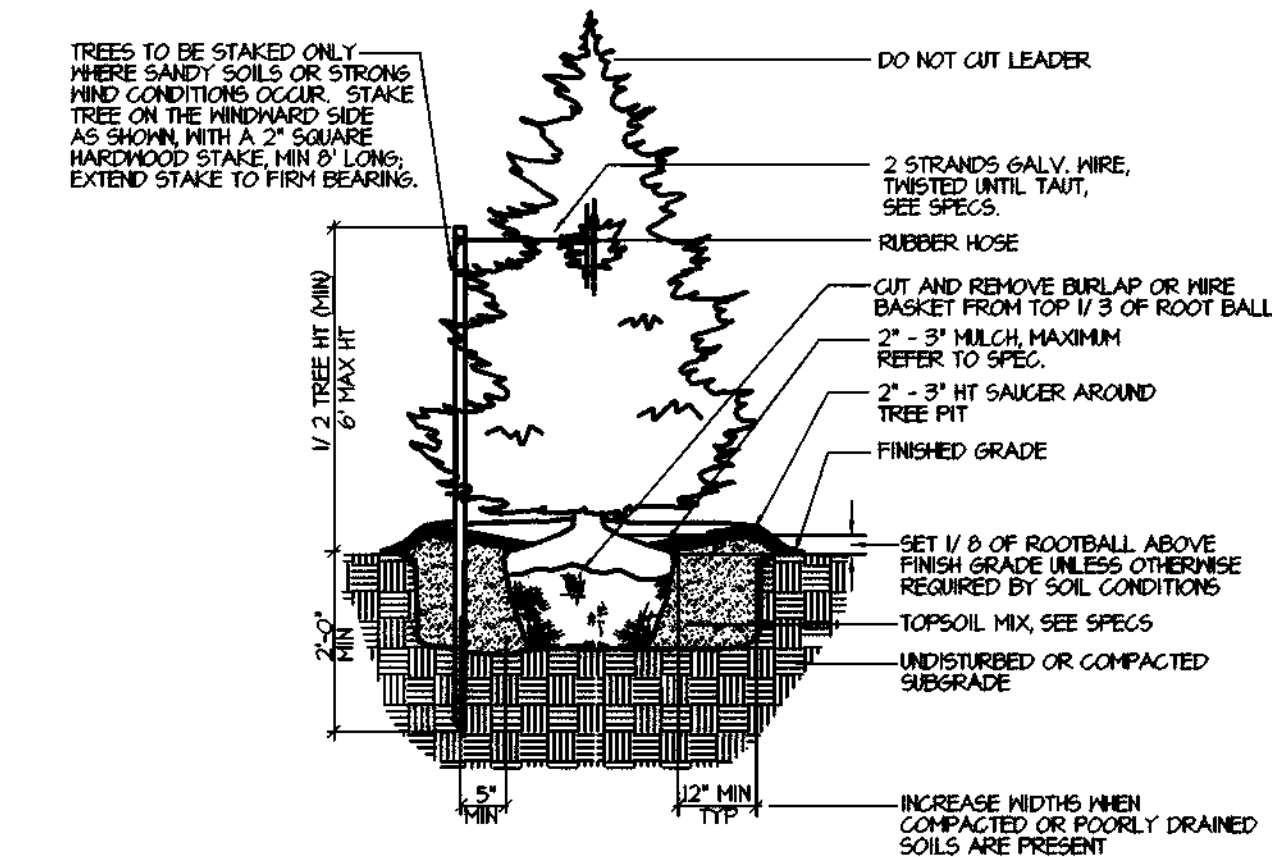
PERENNIAL PLANTINGS & PERENNIAL/GROUNDCOVER SPACING
NOT TO SCALE



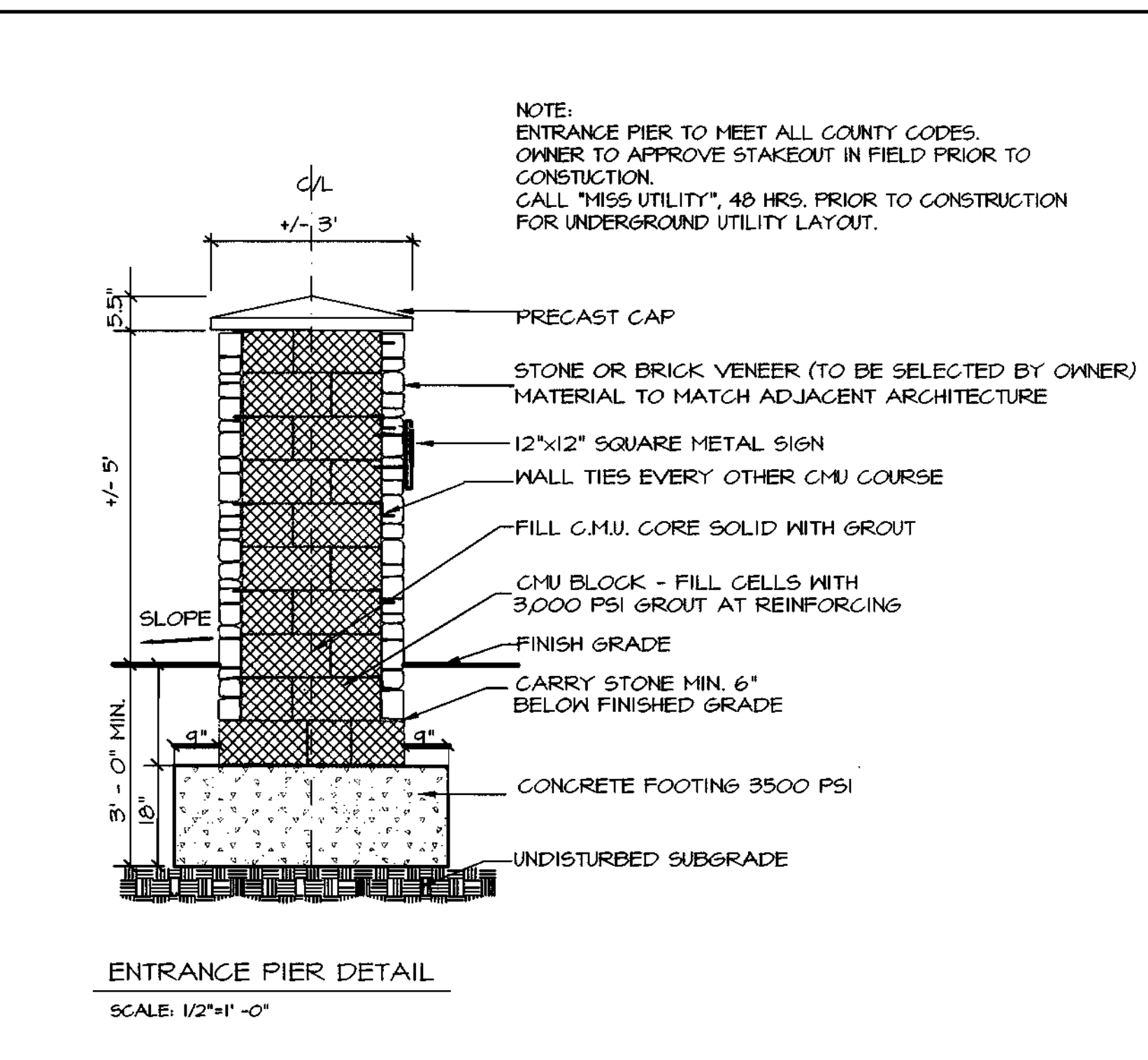
SHRUB BED PLANTING
NOT TO SCALE



DECIDUOUS TREE PLANTING
NOT TO SCALE



EVERGREEN TREE PLANTING
NOT TO SCALE



04/13/05

OWNER/DEVELOPER/APPLICANT	FAX NO. (410) 480-0543
A. NAME: BRIAN KNAUFF	B. DAYTIME TELEPHONE: (410) 480-2467
C. COMPANY: THE RYLAND GROUP, INC.	
D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260	
E. CITY: ELLICOTT CITY	STATE: MD ZIP: 21043

SHEET: C-19

	MORRIS & RITCHE ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS 14280 PARK CENTER DRIVE, SUITE A LAUREL, MARYLAND 20707 (410) 792-9792 or (301) 778-1690 FAX (410) 792-7396																		
	SNOWDEN RIVER BUSINESS PARK SECTION 1 AREA 1, PARCEL D-2 KENDALL OVERLOOK AGE RESTRICTED ADULT HOUSING LANDSCAPE DETAILS L 5289 F. 330 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385) ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND																		
<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISIONS</th> <th>JOB NO.</th> </tr> </thead> <tbody> <tr> <td>11-15-04</td> <td>PER HRD COMMENTS & HO. CO. COMMENTS</td> <td>12735-02</td> </tr> <tr> <td>1-31-05</td> <td>PER HRD COMMENTS & HO. CO. COMMENTS</td> <td>DATE: 08/27/04</td> </tr> <tr> <td>3-15-05</td> <td>PER HOWARD COUNTY COMMENTS</td> <td>DRAWN BY: CLW</td> </tr> <tr> <td>4-19-05</td> <td>PER HOWARD COUNTY COMMENTS</td> <td>DESIGN BY: CLW</td> </tr> <tr> <td>5-23-05</td> <td>GRADING & UTILITIES PER DESIGN ENGINEER</td> <td>REVIEW BY: PVM</td> </tr> </tbody> </table>	DATE	REVISIONS	JOB NO.	11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735-02	1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	DATE: 08/27/04	3-15-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: CLW	4-19-05	PER HOWARD COUNTY COMMENTS	DESIGN BY: CLW	5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	REVIEW BY: PVM	SHEET: 19 OF 19
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SDP-05-037

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APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/13/05

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 4/13/05

DIRECTOR
 DATE: 5/6/05



LEGEND

260	PROPOSED 10' CONTOUR
250	PROPOSED 2' CONTOUR
FF = 302.35	PROPOSED SPOT ELEVATIONS
BF = 312.35	FINISHED FLOOR ELEVATION
	BASEMENT FLOOR ELEVATION
[Symbol]	TEMPORARY STOCKPILE AREA
[Symbol]	PROPOSED TEMP. CONST. ENTRANCE
[Symbol]	PROPOSED INLET PROTECTION
[Symbol]	PROPOSED LIMIT OF DISTURBANCE
SSS	PROPOSED SUPER SILT FENCE
8" S	PROPOSED PUBLIC SANITARY SEWER
15" RCP	PROPOSED PRIVATE STORM DRAIN
4" S-C	PROPOSED 4" SEWER HOUSE CONNECTION
	PROPOSED STREET LIGHT
	PROPOSED CURB & GUTTER
	PROPOSED DRIVEWAY
	PROPOSED TOWNHOME CENTERLINE OF ROAD
(44)	PROPOSED TOWNHOME UNIT NUMBER
1" W	PROPOSED UNIT TYPE
	STREAM BUFFER
10'	EXISTING 10' CONTOUR
2'	EXISTING 2' CONTOUR
	EXISTING EASEMENT
	EXISTING CURB
N41°08'00"E 598.31'	EXISTING PROPERTY LINE
EX. 8" S	EXISTING SANITARY SEWER
EX. 15" RCP	EXISTING STORM DRAIN
EX. 8" W	EXISTING WATER LINE

04/13/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Meyer 2/12/05
 USDA - NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Robertson 8/15/05
 HOWARD SCD DATE

OWNER/DEVELOPER/APPLICANT		FAX NO.: (410) 480-0543
A. NAME: BRIAN KHALIF	B. DAYTIME TELEPHONE: (410) 480-2467	
C. COMPANY: THE RYLAND GROUP, INC.		
D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260		
E. CITY: ELLICOTT CITY	STATE: MD	ZIP: 21043

SHEET: C-14

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-0792 or (301) 776-1690
 FAX (410) 792-7395

SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
SEDIMENT & EROSION CONTROL
 PHASE II
 L 5289 F. 330

ZONED: NI TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:
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9-24-06	REVISED PRIVATE SANITARY SEWER	REVIEW BY: PVM

SHEET: 14 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

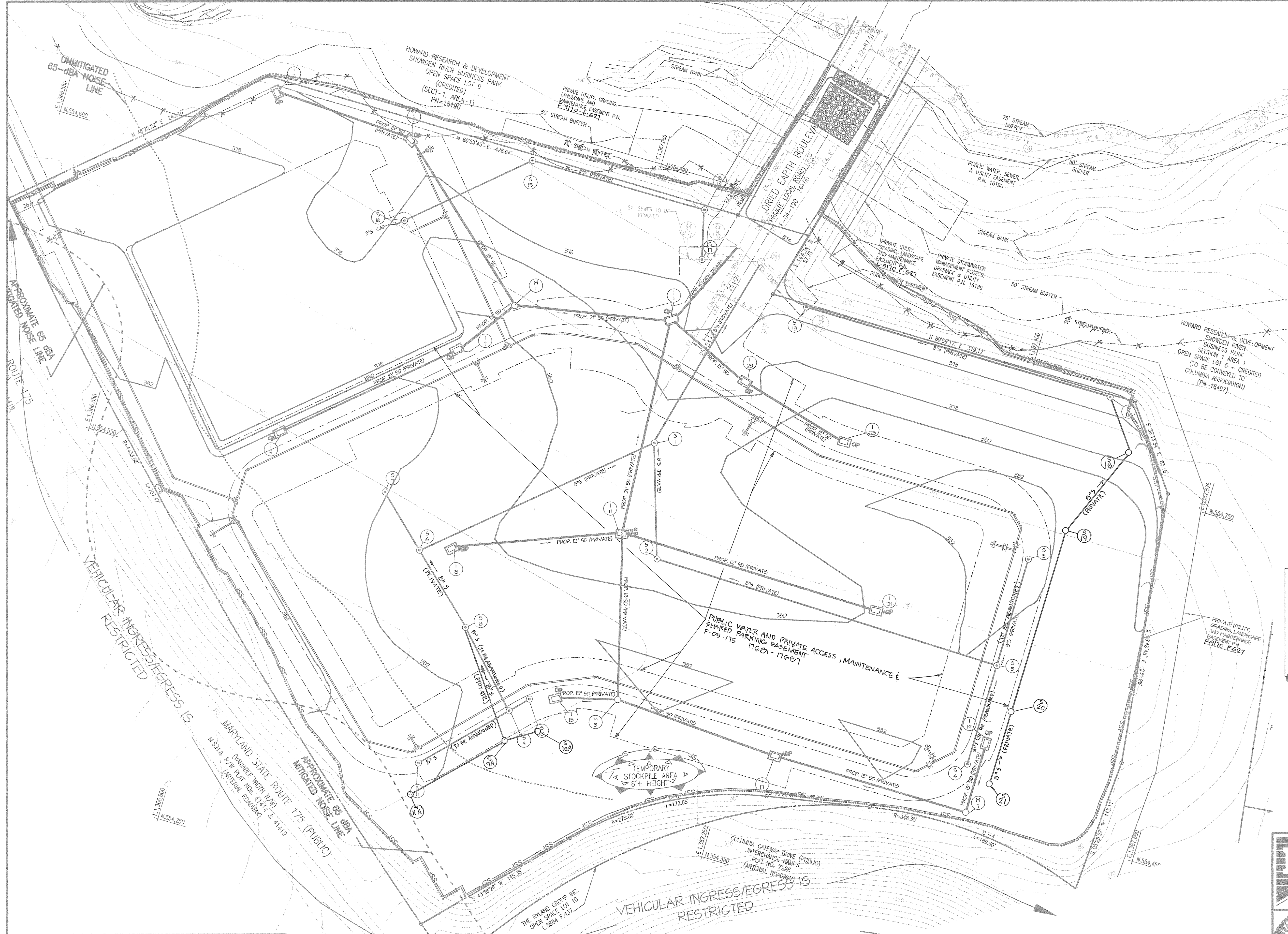
CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE *2/16/05*

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE *2/16/05*

DIRECTOR *[Signature]* DATE *2/16/05*

THIS PLAN IS TO BE USED FOR SEDIMENT CONTROL PURPOSES ONLY.

SDP. 05 037



LEGEND

- 280 PROPOSED 10' CONTOUR
- 258 PROPOSED 2' CONTOUR
- 3366 PROPOSED SPOT ELEVATIONS
- FF= 392.93 FINISHED FLOOR ELEVATION
- BF= 372.93 BASEMENT FLOOR ELEVATION
- TEMPORARY STOCKPILE AREA
- PROPOSED TEMP. CONST. ENTRANCE
- PROPOSED INLET PROTECTION
- PROPOSED LIMIT OF DISTURBANCE
- SSP PROPOSED SUPER SILT FENCE
- 8" S PROPOSED PUBLIC SANITARY SEWER
- 15" RCP PROPOSED PRIVATE STORM DRAIN

NOTE: A DOUBLE ROW OF 'SUPER' SILT FENCE TO BE PROVIDED ALONG THE PORTION OF L.O.D. THAT FRONTS THE STREAM AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR.

APPROVED
DATE 04/13/05

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim M... 8/5/05
DATE

MDA - NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Redman 8/5/05
DATE

HOWARD SCD

DIVNER/DEVELOPER/APPLICANT	FAX NO: (410) 480-0543
A. NAME: BRIAN KNAUFF	B. DAYTIME TELEPHONE: (410) 480-2467
C. COMPANY: THE RYLAND GROUP, INC.	
D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260	
E. CITY: ELLICOTT CITY	STATE: MD ZIP: 21043

SHEET: C-13

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-9792 or (301) 776-1690
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SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
AGE RESTRICTED ADULT HOUSING
SEDIMENT & EROSION CONTROL
PHASE I
L 5285 F. 330

ZONED: NT TAX MAP: 37 ORD: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 365)
ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

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9-24-06	REVISED PRIVATE SANITARY SEWER	REVIEW BY: PVM
		SHEET: 13 OF 19

ROAD GRADES SHOWN ARE FOR SUBGRADE

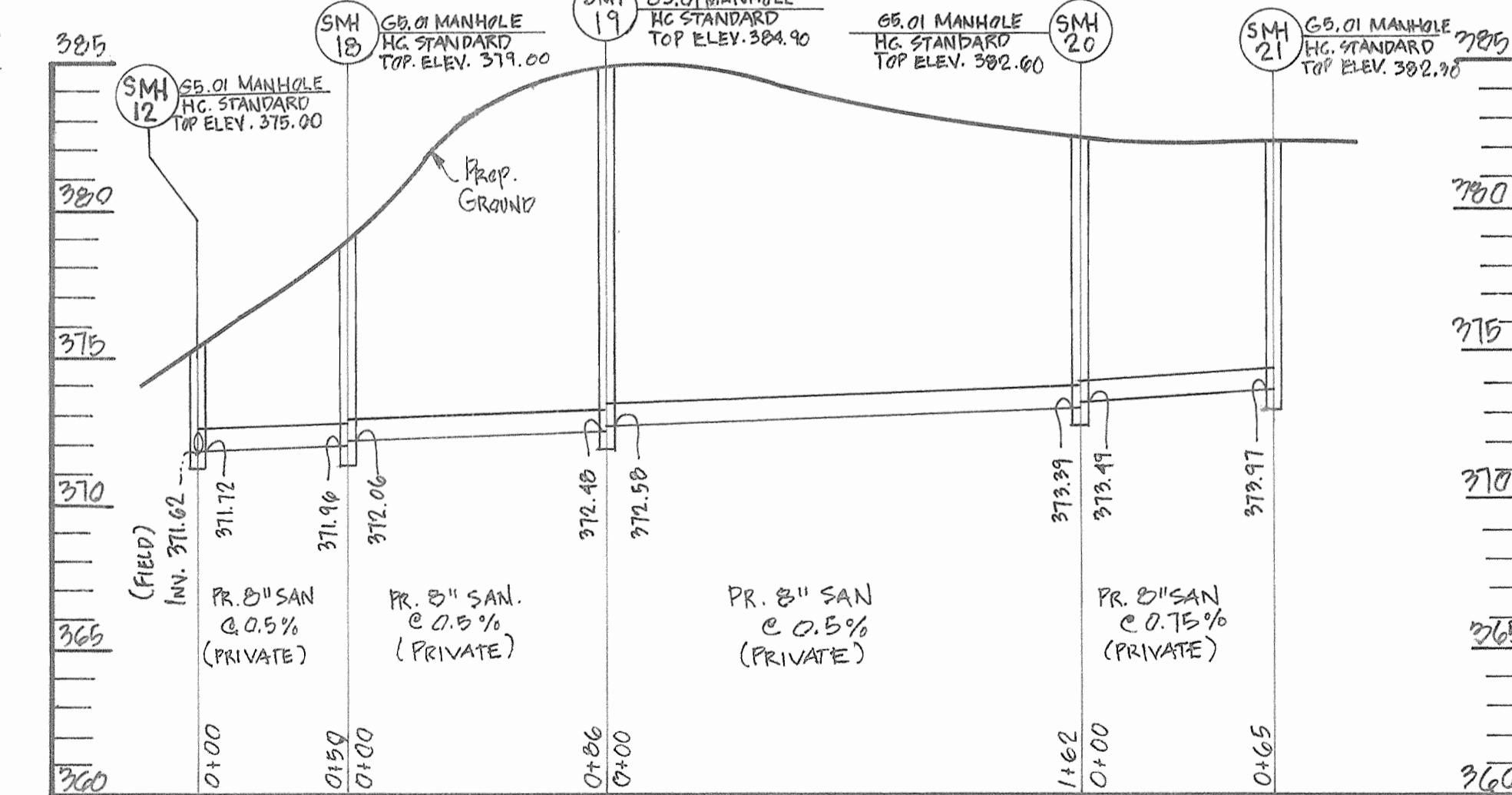
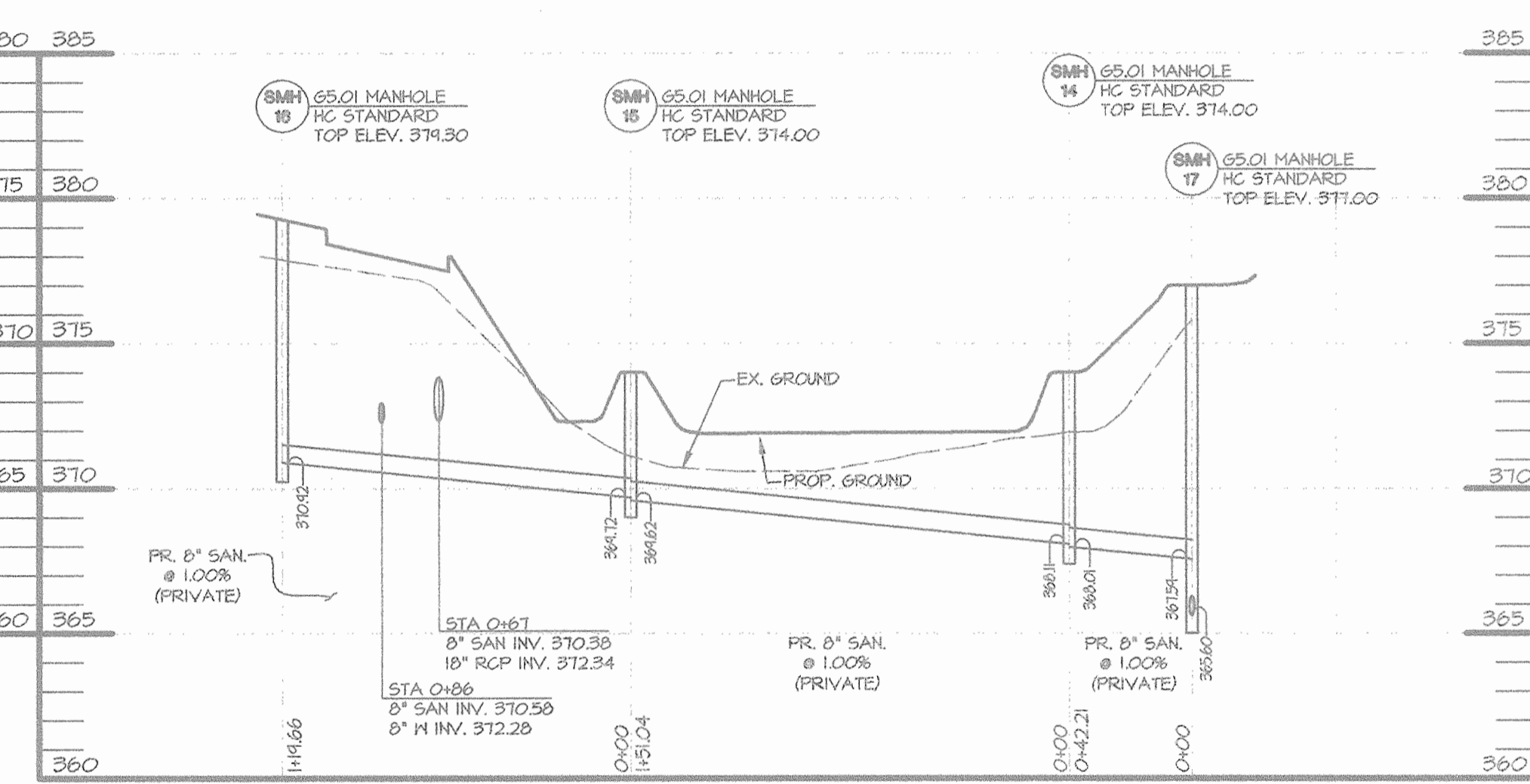
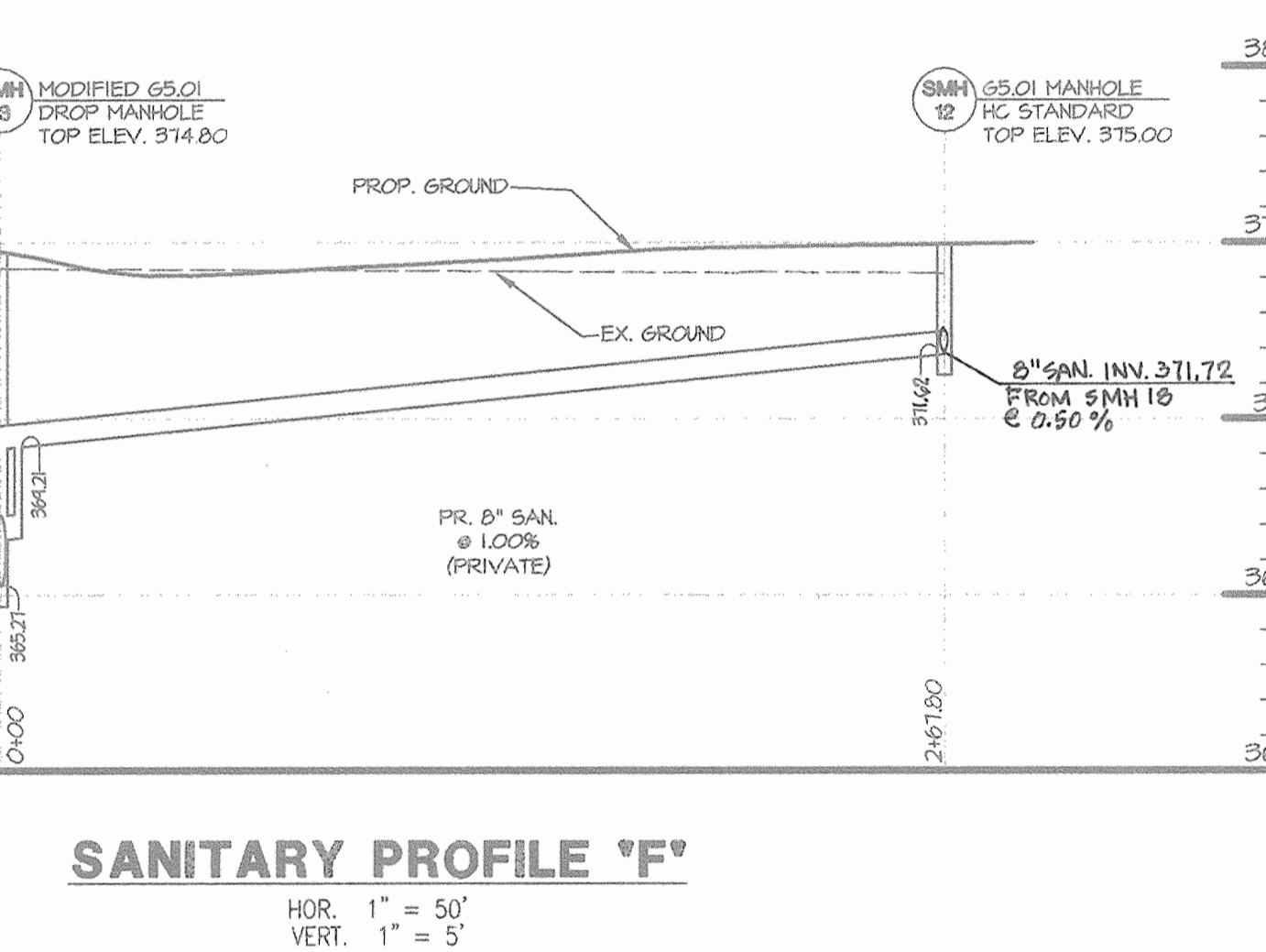
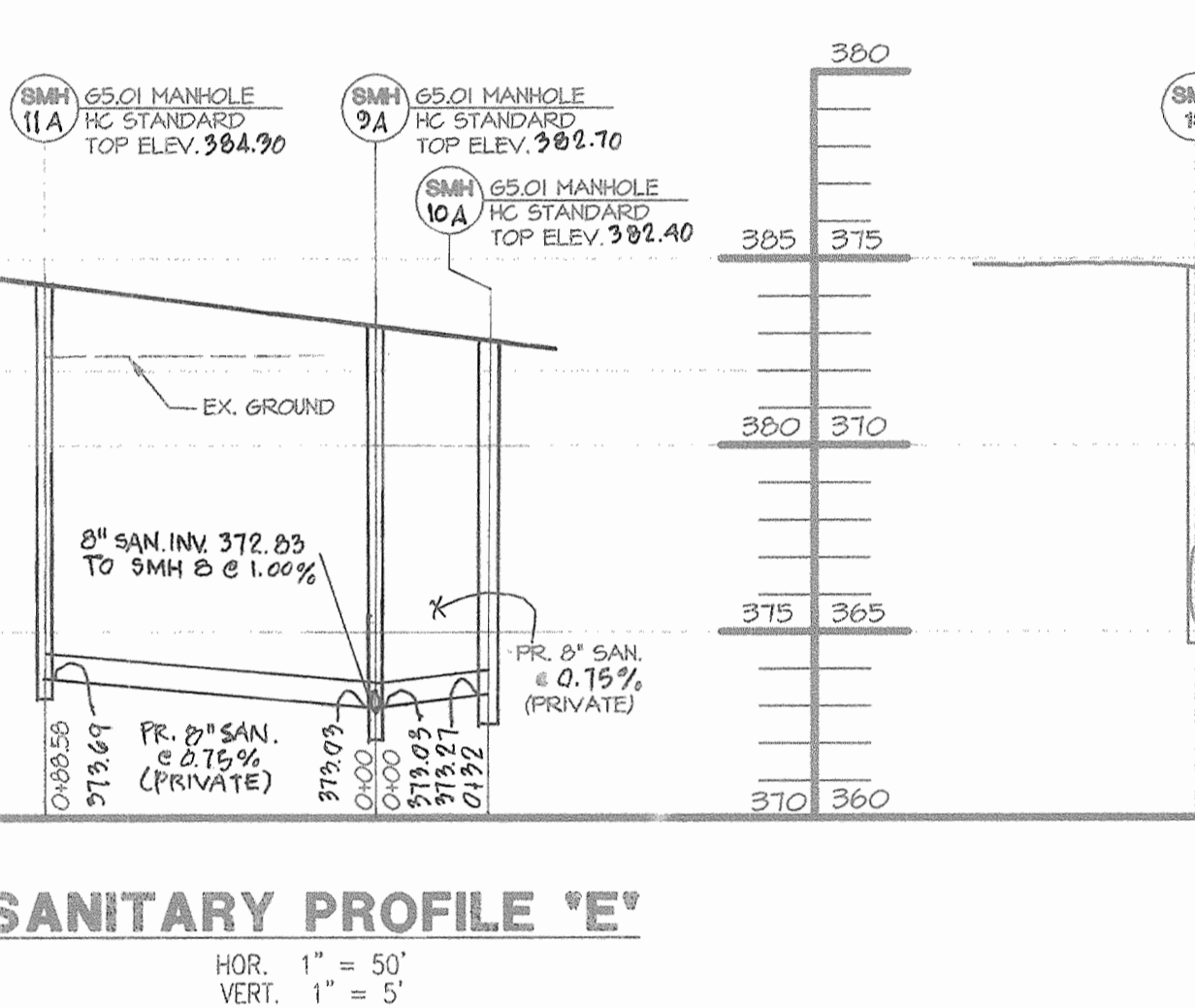
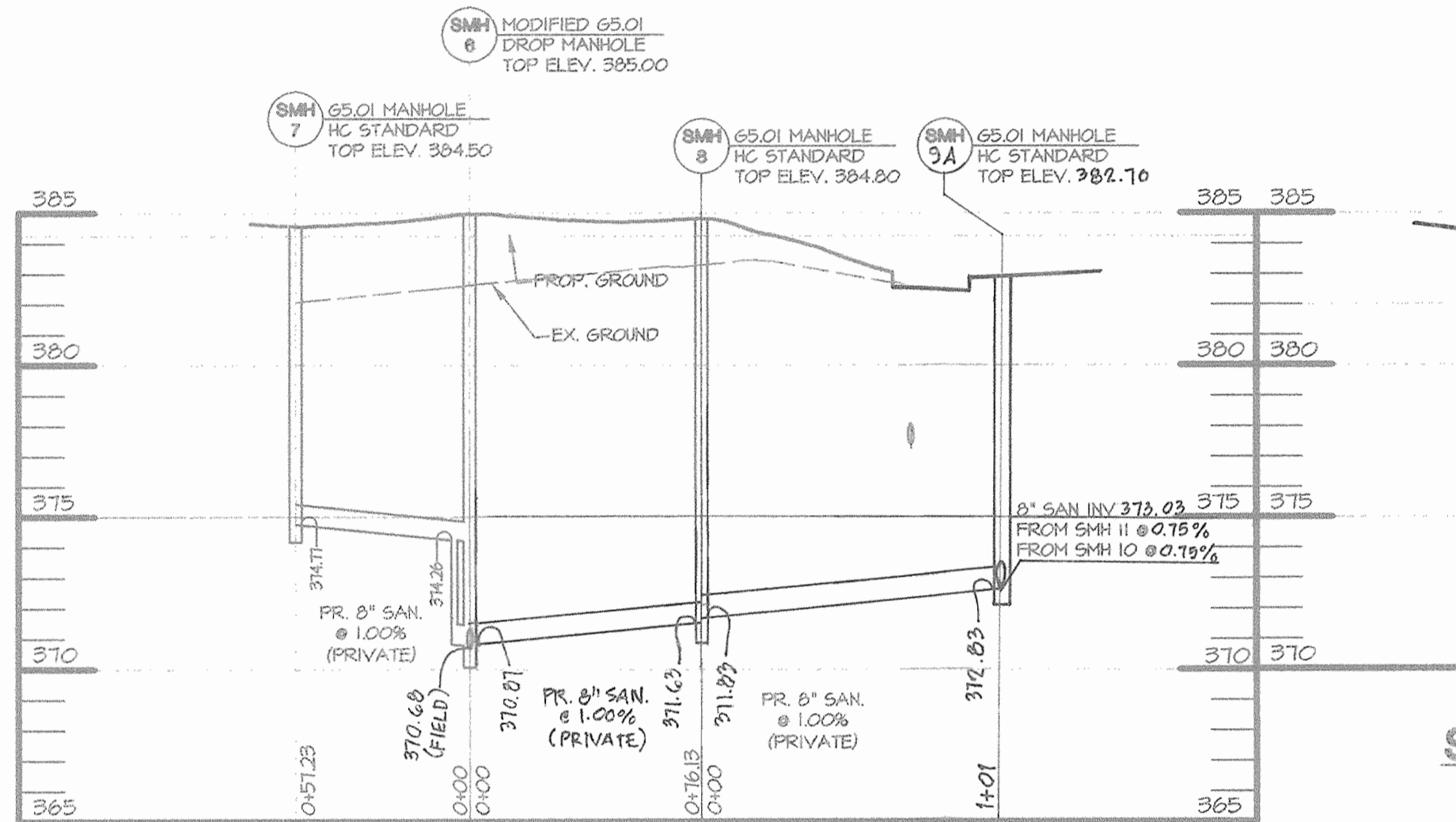
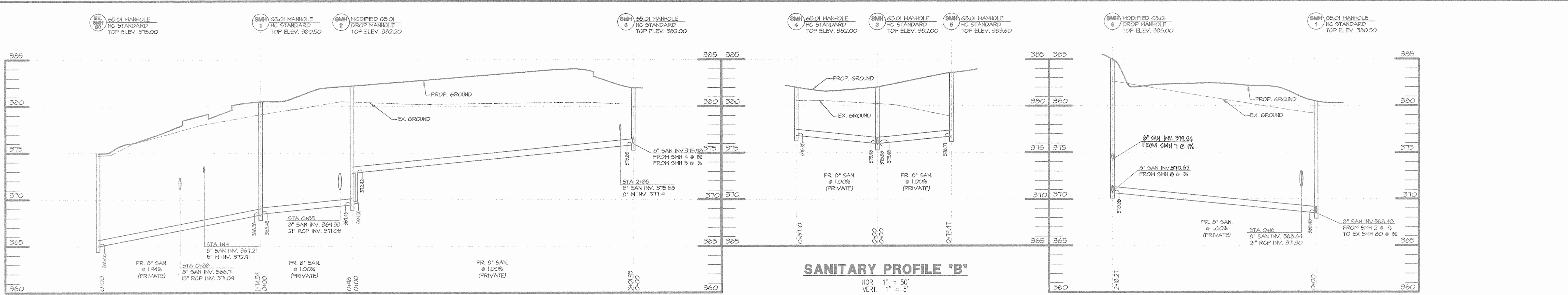
THIS PLAN IS TO BE USED FOR SEDIMENT CONTROL PURPOSES ONLY.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chris Kanath 9/26/05
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mark K. ... 3/6/05
DIRECTOR DATE

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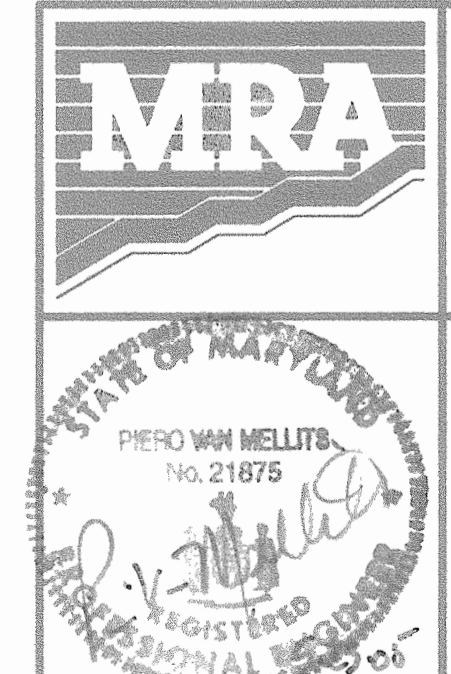
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SMH-19	384.90	372.58	---	372.48	"	554,701	1,367,464
SMH-20	382.60	373.49	---	373.39	"	554,539	1,367,464
SMH-21	382.30	---	---	373.97	"	554,474	1,367,464

STR. NO.	TOP ELEV.	INV. IN	INV. IN	INV. OUT	TYPE	REMARKS	NORTHING	EASTING
SMH-1	380.50	368.48	---	368.38	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,674	1,367,112
SMH-2	382.20	372.92	---	369.46	MODIFIED G5.01 DROP MANHOLE		554,581	1,367,142
SMH-3	382.00	375.98	375.98	375.88	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,575	1,367,443
SMH-4	382.00	---	---	376.85	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,489	1,367,443
SMH-5	383.60	---	---	376.17	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,656	1,367,443
SMH-6	385.00	374.26	374.26	370.68	MODIFIED G5.01 DROP MANHOLE		554,531	1,366,947
SMH-7	384.50	---	---	374.77	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,570	1,366,905
SMH-8	384.80	371.83	---	371.63	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,479	1,367,003
SMH-9A	382.70	373.03	373.03	372.83	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,395	1,367,060
SMH-10A	382.40	---	---	373.27	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,412	1,367,086
SMH-11A	384.30	---	---	373.69	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,328	1,367,997
SMH-12	375.00	371.72	---	371.62	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,821	1,367,470
SMH-13	374.80	369.21	---	365.27	MODIFIED G5.01 DROP MANHOLE		554,821	1,367,202
SMH-14	374.00	368.11	---	368.01	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,875	1,367,096
SMH-15	374.00	369.72	---	369.62	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,874	1,366,945
SMH-16	379.30	---	---	370.92	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,795	1,366,855
SMH-17	377.00	367.59	---	365.60	STD. SAN MANHOLE, HC DETAIL STD. DETAIL G5.01		554,835	1,367,106

SIZE	TYPE	LENGTH
8"	PVC SDR-35	1,861.71'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/2/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 9/2/05
 DIRECTOR
 DATE: 9/2/05

OWNER/DEVELOPER/APPLICANT: _____ FAX NO: (410) 480-0542
 A. NAME: BRIAN KNAUFF B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043



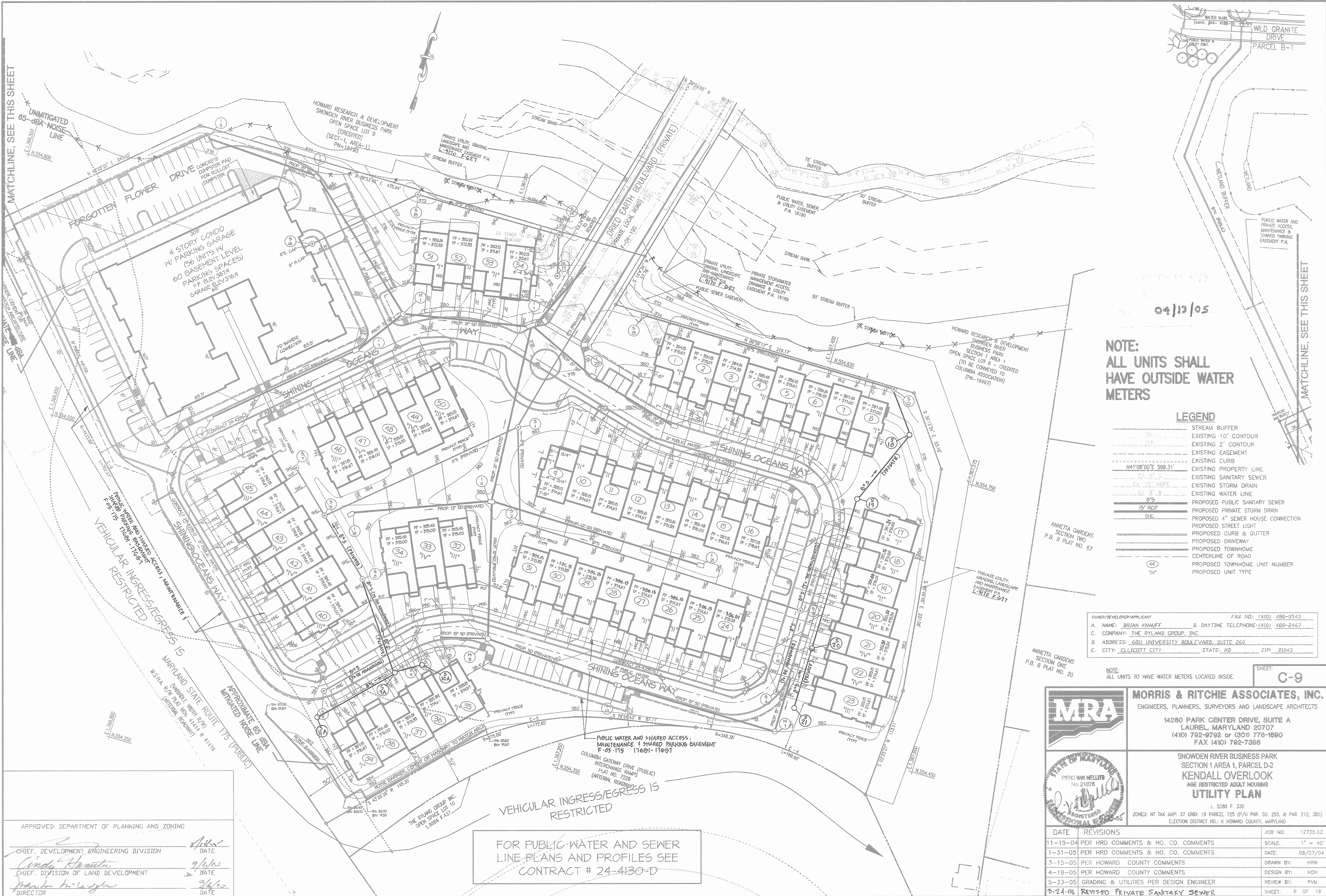
MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7396

SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
SANITARY PROFILES
 L 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: AS SHOWN
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: KSZ/KH
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KSZ/KH
9-24-06	REVISED PRIVATE SANITARY SEWER	REVIEW BY: PVM
		SHEET: 12 OF 19

SOP-05-037

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT



04/13/05

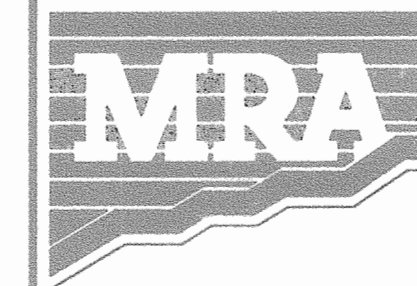
NOTE:
ALL UNITS SHALL
HAVE OUTSIDE WATER
METERS

LEGEND

	STREAM BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING EASEMENT
	EXISTING CURB
	EXISTING PROPERTY LINE
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	PROPOSED PUBLIC SANITARY SEWER
	PROPOSED PRIVATE STORM DRAIN
	PROPOSED 4" SEWER HOUSE CONNECTION
	PROPOSED STREET LIGHT
	PROPOSED CURB & GUTTER
	PROPOSED DRIVEWAY
	PROPOSED TOWNHOME
	CENTERLINE OF ROAD
	PROPOSED TOWNHOME UNIT NUMBER
	PROPOSED UNIT TYPE

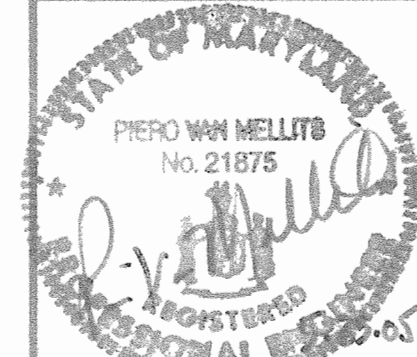
OWNER/DEVELOPER/APPLICANT
 A. NAME: BRIAN KHAUFF
 B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

NOTE: ALL UNITS TO HAVE WATER METERS LOCATED INSIDE.



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395



SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
UTILITY PLAN
 L 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.	SCALE:
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02	1" = 40'
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	DATE:	08/27/04
3-15-05	PER HOWARD COUNTY COMMENTS	DRAWN BY:	HRW
4-19-05	PER HOWARD COUNTY COMMENTS	DESIGN BY:	KDH
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	REVIEW BY:	PVM
3-24-06	REVISED PRIVATE SANITARY SEWER	SHEET:	9 OF 19

FOR PUBLIC WATER AND SEWER
 LINE PLANS AND PROFILES SEE
 CONTRACT # 24-4130-D

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Andy Hanita
 CHIEF, DIVISION OF LAND DEVELOPMENT
Paul K. Wynn
 DIRECTOR

DATE: 9/2/05
 DATE: 9/2/05

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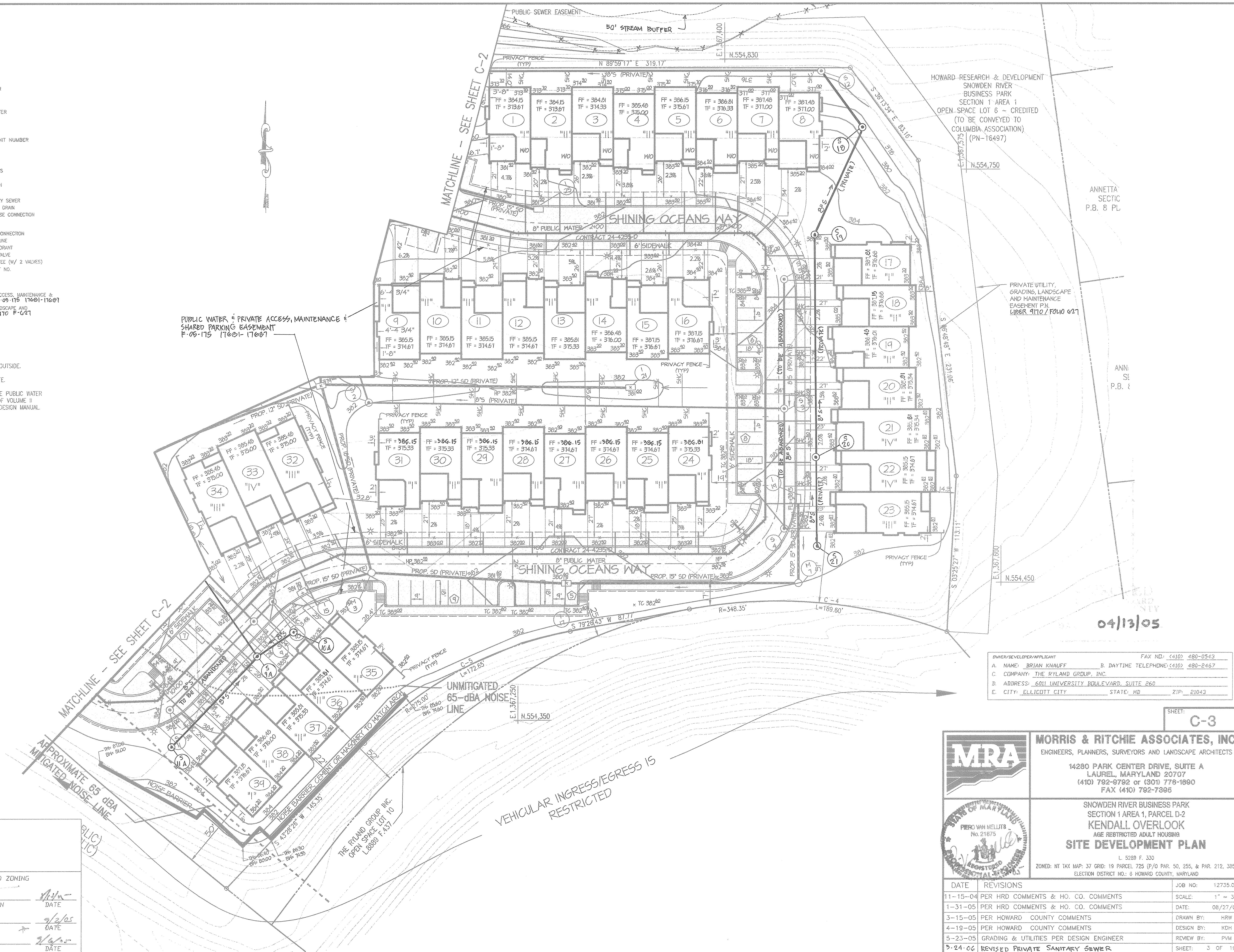
LEGEND

- STREAM BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING EASEMENT
- EXISTING CURB
- EXISTING PROPERTY LINE
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING WATER LINE
- PROPOSED CURB & GUTTER
- PROPOSED DRIVEWAY
- PROPOSED TOWNHOME CENTERLINE OF ROAD
- PROPOSED TOWNHOME UNIT NUMBER
- PROPOSED UNIT TYPE
- 260 PROPOSED 10' CONTOUR
- 258 PROPOSED 2' CONTOUR
- 259 PROPOSED SPOT ELEVATIONS
- FINISHED FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- PROPOSED PUBLIC SANITARY SEWER
- PROPOSED PRIVATE STORM DRAIN
- PROPOSED 4" SEWER HOUSE CONNECTION
- PROPOSED STREET LIGHT
- PROPOSED WATER HOUSE CONNECTION
- PROPOSED PUBLIC WATER LINE
- PROPOSED PUBLIC FIRE HYDRANT
- PROPOSED PUBLIC WATER VALVE
- PROPOSED PUBLIC WATER TEE (W/ 2 VALVES)
- PROPOSED FITTING/HYDRANT NO.

- PUBLIC WATER AND PRIVATE ACCESS, MAINTENANCE & SHARED PARKING EASEMENT F-05-115 (17001-17007)
- PRIVATE UTILITY, GRADING, LANDSCAPE AND MAINTENANCE EASEMENT L-9170 F-621

- NOTES:**
- ALL UNITS TO HAVE WATER METERS LOCATED OUTSIDE.
 - TRASH REMOVAL FOR ALL SFA WILL BE PRIVATE.
 - THE REQUIRED STRUCTURE SETBACK FROM THE PUBLIC WATER EASEMENT IS 10 FEET PER SECTION 5-4.8.5 OF VOLUME II OF THE HOWARD COUNTY WATER AND SEWER DESIGN MANUAL.

PUBLIC WATER & PRIVATE ACCESS, MAINTENANCE & SHARED PARKING EASEMENT F-05-115 (17001-17007)



04/13/05

OWNER/DEVELOPER/APPLICANT: B. KNAUFF
 A. NAME: B. KNAUFF
 B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

SHEET: C-3



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1890
 FAX (410) 792-7395



SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
SITE DEVELOPMENT PLAN

L 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: 1" = 30'
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: HRW
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
8-24-06	REVISED PRIVATE SANITARY SEWER	REVIEW BY: PVM

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 9/26/05

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 9/26/05

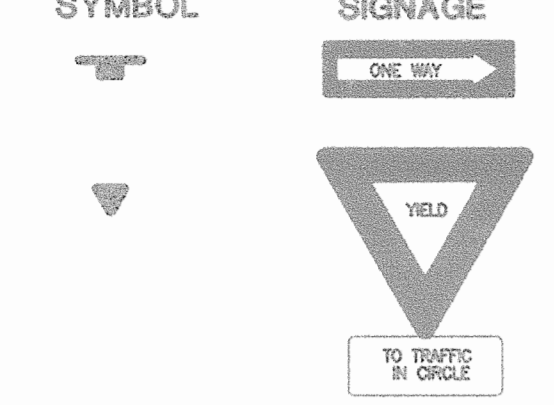
DIRECTOR: *[Signature]* DATE: 9/26/05

VEHICULAR INGRESS/EGRESS IS RESTRICTED

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ROUNDBOUT TRAFFIC CONTROL LEGEND



LEGEND

- PUBLIC WATER AND PRIVATE ACCESS, MAINTENANCE & SHARED PARKING EASEMENT. F-05-175 17601-17607
- PRIVATE UTILITY, GRADING, LANDSCAPE AND MAINTENANCE EASEMENT L-9170 F-027
- PROPOSED CURB & GUTTER
- PROPOSED DRIVEWAY
- PROPOSED TOWNHOME
- CENTERLINE OF ROAD
- ④ PROPOSED TOWNHOME UNIT NUMBER
- "V" PROPOSED UNIT TYPE
- 250 PROPOSED 10' CONTOUR
- 258 PROPOSED 2' CONTOUR
- 300, 304, 308, 312, 316, 320, 324, 328, 332, 336, 340, 344, 348, 352, 356, 360, 364, 368, 372, 376, 380, 384, 388, 392, 396, 400, 404, 408, 412, 416, 420, 424, 428, 432, 436, 440, 444, 448, 452, 456, 460, 464, 468, 472, 476, 480, 484, 488, 492, 496, 500, 504, 508, 512, 516, 520, 524, 528, 532, 536, 540, 544, 548, 552, 556, 560, 564, 568, 572, 576, 580, 584, 588, 592, 596, 600, 604, 608, 612, 616, 620, 624, 628, 632, 636, 640, 644, 648, 652, 656, 660, 664, 668, 672, 676, 680, 684, 688, 692, 696, 700, 704, 708, 712, 716, 720, 724, 728, 732, 736, 740, 744, 748, 752, 756, 760, 764, 768, 772, 776, 780, 784, 788, 792, 796, 800, 804, 808, 812, 816, 820, 824, 828, 832, 836, 840, 844, 848, 852, 856, 860, 864, 868, 872, 876, 880, 884, 888, 892, 896, 900, 904, 908, 912, 916, 920, 924, 928, 932, 936, 940, 944, 948, 952, 956, 960, 964, 968, 972, 976, 980, 984, 988, 992, 996, 1000
- 2" S PROPOSED SPOT ELEVATIONS
- 2" B PROPOSED FINISHED FLOOR ELEVATION
- 2" B PROPOSED BASEMENT FLOOR ELEVATION
- 2" S PROPOSED PUBLIC SANITARY SEWER
- 2" B PROPOSED PRIVATE STORM DRAIN
- 4" S PROPOSED 4" SEWER HOUSE CONNECTION
- 2" S PROPOSED STREET LIGHT
- 2" S PROPOSED WATER HOUSE CONNECTION
- 2" B PROPOSED PROPOSED PUBLIC WATER LINE
- 2" B PROPOSED PROPOSED PUBLIC FIRE HYDRANT
- 2" B PROPOSED PROPOSED PUBLIC WATER VALVE
- 2" B PROPOSED PROPOSED PUBLIC WATER TEE (W/ 2 VALVES)
- 2" B PROPOSED PROPOSED FITTING/HYDRANT NO.

- NOTES:**
1. ALL UNITS TO HAVE WATER METERS LOCATED OUTSIDE.
 2. TRASH REMOVAL FOR ALL SFA UNITS WILL BE PRIVATE.

04/13/05

NOTE:
ALL UNITS TO HAVE WATER METERS LOCATED OUTSIDE.

OWNER/DEVELOPER/APPLICANT		FAX NO: (410) 480-0543
A. NAME: BRIAN KNAUFF	B. DAYTIME TELEPHONE: (410) 480-2467	
C. COMPANY: THE RYLAND GROUP, INC.		
D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260		
E. CITY: ELLICOTT CITY	STATE: MD	ZIP: 21043

SHEET: **C-2**

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-9792 or (301) 776-1690
FAX (410) 792-7395

SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
AGE RESTRICTED ADULT HOUSING
SITE DEVELOPMENT PLAN

L. 5289 F. 330
ZONED: HT TAX MAP: 37 GRID: 19 PARCEL: 725 (P/O PAR. 50, 255, & PAR. 212, 385)
ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:	SCALE:
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02	1" = 30'
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS		DATE: 08/27/04
3-15-05	PER HOWARD COUNTY COMMENTS		DRAWN BY: HRW
4-19-05	PER HOWARD COUNTY COMMENTS		DESIGN BY: KDH
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER		REVIEW BY: PVM
7-24-06	REVISED PRIVATE SANITARY SEWER		SHEET: 2 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE: 11/15/04

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE: 9/2/05

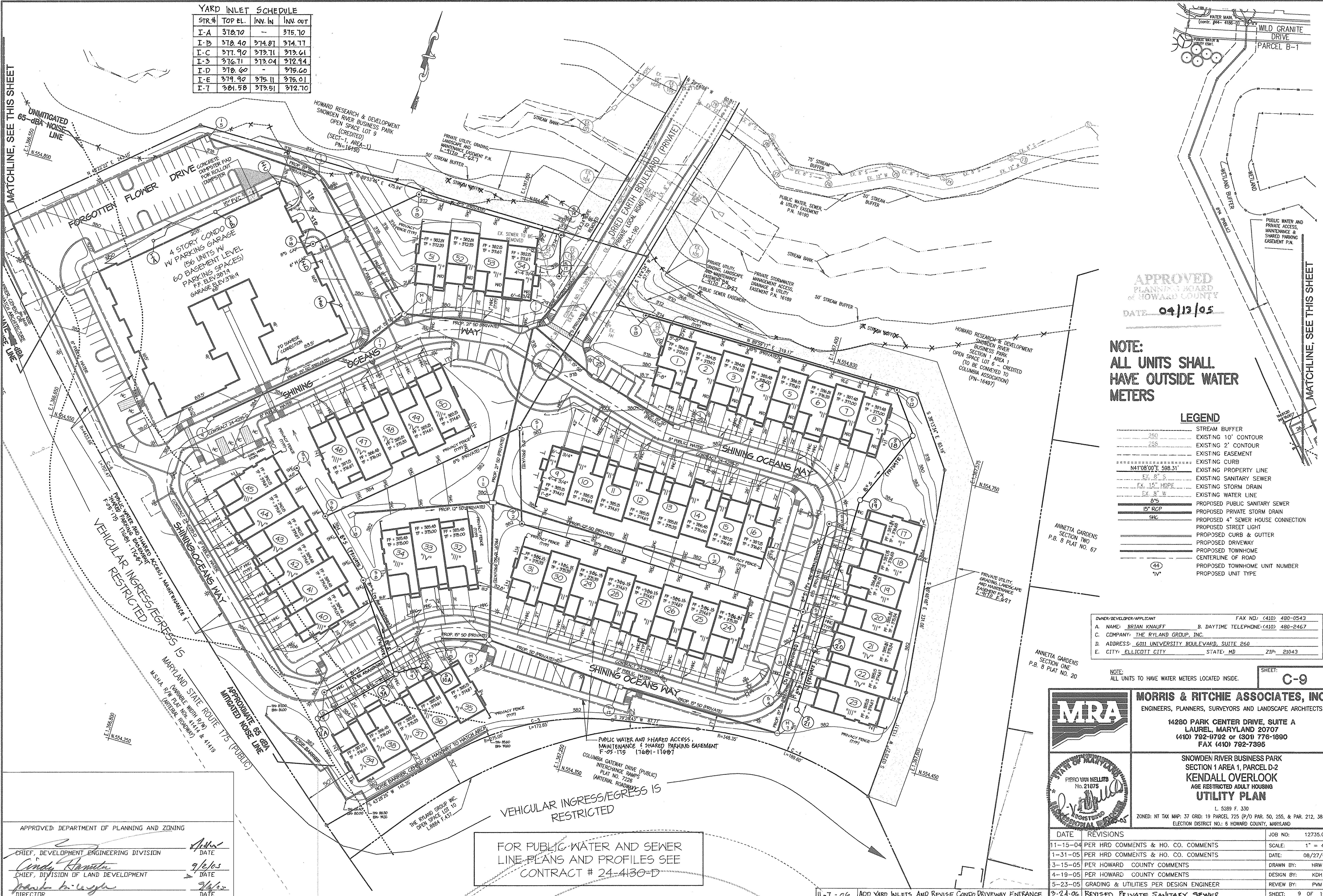
DIRECTOR *[Signature]* DATE: 3/6/05

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SDP-05-037

YARD INLET SCHEDULE

STR.#	TOP EL.	INV. IN	INV. OUT
I-A	318.70	-	315.10
I-B	318.40	314.81	314.11
I-C	317.90	313.11	313.61
I-3	316.11	313.04	312.14
I-D	318.60	-	315.60
I-E	319.90	315.11	315.01
I-7	321.58	313.51	312.10



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 04/13/05

NOTE:
ALL UNITS SHALL
HAVE OUTSIDE WATER
METERS

LEGEND

	STREAM BUFFER
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	EXISTING EASEMENT
	EXISTING CURB
	EXISTING PROPERTY LINE
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING WATER LINE
	PROPOSED PUBLIC SANITARY SEWER
	PROPOSED PRIVATE STORM DRAIN
	PROPOSED 4\"/>
	PROPOSED STREET LIGHT
	PROPOSED CURB & GUTTER
	PROPOSED DRIVEWAY
	PROPOSED TOWNHOME CENTERLINE OF ROAD
	PROPOSED TOWNHOME UNIT NUMBER
	PROPOSED UNIT TYPE

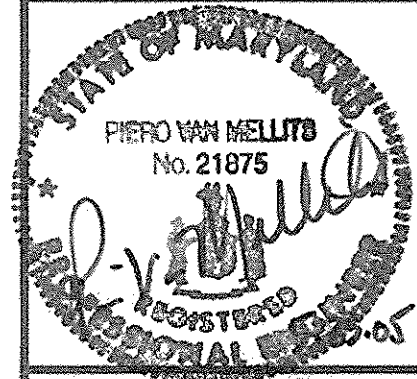
OWNER/DEVELOPER/APPLICANT: B. DAYTIME TELEPHONE: (410) 480-2467
 A. NAME: BRIAN KNAUFF
 B. COMPANY: THE RYLAND GROUP, INC.
 C. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260
 D. CITY: ELLICOTT CITY STATE: MD ZIP: 21043
 E. FAX NO: (410) 480-0543

NOTE: ALL UNITS TO HAVE WATER METERS LOCATED INSIDE.
 SHEET: C-9



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395



SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
UTILITY PLAN
 L. 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL: 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.	SCALE
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02	1" = 40'
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS		DATE: 08/27/04
3-15-05	PER HOWARD COUNTY COMMENTS		DRAWN BY: HRW
4-19-05	PER HOWARD COUNTY COMMENTS		DESIGN BY: KDM
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER		REVIEW BY: PVM
9-24-06	REVISED PRIVATE SANITARY SEWER		SHEET: 9 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/6/05
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 9/6/05
 DIRECTOR

FOR PUBLIC WATER AND SEWER
 LINE PLANS AND PROFILES SEE
 CONTRACT # 24-4130-D

11-7-06 ADD YARD INLETS AND REVISE CONDO DRIVEWAY ENTRANCE

SOP-05-037

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ADDRESS CHART			
UNIT NO.	STREET ADDRESS	UNIT NO.	STREET ADDRESS
1	8998 SHINING OCEANS WAY	29	8857 SHINING OCEANS WAY
2	8896 SHINING OCEANS WAY	30	8855 SHINING OCEANS WAY
3	8894 SHINING OCEANS WAY	31	8853 SHINING OCEANS WAY
4	8892 SHINING OCEANS WAY	32	8849 SHINING OCEANS WAY
5	8890 SHINING OCEANS WAY	33	8847 SHINING OCEANS WAY
6	8888 SHINING OCEANS WAY	34	8845 SHINING OCEANS WAY
7	8886 SHINING OCEANS WAY	35	8843 SHINING OCEANS WAY
8	8884 SHINING OCEANS WAY	36	8841 SHINING OCEANS WAY
9	8882 SHINING OCEANS WAY	37	8839 SHINING OCEANS WAY
10	8880 SHINING OCEANS WAY	38	8837 SHINING OCEANS WAY
11	8878 SHINING OCEANS WAY	39	8835 SHINING OCEANS WAY
12	8876 SHINING OCEANS WAY	40	8833 SHINING OCEANS WAY
13	8874 SHINING OCEANS WAY	41	8831 SHINING OCEANS WAY
14	8872 SHINING OCEANS WAY	42	8829 SHINING OCEANS WAY
15	8870 SHINING OCEANS WAY	43	8827 SHINING OCEANS WAY
16	8868 SHINING OCEANS WAY	44	8825 SHINING OCEANS WAY
17	8866 SHINING OCEANS WAY	45	8823 SHINING OCEANS WAY
18	8864 SHINING OCEANS WAY	46	8821 SHINING OCEANS WAY
19	8862 SHINING OCEANS WAY	47	8819 SHINING OCEANS WAY
20	8860 SHINING OCEANS WAY	48	8817 SHINING OCEANS WAY
21	8858 SHINING OCEANS WAY	49	8815 SHINING OCEANS WAY
22	8856 SHINING OCEANS WAY	50	8813 SHINING OCEANS WAY
23	8854 SHINING OCEANS WAY	51	8811 SHINING OCEANS WAY
24	8852 SHINING OCEANS WAY	52	8809 SHINING OCEANS WAY
25	8850 SHINING OCEANS WAY	53	8807 SHINING OCEANS WAY
26	8848 SHINING OCEANS WAY	54	8805 SHINING OCEANS WAY
27	8846 SHINING OCEANS WAY (CONDO)	9000	FORDGOTTEN FLOWER DRIVE
28	8859 SHINING OCEANS WAY		

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND MSHA STANDARDS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT (800) 257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY AND BOUNDARY INFORMATION WERE PROVIDED BY PLANS PREPARED BY GUTSCHICK LITTLE & WEBER, P.A.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS NOS. 37GB, 37GC AND 37DA WERE USED FOR THIS PROJECT.
- EXISTING WATER IS PUBLIC (CONTRACT NO. 24-3858-D, LITTLE PATUXENT).
- EXISTING SEWER IS PUBLIC (CONTRACT NO. 24-3858-D, LITTLE PATUXENT).
- STORMWATER MANAGEMENT FOR THIS SITE WAS INCLUDED IN THE DESIGN FOR THE SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A' THRU 'D', & LOTS 1 THRU 5. DRAINAGE FROM PARCEL C-1 IS TREATED IN THREE FACILITIES. FACILITY 1 IS A DETENTION FACILITY (DRY POND) LOCATED ON OPEN SPACE LOT 9, WHICH IS TO BE DEDICATED TO THE COLUMBIA ASSOCIATION FOR PUBLIC MAINTENANCE. FACILITY 2 IS THE SAME AS FACILITY 1, LOCATED ON OPEN SPACE LOT 8. FACILITY 3 IS A DETENTION/RETENTION FACILITY (WET POND) ON OPEN SPACE LOT 6 TO BE CONVEYED TO COLUMBIA ASSOCIATION AND PUBLICLY MAINTAINED. SUBDIVISION PLAN FILE NUMBER F-01-142.
- EXISTING UTILITY INFORMATION WAS PROVIDED BY PLANS PREPARED BY GUTSCHICK, LITTLE & WEBER, P.A. APPROVED BY HOWARD COUNTY, DPZ REFERENCE NUMBER F-01-142 AND CONTRACT NO. 24-3858-D.
- THERE ARE NO FLOODPLAINS ON THIS SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- THE TRAFFIC STUDY PERFORMED BY WELLS AND ASSOCIATES APPROVED FOR THE FINAL PLAN WAS UPDATED FOR THIS PROJECT.
- DPZ REFERENCE NUMBERS:
 FDP-239 - SNOWDEN RIVER BUSINESS PARK SECTION 1 AREA 1 FINAL DEVELOPMENT PLAN (ALLOWS USE BY RIGHT)
 F-01-142 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A' THRU 'D' & LOTS 1 THRU 5 RECORDED AS PLAT NO. 15182 THRU 15188
 F-01-142 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A' THRU 'D' & LOTS 1 THRU 5 CONSTRUCTION PLAN
 F-04-15 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A-1', 'B-1', 'C-1', 'D-1', AND E & LOTS 6 THRU 10 RECORDED AS PLAT NO. 16185 THRU 16191 (RESUBDIVISION OF PLATS 15182 THRU 15188)
 F-04-73 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'C-1' AND E & LOTS 6 RECORDED AS PLAT NO. 16493 THRU 16498 (RESUBDIVISION OF PLATS 16185 THRU 16191)
 F-04-190 - SNOWDEN RIVER BUSINESS PARK SECTION 1, AREA 1, PARCELS 'A-2', 'D-2', & 'E-1' AND OPEN SPACE LOT 6
 CONTRACT NO. 24-4235-D PROPOSED PUBLIC WATER AND SEWER PLANS
 WP-03-110 - WAIVER PETITION FOR REDUCTION OF MINIMUM PUBLIC ROAD FRONTAGE
 F-05-175 - FN 176B-176B7
 16. STREET LIGHTS - SEE CONTRACTS
- TO THE BEST OF OUR KNOWLEDGE AND PER PUBLIC RECORD, NO CEMETERIES OR BURIAL GROUNDS EXIST ON-SITE.
- SPOT ELEVATIONS SHOWN FOR CURB ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- TRASH COLLECTION FOR THE SFA UNITS WILL BE PRIVATE.
- A GEOTECHNICAL STUDY WAS PREPARED BY GEO-TECHNOLOGY ASSOCIATES, INC. ON JANUARY 30, 2003.
- ALL CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES AT LEAST FIVE (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION BY VIRTUE OF THE FACT THAT IT IS PART OF THE COLUMBIA NEW TOWN, SUBDIVISION SECTION 16.120(b)(1)(iv), A PUD APPROVED PRIOR TO 12/31/92.
- ALL CURB RADIUS 5' UNLESS OTHERWISE NOTED.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A. WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE);
 B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/ TAR AND CHIP COATING (1-1/2" MIN.);
 C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;
 D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (425 LOADING);
 E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 F. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$75,570.00 HAS BEEN POSTED AS A PART OF THE DEVELOPER'S AGREEMENT.
- THIS PLAN HAS BEEN PREPARED TO MEET THE NEW TOWN "GUIDELINES FOR RESIDENTIAL PLANTING", PREPARED BY THE ROUSE COMPANY FOR COLUMBIA, MD.
- ARTICLES OF INCORPORATION FOR THE AGE RESTRICTED ADULT HOUSING COMMUNITY, THE KENDALL OVERLOOK CONDOMINIUM, INC. WERE RECORDED ON 12/16/03, RECORDING NUMBER(S) LIBER B00592 FOLIO 1660. THE KENDALL OVERLOOK DECLARATIONS WERE RECORDED ON 2/10/04.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION REGULATIONS.
- WAIVER PETITION, WP-03-110, WAS APPROVED BY THE PLANNING DIRECTOR ON SEPTEMBER 4, 2003. THE PETITION WAVES SECTIONS 16.120(c)(1) TO PERMIT THE REQUIRED MINIMUM PUBLIC ROAD FRONTAGE OF 60 FEET TO BE REDUCED TO ZERO FEET FOR COMMERCIAL, INDUSTRIAL OR APARTMENT PARCELS/LOTS, AND 16.121(e)(1) TO PERMIT THE REQUIRED MINIMUM PUBLIC ROAD FRONTAGE OF 40 FEET TO BE REDUCED TO ZERO FEET FOR OPEN SPACE LOTS. THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. SIDEWALKS AND STREET TREES SHALL BE PROVIDED ALONG BOTH SIDES AND THE CUL-DE-SAC OF THE PROPOSED PRIVATE ROAD SECTION.
 2. THE ENCLOSED SHA COMMENTS.
 3. PRIVATE ACCESS AND MAINTENANCE EASEMENTS SHALL PROVIDE VEHICULAR ACCESS TO ALL OF THE PARCELS AND OPEN SPACE LOTS THAT WILL NOT HAVE FRONTAGE ON THE PUBLIC ROAD.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. AGE RESTRICTION DOCUMENTS L-9341 F-131.
- RECORDATION NUMBERS FOR ALL LEGAL DOCUMENTS PERTAINING TO THIS PARCEL WILL BE PROVIDED PRIOR TO APPROVAL. IT IS UNDERSTOOD THAT FINAL APPROVAL OF THIS SDP IS SUBJECT TO THE DEVELOPER/OWNER FURNISHING THIS INFORMATION TO THE DEPARTMENT OF PLANNING AND ZONING.
- THE PRIVATE LANDSCAPE AND MAINTENANCE EASEMENTS SHOWN ON THIS PLAN WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PER SUBDIVISION SECTION 16.120(b)(9)(ii) THE REQUIRED STRUCTURE SETBACK FROM A PUBLIC WATER AND SEWER EASEMENT IS 10 FEET.
- IN ACCORDANCE WITH SUBDIVISION SECTION 16.116(c)(2), CLEARING, GRADING, THE REMOVAL OF VEGETATIVE COVER AND/OR DEVELOPMENT ARE NOT PERMITTED WITH THE REQUIRED 50' STREAM BUFFER.
- THE H.O.A. WILL BE RESPONSIBLE FOR THE UPKEEP AND MAINTENANCE OF OPEN SPACE LOT 10.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

8/10/05
 DATE

8/26/05
 DATE

8/16/05
 DATE

39. THE PRIVATE MAINTENANCE ACCESS ESM'T TO THE PUBLIC ROAD TO OPEN SPACE LOT 10 REQUIRED BY WP-03-110 IS NO LONGER NEEDED BECAUSE OF A CHANGE IN OWNERSHIP OF THE LOT. THE SNOWDEN OVERLOOK COMMUNITY ASSOC. WILL MAINTAIN THE LOT.

39. THIS SUBDIVISION IS SUBJECT TO SECTION 16.122(b) OF THE HOWARD COUNTY CODE. PUBLIC SEWER SERVICE HAS BEEN GRANTED UNDER THE TERMS AND PROVISIONS THEREOF EFFECTIVE 7-21-05, ON WHICH DATE DEVELOPER'S AGREEMENT NO. 24-4235-D WAS FILED AND ACCEPTED.

SITE DEVELOPMENT PLAN

SNOWDEN RIVER BUSINESS PARK

SECTION 1 AREA 1

PARCEL D-2

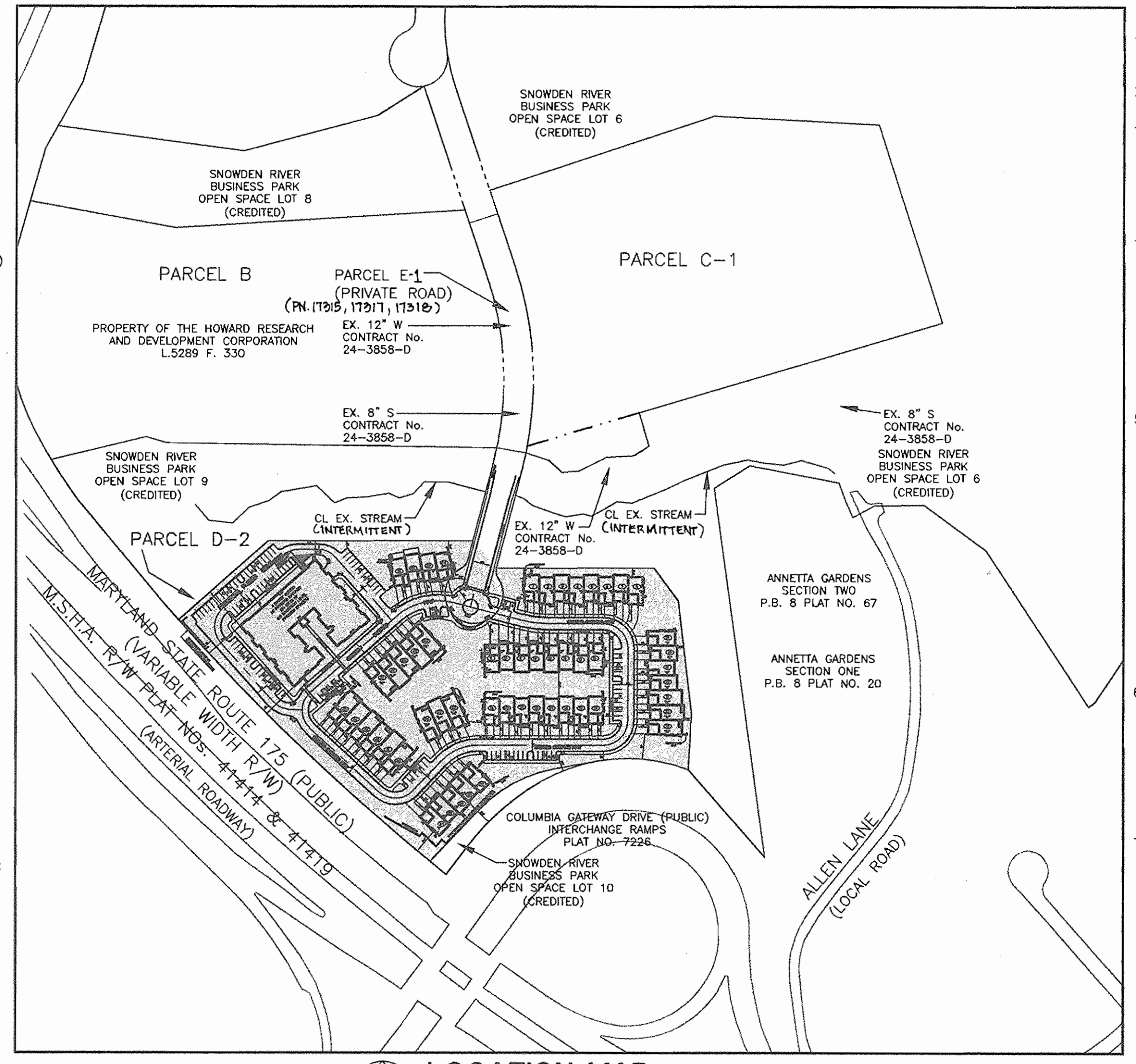
KENDALL OVERLOOK

6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

DOCUMENT RECORDING REFERENCES:

- H.O.A. ARTICLES OF INCORPORATION. FILING NUMBER: 1000361990060051
- SHARED ACCESS/PARKING EASEMENT ON DRIED EARTH BLVD. F-05-175 / 17601-17607
- MAINTENANCE AGREEMENT FOR THE PRIVATE SECTION OF DRIED EARTH BLVD. LIBER 0983 / FOLIO 426
- GRADING AND LANDSCAPE MAINTENANCE EASEMENTS. LIBER 9170 FOLIO 627
- PLAT RECORDING NO. F-05-175 / 17601-17607
- AGE RESTRICTION DOCUMENTS. LIBER 9341 FOLIO 131
- SNOWDEN OVERLOOK COMMUNITY ASSOC. INC. DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS L 0983 F-426; L 9310 F-211



LOCATION MAP
SCALE: 1"=200'

△ BENCHMARKS

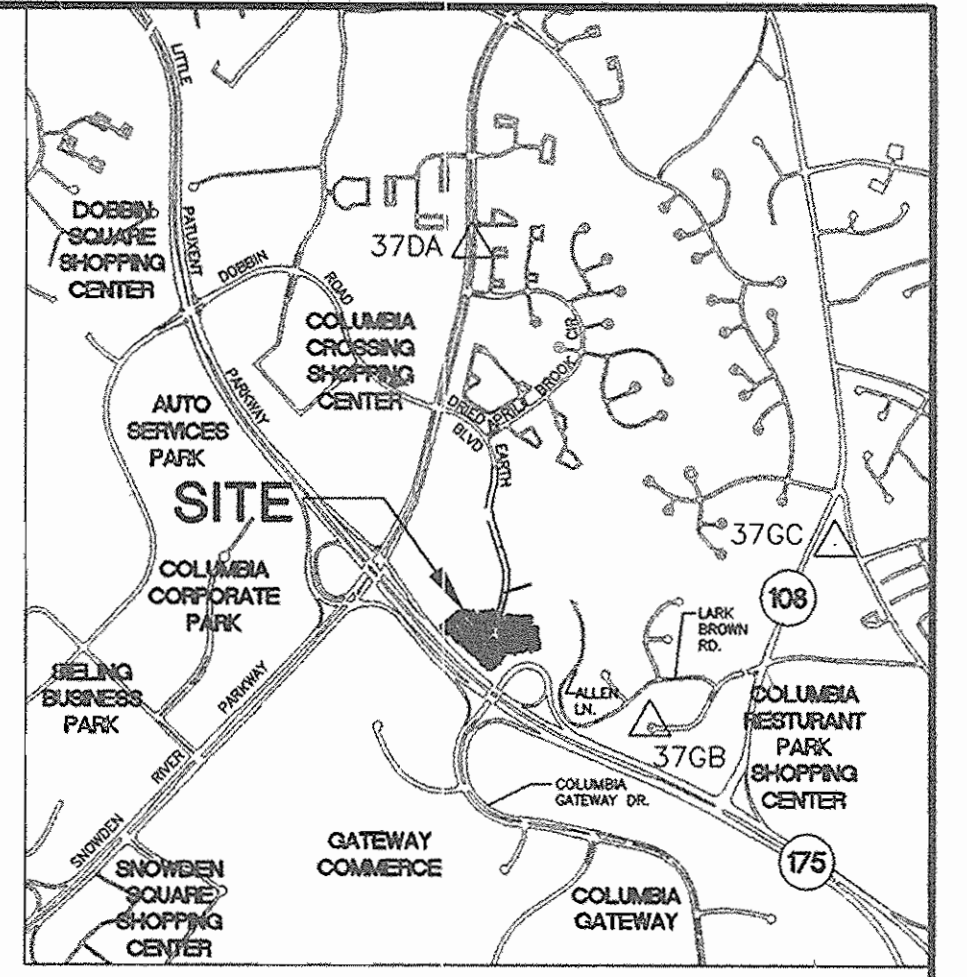
BENCHMARK # 37GB
 HOWARD COUNTY GEODETIC SURVEY CONTROL
 N 553,452.828 E 1,368,503.19 ELEVATION=325.233'

BENCHMARK # 37GC
 HOWARD COUNTY GEODETIC SURVEY CONTROL
 N 555,250.797 E 1,370,946.37 ELEVATION=331.192'

BENCHMARK # 37DA
 HOWARD COUNTY GEODETIC SURVEY CONTROL
 N 556,657.518 E 1,366,857.48 ELEVATION=379.786'

SHEET INDEX

- C-1 TITLE SHEET
- C-2 SITE DEVELOPMENT PLAN
- C-3 SITE DEVELOPMENT PLAN
- C-4 ARCHITECTURAL FOOTPRINTS AND ELEVATIONS
- C-5 SITE DETAILS
- C-6 PAVING PLAN
- C-7 ROAD PROFILES
- C-8 ROAD PROFILES
- C-9 UTILITY PLAN
- C-10 STORM DRAIN PROFILES
- C-11 STORM DRAIN PROFILES
- C-12 SANITARY PROFILES
- C-13 SEDIMENT & EROSION CONTROL PHASE I
- C-14 SEDIMENT & EROSION CONTROL PHASE II
- C-15 SEDIMENT & EROSION CONTROL NOTES & DETAILS
- C-16 SEDIMENT & EROSION CONTROL NOTES & DETAILS
- C-17 DRAINAGE AREA MAP
- C-18 LANDSCAPE PLAN
- C-19 LANDSCAPE DETAILS



VICINITY MAP

SCALE: 1" = 2,000'
 COPYRIGHT ADC THE MAP PEOPLE
 PERMITTED USE NO. 20602149
 MAP NO. 16 GRIDS E, I, O

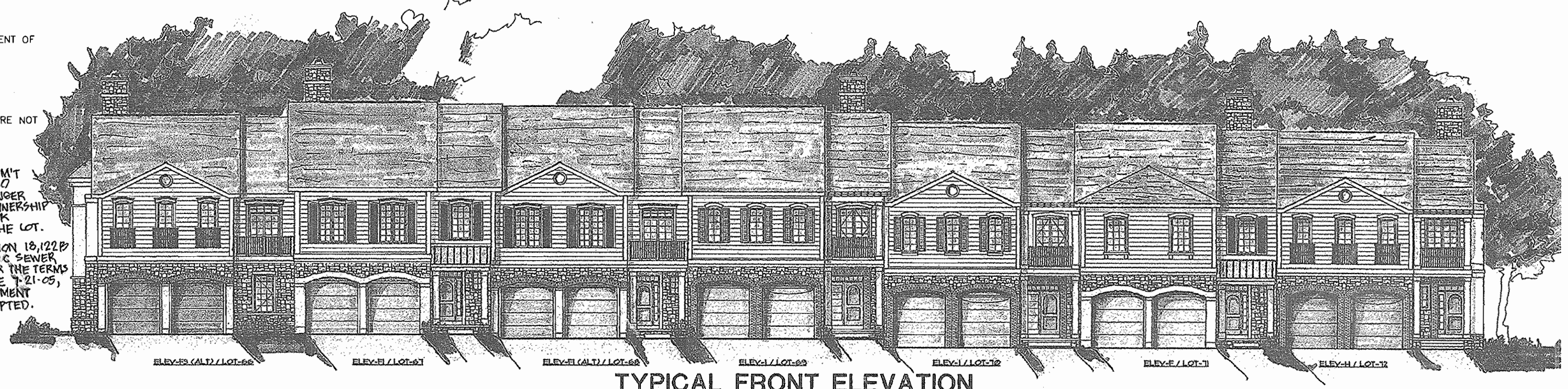
SITE ANALYSIS

- TOTAL PROJECT AREA: PARCEL D-2 9.8707 AC RECORDED UNDER PLAT NUMBER: F-04-190
- PRESENT ZONING PARCEL D-2: NT-EMPLOYMENT CENTER, INDUSTRIAL (FDP 239).
- TOTAL NUMBER OF UNITS PROPOSED: (DENSITY PERMITTED UNDER COLUMBIA AUTHORIZATION PLAN)
 17-30'x70' SFA UNITS
 37-30'x56' SFA UNITS
 TOTAL: 54 SFA UNITS (UNITS 1-54)
 56-CONDO UNITS
 TOTAL: 110 UNITS
- NUMBER OF PARKING SPACES REQUIRED:
 FROM APPROVED FDP-239:
 1 SPACE PER 3 LIVING UNITS
 (1 SPACE/3 UNITS) x 110 UNITS = 37 SPACES
 ZONING REGULATIONS:
 2.0 SPACES PER UNIT
 (2 SPACES/1 UNIT) x 110 UNITS = 220 SPACES
 0.5 SPACES PER UNIT FOR OVERFLOW
 (0.5 SPACES/1 UNIT) x 110 UNITS = 55 SPACES
 TOTAL REQUIRED PARKING SPACES = 275 SPACES
- NUMBER OF PARKING SPACES PROVIDED:
 SFA GARAGE:
 ONE CAR:
 11 SFA UNITS x 1 SPACE = 11 SPACES
 TWO CAR:
 43 SFA UNITS x 2 SPACES = 86 SPACES
 11 + 86 = 97 SPACES
 SFA DRIVEWAY:
 11 SFA UNITS HAVE 1 PARKING SPACE (TOTAL=11)
 43 SFA UNITS HAVE 2 PARKING SPACES (TOTAL=86)
 54 SFA UNITS WITH A TOTAL OF 97 DRIVEWAY SPACES
 CONDO:
 60 SPACES PROVIDED IN PARKING GARAGE
 70 SURFACE PARKING SPACES
 VISITOR: 41 COMMON PARKING SPACES
 TOTAL PROVIDED PARKING SPACES = 365 SPACES
- TOTAL SQUARE FOOT BUILDING COVERAGE/PERCENTAGE OF COVERAGE:
 PARCEL D-2
 30x70 SFA UNITS (17) 35,700 SF
 30x56 SFA UNITS (37) 62,160 SF
 56-CONDO UNITS 25,700 SF
 TOTAL BUILDING AREA 123,560 SF
 TOTAL PARCEL AREA 429,967.69 SF
 TOTAL BUILDING COVERAGE 28.74%
- H.R.D. APPROVALS
 - CONCEPTUAL SITE PLAN, SHEET 4.
 - PRELIMINARY LANDSCAPE PLAN, SHEET 19.

PERMIT INFORMATION CHART			
Subdivision Name	Section/Area	Parcel No.	
SNOWDEN RIVER BUSINESS PARK	SECTION 1 / AREA 1	D-2 & PART OF E-1	
PLAT#	Grid #	Zoning	Tax Map No/Elect Distr.
17601-17607	19	IND	37 6
Water Code	E06	Sewer Code	3450000

OWNER/DEVELOPER/APPLICANT: B. KNAUFF
 A. NAME: BRIAN KNAUFF
 B. DAYTIME TELEPHONE: (410) 480-2467
 C. COMPANY: THE RYLAND GROUP, INC.
 D. ADDRESS: 601 UNIVERSITY BOULEVARD, SUITE 260
 E. CITY: ELLICOTT CITY STATE: MD ZIP: 21043

SHEET: **C-1**



TYPICAL FRONT ELEVATION
NOT TO SCALE

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 778-1690
 FAX (410) 792-7395

SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1, PARCEL D-2
 KENDALL OVERLOOK
 AGE RESTRICTED ADULT HOUSING
TITLE SHEET

L 5289 F. 330
 ZONED: NT TAX MAP: 37 GRID: 19 PARCEL: 725 (P/O PAR. 50, 255, & PAR. 212, 385)
 ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:
11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: AS SHOWN
3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: HRW
5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
3-24-06	REVISED PRIVATE SANITARY SEWER	REVIEW BY: PVM

SHEET: 1 OF 19

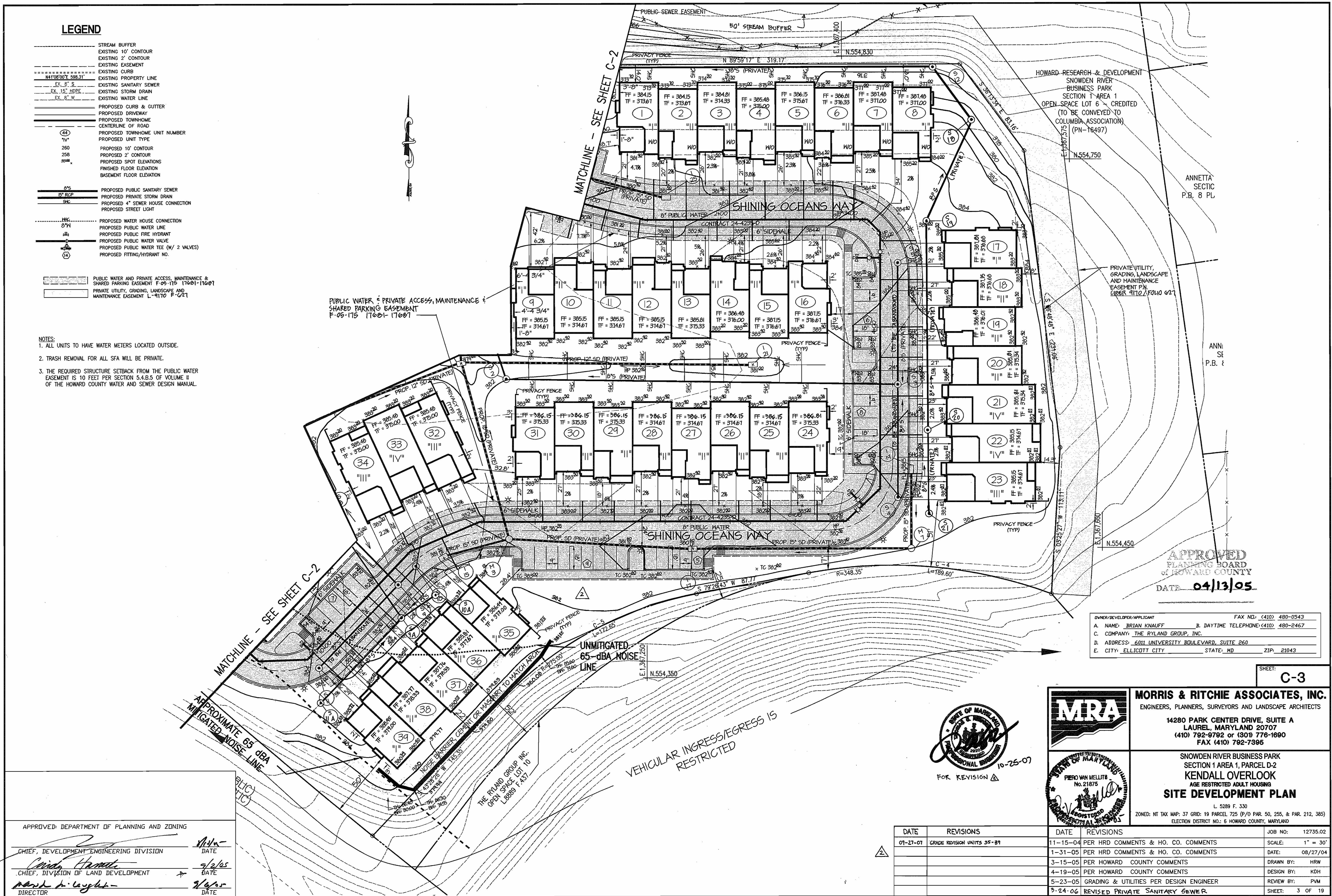
SDP-05-037

LEGEND

- STREAM BUFFER
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING EASEMENT
- EXISTING CURB
- EXISTING PROPERTY LINE
- EX. 8" S. EXISTING SANITARY SEWER
- EX. 15" HDPE EXISTING STORM DRAIN
- EX. 8" W. EXISTING WATER LINE
- PROPOSED CURB & GUTTER
- PROPOSED DRIVEWAY
- PROPOSED TOWNHOME
- CENTERLINE OF ROAD
- PROPOSED TOWNHOME UNIT NUMBER
- PROPOSED UNIT TYPE
- 250 PROPOSED 10' CONTOUR
- 258 PROPOSED 2' CONTOUR
- 304.6 PROPOSED SPOT ELEVATIONS
- FINISHED FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- 8" PROPOSED PUBLIC SANITARY SEWER
- 15" RCP PROPOSED PRIVATE STORM DRAIN
- 4" PROPOSED 4" SEWER HOUSE CONNECTION
- PROPOSED STREET LIGHT
- 8" PROPOSED WATER HOUSE CONNECTION
- 8" PROPOSED PUBLIC WATER LINE
- PROPOSED PUBLIC FIRE HYDRANT
- 6.2% PROPOSED PUBLIC WATER VALVE
- PROPOSED PUBLIC WATER TEE (W/ 2 VALVES)
- (14) PROPOSED FITTING/HYDRANT NO.
- PUBLIC WATER AND PRIVATE ACCESS, MAINTENANCE & SHARED PARKING EASEMENT F-05-175 17601-17607
- PRIVATE UTILITY, GRADING, LANDSCAPE AND MAINTENANCE EASEMENT P-1170 F-021

- NOTES:**
- ALL UNITS TO HAVE WATER METERS LOCATED OUTSIDE.
 - TRASH REMOVAL FOR ALL SFA WILL BE PRIVATE.
 - THE REQUIRED STRUCTURE SETBACK FROM THE PUBLIC WATER EASEMENT IS 10 FEET PER SECTION 5.4.B.5 OF VOLUME II OF THE HOWARD COUNTY WATER AND SEWER DESIGN MANUAL.

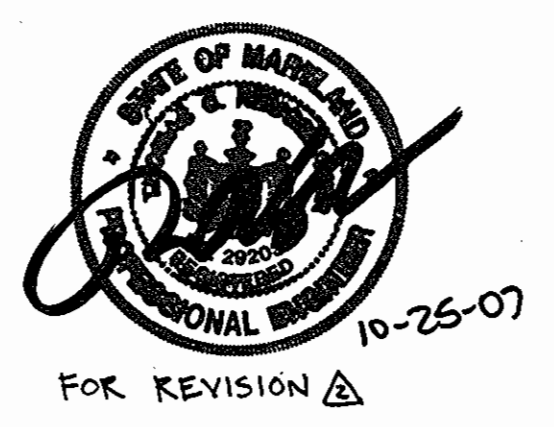
P:\PROJ\12735D_Plot_SDP\12735D_03_SDP.dwg, Layout1, 5/15/2005 10:30:31 AM, Copyright 2004 MRA, Inc.



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 04/13/05

OWNER/DEVELOPER/APPLICANT		FAX NO. (410) 480-0543	
A. NAME: BRIAN KNAUFF	B. DAYTIME TELEPHONE: (410) 480-2467		
C. COMPANY: THE RYLAND GROUP, INC.			
D. ADDRESS: 6011 UNIVERSITY BOULEVARD, SUITE 260			
E. CITY: ELLICOTT CITY	STATE: MD	ZIP: 21043	

SHEET: C-3



MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-8792 or (301) 776-1690
FAX (410) 792-7396

SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1, PARCEL D-2
KENDALL OVERLOOK
AGE RESTRICTED ADULT HOUSING
SITE DEVELOPMENT PLAN

L. 5289 F. 330
ZONED: NT TAX MAP: 37 GRID: 19 PARCEL 725 (R/O PAR. 50, 255, & PAR. 212, 385)
ELECTION DISTRICT NO.: 6 HOWARD COUNTY, MARYLAND

DATE	REVISIONS	DATE	REVISIONS	JOB NO.
01-27-01	GRADE REVISION UNITS 35-39	11-15-04	PER HRD COMMENTS & HO. CO. COMMENTS	12735.02
		1-31-05	PER HRD COMMENTS & HO. CO. COMMENTS	SCALE: 1" = 30'
		3-15-05	PER HOWARD COUNTY COMMENTS	DATE: 08/27/04
		4-19-05	PER HOWARD COUNTY COMMENTS	DRAWN BY: HRW
		5-23-05	GRADING & UTILITIES PER DESIGN ENGINEER	DESIGN BY: KDH
		9-24-06	REVISED PRIVATE SANITARY SEWER	REVIEW BY: PVM
				SHEET: 3 OF 19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *Alvin* DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *9/2/05* DATE

DIRECTOR *9/2/05* DATE

UNMITIGATED
65-dBA NOISE
LINE

VEHICULAR INGRESS/EGRESS IS
RESTRICTED

SDP-05-037