GENERAL NOTES

AREA OF CREDITED OPEN SPACE PROVIDED:

1. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE

MISS UTILITY VERIZON TELEPHONE 313-2366 HOWARD COUNTY BUREAU OF UTILITIES: 393-3553 AT&T CABLE LOCATION DIVISION: 850-4620 B.G.&E. CO. CONTRACTOR SERVICES: 787-4620 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 531-5533 STATE HIGHWAY ADMINISTRATION:

2. SITE ANALYSIS: 31.37 AC TOTAL AREA OF SITE: R - 20PRESENT ZONING: 16.87 AC LIMIT OF DISTURBANCE: SINGLE FAMILY DETACHED DWELLINGS PROPOSED USE OF SITE: 30% OR 9.41 AC AREA OF OPEN SPACE REQUIRED: 36% OR 10.76 AC

0.09 AC. AREA OF NON-CREDITED OPEN SPACE: 10.84% OR 34.6% TOTAL AREA OF OPEN SPACE PROVIDED: 3. PROJECT BACKGROUND: TAX MAP 31, PARCEL 226, GRID 21 LOCATION:

S-01-06, P-02-27, WP-03-07 (APP. 11/05/02), F-04-74, 14-4078-D 4. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE

5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS

MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE. 6. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION

DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. 7. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK

8. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE

PLACEMENT OF ANY ASPHALT. 9. THE PROJECT BOUNDARY IS BASED ON A SURVEY PREPARED BY FREDERICK WARD ASSOCIATES, DATED DECEMBER 2001

10. THE TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL PHOTOGRAMETRIC SURVEY PREPARED BY GREENMAN PEDERSON, DATED FEBRUARY 2001.

11. COORDINATE DATUM IS BASED ON THE MARYLAND COORDINATE SYSTEM (NAD 83) AS PROJECTED BY THE FOLLOWING HOWARD COUNTY GEODETIC CONTROL STATIONS: 31EA & 31EB.

12. WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC AND PROVIDED THROUGH CONTRACT NO. 14-4078-D.

13. THE DISTURBANCE TO THE STEEP SLOPES FOR THE 8" SEWER CONTRACT NO. 14-4078-D HAS BEEN DEEMED NECESSARY IN ACCORDANCE WITH SECTION 16.116(c) OF THE HOWARD COUNTY SUBDIVISION & LAND DEVELOPMENT REGULATIONS PER F-04-74.

14. STORMWATER MANAGEMENT IS PROVIDED FOR THIS DEVELOPMENT. THE TWO STORMWATER MANAGEMENT FACILITIES ARE LOCATED ON OPEN SPACE LOTS 9 AND 21 AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. BOTH POND #1 AND POND #2 ARE MICROPOOL EXTENDED DETENTION FACILITES PROVIDING THE REQUIRED WQV AND Cpv FOR THE DEVELOPMENT. BOTH FACILITIES ARE HAZARD CLASS 'A'.

15. STORMWATER MANAGEMENT SOIL BORINGS FOR THIS SITE ARE BASED ON A GEOTECHNICAL ANALYSIS PREPARED BY HILLS-CARNES ENGINEERING ASSOC, DATED JANUARY, 2002.

16 WETLANDS AND STREAMS SHOWN ON-SITE ARE BASED ON A FIELD INVESTIGATION BY EXPLORATION RESEARCH, DATED JUNE 2000, AND THE AERIAL PHOTOGRAMETRIC SURVEY PREPARED BY GREENMAN PEDERSON.

17. FLOODPLAIN SHOWN ON-SITE IS BASED ON A STUDY PREPARED BY FREDERICK WARD ASSOC, DATED MAY 2002.

18. A FOREST STAND DELINEATION PLAN WAS PREPARED FOR THIS SITE BY FREDERICK WARD ASSOCIATES, DATED FEBRUARY, 2001,

19. FOREST CONSERVATION PLAN PREPARED BY FREDERICK WARD ASSOCIATES, DATED JANUARY 2002. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY THE RETENTION OF EXISTING FOREST IN THE AMOUNT OF 4.89 ACRES, ON-SITE REFORESTATION IN THE AMOUNT OF 2.03 AC. AND FEE-IN-LIEU OF \$6,534.00 FOR THE REMAINING 0.30 AC OF REFORESTATION. TOTAL OBLIGATION FOR THIS SITE IS 4.89 AC OF RETENTION AND 2.33 AC OF REFORESTATION. FINANCIAL SURETY IN THE AMOUNT OF \$86,815.00 HAS BEEN PAID WITH THE FC MAINTENANCE AGREEMENT UNDER F-04-074.

20. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAMS, OR THEIR BUFFERS, AND THE FOREST FOREST CONSERVATION EASEMENTS.

21. APFO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, DATED AUGUST 2000, AND APPROVED UNDER S-01-06.

22. PERIMETER AND STORMWATER MANAGEMENT LANDSCAPING REQUIREMENTS AS SET FORTH IN SECTION 16.124 OF THE SUBDIVISION REGULATIONS, THE HOWARD COUNTY LANDSCAPE MANUAL AND PB-352 (APP. 6/13/01) SHALL BE COMPLIED WITH. A FINANCIAL SURETY IN THE AMOUNT OF \$16,350.00 FOR THE REQUIRED 40 SHADE TREES AND 29 EVERGREEN TREES HAS BEEN PAID AS A PART OF THE DEVELOPER'S AGREEMENT UNDER F-04-074. FINANCIAL SURETY FOR THE REQUIRED PERIMETER LANDSCAPING PROVIDED WITH THIS SDP IN THE AMOUNT OF \$8,400.00 FOR 17 SHADE TREES AND AND 22 EVERGREEN TREES TO BE PAID AS PART OF THE BUILDER'S GRADING PERMIT.

23. STREET TREES ARE REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$21,900.00 HAS BEEN PAID AS PART OF THE DEVELOPER'S AGREEMENT FOR THE REQUIRED 73 STREET TREES UNDER F-04-074.

24. TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO FOREST CONSERVATION RETENTION AREAS AND SENSITIVE ENVIRONMENTAL AREAS, SUCH AS STREAM BUFFERS AND STEEP SLOPES.

25. STREET LIGHTING HAS BEEN PROVIDED FOR THE PUBLIC ROAD IN ACCORDANCE WITH SECTION 16.135 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE DESIGN MANUAL. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.

26. SEDIMENT AND EROSION CONTROL HAS BEEN PROVIDED FOR THIS SITE.

27. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.

28. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETARY LOCATIONS ON SITE.

29. A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.

30. OPEN SPACE LOTS 9, 21 AND 34 TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. OPEN SPACE LOTS 8 AND 35 TO BE OWNED AND MAINTAINED BY HOWARD COUNTY DEPT. OF RECREATION AND PARKS.

31. FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.

32. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DEWLLINGS TO ENSURE

SAFE ACCESS FOR FIRE EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS: A. WIDTH - 12 (14' FOR SERVING MORE THAN ONE RESIDENCE)

SURFACE - 6' OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN) GEOMETRY - MAX 15% GRADE, MAX 10% GRADE CHANGE, AND MIN 45' TURNING RADIUS

STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT OF DEPTH OVER

F. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE 33. WP-03-07: A WAIVER PETITION HAS BEEN SUBMITTED AND APPROVED, DATED NOVEMBER 5, 2002, TO WAIVE SECTION 16.147 TO WAIVE THE REQUIREMENT OF A FINAL SUBDIVISION PLAT/PLAN AND PERMIT THE ADJUSTMENT OF THE PROPERTY LINES AND ACREAGES OF PARCELS 226, 327, 431 AND 497 TO BÉ DONE BY ADJOINER DEED CONVEYANCE. APPROVAL IS SUBJECT TO THE

FOLLOWING CONDITIONS: A. THE ADJOINER TRANSFERS OF LAND SHALL BE ACCOMPLISHED PRIOR TO SUBMISSION OF THE FUTURE SUBDIVISION PLAN

FOR THIS PROJECT, AND THE NEW DEED RECORDING NUMBER SHALL BE INDICATED WHERE REQUIRED ON THE FUTURE FINAL SUBDIVISION PLATS AND PLANS. THIS WAIVER IS VALID FROM 11/5/02 TO 11/5/03 OR AS LONG AS THE SUBDIVISION REMAINS IN ACTIVE PROCESSING.

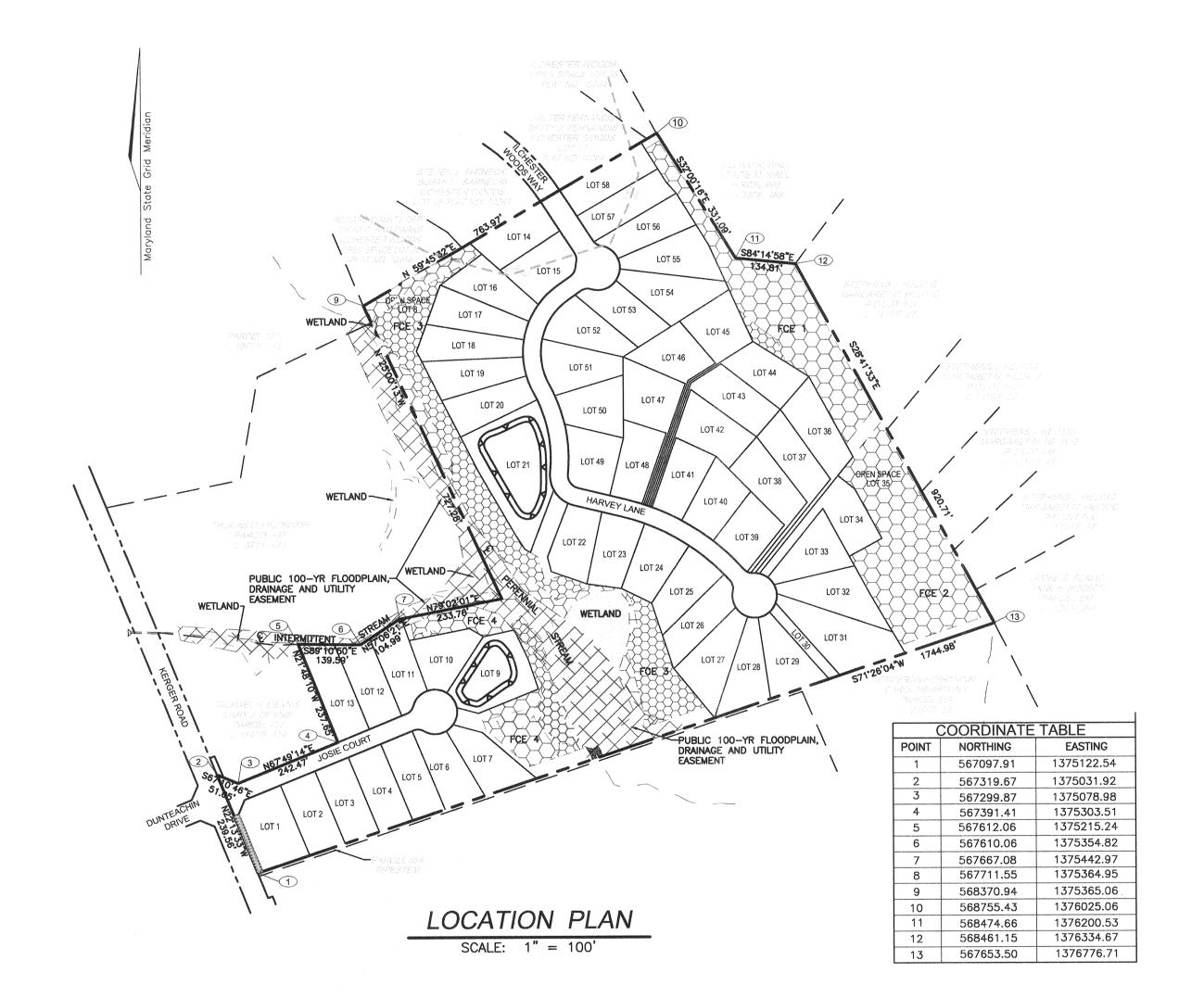
34. AS A CONSEQUENCE OF ITS SUBMISSION PRIOR TO NOVEMBER 15, 2001, THIS SUBDIVISION PLAN IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND BECAUSE THE PRELIMINARY PLAN WAS NOT APPROVED PRIOR TO NOVEMBER 1, 2001, THIS PROJECT IS SUBJECT TO COMPLIANCE WITH COUNTY COUNCIL BILL 50-2001, WHICH AMENDED PORTIONS OF THE ZONING REGULATIONS. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SDP OR BUILDING/GRADING PERMITS.

35. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT REAR YARD SETBACK.

36. FOR ALL DRYWELLS AFFECTIVE AREAS MUST BE ENTIRELY IN CUT.

SITE DEVELOPMENT PLAN DENNIS PRESERVE

LOTS 1-58 HOWARD COUNTY, MARYLAND



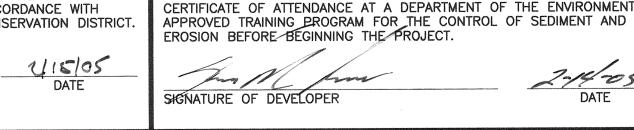
AREA TABULATION	TOTAL
NUMBER OF BUILDABLE LOTS TO BE RECORDED. NUMBER OF NON-BUILDABLE LOTS TO BE RECORDED. NUMBER OF OPEN SPACE LOTS TO BE RECORDED. NUMBER OF LOTS TO BE RECORDED. AREA OF BUILDABLE LOTS TO BE RECORDED. AREA OF OPEN SPACE LOTS TO BE RECORDED. AREA OF LOTS TO BE RECORDED. AREA OF ROADWAY TO BE RECORDED. AREA TO BE RECORDED.	1 5 58 18.3229 AC 0.1144 AC 10.8393 AC 29.2766 AC 2.0942 AC

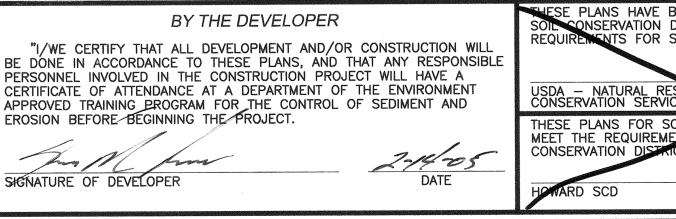
APPROVED: HOWARD COUNTY DEPARTMEN AND ZONING	T OF PLANNING
	3/3/0/
CHIEF, DEVELOPMENT ENGINEERING DIVISION CANO	3/10/05
CHIEF, DIVISION OF LAND DEVELOPMENT DIRECTOR	DATE

BY THE ENGINEER "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER

ROBERT H VOGEL, PE



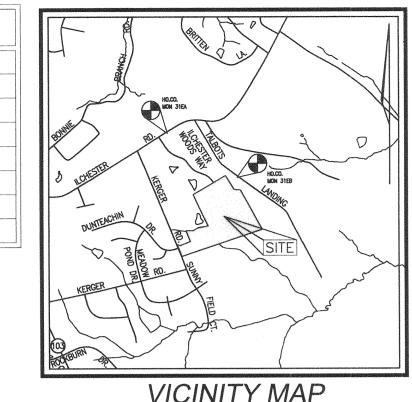


BY THE DEVELOPER

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.	
USDA — NATURAL RESOURCES CONSERVATION SERVICE DATE	
THESE PLANS FOR SOIL EDISION AT SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE LOWARD SOIL CONSERVATION DISTRICT.	
HOWARD SCD DATE	

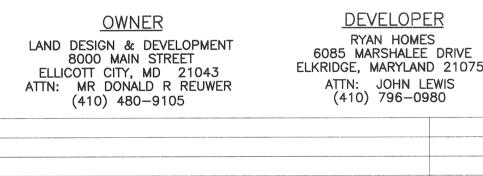
PROJECT NAME			SECT	ION/AREA	L	OT/PARCEL		
DENNIS PRESERVE, LOTS 1-58					N/A	-	226	
PLAT REF 17151 THRU 17159 21		NO	ZONE	TAX	MAP	ELECT DI	ST	CENSUS TR
			R-20		31	1ST		6011.01
WATER CODE: D-03		S	EWER	CODE:	2	155000		

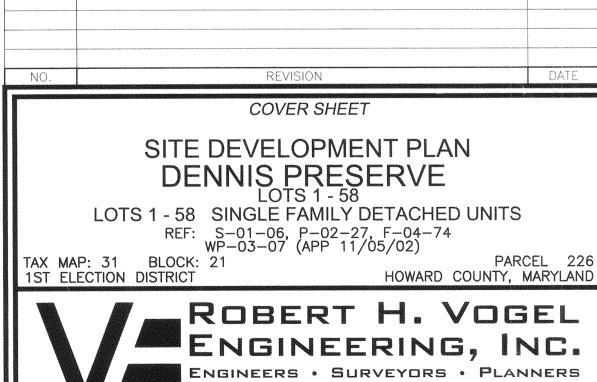
SHEET INDEX				
DESCRIPTION	SHEET NO			
COVER SHEET	1 OF 7			
SITE DEVELOPMENT AND SEDIMENT AND EROSION CONTROL PLAN	2 OF 7			
SITE DEVELOPMENT, LANDSCAPE AND SEDIMENT AND EROSION CONTROL PLAN	3 OF 7			
SITE DEVELOPMENT AND SEDIMENT AND EROSION CONTROL PLAN	4 OF 7			
SITE DEVELOPMENT AND SEDIMENT AND EROSION CONTROL PLAN	5 OF 7			
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	6 OF 7			
HOUSE TYPES	7 OF 7			

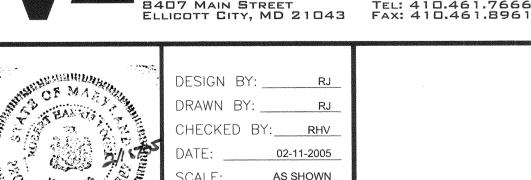


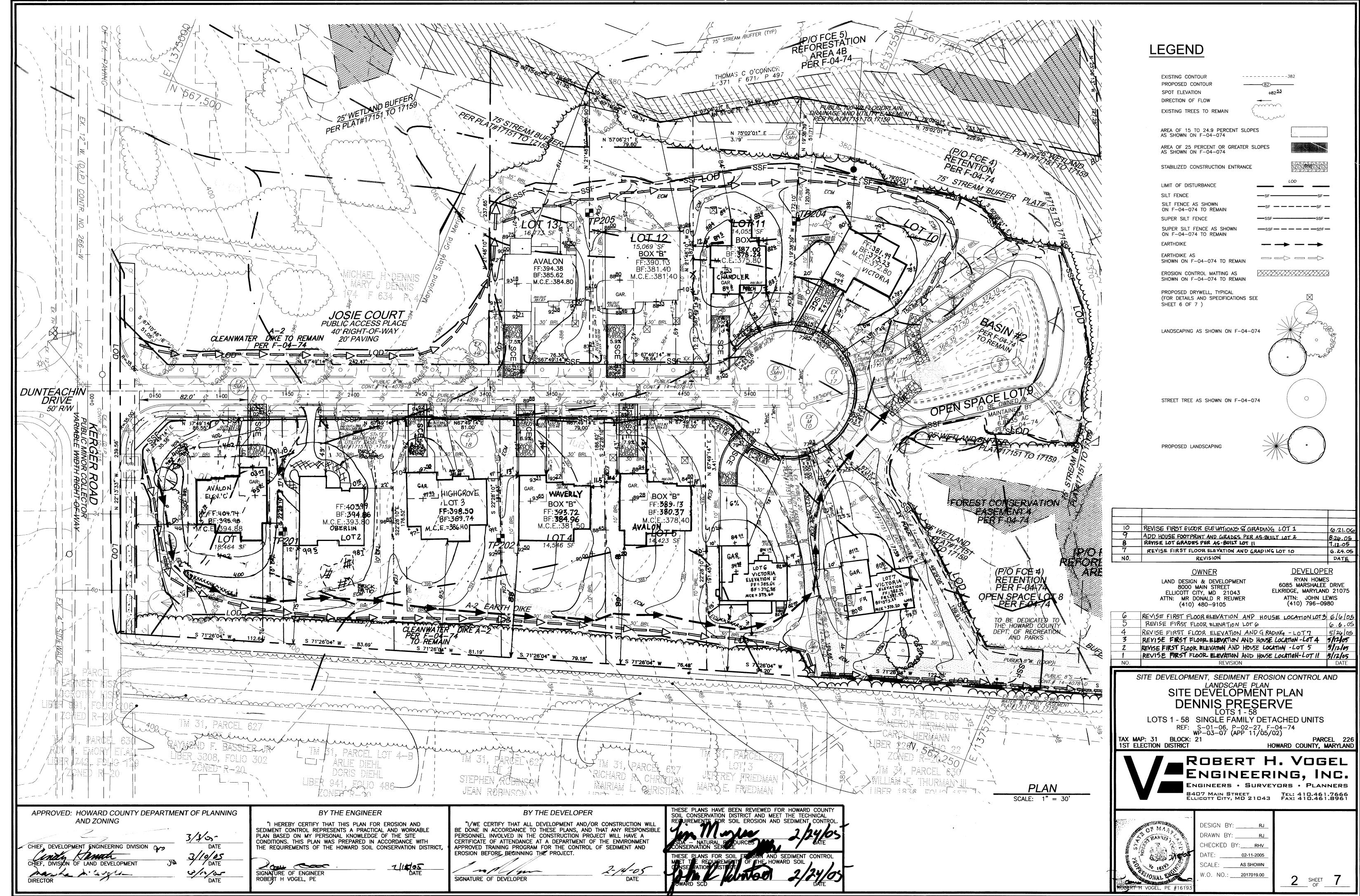
BENCHMARK INFORMATION				
NO	NORTHING	EASTING	ELEVATION	
31EA	569641.123	1374815.935	469.603	
31CD	569730 094	1376273 /01	453 306	

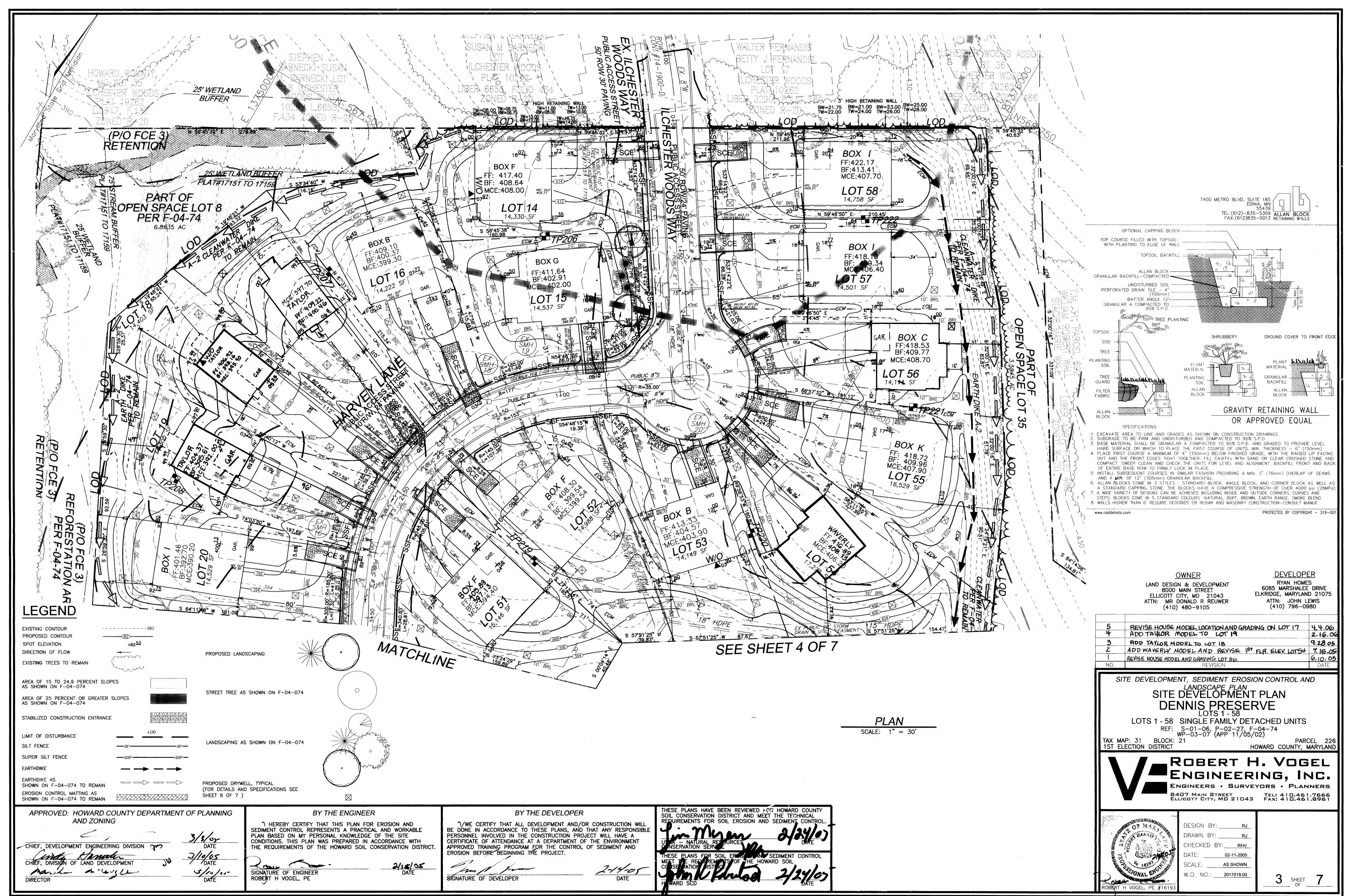
ADDRESS CHART					
LOT NO	STREET ADDRESS	LOT NO	STREET ADDRESS		
1	5402 JOSIE COURT	30	OPEN SPACE		
2	5406 JOSIE COURT	31	5258 HARVEY LANE		
3	5410 JOSIE COURT	32	5263 HARVEY LANE		
4	5414 JOSIE COURT	33	5259 HARVEY LANE		
5	5418 JOSIE COURT	34	OPEN SPACE LOT		
6	5422 JOSIE COURT	35	5257 REC. OPEN SPACE		
7	5426 JOSIE COURT	36	5255 HARVEY LANE		
8	OPEN SPACE LOT	37	5251 HARVEY LANE		
9	OPEN SPACE LOT	38	5247 HARVEY LANE		
10	5427 JOSIE COURT	39	5243 HARVEY LANE		
11	5423 JOSIE COURT	40	5239 HARVEY LANE		
12	5419 JOSIE COURT	41	5235 HARVEY LANE		
13	5415 JOSIE COURT	42	5106 DAWNS WAY		
14	5172 IICHESTER WOODS WAY	43	5110 DAWNS WAY		
15	5200 HARVEY LANE	44	5114 DAWNS WAY		
16	5204 HARVEY LANE	45	5115 DAWNS WAY		
17	5208 HARVEY LANE	46	5111 DAWNS WAY		
18	5212 HARVEY LANE	47	5107 DAWNS WAY		
19	5216 HARVEY LANE	48	5231 HARVEY LANE		
20	5220 HARVEY LANE	49	5221 HARVEY LANE		
21	OPEN SPACE LOT	50	5217 HARVEY LANE		
22	5226 HARVEY LANE	51	5213 HARVEY LANE		
23	5230 HARVEY LANE	52	5209 HARVEY LANE		
24	5234 HARVEY LANE	53	5205 HARVEY LANE		
25	5238 HARVEY LANE	54	5201 HARVEY LANE		
26	5242 HARVEY LANE	55	5185 ILCHESTER WOODS WAY		
27	5246 HARVEY LANE	56	5181 ILCHESTER WOODS WAY		
28	5250 HARVEY LANE	57	5177 ILCHESTER WOODS WAY		
29	5254 HARVEY LANE	58	5173 ILCHESTER WOODS WAY		

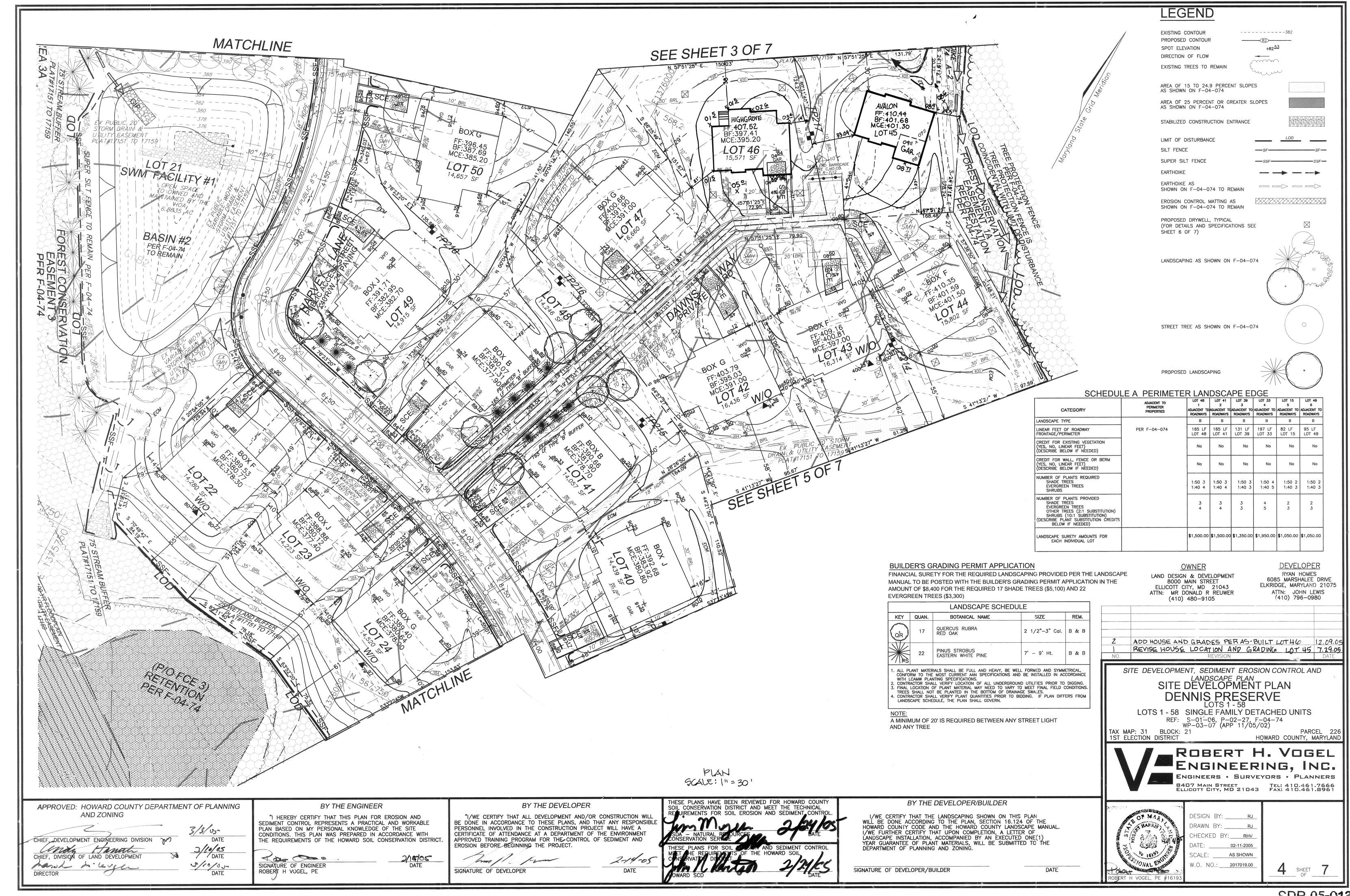


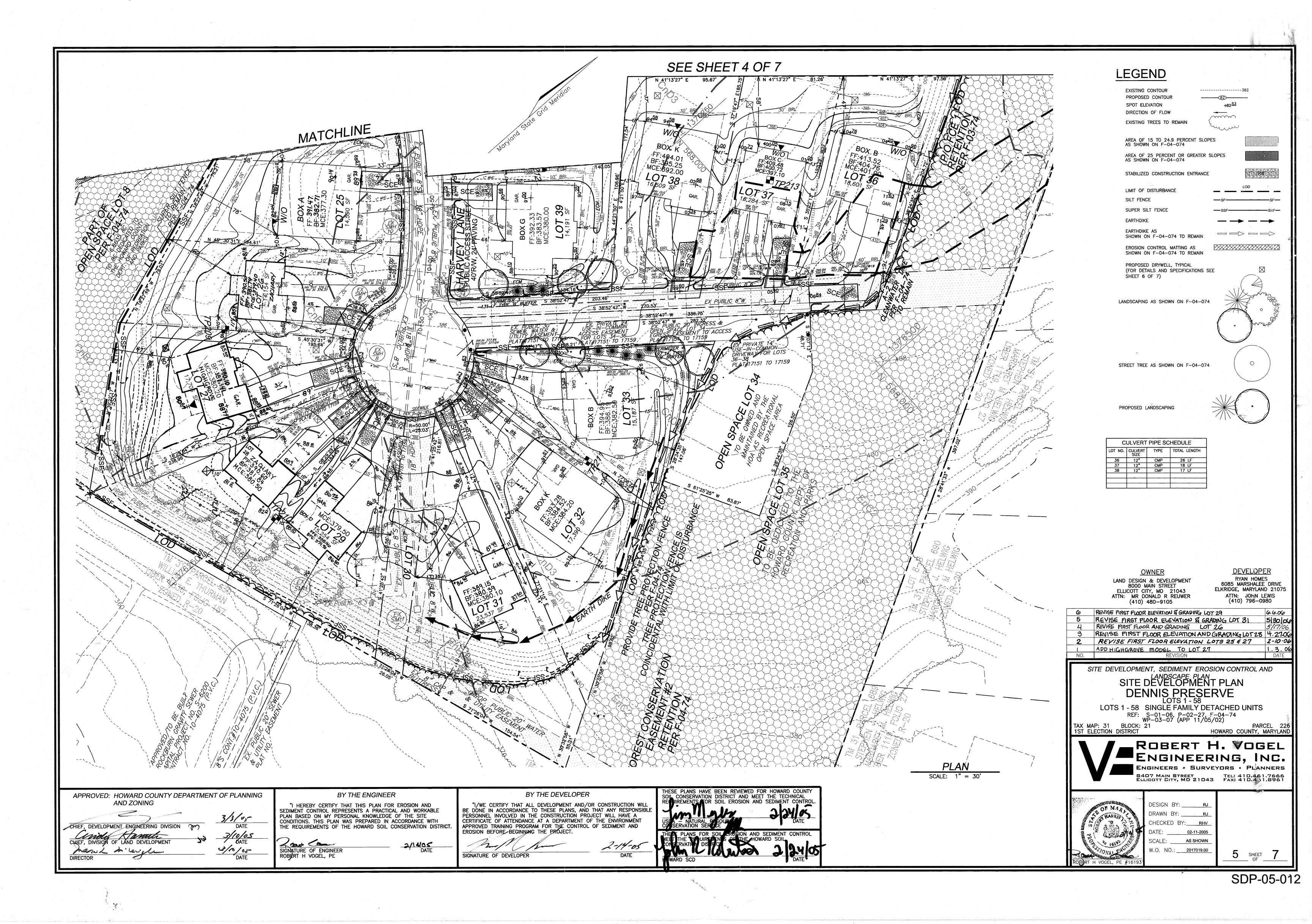












21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES
- A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS
- C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIALS

SPECIFICATIONS

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

- TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
- A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
- B. TOPSOIL MUST BE FREE OF PLATS OR PLAT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 LBS/1000 SF) PRIOR TO THE PLACEMENT OF TOPSOIL. LIMESTONE SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- II. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN <u>20.0 VEGETATIVE STABILIZATION</u> — SECTION 1 — VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
- A. ON SOIL MEETING TOPSOIL SPECIFICATION, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
- 1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER. 2. ORGANIC CONTENT OF TOPSOIL SHALL NOT BE LESS THAN 1.5
- PERCENT BY WEIGHT 3. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500
- PARTS PER MILLION SHALL NOT BE USED.
- 4. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PREVENT DISSIPATION OF PHYTO-TOXIC MATERIAL'S.
- NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL
- 20.0 VEGETATIVE STABILIZATION SECTION 1 VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION:

- A. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- B. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4"-8" HIGHER IN ELEVATION. C.TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY
- COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRERCTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- D. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING

AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION

, DIVISION∕OF LAND DEVELOPMENT

Januth

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS/ACRE 10-10-10- FERTILIZER

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL/ACRE ANNUAL RYE (3.2 LBS/1000 SF). FOR THE PERIOD MAY 1 THRU AUGUST 14. SEED WITH 3 LBS/ACRE WEEPING LOVEGRASS (0.07 LBS/1000 SF). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS/ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1 1/2 TO 2 TONS/ACRE (70 TO 90 LBS/1000 SF) OF UNROTTED SMÅLL—GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS/ACRE (5 GAL/1000 SF) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FT OR HIGHER, USE 348 GALLONGS/ACRE (8 GAL/1000 SF) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR FOR EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES. THE FOLLOWING SCHEDULES:

- PREFERRED APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/100 SF) AND 600 LBS/ACRE 10-10-10 FERTILIZER (14 LBS/1000 SF) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT THE TIME OF SEEDING, APPLY 400 LBS/ACRE 20-0-0 UREAFORM FERTILIZER (9 LBS/1000 SF) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMATIC LIMESTONE
- (92 LBS/1000 SF) AND APPLY 1000 LBS/ACRE 10-10-10 FERTILIZÉR (23 LBS/1000 SF) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL f 30, AND AUGUST THRU OCTOBER 15, SEED WITH 60 LBS/ACRE (1.4 LBS/1000 SF) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEE WITH 60 LBS/ACRE OF KENTUCKY 31 TALL FESCUE AND 2 LBS/ACRE (0.05 LBS/1000 SF) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 29, PROTECT SITE BY: OPTION 1) 2 TONS/ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OPTION 2) USE SOD. OPTION 3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FÉSCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS/ACRE (70 TO 90 LBS/1000 SF) OF UNROTTED SMALL-GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS/ACRE (5 GAL/1000 SF) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FT OR HIGHER, USE 348 GALLONS/ACRE (8 GAL/1000 SF) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410) 313-1855
- ACCORDING TO THE PROVISION OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES,

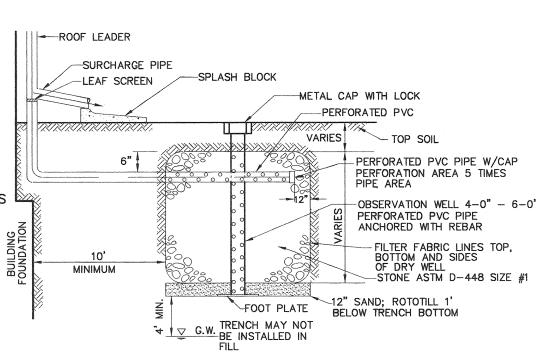
DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1. B)

14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE

ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED

- PROJECT SITE. 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL 1.
- CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE. ALL DISTURBED AREAS MUST BE STABILIZED WITH THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOLD, TEMPORARY SEEDING, AND MULCHING (SEC TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6. ALL SEDIMENT CONTROLS STRUCTURES ARE TO REMAIN IN PLACE AND B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS SPECIFIED IN ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 - 7. SITE ANALYSIS: TOTAL AREA AREA DISTURBED
 - AREA TO BE ROOFED OR PAVED AREA TO BE VEGETATIVELY STABILIZED TOTAL CUT TOTAL FILL
 - OFFSITE WATE/BORROW AREA LOCATION ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING
 - ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED
 - NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT
 - BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE
 - PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER. *TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT

- DRY WELL CHART ROOFTOP DISCONNECT CREDIT (NON-INFILTRATING DRYWELL REQUIRED FOR Rev ONLY)
- SIZE WELLS LOT No. | VOLUME REQUIRED | VOLUME PROVIDED | No. 5.6'x5.6'x4' 250 cf 250 cf 150 cf 150 cf 2 4.5'x4.5'x4' 2 5.6'x5.6'x4' 250 cf 250 cf 2 6.2'x6.2'x4' 300 cf 300 cf 400 cf 400 cf 3 5.8'x5.8'x4' 8'X8'X7.25' 450 cf 450 cf 250 cf 3 4.6'x4.6'x4' 250 cf 300 cf 300 cf 5.6'x5.6'x4' 300 cf 4.5'x4.5'x4' 2 19 300 cf 300 cf 5.6'x5.6'x4' 250 cf 250 cf 2 6.2'x6.2'x4' 300 cf 7.5'x7.5'x5.5' 26 300 cf 2 400 cf 400 cf 6.5'x6.5'x5.5' 3 300 cf 4.6'x4.6'x4' 300 cf 300 cf 300 cf 7.5'x7.5'x5.5' 300 cf 2* 6.2'x6.2'x4' 300 cf 1* 250 cf 250 cf 7'X7'X6' 5.6'x5.6'x4' 33 250 cf 250 cf 2 250 cf 250 cf 1 7'X7'X6' 7.5'x7.5'x5.5' 300 cf 300 cf 5.6'x5.6'x4' 38 250 cf 250 cf 8'X8'X7.25' 450 cf 450 cf 8'X8'X7.25' 450 cf 450 cf 6.5'x6.5'x5.5' 42 450 cf 450 cf 5.9x5.9x5.9 43 400 cf 400 cf 2 44 400 cf 400 cf 2 5.9x5.9x5.9 6.25x6.25x6 450 cf 450 cf 46 450 cf 450 cf 4* 5.4x5.4x4 47 450 cf 450 cf 2 6.5x6.5x5.5 5.6'x5.6'x4' 48 250 cf 2 250 cf 49 8'x8'x7.5' 400 cf 400 cf 50 450 cf 2* 6.5'x6.5'x5.5' 450 cf 400 cf 2* 6.2'x6.2'x5.5' 400 cf 5.8'x5.8'x4' 52 400 cf 400 cf 2 6.2'x6.2'x4' 300 cf 300 cf 53 400 cf 400 cf 5.6'x5.6'x4' 6.2'x6.2'x5.5 250 cf 250 cf 6.2'x6.2'x4' 56 300 cf 2 300 cf 275 cf 275 cf 1 7'x7'x6' 57



275 cf

1

7'x7'x6'

TYPICAL DRY WELL CROSS SECTION NON-INFILTRATING NOT TO SCALE

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE BERM (6" MIN) PAVEMEN GROUND EARTH FILL ** GEOTEXTILE CLASS PIPE AS NECESSARY 'C' OR BETTER-MINIMUM 6" OF 2 AGGREGATE OVER LENGTH AND WIDTH OF STRUCTURE **PROFILE** * 50' MINIMUM LENGTH PAVEMENT PLAN VIEW CONSTRUCTION SPECIFICATIONS 1. Length - Minimum of 50' (* 30' for a single residence lot).

2. Width — 10' minimum. Should be flared at the existing road to provide a turnina radius. 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. ** The plan approval authority may not require single family residences to use geotextile.

4. Stone — Crushed aggregate (2" to 3") or reclaimed or recycled concrete

equivalent shall be placed at least 6" over the length and width of the entrance. 5. Surface Water — All surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the Stabilized Construction Entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimym will be required. 6. Location — A Stabilized Construction Entrance shall be located at every point where construction traffic enters or leaves a construction site.

Stabilized Construction Entrance. MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

DETAIL 1 - EARTH DIKE

2:1 SLOPE OR FLATTER

FLOW

-EXCAVATE TO PROVIDE

REQUIRED FLOW WIDTH

AT DESIGN FLOW DEPTH

18"

24"

12"

TANDARD SYMBOL

A-2 B-3

--/--

MARYLAND DEPARTMENT OF ENVIRONMEN'
WATER MANAGEMENT ADMINISTRATION

a-DIKE HEIGHT

b-DIKE WIDTH

c-FLOW WIDTH

d-FLOW DEPTH

Vehicles leaving the site must travel over the entire length of the

CROSS SECTION

POSITIVE DRAINAGE

SUFFICIENT TO DRAIN

PLAN VIEW

FLOW CHANNEL STABILIZATION

Seed and cover with Erosion Control Matting or line with sod.

4"-7" stone or recycled concrete equivalent pressed into the soil 7" minimum.

CONSTRUCTION SPECIFICATIONS

. Runoff diverted from a disturbed area shall be conveved to a sediment trapping

5. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed

removed and disposed of so as not to interfere with the proper functioning of

. All trees, brush, stumps, obsturcitons, and other objectional material shall be

5. The dike shall be excavated or shaped to line, grade and cross section as

required to meet the criterial specified herein and be free of bank projections

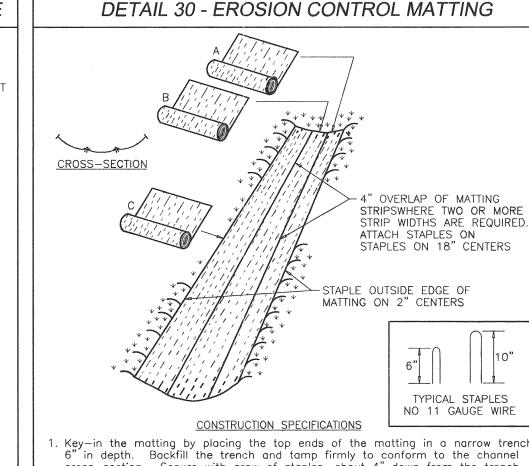
7. All earth removed and not needed for construction shall be placed so that it

8. Inspection and maintenance must be provided periodically and after each rain

. All temporary earth dikes shall have uninterrupted positive grade to an outlet.

GRADE 0.5% MIN. 10% MAX.

Spot elevations may be necessary for graces less than 1%.



staples.

Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with arow of staples, about 4" down from the trench. Spacina between staples is 6' . Staple the 4" overlap in the channel center using an 18" spacing between

- . Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil. . Staples shall be placed 2" apart with 4 rows for each strip, 2 outer row, and 2 alternating rows down the center
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side. 6. The discharge end of the matting liner should be similarly secured with
- 2 double rows of staples. Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in US DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT
 WATER MANAGEMENT ADMINISTRATION

36" MINIMUM LENGTH FENCE POST, DRIVEN A MINIMUM OF - TO CENTER · 16" MINIMUM HEIGHT OF GEOTEXTILE CLASS F MINIMUM DEPTH IN GROUND FLOW 36" MINIMUM FENCE POST PERSPECTIVE VIEW LENGTH --- FENCE POST SECTION MINIMUM 20" ABOVE GROUND FLOW - UNDISTURBEI GROUND EMBED GEOTEXTILE CLASS F -TOP VIEW A MINIMUM OF 8" VERTICALLY - FENCE POST DRIVEN INTO THE GROUND A MINIMUM OF 16 INTO THE GROUND CROSS SECTION STANDARD SYMBOL STAPLE ——— SF ——— CONSTRUCTION SPECIFICATIONS

DETAIL 22 - SILT FENCE

. Fence posts shall be a minimum of 36" long, driven 16" minimum into the ground. Wood posts shall be 1 1/2"x1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound auglity hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot. . Geotextile shall be fastened securely to each fence post with wire ties or staples

at top and mid-section and shall meet the following requirements for Geotextile Test: MSMT 509 Tensile Strength 50 lbs/in (min) 20 lbs/in (min) Test: MSMT 509 Tensile Modulus 0.3 gal ft 2 /minute (max) Flow Rate Filtering Efficiency

MSMT 32 MSMT 322 3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass 4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height

DETAIL 33 - SUPER SILT FENCE **IOTE:** FENCE POST SPACING SHALL NOT EXCEED 10 ----8" MINIMUM CENTER TO CENTER -34" MINIMUM GROUND SURFACE -36" MINIMUM 2 1/2" DIAMETER DIKE A DIKE B GALVANIZED OR ALUMINUM POSTS--CHAIN LINK FENCE 30" WITH 1 LAYER O FILTER CLOTH 36" CHAIN LINK FENCING ---34" MINIMUM FLOW FILTER CLOT -16" MIN 1st LAYER OF FILTER CLOTH* EMBED FILTER CLOTH 8" MINIMUM INTO GROUND-

CONSTRUCTION SPECIFICATIONS

STANDARD SYMBOL

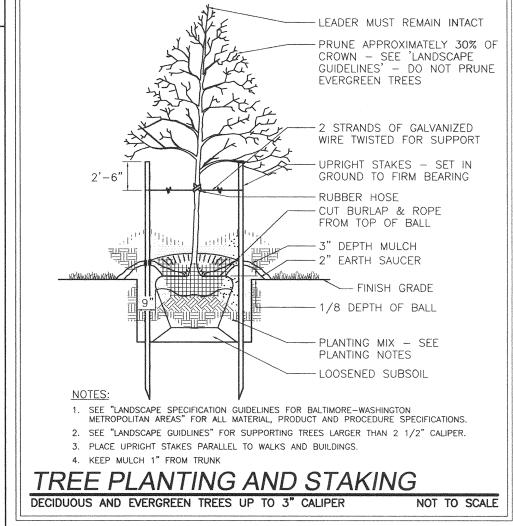
---- SSF ---

- 1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts. 2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps
- are not required except on the ends of the fence. 3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and midsection.
- 4. Filter cloth shall be embedded a minimum of 8" into the ground. 5. When two sections of filter cloth adjoin each other, they shall be overlapped
- 6. Maintenance shall be performed as needed and silt buildups removed when 'bulges' develop in the silt fence, or when silt reaches 50% of fence height. Geotextile Class F

PRUNE AS DIRECTED

RUBBER HOSE

7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and midsection and shall meet the following requirements for 20 lbs/in (min) Test: MSMT 509 Tensile Modulus Test: MSMT 322 Test: MSMT 322 Filtering Efficiency MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION US DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE



LAND DESIGN & DEVELOPMENT

8000 MAIN STREET

ELLICOTT CITY, MD 21043

ATTN: MR DONALD R REUWER

(410) 480-9105

<u>DEVELOPER</u> RYAN HOMES 6085 MARSHALEE DRIVE ELKRIDGE, MARYLAND 21075 ATTN: JOHN LEWIS (410) 796-0980

SEQUENCE OF CONSTRUCTION

2:1 SLOPE OR FLATTER \

CUT OR

FILL SLOPE -

GRADE LINE

Seed and cover with straw mulch.

stabilized area at a non-erosive velocity.

or otherirregularities which will impede normal flow.

6. Fill shall be compacted by earth moving equipment

will not interfere with the functioning of the dike.

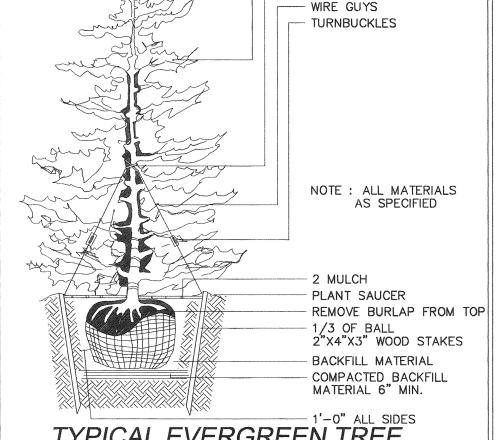
- OBTAIN GRADING PERMIT.
- 2. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410.313.1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK. 3. INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON PLAN AND IN ACCORDANCE WITH DETAILS. (5 DAYS)
- 4. INSPECT SEDIMENT CONTROL MEASURES FROM F-04-74 TO REMAIN PER SDP. REPAIR AS NEEDED. (1 DAY)
- 5. AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED, ROUGH GRADE SITE. (2 WEEKS)
- 6. CONSTRUCT HOUSES. THE FIRST FLOOR ELEVATIONS CANNOT BE MORE THAN 1' HIGHER OR 0.2' LOWER THAN THE ELEVATIONS
- SHOWN ON THIS PLAN. (6 MONTHS) 7. INSTALL DRYWELLS AS INDICATED. (1 WEEK)
- 8. INSTALL PERIMETER LANDSCAPING FOR LOTS 33,39 AND 41,48. (1 DAY) 9. UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE

APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES. (2 DAYS)

NOTES

- DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN
- 2. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLIED WITH.

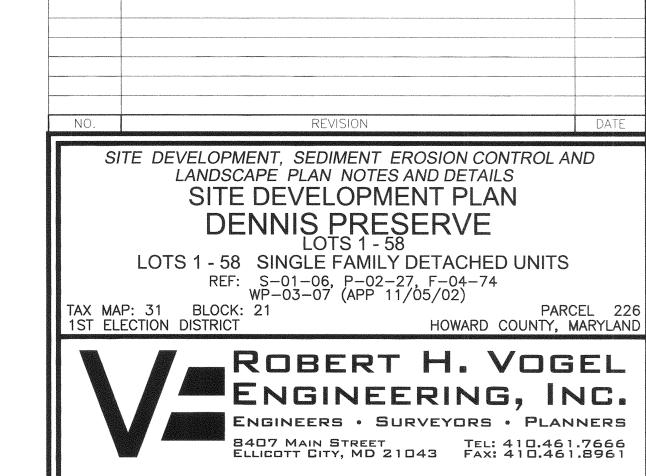
THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL

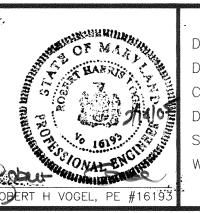


*IF MULTIPLE LAYERS ARE

REQUIRED TO ATTAIN 42"

TYPICAL EVERGREEN TREE PLANTING DETAIL DECIDUOUS AND EVERGREEN TREES UP TO 3" CALIPER NOT TO SCALE





DESIGN BY: DRAWN BY: CHECKED BY:____ SCALE: AS SHOWN W.O. NO.: _____2017019.00

SHEET

PARCEL

3/3/000

DATE

/ DATE

BY THE ENGINEER

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT.

dans Com SIGNATURE OF ENGINEER ROBERT H VOGEL, PE

31.37 AC.

16.87 AC.

13.37 AC.

57,100 CY

57,100 CY

3.5 AC.

EROSION BEFORE BECKNING THE PROJECT. SIGNATURE OF DEVELOPER

58

275 cf

BY THE DEVELOPER

BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBL

PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A

CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT

APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL

