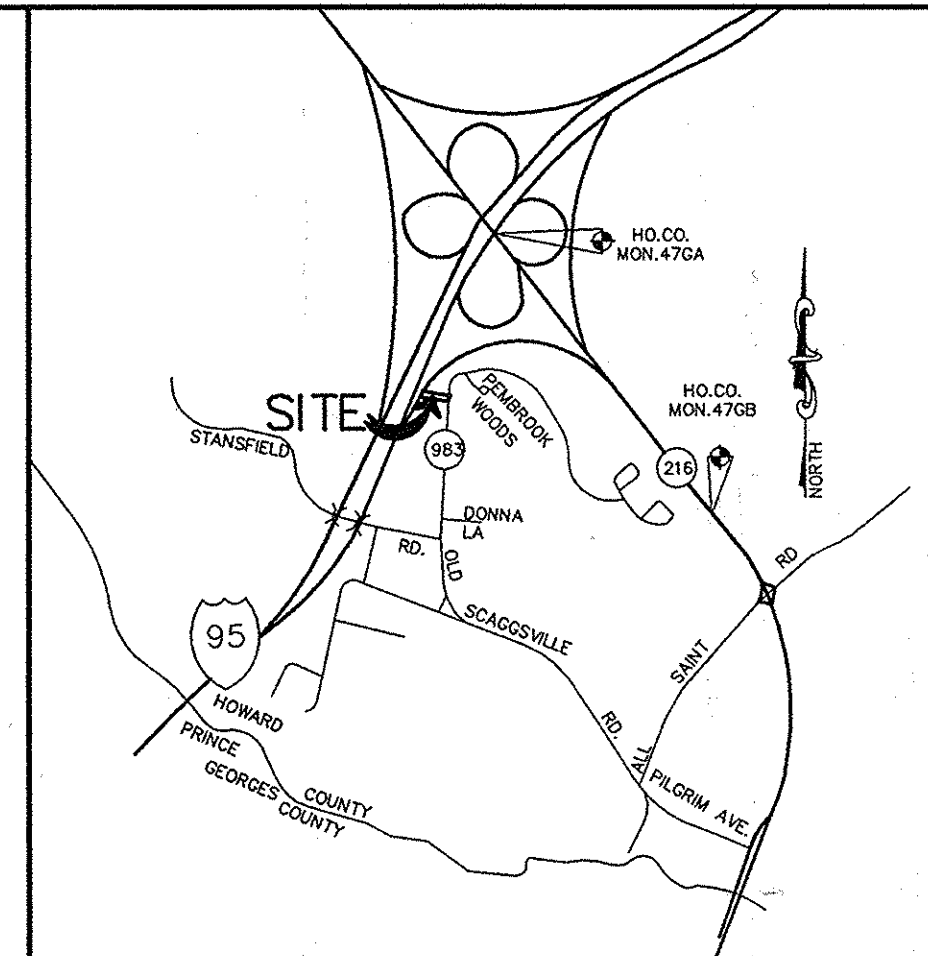


SHEET INDEX	
NO	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	GRADING AND SEDIMENT CONTROL PLAN
3	DETAIL SHEET
4	LANDSCAPE PLAN

SITE DEVELOPMENT PLAN GILBERT SUBDIVISION LOTS 1 AND 2 TWO SINGLE FAMILY HOMES 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP

SCALE: 1"=2000'
COPYRIGHT AND THE MAP PEOPLE
PERMITTED USE NO. 20894285

AREA TABULATION CHART

AREA OF PARCEL	0.5545 ACRES
LIMIT OF DISTURBED AREA	0.39 ACRES
PRESENT ZONING	R-SC
PROPOSED USE	RESIDENTIAL (2-SINGLE FAMILY DETACHED)
OPEN SPACE REQUIRED	0.13 ACRES
OPEN SPACE PROVIDED	*0

* A FEE-IN-LIEU PAYMENT OF \$1500.00 WAS PAID TO THE COUNTY FOR THE REQUIRED OPEN SPACE FOR THIS SUBDIVISION IN ACCORDANCE WITH SECTION 16.121(D) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, UNDER F-03-0189

BENCH MARK

HOWARD COUNTY CONTROL
STATION 476A
N 532,404.175
E 1,351,827.338
ELEV. 350.405

HOWARD COUNTY CONTROL
STATION 476B
N 529,917.204
E 1,353,528.738
ELEV. 259.195

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Frank P. Wright 9/12/04
DIRECTOR DATE

Michael J. Williams 9/10/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Christopher J. Reid 7/19/04
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

8/3/15 | UPDATE SWM DESIGN
DATE NO. REVISION

OWNER / DEVELOPER
GILBERT A. MOBLEY, SR.
8291 WASHINGTON BOULEVARD
JESSUP, MARYLAND 20794

PROJECT GILBERT SUBDIVISION
LOTS 1 AND 2
TWO SINGLE FAMILY HOMES

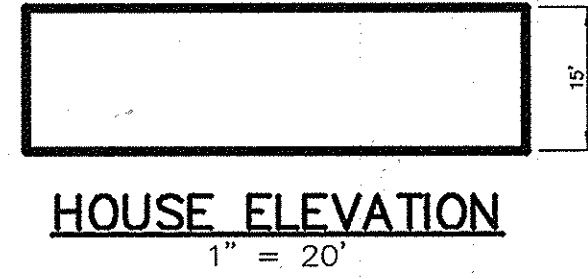
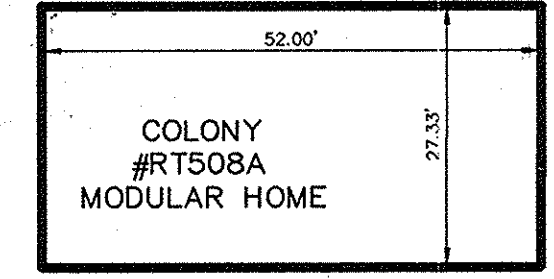
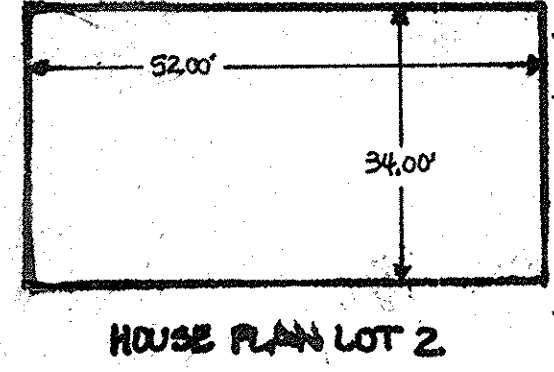
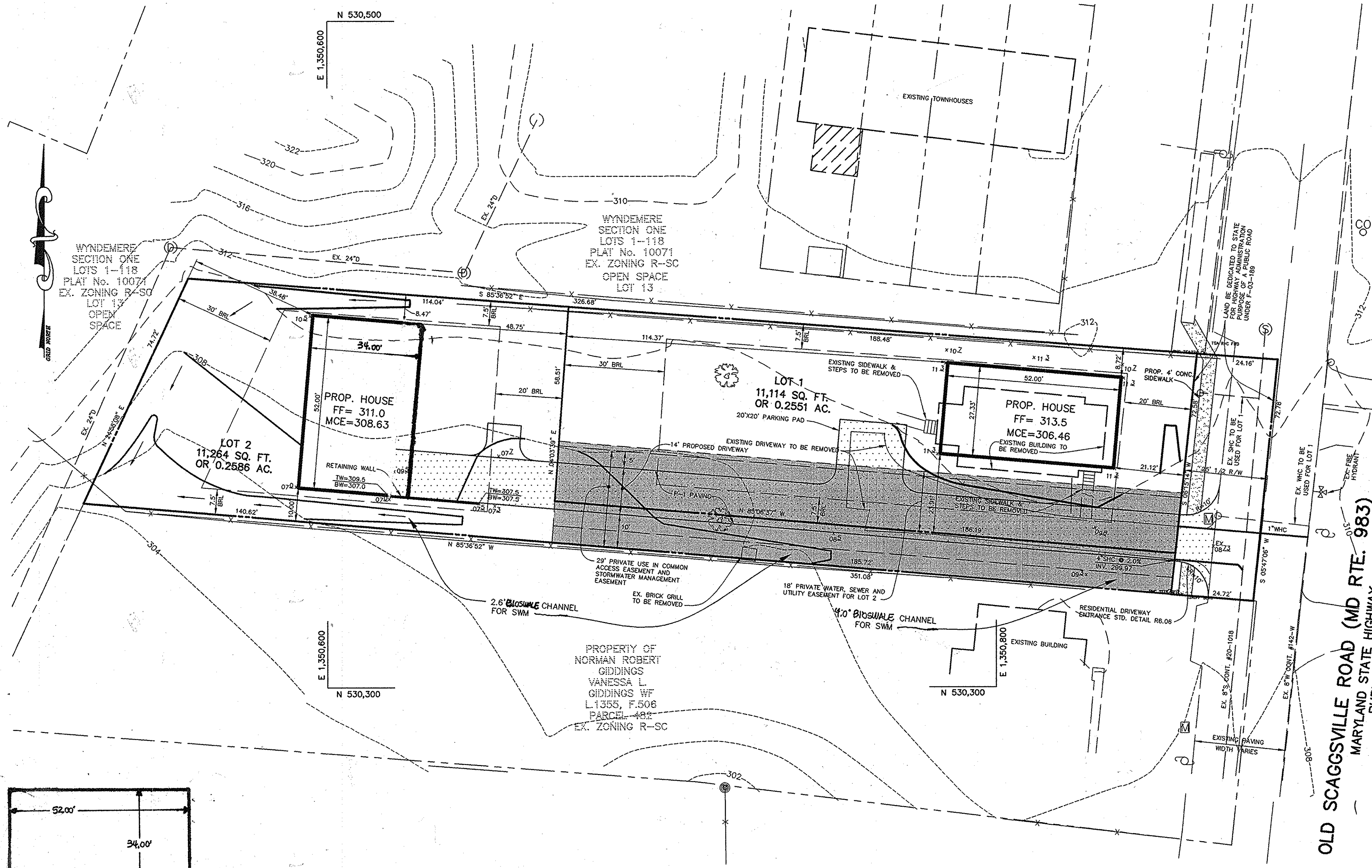
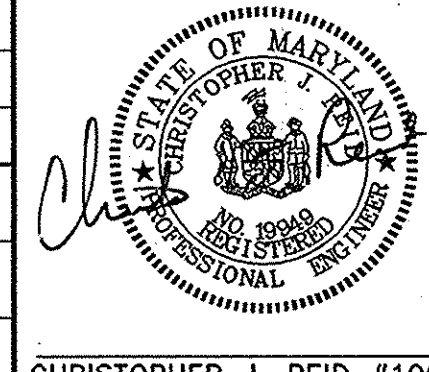
AREA TAX MAP 47 PARCEL 152 ZONED R-SC
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

8-31-04
DATE

FILE NAME: \PLANS\C100COV
DESIGNED BY: C.J.R.
DRAWN BY: MAD
PROJECT NO.: 11997-1-0
DATE: AUGUST 31, 2004
SCALE: 1"= 20'
DRAWING NO. 1 OF 4

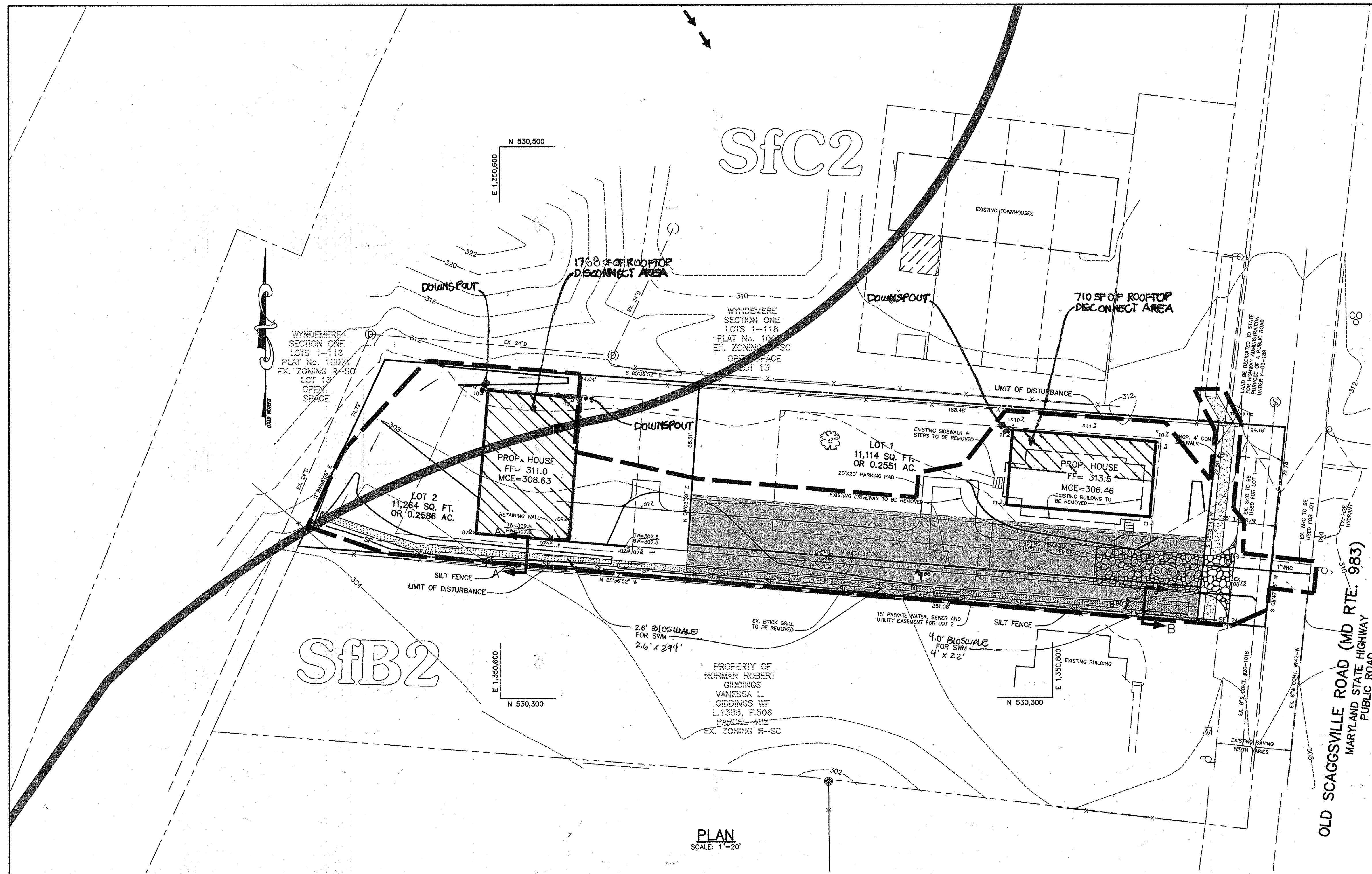


PLAN
1" = 20'

ADDRESS CHART	
LOT	STREET ADDRESS
1	9042 OLD SCAGGSVILLE ROAD
2	9044 OLD SCAGGSVILLE ROAD

SUBDIVISION NAME	GILBERT SUBDIVISION	SECT./AREA	152
PLAT NO.	16578	BLOCK #	18
ZONING	R-SC	TAX MAP NO.	47
ELECT. DIST.	6	CENSUS TRACT	6023.02
WATER CODE	002	SEWER CODE	5750639

- ### GENERAL NOTES
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY PATTON HARRIS RUST & ASSOCIATES, PC, DATED, MARCH, 2003.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 476A AND 476B WERE USED FOR THIS PROJECT.
 - WATER IS PUBLIC. CONTRACT NO. 142-W
 - SEWER IS PUBLIC. SEWER DRAINAGE AREA: NORTH LAUREL P.S. CONTRACT NO. 20-1018
 - STORMWATER MANAGEMENT, WATER QUALITY AND RECHARGE REQUIREMENTS ARE PROVIDED BY GRASS SWALE CREDIT LOCATED WITH THE USE-IN-COMMON ACCESS EASEMENT. THIS PROJECT IS EXEMPT FROM CHANNEL PROTECTION REQUIREMENTS BECAUSE THIS SITE DOES NOT GENERATE RUNOFF IN EXCESS OF 2 CFS FOR THE ONE YEAR STORM EVENT.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
 - A 100-YEAR FLOODPLAIN STUDY FOR THIS PROJECT IS NOT REQUIRED.
 - NO WETLANDS ARE FOUND ON THIS PROJECT.
 - A TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY MARS GROUP DATED AUGUST, 2003.
 - STATE HIGHWAY ADMINISTRATION WILL PROVIDE NOISE MITIGATION FOR THIS SITE ALONG I-95 PER STATE HIGHWAY ADMINISTRATION PROJECT NO. H08575126.
 - THE BOUNDARY FOR THIS PROJECT IS BASED ON PLAT #16578.
 - SUBJECT PROPERTY ZONED R-SC PER 02-02-04 COMPREHENSIVE ZONING PLAN.
 - ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
 - SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. F-03-189, WP-04-21, WP-15-106.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
 - WP-04-21 - A REQUEST TO WAIVE SECTION 16.120(c)(2)(i) FOR A REDUCTION OF THE REQUIRED MINIMUM FRONTAGE WIDTH ONTO A PUBLIC ROAD FOR A SINGLE PIPESTEM LOT FROM 20 FEET TO 12 FEET WAS APPROVED ON SEPTEMBER 12, 2003, WITH THE FOLLOWING CONDITIONS:
 - COMPLIANCE WITH THE SRC COMMENTS FOR FINAL PLAN, F-03-189.
 - COMPLIANCE WITH THE DEVELOPMENT ENGINEERING DIVISION COMMENTS DATED SEPTEMBER 4, 2003 CONCERNING AN ADDITIONAL EASEMENT TO INCLUDE THE GRASS CHANNEL SOUTH OF THE DRIVEWAY.
 - COMPLIANCE WITH STATE HIGHWAY ADMINISTRATION COMMENTS.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH- 12'(14' SERVING MORE THAN ONE RESIDENCE);
 - SURFACE- 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1/2" MIN.);
 - GEOMETRY- MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;
 - STRUCTURES (CULVERTS/BRIDGES)- CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 - DRAINAGE ELEMENTS- CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 - MAINTENANCE- SUFFICIENT TO INSURE ALL WEATHER USE.
 - THIS PROJECT IS EXEMPT FROM THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.120(b)(1)(i) OF THE HOWARD COUNTY CODE FOR A SUBDIVISION ON LAND WHICH IS LESS THAN 40,000 SQUARE FEET IN AREA.
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - FINANCIAL SURETY FOR THE REQUIRED 13 TREES IN THE AMOUNT OF \$3,750 IS PART OF THE BUILDER'S GRADING PERMIT APPLICATION.
 - A WAIVER PETITION (WP-15-106) WAS APPROVED TO REACTIVATE THE SITE DEVELOPMENT PLAN (SDP-04-154) ON FEBRUARY 26, 2015. THE WAIVER WAS FROM SECTION 16.154(b)(1)(ii) OF THE SUBDIVISION REGULATIONS. THIS SDP IS GRANTED A ONE YEAR EXTENSION TO FEBRUARY 26, 2016 TO APPLY FOR ALL BUILDING PERMITS.



BIOSWALE SPECIFICATIONS

1. THE GRAVEL LAYER SURROUNDING THE UNDERDRAIN PIPES SHALL BE NO. 57 OR NO. 6 STONE (3/8" - 3/4").
2. A MINIMUM 4-INCH PEAGRAVEL LAYER SHALL BE PROVIDED BELOW THE SOIL FILTER/PLANTING MEDIA. THE PEAGRAVEL MUST BE NO. 8 OR NO. 9 (1/8" - 3/8").
3. THE PLANTING MEDIA MIX SHALL MEET SHA-20000000 SOIL MIX STANDARDS. THE SOIL SHALL MEET THE FOLLOWING MINIMUM CRITERIA: A HOMOGENEOUS MIXTURE COMPOSED OF 5 PARTS COARSE SAND, 3 PARTS BASE SOIL, AND 2 PARTS FINE BARE. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN 2 INCHES. THE PLANTING MATERIAL SHALL BE FLOODED AFTER PLACEMENT. ANY SETTLEMENT THAT OCCURS SHALL BE FILLED BACK TO THE DESIGN ELEVATION.
4. THE SURFACE MULCH LAYER SHALL CONSIST OF STANDARD FINE SHREDED AGED HARDWOOD MULCH. THE MULCH SHALL BE UNIFORM TO A DEPTH OF 2 TO 3 INCHES. YEARLY REPLENISHING MAY BE NECESSARY. PINE BARK IS NOT ACCEPTABLE.

BY THE DEVELOPER :
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
 DEVELOPER: *Gilbert A. Mobley, Sr.* DATE: 8-31-04

BY THE ENGINEER :
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 ENGINEER: *Chet J. Rees* DATE: 8-31-04

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Myers 9-7-09
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 9-7-09
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark A. Lough 9/12/04
 DIRECTOR DATE

John P. ... 9/12/04
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Christopher J. Reid 9/12/04
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

8/31/04	1	UPDATE SWM DESIGN
DATE	NO.	REVISION

OWNER / DEVELOPER
 GILBERT A. MOBLEY, SR.
 8291 WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794

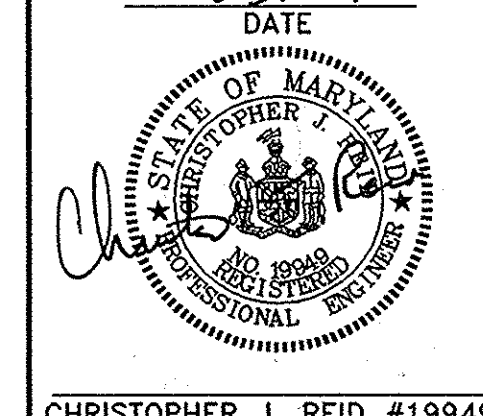
PROJECT
**GILBERT SUBDIVISION
 LOTS 1 AND 2
 TWO SINGLE FAMILY HOMES**

AREA TAX MAP 47 PARCEL 152 ZONED R-SC
 6TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
GRADING AND SEDIMENT CONTROL PLAN

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

8-31-04 DATE
 FILE NAME : PLANS\2005ESC
 DESIGNED BY : C.J.R.
 DRAWN BY : MAD
 PROJECT NO : 11997-1-0
 DATE : AUGUST 31, 2004
 SCALE : AS SHOWN
 DRAWING NO. 2 OF 4



SfC2

SfB2

PLAN
 SCALE: 1"=20'

SITE AREA	WQV (cf)	Rev (cf)	Cpv (cf)	Qp 1 (cfs)	Qp 10 (cfs)
0.60 AC	697	91	N/A	2.85*	0.33**

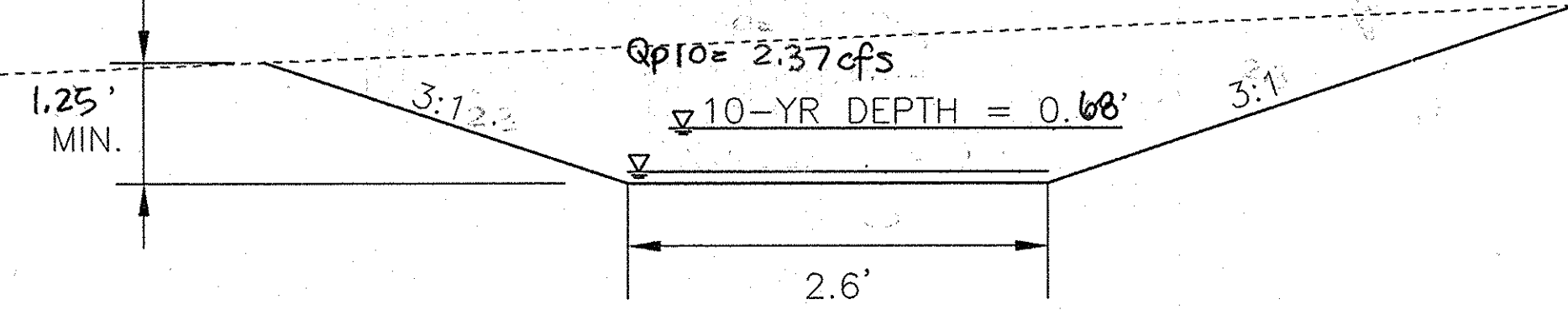
*DRAINAGE AREA #1 **DRAINAGE AREA #2
 THE STORMWATER MANAGEMENT FOR THIS SITE WILL BE ADDRESSED WITH THE GRASS CHANNEL CREDIT FOR WQV AND REV. CPV WILL NOT BE REQUIRED BECAUSE THE PROPOSED ONE-YEAR PEAK DISCHARGE IS LESS THAN 2 CFS.

SITE	AC	ESDV REQUIRED (CF)	ESDV PROVIDED (CF)	ESDV DEVICE
SITE 1	0.82 AC	1062	1240	DISCONNECT OF ROOFTOP RUNOFF (N-1), BIOSWALES (M-8)
		1062	1240	

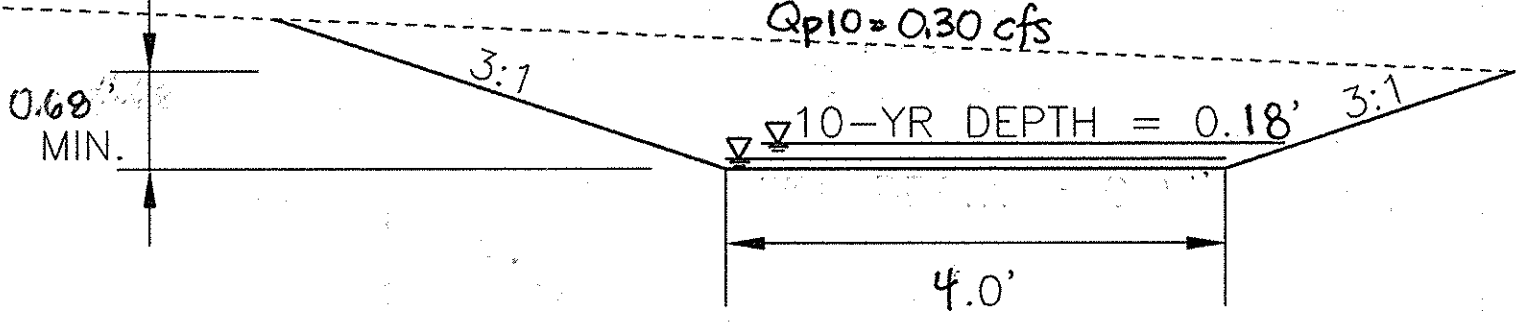
STORMWATER MANAGEMENT FOR THIS SITE WILL BE ADDRESSED THROUGH THE ROOFTOP DISCONNECT CREDIT (N-1) AND BIOSWALES (M-8).

SEQUENCE OF CONSTRUCTION

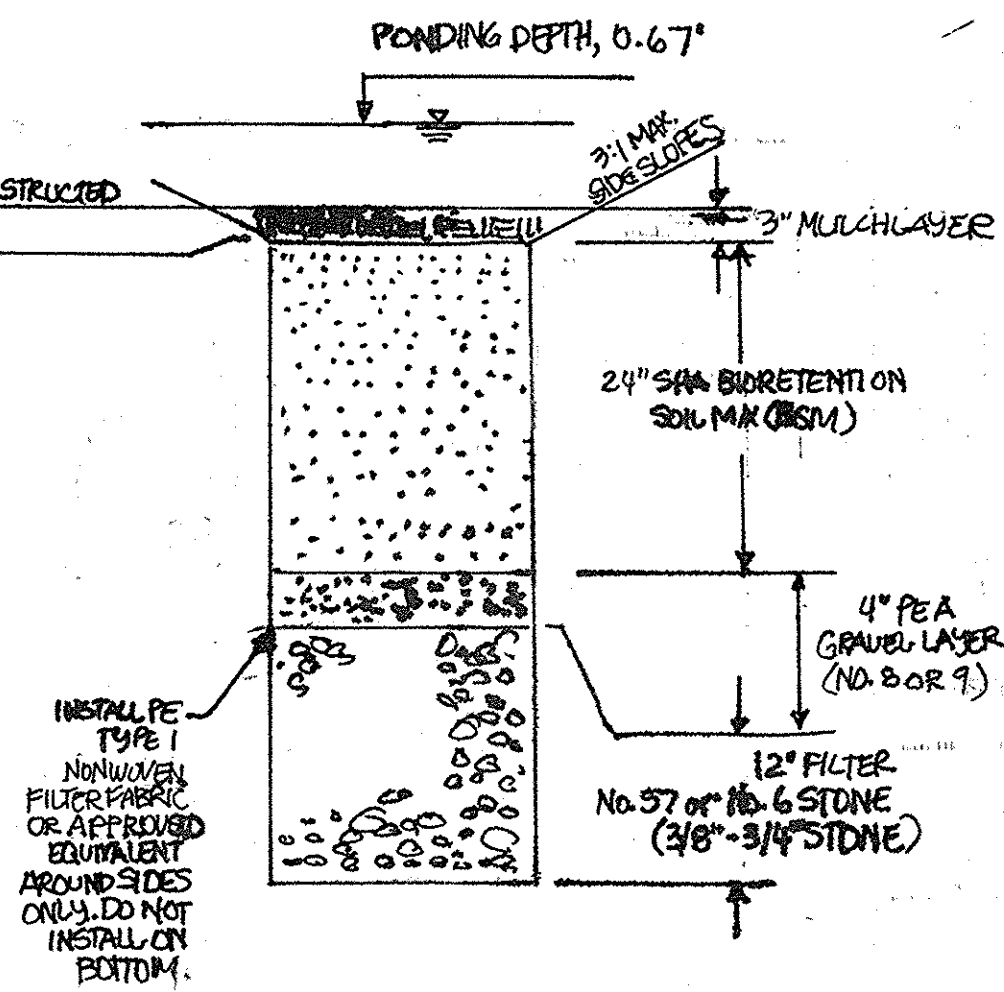
1. OBTAIN GRADING PERMITS FOR SINGLE FAMILY HOME CONSTRUCTION.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE AND BEGIN ROUGH GRADING. (2 DAYS)
3. BEGIN HOUSE CONSTRUCTION.
4. FINE GRADE SITE AND CONSTRUCT DRIVEWAY. (4 WEEKS)
5. COMPLETE HOUSE CONSTRUCTION. (6 MONTHS)
6. UPON APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES.



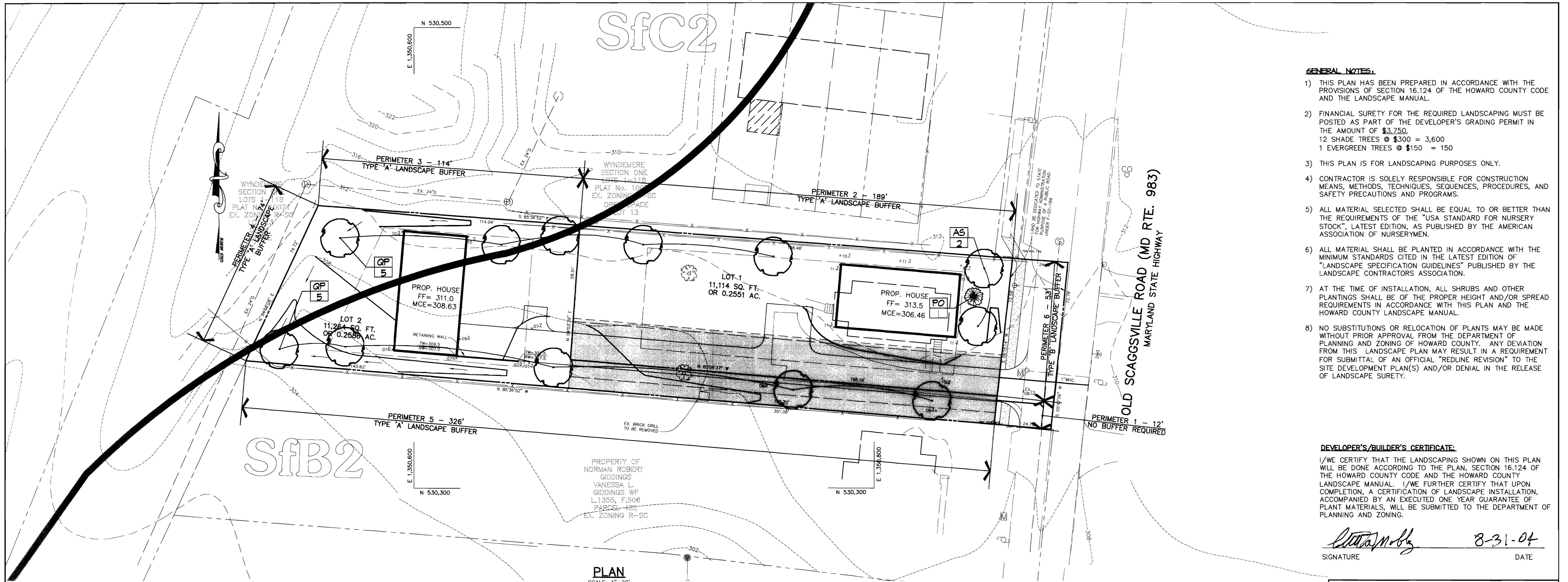
SECTION A-A (TYPICAL)
 N.T.S.



SECTION B-B (TYPICAL)
 N.T.S.



BIOSWALE TYPICAL SECTION
 NOT TO SCALE



- GENERAL NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S GRADING PERMIT IN THE AMOUNT OF \$3,750.
12 SHADE TREES @ \$300 = 3,600
1 EVERGREEN TREES @ \$150 = 150
 - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
 - ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
 - AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
 - NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.

DEVELOPER'S/BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Scott R. Wolford 8-31-04
SIGNATURE DATE

PLAN
SCALE: 1"=20'

PLANTING SPECIFICATIONS

- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
- Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or Xpressacyparis leylandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13).
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.); top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yew); Top dress after planting with 1/4 to 1/2 cup lime each.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Need & insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing diazinophos to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid dessication.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.

PLANT LIST

SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	REMARKS
AS	2	Acer saccharum 'Green Mountain'	2.5"-3" cal.	B4B	Plant as shown
GP	5	Quercus phellos	2.5"-3" cal.	B4B	Plant as shown
OR	5	Quercus rubra	6"-8" ht.	B4B	Plant as shown
PO	1	Picea canadensis	6"-8" ht.	B4B	Plant as shown

SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER	ADJACENT TO PERIMETER PROPERTIES				ADJACENT TO ROADWAYS	
	2	3	4	5	1	6
LANDSCAPE TYPE	A	A	A	A	NONE	B
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±109'	±114'	±74'	±326'	±12'	±53'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	-	-	-	-	-	-
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	-	-	-	-	-	-
LINEAR FEET REMAINING	±109'	±114'	±74'	±326'	±12'	±53'
NUMBER OF PLANTS REQUIRED						
SHADE TREES	3	2	1	5	-	1
EVERGREEN TREES	-	-	-	-	-	-
SHRUBS	-	-	-	-	-	-
NUMBER OF PLANTS PROVIDED						
SHADE TREES	3	2	1	5	-	1
EVERGREEN TREES	-	-	-	-	-	-
SMALL FLOWERING TREES	-	-	-	-	-	-
SHRUBS	-	-	-	-	-	-

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Frank A. Layton 9/12/04
DIRECTOR DATE

Mike Dorman 9/12/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Colleen 9/13/04
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

OWNER / DEVELOPER
GILBERT A. MOBLEY, SR.
8291 WASHINGTON BOULEVARD
JESSUP, MARYLAND 20794

PROJECT
GILBERT SUBDIVISION
LOTS 1 AND 2
TWO SINGLE FAMILY HOMES

AREA TAX MAP 47 PARCEL 152 ZONED R-SC
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE
LANDSCAPE PLAN

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