#### GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- 4. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 6. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY PATTON HARRIS RUST & ASSOCIATES, pc, DATED, MARCH, 2003.
- 7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 47GA AND 47GB WERE USED FOR THIS PROJECT.
- 8. WATER IS PUBLIC. CONTRACT NO. 142-W
- 9. SEWER IS PUBLIC. SEWER DRAINAGE AREA: NORTH LAUREL P.S CONTRACT NO. 20-1018
- 10. STORMWATER MANAGEMENT, WATER QUALITY AND RECHARGE REQUIREMENTS ARE PROVIDED BY GRASS SWALE CREDIT LOCATED WITH THE USE-IN-COMMON ACCESS EASEMENT. THIS PROJECT IS EXEMPT FROM CHANNEL PROTECTION REQUIREMENTS BECAUSE THIS SITE DOES NOT GENERATE RUNOFF IN EXCESS OF 2 CFS FOR THE ONE YEAR STORM EVENT.
- 11. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- 12. A 100- YEAR FLOODPLAIN STUDY FOR THIS PROJECT IS NOT REQUIRED.
- 13. NO WETLANDS ARE FOUND ON THIS PROJECT.
- 14. A TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY MARS GROUP DATED AUGUST, 2003.
- 15. STATE HIGHWAY ADMINISTRATION WILL PROVIDE NOISE MITIGATION FOR THIS SITE ALONG I-95 PER STATE HIGHWAY ADMINISTRATION PROJECT NO. H08575126.
- 16. THE BOUNDARY FOR THIS PROJECT IS BASED ON PLAT #16578.
- 17. SUBJECT PROPERTY ZONED R-SC PER 02-02-04 COMPREHENSIVE ZONING PLAN.
- 18. ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929
- 19. SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. F-03-189, WP-04-21 . WP-15-106
- 20. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- 21. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- 22. PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- 23. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE
- 24. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- 25. PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- 26. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- 27. WP-04-21 A REQUEST TO WAIVE SECTION 16.120(c)(2)(i) FOR A REDUCTION OF THE REQUIRED MINIMUM FRONTAGE WIDTH ONTO A PUBLIC ROAD FOR A SINGLE PIPESTEM LOT FROM 20 FEET TO 12 FEET WAS APPROVED ON SEPTEMBER 12, 2003, WITH THE FOLLOWING CONDITIONS:
  - a) COMPLIANCE WITH THE SRC COMMENTS FOR FINAL PLAN, F-03-189
- b) COMPLIANCE WITH THE DEVELOPMENT ENGINEERING DIVISION COMMENTS DATED SEPTEMBER 4, 2003 CONCERNING AN ADDITIONAL EASEMENT TO INCLUDE THE GRASS CHANNEL SOUTH OF THE DRIVEWAY.
  - c) COMPLIANCE WITH STATE HIGHWAY ADMINISTRATION COMMENTS.
- 28. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM
- REQUIREMENTS: a) WIDTH- 12'(14' SERVING MORE THAN ONE RESIDENCE);
- b) SURFACE- 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1/2" MIN.);
- c) GEOMETRY- MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS; d) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
- e) DRAINAGE ELEMENTS- CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT
- DEPTH OVER DRIVEWAY SURFACE; f) MAINTENANCE- SUFFICIENT TO INSURE ALL WEATHER USE.
- 29. THIS PROJECT IS EXEMPT FROM THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202(b)(1)(i) OF THE HOWARD COUNTY CODE FOR A SUBDIVISION ON LAND WHICH IS LESS THAN 40,000 SQUARE FEET IN
- 30. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS. CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN IO FEET INTO THE FRONT OR REAR YARD SETBACK.

COLONY

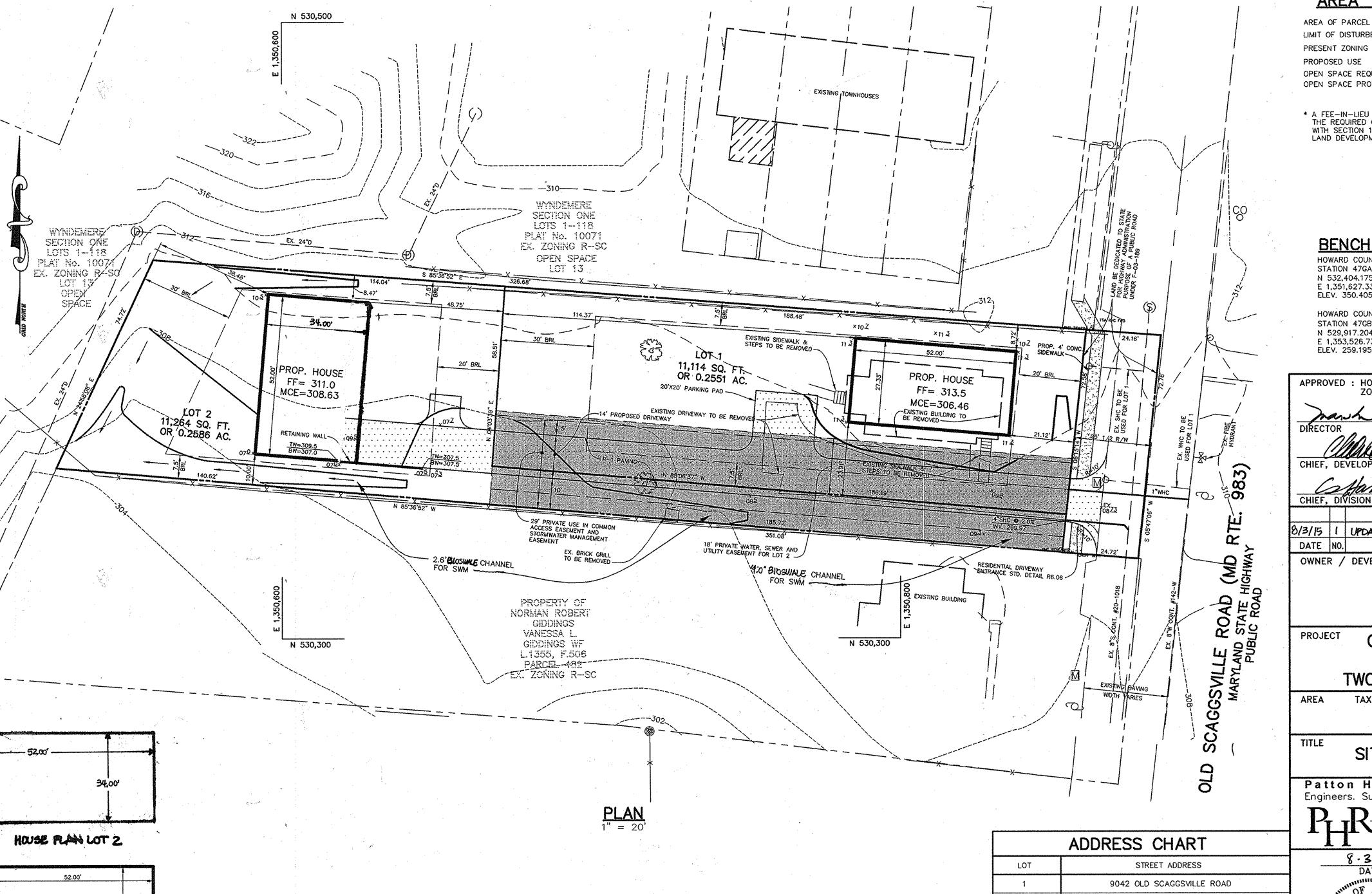
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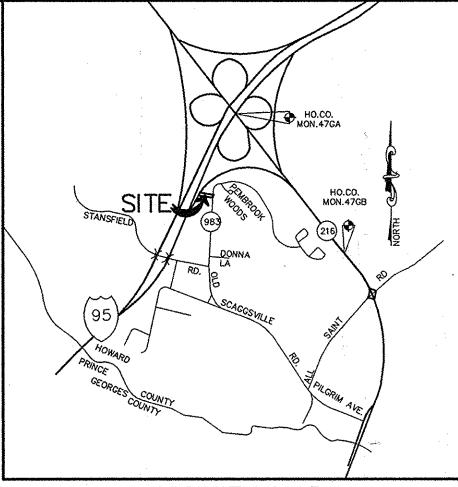
MODULAR HOME

- 31. FINANCIAL SURETY FOR THE REQUIRED 13 TREES IN THE AMOUNT OF \$3,750 IS PART OF THE BUILDER'S GRADING PERMIT APPLICATION.
- 32. A WAIVER PETITION (WP-15+06) WAS APPROVED TO REACTIVATE THE SITE DEVELOPMENT PLAN (SDP-04-154) ON FEBRUARY 26,2015. THE WAIVER WAS FROM SECTION 16.156(0Y IXIII) OF THE SUBDIVISION REGULATIONS. THIS SOP IS GRANTED A ONE YEAR EXTENSION TO FEBRUARY 26, 2016 TO APPLY FOR ALL BUILDING

# SITE DEVELOPMENT PLAN GILBERT SUBDIVISION IOTS 1 AND 2 TWO SINGLE FAMILY HOMES

6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND





# VICINITY MAP

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PERMITTED USE NO. 20894285

#### AREA TABULATION CHART

0.5545 ACRES LIMIT OF DISTURBED AREA R-SC

0.39 ACRES

OPEN SPACE REQUIRED OPEN SPACE PROVIDED \*0

RESIDENTIAL (2-SINGLE FAMILY DETACHED) 0.13 ACRES

\* A FEE-IN-LIEU PAYMENT OF \$1500.00 WAS PAID TO THE COUNTY FOR THE REQUIRED OPEN SPACE FOR THIS SUBDIVISION IN ACCORDANCE WITH SECTION 16.121(b) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. UNDER F-03-0189

### BENCH MARK

HOWARD COUNTY CONTROL STATION 47GA N 532,404.175 E 1,351,627,338 ELEV. 350.405

HOWARD COUNTY CONTROL STATION 47GB N 529,917.204 E 1,353,526.738 ELEV. 259.195

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND CHIEF, DEVELOPMENT ENGINEERING DIVISION CHIEF. DIVISION OF LAND DEVELOPMENT 5/3/15 | I UPDATE SWM DESIGN DATE NO. REVISION OWNER / DEVELOPER GILBERT A. MOBLEY, SR. 8291 WASHINGTON BOULEVARD

> GILBERT SUBDIVISION LOTS 1 AND 2 TWO SINGLE FAMILY HOMES

JESSUP, MARYLAND 20794

TAX MAP 47 PARCEL 152 ZONED R-SC 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

## SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects.



9044 OLD SCAGGSVILLE ROAD

TAX MAP NO.

SEWER CODE

ELECT. DIST. CENSUS TRAC

5750639

6023.02

GILBERT SUBDIVISION

16578

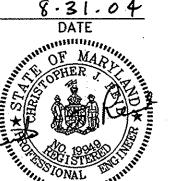
WATER CODE

BLOCK # ZONING

18

R-SC

8818 Centre Park Drive Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282



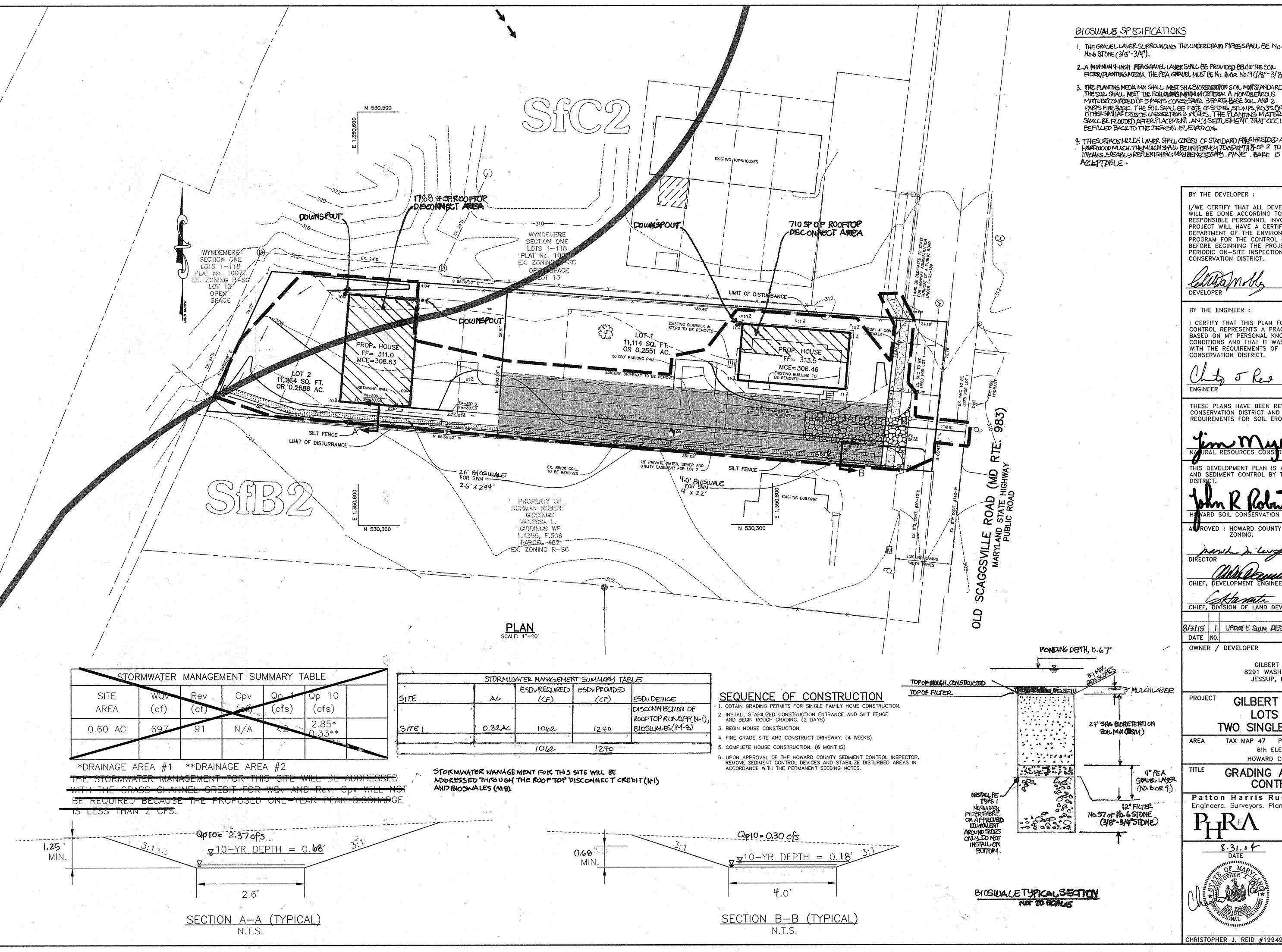
CHRISTOPHER J. REID #19949

FILE NAME :PLANS\C100COV DESIGNED BY : C.J.R. DRAWN BY: MAD

PROJECT NO: 11997-1-0 DATE: AUGUST 31, 2004

SCALE : 1"= 20" DRAWING NO. 1 OF 4

SDP-04-151



- 1. THE GRAVEL LAYER SUPPOUNDING THE UNDERDRAIN PIPES SHALL BE NO.57 OR
- 2. A MINIMUM 4-INCH PSAGRAVEL LAYER SHALL BE PROVIDED BELOW THE SOIL FILTER/PLANTING MEDIA. THE PEA GRAVEL MUST BE No. 8 OR No.9 (1/8"-3/8").
- 3. THE PLANTING MEDIA MIX SHALL MEET SHABJORETHINDON SOIL MAINTANDARDS. THE SOL SHALL MEET THE FOLLOWING MINIMUM CRITERIA: A HOMOGENEOUS MIXTURECOMPOSED OF 5 PARTS COASSESAND. 3 PARTS BASE SOIL, AND 2. PARTS FIRE BARK. THE SOIL SHALL BE FREE OF STONES STUMPS, ROOS OF OTHER SMILLAR OBJECTS LARGER THAN 2 INCHES. THE PLANTING MATERIAL SHALL BE PLOODED AFTER PLACEMENT. AN USETLEMENT THAT COCCURS SHALL
- 4. THE SURFACE MULCH LAYER SHALL COREST OF STANDARD FIRESHREDDED AGED HAPPRICOD MUCH. THE MULCH SHALL BEUNIFORMY TO A DEPTH & OF 2 TO 3 INCHES LIE CAPLY REPLENISHING MAY BENKLESSAY. PINE BARK IS NOT

BY THE DEVELOPER

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL

8-31-04

8.31.04

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION

DAITS Who K Kolubar

AN ROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND

CHIEF, DEVELOPMENT ENGINEERING DIVISION &

CHIEF, DIVISION OF LAND DEVELOPMENT 8/3/15 | UPDATE SWM DESIGN

OWNER / DEVELOPER

GILBERT A. MOBLEY, SR. 8291 WASHINGTON BOULEVARD JESSUP, MARYLAND 20794

REVISION

GILBERT SUBDIVISION LOTS 1 AND 2 TWO SINGLE FAMILY HOMES

TAX MAP 47 PARCEL 152 ZONED R-SC 6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

GRADING AND SEDIMENT CONTROL PLAN

Patton Harris Rust & Associates,pc Engineers. Surveyors. Planners. Landscape Architects. 8818 Centre Park Drive

Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282 FILE NAME :PLANS\C200ESC

DESIGNED BY : C.J.R. DRAWN BY: MAD

> PROJECT NO : 11997-1-0 DATE: AUGUST 31, 2004

SCALE : AS SHOWN DRAWING NO. 2 OF 4

SDP-04-151

<u>DEFINITION</u>
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL

<u>CONDITIONS WHERE PRACTICE APPLIES</u>
1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

-- a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE -b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS

OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. --c. The original soil to be vegetated contains material toxic to plant growth. ---d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

I. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTATION STATION.

TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS. TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1-1/2" IN DIAMETER, -ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. -iii. WHERE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE

SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES. III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

-i. Place topsoil (if required) and apply soil amendments as specified in 20.0 vegetative STABILIZATION - SECTION I - VÉGETATIVE STABILIZATION METHODS AND MATERIALS. HIII. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

L TOPSOIL SPECIFICATIONS — SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

-i. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: --a. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER --- b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT

--c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED. --d. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHÉMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES TO AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY MAY BE USED IN LIEU OF NATURAL

- ii. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE <u>STABILIZATION</u> - SECTION ! - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

-i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS,

GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS. ii. Grades on the areas to be topsoiled, which have been previously established, shall be-MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION. -iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM

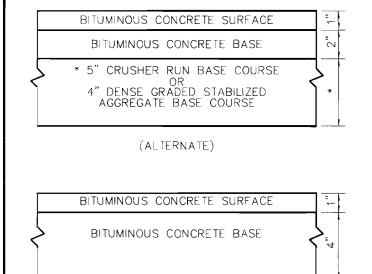
THICKNESS OF 4" SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. -iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition,

WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

/I. ALTERNATIVE FOR PERMANENT SEEDING — INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW: I COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITE HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: ·--a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE

PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06. b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2-PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.

-—c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET --d. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM <code>FERTILIZER</code> APPLIED AT THE RATE OF f 4LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE,



HOWARD COUNTY DESIGN MANUAL VOLUME IV-STANDARD SPECIFICATIONS AND DETAILS FOR

DEADMAN -

CONSTRUCTION (DRAWING R-2.01)

-FINISHED GRADE

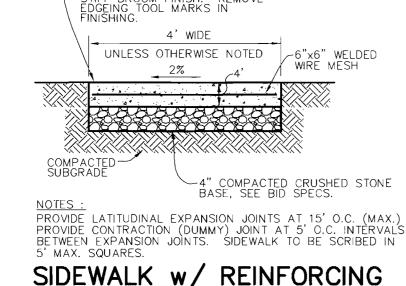
PLACE ANCHORS 4'-0' o/c

RETAINING WALL DETAIL

- MINIMUM 4'x6" TREATED TIMBER

-10" SPIKE SPACED 6'-8' c/c (TYP)

---FINISHED GRADE



UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973. 4" COMPACTED CRUSHED STONE BASE, SEE BID SPECS.

TEMPORARY SEEDING NOTES STANDARD SEDIMENT CONTROL NOTES APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED. 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU

PER 1000 SQ.FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3

LBS. PER ACRE OF WEEPING LOVEGRASS (0.07 LBS. PER 1000 SQ.FT.). FOR

TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL

EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING,

DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF

1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS.

LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO

PER 1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14

UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS.

PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS. PER 1000 SQ.FT.).

2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS.

LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO

SEEDING: FOR THE PERIOD MARCH 1 THRU APRIL 30 AND FROM AUGUST 1

HRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS. PER 1000 SQ.FT.)

OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED

WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE

(0.05 LBS. PER 1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD

OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY ONE OF THE FOLLOWING

PER 1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23

1) 2 TONS PER ACRE OF WELL-ANCHORED MULCH STRAW AND SEED AS SOON

3) SEED WITH 60 LBS. PER ACRE KENTUCKY 31 TALL FESCUE AND MULCH

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000

ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL

OR 218 GAL, PER ACRE (5 GAL, PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON

FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL.

SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS,

WITH 2 TONS PER ACRE WELL ANCHORED STRAW.

DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

PERMANENT SEEDING NOTES

ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL

OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON

FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL.

THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2

NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS.

LBS. PER 1000 SQ.FT.).

POSSIBLE IN THE SPRING, OR USE SOD.

PER 1000 SQ.FT.) FOR ANCHORING.

THE FOLLOWING SCHEDULES

OP TIONS

USE SOD.

UPPER THREE INCHES OF SOIL.

AS POSSIBLE IN THE SPRING.

PER 1000 SQ.FT.) FOR ANCHORING.

REPLACEMENTS AND RESEEDINGS

DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855). DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A)7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G.). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7. SITE ANALYSIS:

TOTAL AREA OF SITE AREA DISTURBED AREA TO BE ROOFED OR PAVED AREA TO BE VEGETATIVELY STABILIZED TOTAL CUT TOTAL FILL OFFSITE WASTE AREA LOCATION TO HAVE ACTIVE GRADING PERMIT

0.55 ACRES 0.39 ACRES 0.15 ACRES 0.24 ACRES 120 CU. YARDS 120 CU. YARDS

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF

9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

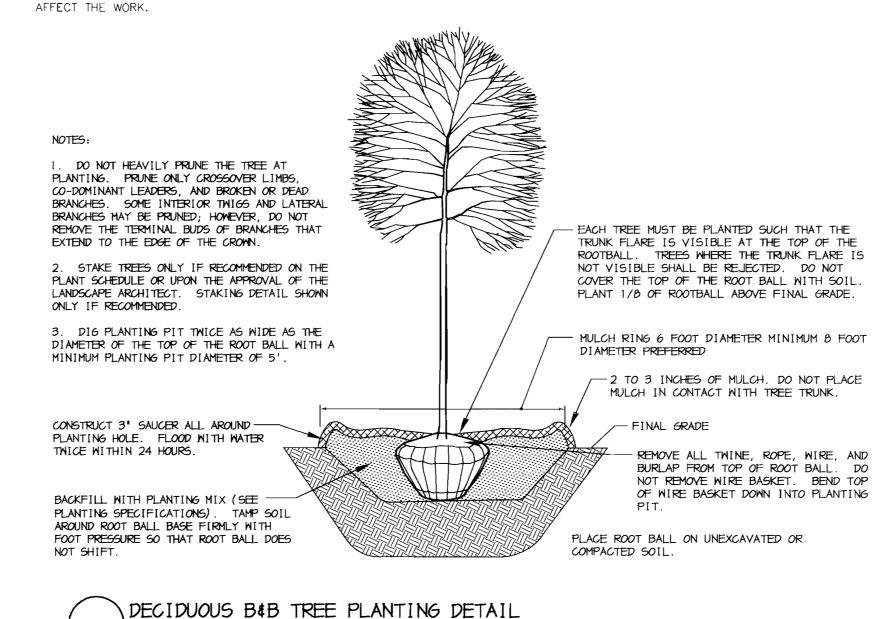
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

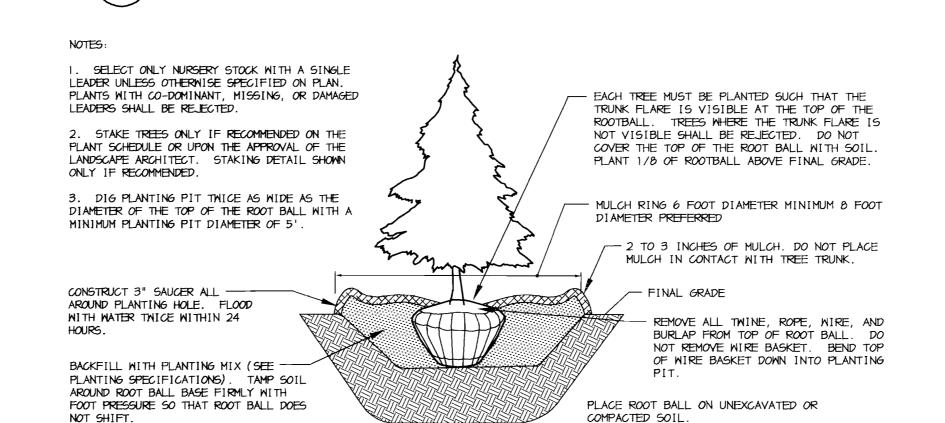
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

12. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.

13. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.

14. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL. NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY





EVERGREEN B&B TREE PLANTING DETAIL NOT TO SCALE

NOT TO SCALE

30.0 - DUST CONTROL

DEFINITION

CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFET

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON

SPECIFICATIONS

1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING

2. VEGATATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER. 3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12" APART, SPRING-TOOTHED HARROWS, AND SIMILIAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.

5. BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS
AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING

6. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST, MAY

TEMPORARY METHODS

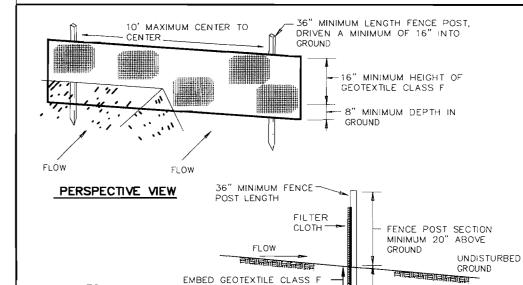
1 PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

2. TOPSOILING - COVERING WITH LESS EROSIVE SOIL MATERIALS. SEE STANDARDS FOR 3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

REFERENCES

. AGRICULTURE HANDBOOK 346. WIND EROSION FORCES IN THE UNITED STATES AND THEIR USES IN PREDICTING SOIL LOSS. 2. AGRICULTURE INFORMATION BULLETIN 354, HOW TO CONTROL WIND EROSION, USDA-ARS.

MARYLAND DEPARTMENT OF ENVIRONMENT DETAIL 22 - SILT FENCE



EMBED GEOTEXTILE CLASS F

INTO THE GROUND

A MINIMUM OF 8" VERTICALLY 🖠

V \_\_\_\_T THE GROUND

STANDARD SYMBOL

CROSS SECTION

POSTS > JOINING TWO ADJACENT SILT FENCE SECTIONS

Construction Specifications . Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 11/2" x 11/2" square (minimum) cut, or 13/4" diameter minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot. 2. Geotextile shall be fastened securely to each fence post with wire ties r staples at top and mid-section and shall meet the following requirements

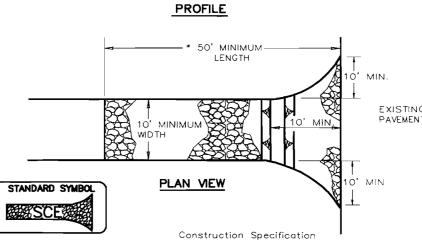
for Geotextile Class F: Tensile Strenath 50 lbs/in (min.) Test: MSMT 509 Tensile Modulus 20 lbs/in (min.) Test: MSMT 509 Flow Rate 0.3 gal ft  $\frac{t}{minute}$  (max.) Test: MSMT 322 Filtering Efficiency 75% (min.)

Test: MSMT 322 . Where ends of geotextile fabric come together, they shall be overlapped folded and stapled to prevent sediment bypass.

4. Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fobric height.

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

BERM (6" MIN.) XISTING PAVEMENT EARTH FILL \*\* GEOTEXTILE CLASS 'C'----- PIPE AS NECESSARY OR BETTER MINIMUM 6" OF 2"-3" AGGREGATE OVER LENGTH AND WIDTH OF LEXISTING GROUND STRUCTURE PROFILE \* 50' MINIMUM-



. Length — minimum of 50' (\*30' for single residence lot). . Width — 10' minimum, should be flared ot the existing road to provide o turning

3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. \*\*The plan approvol authority may not require single family residences to use aeotextile.

Stane — crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the

5. Surface Water — all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, mointaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a nountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has o be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.

6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance

WATER MANAGEMENT ADMINISTRATION

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

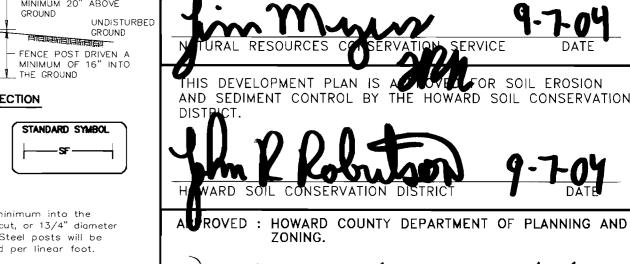
DEVELOPER DATE

BY THE ENGINEER

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

8.31.04 **ENGINEER** DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.



DEVELOPMENT ENGINEERING DIVISION CHIEF, DIVÍSION OF LAND DEVELOPMENT

DATE NO. REVISION OWNER / DEVELOPER

> GILBERT A. MOBLEY, SR. 8291 WASHINGTON BOULEVARD JESSUP, MARYLAND 20794

GILBERT SUBDIVISION LOTS 1 AND 2 TWO SINGLE FAMILY HOMES

TAX MAP 47 PARCEL 152 ZONED R-SC 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DETAIL SHEET

Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects. 8818 Centre Park Drive Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282

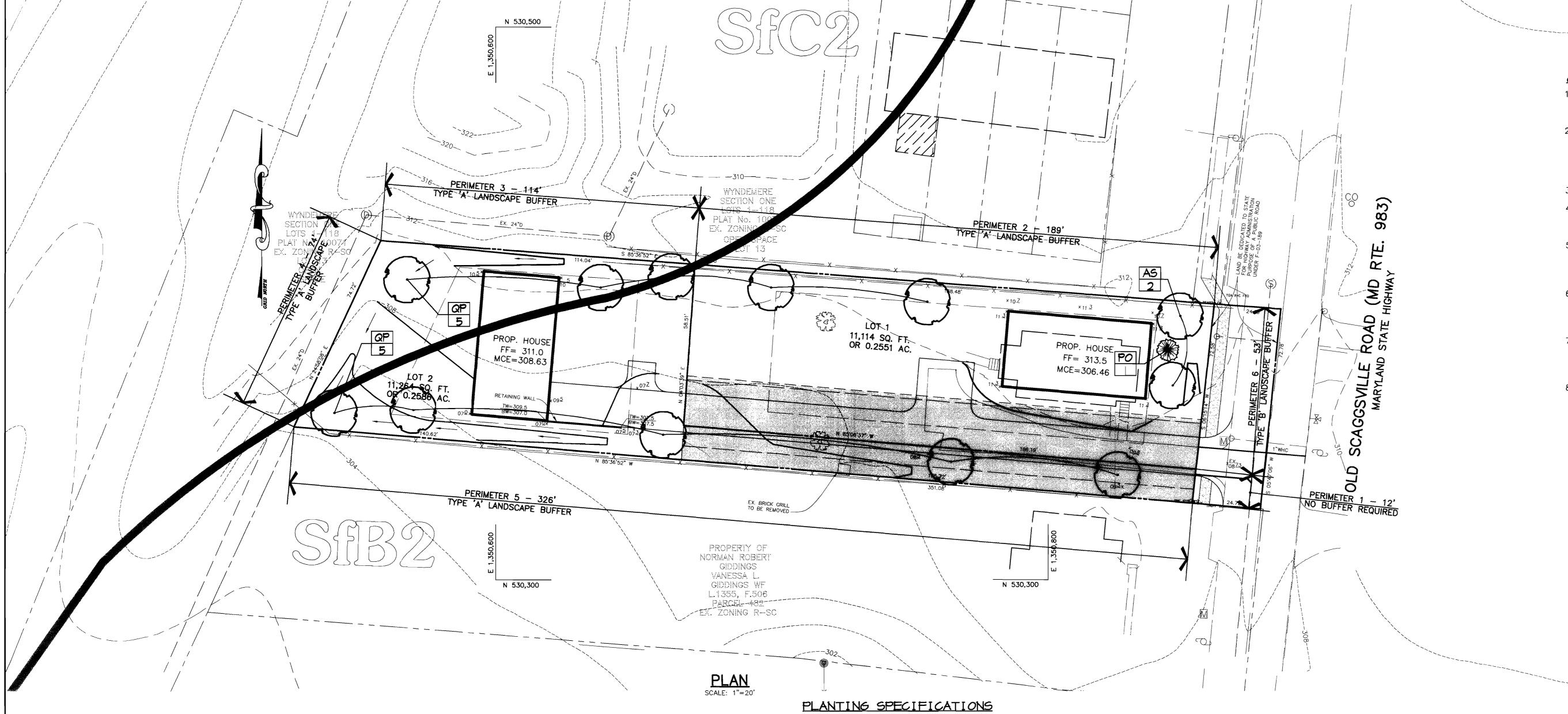
8.31.04

CHRISTOPHER J. REID #19949

FILE NAME :PLANS\ C9000DET DESIGNED BY : C.J.R. DRAWN BY: MAD PROJECT NO : 11997-1-0

DATE : AUGUST 31, 2004 SCALE : AS SHOWN

DRAWING NO. 3 OF 4 SDP-04-151



PLANT LIST										
SYMBOL	QTY.	SCIENTIFIC/ COMMON NAME	SIZE	ROOT	REMARKS					
AS	2	Acer saccharum 'Green Mountain' Green Mountain Sugar Maple	2.5"-3" cal.	B≰B	Plant as shown					
QP	5	Quercus phellus Willow Oak	2.5"-3" cal.	B <b>4</b> B	Plant as shown					
ОR	5	Quercus rubra Red Oak	6'-8' ht.	B4B	Plant as shown					
PO	1	Picea omuritea Serbian Spruce	6'-8' ht.	B≰B	Plant as shown					

SCHEDULE A - PERIMETER LANDSCAPE EDGE									
	ADJACENT TO PERIMETER PROPERTIES				ADJACENT TO ROADWAYS				
PERIMETER	2	3	4	5	1	6			
LANDSCAPE TYPE	Α	Α	Α	Α	NONE	В			
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	±189'	±114'	±74'	±326 '	±12'	±53'			
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	- -	-	-	-		-			
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)		-	<u>-</u>	-	-	-			
LINEAR FEET REMAINING	±189'	±114'	±74'	±326 '	±12'	±53 '			
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	3 -	2 -	1 - -	5	- - -	1 1 -			
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES SMALL FLOWERING TREES SHRUBS	3 - - -	2 -	1 - -	5	- - -	1 -			

#### GENERAL NOTES:

- 1) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- 2) FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S GRADING PERMIT IN THE AMOUNT OF \$3,750.
- 12 SHADE TREES @ \$300 = 3,600 1 EVERGREEN TREES @ \$150 = 150
- 3) THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- 4) CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- 5) ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 6) ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
- 7) AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
- 8) NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.

#### DEVELOPER'S /BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Elter Mobby

8-31-04

- 1. Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
- 2. All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- 3. Unless otherwise specified, all general conditions, pianting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, \$ VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.

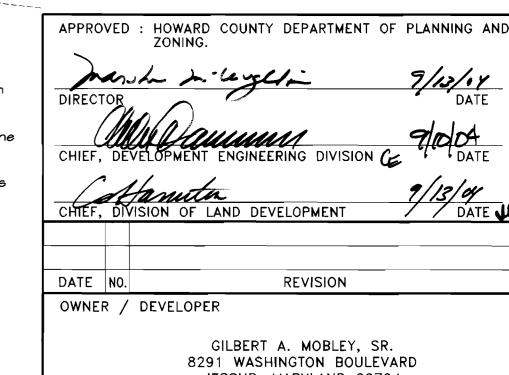
4. Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of

specified plant material.

5. Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 40 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major

changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

- 6. Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- 7. Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or XCupressacyparis leylandli between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- 8. Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- 9. Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- 10. Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- 11. All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- 12. Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- 13. Bed preparation shall be as follows: Till into a minimum depth of 6" i yard of Compro or Leafgro per 200 SF of planting bed, and i yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.): top dress after planting with Iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yews): Top dress after planting with 1/4 to 1/2 cup lime each.
- 14. Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- 15. Weed & insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing chlorogrifos to be used as a means of pest control.
- 16. Mater: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid dessication.
- 17. Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- 18. All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.



JESSUP, MARYLAND 20794

CILBERT SUBDIVISION

LOTS 1 AND 2

TWO SINGLE FAMILY HOMES

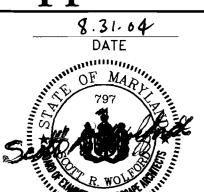
A TAX MAP 47 PARCEL 152 ZONED R-SC 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE

LANDSCAPE PLAN

Patton Harris Rust & Associates, pc
Engineers. Surveyors. Planners. Landscape Architects.

8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900



F 410.997.9282

| FILE NAME :PLANS\CL200LND

DESIGNED BY :

DRAWN BY: MAD

PROJECT NO : 11997-1-0

DATE : AUGUST 31, 2004

SCALE : AS SHOWN

SCOTT R. WOLFORD #797 DRAWING NO. 4 OF 4

SDP-04-151