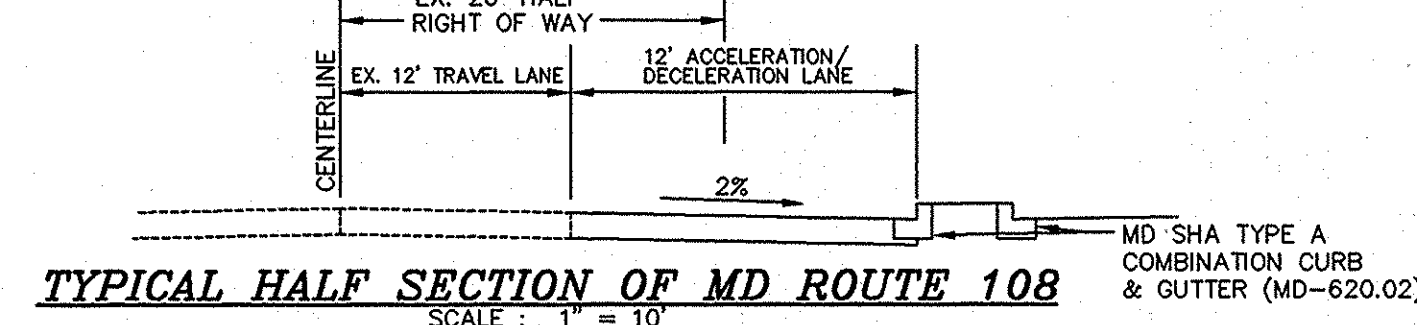
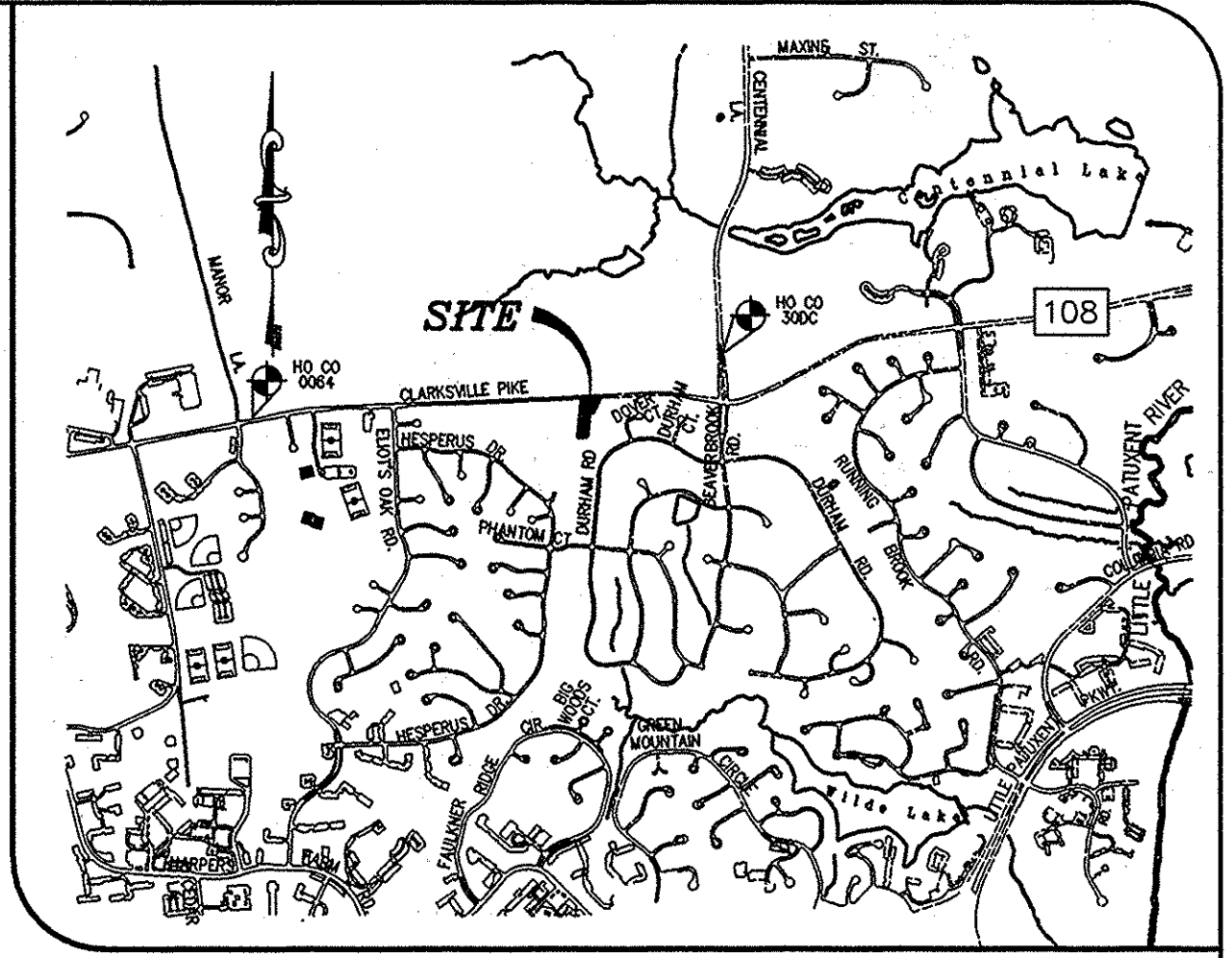


SHEET INDEX	
SHEET	TITLE
1	SITE DEVELOPMENT, GRADING, & SEDIMENT CONTROL PLAN
2	SITE DEVELOPMENT PLAN & PROFILES
3	SEDIMENT CONTROL NOTES & DETAILS & TRAFFIC CONTROL PLAN
4	INLET DRAINAGE AREA MAP & STORM DRAIN PROFILE
5	LANDSCAPE PLAN & DETAILS

# SITE DEVELOPMENT PLAN IRON BRIDGE WINE COMPANY FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

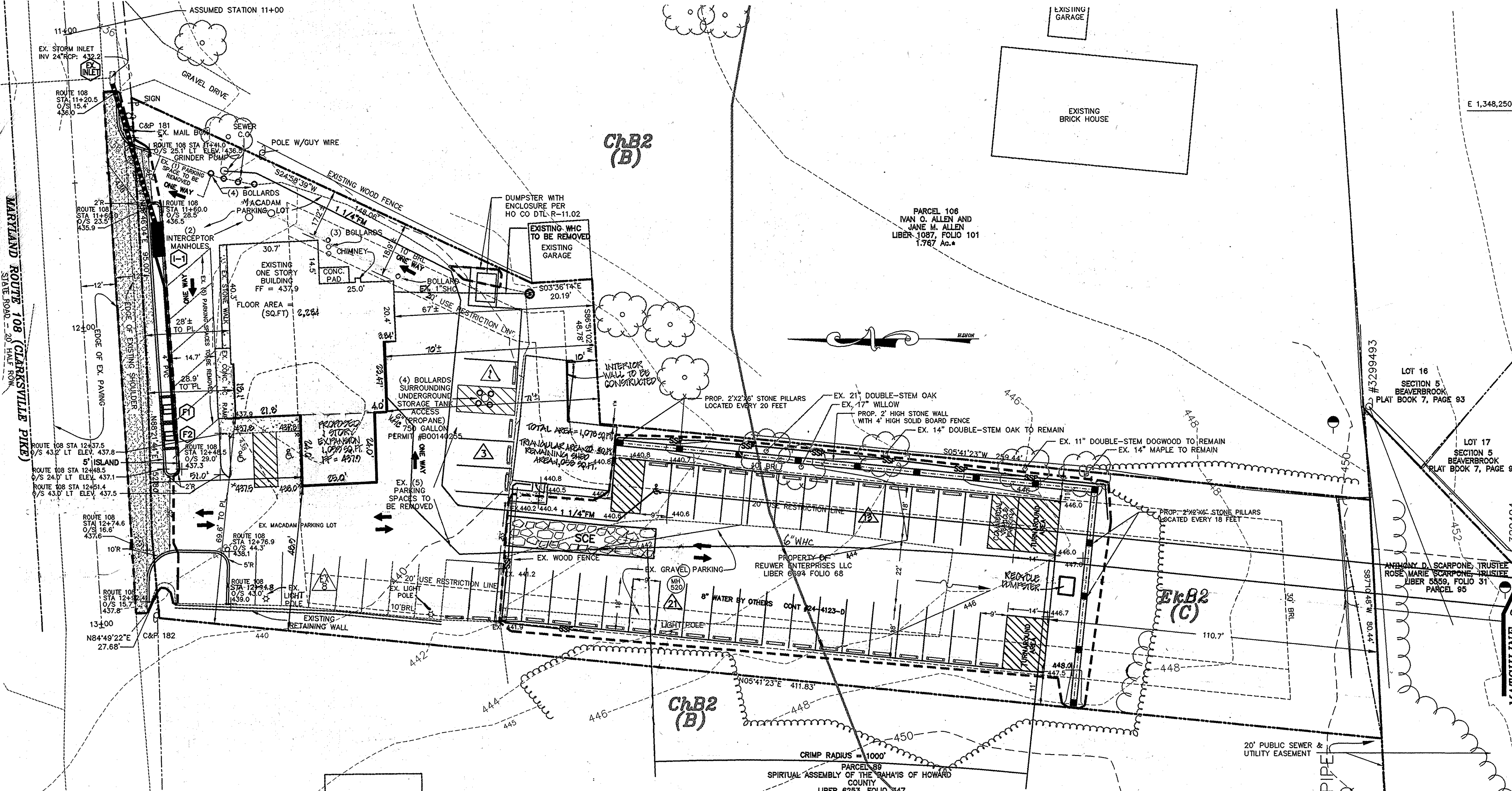


**SOILS CLASSIFICATION:**  
 SYMBOL DESCRIPTION  
 ChB2 CHESTER SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED --- TYPE B  
 E82 ELONK SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED --- TYPE B



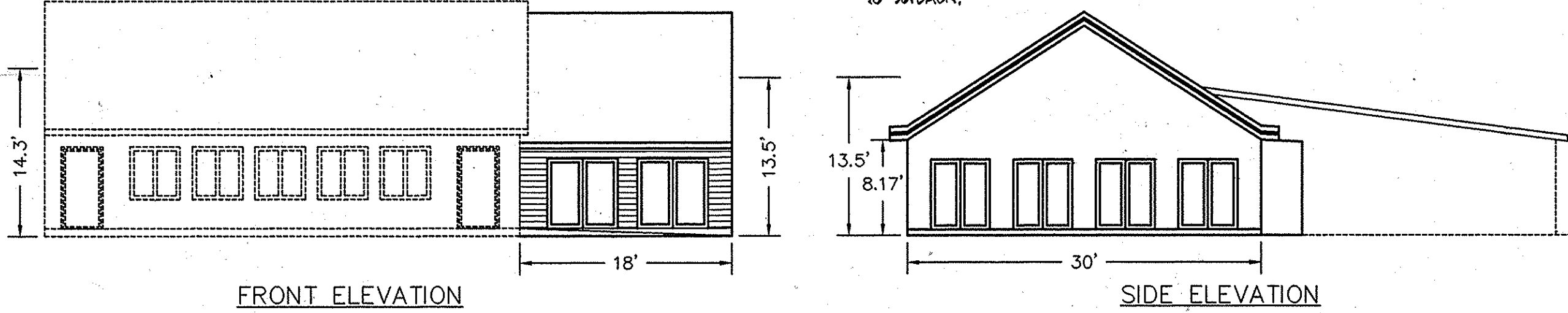
**GENERAL NOTES:**

- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2/2/2004 COMPREHENSIVE ZONING PLAN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:  
 MISS UTILITY 1-800-257-7777  
 C&P TELEPHONE COMPANY (410) 725-8978  
 HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900  
 AT&T CABLE LOCATION DIVISION (410) 393-3533  
 BALTIMORE GAS & ELECTRIC (410) 885-0123  
 STATE HIGHWAY ADMINISTRATION (410) 531-5533  
 HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- PROJECT BACKGROUND:  
 LOCATION: TAX MAP 29 - PARCEL 105 - BLOCK 12 - FIFTH ELECTION DISTRICT.  
 10435 MD ROUTE 108, COLUMBIA, MARYLAND 21044  
 ZONING: R-20 (CONDITIONAL USE FOR TAVERN)  
 DEED REFERENCE: 6253/347  
 GROSS AREA OF TRACT: 0.98 AC  
 PROPOSED USE FOR SITE: TAVERN  
 FLOOR AREA OF BUILDING: 3,245 SQ.FT. (2,264 SQ.FT. OF EX. BLDG + 981 SQ.FT. OF ADDITION)  
 TOTAL NUMBER OF PARKING SPACES REQUIRED: 27 SPACES, INCLUDING 2 HANDICAP SPACES  
 TOTAL NUMBER OF PARKING SPACES PROVIDED: 27 SPACES, INCLUDING 2 HANDICAP SPACES  
 6. BOUNDARY AND TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN & MONUMENTED SURVEY ON OR ABOUT JANUARY 2004 BY FISHER, COLLINS & CARTER, INC. OFF-SITE TOPOGRAPHY SUPPLEMENTED WITH HOWARD COUNTY 200 SCALE TOPOGRAPHIC MAPS.  
 7. COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AND NGVD29 VERTICAL DATUM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 300C & 0064.  
 STA. No. 300C N 571,937.874 ELEV. 421.46  
 N 571,937.874 E 1,348,597.13  
 STA. No. 0064 N 571,248.544 ELEV. 431.58  
 E 1,344,516.03  
 \* STAMPED DISC SET ON TOP OF A 3" DEEP CONC. COLUMN APPROX 44.7' SOUTHWEST OF BGC# POLE #107357 APPROX 500' NORTH OF MD ROUTE 108 IN MEDIAN OF CENTENAL LANE  
 \* STAMPED DISC SET ON TOP OF A 3" DEEP CONC. COLUMN APPROX 1' EAST OF G&E POLE # 107363 NEAR THE EAST CORNER OF MD ROUTE 108 AND SINKER LANE ALONG NORTH SIDE OF MD ROUTE 108
- SITE ACCESS TO MD ROUTE 108 FOR THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH MSHA STANDARDS. PAVING WITH MSHA ROW TO BE PER MSHA DETAIL, SEE SHEET 2. ON-SITE PAVING IS TO BE TYPE P-3 PAVING PER HOWARD COUNTY DETAIL, SEE SHEET 2.
- NO HISTORIC STRUCTURES OR BURIAL GROUNDS EXIST ON-SITE PER THE HOWARD COUNTY HISTORIC SITES LIST DATED DECEMBER 1994 AND THE HOWARD COUNTY CEMETERIES AND GRAVESITES INVENTORY, RESOLUTION # 47-1994. TO THE BEST OF THE KNOWLEDGE OF THE CURRENT OWNER, NO GRAVES EXIST ON-SITE.
- NO FLOODPLAIN EXISTS ON-SITE.
- NO WETLANDS EXIST ON-SITE PER WETLAND INVESTIGATION BY MILDENBERG, BOENDER & ASSOCIATES, INC. IN FEBRUARY 2004.
- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, INC. ON JANUARY 21, 2004.
- COMPACTION IN FILL AREAS TO BE 95% STANDARD PROCTOR AS DETERMINED PER AASHTO T-160.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- IF MATERIAL IS WITHIN 8% OF OPTIMUM MOISTURE, WORKING THE MATERIAL UNTIL REQUIRED COMPACTION IS ACHIEVED IS CONTRACTOR'S RESPONSIBILITY.
- WATER AND SEWER SERVICE TO BE PUBLIC. CONNECTIONS TO BE PROVIDED BY OTHERS ACROSS PARCEL 95 OWNED BY ANTHONY AND ROSE MARIE SCARPONE BY PUBLIC EASEMENT PER EASEMENT PURCHASE AGREEMENT DATED MAY 12, 2004. THIS AGREEMENT OUTLINES THE PROVISIONS FOR ACQUISITION OF THE EASEMENT FOR THE PLACEMENT OF A UTILITY LINE. AN INSIDE METER WILL BE UTILIZED.
- STORMWATER MANAGEMENT FOR THIS PROJECT PROVIDED BY FILTERA STORMWATER BIORETENTION FILTRATION SYSTEM. PROPOSED INLET WILL TAKE BYPASS, HIGH INTENSITY STORMWATER, PRIOR TO CONVEYANCE TO AN EXISTING INLET ALONG MD ROUTE 108.
- NO FOREST STANDS EXIST ON-SITE PER FIELD INVESTIGATION BY MILDENBERG, BOENDER & ASSOCIATES, INC. IN FEBRUARY 2004. THE FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS DEVELOPMENT HAS BEEN FULFILLED BY PAYMENT OF FEE-IN-LIEU OF AFFORESTATION OF 0.115 ACRES (6,534 SQ. FT.) IN THE AMOUNT OF \$3,267.00.
- LANDSCAPING IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (13 SHADE TREES, 24 EVERGREENS) WILL BE POSTED AS PART OF THE OPEN DEVELOPMENT AGREEMENT IN THE AMOUNT OF \$7,500.00.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED JULY 1968, SHEET 19.
- THIS PROJECT IS SUBJECT TO BA CASE NO. 03-0984 WHICH GRANTED THE ENLARGEMENT/ ALTERATION OF A NON-CONFORMING USE FOR A ONE-STORY 1,099 SQ. FT. ADDITION SUBJECT TO:  
 (1) NON-CONFORMING USE SHALL APPLY ONLY TO THE 1,099 SQ. FT. ONE-STORY ADDITION.  
 (2) THE OFFICE AND ROOF REPAIR USE AREA SHALL BE RELOCATED FROM THE ACCESSORY BUILDING TO THE MAIN BUILDING ADDITION.  
 (3) NO PORTION OF THE 1,099 SQ. FT. EXPANSION AREA SHALL BE USED FOR A CHESEBREAD OR OTHER UNUSUAL NATURE PASTRY TAKE FOOD OR DRINK.  
 (4) THE PATENTOR SHALL INSTALL LABEL SIGNAGE IN FRONT OF THE MAIN BUILDING INSTRUCTING PATRONS NOT TO PARK IN THE RIGHT-OF-WAY OR ALONG MD ROUTE 108.  
 (5) CONTRACTOR AN INTERIOR WALL ACCESS NECESSARY BUILDING FOR THAT PORTAL LOCATED IN 10' SETBACK.
- THIS PROJECT IS SUBJECT TO A DECLARATION OF COVENANTS AND RESTRICTIONS RECORDED AMONG THE LAND RECORDS ON NOVEMBER 24, 2004 UNDER LIBER 7925, FOLIO 260. THE COVENANTS SHALL REMAIN IN PLACE FOR 15 YEARS. REHEUER ENTERPRISES, LLC SHALL BERM AND LANDSCAPE THE PERIMETER OF THE PROPERTY AND PROVIDE A SIX (6) FOOT STONE OR VINYL FENCE SHALL BE CONSTRUCTED BY REHEUER ENTERPRISES, LLC. REHEUER ENTERPRISES, LLC SHALL NOT PAVEMENT IMPROVEMENTS OR UTILIZE ANY PORTION OF THE AREA THAT EXTENDS 10 FEET FROM THE REAR PROPERTY LINE.
- PER EASEMENT PURCHASE AGREEMENT EXECUTED ON MAY 12, 2004, ANTHONY D. SCARPONE, TRUSTEE & ROSE MARIE SCARPONE, TRUSTEE GRANTED TO IRON BRIDGE WINE COMPANY, LLC, STEPHEN WICKER AND ROBERT L. WICKER, OR HOWARD COUNTY, MARYLAND, AN EASEMENT FOR WATER AND/OR SEWER UTILITY LINE CONSTRUCTION.
- THIS SITE DEVELOPMENT PLAN IS SUBJECT TO A DESIGN MANUAL WALKER TO REDUCE THE PARKING ISLE FROM 24' TO 22' AND REDUCE A ONE-WAY ISLE WIDTH WITH NO ADJACENT PARKING TO 14.7' WAS APPROVED ON MAY 3, 2004.
- THERE IS A CAPITAL PROJECT (I-4177) UNDERWAY FOR IMPROVEMENTS TO ROUTE 108 IN THE VICINITY OF CENTENAL LANE. THE STATE HIGHWAY ADMINISTRATION IS DESIGNING THE PROJECT AND HOWARD COUNTY IS PERFORMING THE ACTUAL IMPROVEMENTS. IN ACCORDANCE WITH SECTION 16.115(1) OF THE SUBVISIONS REGULATIONS, THE DESIGN OF THIS SITE DEVELOPMENT ENTERPRISES, LLC SHALL DEDICATE THE NECESSARY RIGHT-OF-WAY, IF ANY, ONCE THE SHA/COUNTY DETERMINE THE REQUIRED RIGHT-OF-WAY WIDTH.



28. IMPROVED AREA BEHIND ADDITION (WITHIN THE LOT) TO BE MAINTAINED FROM STORMWATER MANAGEMENT AND IT IS UNDER 9,000 SQ. FT. (999 SQ. FT. OF EXISTING AREA) AND NOT INCREASE THIS IMPROVED AREA ON-SITE. ANY FUTURE IMPROVEMENTS THAT HAVE AN AGGREGATE TOTAL THAT EXCEEDS 9,000 SQ. FT. WILL REQUIRE THAT STORMWATER MANAGEMENT BE PROVIDED FOR THE ENTIRE AREA OF THE PROPERTY CHANGED UNDER THE REDEVELOPMENT PERMIT.

29. THIS PROJECT IS SUBJECT TO BA CASE NO. 13-0208 WHICH GRANTED AN ENLARGEMENT/ ALTERATION OF A NON-CONFORMING USE FOR A ONE-STORY 1,099 SQ. FT. ADDITION SUBJECT TO:  
 (1) NON-CONFORMING USE SHALL APPLY ONLY TO THE 1,099 SQ. FT. ONE-STORY ADDITION.  
 (2) THE OFFICE AND ROOF REPAIR USE AREA SHALL BE RELOCATED FROM THE ACCESSORY BUILDING TO THE MAIN BUILDING ADDITION.  
 (3) NO PORTION OF THE 1,099 SQ. FT. EXPANSION AREA SHALL BE USED FOR A CHESEBREAD OR OTHER UNUSUAL NATURE PASTRY TAKE FOOD OR DRINK.  
 (4) THE PATENTOR SHALL INSTALL LABEL SIGNAGE IN FRONT OF THE MAIN BUILDING INSTRUCTING PATRONS NOT TO PARK IN THE RIGHT-OF-WAY OR ALONG MD ROUTE 108.  
 (5) CONTRACTOR AN INTERIOR WALL ACCESS NECESSARY BUILDING FOR THAT PORTAL LOCATED IN 10' SETBACK.



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY HEALTH DEPARTMENT AND MEETS TECHNICAL REQUIREMENTS.

**Jim M. Grew** 3/3/05  
 DATE

**John R. Ralston** 3/3/05  
 DATE

**John R. Ralston** 3/11/05  
 DATE

**R. JACOB HIKMAT**  
 PRINTED NAME OF ENGINEER

**DEVELOPER'S CERTIFICATE:**  
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

**ENGINEER'S CERTIFICATE:**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**  
**Chief, Development Engineering Division**  
**Chief, Division of Land Development**  
**Director**

5/11/05  
 5/11/05  
 5/11/05  
 DATE

ADDRESS CHART	
UNIT NO.	STREET ADDRESS
A	10435 MD ROUTE 108 (CLARKSVILLE PIKE)

PERMIT INFORMATION CHART				
PROJECT NAME	SECTION/A/N/A	LOT/PARCEL NO.	TAX MAP NO.	ELECT. DIST.
IRON BRIDGE WINE COMPANY		PARCEL 105	29	0655.03
PLAT # OR L/F	GRID #	ZONING	SEWER CODE	WATER CODE
		R-20	5602300	E-01

**OWNER**  
 REHEUER ENTERPRISES, LLC  
 8300 MAHON STREET  
 ELICOTT CITY, MARYLAND 21043  
 (410) 480-9105

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Surveyors  
 Planners  
 Engineers

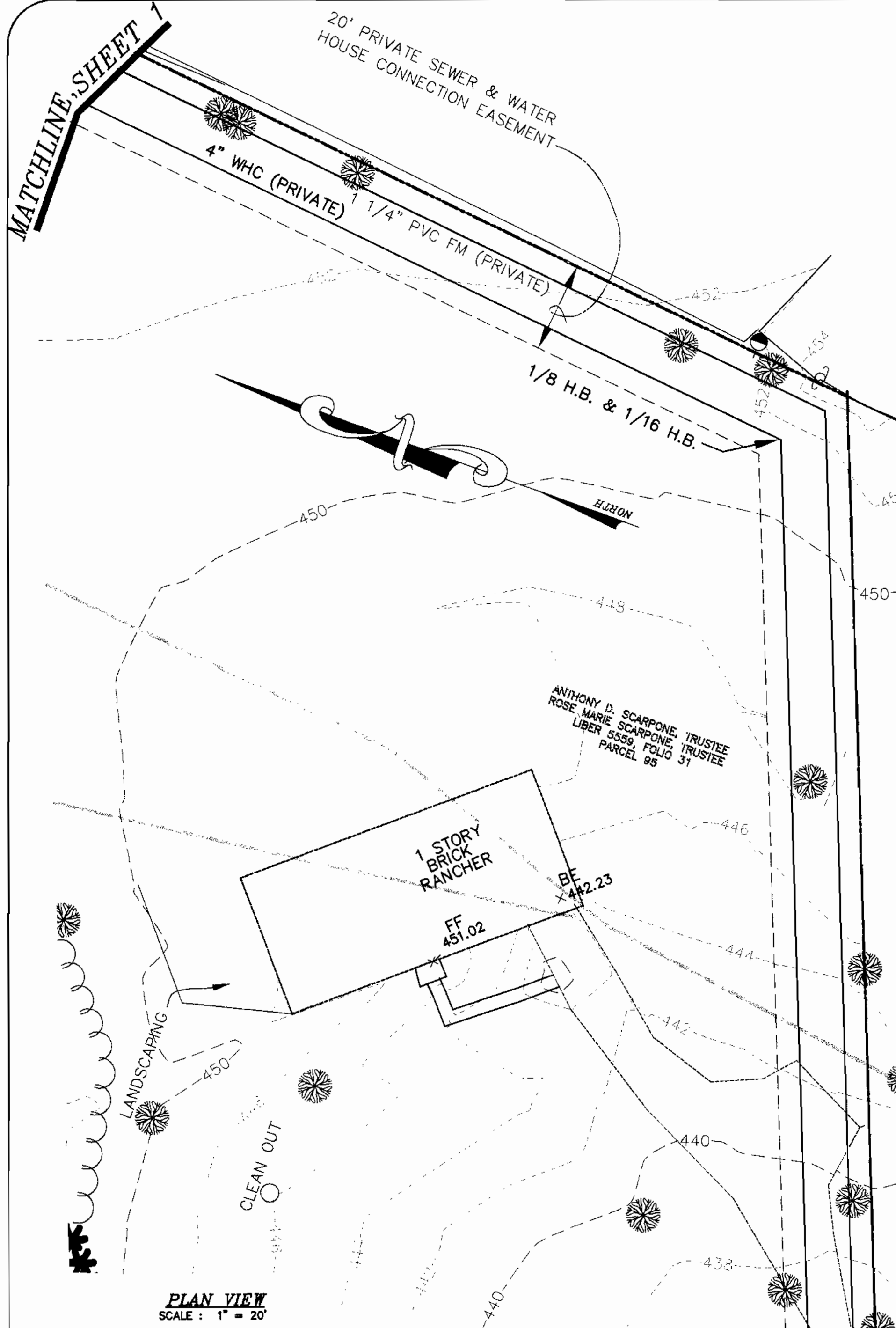
5075 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042  
 (410) 997-0256 Fax: (301) 621-5521 Wash. (410) 997-0298 Fax.

**IRON BRIDGE WINE COMPANY**  
 TAX MAP 29 - PARCEL 105 - GRID 12 - HOWARD COUNTY, MARYLAND  
 FIFTH ELECTION DISTRICT

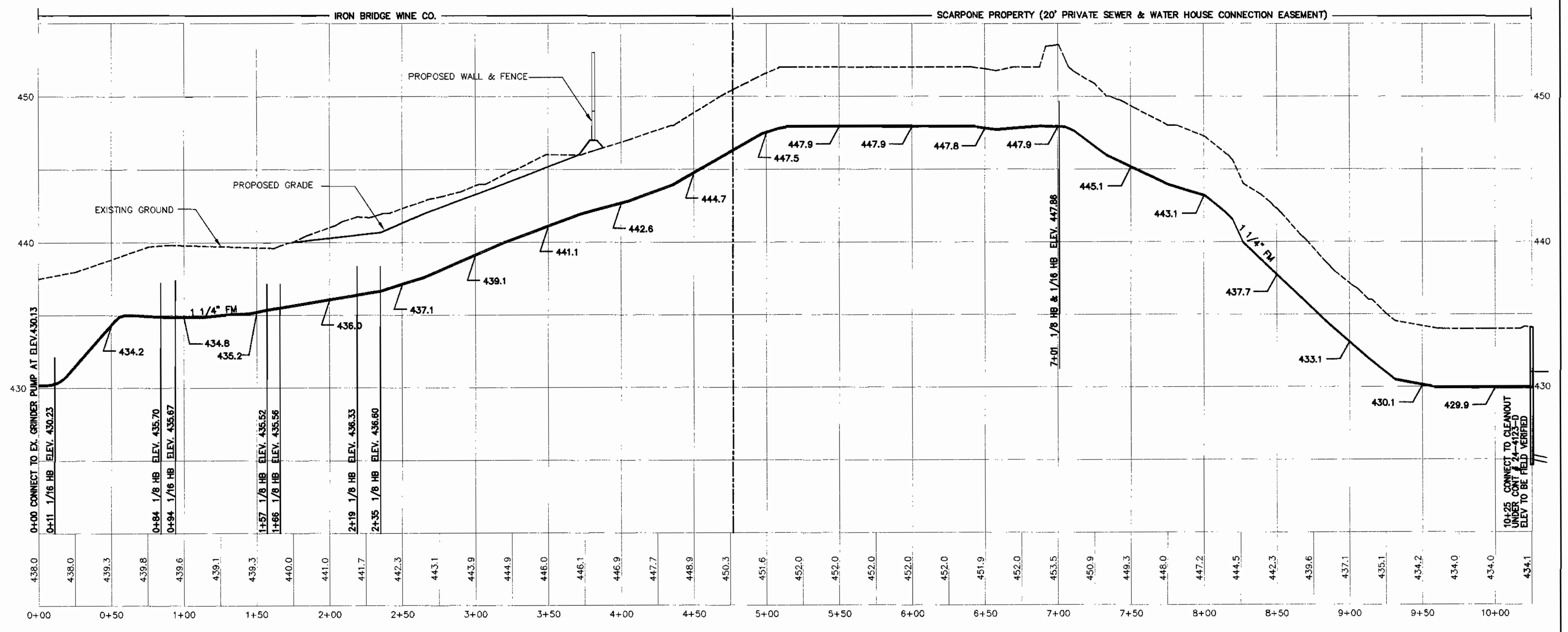
**SITE DEVELOPMENT, GRADING, & SEDIMENT CONTROL PLAN**

Project: 04-008  
 Date: FEB 2005  
 Illustration: 10/16/04  
 Scale: 1"=50'  
 Date: 6/16/05  
 Description: 10/16/04  
 Date: 6/16/05

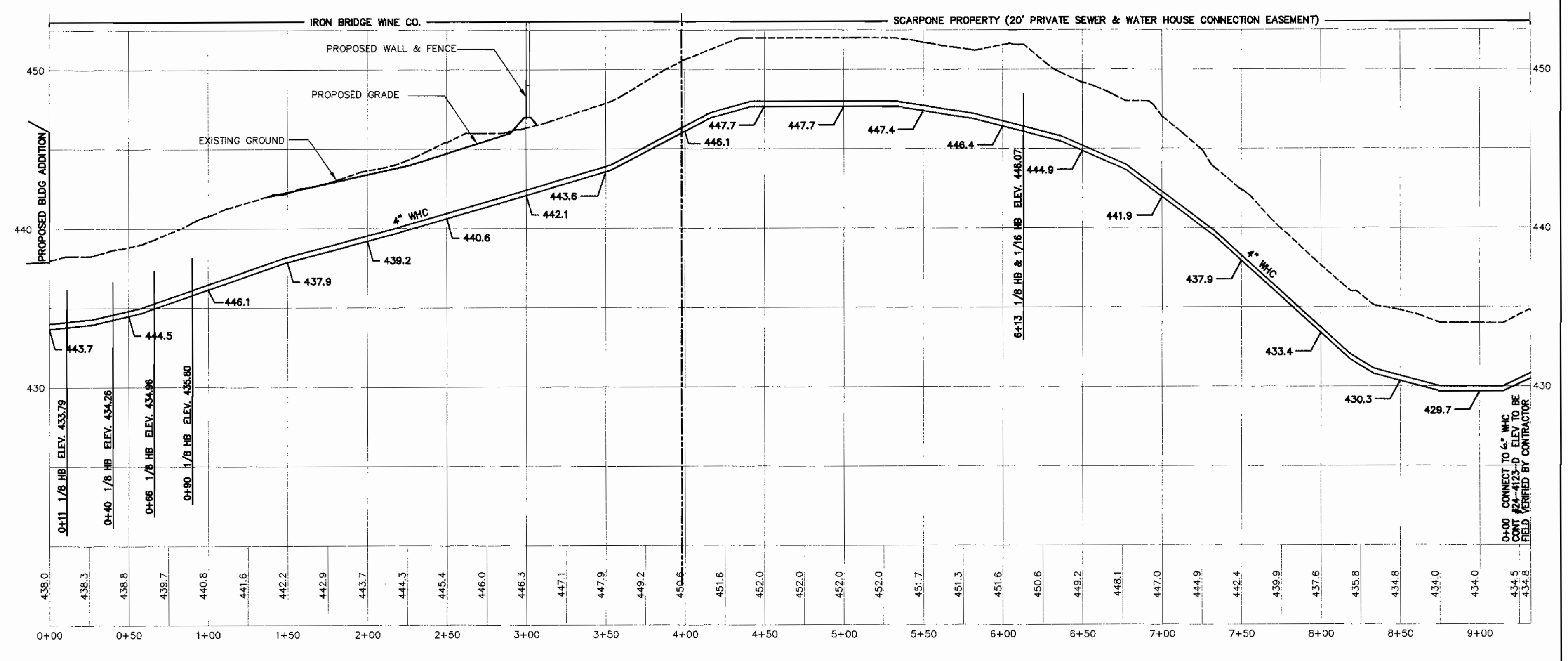
1 OF 5  
 SDP-04-119



PLAN VIEW  
SCALE: 1" = 20'



1 1/4" FM PROFILE  
SCALE: 1" = 50'



4" WHC PROFILE  
SCALE: 1" = 50'

**SOILS CLASSIFICATION:**  
 SYMBOL DESCRIPTION  
 1E2 CHESTER SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B  
 2E2 ELIAC SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B

**DEVELOPER'S CERTIFICATE**  
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED EROSION CONTROL PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

*Donald R. Conner Jr.*  
 SIGNED NAME OF DEVELOPER

**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

*R. JACOB HIKMAT*  
 SIGNED NAME OF ENGINEER

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENT.

USDA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS HOWARD COUNTY HEALTH DEPARTMENT

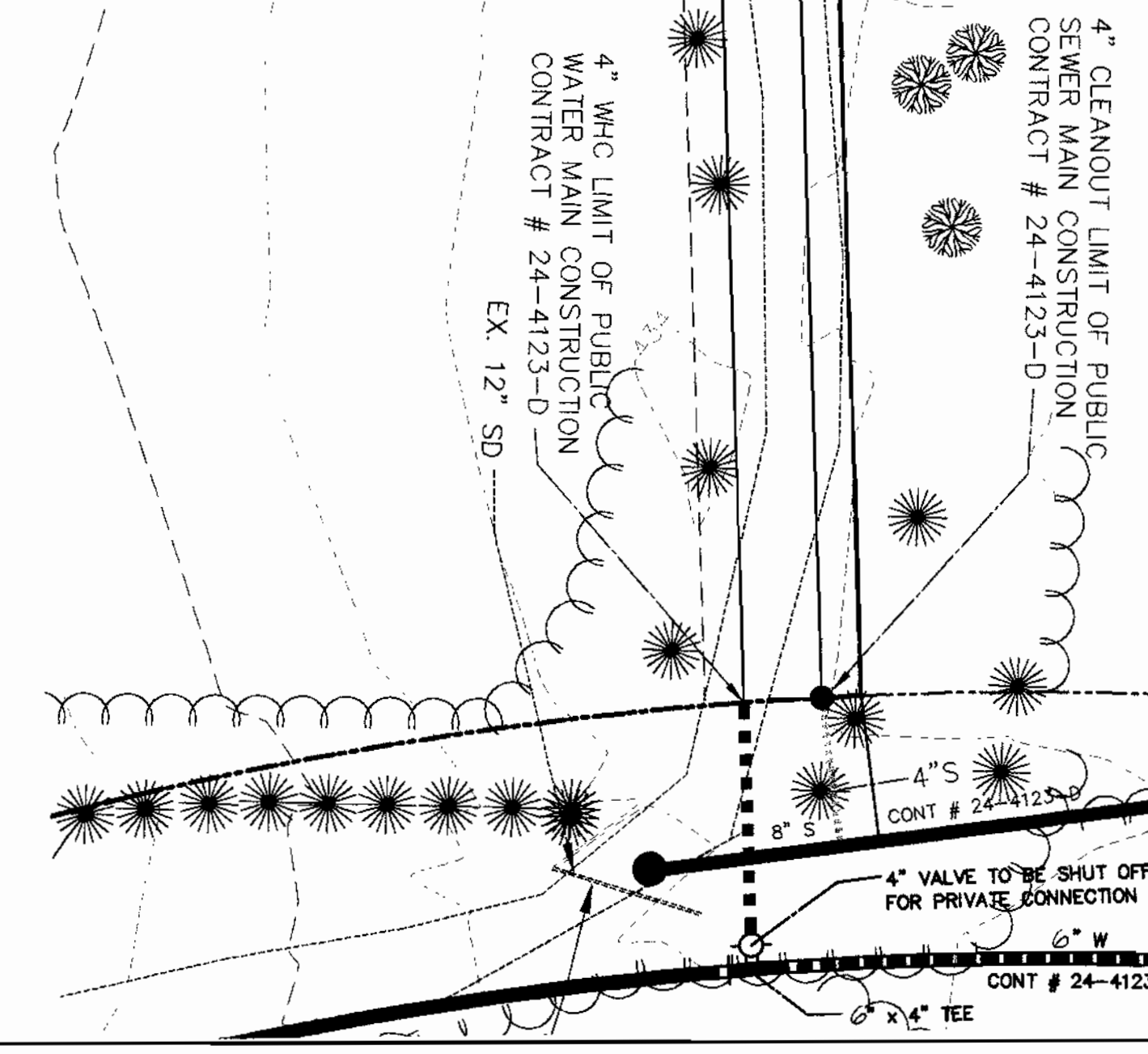
HOWARD COUNTY HEALTH OFFICER DATE

APPROVED - DEPARTMENT OF PLANNING AND ZONING

*5/1/05*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MKR DATE

*5/1/05*  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*5/1/05*  
 DIRECTOR DATE



04-0081.dwg | 0208 - sdp - rev - feb05.dwg

project	04-008	date	FEB 2005
illustration	SID	engineering	SID
scale	SID	approval	SID
AS SHOWN	RH		

no.	description	date
	revisions	

**IRON BRIDGE WINE COMPANY**  
 TAX MAP 29 - PARCEL 105 - GRID 12  
 FIFTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 SITE DEVELOPMENT PLAN & PROFILES

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 5072 Dorsay Hall Drive, Suite 202, Ellicott City, Maryland 21042  
 (410) 997-0286, Fax: (301) 621-5621, Wash. (410) 997-0298 Fax.

**OWNER**  
 REHEB ENTERPRISES, LLC  
 8900 MAIN STREET  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 480-9105

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LEGGED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.)... AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING...

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WOOD FREE SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING...

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION... 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT 'MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL'...

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH... b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS...

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS... II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING: 1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND...

IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

- I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: a. PH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5... b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT...

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

TOPSOIL APPLICATION

- I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS... II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION... III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4"...

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

TEMPORARY DUST CONTROL MEASURES

- 1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING... 2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER... 3. TILLAGE - TO ROUGHEN SURFACES AND BRING CLOSD TO THE SURFACE, THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS...

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMIT. (1 DAY) 2. CONSTRUCT SUPER SILT FENCES. (1 DAY) 3. COMPLETE CONSTRUCTION AS SHOWN. (5 DAYS) 4. COMPLETE FINE GRADING OF SITE TO GRADES INDICATED. (1 DAY) 5. SEED AND MULL ALL REMAINING DISTURBED AREAS. (1 DAY) 6. UPON STABILIZATION OF THE SITE AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS.

\* NOTE: EXISTING GRAVEL PARKING WILL SERVE AS STABILIZED CONSTRUCTION ENTRANCE FOR CONSTRUCTION OF THE PARKING AREA.

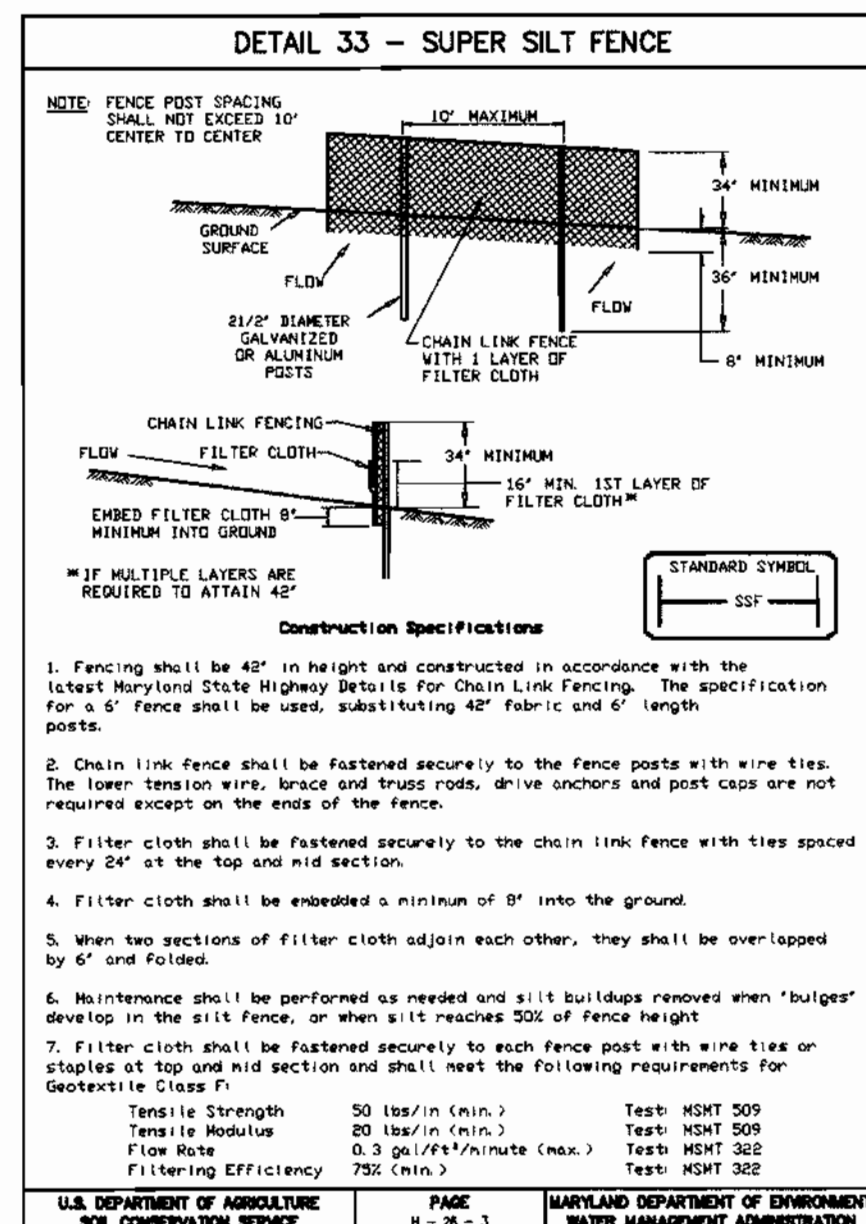
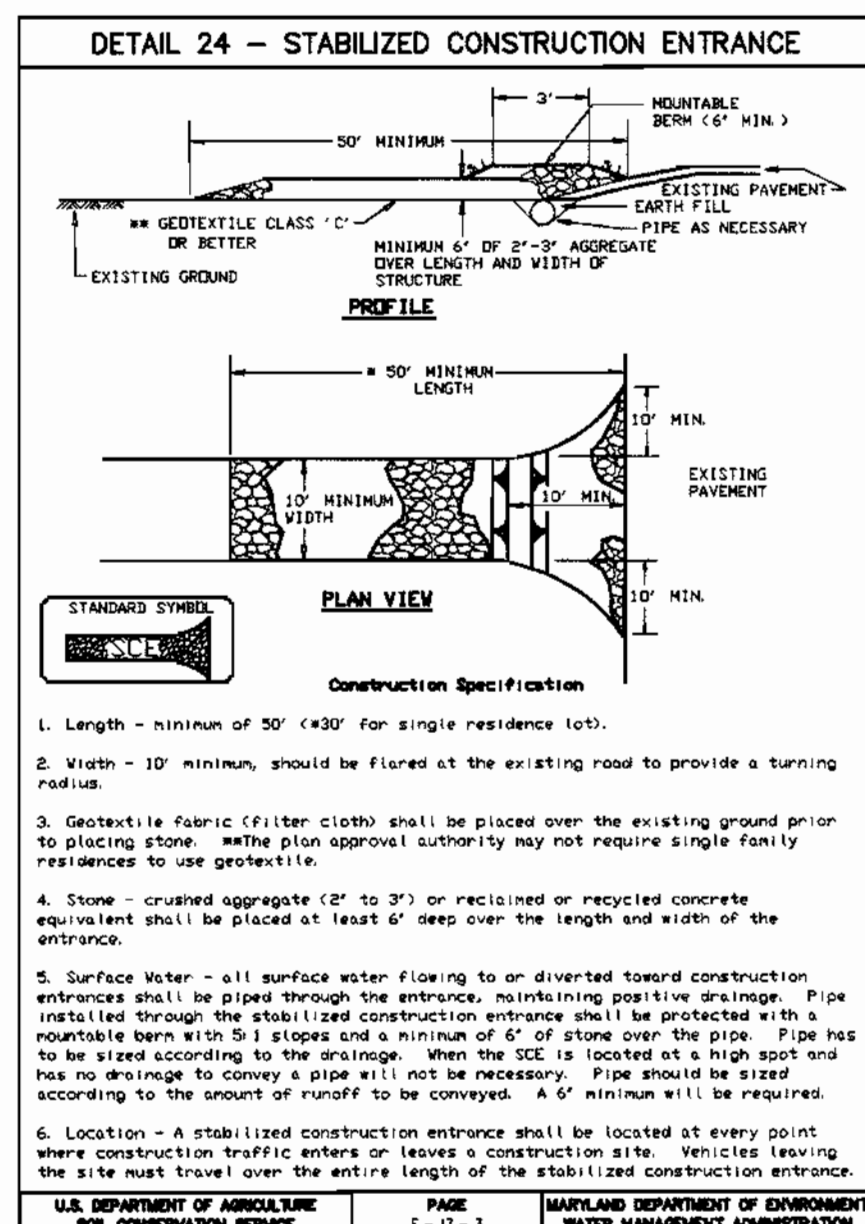
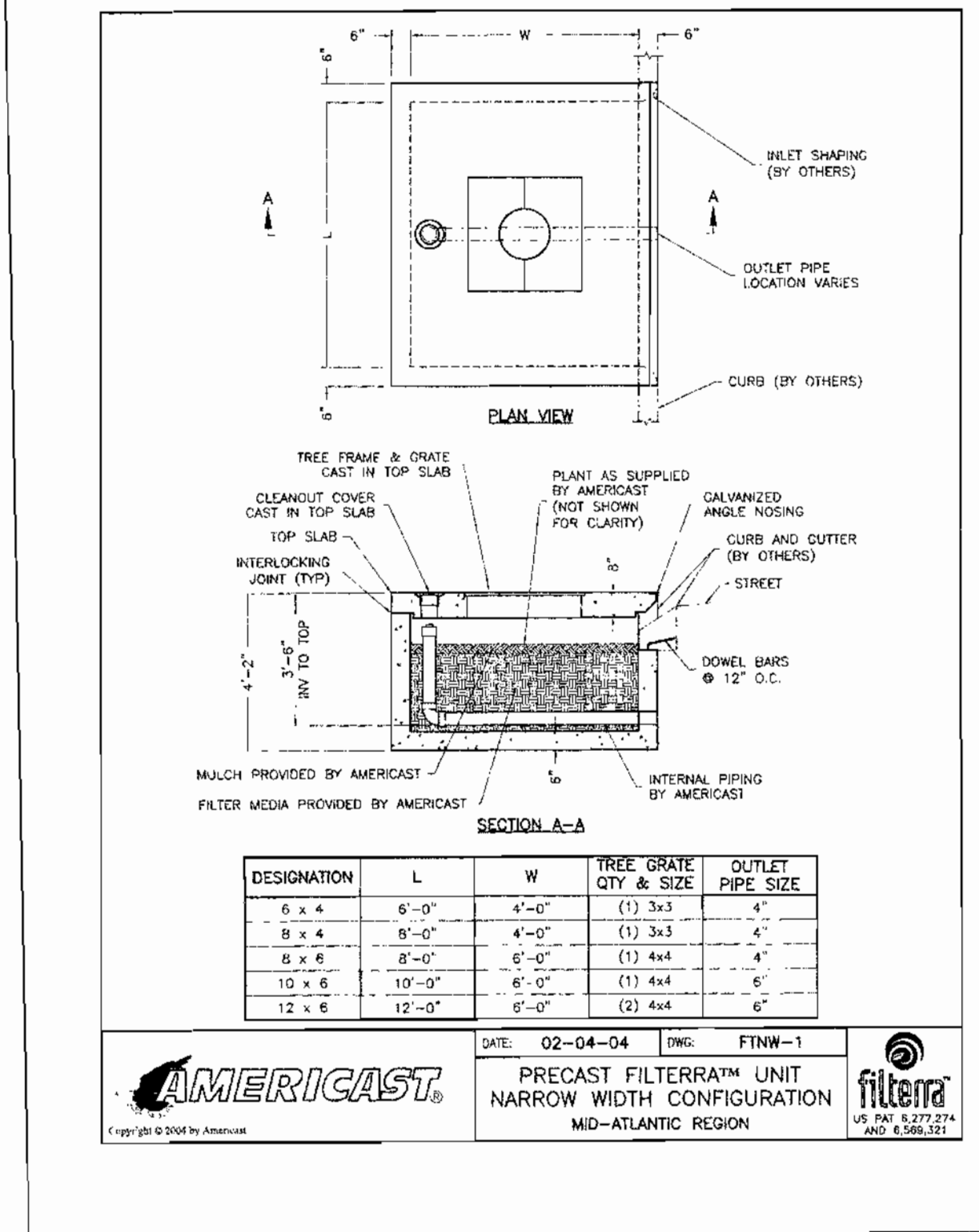


Table with columns: Design Criteria, Slope, Slope Steepness, Slope Length (Maximum), Silt Fence Length (Maximum). Rows include slopes from 0-10% to 50%+.



DEVELOPER'S CERTIFICATE: I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN... ENGINEER'S CERTIFICATE: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS...

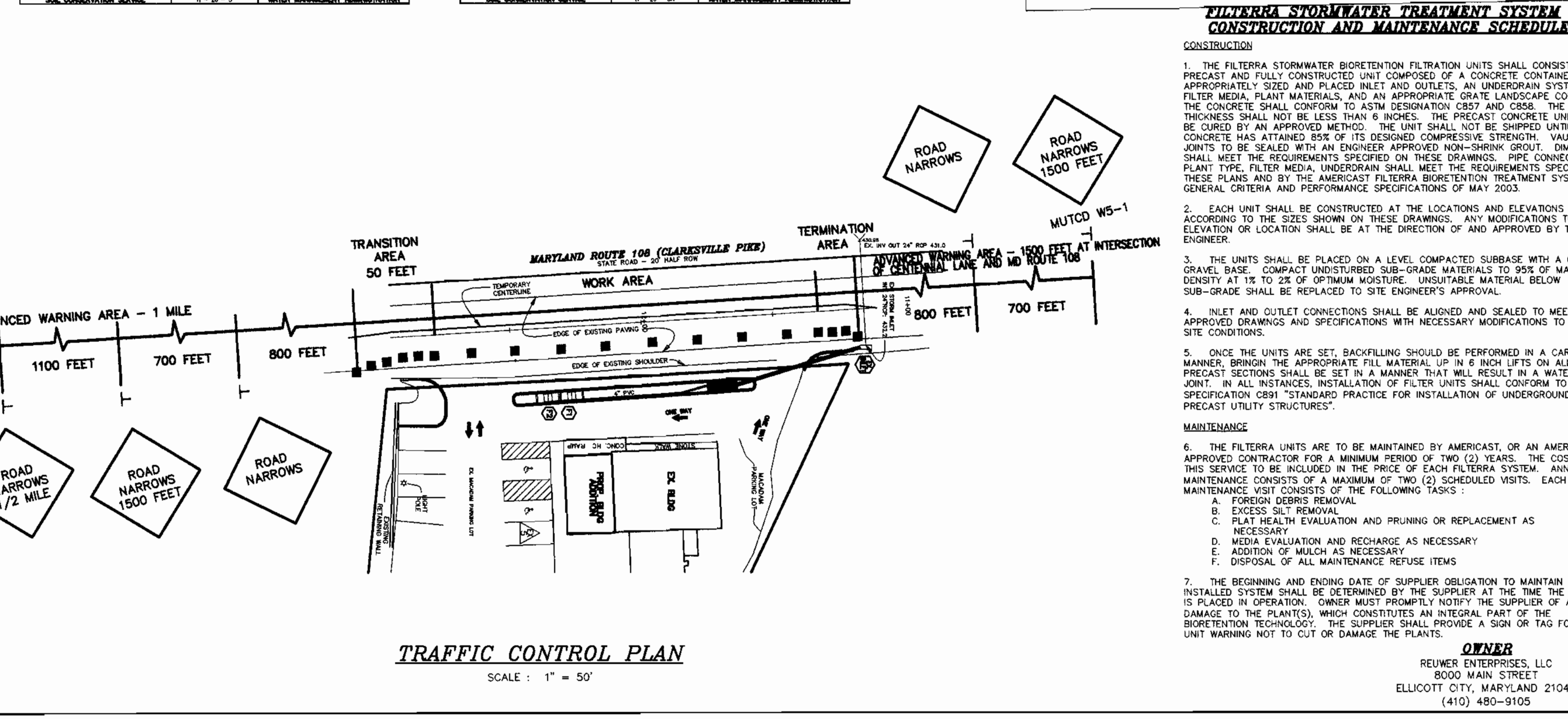
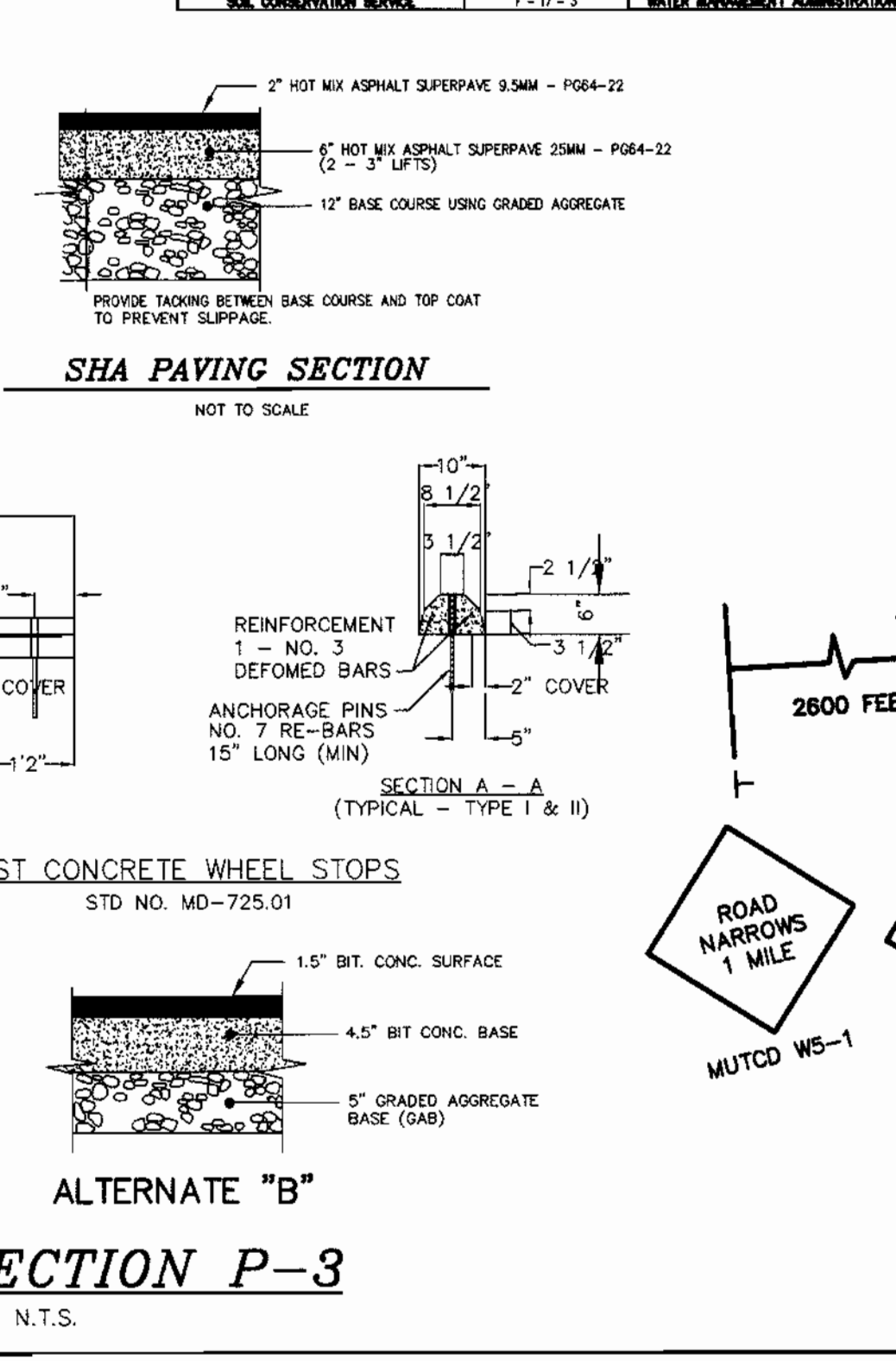
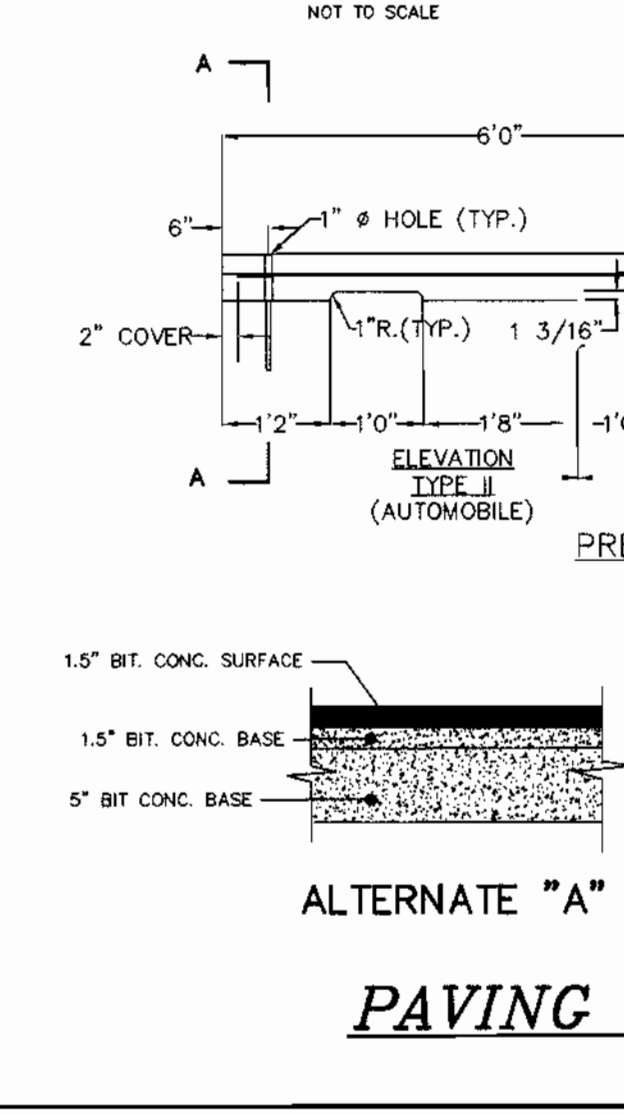
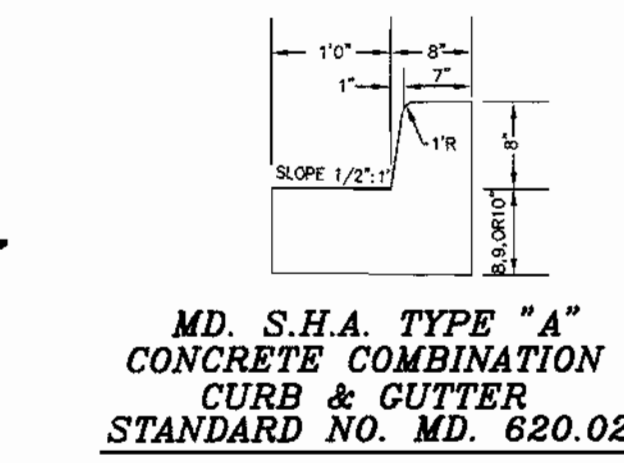
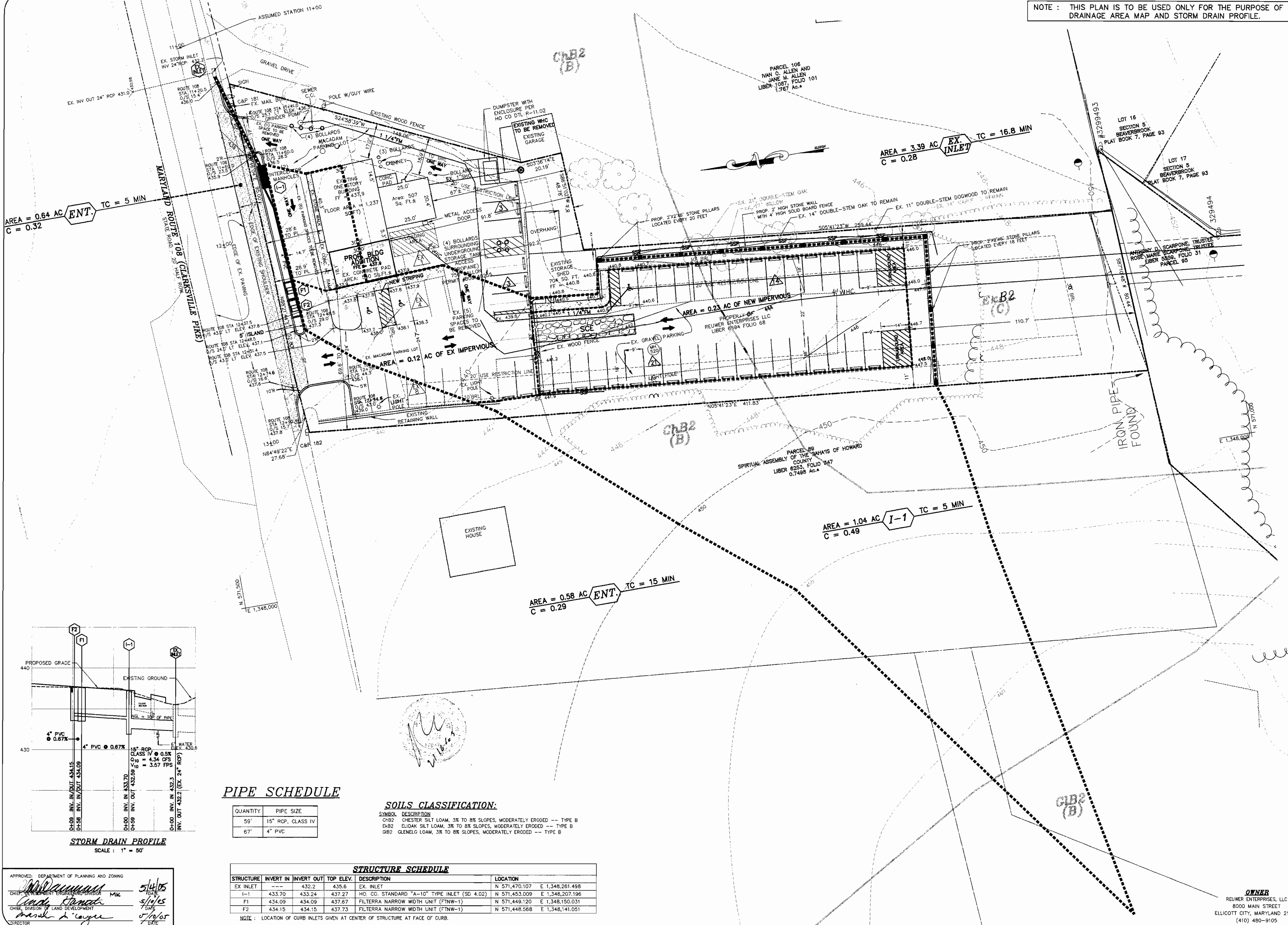


Table with columns: Project, Date, Illustration, Scale, Approval, Description, Revisions. Includes project info for Iron Bridge Wine Company.

IRON BRIDGE WINE COMPANY TAX MAP 29 - PARCEL 105 - GRID 12 HOWARD COUNTY, MARYLAND FIFTH ELECTION DISTRICT SEDIMENT CONTROL NOTES & DETAILS & TRAFFIC CONTROL PLAN

MILDENBERG, BOENDER & ASSOC., INC. 5072 Dorsay Hill Drive, Suite 202, Ellicott City, Maryland 21042 (410) 987-0296

NOTE : THIS PLAN IS TO BE USED ONLY FOR THE PURPOSE OF A DRAINAGE AREA MAP AND STORM DRAIN PROFILE.



**PIPE SCHEDULE**

QUANTITY	PIPE SIZE
59'	15" RCP, CLASS IV
67'	4" PVC

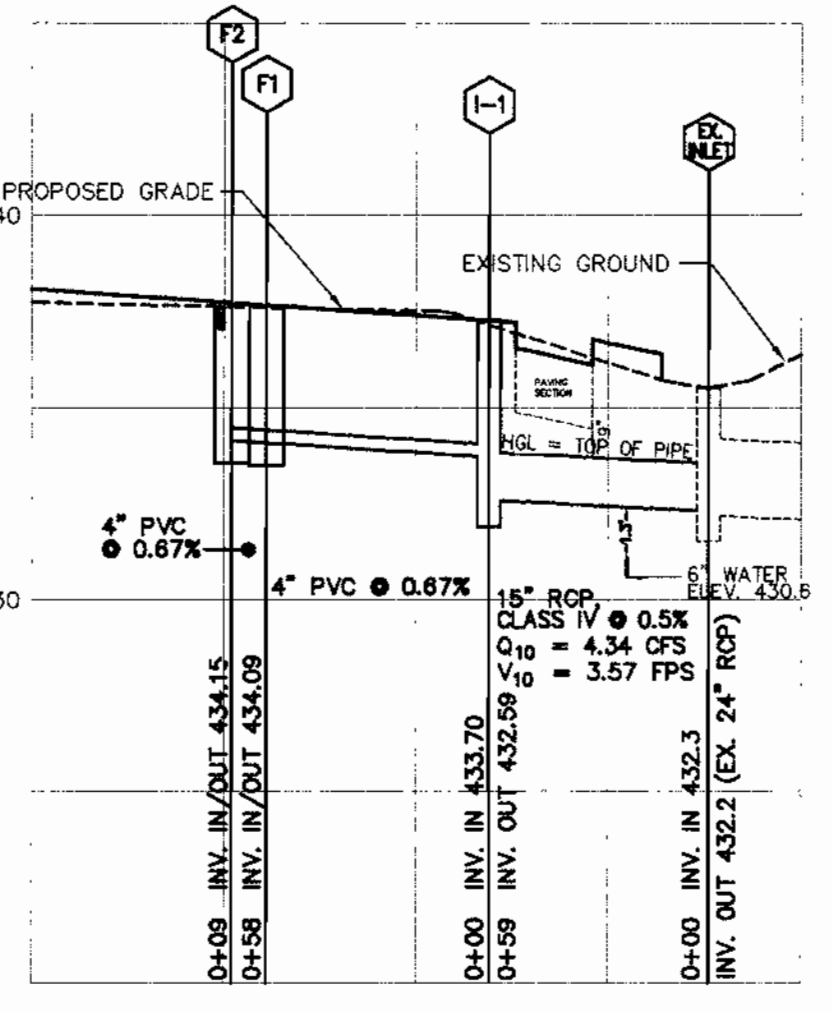
**SOILS CLASSIFICATION:**

SYMBOL DESCRIPTION  
 CHB2 CHESTER SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B  
 EB2 ELIOAK SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B  
 GB2 GLENELG LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B

**STRUCTURE SCHEDULE**

STRUCTURE	INVERT IN	INVERT OUT	TOP ELEV.	DESCRIPTION	LOCATION
EX INLET	---	432.2	435.6	EX. INLET	N 571,470.107 E 1,348,261.498
I-1	433.70	433.24	437.27	HO. CO. STANDARD "A-10" TYPE INLET (SD 4.02)	N 571,453.009 E 1,348,207.196
F1	434.09	434.09	437.67	FILTERRA NARROW WIDTH UNIT (FTNW-1)	N 571,449.120 E 1,348,150.031
F2	434.15	434.15	437.73	FILTERRA NARROW WIDTH UNIT (FTNW-1)	N 571,448.568 E 1,348,141.051

NOTE : LOCATION OF CURB INLETS GIVEN AT CENTER OF STRUCTURE AT FACE OF CURB.



**STORM DRAIN PROFILE**  
SCALE : 1" = 50'

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 5/14/05  
 [Signature] 5/14/05  
 [Signature] 5/14/05

date	FB 2005	engineering	SJD	approval	RH
project	04-008	illustration	SJD	scale	1" = 20'

no.	description	date

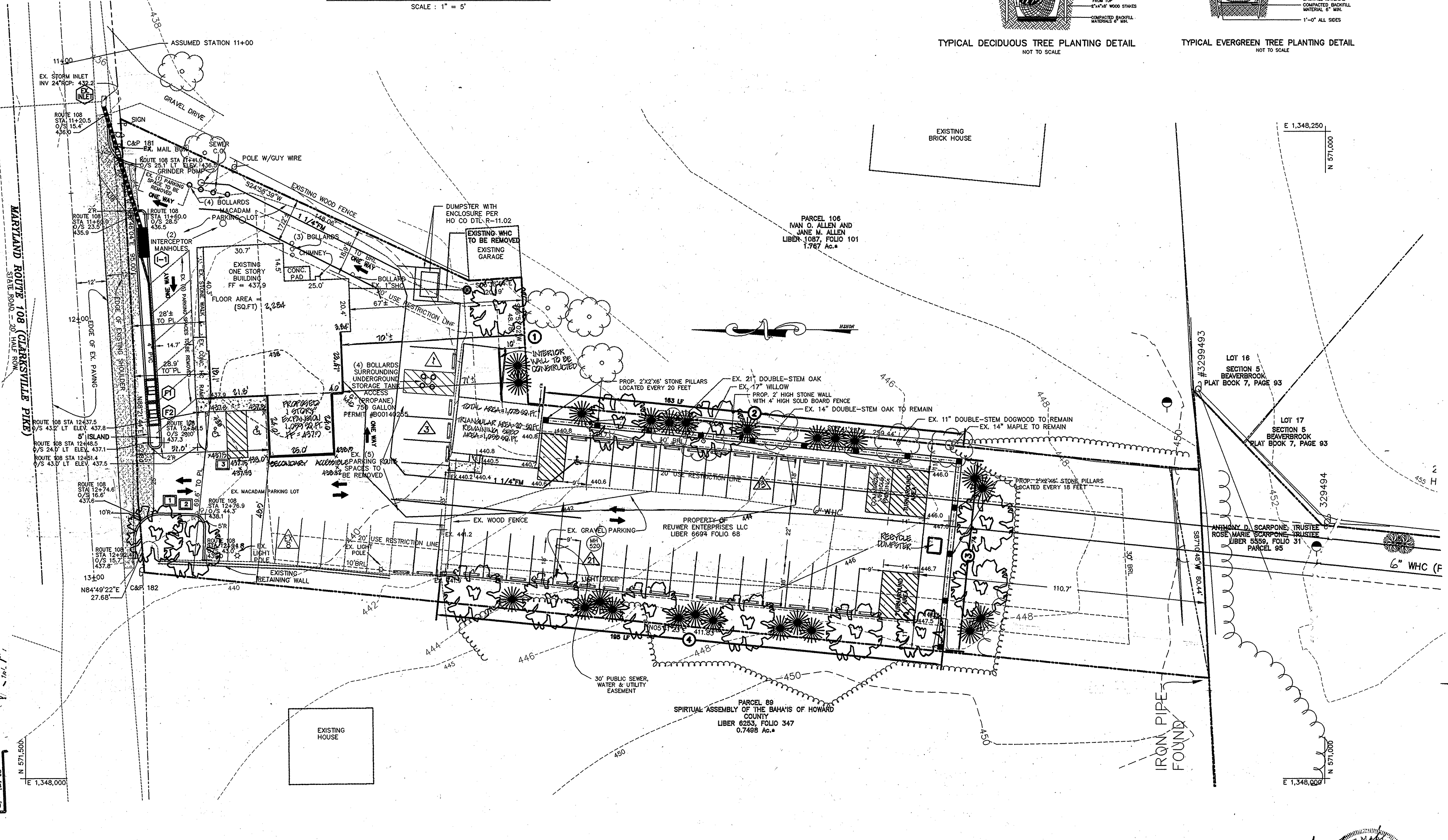
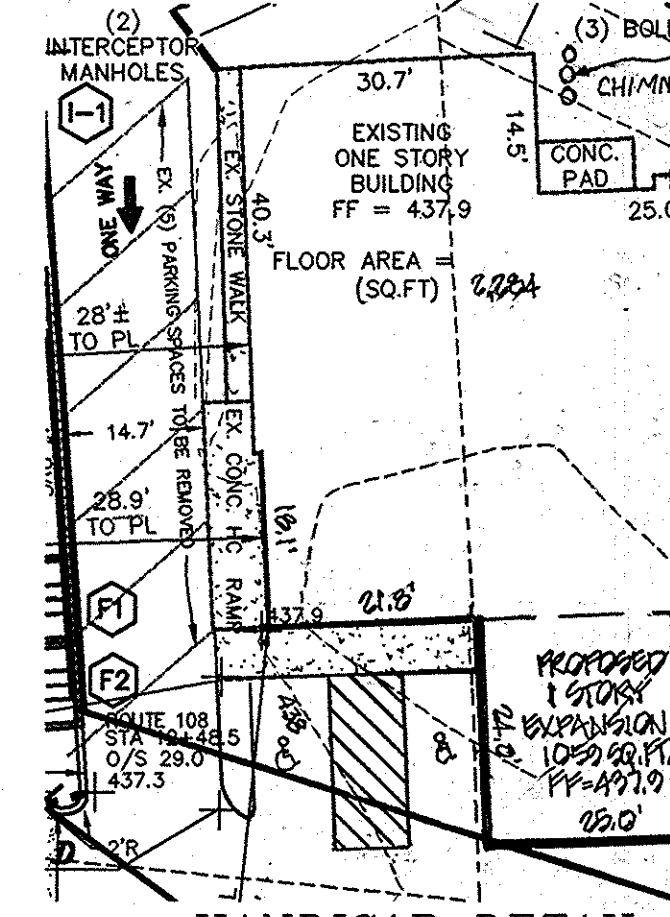
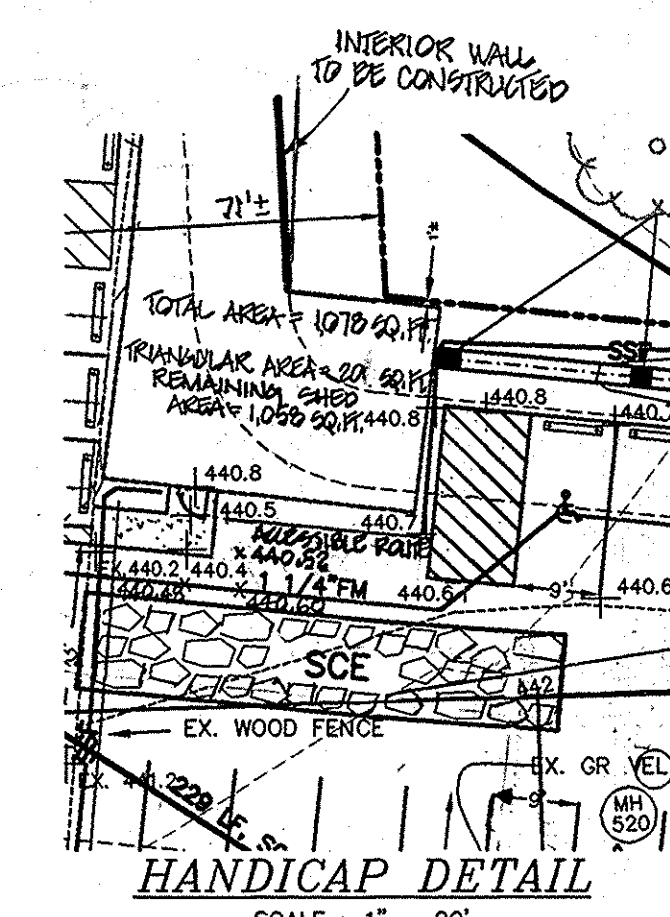
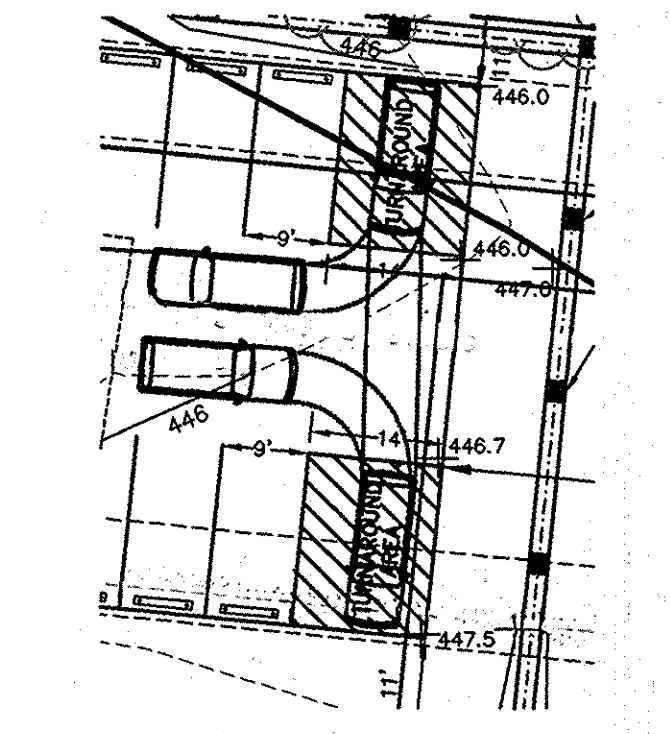
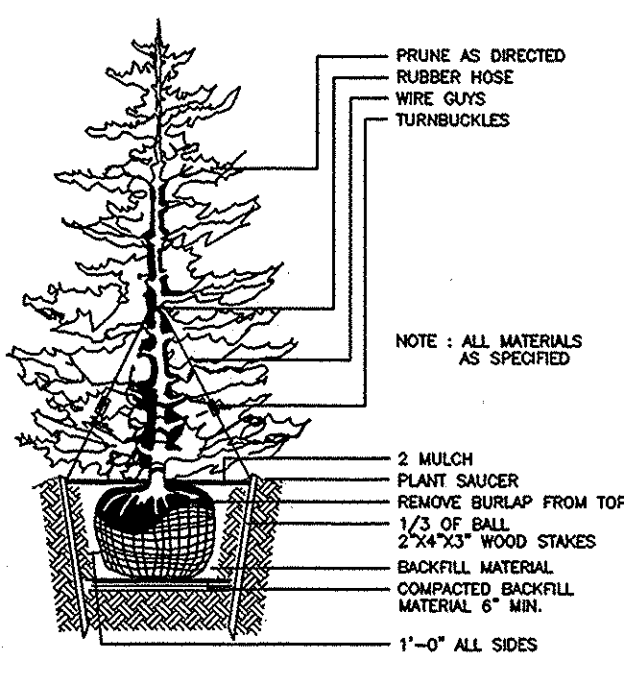
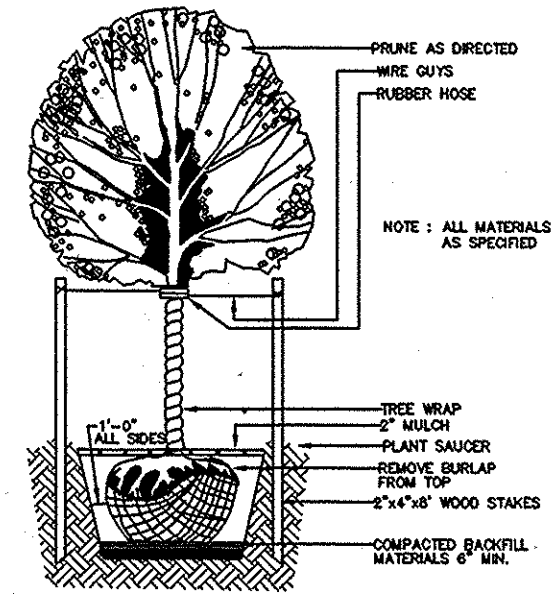
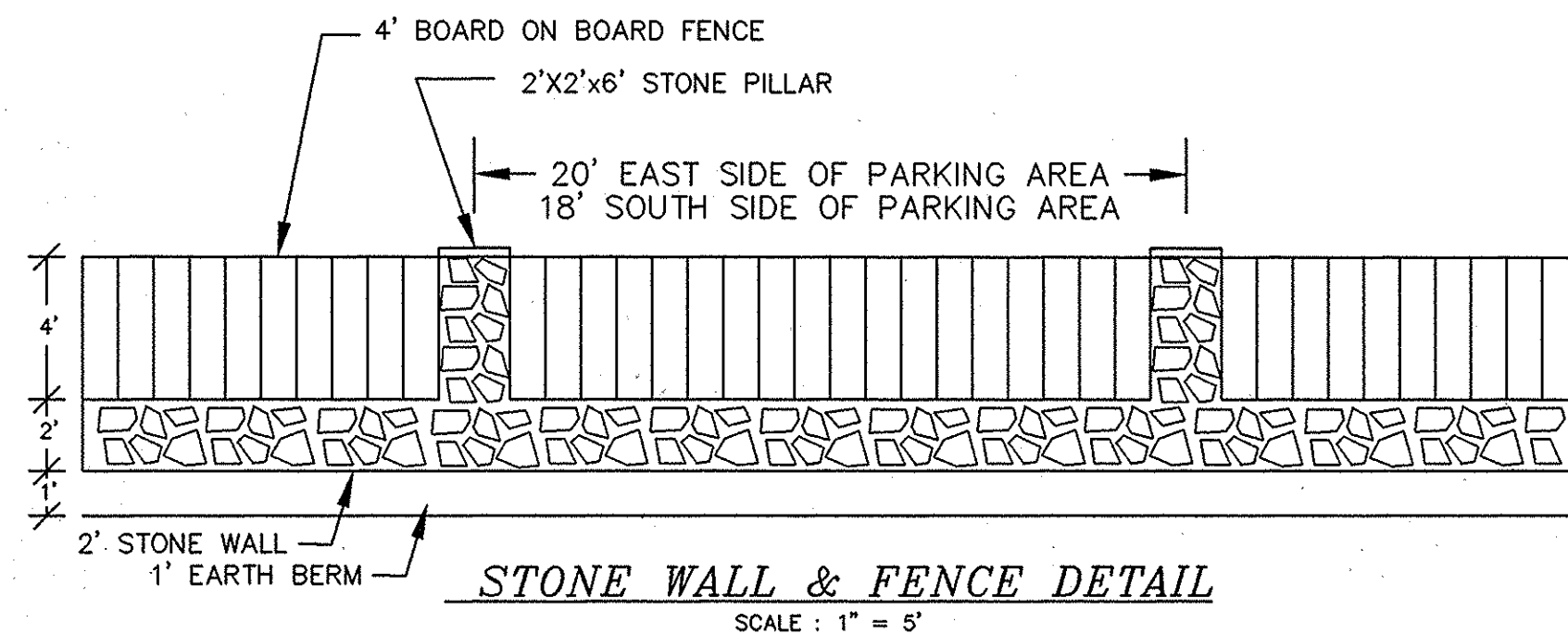
**IRON BRIDGE WINE COMPANY**  
 TAX MAP 29 - PARCEL 105 - GRID 12  
 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
**INLET DRAINAGE AREA MAP & STORM DRAIN PROFILE**

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042  
 (410) 997-0296 Fax: (301) 621-5521 Wash. (410) 997-0288 Fax

**OWNER**  
 REUWER ENTERPRISES, LLC  
 8000 MAIN STREET  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 480-9105

NOTE : THIS PLAN IS TO BE USED ONLY FOR THE PURPOSE OF A LANDSCAPE PLAN.

- NOTES:
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
  - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (13 SHADE TREES, 24 EVERGREENS) SHALL BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$2,500.00.
  - STORMWATER MANAGEMENT LANDSCAPING IS NOT REQUIRED. NO SWM FACILITY IS PROPOSED.



**PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
13		ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
24		CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	5' - 6' HT.
37 TREES (13 SHADE TREES, 24 EVERGREENS)				

**SCHEDULE A : PERIMETER LANDSCAPED EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				TOTAL
	C (PERIMETER 1)	C (PERIMETER 2)	C (PERIMETER 3)	C (PERIMETER 4)	
LANDSCAPE TYPE					
LINEAR FEET OF PERIMETER	48.78 LF	163 LF	74 LF	195 LF	
NUMBER OF PLANTS REQUIRED					
SHADE TREES	1 SHADE TREE	4 SHADE TREES	2 SHADE TREES	5 SHADE TREES	12 SHADE TREES
EVERGREEN TREES	2 EVERGREEN TREES	8 EVERGREEN TREES	4 EVERGREEN TREES	10 EVERGREEN TREES	24 EVERGREEN TREES
SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS
CREDIT FOR EXISTING VEGETATION					
SHADE TREES	0 SHADE TREES	2 SHADE TREES	0 SHADE TREES	0 SHADE TREES	2 SHADE TREES
EVERGREEN TREES	0 EVERGREEN TREES	2 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES
NUMBER OF PLANTS PROVIDED					
SHADE TREES	1 SHADE TREE	2 SHADE TREES	2 SHADE TREES	5 SHADE TREES	10 SHADE TREES
EVERGREEN TREES	2 EVERGREEN TREES	8 EVERGREEN TREES	4 EVERGREEN TREES	10 EVERGREEN TREES	24 EVERGREEN TREES
OTHER TREES (2:1 SUBSTITUTION)	0 SUBSTITUTION TREES	0 SUBSTITUTION TREES	0 SUBSTITUTION TREES	0 SUBSTITUTION TREES	0 SUBSTITUTION TREES
SHRUBS (10:1 SUBSTITUTION)	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS

\* CREDIT IS BEING TAKEN ALONG PERIMETER 2 FOR ONE (1) EX. 14" DOUBLE-STEM OAK AND ONE (1) EX. 11" DOUBLE-STEM DOGWOOD

**SCHEDULE B : PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	49 (NEW SPACES)
NUMBER OF PLANTING ISLANDS REQUIRED	3
NUMBER OF PLANTING ISLANDS PROVIDED	3
NUMBER OF TREES REQUIRED	3 SHADE TREES
NUMBER OF TREES PROVIDED	3 SHADE TREES
NUMBER OF OTHER TREES (2:1 SUBSTITUTION)	0 TREES



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT

OWNER  
 REUWER ENTERPRISES, LLC  
 8000 MAIN STREET  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 480-9105

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 5072 Dorsey Hall Drive, Suite 202, Beltsville, Maryland 21042  
 (410) 997-0296 Fax. (301) 621-5521 Wash. (410) 997-0298 Fax.

**IRON BRIDGE WINE COMPANY**  
 TAX MAP 29 - PARCEL 105 - GRID 12  
 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 LANDSCAPE PLAN & DETAILS

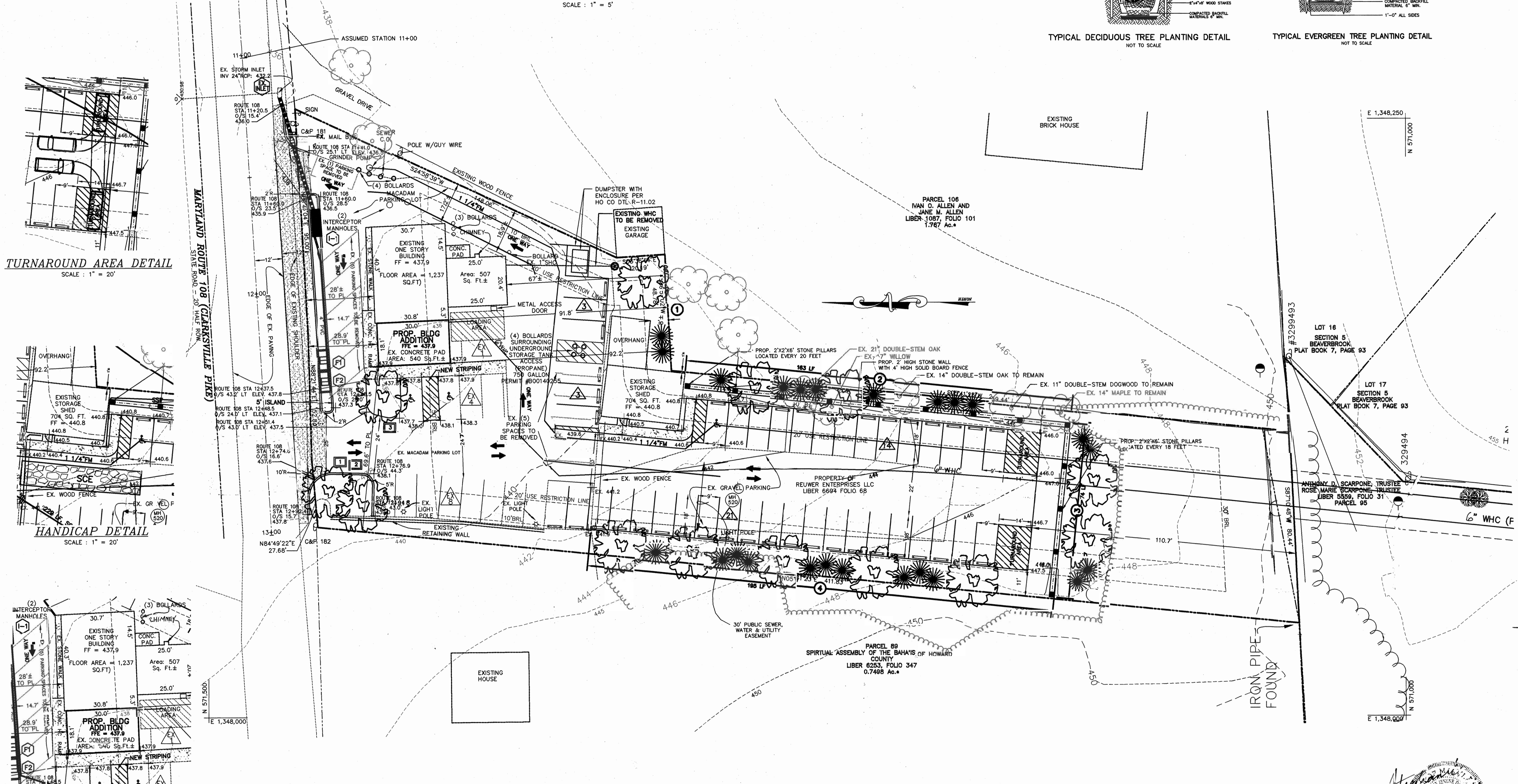
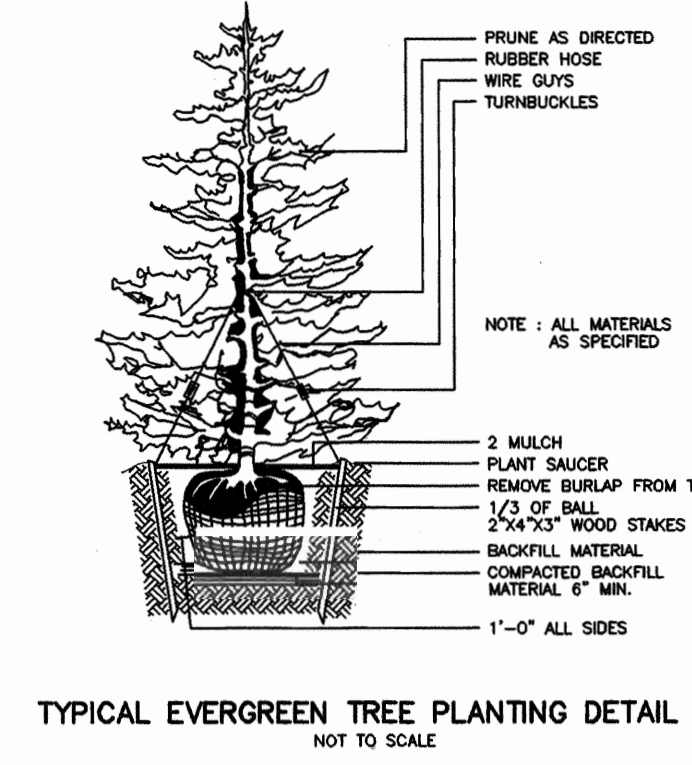
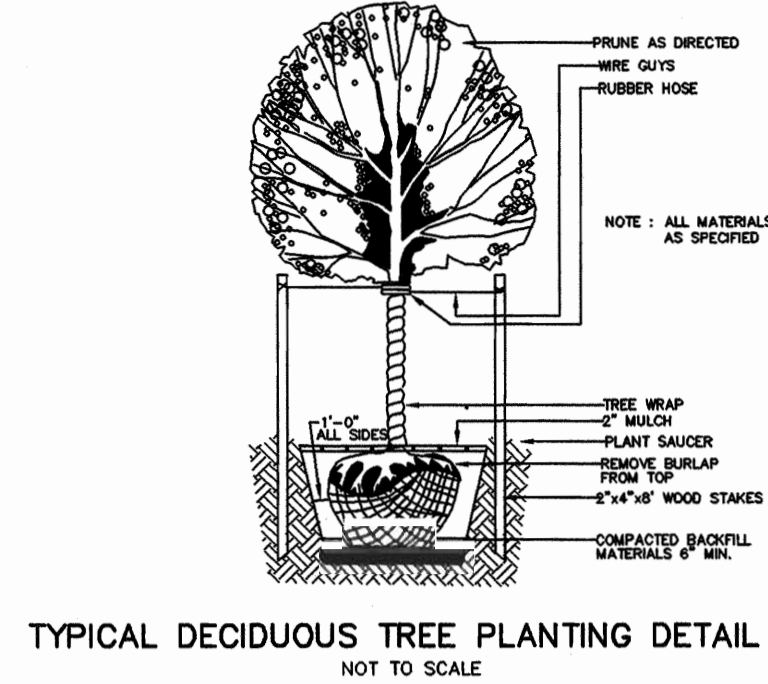
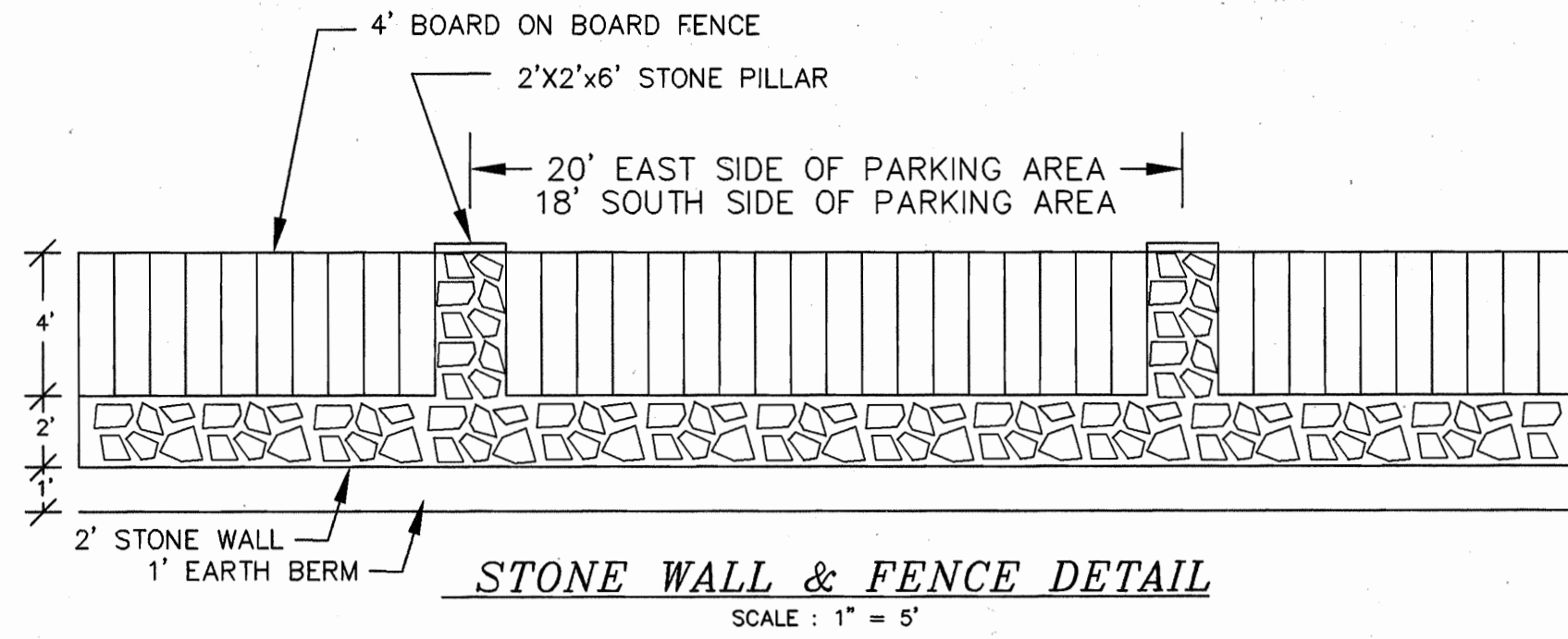
Project: 04-008  
 Date: FEB 2005  
 Illustration: SJD  
 Scale: 1"=20'  
 Date: 10/6/14  
 Description: ADD 1000 SQ FT. 1 STORY APARTMENT AND 500 SQ FT. EXISTING PARKING, PARCEL 105, TAX MAP 29, CHANGED FROM 1/4 AC TO 1/2 AC

5 OF 5

NOTE: THIS PLAN IS TO BE USED ONLY FOR THE PURPOSE OF A LANDSCAPE PLAN.

**NOTES:**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (13 SHADE TREES, 24 EVERGREENS) SHALL BE POSTED AS PART OF THE APPROVING PERMIT IN THE AMOUNT OF \$7,500.00.
- STORMWATER MANAGEMENT LANDSCAPING IS NOT REQUIRED. NO SWM FACILITY IS PROVIDED.



**SCHEDULE A: PERIMETER LANDSCAPED EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				TOTAL
	C (PERIMETER 1)	C (PERIMETER 2)	C (PERIMETER 3)	C (PERIMETER 4)	
LANDSCAPE TYPE	48.78 LF	163 LF	74 LF	195 LF	
LINEAR FEET OF PERIMETER	48.78 LF	163 LF	74 LF	195 LF	
NUMBER OF PLANTS REQUIRED					
SHADE TREES	1	4	2	5	12
EVERGREEN TREES	2	8	4	10	24
SHRUBS	0	0	0	0	0
CREDIT FOR EXISTING VEGETATION					
SHADE TREES	0	2	0	0	2
EVERGREEN TREES	0	0	0	0	0
NUMBER OF PLANTS PROVIDED					
SHADE TREES	1	2	2	5	10
EVERGREEN TREES	2	8	4	10	24
SHRUBS	0	0	0	0	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0	0

**SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	57 (NEW SPACES)
NUMBER OF PLANTING ISLANDS REQUIRED	3
NUMBER OF PLANTING ISLANDS PROVIDED	3
NUMBER OF TREES PROVIDED	3 SHADE TREES
NUMBER OF TREES PROVIDED (SHADE TREES)	3 SHADE TREES
NUMBER OF TREES PROVIDED (OTHER TREES (2:1 SUBSTITUTION))	3 SHADE TREES 0 TREES

\* CREDIT IS BEING TAKEN ALONG PERIMETER 2 FOR ONE (1) EX. 14" DOUBLE-STEM OAK AND ONE (1) EX. 11" DOUBLE-STEM DOGWOOD

**PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
13		ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
24		CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	5' - 6' HT.
TOTAL				
37 TREES (13 SHADE TREES, 24 EVERGREENS)				

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT

*Handwritten signature and date: 2/16/05*

project date: FEB 2005
illustration: SJD
scale: 1"=20'

project: 04-008
revision: 1
date: 6/6/05

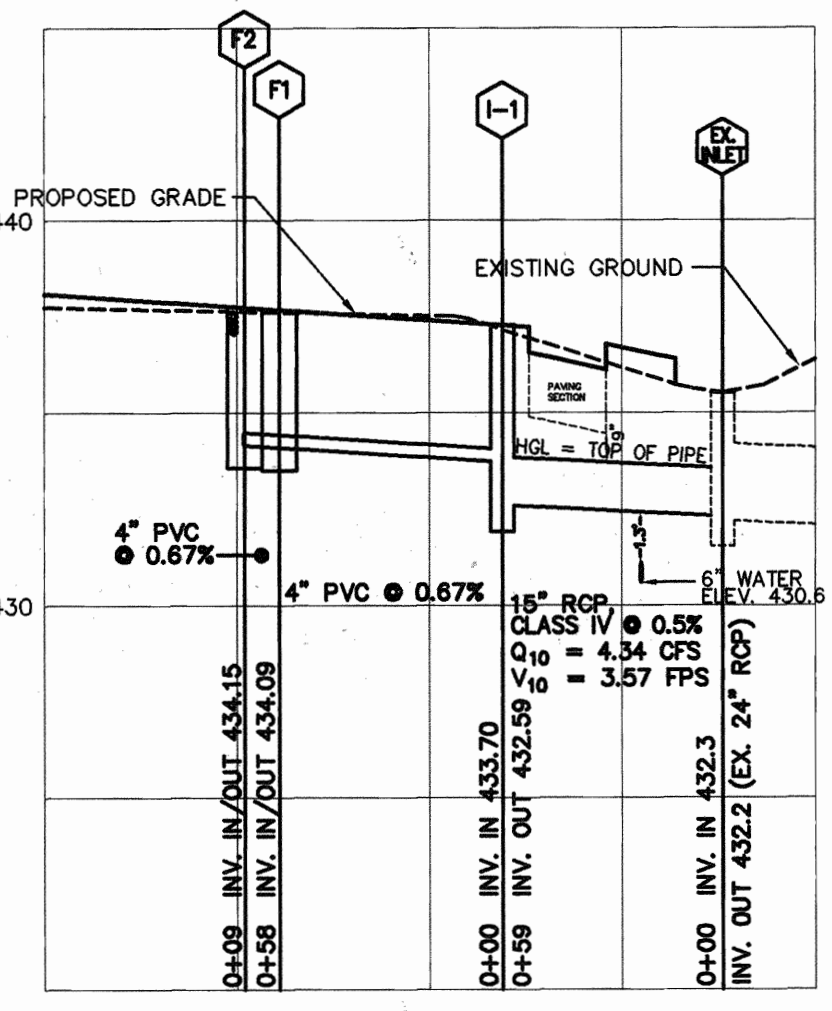
client: CHANGED 4" W/C TO 6" W/C
description: REVISIONS

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 5072 Dorsey Hall Drive, Suite 202, Belcoort City, Maryland, 21042  
 (410) 997-0298 Fax, (301) 821-5521 Wash. (410) 997-0298 Fax.

**IRON BRIDGE WINE COMPANY**  
 TAX MAP 29 - PARCEL 105 - GRID 12  
 HOWARD COUNTY, MARYLAND  
 FIFTH ELECTION DISTRICT  
 LANDSCAPE PLAN & DETAILS

OWNER: REUWER ENTERPRISES, LLC  
8000 MAIN STREET  
ELLCOTT CITY, MARYLAND 21043  
(410) 480-9105
5 OF 5

NOTE : THIS PLAN IS TO BE USED ONLY FOR THE PURPOSE OF A DRAINAGE AREA MAP AND STORM DRAIN PROFILE.



**PIPE SCHEDULE**

QUANTITY	PIPE SIZE
59'	15" RCP, CLASS IV
67'	4" PVC

**SOILS CLASSIFICATION:**

SYMBOL DESCRIPTION  
 ChB2 CHESTER SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED --- TYPE B  
 EhB2 ELIOAK SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED --- TYPE B  
 G1B2 GLENELG LOAM, 3% TO 8% SLOPES, MODERATELY ERODED --- TYPE B

**STRUCTURE SCHEDULE**

STRUCTURE	INVERT IN	INVERT OUT	TOP ELEV.	DESCRIPTION	LOCATION
EX INLET	---	432.2	435.6	EX. INLET	N 571,470.107 E 1,348,261.498
I-1	433.70	433.24	437.27	HO. CO. STANDARD "A-10" TYPE INLET (SD 4.02)	N 571,453.009 E 1,348,207.196
F1	434.09	434.09	437.67	FILTERRA NARROW WIDTH UNIT (FTNW-1)	N 571,449.120 E 1,348,150.031
F2	434.15	434.15	437.73	FILTERRA NARROW WIDTH UNIT (FTNW-1)	N 571,448.568 E 1,348,141.051

NOTE : LOCATION OF CURB INLETS GIVEN AT CENTER OF STRUCTURE AT FACE OF CURB.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] DATE 5/14/05  
 [Signature] DATE 5/10/05  
 [Signature] DATE 5/10/05

date	FEB 2005	approval	RAH
project	04-008	illustration	SJD
scale	1"=20'	description	CHANGED 4" W/C TO 6" W/C
date	6/6/05	revisions	

**IRON BRIDGE WINE COMPANY**  
 TAX MAP 29 - PARCEL 105 - GRID 12  
 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
**INLET DRAINAGE AREA MAP & STORM DRAIN PROFILE**

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Planners Engineers Surveyors  
 5072 Dorsey Hill Drive, Suite 202, Ellicott City, Maryland, 21042  
 (410) 997-0296 Fax: (801) 621-5551 Wash. (410) 997-0298 Fax

**MATCHLINE SHEET 1**

20' PRIVATE SEWER & WATER HOUSE CONNECTION EASEMENT

6" WHC (PRIVATE)

1 1/4" PVC FM (PRIVATE)

1/8 H.B. & 1/16 H.B.

1 STORY BRICK RANCHER

FF 451.02

**PLAN VIEW**  
SCALE: 1" = 20'

**DEVELOPER'S CERTIFICATE**

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

*Signature*  
SIGNATURE OF DEVELOPER  
PRINTED NAME OF DEVELOPER

---

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN, BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

*Signature*  
SIGNATURE OF ENGINEER  
PRINTED NAME OF ENGINEER

R. JACOB HIKMAT  
PROFESSIONAL ENGINEER  
EX. 121 SD

---

USDA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SERVICE  
HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER DATE

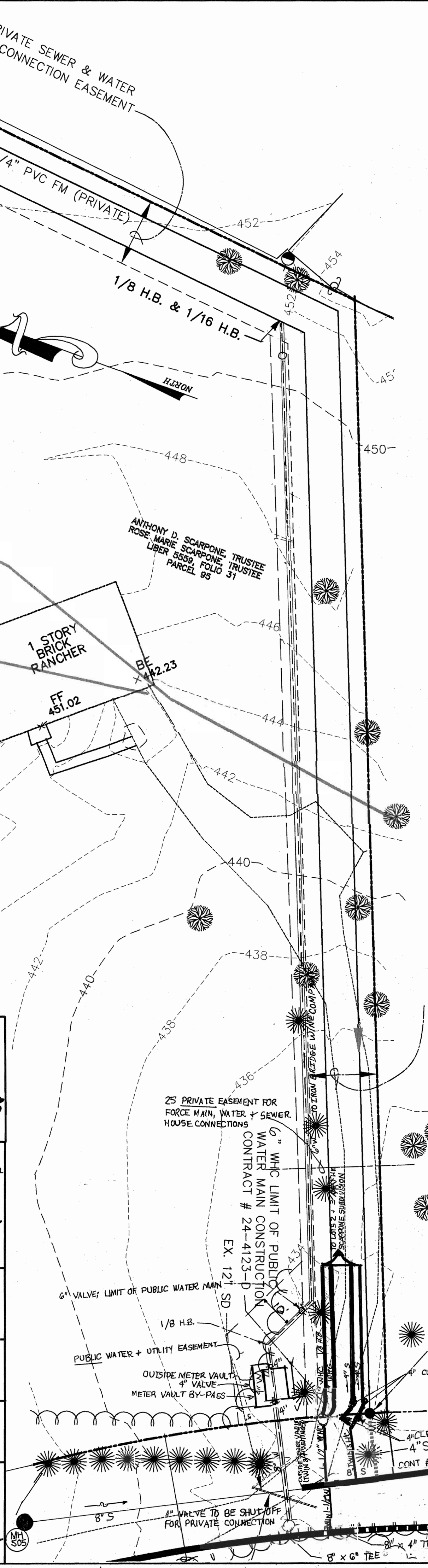
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APPROVED - DEPARTMENT OF PLANNING AND ZONING

*Signature*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION MKK

*Signature*  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Signature*  
DIRECTOR



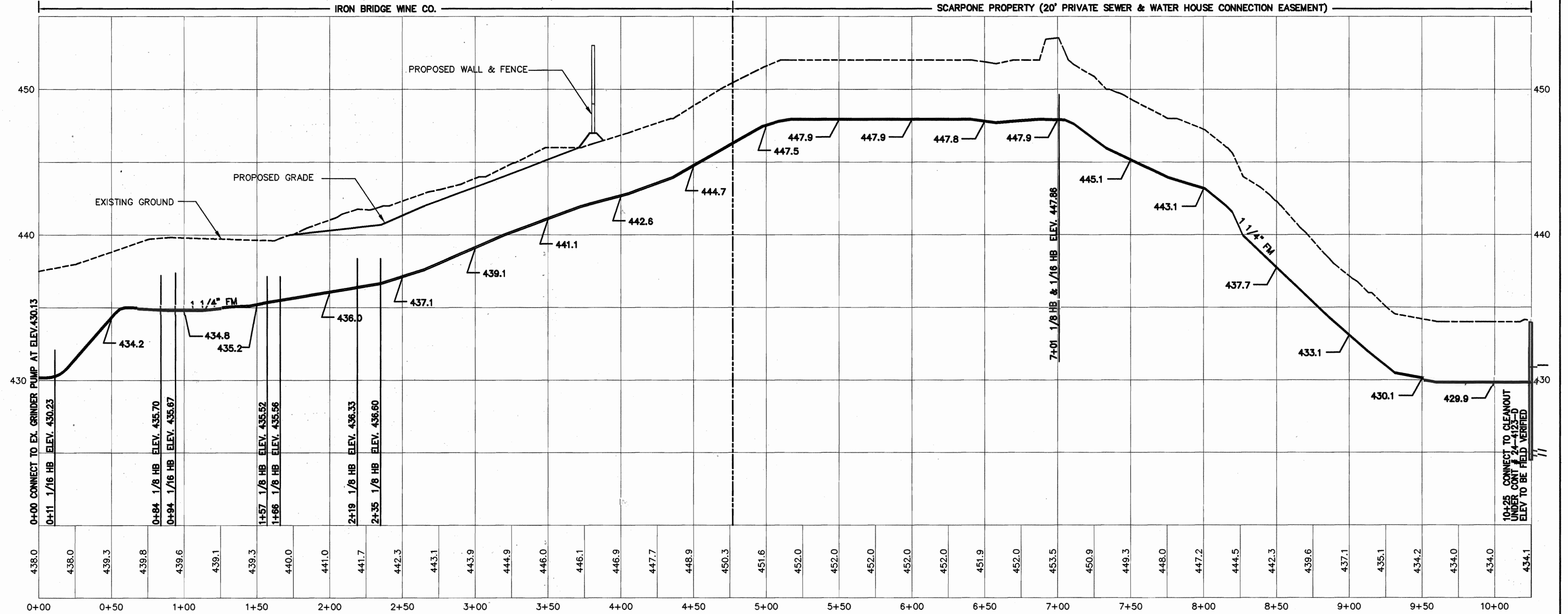
4" CLEANOUT LIMIT OF PUBLIC SEWER MAIN CONSTRUCTION CONTRACT # 24-4123-D

6" VALVE LIMIT OF PUBLIC WATER MAIN

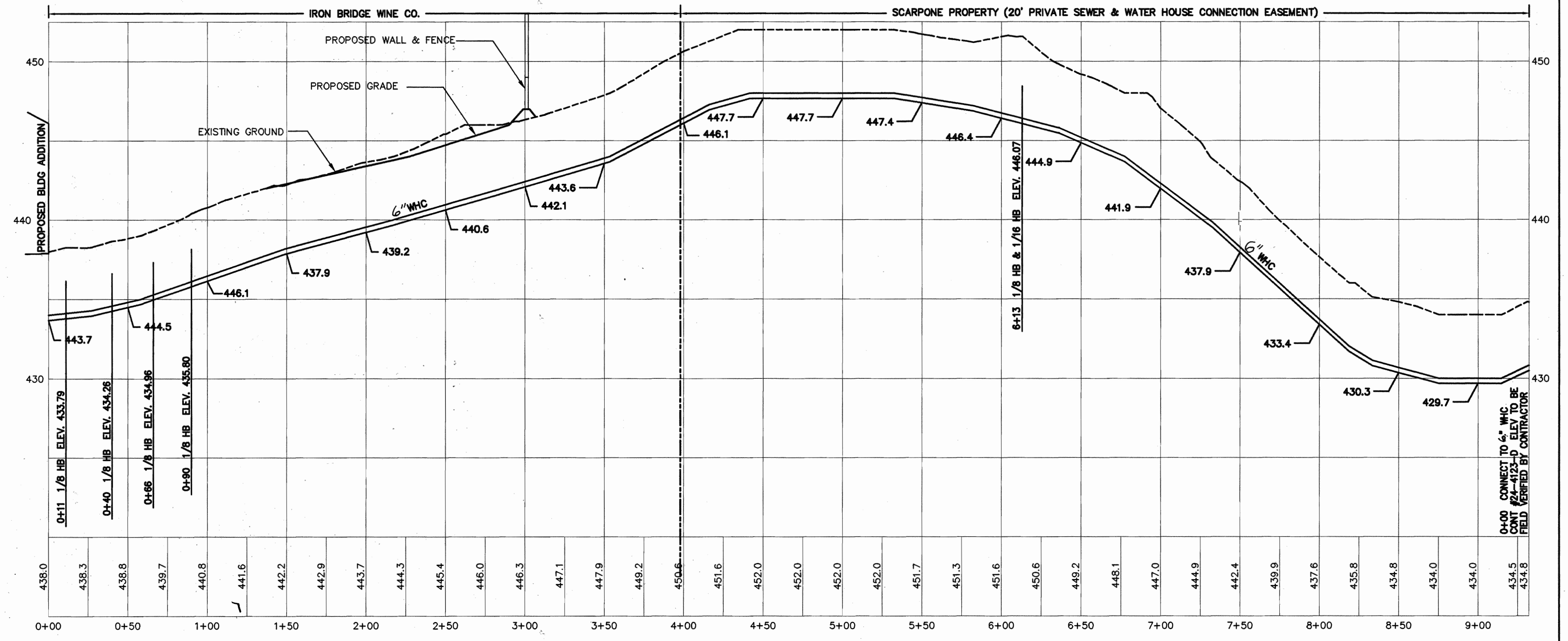
1" VALVE TO BE SHUT-OFF FOR PRIVATE CONNECTION

8" x 6" TEE

CONT # 24-4123-D



**1 1/4" FM PROFILE**  
SCALE: 1" = 50'



**4" WHC PROFILE**  
SCALE: 1" = 50'

**SOILS CLASSIFICATION:**

SYMBOL DESCRIPTION

CH2 CHESTER SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B

EB2 ELIJAH SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B

**OWNER**  
REWMER ENTERPRISES, LLC  
8000 MAIN STREET  
ELLCOTT CITY, MARYLAND 21043  
(410) 480-9105

Project	date	approval
04-008	FEB 2005	AS SHOWN
Illustration	engineering	approval
SID	SID	RJH
scale	AS SHOWN	

no.	description	revisors	date
1	ADDED SHCS + WHCS, REVISED PROFILE ACCORDINGLY		

**IRON BRIDGE WINE COMPANY**  
TAX MAP 29 - PARCEL 105 - GRID 12  
FIFTH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
SITE DEVELOPMENT PLAN & PROFILES

**MILDENBERG, BOENDER & ASSOC., INC.**  
Engineers Planners Surveyors  
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042  
(410) 997-0296 Balt. (301) 621-5521 Wash. (410) 997-0298 Fax



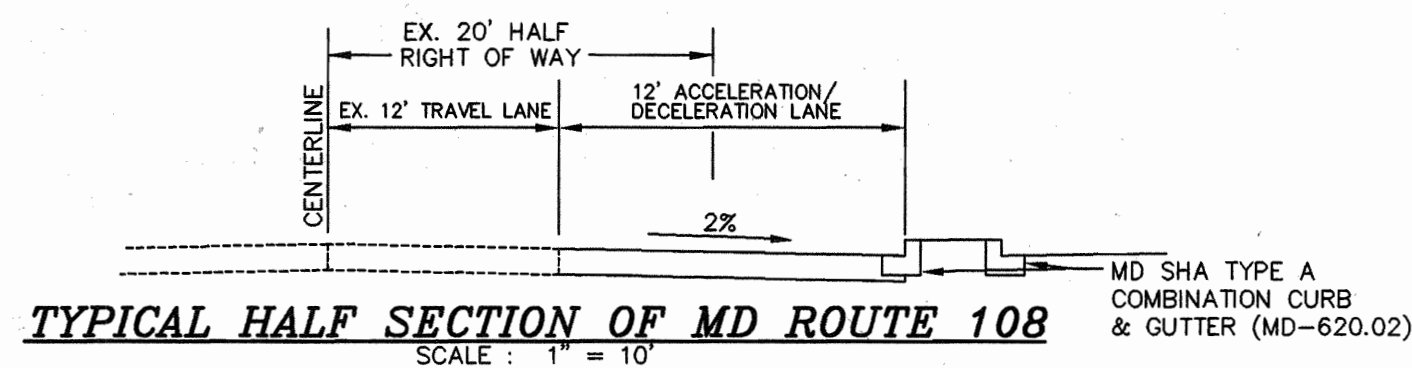
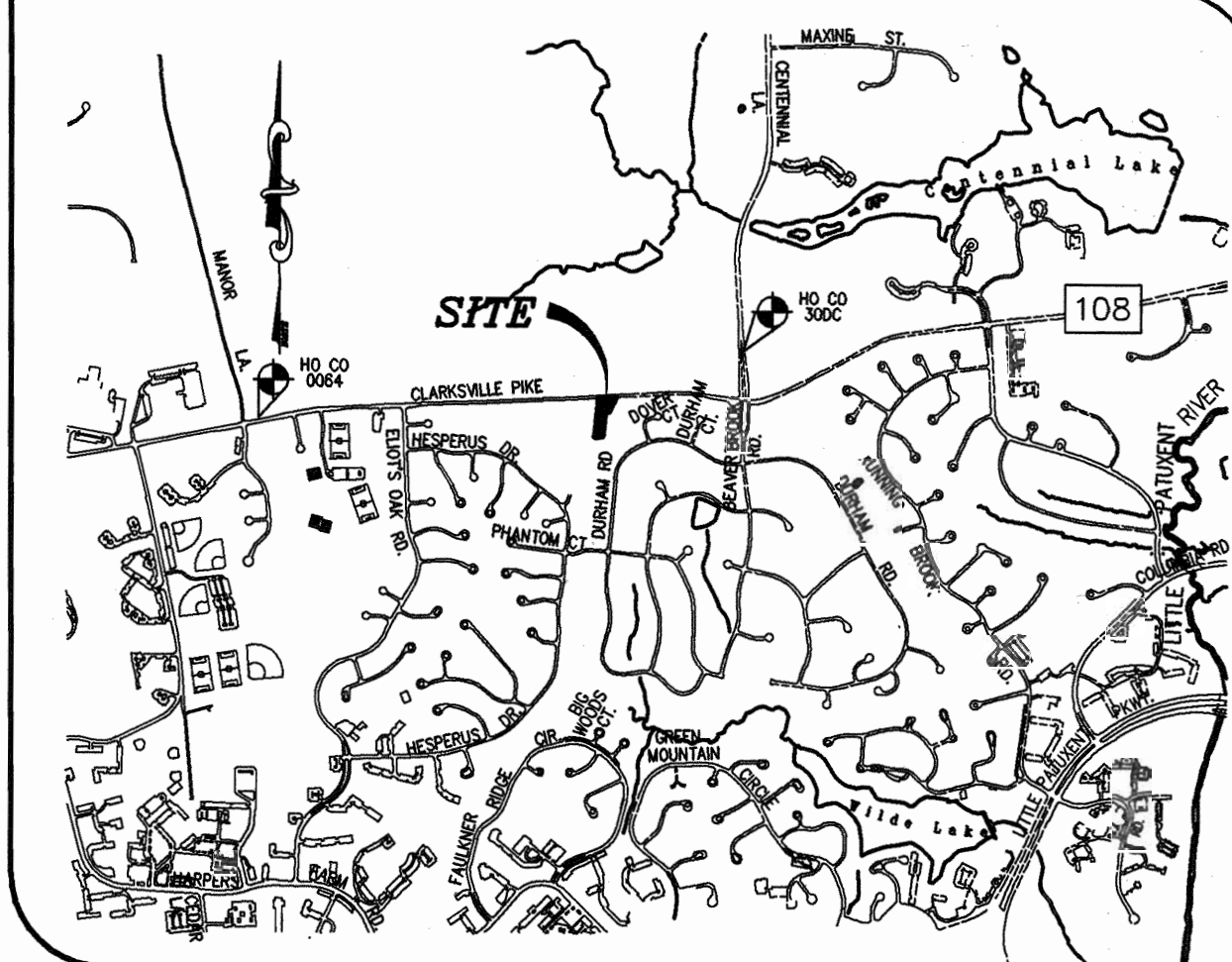
SHEET INDEX	
SHEET	TITLE
1	SITE DEVELOPMENT, GRADING, & SEDIMENT CONTROL PLAN
2	SITE DEVELOPMENT PLAN & PROFILES
3	SEDIMENT CONTROL NOTES & DETAILS & TRAFFIC CONTROL PLAN
4	INLET DRAINAGE AREA MAP & STORM DRAIN PROFILE
5	LANDSCAPE PLAN & DETAILS

# SITE DEVELOPMENT PLAN

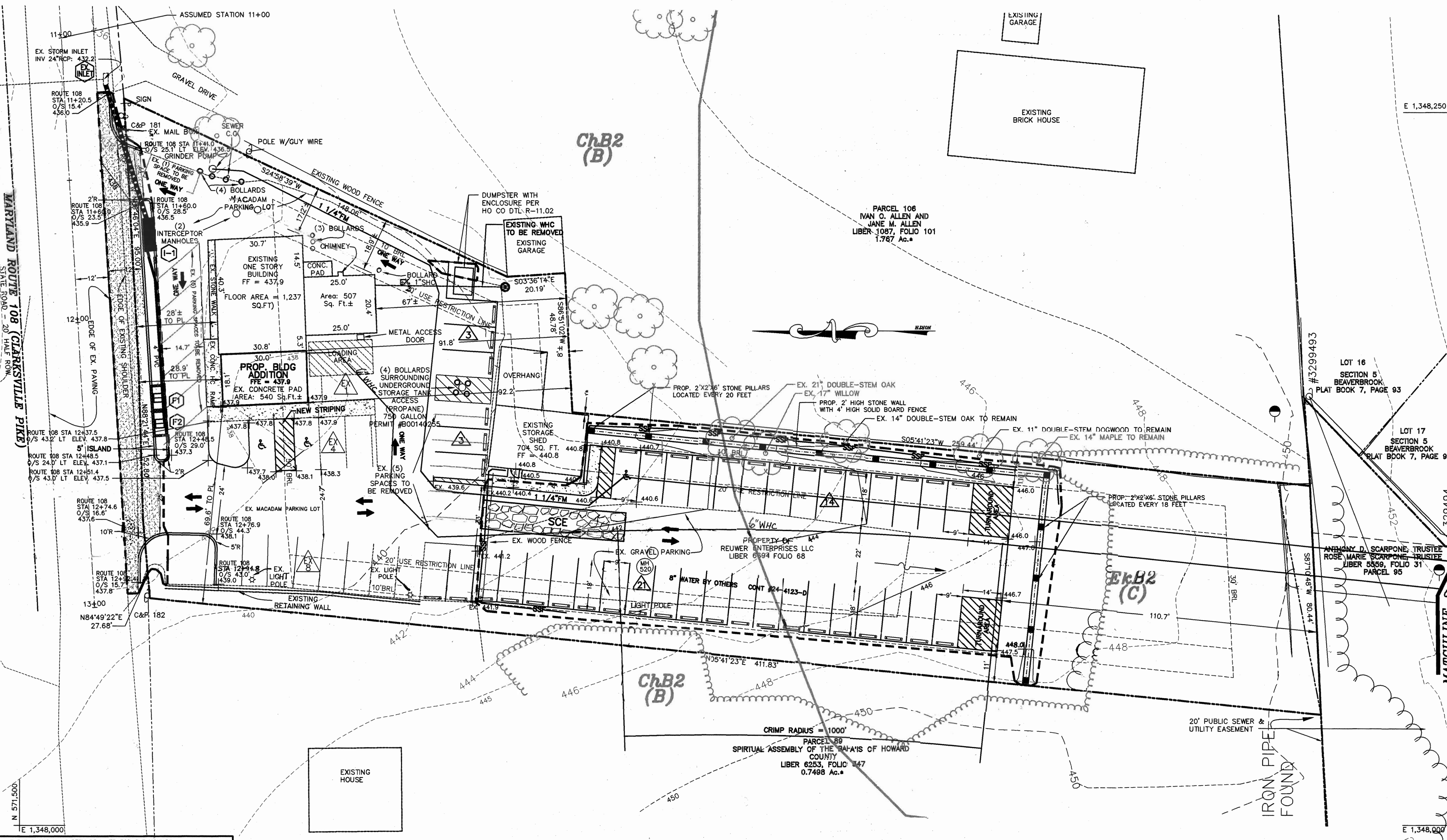
## IRON BRIDGE WINE COMPANY

### FIFTH ELECTION DISTRICT

### HOWARD COUNTY, MARYLAND



**SOILS CLASSIFICATION:**  
 SYMBOL DESCRIPTION  
 ChB2 CHESTER SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B  
 EbB2 ELIQUA SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED -- TYPE B



**GENERAL NOTES:**

- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2/2/2004 COMPREHENSIVE ZONING PLAN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:  
 MISS UTILITY 1-800-257-7777  
 C&P TELEPHONE COMPANY (410) 725-9978  
 HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4000  
 AT&T CABLE LOCATION DIVISION (410) 393-3533  
 BALTIMORE GAS & ELECTRIC (410) 685-0123  
 STATE HIGHWAY ADMINISTRATION (410) 531-5533  
 HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- PROJECT BACKGROUND:  
 LOCATION: TAX MAP 29 - PARCEL 105 - BLOCK 12 - FIFTH ELECTION DISTRICT, 10435 MD ROUTE 108, COLUMBIA, MARYLAND 21044  
 ZONING: R-20 (CONDITIONAL USE FOR TAVERN)  
 DEED REFERENCE: 6253/347.  
 GROSS AREA OF TRACT: 0.98 AC  
 PROPOSED USE FOR SITE: TAVERN  
 FLOOR AREA OF BUILDING: 2,988 SQ.FT. (1,734 SQ.FT. OF EX. BLDG & 540 SQ.FT. OF ADDITION & 704 SQ.FT. SHED)  
 TOTAL NUMBER OF PARKING SPACES REQUIRED: 2,988 SQ.FT. X 14 SPACES/1,000 SQ.FT. = 42 SPACES INCLUDING 2 HANDICAP SPACES.  
 TOTAL NUMBER OF PARKING SPACES PROVIDED: 54 SPACES, INCLUDING 3 HANDICAP SPACES.  
 DPZ FILE NOS.: NCU CASE NO. 02-05; BA CASE NO. 03-09N&V
- BOUNDARY AND TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN & MONUMENTED SURVEY ON OR ABOUT JANUARY 2004 BY FISHER, COLLINS & CARTER, INC. OFF-SITE TOPOGRAPHY SUPPLEMENTED WITH HOWARD COUNTY 200 SCALE TOPOGRAPHIC MAPS.
- COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AND NVD029 VERTICAL DATUM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 300C & 0084.  
 STA. No. 300C N 571,937.674 ELEV. 421.46 \* STAMPED DISC SET ON TOP OF A 3" DEEP CONC COLUMN APPROX 44.7' SOUTHWEST OF 80&E POLE #10737 APPROX. 500' NORTH OF MD ROUTE 108 IN MEDIAN OF CENTENNIAL LANE  
 STA. No. 0084 N 571,248.544 ELEV. 431.58 \* STAMPED DISC SET ON TOP OF A 3" DEEP CONC COLUMN APPROX 1' EAST OF 8&E POLE # 10735 NEAR THE EAST SIDE OF MD ROUTE 108 AND MAIN LANE ALONG NORTH SIDE OF MD ROUTE 108
- SITE ACCESS TO MD ROUTE 108 FOR THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH MSHA DETAIL WITHIN MSHA DETAIL. SEE SHEET 2. ON-SITE PAVING IS TO BE TYPE P-3 PAVING PER HOWARD COUNTY DETAIL. SEE SHEET 2.
- NO HISTORIC STRUCTURES OR BURIAL GROUNDS EXIST ON-SITE PER THE HOWARD COUNTY HISTORIC SITES LIST DATED DECEMBER 1994 AND THE HOWARD COUNTY CEMETERIES AND GRAVESTONES INVENTORY, RESOLUTION # 47-1994. TO THE BEST OF THE KNOWLEDGE OF THE CURRENT SURVEY, NO GRAVES EXIST ON-SITE.
- NO FLOODPLAIN EXISTS ON-SITE.
- NO WETLANDS EXIST ON-SITE PER WETLAND INVESTIGATION BY MILDENBERG, BOENDER & ASSOCIATES, INC. IN FEBRUARY 2004.
- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, INC. ON JANUARY 21, 2004.
- COMPACTION IN FILL AREAS TO BE 95% STANDARD PROCTOR AS DETERMINED PER AASHTO T-180.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- IF MATERIAL IS WITHIN 6% OF OPTIMUM MOISTURE, WORKING THE MATERIAL UNTIL REQUIRED COMPACTION IS ACHIEVED IS CONTRACTOR'S RESPONSIBILITY.
- WATER AND SEWER SERVICE TO BE PUBLIC. CONNECTIONS TO BE PROVIDED BY OTHERS ACCORDING TO PARCEL 95 OWNED BY ANTHONY AND ROSE MARIE SCARPONE BY PUBLIC EASEMENT PER EASEMENT PURCHASE AGREEMENT DATED MAY 12, 2004. THIS AGREEMENT OUTLINES THE PROVISIONS FOR ACQUISITION OF THE EASEMENT FOR THE PLACEMENT OF A UTILITY LINE. AN INSIDE METER WILL BE UTILIZED.
- STORMWATER MANAGEMENT FOR THIS PROJECT PROVIDED BY FILTERRA STORMWATER BIOTRETION FILTRATION SYSTEM. PROPOSED A-10 INLET WILL TAKE BYPASS, HIGH INTENSITY STORMWATER, PRIOR TO CONVEYANCE TO AN EXISTING INLET ALONG MD ROUTE 108.
- NO FOREST STANDS EXIST ON-SITE PER FIELD INVESTIGATION BY MILDENBERG, BOENDER & ASSOCIATES, INC. IN FEBRUARY 2004. THE FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 18.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS DEVELOPMENT HAS BEEN FULFILLED BY PAYMENT OF FEE-IN-LIEU OF AFForestation OF 0.15 ACRES (6,534 SQ. FT.) IN THE AMOUNT OF \$3,267.00.
- LANDSCAPING IS PROVIDED IN ACCORDANCE WITH SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (13 SHADE TREES, 24 EVERGREENS) WILL BE POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$7,000.00.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED JULY 1968, SHEET 19.
- THIS PROJECT IS SUBJECT TO BA CASE NO. 03-09N&V WHICH GRANTED THE ENLARGEMENT/ ALTERATION OF A NONCONFORMING USE FOR A 540 SQ. FT. ADDITION TO AN EXISTING BUILDING AND INCREASING THE LAND AREA TO ADD 36 PARKING SPACES, AND FOR VARIANCES TO REDUCE THE 50-FOOT SETBACK FROM AN ARTERIAL HIGHWAY PUBLIC STREET RIGHT-OF-WAY TO 28.9 FEET AND THE 20-FOOT SIDE USE SETBACK TO 11 FEET FOR PARKING IN AN R-20 (RESIDENTIAL - SINGLE) ZONING DISTRICT ON DECEMBER 24, 2003. THE FOLLOWING CONDITIONS APPLY:  
 COOKING ON THE PROPERTY WILL GENERALLY NOT COMMENCE UNTIL AFTER 8:45 AM ON MONDAYS THRU SATURDAYS AND AFTER 7:00 AM ON SUNDAYS. FOOD ORDERS WILL NOT BE TAKEN AFTER 11:45 PM. THERE WILL BE NO OUTDOOR ACTIVITIES INVOLVING FOOD OR ALCOHOLIC BEVERAGES, NO OUTDOOR TENTS, AND NO OUTDOOR MUSIC. NO LIGHTING EXCEPT LOW LEVEL LIGHTS FOR SECURITY PURPOSES WILL BE INSTALLED. THE GARAGE WILL BE USED ONLY FOR STORAGE RELATED TO THE TAVERN USE. THE NEW PARKING WILL BE USED FOR PATRONS AND EMPLOYEES OF THE TAVERN.
- PER EASEMENT PURCHASE AGREEMENT EXECUTED ON MAY 12, 2004, ANTHONY D. SCARPONE, TRUSTEE AND ROSE MARIE SCARPONE, TRUSTEE GRANTED TO IRON BRIDGE WINE COMPANY, LLC, STEPHEN WECKER AND ROBERT L. WECKER, OR HOWARD COUNTY, MARYLAND, AN EASEMENT FOR WATER AND/OR SEWER UTILITY LINE CONSTRUCTION.
- THIS SITE DEVELOPMENT PLAN IS SUBJECT TO A DESIGN MANUAL WAIVER TO REDUCE THE PARKING IS FROM 14 TO 12 AND REDUCE A ONE-WAY ISLE WIDTH WITH NO ADJACENT PARKING TO 14.7' WAS APPROVED ON MAY 3, 2004.
- THERE IS A CAPITAL PROJECT (J-4177) UNDERWAY FOR IMPROVEMENTS TO ROUTE 108 IN THE VICINITY OF CENTENNIAL LANE. THE STATE HIGHWAY ADMINISTRATION IS DESIGNING THE PROJECT AND HOWARD COUNTY IS PERFORMING THE ACTUAL IMPROVEMENTS. IN ACCORDANCE WITH SECTION 16.119.0(1) OF THE SUBDIVISION REGULATIONS, THE OWNER OF THIS SITE, IRON BRIDGE WINE COMPANY, LLC, SHALL DEDICATE THE NECESSARY RIGHT-OF-WAY, IF ANY, ONCE THE SHAW/COUNTY DETERMINE THE REQUIRED RIGHT-OF-WAY WIDTH.

- MISS UTILITY 1-800-257-7777
- C&P TELEPHONE COMPANY (410) 725-9978
- HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4000
- AT&T CABLE LOCATION DIVISION (410) 393-3533
- BALTIMORE GAS & ELECTRIC (410) 685-0123
- STATE HIGHWAY ADMINISTRATION (410) 531-5533
- HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

**Jim Meyer** 3/3/05  
 USE - NATURAL RESOURCE CONSERVATION SERVICE DATE

**John R. Robertson** 3/3/05  
 SOIL CONSERVATION DISTRICT DATE

**John R. Robertson** 3/3/05  
 HAWARD SOIL CONSERVATION DISTRICT DATE

**John R. Robertson** 3/3/05  
 PROVIDED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS DATE

**John R. Robertson** 3/3/05  
 HOWARD COUNTY HEALTH DEPARTMENT DATE

**John R. Robertson** 3/3/05  
 HOWARD COUNTY HEALTH OFFICER DATE

**John R. Robertson** 3/3/05  
 APPROVED: DEPARTMENT OF PLANNING AND ZONING DATE

**John R. Robertson** 3/3/05  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

**John R. Robertson** 3/3/05  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

**John R. Robertson** 3/3/05  
 DIRECTOR DATE

**John R. Robertson** 3/3/05  
 DEVELOPERS CERTIFICATE DATE

**John R. Robertson** 3/3/05  
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE NATURAL RESOURCE CONSERVATION SERVICE.

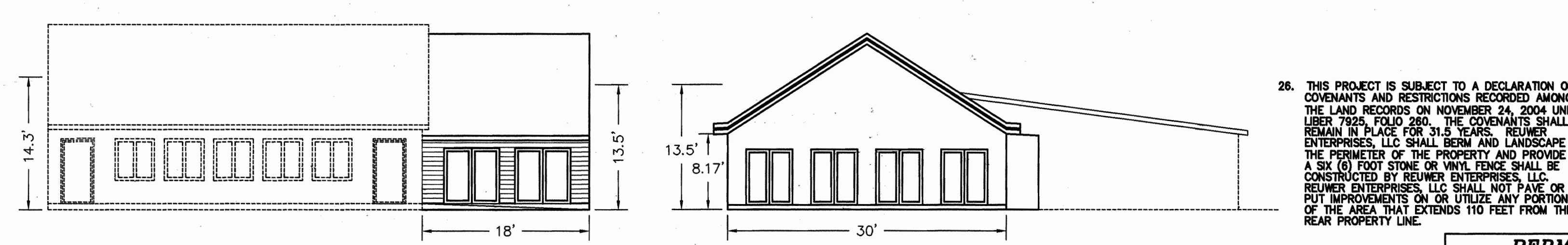
**John R. Robertson** 3/3/05  
 SIGNATURE OF DEVELOPER DATE

**John R. Robertson** 3/3/05  
 ENGINEER'S CERTIFICATE DATE

**John R. Robertson** 3/3/05  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

**John R. Robertson** 3/3/05  
 SIGNATURE OF ENGINEER DATE

**John R. Robertson** 3/3/05  
 B. JACOB HIKMAT  
 PRINTED NAME OF ENGINEER DATE



**BUILDING ELEVATION**  
SCALE : 1" = 10'

**ADDRESS CHART**

UNIT NO.	STREET ADDRESS
A	10435 MD ROUTE 108 (CLARKSVILLE PIKE)

**PERMIT INFORMATION CHART**

PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.
IRON BRIDGE WINE COMPANY	N/A	105
FLAT # OR L/T/ GRID #	TAX MAP NO.	ELECT. DIST.
12	29	FIFTH
WATER CODE	SEWER CODE	CENSUS TRACT
E-01	5602300	6055.03

**OWNER**  
 REUWER ENTERPRISES, LLC  
 8000 MAIN STREET  
 ELICOTT CITY, MARYLAND 21043  
 (410) 480-9105

**IRON BRIDGE WINE COMPANY**

TAX MAP 29 - PARCEL 105 - GRID 12  
 FIFTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

**SITE DEVELOPMENT, GRADING, & SEDIMENT CONTROL PLAN**

**MILDENBERG, BOENDER & ASSOC., INC.**

Engineers Planners Surveyors  
 5072 Dressy Hall Drive, Suite 202, Ellicott City, Maryland 21042  
 (410) 997-0286 Fax: (301) 621-5621 Wash. (301) 997-0286 Fax

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