

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MEHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 318-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-TTII AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
TAX MAP: 41
ELECTION DISTRICT: 5
ZONING: MXD-3 PER ZB-495M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO
AREA OF BUILDABLE LOTS (Nos. 1-17, 22-35 & 40-55) FOR THIS SITE DEVELOPMENT PLAN: 5.25 ACRES
FOR OTHER SUBMISSIONS RELATED TO THIS SITE: SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS.:
SOP-04-82, 5-01-11, ZB-495M, PD-353, NP-01-11, KP-03-02, F-03-01, F-03-40.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-03-40.
- COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 31 ED.
- STORMWATER MANAGEMENT IS PROVIDED BY AN EXISTING TYPE P-2 MET POND PER F-03-40.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY N45 CONTRACT NOS. 24-4105-D). WATER METERS ARE LOCATED INSIDE THE SFA AND SFD BUILDINGS.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS (Nos. 1-17) SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE MIDTOWN DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY APPROVAL AND IMPLEMENTATION OF F-03-40.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEETS 10 TO SATISFY 5-01-H DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 10.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 10'4" SERVING MORE THAN ONE RESIDENCE
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH AND CHIP COATING (1-1/2" MIN)
C. GEOMETRY - MAX 1% GRADE, MAX 10% GRADE CHANGE AND MIN 45' TURNING RADIUS
D. STRUCTURES (GUTTERS/BERMS) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADS)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY.
- THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 16.124.2 OF THE ZONING REGULATIONS AND THE APPROVED MFL DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITH THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPED.
- BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 129.41 OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
- AS A CONSEQUENCE OF THE SKETCH PLAN, 5-01-H APPROVAL PRIOR TO 11-05-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

LOT DEVELOPMENT DATA

- GENERAL SITE DATA
A. PRESENT ZONING: MXD-3
B. EXISTING & PROPOSED USE OF SITE: NEW SFD RESIDENTIAL DWELLINGS
C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. #24-4105-D)

- AREA TABULATION
A. AREA OF BUILDABLE LOT FOR THIS SUBMISSION: 227,897 SF OR 5.254 AC. (LOTS 1-17, 22-35 & 40-55)
B. AREA OF THIS PLAN SUBMISSION: 6.51 ACRES
C. AREA OF DISTURBANCE BY THIS SOP: 6.51 ACRES
D. NUMBER OF SFD LOTS: 41 BUILDABLE

LOT DESIGNATION

LOT TYPE	LOT NUMBERS	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FROM BRL.	MAX. BUILDING HT.
COTTAGE	1-17, 40-42 & 48-52	3,600 SQUARE FEET	34 FEET	30 FEET
MANOR	1-13, 22-35, 43-47 & 53-55	4,000 SQUARE FEET	40 FEET	30 FEET

COTTAGE AND MANOR LOT TYPES ARE BOTH SFD

STRUCTURE SETBACKS PER 5-01-H AND PLAT No. 16086

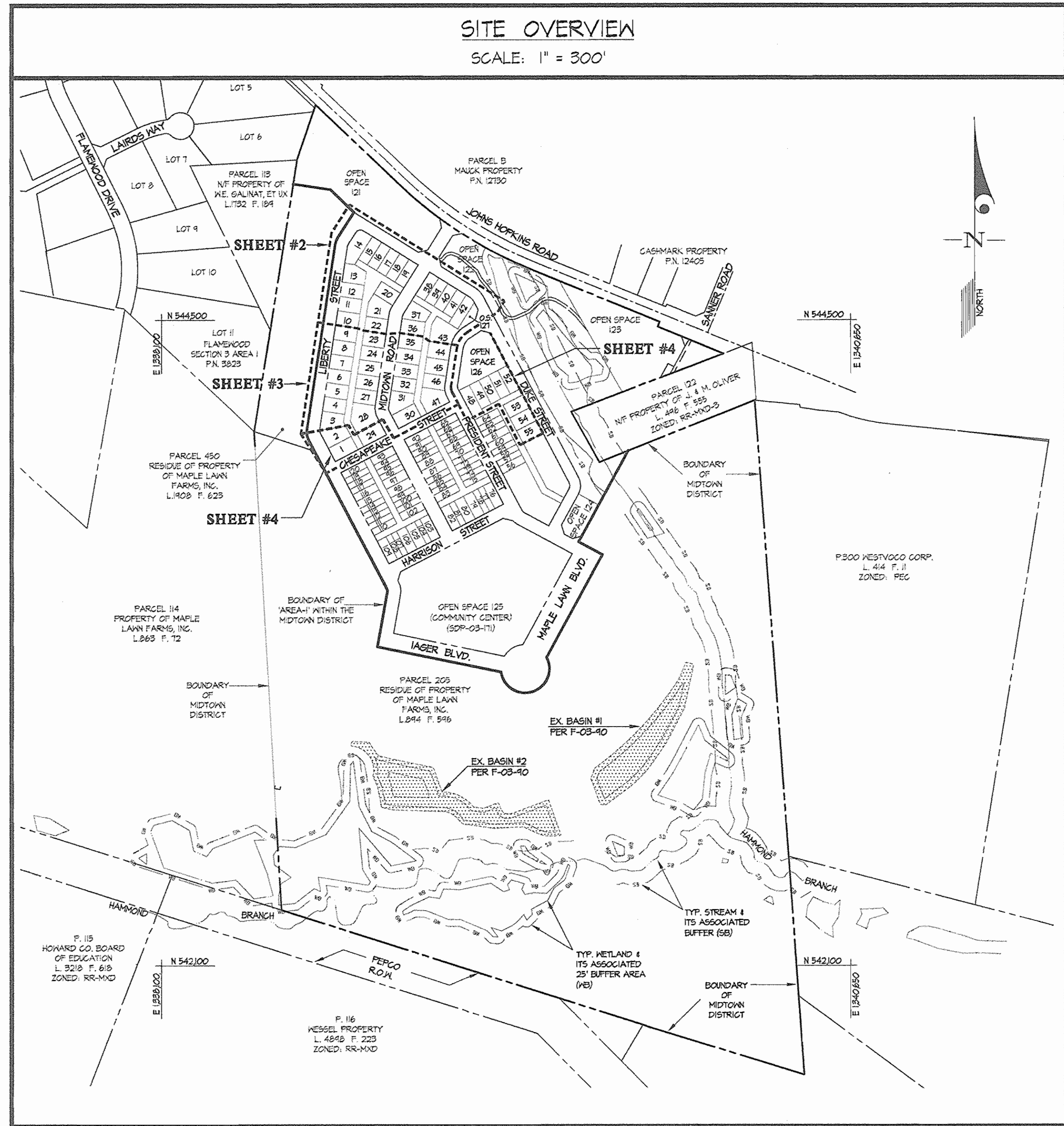
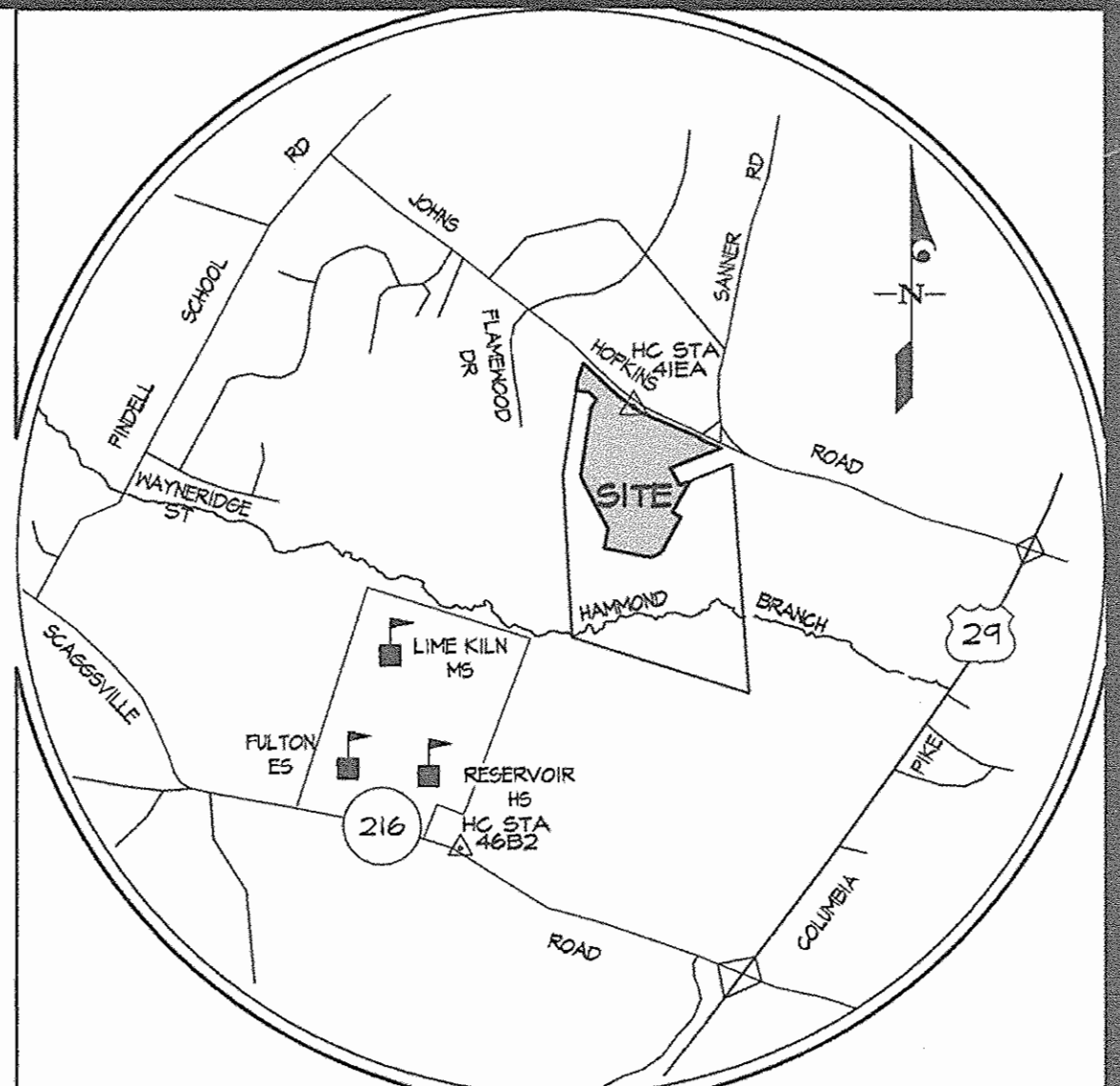
LOT TYPE	BLDG. HEIGHT*	FRONT SETBACK	SIDE SETBACK	MINIMUM REAR SETBACKS
COTTAGE	30' MAX.	10' MIN.	4' MIN.**	20' TO PRINCIPAL STRUCTURE; 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.
MANOR	30' MAX.	10' MIN.	4' MIN.**	20' TO PRINCIPAL STRUCTURE; 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.

- * MEASURE AT THE MIDPOINT OF THE ROOF HEIGHT TO THE HIGHEST ADJOINING GROUND ELEVATION ADJACENT TO THE BUILDING.
** THERE IS NO SIDE SETBACK (0') FOR A GARAGE.
- A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (1) NO PART OF THE DWELLING SHALL ENCRoACH ONTO THE ADJOINING LOT; (2) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 8'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.
 - OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
 - FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROW) SHALL BE 30' AWAY.
 - EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 129.41 APPLIES, EXCEPT FOR THE FOLLOWING:
 - PORCHES MAY ENCRoACH INTO THE FRONT YARD TO WITHIN 2' FROM THE PROPERTY LINE OR RIGHT-OF-WAY FOR TOWNHOUSES, COTTAGES AND MANORS. PORCHES MAY ENCRoACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM RIGHT-OF-WAY FOR COTTAGES AND MANORS, WHERE A SIDE YARD ADJUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCRoACH TO WITHIN 1' FROM SIDE PROPERTY LINE FOR COTTAGES AND MANORS.
 - STOOPS AND STEPS MAY ENCRoACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
 - GARDEN WALLS, FENCES, FIELDS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 42" IN HEIGHT (FOR SFD AND 48" FOR OTHER RESIDENTIALS) ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES.

MAPLE LAWN FARMS SITE DEVELOPMENT PLAN

MIDTOWN DISTRICT -- AREA 1 LOTS 1-17, 22-35 and 40-55 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

HOWARD COUNTY CONTROL
NAD83 HORIZONTAL DATA & NVD88 VERTICAL DATA
41EA N 544825.809
E 1394217.444
ELV.=407.053
46B2 N 539481.1277
E 1331218.484
ELV.=474.671



VICINITY MAP
SCALE: 1" = 2000'

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SEDIMENT & EROSION CONTROL PLAN
- SEDIMENT & EROSION CONTROL PLAN
- LANDSCAPE PLAN
- LANDSCAPE PLAN
- LANDSCAPE PLAN
- LANDSCAPE NOTES, SCHEDULES & DETAILS
- DETAILS

ADDRESS CHART

LOT No.	STREET ADDRESS	LOT No.	STREET ADDRESS
1	11915 LIBERTY STREET	38	11500 DUKE STREET
2	11941	39	11504
3	11965	40	11308
4	11961	41	11312 DUKE STREET
5	11997	42	11316 DUKE STREET
6	11993	43	1632 PRESIDENT STREET
7	11944	44	1636
8	11945	45	1640
9	11941	46	1644
10	11937	47	1648
11	11933	48	11396 DUKE STREET
12	11929	49	11324
13	11925	50	11328
14	11921	51	11332
15	11917	52	11336
16	11913	53	11340
17	11909	54	11344
		55	11348
22	1630 MIDTOWN ROAD		
23	1634		
24	1638		
25	1642		
26	1646		
27	1650		
28	1654		
29	1658		
30	1662		
31	1666		
32	1670		
33	1674		
34	1678		
35	1682		
36	1686		
37	1690		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *David D. Caplan* Date: 6/1/04
 Chief, Division of Land Development: *Cathy Hamilton* Date: 5/28/04
 Chief, Development Engineering Division: *Charles Williams* Date: 5/26/04

MILLER AND SMITH AT MAPLE LAWN, L.L.C. OWNS LOTS:
4-8, 14-21, 26-28, 32-34 AND 47-55
 MB MAPLE LAWN, L.L.C. IS OWNS LOTS:
1-3, 9-13, 22-25, 29-31 AND 35-46
 DEVELOPER OF MAPLE LAWN FARMS:
G & R MAPLE LAWN, INC.
1824 REGISTERSTOWN ROAD, SUITE 410
BALTIMORE, MD 21209
PH: 410-484-8400
ATTN: CHARLES O'DONOVAN



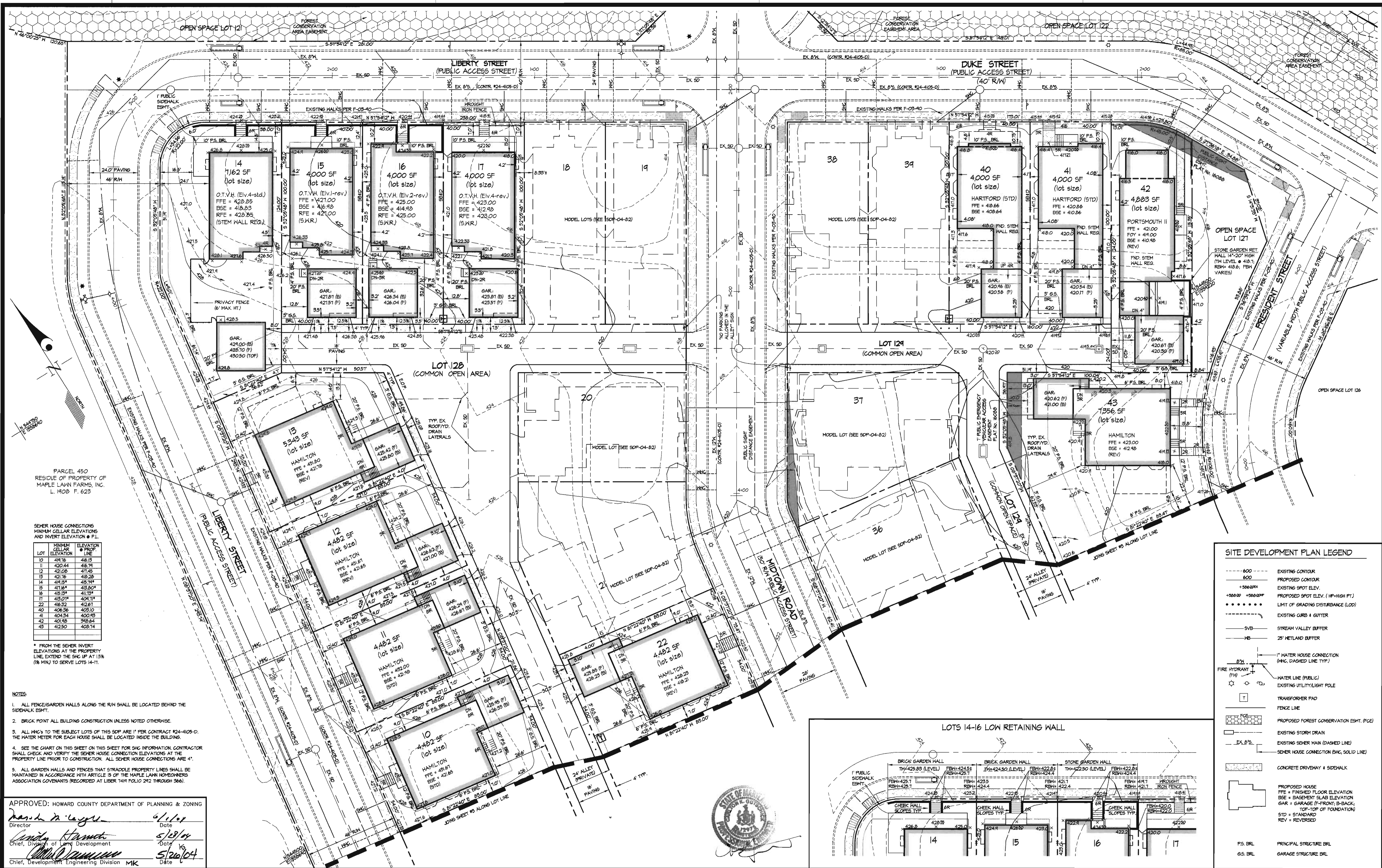
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20868
 TEL: 301-421-4124 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DESIGN	DRN. SUP	CHK. MFT	DATE	REVISION	BY	APP'R.

PREPARED FOR:
 BUILDER/LOT OWNER:
 MILLER AND SMITH AT MAPLE LAWN, L.L.C.
 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: (703) 821-2500
 attn: COLLEEN DWELLEY
 BUILDER/LOT OWNER:
 MB MAPLE LAWN, L.L.C.
 1636 E. GIDE DRIVE
 ROCKVILLE, MARYLAND 20850
 PH: (301) 762-9511
 attn: JOHN COGGAN

COVER SHEET
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA 1: LOT Nos. 1-17, 22-35, and 40-55
 (NEW SFD RESIDENTIAL DWELLINGS)
 PLAT No. 16085 - 16092
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	C. L. W. FILE No.
AS SHOWN	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	1 OF 11



PARCEL 450
RESIDUE OF PROPERTY OF
MAPLE LAWN FARMS, INC.
L. 1408 F. 623

SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.L.

LOT	MINIMUM CELLAR ELEVATION	ELEVATION @ PROP. LINE
10	418.76	416.15
11	420.44	416.78
12	421.08	417.46
13	421.76	418.26
14	418.54	415.74
15	421.84	418.29
16	415.54	411.74
17	415.07	404.74
22	416.52	412.67
40	426.56	423.10
41	424.34	420.83
42	421.49	395.84
43	412.50	408.74

* FROM THE SEWER INVERT ELEVATIONS AT THE PROPERTY LINE, EXTEND THE SLOPE UP AT 1/8% (1% MIN) TO SERVE LOTS 14-17.

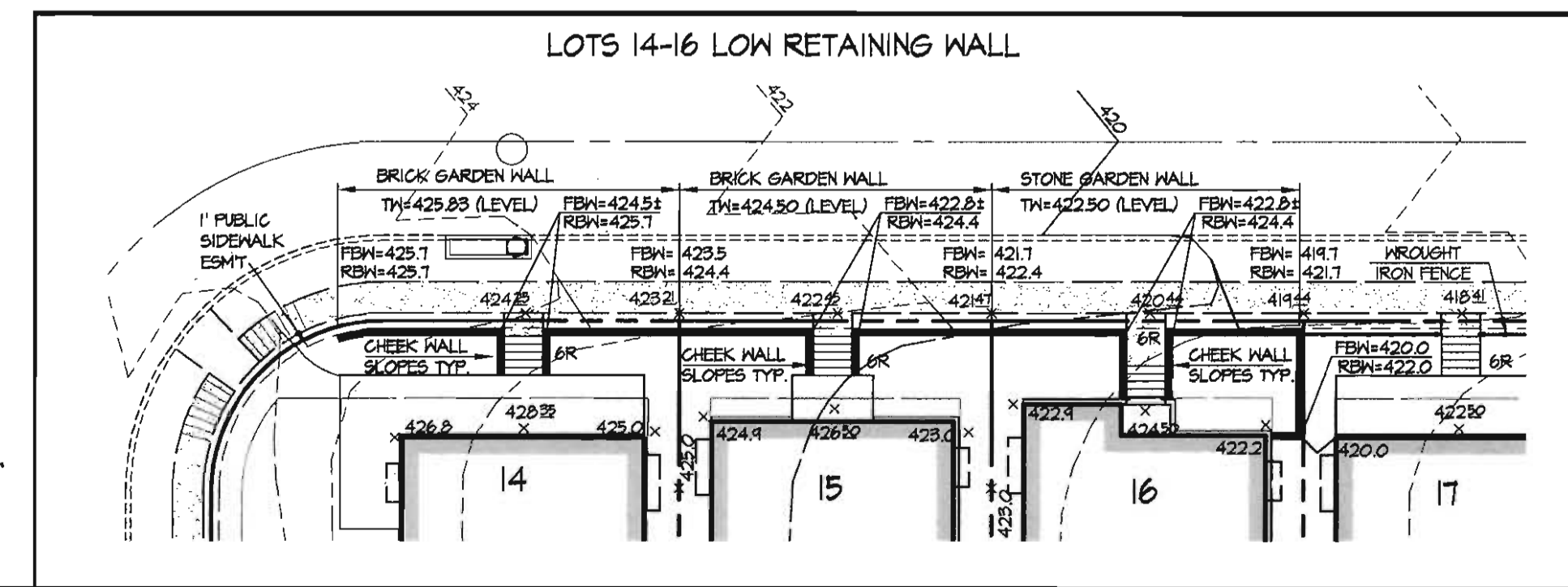
- NOTES:
1. ALL FENCE/GARDEN WALLS ALONG THE R/W SHALL BE LOCATED BEHIND THE SIDEWALK ESM'T.
 2. BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 3. ALL MHC'S TO THE SUBJECT LOTS OF THIS SDP ARE 1' PER CONTRACT #24-1105-D. THE WATER METER FOR EACH HOUSE SHALL BE LOCATED INSIDE THE BUILDING.
 4. SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE CONNECTION ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION. ALL SEWER HOUSE CONNECTIONS ARE 4".
 5. ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBERTY TOWN FOLIO 212 THROUGH 366).

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date *6/16/04*

Chief, Division of Land Development _____ Date *5/28/04*

Chief, Development Engineering Division _____ Date *5/20/04*



SITE DEVELOPMENT PLAN LEGEND

- 800 --- EXISTING CONTOUR
- 800 --- PROPOSED CONTOUR
- +588.00' EXISTING SPOT ELEV.
- +588.00' +588.00' PROPOSED SPOT ELEV. (IF HIGH FT.)
- LIMIT OF GRADING DISTURBANCE (LOD)
- EXISTING CURB & GUTTER
- SVB STREAM VALLEY BUFFER
- MB 25' WETLAND BUFFER
- 8" --- 1" WATER HOUSE CONNECTION (MHC, DASHED LINE TYP.)
- FIRE HYDRANT (FH)
- WATER LINE (PUBLIC)
- EXISTING UTILITY/LIGHT POLE
- TRANSFORMER PAD
- FENCE LINE
- PROPOSED FOREST CONSERVATION ESM'T. (FCE)
- EXISTING STORM DRAIN
- EXISTING SEWER MAIN (DASHED LINE)
- SEWER HOUSE CONNECTION (SHC, SOLID LINE)
- CONCRETE DRIVEWAY & SIDEWALK
- PROPOSED HOUSE FLOOR ELEVATION
- BSE = BASEMENT SLAB ELEVATION
- GAR = GARAGE (IF FRONT 3-BACK, TOP-TOP OF FOUNDATION)
- STD = STANDARD
- REV = REVERSED
- P.S. BRL PRINCIPAL STRUCTURE BRL
- G.S. BRL GARAGE STRUCTURE BRL

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:

BUILDER/LOT OWNER:
WILLER and SMITH of MAPLE LAWN, L.L.C.
8401 GREENSBORO DRIVE, SUITE 300
WILEYAN, VIRGINIA 22102
PH: (703) 821-2500
attn: COLLEEN DWELLEY

BUILDER/LOT OWNER:
MB MAPLE LAWN L.L.C.
1686 E. GUIDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: (301) 782-9511
attn: JOHN CORGAN

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 1: LOT Nos. 14, 22-35, and 40-55
(NEW SFD RESIDENTIAL DWELLINGS)
PLAT No. 16085 - 16092

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

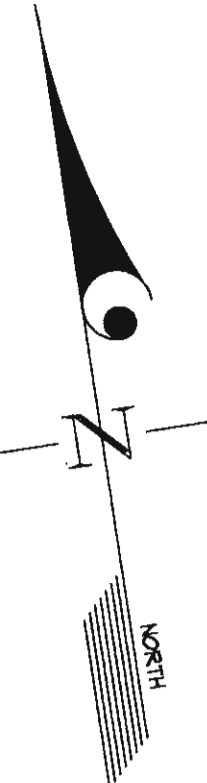
SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	2 OF 11

SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.I.

LOT	MINIMUM CELLAR ELEVATION	ELEVATION @ P.I.
3	412.61	409.58
4	414.50	410.27
5	415.42	410.27
6	417.04	413.45
7	417.74	414.14
8	419.51	415.00
9	411.11	415.46
25	417.02	413.45
24	417.84	414.14
24	419.51	414.94
26	411.11	415.46
27	414.21	415.61
27	417.94	414.23
30	417.11	415.54
31	414.05	413.26
32	418.21	415.22
35	418.22	414.51
34	417.58	415.75
35	416.68	415.03
44	412.06	409.56
44	414.42	407.83
46	411.23	407.65
47	411.05	407.24

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

PARCEL 450
RESIDUE OF PROPERTY
OF MAPLE LAWN
FARMS, INC.
L. 1908 F. 623



N 344550
E 1238460

30' PUBLIC STORM DRAINAGE
& UTILITY EASEMENT
PLAT No. 16087

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David A. Light 4/1/04
Director Date
Cindy Hamilton 5/28/04
Chief, Division of Land Development Date
Mark D. Williams 5/26/04
Chief, Development Engineering Division MK Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:

BUILDER/LOT OWNER:
MILLER and SMITH of MAPLE LAWN, LLC
8401 GREENSBORO DRIVE, SUITE 300
MCLEAN, VIRGINIA 22102
PH: (703) 821-2500
attn: COLLEEN DWELLEY

BUILDER/LOT OWNER:
MR MAPLE LAWN LLC
1686 E. GUDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: (301) 762-3511
attn: JOHN GORGAN

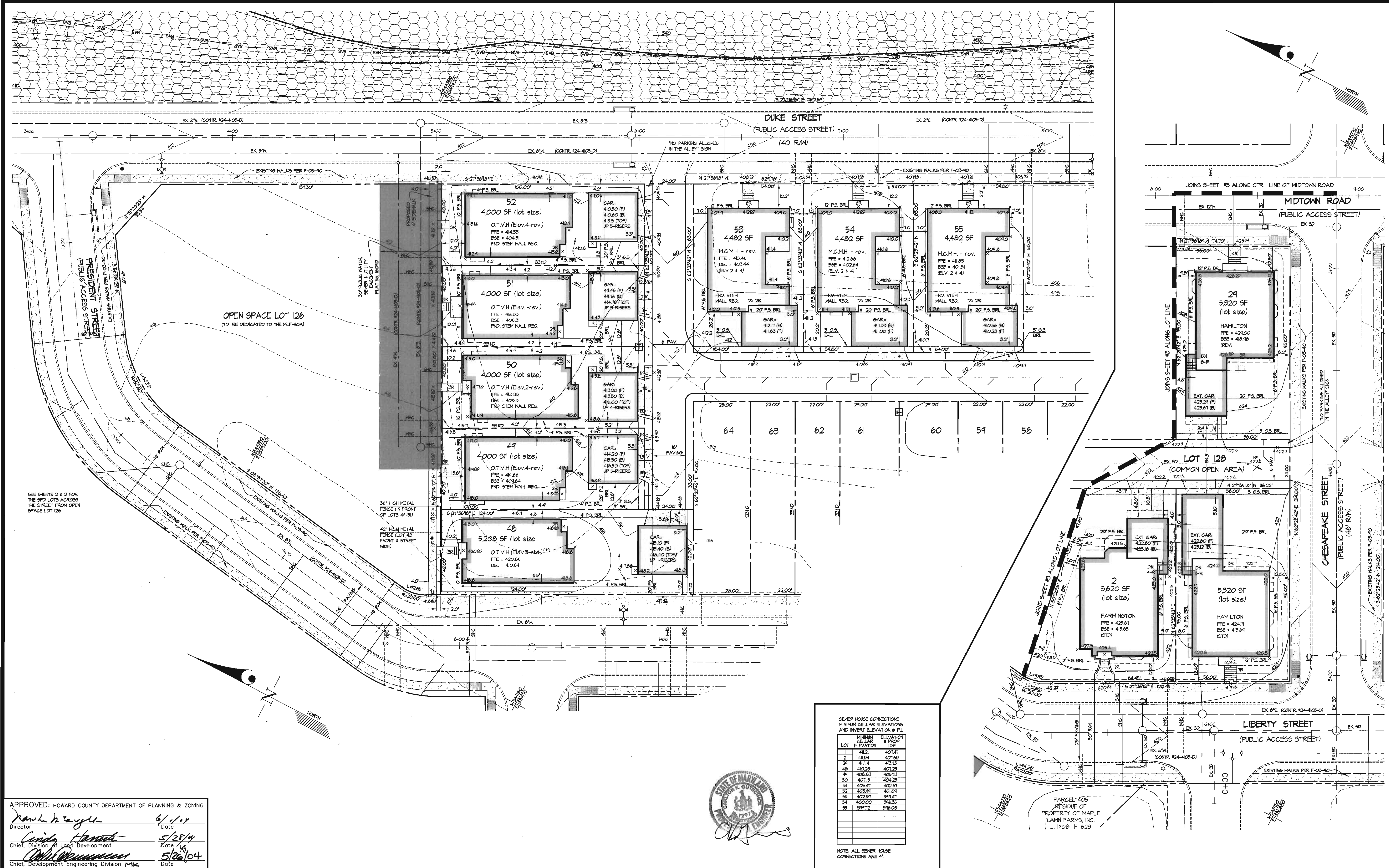
SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA E LOT Nos. 1-17, 22-35, and 40-55
(NEW SFD RESIDENTIAL DWELLINGS)
PLAT No. 16085 - 16092

SCALE 1" = 20'	ZONING MXD-3	G. L. W. FILE No. 03-013
DATE 30/APRIL/04	TAX MAP - GRID 41	SHEET 3 OF 11

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



SEE SHEETS 2 & 3 FOR THE SPD LOTS ACROSS THE STREET FROM OPEN SPACE LOT 126

OPEN SPACE LOT 126
(TO BE DEDICATED TO THE MFL-HOA)

PARCEL 405
RESIDUE OF
PROPERTY OF MAPLE
LAWN FARMS, INC.
L 1908 P. 623

SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.L.

LOT	MINIMUM CELLAR ELEVATION	ELEVATION @ PROP. LINE
1	411.21	407.41
2	411.54	407.83
29	411.14	413.75
48	410.28	407.25
49	408.83	405.75
50	407.15	404.25
51	406.41	402.51
52	403.99	401.04
53	402.81	398.47
54	400.00	395.55
55	398.12	396.00

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howell H. Taylor
Director
Date: 6/1/04

Chris H. Harts
Chief, Division of Land Development
Date: 5/25/04

Mike Williams
Chief, Development Engineering Division
Date: 5/26/04

PREPARED FOR:

BUILDER/LOT OWNER:
MILLER and SMITH of MAPLE LAWN, LLC.
8401 GREENSBORO DRIVE, SUITE 300
MCLEAN, VIRGINIA 22102
PH: (703) 821-2500
att: COLLEEN DWELLEY

BUILDER/LOT OWNER:
16 MAPLE LAWN LLC.
1686 E. OLIVE DRIVE
ROCKVILLE, MARYLAND 20850
PH: (301) 762-3911
att: JOHN COGAN

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA E LOT Nos. 1-17, 22-35, and 40-55
(NEW SPD RESIDENTIAL DWELLINGS)
PLAT No. 16085 - 16092

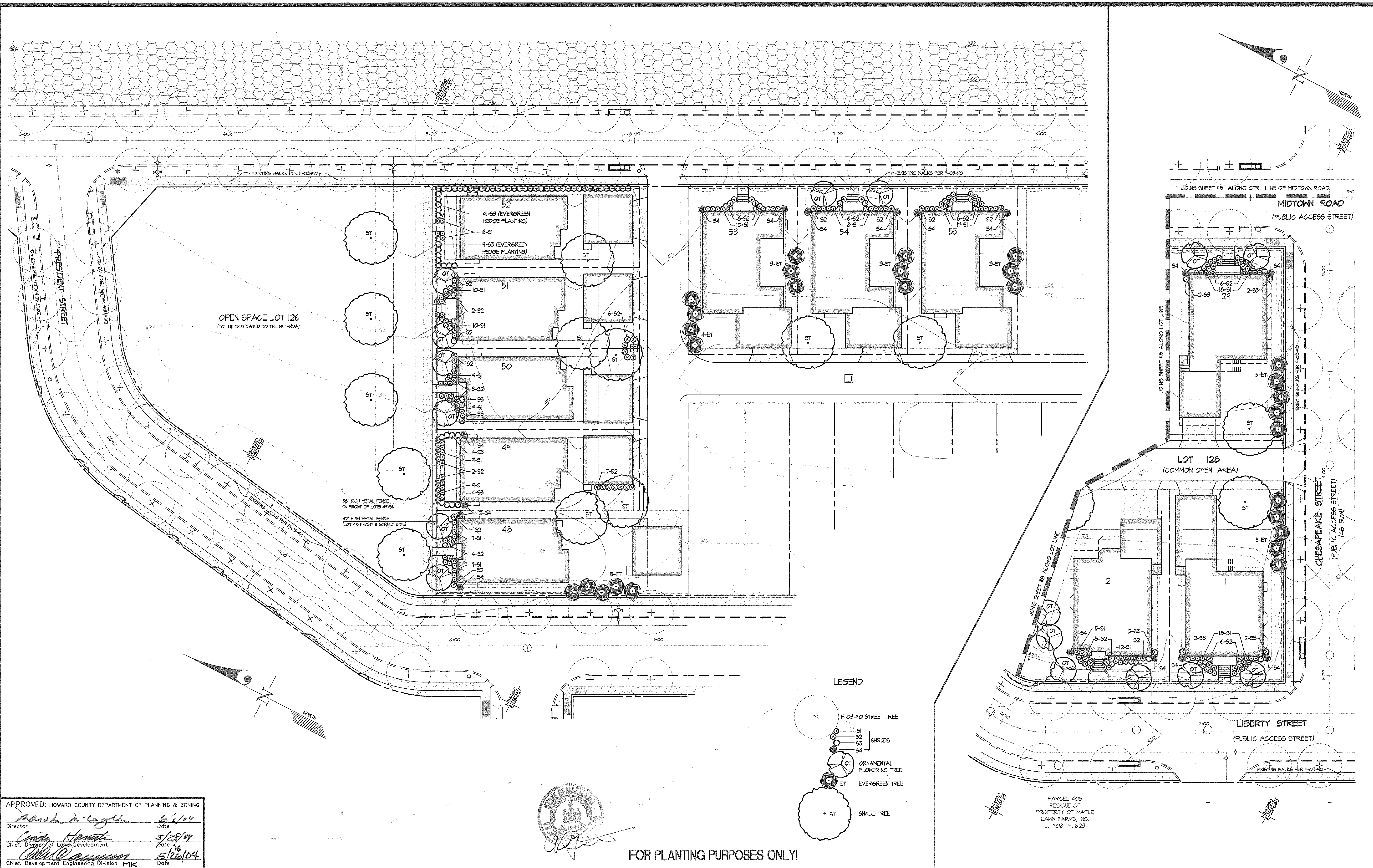
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DES.	DRN. HP	CHK.	DATE	REVISION	BY	APP'R.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark D. Coughlin 6/1/04
 Director Date

Justin Korman 5/28/04
 Chief, Division of Land Development Date

Mike Ramm 5/26/04
 Chief, Development Engineering Division Date



FOR PLANTING PURPOSES ONLY!

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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DES.	DRN. MP	CHK.	DATE	REVISION	BY	APP'R.

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 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: (703) 821-2500
 c/o: COLLEEN DWELLEY

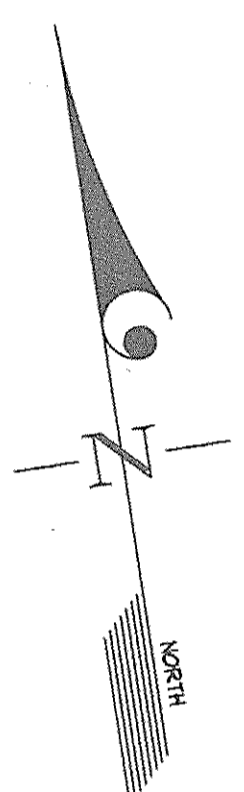
BUILDER/LOT OWNER:
 MB MAPLE LAWN L.L.C.
 1686 E. GUIDE DRIVE
 ROCKVILLE, MARYLAND 20850
 PH: (301) 762-5511
 c/o: JOHN COGAN

LANDSCAPE PLAN
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA I: LOT Nos. 1-17, 22-35, and 40-55
 (NEW SFD RESIDENTIAL DWELLINGS)
 PLAT No. 16085 - 16092

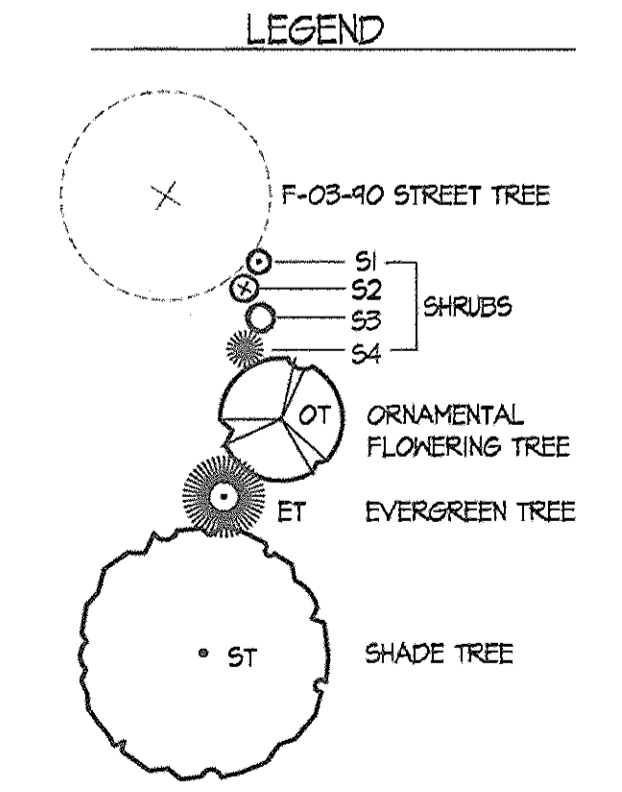
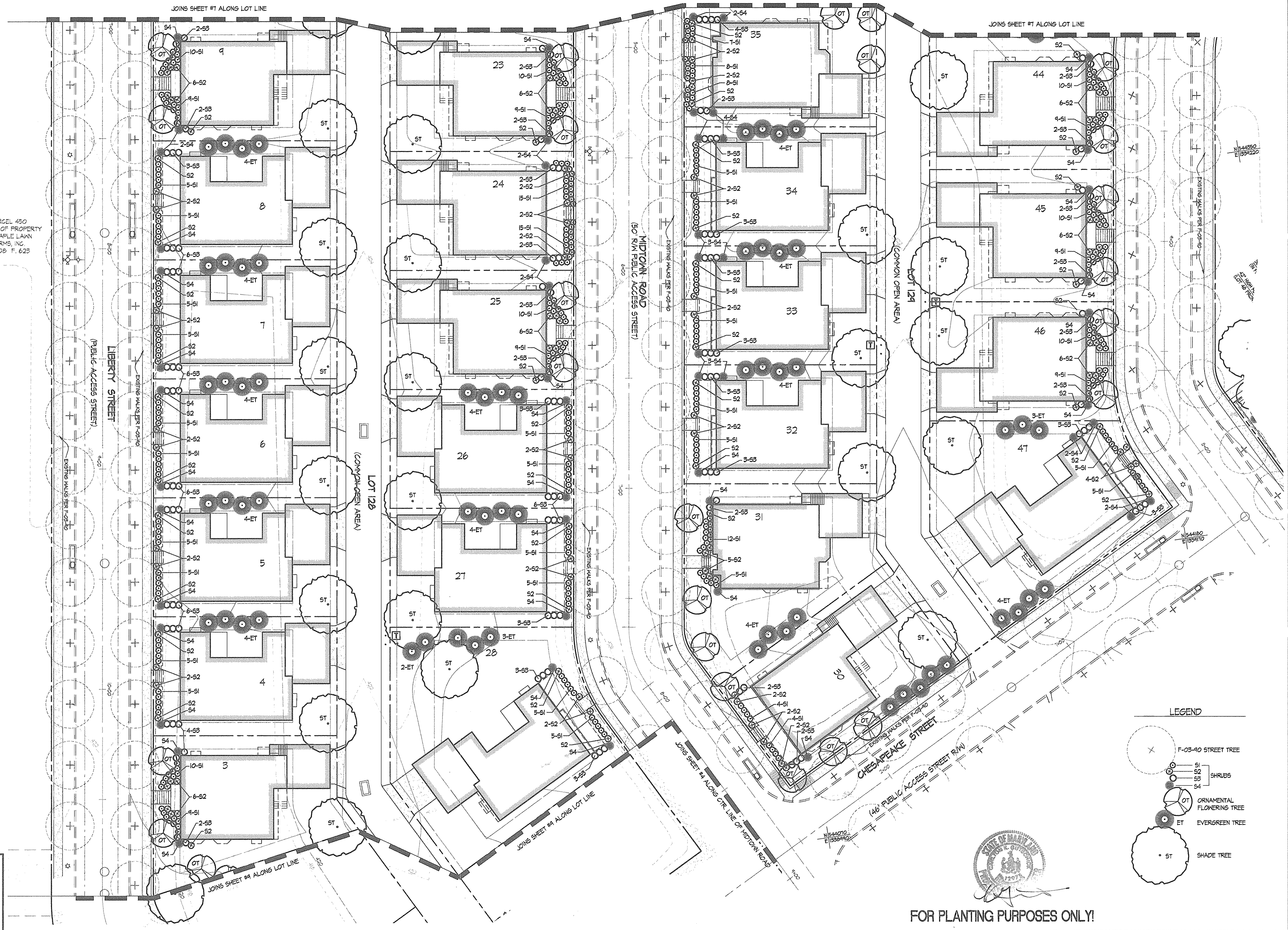
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	9 OF 11

HOWARD COUNTY, MARYLAND



PARCEL 450
RESIDUE OF PROPERTY
OF MAPLE LAWN
FARMS, INC.
L 1908 F. 623



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Howard DeLoach Director Date 4/10/04
Wanda Hamrick Chief, Division of Land Development Date 5/28/04
Chris Williams Chief, Development Engineering Division Date 5/28/04



FOR PLANTING PURPOSES ONLY!

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-999-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

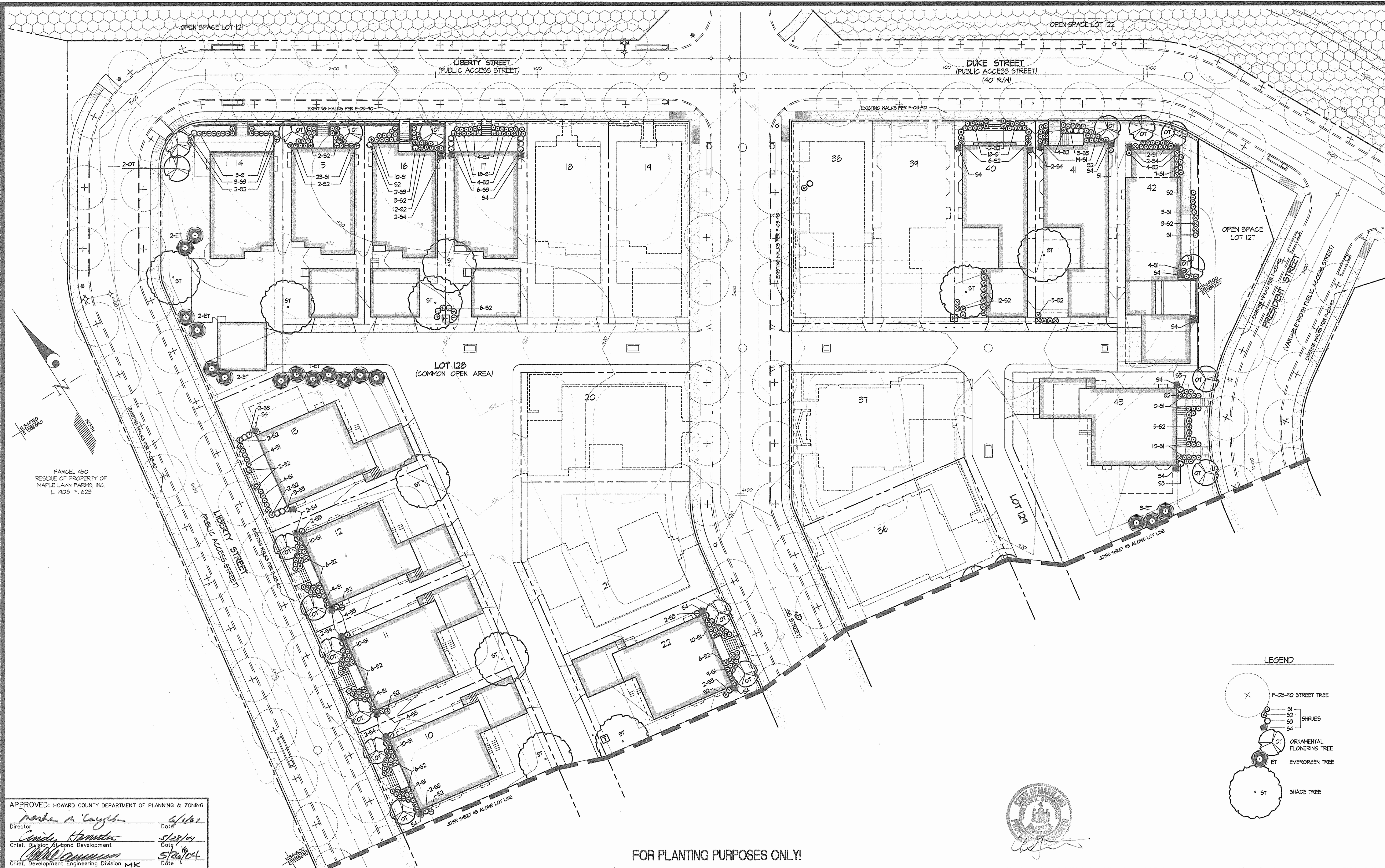
PREPARED FOR:
 BUILDER/LOT OWNER:
 MILLER and SMITH of MAPLE LAWN, L.L.C.
 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: (703) 821-2600
 attn: COLLEEN DWELLEY

BUILDER/LOT OWNER:
 MD MAPLE LAWN L.L.C.
 1656 E. GUIDE DRIVE
 ROCKVILLE, MARYLAND 20850
 PH: (301) 782-8511
 attn: JOHN CORGAN

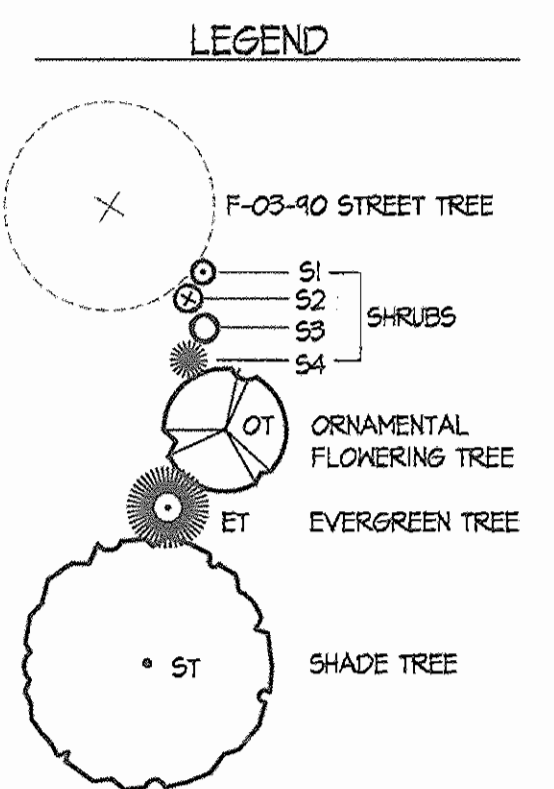
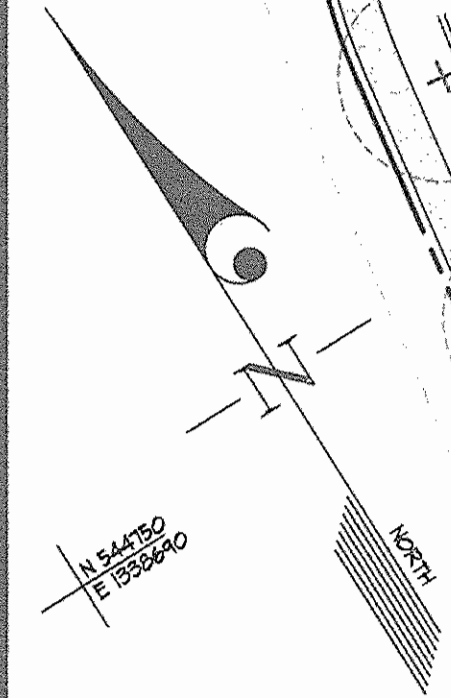
LANDSCAPE PLAN
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA 1, LOT Nos. 1-7, 22-35, and 40-55
 (NEW SFD RESIDENTIAL DWELLINGS)
 PLAT No. 16085 - 16092

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	8 OF 11



PARCEL 450
RESIDUE OF PROPERTY OF
MAPLE LAWN FARMS, INC.
L. 1909 F. 623



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark A. Coughlin 6/1/04
Director Date

Janice Hamilton 5/28/04
Chief, Division of Land Development Date

Michael J. ... 5/26/04
Chief, Development Engineering Division Date

FOR PLANTING PURPOSES ONLY!



GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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DATE	REVISION	BY	APP'R.

PREPARED FOR:

BUILDER/LOT OWNER:
MILLER and SMITH of MAPLE LAWN, L.L.C.
8401 GREENSBORO DRIVE, SUITE 300
ROCKVILLE, VIRGINIA 22102
PH: (703) 824-2500
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BUILDER/LOT OWNER:
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1686 E. GUDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: (301) 762-9511
c/o: JOHN COGAN

LANDSCAPE PLAN
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA I: LOT Nos. 1-7, 22-35, and 40-55
(NEW SFD RESIDENTIAL DWELLINGS)
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ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
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30/APRIL/04	41	7 OF 11

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DES. DRN. MP. CHK.

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 313-1855
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 2:1; B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOD, TEMPORARY SEEDINGS AND MULCHING (SEC. G). TEMPORARY STABILIZATION, WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7. SITE ANALYSIS:

MITCHELL & BEST LOTS: 1-3, 4-19, 22-25, 28-31, 35, 40-46	MILLER & SMITH LOTS: 4-8, 14-17, 26-28, 32-34, 41-55
----------------------------------------------------------------	------------------------------------------------------------

TOTAL AREA OF SITE: 234 AC. 264 AC.
 AREA DISTURBED: 33 AC. 53 AC.
 AREA TO BE ROOFED OR PAVED: 1,814 ACRES. 1,124 ACRES
 AREA TO BE VEGETATIVELY STABILIZED: 1,448 ACRES. 1,584 ACRES
 TOTAL CUT: 6802 CU. YDS. 6302 CU. YDS.
 TOTAL FILL: 6802 CU. YDS. 6802 CU. YDS.
 OFF-SITE WASTE/BORROW AREA LOCATION: NONE NONE

- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER ROOFING AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN 1 WORKING DAY, WHICHEVER IS SHORTER.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (4 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF KEEPING LOVEGRASS (7.1 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 29, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED, KEEF-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 2 1/2 GALLONS PER ACRE (5 GALLONS/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT OR HIGHER, USE 3/4 GAL PER ACRE (3 GALLONS/1000 SQ FT) FOR ANCHORING.

REFER TO THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (#2 LBS/1000 SQUARE FEET) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (4 LBS/1000 SQ FT) BEFORE SEEDING. HARRON OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (4 LBS/1000 SQ FT).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (#2 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARRON OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (55 LBS/1000 SQ FT) OF KEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 29, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE HELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 2 1/2 GALLONS PER ACRE (5 GALLONS/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 3/4 GALLONS PER ACRE (3 GALLONS/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* 5/6/04
 Chief, Division of Land Development: *[Signature]* 5/28/04
 Chief, Development Engineering Division: *[Signature]* 5/26/04

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

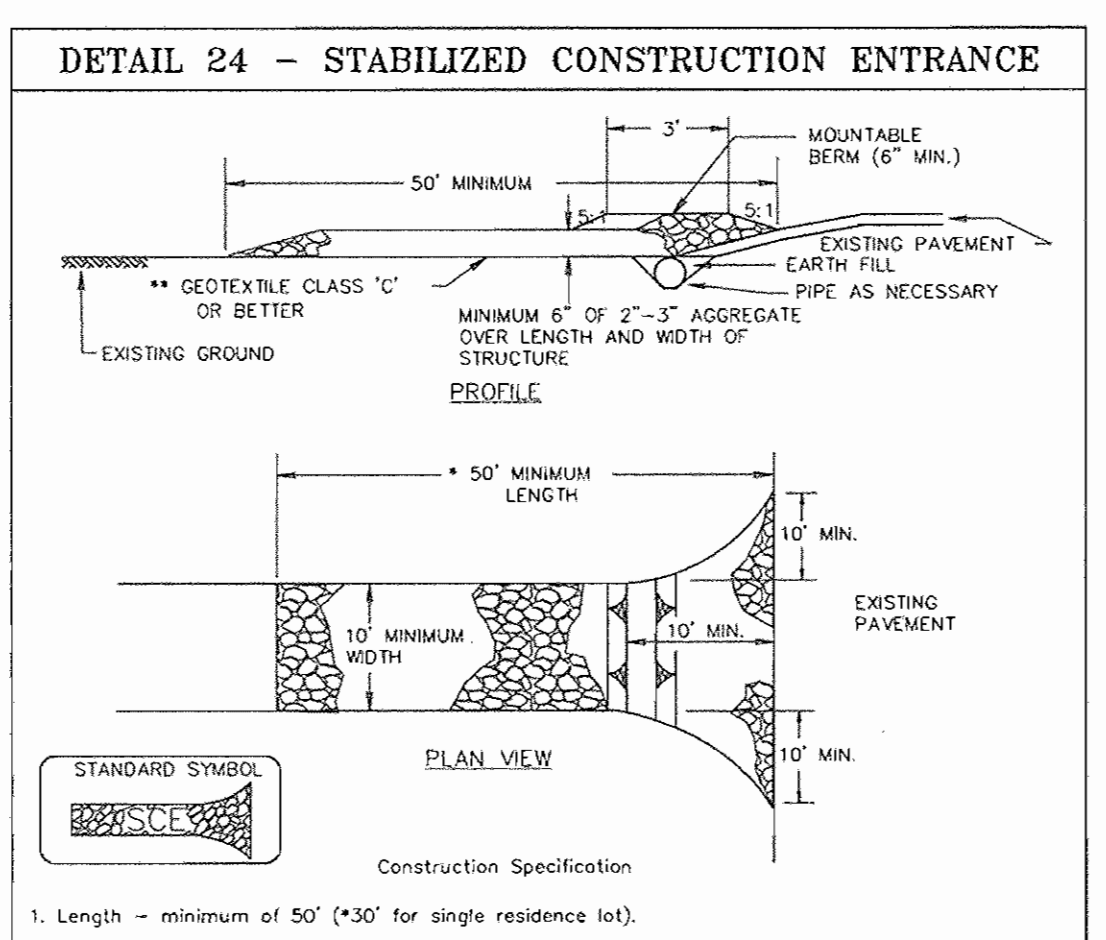
CONDITIONS WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PROVIDE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLY OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MATURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERNARD GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE IF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONNECTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).
- FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FOLLLOWING AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 15 PERCENT BY WEIGHT.
 - TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED.
 - NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNLESS THE TOXICITY TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DISSIPATION OF PHOTO-TOXIC MATERIALS.
 - NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).
- TOPSOIL APPLICATION
 - WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 - GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4"-8" HIGHER IN ELEVATION.
 - TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER.
 - TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS FROZEN OR MUDDY. CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.
- ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND ORGANICAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
 - COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 15 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE COMMITMENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1000 SQUARE FEET.
 - COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT A RATE OF 4 LB/1000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

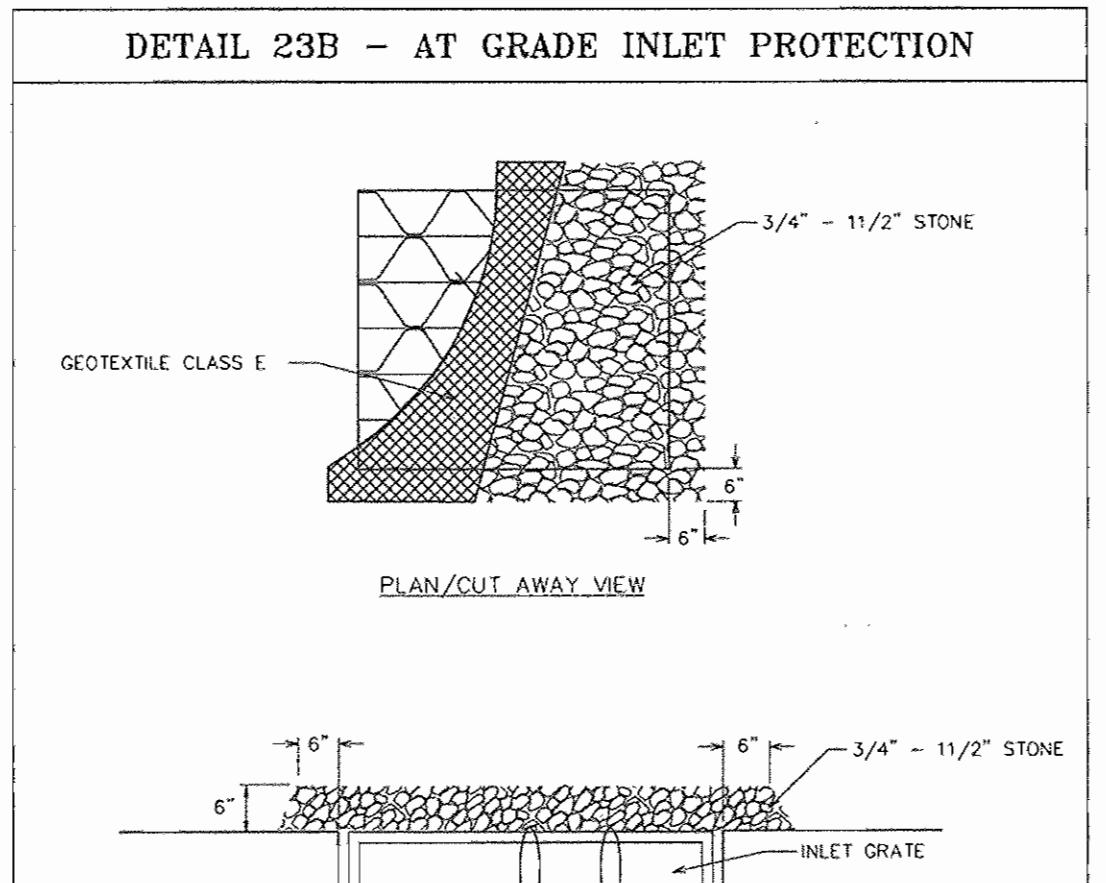
U.S. DEPARTMENT OF AGRICULTURE PAGE 17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATION

- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be forced at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. *The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 8" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounded berm with 5:1 slopes and a minimum of 8" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE PAGE 17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
- Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE PAGE 18-5A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

BUILDER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSON/PERSONS INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Colleen Dweley 5/6/04
 MILLER & SMITH AT MAPLE LAWN, LLC. DATE

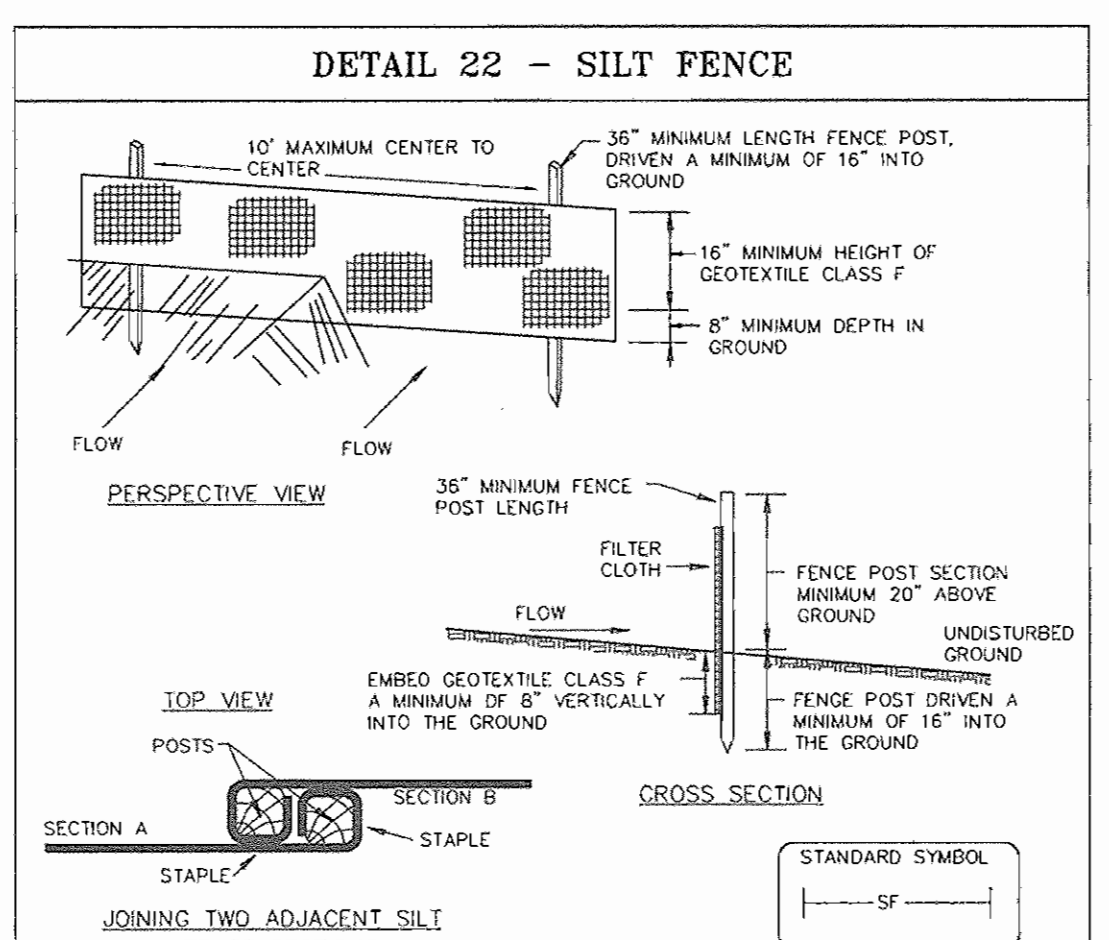
John Blanton 5/14/04
 MB MAPLE LAWN, LLC. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Jim Mayhew 5/20/04
 NATURAL RESOURCES CONSERVATION SERVICE DATE

John Blanton 5/20/04
 HOWARD SOIL CONSERVATION DISTRICT DATE

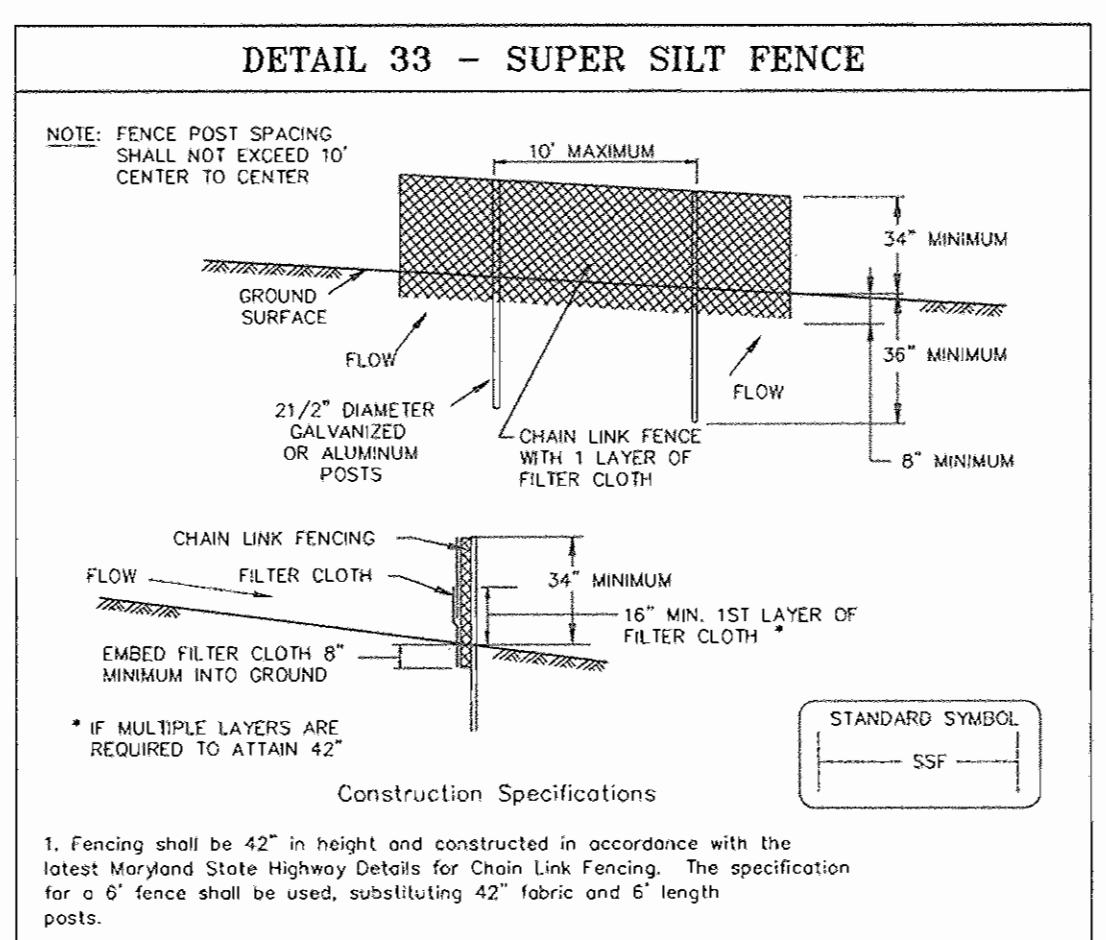


CONSTRUCTION SPECIFICATIONS

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard 1" or 1 1/2" section weighting not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft / minute (max.)	Test: MSMT 322
Filtration Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE PAGE 18-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 6" length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft / minute (max.)	Test: MSMT 322
Filtration Efficiency	75% (min.)	Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE PAGE 18-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DUST CONTROL

DEFINITION
 Controlling dust blowing and movement on construction sites and roads.

PURPOSE
 To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

CONDITIONS WHERE PRACTICE APPLIES
 This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

SPECIFICATIONS

Temporary Methods

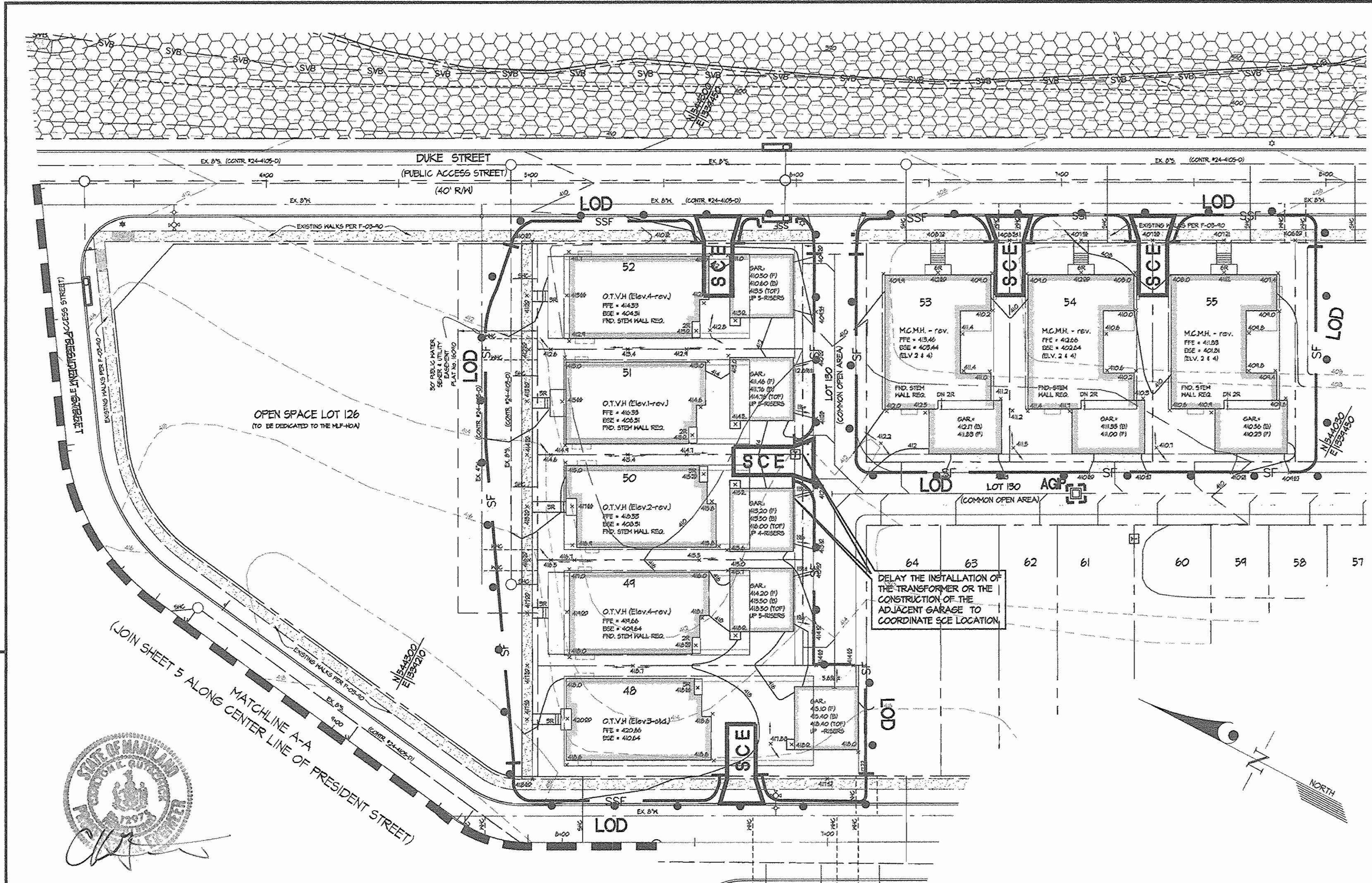
- Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, silt fences, snow fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angle to prevailing currents at intervals at about ten times their height are effective in controlling soil blowing. Calcium Chloride - Apply at rates that will keep surface moist. May need treatment.

Permanent Methods

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
- Topping - Covering with less erosive soil material. See standards for top soil.
- Stone - Cover surface with crushed stone or gravel.

References

- Agriculture Handbook 346, Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
- Agriculture Information Bulletin 354, How to Control Wind Erosion, USDA, ARS.



ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 5/3/04
 DATE

THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL PURPOSES ONLY!

BUILDER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Colleen Dwyer
MILLER & SMITH AT MAPLE LAWN, L.L.C.

5/6/04
DATE

John D. G...
MB MAPLE LAWN, L.L.C.

5/11/04
DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

John R. Rowland

5/3/04
DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Meyer
NATURAL RESOURCES CONSERVATION SERVICE
5/20/04
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Rowland
R.D. 56.D.
5/20/04
DATE

SEDIMENT CONTROL LEGEND

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- +586.00' EXISTING SPOT ELEV.
- +586.00' PROPOSED SPOT ELEV. (11/4" HIGH PT.)
- LOD LIMIT OF GRADING DISTURBANCE
- SF SILT FENCE
- SSF SUPER SILT FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE

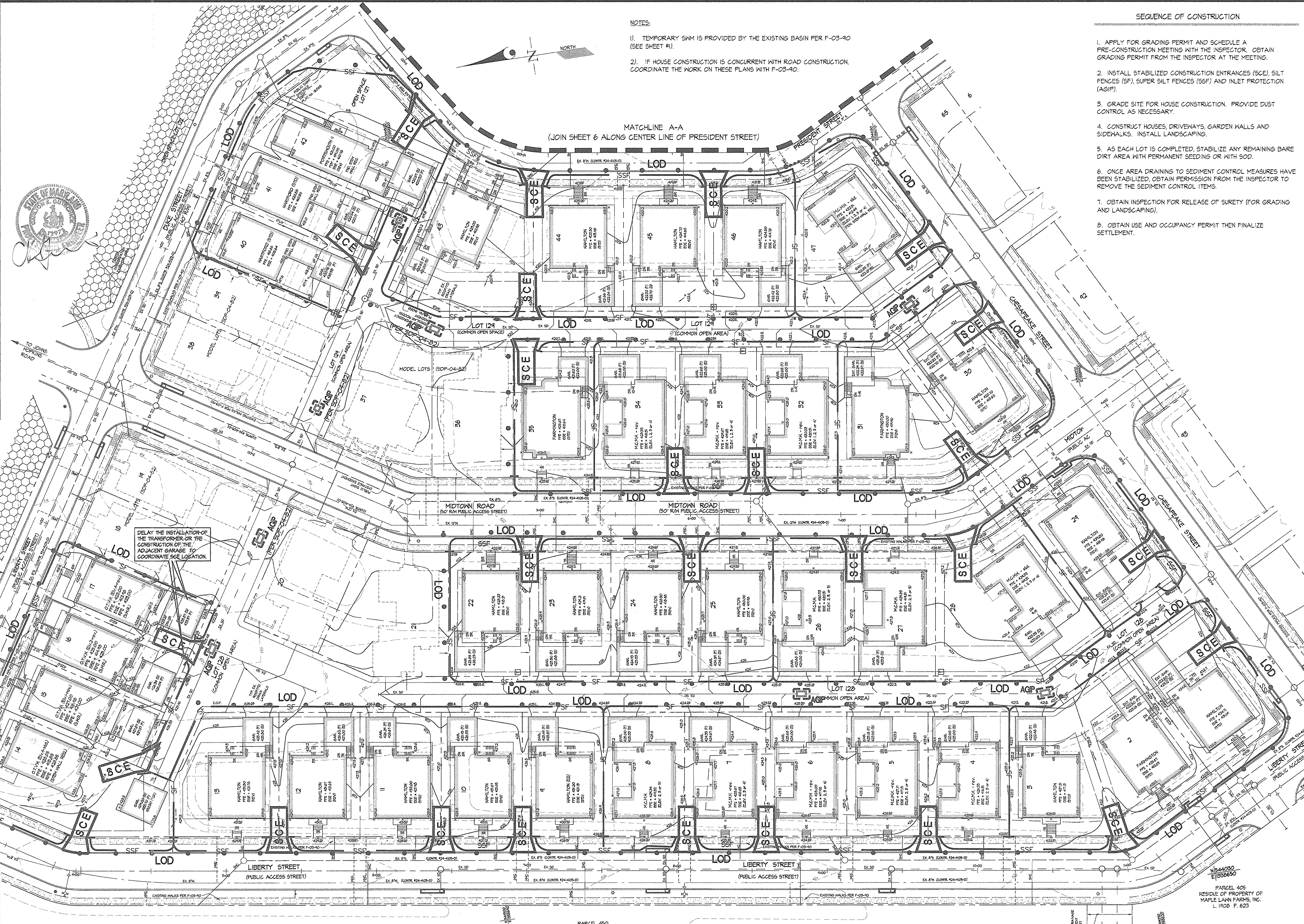
DELAY THE INSTALLATION OF THE TRANSFORMER OR THE CONSTRUCTION OF THE ADJACENT GARAGE TO COORDINATE SCE LOCATION.

NOTES:

1. TEMPORARY SWM IS PROVIDED BY THE EXISTING BASIN PER F-03-40 (SEE SHEET #1).
2. IF HOUSE CONSTRUCTION IS CONCURRENT WITH ROAD CONSTRUCTION, COORDINATE THE WORK ON THESE PLANS WITH F-03-40.

SEQUENCE OF CONSTRUCTION

1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCES (SF), SUPER SILT FENCES (SSF) AND INLET PROTECTION (AGIP).
3. GRADE SITE FOR HOUSE CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY.
4. CONSTRUCT HOUSES, DRIVEWAYS, GARDEN WALLS AND SIDEWALKS. INSTALL LANDSCAPING.
5. AS EACH LOT IS COMPLETED, STABILIZE ANY REMAINING BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD.
6. ONCE AREA DRAINING TO SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN PERMISSION FROM THE INSPECTOR TO REMOVE THE SEDIMENT CONTROL ITEMS.
7. OBTAIN INSPECTION FOR RELEASE OF SURETY (FOR GRADING AND LANDSCAPING).
8. OBTAIN USE AND OCCUPANCY PERMIT THEN FINALIZE SETTLEMENT.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *David H. Engl...* 6/1/04
 Chief, Division of Land Development: *Condy...* 5/25/04
 Chief, Development Engineering Division: *...* 5/26/04

THIS PLAN IS FOR SEDIMENT AND EROSION CONTROL PURPOSES ONLY!

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 BUILDER/LOT OWNER: MILLER & SMITH AT MAPLE LAWN, L.L.C.
 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: (703) 821-2500
 GINA COLLEEN DWYER

SEDIMENT & EROSION CONTROL PLAN
MAPLE LAWN FARMS
 MIDDLETOWN DISTRICT - AREA 1: LOT Nos. 1-17, 22-35, and 40-55
 (NEW SFD RESIDENTIAL DWELLINGS)
 PLAT No. 16085 - 16092

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	5 OF 11

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF S-OH-11 AND PB CASE NO. 555.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLAN LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DEPT. OF PLANNING & ZONING OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 6).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SH SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- "SCHEDULE-A" AND "SCHEDULE-C" ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$170,000.00 FOR THE LOTS PER AS FOLLOWS:
 52 SHADE TREES AT \$300/TREE = \$15,600.00
 216 SHRUBS AT \$100/SHRUB = \$21,600.00
- FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-515-2950. SEE THE CHART BELOW FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.

LANDSCAPE SURETY PER LOT

BUILDER	LOT NO.	PLANT QUANTITY	SURETY AMOUNT	
		SHADE TREE	SHRUBS	
MILLER & SMITH AT MAPLE LAWN, L.L.C.	4	1	42	\$1,560.00
	5	1	42	\$1,560.00
	6	1	42	\$1,560.00
	7	1	42	\$1,560.00
	8	1	42	\$1,560.00
	14	1	60	\$2,100.00
	15	1	31	\$1,140.00
	16	1	31	\$1,140.00
	17	1	31	\$1,140.00
	26	1	42	\$1,560.00
	27	1	42	\$1,560.00
	28	1	46	\$1,680.00
	32	1	43	\$1,540.00
	33	1	43	\$1,540.00
34	1	43	\$1,540.00	
47	1	61	\$2,130.00	
48	2	51	\$2,210.00	
44	2	31	\$1,110.00	
50	2	31	\$1,110.00	
51	2	31	\$1,110.00	
52	2	56	\$2,280.00	
53	1	42	\$1,560.00	
54	1	42	\$1,560.00	
58	1	42	\$1,560.00	
TOTAL FOR MILLER & SMITH AT MAPLE LAWN, L.L.C.	24	1051	\$40,290.00	
MB MAPLE LAWN, L.L.C.	1	65	\$2,280.00	
	2	41	\$1,110.00	
	3	46	\$1,680.00	
	4	42	\$1,560.00	
	10	42	\$1,560.00	
	11	42	\$1,560.00	
	13	46	\$1,680.00	
	22	42	\$1,560.00	
	23	42	\$1,560.00	
	24	42	\$1,560.00	
	25	42	\$1,560.00	
	21	65	\$2,280.00	
	30	65	\$2,280.00	
	31	52	\$1,860.00	
35	48	\$1,680.00		
40	40	\$1,500.00		
41	40	\$1,500.00		
42	46	\$1,680.00		
43	46	\$1,680.00		
44	43	\$1,540.00		
45	43	\$1,540.00		
46	42	\$1,560.00		
TOTAL FOR MB MAPLE LAWN, L.L.C.	23	1065	\$38,850.00	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Wanda M. Wright 6/1/04
 Director Date

Vivian Starnitz 5/25/04
 Chief, Division of Land Development Date

John Williams 5/20/04
 Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Colleen Dwellley 5/6/04
 MILLER & SMITH AT MAPLE LAWN, L.L.C. DATE

John Williams 5/14/04
 MB MAPLE LAWN, L.L.C. DATE

RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS (SCHEDULE-A)

USE SITUATION	SIDE OF SPD ORIENTED TO ROADWAY						
LANDSCAPE TYPE	SIDE YARD TREATMENT PER M.U.F. DEVELOPMENT CRITERIA (ONE SHADE TREE PER LOT + SHRUBS AT 1/4 OF BLDG. SIDE LENGTH)						
	LOT 1	LOT 14	LOT 21	LOT 30	LOT 41	LOT 48	LOT 52
PERIMETER LOCATION	LOT 1	LOT 14	LOT 21	LOT 30	LOT 41	LOT 48	LOT 52
SIDE LENGTH OF BUILDING EXPOSED TO ROADWAY	80'	76'	80'	80'	64'	76'	76'
CREDIT FOR EXISTING VEGETATION	N/A	N/A	N/A	N/A	N/A	N/A	N/A
CREDIT FOR HALL, FENCE OR BERM	N/A	N/A	N/A	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED							
SHADE TREES			PER	SCHEDULE-C			
EVERGREEN TREES	N/A	N/A	N/A	N/A	N/A	N/A	N/A
SHRUBS	20	14	20	20	18	14	14
NUMBER OF PLANTS PROVIDED							
SHADE TREES			PER	SCHEDULE-C			
EVERGREEN TREES	0	0	0	0	0	0	0
OTHER TREES (# 2:1 SUBSTITUTION)	0	0	0	0	0	0	0
SHRUBS (0:1 SUBSTITUTION)	0	0	SEE	SCHEDULE-C			

* THE OPTIONAL EXTENDED GARAGE IS INCLUDED IN THE BUILDING LENGTH VALUE SHOWN.

RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)

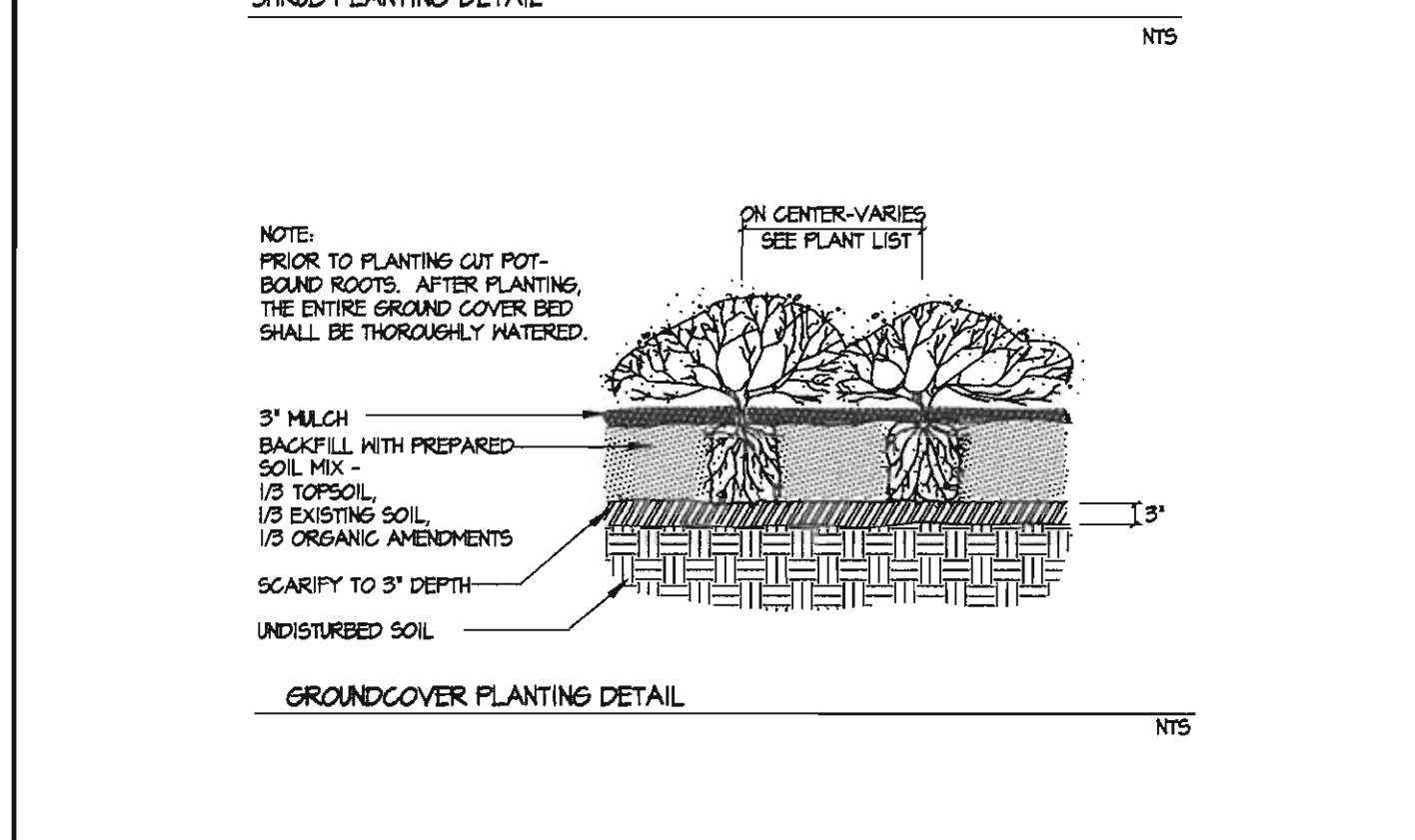
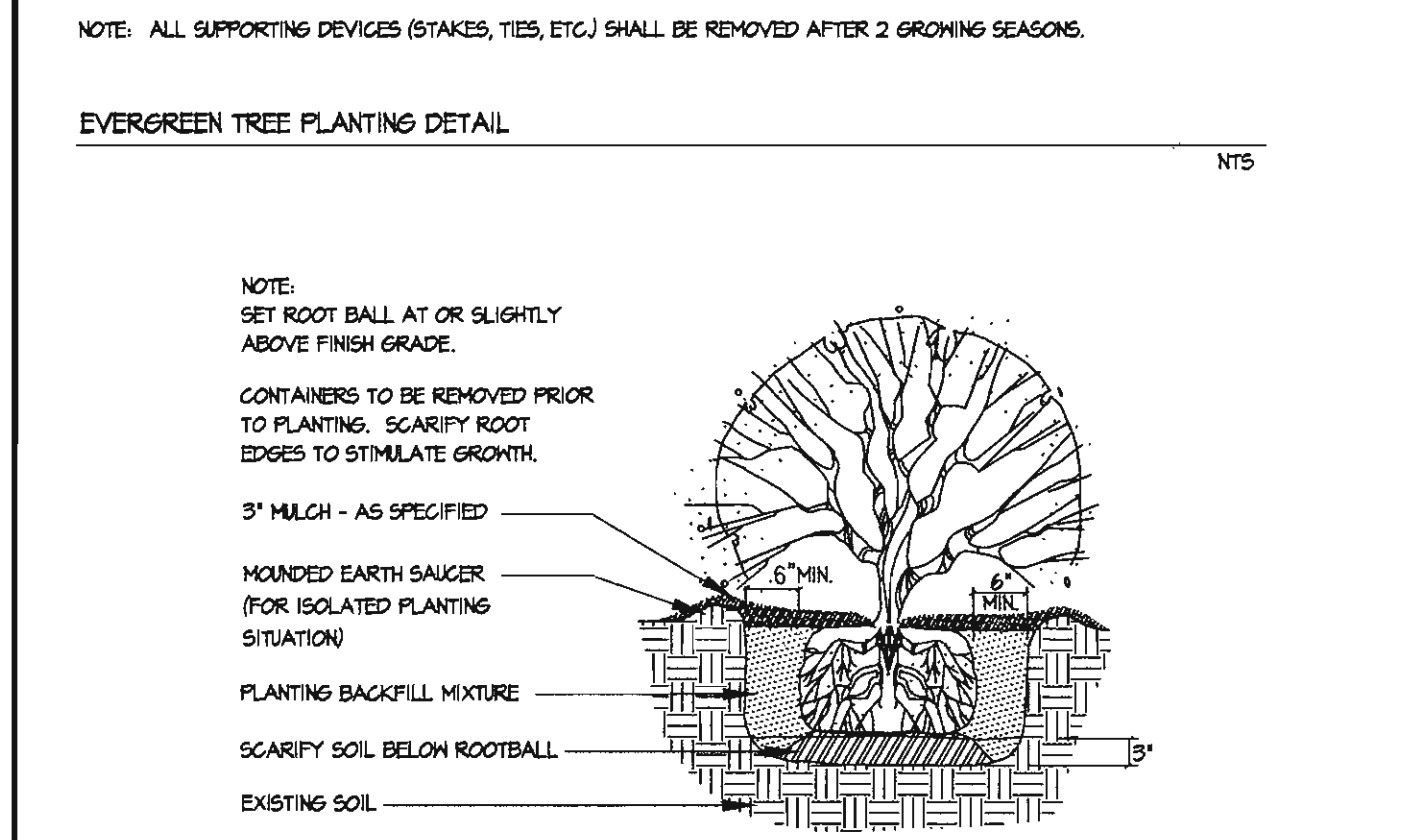
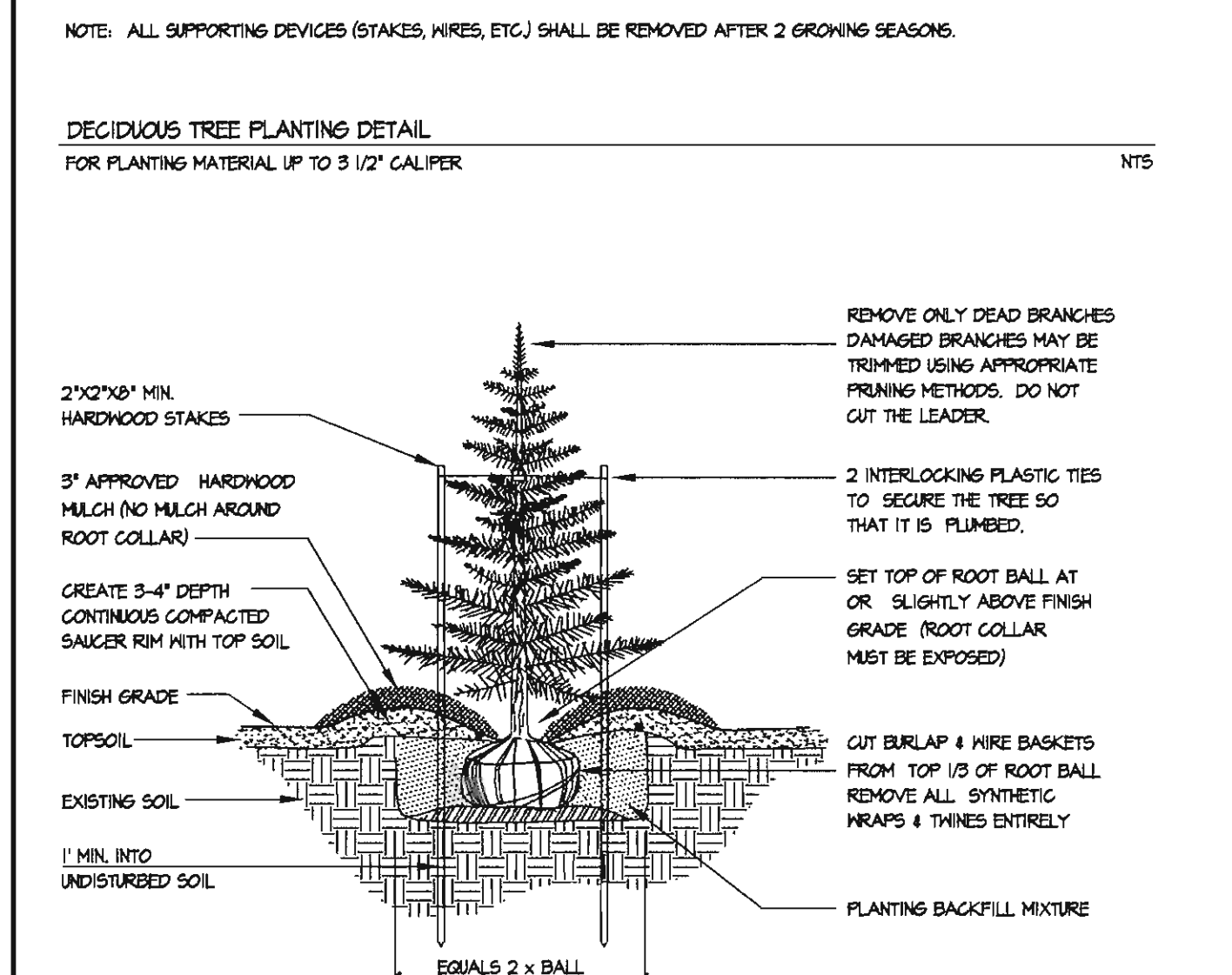
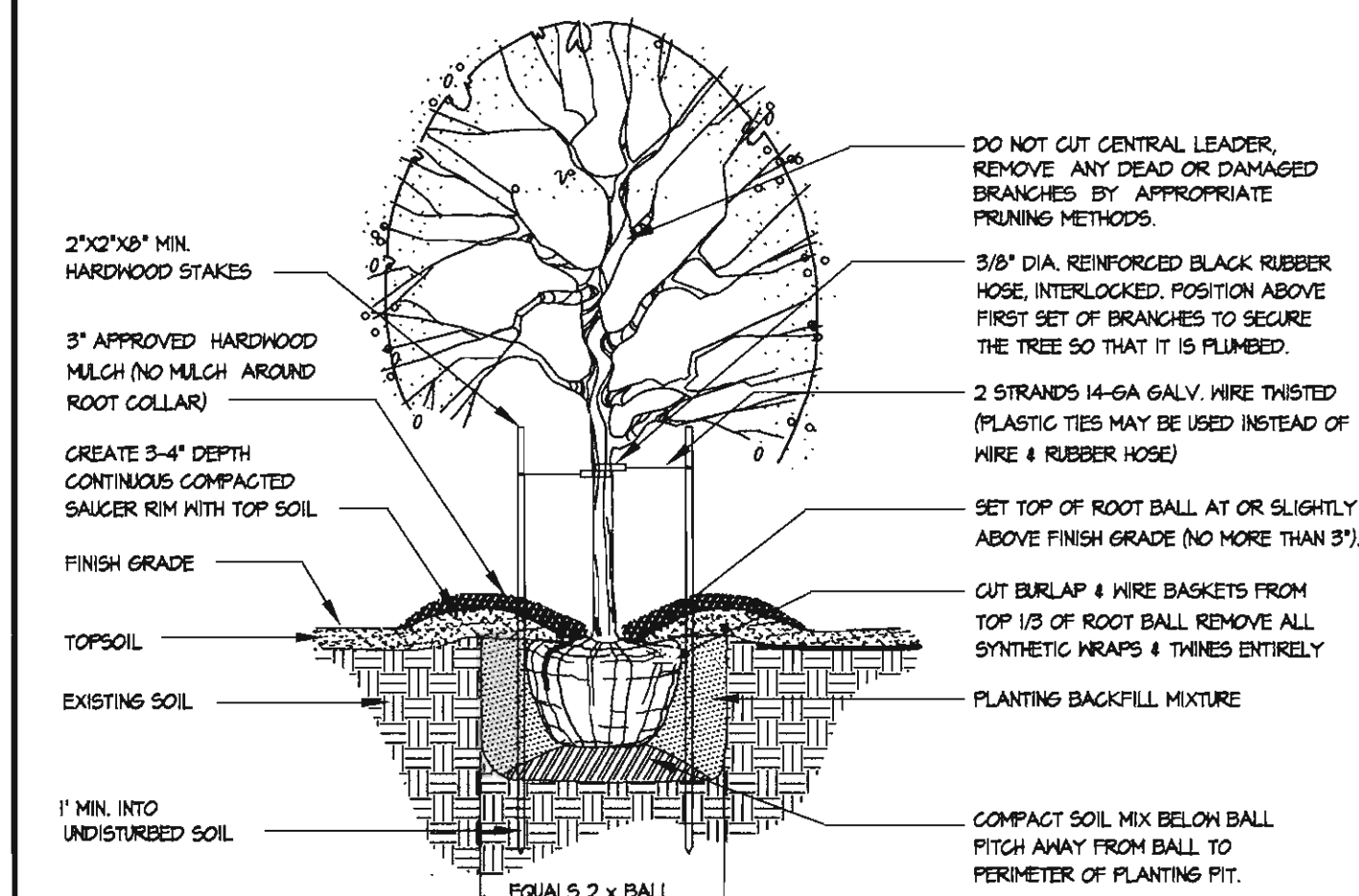
LOT TYPE	LOT NO.	REQUIRED FRONT YARD PLANTINGS		REQUIRED SIDE & REAR YARD PLANTINGS		PLANTINGS PROVIDED			COMMENTS	
		SHRUBS AT 1/4 OF LOT WIDTH AT BRL (NO SHADE TREES REQUIRED, SEE COMMENT 'D')	SHRUBS REQUIRED	1 SHADE TREE PER LOT PLUS SHRUBS AT 1/4 OF SIDE & REAR BLDG. LENGTHS	SHRUBS REQUIRED	SHD. TREE	SHRUBS	OTHERS (AS SUBSTITUTIONS)		
COTTAGE	14	36'	14	108'	21	1	20	2-ORNAMENTAL & 6-EVERGREEN TREES FOR 40 SHRUBS	A,B,C	
	15	40'	10	108'	21	1	21	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B	
	16	40'	10	108'	21	1	22	1-ORNAMENTAL TREES FOR 5 SHRUBS	A,B	
	17	40'	10	108'	21	1	21		A,B	
	40	40'	10	111'	50	1	40		A,B	
	41	40'	10	111'	50	1	50	1-ORNAMENTAL TREES FOR 5 SHRUBS	A,B	
	42	44'	11	136'	39	0	41	3-ORNAMENTAL TREES FOR 1 SHADE TREE & 5 SHRUBS	A,B	
	48	42'	11	108'	21	2	22	2-ORNAMENTAL & 5-EVERGREEN TREES FOR 35 SHRUBS	A,B,G,D	
	44	40'	10	108'	21	2	31		A,B,D	
	50	40'	10	108'	21	2	21	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B,D	
	51	40'	10	108'	21	2	21	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B,D	
	52	40'	10	108'	21	2	56		A,B,G,D	
	MANOR	1	36'	14	123'	31	1	30	2-ORNAMENTAL & 5-EVERGREEN TREES FOR 35 SHRUBS	A,B,C
		2	71'	18'	161'	24	1	21	4-ORNAMENTAL TREES FOR 20 SHRUBS	A,B
3		64'	18'	111'	28	1	31	3-ORNAMENTAL TREES FOR 15 SHRUBS	A,B	
4		54'	14	112'	28	1	22	4-EVERGREEN TREES FOR 20 SHRUBS	A,B	
5		54'	14	112'	28	1	22	4-EVERGREEN TREES FOR 20 SHRUBS	A,B	
6		54'	14	112'	28	1	22	4-EVERGREEN TREES FOR 20 SHRUBS	A,B	
7		54'	14	112'	28	1	22	4-EVERGREEN TREES FOR 20 SHRUBS	A,B	
8		54'	14	112'	28	1	22	4-EVERGREEN TREES FOR 20 SHRUBS	A,B	
9		54'	14	111'	28	1	32	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B	
10		54'	14	111'	28	1	32	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B	
11		54'	14	111'	28	1	32	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B	
12		54'	14	111'	28	1	32	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B	
13		10'	18'	111'	28	0	21	1-EVERGREEN TREES FOR 1 SHADE TREE & 25 SHRUBS	A,B	
22		54'	14	111'	28	1	32	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B	
23	54'	14	111'	28	1	32	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B		
24	54'	14	111'	28	1	42		A,B		
25	54'	14	111'	28	1	32	2-ORNAMENTAL TREES FOR 10 SHRUBS	A,B		
26	54'	14	112'	28	1	22	4-EVERGREEN TREES FOR 20 SHRUBS	A,B		
27	54'	14	112'	28	1	22	4-EVERGREEN TREES FOR 20 SHRUBS	A,B		
28	71'	18'	112'	28	1	22	4-EVERGREEN TREES FOR 20 SHRUBS	A,B		
29	56'	14	123'	31	1	30	2-ORNAMENTAL & 5-EVERGREEN TREES FOR 35 SHRUBS	A,B,C		
30	56'	14	123'	31	1	20	4-ORNAMENTAL & 5-EVERGREEN TREES FOR 45 SHRUBS	A,B,C		
31	64'	23	161'	24	0	21	4-EVERGREEN & 5-ORNAMENTAL TREES FOR 1 SHADE TREE & 25 SHRUBS	A,B		
32	54'	14	113'	24	1	28	4-EVERGREEN TREES FOR 20 SHRUBS	A,B		
33	54'	14	113'	24	1	28	4-EVERGREEN TREES FOR 20 SHRUBS	A,B		
34	54'	14	113'	24	1	28	4-EVERGREEN TREES FOR 20 SHRUBS	A,B		
35	54'	14	116'	24	0	38	3-ORNAMENTAL TREES FOR 1 SHADE TREE & 5 SHRUBS	A,B		
43	67'	17	114'	24	0	31	2-ORNAMENTAL & 3-EVERGREEN TREES FOR 1 SHADE TREE & 15 SHRUBS	A,B		
44	60'	15	111'	28	1	33	2-ORNAMENTAL FOR 10 SHRUBS	A,B		
45	60'	15	111'	28	1	33	2-ORNAMENTAL FOR 10 SHRUBS	A,B		
46	54'	14	111'	28	1	32	2-ORNAMENTAL FOR 10 SHRUBS	A,B		
47	54'	14	113'	24	1	26	1-EVERGREEN TREES FOR 35 SHRUBS	A,B,C		
53	54'	14	112'	28	0	18	1-EVERGREEN TREES FOR 1 SHADE TREE & 25 SHRUBS	A,B		
54	54'	14	112'	28	1	18	2-ORNAMENTAL & 3-EVERGREEN TREES FOR 25 SHRUBS	A,B		
55	54'	14	112'	28	1	21	3-EVERGREEN TREES FOR 15 SHRUBS	A,B		

COMMENTS:

- SUBSTITUTION FOR DIFFERENT TYPE OF PLANT MATERIALS ARE AS FOLLOWS: 1 SHADE TREE = 2 ORNAMENTALS OR EVERGREEN TREES = 10 SHRUBS; 5 SHRUBS = 1 ORNAMENTAL OR EVERGREEN TREES; AND 4 SQUARE FEET OF GROUND COVER OR PERENNIALS = 1 SHRUB.
- PLANT MATERIALS HAVE BEEN RELOCATED TO A DIFFERENT YARD WITHIN THE SAME LOT FOR SPATIAL DESIGN PURPOSES.
- PLANT QUANTITIES FROM SCHEDULE-A ARE INCLUDED AND AGGREGATED WITH SCHEDULE-C PROPOSED PLANT QUANTITIES TO SIMPLIFY SUBSTITUTIONS.
- FOR RESIDENTIAL BUILDING TYPES ENFRONTING AN ATTACHED GREEN STREET TREES SHALL BE PLANTED IN FRONT OF THE STRUCTURES AND WITHIN THE PUBLIC OPEN SPACE. TREES SHALL BE SPACED TO CONFORM WITH THE SPACING OF THE ADJOINING THOROUGHFARE AND NOT LESS THAN 40' ON CENTER. THE FIVE TREES SHOWN ON OPEN SPACE 126 AND IN FRONT OF LOTS 48-52 SHALL BE THE SAME SPECIES AS THE ADJOINING STREET TREES (GREEN MOUNTAIN SUGAR MAPLE).

PLANT LIST

SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
ST	46	ALL SHADE TREES SHALL BE 2 1/2" - 3" GAL. AND 12' MIN. HT.	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE ACER RUBRUM 'RED SUNSET' / RED SUNSET RED MAPLE ACER SACHARINUM 'GREEN MOUNTAIN' / GREEN MOUNTAIN SUGAR MAPLE QUERCUS PHELLOS / PHLLOW OAK QUERCUS RUBRA / NORTHERN RED OAK TILIA CORDATA 'GREENSPRING' / GREENSPRING LITTLELEAF LINDEN ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE ZELKOVA ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN ZELKOVA	ALL B&B
OT	60	ALL ORNAMENTAL FLOWERING TREES SHALL BE 15"-2" GAL. AND 8'-10' HT.	AMELANCHIER CANADENSIS / SHADDOLOH SERVICEBERRY CRATAEGUS VIRIDIS WINTER KING / WINTER KING HAWTHORNE CERCIS CANADENSIS / EASTERN REDBUD CORNUS FLORIDA / WHITE FLOWERING DOGWOOD CORNUS FLORIDA 'RUBRA' / RED FLOWERING DOGWOOD MAGNOLIA SOULANGIANA / SAUCEUR MAGNOLIA	ALL B&B. SERVICEBERRY SHALL BE TREE FORM
ET	105	ALL EVERGREEN TREES SHALL BE 6-8' HT.	CUPRESSOCYPRIS LEYLANDII / LEYLAND CYPRESS ILEX ATTEMATA 'FOSTERI' / FOSTER HOLLY ILEX OPACA / AMERICAN HOLLY PICEA OMORICA / SERBIAN SPRUCE PICEA PLANGENS / COLORADO SPRUCE PINUS STROBUS / EASTERN WHITE PINE	ALL B&B. ALL SHALL HAVE AN INTACT CENTRAL LEADER
SHRUBS	737	ALL 18" - 24" SPREAD	AZALEA VAR. 'SUMMO PINK' / SUMMO WHITE / 'KAEMPO' COTONEASTER DANMERII / CORAL BEAUTY / CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR. 'BAR HARBOR' / 'ANDORRA' / 'MILTONI BLUE RUG' JUNIPERUS PROCUMBENS NANA / DWARF JAPANESE GARDEN JUNIPER	ALL CONTAINERIZED
	357	ALL 24" - 30" SPREAD	AZALEA VAR. 'DELANEY VALLEY WHITE' / 'HERSHEY RED' / 'WIND DRAGON' BERBERIS THUNDERII / ATROPURPUREA 'KIMSON PINK' / 'JIMSON PINK' BARBERRY DEUTZIA GRACILIS / SLENDER DEUTZIA ILEX CRENATA 'HELLE' / DWARF JAPANESE HOLLY ILEX GLABRA 'CONIFACIA' / DWARF REDBERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA JAPONICA 'SNOWMOUND' / SNOWMOUND SPIREA	ALL CONTAINERIZED
	175	ALL 24" - 30" SPREAD & 2 1/2' - 3' HT.	ELONNIS ALATUS 'CONTACTA' / DWARF HINDED ELONNIS ELONNIS KIANZSCHOVICIS 'MANHATTAN' / MANHATTAN ELONNIS MAHONIA BEALEI / LEATHERLEAF MAHONIA OSMANTHUS HETEROPHYLLUS 'GULF TIDE' / SWEET HOLLY RHODODENDRON HYBRID VAR. (CAT. ALBUM CAT. GRANDIFLORA, 'ENGLISH ROSEUM', 'ROSEUM ELEGANS') RHODODENDRON FLUM / FLUM RHODODENDRON TAXUS CUSPIDATA 'NANA' / DWARF JAPANESE YEW VIBURNUM CALICEI / KOREAN SPICE VIBURNUM	ALL CONTAINERIZED
	41	ALL 3' - 4' HT.	ILEX VERTICILLATA VAR. / WINTERBERRY HOLLY VAR. ('CARDINAL', 'JIM DANDY', 'RED SPRITE', 'WINTER RED' or 'SPARKLEBERRY') JUNIPERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIPER TAXUS MEDIA 'WICKSII' / WICKS YEW TILIA OCCIDENTALIS 'EMERAL GREEN' / EMERAL GREEN ARBORTIVAE	ALL CONTAINERIZED

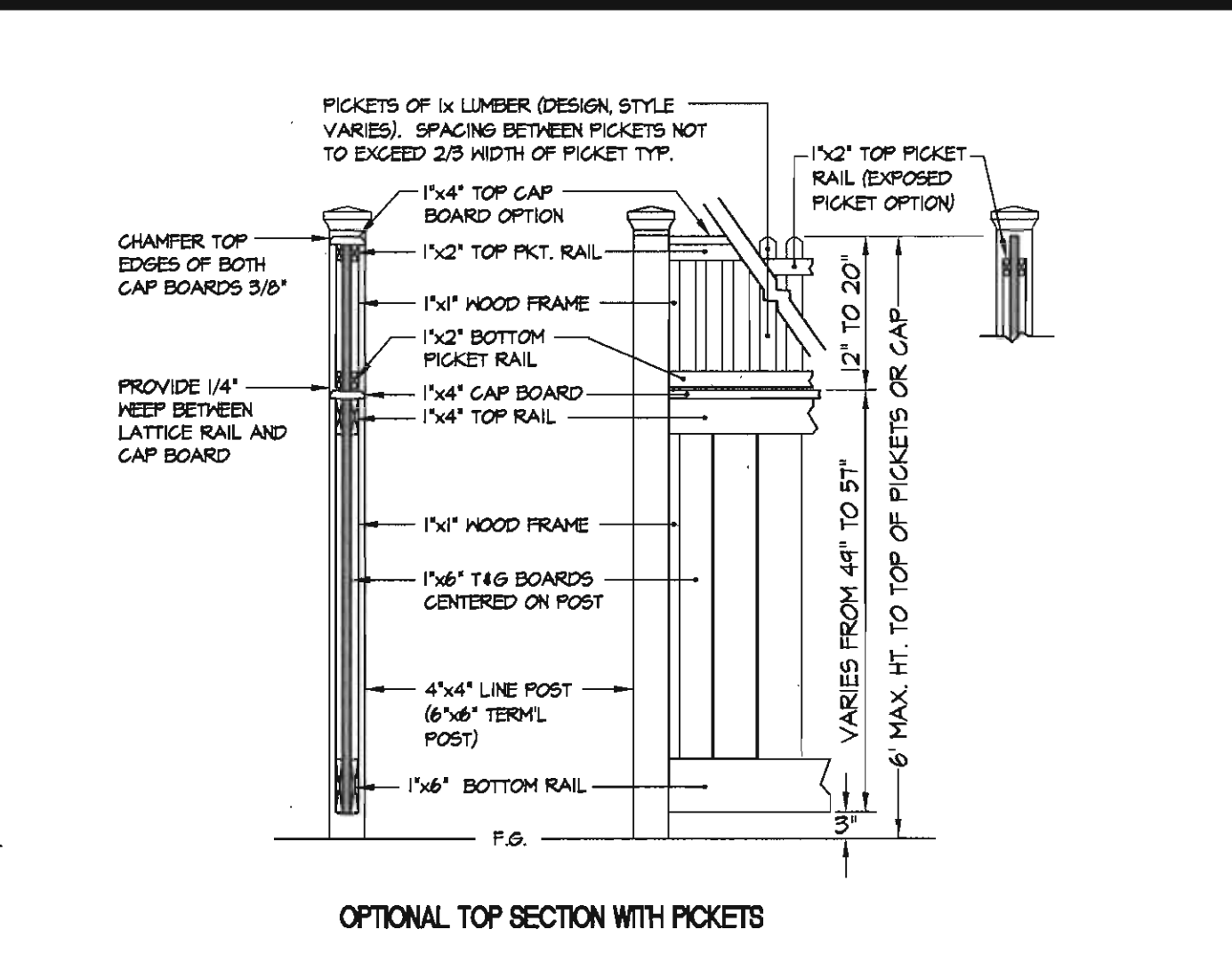
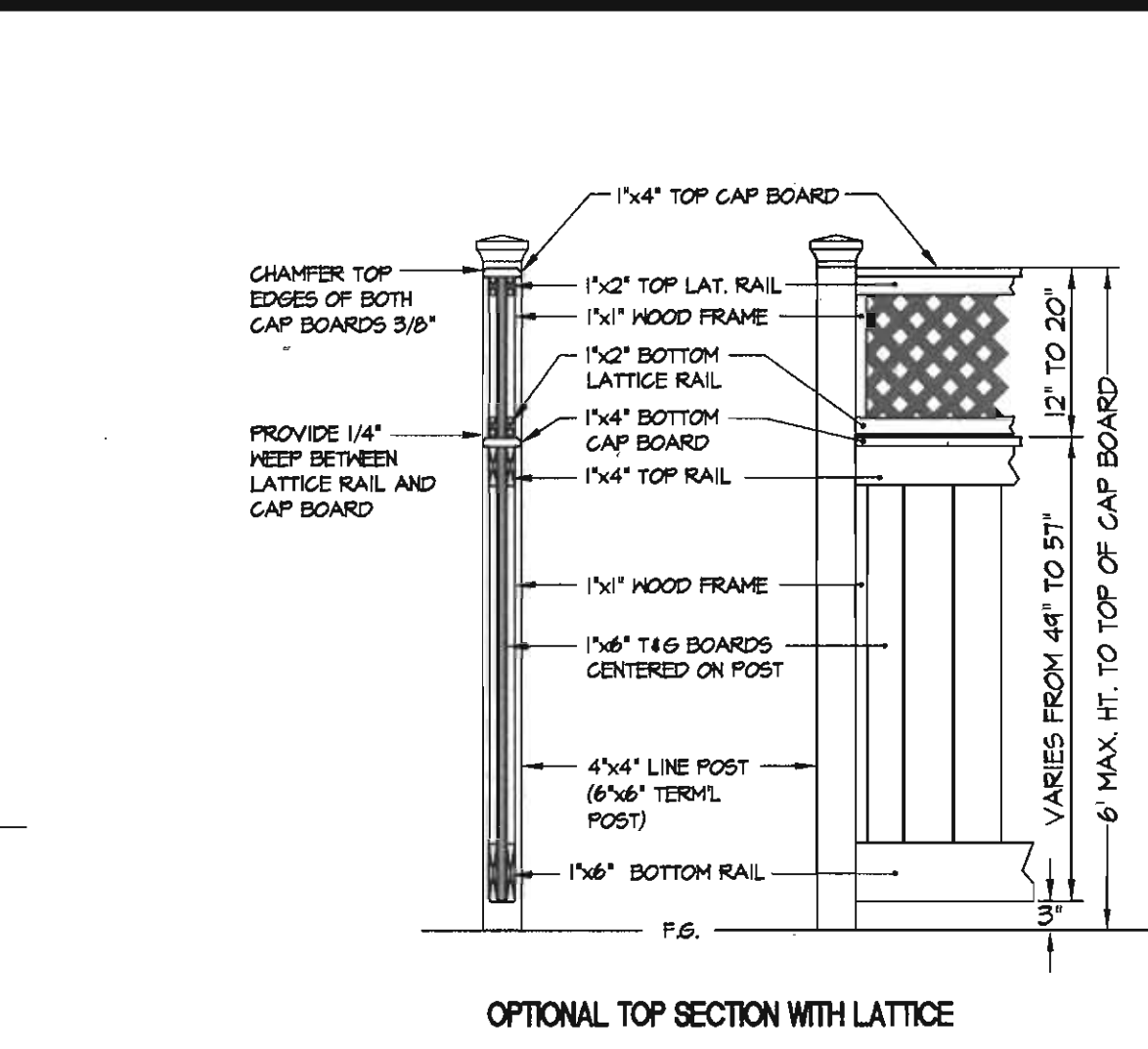
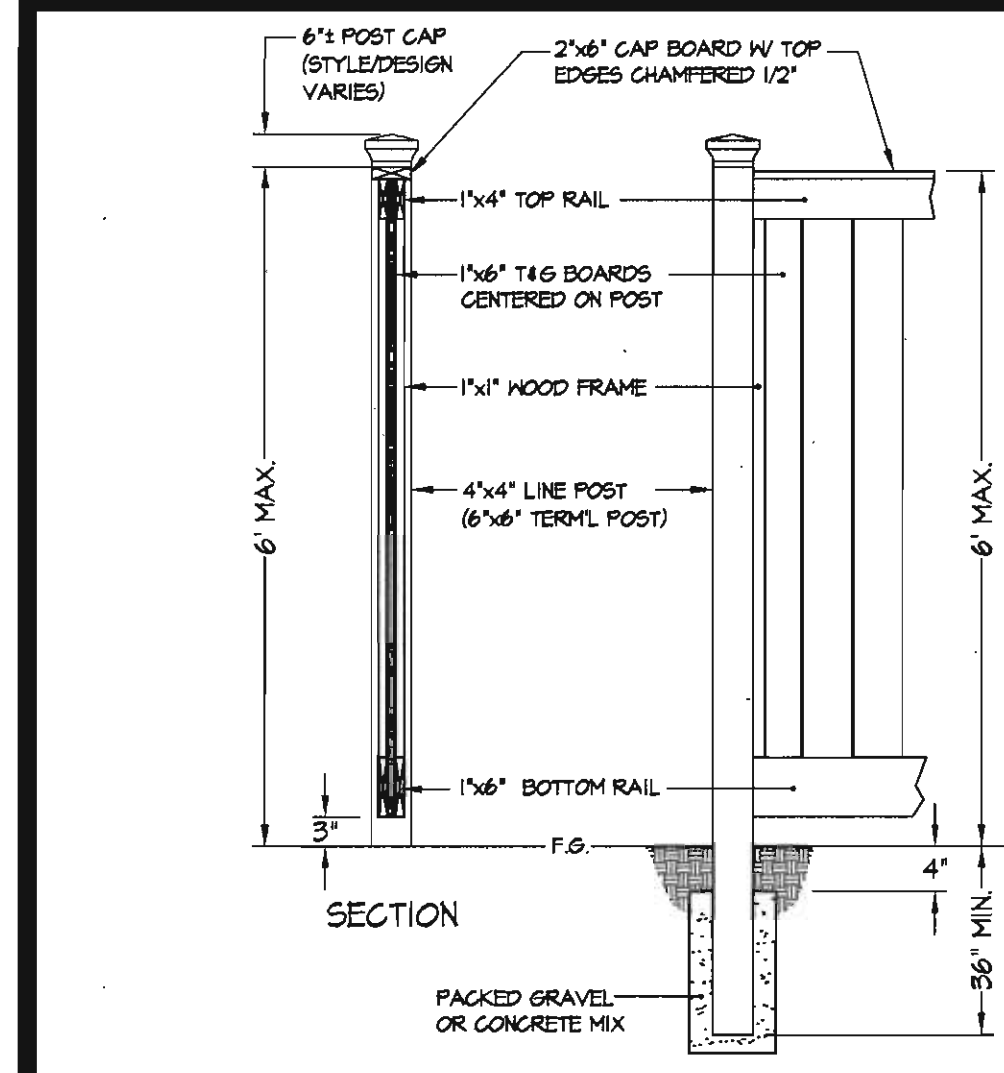


PREPARED FOR:
 BUILDER/LOT OWNER:
 MILLER & SMITH AT MAPLE LAWN, L.L.C.
 8401 GREENSBORO DRIVE, SUITE 300
 MCEAN, VIRGINIA 22102
 PH: (703) 821-2500
 FAX: COLLEEN DWELLEY

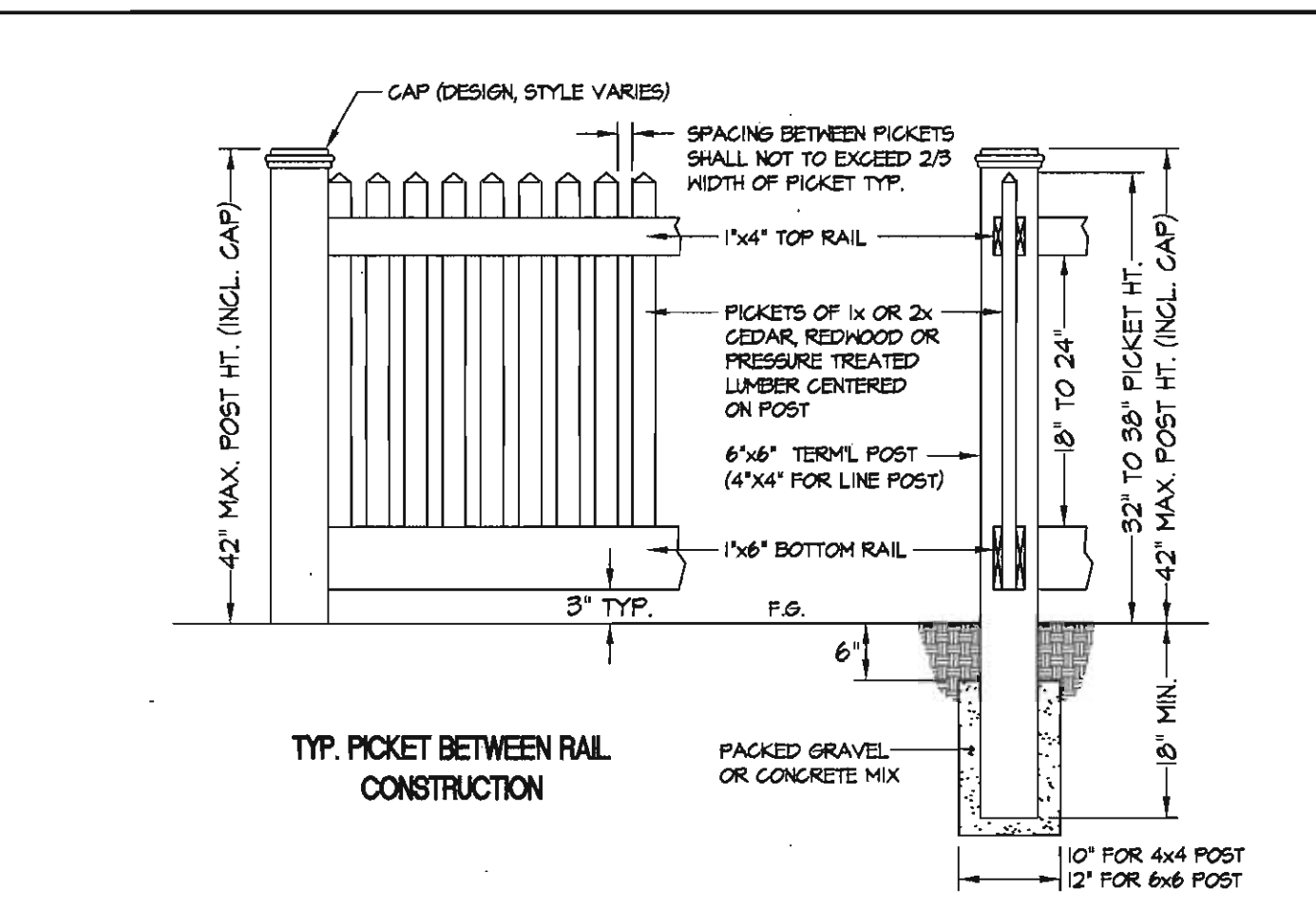
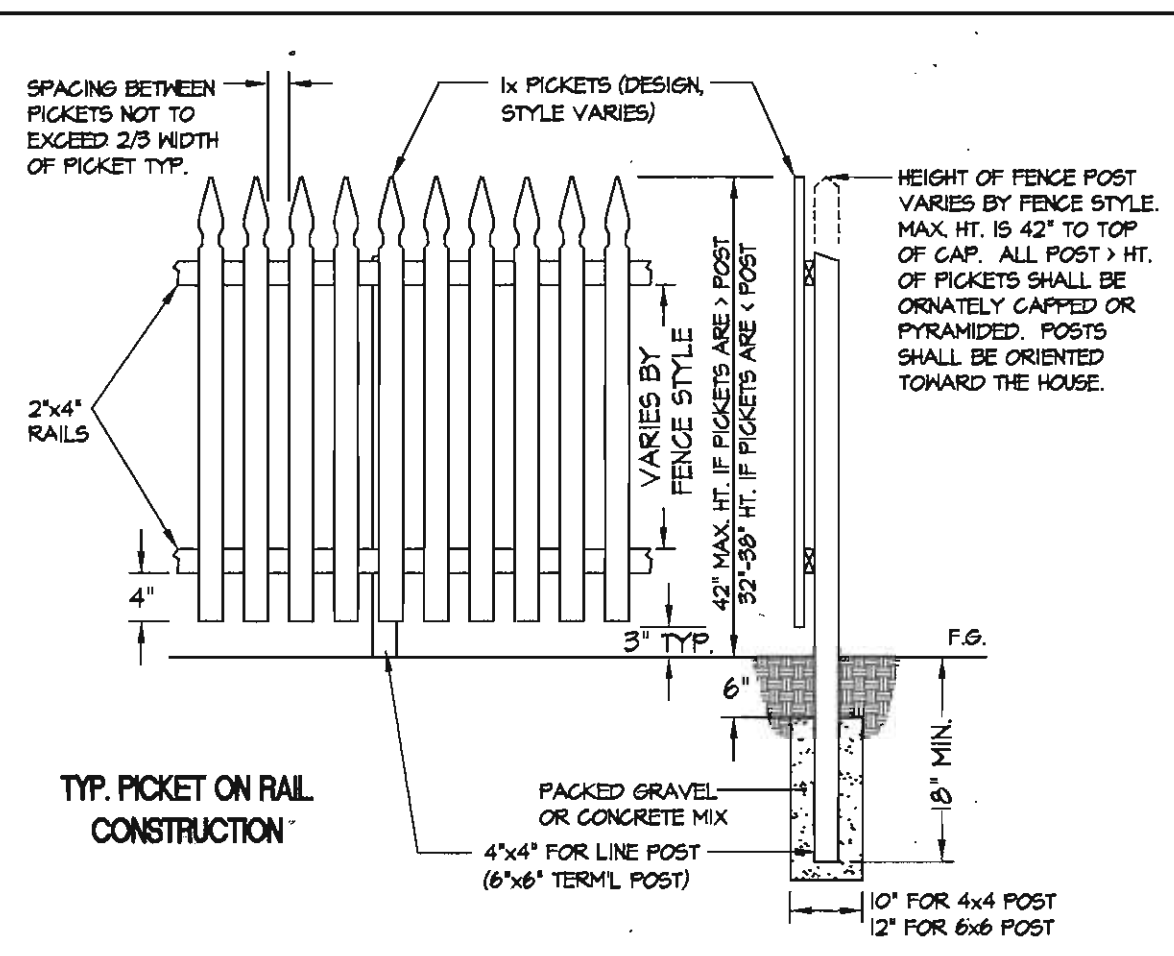
BUILDER/LOT OWNER:
 MB MAPLE LAWN, L.L.C.
 1686 E. GULF DRIVE
 ROCKVILLE, MARYLAND 20850
 PH: (301) 762-5511
 FAX: JOHN CORJAN

LANDSCAPE NOTES & DETAILS
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA 1: LOT Nos. 1-17, 22-35, and 40-55
 (NEW SPD RESIDENTIAL DWELLINGS)
 PLAT No. 16085 - 16092

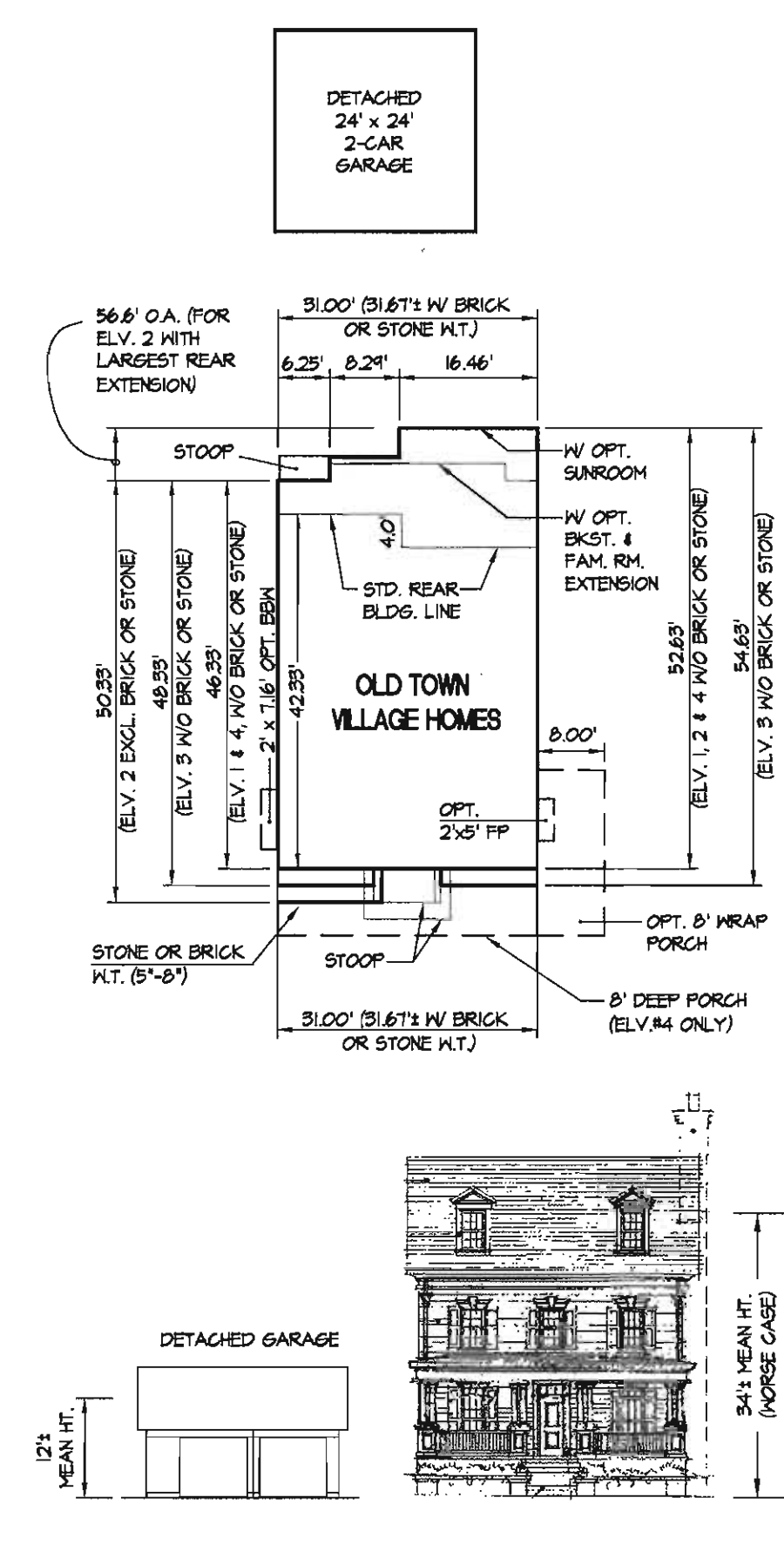
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AS SHOWN	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	10 OF 11



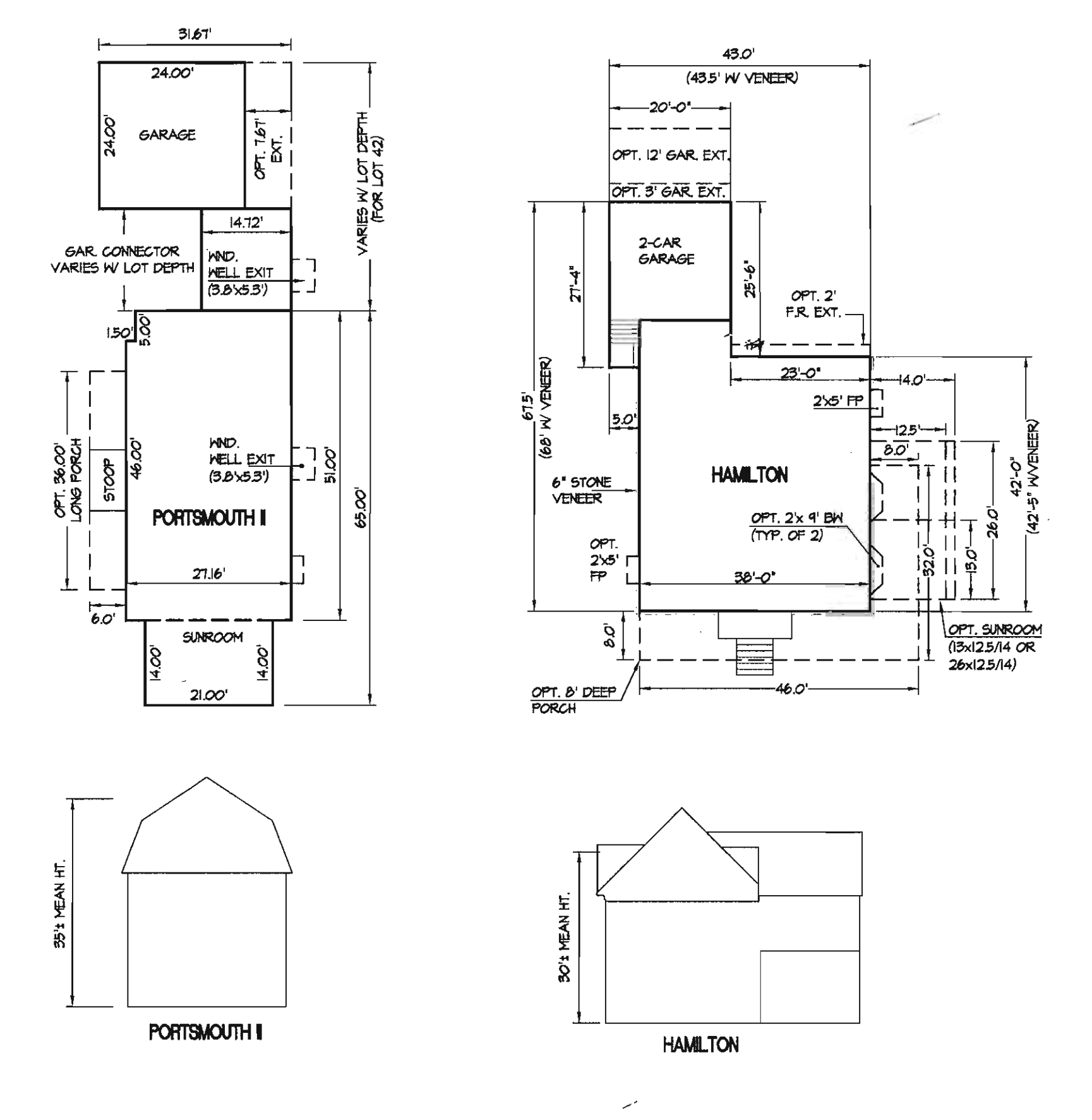
- NOTES:**
- ALL FENCE/GARDEN WALLS ALONG THE R/W SHALL BE LOCATED BEHIND THE SIDEWALK ESHY.
 - ALL FENCES (AND GARDEN WALLS) THAT STRADDLE PROPERTY LINES SHALL BE PRIVATELY MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AS LIBER 1441 FOLIO 242 THROUGH 366).
 - SEE LOT DEVELOPMENT DATA ITEM 4.D. ON SHEET 1 REGARDING HEIGHT LIMITATIONS FOR FENCES, GARDEN WALLS AND SIMILAR FEATURES.
 - THE PICKET FENCE STYLE SHOWN ON THESE DETAILS IS A SIMPLE REPRESENTATIVE ONLY. REFER TO THE MAPLE LAWN DESIGN GUIDELINES (SECTION 4, PAGES 16-14) FOR OTHER FENCE AND PICKET STYLES FOR M.L.F.
 - FENCES SHALL BE MADE OF CEDAR, REDWOOD, PRESSURE TREATED LUMBER OR SOLID PVC. ALL STEEL HARDWARE AND FASTENERS SHALL BE GALVANIZED. ALL FENCE FINISHES SHALL BE APPROVED AND ACCEPTED BY THE MAPLE LAWN FARMS DESIGN REVIEW COMMITTEE (DRC).
 - FENCE POSTS SHALL BE SPACED EVENLY WITH A 6" SPACING BETWEEN POSTS. TERMINAL POSTS (AT CORNER, ENDS, ETC.) SHALL BE WIDER AND TALLER IN PROPORTION THAN LINE POSTS.
 - THE HEIGHT OF A PICKET FENCE REFERS TO THE HEIGHT OF PICKETS AND NOT THE POSTS.
 - FENCES ON NEIGHBORING LOTS SHALL BE OF DIFFERENT DESIGN/STYLE.
 - MANUFACTURED VINYL FENCES MEETING THE HEIGHT LIMITATIONS SHOWN MAY BE USED IF THEY ARE APPROVED BY THE DRC.



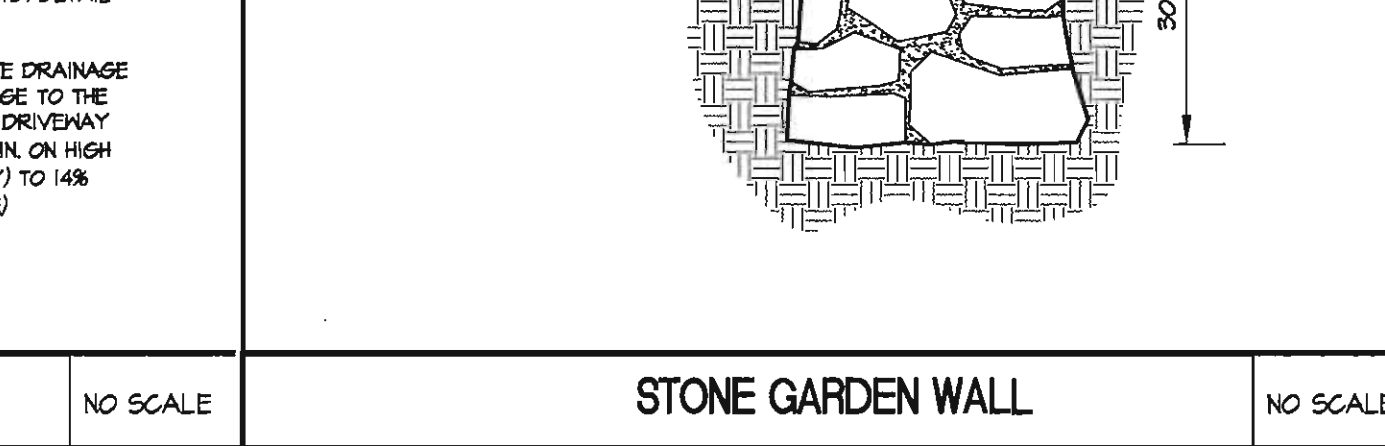
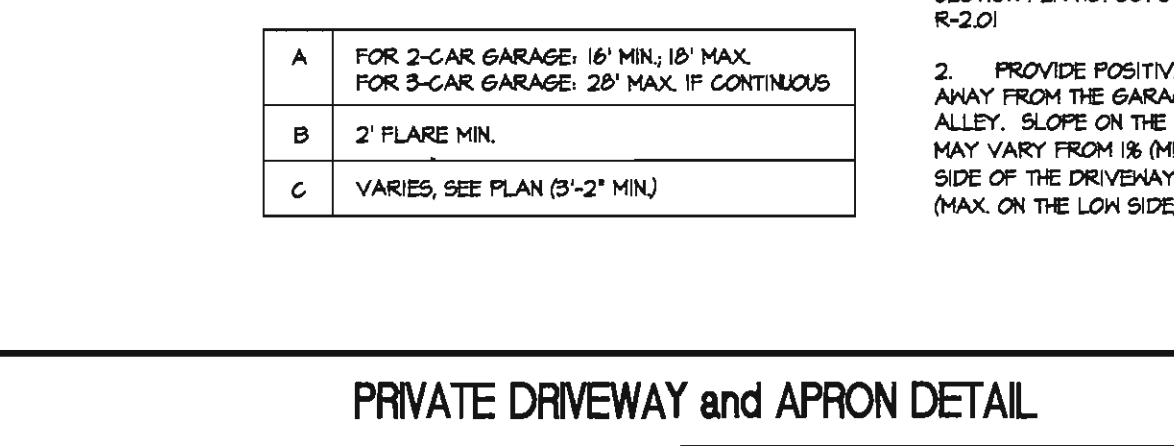
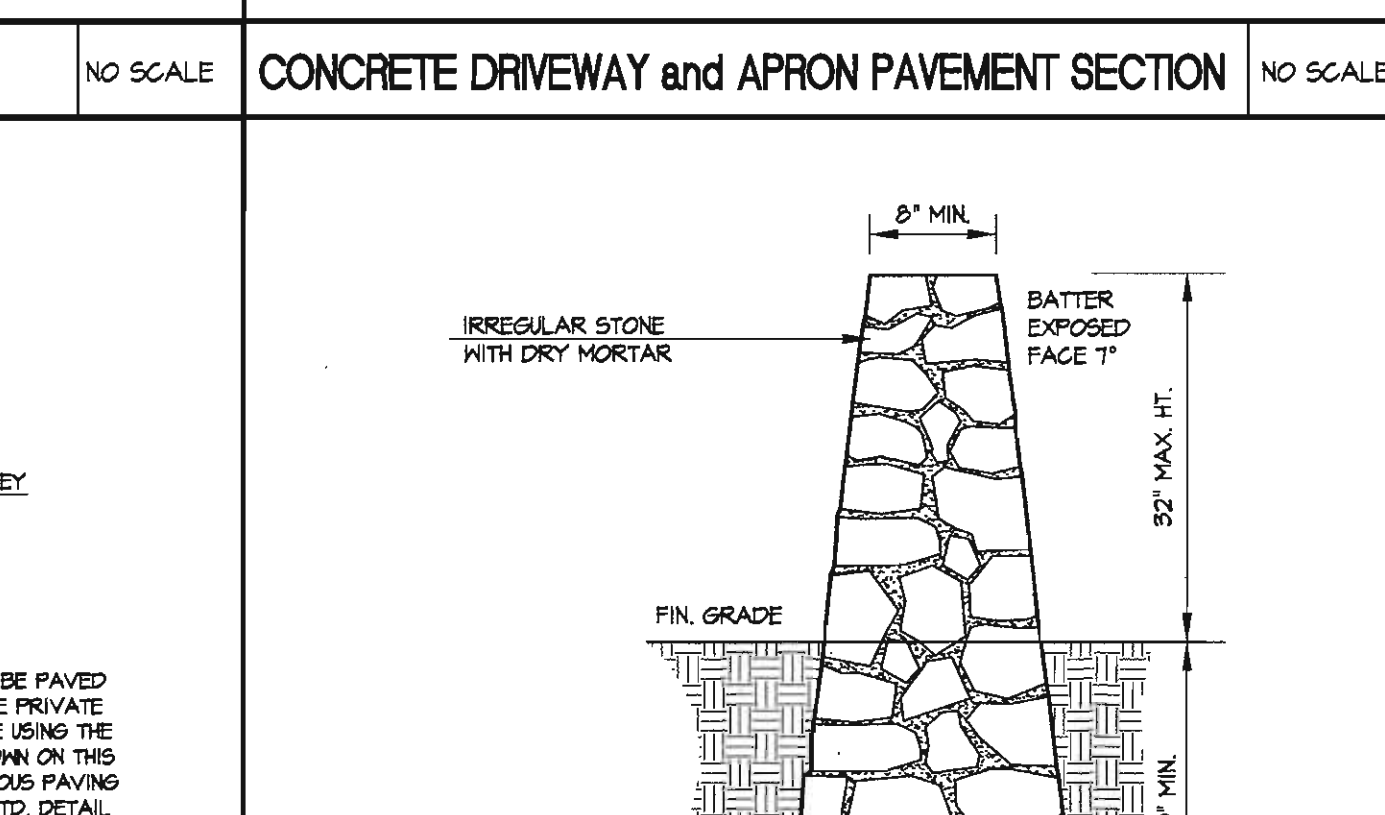
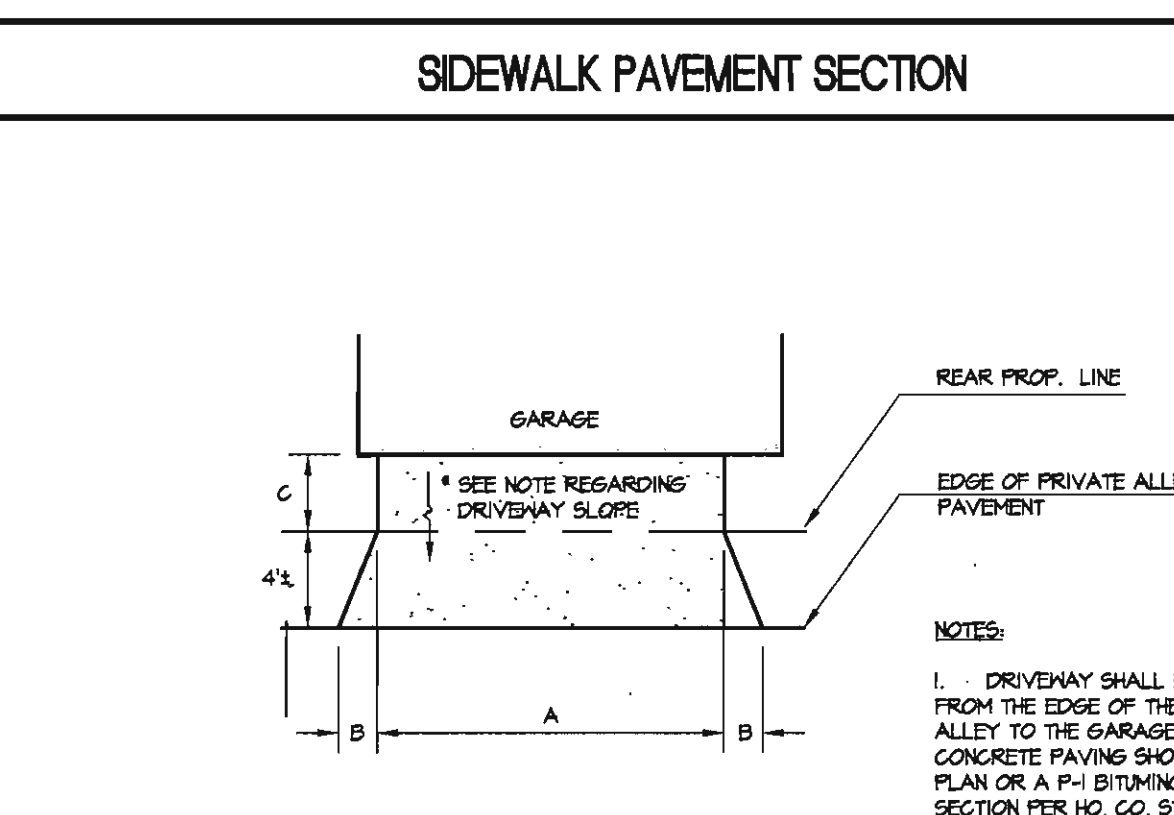
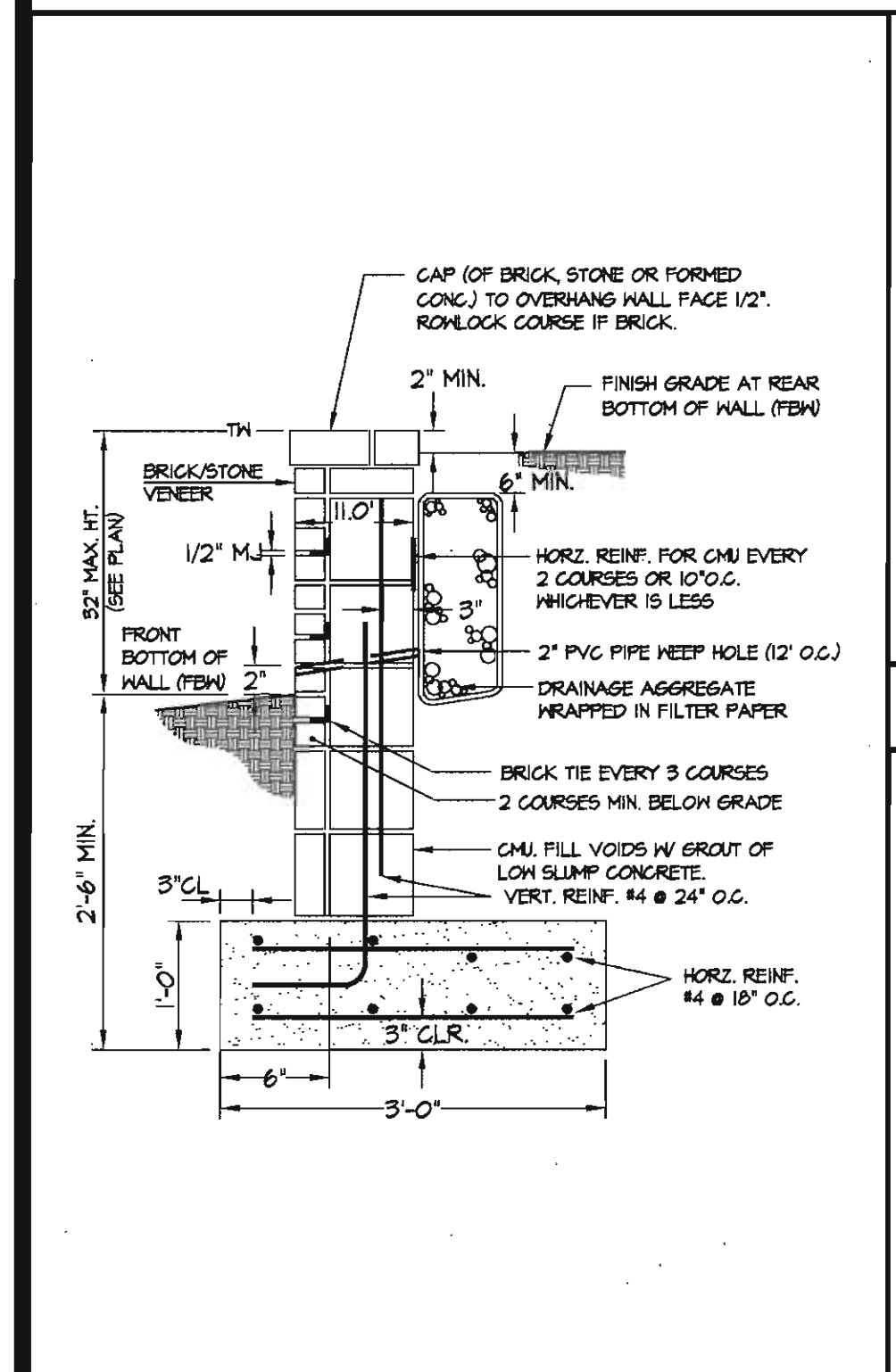
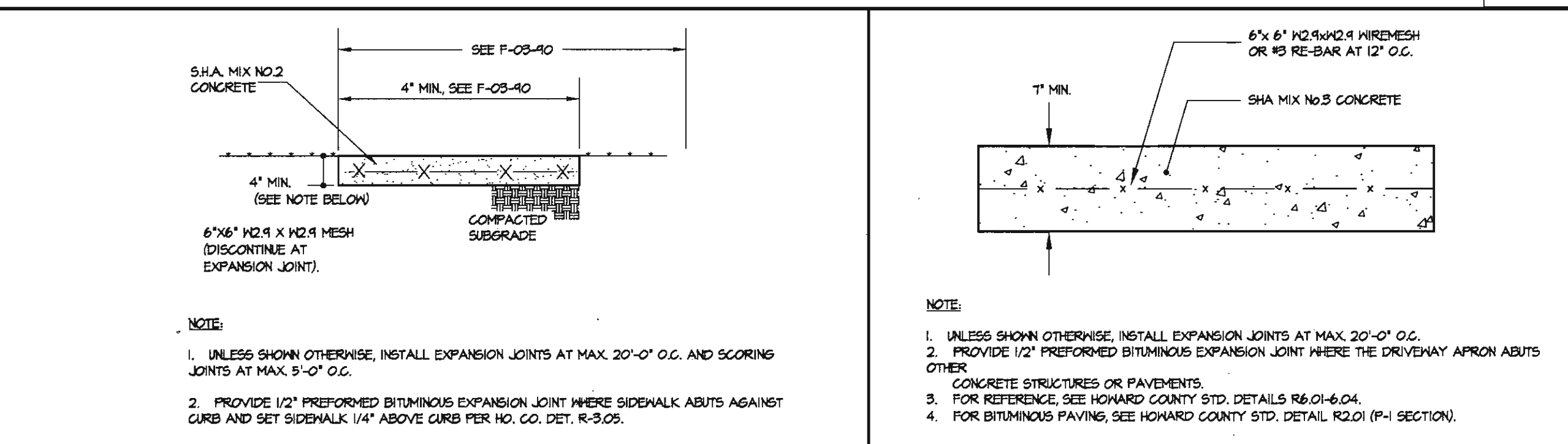
HOMES by MILLER and SMITH



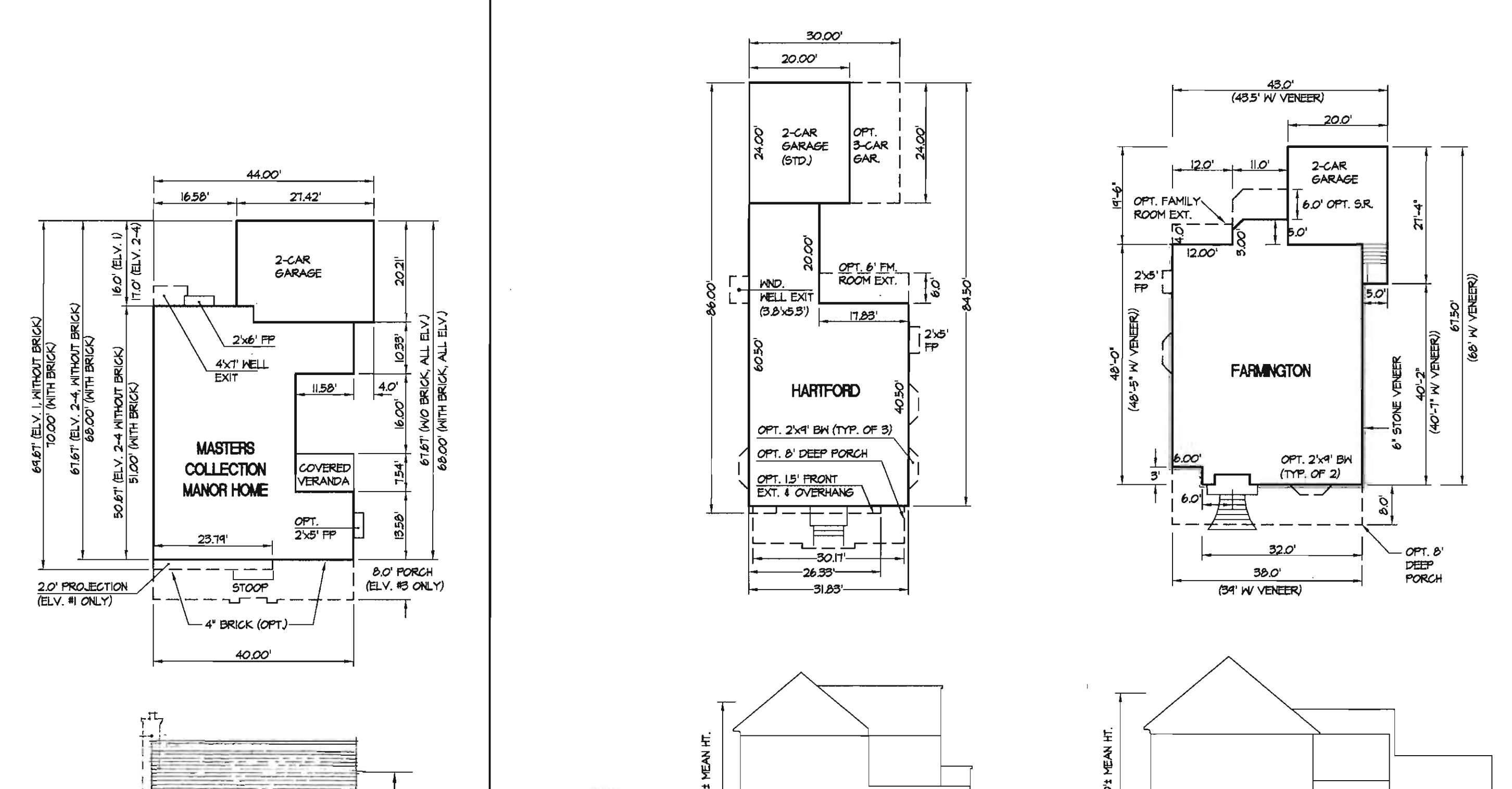
HOMES by MITCHELL and BEST



PRIVACY FENCE DETAILS



TYPICAL HOUSE FOOTPRINTS and ELEVATIONS



TYPICAL LOW GARDEN RETAINING WALL NO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark S. McLaughlin* Date: 4/1/04

Chief: *Chinda Hammett* Date: 5/25/04

Chief, Development Engineering Division: *Mike* Date: 5/26/04

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:

BUILDER/OWNER: MILLER and SMITH at MAPLE LAWN, L.L.C. 8401 GREENSBORO DRIVE, SUITE 300 WILHELM, VIRGINIA 22102 PH: (703) 821-2500 c/o: COLLEEN DWELLEY

BUILDER/OWNER: MITCHELL and BEST 1686 E. GUDE DRIVE ROCKVILLE, MARYLAND 20850 PH: (301) 862-5511 c/o: JOHN CORGAN

SITE DETAILS

MAPLE LAWN FARMS

MIDTOWN DISTRICT - AREA I: LOT Nos. 1-17, 22-35, and 40-55 (NEW SFD RESIDENTIAL DWELLINGS)

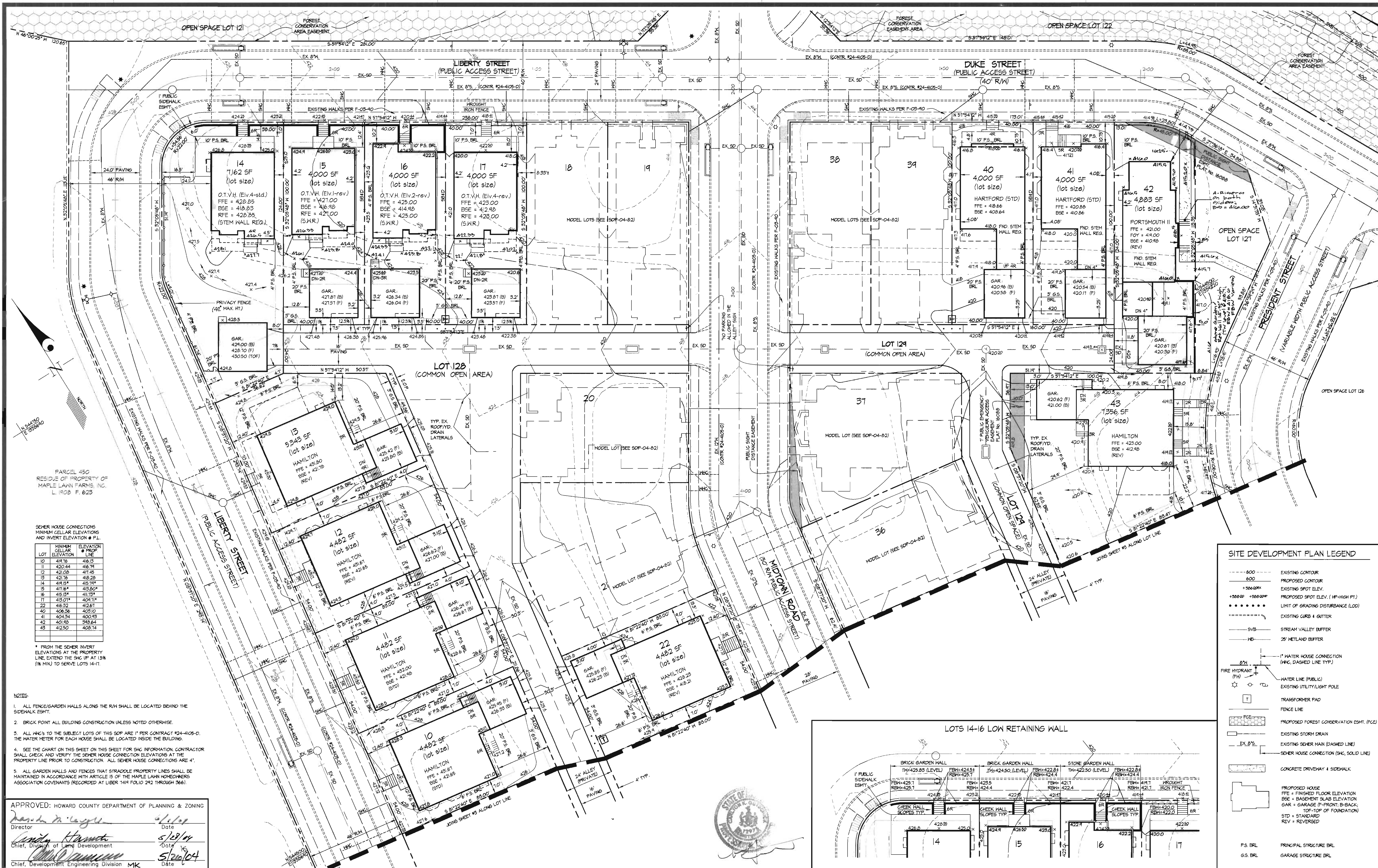
PLAT No. 16085 - 16092

ELECTION DISTRICT No. 5

SCALE: 1" = 20'

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	11 OF 11

HOWARD COUNTY, MARYLAND



SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.L.

LOT	MINIMUM CELLAR ELEVATION	ELEVATION @ PROP. LINE
10	418.76	416.13
11	420.44	416.74
12	421.00	417.45
13	421.76	418.28
14	418.15*	415.74*
15	418.15*	415.80*
16	418.15*	415.80*
17	418.01*	404.71*
22	416.32	412.67
40	408.36	423.10
41	404.34	400.93
42	401.50	348.64
43	412.50	428.74

* FROM THE SEWER INVERT ELEVATIONS AT THE PROPERTY LINE, EXTEND THE SAG UP AT 15% (1% MIN) TO SERVE LOTS 14-17

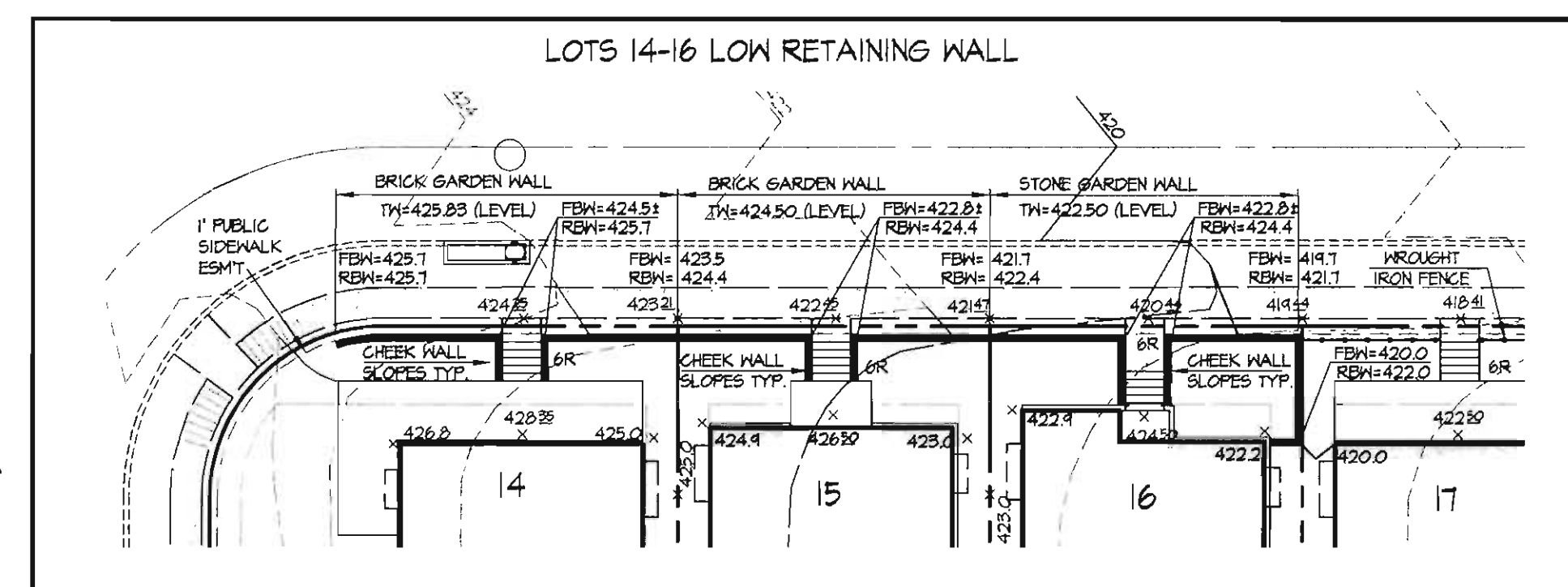
- NOTES:
- ALL FENCE/GARDEN WALLS ALONG THE R/W SHALL BE LOCATED BEHIND THE SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL 1/4" TO THE SUBJECT LOTS OF THIS SDP ARE 1" PER CONTRACT #24-4105-D. THE WATER METER FOR EACH HOUSE SHALL BE LOCATED INSIDE THE BUILDING.
 - SEE THE CHART ON THIS SHEET FOR SHG INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE CONNECTION ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION. ALL SEWER HOUSE CONNECTIONS ARE 4".
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 1414 FOLIO 242 THROUGH 366).

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard M. Layton Director Date 5/18/04

Linda Hancock Chief, Division of Land Development Date 5/18/04

Michael Williams Chief, Development Engineering Division MK Date 5/20/04



SITE DEVELOPMENT PLAN LEGEND

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- +366.00M EXISTING SPOT ELEV.
- +366.00M PROPOSED SPOT ELEV. (HP+HIGH PT)
- LIMIT OF GRADING DISTURBANCE (LOD)
- EXISTING CURB & GUTTER
- SVB STREAM VALLEY BUFFER
- WB 25' WETLAND BUFFER
- 8" 1" WATER HOUSE CONNECTION (HW, DASHED LINE TYP)
- FIRE HYDRANT (FH) WATER LINE (PUBLIC)
- EXISTING UTILITY/LIGHT POLE
- TRANSFORMER PAD
- FENCE LINE
- PROPOSED FOREST CONSERVATION ESMT. (FCE)
- EXISTING STORM DRAIN
- EX. S.S. EXISTING SEWER MAIN (DASHED LINE)
- SEWER HOUSE CONNECTION (SH, SOLID LINE)
- CONCRETE DRIVEWAY & SIDEWALK
- PROPOSED HOUSE FFE = FINISHED FLOOR ELEVATION
- BSE = BASEMENT SLAB ELEVATION
- GAR = GARAGE (IF-FRONT, B-BACK, TOP-TOP OF FOUNDATION)
- STD = STANDARD
- REV = REVERSED
- P.S. BRL PRINCIPAL STRUCTURE BRL
- G.S. BRL GARAGE STRUCTURE BRL

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
1-17-05	Update house footprint on Lots 14 & 42, new fence location on Lot 14		

PREPARED FOR:

BUILDER/LOT OWNER:
MILLER and SMITH of MAPLE LAWN, LLC
8401 GREENSBORO DRIVE, SUITE 300
MCLEAN, VIRGINIA 22102
PH: (703) 821-2500
attn: COLLEEN DWELLEY

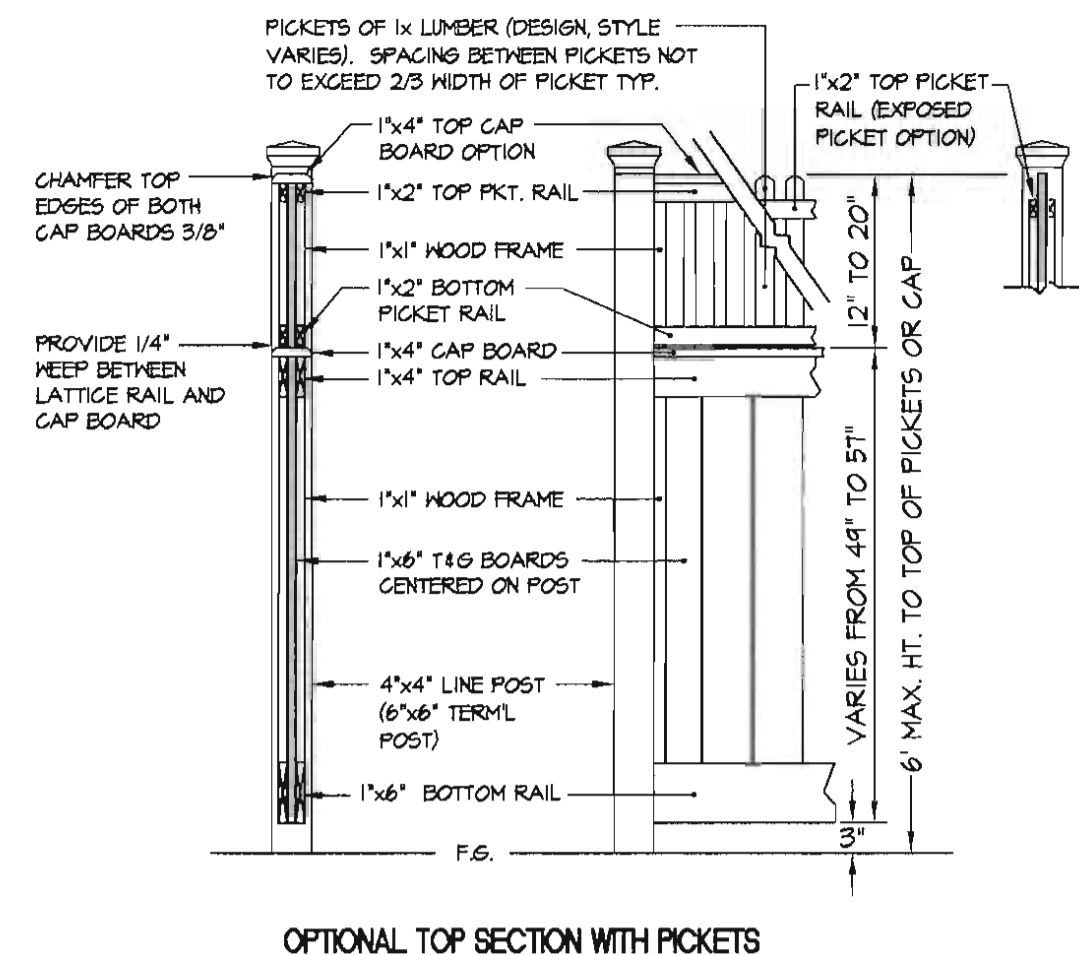
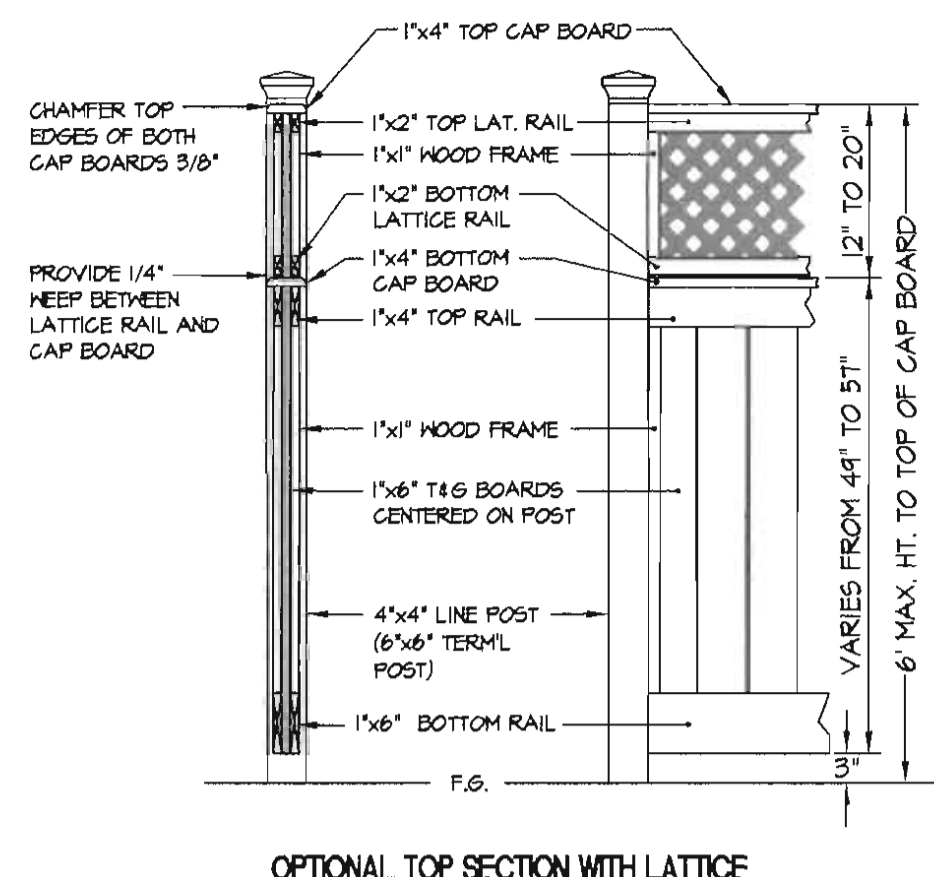
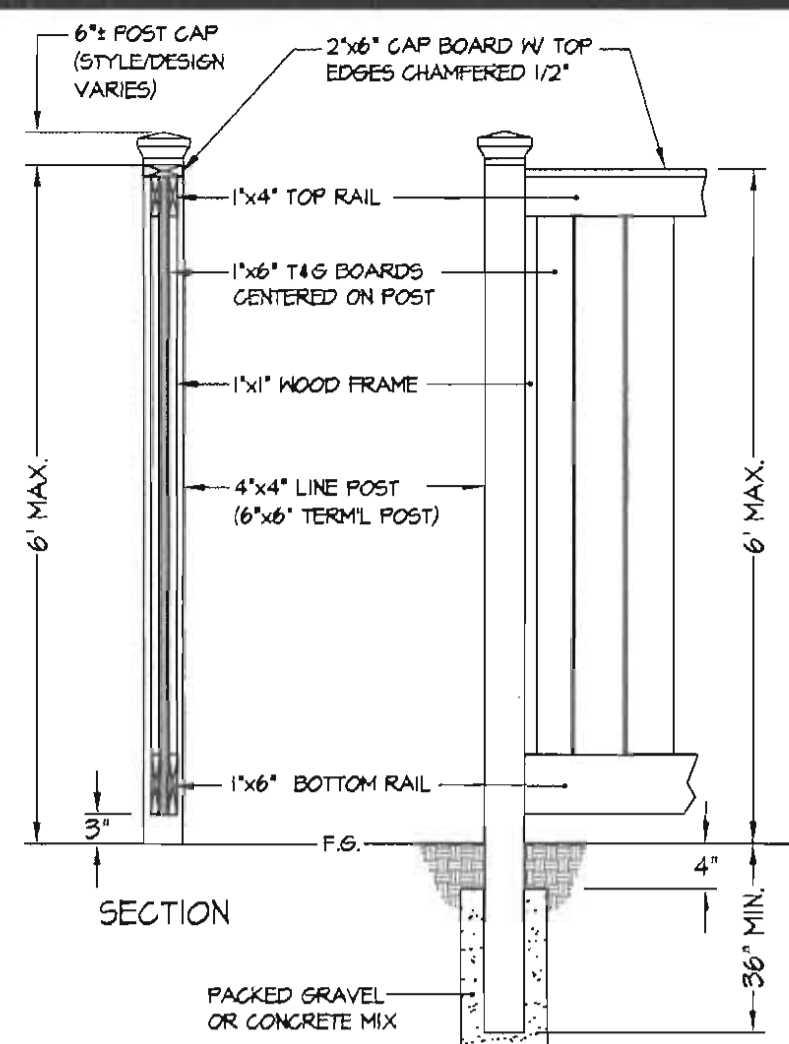
BUILDER/LOT OWNER:
MID MAPLE LAWN, LLC
1686 E. QUIDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: (301) 782-3511
attn: JOHN CORGAN

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA I: LOT NOS. 1-17, 22-35, AND 40-55
PLAT No. 16085 - 16092

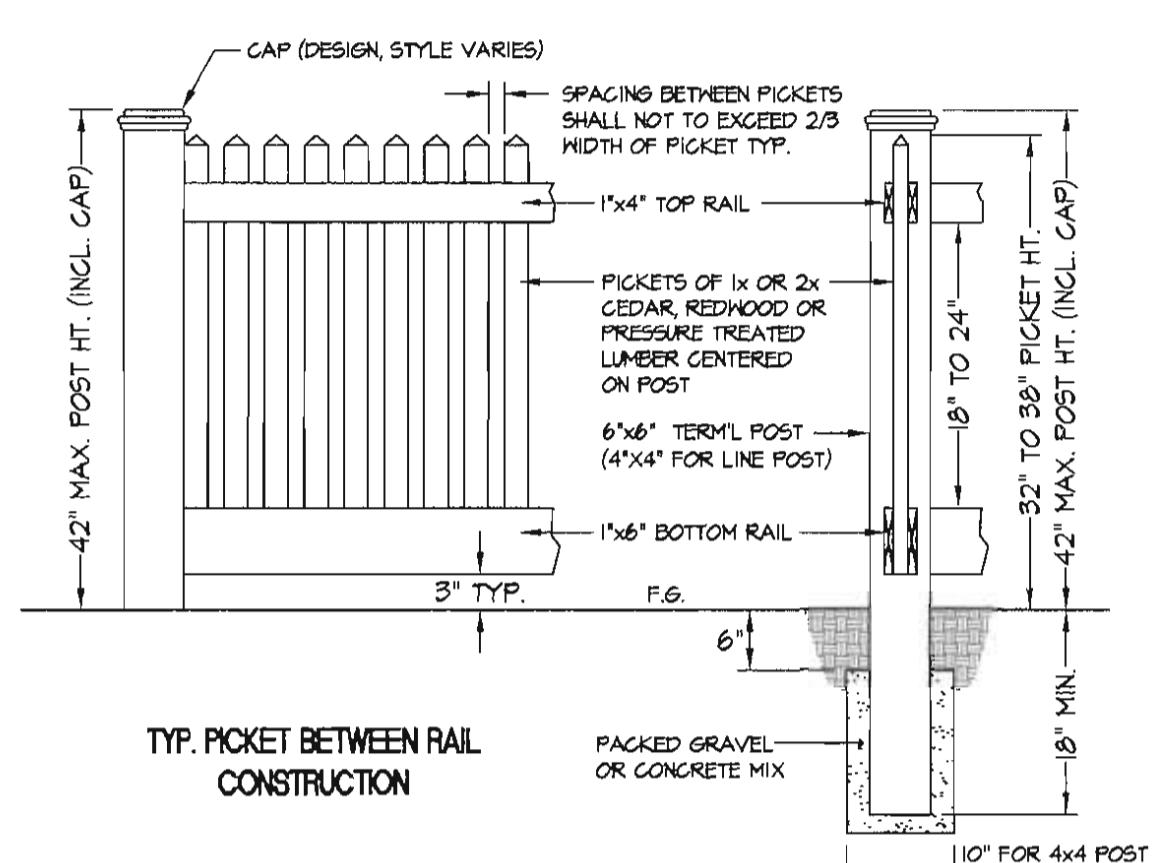
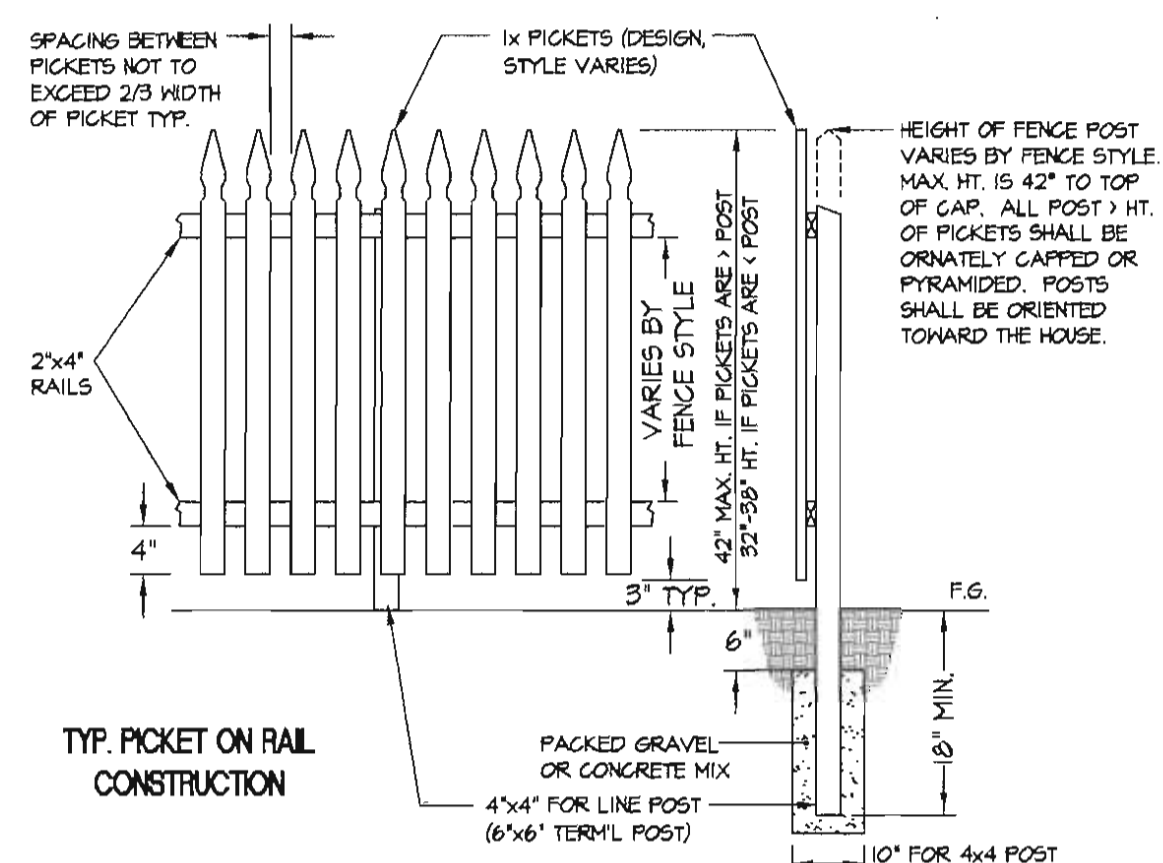
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	2 OF 11

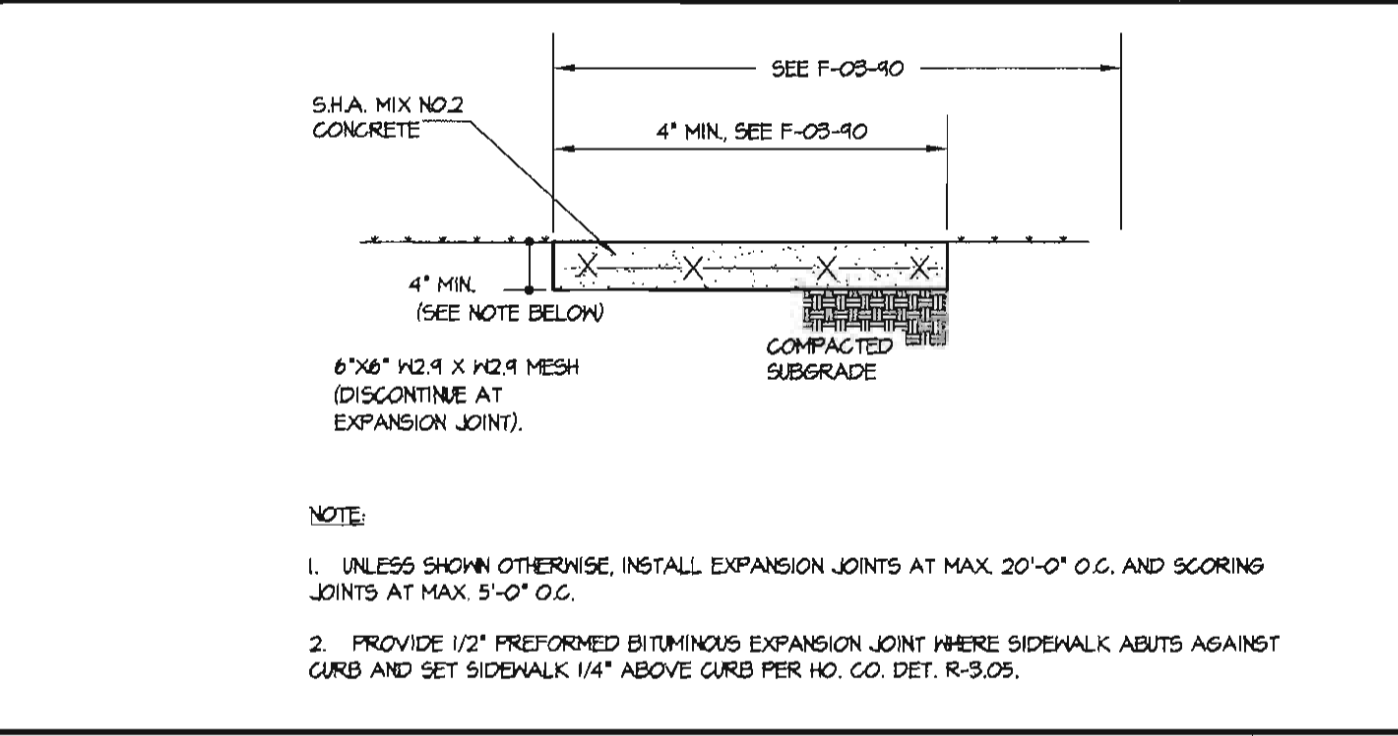
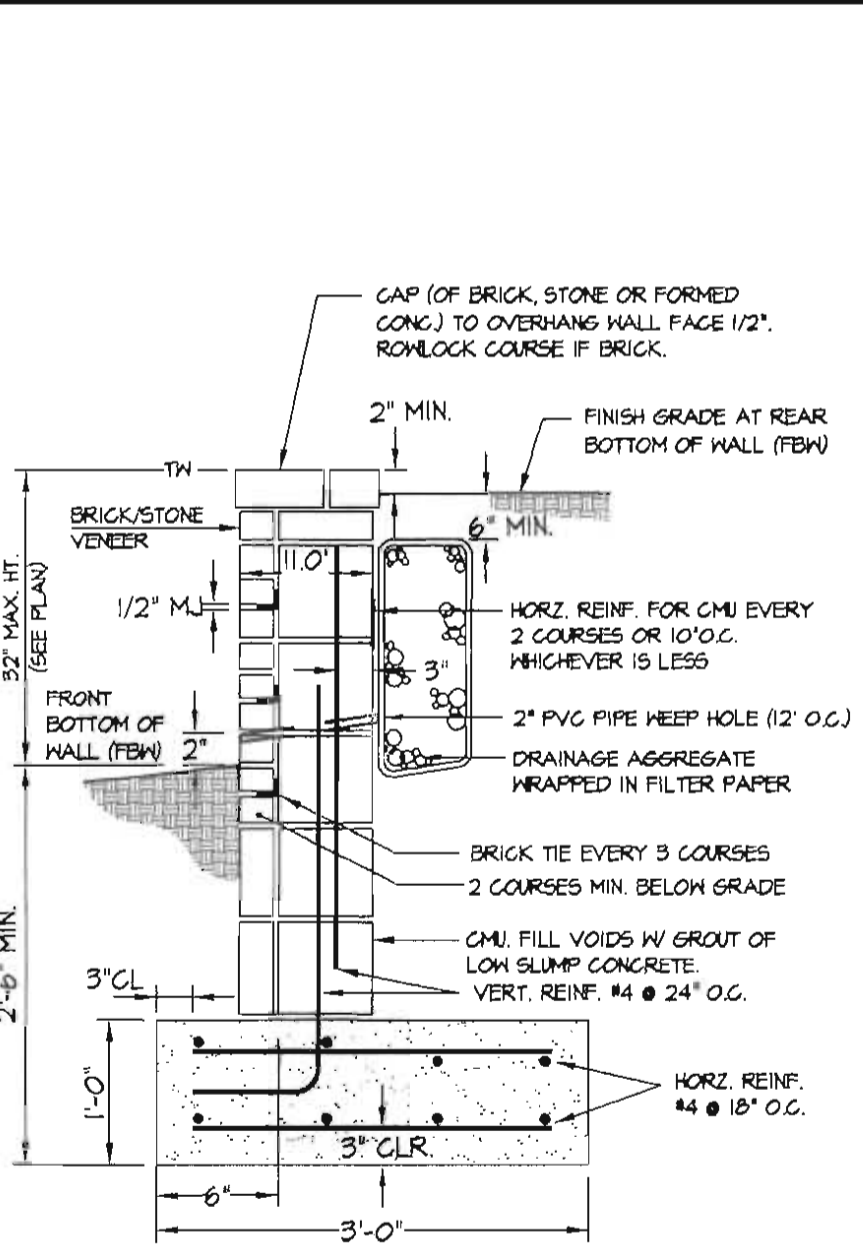


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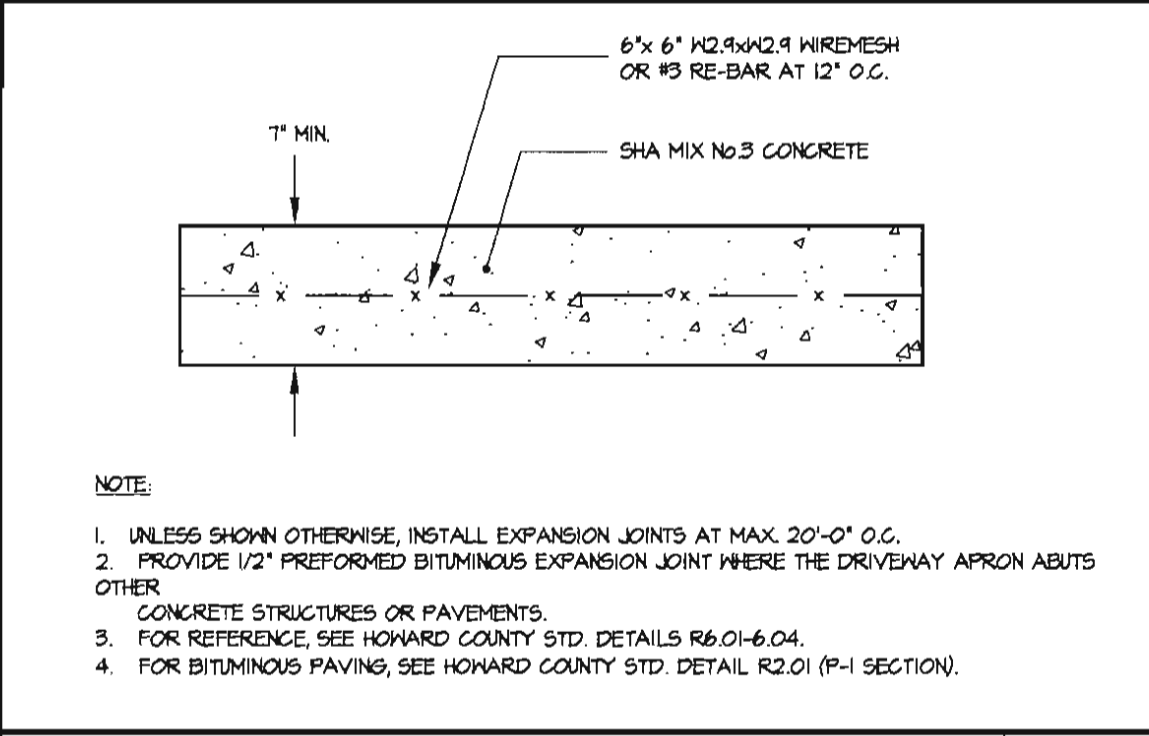
PRIVACY FENCE DETAILS

NO SCALE



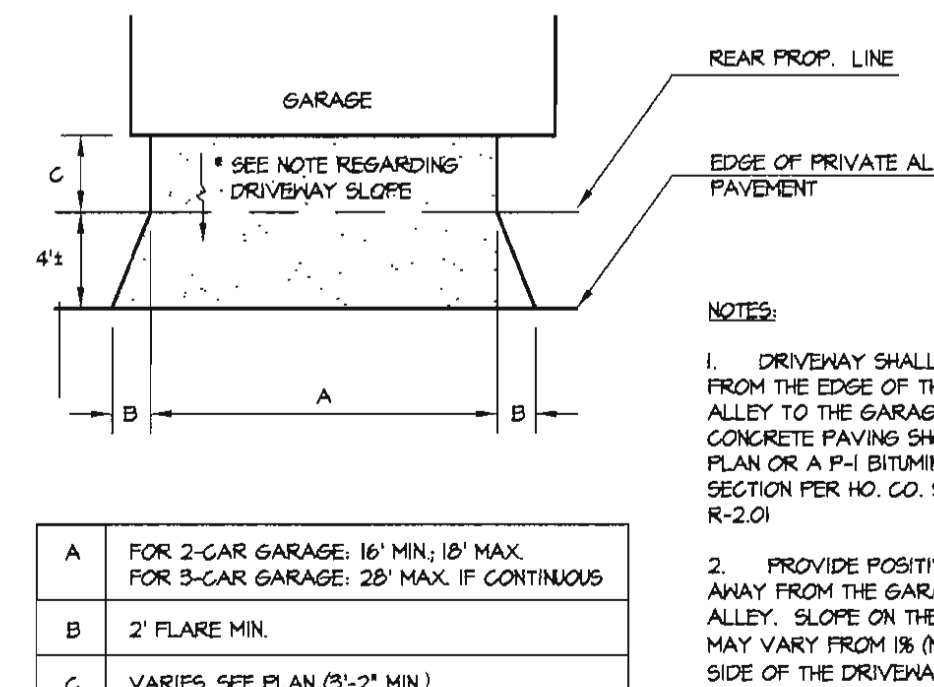
SIDEWALK PAVEMENT SECTION

NO SCALE



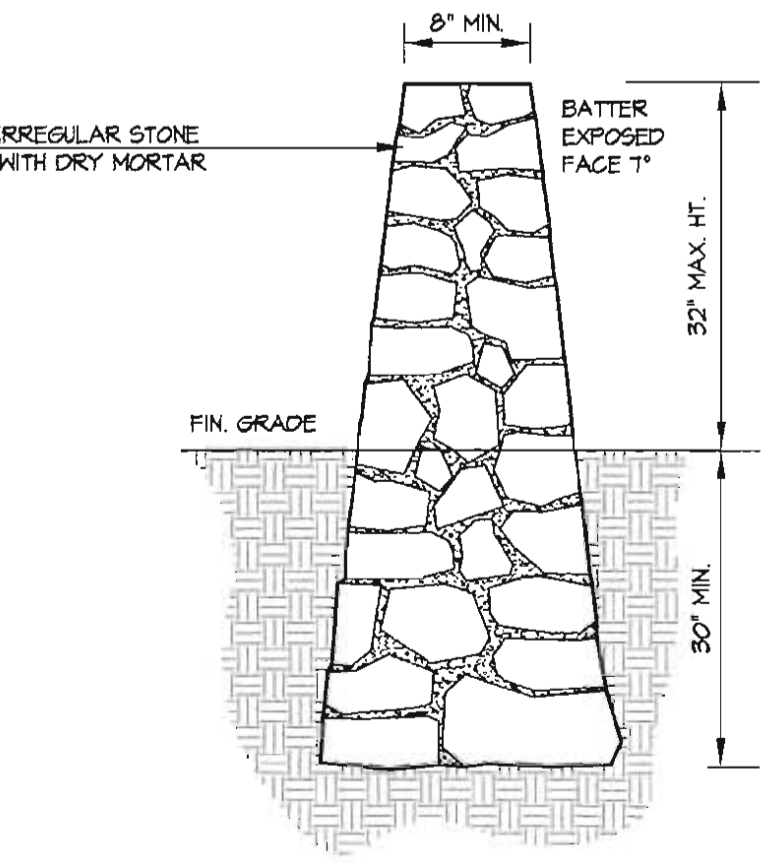
CONCRETE DRIVEWAY and APRON PAVEMENT SECTION

NO SCALE



PRIVATE DRIVEWAY and APRON DETAIL

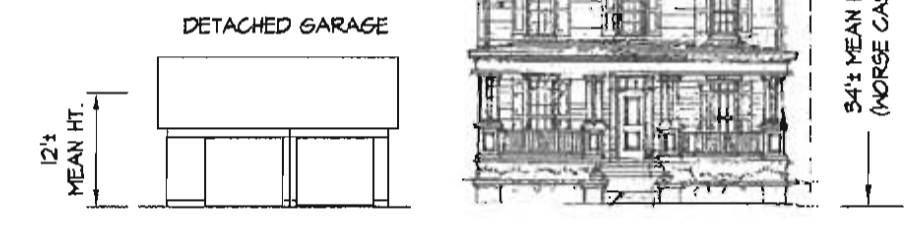
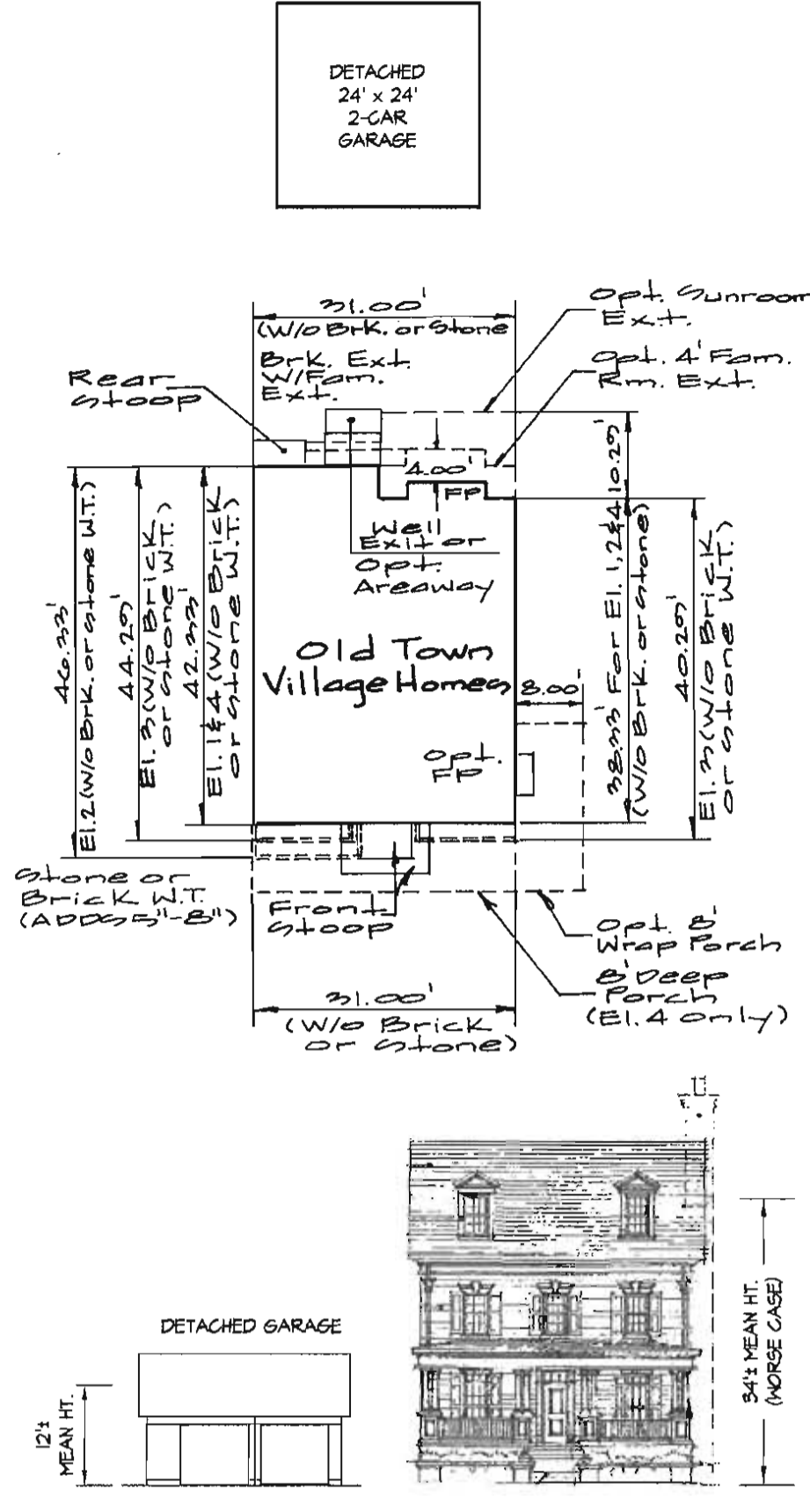
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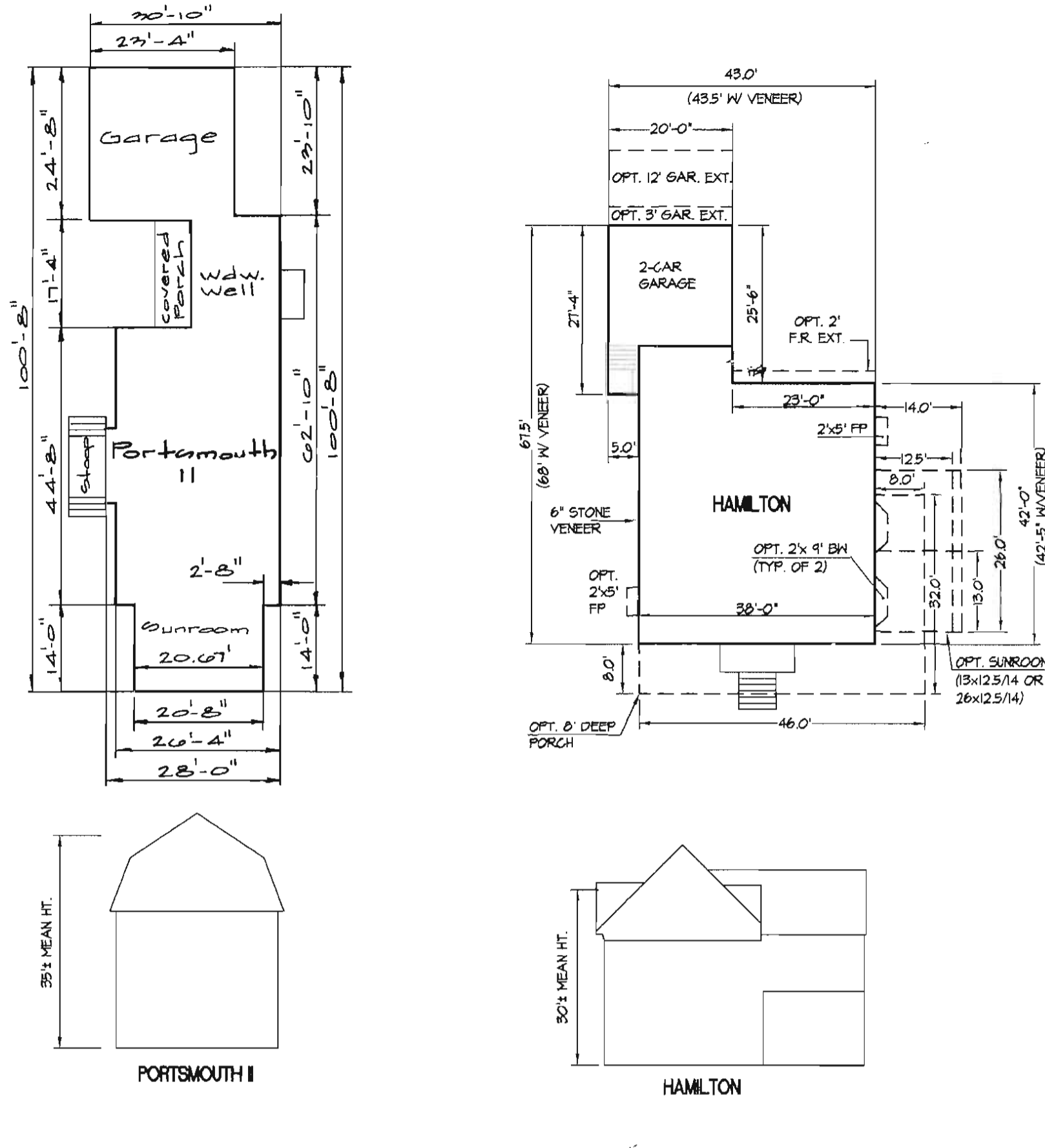
STONE GARDEN WALL

NO SCALE

HOMES by MILLER and SMITH



HOMES by MITCHELL and BEST



TYPICAL HOUSE FOOTPRINTS and ELEVATIONS

SCALE: 1" = 20'

TYPICAL LOW GARDEN RETAINING WALL NO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark S. Laughlin* Date: 4/1/04

Chief, Division of Land Development: *Cindy Hammit* Date: 5/25/04

Chief, Development Engineering Division: *Michael M. McK* Date: 5/26/04

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 BALT: 410-580-1000 DC/VA: 301-583-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
1-17-05	Update house footprints: Portsmouth 2, Old Town Village homes & Masters Collection		

PREPARED FOR:

BUILDER/LOT OWNER: MILLER and SMITH at MAPLE LAWN, LLC. 8401 GREENSBORO DRIVE, SUITE 300 MCKEAN, VIRGINIA 22102 PH: (703) 821-2500 attn: COLLEEN DWELLEY

BUILDER/LOT OWNER: MB MAPLE LAWN LLC. 1686 E. QUIDE DRIVE ROCKVILLE, MARYLAND 20850 PH: (301) 762-9511 attn: JOHN CORGAN

SITE DETAILS

MAPLE LAWN FARMS

MIDTOWN DISTRICT - AREA 1: LOT Nos. 1-17, 22-35, and 40-55 (NEW SFD RESIDENTIAL DWELLINGS)

PLAT No. 16085 - 16092

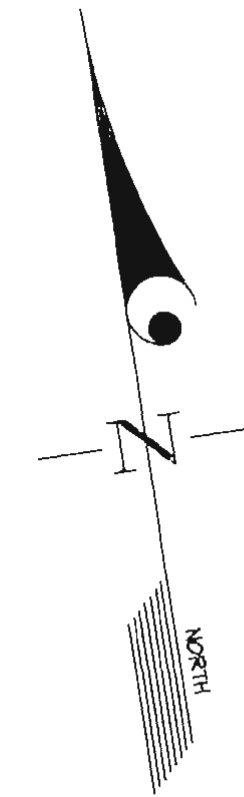
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	11 OF 11

SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.I.

LOT	ELEVATION	MINIMUM CELLAR ELEVATION	ELEVATION @ P.I.
3	412.81	409.58	
4	414.50	410.21	
5	415.42	412.21	
6	417.04	415.43	
7	417.94	414.14	
8	418.57	415.00	
9	419.11	415.46	
23	417.09	415.45	
24	417.24	414.19	
25	418.57	414.94	
26	414.11	415.90	
27	418.21	415.81	
28	417.84	414.23	
30	417.71	415.54	
31	418.09	415.35	
32	418.21	415.22	
33	418.22	414.51	
34	417.58	415.75	
35	418.69	415.03	
44	412.06	409.56	
45	411.42	407.83	
46	411.28	407.85	
47	411.06	407.25	

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



PARCEL 450
RESIDUE OF PROPERTY
OF MAPLE LAWN
FARMS, INC.
L 1808 T. 623

N544850
E1932650

30" PUBLIC STORM DRAINAGE
& UTILITY EASEMENT
PLAT NO. 1608T

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 6/1/04

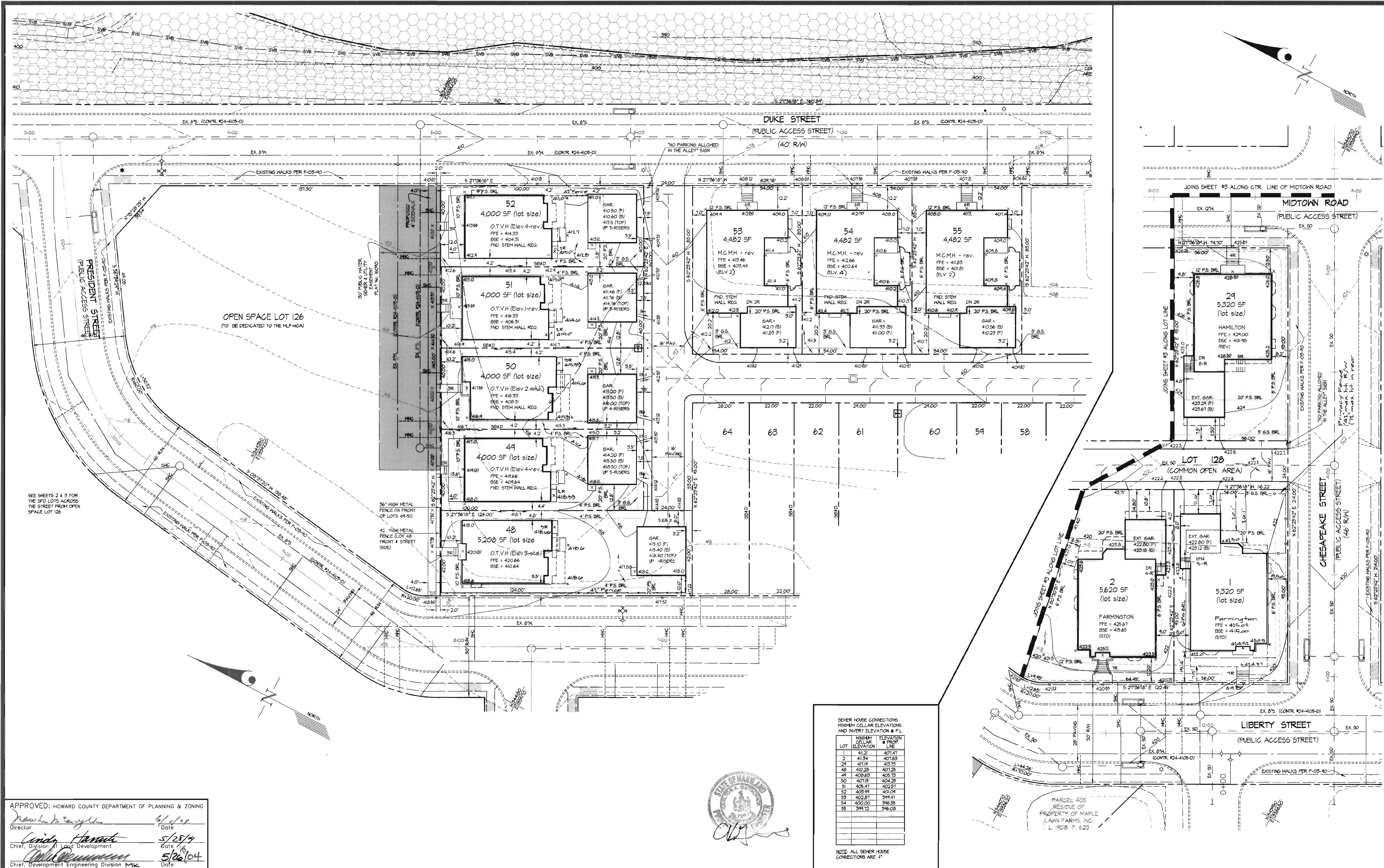
Chief, Division of Land Development: *[Signature]* Date: 5/26/04

Chief, Development Engineering Division: *[Signature]* Date: 5/26/04

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CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 FAX: 301-421-4186



<p>PREPARED FOR:</p> <p>BUILDER/LOT OWNER: MILLER and SMITH OF MAPLE LAWN, L.L.C. 8401 GREENSBORO DRIVE, SUITE 300 MCLEAN, VIRGINIA 22102 PH: (703) 821-2200 attn: COLLEEN DWELLEY</p>	<p>BUILDER/LOT OWNER: WB MAPLE LAWN, L.L.C. 1686 E. QUIDE DRIVE ROCKVILLE, MARYLAND 20850 PH: (301) 782-9811 attn: JOHN CORGAN</p>	<p>SITE DEVELOPMENT PLAN MAPLE LAWN FARMS MIDTOWN DISTRICT - AREA I: LOT Nos. 1-7, 23-35, and 40-55 (NEW SFD RESIDENTIAL DWELLINGS) PLAT No. 1608S - 1609Z</p>	<p>SCALE: 1" = 20'</p> <p>DATE: 30/APRIL/04</p>	<p>ZONING: MXD-3</p> <p>TAX MAP - GRID: 41</p>	<p>G. L. W. FILE NO.: 03-013</p> <p>SHEET: 3 OF 11</p>
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SEE SHEETS 2 & 3 FOR THE SFD LOTS ACROSS THE STREET FROM OPEN SPACE LOT 126

OPEN SPACE LOT 126 TO BE DEDICATED TO THE MLF-HOA

SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATION @ P.I.

LOT	MINIMUM CELLAR ELEVATION	ELEVATION @ PROP. LINE
1	412.2	407.41
2	413.4	407.63
24	417.1	415.75
48	410.28	401.25
49	409.65	405.75
50	407.15	404.25
51	405.41	402.51
52	405.98	401.08
53	402.87	398.41
54	400.00	396.55
55	394.72	390.00

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 1"!

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David H. Taylor 6/1/14
Director Date

Conita Harvath 5/28/14
Chief, Division of Land Development Date

Chris Williamson 5/26/14
Chief, Development Engineering Division MK Date



GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-386-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
1.17.05	Update house footprints on lot 48-52, add privacy fence for MCMH house made		
6.21.04	Resite Lot #1		

PREPARED FOR:

BUILDER/LOT OWNER: MILLER AND SMITH OF MAPLE LAWN, L.L.C.
8401 GREENSBORO DRIVE, SUITE 300
MOORE, VIRGINIA 22102
PH: (703) 821-2500
attn: COLLEEN DWELLEY

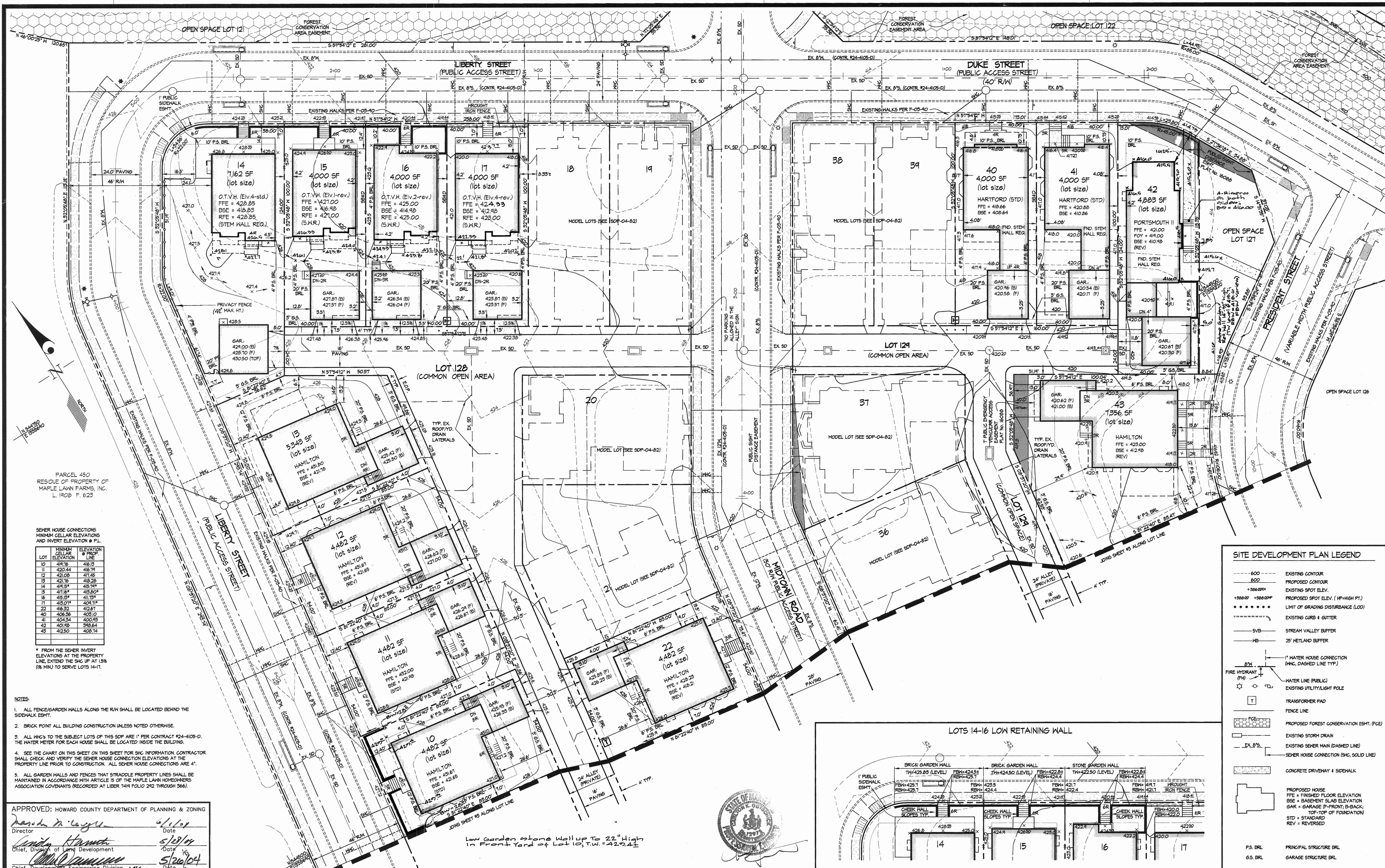
BUILDER/LOT OWNER: MB MAPLE LAWN, L.L.C.
1686 E. QUIDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: (301) 782-3511
attn: JOHN CORGAN

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 1: LOT Nos. 147, 22-35, and 40-55
(NEW SFD RESIDENTIAL DWELLINGS)
PLAT No. 16085 - 16092

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	4 OF 11



PARCEL 450
RESIDUE OF PROPERTY OF
MAPLE LAWN FARMS, INC.
L. 1908 F. 623

SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.L.

LOT	MINIMUM CELLAR ELEVATION @ P.L.	MINIMUM INVERT ELEVATION @ P.L.
10	418.16	416.13
11	420.44	418.71
12	421.09	417.45
13	421.16	418.29
14	418.19	415.71
15	418.14	415.07
16	415.84	411.59
17	415.01	409.11
22	418.32	412.81
42	420.36	420.10
41	404.34	400.89
42	401.98	398.64
43	412.30	408.74

* FROM THE SEWER INVERT ELEVATIONS AT THE PROPERTY LINE, EXTEND THE SIC UP AT 18% (OR MORE) TO SERVE LOTS 14-17.

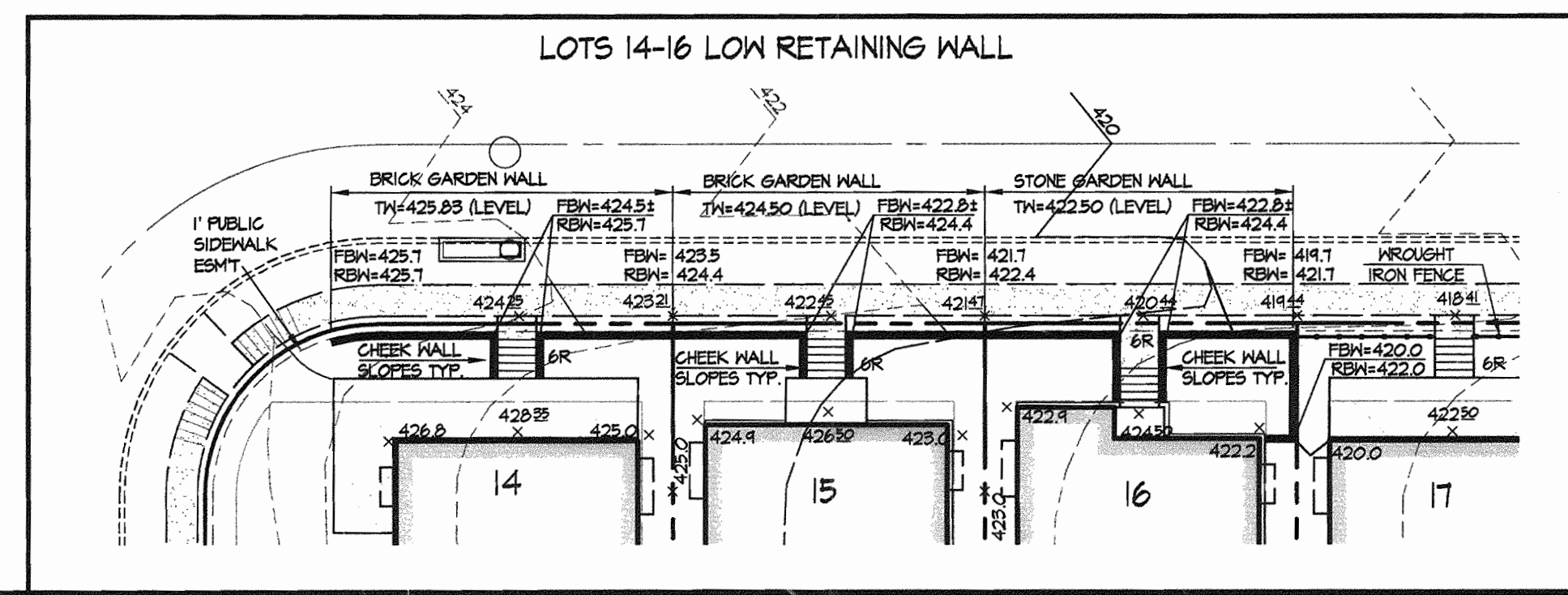
- NOTES:
- ALL FENCE/GARDEN WALLS ALONG THE R/W SHALL BE LOCATED BEHIND THE SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL PNC'S TO THE SUBJECT LOTS OF THIS SDP ARE 1" PER CONTRACT #24-4109-D. THE WATER METER FOR EACH HOUSE SHALL BE LOCATED INSIDE THE BUILDING.
 - SEE THE CHART ON THIS SHEET FOR SIC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE CONNECTION ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION. ALL SEWER HOUSE CONNECTIONS ARE 4".
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 1419 LOT 212 THROUGH 366).

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David M. Layton 6/1/04
Director Date

Linda Horvath 6/2/04
Chief, Division of Land Development Date

Chris D. Williams 5/26/04
Chief, Development Engineering Division MK Date



SITE DEVELOPMENT PLAN LEGEND

- 600 --- EXISTING CONTOUR
- 800 --- PROPOSED CONTOUR
- +306.00' EXISTING SPOT ELEV.
- +306.00' PROPOSED SPOT ELEV. (1" HIGH PT.)
- LIMIT OF GRADING DISTURBANCE (LGD)
- EXISTING CURB & GUTTER
- STREAM VALLEY BUFFER
- 25' WETLAND BUFFER
- 1" WATER HOUSE CONNECTION (PNC, DASHED LINE TYP.)
- FIRE HYDRANT (FH)
- WATER LINE (PUBLIC)
- EXISTING UTILITY LIGHT POLE
- TRANSFORMER PAD
- FENCE LINE
- PROPOSED FOREST CONSERVATION ESMT. (FCE)
- EXISTING STORM DRAIN
- EX. S.S. EXISTING SEWER MAIN (DASHED LINE)
- SEWER HOUSE CONNECTION (S.H.C., SOLID LINE)
- CONCRETE DRIVEWAY & SIDEWALK
- PROPOSED HOUSE FFE = FINISHED FLOOR ELEVATION
- BSE = BASEMENT SLAB ELEVATION
- GAR = GARAGE (F-FRONT; B-BACK; TOP-TOP OF FOUNDATION)
- STD = STANDARD
- REV = REVERSED
- P.S. BRL PRINCIPAL STRUCTURE BRL
- G.S. BRL GARAGE STRUCTURE BRL

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	DESCRIPTION	BY	APP'R.
11-18-00		Add Low Garden Stone Wall in The Front Yard of Lot 10	Wes	
10-23-00		Rev FFE For House on Lot 17	Wes	
1-17-05		Update house footprint on Lots 14 & 42, rev. fence location on Lot 14	Wes	
		REVISION		

PREPARED FOR:

BUILDER/LOT OWNER:
MILLER and SMITH OF MAPLE LAWN, LLC.
8401 GREENSBORO DRIVE, SUITE 300
MCLEAN, VIRGINIA 22102
PK. (703) 821-2500
attn: COLLEEN DWELLEY

BUILDER/LOT OWNER:
MB MAPLE LAWN, LLC.
1686 E. GUIDE DRIVE
ROCKVILLE, MARYLAND 20850
PK. (301) 762-2511
attn: JOHN CORGAN

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 1: LOT Nos. 14, 22-35, and 40-55
(NEW SFD RESIDENTIAL DWELLINGS)
PLAT No. 16085 - 16092

ELECTION DISTRICT No. 5

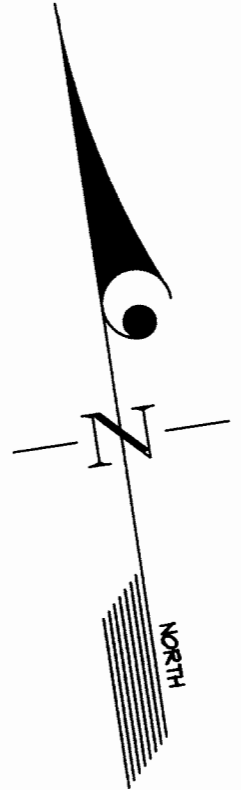
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	2 OF 11

SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.L.

LOT	MINIMUM CELLAR ELEVATION	PROP. LINE
3	412.61	409.58
4	414.50	410.81
5	415.92	412.21
6	417.04	413.45
7	417.74	414.14
8	418.91	415.00
9	419.11	415.40
24	417.84	414.14
25	418.91	415.44
26	419.11	415.80
27	418.21	415.61
28	417.94	414.25
30	417.11	413.54
31	418.25	413.35
32	418.21	413.22
33	418.22	414.51
34	417.58	413.75
35	418.65	415.05
44	412.06	409.58
45	411.42	407.85
46	411.25	407.15
47	411.05	407.21

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



PARCEL 450
RESIDUE OF PROPERTY
OF MAPLE LAWN
FARMS, INC.
L 1908 F. 623

N 444550
E 1586650

30' PUBLIC STORM DRAINAGE
& UTILITY EASEMENT
PLAT No. 16091

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David A. Lough 4/1/04
Director Date

Condy Hamster 5/25/04
Chief, Division of Land Development Date

Michael J. O'Connell 5/26/04
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APPR.
1-12-04		rev. grading Lot 26, 27 & 28		
2-17-05		add Privacy Fence for MCMH house models; add garden wall at the front of lot 45		
01.01.04		Resite Lot 30		

PREPARED FOR:

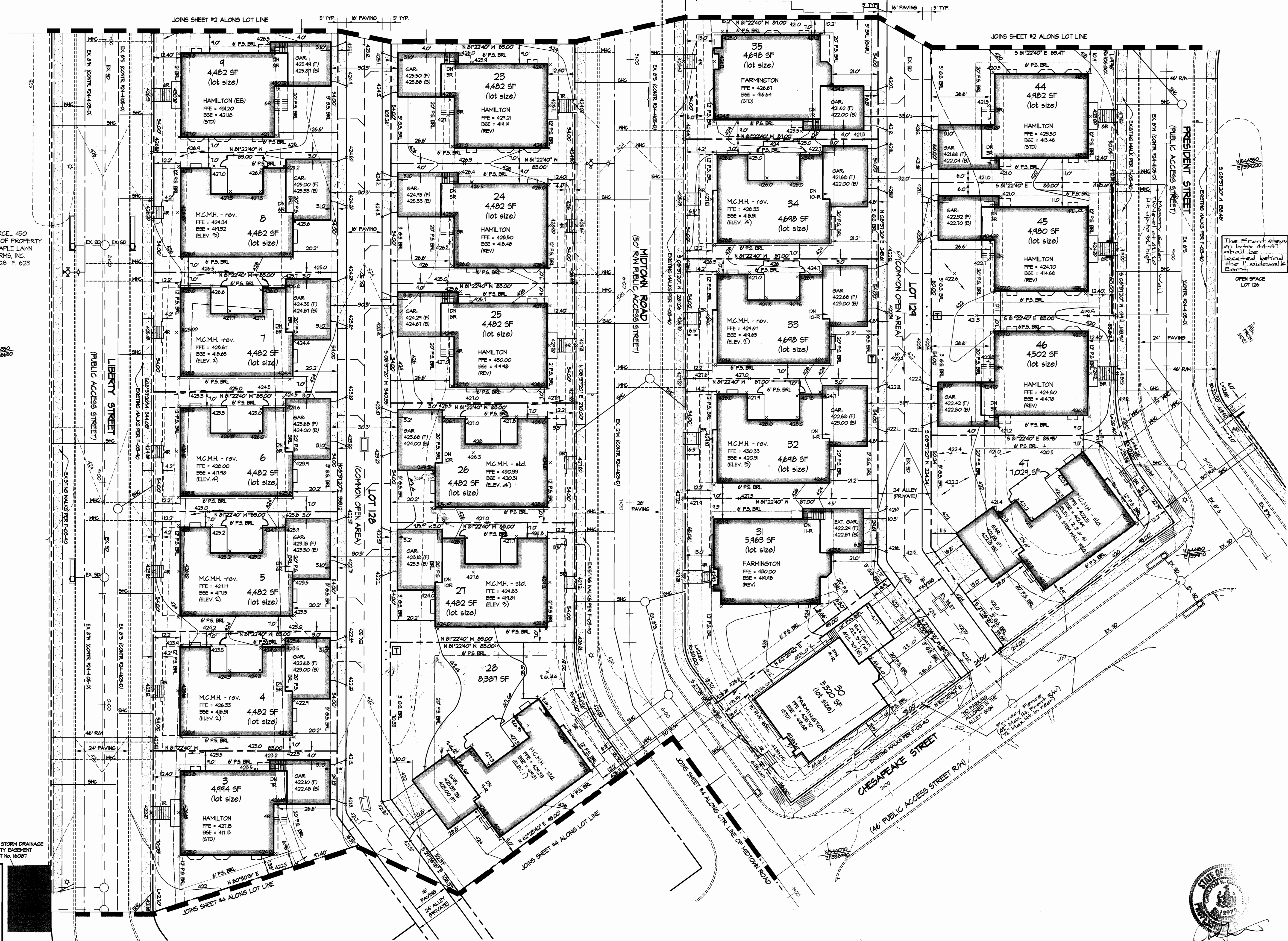
BUILDER/LOT OWNER:
MILLER AND SMITH OF MAPLE LAWN, LLC
8401 GRENSBORO DRIVE, SUITE 300
WOLEN, VIRGINIA 22102
PH: (703) 821-2500
attn: COLLEEN DWELLEY

BUILDER/LOT OWNER:
MB MAPLE LAWN LLC
1886 E. GIDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: (301) 782-5511
attn: JOHN CORGAN

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA E LOT Nos. 1-17, 22-35, and 40-55
(NEW SFD RESIDENTIAL DWELLINGS)
PLAT No. 16085 - 16092

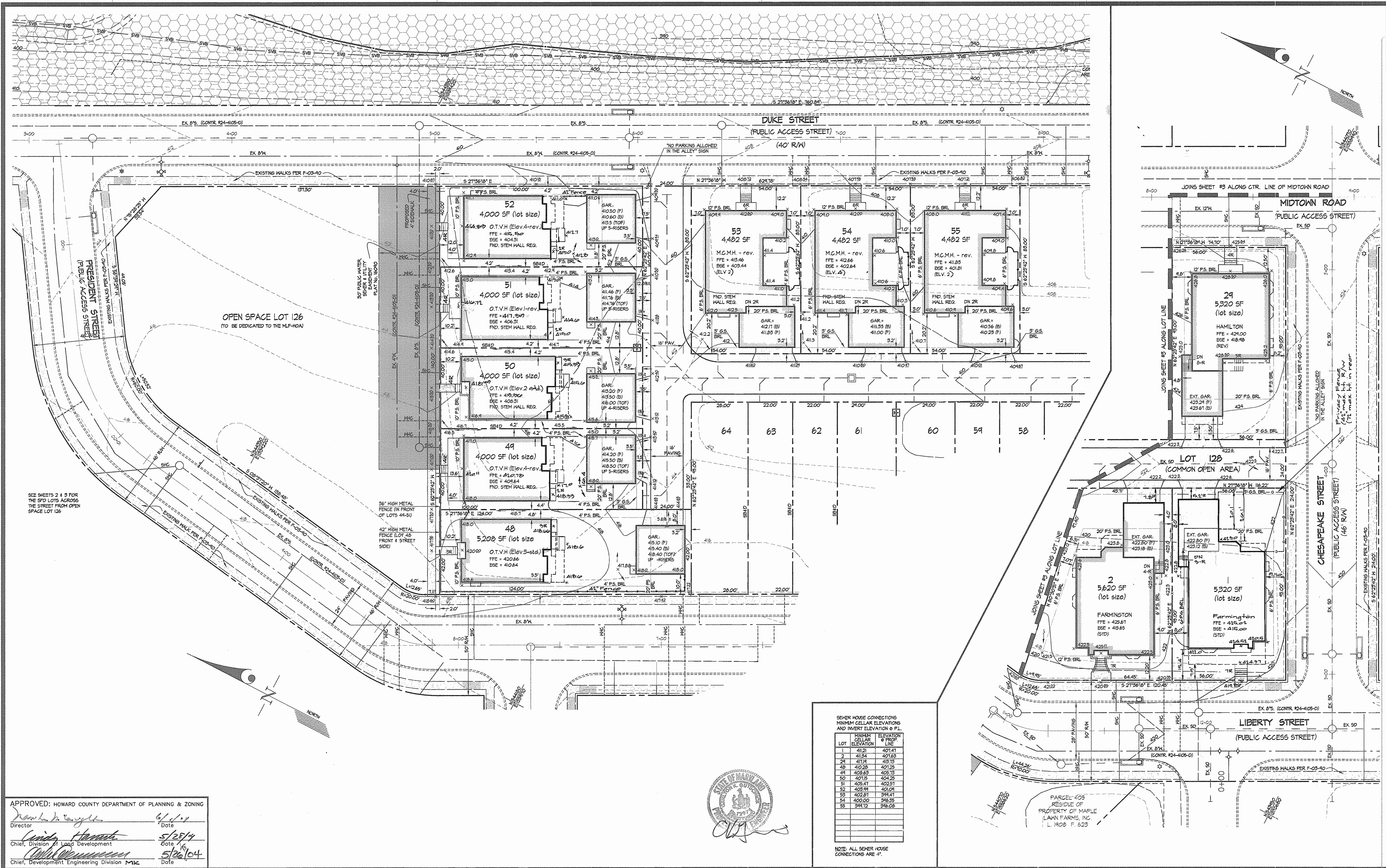
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	3 OF 11



The Front steps
on Lots 44-47
shall be
located behind
the 11' sidewalk
Easement.

OPEN SPACE
LOT 26



SEE SHEETS 2 & 3 FOR THE SPD LOTS ACROSS THE STREET FROM OPEN SPACE LOT 126

OPEN SPACE LOT 126
(TO BE DEDICATED TO THE MLF-HOA)



SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.L.

LOT	MINIMUM ELEVATION	ELEVATION @ P.P.S. BRL
1	411.21	407.87
2	415.54	407.69
24	411.14	413.13
48	410.28	407.25
49	408.65	405.73
50	407.19	404.25
51	405.41	402.57
52	405.94	401.04
53	402.81	398.47
54	400.00	396.55
55	394.12	396.05

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howarth H. Taylor 6/1/04
Director Date

Conita Harvath 5/25/04
Chief, Division of Land Development Date

William J. ... 5/26/04
Chief, Development Engineering Division Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-585-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
5-5-04	rev. grading on Lot 40		
5-10-04	rev. garage & dimension on Lots 1 & 2		
1-24-04	Rev. FFE on Lots 50-51		
1-2-04	Rev. FFE on Lot 40		
1-17-03	Update house footprints on Lot 48-52; add privacy fence for McMH house model		
8-21-04	Resite Lot #1		

PREPARED FOR:

BUILDER/LOT OWNER:
MILLER AND SMITH OF MAPLE LAWN, L.L.C.
8401 GREENSBORO DRIVE, SUITE 300
ROCKVILLE, VIRGINIA 22102
PH: (301) 821-2500
OTL: COLLEEN DWELLY

BUILDER/LOT OWNER:
MLF MAPLE LAWN L.L.C.
1656 E. GIDE DRIVE
ROCKVILLE, MARYLAND 20850
PH: (301) 782-5511
OTL: JOHN CORGAN

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 1: LOT Nos. 147, 22-35, and 40-55
(NEW SFD RESIDENTIAL DWELLINGS)
PLAT No. 16065 - 16092

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE: 1" = 20'

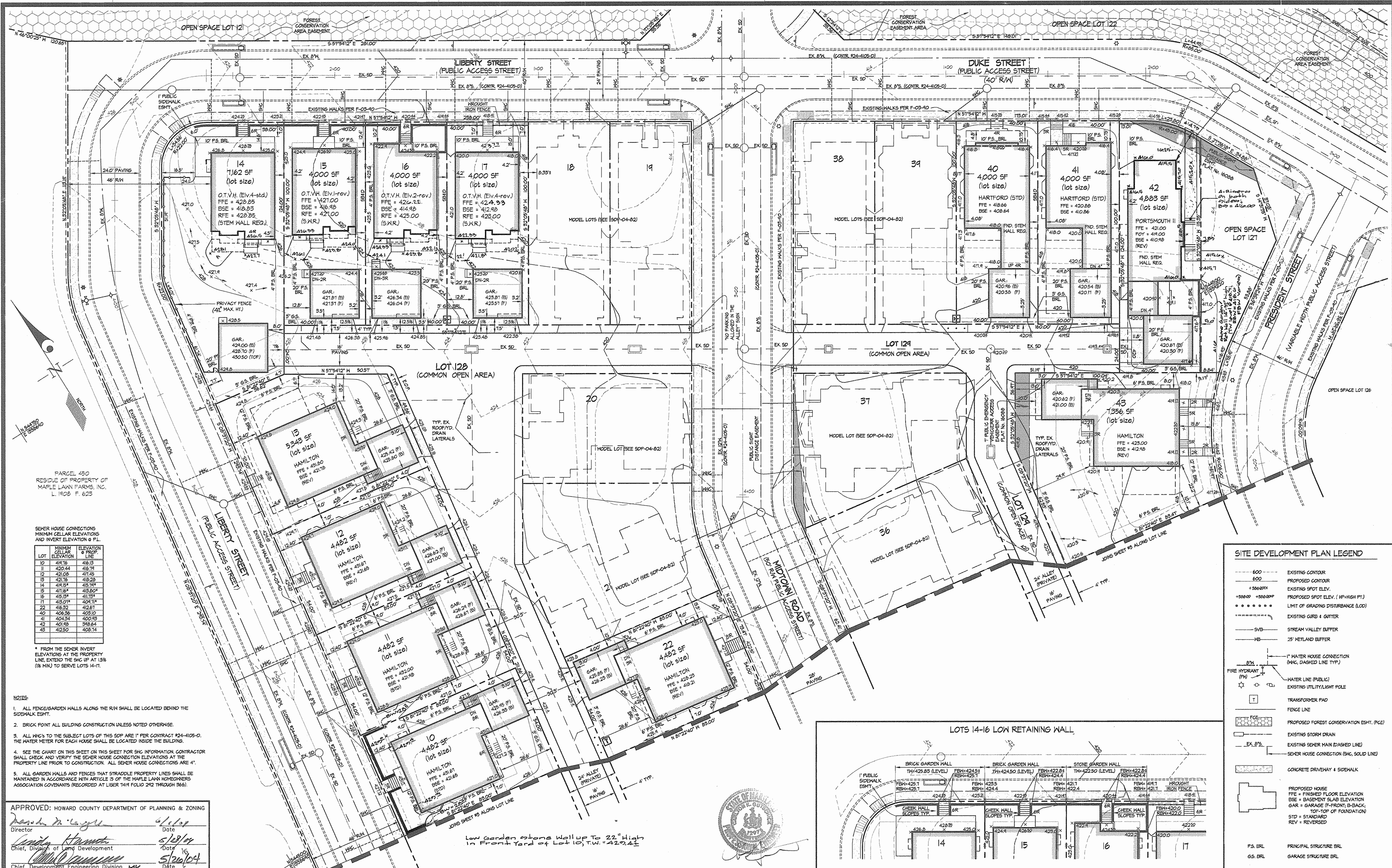
ZONING: MXD-3

G. L. W. FILE No. 03-013

DATE: 30/APRIL/04

TAX MAP - GRID: 41

SHEET: 4 OF 11



SEWER HOUSE CONNECTIONS
MINIMUM CELLAR ELEVATIONS
AND INVERT ELEVATION @ P.L.

LOT	MINIMUM CELLAR ELEVATION	ELEVATION @ P.L.
10	418.76	416.15
11	422.44	416.78
12	421.08	417.45
13	421.76	418.25
14	418.58	415.94
15	417.81	415.24
16	415.13	411.78
17	419.07	404.77
22	415.32	421.67
40	406.36	403.10
41	404.34	400.93
42	401.98	395.64
43	412.32	428.74

* FROM THE SEWER INVERT ELEVATIONS AT THE PROPERTY LINE, EXTEND THE SHC UP AT 15% (8% MIN) TO SERVE LOTS 14-17.

- NOTES:
1. ALL FENCE/GARDEN WALLS ALONG THE R/W SHALL BE LOCATED BEHIND THE SIDEWALK ESMT.
 2. BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 3. ALL HIC'S TO THE SUBJECT LOTS OF THIS SDP ARE 1" PER CONTRACT #24-4105-D. THE WATER METER FOR EACH HOUSE SHALL BE LOCATED INSIDE THE BUILDING.
 4. SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE CONNECTION ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION. ALL SEWER HOUSE CONNECTIONS ARE 4".
 5. ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 7414 FOLD 242 THROUGH 369).

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director _____ Date: 5/18/04
Chief, Division of Land Development _____ Date: 5/28/04
Chief, Development Engineering Division _____ Date: 5/26/04

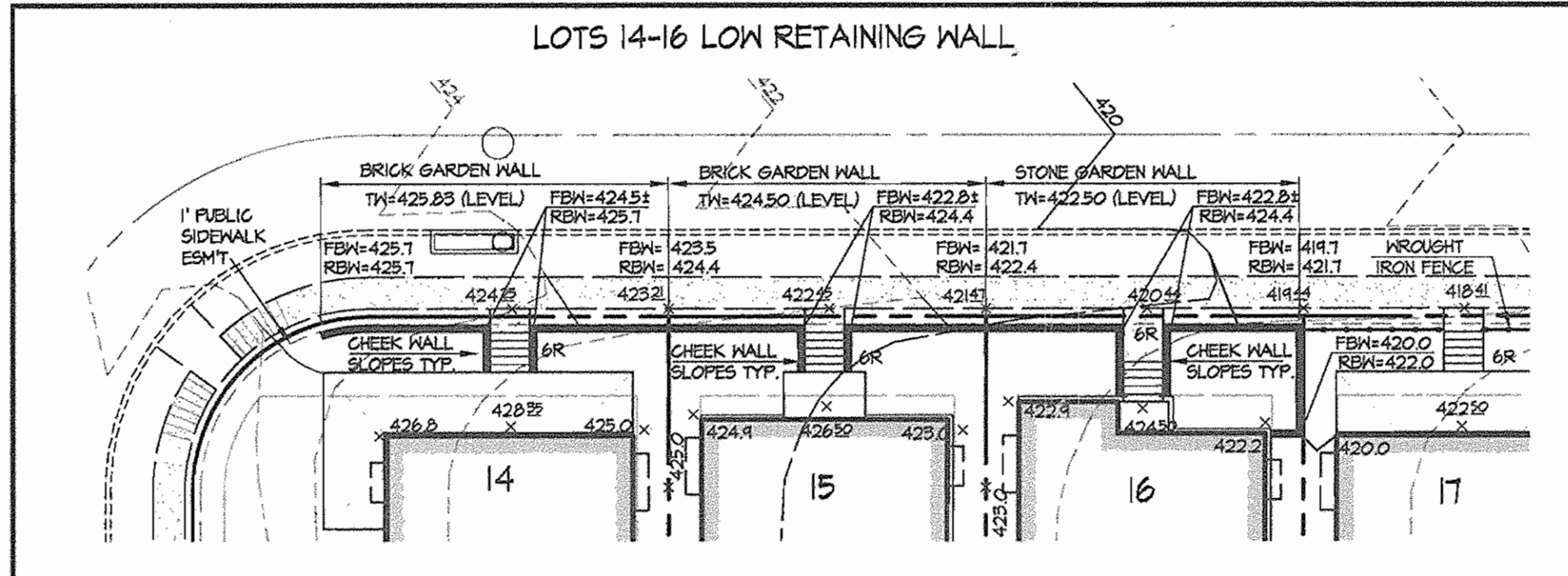
GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-369-1920 DC/VA 301-369-2524 FAX 301-421-4186

DATE	REVISION	BY	APP'R.
3-10-04	Rev. FFE on lot 10		
11-18-03	Add Low Garden Stone Wall in the Front Yard of Lot 10	Wad	
10-25-03	Rev. FFE For House on Lot 17		
1-17-05	Update house footprint on Lots 14 & 42, rev. fence location on Lot 14	Wad	

PREPARED FOR:

BUILDER/LOT OWNER:
 MILLER AND SMITH OF MAPLE LAWN, L.L.C.
 8401 GRENSBORO DRIVE, SUITE 300
 WALEN, VIRGINIA 22102
 PH: (703) 821-2500
 otn: COLLEEN DWELLEY

BUILDER/LOT OWNER:
 MB MAPLE LAWN L.L.C.
 1806 E. GIDE DRIVE
 ROCKVILLE, MARYLAND 20850
 otn: JOHN CORGAN

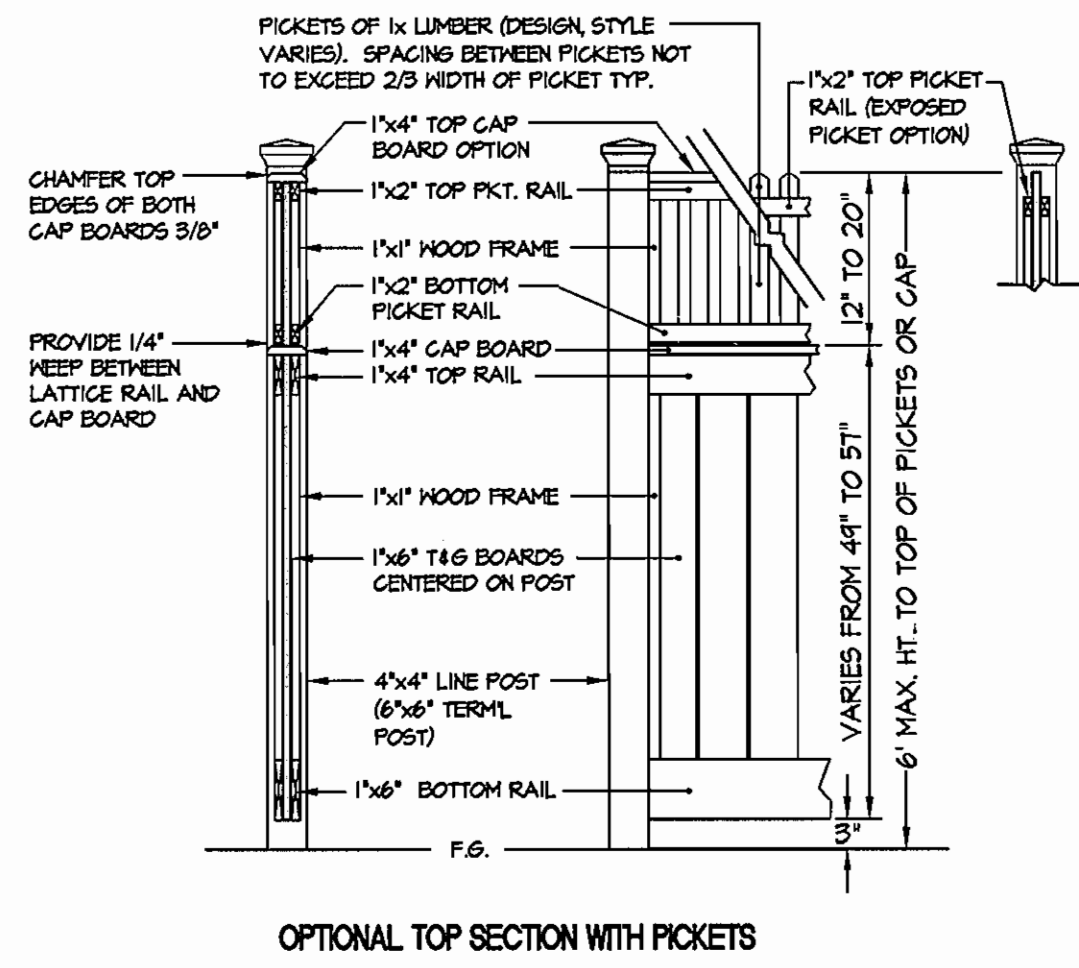
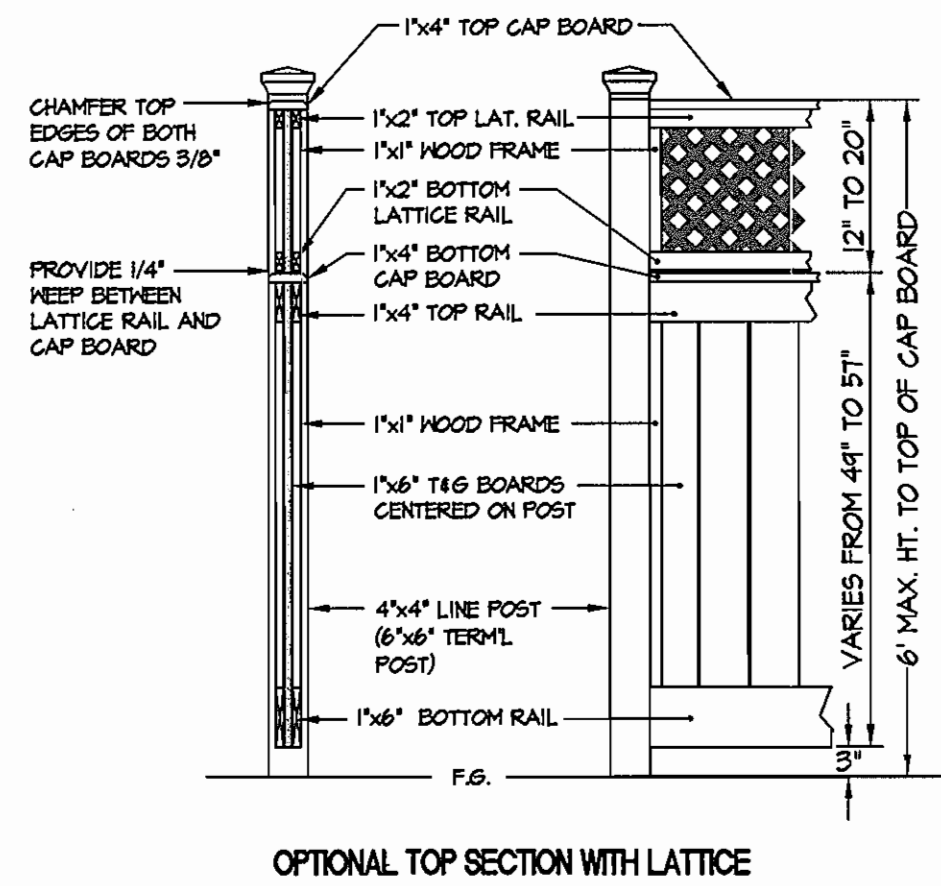
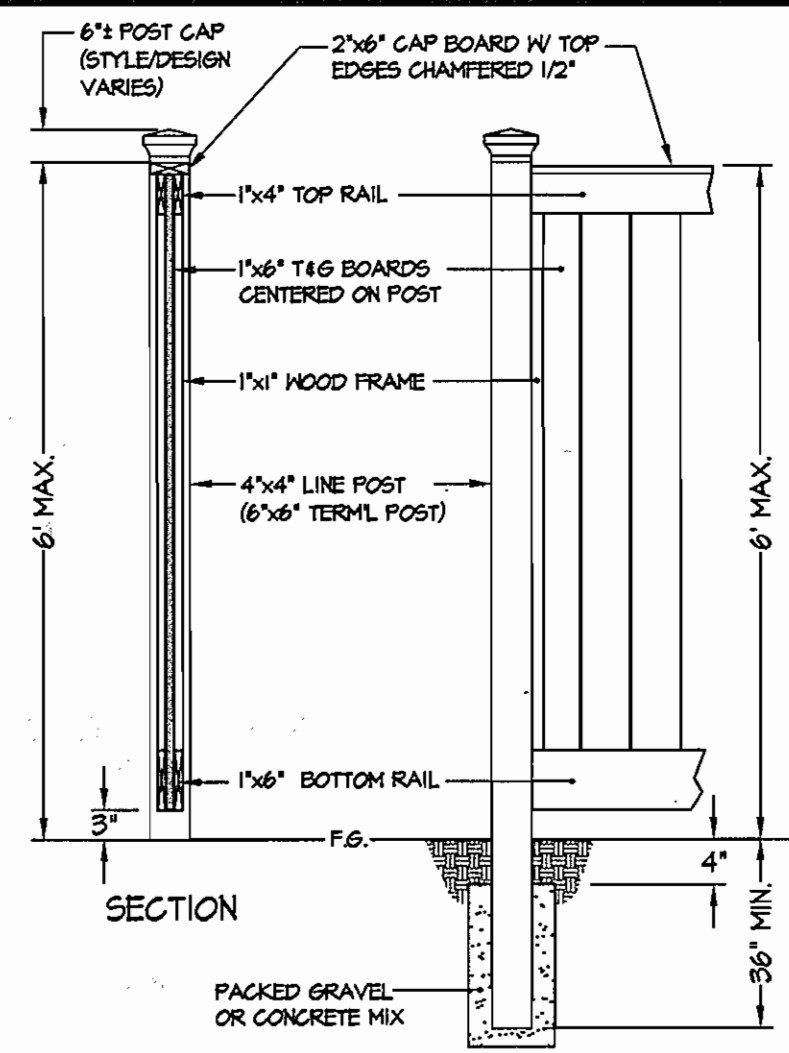


SITE DEVELOPMENT PLAN LEGEND

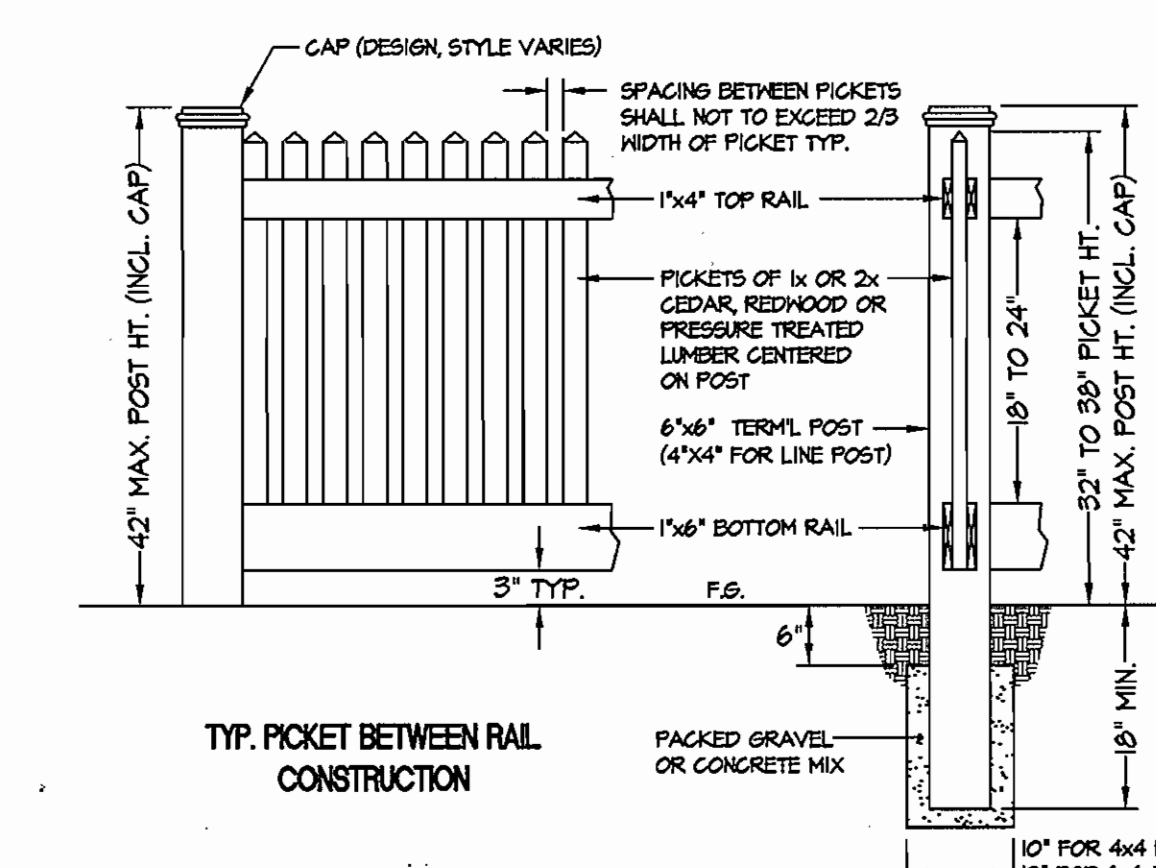
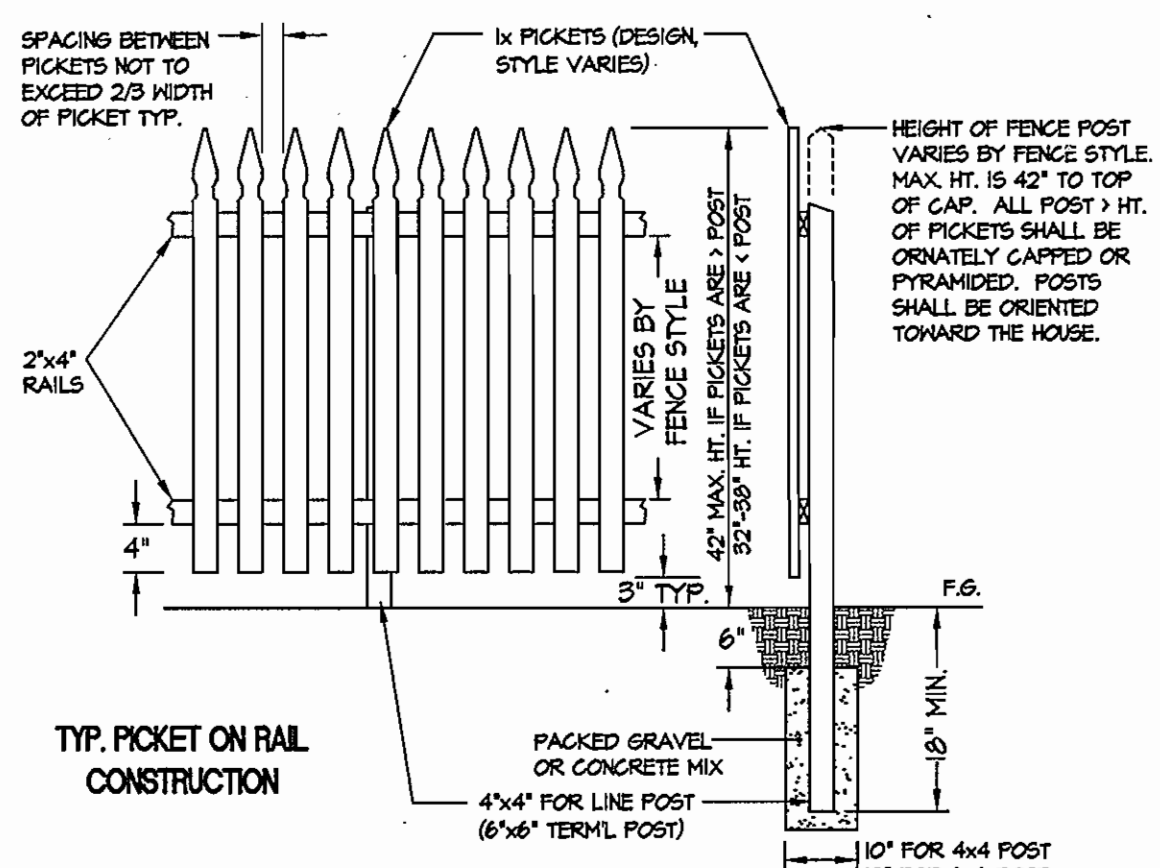
- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- 3000 --- EXISTING SPOT ELEV.
- 3000 --- PROPOSED SPOT ELEV. (HP+HIGH PT)
- 3000 --- LIMIT OF GRADING DISTURBANCE (LOD)
- --- EXISTING GUTTER & GUTTER
- --- STREAM VALLEY BUFFER
- --- 25' WETLAND BUFFER
- --- 1" WATER HOUSE CONNECTION (W.H.C., DASHED LINE TYP.)
- --- FIRE HYDRANT (FH)
- --- WATER LINE (PUBLIC)
- --- EXISTING UTILITY/LIGHT POLE
- --- TRANSFORMER PAD
- --- FENCE LINE
- --- PROPOSED FOREST CONSERVATION ESMT. (FCE)
- --- EXISTING STORM DRAIN
- --- EXISTING SEWER MAIN (DASHED LINE)
- --- SEWER HOUSE CONNECTION (SHC, SOLID LINE)
- --- CONCRETE DRIVEWAY & SIDEWALK
- --- PROPOSED HOUSE FFE = FINISHED FLOOR ELEVATION
- --- BSE = BASEMENT SLAB ELEVATION
- --- GAR = GARAGE (F-FRONT, B-BACK, T-TOP-OF FOUNDATION)
- --- STD = STANDARD REV = REVERSED
- --- P.S. BRL = PRINCIPAL STRUCTURE BRL
- --- G.S. BRL = GARAGE STRUCTURE BRL

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA I: LOT Nos. 14, 22-35, and 40-55
 (NEW SFD RESIDENTIAL DWELLINGS)
 PLAT No. 16085 - 16092

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	2 OF 11

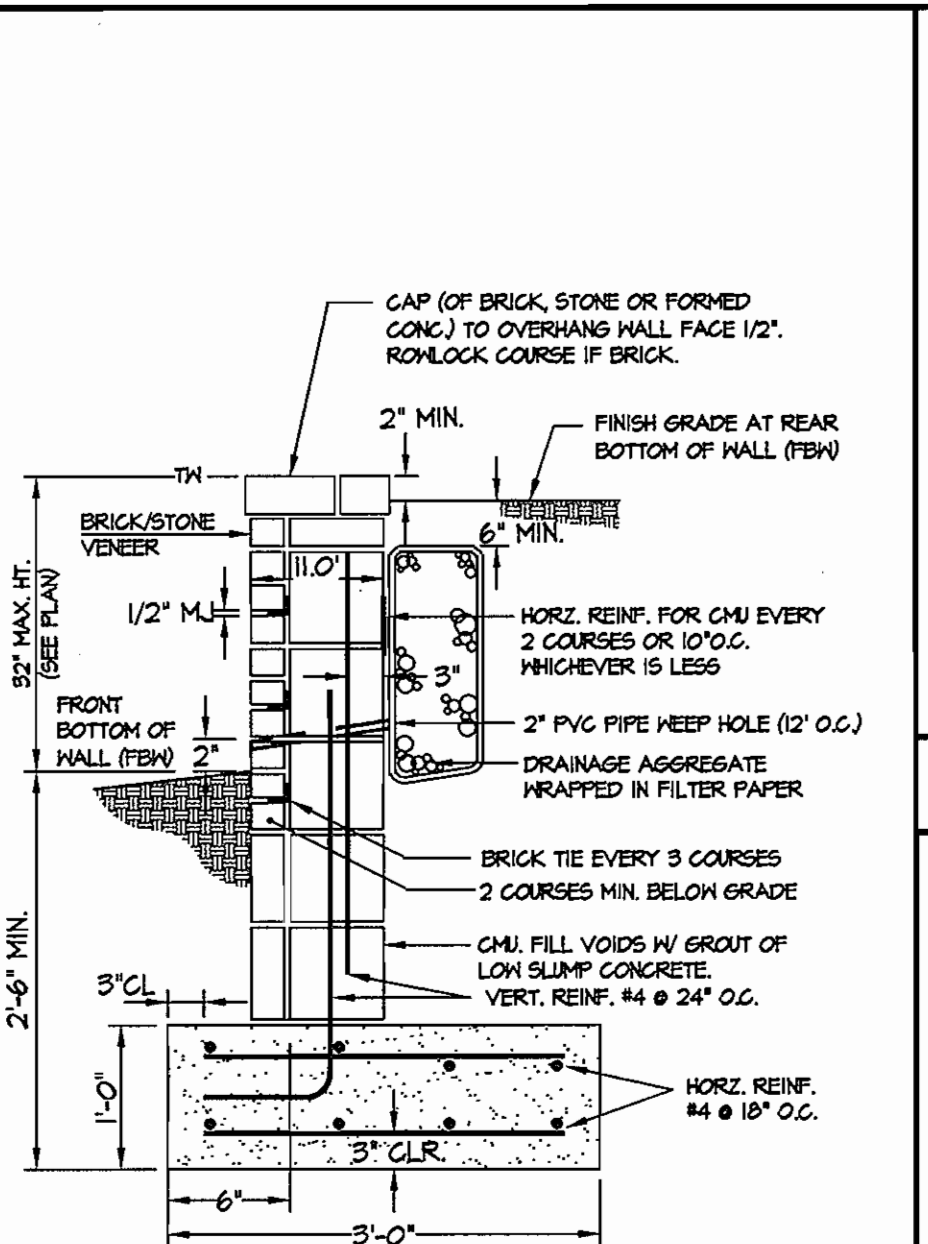


- NOTES:**
1. ALL FENCE/GARDEN WALLS ALONG THE R/W SHALL BE LOCATED BEHIND THE SIDEWALK ESMT.
 2. ALL FENCES (AND GARDEN WALLS) THAT STRADDLE PROPERTY LINES SHALL BE PRIVATELY MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AS LIBER 7441 FOLD 242 THROUGH 266).
 3. SEE LOT DEVELOPMENT DATA ITEM 4.D. ON SHEET 1 REGARDING HEIGHT LIMITATIONS FOR FENCES, GARDEN WALLS AND SIMILAR FEATURES.
 4. THE PICKET FENCE STYLE SHOWN ON THESE DETAILS IS A SAMPLE REPRESENTATIVE ONLY. REFER TO THE MAPLE LAWN DESIGN GUIDELINES (SECTION 4, PAGES 16-18) FOR OTHER FENCE AND PICKET STYLES FOR M.L.F.
 5. FENCES SHALL BE MADE OF CEDAR, REDWOOD, PRESURE TREATED LUMBER OR SOLID PVC. ALL STEEL HARDWARE AND FASTENERS SHALL BE GALVANIZED. ALL FENCE FINISHES SHALL BE APPROVED AND ACCEPTED BY THE MAPLE LAWN FARMS DESIGN REVIEW COMMITTEE (DR.C).
 6. FENCE POSTS SHALL BE SPACED EVENLY WITH A 6' SPACING BETWEEN POSTS. TERMINAL POSTS (AT CORNER, ENDS, ETC.) SHALL BE WIDER AND TALLER IN PROPORTION THAN LINE POSTS.
 7. THE HEIGHT OF A PICKET FENCE REFERS TO THE HEIGHT OF PICKETS AND NOT THE POSTS.
 8. FENCES ON NEIGHBORING LOTS SHALL BE OF DIFFERENT DESIGN/STYLE.
 9. MANUFACTURED VINYL FENCES MEETING THE HEIGHT LIMITATIONS SHOWN MAY BE USED IF THEY ARE APPROVED BY THE DR.C.



PRIVACY FENCE DETAILS

NO SCALE

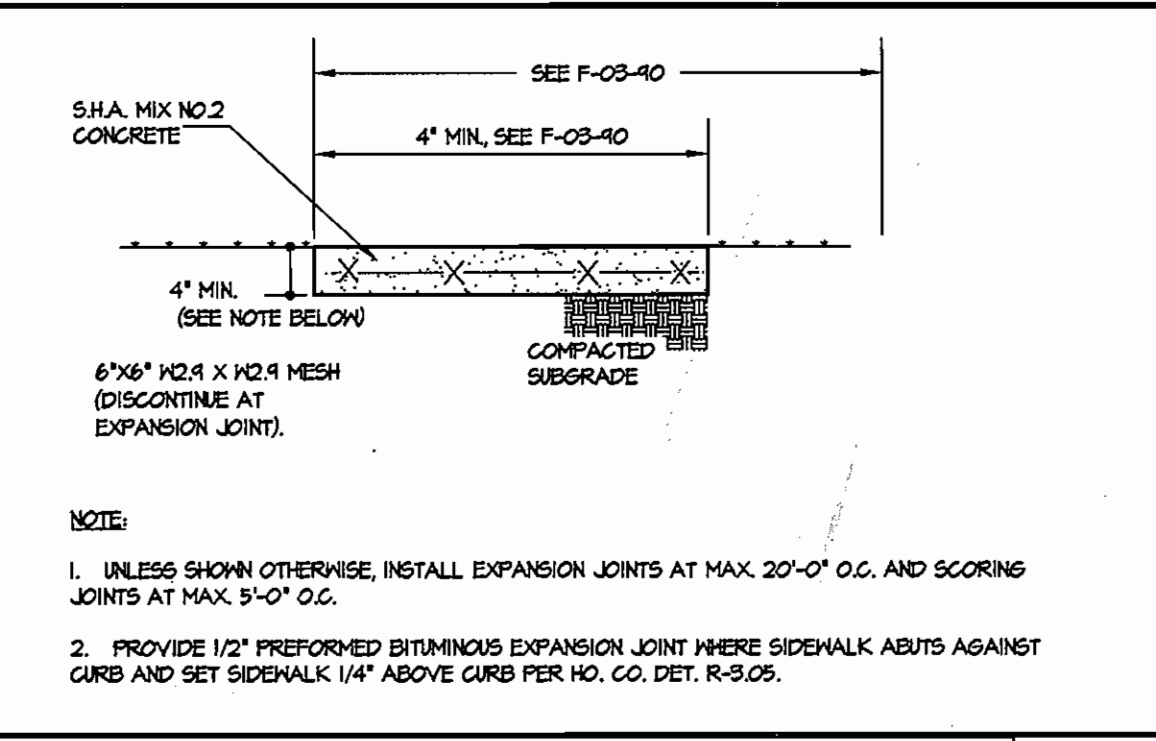


TYPICAL LOW GARDEN RETAINING WALL

NO SCALE

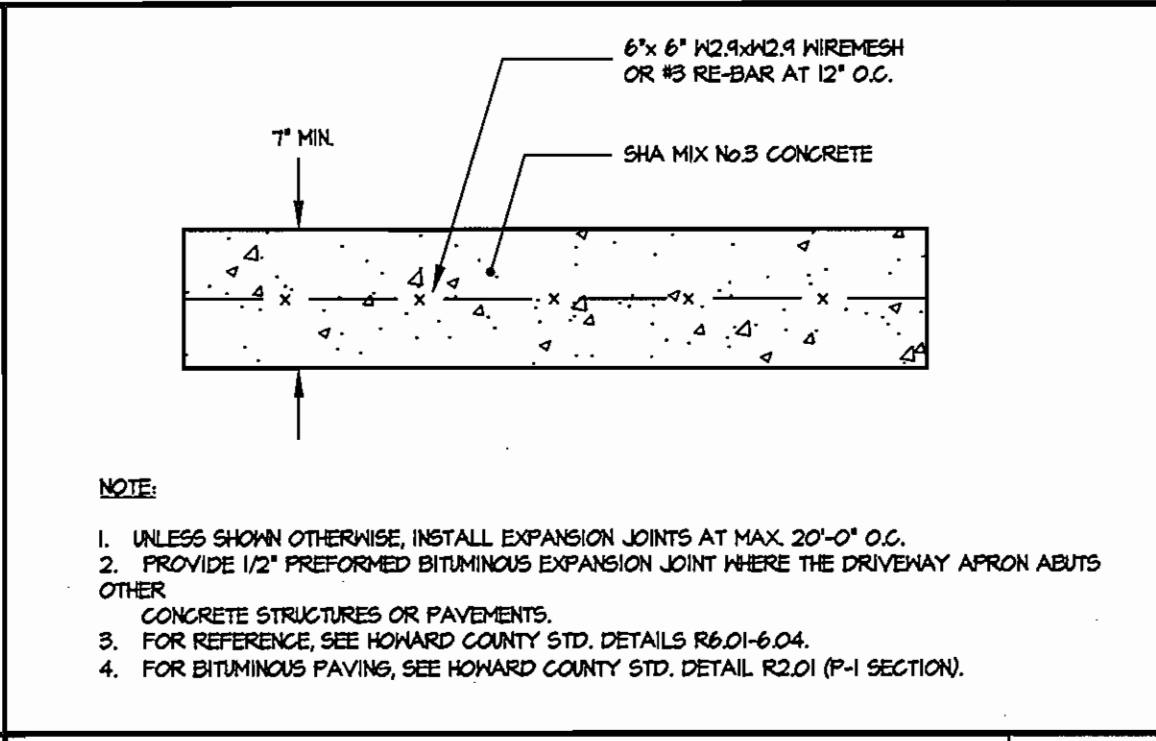
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark S. DeLayton* Date: 6/1/04
 Chief, Division of Land Development: *Cheryl Hancock* Date: 5/25/04
 Chief, Development Engineering Division: *Mike* Date: 5/26/04



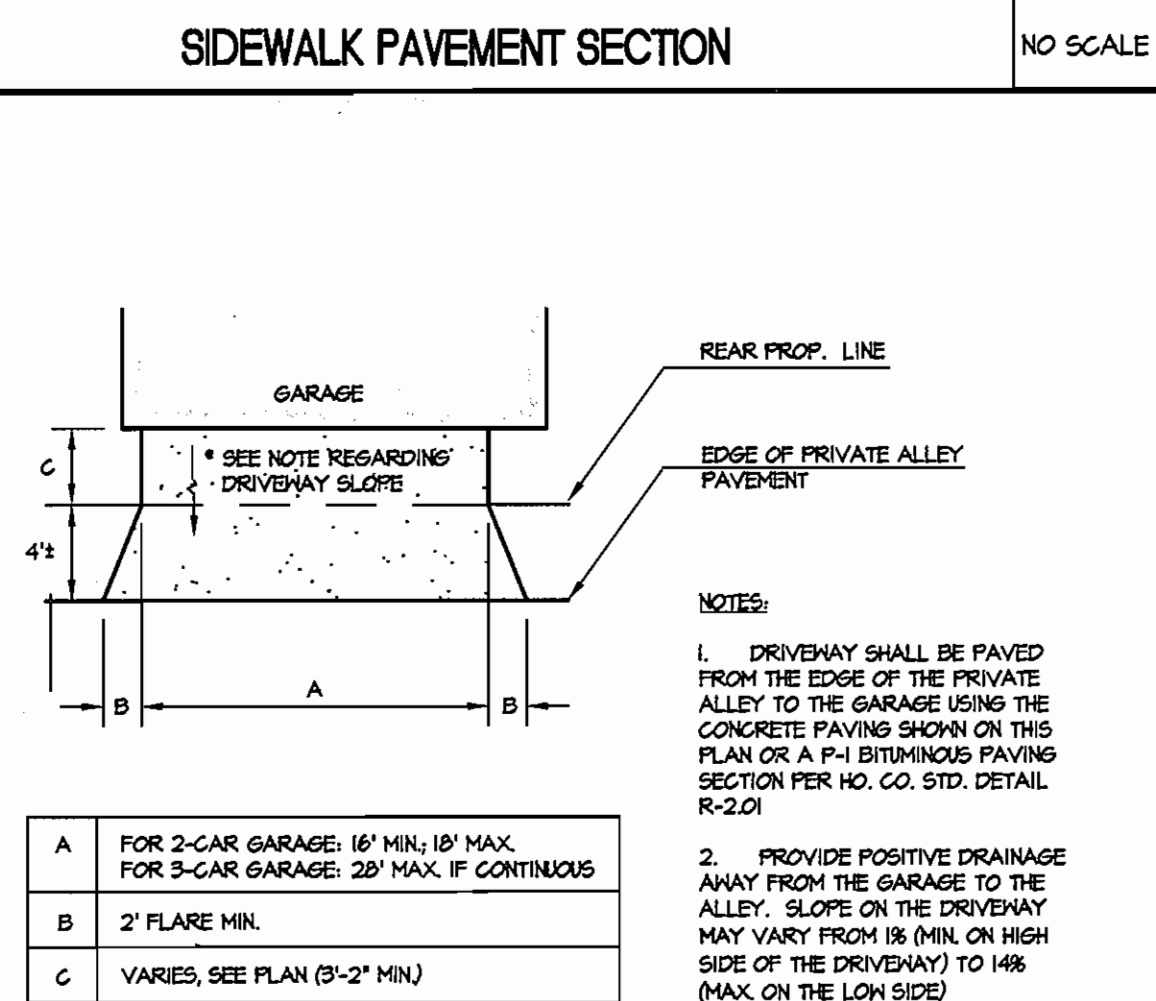
SIDEWALK PAVEMENT SECTION

NO SCALE



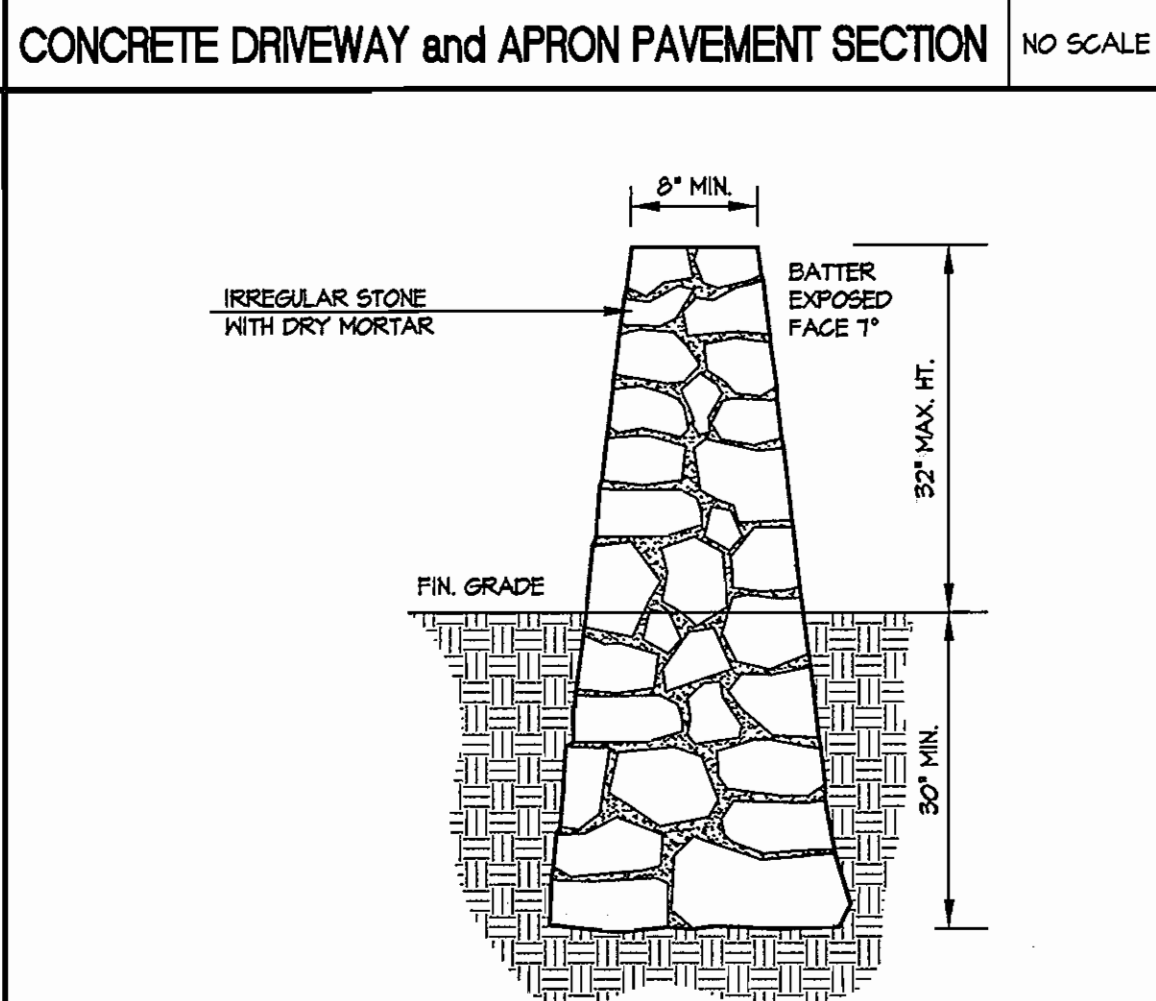
CONCRETE DRIVEWAY and APRON PAVEMENT SECTION

NO SCALE



PRIVATE DRIVEWAY and APRON DETAIL

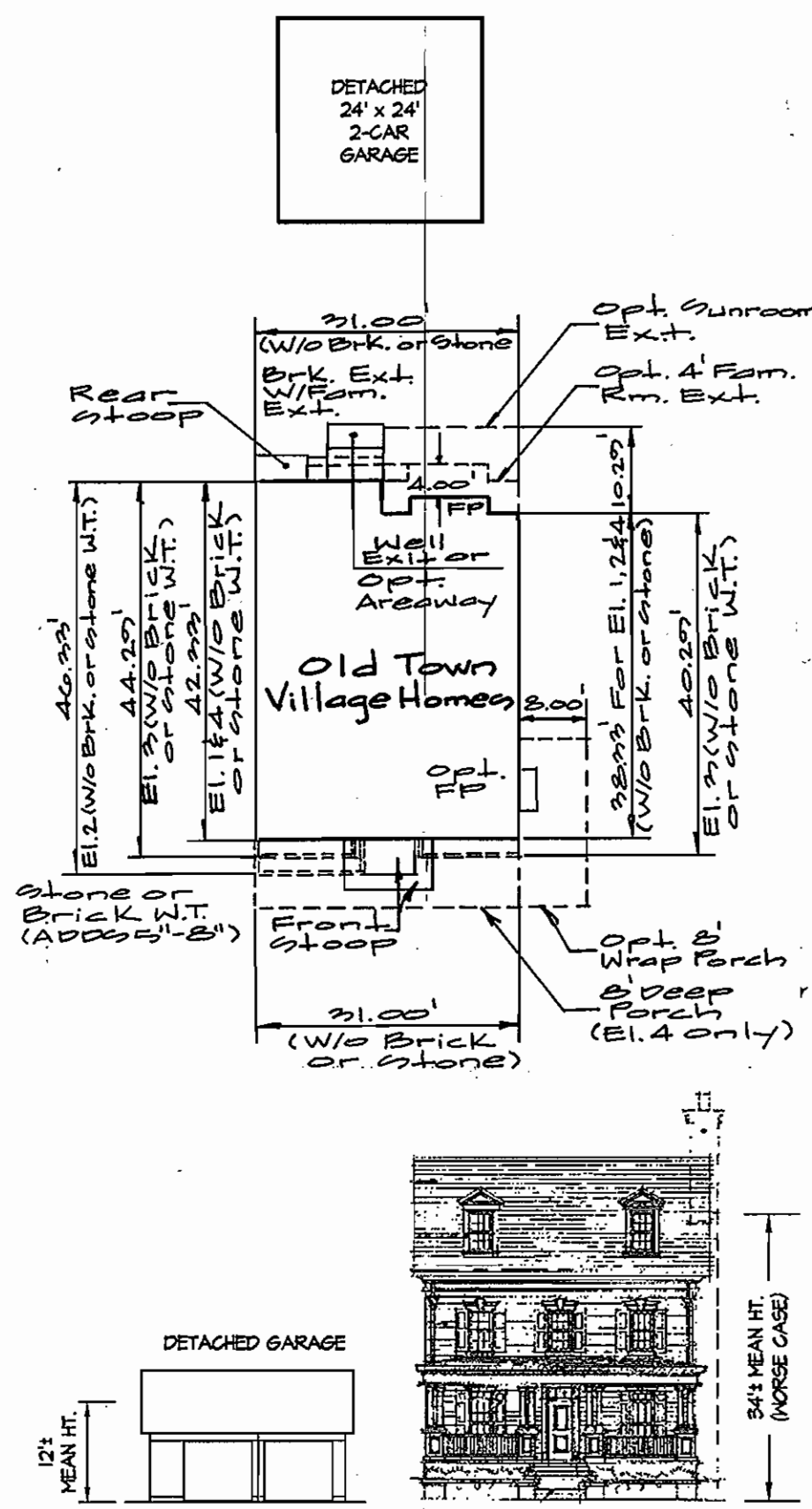
NO SCALE



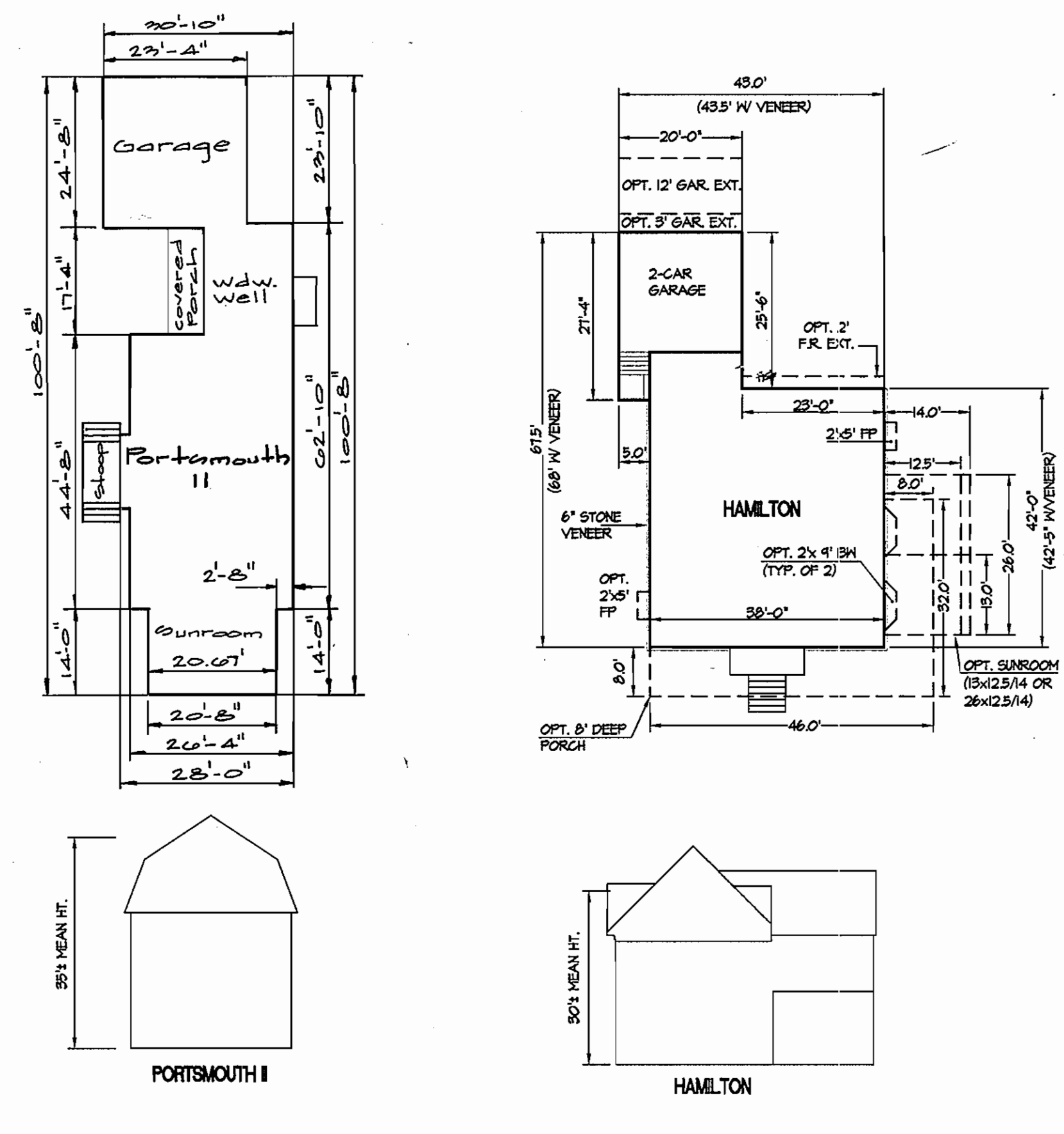
STONE GARDEN WALL

NO SCALE

HOMES by MILLER and SMITH



HOMES by MITCHELL and BEST



TYPICAL HOUSE FOOTPRINTS and ELEVATIONS

SCALE: 1" = 20'

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
2-16-04	Update Farmington Footprint		
5-17-05	Update house footprints: Portsmouth II, Old Town Village Homes & Masters Collection		

PREPARED FOR:
 BUILDER/LOT OWNER: MILLER and SMITH of MAPLE LAWN, LLC
 8401 GREENSBORO DRIVE, SUITE 300
 WOEAN, VIRGINIA 22102
 PH: (703) 824-2500
 attn: COLLEEN DWELLEY

BUILDER/LOT OWNER: MAPLE LAWN FARMS
 1686 E. GUIDE DRIVE
 ROCKVILLE, MARYLAND 20850
 PH: (301) 782-9511
 attn: JOHN COGAN

SITE DETAILS
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA I: LOT Nos. 1-17, 22-35, and 40-55
 (NEW SFD RESIDENTIAL DWELLINGS)
 PLAT No. 16085 - 16092

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03-013
DATE	TAX MAP - GRID	SHEET
30/APRIL/04	41	11 OF 11