

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SITE DEVELOPMENT PLAN
4	GRADING PLAN
5	GRADING PLAN
6	SITE DETAILS
7	STORM DRAIN PROFILES & UTILITY PROFILES
8	EROSION & SEDIMENT CONTROL PLAN
9	EROSION & SEDIMENT CONTROL PLAN
10	EROSION & SEDIMENT CONTROL DETAILS
11	WALL & DECK ELEVATIONS
12	PLANTING PLAN
13	PLANTING PLAN

ADDRESS CHART

LOT/ PARCEL	STREET ADDRESS
47	10300 LITTLE PATUXENT PARKWAY

LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE
- STATE WETLAND BUFFER
- 50' STREAM BUFFER
- 6" REV. COMB. C&G
- 6" EX. CONTOUR
- EX. WATER
- EX. SANITARY SEWER
- EX. STORM DRAIN
- EX. GAS
- EX. EDGE OF ROAD
- PROP. UTILITIES
- 6" STANDARD COMB. C&G
- 6" REV. COMB. C&G
- CONC. LIGHT POLE ISLAND
- CONCRETE

GENERAL NOTES

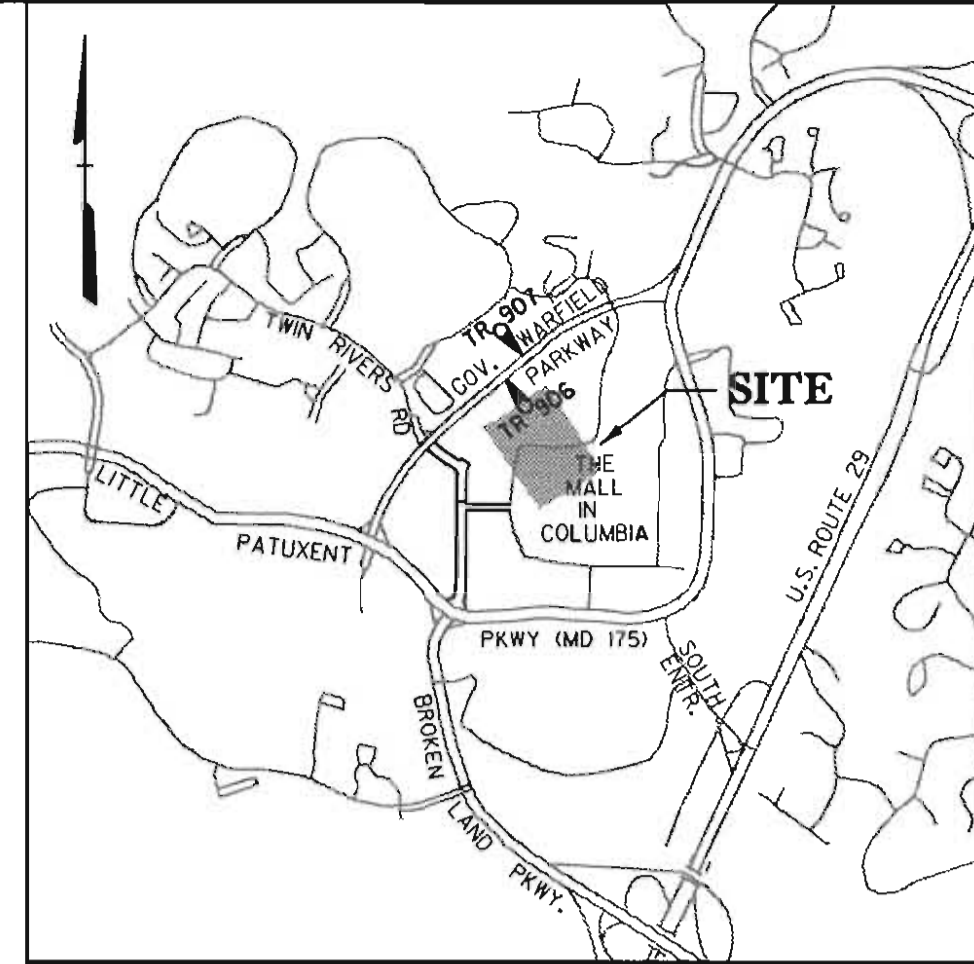
- The subject property is zoned N.T. per FDP Phase 47-A-VI.
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications, if applicable.
- The contractor shall notify the Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to the face of curb unless otherwise noted.
- Topography was field run surveyed by Daff-McCune-Walker, Inc. in July 1995, and Fisher, Collins & Carter, Inc. in 1994. Expanded Per SDP 97-107, SDP 97-158 & SDP 99-116.
- Coordinates and bearings shown hereon are referred to the Maryland Coordinate system (NAD 27) as projected from the following 'Whitman, Reardon' & Assoc.' traverse stations:
TR 101 N 503690.8580 E 83902.2760
TR 102 N 503690.7010 E 83934.2860
- Stormwater management is provided on-site by an underground detention facility for quantity, per SDP 97-107. Quality control provided by stormceptors, per SDP 97-107.
- Stormwater management facilities are privately maintained.
- No wetlands exist within the limits of disturbance.
- The existing utilities were located from available records and field survey prepared by Daff-McCune-Walker, Inc. The contractor must dig test pits, by hand, at all utility crossings and connection points at least 5 days prior to starting work to verify exact location.
- The Soils analysis was prepared by R. Balter Group & submitted with SDP-98-44.
- Handicap parking details shall be in accordance with the 'Maryland Building Code for the Handicapped', Section 5-04-105.
- Any damage to County owned right-of-way to be corrected at the contractor's expense.
- All sidewalks shall be cross sloped at 1/4 inch per foot.
- Trench bedding for storm drainage structures shall be in accordance with Howard County Standard 62.0.
- Department of Planning and Zoning reference file numbers:
FDP Ph. 47-A-VI, FDP Ph. 101A, FDP Phase 224A, SDP 80-04, F-97-19, F-97-153, F-97-155, F-97-159, S-96-09, SDP-97-107, SDP-97-158, SDP-98-44, WP 98-81, SDP 98-124, SDP 99-116, SDP-00-57, WP-03-034, S-04-105
- All inlets shall be constructed in accordance with Howard County standards or MSHA Standards as specified on the structure schedule.
- All materials and construction is to be in accordance with the Howard County Design Manual Volume IV.
- The building setback restrictions from the property lines and right-of-way lines of any public road shall be in accordance with FDP Phase 47-A-VI.
- All on-site driveways and parking areas to be privately maintained.
- All curb radii are five foot unless otherwise labeled.
- All equipment and tools shall be placed as not to interfere with vehicular or pedestrian movement unless specified.
- The contractor shall be responsible for any damage to existing property which may occur as a result of his negligence in the execution of the work.
- All paving areas indicated are private.
- All proposed handicap ramps shall be in accordance with the current A.D.A. Standards.
- Existing lights per SDP 97-107 & SDP 97-158 to be relocated as necessary. Outdoor lighting shall conform to Section 134 of the Zoning Regulations.
- There is no floodplain on this site.
- Public Water and Sewer is utilized for this site.
- This plan is exempt from Forest Conservation in accordance with Section 16-202 (b) (1) (iv).
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard Co. code & the Landscape Manual following the alternative compliance method. Note, no proposed trees are shown on the plan, all trees exist on site and are being transplanted. Financial surety for the required landscape trees in the amount of \$0 must be posted as part of the grading permit.

SITE ANALYSIS

- Zoning: New Town - Commercial (Per FDP Ph. 47-A-VI)
- Plat Reference: 16237-16239 Dated 10-7-03
- Phase V Area/Limit of Disturbance = 2.2 Ac.
- Proposed Use: Parking Deck Expansion (248 Spaces) & Surface Parking (85 Spaces).
- Area Tabulation

A. Total Project Area	62,339 Ac.
1. Lot 47	±2.2 Ac.
B. Area of Plan Submission	±2.2 Ac.
C. Building Area Proposed	N/A
D. Limit of Disturbance	2.6 Ac.
E. Impervious Area	±2.2 Ac.
F. Green Area	0.4 Ac.
- Parking Tabulation (Shored parking is permitted in accordance with zoning regulations section 133.E)

A. Parking Spaces Required (per parking study approved 1-6-2000)	
1. General Retail (46,554 SF @ 4.5/1000) = 5020 sp.	
2. Office Space (1700 SF @ 2/1000) = 4 sp.	
3. Restaurants (20,100 SF @ 14/1000) = 282 sp.	
4. Retail (46,750 SF @ 4.5/1000) = 211 sp.	
5. Cinema (2900 seat @ 1/4 seats) = 725 sp.	
6. Total = 6243 sp. (6,599 sp., 352 sp. excess)	
B. Parking Spaces Provided	
Existing Parking (incl. 113 HC)	6,273
Parking Deleted or Restr. per Phase V Construction	-11
Proposed Surface or Restriped Parking Phase V	89
Proposed New Deck Expansion	248
Total	6,599 (incl. 113 HC)
C. Handicap Spaces	
1. HC spaces required	76 HC
2. HC spaces prop.	113 HC
3. Excess	37 HC



LOCATION MAP

SCALE: 1" = 2000'
ELEVATIONS SHOWN HEREON ARE BASED ON THE FOLLOWING TRAVERSE STATIONS ESTABLISHED BY FISHER, COLLINS AND CARTER, INC.' (INCVD 29 VERTICAL DATUM)
TR 906 N 504280.630 E 838550.3680 ELEV. 381.500
TR 907 N 504400.6701 E 838647.7701 ELEV. 394.150

DATA SOURCES:

BOUNDARY PER RECORDS PLAT 1469, TOPO PER DAFT, McCUNE, WALKER, INC. SURVEY DATED NOVEMBER 2003.

April 14, 2004

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 6/2/04 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT JTB 6/15/04 DATE

DIRECTOR M. Wright 6/14/04 DATE

Revision Description

THE MALL IN COLUMBIA
PHASE V
COLUMBIA TOWN CENTER
SECTION 2 AREA 1
LOT 47
HOWARD COUNTY, MD

OWNER /DEVELOPER:
THE HOWARD RESEARCH & DEVELOPMENT CORP.
COLUMBIA MALL, INC.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DMW
Daff-McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax 296-4705
A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

SUBDIVISION NAME	COLUMBIA TOWN CTR.	SECTION AREA	21	LOT/PARCEL #	47
PLAT	16237-9	BLOCK #	30,36	TRACT	5TH
WATER CODE	16238-12	SEWER CODE		CROSS TRACT	6054

TITLE
**PHASE V
SITE DEVELOPMENT PLAN
COVER SHEET**

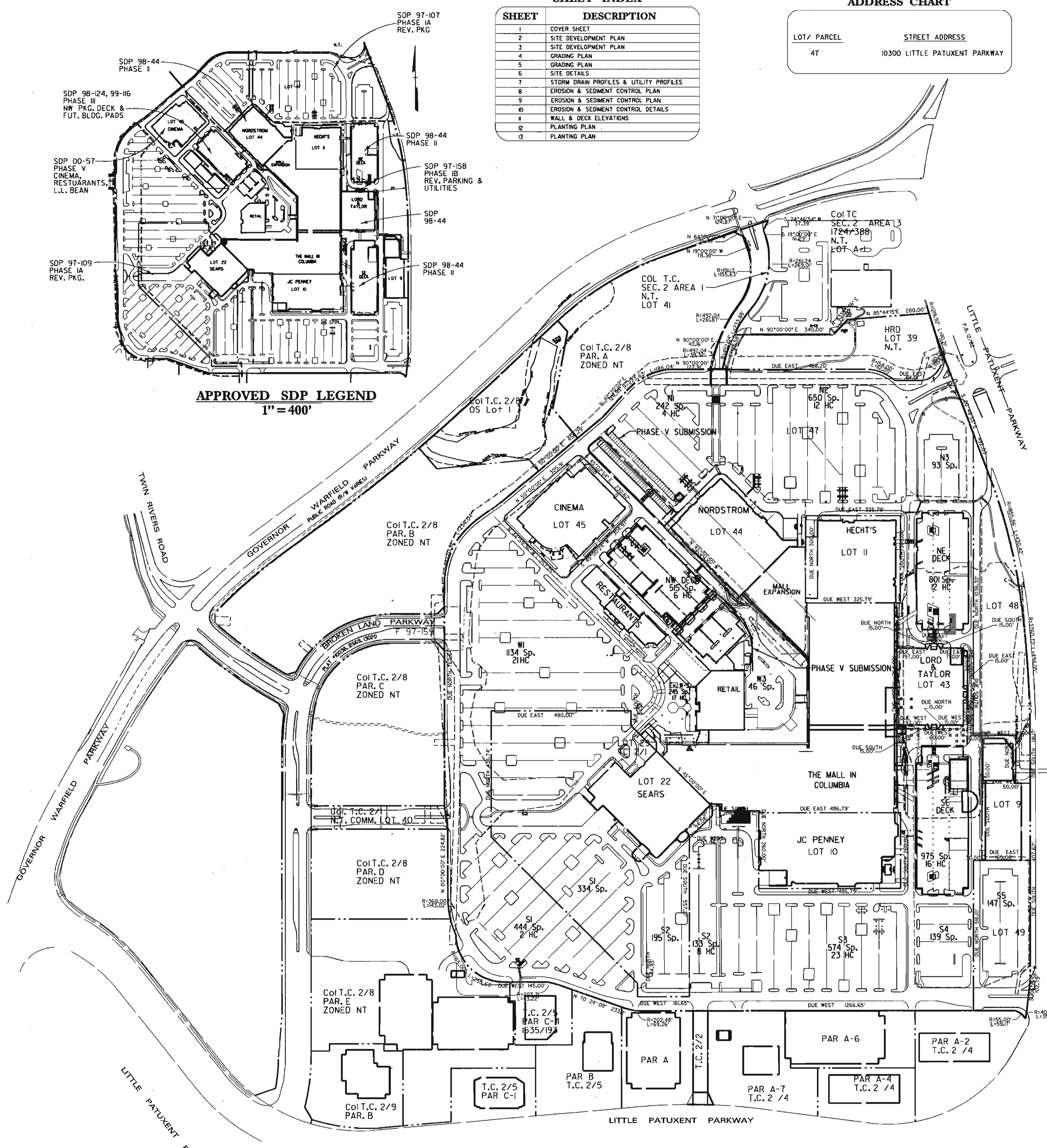
Des By MJP Scale AS SHOWN Proj. No. 9501935

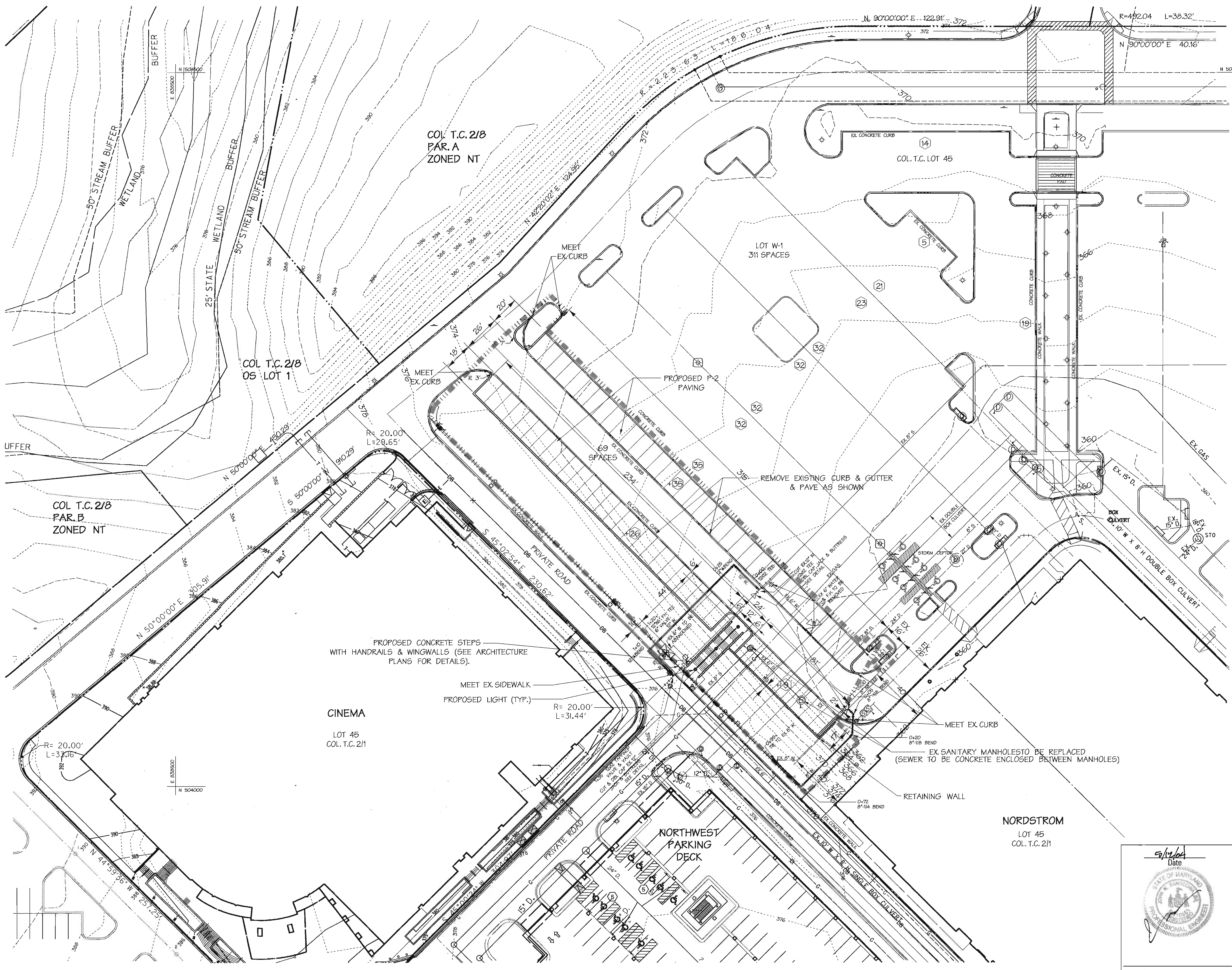
Drn By KDE, JSN Date 5-12-04

Chk By JWR Approved [Signature] 1 OF 13

Professional Engr. No. 10551
Date 5-11-05

VICINITY MAP
1" = 200'

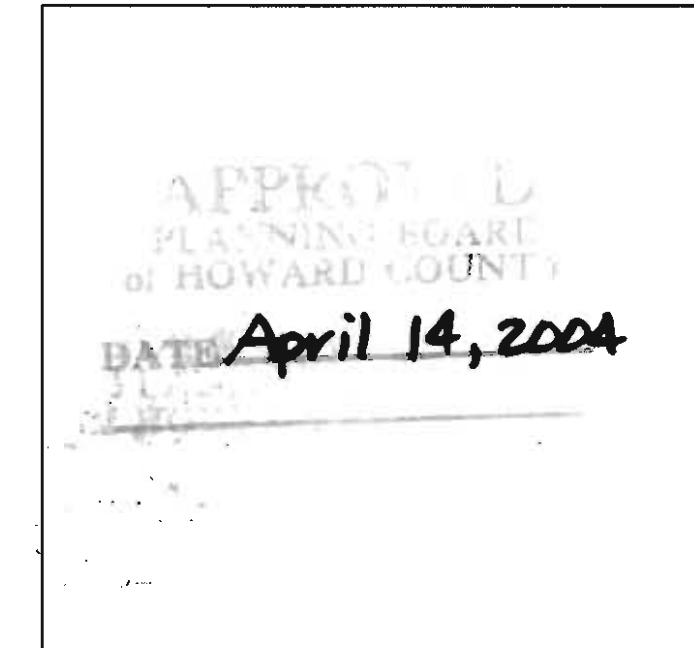




LEGEND

- EX. CONTOUR
- - - EX. WATER
- - - EX. SANITARY SEWER
- - - EX. STORM DRAIN
- - - EX. GAS
- - - EX. EDGE OF ROAD
- - - PROP. CONTOUR
- - - PROP. UTILITIES
- ▨ PAINTED ISLAND
- ▨ 6" STANDARD COMB. C&G
- ▨ 6" REV. COMB. C&G
- * PROPOSED LIGHT
- ▨ PROPOSED L.O.D.

DATA SOURCES:
 BOUNDARY PER RECORD PLAT 14169, TOPD PER DAFT, McCUNE, WALKER, INC. SURVEY DATED NOVEMBER 2003.



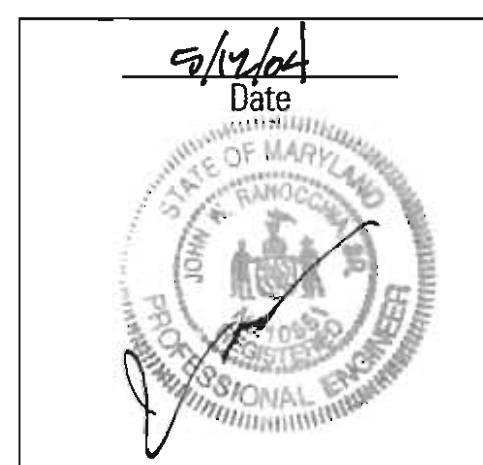
APPROVED:	HOWARD COUNTY DEPT. OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>[Signature]</i>	6/2/04 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	<i>[Signature]</i>	6/5/04 DATE
DIRECTOR	<i>[Signature]</i>	6/2/04 DATE

Date	No.	Revision Description
		THE MALL IN COLUMBIA PHASE V COLUMBIA TOWN CENTER SECTION 2 AREA 1 LOT 47 HOWARD COUNTY, MD

OWNER / DEVELOPER:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

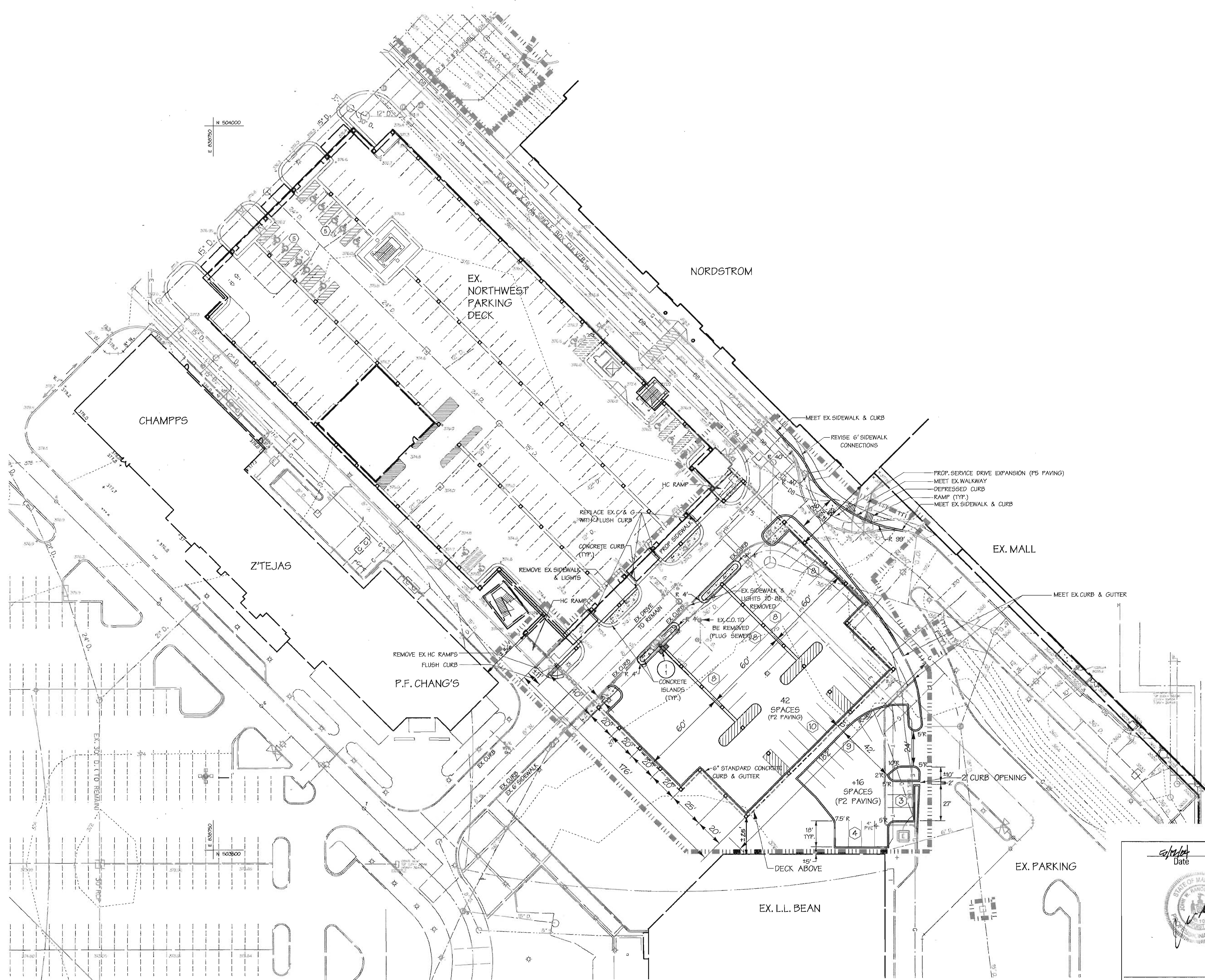
DMW
 Daft McCune-Walker, Inc.
 300 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3033
 Fax: 296-4705

A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals



Professional Engr. No. 10571

TITLE PARKING LOT W-1 SITE PLAN			
Des By	MJP	Scale	1" = 30'
Drn By	JSN	Date	5-12-04
Proj. No.	95019B5	2 OF 13	



LEGEND

- EX. CONTOUR
- - - - EX. WATER
- - - - EX. SANITARY SEWER
- - - - EX. STORM DRAIN
- - - - EX. GAS
- - - - EX. EDGE OF ROAD
- - - - PROP. CONTOUR
- - - - PROP. UTILITIES
- ▨ PAINTED ISLAND
- ▨ 6" STANDARD COMB. C&G
- ▨ 6" REV. COMB. C&G
- ▨ PROPOSED L.O.D.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
April 14, 2004

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Chief, Development Engineering Division *[Signature]* 6/2/04 DATE
 Chief, Division of Land Development *[Signature]* 6/5/04 DATE
 Director *[Signature]* 6/6/04 DATE

Date	No.	Revision Description
		THE MALL IN COLUMBIA PHASE V COLUMBIA TOWN CENTER SECTION 2 AREA 1 LOT 47 HOWARD COUNTY, MD

OWNER / DEVELOPER:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

[Signature]
Date

Professional Engr. No. 10955

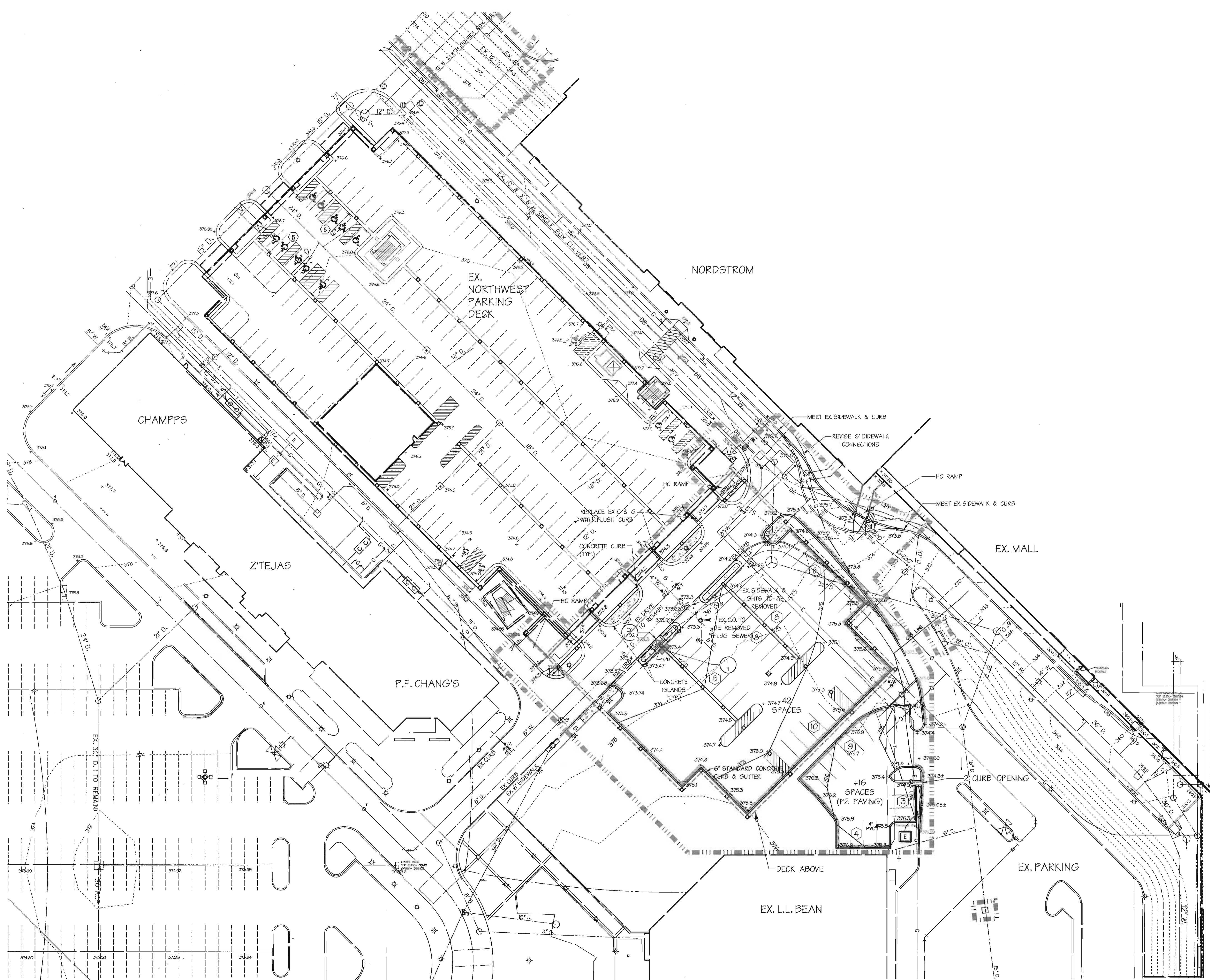


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 200 East Pennsylvania Avenue
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 (410) 296-3338
 Fax 296-4702

A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals

TITLE: NORTHWEST PARKING DECK
GROUND LEVEL - SITE PLAN

Des By	MJP	Scale	1" = 30'	Proj. No.	95019B5
Dwn By	JSN	Date	5-12-04		
Chk By		Approved	<i>[Signature]</i>		3 OF 13



- LEGEND**
- EX. CONTOUR
 - - - EX. WATER
 - - - EX. SANITARY SEWER
 - - - EX. SHED DRAIN
 - - - EX. GAS
 - - - EX. EDGE OF ROAD
 - - - EX. CONTOUR
 - - - EX. UTILITIES
 - ▨ PAINTED ISLAND
 - ▨ 6" STANDARD CONC. C&G
 - ▨ 6" REIN. CONC. C&G
 - ▨ PERFORATED CURB
 - ▨ PROPOSED L.O.D.

Date: 6/14/04

Professional Engr. No. 10591

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE April 14, 2004

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

William D. ... 6/2/04
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Andy ... 6/15/04
 CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

... 6/16/04
 DIRECTOR DATE

Date: No. Revision Description

**NORDSTROM PARKING DECK
 THE MALL IN COLUMBIA**
 SECTION 2 AREA 1 LOT 47
 HOWARD COUNTY, MD

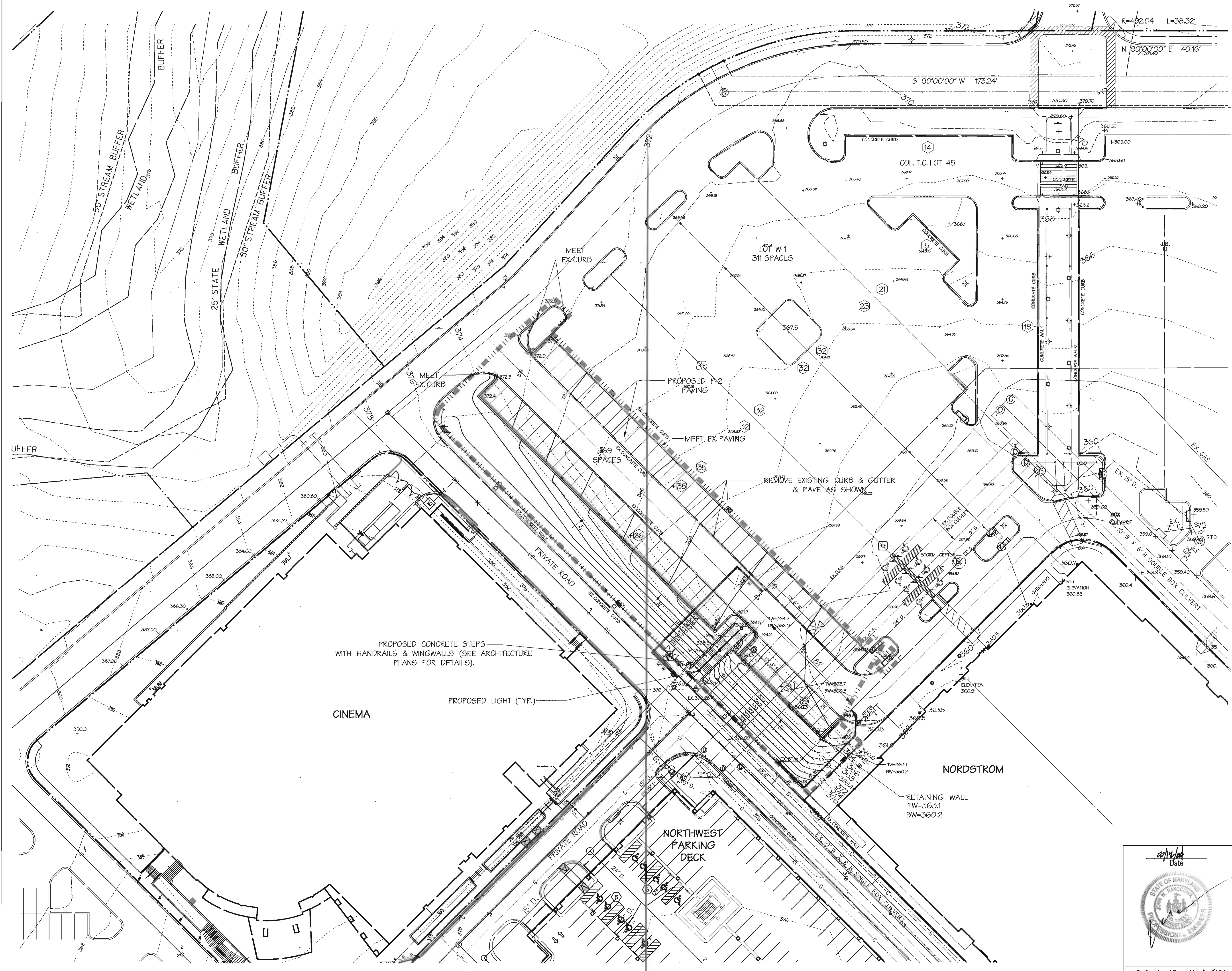
OWNER / DEVELOPER:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

DMW
 Darl McCune-Walker, Inc.
 204 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3833
 Fax: 296-4705

A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals

TITLE: **NORTHWEST PARKING DECK
 GROUND LEVEL - GRADING PLAN**

Des By: MJP Scale: 1" = 30' Proj. No. 95019B5
 Dwn By: JSN Date: 5-12-04
 Chk By: *mf* Approved: 5 OF 13



LEGEND

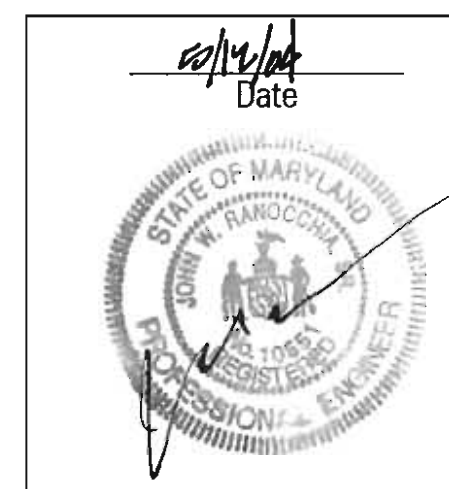
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- EX. WATER
- EX. SANITARY SEWER
- EX. STORM DRAIN
- EX. GAS
- EX. EDGE OF ROAD
- PROP. CONTOUR
- PROP. UTILITIES
- ▨ PAINTED ISLAND
- ▨ 6" STANDARD COMB. C&G
- ▨ 6" REV. COMB. C&G
- ▨ PROPOSED L.O.D.

DATA SOURCES:
 BOUNDARY PER RECORD PLAT 14169, TOPO PER DAFT, McCUNE, WALKER, INC. SURVEY DATED NOVEMBER 2003.

APPL. PLAN
 DATE **April 14, 2004**

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
John D. ... 6/2/04
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK 1 DATE
... .. 6/15/04
 CHIEF, DIVISION OF LAND DEVELOPMENT HB 1 DATE
... .. 6/15/04
 DIRECTOR DATE

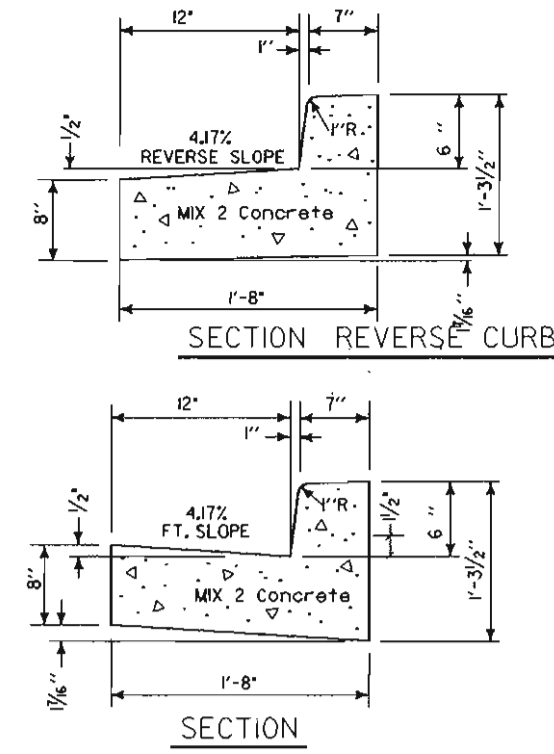
Date No. Revision Description
THE MALL IN COLUMBIA
 PHASE V
 COLUMBIA TOWN CENTER
 SECTION 2 AREA 1
 LOT 47
 HOWARD COUNTY, MD
 OWNER / DEVELOPER:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044



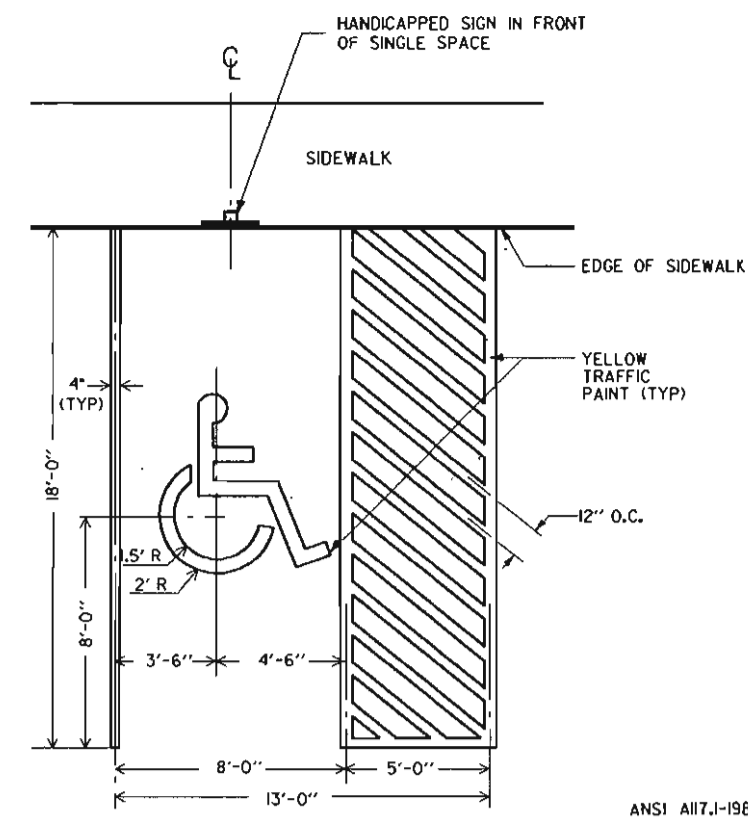
DMW
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 Towson, Maryland 21286
 (410) 296-8353
 Fax 296-4705
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

TITLE
PARKING LOT W-1 GRADING PLAN
 Des By MJP Scale 1" = 30' Proj. No. 9501955
 Dwn By JSN Date 5-12-04
 Chk By *mfj* Approved 4 OF 13

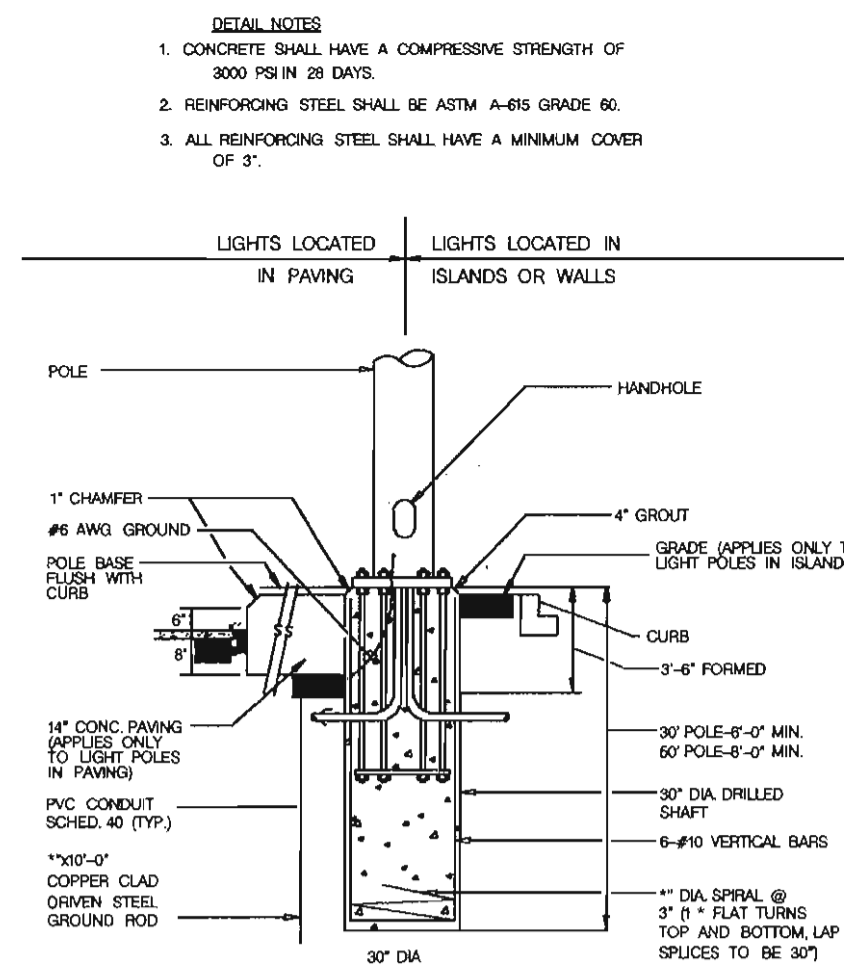
Professional Engr. No. 10991



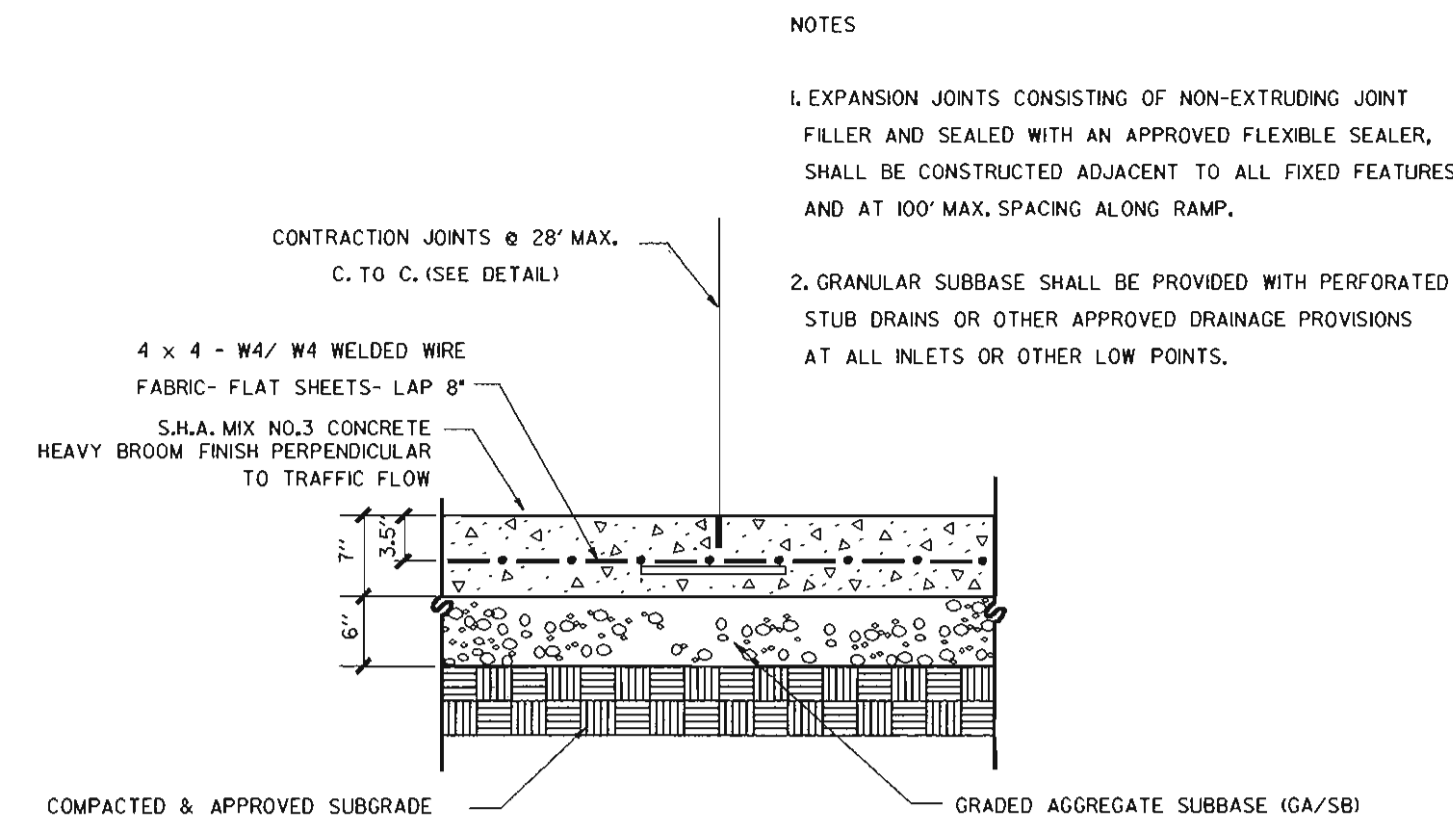
Concrete Curb & Gutter
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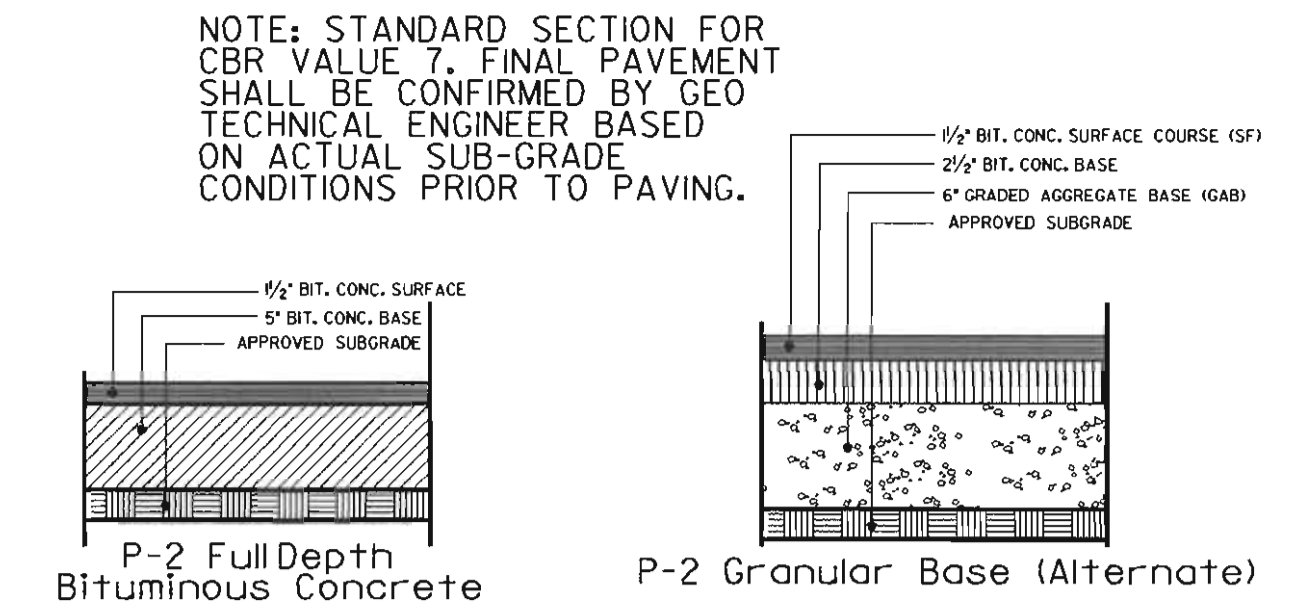
Handicapped Parking Space
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Pole Base Detail
Not To Scale

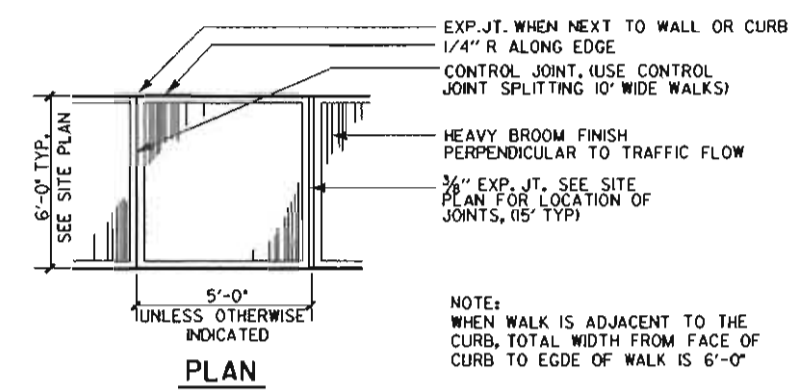


Ramp Loading Dock Concrete Paving
Not To Scale

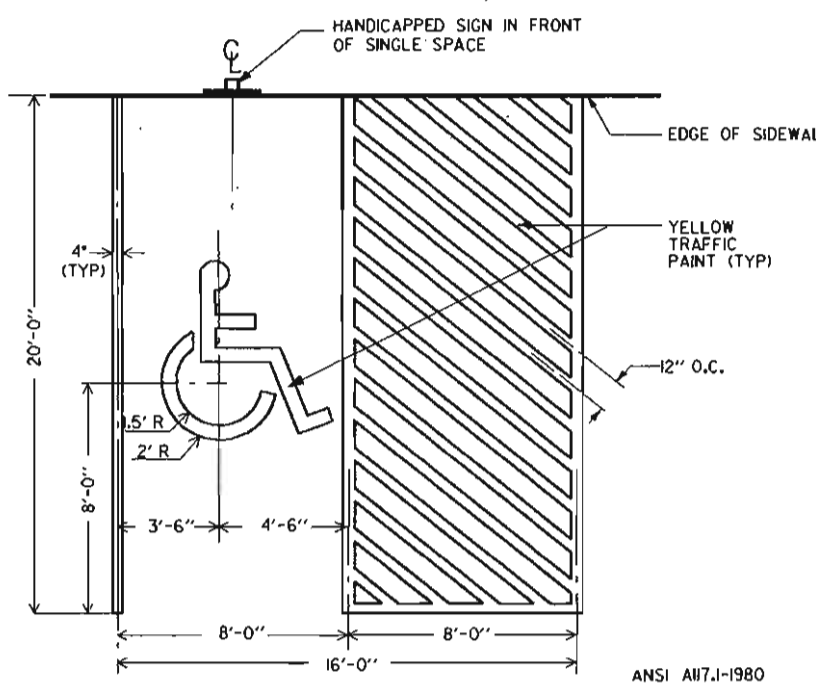


Typical Paving Section (P-2)
Not To Scale

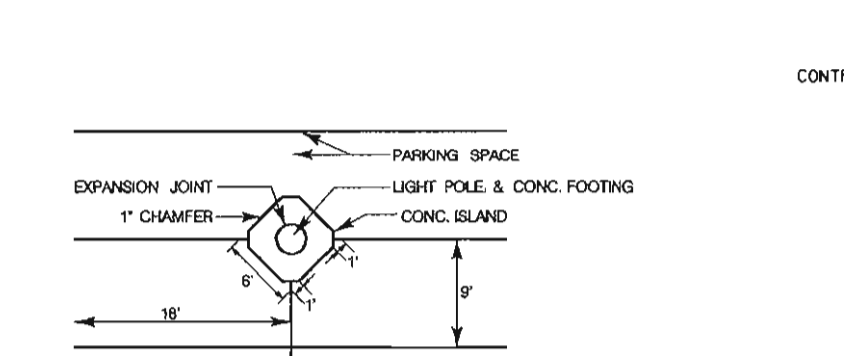
- NOTES:
- 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL 18" EXPANSION JOINTS TO BE KEPT 1/2" BELOW SURFACE OF SIDEWALK
 - CONCRETE TO BE MIX NO. 2
 - WHEN SIDEWALK ADJUTS CURB, WALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB
 - CONCRETE WALK WITHIN 6" OF BUILDING SHALL HAVE 6" OF #4 STONE OR APPROVED EQUAL AS A BASE COURSE



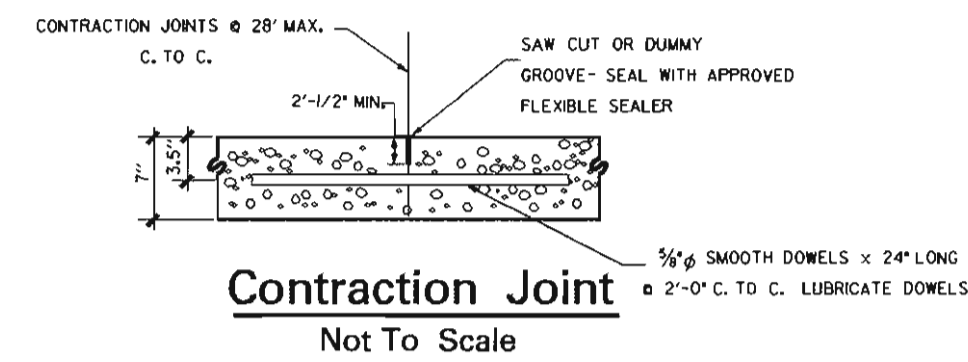
Concrete Walk
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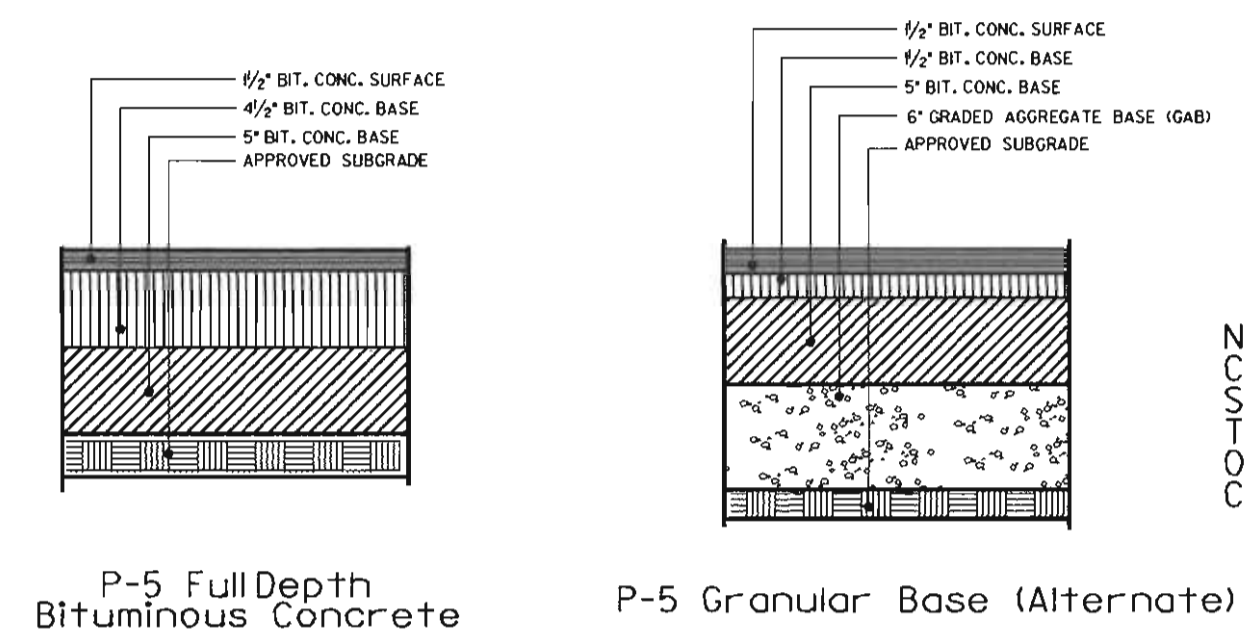
Handicapped Van Parking Space
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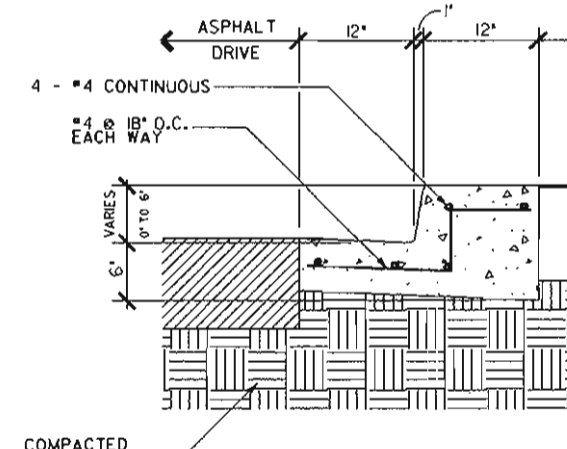
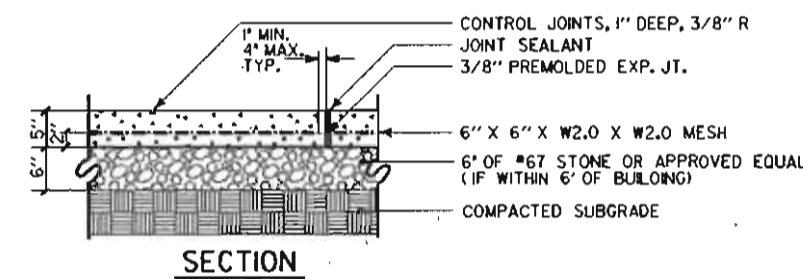
Pole Base Detail
Not To Scale



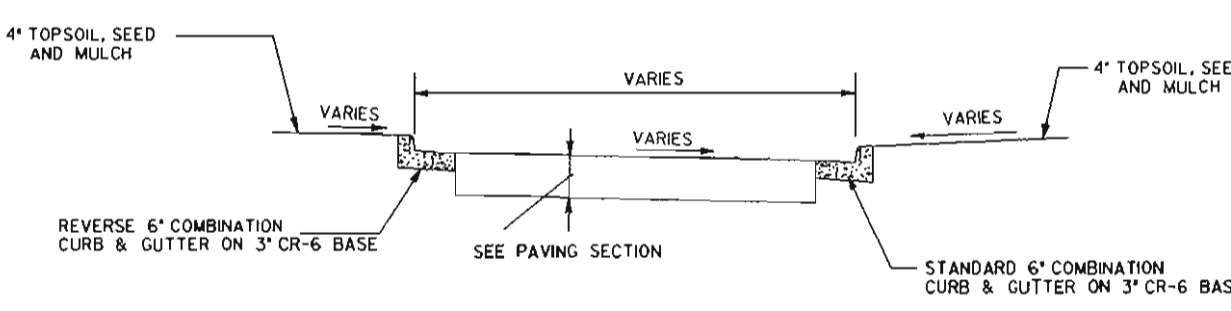
Rigid Pavement Details
by The Robert B. Balter Company
(Geotechnical Engineers) 7-21-98



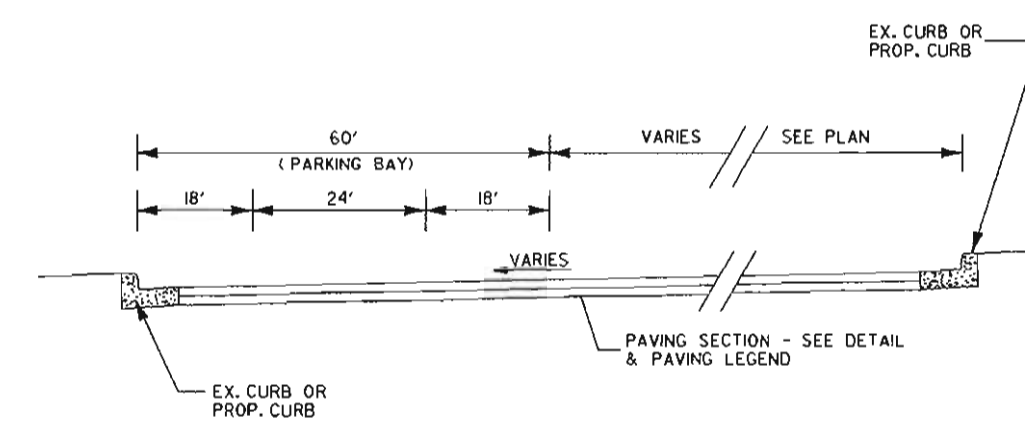
Typical Paving Section (P-5)
Not To Scale



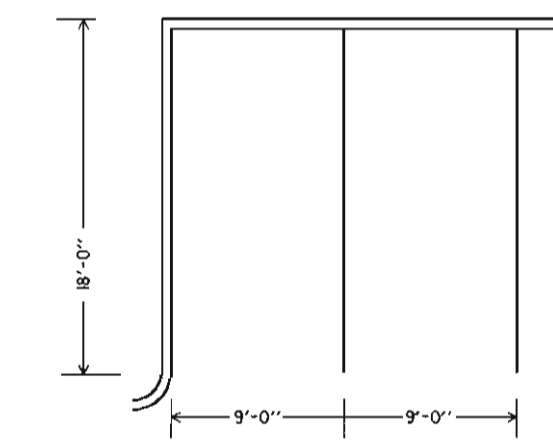
1' Wide Concrete Curb Detail
Not To Scale



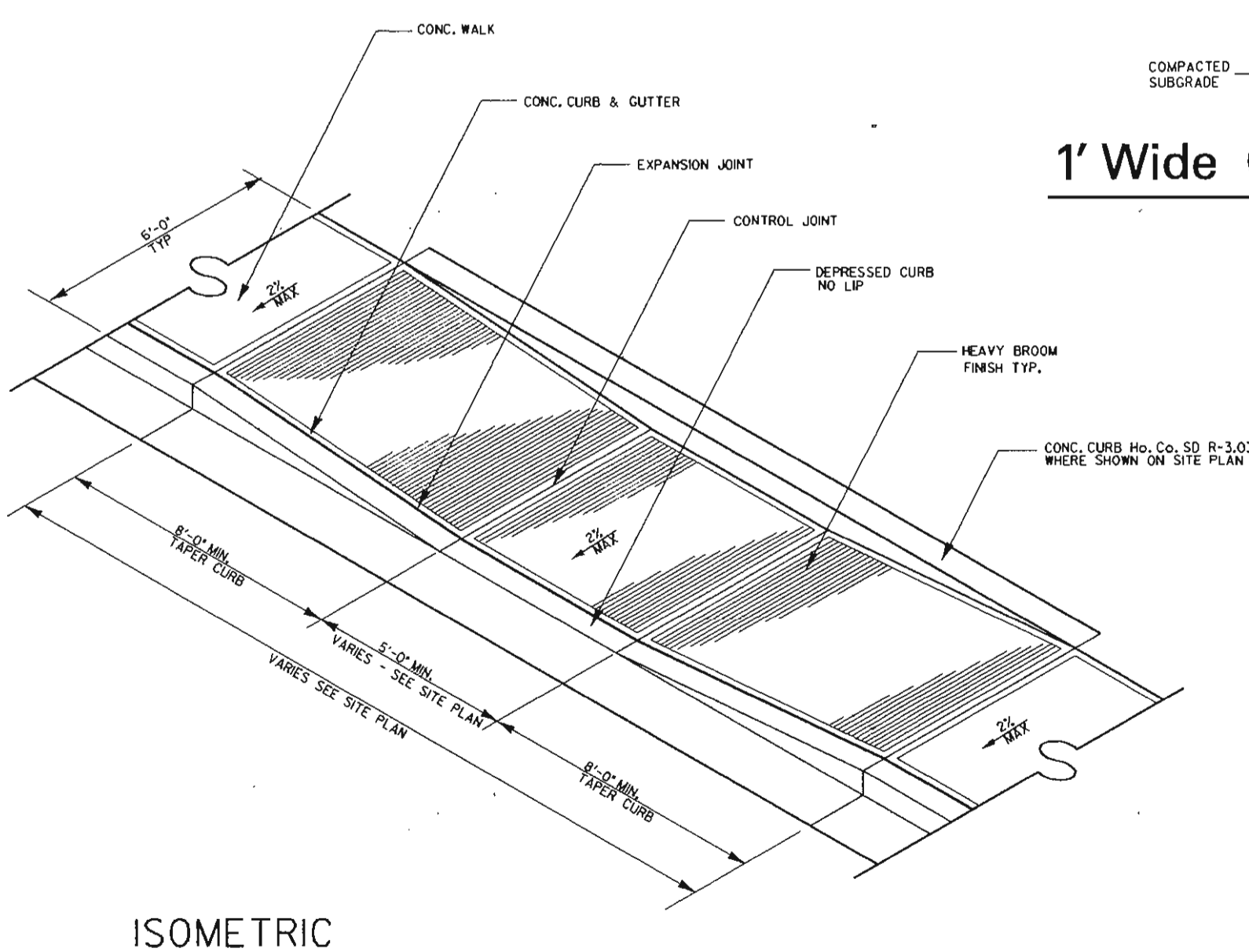
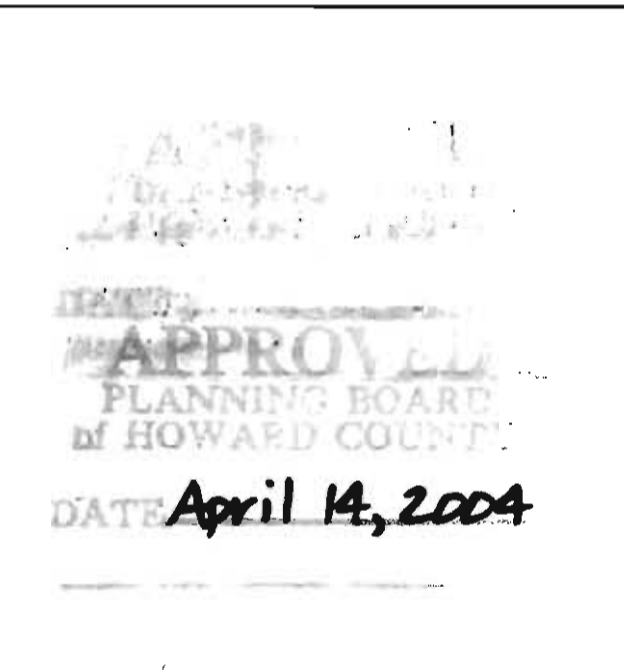
Typical Section Ring Road (Private Drive)
Not To Scale



Typical Section Private Parking
Not To Scale

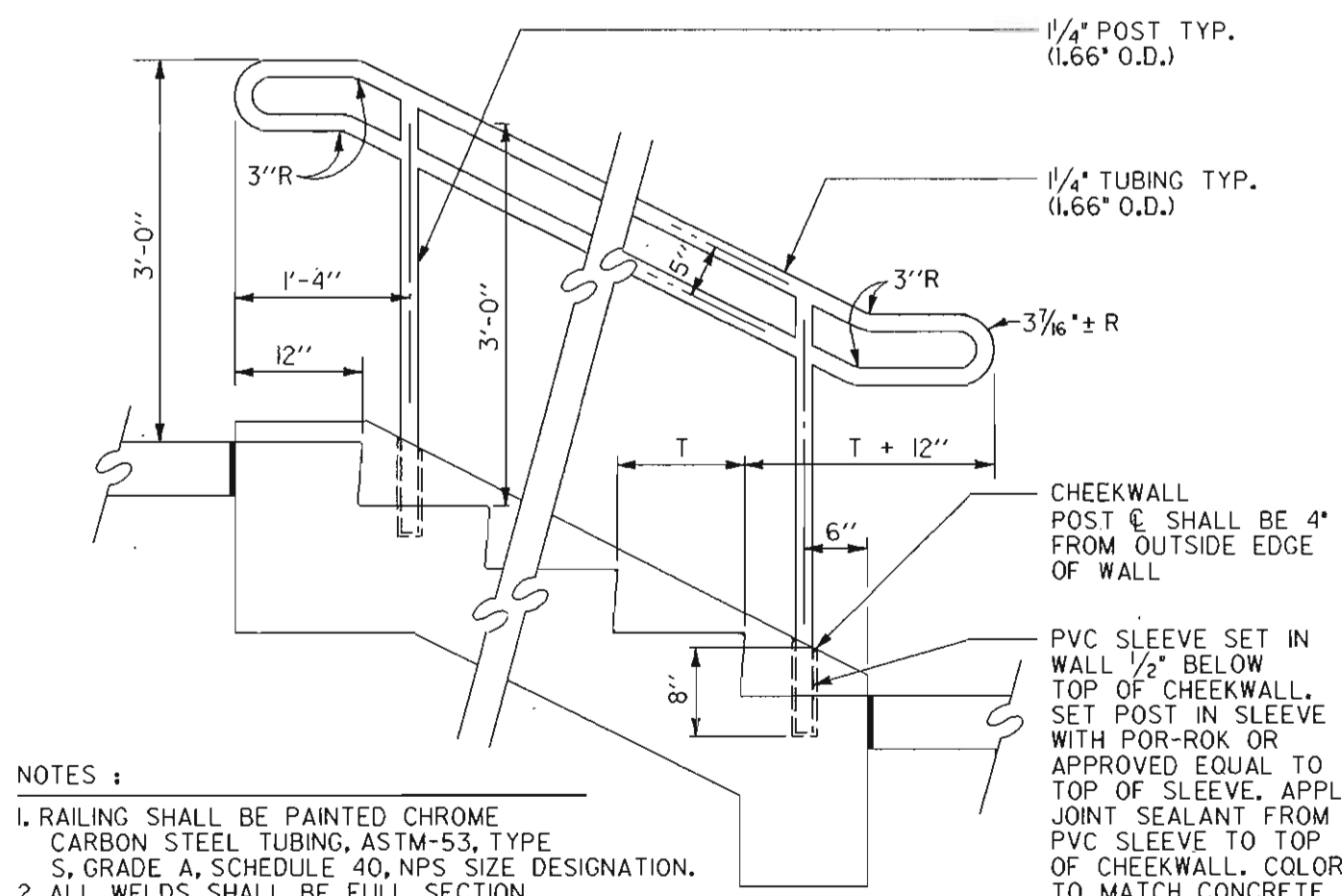


Standard Parking Space
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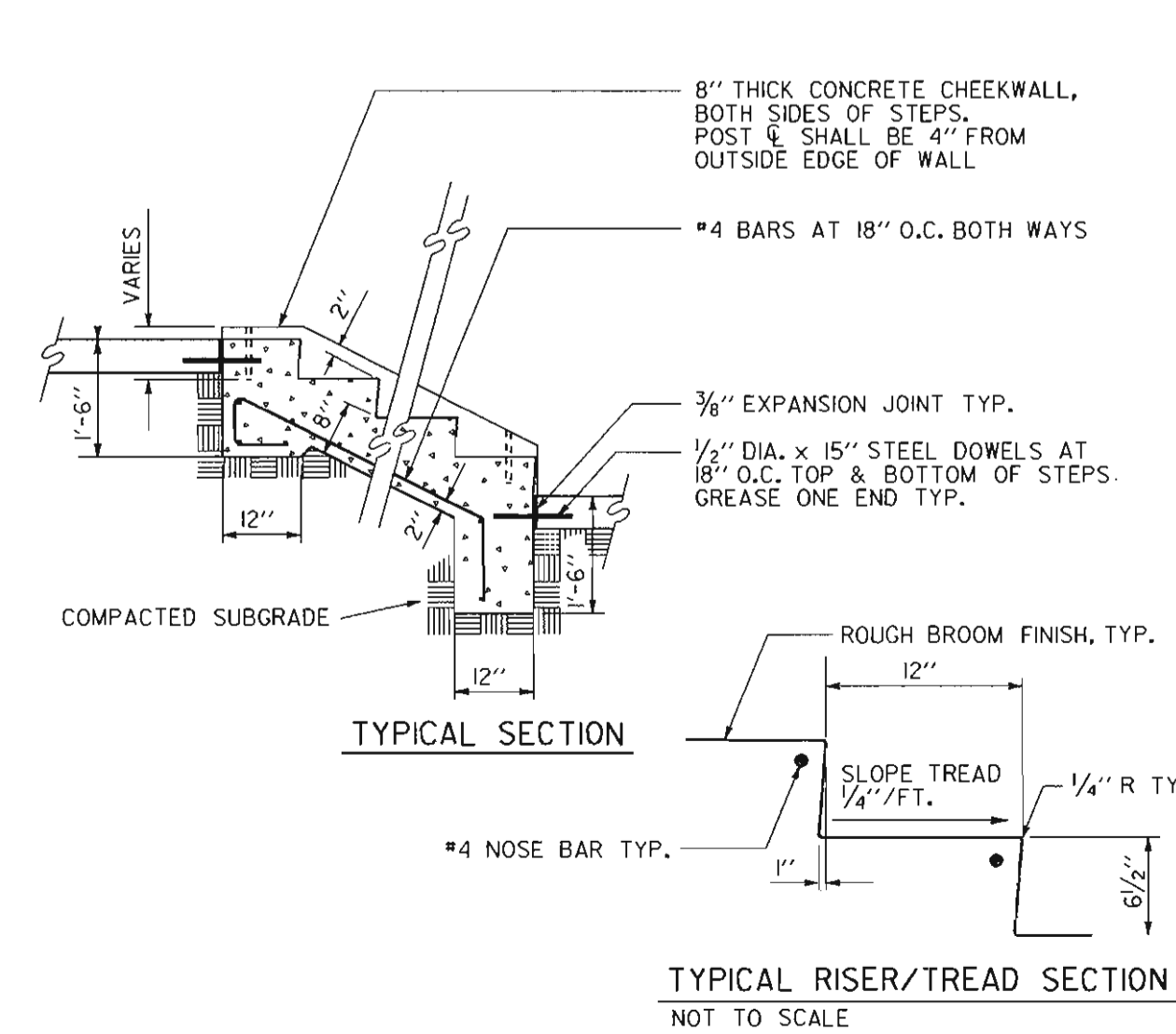


ISOMETRIC

Handicapped Ramp - A
Not To Scale



Railing
Not To Scale



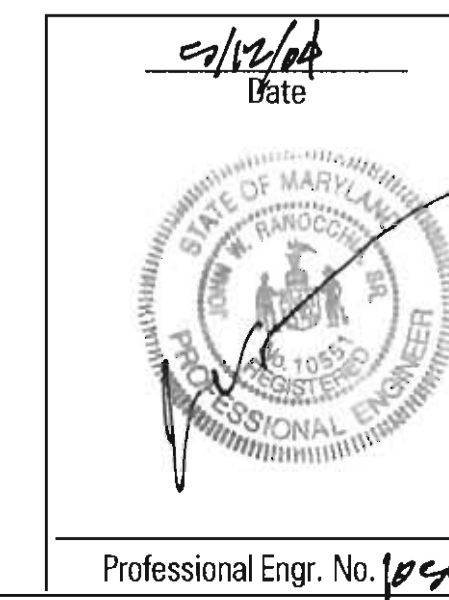
Concrete Steps
Not To Scale

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>[Signature]</i>	6/2/04 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK	
<i>[Signature]</i>	6/15/04 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT HB	
<i>[Signature]</i>	6/6/04 DATE
DIRECTOR	

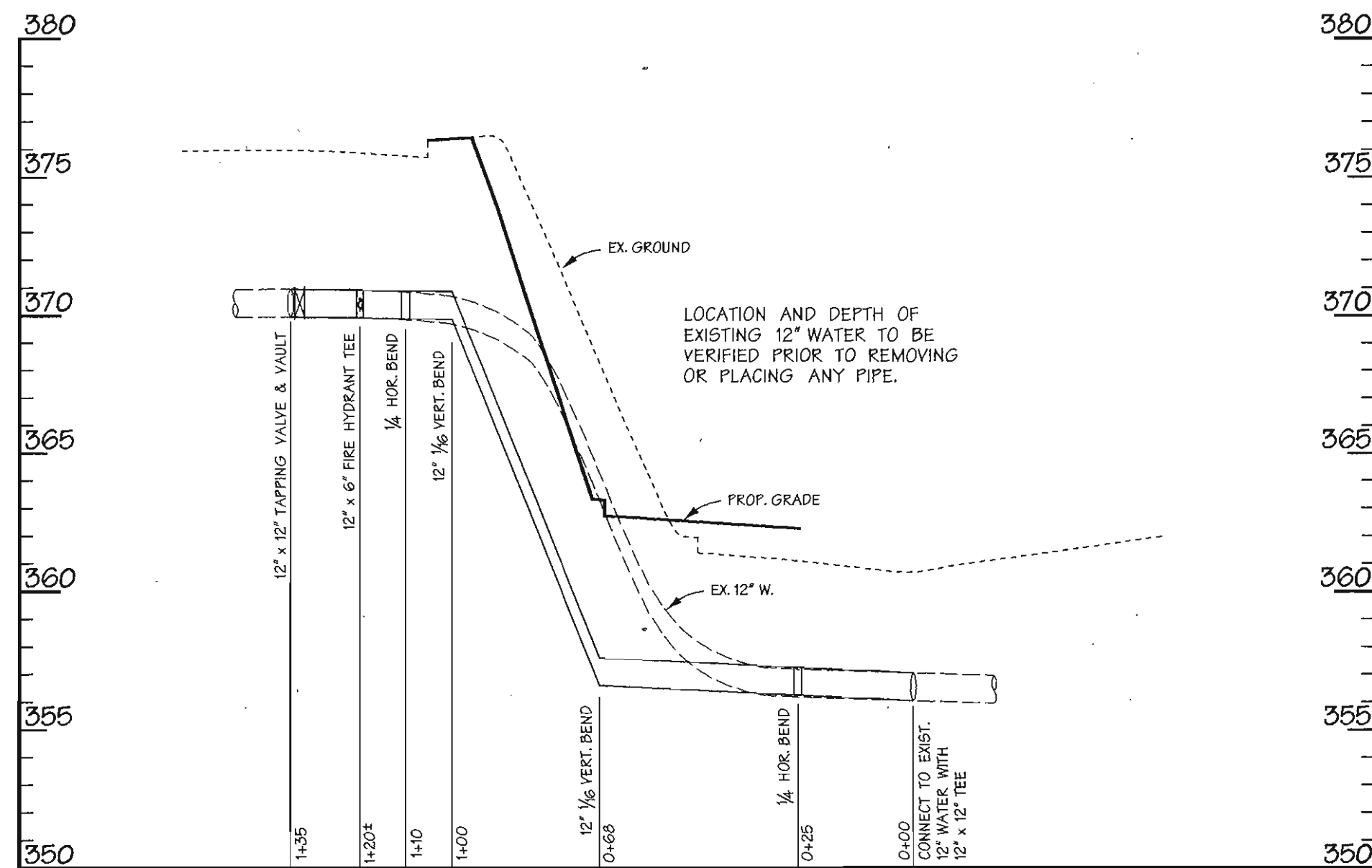
Date	No.	Revision Description
		THE MALL IN COLUMBIA PHASE V TOWN CENTER SECTION 2 AREA 1 HOWARD COUNTY, MD LOT 47
		OWNER /DEVELOPER: THE HOWARD RESEARCH & DEVELOPMENT CORP. COLUMBIA MALL, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044

DMW
Dart-McCune-Walker, Inc.
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(410) 296-3353
Fax 296-4705

A Team of Land Planners,
Landscape Architects,
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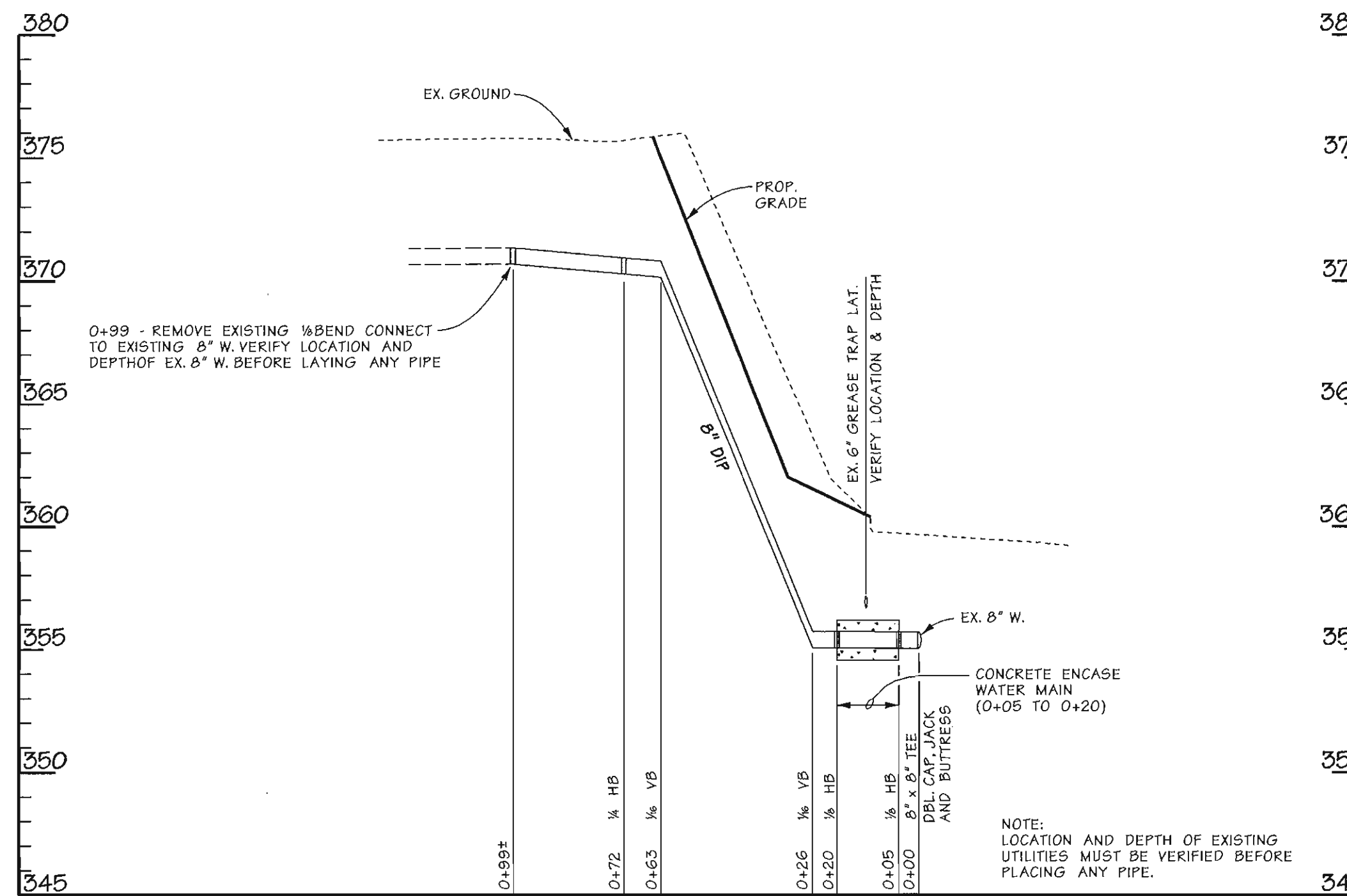


TITLE			
PHASE V SITE DETAILS			
Des By	MJP	Scale	AS SHOWN
Proj. No.	9501986		
Dim By	KDE	Date	5-12-04
Chk By	JWR	Approved	<i>[Signature]</i>
Professional Engr. No.	10451		
			6 OF 13



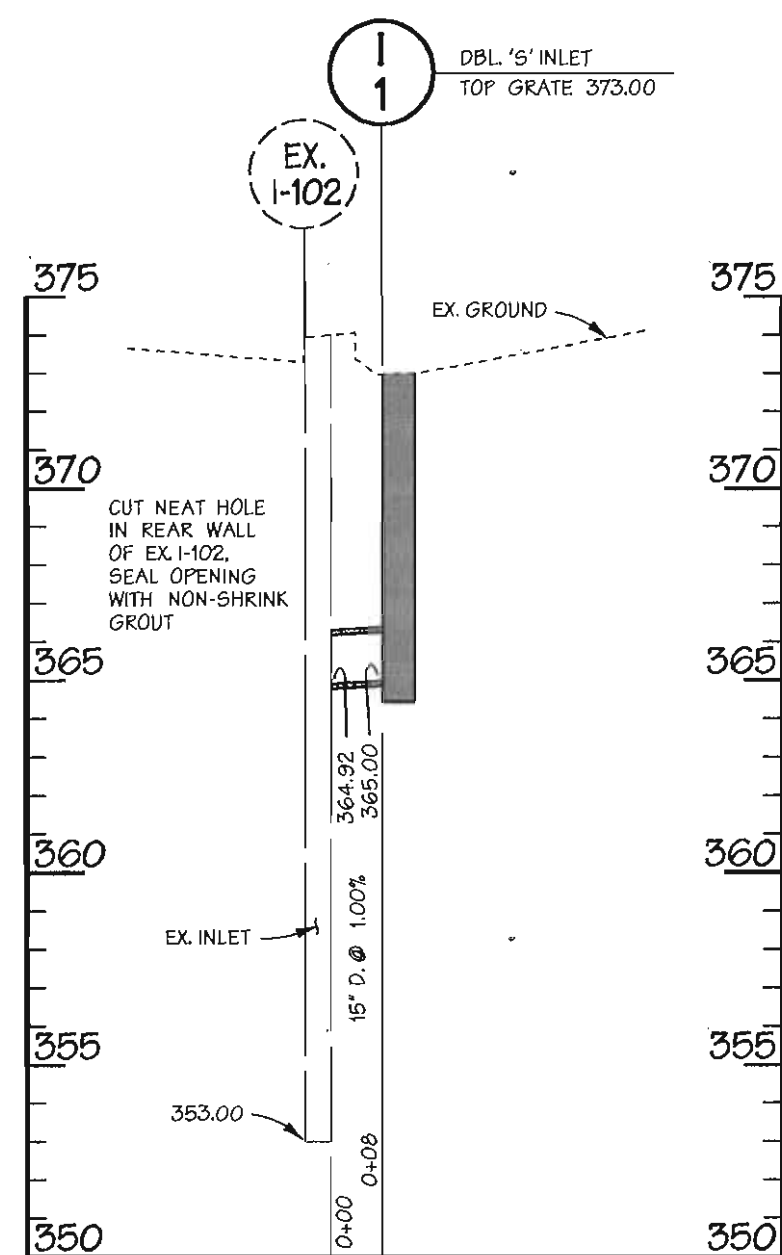
WATER LINE 'A' PROFILE

SCALE: HORIZ. 1"=30'
VERT. 1"=5'



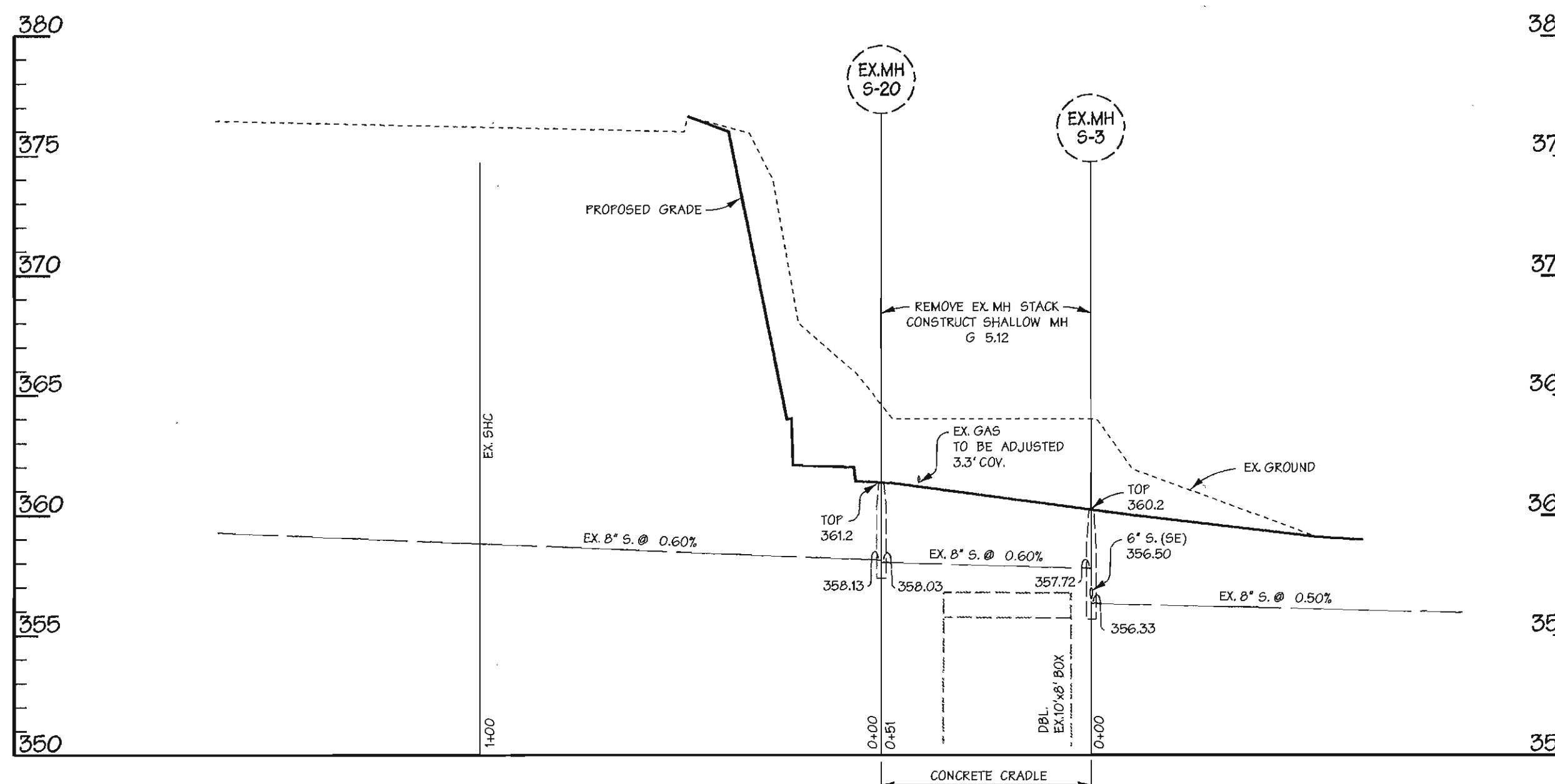
WATER LINE 'B' PROFILE

SCALE: HORIZ. 1"=30'
VERT. 1"=5'



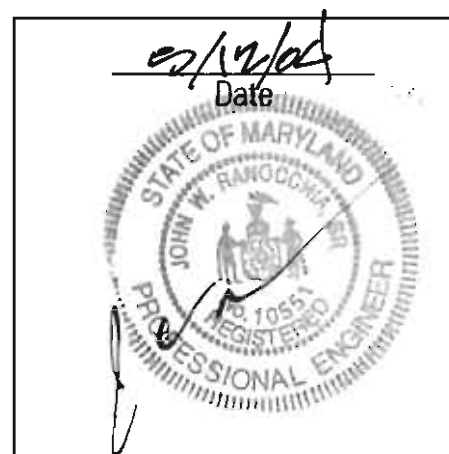
STORM DRAIN PROFILE

SCALE: HORIZ. 1"=30'
VERT. 1"=5'



SANITARY SEWER PROFILE

SCALE: HORIZ. 1"=30'
VERT. 1"=5'



Professional Engr. No. 100051

APPROVED
PLANNING & ZONING
DATE April 14, 2004

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING			
<i>Mark A. Gagliardi</i>	6/2/04	DATE	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	MK		
<i>Chris Hensley</i>	6/8/04	DATE	
CHIEF, DIVISION OF LAND DEVELOPMENT	HB		
<i>Mark A. Gagliardi</i>	6/8/04	DATE	
DIRECTOR			

Date	No.	Revision Description
		THE MALL IN COLUMBIA PHASE IV TOWN CENTER SECTION 2 AREA 1 HOWARD COUNTY, MD LOT 42

OWNER / DEVELOPER:
THE HOWARD RESEARCH & DEVELOPMENT CORP.
COLUMBIA MALL, INC.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DMW
Dart, McCune, Walker, Inc.
200 East Pennsylvania Avenue
Fossom, Maryland 21088
(410) 298-3333
Fax: 298-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

TITLE
**PHASE V
STORM DRAIN
& UTILITY PROFILES**

Des By	RLH	Scale	HORIZ. 1"=30' VERT. 1"=5'	Proj. No.	95019.B6
Drn By	CMR, MSS	Date	5-12-04		
Chk By	JVR	Approved	<i>[Signature]</i>		7 OF 13

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

CONDITIONS WHERE PRACTICE APPLIES

- I. This practice is limited to areas having 2:1 or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
 - d. The soil is so acidic that treatment with limestone is not feasible.
- II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

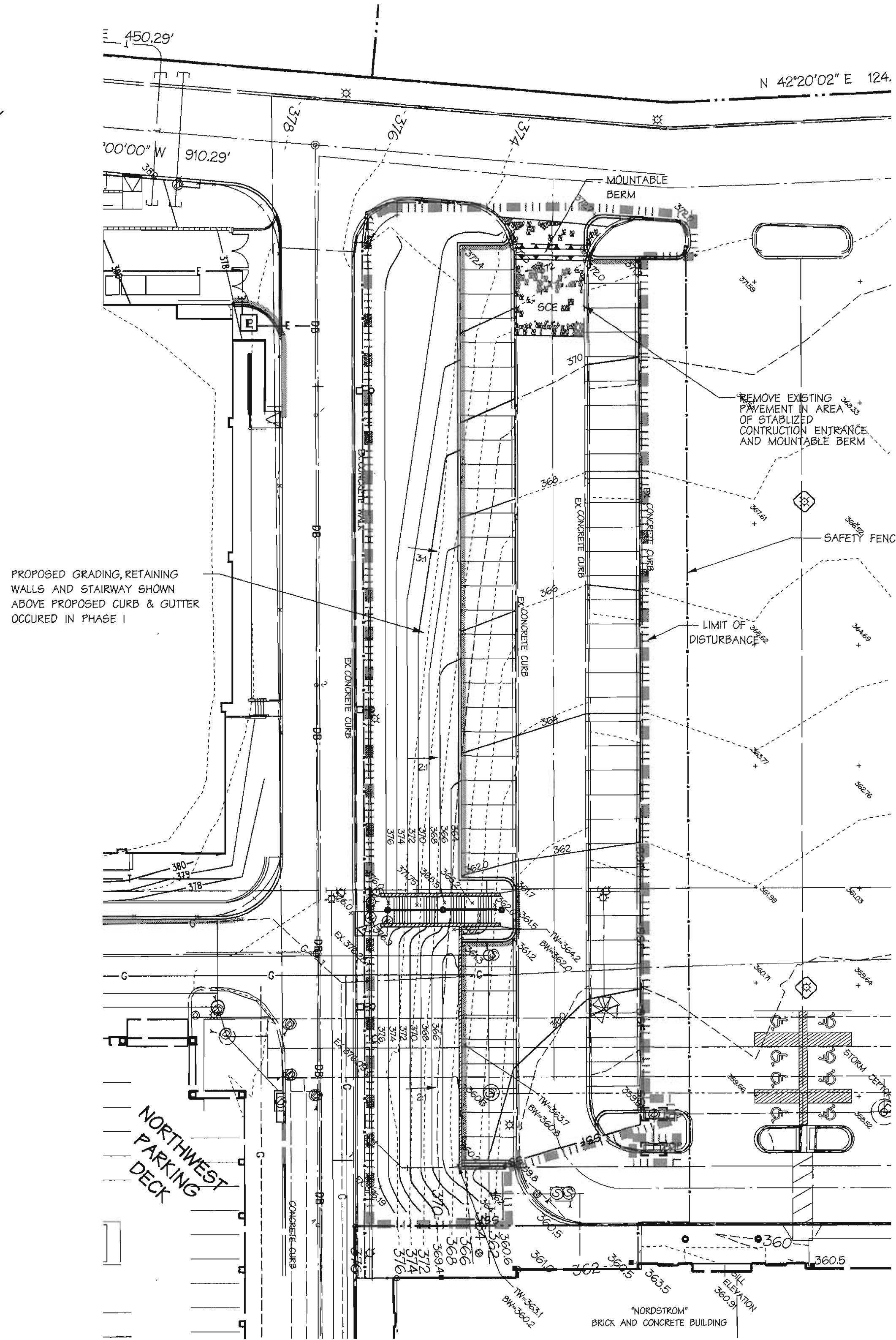
CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- II. Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - I. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
 - II. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
 - III. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 - IV. For sites having disturbed areas under 5 acres:
 - I. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - b. Organic content of topsoil shall be not less than 1.5 percent by weight.
 - c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - d. No seed or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - II. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

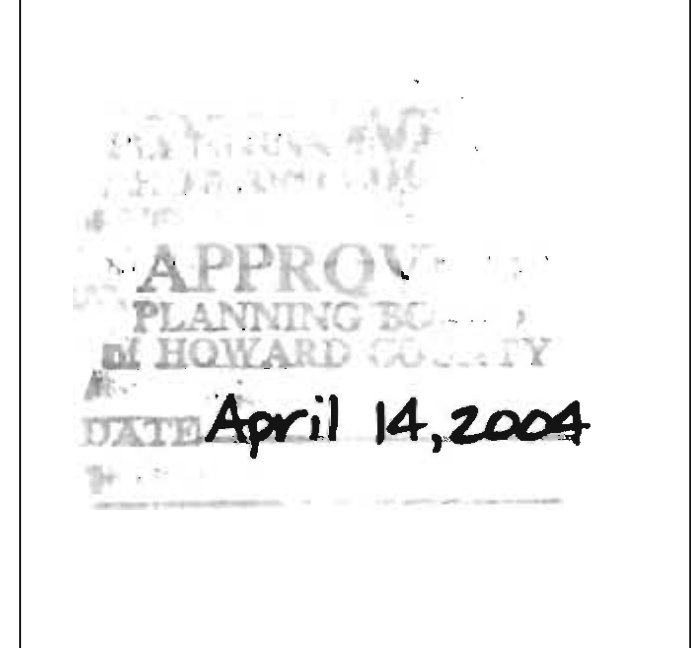
- I. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- II. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4% - 8% higher in elevation.
- III. Topsoil shall be uniformly distributed in a 4% - 8% layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- IV. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.
- V. Alternative for Permanent Seeding - Instead of applying the full amount of lime and commercial fertilizer, composted eluge and amendments may be applied as specified below:
 - I. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - a. Composted eluge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - b. Composted eluge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - c. Composted eluge shall be applied at a rate of 1 ton/1,000 square feet.
 - d. Composted eluge shall be amended with a potassium fertilizer applied at a rate of 4 lbs/1,000 square feet, and 1/3 the normal lime application rate.

Reference: Guidelines Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1972.



SEDIMENT & EROSION CONTROL
SCALE: 1"=30'

- PARKING LOT W1 SEQUENCE OF CONSTRUCTION
1. OBTAIN GRADING PERMITS. (2 DAYS)
 2. CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST THREE DAYS IN ADVANCE OF STARTING WORK SHOWN ON PLANS. (1 DAY)
 3. INSTALL EROSION AND SEDIMENT CONTROL MEASURES. SUPER SILT FENCE SHALL BE INSTALLED IN THE FOLLOWING MANNER:
 - A. REMOVE EXISTING CURB AND GUTTER OR SAW CUT ROADWAY AT LIMIT OF PROPOSED PAVEMENT.
 - B. INSTALL SUPER SILT FENCE SO THAT FENCE FABRIC IS TOUCHING VERTICAL PORTION OF EXISTING PAVEMENT.
 - C. APPLY COLD PATCH ON EXISTING PAVEMENT ON THE BACKSIDE OF THE SUPER SILT FENCE TO ENSURE THAT WATER DOES NOT FLOW BEHIND FENCE INTO THE GROUND.
 - D. SUPER SILT FENCE IN NON-PAVED AREA, SHALL BE INSTALLED PER DETAIL. (4 DAYS)
 4. ONCE EROSION AND SEDIMENT CONTROLS ARE OPERATIONAL AND WITH PERMISSION OF THE INSPECTOR, CLEAR AND GRUB SITE. (2 DAYS)
 5. ROUGH GRADE SITE EXISTING CURB AND GUTTER AND EXISTING PAVEMENT TO BE REMOVED SHALL BE REMOVED AT THIS TIME. ALL PAVEMENT AND CURB AND GUTTER REMOVED SHALL BE TAKEN TO AN APPROVED HOWARD COUNTY DUMP SITE. RELOCATE UTILITIES AS REQUIRED TO MAINTAIN APPROPRIATE COVER. INSTALL RETAINING WALLS AS REQUIRED TO COMPLETE ROUGH GRADING. (25 DAYS)
 6. INSTALL CURB AND GUTTER, PAVEMENT SUBBASE, RETAINING WALLS, AND STAIRWAY. (40 DAYS)
 7. FINE GRADE REMAINING AREAS AND PERMANENTLY STABILIZE THOSE AREAS. (5 DAYS)
 8. INSTALL PAVING BEGINNING AT LOOP ROAD AND WORKING TOWARD MALL. REMOVE PORTIONS OF SUPER SILT FENCE WHEN AREA OF ACTIVE PAVING REACHES SUPER SILT FENCE. SUPER SILT FENCE SHALL REMAIN IN PLACE AS LONG AS POSSIBLE. (14 DAYS)
 9. ONCE STABILIZATION IS COMPLETE AND WITH APPROVAL OF THE INSPECTOR, REMOVE ALL REMAINING EROSION AND SEDIMENT CONTROL MEASURES AND PERMANENTLY STABILIZE THOSE AREAS. (2 DAYS)



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

John W. Ranocchia, Jr. 6/2/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

David Hamilton 6/5/04
CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE

James L. Galt 6/1/04
DIRECTOR DATE

THE MALL IN COLUMBIA
PHASE V
COLUMBIA TOWN CENTER
SECTION 2 AREA 1
LOT 47
HOWARD COUNTY, MD

OWNER /DEVELOPER:
THE HOWARD RESEARCH & DEVELOPMENT CORP.
COLUMBIA MALL, INC.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DATE		NO.		REVISION DESCRIPTION	
<p>DMW DRAFT-McCune-Walker, Inc. 200 East Pennsylvania Avenue Towson, Maryland 21286 (410) 296-3333 Fax 296-4705</p> <p>A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals</p>					
TITLE: PARKING LOT W-1 SEDIMENT & EROSION CONTROL PLAN					
Des By	MJP	Scale	1" = 30'	Proj. No.	95019B6
Dwn By	JSN	Date	5-12-04		
Chk By	<i>JSN</i>	Approved	<i>JSN</i>	8 OF 13	

DEVELOPER'S CERTIFICATION:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Frank Cooper
SIGNATURE OF DEVELOPER
FRANK COOPER
DATE: 5/10/04

ENGINEER'S CERTIFICATION:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

John W. Ranocchia, Jr. 5-11-04
SIGNATURE OF ENGINEER
JOHN W. RANOCCHIA, JR.
DATE: 5-11-04

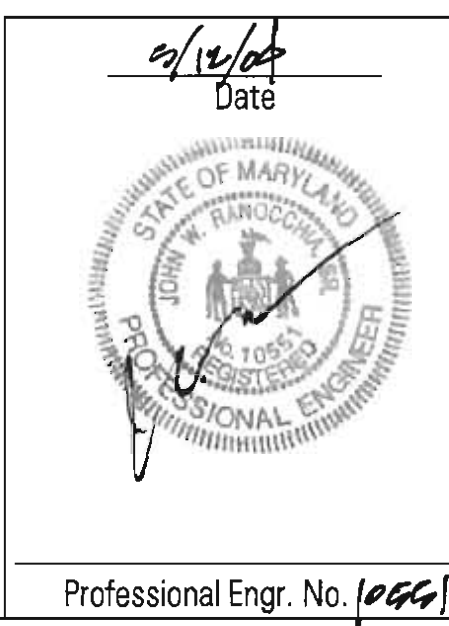
REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

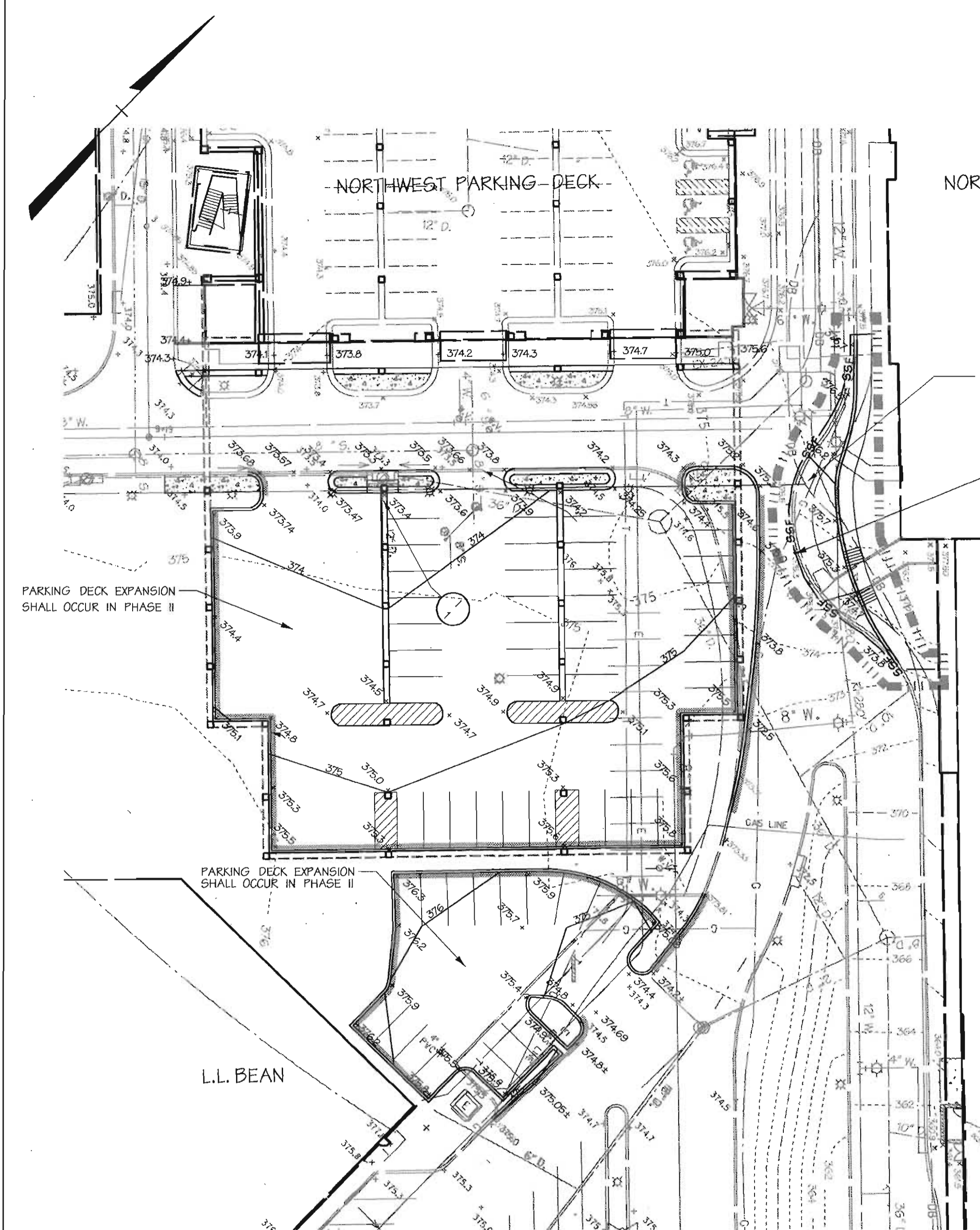
Jim Myers 5/26/04
U.S. NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Cliff Schuy 5/26/04
HOWARD S.C.D. DATE

- LEGEND
- EX. CONTOUR
 - EX. WATER
 - EX. SANITARY SEWER
 - EX. STORM DRAIN
 - EX. GAS
 - EX. EDGE OF ROAD
 - PROP. CONTOUR
 - PROP. UTILITIES
 - PAINTED ISLAND
 - 6" STANDARD COMB. C&G
 - 6" REV. COMB. C&G
 - 1" SPECIAL CURB
 - STABILIZED CONSTRUCTION
 - ENTRANCE W/ MOUNTABLE BERM
 - SSF - SUPER SILT FENCE
 - SF - SILT FENCE
 - IP - INLET PROTECTION
 - CD - #2 STONE CHECK DAM
 - L - LIMIT OF DISTURBANCE



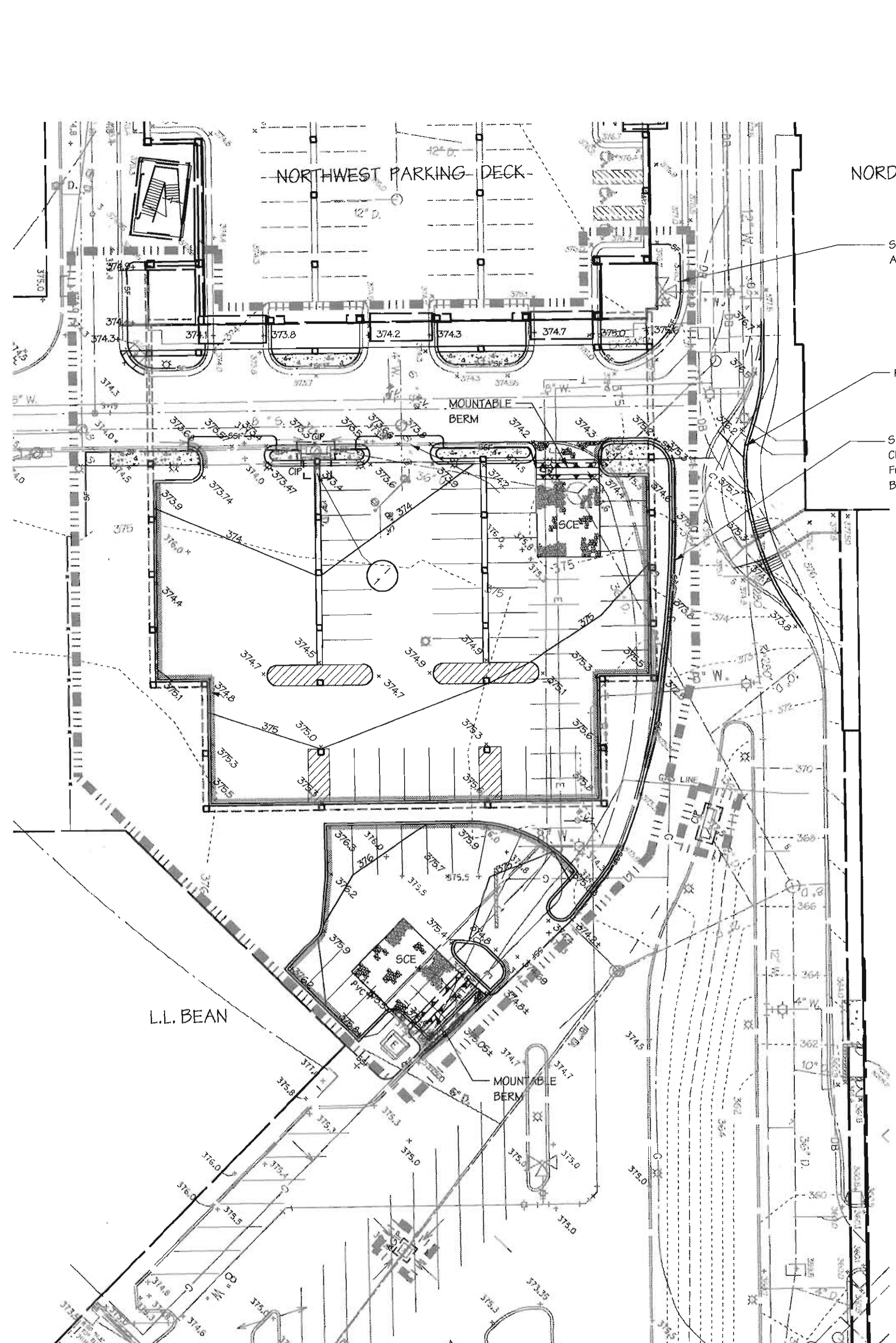


NORDSTROM

MAINTAIN A MINIMUM 20' DRIVE AISLE AT ALL TIMES

SUPER SILT FENCE SHALL BE SAW CUT INTO EXISTING PAVEMENT. FOR TRAFFIC SAFETY, REFLECTORS SHALL BE PLACED ON THE TOP OF EACH POST.

PHASE I - SEDIMENT & EROSION CONTROL
SCALE: 1"=30'



NORDSTROM

SILT FENCE TO BE REMOVED FOR ACCESS AND IMMEDIATELY REPLACED (TYP.)

ROAD WIDENING OCCURRED IN PHASE I

SUPER SILT FENCE TO BE PLACED AT SAW CUT AND IMMEDIATELY BEHIND CURB (TYP.) FOR TRAFFIC SAFETY, REFLECTORS SHALL BE PLACED ON THE TOP OF EACH POST.

PHASE II - SEDIMENT & EROSION CONTROL
SCALE: 1"=30'

- NORTHWEST PARKING DECK SEQUENCE OF CONSTRUCTION
- PHASE 1
1. OBTAIN GRADING PERMITS. (2 DAYS)
 2. CONTACT MISS UTILITY AT 1-800-257-7777 AT LEAST THREE DAYS IN ADVANCE OF STARTING WORK SHOWN ON PLANS. (1 DAY)
 3. INSTALL PHASE 1 EROSION AND SEDIMENT CONTROL MEASURES. (2 DAYS)
 4. ONCE PHASE 1 EROSION AND SEDIMENT CONTROLS ARE OPERATIONAL AND WITH PERMISSION OF THE INSPECTOR, CLEAR AND GRUB SITE DRAINING TO PHASE 1 CONTROLS. (2 DAYS)
 5. ROUGH GRADE SITE DRAINING TO PHASE 1 CONTROLS EXISTING CURB AND GUTTER AND EXISTING PAVEMENT TO BE REMOVED IN PHASE 1 SHALL BE REMOVED AT THIS TIME. ALL PAVEMENT AND CURB AND GUTTER REMOVED SHALL BE TAKEN TO AN APPROVED HOWARD COUNTY DUMP SITE. (5 DAYS)
 6. INSTALL CURB AND GUTTER, SIDEWALK AND ROAD SUB-BASE. (5 DAYS)
 7. FINE GRADE AREA DRAINING TO PHASE 1 CONTROLS AND PERMANENTLY STABILIZE THOSE AREAS. (5 DAYS)
 8. WITH APPROVAL OF THE INSPECTOR, REMOVE PHASE 1 EROSION AND SEDIMENT CONTROL MEASURES AND PERMANENTLY STABILIZE THOSE AREAS. TRAFFIC SAFETY BARRELS SHALL BE USED ALONG LIMIT OF NEW PAVEMENT UNTIL PAVEMENT IS INSTALLED. (5 DAYS)
 9. ONCE PHASE 1 ROADWAY IS COMPLETE, RELOCATE TRAFFIC SAFETY BARRELS TO PHASE 2 LIMIT OF DISTURBANCE WITHIN THE EXISTING ROADWAY. (1 DAY)
- PHASE 2
10. INSTALL PHASE 2 EROSION AND SEDIMENT CONTROL MEASURES. (2 DAYS)
 11. ONCE PHASE 2 EROSION AND SEDIMENT CONTROLS ARE OPERATIONAL AND WITH PERMISSION OF THE INSPECTOR, CLEAR AND GRUB SITE DRAINING TO PHASE 2 CONTROLS. (5 DAYS)
 12. ROUGH GRADE REMAINDER OF SITE. INSTALL OR RELOCATE UTILITIES AS REQUIRED TO MAINTAIN APPROPRIATE COVER AND GUTTER AND EXISTING PAVEMENT TO BE REMOVED SHALL BE REMOVED AT THIS TIME. ALL PAVEMENT AND CURB AND GUTTER REMOVED SHALL BE TAKEN TO AN APPROVED HOWARD COUNTY DUMP SITE. (25 DAYS)
 13. BEGIN PARKING DECK EXPANSION. (180 DAYS)
 14. INSTALL CURB AND GUTTER, ROAD SUB-BASE AND PAVING. (21 DAYS)
 15. FINE GRADE REMAINING AREAS AND PERMANENTLY STABILIZE THOSE AREAS. (5 DAYS)
 16. ONCE STABILIZATION IS COMPLETE, AND WITH APPROVAL OF THE INSPECTOR, REMOVE ALL EROSION AND SEDIMENT CONTROL MEASURES AND PERMANENTLY STABILIZE THOSE AREAS. (2 DAYS)

APPROVED FOR PLANNING & ZONING BY HOWARD COUNTY
DATE April 14, 2004

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
[Signature] 6/2/04
 CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE
[Signature] 6/16/04
 CHIEF, DIVISION OF LAND DEVELOPMENT HB DATE
[Signature] 4/14/04
 DIRECTOR DATE

Date No. Revision Description

THE MALL IN COLUMBIA
 PHASE V
 COLUMBIA TOWN CENTER
 SECTION 2 AREA 1
 LOT 47
 HOWARD COUNTY, MD

OWNER /DEVELOPER:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

DMW
 Daft-McCune-Walker, Inc.
 300 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax 296-4706
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

DATE 5/14/04

STATE OF MARYLAND
 JOHN W. BRIDGES
 PROFESSIONAL ENGINEER

Professional Engr. No. 10500

TITLE
 NORTHWEST PARKING DECK GROUND LEVEL
 SEDIMENT & EROSION CONTROL PHASE I & II

Des By MJP Scale 1" = 30' Proj. No. 9501986
 Dwn By JSN Date 5-12-04
 Chk By JWP Approved 9 OF 13

DEVELOPER'S CERTIFICATION:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 SIGNATURE OF DEVELOPER
 PRINT NAME BELOW SIGNATURE
 Frank Ziegler

5-10-04
 DATE

ENGINEER'S CERTIFICATION:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 5-11-04
 SIGNATURE OF ENGINEER
 PRINT NAME BELOW SIGNATURE
 John W. Ranocchia, Jr.

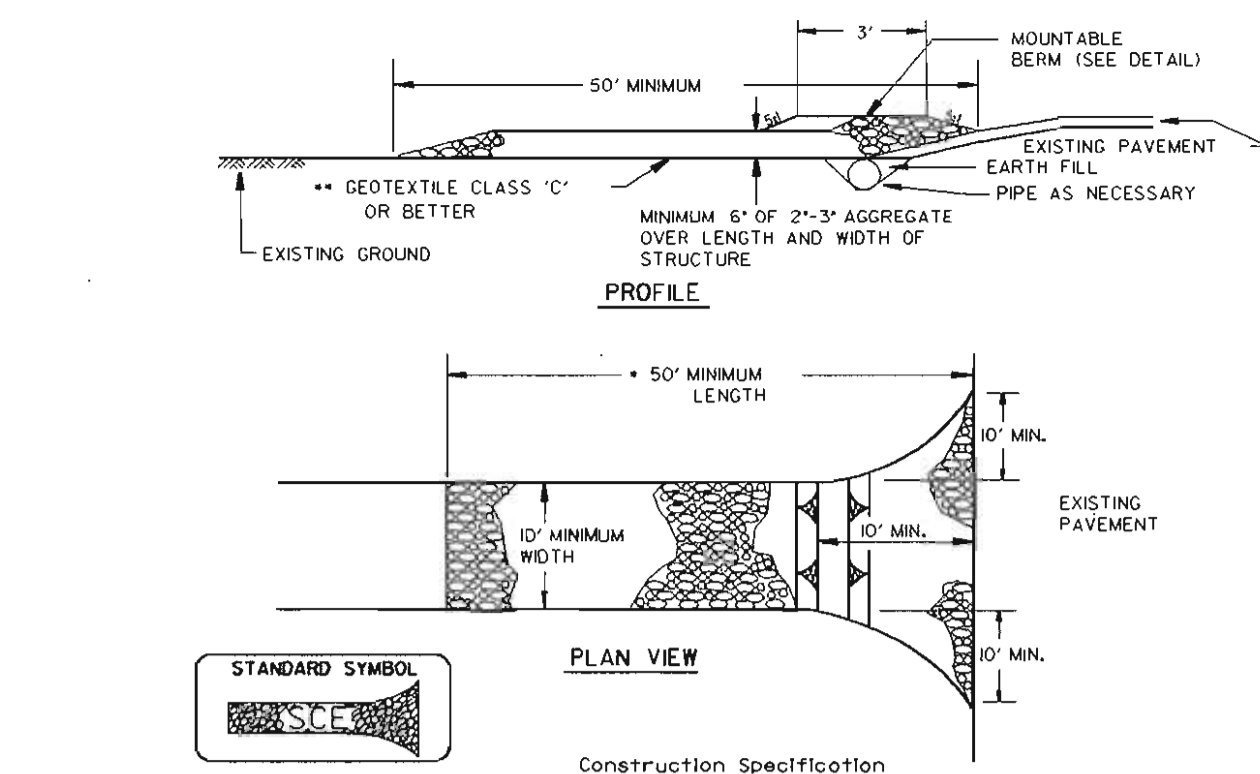
REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

[Signature] 5/26/04
 U.S. NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 5/26/04
 HOWARD S.C.D. DATE

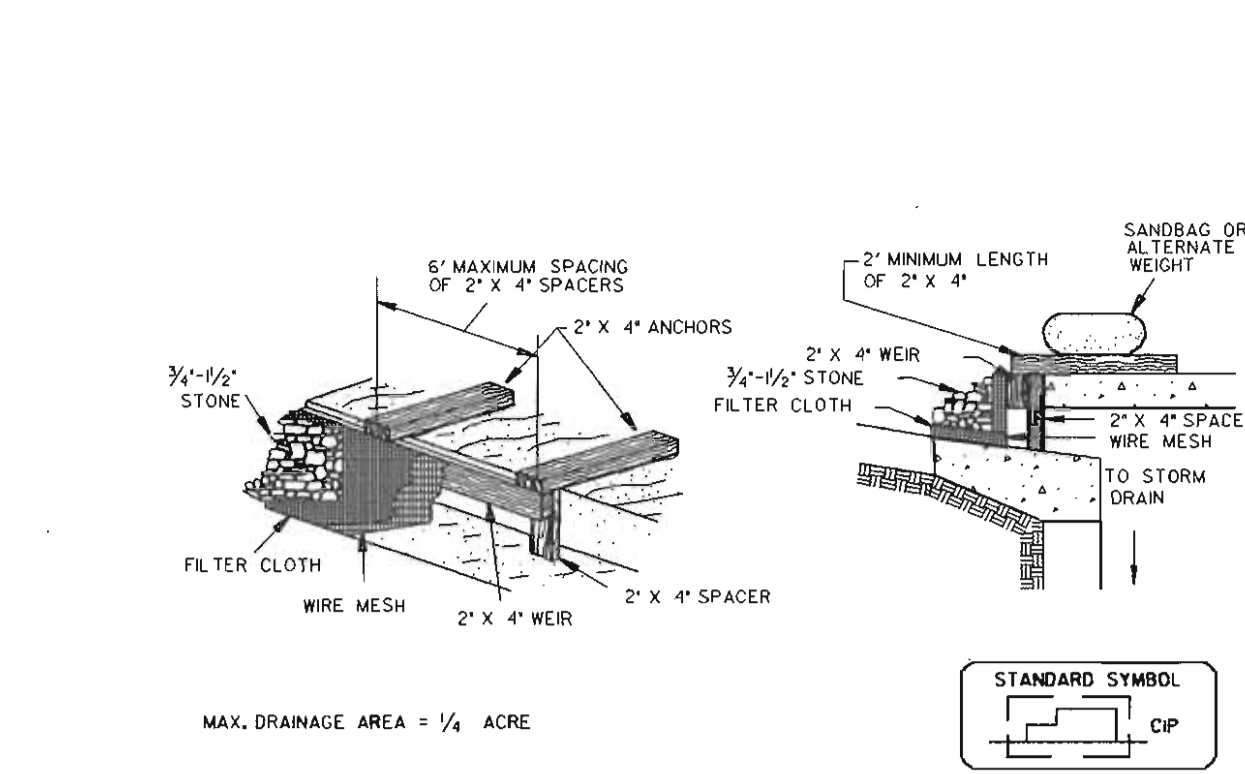
- LEGEND**
- EX. CONTOUR
 - EX. WATER
 - EX. SANITARY SEWER
 - EX. STORM DRAIN
 - EX. GAS
 - EX. EDGE OF ROAD
 - PROP. CONTOUR
 - PROP. UTILITIES
 - PAINTED ISLAND
 - 6" REV. COMB. C&G
 - 6" REV. COMB. C&G
 - 1" SPECIAL CURB
 - STABILIZED CONSTRUCTION
 - ENTRANCE W/ MOUNTABLE BERM
 - SSF - SUPER SILT FENCE
 - SF - SILT FENCE
 - CIP - INLET PROTECTION
 - LIMIT OF DISTURBANCE



- Construction Specifications
- Length - minimum of 50' (+30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric Class C (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable curb with a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

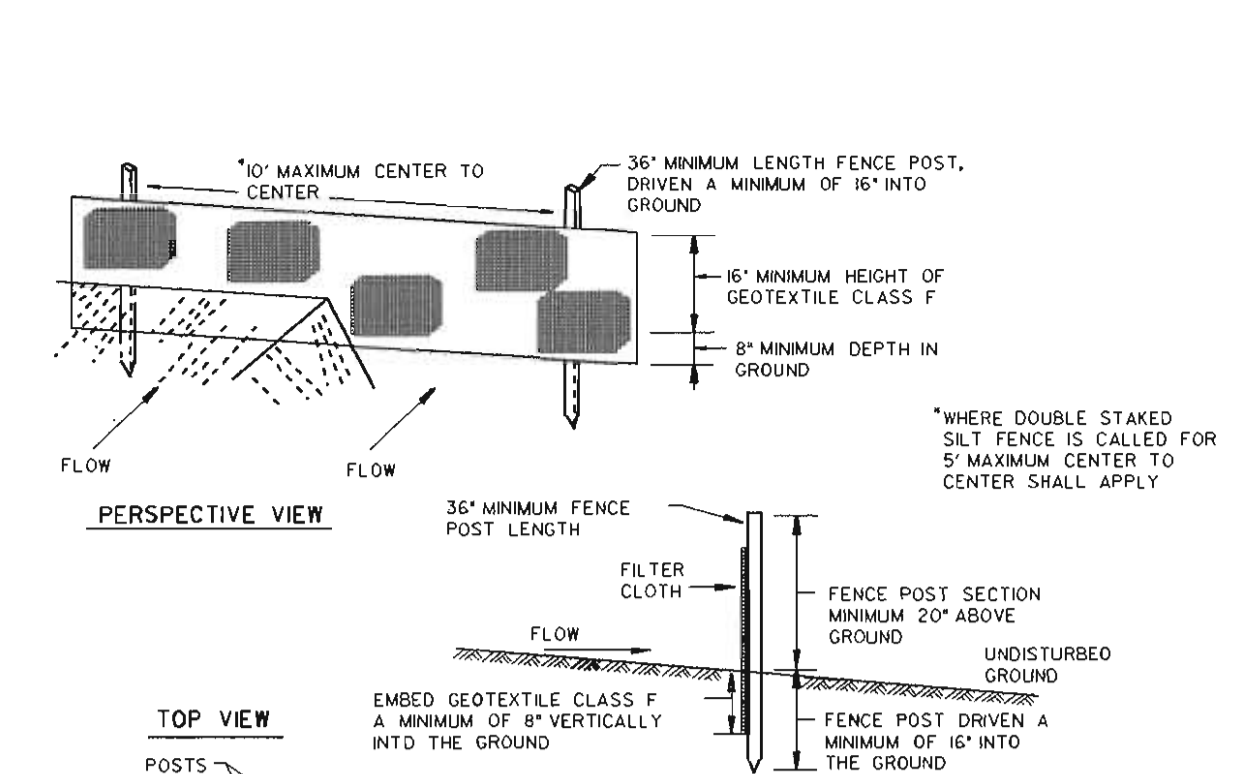
STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



- Construction Specifications
- Attach a continuous piece of 1/2" x 1/2" wire mesh (30" minimum width by throat length plus 4" to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
 - Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
 - Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
 - Place the assembly against the inlet throat and maintain a 2" length of 2" x 4" to the top of the weir at anchor locations. These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
 - The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
 - Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
 - This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
 - Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-16-33 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

CURB INLET PROTECTION (COG OR COS INLETS) NOT TO SCALE

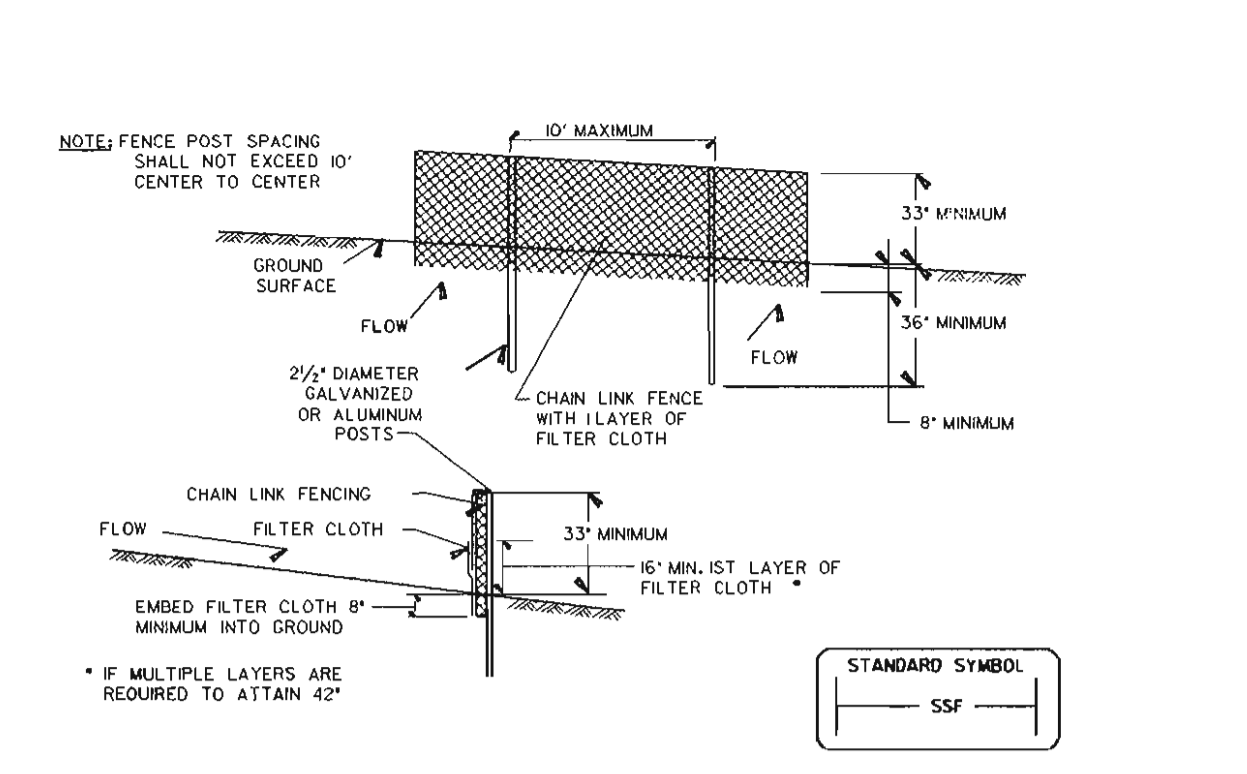


- Construction Specifications
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1/2" x 1/2" square (minimum cut, or 1/2" diameter (minimum round and shank of sound quality hardwood). Steel posts will be standard I or U section weighting not less than 1.00 pound per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test MSMT 509
Flow Rate	0.3 gal/ft/minute (max.)	Test MSTM 322
Filtration Efficiency	75% (min)	Test MSMT 322
 - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-16-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SILT FENCE NOT TO SCALE



- Construction Specifications
- Fencing shall be 42 inches in height and constructed in accordance with the latest Maryland State Highway Construction for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
 - The posts do not need to be set in concrete.
 - Chain link fence shall be fastened securely to the fence posts with wire ties or staples. The lower tension wire, brace and fruss rods, drive anchors and post caps are not required except on the ends of the fence. The chain link fencing shall be 10 gauge or heavier.
 - Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - Filter cloth shall be embedded a minimum of 8" into the ground.
 - When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and silt buldages removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE H-26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SUPER SILT FENCE NOT TO SCALE

Table 28 Stone Size

NUMBER	SIZE RANGE	D ₅₀	D ₁₀₀	AASHTO	WEIGHT
NUMBER 5*	3/4" - 1 1/2"	1/2"	1/2"	M-43	N/A
NUMBER 1	2" - 3"	2 1/2"	3"	M-43	N/A
RIP-RAP**	4" - 7"	5 1/2"	7"	N/A	N/A
CLASS I	N/A	9.5"	15"	N/A	150lb max.
CLASS II	N/A	16"	24"	N/A	700lb max.
CLASS III	N/A	23"	34"	N/A	2000lb max.

* This classification is to be used on the inside face of stone outlets and check dams.
 ** This classification is to be used when an inverse slope is required. The State Highway Administration designation for this stone is Stone For Gabions (905.0L04)

Stone For Gabion Baskets

BASKET THICKNESS	INCHES	MM	SIZE OF INDIVIDUAL STONES	INCHES	MM
6	150	3 - 5	75 - 125		
9	225	4 - 7	100 - 175		
12	300	4 - 7	100 - 175		
18	460	4 - 7	100 - 175		
36	910	4 - 12	100 - 300		

NOTE: Recycled concrete equivalent may be substituted for all stone classifications. Recycled concrete equivalent shall be concrete broken into the sizes meeting the appropriate classification, shall contain no steel reinforcement, and shall have a density of 150 pounds per cubic foot.

MATERIALS SPECIFICATIONS

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS./1000 SQ.F.T.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.F.T.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LBS. PER ACRE 30-0-0 UREA FORM FERTILIZER (9 LBS./1000 SQ.F.T.)
- ACCEPTABLE - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS./1000 SQ.F.T.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.F.T.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (4 LBS./1000 SQ.F.T.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31 SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE 1.05 LBS./1000 SQ.F.T.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD, OPTION (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.F.T.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL/1000 SQ.F.T.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (18 GAL/1000 SQ.F.T.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.F.T.)

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.F.T.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.7 LBS./1000 SQ.F.T.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.F.T.) OF UNROTTED WEEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL/1000 SQ.F.T.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (18 GAL/1000 SQ.F.T.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

SEEDING NOTES

SEDIMENT CONTROL GENERAL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION (1313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. I, CHAPTER 7, OF THE 'HOWARD COUNTY DESIGN MANUAL,' STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOD, TEMPORARY SEEDING, AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE	62,339 ACRES
AREA TO BE ROOFED OR PAVED	2,303 ACRES
AREA TO BE VEGETATIVELY STABILIZED	1,591 ACRES
TOTAL CUT	0.72 ACRES
TOTAL FILL	0 CV.
OFF-SITE WASTE / BORROW AREA LOCATION	0 CV.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING, ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES ARE LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

MOUNTABLE BERM DETAIL

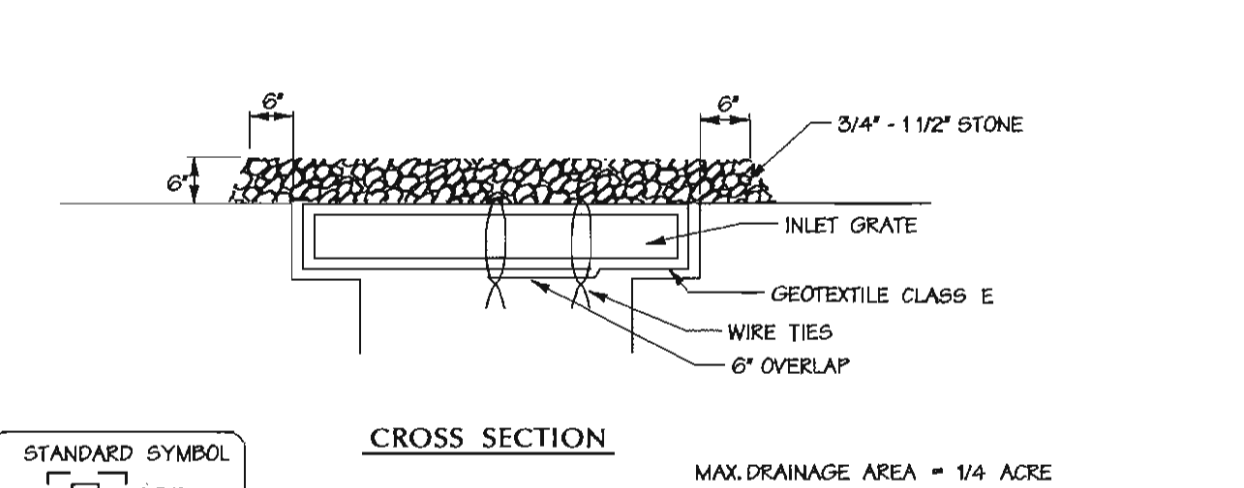
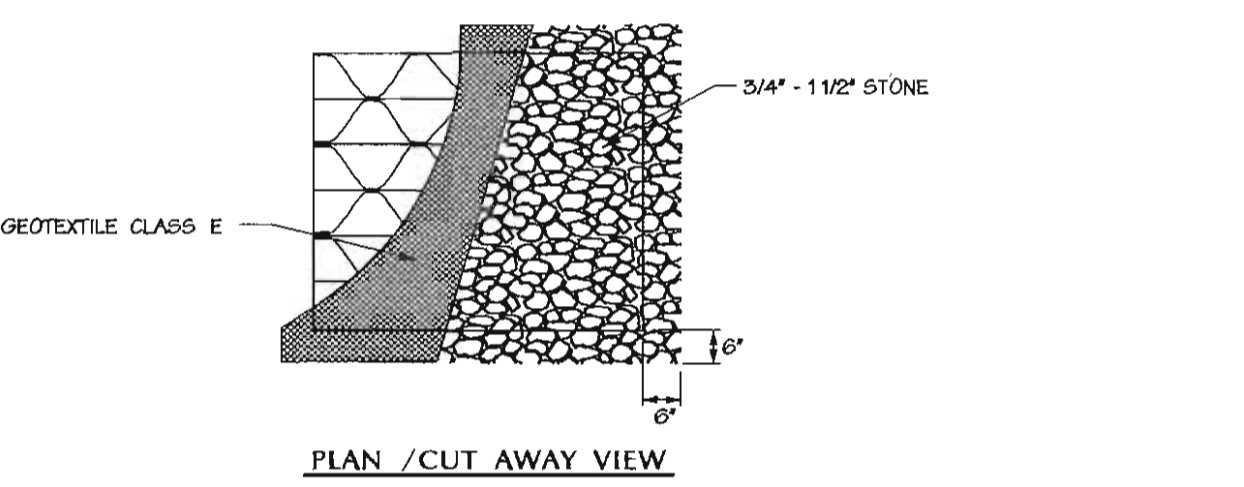


IF MOUNTABLE BERM IS PART OF A 'B' CLASS DIKE, COMPACTED EARTH MUST BE 30" MINIMUM.

STP SILT FENCE SUPER SILT FENCE

12" DIKEL	42" STONE
12" HIGH	24" HIGH
24" WIRE	24" WIRE
60'100' O.C.	60'100' O.C.

OR 4" MAX. VERTICAL CHANGE IN ELEV.



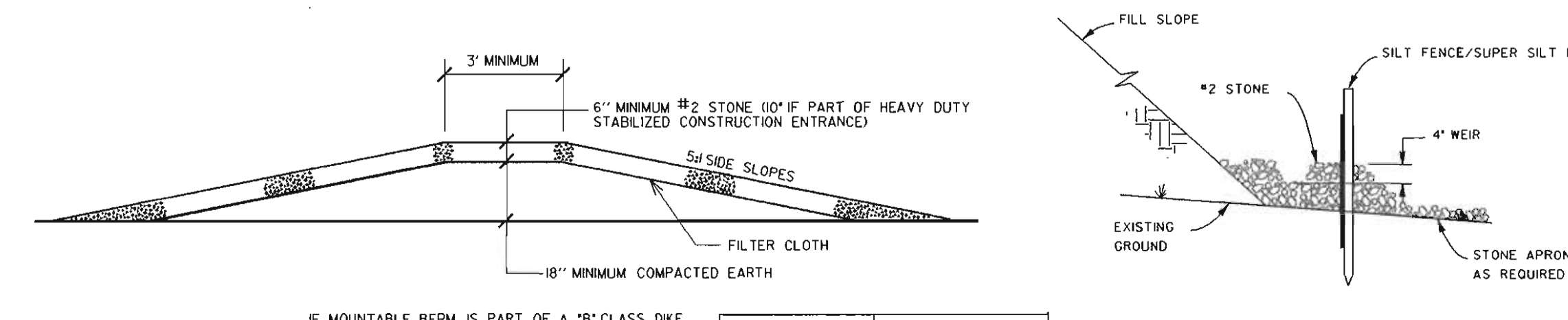
CONSTRUCTION SPECIFICATIONS

- LIFT GRATE AND WRAP WITH GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS, THEN SET GRATE BACK IN PLACE
- PLACE 3/4" TO 1 1/2" STONE, 4"-6" THICK ON THE GRATE TO SECURE THE FABRIC AND PROVIDE ADDITIONAL FILTRATION.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-16-5A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

AT GRADE INLET PROTECTION NOT TO SCALE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION MK
 CHIEF DIVISION OF LAND DEVELOPMENT HB
 DATE: April 14, 2004



LIMITED USE WHERE SILT FENCE DOESN'T FOLLOW CONTOURS

#2 STONE CHECK DAM

DUST CONTROL SPECIFICATIONS

TEMPORARY METHODS

- Mulches - See Standards for vegetative stabilization with mulches only. Mulch should be cribbed or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil stabilization. Begin plowing on windward side of site. Chisel-type plow spaced about 12 inches apart. Spring-toothed harrow and disk harrow are avoided if equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed.
- Barriers - Solid board fences, snow fences, brush fences, straw bales, and similar material can be used to control currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at a rate that will keep surface moist. May need re-treatment.

PERMANENT METHODS

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with soil. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsoiling - Covering with less erosive soil materials. See standards for topsoiling.
- Stone - Cover surface with crushed stone or coarse gravel.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE H-26-1 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

NOT TO SCALE

UTILITY CONSTRUCTION OUTSIDE SEDIMENT CONTROL PRACTICES

- EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON UPSTREAM SIDE OF TRENCH.
- IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED AND IMMEDIATELY STABILIZED (MULCHED, SEEDED, AND/OR SOODED) MECHANICAL STABILIZATION AT THE END OF EACH WORK DAY.
- SILT FENCE SHALL BE PLACED IMMEDIATELY DOWN STREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE WORKING DAY. SILT FENCE AS PER SCS STANDARD DRAWING - E-15-33.
- THE CONTRACTOR SHALL DISTURB AND OPEN TRENCH THE MINIMUM PRACTICAL AREA REQUIRED TO ACCOMPLISH THE WORK DESIGNATED FOR EACH DAY.
- ALL SEDIMENT AND EROSION CONTROL PRACTICES AND VEGETATIVE STABILIZATION ARE TO BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS. ANY EROSION AND SEDIMENT CONTROL PRACTICES DAMAGED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

UTILITY CONSTRUCTION OUTSIDE SEDIMENT CONTROL

Date	No.	Revision Description

NORDSTROM PARKING DECK THE MALL IN COLUMBIA

COLUMBIA TOWN CENTER SECTION 2 AREA 1 LOT 4B HOWARD COUNTY, MD

OWNER / DEVELOPER: THE HOWARD RESEARCH & DEVELOPMENT CORP. COLUMBIA MALL, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044

DMW

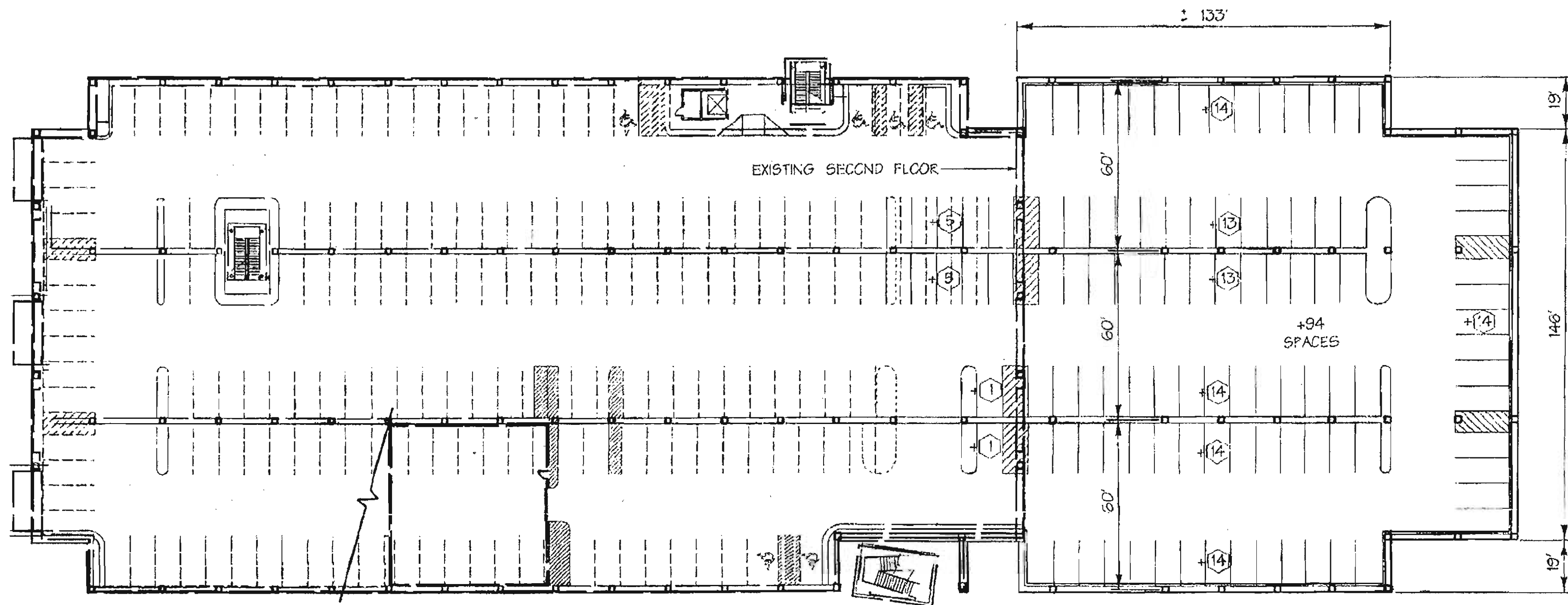
Dick McConaughy, Inc. 200 East Pennsylvania Avenue Towson, Maryland 21286 (410) 296-3333 Fax 296-4700

A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

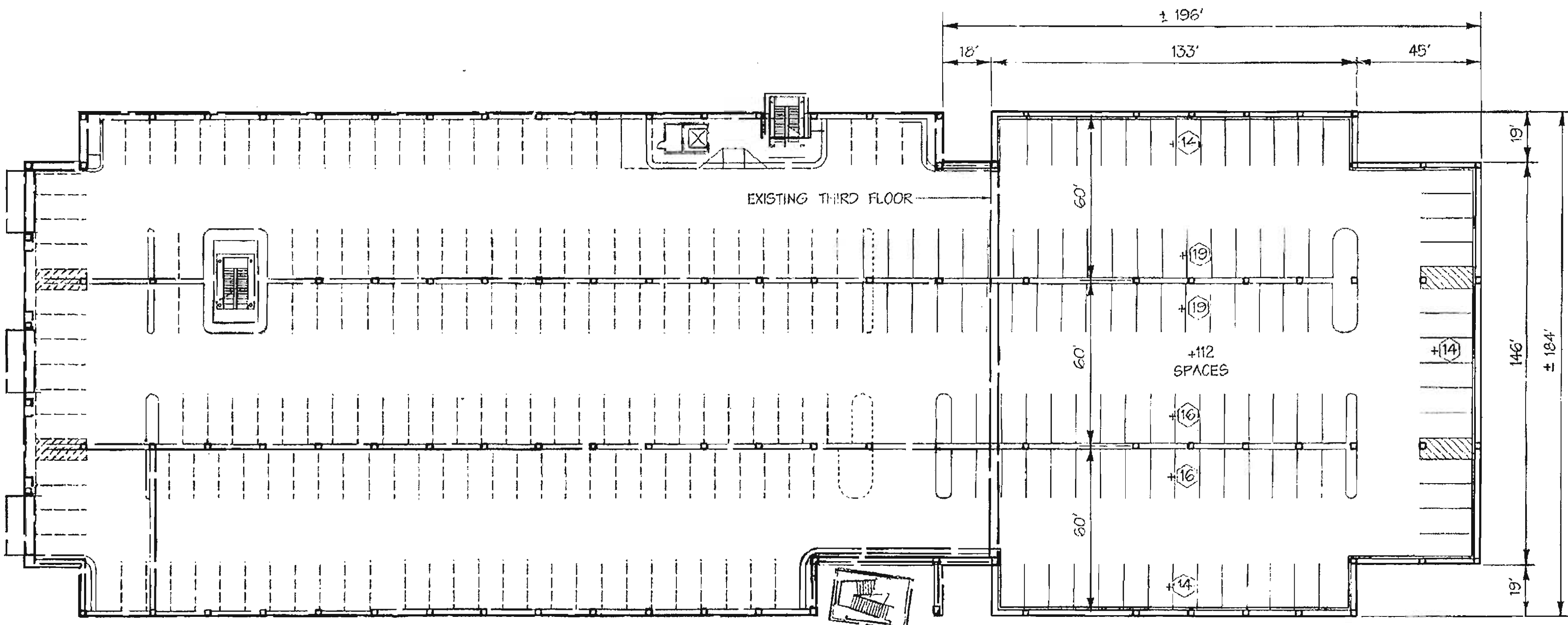
DATE: April 14, 2004

Professional Engr. No. 10451

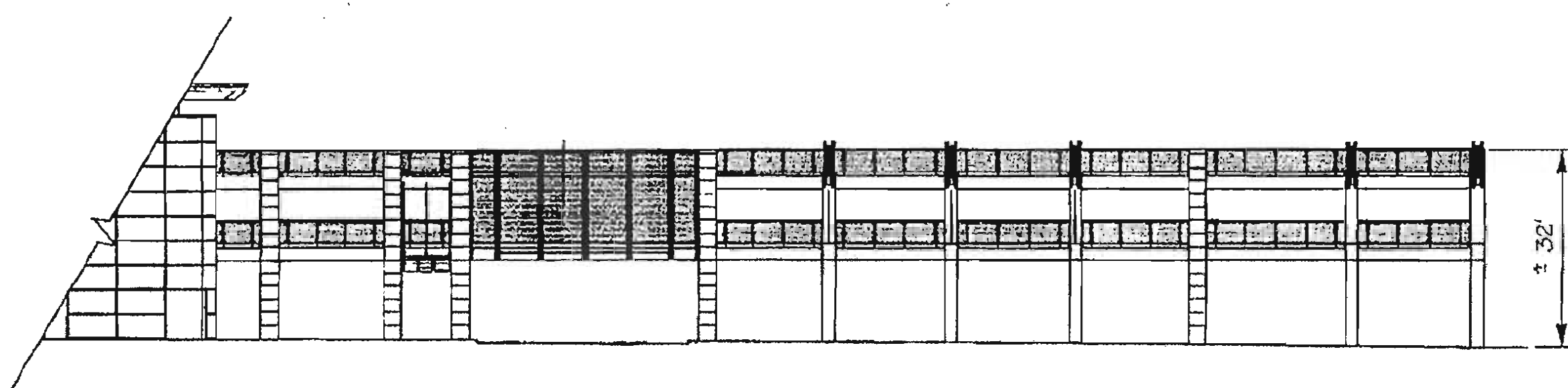
10 OF 13



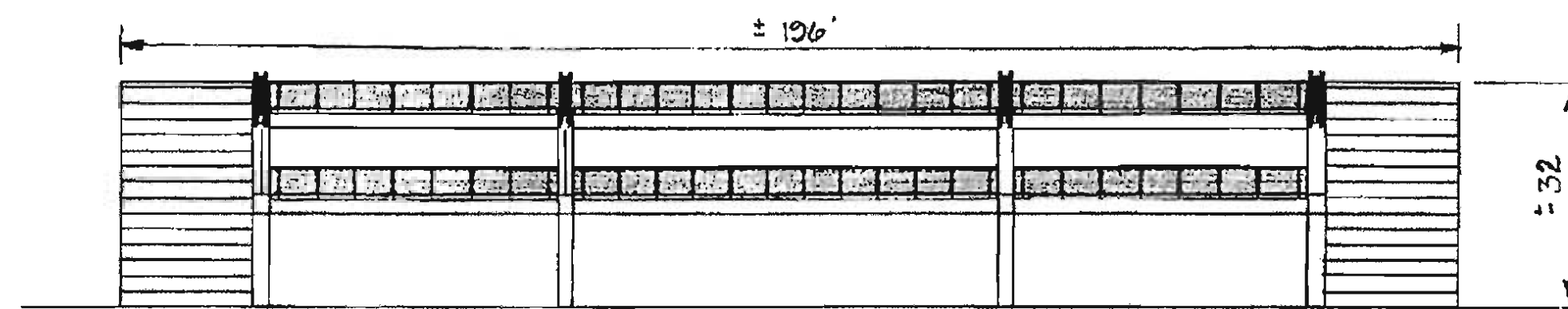
SECOND FLOOR
SCALE: 1"=30'



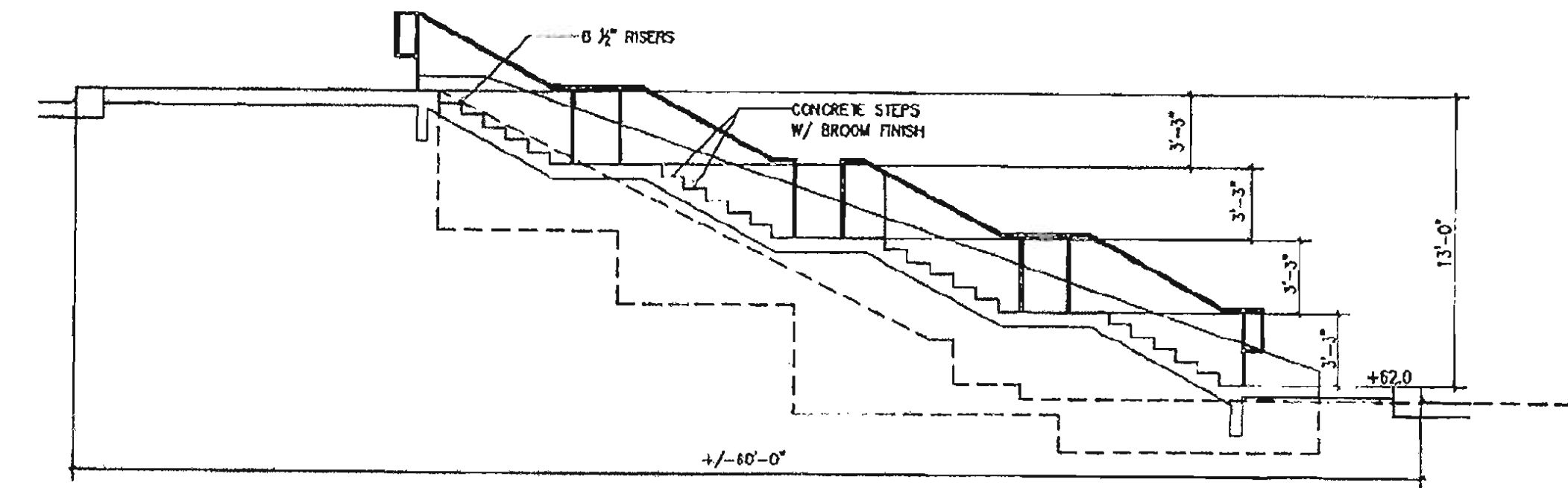
THIRD FLOOR
SCALE: 1"=30'



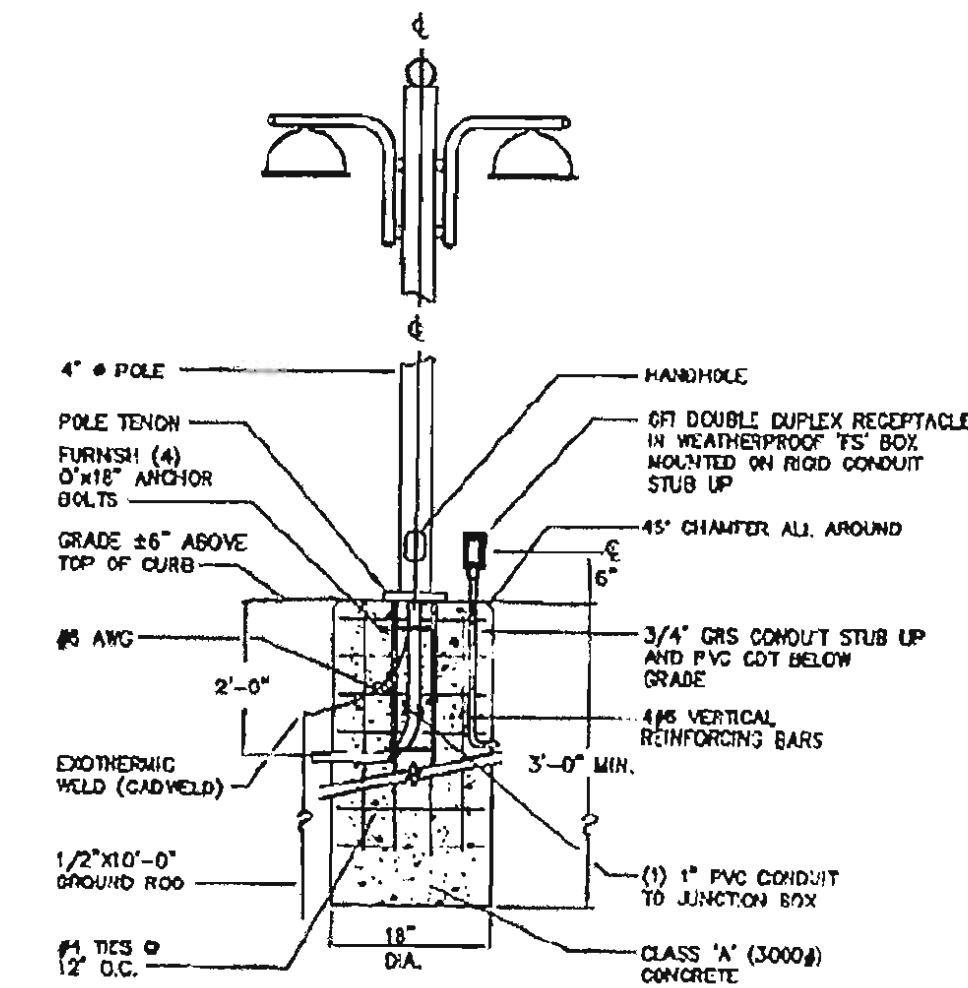
WEST ELEVATION
SCALE: 1"=20'



SOUTH ELEVATION
SCALE: 1"=20'

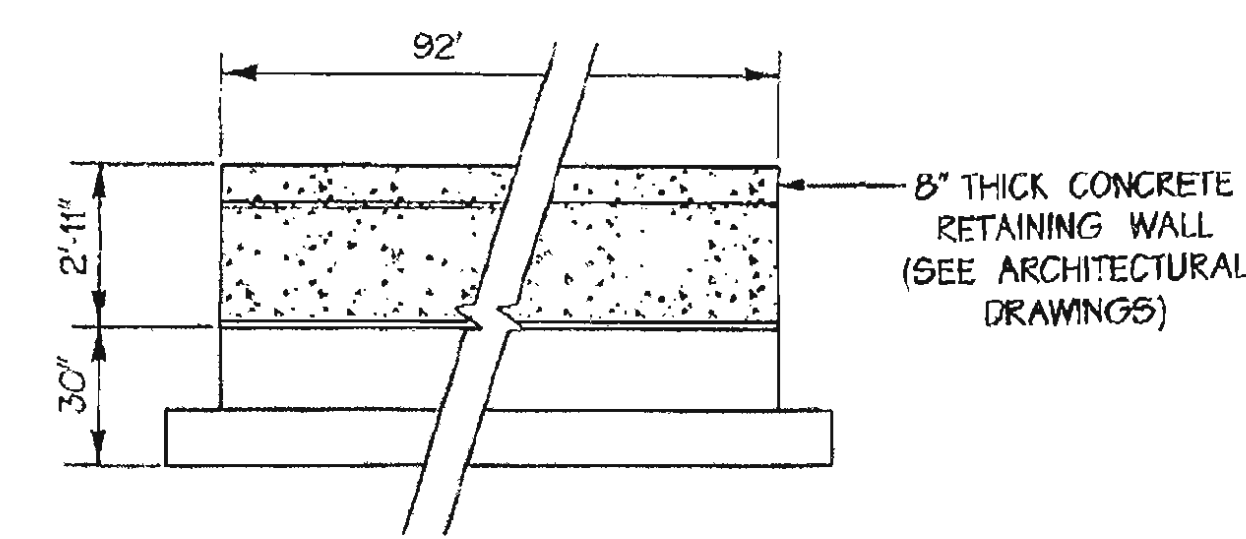


STAIR DETAIL
N.T.S.



'W1' DECORATIVE POLE-BASE DETAIL
(WITH DOUBLE DUPLEX RECEPTACLE)
NO SCALE
DETAIL NOTES
1. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
2. REINFORCING STEEL SHALL BE ASTM A-615 GRADE 60.
3. ALL REINFORCING STEEL SHALL HAVE A MINIMUM COVER OF 3\"/>

LIGHT DETAIL
N.T.S.

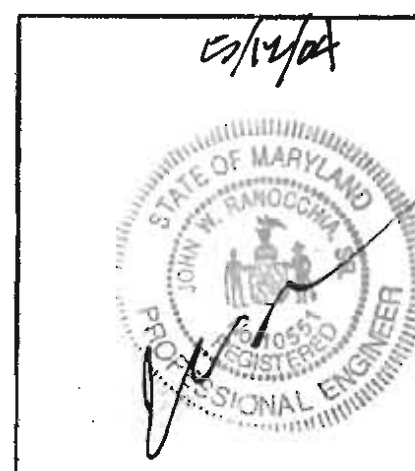


WALL DETAIL
SCALE: 1/4"=1'-0"

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: April 14, 2004

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 Chief, Development Engineering Division: *[Signature]* ME 6/2/04 DATE
 Chief, Division of Land Development: *[Signature]* HB 6/5/04 DATE
 Director: *[Signature]* 6/14/04 DATE

Date No. Revision Description
 THE MALL IN COLUMBIA
 PHASE V
 COLUMBIA TOWN CENTER
 SECTION 2 AREA 1
 LOT 17
 HOWARD COUNTY, MD
 OWNER / DEVELOPER:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044



DMW
 Dan McCaskey-Walkley, Inc.
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3325
 Fax 296-4705
 A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals

TITLE: NORTHWEST PARKING DECK
 PLANS & ELEVATIONS
 Des By: MJP Scale: 1" = 30' Proj. No. 9501986
 Dwn By: JSN Date: 5-12-04
 Chk By: *[Signature]* Approved: 11 OF 13

Professional Engr. No. 10051

General Planting Notes

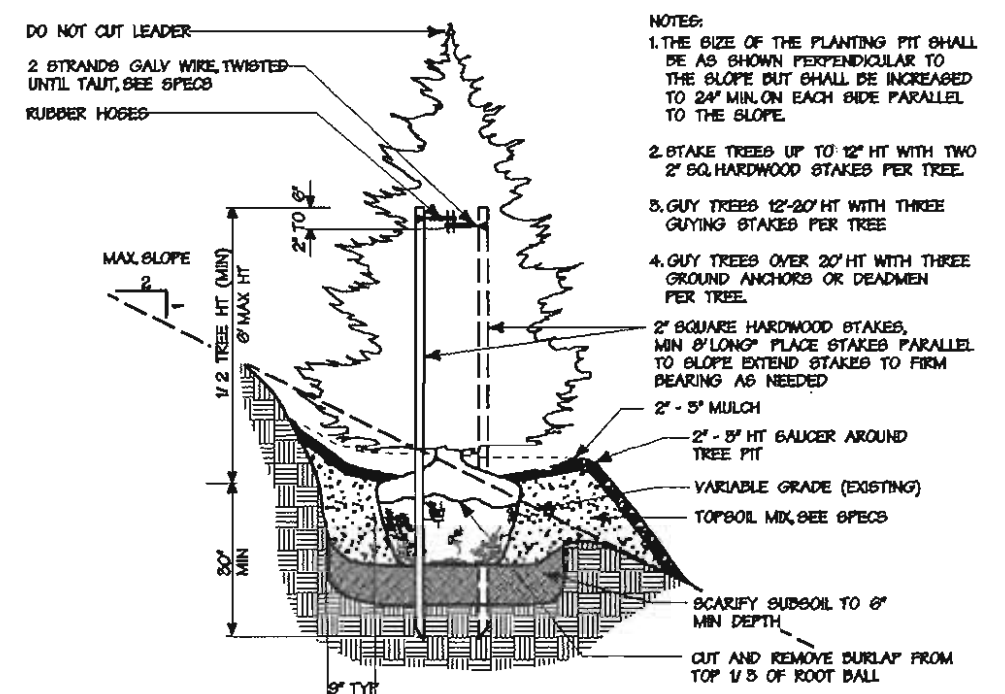
1. All plant material to meet A.A.N. Standards.
2. Landscape Contractor to follow landscape specification guidelines for Baltimore Washington Metro area approved by LCAMW.
3. No substitutions to be made without consent of Landscape Architect or Owner.
4. All beds to be topped with three inches of hardwood mulch.
5. Landscape Contractor to verify location of utilities with Owner before planting.
6. Landscape Architect/Owner shall select, verify and/or approve all plant material. At Owners discretion, specimen and other plant material will be selected.
7. Contractor shall notify Miss Utility 72 hours prior to construction.
8. Site lighting to be in accordance with mechanical plans in engineer's Site Plan Set and Section 134, Zoning.
9. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard Co. code & the Landscape Manual following the alternative compliance method. Note, no proposed trees are shown on the plan, all trees exist on site and are being transplanted. Financial surty for the required landscape trees in the amount of \$0 must be posted as part of the grading permit.
10. The Owner, Tenant, and/or their Agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences, and wall. All plant materials shall be maintained in good growing conditions and when necessary replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

11. Developer's/Builder's Certification
 I/We certify that the landscaping shown on this plan will be done according to the plan Section 16.124 of the Howard Co. Landscape Manual. I/We further certify that upon completion of certification of landscape installation, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

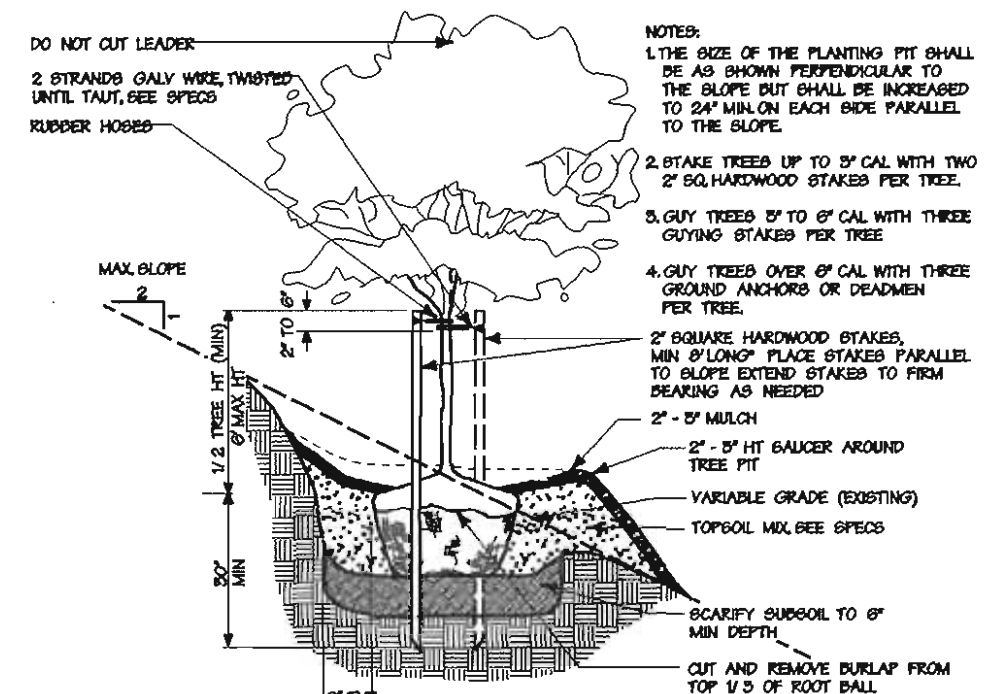
DATE 5-10-04
 SIGNATURE Frank Ziegler

LEGEND

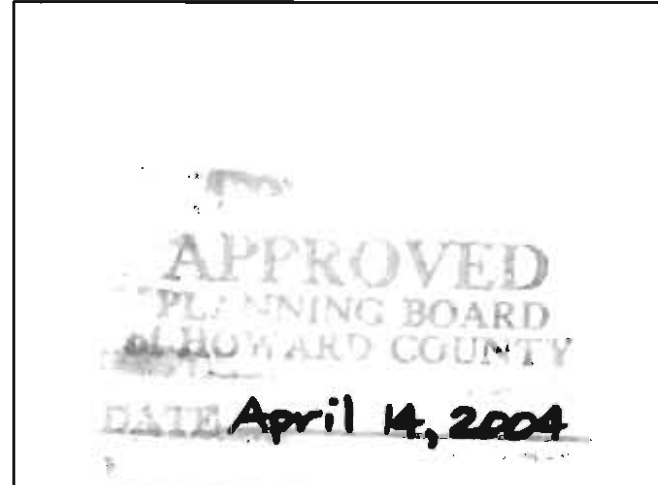
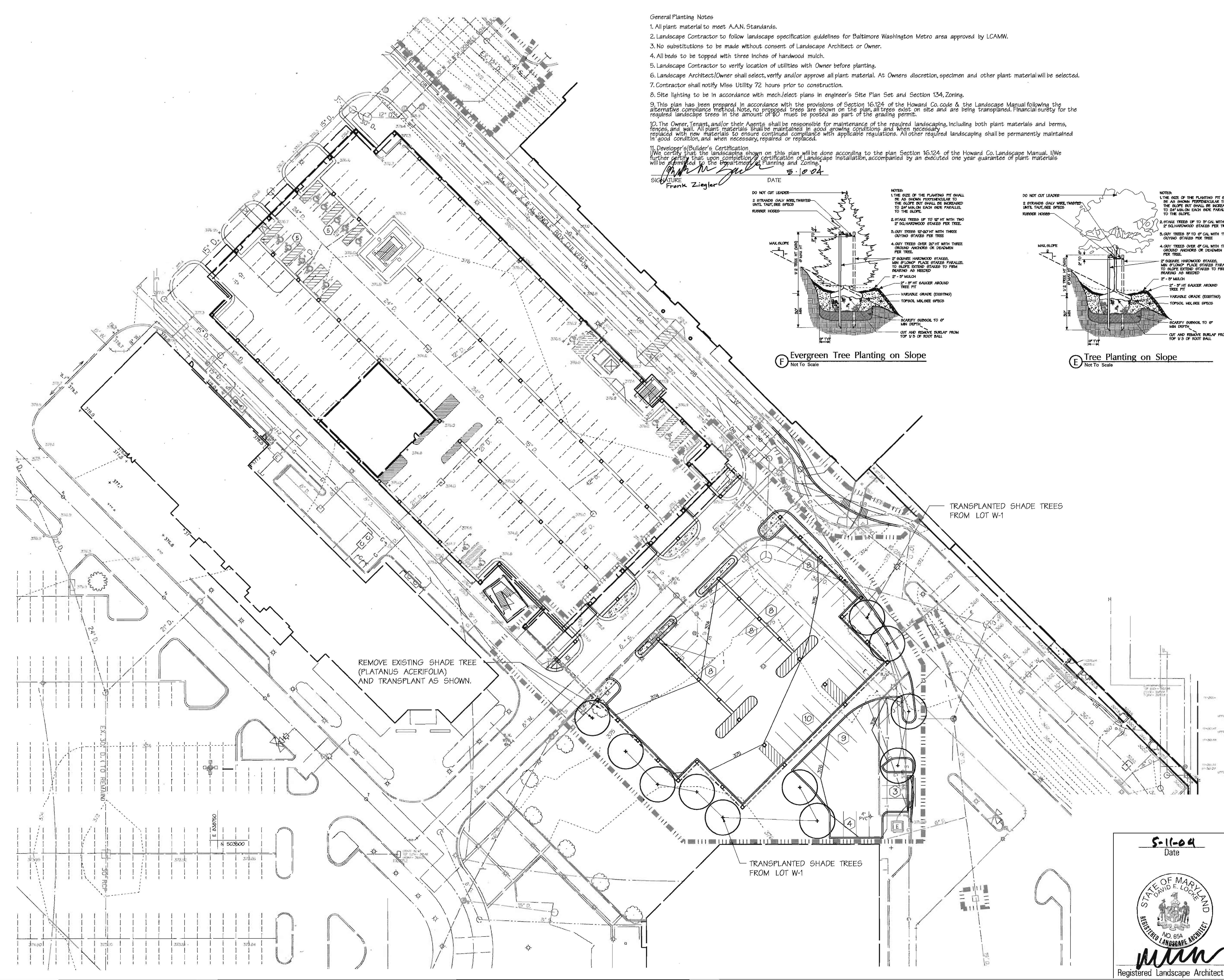
- EX. CONTOUR
- EX. WATER
- EX. SANITARY SEWER
- EX. STORM DRAIN
- EX. GAS
- EX. EDGE OF ROAD
- PROP. CONTOUR
- PROP. UTILITIES
- PAINTED ISLAND
- 6" STANDARD COMB. C&G
- 6" REV. COMB. C&G
- 1" SPECIAL CURB
- PROPOSED L.O.D.



F Evergreen Tree Planting on Slope
 Not To Scale



E Tree Planting on Slope
 Not To Scale



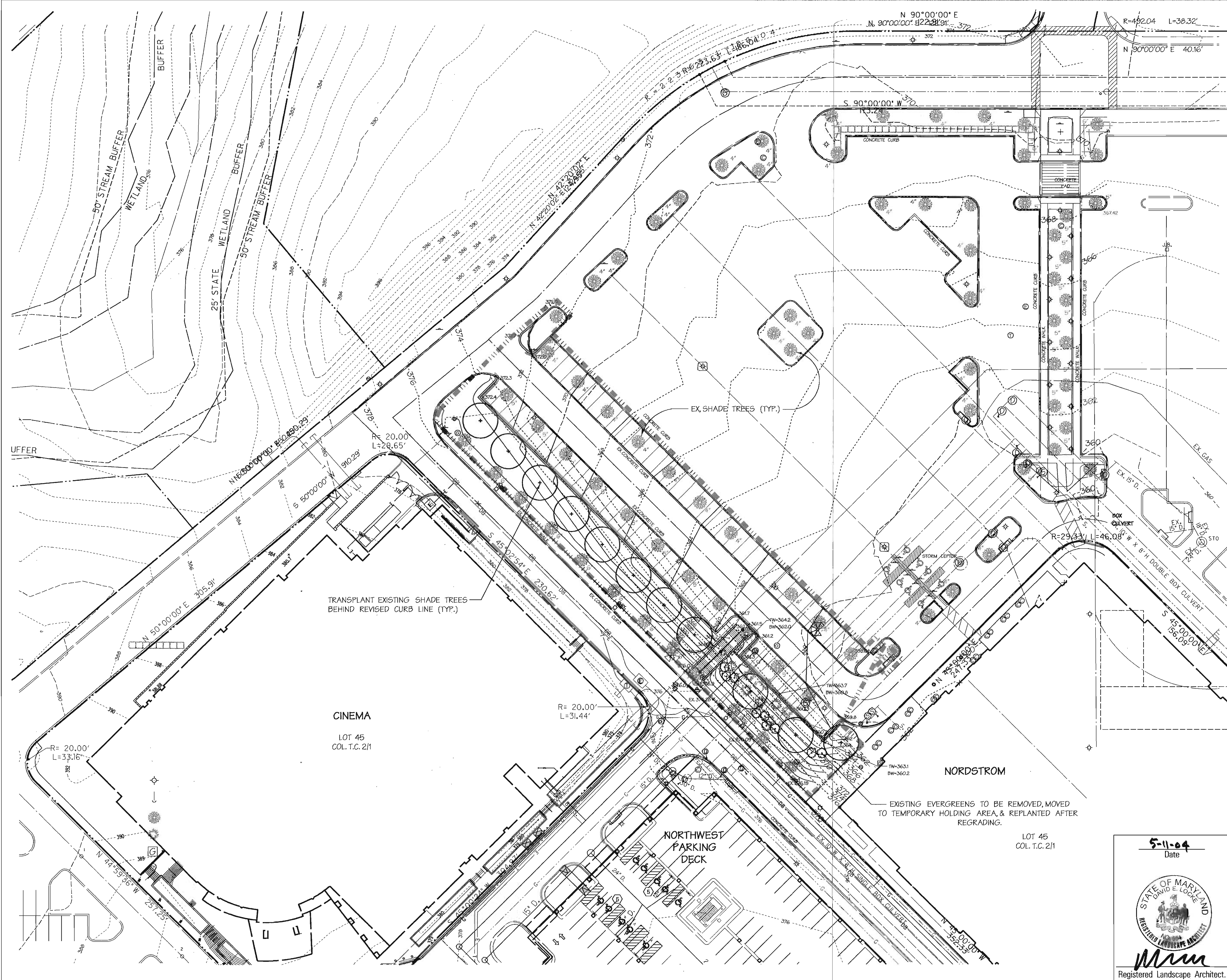
APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	6/2/04
CHIEF, DIVISION OF LAND DEVELOPMENT	6/18/04
DIRECTOR	6/14/04

Date	No.	Revision Description
		THE MALL IN COLUMBIA PHASE V COLUMBIA TOWN CENTER SECTION 2 AREA 1 LOT 47 OWNER /DEVELOPER: HOWARD COUNTY, MD THE HOWARD RESEARCH & DEVELOPMENT CORP. COLUMBIA MALL, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044

5-11-04
 Date

Registered Landscape Architect

TITLE NORTHWEST PARKING DECK GROUND LEVEL - LANDSCAPE PLAN		
Des By	MJP	Scale 1" = 30'
Dwn By	JSN	Date 5-12-04
Chk By	WJ	Approved
Proj. No. 95019B5		12 OF 13



LEGEND

- EX. CONTOUR
- EX. WATER
- EX. SANITARY SEWER
- EX. STORM DRAIN
- EX. GAS
- EX. EDGE OF ROAD
- PROF. CONTOUR
- PROF. UTILITIES
- PAINTED ISLAND
- 6" STANDARD COMB. C&G
- 6" KEY COMB. C&G
- PROPOSED L.O.D.

DATA SOURCES:
 BOUNDARY PER RECORD PLAT 14167, TOPO PER 3D AERIAL
 DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING
 FROM FINAL PLAN, F-02-171.

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE April 14, 2004

APPROVED:	HOWARD COUNTY DEPT. OF PLANNING & ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>[Signature]</i> 6/8/04 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	<i>[Signature]</i> 6/8/04 DATE
DIRECTOR	<i>[Signature]</i> 6/8/04 DATE

Date	No.	Revision Description
		THE MALL IN COLUMBIA PHASE V COLUMBIA TOWN CENTER SECTION 2 AREA 1 LOT 47 OWNER / DEVELOPER: HOWARD COUNTY, MD THE HOWARD RESEARCH & DEVELOPMENT CORP. COLUMBIA MALL, INC. 10275 LITTLE PATUXENT PARKWAY COLUMBIA, MARYLAND 21044

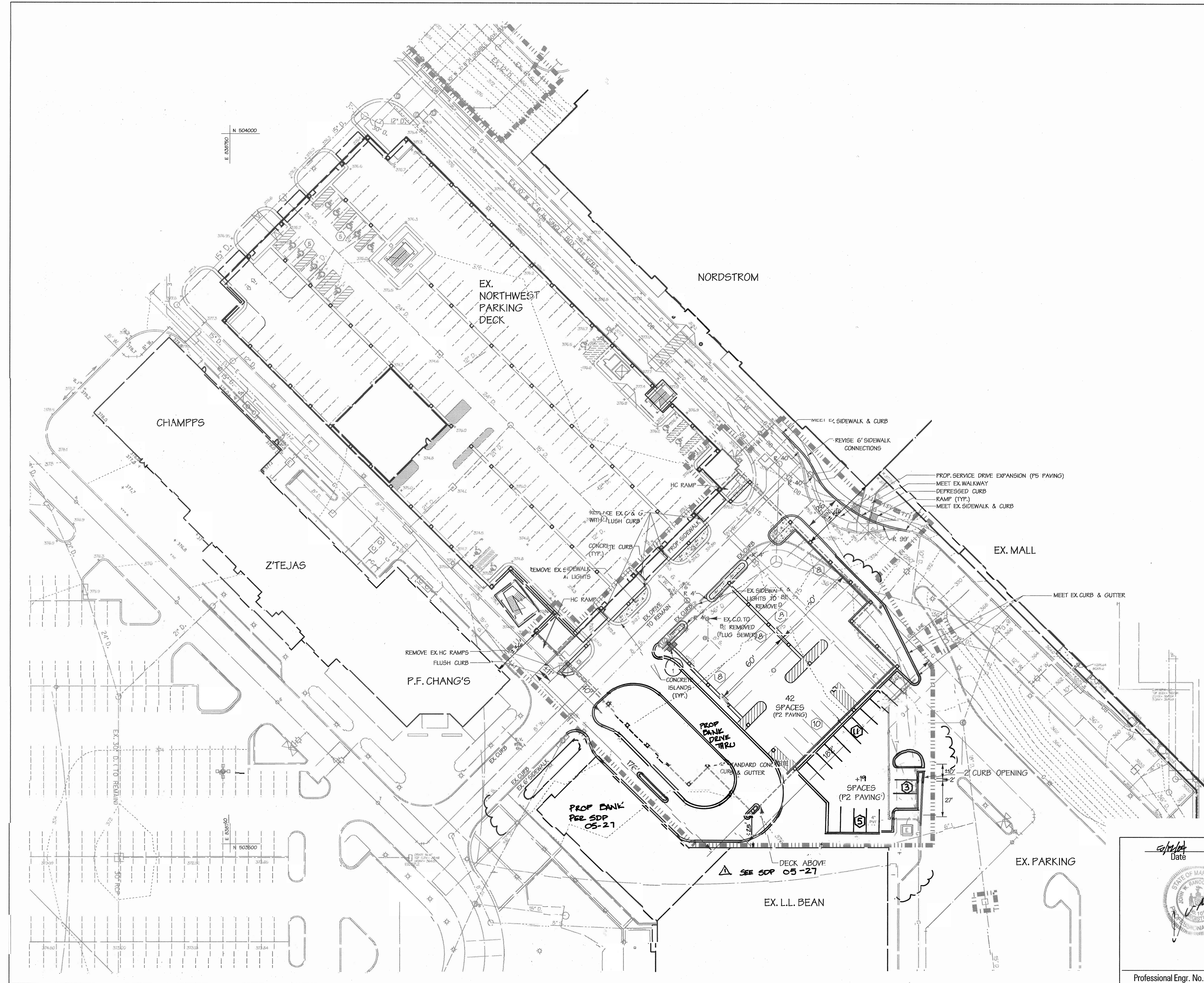
5-11-04
Date

[Signature]
 Registered Landscape Architect.

DMW Daft McCune-Walker, Inc. 300 East Pennsylvania Avenue Towson, Maryland 21286 (410) 296-3333 Fax 296-4705				A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals	
TITLE PARKING LOT W-1 LANDSCAPE PLAN					
Des By	MJP	Scale	1" = 30'	Proj. No.	9501985
Drn By	JSN	Date	5-12-04		
Chk By	<i>[Signature]</i>	Approved	13 OF 13		

LEGEND

- EX. CONTOUR
- EX. WATER
- EX. SANITARY SEWER
- EX. STORM 15" IN
- EX. GAS
- EX. EDGE OF ROAD
- PROP. CONTOUR
- PROP. UTILITIES
- PAINTED ISLAND
- 6" STAND. CON. LUMD. LOG
- 6" REV. CON. C&G
- PROPOSED L.O.D.



April 14, 2004

APPROVED:	HOWARD COUNTY DEPT. OF PLANNING & ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>[Signature]</i> 6/2/04 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	<i>[Signature]</i> 6/8/04 DATE
DIRECTOR	<i>[Signature]</i> 6/2/04 DATE

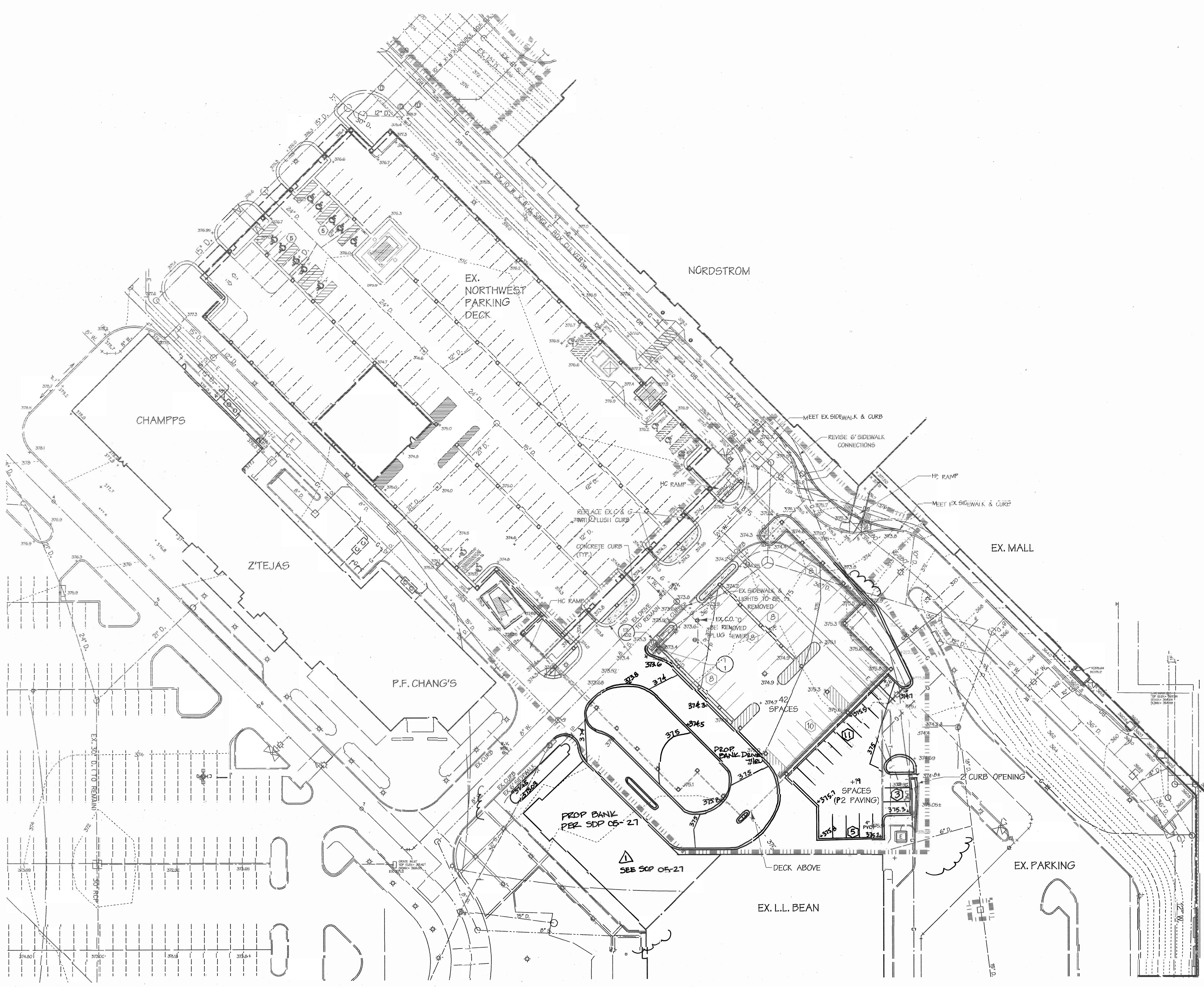
11-504 A ADDED BANK DRIVE THRU PER SDP 05-27
Date No. Revision Description

THE MALL IN COLUMBIA
 PHASE 1
 COLUMBIA TOWN CENTER
 SECTION 2 AREA 1
 LOT 47
 HOWARD COUNTY, MD
 OWNER / DEVELOPER:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

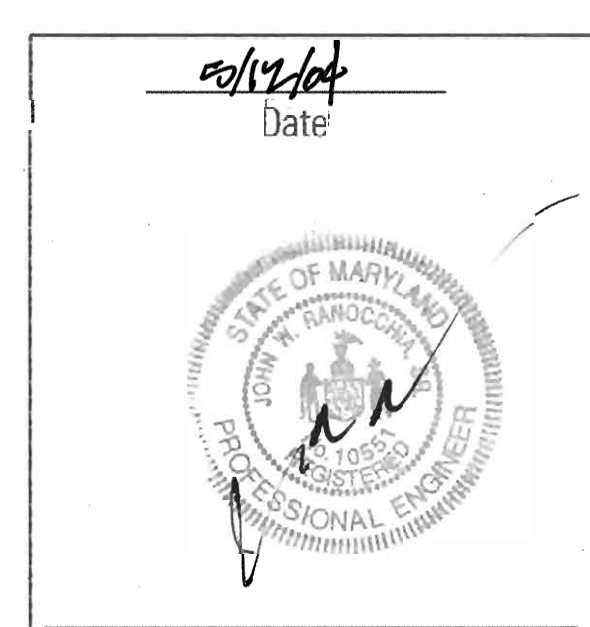
[Signature]
Date

Professional Engr. No. 10185

<p>DMW Dawn McCune-Walkers, Inc. 200 East Pennsylvania Avenue Towson, Maryland 21286 (410) 296-3750 Fax 296-4705</p> <p>A Team of Land Planning, Architecture, Landscape Architecture, Engineers, Surveyors & Environmental Professionals</p>			
<p>TITLE: NORTHWEST PARKING DECK GROUND LEVEL - SITE PLAN</p>			
Des By	MJP	Scale	1" = 30'
Dim By	JSN	Date	5-12-04
Chk By	Approved <i>[Signature]</i>	Proj. No.	95018 (B)
			3 OF 13



- LEGEND**
- EX. CONTOUR
 - - - EX. WATER
 - - - EX. SANITARY SEWER
 - - - EX. STORM DRAIN
 - - - EX. GAS
 - - - EX. EDGE OF ROAD
 - - - EX. CONTOUR
 - - - PROP. UTILITIES
 - - - PAINTED ISLAND
 - - - 6" STANDARD COMB. C&G
 - - - 6" STD. COMB. C&G
 - - - PERIPHERAL CURB
 - - - PROPOSED L.O.D.



Professional Engr. No. 10591

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE April 14, 2004

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>John DeWitt</i> CHIEF DEVELOPMENT ENGINEERING DIVISION MK	6/2/04 DATE
<i>John DeWitt</i> CHIEF, DIVISION OF LAND DEVELOPMENT HB	6/8/04 DATE
<i>John DeWitt</i> DIRECTOR	6/10/04 DATE

(1-15-04) **ADDED BANK DRIVE THRU PER SDP 05-21**

Site No. _____ Revision Description

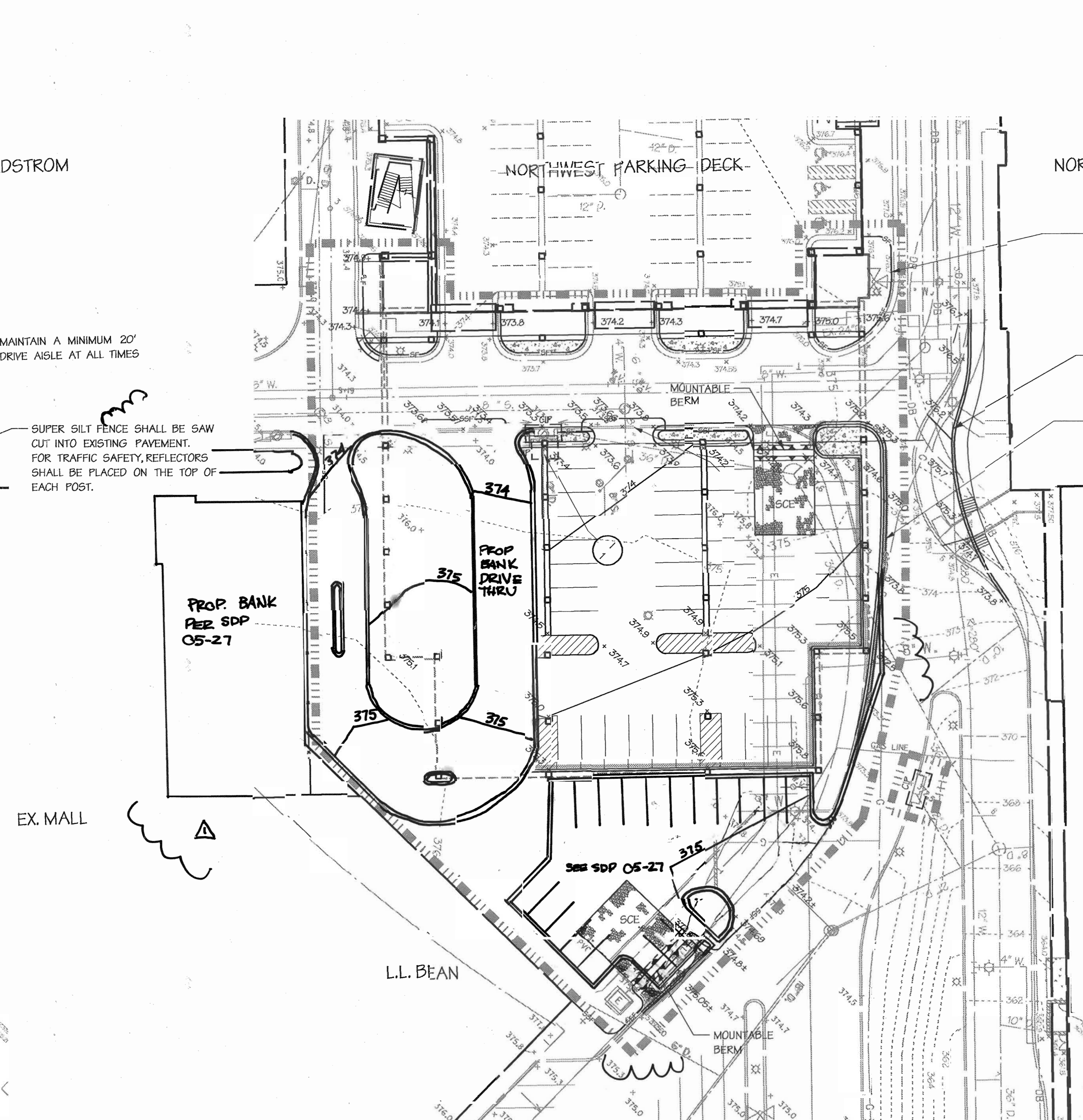
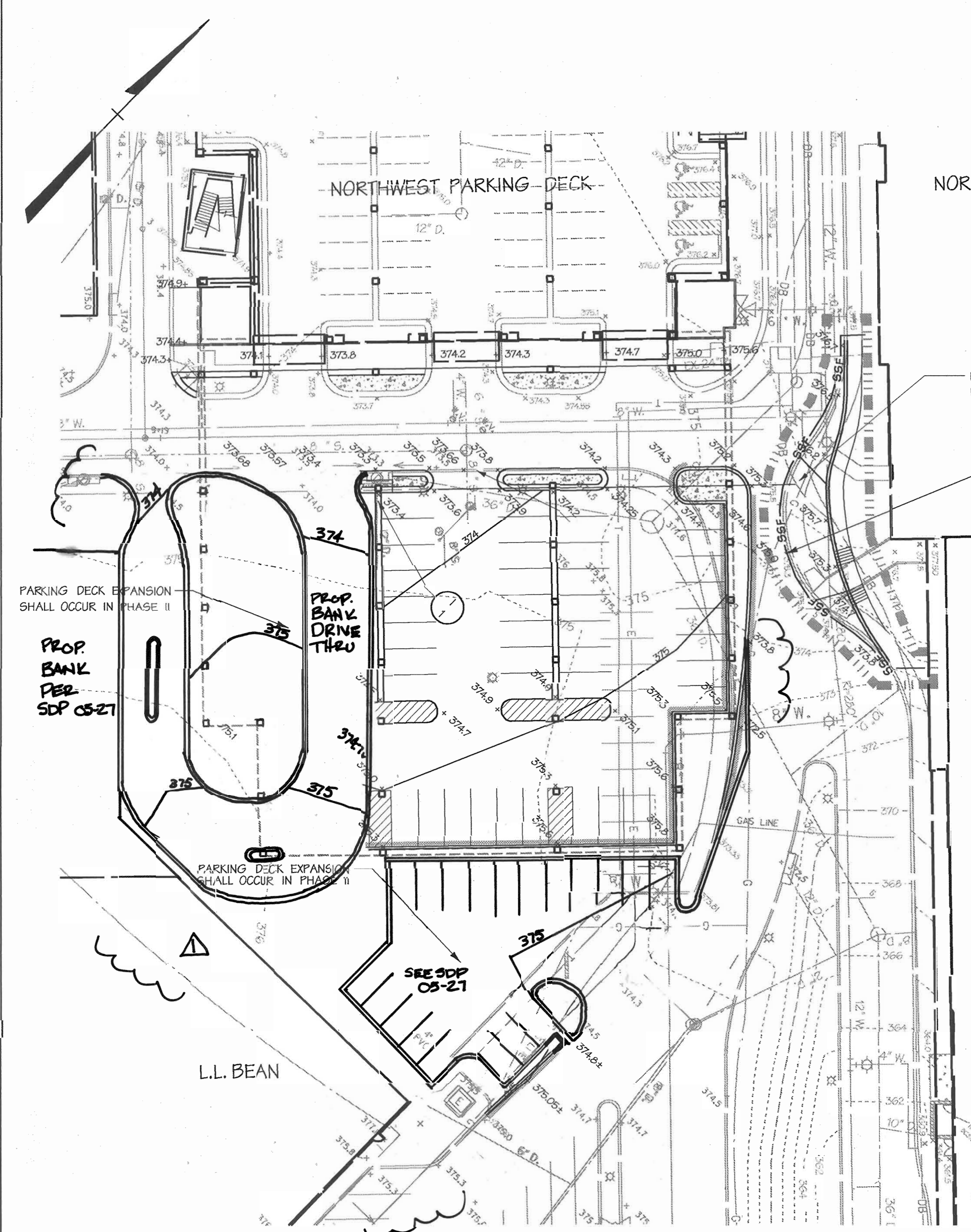
**NORDSTROM PARKING DECK
THE MALL IN COLUMBIA**
COLUMBIA TOWN CENTER
SECTION 2 AREA 1 LOT 47
HOWARD COUNTY, MD

OWNER / DEVE. OPER:
THE HOWARD RESEARCH & DEVELOPMENT CORP.
COLUMBIA MALL, INC.
10275 LITTLE PATUXENT PARKWAY
COLUMBIA, MARYLAND 21044

DMW
Daly, McCune-Walker, Inc.
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax 296-4705

A Team of Land Planners,
Landscape Architects,
Engineers, Surveyors &
Environmental Professionals

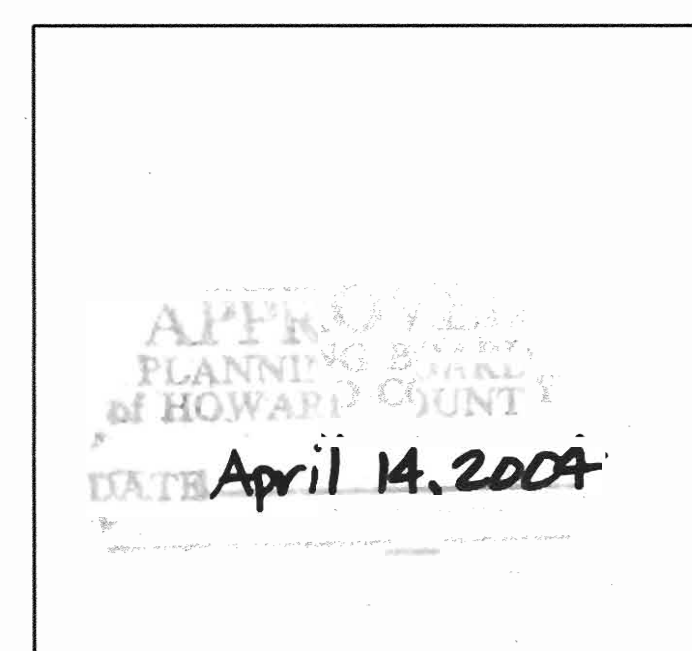
TITLE NORTHWEST PARKING DECK GROUND LEVEL - GRADING PLAN			
Des By	MJP	Scale	1" = 30'
Proj. No.	501985	Date	5-12-04
Drn By	JSN	Approved	5 of 13
Chk By	<i>JSN</i>		



- NEAREST PARKING DECK SEQUENCE OF CONSTRUCTION
- PHASE 1
1. OBTAIN GRADING PERMITS. (2 DAYS)
 2. CONTACT MISS UTILITY AT 1-800-287-7777 AT LEAST THREE DAYS IN ADVANCE OF STARTING WORK SHOWN ON PLANS. (1 DAY)
 3. INSTALL PHASE 1 EROSION AND SEDIMENT CONTROL MEASURES. (2 DAYS)
 4. ONCE PHASE 1 EROSION AND SEDIMENT CONTROLS ARE OPERATIONAL AND WITH PERMISSION OF THE INSPECTOR, CLEAR AND GRUB SITE DRAINING TO PHASE 1 CONTROLS. (2 DAYS)
 5. ROUGH GRADE SITE DRAINING TO PHASE 1 CONTROLS, EXISTING CURB AND GUTTER AND EXISTING PAVEMENT TO BE REMOVED IN PHASE 1 SHALL BE REMOVED AT THIS TIME. ALL PAVEMENT AND CURB AND GUTTER REMOVED SHALL BE TAKEN TO AN APPROVED HOWARD COUNTY DUMP SITE. (5 DAYS)
 6. INSTALL CURB AND GUTTER, SIDEWALK AND ROAD SUB-BASE. (5 DAYS)
 7. FINE GRADE AREA DRAINING TO PHASE 1 CONTROLS AND PERMANENTLY STABILIZE THOSE AREAS. (5 DAYS)
 8. WITH APPROVAL OF THE INSPECTOR, REMOVE PHASE 1 EROSION AND SEDIMENT CONTROL MEASURES AND PERMANENTLY STABILIZE THOSE AREAS. TRAFFIC SAFETY BARRIERS SHALL BE USED ALONG 1/2 FT OF NEW PAVEMENT UNTIL PAVED. (5 DAYS)
 9. ONCE PHASE 1 ROADWAY IS COMPLETE, RELOCATE TRAFFIC SAFETY BARRIERS TO PHASE 2 LIMIT OF DISTURBANCE WITHIN THE EXISTING ROADWAY. (2 DAYS)
- PHASE 2
10. INSTALL PHASE 2 EROSION AND SEDIMENT CONTROL MEASURES. (2 DAYS)
 11. ONCE PHASE 2 EROSION AND SEDIMENT CONTROLS ARE OPERATIONAL AND WITH PERMISSION OF THE INSPECTOR, CLEAR AND GRUB SITE DRAINING TO PHASE 2 CONTROLS. (5 DAYS)
 12. ROUGH GRADE REMAINDER OF SITE, INSTALL OR RELOC. UTILITIES AS REQUIRED TO MAINTAIN APPROPRIATE COVER, EXISTING CURB AND GUTTER, AND EXISTING PAVEMENT TO BE REMOVED SHALL BE REMOVED AT THIS TIME. ALL PAVEMENT AND CURB AND GUTTER REMOVED SHALL BE TAKEN TO AN APPROVED HOWARD COUNTY DUMP SITE. (2 DAYS)
 13. BEGIN PARKING DECK EXPANSION. (80 DAYS)
 14. INSTALL CURB AND GUTTER, ROAD SUB-BASE AND PAVING. (21 DAYS)
 15. FINE GRADE REMAINING AREAS AND PERMANENTLY STABILIZE THOSE AREAS. (5 DAYS)
 16. ONCE STABILIZATION IS COMPLETE, AND WITH APPROVAL OF THE INSPECTOR, REMOVE ALL EROSION AND SEDIMENT CONTROL MEASURES AND PERMANENTLY STABILIZE THOSE AREAS. (2 DAYS)

PHASE I - SEDIMENT & EROSION CONTROL
SCALE: 1"=30'

PHASE II - SEDIMENT & EROSION CONTROL
SCALE: 1"=30'



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION MK 6/2/04
 CHIEF DIVISION OF DEVELOPMENT HB 4/16/04
 DIRECTOR DATE 4/16/04

(1-15-04) ADDD BANK DRIVE THRU PER SDP 05-27
 Date No. Revision Description
 THE MALL IN COLUMBIA
 PHASE V
 COLUMBIA TOWN CENTER
 SECTION 2 AREA 1
 LOT 47
 HOWARD COUNTY, MD
 OWNER /DEVELOPER:
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

DEVELOPER'S CERTIFICATION:
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Developer: Frank Cicqlev
 DATE: 5-10-04

ENGINEER'S CERTIFICATION:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer: John W. Rancicchio, Jr.
 DATE: 5-11-04

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

Signature: Jim Medina
 DATE: 5/26/04
 U.S. NATURAL RESOURCE CONSERVATION SERVICE

Signature: Guffy
 DATE: 5/26/04
 HOWARD S.C.D.

- LEGEND**
- EX. CONTOUR
 - EX. WATER
 - EX. SANITARY SEWER
 - EX. STORM DRAIN
 - EX. GAS
 - EX. EDGE OF ROAD
 - PROP. CONTOUR
 - PROP. UTILITIES
 - PAINTED ISLAND
 - 6" STANDARD COMB. C&G
 - 1" REV. COMB. C&G
 - 1" SPECIAL CURB
 - STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
 - SF - SUPER SILT FENCE
 - SF - SILT FENCE
 - INLET PROTECTION
 - LIMIT OF DISTURBANCE

9/14/04
 Date

Professional Engr. No. 100001

DMW
 A Team of Land Planners, Engineers, Surveyors & Environmental Professionals

STATE OF MARYLAND PROFESSIONAL ENGINEER

TITLE: NORTHWEST PARKING DECK GROUND LEVEL SEDIMENT & EROSION CONTROL PHASE I & II

Des By: NJP Scale: 1" = 30' Proj. No.: 95019B6
 Dwn By: JSN Date: 5-12-04
 Chk By: Approved 9 OF 13

SDP-04-111

General Planting Notes

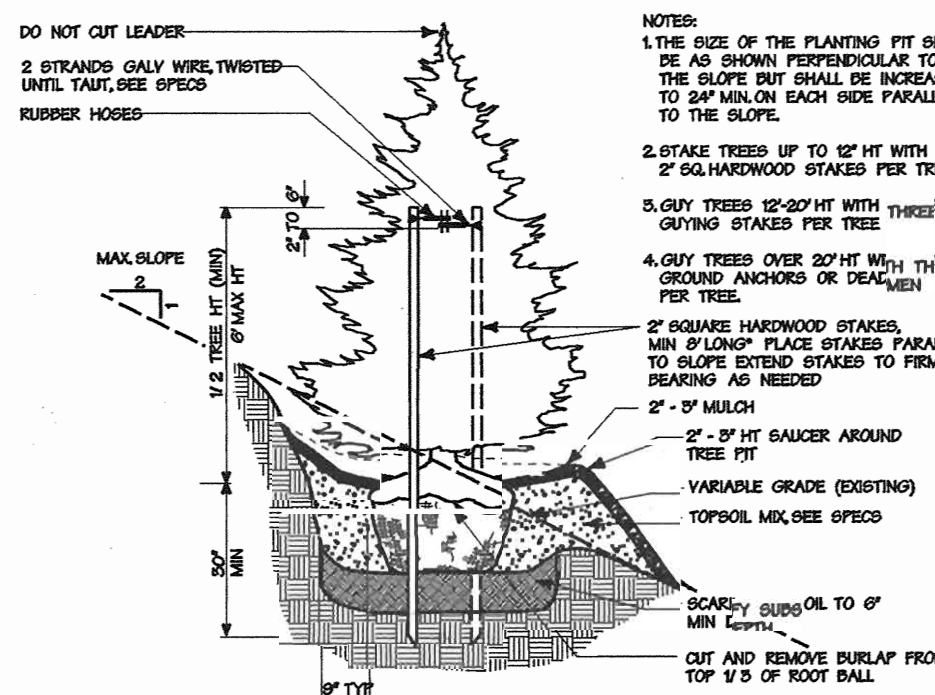
1. All plant material to meet A.A.N. Standards.
2. Landscape Contractor to follow landscape specification guidelines for Baltimore Washington Metro area approved by LCAMM.
3. No substitutions to be made without consent of Landscape Architect or Owner.
4. All beds to be topped with three inches of hardwood mulch.
5. Landscape Contractor to verify location of utilities with Owner before planting.
6. Landscape Architect/Owner shall select, verify and/or approve all plant material. At Owners discretion, specimen and other plant material will be selected.
7. Contractor shall notify Miss Utility 72 hours prior to construction.
8. Site lighting to be in accordance with mechanical plans in engineer's Site Plan Set and Section 134, Zoning.
9. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard Co. Code & the Landscape Manual following the alternative compliance method. Note: no proposed trees are shown on this plan, all trees exist on site and are being transplanted. Financial surety for the required landscape trees in the amount of \$50,000 must be posted as part of the grading permit.
10. The Owner, Tenant, and/or their Agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences, and wall. All plant materials shall be maintained in good growing conditions and when necessary replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

11. Developer's/Builder's Certification
 I/We certify that the landscaping shown on this plan will be done according to the plan Section 16.124 of the Howard Co. Landscape Manual. I/We further certify that upon completion of landscape installation, accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

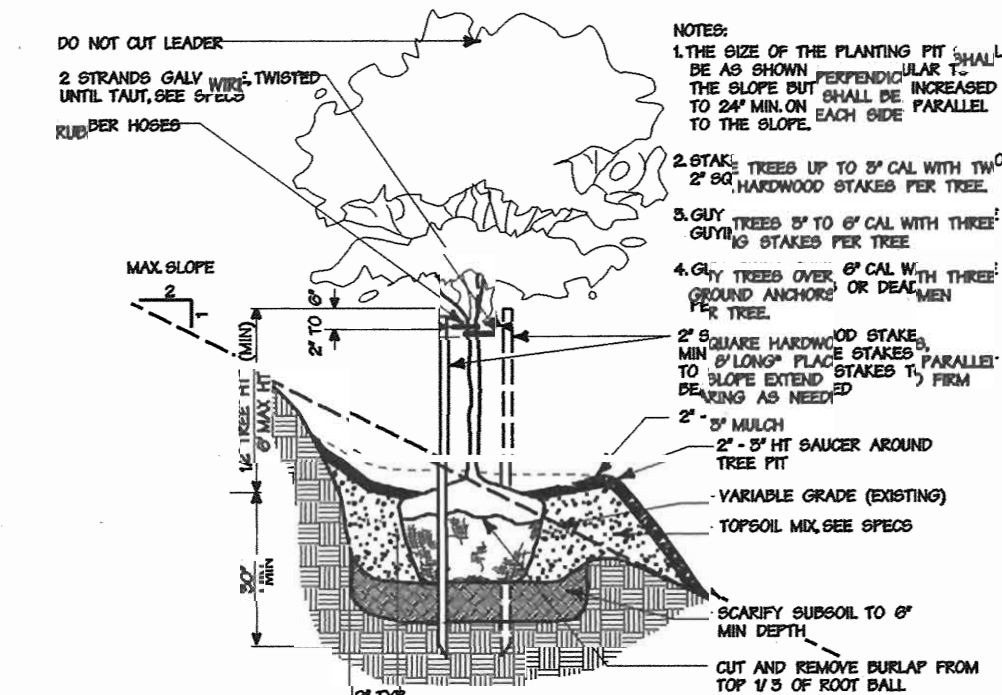
SIGNATURE: Frank Ziegler
 DATE: 5-10-04

LEGEND

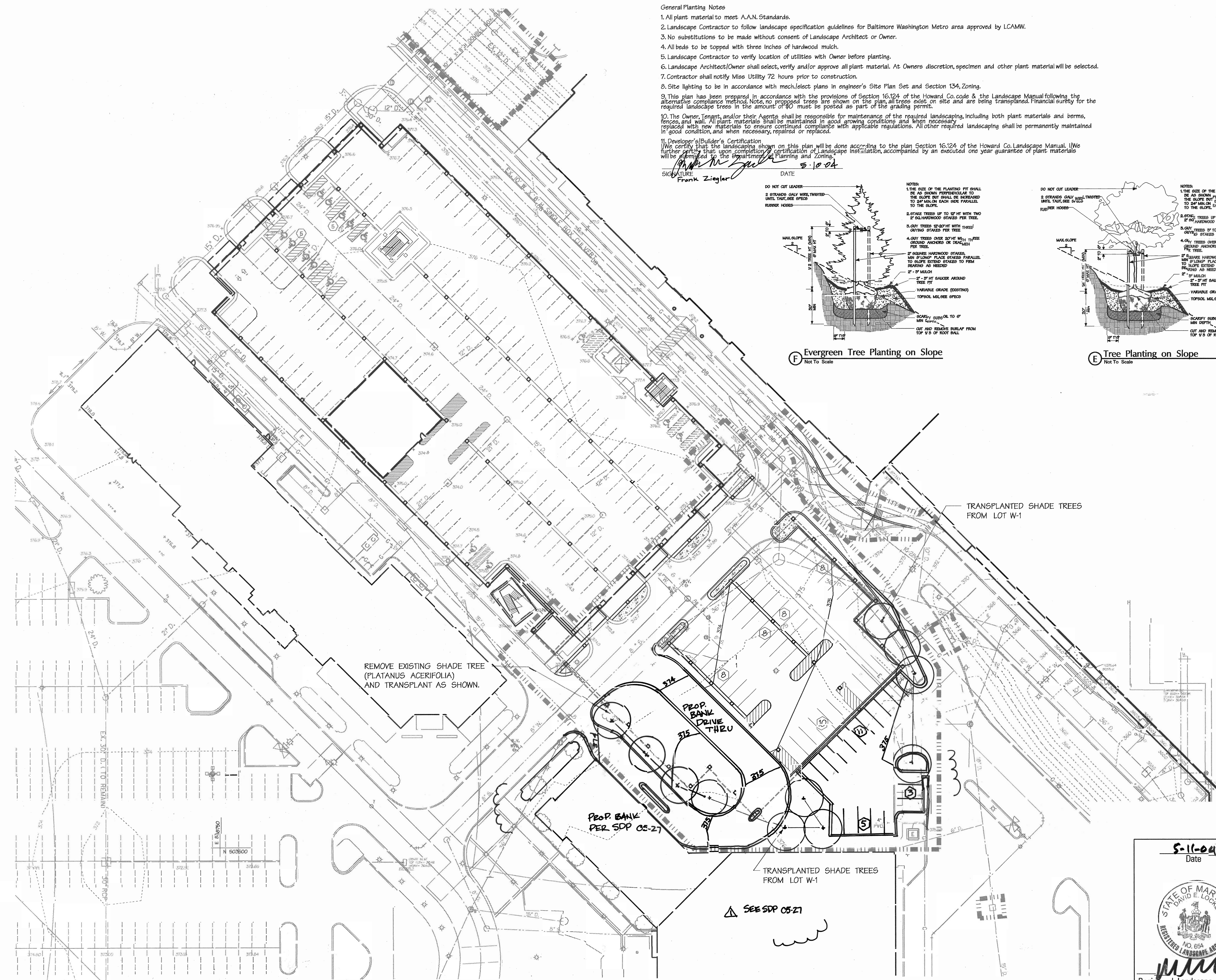
- EX. CONTOUR
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- EX. RYTHM DRAIN
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- 6" STANDARD COMB. C&G
- 6" REV. COMB. C&G
- SPECIAL CURB
- PROPOSED L.O.D.



F Evergreen Tree Planting on Slope
 Not To Scale



E Tree Planting on Slope
 Not To Scale



APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: April 14, 2004

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	6/2/04
CHIEF, DIVISION OF LAND DEVELOPMENT	6/5/04
	6/10/04

11-15-04 A ADDED BANK DRIVE THRU PER SDP 05-27

Date: 5-11-04
 Revision Description:
THE MALL IN COLUMBIA
 PHASE V
 COLUMBIA TOWN CENTER
 SECTION 2 AREA 1
 OWNER / DEVELOPER: HOWARD COUNTY, MD
 THE HOWARD RESEARCH & DEVELOPMENT CORP.
 COLUMBIA MALL, INC.
 10275 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044

5-11-04
 Date

DMW
 McCune-Walker, Inc.
 East Pennsylvania Avenue
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 (410) 296-3333
 Fax 296-4705

A Team of Land Planners,
 Landscape Architects,
 Engineers, Surveyors &
 Environmental Professionals

Des By: MJP
 Dwn By: JSN
 Chk By: [Signature]

Scale: 1" = 30'
 Date: 5-12-04
 Approved: [Signature]

Proj. No. 9501955
 12 OF 13

TITLE: NORTHWEST PARKING DECK
 GROUND LEVEL - LANDSCAPE PLAN