#### **GENERAL NOTES**

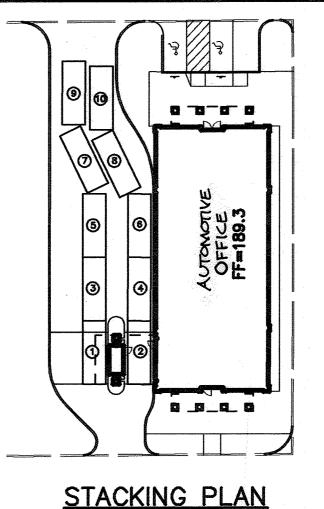
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- 4. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCO). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 6. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOCIATES DATED NOVEMBER, 2003.
- 7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 471B AND 471C WERE USED FOR THIS PROJECT.
- 8. WATER IS PUBLIC. CONTRACT NO. 24-3701-D
- 9. SEWER IS PUBLIC. SEWER DRAINAGE AREA: LITTLE PATUXENT CONTRACT NO. 24-3701-D
- 10. THE STORMWATER QUALITY AND QUANTITY MANAGEMENT IS PROVIDED FOR UNDER F-92-74.
- 11. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- 12. A 100- YEAR FLOODPLAIN STUDY FOR THIS PROJECT IS NOT REQUIRED.
- 13. NO WETLANDS ARE FOUND ON THIS PROJECT.
- 14. A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
- 15. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT
- 16. THE BOUNDARY FOR THIS PROJECT WAS TAKEN FROM RECORDED PLAT NUMBER 13267 PREPARED BY VOGEL and ASSOCIATES, INC.
- 17. SUBJECT PROPERTY ZONED B-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- 18. ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- 19. SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. S-90-28, P-91-02, F-92-74, F-98-149, SDP-98-133.
- 20. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- 21. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- 22. PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- 23. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE
- 24. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.25. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- 26. PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- 27. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- 28. ALL PROPOSED AND FUTURE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- 29. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- 30. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$300.00 FOR 1 SHADE TREE.
- 31. THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS BECAUSE IT HAD PRELIMINARY SUBDIVISION APPROVAL PRIOR TO DECEMBER 31, 1992, PER SUBDIVISION REGULATION SECTION 16.1202(b)(1)(iii).
- 32. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION REGULATIONS.

# SITE DEVELOPMENT PLAN AUTOMOTIVE OFFICE

6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

PARCEL A-6

**PLAN** 



ADDRESS CHART

SEWER CODE

BLOCK # ZONING TAX MAP NO.

18 B-2

STREET ADDRESS

ELECT. DIST. CENSUS TRAC

7220000 & 5090000

9270 WASHINGTON BLVD

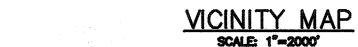
PARCEL NUMBER

C05

SUBDIVISION NAME FREESTATE

13267

WATER CODE



## AREA TABULATION CHART

LITTLE PATUXENT RIVER

AREA OF PARCEL 12.2402 ACRES
LIMIT OF DISTURBED AREA 0.40 ACRES=LIMIT OF SUBMISSION

COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE NO. 20894285

PRESENT ZONING

B-2

PROPOSED USE

I STORY AUTOMOTIVE OFFICE (3,555 SF)

OVERALL PARKING TABULATION - PARCEL A-4

 WEIS MARKET
 70088 SF

 AUTOMOTIVE OFFICE
 3555 SF

 TOTAL
 73176 SF

PARKING REQUIRED = 70088 @ 5/1000 = 350.4 SPACES (WEIS MARKET)

PARKING REQUIRED = 3555 @ 3.3/1000 = 12 SPACES (AUTOMOTIVE OFFICE)

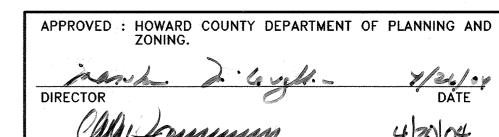
PARKING REQUIRED =  $73643 \otimes 5/1000 = 368.2 \text{ SPACES}$  (TOTAL)

PARKING PROVIDED = 555 SPACES (SDP-98-133)

#### BENCH MARK

HOWARD COUNTY CONTROL STATION 47IB
3/4" IRON ROD WITH 4" STAMPED ALUMINUM CAP
N 529,701.579
E 1,361,469.758
ELEV. 180.709

HOWARD COUNTY CONTROL STATION 47IC N 532,036.885 E 1,362,819.058 ELEV. 189.047



CHIEF, DEVELOPMENT ENGINEERING DIVISION OF LAND DEVELOPMENT

4-20-22 | REVISE TO CHANGE THE USE FROM A BANK TO AN AUTO-OFFK
DATE NO. REVISION

WEIS MARKETS, INC.

1000 SOUTH SECOND STREET
SUNBURY, PA 17801-0471
717-286-3640

DEVELOPER

CHEVY
7501 WI
9th FLOOR
BETHESDA

9th FLOOR — CORPORATE FACILITIES
BETHESDA, MARYLAND 20814
240—497—7032

CHEVY CHASE BANK 7501 WISCONSIN AVENUE

## PROJECT FREESTATE PARCEL A-4 AUTOMOTIVE OFFICE

AREA TAX MAP 47 BLOCK 18 ZONED B-2
FREESTATE SUBDIVISION PARCEL 143
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

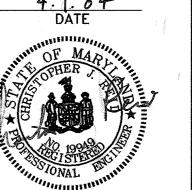
TITLE SHEET

### Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects.

 $HR+\Lambda$ 

8818 Centre Park Drive Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282

DESIGNED BY : C.J.R.



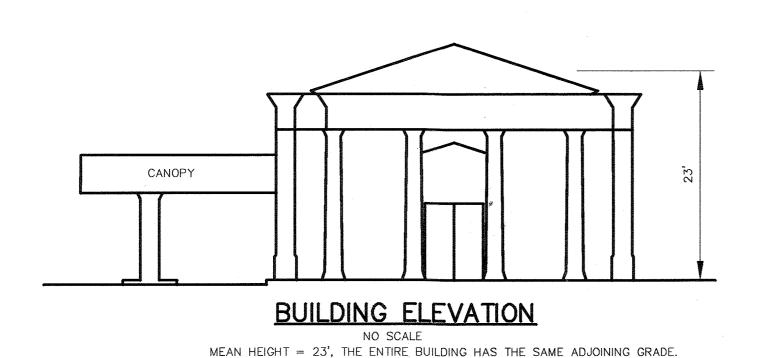
CHRISTOPHER J. REID #19949

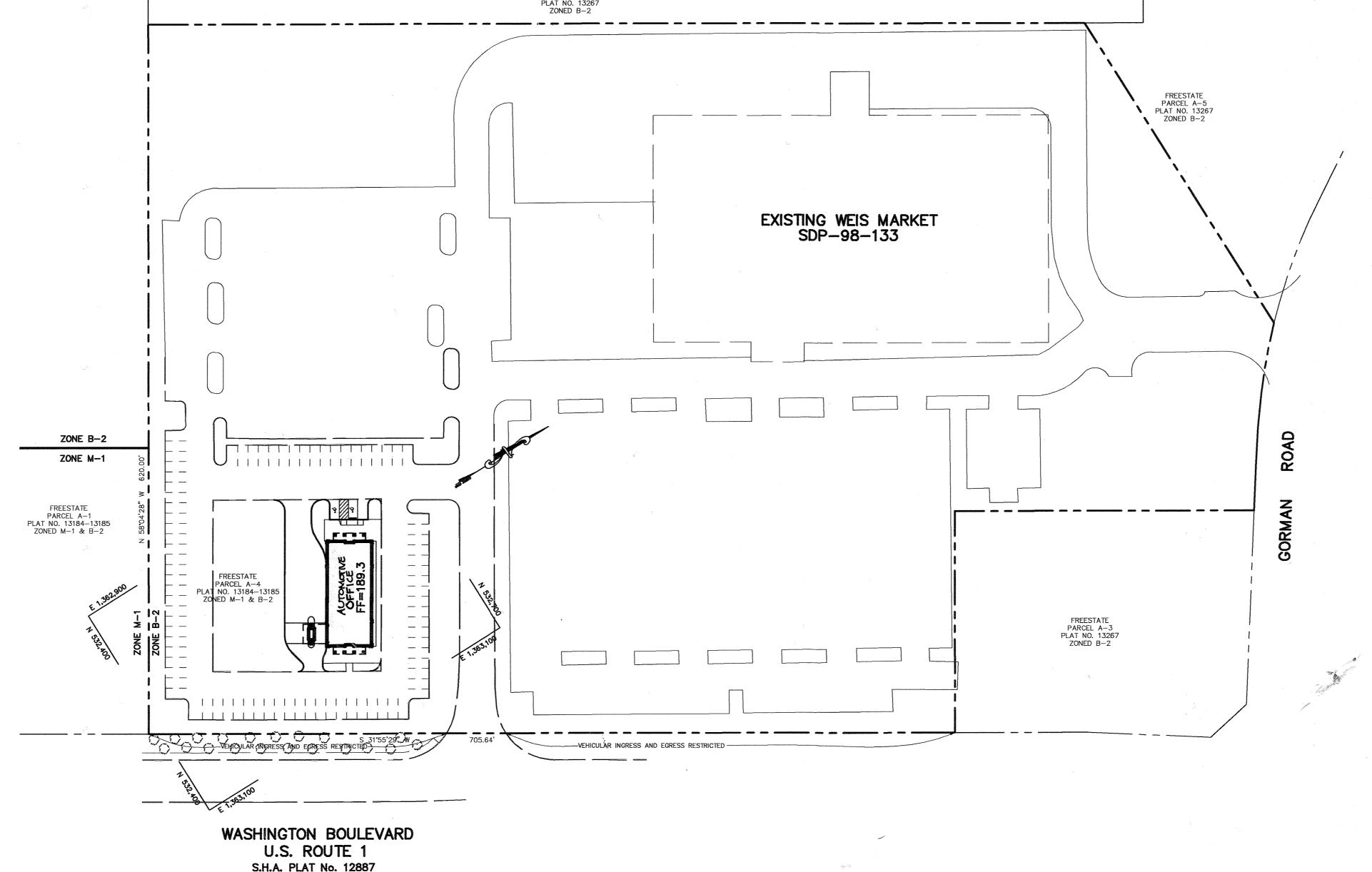
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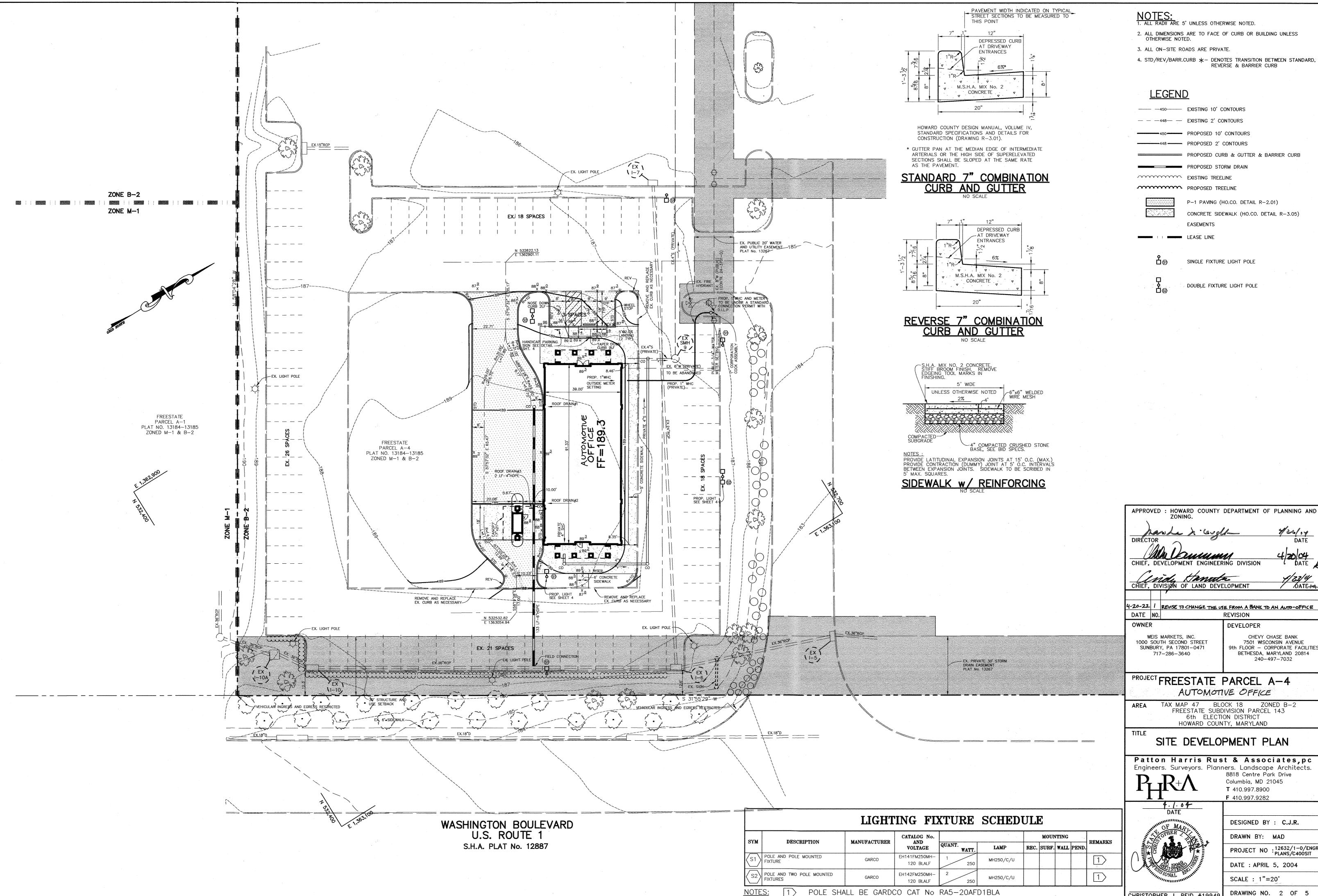
PROJECT NO : 12632/1-0/ENGR
PLANS/C100COV

DATE : APRIL 5, 2004

SCALE : AS SHOWN







2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS

4. STD/REV/BARR.CURB \*- DENOTES TRANSITION BETWEEN STANDARD,

PROPOSED CURB & GUTTER & BARRIER CURB

CONCRETE SIDEWALK (HO.CO. DETAIL R-3.05)

421,4 4-20-22 | REVISE TO CHANGE THE USE FROM A BANK TO AN AUTO-OFFICE CHEVY CHASE BANK 7501 WISCONSIN AVENUE 9th FLOOR — CORPORATE FACILITIES BETHESDA, MARYLAND 20814 240-497-7032

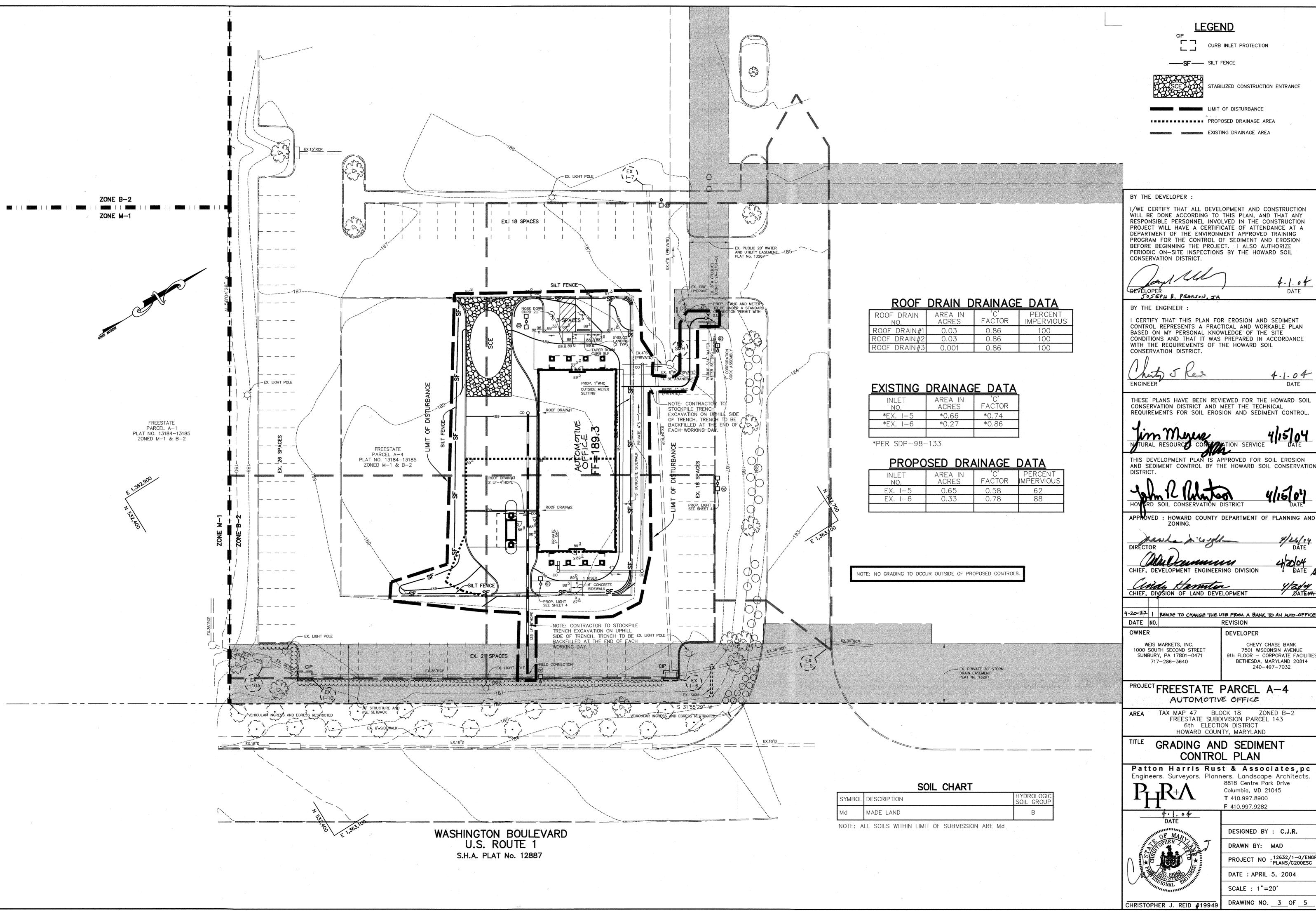
#### SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc Engineers: Surveyors. Planners. Landscape Architects.

8818 Centre Park Drive Columbia, MD 21045

DESIGNED BY : C.J.R. DRAWN BY: MAD PROJECT NO :12632/1-0/ENGR PLANS/C400SIT

DRAWING NO. 2 OF 5 CHRISTOPHER J. REID #19949



CURB INLET PROTECTION

STABILIZED CONSTRUCTION ENTRANCE

LIMIT OF DISTURBANCE

PROPOSED DRAINAGE AREA

EXISTING DRAINAGE AREA

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL

JOSEPH B. PEARSON, I

DATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL

4.1.04

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION

4/20/04

APPNOVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

4-20-22 | REVISE TO CHANGE THE USE FROM A BANK TO AN AUTO-OFFICE REVISION

**DEVELOPER** 

CHEVY CHASE BANK 7501 WISCONSIN AVENUE 9th FLOOR — CORPORATE FACILITIES BETHESDA, MARYLAND 20814 240-497-7032

PROJECT FREESTATE PARCEL A-4 AUTOMOTIVE OFFICE

AREA TAX MAP 47 BLOCK 18 ZONED B-2
FREESTATE SUBDIVISION PARCEL 143
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

GRADING AND SEDIMENT CONTROL PLAN

> Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282



DESIGNED BY : C.J.R. DRAWN BY: MAD

PROJECT NO : 12632/1-0/ENGR PLANS/C200ESC DATE: APRIL 5, 2004

SCALE : 1"=20' DRAWING NO. 3 OF 5

<u>DEFINITION</u>
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL

CONDITIONS WHERE PRACTICE APPLIES THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

 $\mathsf{--d}.$  THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

--c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

I. TOPSOIL SPECIFICATIONS — SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

--a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. -b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTATION STATION.

I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG. COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1-1/2" IN DIAMFTER. -ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. -iii. WHERE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE

SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

II. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: -î. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VÉGETATIVE STABILIZATION METHODS AND MATERIALS.

IIII. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

DISSIPATION OF PHYTO-TOXIC MATERIALS.

i. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: -—a. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER. -b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT -c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED. --d. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT

NOTE: TOPSOIL SUBSTITUTES TO AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY MAY BE USED IN LIEU OF NATURAL

-ii. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN <u>20.0 VEGETA</u>TIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

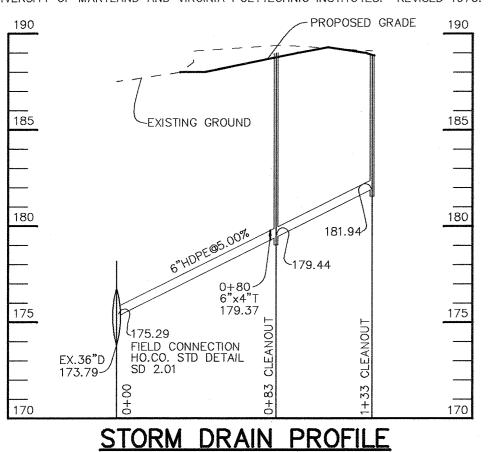
I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS. -ii. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.

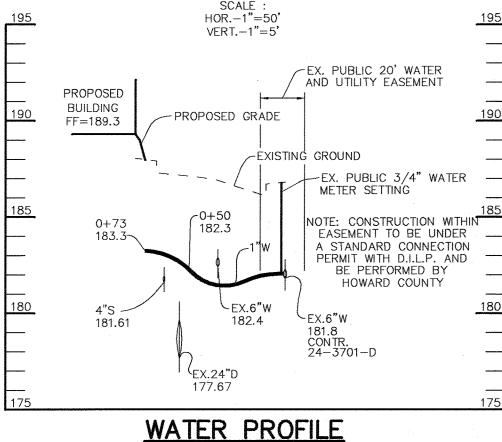
-iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" — 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. -iv. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW: I. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITE HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: -—a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.

--b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE. -c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

--d. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.





HOR.-1"=50VERT.-1"=5" PROPOSED BUILDING FF=189.3 -PROPOSED GRADE -EXISTING GROUND 4"S@2.00% 183.1 181.39 SEWER PROFILE

SCALE : HOR.-1"=50' VFRT.-1"=5

#### TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS. PER 1000 SQ.FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.07 LBS. PER 1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

#### PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES

- 1) PREFERRED APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING. APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS. PER 1000 SQ.FT.).
- 2) ACCEPTABLE APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIOD MARCH 1 THRU APRIL 30 AND FROM AUGUST THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS. PER 1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.05 LBS. PER 1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY ONE OF THE FOLLOWING OPTIONS

- 1) 2 TONS PER ACRE OF WELL-ANCHORED MULCH STRAW AND SEED AS SOON AS POSSIBLE IN THE SPRING.
- USE SOD.
- 3) SEED WITH 60 LBS. PER ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS,

#### SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.

2. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE AND CURB INLET PROTECTION. (2 DAYS)

- 3. BEGIN ROUGH GRADING AND BUILDING CONSTRUCTION.
- 4. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL STORM DRAIN, WATER AND SEWER. (2 WEEKS)
- 5. INSTALL CURB AND GUTTER AND PAVE. (2 WEEKS)
- 6. PERFORM FINE GRADING, LANDSCAPING AND SIDEWALKS. ( 1 WEEK)
- 7. APPLY TOPSOIL AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 DAYS)
- 8. COMPLETE BUILDING CONSTRUCTION. ( 6 MONTHS)

9. UPON PERMISSION OF COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (1 DAY)

#### STANDARD SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A)7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G.). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED
- 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7. SITE ANALYSIS:

TOTAL FILL

LIGHTING

FIXTURE

EXOTHERMIC WELD-

3/4"ø X 10'-0" GROUND ROD-

- TOTAL AREA OF SITE AREA DISTURBED
- AREA TO BE ROOFED OR PAVED AREA TO BE VEGETATIVELY STABILIZED TOTAL CUT
- 0.31 ACRES 0.09 ACRES 120 CU. YARDS 120 CU. YARDS OFFSITE WASTE AREA LOCATION TO HAVE ACTIVE GRADING PERMIT
- 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF
- 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- 12. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- 13. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- 14. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL. NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.

HANDICAP SIGN DETAIL

- GROUNDING TERMINAL

-4" X 6" HAND HOLE

-ANCHOR BOLTS

- CONCRETE BASE

- 45° CHAMFER ALL AROUND

PSI CONCRETE

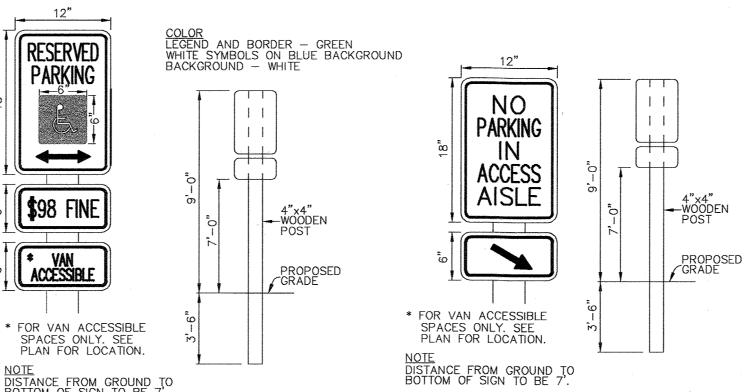
-CONDUIT (PVC), 1" DIA. MIN.

UNDISTURBED SOIL/GRAVEL

LIGHT POLE DETAIL

-4#6 WITH #3 O @8" O.C.

FIXTURE



12.2402 ACRES

0.40 ACRES



TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND

CONDITIONS WHERE PRACTICE APPLIES

THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

SPECIFICATIONS

MULCHES — SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY.

3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN

SPRING-TOOTHED HARROWS, AND SIMILIAR PLOWS ARE EXAMPLES OF EQUIPMENT

4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS

5. BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES,

6. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST, MAY

1. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER.

2. TOPSOILING - COVERING WITH LESS EROSIVE SOIL MATERIALS. SEE STANDARDS FOR

. AGRICULTURE HANDBOOK 346. WIND EROSION FORCES IN THE UNITED STATES AND

2. AGRICULTURE INFORMATION BULLETIN 354. HOW TO CONTROL WIND EROSION, USDA-ARS.

MARYLAND DEPARTMENT OF ENVIRONME

3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

D PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY

STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS

AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING

SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST, REPEAT AS NEEDED, AT NO

ME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW

EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON MINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12" APART,

2. VEGATATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER,

MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.

WHICH MAY PRODUCE THE DESIRED EFFECT

AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

THEIR USES IN PREDICTING SOIL LOSS

NEED RETREATMENT

OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY.

# OF 2" X 4" 2" X 4" ANCHORS 2" X 4" WEIR

DETAIL 23C - CURB INLET PROTECTION

MAX. DRAINAGE AREA = 1/4 ACRE

both ends of the throat opening.

Construction Specifications 1. Attach a continuous piece of wire mesh (30" minimum width by throat length plus

STANDARD SYMBOL

2. Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir 3. Securely nail the 2" X 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4' apart).

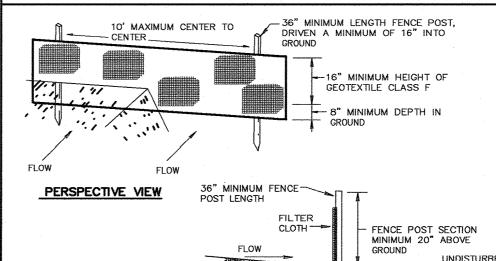
4') to the 2" x 4" weir (measuring throat length plus 2') as shown on the standard

4. Place the assembly against the inlet throat and nail (minimum 2' lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight 5. The assembly shall be placed so that the end spacers are a minimum 1' beyond

6. Form the 1/2 " x 1/2 " wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4 " x 1 1/2 stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile

7. This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment 8. Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet

#### U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONME SOIL CONSERVATION SERVICE WATER MANAGEMENT ADMINISTRATION DETAIL 22 - SILT FENCE



GROUND EMBED GEOTEXTILE CLASS F -TOP VIEW - FENCE POST DRIVEN A A MINIMUM OF 8" VERTICALLY | MINIMUM OF 16" INTO INTO THE GROUND CROSS SECTION SECTION A STAPLE JOINING TWO ADJACENT SILT FENCE SECTIONS

Construction Specifications 1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be  $11/2" \times 11/2"$  square (minimum) cut, or 13/4" diameter

(minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot. 2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F

Test: MSMT 509 Tensile Modulus 20 lbs/in (min.) Test: MSMT 509 Flow Rate 0.3 gal ft // minute (max.) Test: MSMT 322 Test: MSMT 322 Filtering Efficiency 75% (min.)

folded and stapled to prevent sediment bypass. bulges occur or when sediment accumulation reached 50% of the fabric height.

5. Where ends of geotextile fabric come together, they shall be overlapped,

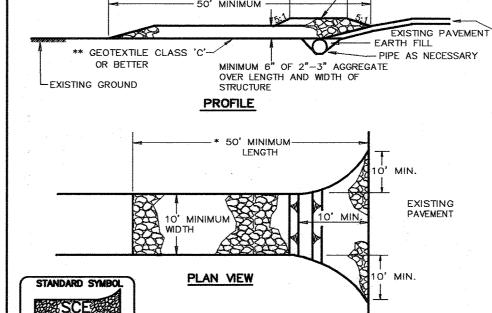
4. Silt Fence shall be inspected after each rainfall event and maintained when

E - 15 - 3 WATER MANAGEMENT ADMINISTRATIO SOIL CONSERVATION SERVICE DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

BERM (6" MIN.)

MARYLAND DEPARTMENT OF ENVIRONMENT

WATER MANAGEMENT ADMINISTRATION



Construction Specification . Length - minimum of 50' (\*30' for single residence lot).

U.S. DEPARTMENT OF AGRICULTURE

3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. \*\*The plan approval authority may not require single family esidences to use geotextile.

. Width - 10' minimum, should be flared at the existing road to provide a turning

. Stone — crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.

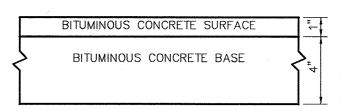
S. Surface Water — all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a nountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required. 5. Location — A stabilized construction entrance shall be located at every point

where construction traffic enters or leaves a construction site. Vehicles leaving

the site must travel over the entire length of the stabilized construction entrance

BITUMINOUS CONCRETE SURFACE BITUMINOUS CONCRETE BASE \* 5" CRUSHER RUN BASE COURSE 4" DENSE GRADED STABILIZED AGGREGATE BASE COURSE

(ALTERNATE)



HOWARD COUNTY DESIGN MANUAL VOLUME IV-STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (DRAWING R-2.01)

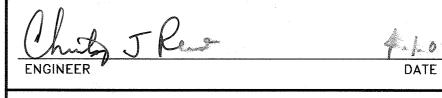
#### BY THE DEVELOPER

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

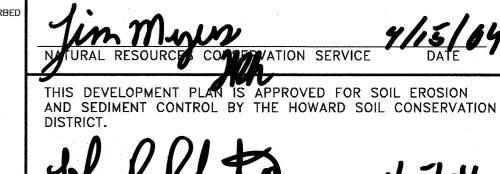


#### BY THE ENGINEER

CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND DIRECTOR DEVELOPMENT ENGINEERING DIVISION

CHIEF. DIVISION OF LAND DEVELOPMENT ØATE-14 4-20-22 | REVISE TO CHANGE THE USE FROM A BANK TO AN AUTO-OFFICE REVISION

Moly Trouble

OWNER WEIS MARKETS, INC. 1000 SOUTH SECOND STREET SUNBURY, PA 17801-0471 717-286-3640

TITLE

CHEVY CHASE BANK 7501 WISCONSIN AVENUE 9th FLOOR - CORPORATE FACILITIES BETHESDA, MARYLAND 20814 240-497-7032

DEVELOPER

#### PROJECT FREESTATE PARCEL A-4 AUTOMOTIVE OFFICE

TAX MAP 47 BLOCK 18 ZONED B-2 FREESTATE SUBDIVISION PARCEL 143 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

PROFILES AND DETAILS

Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects. 8818 Centre Park Drive Columbia, MD 21045 **T** 410.997.8900

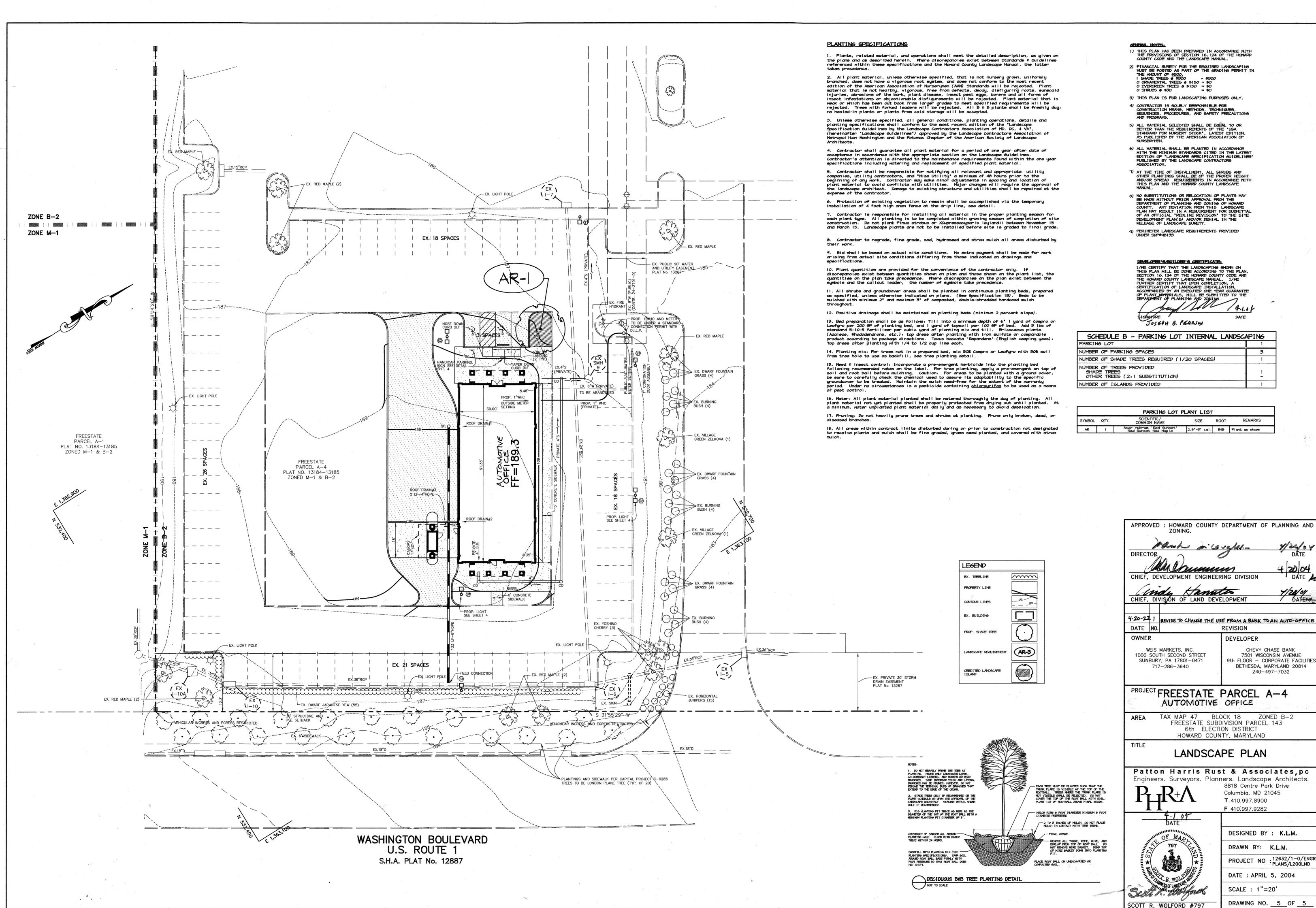
DESIGNED BY : C.J.R.

**F** 410.997.9282

DRAWN BY: MAD PROJECT NO :12632/1-0/ENGIPLANS/C900DET DATE: APRIL 5, 2004

SCALE : AS SHOWN

DRAWING NO. 4 OF 5 CHRISTOPHER J. REID #19949



DRAWING NO. 5 OF 5 SDP-04-089