

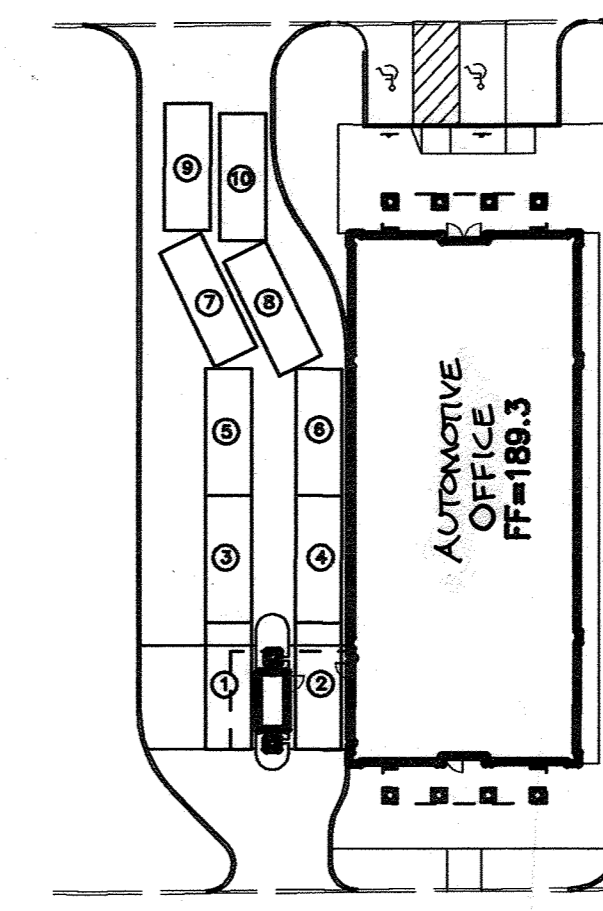
SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING AND SEDIMENT CONTROL PLAN
4	PROFILES AND DETAILS
5	LANDSCAPE PLAN

SITE DEVELOPMENT PLAN AUTOMOTIVE OFFICE

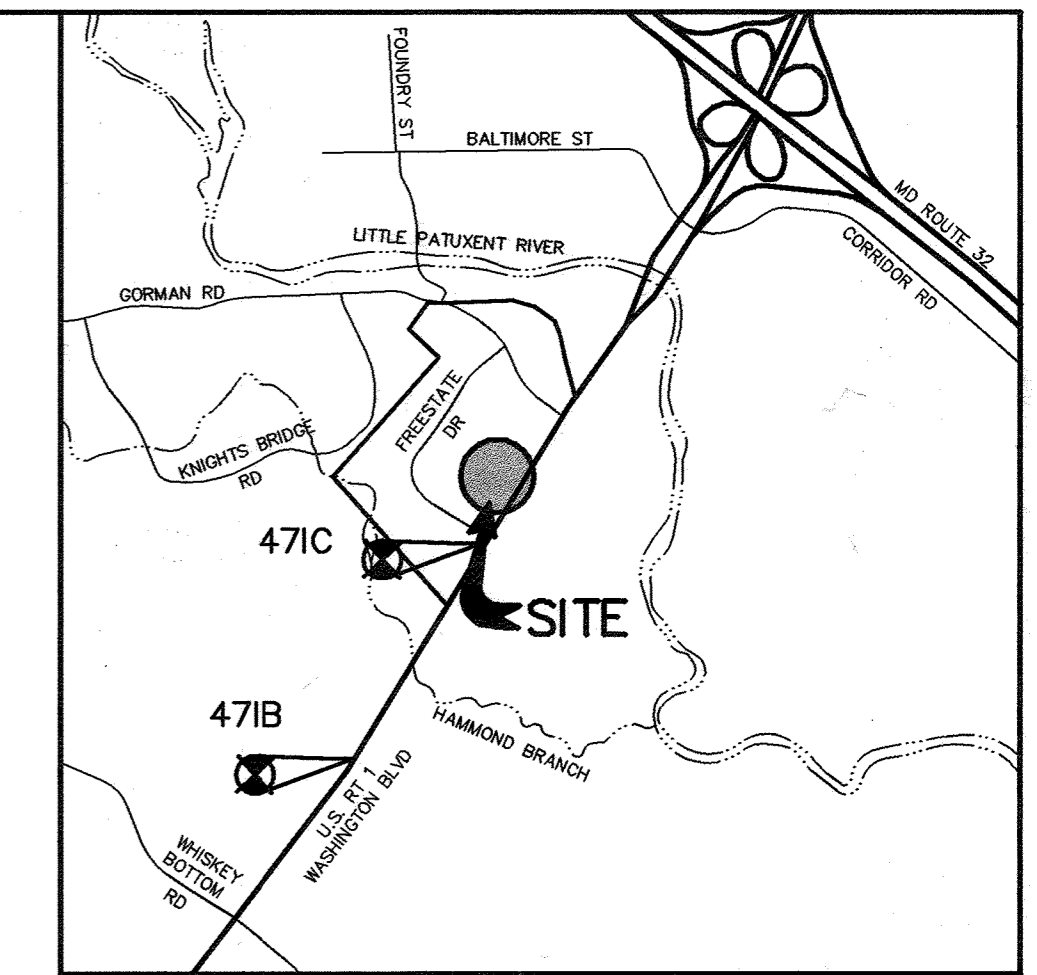
6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY RIEMER MUEGGE & ASSOCIATES DATED NOVEMBER, 2003.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 471B AND 471C WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 24-3701-D
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: LITTLE PATUXENT CONTRACT NO. 24-3701-D
- THE STORMWATER QUALITY AND QUANTITY MANAGEMENT IS PROVIDED FOR UNDER F-92-74.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A 100- YEAR FLOODPLAIN STUDY FOR THIS PROJECT IS NOT REQUIRED.
- NO WETLANDS ARE FOUND ON THIS PROJECT.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE BOUNDARY FOR THIS PROJECT WAS TAKEN FROM RECORDED PLAT NUMBER 13267 PREPARED BY VOGEL AND ASSOCIATES, INC.
- SUBJECT PROPERTY ZONED B-2 PER 10-18-93 COMPREHENSIVE ZONING PLAN.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. S-90-28, P-91-02, F-92-74, F-98-149, SDP-98-133.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- ALL PROPOSED AND FUTURE LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$300.00 FOR 1 SHADE TREE.
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS BECAUSE IT HAD PRELIMINARY SUBDIVISION APPROVAL PRIOR TO DECEMBER 31, 1992, PER SUBDIVISION REGULATION SECTION 16.1202(b)(1)(ii).
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION REGULATIONS.



STACKING PLAN
SCALE: 1"=30'



VICINITY MAP
SCALE: 1"=2000'

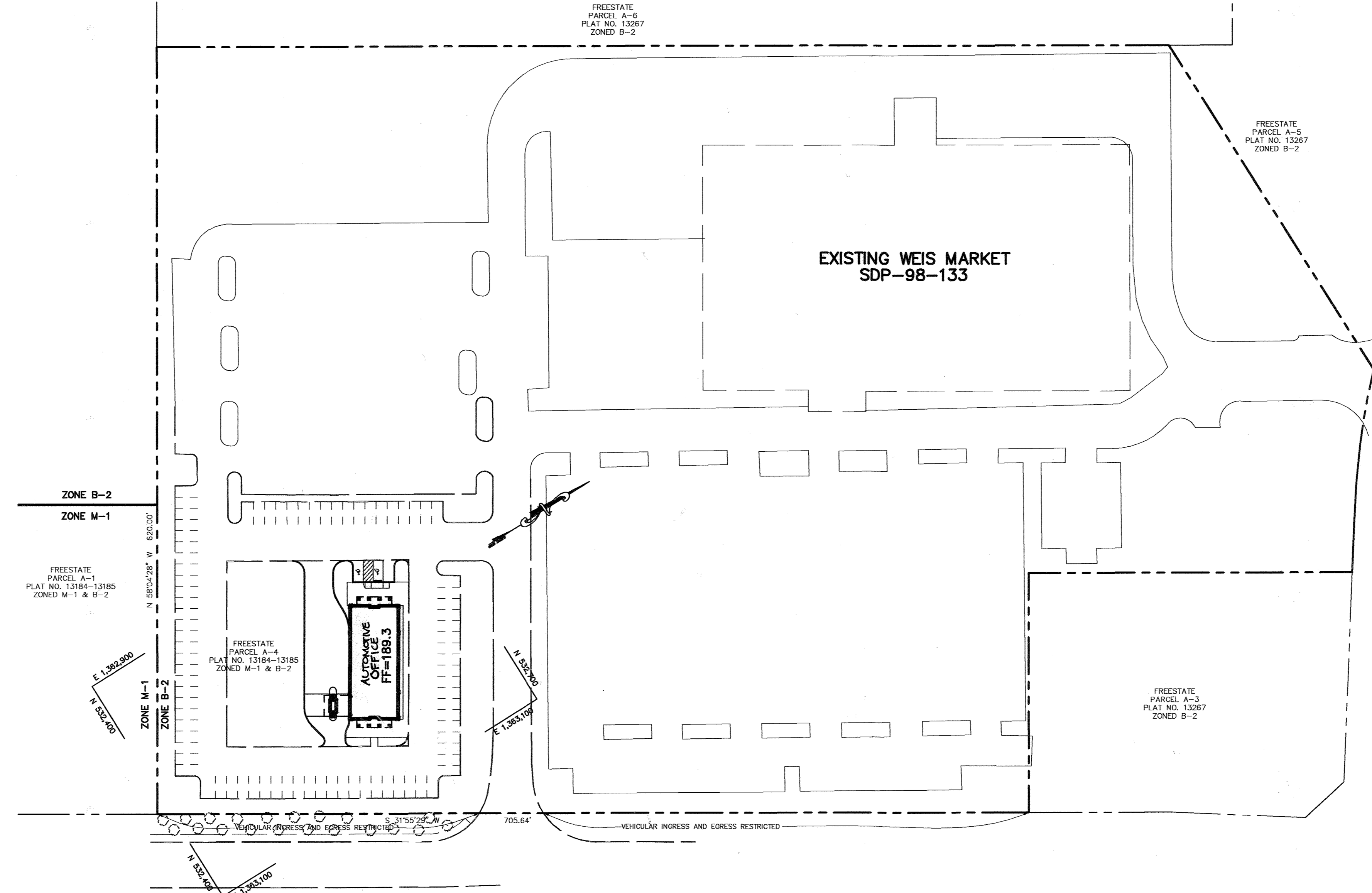
AREA TABULATION CHART

AREA OF PARCEL	12.2402 ACRES
LIMIT OF DISTURBED AREA	0.40 ACRES—LIMIT OF SUBMISSION
PRESENT ZONING	B-2
PROPOSED USE	1 STORY AUTOMOTIVE OFFICE (3,555 SF)
OVERALL PARKING TABULATION — PARCEL A-4	
WEIS MARKET	70088 SF
AUTOMOTIVE OFFICE	3555 SF
TOTAL	73176 SF
PARKING REQUIRED = 70088 @ 5/1000 = 350.4 SPACES (WEIS MARKET)	
PARKING REQUIRED = 3555 @ 3.3/1000 = 12 SPACES (AUTOMOTIVE OFFICE)	
PARKING PROVIDED = 73643 @ 5/1000 = 368.2 SPACES (TOTAL)	
PARKING PROVIDED = 555 SPACES (SDP-98-133)	

BENCH MARK

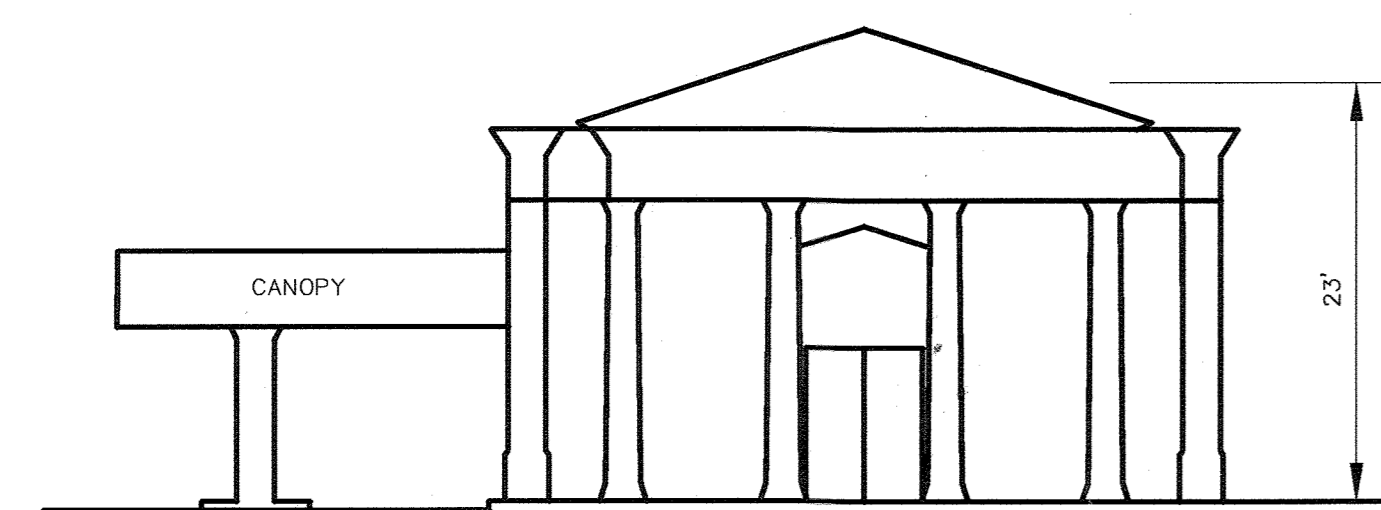
HOWARD COUNTY CONTROL STATION 471B
3/4" IRON ROD WITH 4" STAMPED ALUMINUM CAP
N 529,701.579
E 1,361,469.758
ELEV. 180.709

HOWARD COUNTY CONTROL STATION 471C
N 532,036.885
E 1,362,819.058
ELEV. 189.047



WASHINGTON BOULEVARD
U.S. ROUTE 1
S.H.A. PLAT No. 12887

PLAN
SCALE: 1"=60'



BUILDING ELEVATION
NO SCALE
MEAN HEIGHT = 23'. THE ENTIRE BUILDING HAS THE SAME ADJOINING GRADE.

ADDRESS CHART

PARCEL NUMBER	STREET ADDRESS
A-4	9270 WASHINGTON BLVD

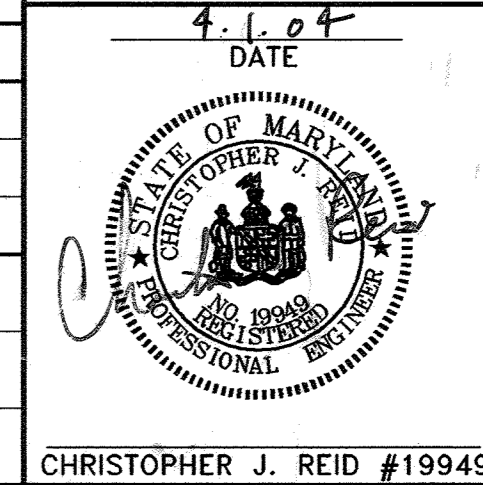
SUBDIVISION NAME	SECT./AREA	PARCEL
FREESTATE		A-4
PLAT NO.	BLOCK # ZONING	TAX MAP NO.
13267	18 B-2	47
WATER CODE	SEWER CODE	ELECT. DIST. CENSUS TRACT
C05	7220000 & 5090000	6 6051

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>Frank D. Light</i>	4/22/04
DIRECTOR	DATE
<i>Chad Kammann</i>	4/20/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Cindy Kammann</i>	4/23/04
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

4-20-22-1	REVISE TO CHANGE THE USE FROM A BANK TO AN AUTO-OFFICE
DATE	REVISION
OWNER	DEVELOPER
WEIS MARKETS, INC. 1000 SOUTH SECOND STREET SUNBURY, PA 17801-0471 717-286-3640	CHEVY CHASE BANK 7501 WISCONSIN AVENUE 9th FLOOR - CORPORATE FACILITIES BETHESDA, MARYLAND 20814 240-497-7032

PROJECT	FREESTATE PARCEL A-4 AUTOMOTIVE OFFICE
AREA	TAX MAP 47 BLOCK 18 ZONED B-2 FREESTATE SUBDIVISION PARCEL 143 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE	TITLE SHEET

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282



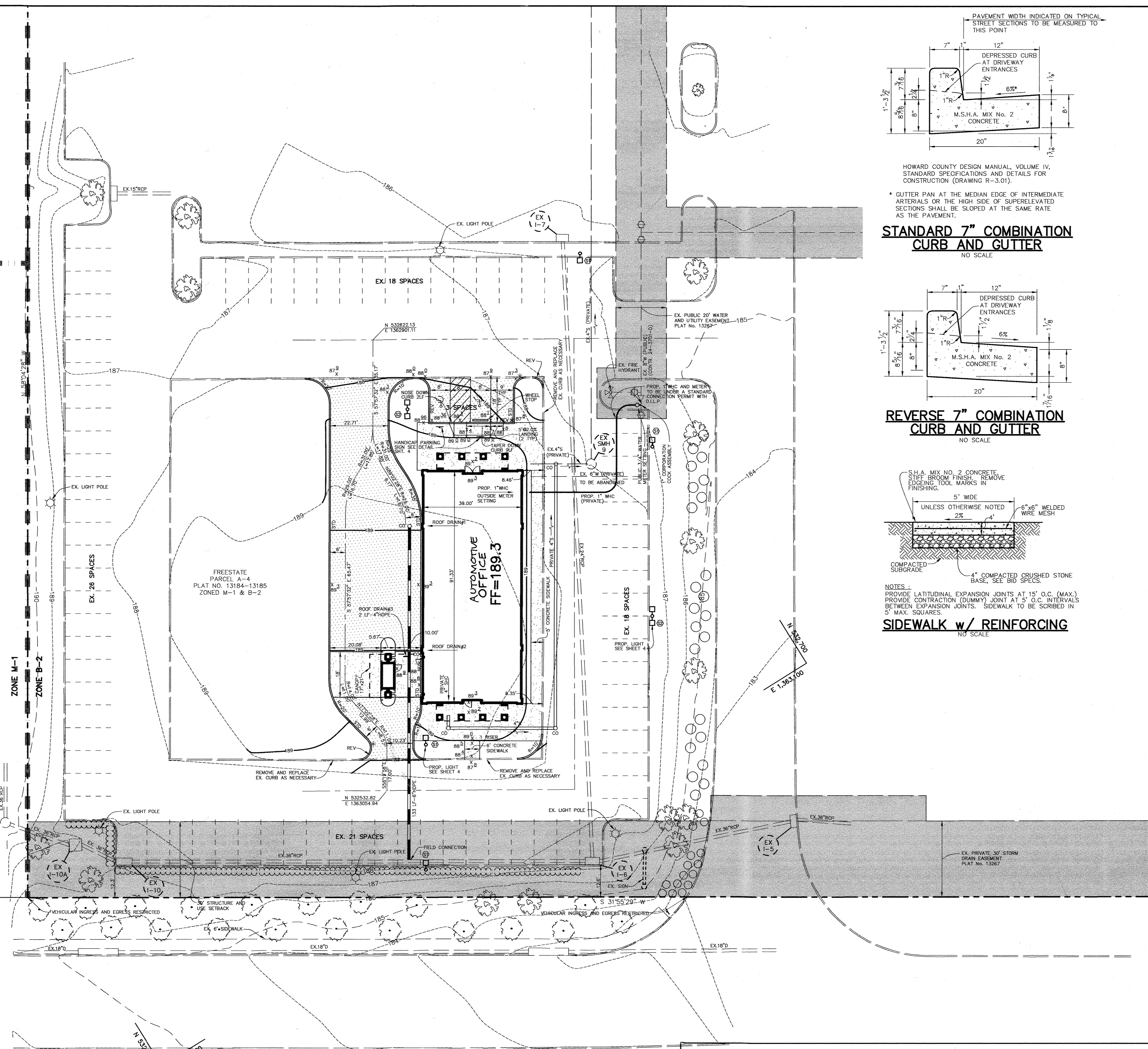
DESIGNED BY : C.J.R.
DRAWN BY: MAD
PROJECT NO : 12632/1-0/ENGR PLANS/C100COV
DATE : APRIL 5, 2004
SCALE : AS SHOWN
DRAWING NO. : 1 OF 5

SDP-04-089

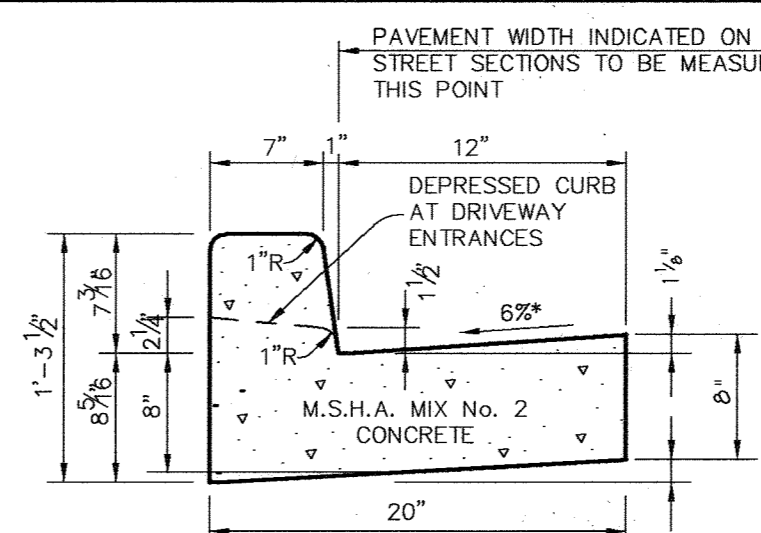
ZONE B-2
ZONE M-1

FREESTATE
PARCEL A-1
PLAT NO. 13184-13185
ZONED M-1 & B-2

E 1,362,000
N 532,400



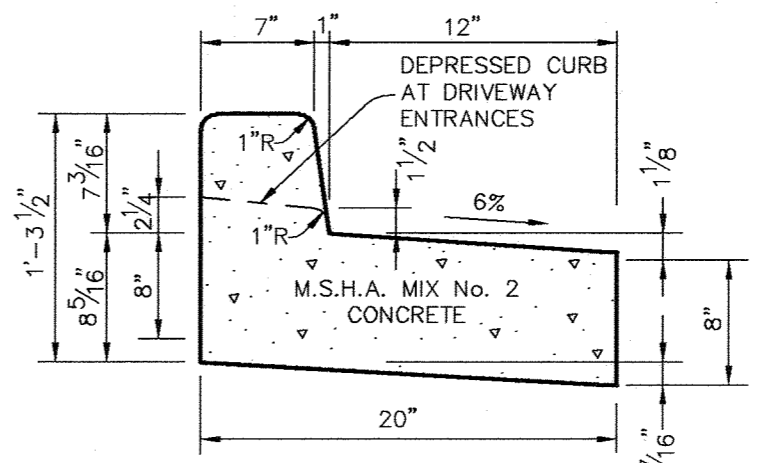
WASHINGTON BOULEVARD
U.S. ROUTE 1
S.H.A. PLAT No. 12887



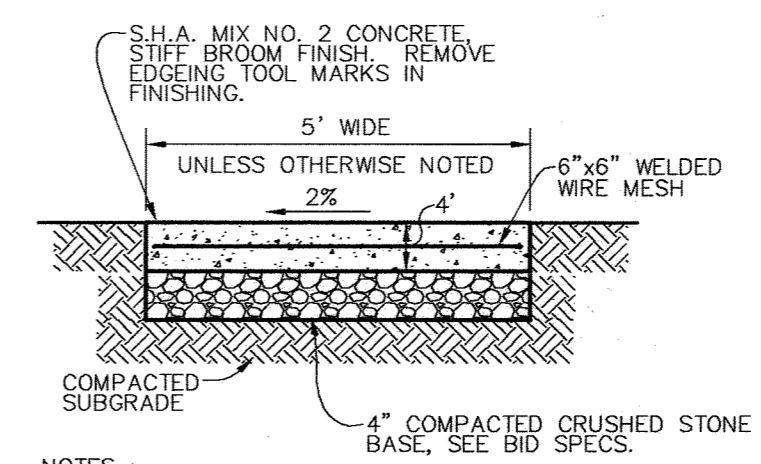
HOWARD COUNTY DESIGN MANUAL, VOLUME IV,
STANDARD SPECIFICATIONS AND DETAILS FOR
CONSTRUCTION (DRAWING R-3.01).

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE
ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED
SECTIONS SHALL BE SLOPED AT THE SAME RATE
AS THE PAVEMENT.

**STANDARD 7" COMBINATION
CURB AND GUTTER**
NO SCALE



**REVERSE 7" COMBINATION
CURB AND GUTTER**
NO SCALE



NOTES:
PROVIDE LONGITUDINAL EXPANSION JOINTS AT 15' O.C. (MAX.)
PROVIDE CONTRACTION (DUMMY) JOINT AT 5' O.C. INTERVALS
BETWEEN EXPANSION JOINTS. SIDEWALK TO BE SCRIBED IN
5' MAX. SQUARES.

SIDEWALK w/ REINFORCING
NO SCALE

- NOTES:**
1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
 3. ALL ON-SITE ROADS ARE PRIVATE.
 4. STD./REV./BARR./CURB * - DENOTES TRANSITION BETWEEN STANDARD, REVERSE & BARRIER CURB

- LEGEND**
- 450 — EXISTING 10' CONTOURS
 - 448 — EXISTING 2' CONTOURS
 - 450 — PROPOSED 10' CONTOURS
 - 448 — PROPOSED 2' CONTOURS
 - — PROPOSED CURB & GUTTER & BARRIER CURB
 - — PROPOSED STORM DRAIN
 - — EXISTING TREELINE
 - — PROPOSED TREELINE
 - — P-1 PAVING (HO.CO. DETAIL R-2.01)
 - — CONCRETE SIDEWALK (HO.CO. DETAIL R-3.05)
 - — EASEMENTS
 - — LEASE LINE
 - ⊙ SINGLE FIXTURE LIGHT POLE
 - ⊞ DOUBLE FIXTURE LIGHT POLE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

David L. Gough 4/20/04
DIRECTOR DATE

John P. Williams 4/20/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Christy Hamada 4/23/04
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

4-20-22 1 REVISION TO CHANGE THE USE FROM A BANK TO AN AUTO-OFFICE
DATE NO. REVISION

OWNER: WEIS MARKETS, INC.
1000 SOUTH SECOND STREET
SUNBURY, PA 17801-0471
717-286-3640

DEVELOPER: CHEVY CHASE BANK
7501 WISCONSIN AVENUE
9TH FLOOR - CORPORATE FACILITIES
BETHESDA, MARYLAND 20814
240-497-7032

PROJECT: FREESTATE PARCEL A-4
AUTOMOTIVE OFFICE

AREA: TAX MAP 47 BLOCK 18 ZONED B-2
FREESTATE SUBDIVISION PARCEL 143
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

4.1.04
DATE

DESIGNED BY : C.J.R.

DRAWN BY: MAD

PROJECT NO : 12632/1-0/ENGR
PLANS/C400SIT

DATE : APRIL 5, 2004

SCALE : 1"=20'

DRAWING NO. 2 OF 5

LIGHTING FIXTURE SCHEDULE

SYM	DESCRIPTION	MANUFACTURER	CATALOG No. AND VOLTAGE	QUANT.	WATT.	LAMP	MOUNTING	REMARKS
S1	POLE AND POLE MOUNTED FIXTURE	GARCO	EH141FM250MH-120 BLALF	1	250	MH250/C/U	REC. SURF. WALL PEND.	1
S2	POLE AND TWO POLE MOUNTED FIXTURES	GARCO	EH142FM250MH-120 BLALF	2	250	MH250/C/U		1

NOTES: 1 POLE SHALL BE GARDCO CAT No RA5-20AFD1BLA

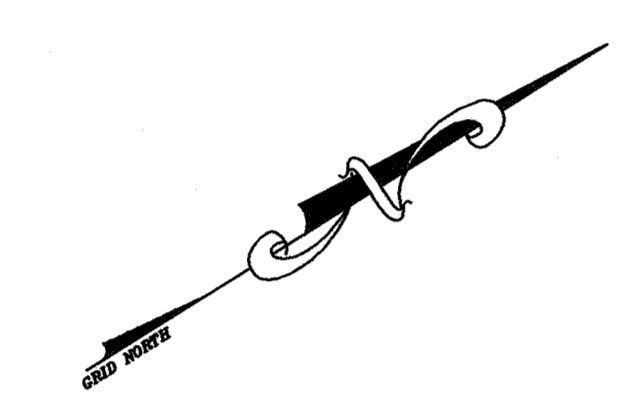
CHRISTOPHER J. REID #19949

SDP-04-089

LEGEND

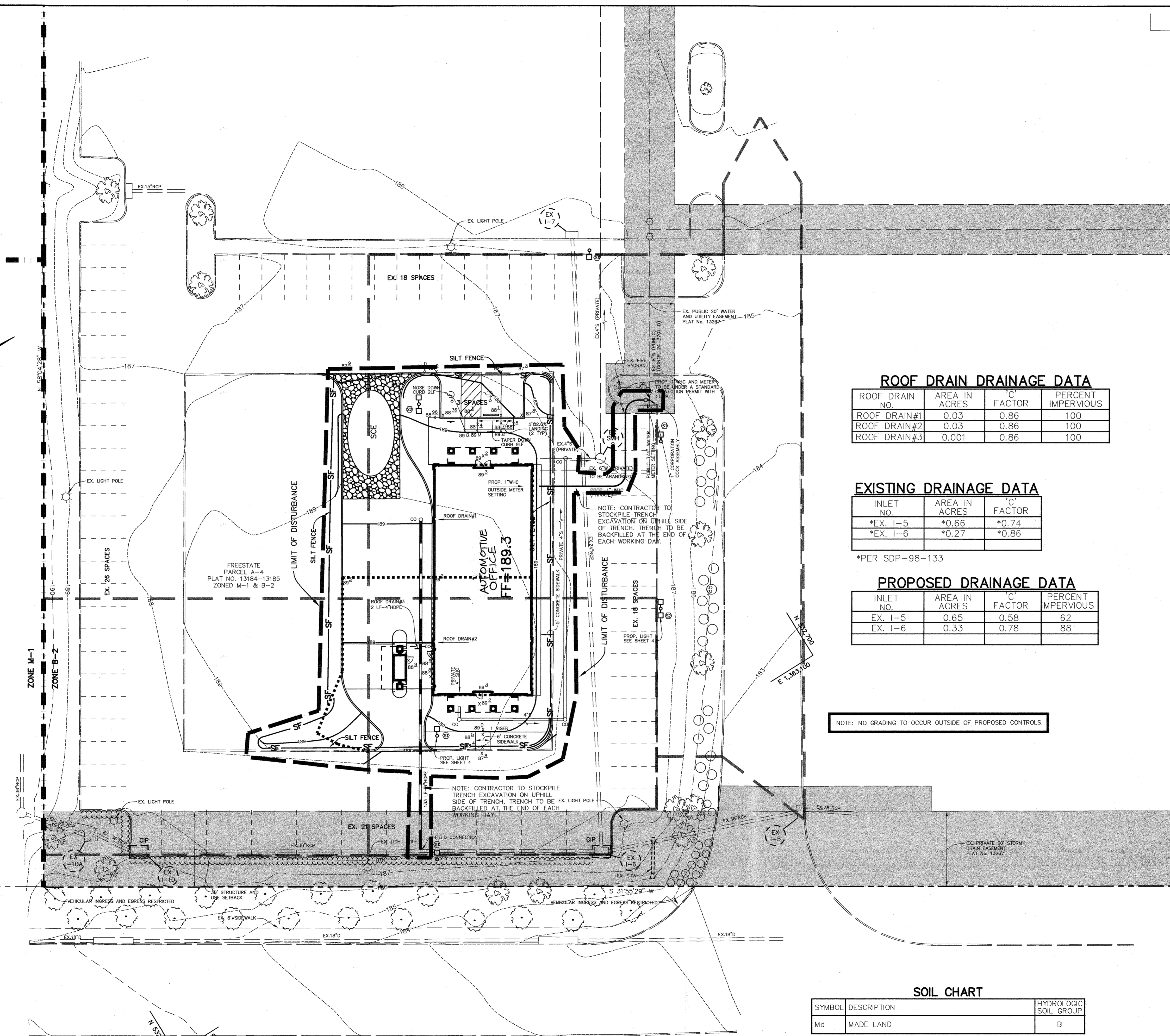
- CP Curb Inlet Protection
- SF Silt Fence
- SCE Stabilized Construction Entrance
- Limit of Disturbance
- Proposed Drainage Area
- Existing Drainage Area

ZONE B-2
ZONE M-1



FREESTATE
PARCEL A-1
PLAT NO. 13184-13185
ZONED M-1 & B-2

E 1,262,000
N 527,400



ROOF DRAIN DRAINAGE DATA

ROOF DRAIN NO.	AREA IN ACRES	C FACTOR	PERCENT IMPERVIOUS
ROOF DRAIN#1	0.03	0.86	100
ROOF DRAIN#2	0.03	0.86	100
ROOF DRAIN#3	0.001	0.86	100

EXISTING DRAINAGE DATA

INLET NO.	AREA IN ACRES	C FACTOR
*EX. 1-5	*0.66	*0.74
*EX. 1-6	*0.27	*0.86

*PER SDP-98-133

PROPOSED DRAINAGE DATA

INLET NO.	AREA IN ACRES	C FACTOR	PERCENT IMPERVIOUS
EX. 1-5	0.65	0.58	62
EX. 1-6	0.33	0.78	88

NOTE: NO GRADING TO OCCUR OUTSIDE OF PROPOSED CONTROLS.

SOIL CHART

SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP
Md	MADE LAND	B

NOTE: ALL SOILS WITHIN LIMIT OF SUBMISSION ARE Md

WASHINGTON BOULEVARD
U.S. ROUTE 1
S.H.A. PLAT No. 12887

BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Joseph B. Pearson, Jr. 4.1.04
DEVELOPER DATE

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Christy S. Rea 4.1.04
ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer 4/15/04
NATURAL RESOURCE CONSULTATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Blanton 4/16/04
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Debra D. Wright 4/22/04
DIRECTOR DATE

William D. Williams 4/20/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Quincy Hamilton 4/23/04
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

4-20-22 1 REVISE TO CHANGE THE USE FROM A BANK TO AN AUTO-OFFICE
DATE NO. REVISION

OWNER WEIS MARKETS, INC. 1000 SOUTH SECOND STREET SUNBURY, PA 17801-0471 717-286-3640	DEVELOPER CHEVY CHASE BANK 7501 WISCONSIN AVENUE 9th FLOOR - CORPORATE FACILITIES BETHESDA, MARYLAND 20814 240-497-7032
--	---

PROJECT FREESTATE PARCEL A-4
AUTOMOTIVE OFFICE

AREA TAX MAP 47 BLOCK 18 ZONED B-2
FREESTATE SUBDIVISION PARCEL 143
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

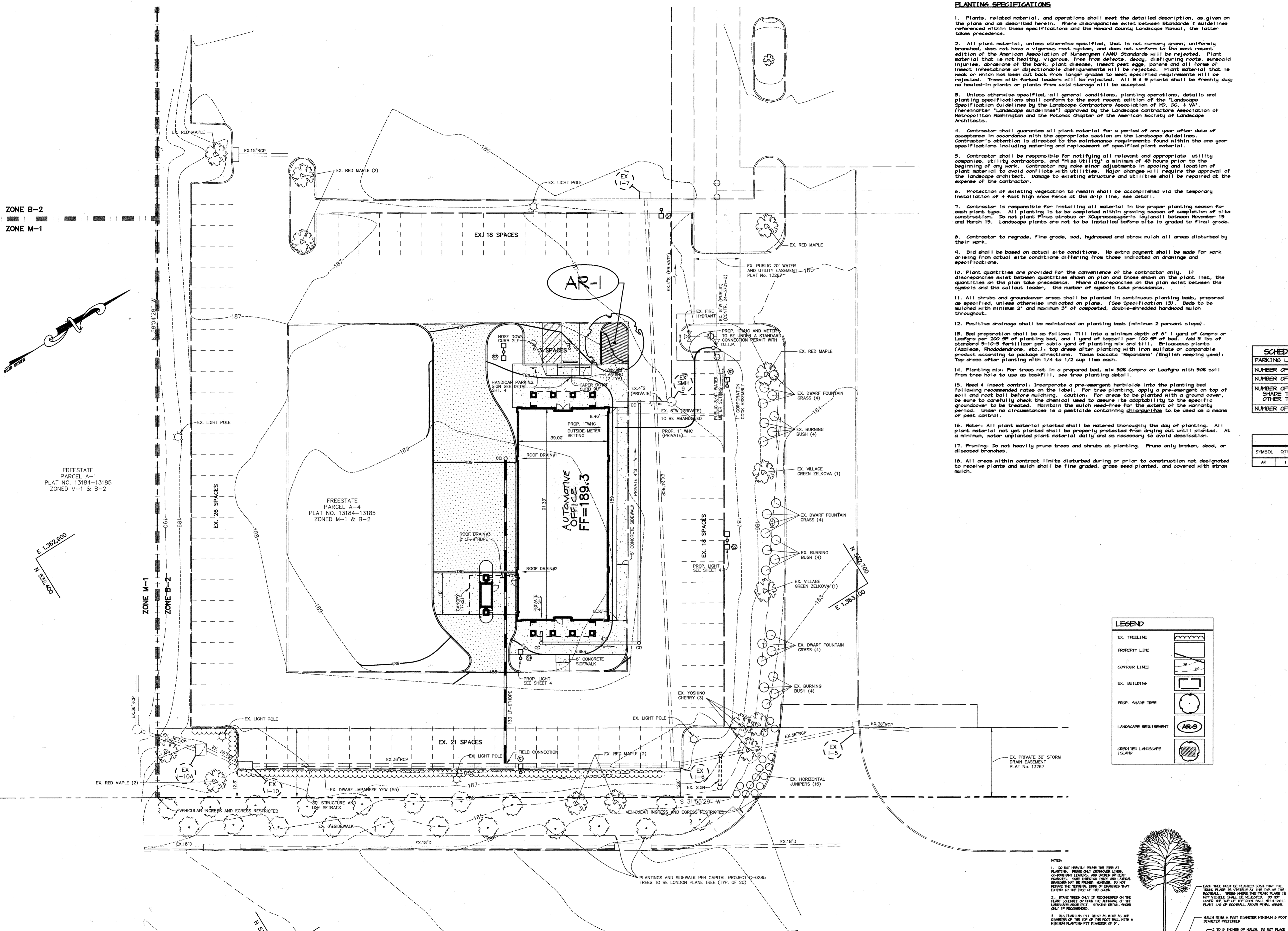
TITLE GRADING AND SEDIMENT
CONTROL PLAN

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

PHRA
4.1.04
DATE

DESIGNED BY : C.J.R.
DRAWN BY : MAD
PROJECT NO : 12632/1-0/ENGR
PLANS/C200ESC
DATE : APRIL 5, 2004
SCALE : 1"=20'
DRAWING NO. 3 OF 5

CHRISTOPHER J. REID #19949



PLANTING SPECIFICATIONS

- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Howard County Landscape Manual, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA" (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the installation of any plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structures and utilities shall be repaired at the expense of the contractor.
- Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or Xymplococcus ligandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plant list take precedence. Where discrepancies on the plan exist between the symbols and the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 19). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.) top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yew), Top dress after planting with 1/4 to 1/2 cup lime ash.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Need insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing diazinophos to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plants daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.

GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$200.
1 SHADE TREES @ \$200 = \$200
0 ORNAMENTAL TREES @ \$150 = \$0
0 ENDORSEMENT TREES @ \$150 = \$0
0 SHRUBS @ \$50 = \$0
- THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
- ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS SET IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD AS SPECIFIED ON THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
- NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN AND/OR PENALTY IN THE RELEASE OF LANDSCAPE SURETY.
- PERIMETER LANDSCAPE REQUIREMENTS PROVIDED UNDER SDP#0489

DEVELOPER/AUTHOR'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXISTING ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DATE: 4/10/04
SIGNATURE: JOSEPH B. PEARSON

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

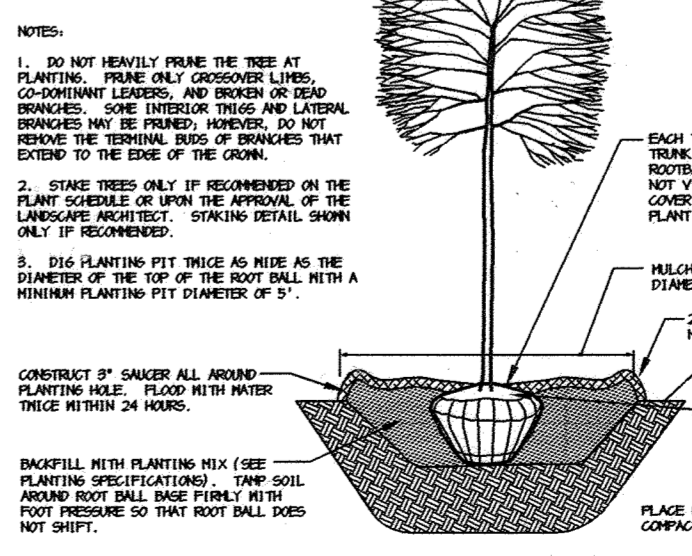
PARKING LOT	1
NUMBER OF PARKING SPACES	3
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	1
NUMBER OF TREES PROVIDED	1
SHADE TREES	-
OTHER TREES (2:1 SUBSTITUTION)	-
NUMBER OF ISLANDS PROVIDED	1

PARKING LOT PLANT LIST

SYMBOL	QTY.	SCIENTIFIC COMMON NAME	SIZE	ROOT	REMARKS
AR	1	Acacia salicina Red Sumpter Red Sparrow Red Maple	2.5"-3" cal.	B&B	Plant as shown

LEGEND

EX. TREELINE	[Symbol]
PROPERTY LINE	[Symbol]
CONTOUR LINES	[Symbol]
EX. BUILDING	[Symbol]
PROP. SHADE TREE	[Symbol]
LANDSCAPE REQUIREMENT	[Symbol]
CREDITED LANDSCAPE ISLAND	[Symbol]



DECIDUOUS B&B TREE PLANTING DETAIL NOT TO SCALE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: Mark A. Laughlin DATE: 4/20/04

CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 4/20/04

CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 4/20/04

4-20-221 REVISE TO CHANGE THE USE FROM A BANK TO AN AUTO-OFFICE.

DATE NO. REVISION

OWNER: WEIS MARKETS, INC. 1000 SOUTH SECOND STREET SUNBURY, PA 17801-0471 717-286-3640

DEVELOPER: CHEVY CHASE BANK 7501 WISCONSIN AVENUE 9th FLOOR - CORPORATE FACILITIES BETHESDA, MARYLAND 20814 240-497-7032

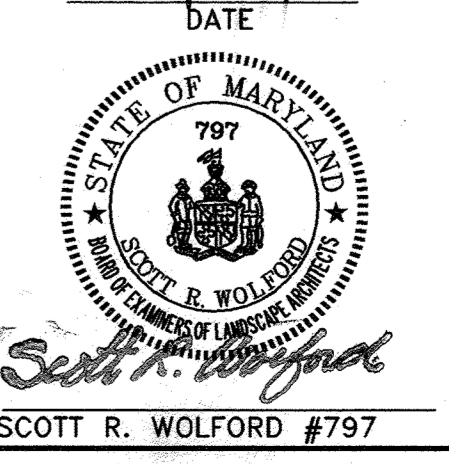
PROJECT: FREESTATE PARCEL A-4 AUTOMOTIVE OFFICE

AREA: TAX MAP 47 BLOCK 18 ZONED B-2 FREESTATE SUBDIVISION PARCEL 143 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: LANDSCAPE PLAN

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY: K.L.M.
DRAWN BY: K.L.M.
PROJECT NO: 12632/1-0/ENGR PLANS/L200LND
DATE: APRIL 5, 2004
SCALE: 1"=20'
DRAWING NO. 5 OF 5



WASHINGTON BOULEVARD
U.S. ROUTE 1
S.H.A. PLAT No. 12887

FREESTATE PARCEL A-1
PLAT NO. 13184-13185
ZONED M-1 & B-2

F 1,262,900
N 52,400