

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
LOCATION: TAX MAP 31
ZONING: NT
ELECTION DISTRICT: SIXTH ELECTION DISTRICT
AREA OF BUILDABLE LOTS: 10.24 AC.
RECORD PLAT No.: 16184
- DPZ REF. FILE No.: SP 00-05 (PB 342), FDP PHASE 239, F-01-142, MP-03-110(*), MP-CO-64, F 04-15, F 04-83 and MP 04-61, and MP 04-108(**).
- EXISTING TOPOGRAPHY IS SHOWN PER GRADING PLANS FOR CONSTRUCTION (F-01-142) PREPARED BY GUTSCHICK LITTLE & WEBER, P.A.
- STORMWATER MANAGEMENT FOR THIS SITE HAS BEEN INCLUDED IN THE DESIGN FOR THE SNOWDEN RIVER BUSINESS PARK SECTION 1 AREA 1 PARCELS 'A-1', 'B-1', 'C-1', 'D-1' & 'E' & LOTS 6 THRU 10. WATER QUALITY AND 2 YR. MANAGEMENT IS PROVIDED IN PUBLIC FACILITY No. 2 LOCATED ON OPEN SPACE LOT 6. 10 YR. MANAGEMENT IS PROVIDED IN PRIVATE FACILITIES 1 & 2 LOCATED ON OPEN SPACE LOTS 8 & 9.
- COORDINATES ARE BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 2542001 AND 2542002.
- ALL ROADWAY AND STORM DRAINS WITHIN COMMON OPEN AREA, PARCEL 'E' ARE PRIVATE & SHALL BE MAINTAINED BY THE H.O.A. UNLESS NOTED OTHERWISE.
- UNITS 1-76 SHALL BE SERVED BY PUBLIC WATER MAINS (CONTR. 44-4186-D) AND PRIVATE SEWER MAINS ON PARCEL B-1. THE PRIVATE SEWER MAINS WILL CONNECT TO THE HOWARD COUNTY PUBLIC SEWER SYSTEM. ALL WATER METERS SHALL BE LOCATED INSIDE EACH UNIT.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATIONS BY GUTSCHICK LITTLE & WEBER, P.A. THE CONTRACTOR MUST DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
- SPOT ELEVATIONS SHOWN FOR CURBS ARE BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF BUILDING OR CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE.
- THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES, FLOOD PLAINS OR WETLANDS ON SITE.
- ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
- SEWER CLEANOUTS SHALL BE FLUSH WITH PROPOSED DRIVEWAY SURFACE. IF A CONCRETE DRIVEWAY IS TO BE UTILIZED, PROVIDE A 12 INCH REINFORCED CONCRETE PANEL AROUND THE CLEANOUT WITH EXPANSION JOINT MATERIAL AS APPROPRIATE. IF IN THE FUTURE, CLEANOUT IS PAVED OVER, DPM WILL NOT BE RESPONSIBLE FOR DAMAGE TO DRIVEWAY WHEN ACCESSING CLEANOUT.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH-12'1/4" SERVING MORE THAN ONE RESIDENCE;
B. SURFACE-6" OF COMPACTED CRUISER RUN BASE W/ TAR AND CHIP COATING (1-1/2" MIN). SEE DETAIL ON SHEET No. 3 FOR ALTERNATE CONCRETE DRIVEWAY SECTION.
C. GEOMETRY-MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;
D. STRUCTURES (CULVERTS/BRIDGES)-CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
E. DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
F. MAINTENANCE-SUFFICIENT TO INSURE ALL WEATHER USE.
- EXISTING WATER IS PUBLIC (CONTR. #24-3858-D).
- EXISTING SEWER IS PUBLIC (CONTR. #24-3858-D).
- THE TRAFFIC STUDY PERFORMED BY WELLS & ASSOCIATES APPROVED FOR THE FINAL PLAN WAS UPDATED FOR THIS PROJECT.
- THE PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE SECTION 16.1202(b)(1)(iv) (FUD WITH A FDP APPROVED PRIOR TO 12/31/12).
- THE CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITIES AT LEAST (5) DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE DRAWINGS AND NOTIFY THE ENGINEER OF ANY CONFLICTS.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- A NOISE STUDY FOR THIS PROJECT WAS PREPARED BY STAIANO ENGINEERING, INC. DATED OCTOBER 28, 2003 AND THE RESULTING NOISE LINES ARE INDICATED ON THE FOLLOWING PLANS.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION REGULATIONS.
- NOTE: IN CASE OF DISCREPANCIES BETWEEN THE PLAT AND THE PLANS, THE PLAT SHALL GOVERN.
- NO CLEARING, GRADING OF CONSTRUCTION IS PERMITTED WITHIN ANY WETLAND, WETLAND BUFFER, 50' STREAM BUFFER OR FLOODPLAIN.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF ZONING SECTION 134.
- THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL.

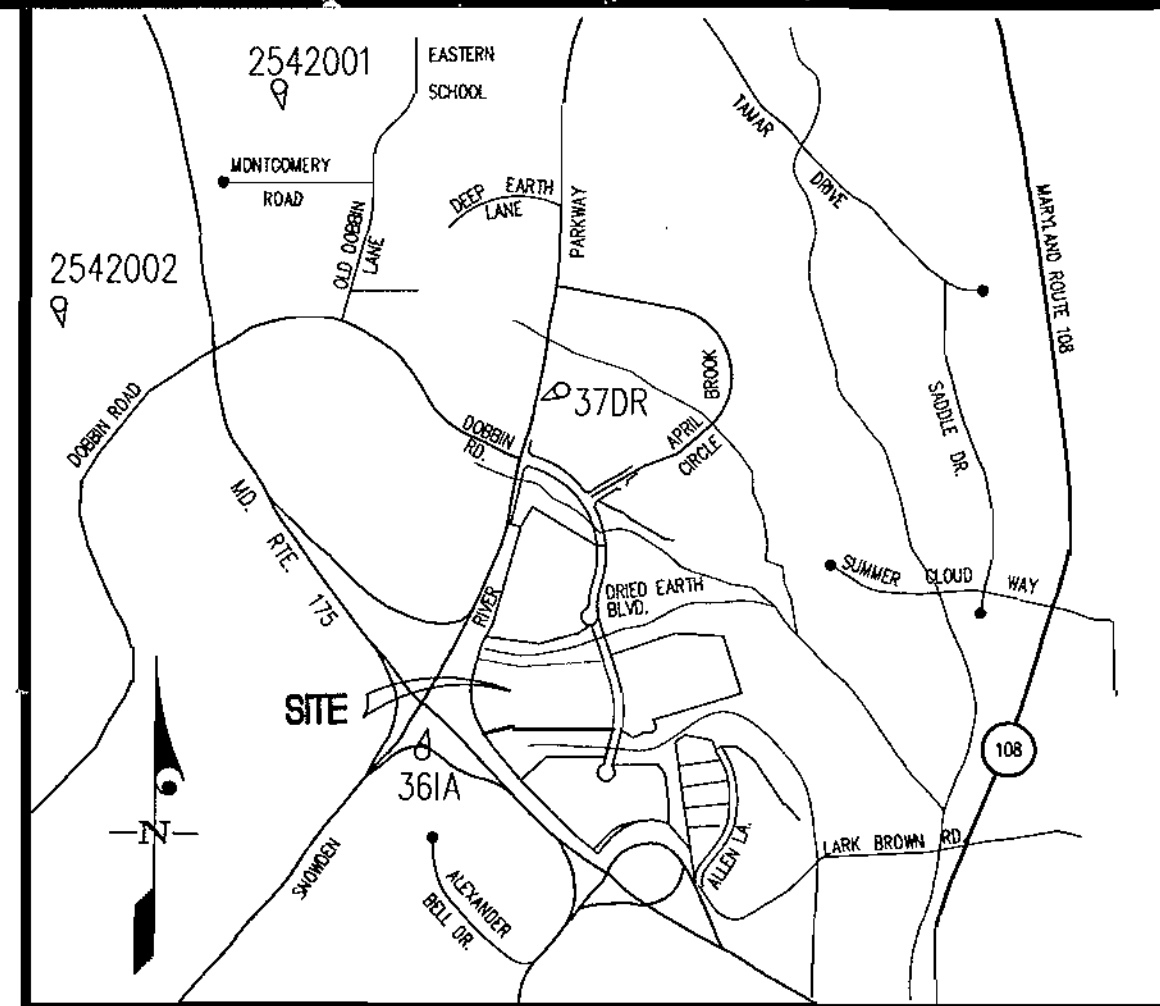
SNOWDEN RIVER BUSINESS PARK

SECTION 1 AREA 1 - PARCEL 'B-1'

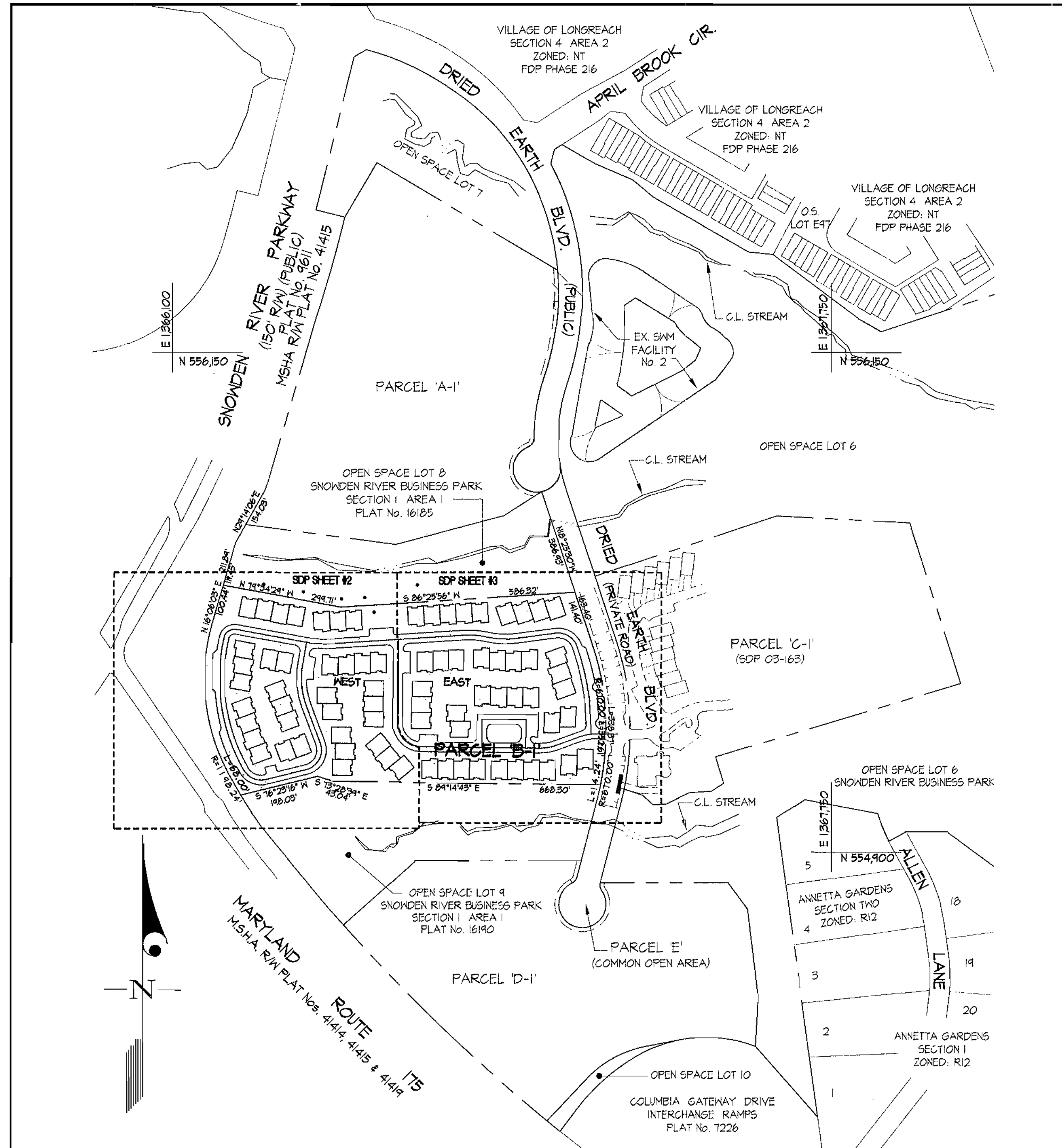
SITE DEVELOPMENT PLAN

BENCHMARK DESCRIPTIONS

- STATION 2542001 (CONCRETE MONUMENT)
ELEV. 428.71 (FOR VERTICAL CONTROL ONLY)
STATION IS LOCATED ON B.G. 4 E. TRANSMISSION LINES 0602 S.W. OF DOBBIN ROAD
- STATION 2542002 (CONCRETE MONUMENT)
ELEV. 363.838 (FOR VERTICAL CONTROL ONLY)
STATION IS LOCATED 1000' WEST OF RTE. 175 ON TRANSMISSION LINE @ G.E. TOWER #1-E.
- STATION 31DR (1/2 REBAR)
N 16881114, E 416566.159 (FOR HORIZONTAL CONTROL ONLY)
STATION IS LOCATED 0.451 MILES NORTH OF RTE. 175 AND 48' EAST OF THE EAST CURB OF SNOWDEN RIVER PKY.
- STATION 361A (CONCRETE MONUMENT)
N 164205.928, E. 416315.919 (FOR HORIZONTAL CONTROL ONLY)
STATION IS LOCATED @ THE SOUTHEAST CORNER OF THE INTERSECTION OF SNOWDEN RIVER PARKWAY AND RTE. 175 5' FROM CURB AND 5.71' FROM GUARDRAIL END.



VICINITY MAP
SCALE: 1" = 2000'



SITE OVERVIEW
SCALE: 1" = 200'

SITE ANALYSIS

- GENERAL SITE DATA
A. PRESENT ZONING: NT - EMPLOYMENT CENTER, INDUSTRIAL (FDP 239)
B. PROPOSED USE OF SITE: AGE-RESTRICTED ADULT HOUSING
- AREA TABULATION FOR PARCEL 'B-1' (PARCEL 'B-1' AREA: 10.24 AC.)
A. TOTAL NUMBER OF UNITS PERMITTED (BASED ON 80% COVERAGE) = 243 UNITS
B. PROPOSED NUMBER OF UNITS: 76
C. MINIMUM NUMBER OF PARKING SPACES REQUIRED:
1 SPACE PER UNIT = 76
D. PARKING PROVIDED:
GARAGE: * 76 UNITS X 2 SPACES = 152 SPACES
DRIVEWAY (MINIMUM LENGTH 10 FEET) = 152 SPACES
VISITOR: 46 SPACES
= 350 TOTAL SPACES PROVIDED
- OVERFLOW PARKING TABULATION:
OVERFLOW/GUEST PARKING REQUIREMENTS (PER DESIGN MANUAL VOLUME III, 2.0.2)
PARKING REQUIRED: 76 UNITS X 0.5 SPACES PER UNIT = 38 SPACES
OVERFLOW/GUEST PARKING PROVIDED: 214 SPACES (350 - 76 = 274)
- TOTAL PROPOSED MAXIMUM BUILDING AREA: 162,750 S.F.
PERCENT PROPOSED MAXIMUM BUILDING COVERAGE: 36%

* ALL UNITS TO HAVE TWO CAR GARAGES.

ADDRESS CHART

UNIT No.	STREET ADDRESS	UNIT No.	STREET ADDRESS
1	8103 WARM WAVES WAY	39	8885 WARM GRANITE DRIVE
2	8705 WARM WAVES WAY	40	8888 WARM GRANITE DRIVE
3	8704 WARM WAVES WAY	41	8886 WARM GRANITE DRIVE
4	8711 WARM WAVES WAY	42	8854 WARM GRANITE DRIVE
5	8715 WARM WAVES WAY	43	8852 WARM GRANITE DRIVE
6	8715 WARM WAVES WAY	44	8848 WARM GRANITE DRIVE
7	8711 WARM WAVES WAY	45	8846 WARM GRANITE DRIVE
8	8721 WARM WAVES WAY	46	8844 WARM GRANITE DRIVE
9	8723 WARM WAVES WAY	47	8838 WARM GRANITE DRIVE
10	8725 WARM WAVES WAY	48	8836 WARM GRANITE DRIVE
11	8724 WARM WAVES WAY	49	8834 WARM GRANITE DRIVE
12	8731 WARM WAVES WAY	50	8832 WARM GRANITE DRIVE
13	8733 WARM WAVES WAY	51	8830 WARM GRANITE DRIVE
14	8737 WARM WAVES WAY	52	8826 WARM GRANITE DRIVE
15	8734 WARM WAVES WAY	53	8824 WARM GRANITE DRIVE
16	8741 WARM WAVES WAY	54	8822 WARM GRANITE DRIVE
17	8841 WARM GRANITE DRIVE	55	8820 WARM GRANITE DRIVE
18	8843 WARM GRANITE DRIVE	56	8818 WARM GRANITE DRIVE
19	8845 WARM GRANITE DRIVE	57	8816 WARM GRANITE DRIVE
20	8847 WARM GRANITE DRIVE	58	8815 WARM GRANITE DRIVE
21	8840 WARM GRANITE DRIVE	59	8706 WARM WAVES WAY
22	8868 WARM GRANITE DRIVE	60	8708 WARM WAVES WAY
23	8884 WARM GRANITE DRIVE	61	8610 SECRET WAVES WAY
24	8882 WARM GRANITE DRIVE	62	8612 SECRET WAVES WAY
25	8880 WARM GRANITE DRIVE	63	8614 SECRET WAVES WAY
26	8881 WARM GRANITE DRIVE	64	8616 SECRET WAVES WAY
27	8874 WARM GRANITE DRIVE	65	8620 SECRET WAVES WAY
28	8875 WARM GRANITE DRIVE	66	8622 SECRET WAVES WAY
29	8873 WARM GRANITE DRIVE	67	8736 WARM WAVES WAY
30	8871 WARM GRANITE DRIVE	68	8738 WARM WAVES WAY
31	8864 WARM GRANITE DRIVE	69	8740 WARM WAVES WAY
32	8865 WARM GRANITE DRIVE	70	8827 WARM GRANITE DRIVE
33	8863 WARM GRANITE DRIVE	71	8835 WARM GRANITE DRIVE
34	8861 WARM GRANITE DRIVE	72	8833 WARM GRANITE DRIVE
35	8863 WARM GRANITE DRIVE	73	8824 WARM GRANITE DRIVE
36	8851 WARM GRANITE DRIVE	74	8827 WARM GRANITE DRIVE
37	8884 WARM GRANITE DRIVE	75	8823 WARM GRANITE DRIVE
38	8887 WARM GRANITE DRIVE	76	8823 WARM GRANITE DRIVE

PROJECT NAME: SNOWDEN RIVER BUSINESS PARK				SECTION/AREA SECTION 1 AREA 1	PARCEL 'B-1'
PLAT 16123-24	ZONE NT	TAX MAP 31	GRID 19	ELEC. DIST. No. 6	CENSUS TRACT 606103
WATER CODE: E06				SEWER CODE: 3450000	

SITE DEVELOPMENT PLAN SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN - WEST
- SITE DEVELOPMENT PLAN - EAST
- SITE DETAILS
- PAVING & CURB DELINEATION PLAN
- UTILITY PROFILES - SEWER
- UTILITY PROFILES - STORM DRAIN
- UTILITY PROFILES - STORM DRAIN
- STORM DRAIN DRAINAGE AREA MAP
- SEDIMENT CONTROL PLAN PHASE I
- SEDIMENT CONTROL PLAN PHASE II
- SEDIMENT CONTROL DETAILS
- SEDIMENT CONTROL NOTES & DETAILS
- LANDSCAPE PLAN - WEST
- LANDSCAPE PLAN - EAST
- LANDSCAPE NOTES & DETAILS

* ON SEPTEMBER 4, 2003, MP-03-110, WAIVER OF SECTIONS 16.1202(G)(1) TO PERMIT THE REQUIRED MINIMUM PUBLIC ROAD FRONTAGE OF 60 FEET TO BE REDUCED TO ZERO FEET FOR COMMERCIAL, INDUSTRIAL OR APARTMENT PARCELS, LOTS, AND 16.121(G)(1) TO PERMIT THE REQUIRED MINIMUM PUBLIC ROAD FRONTAGE OF 40 FEET TO BE REDUCED TO ZERO FEET FOR OPEN SPACE LOTS, WAS GRANTED.

** ON APRIL 8, 2004, MP-04-108, WAIVER OF SECTIONS 16.1202(G)(1) TO PERMIT THE REQUIRED 30-FOOT DWELLING UNIT SETBACK FOR A WATER MAIN EASEMENT TO BE REDUCED TO 21 FEET FOR UNIT 31, 28 FEET FOR UNIT 40, 26 FEET FOR UNIT 41, 28 FEET FOR UNIT 42, 26 FEET FOR UNIT 43, 28 FEET FOR UNIT 45 AND 28 FEET FOR UNIT 46 WAS GRANTED. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS AS INDICATED IN THE APPROVAL LETTER:
1) THE DEVELOPMENT ENGINEERING DIVISION COMMENTS DATED MARCH 31, 2004.
2) A REVISION PLAT IS REQUIRED FOR THE ADDITIONAL EASEMENT AREA AS REQUIRED BY THE DEVELOPMENT ENGINEERING DIVISION IN COMMENTS DATED MARCH 31, 2004.

- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE PER FDP PHASE 239.
- PURSUANT TO A DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AMONG THE LAND RECORD OF HOWARD COUNTY, MARYLAND IN L. 8529 F. 502 EACH OCCUPIED UNIT IN THE PROPERTY SHALL COMPLY WITH THE APPLICABLE ZONING REGULATIONS OF HOWARD COUNTY, MARYLAND FOR AGE RESTRICTED ADULT HOUSING, AS THEY MAY BE AMENDED FROM TIME TO TIME. AT THIS TIME, THE ZONING REGULATIONS REQUIRE THAT EACH UNIT SHALL HAVE AT LEAST ONE PERSON WHO IS 55 YEARS OF AGE OR OLDER. THE UNITS SHALL ALSO BE SUBJECT TO ALL APPLICABLE FAIR HOUSING LAWS.
- THE ARTICLES OF INCORPORATION FOR THE H.O.A. FOR THIS SITE ARE RECORDED AS L. 800641 F. 710.
- LIGHTING BY BGE CONTRACT. 100 WATT HIGH PRESSURE SODIUM BAPOR, MODERN POST TOP FIXTURE (BRONZE) MOUNTED ON A 14" BRONZE FIBERGLASS EMBEDDED POLE.
- PRIVATE TRASH COLLECTION FOR THIS DEVELOPMENT SHALL BE AT THE CURB FOR EACH UNIT.
- SHARED ACCESS ROAD AND MAINTENANCE EASEMENT ON PARCEL 'E' FOR THE USE OF PARCELS 'B-1', 'C-1' AND 'D-1' AND OPEN SPACE LOTS 6, 8 AND 9, IS RECORDED IN LIBER 7584 AT FOLIO 624.

OWNER & PREPARED FOR:
PATRIOT HOMES
10211 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
ATTN: RICK KUNKLE
PH: (410) 997-5522

COVER SHEET

SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1
PARCEL 'B-1'

SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 02143
DATE Sept, 2004	TAX MAP - GRID 37 - 19	SHEET 1 OF 16

APPROVED
PLANNING BOARD
HOWARD COUNTY
DATE: 06/09/04

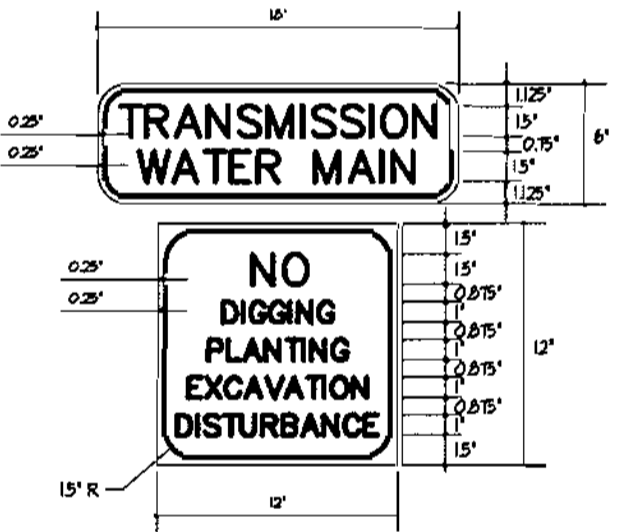
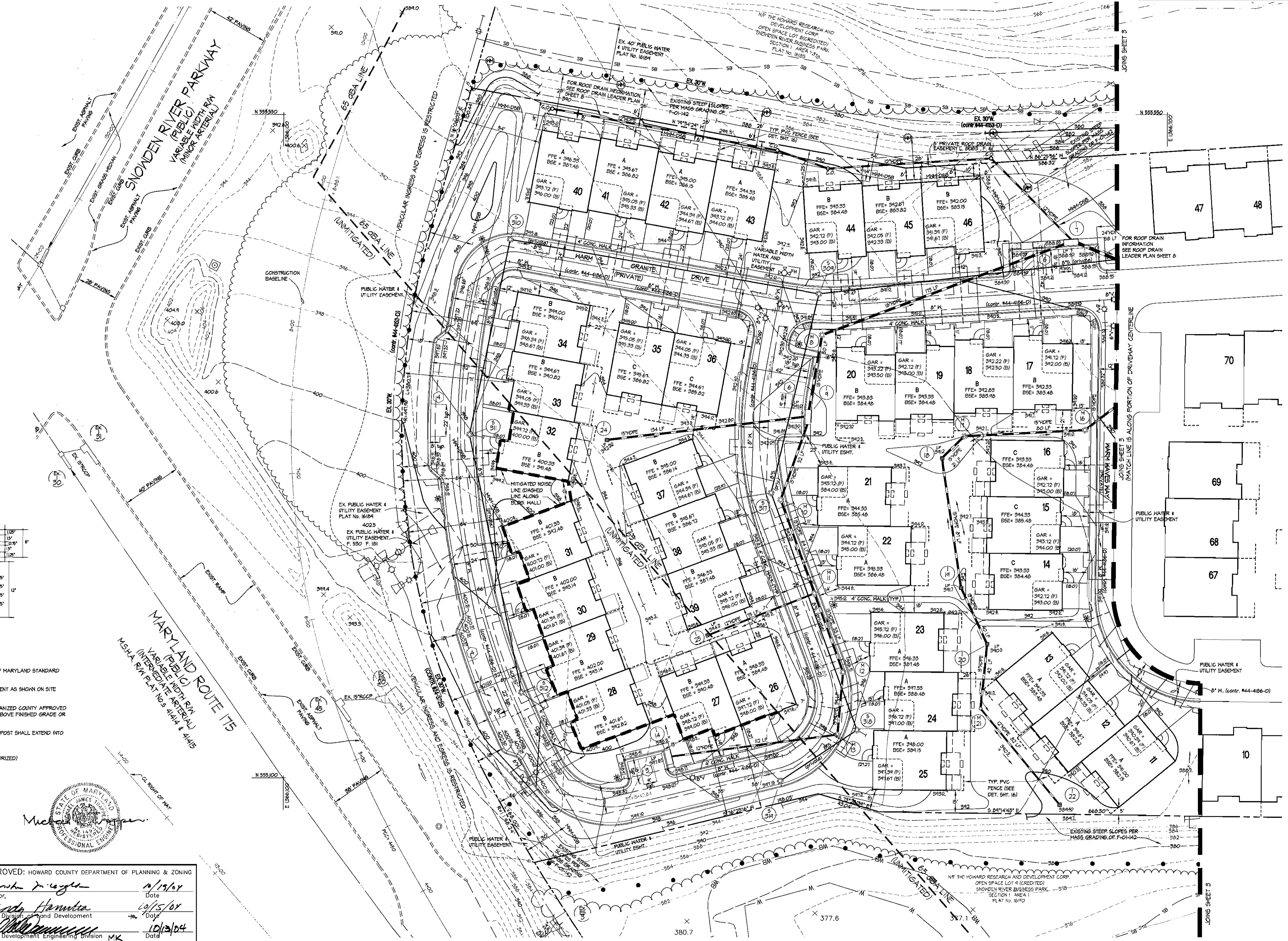
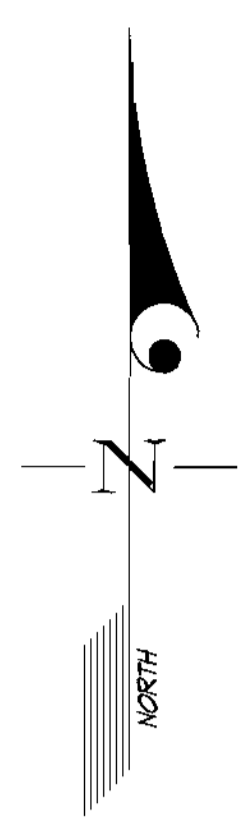
Michael J. Tropper

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Wanda DeLuca* 10/17/04
Chief, Division of Land Development: *Cindy Hanula* 10/15/04
Chief, Development Engineering Division: *[Signature]* 10/15/04

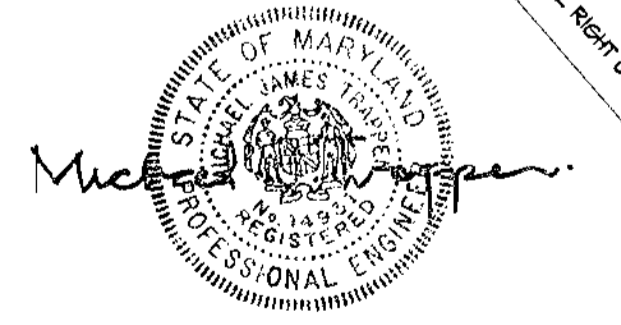
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT. 410-889-1820 DC/VA. 301-989-2524 FAX: 301-421-4186

DES. BJM	DRN. HJP	CHK. MJT	DATE	REVISION	BY	APP'R.

ELECTION DISTRICT No. 6



- GENERAL NOTES:
1. SIGNS SHALL MEET DESIGN STANDARDS OF THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET.
 2. ONE SIGN IS REQUIRED PER 100 FEET ALONG THE EASEMENT AS SHOWN ON SITE PLAN. SIGN LOCATIONS INDICATED THIS (XX).
 3. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPE GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS BY THE TOP OF THE SIGN 5' ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 4. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 5. COLORS: LEGEND AND BORDER - BLACK
BACKGROUND - WHITE (NON-REFLECTORIZED)



APPROVED
PLANNING BOARD
HOWARD COUNTY
DATE: 06/29/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frank J. Coyle Director Date: 10/15/04
Linda Hammit Chief, Division of Land Development Date: 10/15/04
Michael J. Wagner Chief, Development Engineering Division Date: 10/13/04

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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NO.	DATE	REVISION	BY	APP'R.

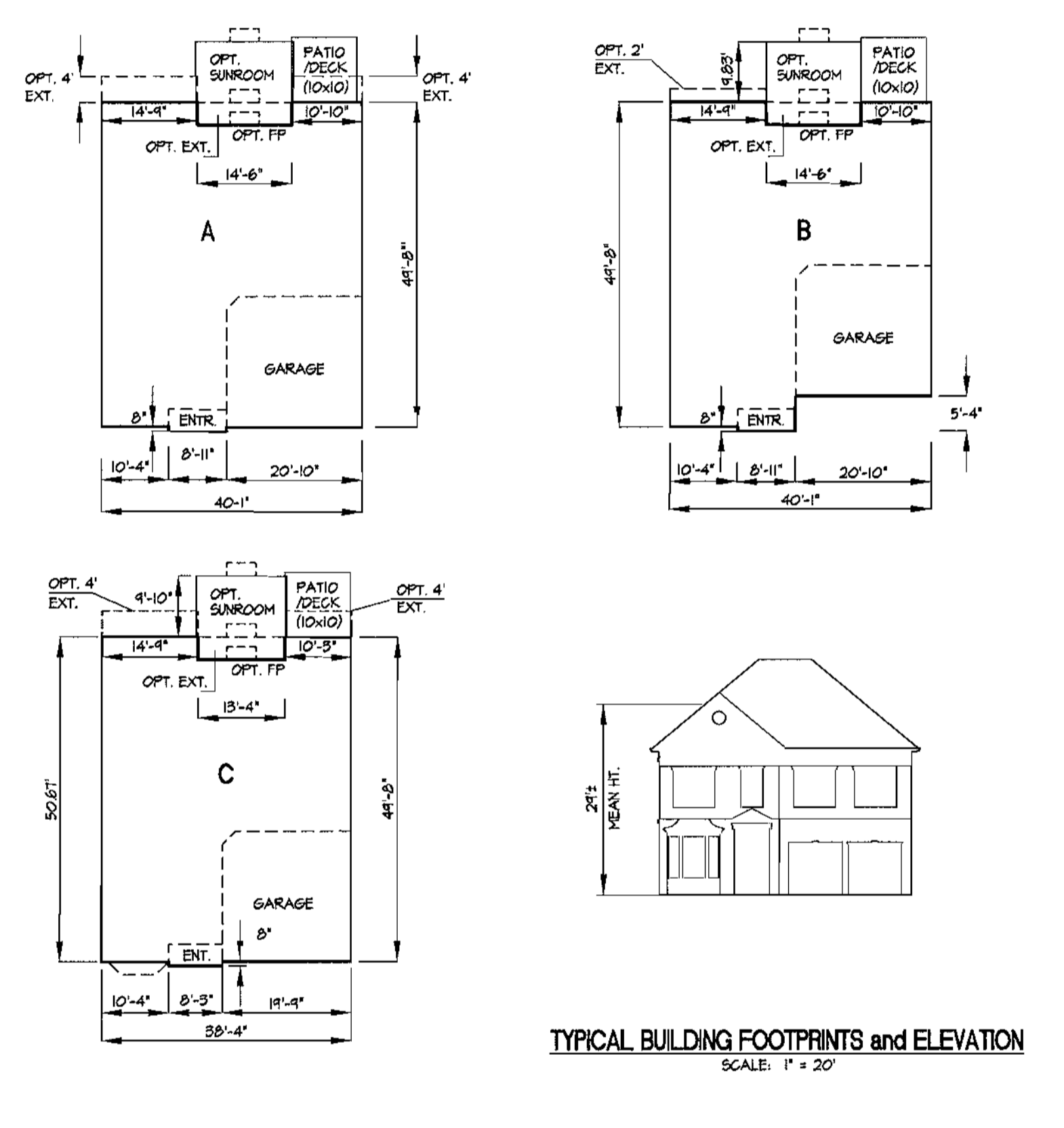
OWNER & PREPARED FOR:
 PATRIOT HOMES
 10211 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: RICK KUNKLE
 PH: (410) 997-5522

SITE DEVELOPMENT PLAN
SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1
 PARCEL 'B-1'
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	2 OF 16

SITE DEVELOPMENT PLAN LEGEND

--- 600 ---	EXISTING CONTOUR (FROM MASS GRADING)	PROPOSED CONCRETE CURBFACE
--- 600 ---	PROPOSED CONTOUR	BACK OF CURB
x386.034	EXISTING SPOT ELEV.	GUTTER PAN
x386.034	PROPOSED SPOT ELEV. (HP-HIGH FT.)	NOSE DOWN (TAPER) CURB
○	LIMIT OF GRADING DISTURBANCE	RAMP AND LANDING AREA
○	EXISTING UTILITY/LIGHT POLE	CONCRETE SIDEWALK
○	PROPOSED LIGHT POLE	
---	WATER HOUSE CONNECTION (1" HMC, DASHED LINE)	PROPOSED BUILDING
---	WATER LINE (PUBLIC)	FFE = FINISHED FLOOR ELEVATION
---	FIRE HYDRANT	GAR = GARAGE (B-BACK, F-FRONT)
---	PROPOSED SEWER MAIN (SOLID LINE)	○ LIP AND DRIVEWAY
---	SEWER HOUSE CONNECTION (4" SMC, SOLID LINE)	
---	EXISTING STORM DRAIN	
---	PROPOSED STORM DRAIN STRUCTURE (4 INLET LABEL)	
---	STORM DRAIN PIPE	
○	NUMBER OF PARKING SPACES	
---	EXISTING CURB & GUTTER	
---	SB	LIMIT OF STREAM BUFFER
---	WB	LIMIT OF WETLAND BUFFER
---	W	LIMIT OF WETLANDS



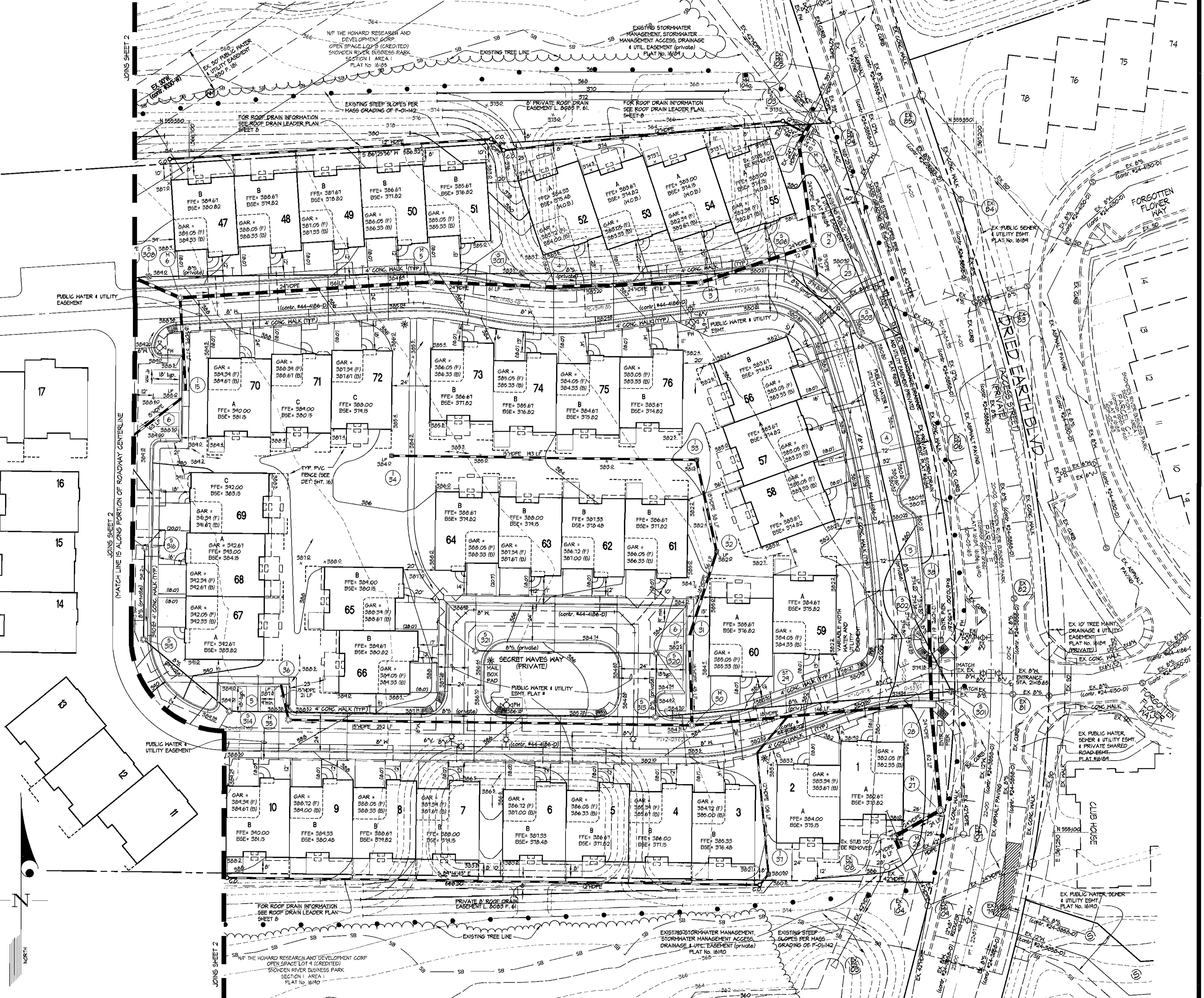
- NOTES:**
- FOR EACH UNIT, OPTIONAL BUILDING FEATURES (SUCH AS SUNROOM, EXTENSIONS, ETC.) ARE ONLY AVAILABLE IF THEY ARE SHOWN ON THESE SITE DEVELOPMENT PLANS.
 - FOR CURB TYPE AND PAVING DELINEATION AND DRIVE WAY CENTER LINE INFORMATION SEE SHEET #5.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark A. Lyle 10/29/04
Director

Cindy Harvath 10/15/04
Chief, Division of Land Development

Michael J. Trapp 10/13/04
Chief, Development Engineering Division



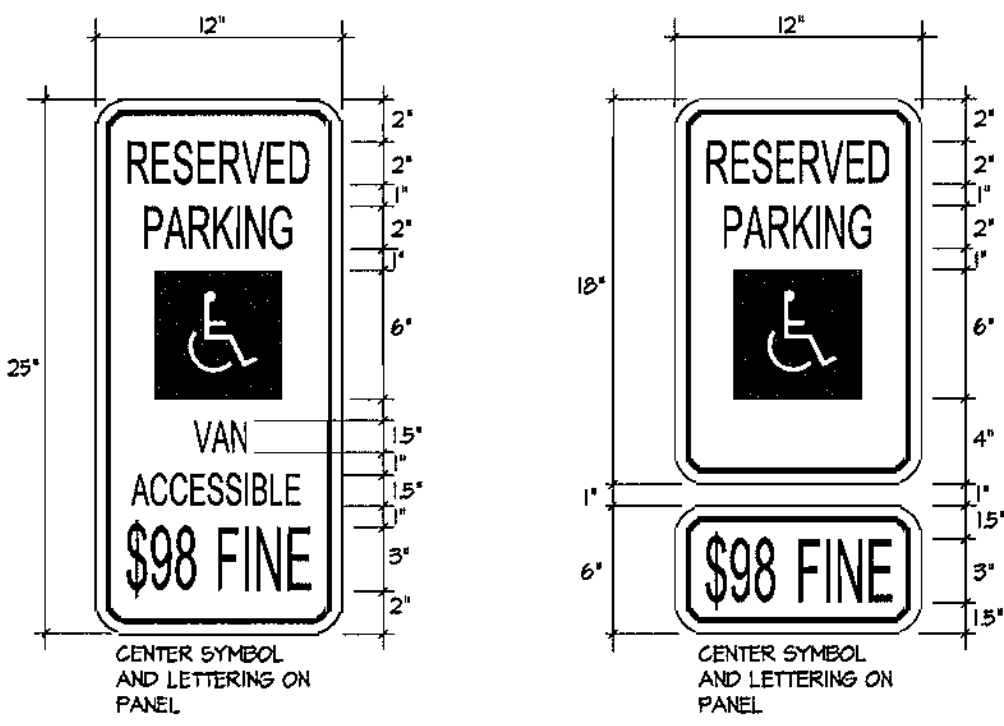
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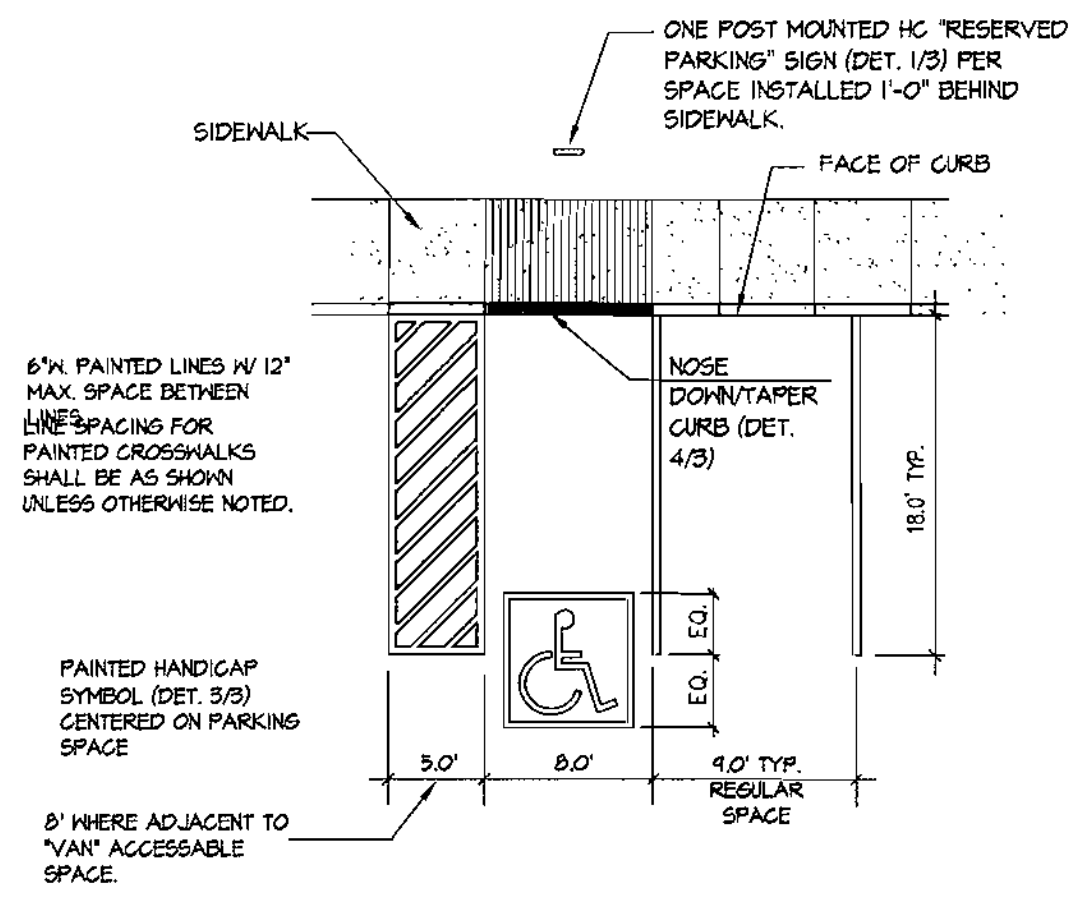
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SITE DEVELOPMENT PLAN
SNOWDEN RIVER BUSINESS PARK
SECTION I AREA I
PARCEL 'B-1'
ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

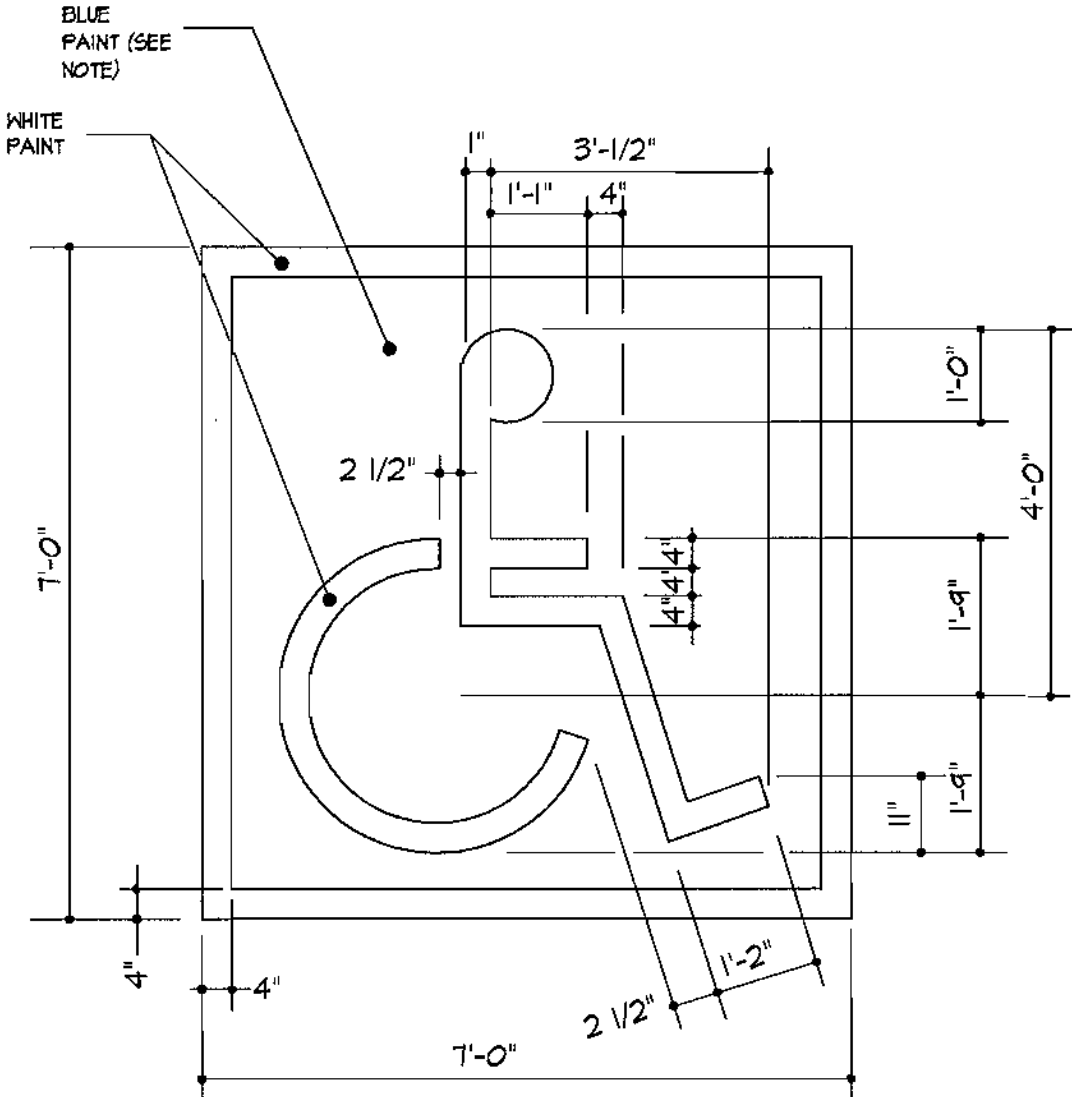
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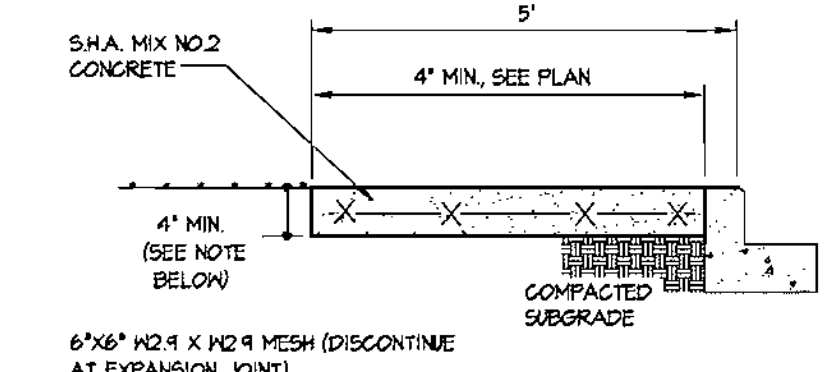
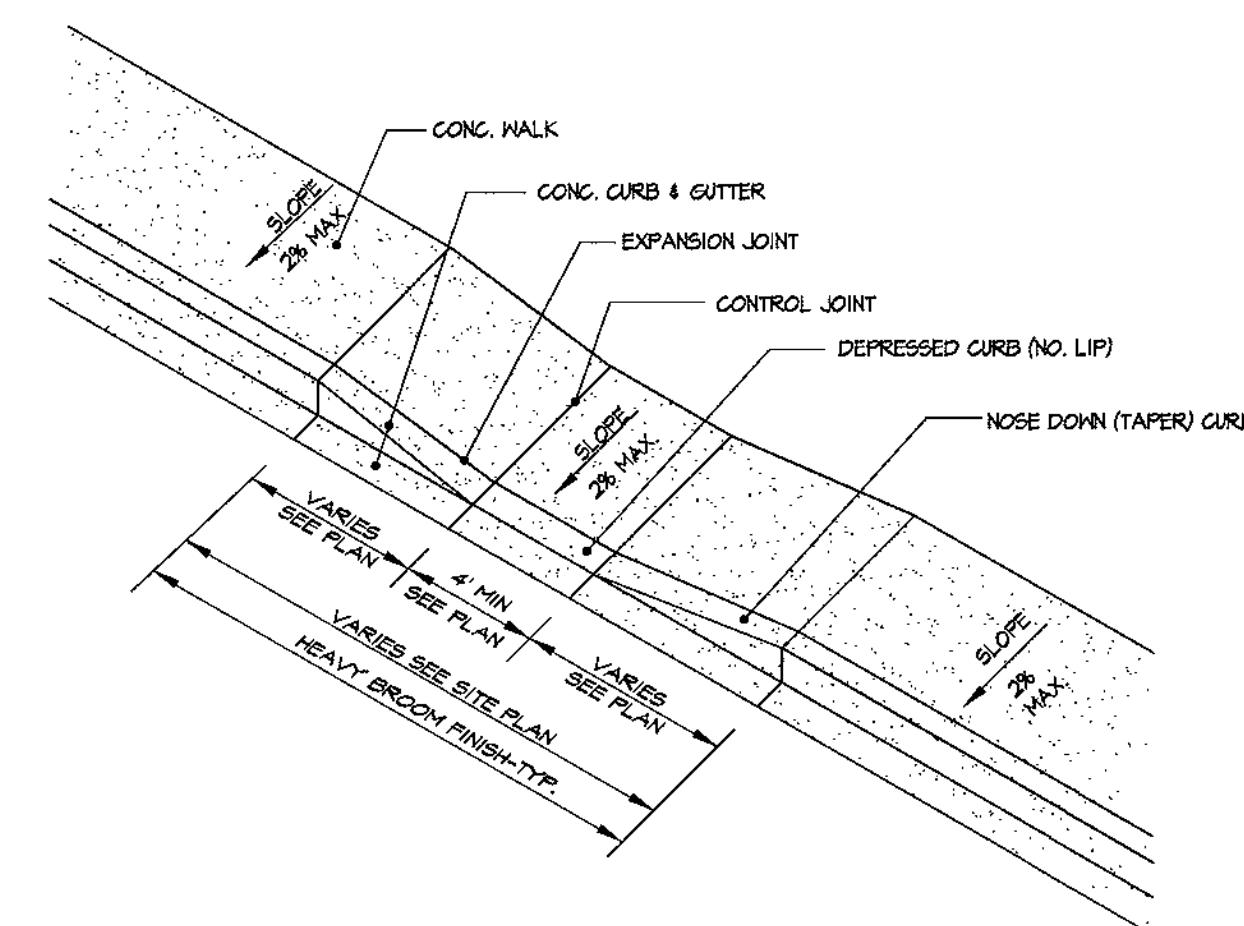
GENERAL NOTES:
 1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL RT-8.
 2. ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE PLAN.
 3. SPACES INDICATED ON SITE PLAN AS "VAN" ACCESSIBLE SHALL BE SIGNED ACCORDINGLY.
 4. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS 1 1/2" TO THE TOP OF THE SIGN 4" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 5. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 6. COLORS: LEGEND AND BORDER - GREEN
 SYMBOL - WHITE ON BLUE BACKGROUND
 BACKGROUND - WHITE



6" PAINTED LINES W/ 12" MAX. SPACE BETWEEN LINES SPACING FOR PAINTED CROSSWALKS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 PAINTED HANDICAP SYMBOL (DET. 5/B) CENTERED ON PARKING SPACE
 8" WHERE ADJACENT TO "VAN" ACCESSIBLE SPACE

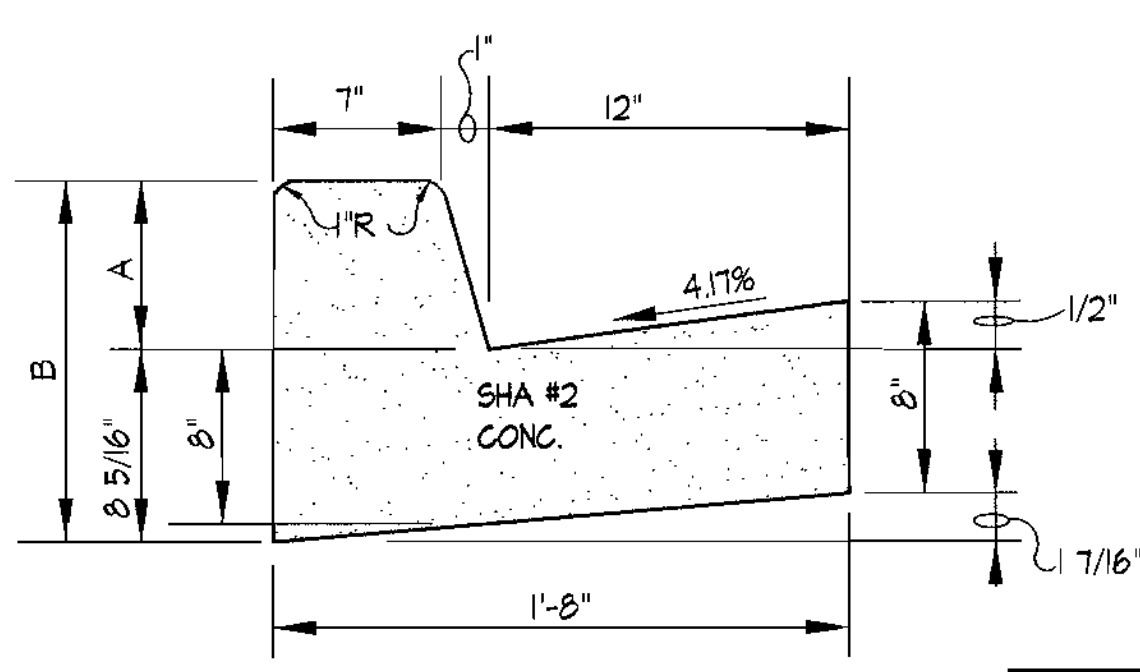


NOTE: SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND (WHITE ON BLUE, COLOR NO. 105040 IN FED. STANDARD 3452-DOUBLE COAT TYP.)



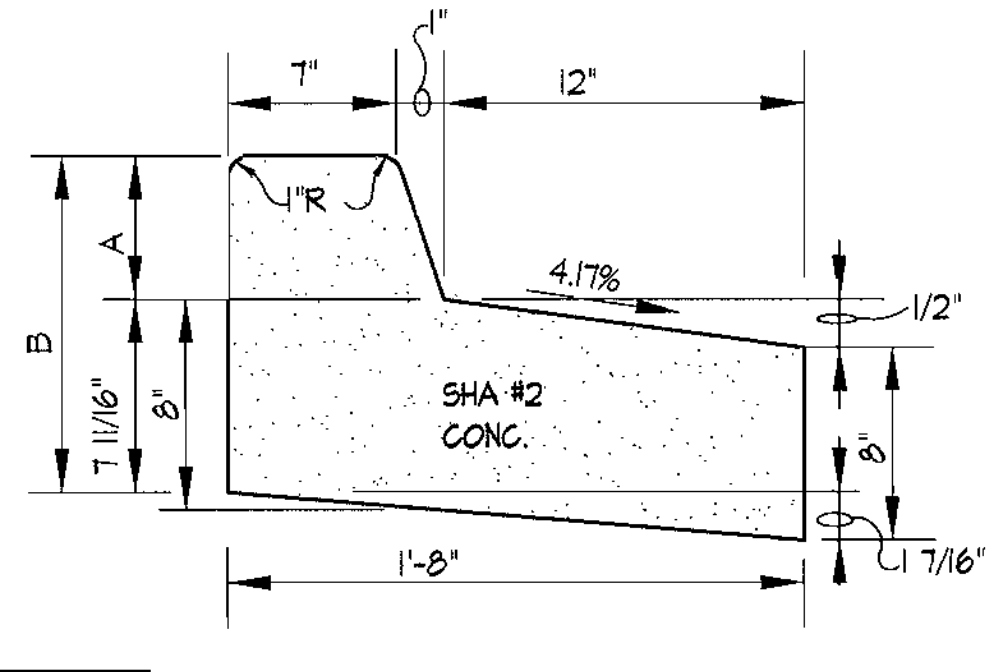
NOTE:
 1. UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C. AND SCORING JOINTS AT MAX. 5'-0" O.C.
 2. CONCRETE THICKNESS SHALL BE 1" AT DRIVEWAY LOCATIONS.
 3. PROVIDE 1/2" PREFORMED BUTYLIUMOUS EXPANSION JOINT WHERE SIDEWALK ABUTS AGAINST CURB AND SET SIDEWALK 1/4" ABOVE CURB PER HO. CO. DET. R-3.05.
 4. DRIVEWAYS AND DRIVEWAY ENTRANCES TO CONFORM TO HOWARD COUNTY STANDARD R-6.05.

1 HANDICAP PARKING SIGNS DETAIL NO SCALE 2 PARKING SPACE LAYOUT NO SCALE 3 HANDICAP SPACE STENCIL LAYOUT NO SCALE 4 TYPE-A HANDICAP RAMP DETAIL NO SCALE 5 TYPICAL SIDEWALK SECTION NO SCALE



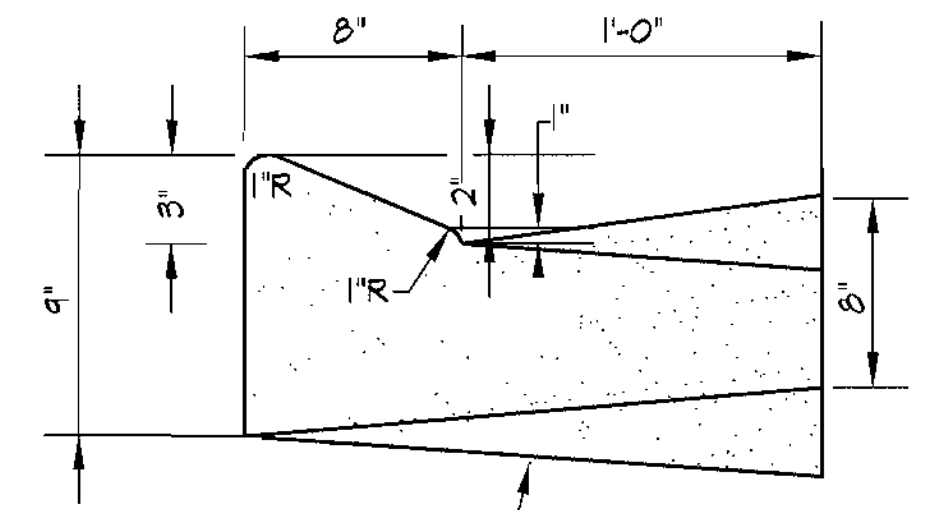
STANDARD COMBINATION CURB AND GUTTER

CURB HEIGHT	A	B
6"	6"	1'-2 5/16"



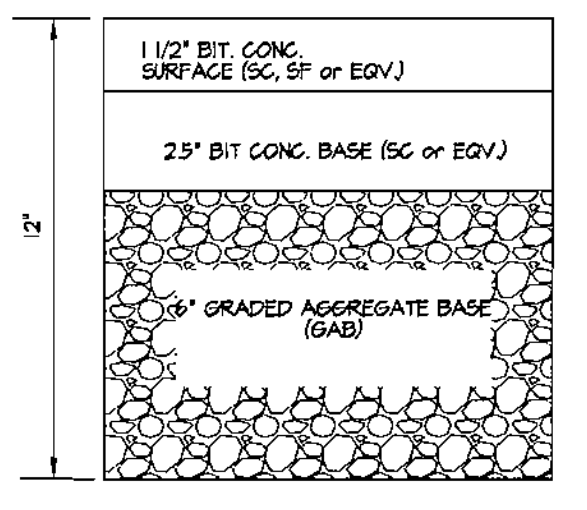
REVERSE COMBINATION CURB AND GUTTER

NOTES:
 1. 50' MAX. BETWEEN EXPANSION JOINTS & 10' MAX. BETWEEN CONTROL JOINTS.
 2. ALL ON-SITE CURB & GUTTER SHALL BE 6" HIGH. CURB & GUTTER IN MARSHALLEE DRIVE ROW SHALL BE 1" HIGH.
 3. STANDARD CURB & GUTTER SHALL BE USED WHERE THE DRIVEWAY SLOPES TOWARDS THE CURB & GUTTER. REVERSE CURB & GUTTER SHALL BE USED WHERE THE DRIVEWAY SLOPES AWAY FROM THE CURB & GUTTER.

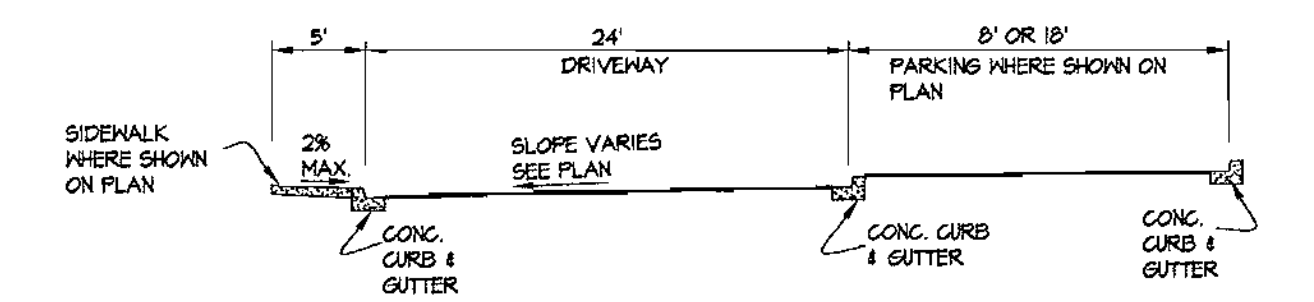


NOTE: REVERSED CONC. GUTTER SHALL SLOPE AT THE SAME RATE AND IN THE SAME DIRECTION AS THE DRIVEWAY PAVEMENT.

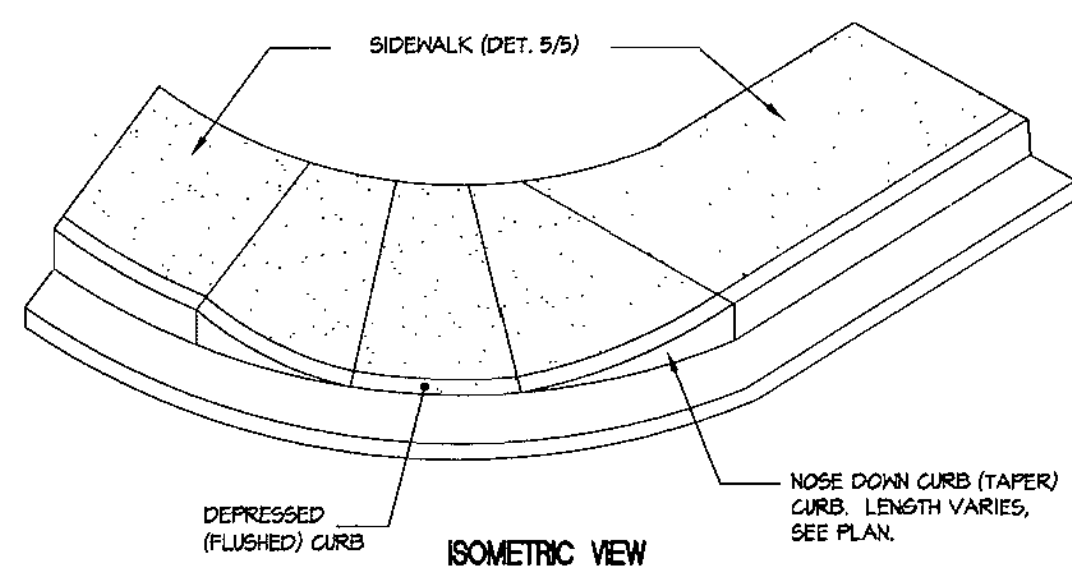
6 TYPE-A CONCRETE CURB AND GUTTER (STANDARD AND REVERSE) NO SCALE 7 TYPE 'C' COMBINATION CURB AND GUTTER NO SCALE



NOTE:
 GRADED AGGREGATE BASE (GAB) SHALL BE PLACED AND COMPACTED IN 6 INCH MAXIMUM COMPACTED THICKNESS LAYERS.



8 BITUMINOUS PAVING SECTION NO SCALE 9 TYPICAL PRIVATE ROAD SECTIONS NO SCALE



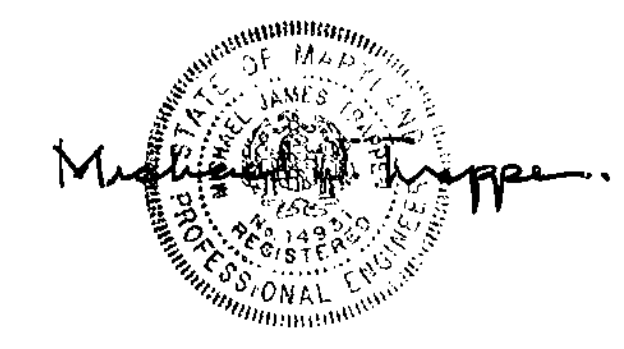
10 TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION NO SCALE

SEWER HOUSE CONNECTION TABLE

UNIT No.	LOCATION (station)	INV. @ 4' (ft.)	Bsmt. FFE (ft.)	LENGTH (ft.)	SLOPE (%)	TYPE (-)
1	0+55.7	371.51	373.82	11.5	2.00	4" x 8" Tee
2	0+44.2	372.27	375.15	22.4	2.00	4" x 8" Tee
3	1+35.7	373.10	376.48	31.7	2.00	4" x 8" Tee
4	1+71.7	373.81	377.15	32.2	2.00	4" x 8" Tee
5	0+21.0	373.48	377.82	30.3	2.00	4" x 8" Tee
6	0+60.2	375.07	378.48	30.3	2.00	4" x 8" Tee
7	1+44.8	375.84	379.15	30.3	2.00	4" x 8" Tee
8	1+55.4	376.50	379.82	30.3	2.00	4" x 8" Tee
9	1+45.5	377.10	380.48	30.3	2.00	4" x 8" Tee
10	2+39.0	377.76	381.15	30.3	2.00	4" x 8" Tee
11	@ 5-314	378.46	382.15	33.5	2.00	4" x 8" Tee
12	0+13.9	378.58	382.82	40.7	2.00	4" x 8" Tee
13	0+63.0	379.81	383.48	36.6	2.00	4" x 8" Tee
14	0+12.0	380.60	384.48	25.7	2.00	4" x 8" Tee
15	0+50.7	382.47	385.48	25.7	2.00	4" DHC
16	@ 5-316	381.08	384.48	24.2	2.00	4" x 8" Tee
17	0+61.3	379.64	383.48	33.8	2.00	4" x 8" Tee
18	1+04.7	380.33	383.98	31.8	2.00	4" x 8" Tee
19	1+42.3	381.03	384.48	24.9	2.00	4" x 8" Tee
20	1+85.4	381.82	384.98	27.6	2.00	4" x 8" Tee
21	0+11.7	383.23	385.48	12.2	2.00	4" x 8" Tee
22	0+63.2	383.75	386.48	12.6	2.00	4" x 8" Tee
23	1+12.0	384.23	387.48	13.1	2.00	4" x 8" Tee
24	1+41.5	384.53	388.48	11.9	2.00	4" x 8" Tee
25	@ 5-318	385.07	389.15	7.0	2.00	4" x 8" Tee
26	0+44.3	387.03	389.48	22.4	2.00	4" DHC
27	@ 5-319	386.98	390.48	31.2	2.00	4" x 8" Tee
28	@ 5-312	389.00	392.82	18.7	2.00	4" x 8" Tee
29	@ 5-312	389.00	393.14	9.7	2.00	4" x 8" Tee
30	1+10.2	390.38	392.48	5.0	2.00	4" DHC
31	0+69.5	391.04	393.14	5.0	2.00	4" DHC
32	@ 5-311	389.28	391.48	9.9	2.00	4" DHC
33	0+78.0	388.72	390.82	5.0	2.00	4" DHC
34	0+35.3	388.04	390.14	5.0	2.00	4" DHC
35	0+42.9	388.28	388.82	26.0	2.00	4" x 8" Tee
36	0+52.8	388.87	388.82	26.4	2.00	4" x 8" Tee
37	1+30.8	382.84	386.14	27.1	2.00	4" x 8" Tee
38	@ 5-317	383.14	386.72	23.9	2.00	4" x 8" Tee

NOTES:
 INVERTS LISTED FOR DROP HOUSE CONNECTIONS ARE FOR THE TOP OF JOINT WHERE THE DHC CONNECTS TO THE HORIZONTAL RUN. INVERTS LISTED FOR 4" x 8" TEES ARE FOR THE INVERT OF THE 4" AT THE MAIN. FOR INVERTS OF THE 8" MAIN, SEE SEWER PROFILES. STATION LOCATION OF ALL SHC CONNECTIONS IS FROM THE CENTERLINE OF THE NEXT DOWNSTREAM SEWER STRUCTURE. ALL SLOPES LISTED ARE FOR THE SLOPE OF THE 4" STUB.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark D. Lough* 10/15/04
 Chief, Division of Land Development: *Condy Hannitt* 10/15/04
 Chief, Development Engineering Division: *MK* 10/13/04



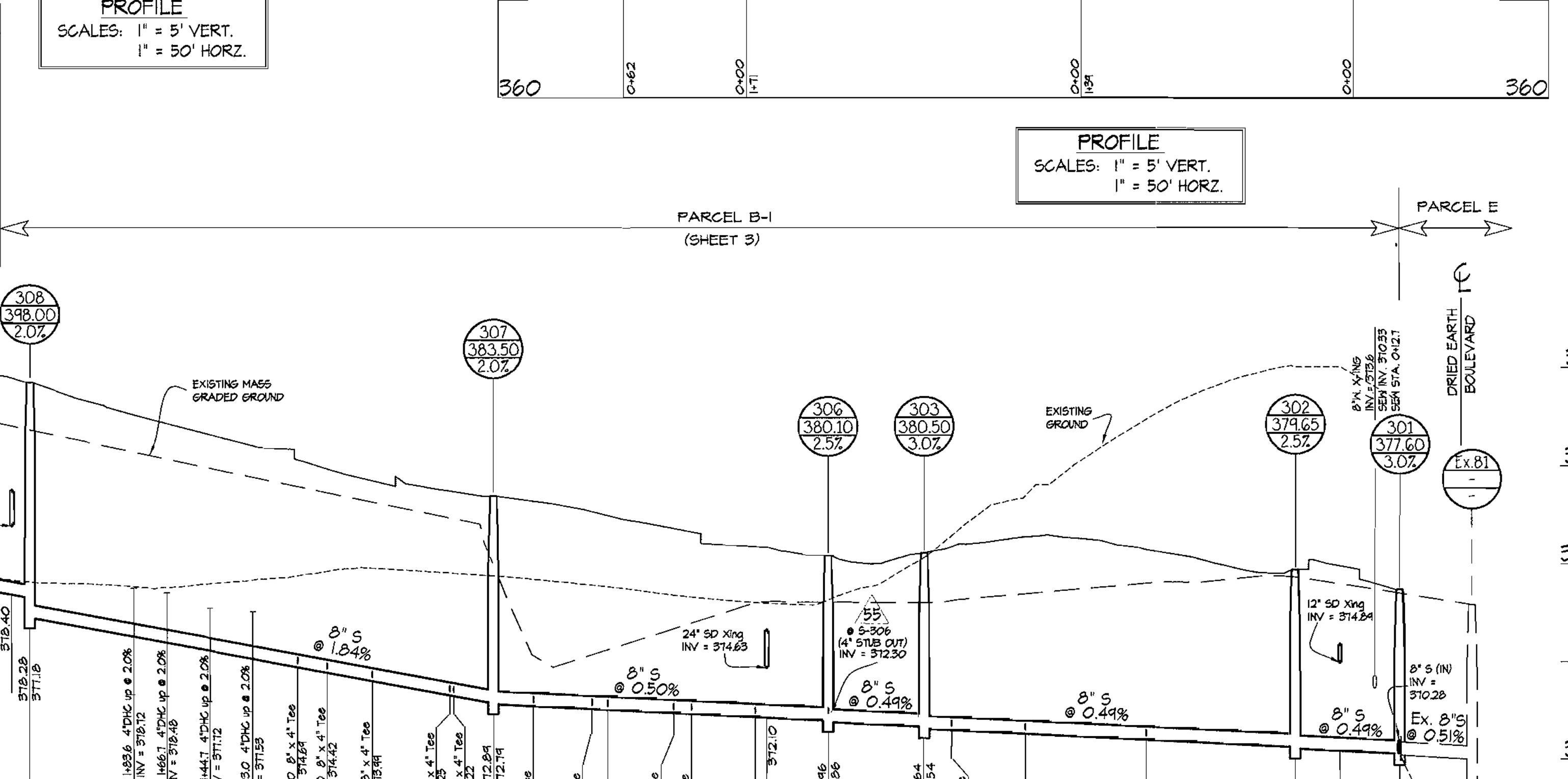
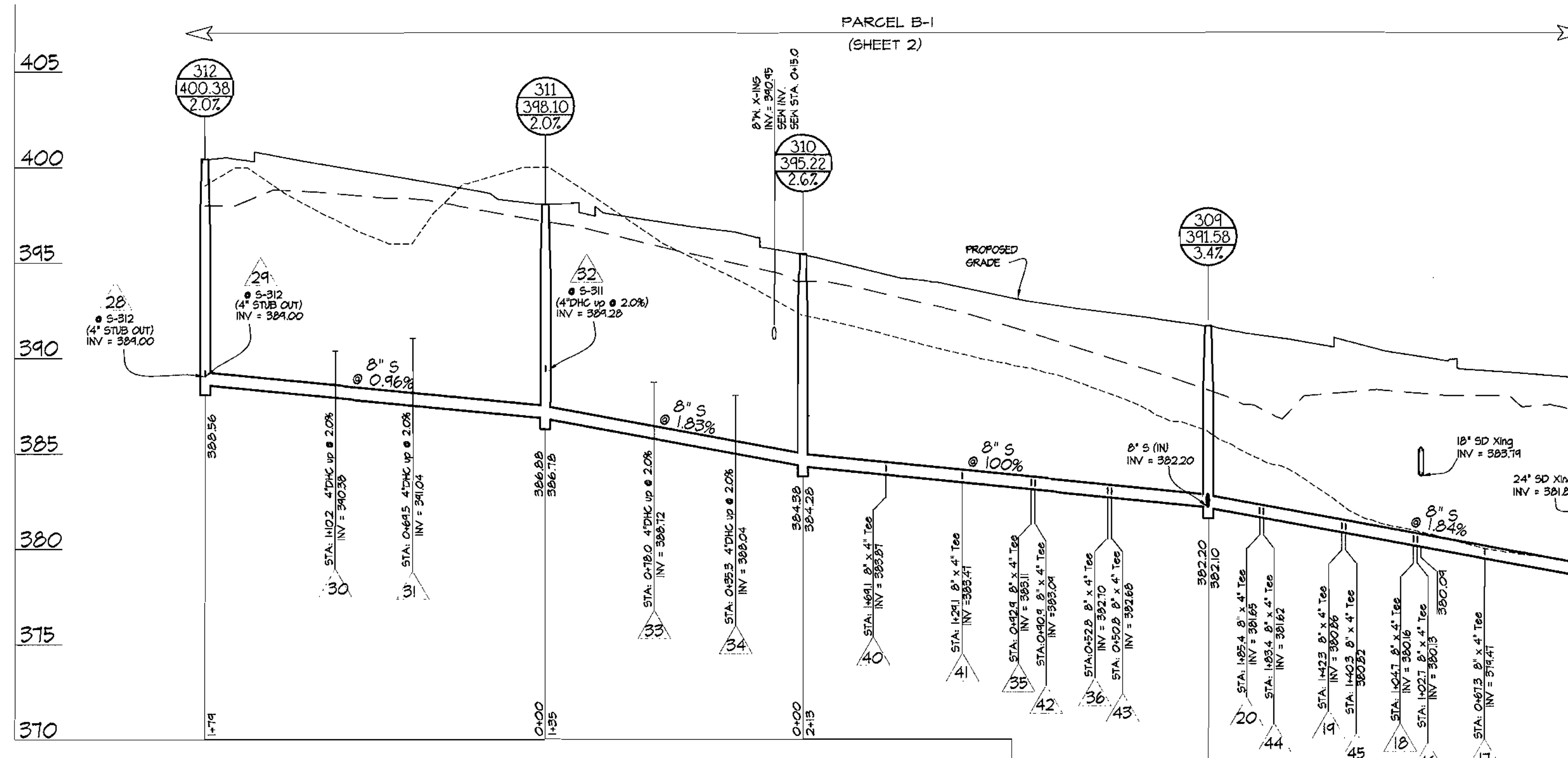
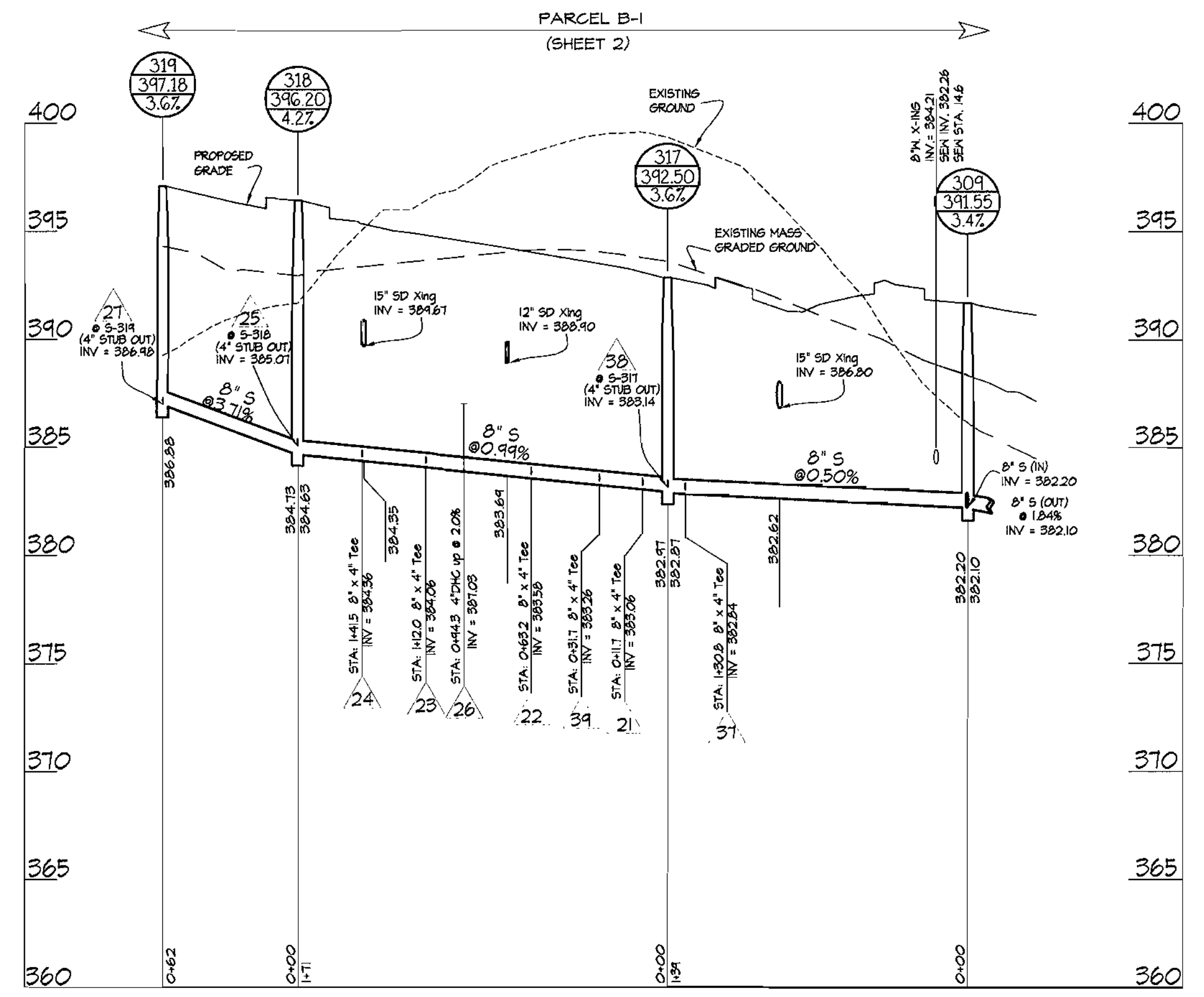
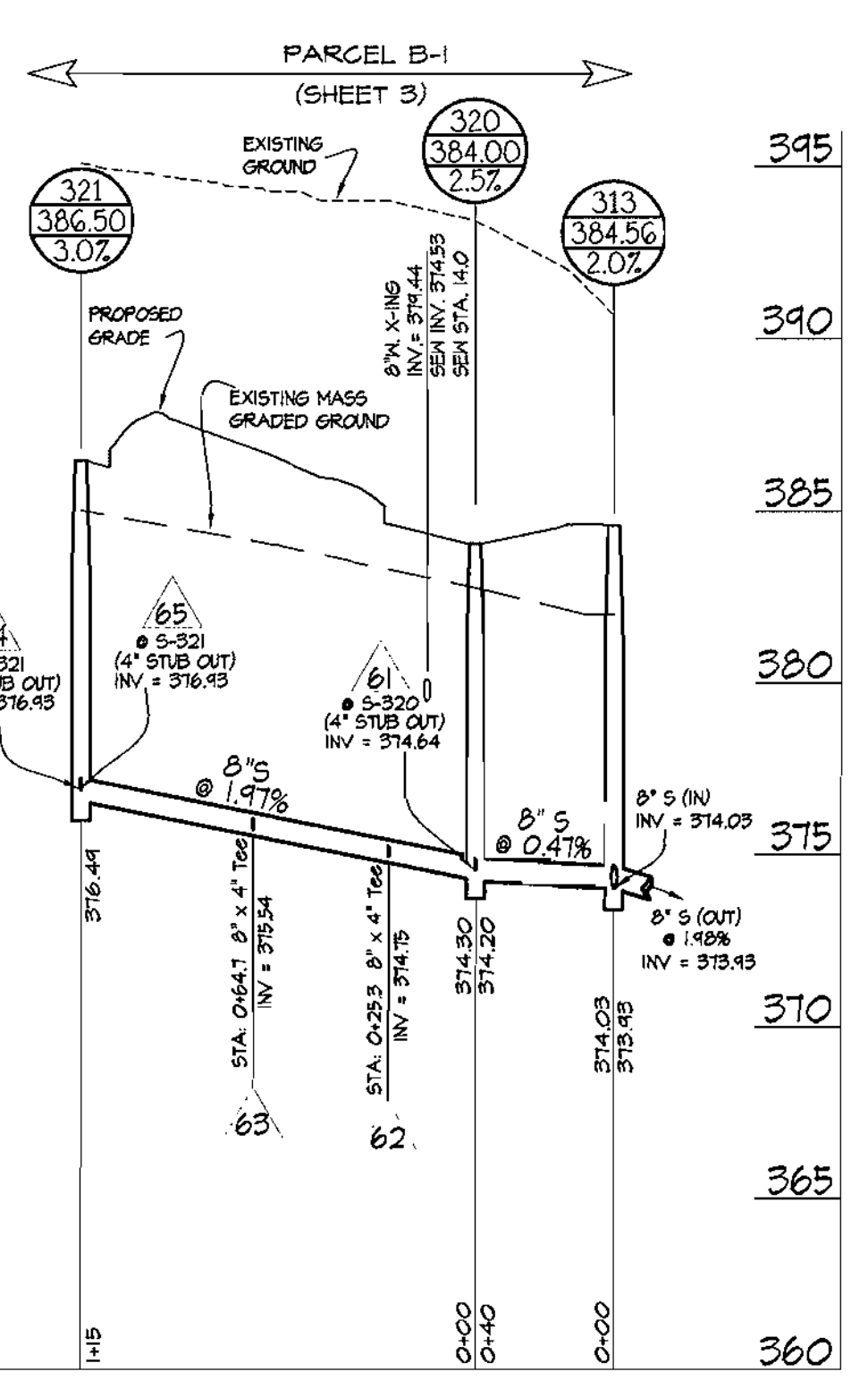
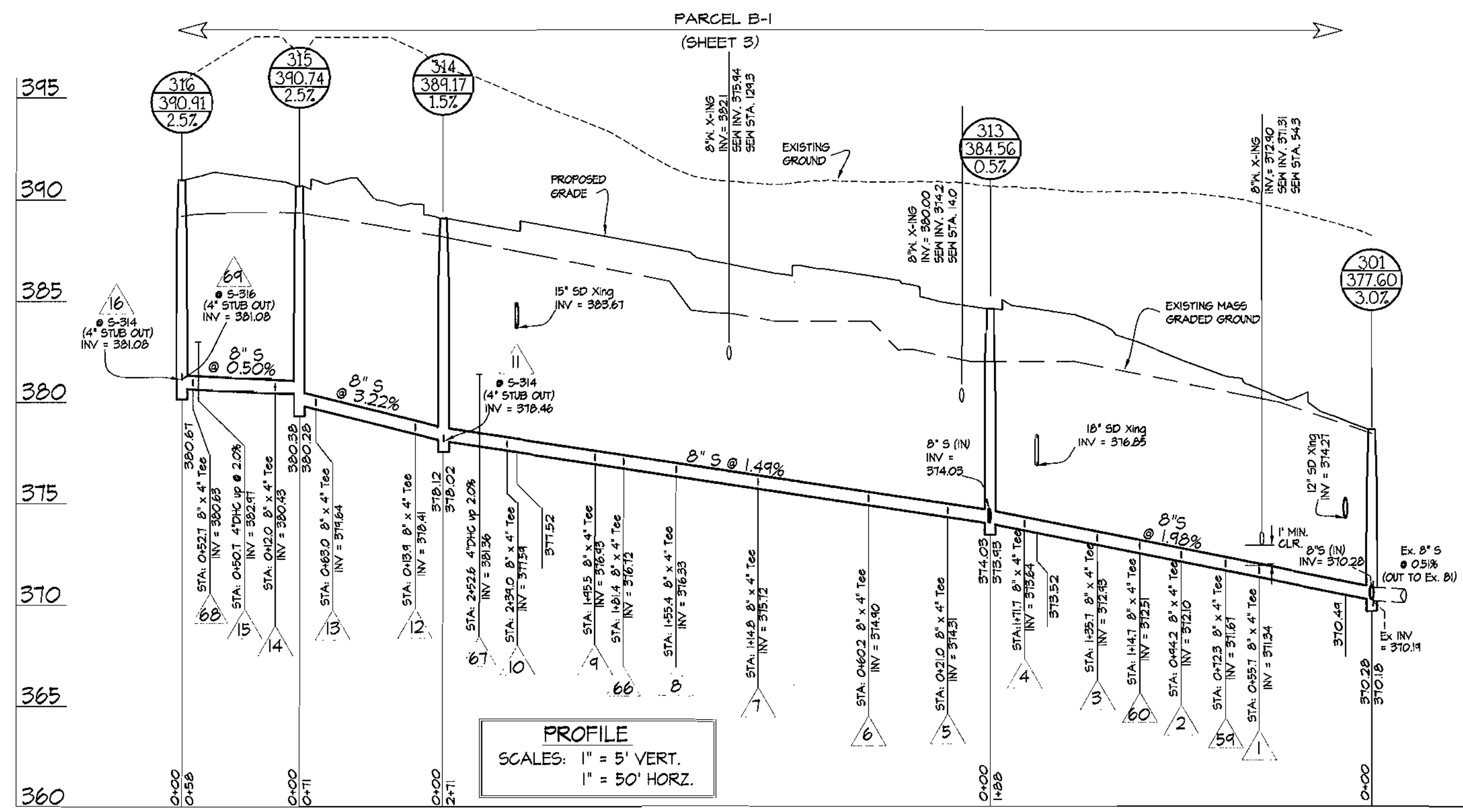
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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 TEL: 301-421-4024 BALT: 410-861-1800 DC/VA: 301-589-2524 FAX: 301-421-4186

OWNER & PREPARED FOR:
 PATRIOT HOMES
 10211 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: RICK KUNKLE
 PH: (410) 997-5522

SITE DETAILS
SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1
 PARCEL 'B-B'

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	4 OF 16

ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND



- NOTES:
- HOUSE CONNECTION UNIT NUMBERS INDICATED THIS: 30
 - FOR ADDITIONAL SEWER HOUSE CONNECTION INFORMATION, SEE SHC TABLE ON SHEET 4.
 - ALL STATIONING INDICATED IS SEWER MAIN STATIONING.

ALL PROFILES
 SCALES: 1" = 5' VERT.,
 1" = 50' HORIZ.

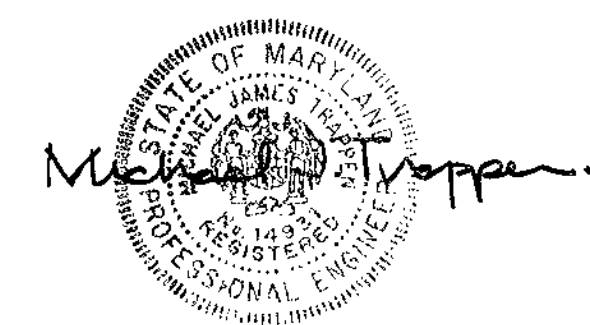
APPROVED
 06/09/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING + ZONING

Director: *Mark A. ...* 10/15/04

Chief, Division of Land Development: *Cinda ...* 10/15/04

Chief, Development Engineering Division: *...* 10/13/04



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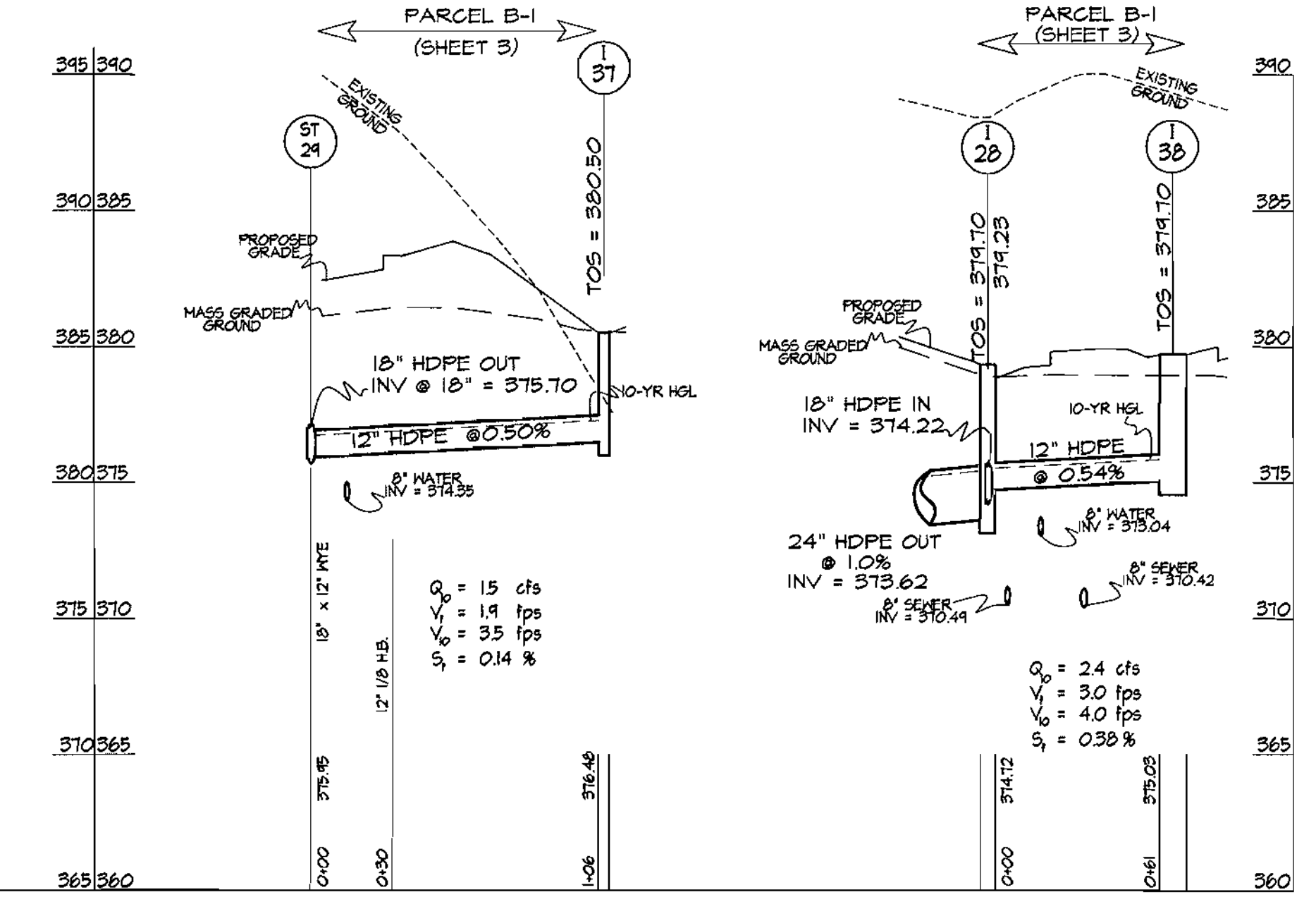
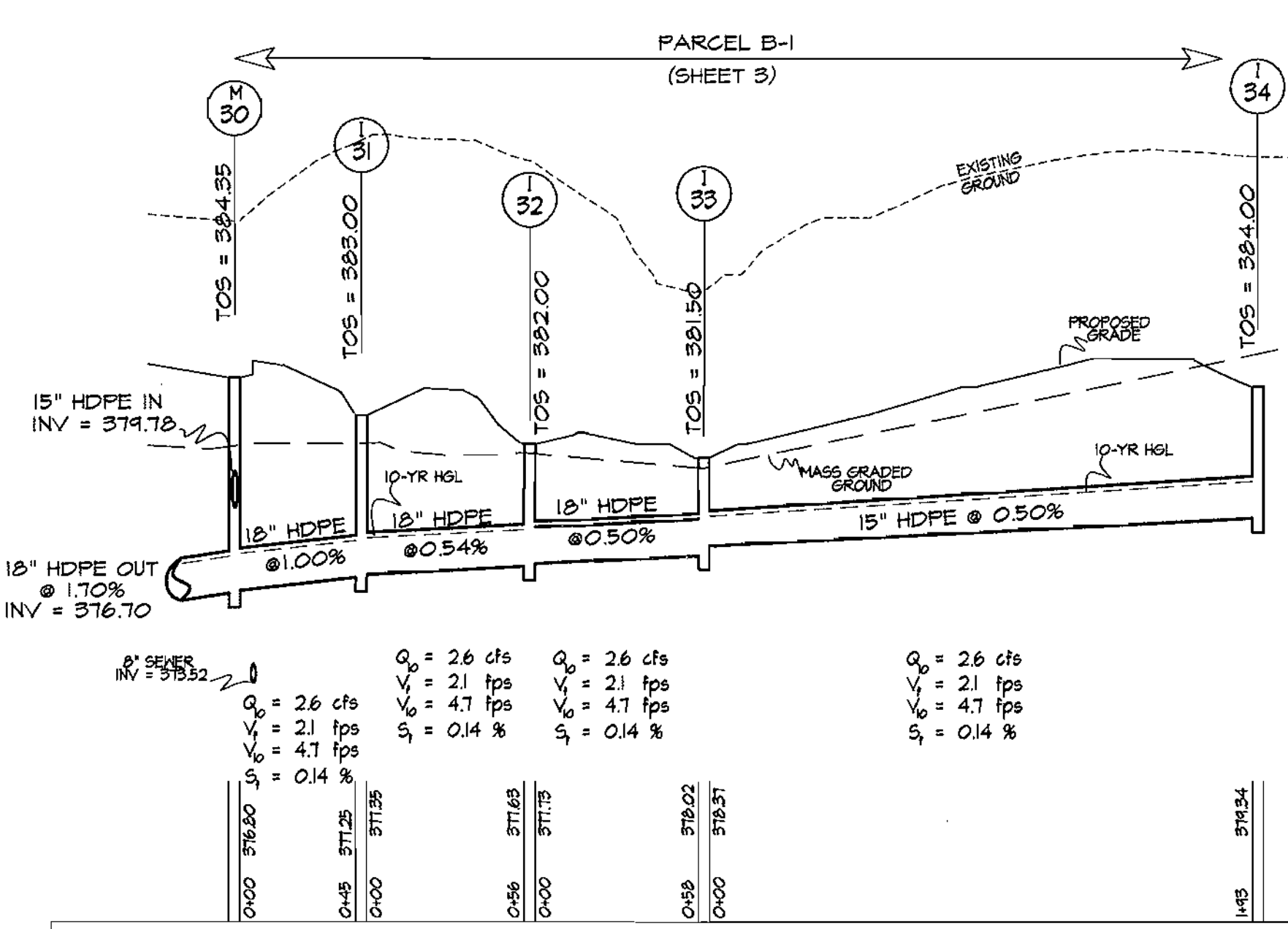
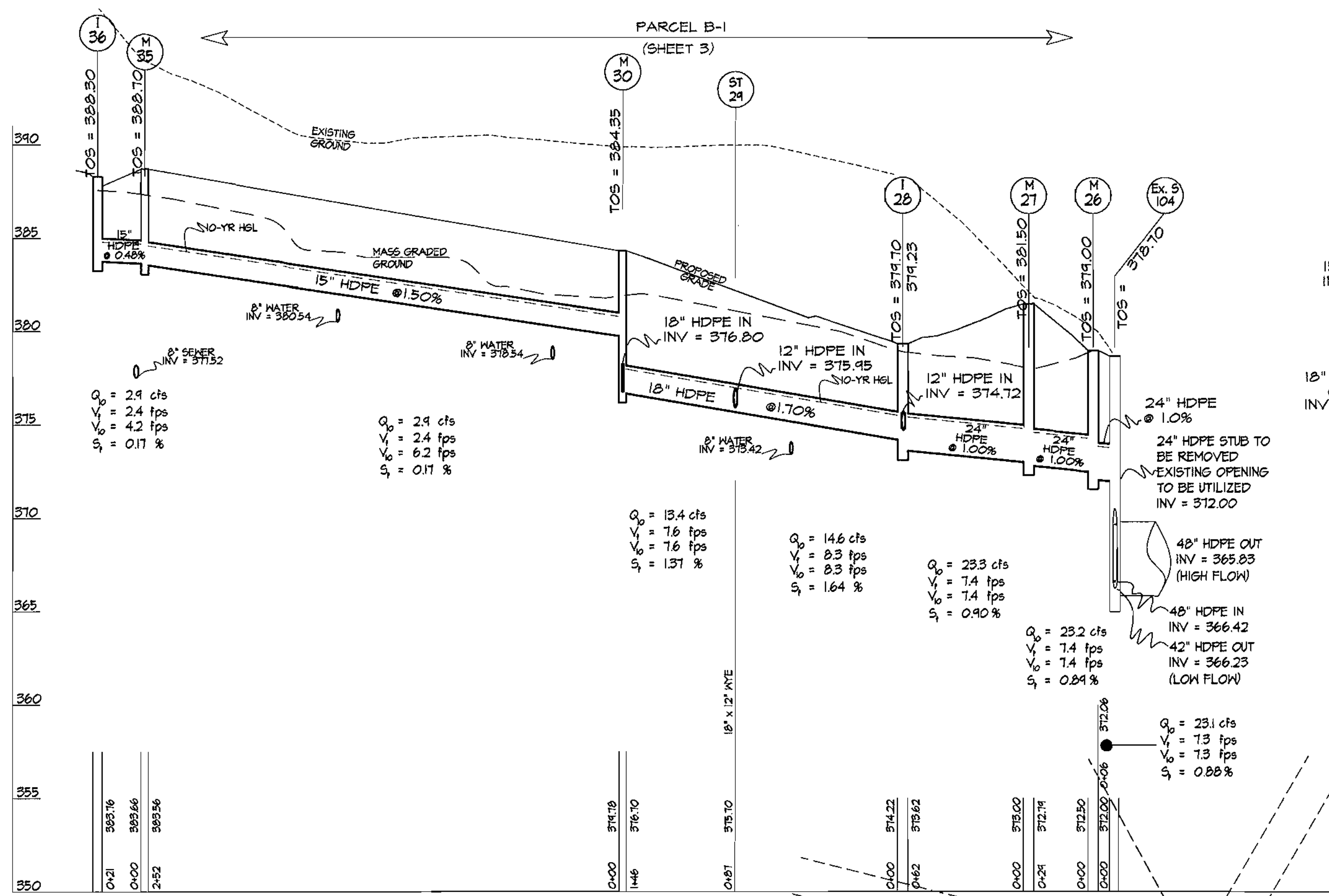
SEWER PROFILES
 SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1
 PARCEL 'B-1'

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	6 OF 16

DES. BJM	DRN. B.M./A.P.H.	CHK. M.JT	DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND



S.D. STRUCTURE SCHEDULE

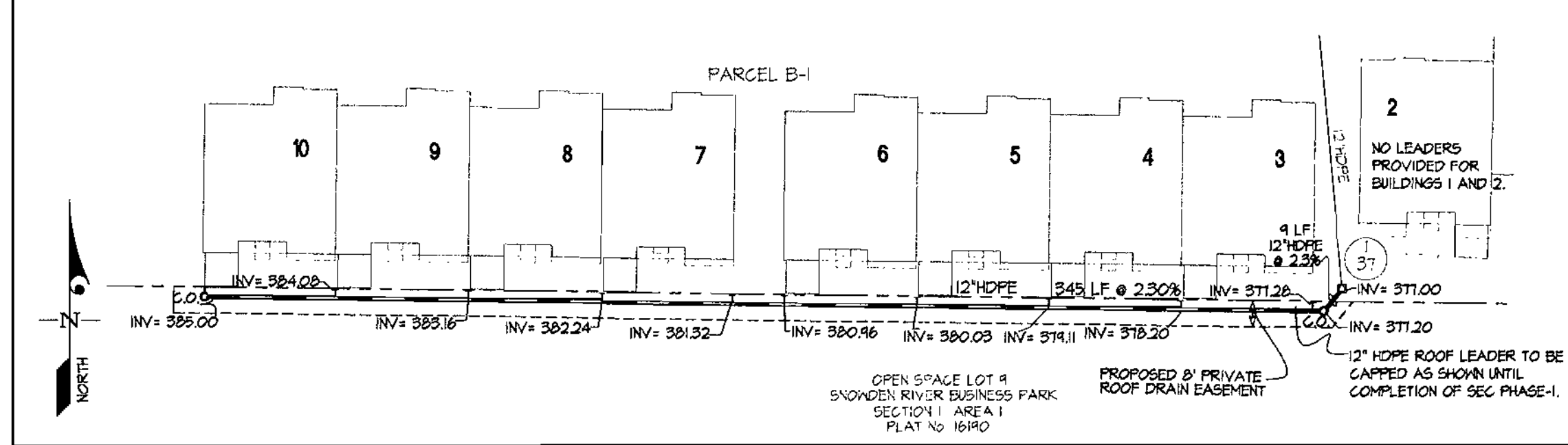
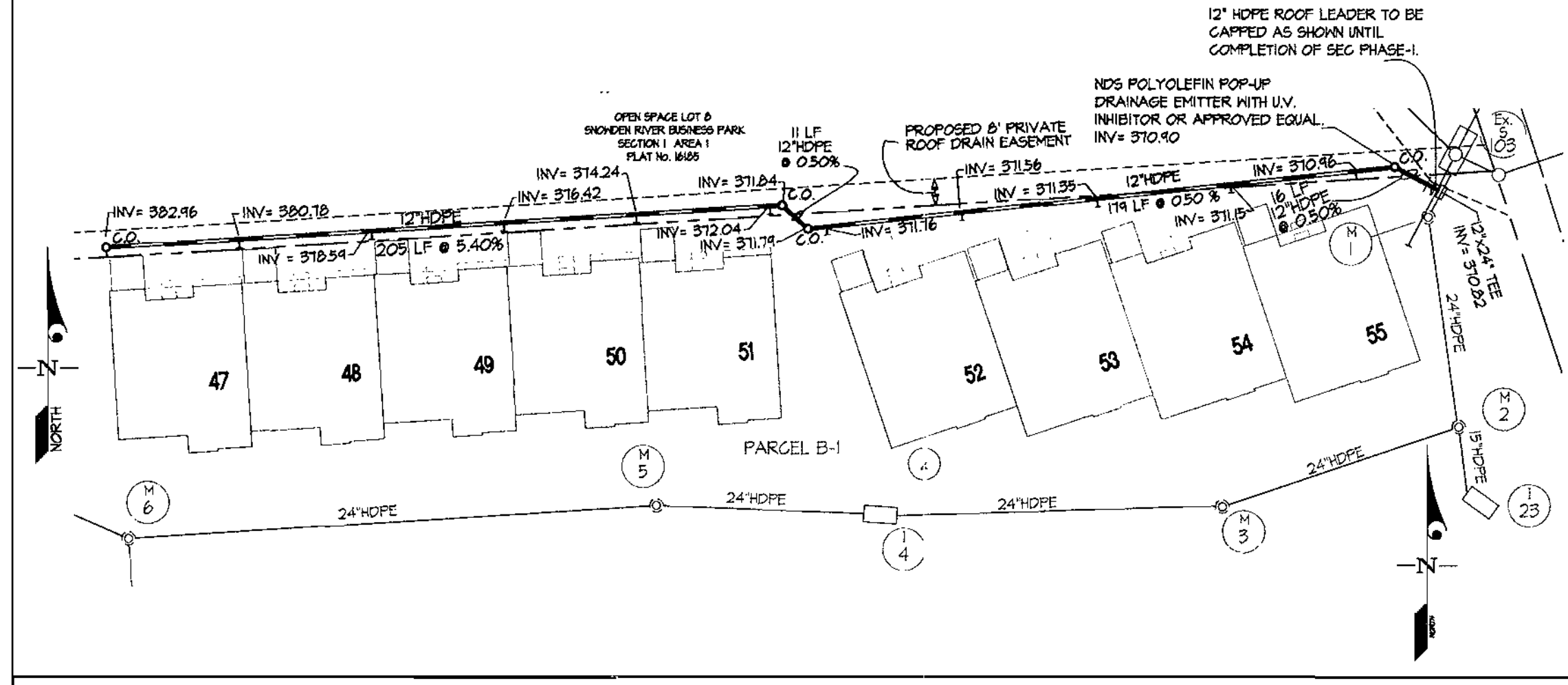
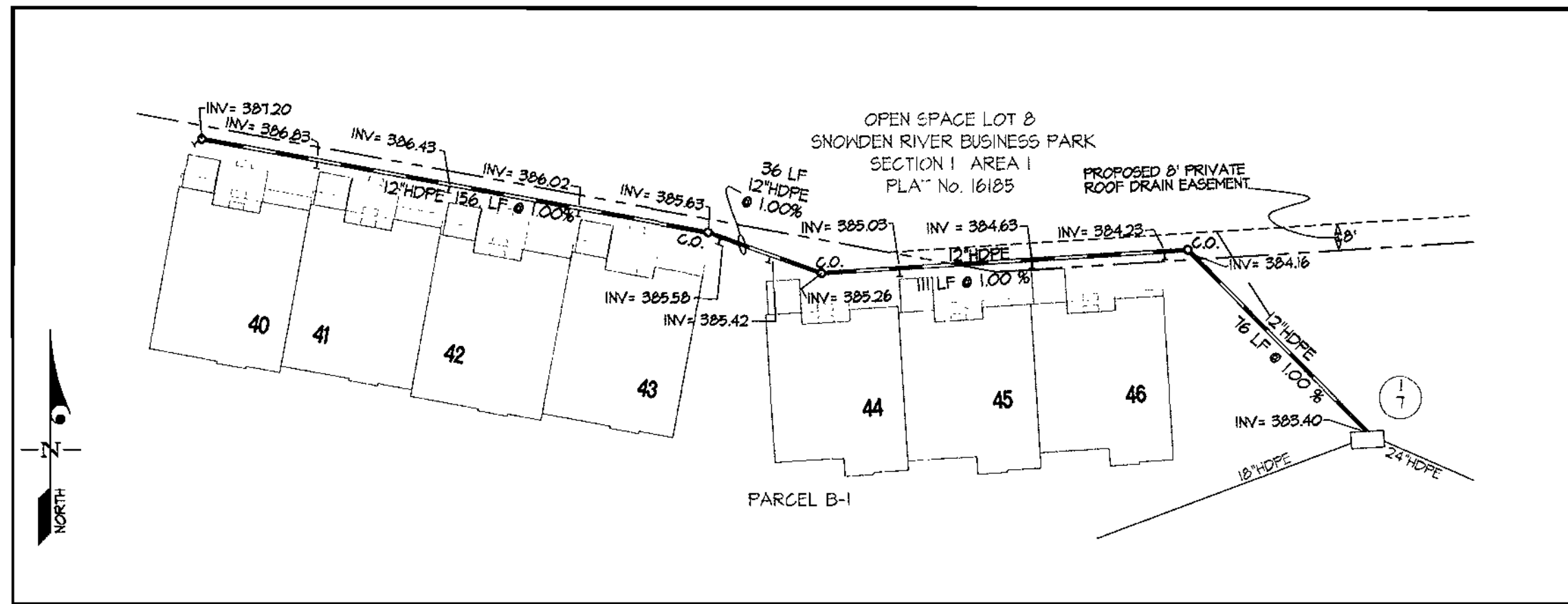
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
I-36	A-I/O INLET	4'	388.30	388.30	terminal	383.76	HC SD 4.41	4+63.74 30.00 R WARM WAVES WAY
M-35	4' MANHOLE	4'	---	388.70	383.66	383.56	HC G 5.12	4+58.72 7.67 R WARM WAVES WAY
M-30	4' MANHOLE	4'	---	384.35	374.78	376.70	HC G 5.12	2+02.19 1.64 R WARM WAVES WAY
I-28	COS 15 INLET	4' - 2'	374.48	MATCH EX.	374.72	373.62	MD SHA 374.62	0+44.33 12.00 L WARM WAVES WAY
M-27	5' MANHOLE	5'	---	381.50	373.00	372.79	HC G 5.13	see plan
M-26	5' MANHOLE	5'	---	374.00	372.50	372.06	HC G 5.13	see plan
I-31	A-I/O INLET	4'	---	383.00	371.55	371.25	HC SD 4.41	0+60 30.00 R SECRET WAVES PLACE
I-32	24" INFLAST DRAINBASIN	2'	---	382.00	371.73	371.63	ADS TYPICAL	see plan WITH H-10 rated inlet grate.
I-33	24" INFLAST DRAINBASIN	2'	---	381.50	378.02	378.37	ADS TYPICAL	see plan WITH H-10 rated inlet grate.
I-34	24" INFLAST DRAINBASIN	2'	---	384.00	terminal	379.34	ADS TYPICAL	see plan WITH H-10 rated inlet grate.
I-37	24" INFLAST DRAINBASIN	2'	---	380.50	terminal	376.48	ADS TYPICAL	see plan WITH H-10 rated inlet grate.
I-38	A-I/O INLET	4'	---	391.70	terminal	375.03	HC SD 4.41	0+52.84 20.00 R WARM GRANITE DRIVE

PROFILES
 SCALES: 1" = 5' VERT.
 1" = 50' HORIZ.

S.D. Pipe Summary Table

Size (in)	Type	Quantity (LF)	Remarks
12	HDPE	436	ADS N12 or equiv.
15	HDPE	1159	ADS N12 or equiv.
18	HDPE	585	ADS N12 or equiv.
24	HDPE	614	ADS N12 or equiv.

- S.D. NOTES**
- ALL ROOF LEADER STUBS TO BE CAPPED WITH PREMANUFACTURED ENDCAP. BUILDER PLUMBER/CONTRACTOR TO CONNECT ROOF DRAIN DOWNSPUTS TO STUBS.
 - ALL HC & SHA STRUCTURES TO BE PRECAST.
 - A COS & COS INLET LOCATIONS ARE TO THE FRONT FACE MIDPOINT OF STRUCTURE THROAT. MANHOLE LOCATIONS ARE TO THE CL OF STRUCTURE.
 - ROOF DRAIN STRUCTURES AND PIPES ARE NOT ACCOUNTED FOR WITHIN THE S.D. SCHEDULES.



ROOF LEADER DETAIL PLANS - UNITS 3-10 + 40-55
 SCALE: 1" = 40'

Michael J. Trapp
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] 10/13/04
 Chief, Division of Land Development: [Signature] 10/15/04
 Chief, Development Engineering Division: [Signature] 10/13/04

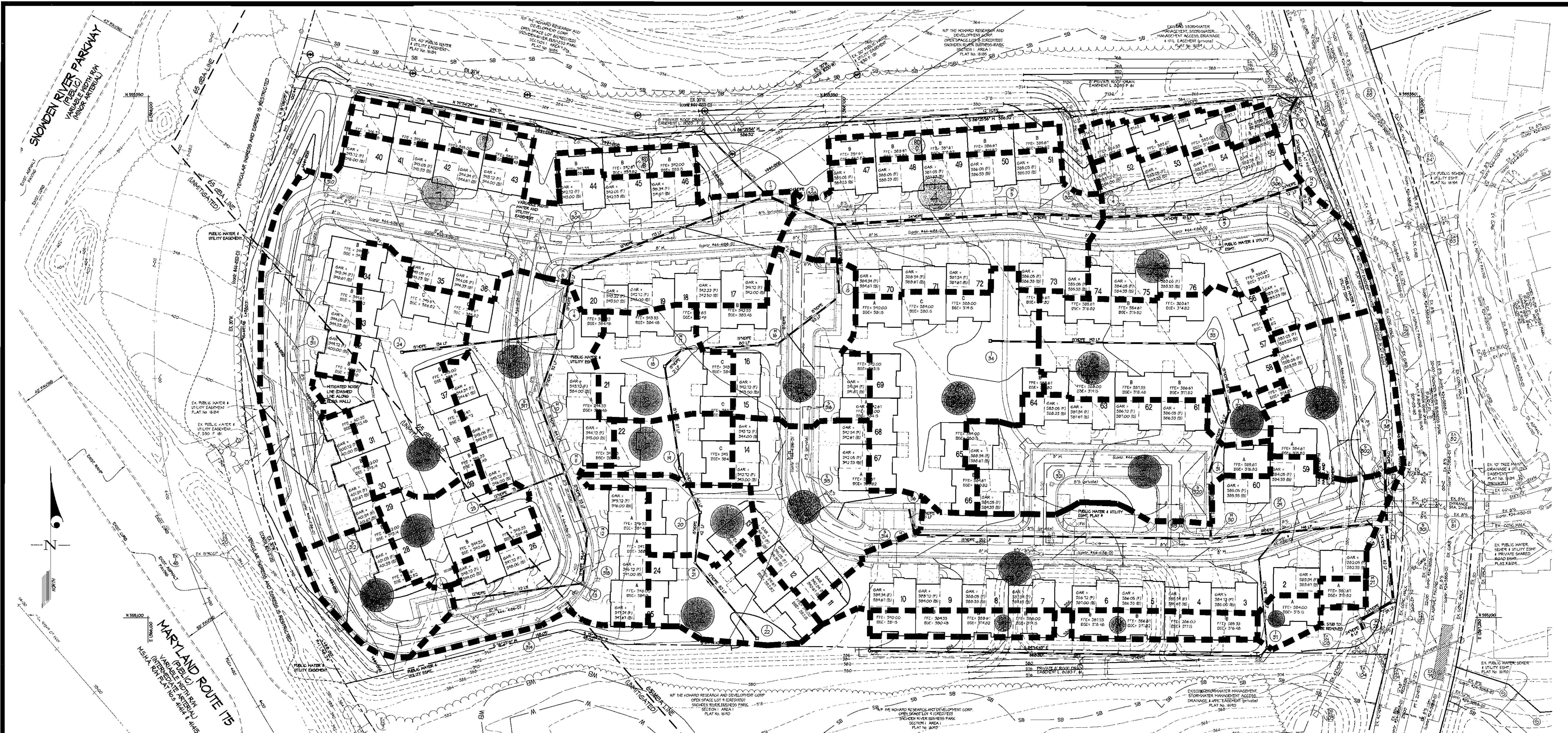
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DATE	REVISION	BY	APP'R.

OWNER & PREPARED FOR:
 PATRIOT HOMES
 10211 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: RICK KUNKLE
 PH: (410) 997-5522

STORM DRAIN PROFILES
SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1
 PARCEL 'B-1'
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	8 OF 16



DRAINAGE AREAS - PARCEL B-1

AREA	D.A. (ACRES)	% IMP.	C'
I-7	1.44	85%	0.90
I-4	0.63		
I-23	0.65		
I-9	0.86		
I-18	0.20		
I-19	0.12		
I-20	0.15		
I-22	0.21		
I-14	0.20		
I-33	0.40		
I-32	0.06		
I-34	0.54		
I-15	0.37		
I-24	0.42		
I-25	0.19		
I-38	0.31		
I-28	0.94		
I-36	0.38		
I-31	0.48		
I-37	0.07		
RD-A	0.10		
RD-B	0.06		
RD-C	0.10		
RD-D	0.11		
RD-E	0.08		
RD-F	0.04		

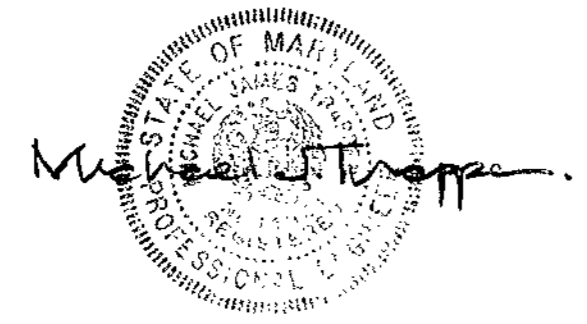
DRAINAGE AREA DRAINING TO
EX. S-104 = 3.30 ACRES

DRAINAGE AREA DRAINING TO
EX. S-103 = 5.81 ACRES

THIS SPLIT IN AREA IS
PROPORTIONAL WITH THE
ORIGINAL DRAINAGE AREAS
COMPUTED AND DESIGNED TO
UNDER F-01-142

TOTAL AREA ENTERING
SYSTEM = 9.11 ACRES

NOTE: THIS SITE HAS BEEN MASS GRADED AND ALL SOILS
ARE ASSUMED TO BE SCS HYDROLOGIC GROUP 'C' SOILS.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark D. Leylett 10/15/04
Director Date

Andy Harris 10/15/04
Chief, Division of Land Development Date

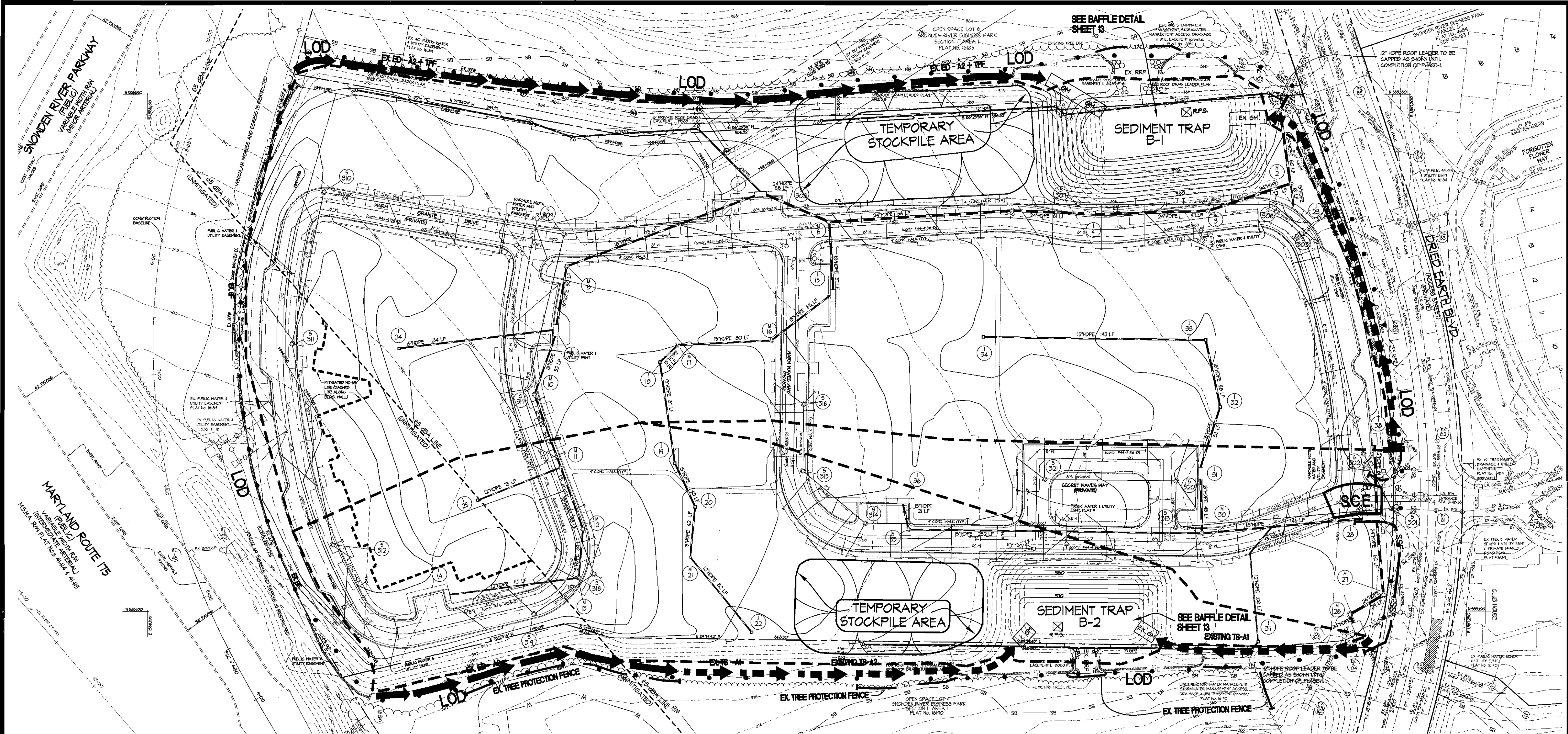
Mike M... .. 10/13/04
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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TEL: 301-421-4024 FAX: 301-421-4186

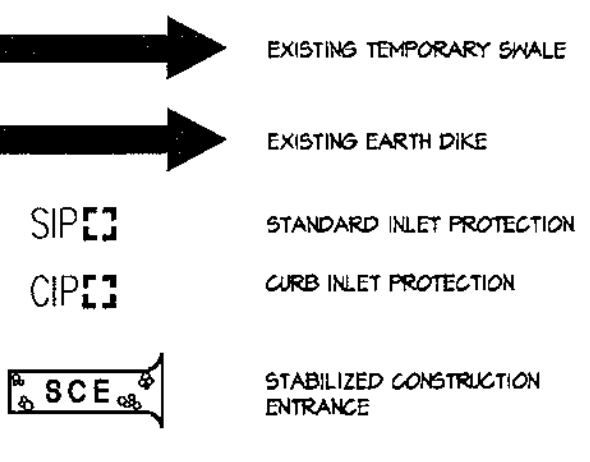
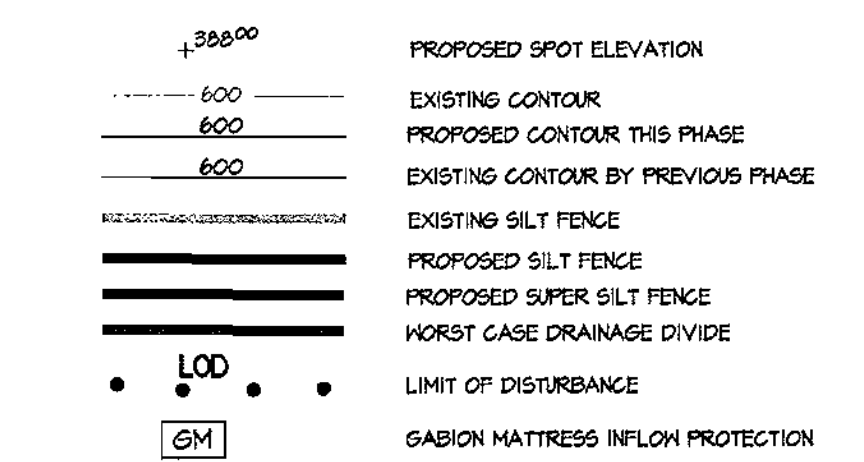
OWNER & PREPARED FOR:
PATRIOT HOMES
10211 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
ATTN: RICK KUNKLE
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STORM DRAIN DRAINAGE AREA MAP
SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1
PARCEL 'B'-1

SCALE	ZONING	G. L. W. FILE NO.
1" = 40'	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	9 OF 16



THE ABOVE GRADING REPRESENTS FINISHED GRADE AND DOES NOT ACCOUNT FOR FOUNDATION EXCAVATION.



THIS PLAN IS FOR SEDIMENT & EROSION CONTROL PURPOSES ONLY!

PHASE-1 SEQUENCE OF CONSTRUCTION
(ROUGH GRADING, ROAD AND UTILITY INSTALLATION)

- CHECK AND VERIFY THE MASS GRADED CONDITION (DAY)
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE (SCE) TO THE SIZE SHOWN FOR PHASE-2 (1-2 DAYS)
- INSPECT CONDITION OF EXISTING CONTROLS (INCLUDING TREE PROTECTION FENCE) AND IMPROVE REPAIR AS NECESSARY AND/OR AS REQUIRED BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR (2-3 DAYS)
- MODIFY THE GRADINGS FOR TRAPS B1 AND B2 TO ACCOMMODATE THE PROPOSED GRADING. RE-ALIGN AND INSPECT THE EXISTING GABION MATRESS INFLOW PROTECTION. INSTALL THE NEW Baffle Configuration. INSPECT AND REPAIR IF NECESSARY ALL COMPONENTS OF THE EXISTING/MODIFIED TRAP. (4-5 DAYS)
- OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR (SCI) TO BEGIN THE GRADING OPERATION AND UTILITY INSTALLATION OF PHASE-1.
- INSTALL UTILITIES, ROAD, CURB AND GUTTER AND BRING SITE TO THE GRADED CONDITION SHOWN ON THE PHASE-1 PLAN. ALL INLETS ARE TO BE PROTECTED BY CURB OR STANDARD INLET PROTECTION WHERE APPLICABLE. THE INSTALLATION OF ROOF LEADERS IN THE VICINITY OF BUILDINGS 41-55 2-10 IS TO BE DELAYED UNTIL THE SEDIMENT TRAPS HAVE BEEN BACKFILLED PHASE-2. (21-28 DAYS)
- ENCLOSE ALL PADS SHOWN ON THE PHASE-2 PLAN WITH SILT FENCE. STABILIZE AREAS OUTSIDE OF THE PADS WITH SEEDING/MULCH. (2-3 DAYS)
- OBTAIN PERMISSION FROM THE SCI TO BACKFILL TRAPS B1 AND B2 AND PROCEED TO PHASE-2. SEQUENCE THE BACKFILLING OPERATION DURING A FIVE (5) CONSECUTIVE DAYS OF CLEAR WEATHER BY 10%.

SEDIMENT TRAP B-1 DATA	SEDIMENT TRAP B-2 DATA
TYPE: RIR-RAP OUTLET - ST IV	TYPE: RIR-RAP OUTLET - ST IV
EX DRAINAGE AREA - 6.80 AC	EX DRAINAGE AREA - 2.81 AC
PROP. DRAINAGE AREA - 6.80 AC	PROP. DRAINAGE AREA - 2.81 AC
NET STORAGE VOL. REQUIRED - 0.28 AC-FT	NET STORAGE VOL. REQUIRED - 0.12 AC-FT
NET STORAGE VOL. PROVIDED - 0.55 AC-FT	NET STORAGE VOL. PROVIDED - 0.25 AC-FT
NET STORAGE ELEV. - 34.24	NET STORAGE ELEV. - 31.08
DRY STORAGE REQUIRED - 0.28 AC-FT	DRY STORAGE REQUIRED - 0.12 AC-FT
DRY STORAGE PROVIDED - 0.34 AC-FT	DRY STORAGE PROVIDED - 0.12 AC-FT
DRY STORAGE HEEL - 366.00	DRY STORAGE HEEL - 372.00
TEMP. SHM-PROVIDED - 0-21Rex + 2.65 cfs	TEMP. SHM-PROVIDED - 0-21Rex + 1.28 cfs
0-21Rex + 2.61 cfs	0-21Rex + 0.40 cfs
2-1R HEEL + 391.00	2-1R HEEL + 378.00
TOP OF EBANKMENT - 361.00	TOP OF EBANKMENT - 368.00
HEIR GREST ELEVATION - 366.00	HEIR GREST ELEVATION - 372.00
HEIR LENGTH - 304 FT	HEIR LENGTH - 184 FT
EMERGENCY SPILLWAY ELEV. - NONE	EMERGENCY SPILLWAY ELEV. - NONE
CLEANOUT ELEVATION - 362.50	CLEANOUT ELEVATION - 370.00
SIDE SLOPES - 2:1	SIDE SLOPES - 2:1
OUTFALL CONDITIONS - RIR-RAP OUTLET	OUTFALL CONDITIONS - RIR-RAP OUTLET
EXISTING SEDIMENT TRAP MODIFIED TO ACCOMMODATE THE PROPOSED GRADING.	EXISTING SEDIMENT TRAP MODIFIED TO ACCOMMODATE THE PROPOSED GRADING.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Myers 10-7-04
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Robinson 10-7-04
HOWARD S.C.D. DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Michael J. Trapp 9-23-04
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Michael J. Trapp 10/2/04
DATE

06/09/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frank DeWyle 10/15/04
Director Date

Indy Hamer 10/15/04
Chief, Division of Land Development Date

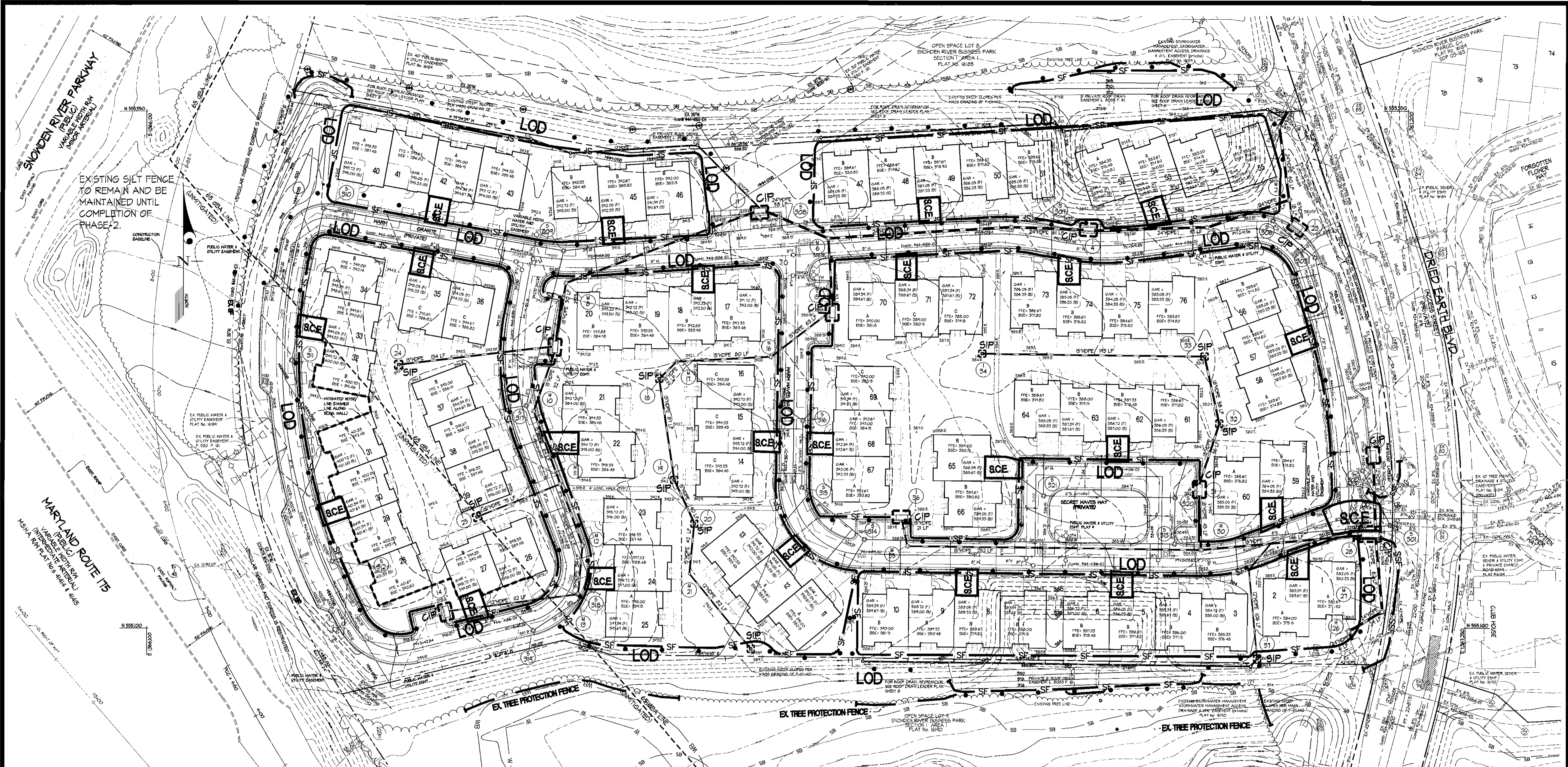
John C. Williams 10/15/04
Chief, Development Engineering Division MK Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20996
TEL: 301-421-4024 BALT. 410-860-1800 DC/VA. 301-389-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

OWNER & PREPARED FOR:
PATRIOT HOMES
10211 WINDCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
ATTN: RICK KUNKLE
PH: (410) 997-5522

SEDIMENT & EROSION CONTROL PLAN - PHASE I			
SNOWDEN RIVER BUSINESS PARK			
SECTION 1 AREA 1			
PARCEL 'B-1'			
SCALE	ZONING	G. L. W. FILE No.	
1" = 40'	NT	02143	
DATE	TAX MAP - GRID	SHEET	
Sept, 2004	37 - 19	10 OF 16	
HOWARD COUNTY, MARYLAND		ELECTION DISTRICT No. 6	



EXISTING SILT FENCE TO REMAIN AND BE MAINTAINED UNTIL COMPLETION OF PHASE 2.

- PHASE-2 SEQUENCE OF CONSTRUCTION**
(FINISH GRADING AND HOUSE CONSTRUCTION)
- INSTALL SILT FENCE AND INLET PROTECTION CONTROLS. INSTALL STABILIZED CONSTRUCTION ENTRANCES TO EACH PAD. OBTAIN PERMISSION FROM THE SGI TO INITIATE FOUNDATION EXCAVATION AND BUILDING CONSTRUCTION (6 MONTHS)
 - INSTALL REMAINING ROOF LEADERS IN THE VICINITY OF BUILDINGS 41-55 AND 2-10 (2 DAYS)
 - AS EACH BUILDING IS COMPLETED, STABILIZE THE AREA SURROUNDING THE BUILDING THAT IS NOT OTHERWISE PAVED (SIDEWALKS + DRIVEWAYS) WITH LANDSCAPE PLANTING AND PERMANENT SEEDING (PLUS MATTING ON ALL HILL SIDES) OR SOD (1-2 DAYS)
 - OBTAIN PERMISSION FROM THE SGI TO REMOVE ANY REMAINING SEDIMENT CONTROL ITEMS THAT ARE NO LONGER NEEDED. FLUSH STORM DRAIN OF ALL ACCUMULATED SEDIMENT AND DEBRIS WHILE SIMULTANEOUSLY PUMPING DOWNSTREAM STRUCTURES CLEAN (1-2 DAYS)
 - INSTALL TOP PAVING COURSE (1-2 DAYS)

NOTE: FOR LEGEND SEE SHEET 10

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *John R. Roberts* 10-7-04
 HSCD S.D. DATE

APPROVED: *Michael J. Trapp* 9/21/04
 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark M. Galt 1/15/04
 Director Date

Andy Harvath 10/15/04
 Chief, Division of Land Development Date

Michael J. Trapp 10/13/04
 Chief, Development Engineering Division MK Date

06/09/04

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-861-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

OWNER & PREPARED FOR:
 PATRIOT HOMES
 10211 WINGSPAN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: RICK KUNKLE
 PH: (410) 997-5522

SEDIMENT CONTROL PLAN - PHASE II
SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1
 PARCEL 'B-B'

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	11 OF 16

Drawings\02143\PARCEL_B\SDP's\SNE.dwg DES. B.JM DRN. B.JM CHK. M.JT DATE REVISION BY APPR.

HOWARD COUNTY, MARYLAND ELECTION DISTRICT No. 6 SEP-04-09 SDP-04-69

DETAIL 2 - TEMPORARY SWALE

CROSS SECTION

PLAN VIEW

CONSTRUCTION SPECIFICATIONS

- All temporary swales shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly into an undisturbed stabilized area at a non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the swale.
- The swale shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
- Fill, if necessary, shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the swale.
- Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-2/B-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 20A - REMOVABLE PUMPING STATION

ELEVATION (CUT AWAY)

CONSTRUCTION SPECIFICATIONS

- The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent backfill material from entering the perforations.
- After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
- The inside stand pipe (center pipe) should be constructed by perforating a corrugated or PVC pipe between 12" and 36" in diameter. The perforations shall be 1/2" x 6" with 1/2" diameter holes 6" on center. The center pipe shall be wrapped with 1/2" hardware cloth, then wrapped again with Geotextile Class C.
- The center pipe should extend 12" to 18" above the anticipated water surface elevation or riser crest elevation when dewatering a basin.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE B-15-C MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 1 - EARTH DIKE

CROSS SECTION

PLAN VIEW

CONSTRUCTION SPECIFICATIONS

- All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.
- All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
- The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
- Fill shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-1-E MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 6 - GABION INFLOW PROTECTION

PERSPECTIVE VIEW

PROFILE ALONG CENTERLINE

CONSTRUCTION SPECIFICATIONS

- Gabion inflow protection shall be constructed of 9' x 3' x 9' gabion baskets forming a trapezoidal cross section 1' deep, with 2:1 side slopes, and a 3' bottom width.
- Geotextile Class C shall be installed under all gabion baskets.
- The stone used to fill the gabion baskets shall be 4" - 7".
- Gabions shall be installed in accordance with manufacturers recommendations.
- Gabion Inflow Protection shall be used where concentrated flow is present on slopes steeper than 4:1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE B-7-G MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 10A - STONE / RIP-RAP OUTLET SEDIMENT TRAP-ST IV

PERSPECTIVE VIEW

SECTION A-A

CONSTRUCTION SPECIFICATIONS

- Excavate for required wet storage.
- Geotextile Class C shall be installed under all gabion baskets.
- The stone used to fill the gabion baskets shall be 4" - 7".
- Gabions shall be installed in accordance with manufacturers recommendations.
- Gabion Inflow Protection shall be used where concentrated flow is present on slopes steeper than 4:1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-9-I6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

BLAZE ORANGE PLASTIC MESH SAFETY FENCE

CONSTRUCTION SPECIFICATIONS

- Boundaries of retention area should be staked and flagged prior to installing device.
- Root damage should be avoided.
- Device should be maintained throughout construction.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-9-I6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

PLAN VIEW

PROFILE

CONSTRUCTION SPECIFICATION

- Length - minimum of 50' (30' for single resistance lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. *The pipe approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 3:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23A - STANDARD INLET PROTECTION

ELEVATION

CONSTRUCTION SPECIFICATIONS

- Excavate completely around the inlet to a depth of 18" below the notch elevation.
- Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 8" below adjacent roadways where flooding and safety issues may arise.
- Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
- Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
- Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
- If the inlet is not in a sump, construct a compacted earth dike around the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
- The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23C - CURB INLET PROTECTION (COG OR COS INLETS)

ELEVATION

CONSTRUCTION SPECIFICATIONS

- Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
- Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
- Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
- Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
- The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
- Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
- This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
- Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-BB MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE

ELEVATION

CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Detalle for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and tided.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
 - Tensile Strength: 50 lbs/ft (min.) Test: MSMT 509
 - Tensile Modulus: 20 lbs/ft (min.) Test: MSMT 509
 - Flow Rate: 0.3 gal/ft /minute (max.) Test: MSMT 322
 - Filtration Efficiency: 75% (min.) Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-18-A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 18 - SEDIMENT BASIN BAFFLES

PLAN VIEWS

ELEVATION

BAFFLE DETAIL

CONSTRUCTION SPECIFICATIONS

- Posts minimum 1 1/4" square or 2" round set at least 3" into the ground.
- Shets of 4' x 8' x 1/2" exterior grade plywood or equivalent.
- 8' center to center.
- 6" min.
- Riser crest elevation.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-10-28 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

06/09/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark McGehee 12/15/04
Director

Andy Hamada 10/15/04
Chief, Division of Land Development

John R. Robinson 10/15/04
Chief, Development Engineering Division

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Murray 10-7-04
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robinson 10-7-04
HOWARD S.C.D. DATE

DEVELOPERS/BUILDERS CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Michael J. Trapp 9-23-04
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND MEASURABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Michael J. Trapp 9/27/04
DATE

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

OWNER & PREPARED FOR:	PATRIOT HOMES 10211 WINCOPIN CIRCLE, SUITE 300 COLUMBIA, MARYLAND 21044 ATTN: RICK KUNKLE PH: (410) 997-5522
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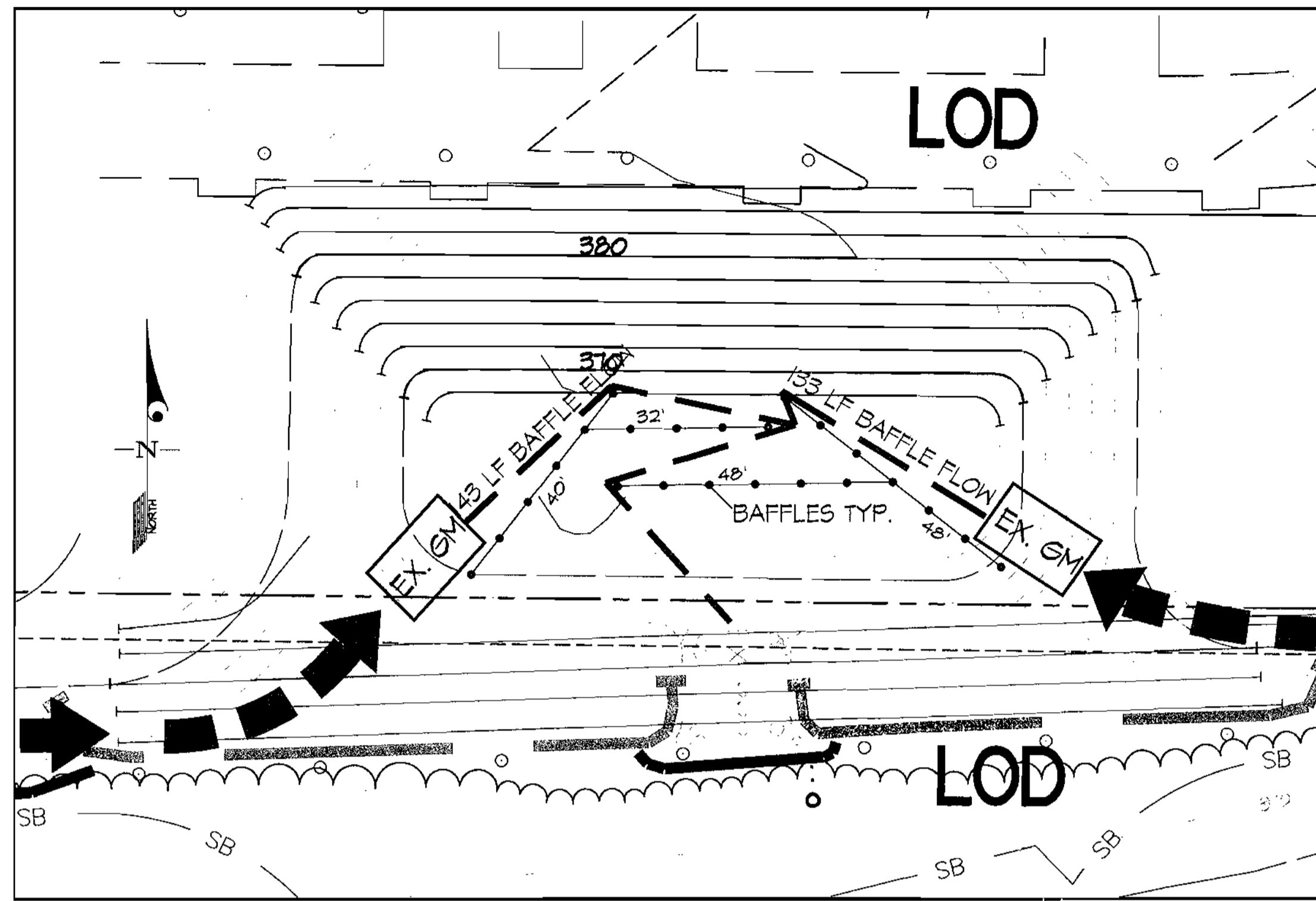
SEDIMENT CONTROL DETAILS		
SNOWDEN RIVER BUSINESS PARK		
SECTION 1 AREA 1 PARCEL 'B'		
SCALE	ZONING	G. L. W. FILE No.
AS-SHOWN	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	12 OF 16

ELECTION DISTRICT No. 6

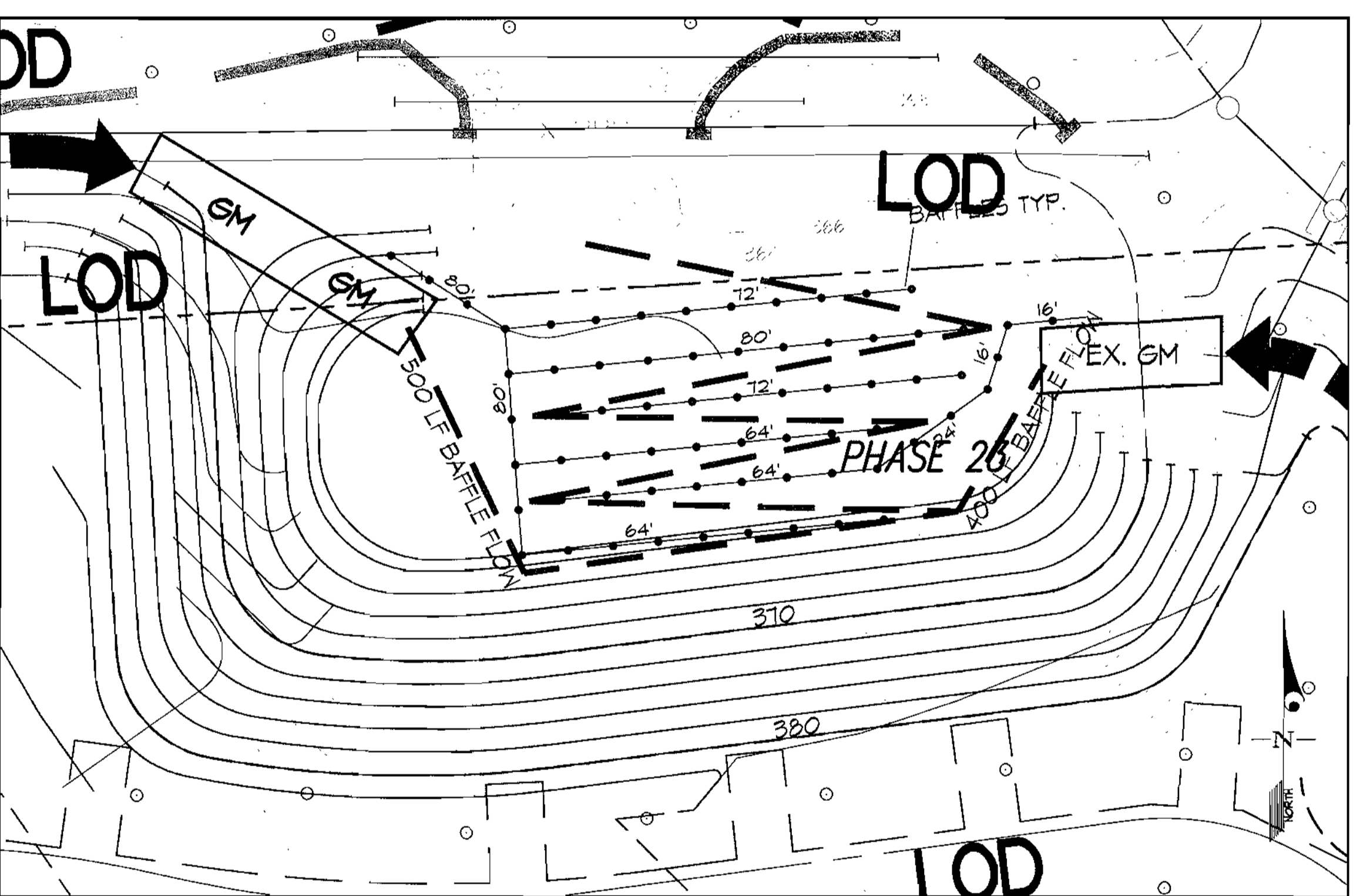
HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
DEPARTMENT OF THE ENVIRONMENT
NATURAL RESOURCES CONSERVATION SERVICE

Michael J. Trapp



SEDIMENT TRAP B-2 BAFFLE DETAIL
SCALE 1" = 20'



SEDIMENT TRAP B-2 BAFFLE DETAIL
SCALE 1" = 20'

DUST CONTROL	
Definition	Controlling dust blowing and movement on construction sites and roads.
Purpose	To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.
Conditions Where Practice Applies	This practice is applicable to areas subject to dust blowing and movements where on and off-site damage is likely without treatment.
Temporary Methods	<ol style="list-style-type: none"> Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing. Vegetative Cover - See standards for temporary vegetative cover. Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Disk-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect. Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow. Barriers - Solid board fences, silt fences, burlap fences, straw bales, and similar materials can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents of winds of about 10 times their height are effective in controlling soil blowing. Calcium Chloride - Apply at rates that will keep surface moist. May need retreatment.
Permanent Methods	<ol style="list-style-type: none"> Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place. Topsoiling - Covering with less erosive soil materials. See standards for topsoiling. Stone - Cover surface with crushed stone or coarse gravel.

STANDARD AND SPECIFICATIONS FOR TOPSOIL	
DEFINITION	PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.
PURPOSE	TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.
CONDITIONS WHERE PRACTICE APPLIES	<ol style="list-style-type: none"> THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE WHERE: <ol style="list-style-type: none"> THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIED OF MOISTURE AND PLANT NUTRIENTS. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.
CONSTRUCTION AND MATERIAL SPECIFICATIONS	<ol style="list-style-type: none"> TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SSS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING: <ol style="list-style-type: none"> TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER. TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE IF 4-8 TONS/ACRE (2000-4000 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: <ol style="list-style-type: none"> PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES). FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: <ol style="list-style-type: none"> ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER & LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: <ol style="list-style-type: none"> PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1% PERCENT BY WEIGHT. TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED. NO SOD OR CEDAR SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR PEST CONTROL UNLESS SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DECOMPOSITION OF PHOTOTOXIC MATERIALS. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

SEDIMENT CONTROL NOTES	
1.	A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 313-1855
2.	ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERE TO.
3.	FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4.	ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. I, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5.	ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FOR PERMANENT SEEDINGS, SOD, TEMPORARY SEEDINGS AND MULCHING (SEE G), TEMPORARY STABILIZATION WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6.	ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

TOTAL AREA OF SITE	10.24 ACRES
AREA DISTURBED	9.61 ACRES
AREA TO BE ROOFED OR PAVED	7.8 ACRES
AREA TO BE VEGETATIVELY STABILIZED	1.81 ACRES
TOTAL CUT	22,000 CU. YDS.
TOTAL FILL	22,000 CU. YDS.
OFF-SITE WASTE/BORROW AREA LOCATION	NONE

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES

1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (82 LBS/1000 SQUARE FEET) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING.

2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (82 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING.

3) HARRON OR DISC INTO UPPER THREE INCHES OF SOIL.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (OS LBS/1000 SQ FT) OF KEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE OF HELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE HELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNROOTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 2 1/2 GALLONS PER ACRE (5 GALL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (5 GALL/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU OCTOBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (32 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF KEEPING LOVEGRASS (01 LBS/1000 SQ FT) FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF HELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING OR USE SOD.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNROOTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 2 1/2 GAL PER ACRE (5 GALL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FT OR HIGHER, USE 348 GAL PER ACRE (5 GALL/1000 SQ FT) FOR ANCHORING.

DEFINITIONS/BUILDERS CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HECO."

Signature: *David H. ...* 9-23-04
DATE

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT."

Signature: *Michael J. Tropp* 9/27/04
DATE

06/09/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Masha D. ...* 11/15/04
Date

Chief, Division of Land Development: *...* 1/15/04
Date

Chief, Development Engineering Division: *...* 10/13/04
Date

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Signature: *Jim Magnus* 10-7-04
DATE

NATURAL RESOURCES CONSERVATION SERVICE

Signature: *John R. ...* 10-7-04
DATE

HOWARD S.C.D.



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX 301-421-4186

DES. BLM	DRN. KIP	CHK. MJT	DATE	REVISION	BY	APP'R.

OWNER & PREPARED FOR:
PATRIOT HOMES
10211 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
ATTN: RICK KUNKLE
PH: (410) 997-5522

SEDIMENT CONTROL NOTES & DETAILS
SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1
PARCEL 'B-1'

ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

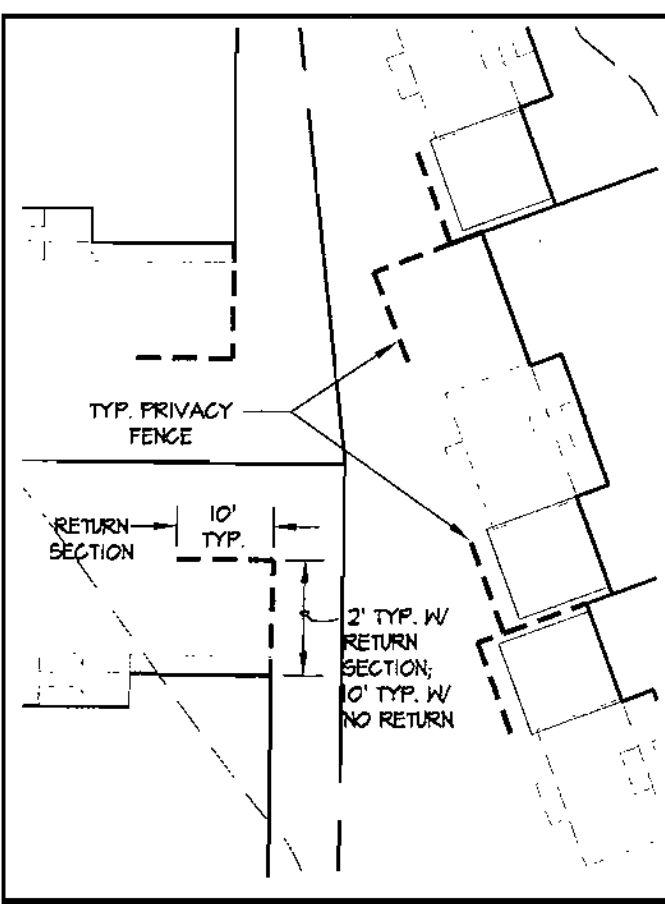
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	13 OF 16

PLANT LIST

SYMBOL	QTY	NAMES (BOTANICAL / SCIENTIFIC)	SIZE	ROOT/COMMENTS
SHADE TREES				
AA	65	ACER RUBRUM 'AUTUMN BLAZE' / AUTUMN RED MAPLE	2 1/2'-3' CAL	B4B
AR	21	ACER RUBRUM 'OCTOBER SUNSET' / OCTOBER SUNSET MAPLE	2 1/2'-3' CAL	B4B
FP	11	FRAXINUS PENNSYLVANICA 'SUMMIT' / GREEN ASH	2 1/2'-3' CAL	B4B
LS	4	LIQUIDAMBAR STRYACIFLUA / SWEET GUM	2 1/2'-3' CAL	B4B
QP	20	QUERCUS PALUSTRIS / PIN OAK	2 1/2'-3' CAL	B4B
QH	7	QUERCUS PHELLOS / HILLTOP OAK	2 1/2'-3' CAL	B4B
ZS	51	ZELCOVA SERRATA VILLAGE GREEN / VILLAGE GREEN ZELCOVA	2 1/2'-3' CAL	B4B
EVERGREEN TREES				
IF	25	ILEX ATTENUATA 'FOSTERII' / FOSTERS HOLLY	8-10' HT.	B4B, INTACT LEADER
IO	45	ILEX OPACA / AMERICAN HOLLY	8-10' HT.	B4B, INTACT LEADER
PO	19	PICEA OMORICA / SERBIAN SPRUCE	8-10' HT.	B4B, INTACT LEADER
PS	16	FINIS STROBUS / WHITE PINE	8-10' HT.	B4B, INTACT LEADER
ORNAMENTAL TREES				
BN	17	BETULA NIGRA 'DURAHEAT' / DURAHEAT RIVER BIRCH	2 - 2 1/2' CAL	B4B
CK	15	CORNUS KOUSA / KOUSA DOGWOOD	8-10' HT.	B4B
PC	4	PRUNUS CERASIFERA 'HANDERLCLAUD' / HANDELSPRICE	2 - 2 1/2' CAL	B4B
PI	14	PRUNUS x INCANA 'OKAME' / YOSHINO CHERRY	8-10' HT.	B4B
PT	14	PRUNUS YEDDENSI / YOSHINO CHERRY	2 - 2 1/2' CAL	B4B
SHRUBS				
BT	26	BERBERIS THUNBERGIANA 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERY	24-30" HT.	CONT.
IG	130	ILEX GLAUCOPHYLLA 'SHANROCK' / SHANROCK HICKBERRY	24-30" HT.	CONT.
TB	110	TAXUS x MEDIA 'HARDII' / HARD'S YEW	30-36" HT.	CONT.

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL.
 - CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO. 1 SHALL APPLY.
 - FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
 - PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
 - ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL AND CONFORM TO THE A.A. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
 - NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
 - ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 16).
 - THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
 - ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
 - DO NOT PLANT WITHIN THE PUBLIC WATER AND UTILITY EASEMENT.
 - TABULATION FOR LANDSCAPE SHOWN:
- REQUIRED PLANTING BY HRD FOR 10.30 ACRE RESIDENTIAL DEVELOPMENT AT 20 TREES/ACRE = 206 TREES (OR EQUIVALENT SUBSTITUTIONS)
- PLANTING PROVIDED:
- | | |
|------------------|----------------------------------|
| Shade Trees | 165 |
| Ornamental Trees | 134 = 645 E.S.T. 1 SHADE AT 2:1 |
| Evergreen Trees | 141 = 84.5 E.S.T. 1 SHADE AT 2:1 |
| Shrubs provided: | 266 = 27 E.S.T. 1 SHADE AT 10:1 |
- Total E.S.T. = 346
*E.S.T. or Equivalent Shade Tree
- THE OWNER, TENANT OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS, SEEDS AND FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, BE REPLACED WITH NEW MATERIALS TO INSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED AND REPLACED.
 - FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-913-2550.



PRIVACY FENCING
SEE SHEET 16 FOR DETAIL INFORMATION.



SEE ADDITIONAL LANDSCAPE NOTES AND LANDSCAPE EDGE ANALYSIS ON SHEET 16

06/09/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 11/15/04
 [Signature] 10/13/04
 Director Date
 Chief, Division of Land Development Date
 Chief, Development Engineering Division MK Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
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DES.	LMM	DRN.	LMM	CHK.	MJT	DATE	REVISION	BY	APPR.

OWNER & PREPARED FOR:
 PATRIOT HOMES
 10211 WINCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: RICK KUNKLE
 PH: (410) 997-5522

LANDSCAPE PLAN
SNOWDEN RIVER BUSINESS PARK
 SECTION I AREA I
 PARCEL 'B-B'

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	14 OF 16

SCHEDULE-A: PERIMETER LANDSCAPE EDGE						
PERIMETER No.	1	2	3	4	5	
USE SITUATION	INTERNAL PERIMETER	PKNG ADJ. RDWAY	SFA(side) ADJ. RDWAY	INTERNAL PERIMETER	PKNG ADJ. RDWAY	SFA(side) OF INTL LOTSADJ. TO RDWAY
LANDSCAPE TYPE	N/A	E	C	N/A	E	C
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER		518'	160'		441'	42'
CREDIT FOR EXISTING VEGETATION		NO	NO		NO	NO
CREDIT FOR WALL, FENCE OR BERM		NO	NO		NO	100'
NUMBER OF PLANTS REQUIRED						
SHADE TREES		13	4		11	3
EVERGREEN TREES		0	8		5	5
SHRUBS		130	0		0	0
NUMBER OF PLANTS PROVIDED						
SHADE TREES		5	4		14	17
EVERGREEN TREES		0	8		10	32
OTHER TREES (@ 2:1 substitution)		17	0		2 orn.	4 orn.
SHRUBS (10:1 substitution)		143	0		0	63
					* AS SUBST. FOR SHRUBS	

BUFFER TYPE	SHADE TREES/LF	EVG. TREES/LF	SHRUBS/LF
A	1:60	0	0
B	1:50	1:40	0
C	1:40	1:20	0
D	1:60	1:10	0
E	1:40	0	1:4

*TOTAL LENGTH OF PERIMETER 5 IS FROM THE SIDE LENGTH OF UNIT NUMBERS 11, 20, 26, 28, 34, 36, 56, 58, 60, 66, 67, 70.

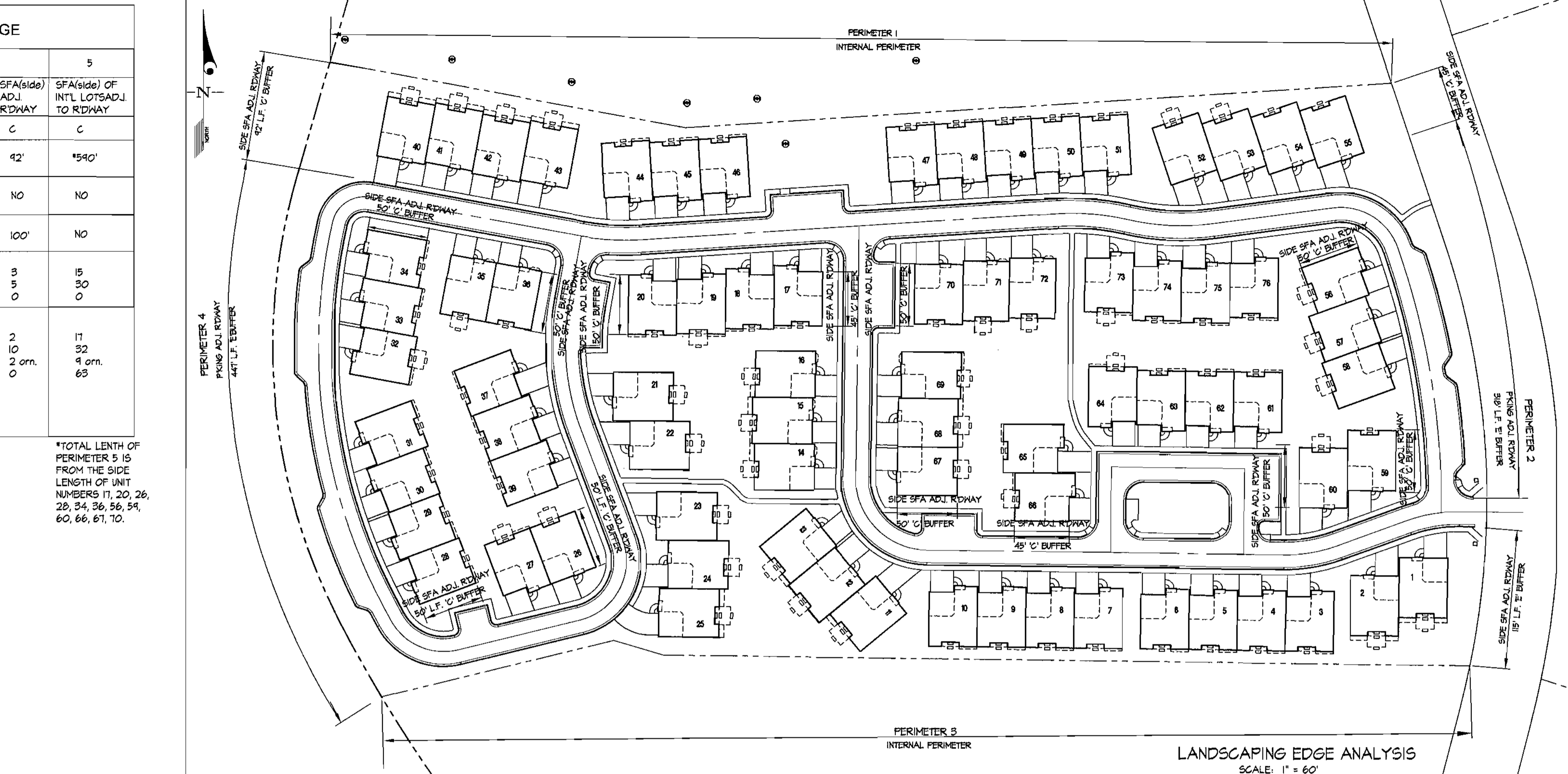
SCHEDULE-B: PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	46 COMMON SURFACE SPACES
NUMBER OF SHADE TREES REQUIRED (1 PER 10 RES. SPACES)	5
NUMBER OF TREES PROVIDED	
SHADE TREES	OVER 5 (6)
OTHER TREES (2:1 SUBSTITUTION)	0

NUMBER OF LANDSCAPED ISLANDS REQUIRED: 5 @ 1 PER 10 SPACES
 NUMBER OF LANDSCAPED ISLANDS PROVIDED: 6

SCHEDULE-C: RESIDENTIAL INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	76
NUMBER OF TREES REQUIRED (1 PER SFA DU, 1 PER 3 APTS DU)	76
NUMBER OF TREES PROVIDED	
SHADE TREES	OVER 76 (124)
OTHER TREES (2:1 SUBSTITUTION)	N/A

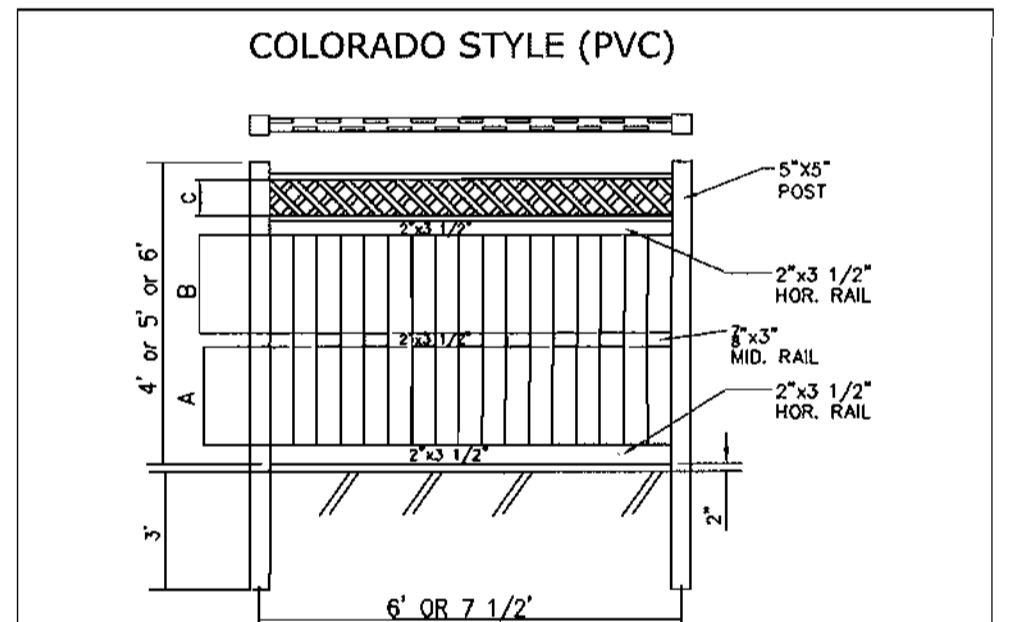
LANDSCAPE SURETY REQUIREMENT:
 SURETY REQUIRED FOR SCHEDULE 'A' SHRUB AT \$30/PLANT 242 = \$ 7,260.00
 SURETY REQUIRED FOR SCHEDULE 'A' SHADE TREES AT \$500/TREE X 46 = \$ 23,000.00
 SURETY REQUIRED FOR SCHEDULE 'A' EVGRN TREES AT \$100/TREE X 43 = \$ 4,300.00
 SURETY REQUIRED FOR SCHEDULE 'B' SHADE TREES AT \$300/TREE X 5 = \$ 1,500.00
 SURETY REQUIRED FOR SCHEDULE 'C' SHADE TREES AT \$300/TREE X 76 = \$ 22,800.00
TOTAL LANDSCAPE SURETY REQUIRED: \$ 35,860.00

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPM DEVELOPER'S AGREEMENTS IN THE AMOUNT OF \$51,010.00.



DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 NAME: *Andy Hunt* DATE: 9-23-04

- C. HOSE: SHALL BE NEW, 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" ID. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIFER.
- D. ALL TREES UNDER 3" IN CALIFER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED "TYPICAL TREE STAKING DETAIL".
- 5. PLANT PRUNING, EDGING AND MULCHING
 - A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.
 - B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS. THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.
 - C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 2" LAYER OF FINE, SHREDDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.



SECTION HEIGHT	A	B	C
4'	12"	12"	12"
5'	18"	18"	12"
6'	24"	24"	12"

HEIGHTS AVAILABLE: 4' / 5' / 6' HIGH
 PICKETS SIZE: 1" x 6" RIBBED
 HOR. TOP & BOT. RAILS: 2x3 1/2
 HOR. MIDDLE RAILS: 7/8" x 3"
 WIDTH AVAILABLE: 6' OR 7 1/2' WIDE
 POST SIZE: 5x5"
 ALUMINUM ANGLE FOR TOP BOTTOM & MIDDLE RAILS

BOUNDARY FENCE & RAILING SYSTEMS, INC.
 31-52 MARACA AVE., SILVER SPRING, MD 20910
 Tel: 1-800-628-8928 / 301-587-3400
 Fax: 301-587-3400
 E-mail: boundary.fence@comcast.net
 WWW.BOUNDARY-FENCES.COM

PRIVACY FENCE DETAIL NTS

PLANT MATERIALS AND PLANTING METHODS

1. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPLANT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES," LATEST EDITION.

PLANT STANDARDS
 ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HEREAFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HEEL-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
 2. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE ARC.

A. CALIFER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIFER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIFER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. CALIFER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIFER HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14"-16"	6"-8" 32" DIAMETER
3.5" - 4"	14"-16"	8"-10" 36" DIAMETER
4" - 4.5"	16"-18"	8"-10" 40" DIAMETER
4.5" - 5"	16"-17"	10"-12" 44" DIAMETER
5" - 5.5"	16"-20"	10"-12" 48" DIAMETER
5.5" - 6"	18"-20"	12"-14" 52" DIAMETER

D. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.
 3. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.
 4. PLANT INSPECTION

THE ARC MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.
 5. PLANTING METHODS

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

 1. PLANTING SEASONS

THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.
 2. STAKING, GUYING AND WRAPPING

ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

 - A. STAKES: SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 7'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.
 - B. WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIFER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIFER, PROVIDE 3/16", 1" STRAND CABLE CADMIUM PLATED STEEL, WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIFER.
 3. DIGGING

ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B&B) IN ACCORDANCE WITH THE "AAN STANDARDS".
 4. EXCAVATION OF PLANT PITS

THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

 - A. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES; DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL. DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.
 - B. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.
 - C. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIAMETER	DEPTH
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"
6. PLANT INSPECTION AND ACCEPTANCE

THE ARC SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
7. PLANT GUARANTEE

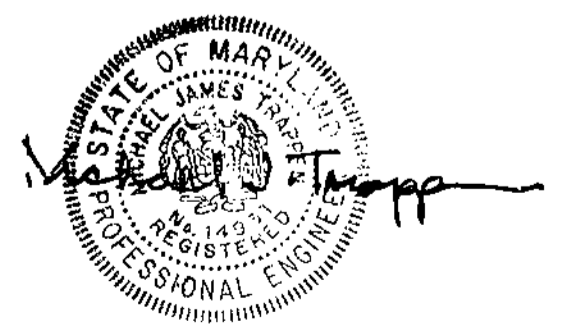
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

 - A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.
 - B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.

LANDSCAPING EDGE ANALYSIS SCALE: 1" = 60'

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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *David L. Goyette* Date: 10/15/04
 Chief, Division of Land Development: *Cindy Harms* Date: 10/15/04
 Chief, Development Engineering Division: *Mark* Date: 10/15/04

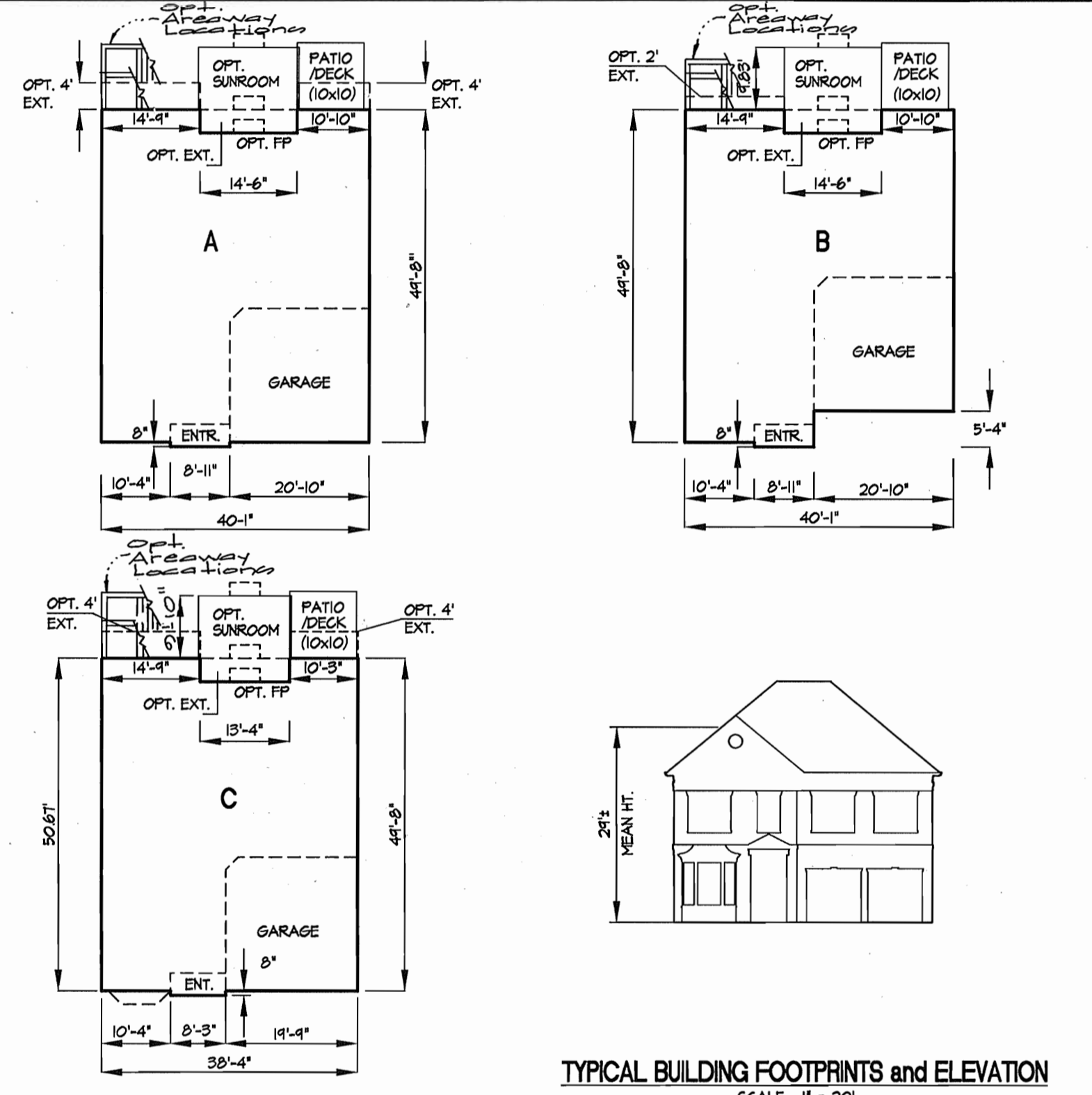
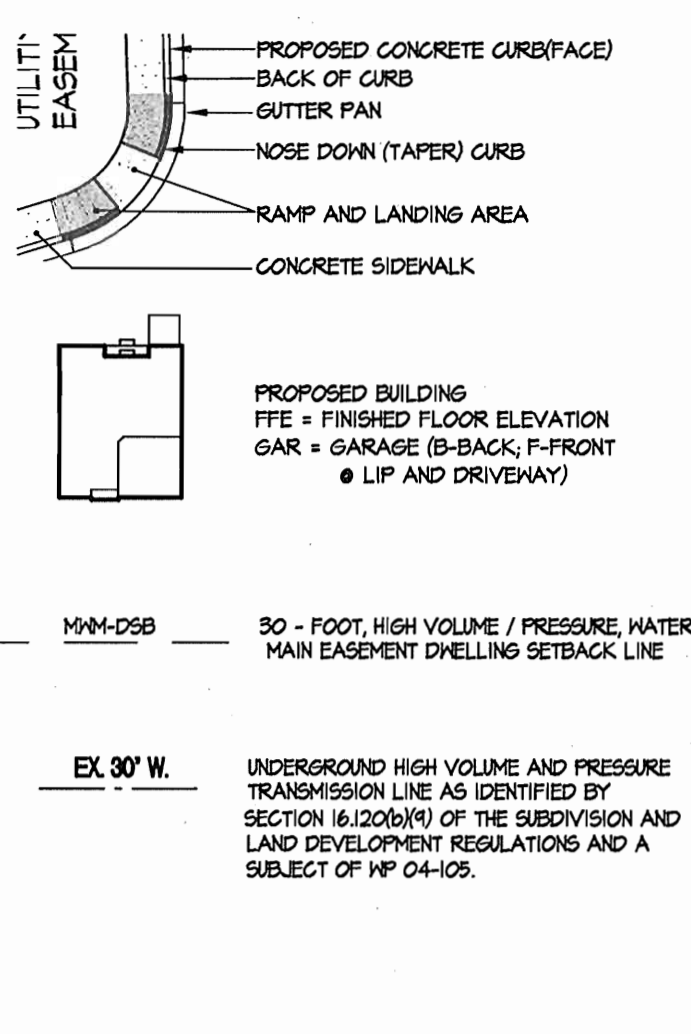


OWNER & PREPARED FOR:
 PATRIOT HOMES
 10211 WNCOPIN CIRCLE, SUITE 300
 COLUMBIA, MARYLAND 21044
 ATTN: RICK KUNKLE
 PH: (410) 997-5522

LANDSCAPE NOTES AND DETAILS
SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1
 PARCEL 'B'-1

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	16 OF 16

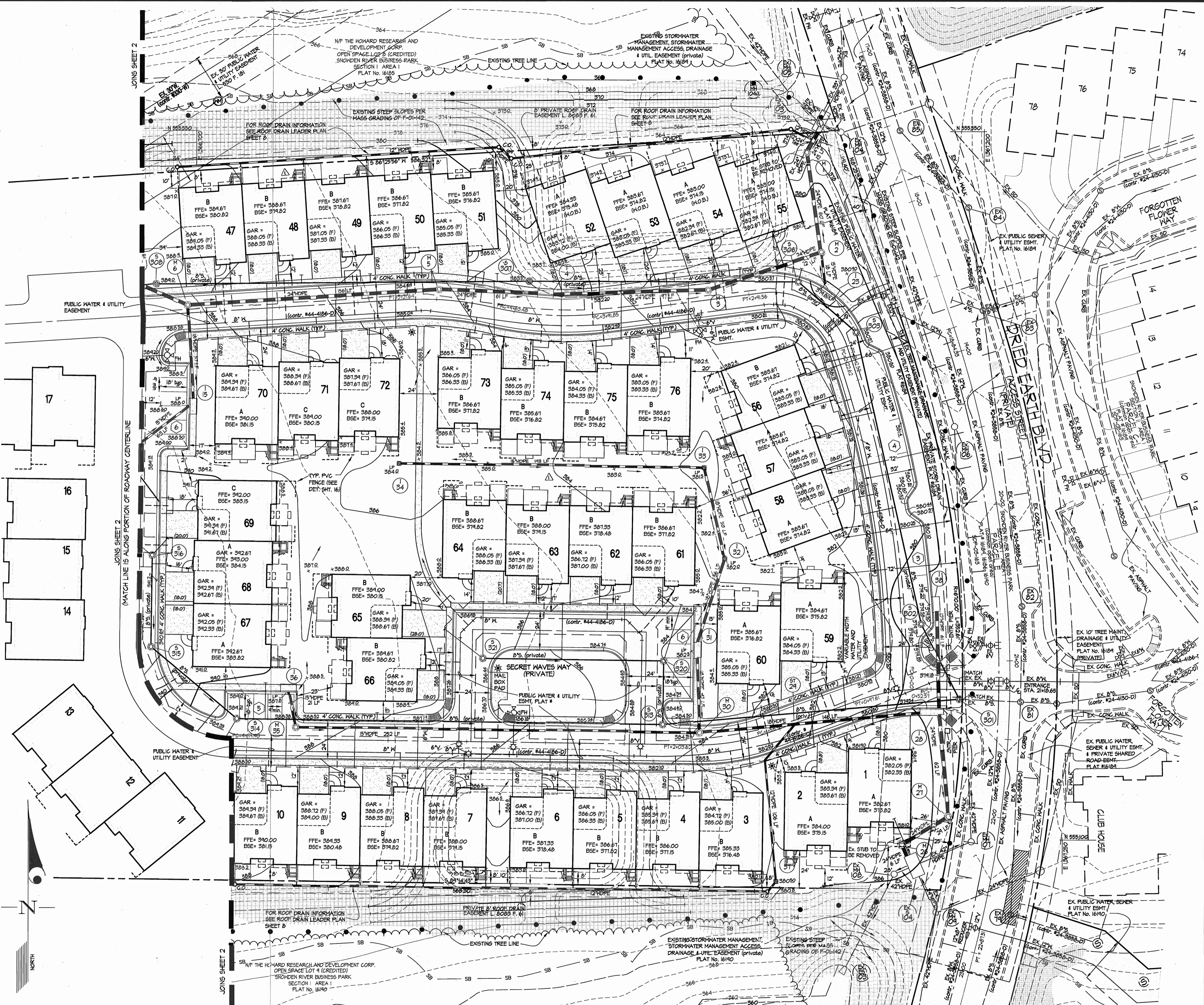
- SITE DEVELOPMENT PLAN LEGEND**
- 600 --- EXISTING CONTOUR (FROM MASS GRADING)
 - 600 --- PROPOSED CONTOUR
 - × 300.000 × 300.000 EXISTING SPOT ELEV.
 - × 300.000 × 300.000 PROPOSED SPOT ELEV. (1"=HIGH FT)
 - LIMIT OF GRADING DISTURBANCE
 - EXISTING UTILITY/LIGHT POLE
 - PROPOSED LIGHT POLE
 - 8" --- WATER HOUSE CONNECTION (1" H/C, DASHED LINE)
 - 8" --- WATER LINE (P.B.L.C.)
 - 8" --- FIRE HYDRANT
 - 8" --- PROPOSED SEWER MAIN (SOLID LINE)
 - 8" --- SEWER HOUSE CONNECTION (4" S/C, SOLID LINE)
 - EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN STRUCTURE (4" INLET LABEL)
 - STORM DRAIN PIPE
 - NUMBER OF PARKING SPACES
 - EXISTING CURB & GUTTER
 - SB --- LIMIT OF STREAM BUFFER
 - WB --- LIMIT OF WETLAND BUFFER
 - W --- LIMIT OF WETLANDS



- NOTES:**
- FOR EACH UNIT, OPTIONAL BUILDING FEATURES (SUCH AS SUNROOM, EXTENSIONS, ETC.) ARE ONLY AVAILABLE IF THEY ARE SHOWN ON THESE SITE DEVELOPMENT PLANS.
 - FOR CURB TYPE AND PAVING DELINEATION AND DRIVE WAY CENTER LINE INFORMATION SEE SHEET #5.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: 06/09/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: Frank A. Coughlin, Date: 10/22/04
Chief, Division of Land Development: Cindy Harvath, Date: 10/15/04
Chief, Development Engineering Division: [Signature], Date: 10/13/04



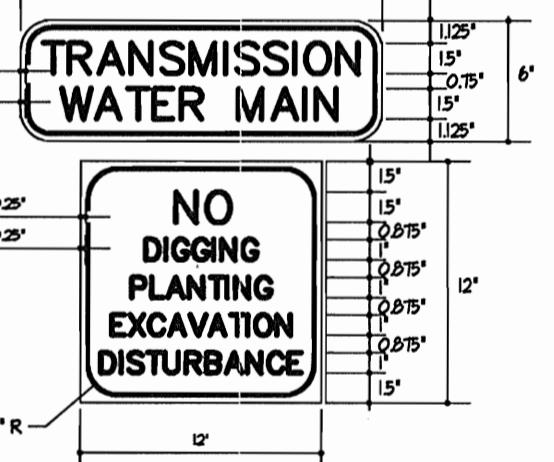
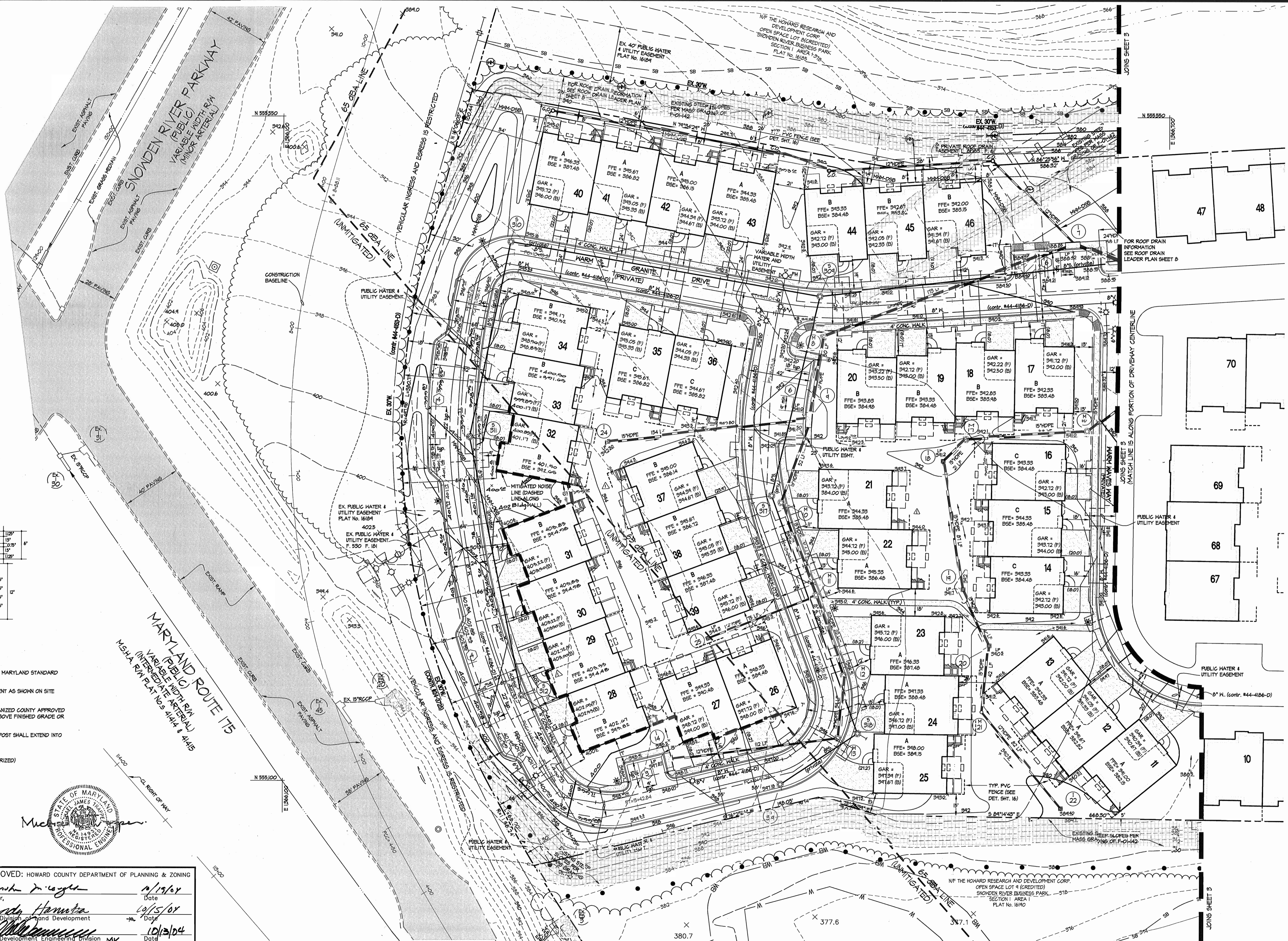
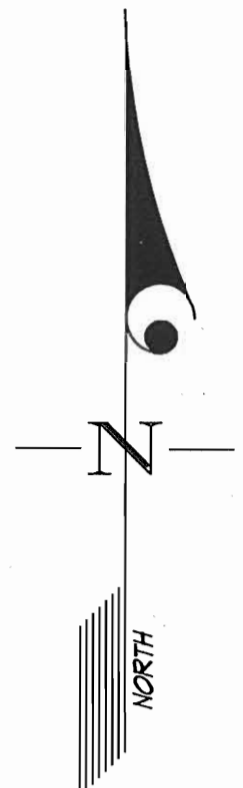
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PATRIOT HOMES
10211 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
ATtn: ROCK KUNKLE
PH: (410) 997-5522

SITE DEVELOPMENT PLAN
SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1
PARCEL 'B-1'

SCALE: 1" = 30'
ZONING: NT
G. L. W. FILE No.: 02143
DATE: Sept, 2004
TAX MAP - GRID: 37 - 19
SHEET: 3 OF 16

DES. B.J.M. DRN. K.P. CHK. M.J.T. DATE: 4-29-05 REVISION: [Table] BY: [Table] APPR: [Table]



- GENERAL NOTES:**
1. SIGNS SHALL MEET DESIGN STANDARDS OF THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET.
 2. ONE SIGN IS REQUIRED PER 100 FEET ALONG THE EASEMENT AS SHOWN ON SITE PLAN. SIGN LOCATIONS INDICATED THIS (100').
 3. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS IN THE TOP OF THE SIGN 9" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 4. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 5. COLORS: LEGEND AND BORDER - BLACK
BACKGROUND - WHITE (NON-REFLECTORIZED)



APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: 06/09/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frank J. ... 10/15/04
Director Date

Ardis Hamstra 10/15/04
Chief, Division of Land Development Date

William ... 10/13/04
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
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DATE	REVISION	BY	APP'R.
06/09/04	1. 2-20-05 Rev. notes, footprints for the additional opt. rear features regrading at Units 28-34	WJS	

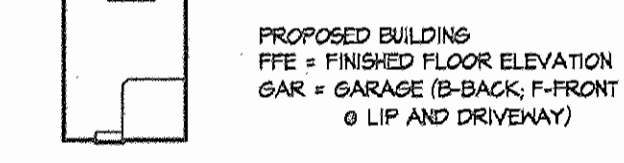
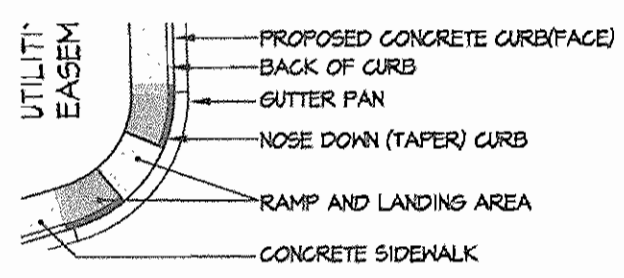
OWNER & PREPARED FOR:
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10211 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
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SITE DEVELOPMENT PLAN
SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1
PARCEL 'B-1'

ELECTION DISTRICT No. 6

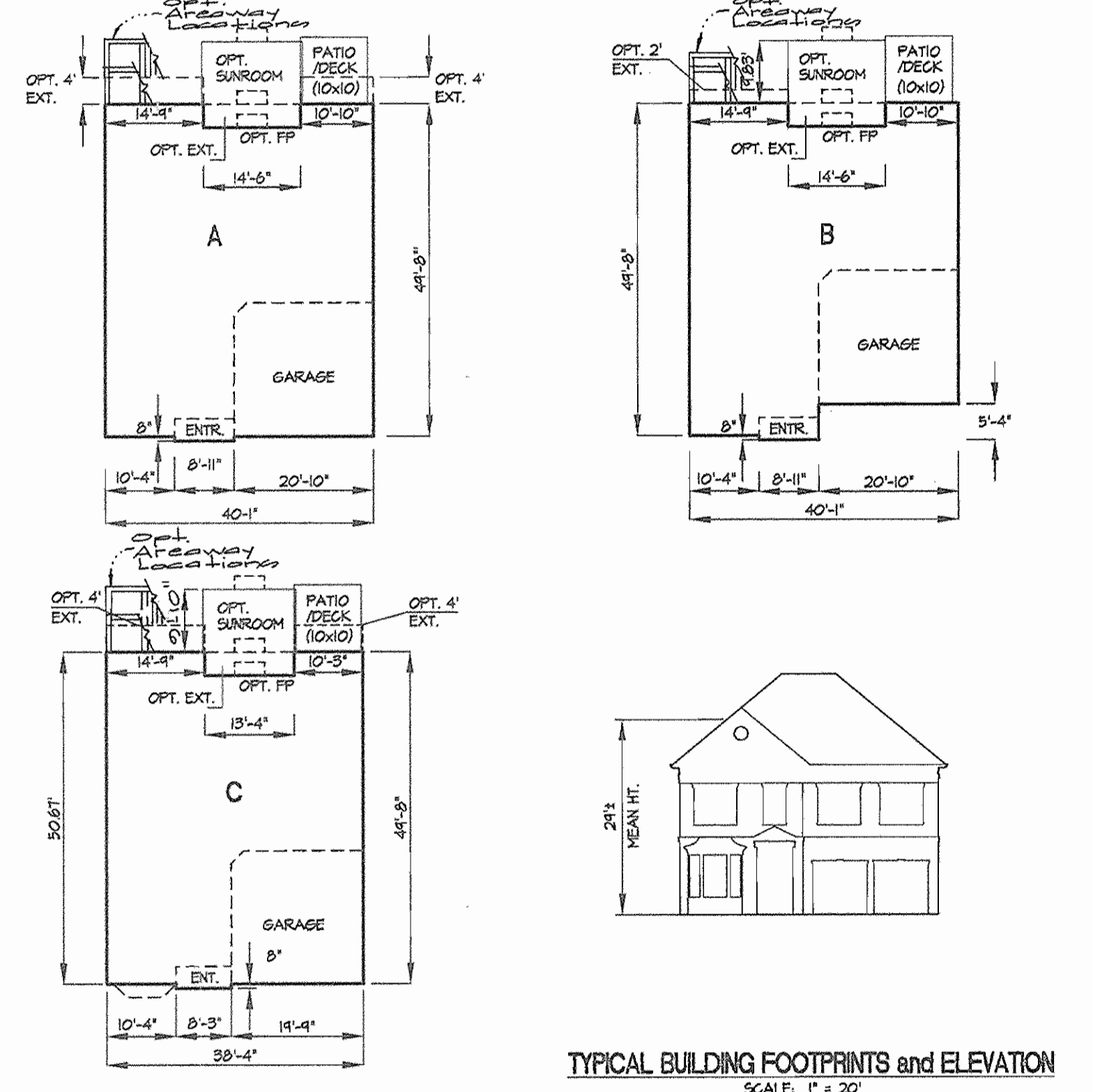
SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	2 OF 16

- SITE DEVELOPMENT PLAN LEGEND**
- 600 --- EXISTING CONTOUR (FROM MASS GRADING)
 - 600 --- PROPOSED CONTOUR
 - 386/25K --- EXISTING SPOT ELEV.
 - 386/25K --- PROPOSED SPOT ELEV. (H/HP/HIGH FT.)
 - 386/25K --- LIMIT OF GRADING DISTURBANCE
 - 386/25K --- EXISTING UTILITY/LIGHT POLE
 - 386/25K --- PROPOSED LIGHT POLE
 - 386/25K --- WATER HOUSE CONNECTION (1" PVC, DASHED LINE)
 - 386/25K --- WATER LINE (PUBLIC)
 - 386/25K --- FIRE HYDRANT
 - 386/25K --- PROPOSED SEWER MAIN (SOLID LINE)
 - 386/25K --- SEWER HOUSE CONNECTION (4" SNG, SOLID LINE)
 - 386/25K --- EXISTING STORM DRAIN
 - 386/25K --- PROPOSED STORM DRAIN STRUCTURE (4" INLET LABEL)
 - 386/25K --- STORM DRAIN PIPE
 - 386/25K --- NUMBER OF PARKING SPACES
 - 386/25K --- EXISTING CURB & GUTTER
 - 386/25K --- SB --- LIMIT OF STREAM BUFFER
 - 386/25K --- MB --- LIMIT OF WETLAND BUFFER
 - 386/25K --- W --- LIMIT OF WETLANDS



90'-0" W. 90-FOOT HIGH VOLUME / PRESSURE WATER MAIN EASEMENT DWELLING SETBACK LINE

EX. 90' W. UNDERGROUND HIGH VOLUME AND PRESSURE TRANSMISSION LINE AS IDENTIFIED BY SECTION 16.1006(4) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND A SUBJECT OF HP 04-05.



- NOTES:**
- FOR EACH UNIT, OPTIONAL BUILDING FEATURES (SUCH AS SUNROOM, EXTENSIONS, ETC.) ARE ONLY AVAILABLE IF THEY ARE SHOWN ON THESE SITE DEVELOPMENT PLANS.
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APPROVED PLANNING BOARD OF HOWARD COUNTY

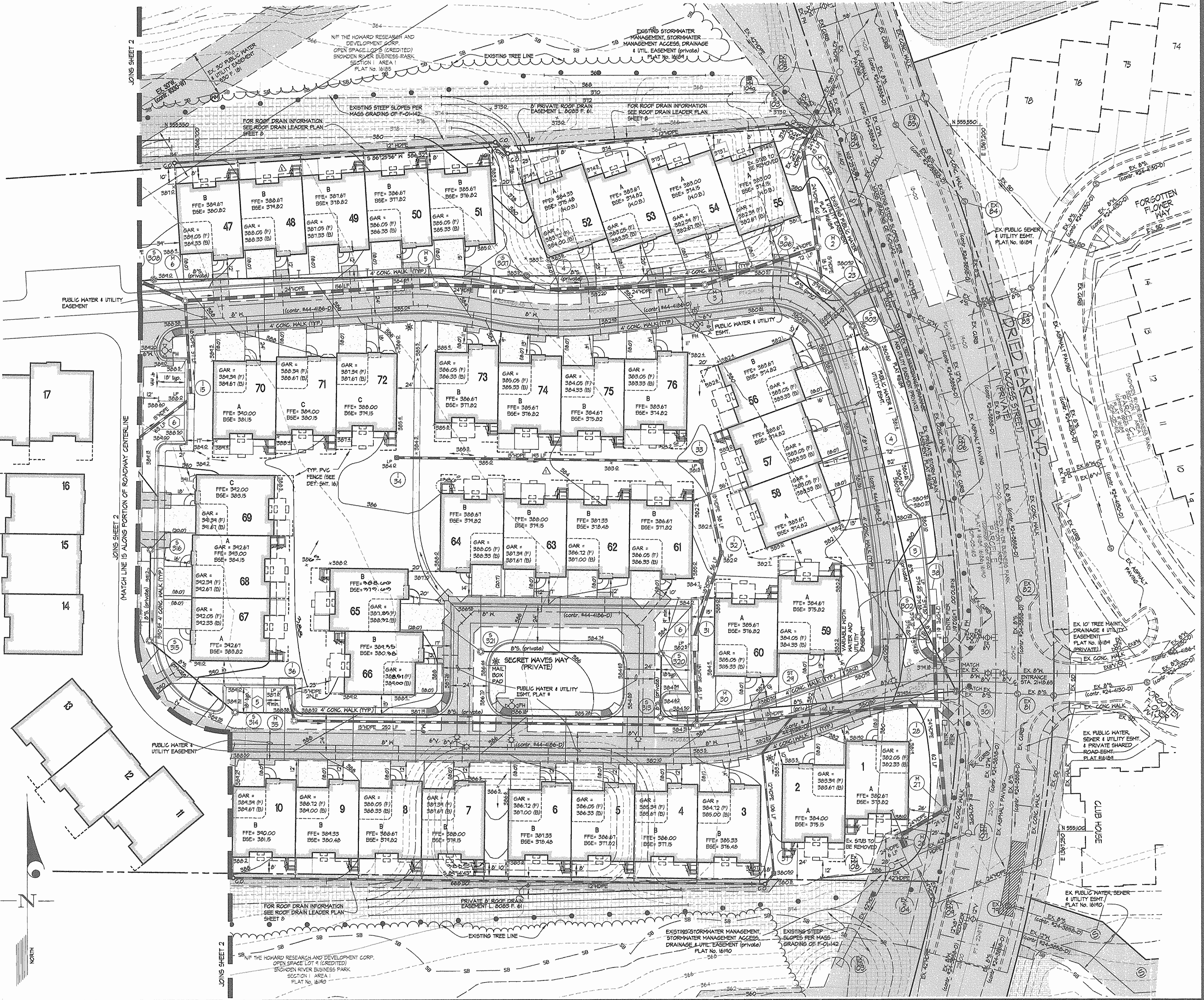
DATE: 06/03/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark W. Lytle, Director, 10/22/04

Cindy Hanna, Chief, Division of Land Development, 10/15/04

Michael Stapp, Chief, Development Engineering Division, 10/13/04



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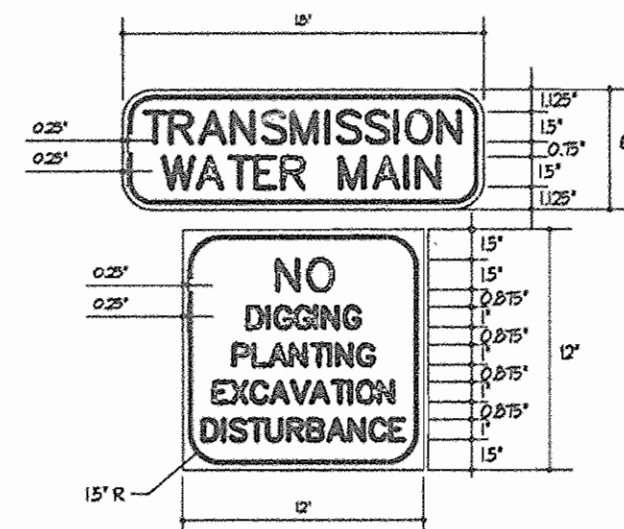
DATE	REVISION	BY	APP'R.
10-18-05	Rev. Elev. For Units 40/45 & 46/47 Between 40/45 & 47/46	WGL	WGL

OWNER & PREPARED FOR:
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10211 WINCOPIN CIRCLE, SUITE 300
COLUMBIA, MARYLAND 21044
ATTN: RICK KUNKLE
PH: (410) 997-5522

SITE DEVELOPMENT PLAN
SNOWDEN RIVER BUSINESS PARK
SECTION 1 AREA 1
PARCEL 'B-1'

ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	3 OF 16



- GENERAL NOTES:**
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APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 06/09/04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 01/15/04
 Chief, Division of Land Development: [Signature] Date: 10/15/04
 Chief, Development Engineering Division: [Signature] Date: 10/13/04

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REVISION	BY	APP'R
4/27/05	Rev. Use. footprints for the additional opt. rear features rev.	WBJ
7/15/04	Rev. grading behind units 40-48	

OWNER & PREPARED FOR:
 PATRIOT HOMES
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SITE DEVELOPMENT PLAN
SNOWDEN RIVER BUSINESS PARK
 SECTION 1 AREA 1
 PARCEL 'B-1'
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT	02143
DATE	TAX MAP - GRID	SHEET
Sept, 2004	37 - 19	2 OF 16