31 C451 Brosion & Sediment Control Details 11

33 HOl Flanting Plan

34 L-201 Site Details

35 1-301 Land scape Details

32 C-462 Erosion & Sediment Control Details 111

# SITE DEVELOPMENT PLAN FRANCISCAN FRIARS PARKING ADDITION

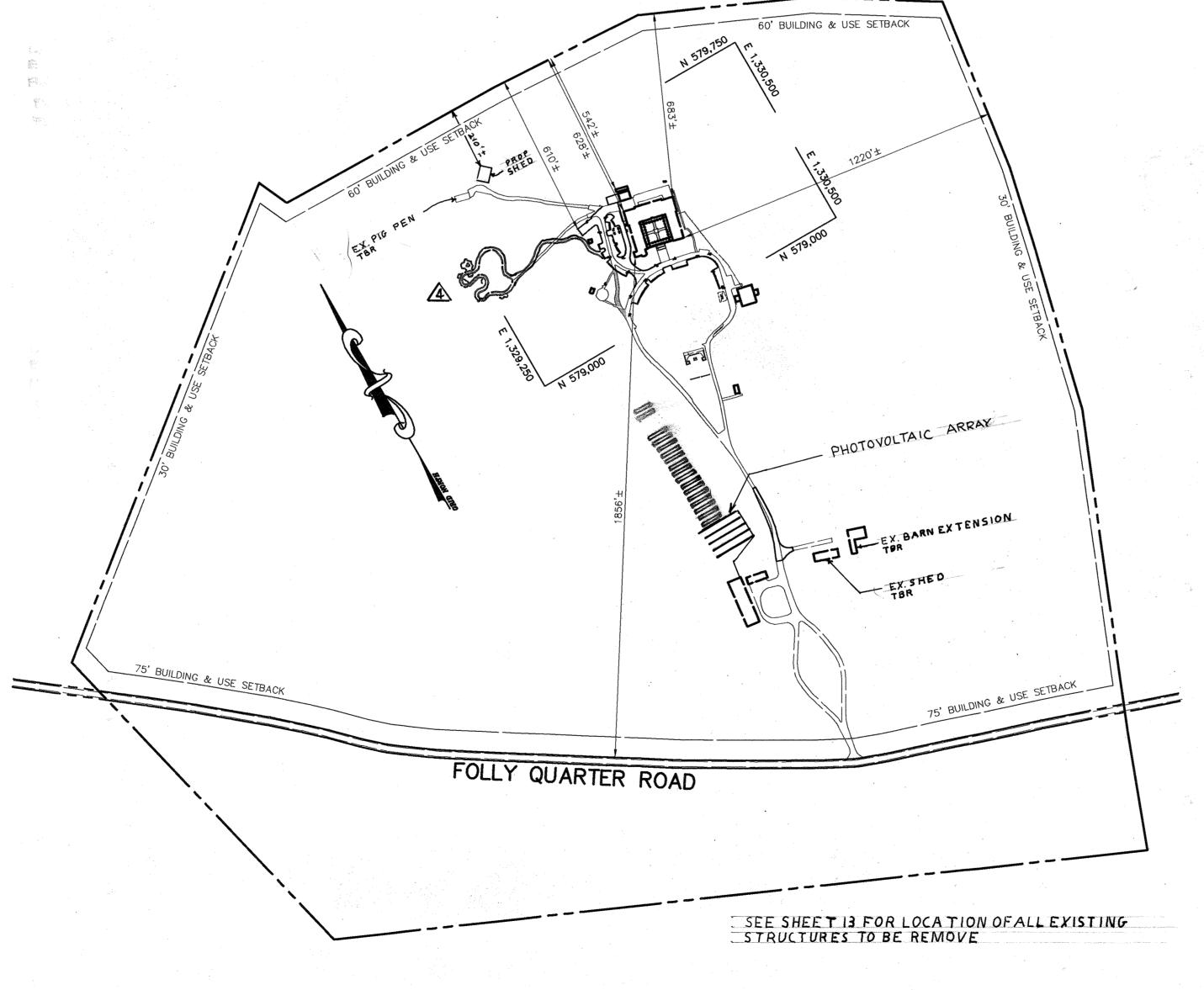
3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

## **GENERAL NOTES**

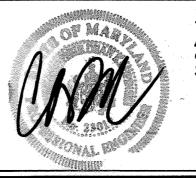
- I. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPEC HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR
- 4. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 5. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 6. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY PHR&A JULY. 2002.
- 7. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 0040 AND 0019 WERE USED FOR THIS PROJECT.
- 8. WATER IS PRIVATE
- 9. SEWER IS PRIVATE
- 10. STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED BY A PRIVATELY OWNED & MAINTAINED POCKET POND FOR WQV AND Cpv AND THE DISCONNECTION OF NON-ROOFTOP RUNOFF CREDIT FOR Rev.
- 11. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL AVAILABLE NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- 12. THIS PROJECT IMPACTS NO 100-YEAR FLOODPLAIN.
- 13. THIS PROJECT IMPACTS NO WETLANDS.
- 14. THIS PROJECT ONLY INVOLVES PARKING EXPANSION SO APFO TRAFFIC ANALYSIS IS NOT INVOLVED
- 15. NO NOISE STUDY IS REQUIRED.
- 16. THE GEOTECHNICAL STUDY FOR STORMWATER MANAGEMENT WAS PREPARED BY HILLIS-CARNES DATED NOV 2002.
- 17. THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY PHR&A. DATED OCTOBER, 2003.
- 18. SUBJECT PROPERTY ZONED RC-DEO PER 2-2-04 COMPREHENSIVE ZONING PLAN.
- 19. ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- 20. SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. SDP-88-138
- 21. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- 22. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- 23. PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
- 24. NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED
- 25. ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- 26. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- 27. STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, i.e., STANDARD SPECIFICATIONS AND

1/37856 AND 16

- 28. PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- 29. ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95%
- 30. THERE ARE NO CEMETARIES ON THE SUBJECT PROPERTY.
- 31. ALL LIGHTING TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- 32. THIS PROJECT COMPLIES WITH THE REQUIRMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY RETAINING 48.35 AC OF EXISTING FOREST. SURETY IN THE AMOUNT OF \$421,225.20 (2,106,126 SF X \$0.20/SF) WILL BE REQUIRED. THE FOREST CONSERVATION PLAT OF EASEMENT HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY AS PLAT # 16827, on 7/27/04.



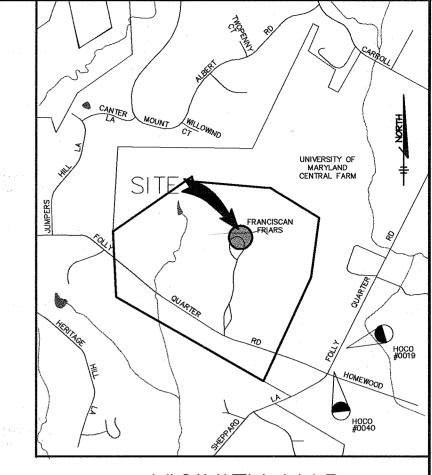
SCALE: 1"=300"



THE RKIKSEALON THIS SET ONLY APPLIES TO THE REPLINE REMSIONS, ON SHEETS 1,2,3,8,10,12,13 AND NEW SHEETS 21-35.

MERETY CERTIFY THAT THESE DO CUMBITS WEEF PREFARED
RAPPECLED BY ME, AND THET WAMA DULY LICENSED
REPESTIONAL BASANGER LANDER THE LAND OF THE STREET OF

PURPOSE STATEMENT: THE REPLINE REVISION PATED 7/23/21 FOR THE ADDITION OF A 1.3 ACRE PRAYER GARDEN ON THE SITE.



SCALE: 1" = 2000'

COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE NO. 20894285

## AREA TABULATION CHART

AREA OF SITE LIMIT OF DISTURBED AREA PRESENT ZONING EXISTING USE PROPOSED USE

196.26 ACRES 2.52 ACRES ADDITIONAL BACKETO RC-DEO RELIGIOUS FACILITY

RELIGIOUS FACILITY PROPOSED PARKING 56 SPACES (INCL. 6 HC) 2 BUS SPACES

NOTE: THE PURPOSE OF THIS PROJECT IS TO PROVIDE PARKING FOR THE CURRENT USERS AND VISITORS TO THE FACILITY. THE FRANCISCAN FRIARS FEEL THAT 56 SPACES ARE SUFFICIENT

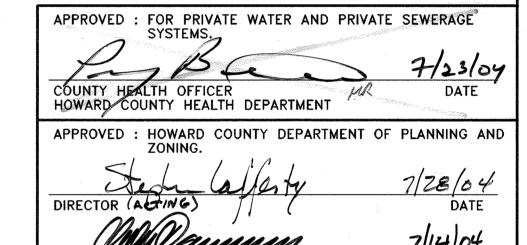
## AS-BUILT CONTROL

## BENCH MARK

✓ HOWARD COUNTY CONTROL STATION 0040 N 577,270.615 (NAD83) E 1,332,002.601 (NAD 83) ELEV. 365.326

## VHOWARD COUNTY CONTROL STATION 0019

N 580,468.133 (NAD 83) E 1,333,675.522 (NAD 83) ELEV. 385.870



CHIEF, DIVISION OF LAND DEVELOPMENT # / DATE -17-13 & ADDED PHOTOVOLTAIC INSTALLATION PIAN G-10-05 A NOTED STRUCTURE REMOVAL AND NEW SHED

DATE NO. OWNER / DEVELOPER

Revision to Add Prayer Garden

ELEVATION - SHED

ADDRESS CHART

22

SEWER CODE

STREET ADDRESS

12290 FOLLY QUARTER ROAD

AS-BUILT CERTIFICATION

AINTE C. RELINGTON # 20023

BLOCK # ZONING TAX MAP NO.

24 RC-DEO

ARCEL NUMBER

PROJECT NAME FRANCISCAN FRIARS

WATER CODE

ADDED PHOTO VOLTAIC INSTALLATION

STORAGE

6.22.05

ELECT. DIST. CENSUS TRAC

6023.02

NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MARYLAND, INC. 12290 FOLLY QUARTER ROAD ELLICOTT CITY, MARYLAND 21042

REVISION

## FRANCISCAN FRIARS PARKING ADDITION

AREA TAX MAP 22 PARCEL 46 ZONED RC-DEO 3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

## TITLE SHEET

Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects. 8818 Centre Park Drive

Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282 6.29.04 DATE DESIGNED BY : C.J.R.

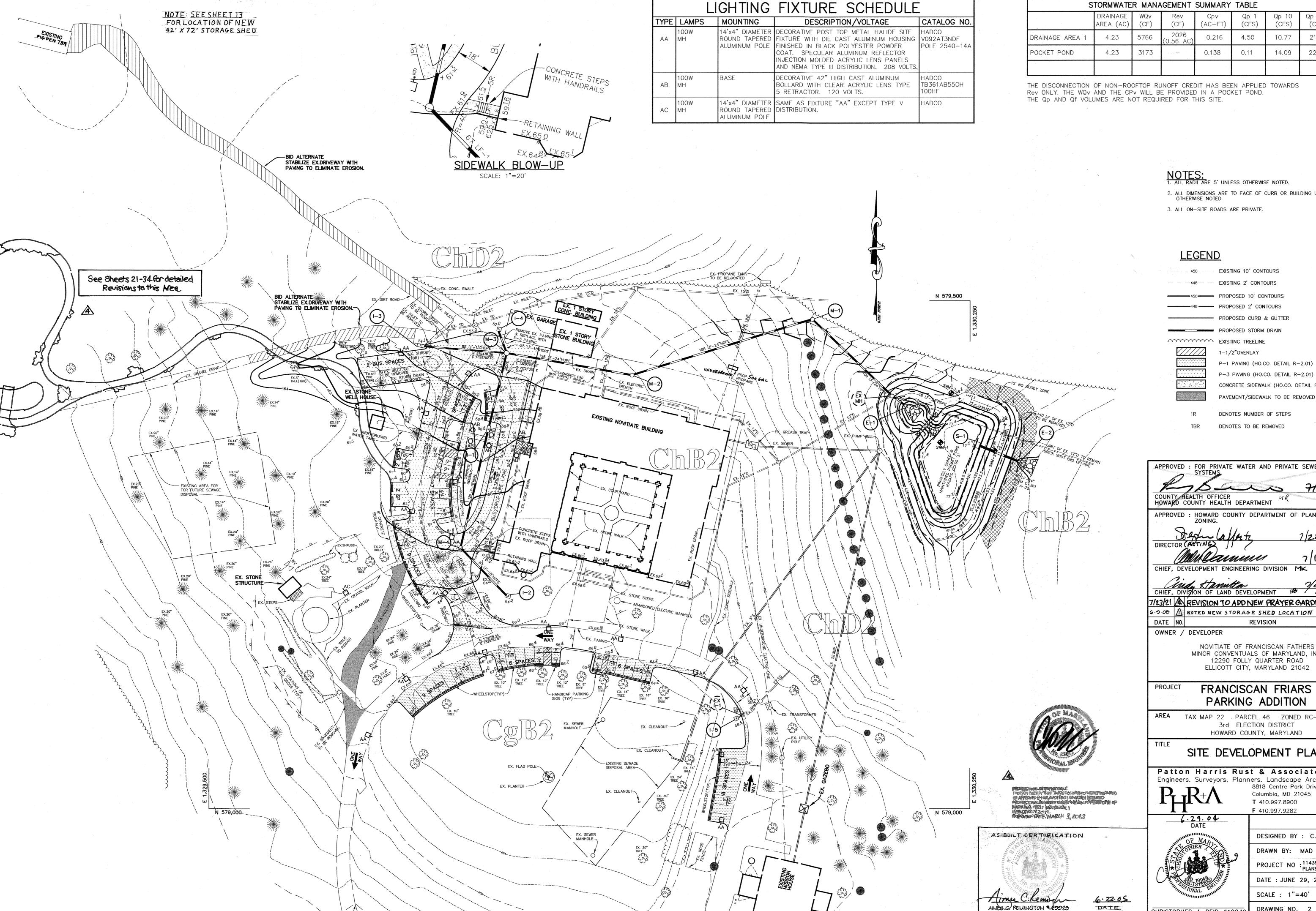


PROJECT NO : 11439/2-0/ENGR PLANS/COOOCOV DATE: JUNE 29, 2004

DRAWN BY: MAD

SCALE: AS SHOWN DRAWING NO. \_ 1\_ OF \_\_\_\_\_\_

CHRISTOPHER J. REID #19949 SDP-04-64



STORMWATER MANAGEMENT SUMMARY TABLE (CFS) (CFS) (CFS) 2026 0.56 A 10.77 0.216 4.50 0.138 0.11 14.09 22.71

THE DISCONNECTION OF NON-ROOFTOP RUNOFF CREDIT HAS BEEN APPLIED TOWARDS Rev ONLY. THE WQV AND THE CPV WILL BE PROVIDED IN A POCKET POND.

NOTES:

1. ALL RADII ARE 5' UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.

3. ALL ON-SITE ROADS ARE PRIVATE.

## **LEGEND**

— — — 448— — EXISTING 2' CONTOURS

PROPOSED 10' CONTOURS PROPOSED 2' CONTOURS

PROPOSED CURB & GUTTER

PROPOSED STORM DRAIN

EXISTING TREELINE

1-1/2"OVERLAY

P-1 PAVING (HO.CO. DETAIL R-2.01) P-3 PAVING (HO.CO. DETAIL R-2.01)

CONCRETE SIDEWALK (HO.CO. DETAIL R-3.05)

PAVEMENT/SIDEWALK TO BE REMOVED

DENOTES NUMBER OF STEPS

DENOTES TO BE REMOVED

APPROVED : FOR PRIVATE WATER AND PRIVATE SEWERAGE COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND

7/14/04

CHIEF, DIVISION OF LAND DEVELOPMENT HE DATE

7/23/21 A REVISION TO ADD NEW PRAYER GARDEN

6.9.05 A NOTED NEW STORAGE SHED LOCATION

**REVISION** 

OWNER / DEVELOPER

NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MARYLAND, INC. 12290 FOLLY QUARTER ROAD ELLICOTT CITY, MARYLAND 21042

FRANCISCAN FRIARS

PARKING ADDITION

AREA TAX MAP 22 PARCEL 46 ZONED RC-DEO 3rd ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

## SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects. 8818 Centre Park Drive



Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282

DESIGNED BY : C.J.R. DRAWN BY: MAD

PROJECT NO :11439/2-0/ENGR PLANS/C400SIT DATE : JUNE 29, 2004

SCALE : 1"=40' DRAWING NO. 2 OF 35

CHRISTOPHER J. REID #19949 SDP-04-64 AS-BUILT 6-3-05



Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282 DESIGNED BY : C.J.R. DRAWN BY: MAD PROJECT NO :11439/2-0/ENGR PLANS/C200ESC DATE : JUNE 29, 2004 SCALE : 1"=40' DRAWING NO. 3 OF 35

REVISION

NOVITIATE OF FRANCISCAN FATHERS

12290 FOLLY QUARTER ROAD ELLICOTT CITY, MARYLAND 21042

FRANCISCAN FRIARS

PARKING ADDITION

3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

HYDRIC SLOPE HSG

NO

NO

(%)

3-8%

15-25% B

3-8% B

**IMPERVIOUS** 

74

73

7.3

6.28.04 DATE

6.29.04

7/28/04

HAZARD

MODERATE

MODERATE

MODERATE

AREA IN ACRES

0.57

0.40

0.44

0.60

DRAINAGE DATA

0.68

0.68

0.68

0.68

CHRISTOPHER J. REID #19949 SDP-04-64 AS-BUILT 6-3-05

## SITE PREPARATION

AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT, AND STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL. ALL TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED. CHANNEL BANKS AND SHARP BREAKS SHALL BE SLOPED TO NO STEEPER THAN 1:1. ALL TREES SHALL BE CLEARED AND GRUBBED WITHIN 15 FEET OF THE TOE OF THE EMBANKMENT.

AREAS TO BE COVERED BY THE RESERVOIR WILL BE CLEARED OF ALL TREES, BRUSH, LOGS. FENCES, RUBBISH AND OTHER OBJECTIONABLE MATERIAL UNLESS OTHERWISE DESIGNATED ON THE PLANS. TREES, BRUSH AND STUMPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE. FOR DRY STORMWATER MANAGEMENT PONDS, A MINIMUM OF A 25 FOOT RADIUS AROUND THE INLET STRUCTURE SHALL BE CLEARED.

ALL CLEARED AND GRUBBED MATERIAL SHALL BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE DAM AND RESERVOIR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE WHEN SPECIFIED, A SUFFICIENT QUANTITY OF TOPSOIL WILL BE STOCKPILED IN A SUITABLE LOCATION FOR USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

## EARTH FILL

MATERIAL - THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. IT SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", FROZEN OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT, AND CUT OFF TRENCH SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC. SC, CH, OR CL AND MUST HAVE AT LEAST 30% PASSING THE #200 SIEVE. CONSIDERATION MAY BE GIVEN TO THE USE OF OTHER MATERIALS IN THE EMBANKMENT IF DESIGNED BY A GEOTECHNICAL ENGINEER. SUCH SPECIAL DESIGNS MUST HAVE CONSTRUCTION SUPERVISED BY

PLACEMENT - AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL: FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8-INCH THICK (BEFORE COMPACTION) LAYERS WHICH ARE TO BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. THE MOST PERMEABLE BORROW MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT. THE PRINCIPAL SPILLWAY MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.

COMPACTION - THE MOVEMENT OF THE HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRAVERSED BY NOT LESS THAN ONE TREAD TRACK OF THE EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A MINIMUM OF FOUR COMPLETE PASSES OF A SHEEPSFOOT, RUBBER TIRE OR VIBRATORY ROLLER. FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT USED. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IF FORMED INTO A BALL IT WILL NOT CRUMBLE YET NOT BE SO WET THAT WATER CAN BE SQUEEZED OUT.

WHEN REQUIRED BY THE REVIEWING AGENCY THE MIMIMUM REQUIRED DENSITY SHALL NOT BE ESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN +/- 2% OF THE OPTIMUM. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY, AND IS TO BE CERTIFIED BY THE ENGINEER AT THE TIME OF CONSTRUCTION. ALL COMPACTION IS TO BE DETERMINED BY AASHTO METHOD T-99 (STANDARD PROCTOR).

CUTOFF TRENCH - THE CUTOFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE BOTTOM WIDTH OF THE TRENCH SHALL BE GOVERNED BY THE EQUIPMENT USED FOR EXCAVATION, WITH THE MINIMUM WIDTH BEING FOUR FEET. THE DEPTH SHALL BE AT LEAST FOUR FEET BELOW EXISTING GRADE OR AS SHOWN ON THE PLANS. THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE BACKFILL SHALL COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MAXIMUM PERMEABILITY.

EMBANKMENT CORE - THE CORE SHALL BE PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE TOP WIDTH OF THE CORE SHALL BE A MINIMUM OF FOUR FEET. THE HEIGHT SHALL EXTEND UP TO AT LEAST THE 10 YEAR WATER ELEVATION OR AS SHOWN ON THE PLANS. THE SIDE SLOPES SHALL BE 1 TO 1 OR FLATTER. THE CORE SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY. IN ADDITION, THE CORE SHALL BE PLACED CONCURRENTLY WITH THE OUTER SHELL OF THE EMBANKMENT.

## STRUCTURE BACKFILL

BACKFILL ADJACENT TO PIPES OR STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE OR PIPE, UNLESS THERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE

STRUCTURE BACKFILL MAY BE FLOWABLE FILL MEETING THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 313 AS MODIFIED. THE MIXTURE SHALL HAVE A 100-200 PSI; 28 DAY UNCONFINED COMPRESSIVE STRENGTH. THE FLOWABLE FILL SHALL HAVE A MINIMUM PH OF 4.0 AND A MINIMUM RESISTIVITY OF 2000 OHM-CM. MATERIAL SHALI BE PLACED SUCH THAT A MINIMUM OF 6" (MEASURED PERPENDICULAR TO THE PIPE) OF FLOWABLE FILL SHALL BE UNDER (BEDDING), OVER AND, ON THE SIDES OF THE PIPE. IT ONLY NEEDS TO EXTEND UP TO THE SPRING LINE FOR RIGID CONDUITS. AVERAGE SLUMP OF THE FILL SHALL BE 7" TO ASSURE FLOWABILITY OF THE MATERIAL. ADEQUATE MEASURES SHALL BE TAKEN (SAND BAGS, ETC.) TO PREVENT FLOATING THE PIPE. WHEN USING FLOWABLE FILL, ALL METAL PIPE SHALL BE BITUMINOUS COATED. ANY ADJOINIG SOIL FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHED IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL SHALL COMPLETELY FILL ALL VOIDS ADJACENT TO THE FLOWABLE FILL ZONE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE. BACKFILL MATERIAL OUTSIDE THE STRUCTURAL BACKFILL (FLOWABLE FILL) ZONE SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE CORE OF THE EMBANKMENT OR OTHER EMBANKMENT MATERIALS

## PIPE CONDUITS

ALL PIPES SHALL BE CIRCULAR IN CROSS SECTION.

CORRUGATED METAL PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR CORRUGATED METAL PIPE:

1. MATERIALS - (POLYMER COATED STEEL PIPE) - STEEL PIPES WITH POLYMERIC COATINGS SHALL HAVE A MINIMUM COATING THICKNESS OF 0.01 INCH (10MIL) ON BOTH SIDES OF THE PIPE. THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-245 & M-246 WITH WATERTIGHT COUPLING BANDS OR FLANGES.

MATERIALS - (ALUMINUM COATED STEEL PIPE) - THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-274 WITH WATERTIGHT COUPLING BANDS OR FLANGES. ALUMINUM COATED STEEL PIPE, WHEN USED WITH FLOWABLE FILL OR WHEN SOIL AND/OR WATER CONDITIONS WARRANT THE NEED FOR INCREASED DURABILITY, SHALL BE FULLY BITUMINOUS COATED PER REQUIREMENTS OF AASHTO SPECIFICATION M-190 TYPE A. ANY ALUMINUM COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT.

MATERIALS - (ALUMINUM PIPE) - THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M-196 OR M-211 WITH WATERTIGHT COUPLING BANDS OR FLANGES. ALUMINUM PIPE, WHEN USED WITH FLOWABLE FILL OR WHEN SOIL AND/OR WATER CONDITIONS WARRANT THE NEED FOR INCREASED DURABILITY, SHALL BE FULLY BITUMINOUS COATED PER REQUIREMENTS OF AASHTO SPECIFICATION M-190 TYPE A. ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT. HOT DIP GALVANIZED BOLTS MAY BE USED FOR CONNECTIONS. THE PH OF THE SURROUNDING SOILS SHALL BE BETWEEN 4 AND 9.

- 2. COUPLING BANDS, ANTI-SEEP COLLARS, END SECTIONS, ETC., MUST BE COMPOSED OF THE SAME MATERIAL AND COTED AS THE PIPE. METALS MUST BE INSULATED FROM DISSIMILAR MATERIALS WITH USE OF RUBBER OR PLASTIC INSULATING MATERIALS AT AT LEAST 24 MILS IN THICKNESS.
- 3. CONNECTIONS ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATERTIGHT. THE DRAIN PIPE OR BARREL CONNECTION TO THE RISER SHALL BE WELDED ALL AROUND WHEN THE PIPE AND RISER ARE METAL. ANTI-SEEP COLLARS SHALL BE CONNECTED TO THE PIPE IN SUCH A MANNER AS TO BE COMPLETELY WATERTIGHT. DIMPLE BANDS ARE NOT CONSIDERED TO BE WATERTIGHT.
- ALL CONNECTIONS SHALL USE A RUBBER OR NEOPRENE GASKET WHEN JOINING PIPE SECTIONS. THE END OF EACH PIPE SHALL BE RE-ROLLED AN ADEQUATE NUMBER OF CORRUGATIONS TO ACCOMMODATE THE BAND WIDTH. THE FOLLOWING TYPE CONNECTIONS ARE ACCEPTABLE FOR PIPES LESS THAN 24" IN DIAMETER; FLANGES ON BOTH ENDS OF THE PIPE WITH A CIRCULAR 3/8 INCH CLOSED CELL NEOPRENE GASKET, PREPUNCHED TO THE FLANGE BOLT CIRCLE, SANDWICHED BETWEEN ADJACENT FLANGES; A 12 INCH WIDE STANDARD LAP TYPE BAND WITH 12 INCH WIDE BY 3/8 INCH THICK CLOSED CELL CIRCULAR NEOPRENE GASKET: AND A 12 INCH WIDE HUGGER TYPE BAND WITH O-RING GASKETS HAVING A MINIMUM DIAMETER OF 1/2 INCH GREATER THAN THE CORRUGATION DEPTH. PIPES 24 INCHES IN DIAMETER AND LARGER SHALL BE CONNECTED BY A 24 INCH LONG ANNULAR CORRUGATED BAND USING A MINIMUM OF 4 (FOUR) RODS AND LUGS, 2 ON EACH CONNECTING PIPE ENDS. A 24 INCH WIDE BY 3/8 INCH THICK CLOSED CELL CIRCULAR NEOPRENE GASKET WILL BE INSTALLED WITH 12 INCH ON THE END OF EACH PIPE. FLANGED JOINTS WITH 3/8 INCH CLOSED CELL GASKETS THE FULL WIDTH OF THE FLANGE IS ALSO ACCEPTABLE.

HELICALLY CORRUGATED PIPE SHALL HAVE EITHER CONTINUOUSLY WELDED SEAMS OR HAVE LOCK SEAMS WITH INTERNAL CAULKING OR A NEOPRENE BEAD.

- 4. BEDDING THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.
- 5. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL."
- 6. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE

REINFORCED CONCRETE PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR REINFORCED CONCRETE PIPE:

- 1. MATERIALS REINFORCED CONCRETE PIPE SHALL HAVE BELL AND SPIGOT JOINTS WITH RUBBER GASKETS AND SHALL EQUAL OR EXCEED ASTM DESIGNATION C-361.
- 2. BEDDING ALL REINFORCED CONCRETE PIPE CONDUITS SHALL BE LAID IN A CONCRETE BEDDING/CRADLE FOR THEIR ENTIRE LENGTH. THIS BEDDING/CRADLE SHALL CONSIST OF HIGH SLUMP CONCRETE PLACED UNDER THE PIPE AND UP THE SIDE OF THE PIPE AT LEAST 50% OF ITS OUTSIDE DIAMETER WITH A MINIMUM THICKNESS OF 6 INCHES. WHERE A CONCRETE CRADLE IS NOT NEEDED FOR STRUCTURAL REASONS. FLOWABLE FILL MAY BE USED AS DESCRIBED IN THE "STRUCTURE BACKFILL" SECTION OF THIS STANARD. GRAVEL BEDDING IS NOT PERMITTED.
- 3. LAYING PIPE BELL AND SPIGOT PIPE SHALL BE PLACED WITH THE BELL END UPSTREAM. JOINTS SHALL BE MADE IN ACCORDANCE WITH RECOMMENDATIONS OF THE MANUFACTURER OF THE MATERIAL. AFTER THE JOINTS ARE SEALED FOR THE ENTIRE LINE, THE BEDDING SHALL BE PLACED SO THAT ALL SPACES UNDER THE PIPE ARE FILLED. CARE SHALL BE EXERCISED TO PREVENT ANY DEVIATION FROM THE ORIGINAL LINE AND GRADE OF THE PIPE. THE FIRST JOINT MUST BE LOCATED WITHIN 4 FEET
- 4. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL."
- 5. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

PLASTIC PIPE - THE FOLLOWING CRITERIA SHALL APPLY FOR PIPE:

- 1. MATERIALS PVC PIPE SHALL BE PVC-1120 OR PVC-1220 CONFORMING TO ASTM D-1785 OR ASTM D-2241. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE, COUPLINGS AND FITTINGS SHALL CONFORM TO THE FOLLOWING: 4 - 10 INCH PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M252 TYPE S, AND 12" THROUGH 24" SHALL MEET THE REQUIREMENTS OF AASHTO M294 TYPE S.
- 2. JOINTS AND CONNECTIONS TO ANTI-SEEP COLLARS SHALL BE COMPLETELY WATERTIGHT.
- 3. BEDDING THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.
- 4. BACKFILLING SHALL CONFORM TO STRUCTURE "BACKFILL".
- 5. OTHER DETAILS (ANTI-SEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS

## CONCRETE

CONCRETE SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION. STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 414, MIX NO. 3.

## ROCK RIPRAP

ROCK RIPRAP SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 311.

GEOTEXTILE SHALL BE PLACED UNDER ALL RIPRAP AND SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 921.09, CLASS C.

## CARE OF WATER DURING CONSTRUCTION

ALL WORK ON PERMANENT STRUCTURES SHALL BE CARRIED OUT IN AREAS FREE FROM WATER. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL TEMPORARY DIKES, LEVEES, COFFERDAMS, DRAINAGE CHANNELS, AND STREAM DIVERSIONS NECESSARY TO PROTECT THE AREAS TO BE OCCUPIED BY THE PERMANENT WORKS. THE CONTRACTOR SHALL ALSO FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL NECESSARY PUMPING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM THE VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, FOUNDATION, AND OTHER PARTS OF THE WORK FREE FROM WATER AS REQUIRED OR DIRECTED BY THE ENGINEER FOR CONSTRUCTING EACH PART OF THE WORK. AFTER HAVING SERVED THEIR PURPOSE, ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED OR LEVELED AND GRADED TO THE EXTENT REQUIRED TO PREVENT OBSTRUCTION IN ANY DEGREE WHATSOEVER OF THE FLOW OF WATER TO THE SPILLWAY OR OUTLET WORKS AND SO AS NOT TO INTERFERE IN ANY WAY WITH THE OPERATION OR MAINTENANCE OF THE STRUCTURE. STREAM DIVERSIONS SHALL BE MAINTAINED UNTIL THE FULL FLOW CAN BE PASSED THROUGH THE PERMANENT WORKS. THE REMOVAL OF WATER FROM THE REQUIRED EXCAVATION AND THE FOUNDATION SHALL BE ACCOMPLISHED IN A MANNER AND TO THE EXTENT THAT WILL MAINTAIN STABILITY OF THE EXCAVATED SLOPES AND BOTTOM OF REQUIRED EXCAVATIONS AND WILL ALLOW SATISFACTORY PERFORMANCE OF ALL CONSTRUCTION OPERATIONS. DURING THE PLACING AND COMPACTING OF MATERIAL IN REQUIRED EXCAVATIONS, THE WATER LEVEL AT THE LOCATIONS BEING REFILLED SHALL BE MAINTAINED BELOW THE BOTTOM OF THE EXCAVATION AT SUCH LOCATIONS WHICH MAY REQUIRE DRAINING THE WATER TO SUMPS FROM WHICH THE WATER SHALL BE PUMPED.

ALL BORROW AREAS SHALL BE GRADED TO PROVIDE PROPER DRAINAGE AND LEFT IN A SIGHTLY CONDITION. ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, SPOIL AND BORROW AREAS, AND BERMS SHALL BE STABILIZED BY SEEDING, LIMING, FERTILIZING AND MULCHING IN ACCORDANCE WITH THE NATURAL RESOURCES CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS FOR CRITICAL AREA PLANTING (MD-342) OR AS SHOWN ON THE ACCOMPANYING DRAWINGS.

## EROSION AND SEDIMENT CONTROL

CONSTRUCTION OPERATIONS WILL BE CARRIED OUT IN SUCH A MANNER THAT EROSION WILL BE CONTROLLED AND WATER AND AIR POLLUTION MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT WILL BE FOLLOWED. CONSTRUCTION PLANS SHALL DETAIL EROSION AND SEDIMENT CONTROL MEASURES.

REFER TO THE 2000 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

## TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

## APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14LBS. PER 1000 SQ.FT.).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS, PER 1000 SQ.FT.), FOR THE PERIOD MAY 1 THRU AUGUST 14. SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.07 LBS. PER 1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL CRAIN STRAW IMMEDIATELY AFTER SEEDING ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

## PERMANENT SEEDING NOTES

ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

## LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS. PER 1000 SQ.FT.)
- 2) ACCEPTABLE APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING:
FOR THE PERIOD MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4LBS. PER 1000 SQFT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2LBS. PER ACRE (0.05 LBS. PER 1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY ONE OF THE FOLLOWING OPTIONS:

- 1) 2 TONS PER ACRE OF WELL-ANCHORED MULCH STRAW AND SEED AS SOON AS POSSIBLE IN THE SPRING.
- 2) USE SOD.
- 3) SEED WITH 60 LBS. PER ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE WELL ANCHORED STRAW.

APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

## STANDARD SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A)7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G.). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED
- 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL

SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED

HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. 7. SITE ANALYSIS:

TOTAL AREA OF SITE 235.97 ACRES AREA DISTURBED 2.52 ACRES AREA TO BE ROOFED OR PAVED 0.73 ACRES 1.79 ACRES AREA TO BE VEGETATIVELY STABILIZED TOTAL CUT 2448 CU. YARDS 2492 CU. YARDS OFFSITE WASTE AREA LOCATION TO HAVE ACTIVE GRADING PERMIT

- 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF
- 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- 12. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- 13. SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- 14. CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.

## 21.0 STANDARD AND SPECIFICATIONS

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

- CONDITIONS WHERE PRACTICE APPLIES
- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE
- VEGETATIVE GROWTH. B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO
- SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION

SHOWN ON THE PLANS. CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTATION STATION.
- II. TOPSOIL SPECIFICATIONS SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
- I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS. TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1" IN DIAMETER
- II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- III. WHERE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES:
- II. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - BSECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS

III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

- I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OR LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH
- TO 6.5 OR HIGHER. 3. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION
- D. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
- NOTE: TOPSOIL SUBSTITUTES TO AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - BSECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- V TOPSON APPLICATION
- I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- II. GRADES ON THE AREAS TO BE TOPSOILED. WHICH HAVE BEEN PREVIOUSLY ESTABLISHED. SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.
- III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION. WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- VI. ALTERNATIVE FOR PERMANENT SEEDING INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS
- I. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITE HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING
- A. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06. B. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOROUS AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. II COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
- COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1,

## COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.

5. BEGIN PAVING. (3 WEEKS)

- 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, AND SUPER SILT FENCE,.
- 3. UPON ACCEPTANCE BY THE COUNTY INSPECTOR, CONTRACTOR TO PROCEED WITH ROUGH GRADING AND POND CONSTRUCTION. POND CONSTRUCTION CAN OCCUR AT ANY TIME DURING
- CONSTRUCTION AS IT IS NOT NEEDED FOR SEDIMENT CONTROL. (4 WEEKS) 4. AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL STORM DRAINS AND INLET PROTECTIONS. (3 WEEKS)
- 6. APPLY TOPSOIL AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (1 WEEK)
- 7. PERFORM FINE GRADING, LANDSCAPING, LIGHTING AND SIDEWALKS. (2 WEEKS) 8. UPON PERMISSION OF COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES.

AS BUILT CERTIFICATION 6.22-05 AILLES C. RELLINGTON # 20023 DATE

BY THE DEVELOPER : I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION

WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

6.28.04 DATE

BY THE ENGINEER

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

CHIEF, DEVELOPMENT ENGINEERING DIVISION MK

Tanulta CHIEF, DIVISION OF LAND DEVELOPMENT HB// DATE

DATE NO. **REVISION** OWNER / DEVELOPER

> NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MARYLAND, INC. 12290 FOLLY QUARTER ROAD ELLICOTT CITY, MARYLAND 21042

FRANCISCAN FRIARS PARKING ADDITION

> 3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

AREA TAX MAP 22 PARCEL 46 ZONED RC-DEO

SEDIMENT CONTROL NOTES Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects. 8818 Centre Park Drive Columbia, MD 21045

C.29.04
DATE

DESIGNED BY : C.J.R. DRAWN BY: MAD

**T** 410.997.8900

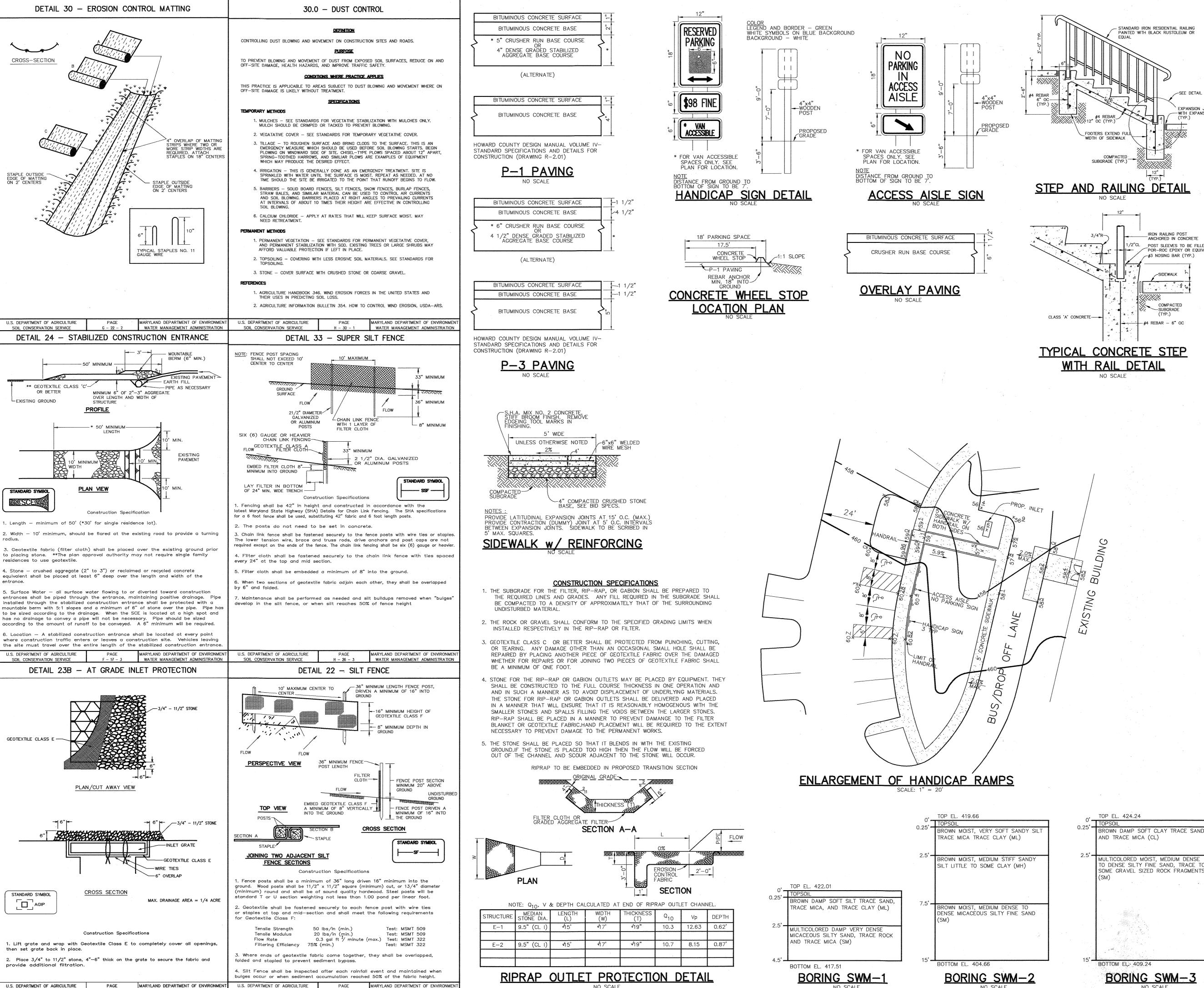
**F** 410.997.9282

PROJECT NO :11439/2-0/ENGR PLANS/C201ESC DATE: JUNE 29, 2004

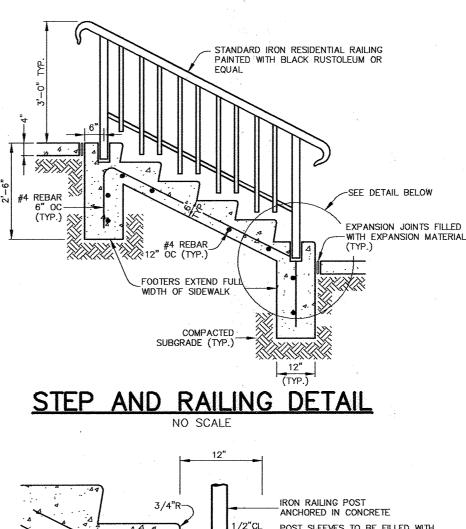
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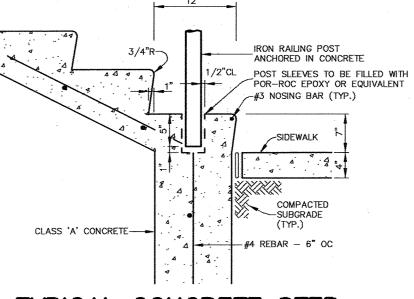
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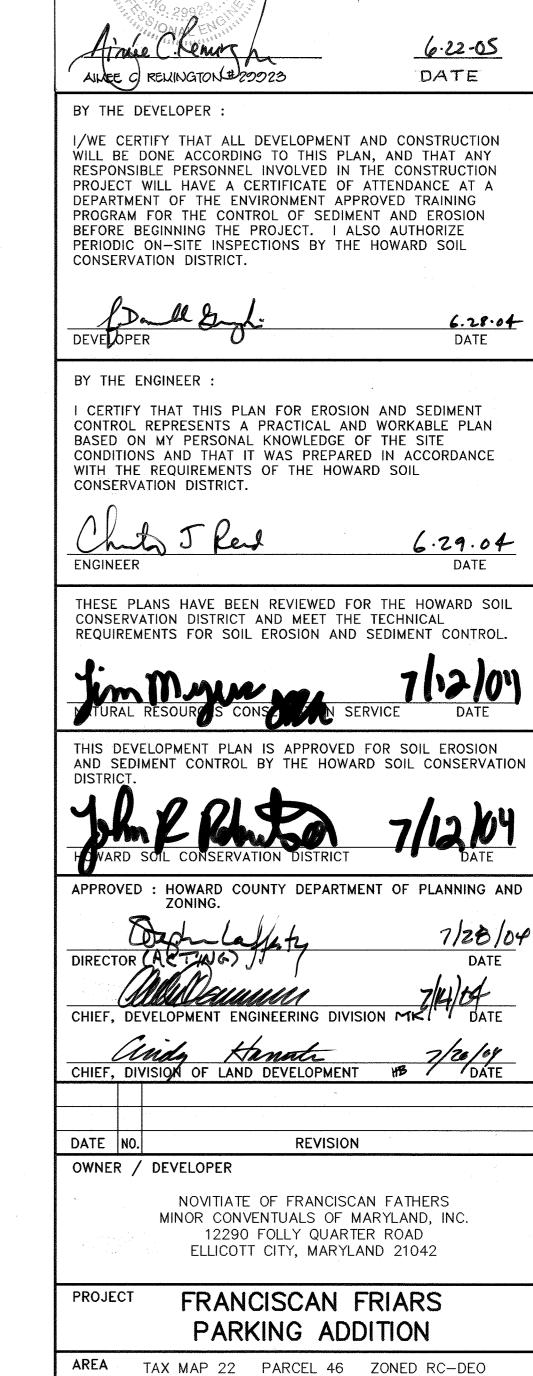
CHRISTOPHER J. REID #19949



WATER MANAGEMENT ADMINISTRATION SOIL CONSERVATION SERVICE







AS THURE TANCER TIFICATION

3rd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

DETAIL SHEET

Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects.

TITLE

8818 Centre Park Drive Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282

DESIGNED BY : C.J.R. DRAWN BY: MAD

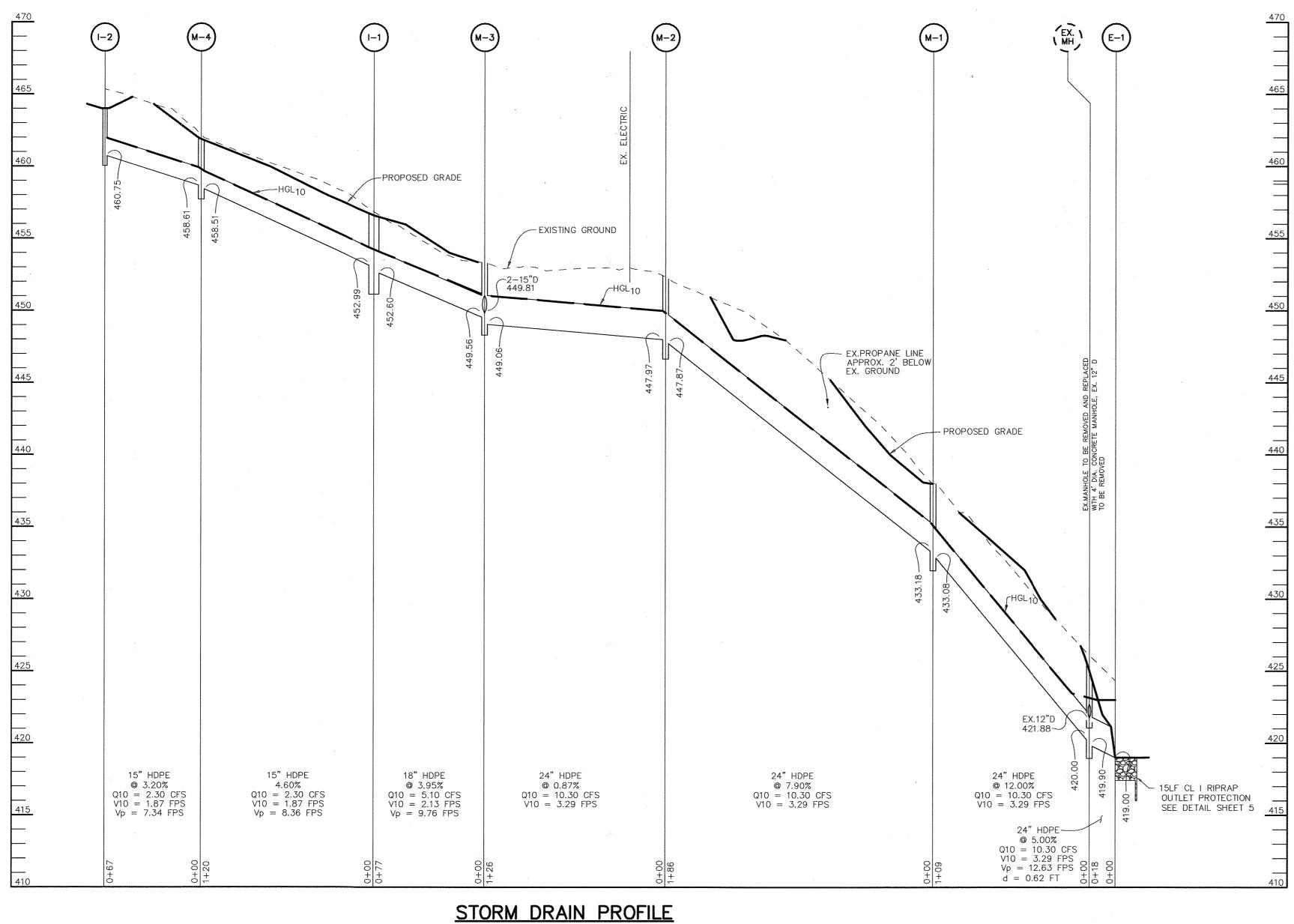
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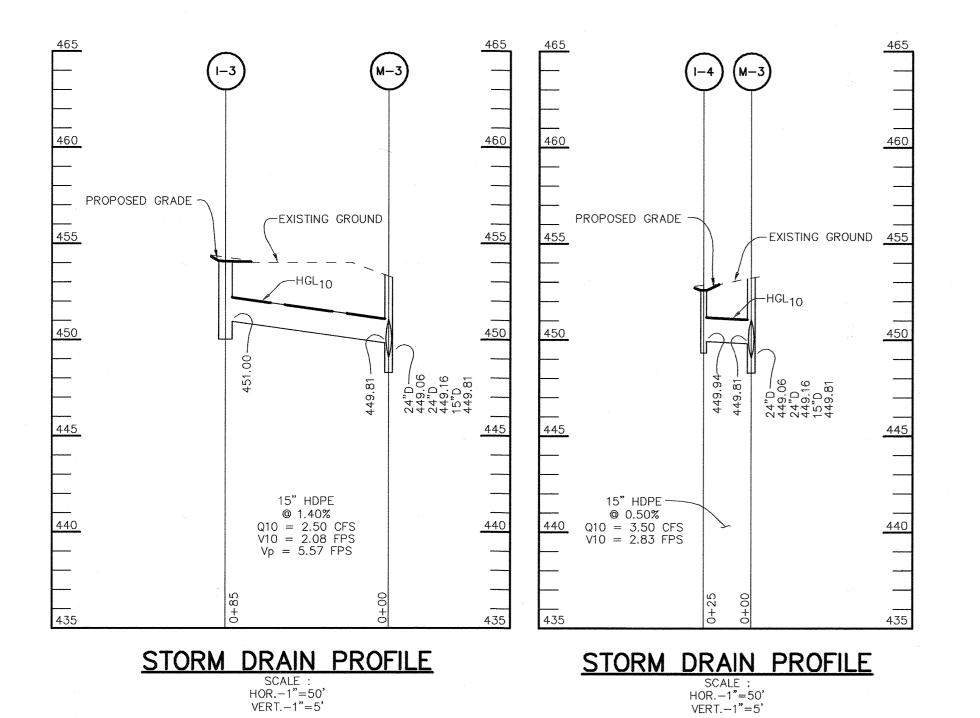
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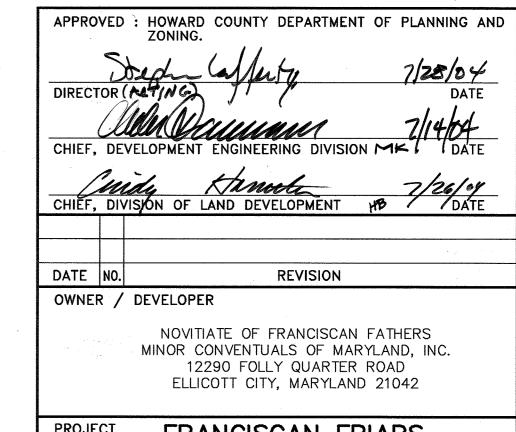
STORM DRAIN PROFILE SCALE: HOR.-1"=50' VERT.-1"=5'



## STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
I-1	DBL 'S'	N 579373 E 1329775	452.99 (15")	452.60 (18")	456.6	HOCO STD. DETAIL SD-4.23
1-2	YARD	N 579209 E 1329795	_	460.75 (15")	464.0	HOCO STD. DETAIL SD-4.14
I-3	DBL 'S'	N 579456 E 1329708	_	451.00 (15")	454.1	HOCO STD. DETAIL SD-4.23
I-4	YARD	N 579472 E 1329785	<u> </u>	449.94 (15")	452.6	HOCO STD. DETAIL SD-4.14
					: .	
S-1	MODIFIED STRUCTURE	N 579358 E 1330256	_	-	-	SEE DETAIL SHEET
	·	, ét				
M-1	4' DIA	N 579481 E 1330094	433.18 (24")	433.08 (24")	438.0	HOCO STD. DETAIL G-5.12
M-2	4' DIA	N 579426 E 1329916	447.97 (24")	447.87 (24")	452.1	HOCO STD. DETAIL G-5.12
M-3	5' DIA	N 579448 E 1329793	449.56 (18") 2-449.81 (15")	449.06 (24")	453.0	HOCO STD. DETAIL G-5.13
M-4	4' DIA	N 579472 E 1329785	458.61 (15")	458.51 (15")	461.9	HOCO STD. DETAIL G-5.12
EX MH	4' DIA	N 579406 E 1330172	421.88 (12") 420.00 (24")	419.90 (24")	425.0	HOCO STD. DETAIL G-5.12
				N		
E-1	24" HDPE END SECTION	N 579396 E 1330187	419.00 (24")	<del>-</del> 2	<u></u>	HOCO STD. DETAIL SD-5.51
E-2	24" ASTM END SECTION	N 579341 E 1330300	418.00 (24")	-	<del></del>	HOCO STD. DETAIL SD-5.51

FOR END SECTIONS THE LOCATION IS BOTTOM CENTER OF STRUCTURE.
LOCATION OF 'A' INLETS IS GIVEN FOR CENTER OF THROAT OPENING AT FACE OF CURB.



PIPE SCHEDULE

SIZE

439

HDPE

HDPE

HDPE

FRANCISCAN FRIARS

AREA TAX MAP 22 PARCEL 46 ZONED RC-DEO 3rd ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

PARKING ADDITION

## STORM DRAIN PROFILES

Patton Harris Rust & Associates, pc Engineers. Surveyors. Planners. Landscape Architects. 8818 Centre Park Drive Columbia, MD 21045 **T** 410.997.8900



6.22.05

AS BUILT CERTIFICATION

AINEE C. RELINGTON # 20023

DATE

SCALE : AS SHOWN CHRISTOPHER J. REID #19949

DRAWING NO. 6 OF 35 SDP-04-64 AS-BUILT 6-3-05

**F** 410.997.9282

DRAWN BY: MAD

DATE CHRISTOPHER J. REID #19949

AS-BUILT 6-3-05

DRAWING NO. 7 OF 35

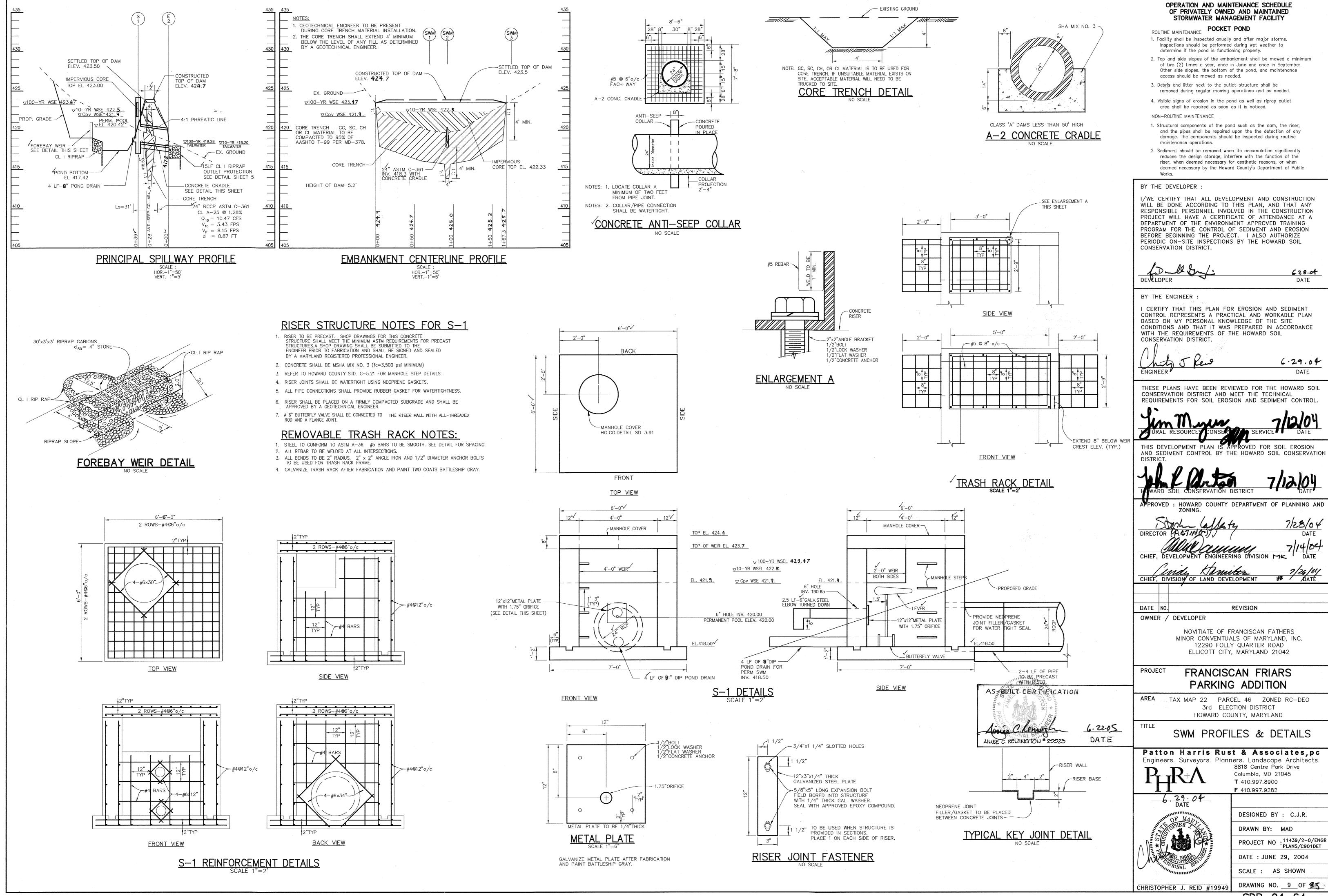


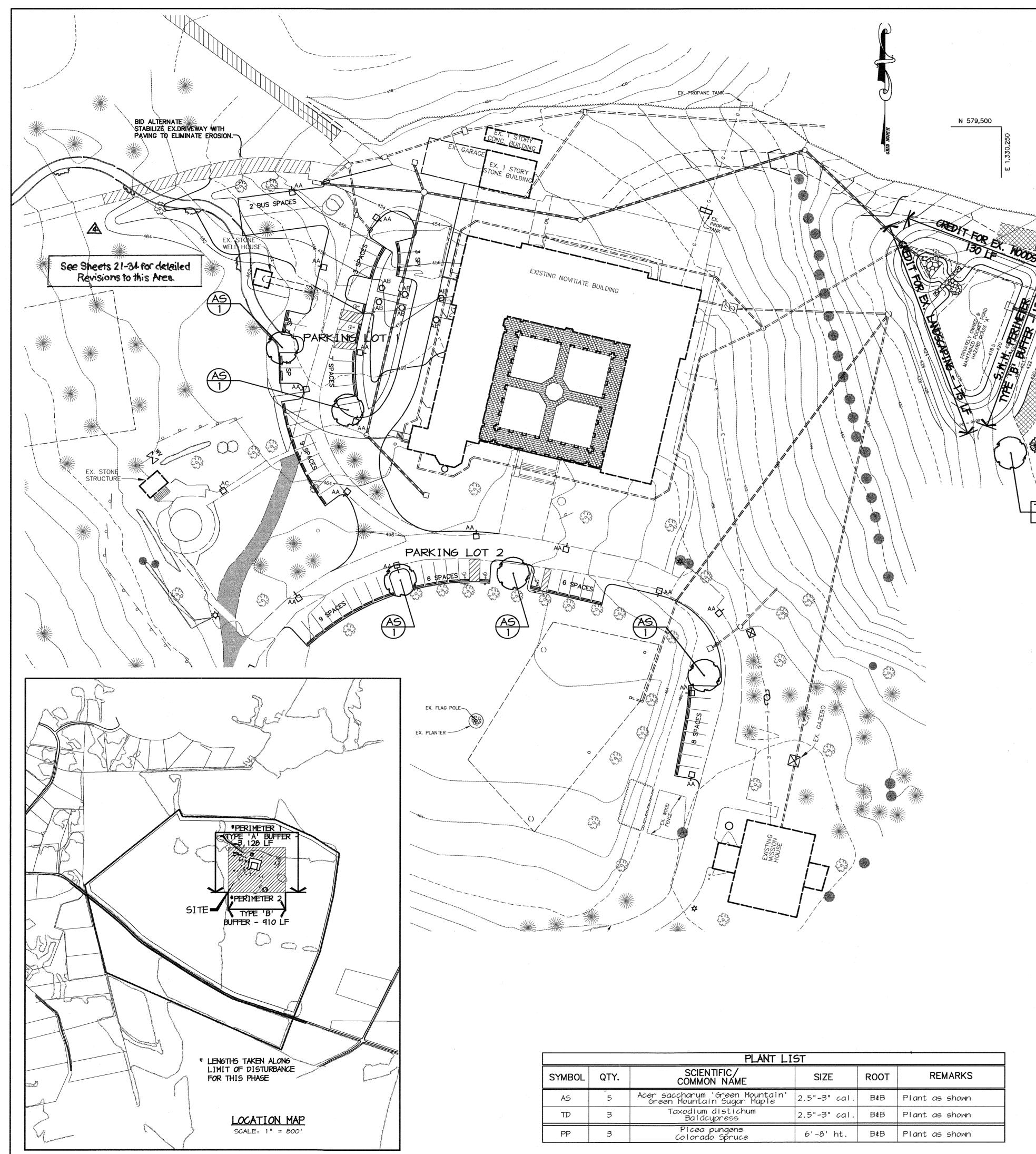
THE Qp AND Qf VOLUMES ARE NOT REQUIRED FOR THIS SITE.

DRAWING NO. 8 OF 35

AS-BUILT 6-3-05

CHRISTOPHER J. REID #19949

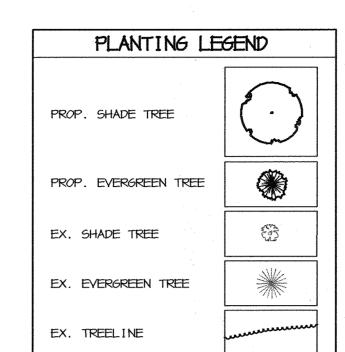


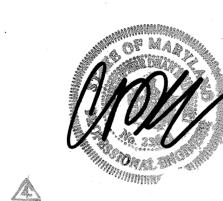




PARKING LOT LANDSCAPE REQUIREMENT

LANDSCAPE REQUIREMENT





CRAPHICAL THE ECONOMY WES PROPERTY OF THE STATE OF THE ST LICENSON 230E PLANTON 6, ZAZZ

SCHEDULE A - PERIMET	TER LANDSCAPE	ED6E*
	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO ROADWAYS
PERIMETER	1	2
LANDSCAPE TYPE	Α	В
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	3,128'±	910'±
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES 3,128'±	YES 910'±
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	NO -	NO -
LINEAR FEET REMAINING	0'	0'
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	-	- - -
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES SMALL FLOWERING TREES SHRUBS	- - -	- - - -

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING					
PARKING LOT	1	2			
NUMBER OF PARKING SPACES	27	29			
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	2	2			
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	2 -	3 -			
NUMBER OF ISLANDS PROVIDED	2	2			

SCHEDULE D - STORMWATER MANAGEMENT AREA LANDSCAPING				
S.W.M. POND PERIMETER	1			
LANDSCAPE TYPE	В			
LINEAR FEET OF TOTAL PERIMETER	±435'			
CREDIT FOR EX. VEGETATION (NO OR YES & %)	YES, 130'			
CREDIT FOR OTHER PROP. LANDSCAPING (NO OR YES & %)	YES, 1751			
LINEAR FEET OF REMAINING PERIMETER	130'			
NUMBER OF TREES REQUIRED: SHADE TREES EVERGREEN TREES	3 3			
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION, 50% MAX.)	3 3 -			

## GENERAL NOTES:

1) THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

2) FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$2,850. 8 SHADE TREES @ \$300 = \$2,400

3) THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.

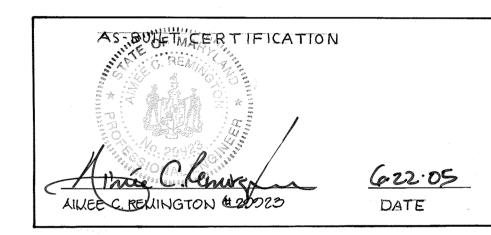
3 EVERGREEN TREES @ \$150 = \$450

4) CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.

5) ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF

6) ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.

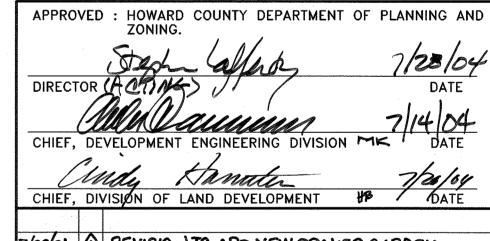
7) NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.



## DEVELOPER'S/BUILDER'S CERTIFICATE:

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.





7/23/21 A REVISION TO ADD NEW PRAYER GARDEN DATE NO. REVISION

OWNER / DEVELOPER

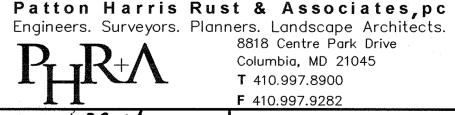
NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MARYLAND, INC. 12290 FOLLY QUARTER ROAD ELLICOTT CITY, MARYLAND 21042

## FRANCISCAN FRIARS PARKING ADDITION

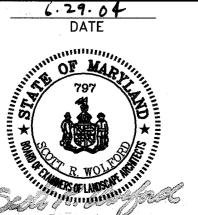
AREA TAX MAP 22 PARCEL 46 ZONED RC-DEO 3rd ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

## LANDSCAPE PLAN



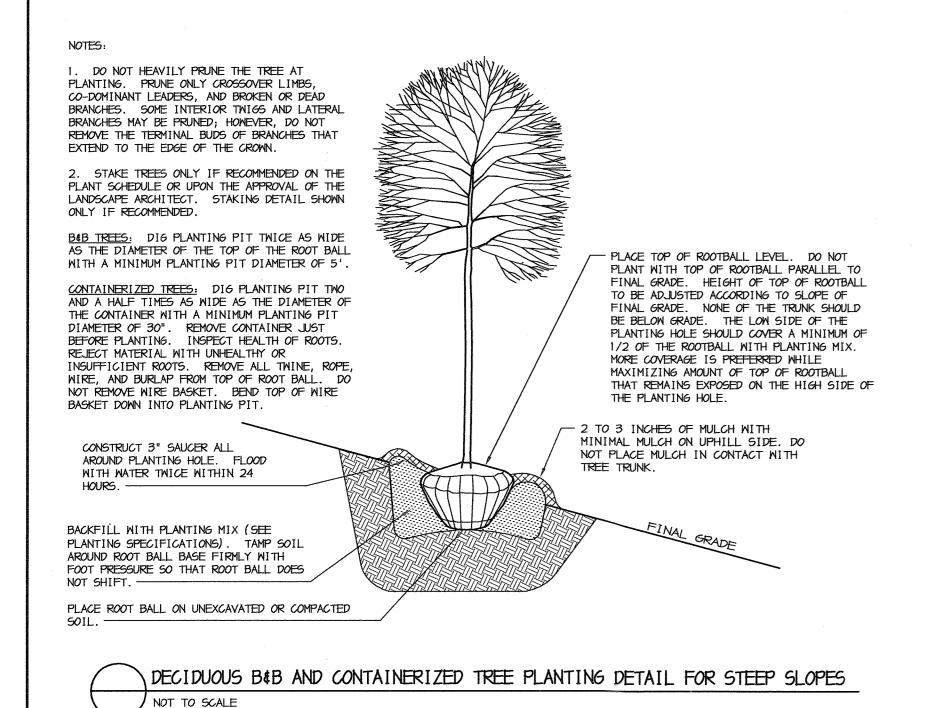
8818 Centre Park Drive Columbia, MD 21045 **T** 410.997.8900 **F** 410.997.9282

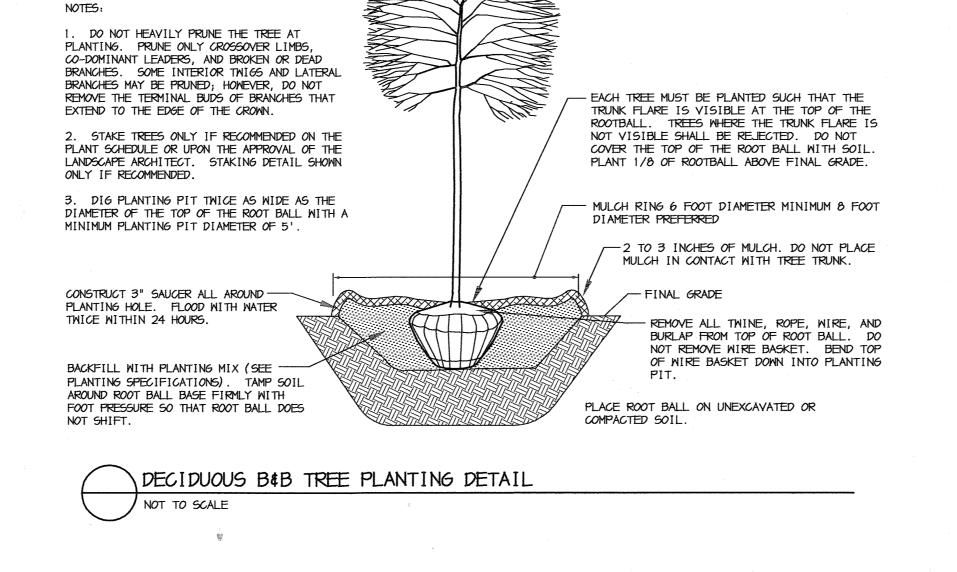


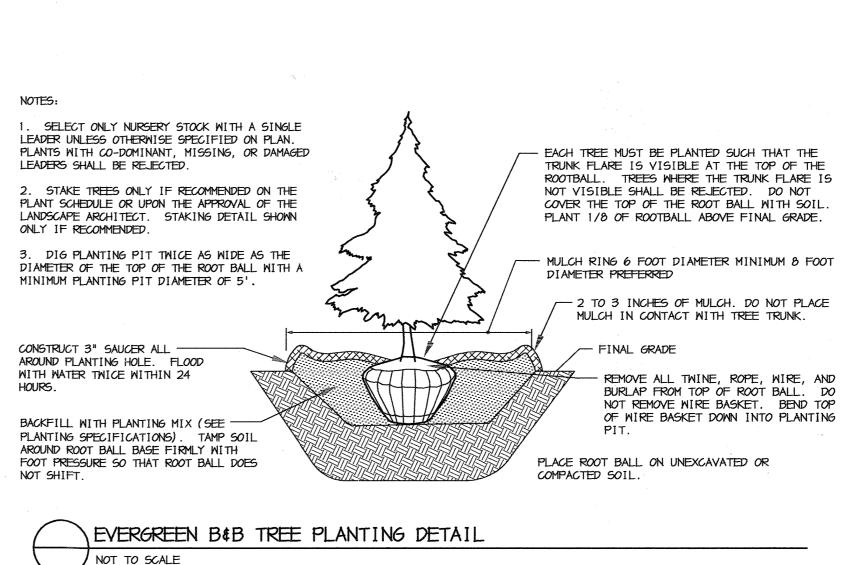
SCOTT R. WOLFORD, R.L.A. #797

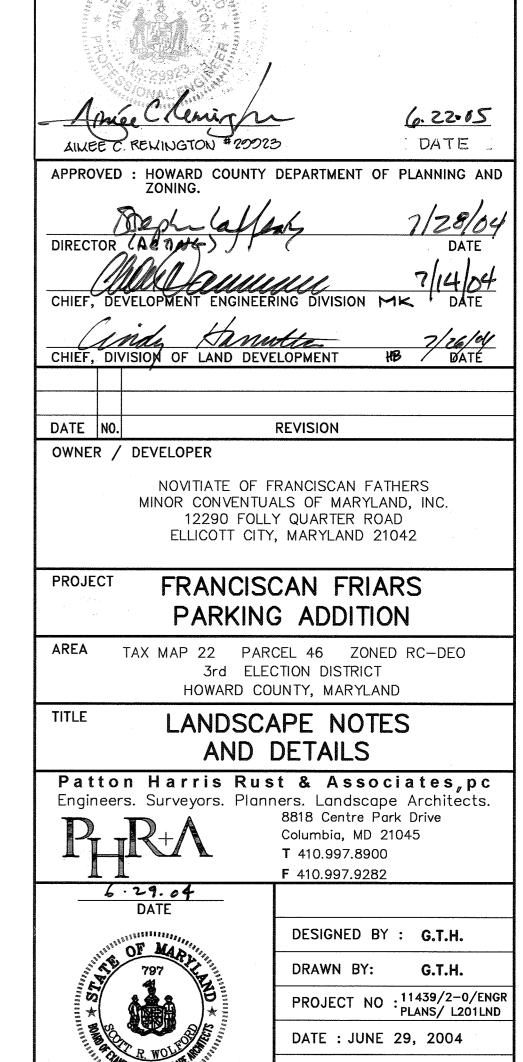
DESIGNED BY : G.T.H. DRAWN BY: G.T.H. PROJECT NO : 11439/2-0/ENGR PLANS/ L200LND DATE : JUNE 29, 2004 SCALE : 1"=40' DRAWING NO. 10 OF 35

- 2. All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- 3. Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- 4. Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- 5. Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
- 6. Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- 7. Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or XCupressacyparis leylandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- 8. Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- 9. Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- 10. Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- 11. All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- 12. Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- 13. Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.): top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yews): Top dress after planting with 1/4 to 1/2 cup lime each.
- 14. Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- 15. Weed & insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing chlorpyrifos to be used as a means of pest control.
- 16. Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid dessication.
- 17. Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- 18. All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.





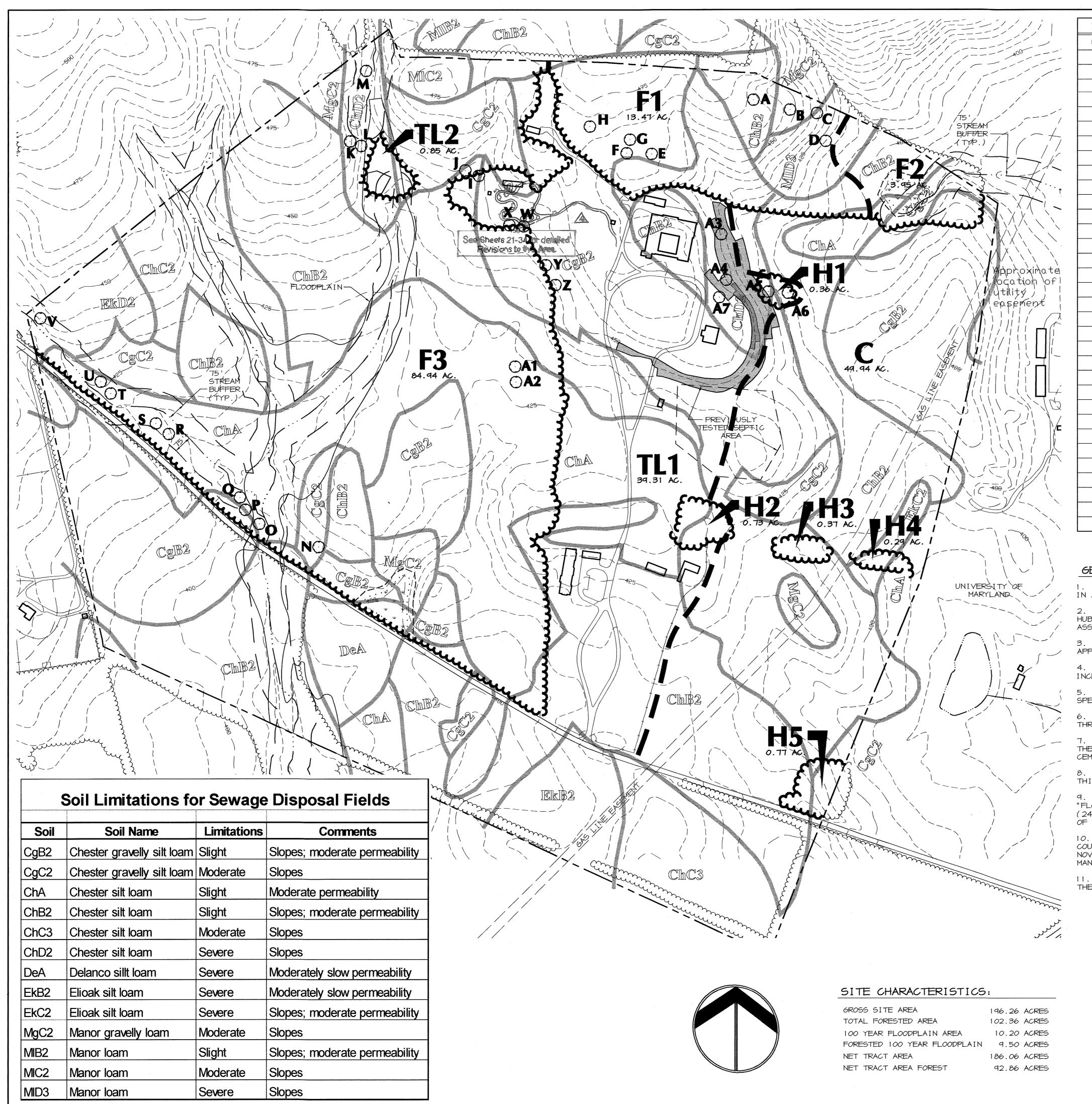




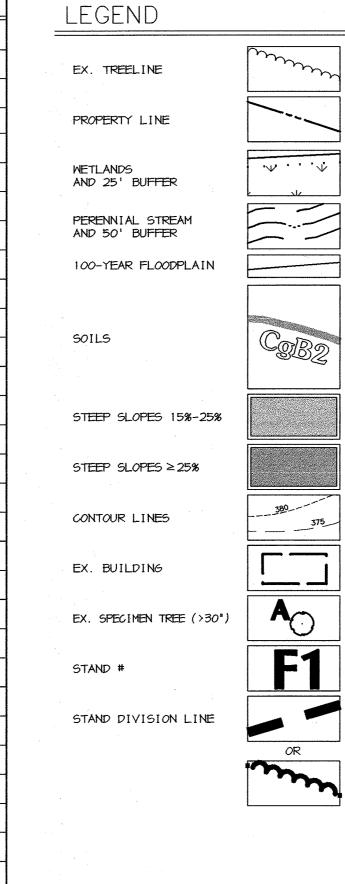
ASS BUILT CERTIFICATION

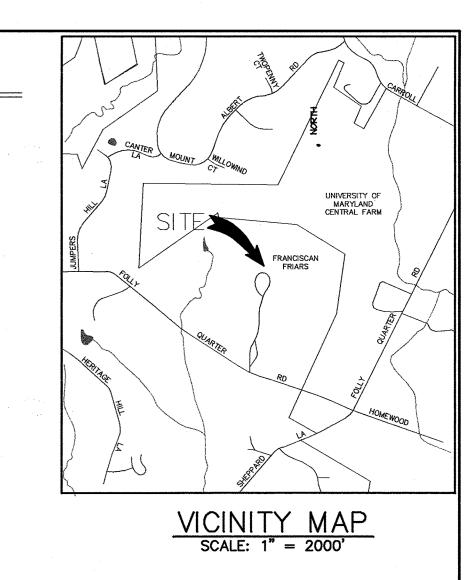
SCALE : AS SHOWN

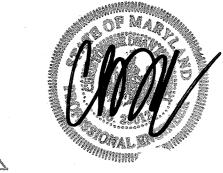




SPEC	IMEN TREE	CHART
KEY	SPECIES	SIZE
Α	TULIP TREE	32"
В	TULIP TREE (dbl)	45"
С	TULIP TREE	31"
D ·	TULIP TREE	33"
E	RED OAK	34"
F	TULIP TREE	32"
G	TULIP TREE	33"
Н	TULIP TREE	34"
l	TULIP TREE	33"
J	WHITE OAK	30"
K	RED OAK	38"
L	TULIP TREE	36"
М	RED OAK	30"
N	RED OAK	30"
0	TULIP TREE	31"
Р	TULIP TREE	36"
Q	TULIP TREE	30"
R	TULIP TREE	31"
S	TULIP TREE	30"
Т	RED MAPLE	34"
U	TULIP TREE	35"
V	TULIP TREE	40"
W	RED OAK	30"
х	RED OAK	30"
Υ	RED OAK	32"
Z	RED OAK	36"
A1	TULIP TREE	30"
A2	TULIP TREE	31"
А3	TULIP TREE	60"
A4	SYCAMORE	45"
A5	SUGAR MAPLE	41"
A6	SUGAR MAPLE	36"
A7	GREEN ASH	38"







AS BUILT CERIFICATION

## GENERAL NOTES:

IN ACCORDANCE WITH HOWARD COUNTY REGULATIONS.

2. THIS FSD IS BASED ON A FIELD INVESTIGATION BY GRAHAM HUBBARD, ENVIRONMENTAL TECHNICIAN OF PATTON HARRIS RUST & ASSOCIATES, pc ON SEPTEMBER 22 AND SEPTEMBER 24, 2003.

3. TREELINES SHOWN ARE BASED ON AERIAL SURVEY AND FIELD

4. THIS SITE CONTAINS ONE SOIL WITH POSSIBLE HYDRIC INCLUSIONS, DELANCO SILT LOAM (DeA).

5. NO CRITICAL HABITATS OF RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED.

6. NO TREES, SHRUBS, OR PLANTS IDENTIFIED AS RARE, THREATENED OR ENDANGERED SPECIES WERE OBSERVED.

7. THERE ARE NO KNOWN CEMETERY OR BURIAL PLOTS LOCATED ON THE SITE, ACCORDING TO THE HOWARD COUNTY HISTORIC \$ CEMETERY SITE MAP.

8. THIS SITE CONTAINS WETLANDS AND STREAMS, AS SHOWN ON

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S "FLOOD INSURANCE RATE MAP" FOR HOWARD COUNTY, MARYLAND (2400440021B, DECEMBER 4, 1986), APPROXIMATELY 10.20 ACRES OF 100-YEAR FLOODPLAIN ARE LOCATED ON THE SITE.

10. TWO STRUCTURES ON THE SITE ARE REGISTERED ON THE COUNTY HISTORIC STRUCTURES REGISTRY. THEY ARE THE NOVITIATE #132 AND THE RUINS OF FOLLY QUARTER MANOR/McTAVISH #16.

11. SPECIMEN TREES ARE PRESENT ON THE SITE AS SHOWN ON

;	A	lh	ic C. Renigh	6.22.	25
	AIME	EC	REMINGTON # 20023	DATE	<u> </u>
	APPRO	VED	: HOWARD COUNTY DEPARTMENT ZONING.	OF PLANNING	AN
			Tough affect	1/28	100
	DIRECT	OR	(ALTING) JI (	DA	TE
	/		Oklamm	7/14/2	yf.
	CHIEF,	DE	VELOPMENT ENGINEERING DIVISION	MK DA	TE
		11	ed. Hamole	7/26	l ex
	CHIEF,	DI	VISION OF LAND DEVELOPMENT	HB DA	TE
	7/23/21	4	REVISION TO ADD NEW PRAY!	er garden	
	DATE	NO.	REVISION		
	OWNER	₹ /	DEVELOPER		
			NOVITIATE OF FRANCISCAN MINOR CONVENTUALS OF MAR' 12290 FOLLY QUARTER ELLICOTT CITY, MARYLAND	YLAND, INC. ROAD	

	PLA	IN I COMMUNITY	I ADLE:
	KEY	DESCRIPTION	ACREAGE
•	F1	FOREST	13.47 Ac.
	F2	FOREST	3.95 Ac.
	F3	FOREST	84.94 Ac.
	H1	HEDGEROW	0.36 Ac.
	H2	HEDGEROW	0.73 Ac.
	НЗ	HEDGEROW	0.37 Ac.
	H4	HEDGEROW	0.29 Ac.
	H5	HEDGEROW	0.77 Ac.
	C	CROPS	49.94 Ac.
	TL1	TREES / LAWN	39.31 Ac.
	TL2	TREES / LAWN	0.85 Ac.
	IMP	IMPERVIOUS LAND	1.28 Ac.
•			

PLANT COMMUNITY TARLE

	1 1-/1	TI COMMONTALIA	1/12
	KEY	DESCRIPTION	ACREAGE
•	F1	FOREST	13.47 Ac.
	F2	FOREST	3.95 Ac.
	F3	FOREST	84.94 Ac.
	H1	HEDGEROW	0.36 Ac.
	H2	HEDGEROW	0.73 Ac.
	H3	HEDGEROW	0.37 Ac.
	H4	HEDGEROW	0.29 Ac.
	H5	HEDGEROW	0.77 Ac.
	C	CROPS	49.94 Ac.
	TL1	TREES / LAWN	39.31 Ac.
	TL2	TREES / LAWN	0.85 Ac.
	IMP	IMPERVIOUS LAND	1.28 Ac.
•		TOTAL	196.26 Ac.

FRANCISCAN FRIARS PARKING ADDITION

AREA TAX MAP 22 PARCEL 46 ZONED RC-DEO 3rd ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

## FOREST STAND DELINEATION



SCOTT R. WOLFORD, R.L.A. #797

DESIGNED BY: GTH DRAWN BY: PROJECT NO : 11439-1-0 L200FSD.DWG DATE: JUNE 29, 2004

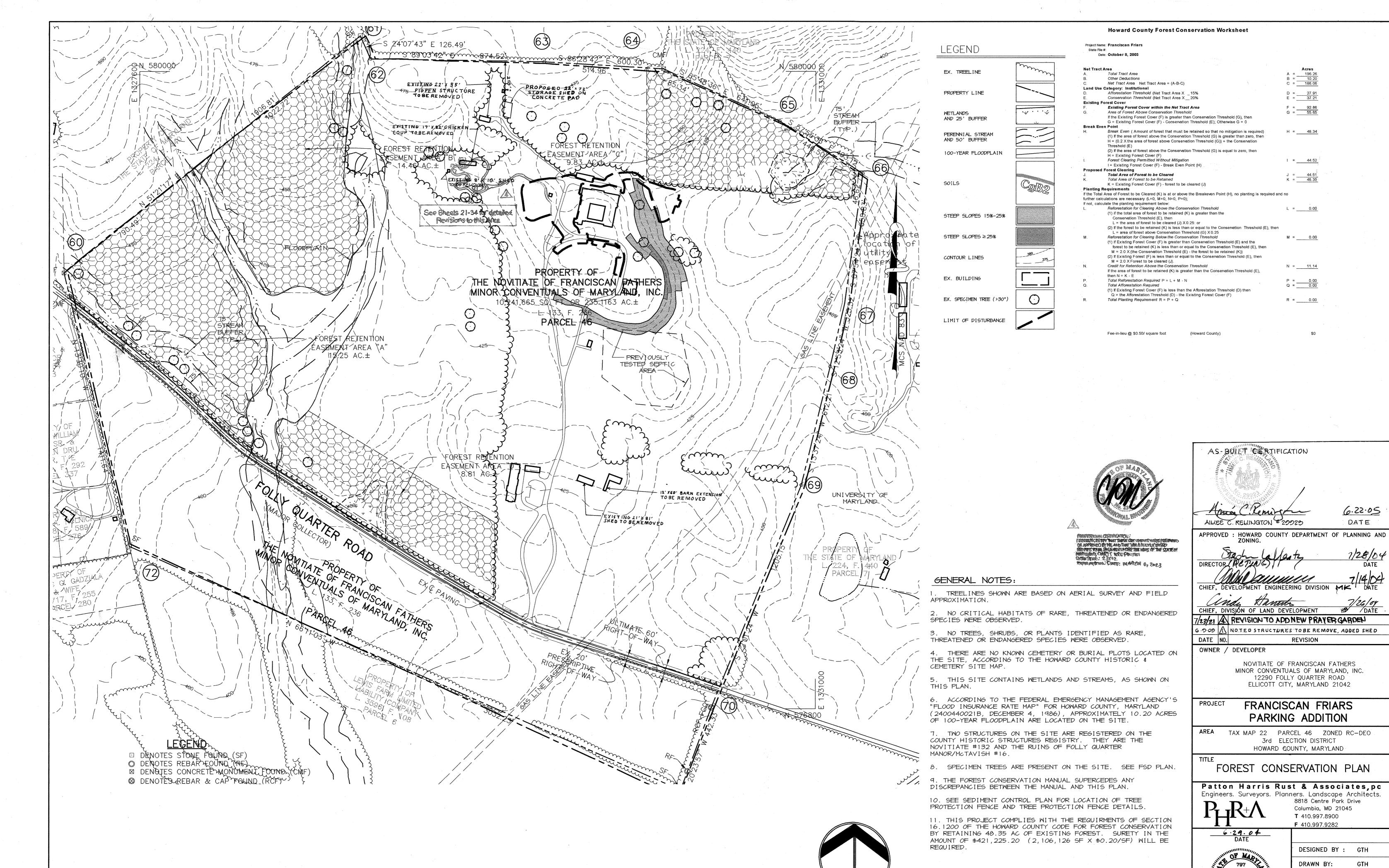
**T** 410.997.8900 **F** 410.997.9282

8818 Centre Park Drive Columbia, MD 21045

SDP-04-64

DRAWING NO. 12 OF 35

SCALE : 1" = 200'

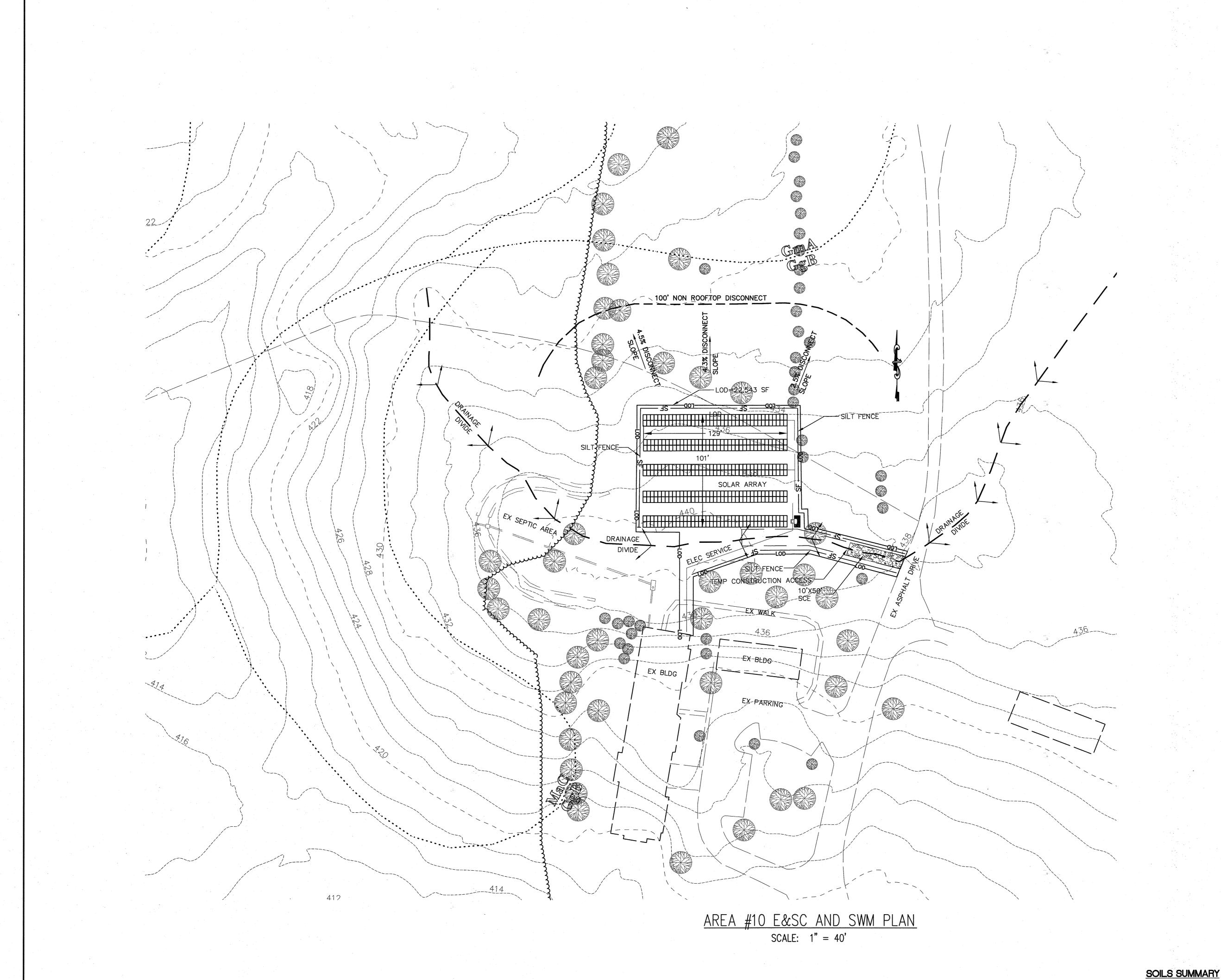


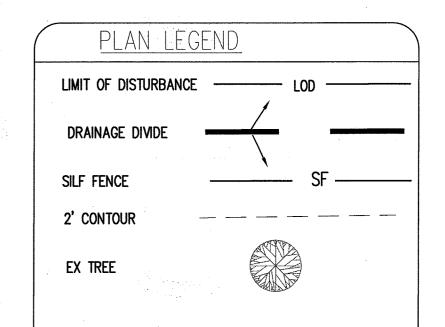
PROJECT NO : 11439-1-0 L200FCON.DWG

DRAWING NO. 13 OF 35

DATE: JUNE 29, 2004

SCALE : 1" = 200'





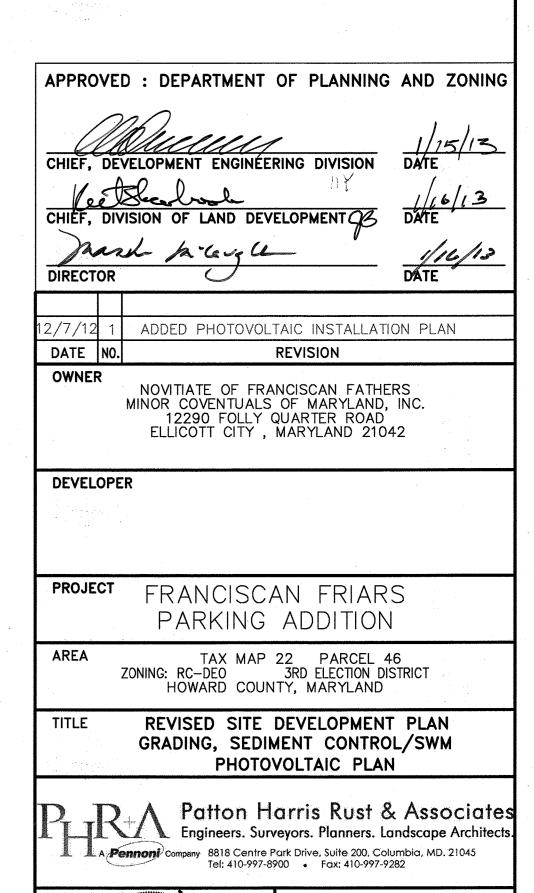
PRIOR TO VEHICLES LEAVING THE SITE, WHEELS SHALL BE CLEANED OR WASHED TO REMOVE SEDIMENT. ALL SEDIMENT SPILLED, DROPPED OR TRACKED ONTO ROAD MUST BE REMOVED IMMEDIATELY BY VACUUMING, SCRAPING OR SWEEPING. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS TO AN APPROVED SEDIMENT CONTROL DEVICE.

### SITE STABILIZATION AND SEEDING:

- TOPSOIL, SEED, FERTILIZE, LIME AND STABILIZE WITH STRAW ALL DISTURBED AREAS FLATTER THAN 3:1 SLOPE. SEED, FERTILIZE, LIME AND STABILIZE WITH SLOPE PROTECTION MATTING ALL DISTURBED AREAS THAT ARE STEEPER THAN A
- 3:1 SLOPE
   TOPSOIL, SEED MIXTURE AND APPLICATION SHALL BE IN CONFORMANCE WITH PERMANENT SEEDING SUMMARY

## SEQUENCE OF CONSTRUCTION

- 1. OBTAIN ALL REQUIRED PERMITS. SCHEDULE AND ATTEND THE PRECONSTRUCTION MEETING. (1 DAY)
- 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT EDGE OF EXISTING PAVEMENT OFF PRIVATE DRIVE. (1 DAY)
- 3. INSTALL PERIMETER SILT FENCE. (1 WEEK)
- 5. WITH INSPECTORS APPROVAL BEGIN INSTALLATION OF SOLAR ARRAY.
- 6. AS ARRAY IS INSTALLED STABILIZE WITH PERMANENT SEEDING.
- 12. WITH PERMISSION OF COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES.



SEAL OF MANAGEMENT OF MANAGEME

DESIGNED BY : JAR

DRAWN BY: JN

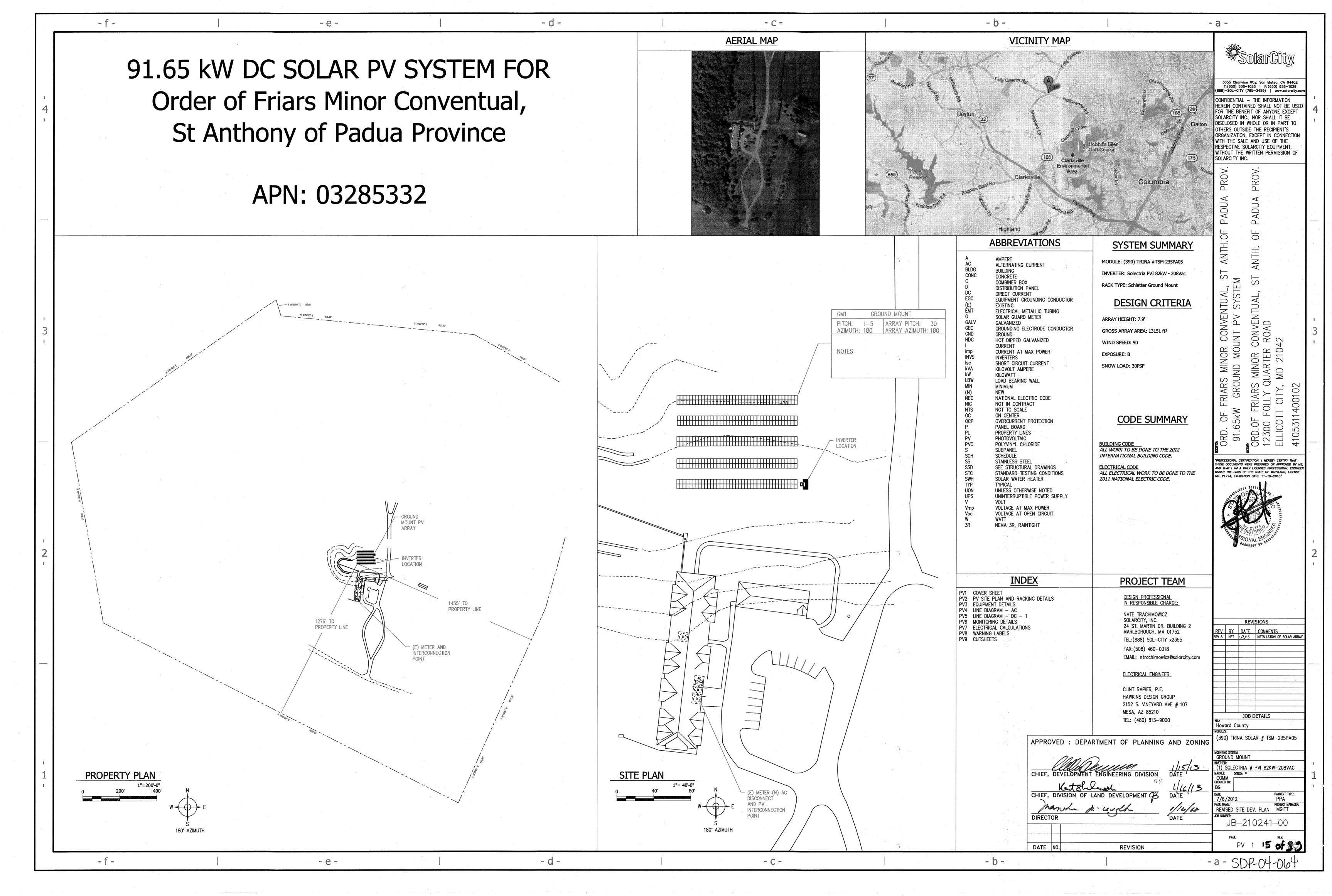
PROJECT NO : SOLR1205

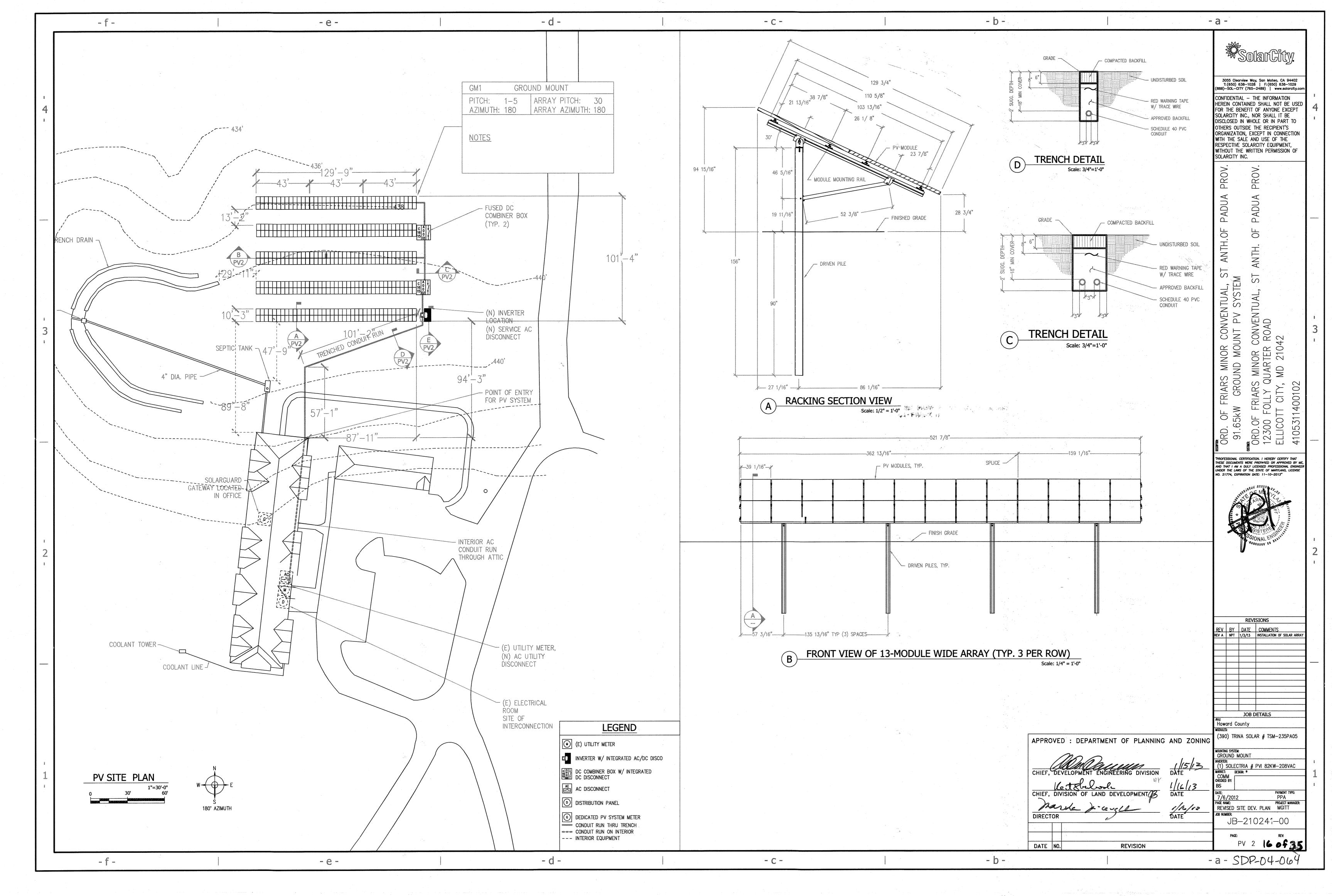
SCALE :1"=40'

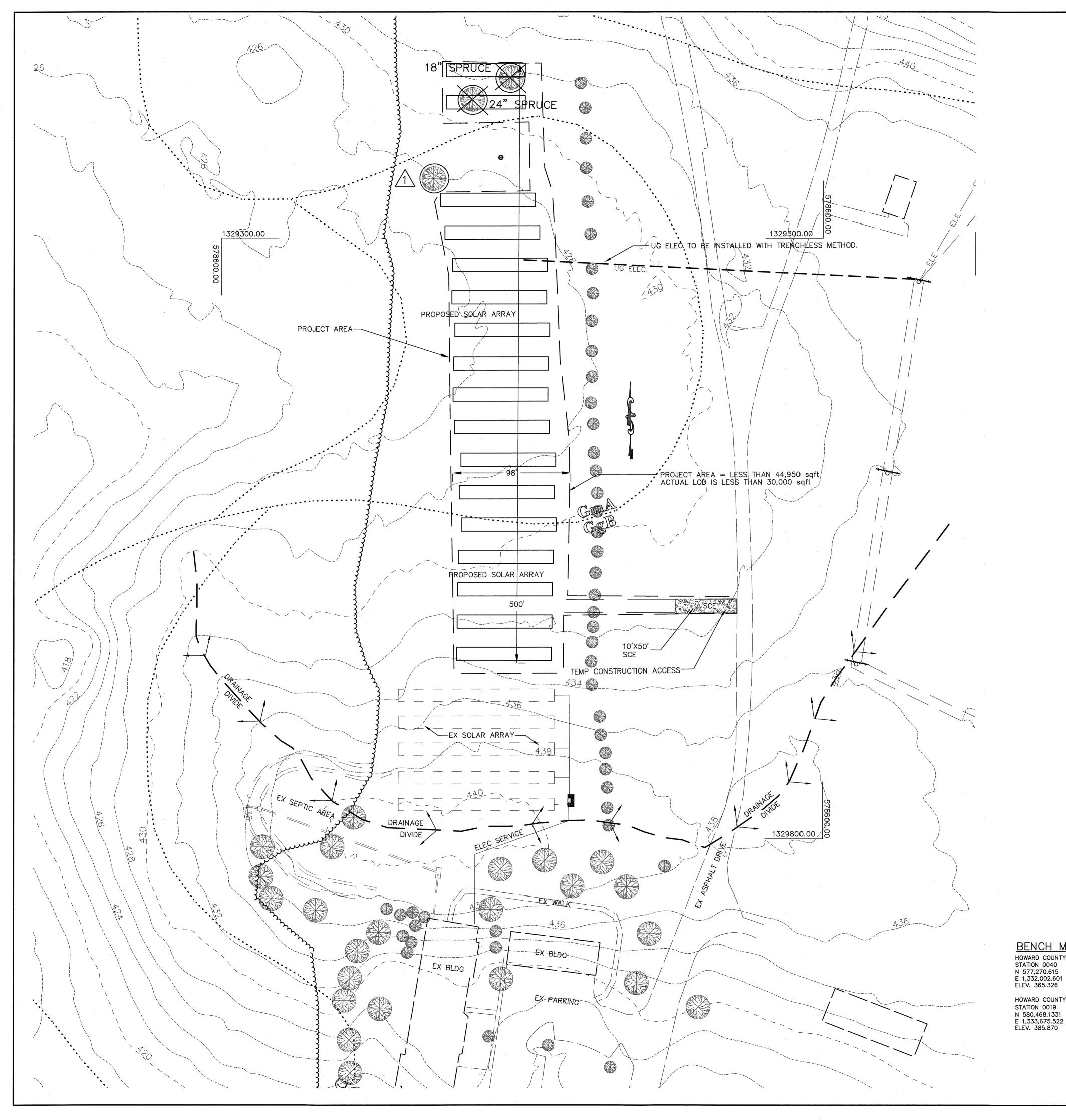
DRAWING NO. 14 OF 35

DATE: 12/6/12

• GgB - Glenelg Loam - B soils Type







PRIOR TO VEHICLES LEAVING THE SITE, WHEELS SHALL BE CLEANED OR WASHED TO REMOVE SEDIMENT. ALL SEDIMENT SPILLED, DROPPED OR TRACKED ONTO ROAD MUST BE REMOVED IMMEDIATELY BY VACUUMING SCRAPING OR SWEEPING. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS TO AN APPROVED SEDIMENT CONTROL DEVICE.

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- TOPSOIL, SEED MIXTURE AND APPLICATION SHALL BE IN CONFORMANCE WITH PERMANENT SEEDING SUMMARY

## SEQUENCE OF CONSTRUCTION

1. OBTAIN ALL REQUIRED PERMITS. SCHEDULE AND ATTEND THE PRECONSTRUCTION MEETING. (1 DAY)

2. INSTALL STABILIZED CONSTRUCTION ENTRANCE AT EDGE OF EXISTING PAVEMENT OFF PRIVATE DRIVE. (1 DAY)

3. WITH INSPECTORS APPROVAL BEGIN INSTALLATION OF SOLAR ARRAY.

4. AS ARRAY IS INSTALLED STABILIZE WITH PERMANENT SEEDING.

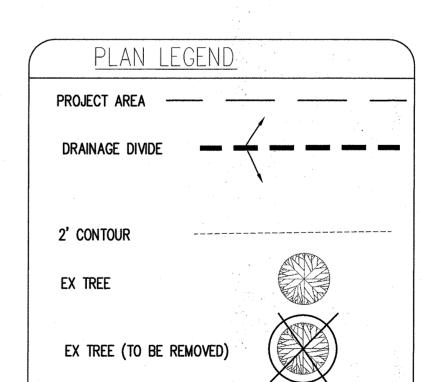
5. WITH PERMISSION OF COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES.

## PURPOSE STATEMENT

THE PURPOSE OF THE REDLINE REPLACEMENT SHEET IS TO EXPAND THE EXISTING SOLAR ARRAY.

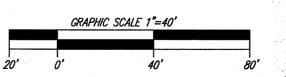
## SOILS SUMMARY

- GgB Glenelg Loam B soils Type
- GmA Glenville Silt Loam A soils Type



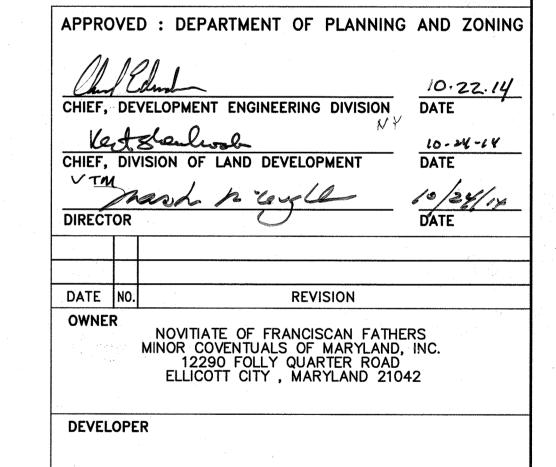
BENCH MARK HOWARD COUNTY CONTROL STATION 0040 N 577,270.615

HOWARD COUNTY CONTROL STATION 0019 N 580,468.1331 E 1,333,675.522



PHASE II PHOTOVOLTAIC PLAN

SCALE: 1" = 40'



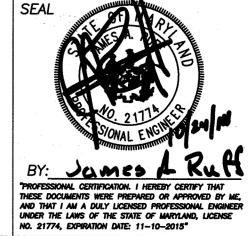
FRANCISCAN FRIARS PARKING ADDITION

TAX MAP 22 GRID 24 PARCEL 46
ZONING: RC-DEO 3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

REVISED SITE DEVELOPMENT PLAN GRADING, SEDIMENT CONTROL/SWM

PHOTOVOLTAIC PLAN - PHASE II

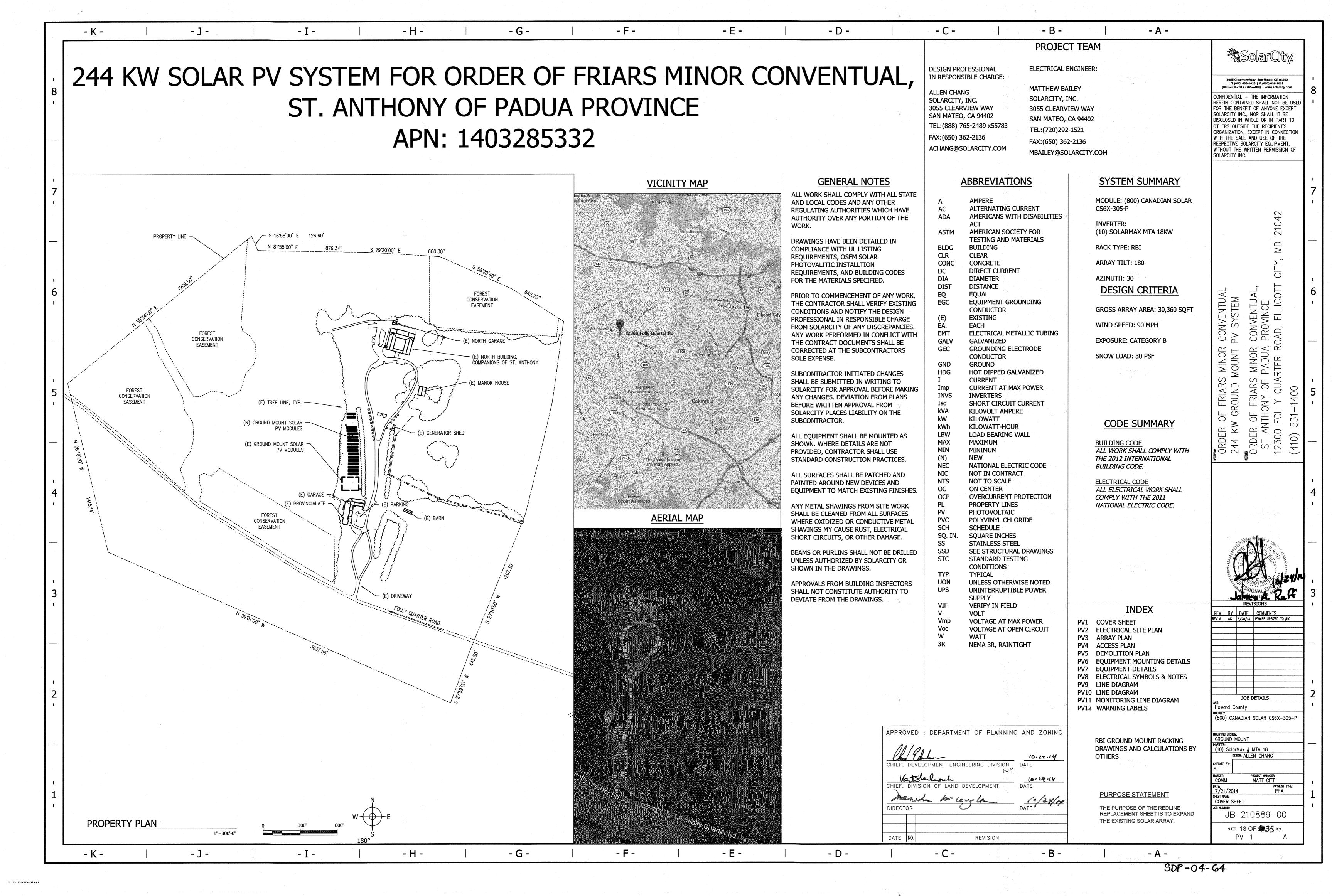
Patton Harris Rust & Associates Engineers. Surveyors. Planners. Landscape Architects. 8818 Centre Park Drive, Suite 200, Columbia, MD. 21045
Tel: 410-997-8900 • Fax: 410-997-9282

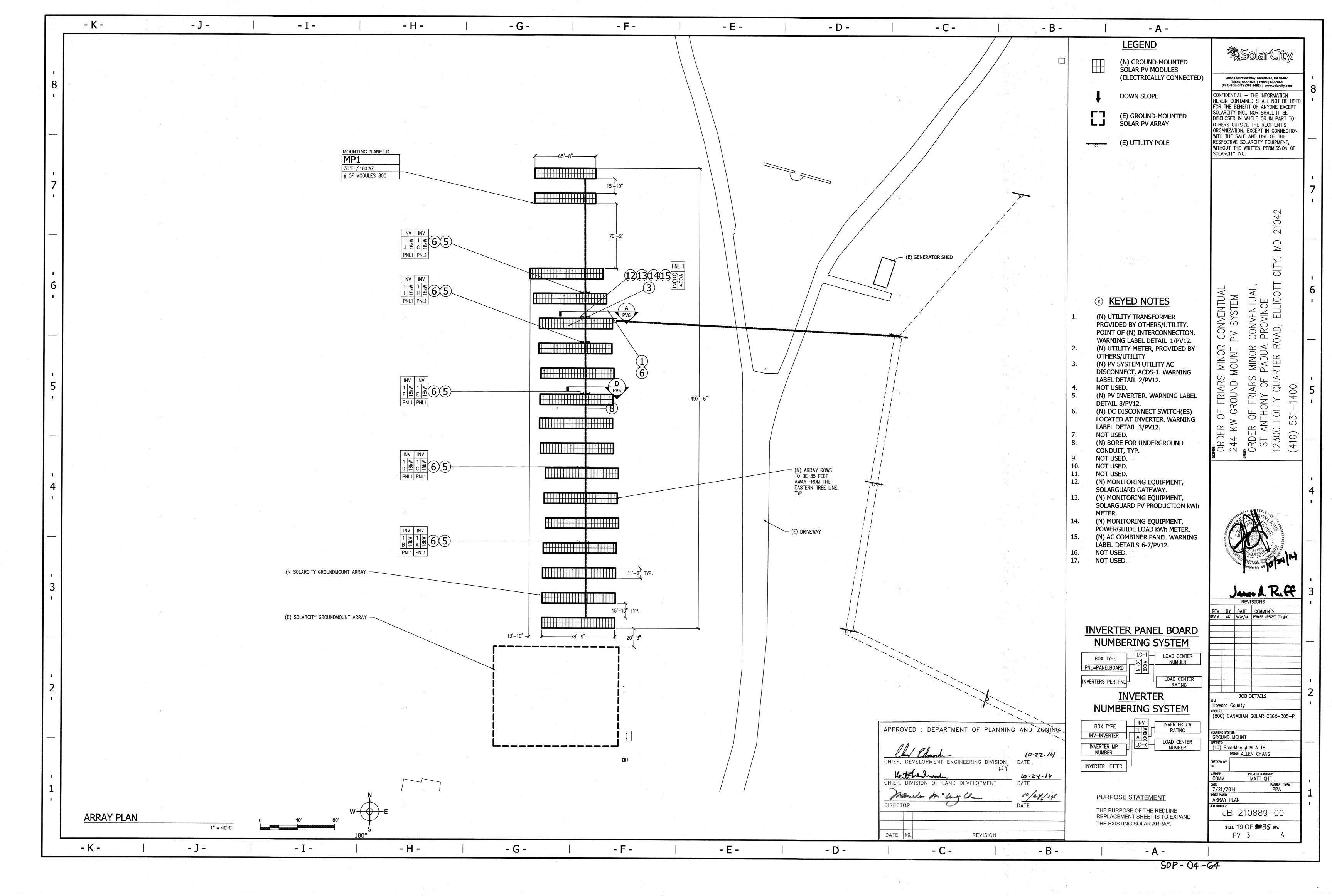


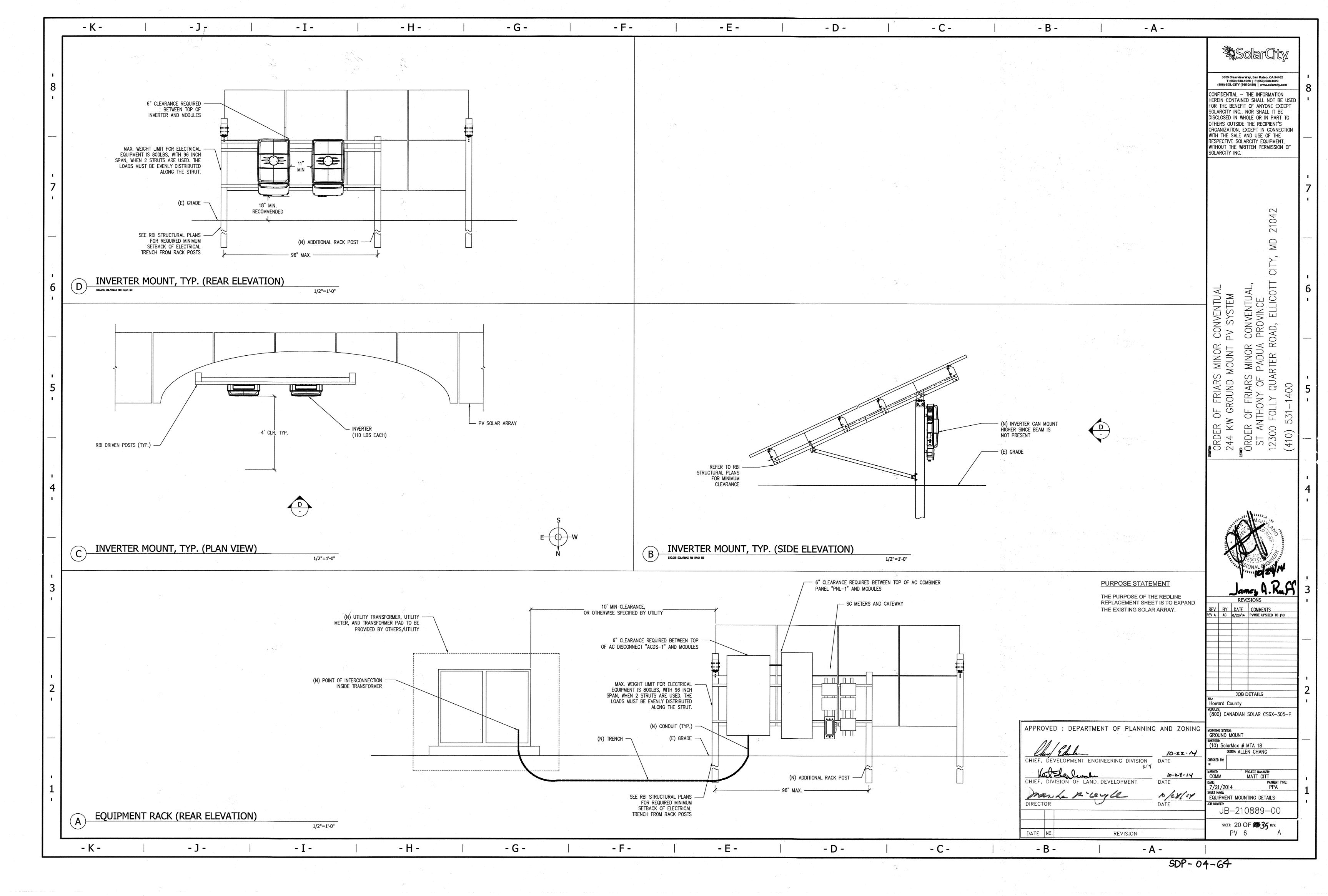
DESIGNED BY : JAR DRAWN BY: JN PROJECT NO : SOLR1205

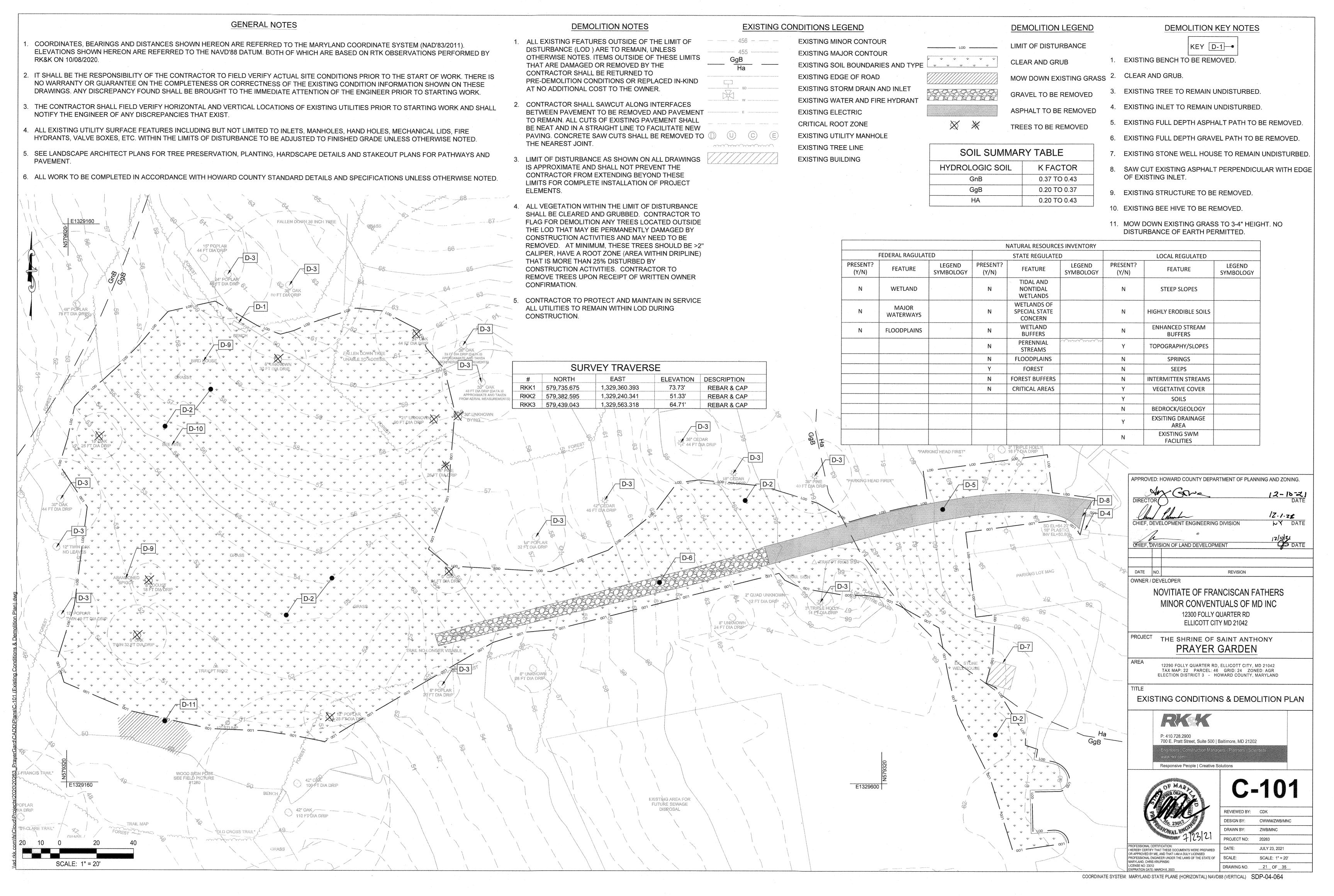
DATE: 10/17/14 SCALE :1"=40'

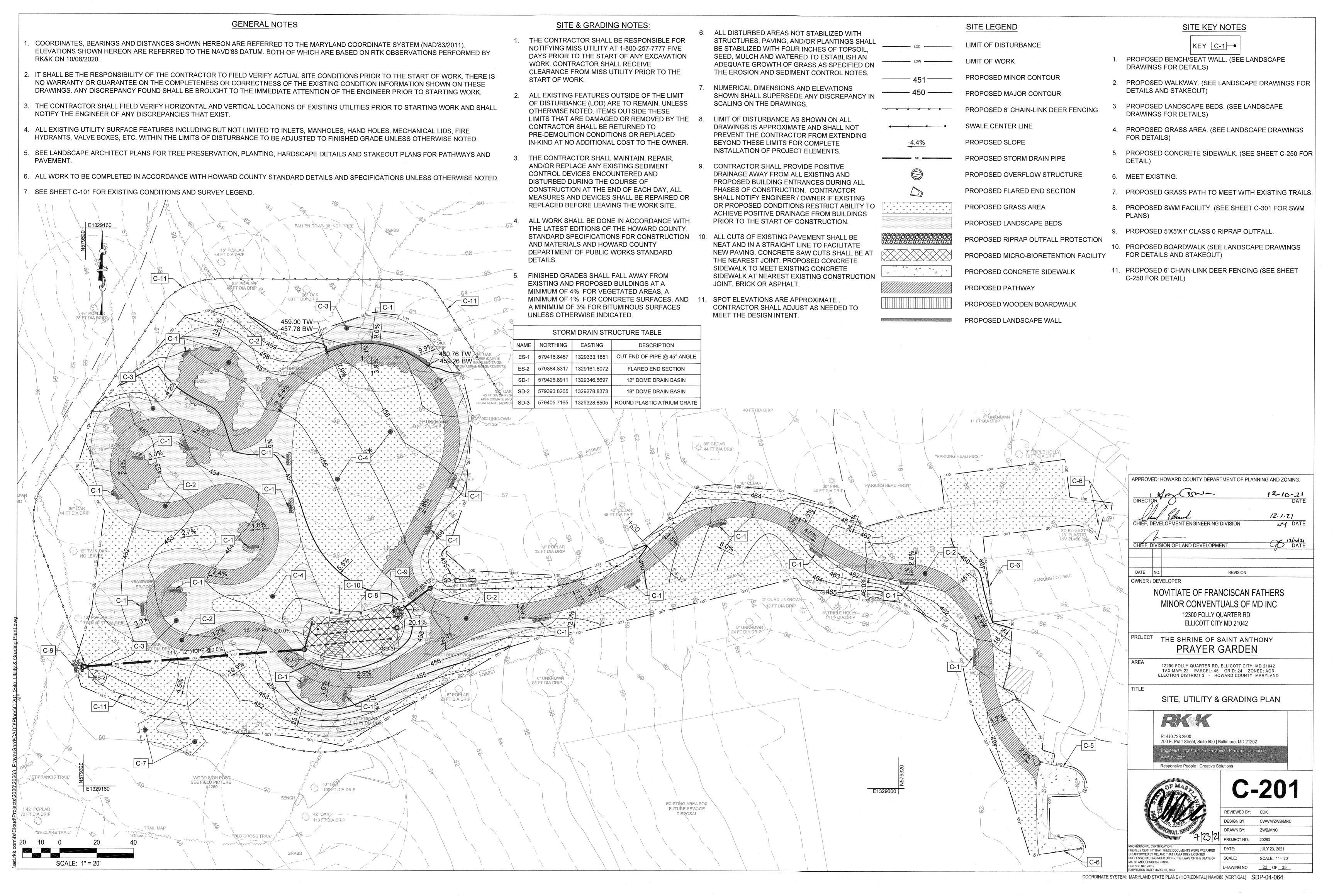
DRAWING NO. 17 OF 203

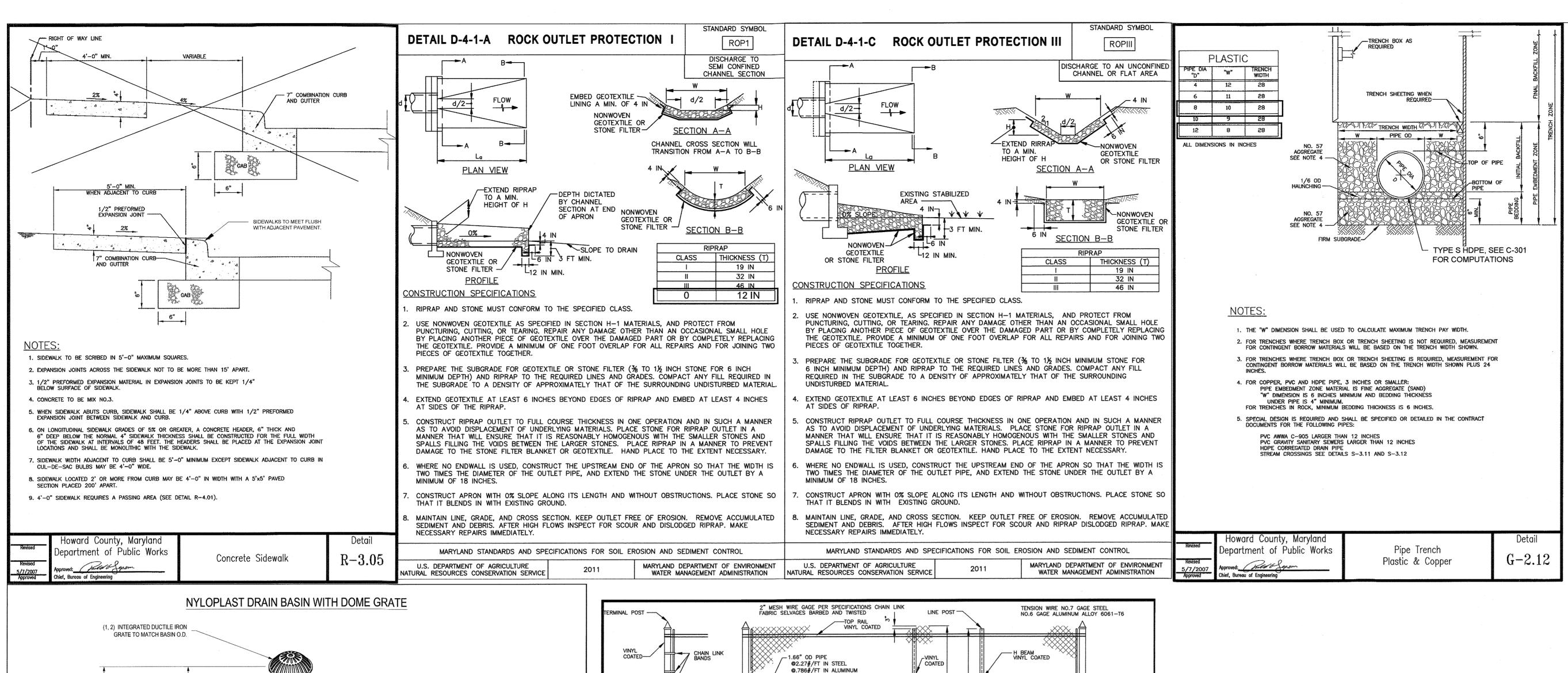


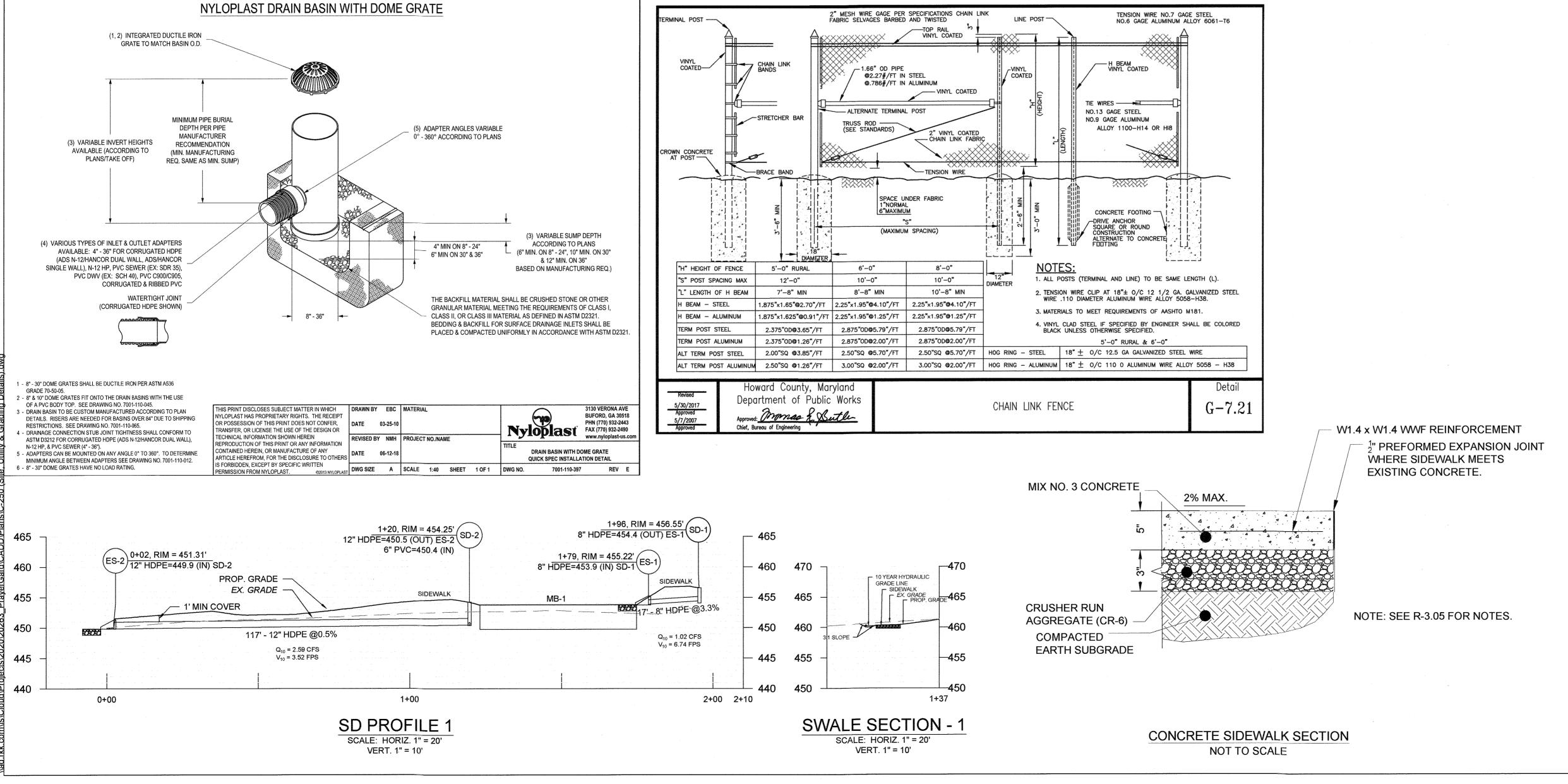








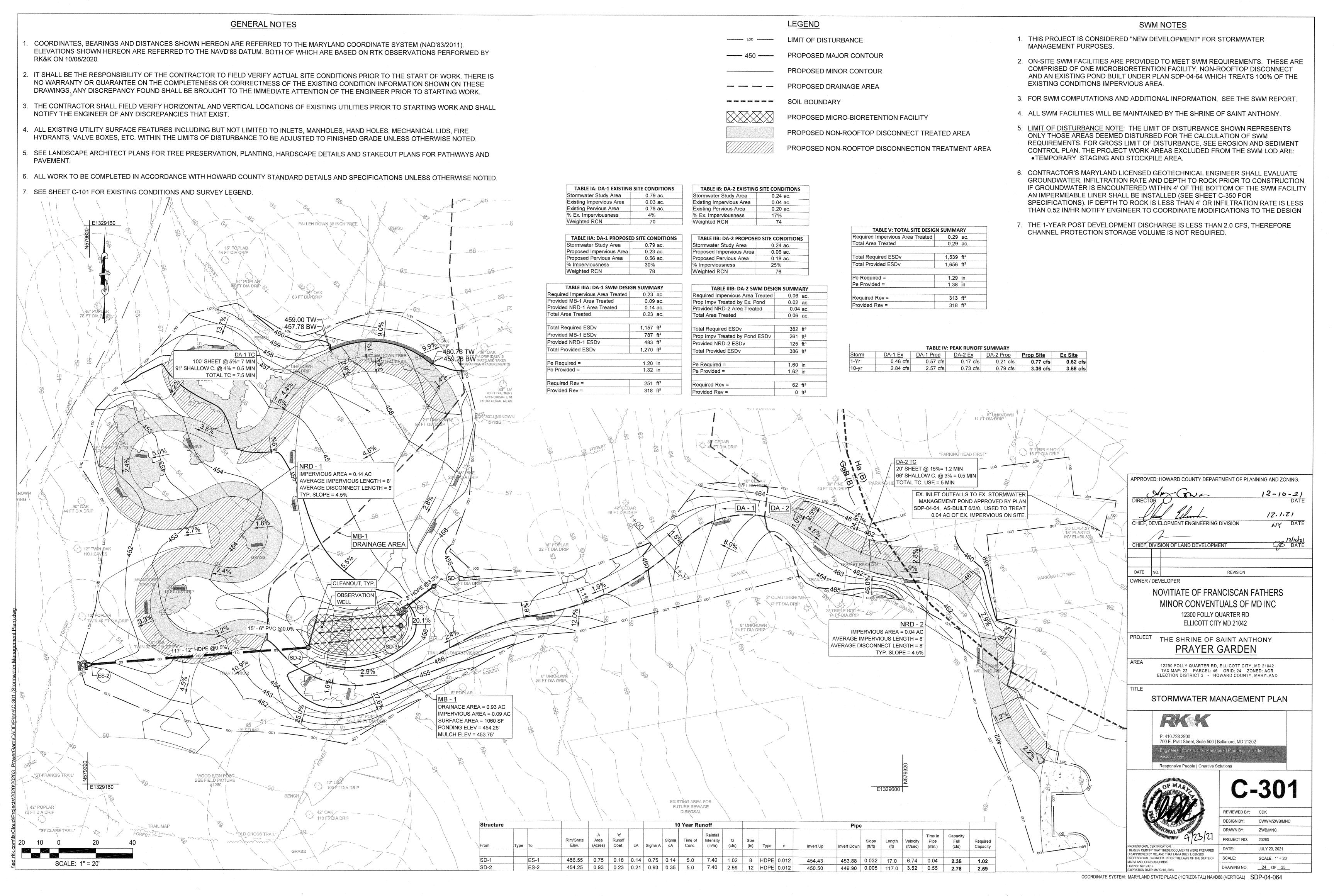






APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

12-10-21



### AS-BUILT DATA FOR MICRO-BIORETENTION \*TO BE COMPLETED BY THE CONTRACTOR'S CERTIFYING ENGINEER FACILITY NAME: MICRO-BIORETENTION FACILITY 1 - MB-1 FEATURE \*AS-BUILT **OVERFLOW INLET ELEVATION** 454.25 FT. SURFACE AREA 1,060 SF. FILTER BED DIMENSIONS (L X W X D) 45' x 21' x 4.33' FILTER BED SURFACE ELEVATION 453.75 FT. **OUTLET PIPE SIZE / INVERT** 12 IN. / 450.40 FT. ELEVATION OF BERM 454.75 FT. UNDERDRAIN PIPE SIZE / INVERT 6 IN. / 450.4 FT. THICKNESS OF FILTER MEDIA 2 FT. WEIR WALL ELEVATION ABOVE BED N/A PLANTINGS SEE LANDSCAPING DWGS **GEOTEXTILE** PE TYPE 1 NON-WOVEN, SIDES ONLY COMPOSITION OF FILTER MEDIA SEE TABLE B.4.1 **OBSERVATION WELL WITH DEPTH TO** 4.63 FT. FILTER BOTTOM INDICATED ON CAP **OVERFLOW INLET STRUCTURE** N: 579393.8265 LOCATION: MD STATE PLANE E: 1329278.8373 COORDINATES NAD 83

### STORMWATER MAINTENANCE SCHEDULE **BIORETENTION**

тизресион ист	requestly of inspection	Inspection Requirements	Remedial Action
Bioretention Basin	Seasonally and after a major storm		A STATE OF THE STA
Dewatering		Facility must dewater within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions, and inadequate dewatering of the facility.	The top three inches of soil should be removed and replaced with soil material as per plan specifications. Follow inspections must confinadequate dewatering, the facility does not function as intended af the above action, the entire filter and underdrain system may need maintenance. MI approval may be necessary.
Mulch Layer		Check mulch for adequate cover, sediment accumulation, or discoloration.	Replace and remove of mulch and excess sediments. Provide adequate mulch cover according to approved design.
Vegetative Surfaces	Monthly		
Plant Composition and Health		Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove and replace plants in accordance w plan specifications.
Vegetative Cover and Erosion		Check for evidence of erosion, runoff channelizing, or bare spots.	Re-seed or re-plant in accordance with approved landscaping plans. Re-grading may be required when concentrated flow caus rills or gullying through the facility.
Debris and Trash Cleanout	Monthly	Check that the facility is clean of trash and debris. Inlets, outlets, and contributing areas around the facility must be checked.	Trash and debris must disposed of in an acceptable manner according to current regulations.
Structural Components	Annually	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures must be in good condition.	Repair to good condition according to specifications on the approved plans.
Outlets	Seasonally and after a major storm	Check for evidence of erosion, rills, or gullying.	Stabilize all eroded are and grade to provide stable conveyance.
		Riprap outlet must be maintained in good functional condition.	Repair according to approved plan.
Pretreatment Forebays	Seasonally and after a major storm		
Sediment Accumulation		Check for sediment accumulation in the forebay.	When the forebay depth is less than half the proposed design, sediment must be removed and the foreba restored according to the approved design.
Sand Layer		Check sand for staining and sediment accumulation	Replace first three inch of sand layer with sand materials per plan specifications.
Gravel Diaphragm		Check gravel diaphragm for sediment accumulation and evidence of erosion	Stabilize or replace gravel according to plan specifications.
Grass Channel Conveyance Systems	Seasonally and after a major storm	Check for erosion, flow blockages, and stable conveyance	Stabilize and grade according to approved plan.
Overall Function of the Facility	Annually	Check that flow splitters are functioning as designed and that bypass is operating as designed.	Construction must be in accordance with approved plans.

Field conditions may require a modification to the original approval in order to achieve the intended design function. Contact MDE's Sediment and Stormwater Management Plan Review Division at 410-537-3563 for review and approval of proposed modifications.

## MICRO-BIORETENTION NOTES

- BIORETENTION MATERIALS AND CONSTRUCTION SHALL MEET HOWARD COUNTY CONSTRUCTION SPECIFICATION FOR SHALLOW FACILITY.
- TREES AND PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH LANDSCAPE PLANS. ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL
- THE UNDERDRAIN SHALL BE 6-INCH DIAMETER SCHEDULE 40 OR STRONGER PERFORATED PVC PIPE AT 0.00% SLOPE. PERFORATIONS MUST BE 3/8 INCH IN DIAMETER AND MUST BE LOCATED 6 INCHES ON CENTER, EVERY 90 DEGREES AROUND THE PIPE
- WRAP THE PERFORATED MBR UNDERDRAIN PIPE WITH 1/4" MESH (4x4) OR SMALLER GALVANIZED HARDWARE CLOTH.
- PROVIDE 5' MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFORATED PIPE THROUGH STONE RESERVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL MICRO-BIORETENTIONS.
- BOTTOM OF FACILITY SHALL BE AT LEAST 2' ABOVE SEASONAL HIGH WATER TABLE AND BEDROCK AS DETERMINED BY GEOTECHNICAL INVESTIGATION.
- 7. THE GRAVEL LAYER/ STONE RESERVOIR LAYER SURROUNDING THE UNDERDRAIN PIPE(S) MUST MEET AASHTO M-43. AND MUST PROVIDE A MINIMUM OF 6 INCHES COVER OVER THE PIPE(S), AND MINIMUM 3 INCHES UNDER THE PIPE
- NO GEOTEXTILE OR FILTER FABRIC IS ALLOWED TO BE PLACED HORIZONTALLY ANYWHERE WITHIN THE FILTER
- SEE TABLE B.4.1 MATERIALS SPECIFICATIONS FOR MICRO-BIORETENTION.

## **IN-SITU INFILTRATION TEST**

AT COMPLETION OF CONSTRUCTION, FOR EACH SWM FACILITY. THE CONTRACTOR SHALL PERFORM AN IN-SITU INFILTRATION TEST ON THE INSTALLED SWM SOILS USING MDE SPEC DETAILED IN "APPENDIX D.1 TESTING REQUIREMENTS FOR INFILTRATION BIORETENTION AND SAND FILTER SUBSOILS" IN THE "MARYLAND STORMWATER DESIGN MANUAL", AND SUPPLEMENTS, FOR INFILTRATION TEST. THE SWM FACILITY WILL NOT BE ACCEPTED UNTIL THE CONTRACTOR HAS DOCUMENTED VIA THE INFILTRATION TESTS THAT THE COMPLETED FACILITY ACHIEVES A MINIMUM INFILTRATION RATE OF 0.52 IN/HR, INCLUDING DURING THE 2-YEAR WARRANTY PERIOD. THE TEST SHALL BE PERFORMED 8 INCHES BELOW THE SURFACE OF THE MICRO-BIORETENTION FACILITY.

## CONTRACTOR AS-BUILT NOTE

Appendix B.4. Construction Specifications for Environmental Site Design Practices

Specification

AS-BUILT PLANS AND CERTIFICATION ARE REQUIRED FOR THIS STORMWATER MANAGEMENT FACILITY. THESE MUST BE PREPARED AND SEALED BY A REGISTERED PROFESSIONAL ENGINEER, OBTAINED BY THE CONTRACTOR. HOWARD COUNTY OR THE OWNER'S ENGINEER WILL NOT PERFORM INSPECTION OR PREPARE THE AS-BUILT PLANS OR CERTIFICATION. THE STORMWATER MANAGEMENT PERMIT SECURITY WILL NOT BE RELEASED UNTIL THE AS-BUILT PLANS AND CERTIFICATION ARE APPROVED BY HOWARD COUNTY.

IN ORDER TO PREPARE THE REQUIRED AS-BUILT PLANS AND CERTIFICATION, THIS STORMWATER MANAGEMENT FACILITY MUST BE INSPECTED BY THE CONTRACTOR'S ENGINEER AT SPECIFIC STAGES DURING CONSTRUCTION AND AS REQUIRED BY THE CURRENT HOWARD COUNTY STORMWATER MANAGEMENT POLICY AND DESIGN MANUAL. THE CONTRACTOR SHALL NOTIFY THE CONTRACTOR'S ENGINEER AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY WORK SHOWN ON THESE PLANS.

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration-

AASHTO-M-6 or ASTM-C-33 | 0.02" to 0.04"

## CLEANOUT 3" MULCH LAYER -6" PVC SCH. 40 ( SOLID WALL) BIORETENTION SOIL MIXTURE (BSM) -PEA GRAVEL CONNECT TO 6" PVC PERF. UNDERDRAIN UNDERDRAIN GRAVEL WITH 6" ELBOW, PROVIDE 3" MIN OF GRAVEL BEDDING. VARIES, SEE PLAN MICROBIORETENTION CLEANOUT DETAIL

N.T.S.

PONDING

(ELEV A)

454.25

**FACILITY** 

MB-1

TOP OF MULCH

LAYER (ELE. B)

453.75

453.50

ROUND PLASTIC-ATRIUM GRATE 6" PONDING 6" PONDING DEPTH DEPTH LAYER ELEV. ELEV. ELEV ( 2' FLANTING SON (SEE PLANTING SON 2<sup>°</sup> PLANTING SOIL (SEE PLANTING SOIL CHARACTERISTICS CHARACTERISTICS) -PROVIDE FILTER-PROVIDE FILTER-FABRIC (SIDE GNLY) FABRIC (SIDE ONLY) -6" SOLD PVC 4" FEA GRAVEL-4" PEA GRAVEL-(1/8"-3/8" STONE)(1/8"-3/8" STUNE) Committee of the second (SEE PROFILE) THROUGH STONE WASHED STONE RESEVOIR ADDITIONAL AUDITIONAL STONE (REV) STONE (REV) 40% VOIDS (SEE PLANS) TO OUTFALL MICRO-BIORETENTION (UNDERDRAIN) MICRO-BIORETENTION (OVERFLOW)

451.50

449.12

MICROBIORETENTION NOTES ONLY THE SIDES OF MICROBIORETENTION ARE TO BE WRAPPED IN FILTER FABRIC FILTER FABRIC BETWEEN LAYER OR AT THE BOTTOM OF THE MICROBIORETHTION WILL CAUSE THE MOR TO FAIL, AND THERFORE SHALL NOT BE INSTALLED.
WRAP THE PERFORATED MBR UNDERDRAIN PIPE WITH 1/4" MESH (4x4) OR SMALLER

GALVANIZED HARDWARE CLOTH " MINIMUM SPACING BETWEEN UNDER DRAIN AND PERFERATED PIPE THROUGH STONE

RESERVOIR OR SPACE PIPE EQUALLY ACROSS BOTTOM FOR SMALL BIOS. (SEE PLANS)

451.17

MICROBIORETENTION DATA **BOTTOM OF CHOKER** 12" #57 **BOTTOM OF OUTLET PIPE** TOP OF BIORETENTION BOTTOM OF BSM/ TOP OF LAYER/ TOP OF **EXISTING GRADE** STONE ELEV. MICRO-BIORETENTION INV. ELEV SOIL (BSM)- (ELEV. C) RESERVOIR LAYER CHOKER LAYER (ELEV.D) (ELEV. I) (ELEV.F) FACILITY (ELEV. G) (ELEV. H) (ELEV.E)

450.17

WITH 2" SQUARE FLUSH IN PAVEMENT AREAS TOP OF MULCH IN BIORETENTION FACILITY. 3" FROM TOP OF MULCH TO TOP OF CO. CLEANOUT 0 0 PIPE SEAL GASKET 0 - 6" PERFORATED **PVC SCHEDULE 40**  $\circ$ --- 18" x 18" x 0.25" STEEL FOOTPLATE NOTES

THD BRASS

1. OBSERVATION WELLS (6" PVC SCH. 40 PIPE) SHALL BE PLACED IN THE FACILITY AT THE LOCATIONS INDICATED ON THE PLAN SHEETS.

2. THE WELL IS TO BE CAPPED USING A THREADED PVC FITTING AND SEWER CAP WITH A 2 INCH SQUARE LUG. THE DEPTH OF THE FACILITY IS TO BE MARKED ON

- 3. THE BOTTOM OF THE BIORETENTION FACILITY SHALL BE GRADED FLAT.
- 4. ENTIRE BARREL OF OBSERVATION WELL IS TO BE WRAPPED IN GEOTEXTILE.

**DETAIL - OBSERVATION WELL** SCALE: N.T.S.

see Appendix A, Table A.4 Planting soil loamy sand (60 - 65%) & USDA soil types loamy sand or sandy loam; clay content < 5% [2' to 4' deep] compost (35 – 40%) sandy loam (30%), coarse sand (30%) & compost (40%) Min. 10% by dry weight Organic content (ASTM D 2974) shredded hardwood aged 6 months, minimum; no pine or wood chips Pea gravel diaphragm pea gravel: ASTM-D-448 NO. 8 OR NO. 9 (1/8" TO 3/8") Curtain drain stone: 2" to 5' ornamental stone: washed eotextile PE Type 1 nonwoven Gravel (underdrains and AASHTO M-43 NO. 57 OR NO. 6 infiltration berms) AGGREGATE (3/8" to 3/4") Underdrain piping F 758, Type PS 28 or AASHTO | 4" to 6" rigid schedule 40 | Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per M-278 PVC or SDR35 row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth Poured in place concrete (if MSHA Mix No. 3;  $f'_{c} = 3500$  n/a on-site testing of poured-in-place concrete required: psi @ 28 days, normal weight, 28 day strength and slump test; all concrete design (cast-in-place air-entrained; reinforcing to or pre-cast) not using previously approved State or local meet ASTM-615-60 standards requires design drawings sealed and approved by a

> professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading

[H-10 or H-20]; allowable horizontal loading (based on soil

Sand substitutions such as Diabase and Graystone (AASHTO)

#10 are not acceptable. No calcium carbonated or dolomitic sand

substitutions are acceptable. No "rock dust" can be used for sand.

pressures); and analysis of potential cracking

VARIES 8' MIN. -PROPOSED SEE PLAN SEE PLAN GRADE 2% MAX. SLOPE 5% MAX. SLOPF - VEGETATED PROPOSED PAVEMENT, FOR LOCATION, SEE PLAN NON-ROOFTOP DISCONNECTION DETAIL SCALE 1/4"=1"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. 12-16-21 1Z.1.Z1 MY DATE CHIEF, DEVELOPMENT ENGINEERING DIVISION AS DATE CHIÉF, DIVISION OF LAND DEVELOPMENT DATE NO. REVISION OWNER / DEVELOPER NOVITIATE OF FRANCISCAN FATHERS

MIN. 452.0

MAX. 453.0

450.40

MINOR CONVENTUALS OF MD INC 12300 FOLLY QUARTER RD ELLICOTT CITY MD 21042

PROJECT THE SHRINE OF SAINT ANTHONY PRAYER GARDEN

12290 FOLLY QUARTER RD, ELLICOTT CITY, MD 21042 TAX MAP: 22 PARCEL: 46 GRID: 24 ZONED: AGR ELECTION DISTRICT 3 - HOWARD COUNTY, MARYLAND

STORMWATER MANAGEMENT REPORT





REVIEWED BY: CDK

CWWM/ZWB/MNC DESIGN BY: DRAWN BY: ZWB/MNC PROJECT NO: 20263 DATE: JULY 23, 2021 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARE OR APPROVED BY ME, AND THAT I AM A DULY LICENSED SCALE PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF LICENSE NO: 23012 DRAWING NO. 25 OF 35

COORDINATE SYSTEM: MARYLAND STATE PLANE (HORIZONTAL) NAVD88 (VERTICAL) SDP-04-064

IPRATION DATE: MARCH 6, 20

## HOWARD COUNTY STANDARD SEDIMENT CONTROL NOTES

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOD AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOUR NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
  - PRIOR TO THE START OF EARTH DISTURBANCE.
  - UPON COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
  - PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
  - PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED, TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. AND REVISIONS THERETO.
  - FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
  - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. INCREMENTAL STABILIZATION (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15' OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-8) IN EXCESSOF 20 FT. MUST BE BENCHED WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.
- SITE ANALYSIS:
  - \*TOTAL AREA OF SITE: 1.35 ACRES
  - \*AREA OF LIMIT OF WORK: 0.05 ACRES
  - \*AREA OF DISTURBANCE: 1.30 ACRES \*AREA TO BE ROOFED OR PAVED: 0.28 ACRES
  - \*AREA TO BE VEGETATIVELY STABILIZED: 1.02 ACRES

  - \*TOTAL CUT: 2,640 CU. YDS. \*TOTAL FILL: 1,421 CU. YDS.

  - OFFSITE WASTE/BORROW AREA LOCATION: TO BE DETERMINED BY CONTRACTOR.
  - ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED. IF DEEMED NECESSARY BY THE CID. THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY: AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:

- INSPECTION DATE
- INSPECTION TYPE (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
- NAME AND TITLE OF INSPECTOR
- WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
- BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND/OR
- **CURRENT ACTIVITIES**
- **EVIDENCE OF SEDIMENT DISCHARGES**
- **IDENTIFICATION OF PLAN DEFICIENCIES** IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
- IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND
- STABILIZATION REQUIREMENTS
- PHOTOGRAPHS
- MONITORING/SAMPLING
- MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
- OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE).

TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY. WHICHEVER IS SHORTER

ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION, MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.

DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

- WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
- TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
- ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IMBRICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2' IN ELEVATION
- STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE):
  - USE I AND IP MARCH 1 JUNE 15
  - USE III AND IIIP OCTOBER 1 APRIL 30
  - USE IV MARCH 1 MAY 31
- A COPY OF THIS PLAN. THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL ROSION AND SEDIMENT CONTROL. AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

## MAINTENANCE OF SEDIMENT CONTROL DEVICES

- SCE: SCE MUST BE MAINTAINED IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT, THIS MAY REQUIRE ADDING STONE OR A CLEAN SURFACE. THE MOUNTABLE BERM, AND THE SPECIFIED DIMENSIONS. ALL STONE OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS THE WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.
- SILT FENCE ON PAVEMENT: ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE OR WHEN SEDIMENT REACHES 25 PERCENT OF THE FENCE HEIGHT. THE GEOTEXTILE MUST BE REPLACED IF TORN. THE WATER TIGHT SEAL ALONG THE BOTTOM MUST BE MAINTAINED AND THE STONE REPLACED IF DISPLACED.
- SILT FENCE: ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE OR WHEN SEDIMENT REACHES 25 PERCENT OF THE FENCE HEIGHT. THE GEOTEXTILE MUST BE REPLACED IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.
- EARTH DIKE: THE LINE, GRADE, AND CROSS SECTION MUST BE MAINTAINED. ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED AND POSITIVE DRAINAGE MAINTAINED. THE EARTH DIKE AND POINT OF DISCHARGE MUST BE KEPT FREE OF EROSION AND CONTINUOUSLY MEET THE REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.
- TEMPORARY STONE STRUCTURE OUTLET: REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO WITHIN SIX INCHES OF THE WEIR CREST. REPLACE THE GEOTEXTILE AND STONE FACING WHEN THE STRUCTURE CEASES TO DRAIN. THE LINE, GRADE, AND CROSS SECTION MUST BE MAINTAINED.
- STORM DRAIN INLET PROTECTION: TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING ACCUMULATED SEDIMENT NEEDS TO BE REMOVED AFTER EACH RAIN EVENT. IF THE INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE THE GEOTEXTILE AND STONE

## **CONTACT INFORMATION:**

PROJECT:

THE SHRINE AT ST. ANTHONY PRAYER GARDEN 12290 FOLLY QUARTER ROAD, ELLICOTT CITY, MD 21042

OWNER /

NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MD INC

APPLICANT:

12300 FOLLY QUARTER ROAD, ELLICOTT CITY, MD 21042

DESIGNER:

CHRIS KRUPINSKI, P.E.

700 E PRATT ST. SUITE 500, BALTIMORE, MD 21202

410-462-9303 ckrupinski@rkk.com

## SEDIMENT CONTROL

## Owners/Developer Certification

"I/We hereby certify that any clearing, grading, construction, or development will be done pursuant to this approved erosion and sediment control plan, including inspecting and maintaining controls, and that the responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Department of the Environment (MDE) approved training program for the control on erosion and sediment prior to beginning the project. I certify right-of-entry for periodic on-site evaluation by Howard County, the Howard Soil Conservation District and/or MDE."

Owner's Developer's Signature

2021.03.05 Date

FR. JAMES M'CURLY MINISTER PROVINCIAL Printed Name & Title

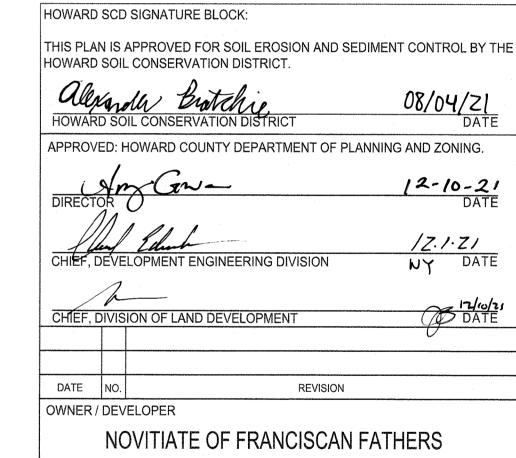
## Design Certification:

"I hereby certify that this plan has been designed in accordance with current Maryland erosion and sediment control laws, regulations, and standards, that it represents a practical and workable plan based on my personal knowledge of the site, and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Designer's Signature

CHRIS KRUPINSKI Printed Name

MD Registration No. 23012 (P.E.), R.L.S., or R.L.A. (circle one)



MINOR CONVENTUALS OF MD INC 12300 FOLLY QUARTER RD ELLICOTT CITY MD 21042

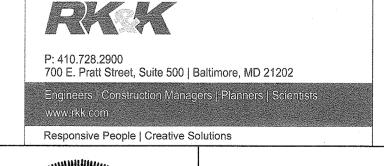
PROJECT THE SHRINE OF SAINT ANTHONY

PRAYER GARDEN

12290 FOLLY QUARTER RD, ELLICOTT CITY, MD 21042

TAX MAP: 22 PARCEL: 46 GRID: 24 ZONED: AGR ELECTION DISTRICT 3 - HOWARD COUNTY, MARYLAND

**EROSION & SEDIMENT CONTROL NOTES** 



DESIGN BY:



REVIEWED BY: CDK

CWWM/ZWB/MNC

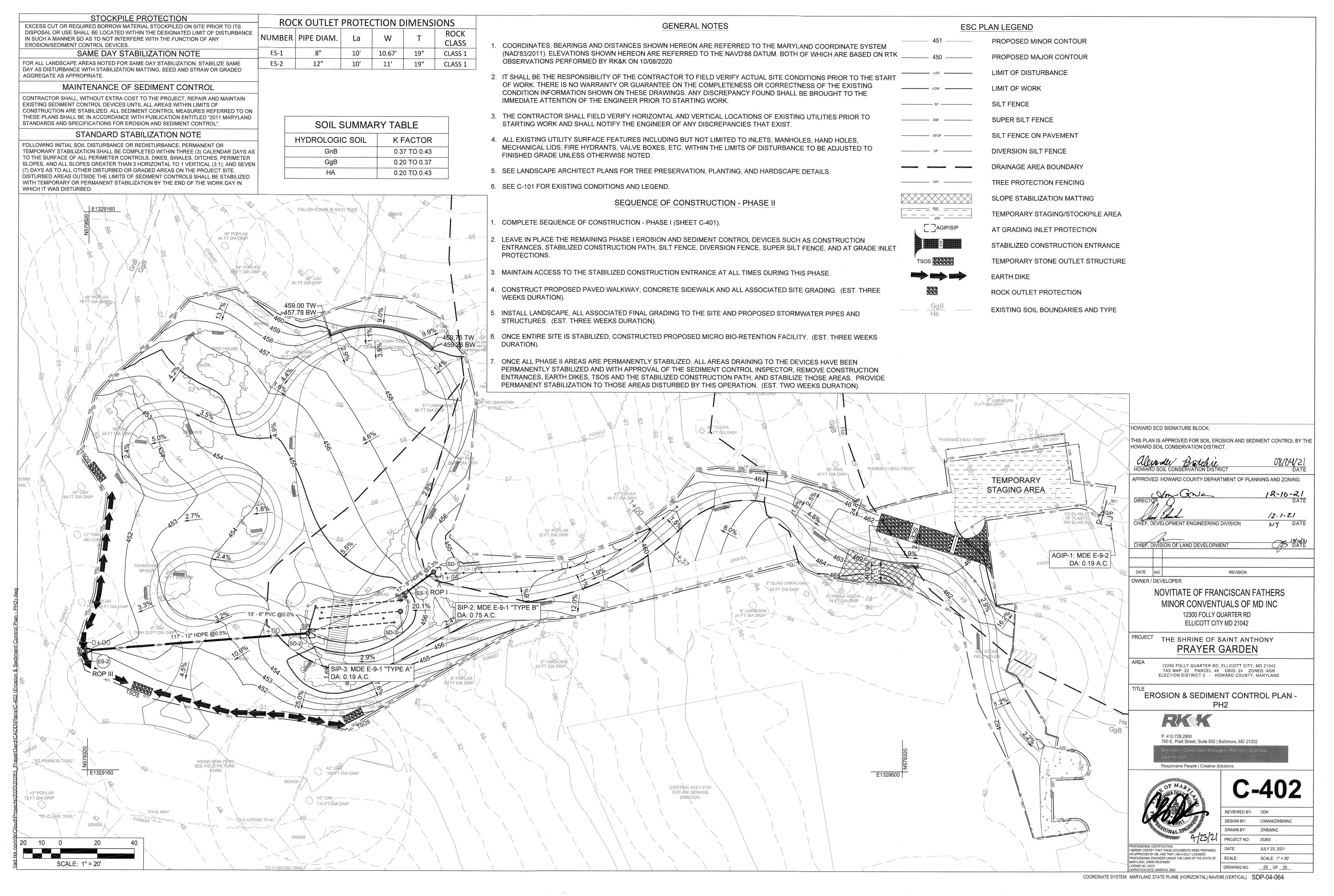
ZWB/MNC

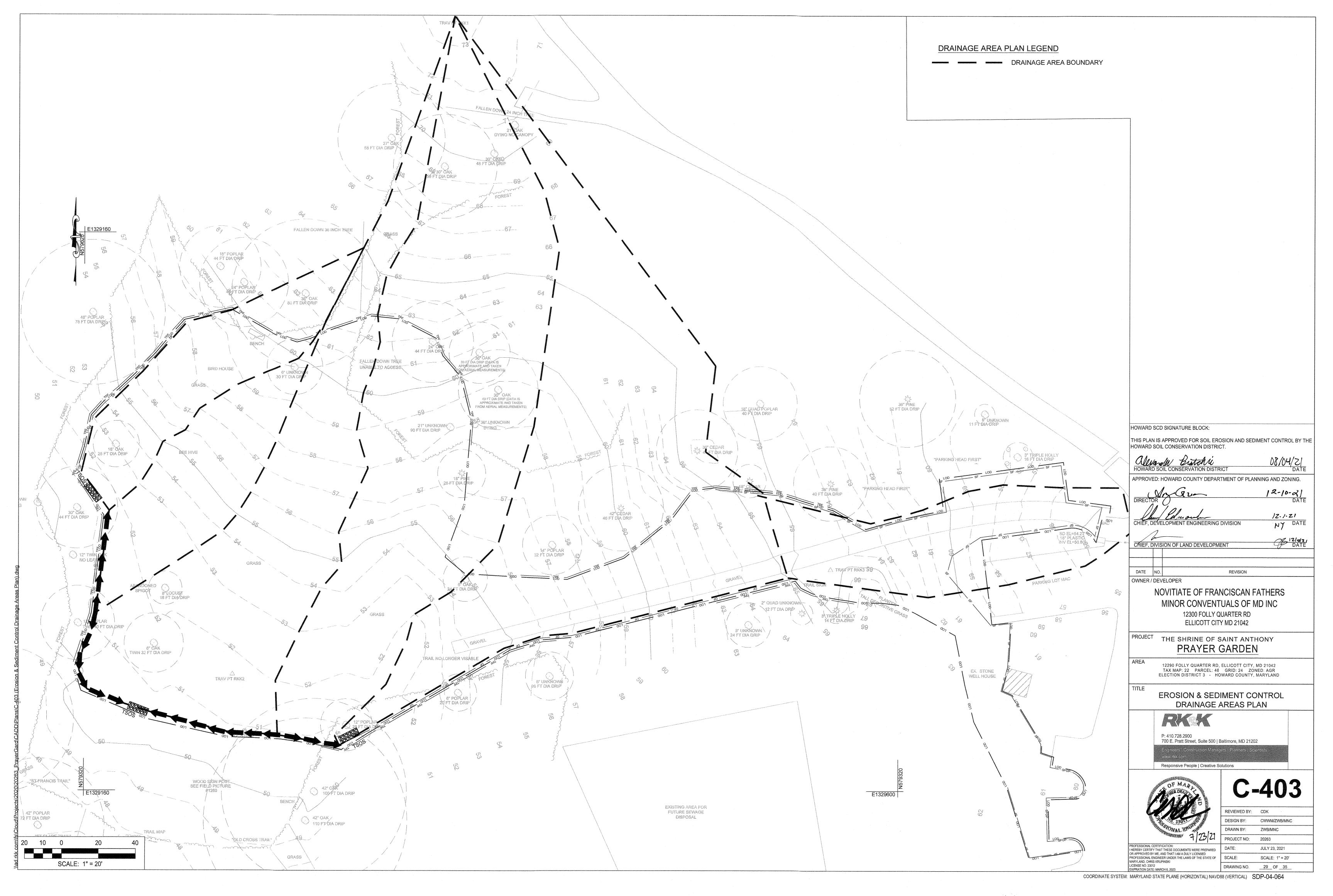
JULY 23, 2021

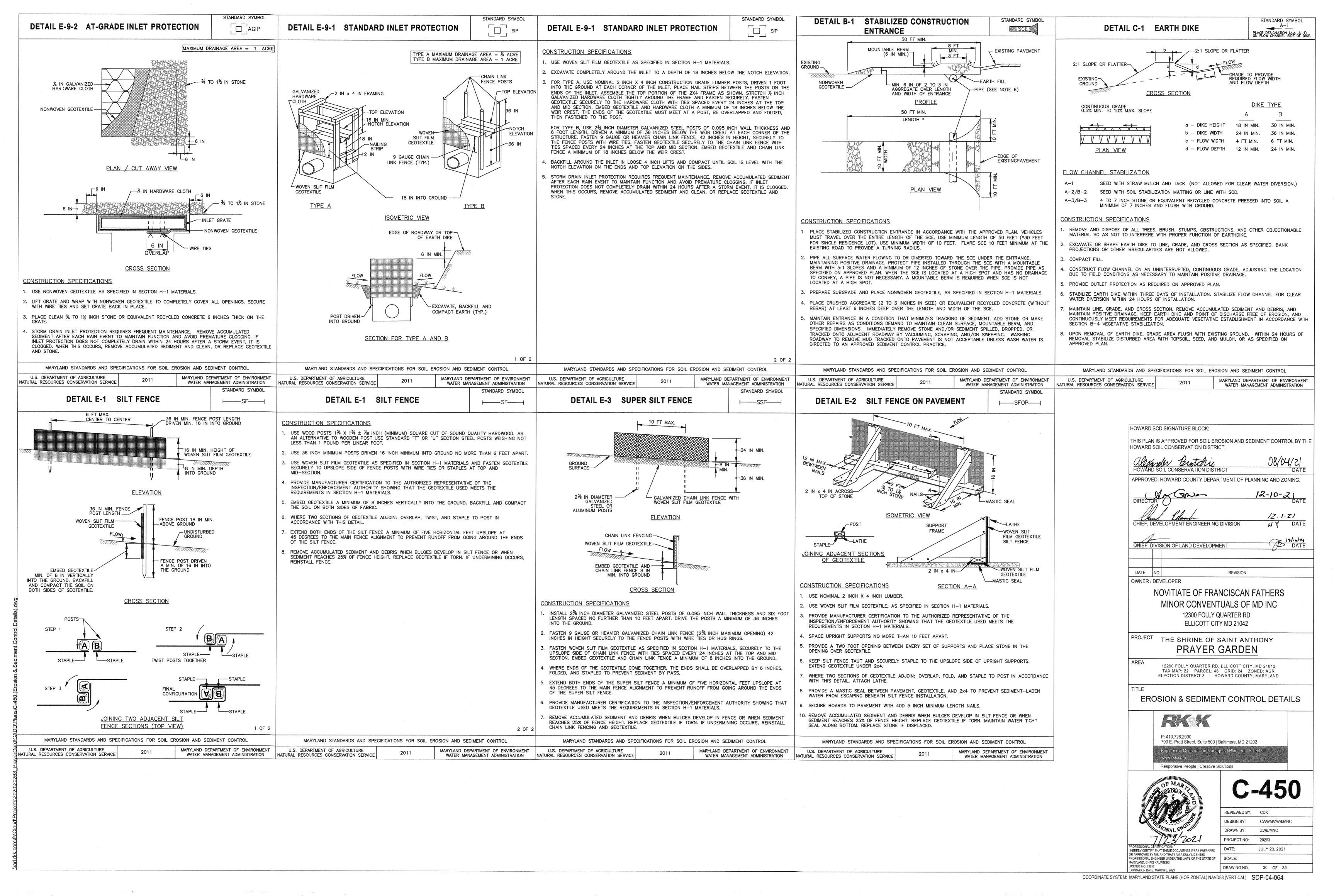
DRAWN BY: PROJECT NO: DATE: HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARE R APPROVED BY ME, AND THAT I AM A DULY LICENSED OFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF SCALE:

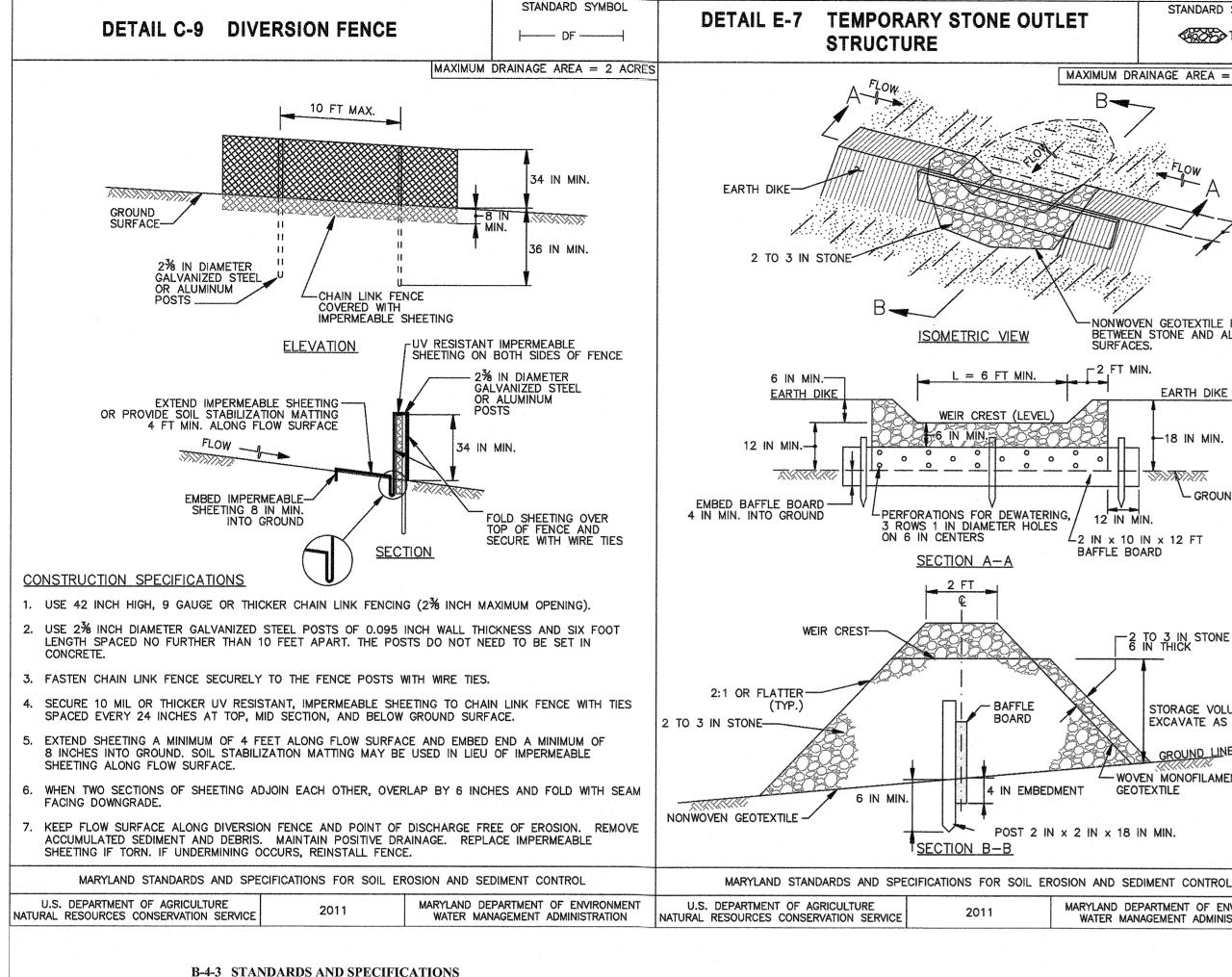
LICENSE NO: 23012 DRAWING NO. <u>26</u> OF <u>35</u> COORDINATE SYSTEM: MARYLAND STATE PLANE (HORIZONTAL) NAVD88 (VERTICAL) SDP-04-064

### STOCKPILE PROTECTION **GENERAL NOTES** EXCESS CUT OR REQUIRED BORROW MATERIAL STOCKPILED ON SITE PRIOR TO ITS **ESC PLAN LEGEND** DISPOSAL OR USE SHALL BE LOCATED WITHIN THE DESIGNATED LIMIT OF DISTURBANCE IN SUCH A MANNER SO AS TO NOT INTERFERE WITH THE FUNCTION OF ANY 451 PROPOSED MINOR CONTOUR EROSION/SEDIMENT CONTROL DEVICES. COORDINATES, BEARINGS AND DISTANCES SHOWN HEREON ARE REFERRED TO THE MARYLAND COORDINATE SAME DAY STABILIZATION NOTE SYSTEM (NAD'83/2011). ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NAVD'88 DATUM. BOTH OF WHICH ARE PROPOSED MAJOR CONTOUR BASED ON RTK OBSERVATIONS PERFORMED BY RK&K ON 10/08/2020. FOR ALL LANDSCAPE AREAS NOTED FOR SAME DAY STABILIZATION: STABILIZE SAME DAY AS DISTURBANCE WITH STABILIZATION MATTING, SEED AND STRAW OR GRADED LIMIT OF DISTURBANCE AGGREGATE AS APPROPRIATE. 2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF THE MAINTENANCE OF SEDIMENT CONTROL LIMIT OF WORK EXISTING CONDITION INFORMATION SHOWN ON THESE DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT CONTRACTOR SHALL, WITHOUT EXTRA COST TO THE PROJECT, REPAIR AND MAINTAIN TO THE IMMEDIATE ATTENTION OF THE ENGINEER PRIOR TO STARTING WORK. EXISTING SEDIMENT CONTROL DEVICES UNTIL ALL AREAS WITHIN LIMITS OF SILT FENCE CONSTRUCTION ARE STABILIZED. ALL SEDIMENT CONTROL MEASURES REFERRED TO ON 3. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO THESE PLANS SHALL BE IN ACCORDANCE WITH PUBLICATION ENTITLED "2011 MARYLAND" SUPER SILT FENCE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL". STARTING WORK AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT EXIST. SOIL SUMMARY TABLE STANDARD STABILIZATION NOTE SILT FENCE ON PAVEMENT 4. ALL EXISTING UTILITY SURFACE FEATURES INCLUDING BUT NOT LIMITED TO INLETS, MANHOLES, HAND HOLES, HYDROLOGIC SOIL K FACTOR FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR MECHANICAL LIDS, FIRE HYDRANTS, VALVE BOXES, ETC. WITHIN THE LIMITS OF DISTURBANCE TO BE ADJUSTED TO TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS DIVERSION SILT FENCE FINISHED GRADE UNLESS OTHERWISE NOTED. 0.37 TO 0.43 TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN GgB 0.20 TO 0.37 DRAINAGE AREA BOUNDARY (7) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. 5. SEE LANDSCAPE ARCHITECT PLANS FOR TREE PRESERVATION, PLANTING, AND HARDSCAPE DETAILS. DISTURBED AREAS OUTSIDE THE LIMITS OF SEDIMENT CONTROLS SHALL BE STABILIZED HA 0.20 TO 0.43 WITH TEMPORARY OR PERMANENT STABILIZATION BY THE END OF THE WORK DAY IN TREE PROTECTION FENCING 6. SEE C-101 FOR EXISTING CONDITIONS AND LEGEND. WHICH IT WAS DISTURBED. SLOPE STABILIZATION MATTING SEQUENCE OF CONSTRUCTION - PHASE I E1329160 FALLEN DOWN 36 INCH TREE TEMPORARY STAGING/STOCKPILE AREA OBTAIN A GRADING PERMIT. []AGIP/SIP AT GRADING INLET PROTECTION 2. CLEAR AS NECESSARY FOR INSTALLATION OF THE SEDIMENT CONTROL DEVICES AND MEASURES AS SHOWN ON 44 FT DIA QRIF THE PLAN OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR (EST. ONE WEEK DURATION). SCE STABILIZED CONSTRUCTION ENTRANCE TREE PROTECTION FENCE FENCE LENGTH: 410 INSTALL STABILIZED CONSTRUCTION ENTRANCE (SEE SHEET C-450) (EST. TWO DAYS DURATION). TSOS TEMPORARY STONE OUTLET STRUCTURE EARTH DIKE 4. INSTALL PHASE I EROSION AND SEDIMENT CONTROL MEASURES: SFOP, TPF, SF, AGIP, TSOS, SSF, DF, EARTH DIKE (EST. TWO WEEK DURATION). DIVERSION FENCE-1: MDE C-9 **ROCK OUTLET PROTECTION** FENCE LENGTH: 72' ROUGH GRADE (EST. ONE WEEK DURATION) SLOPE LENGTH: 72' **EXISTING SOIL BOUNDARIES AND TYPE AVERAGE SLOPE: 8.3%** 6. ONCE ALL PHASE I AREAS ARE PERMANENTLY STABILIZED AND WITH SIGNATURE & APPROVAL OF THE SEDIMENT DA: 0.14 A.C. CONTROL INSPECTOR PROCEED TO PHASE II. UNABLE TO ACCESS BIRD HOUSE ROM AERIAL MEASUREMENT 52 FT DIA DRIP TSOS-1: MDE E-7 CREST OF WEIR: 51.5' VOL. REQUIRED: 252CF HOWARD SCD SIGNATURE BLOCK: TEMPORARY VOL. PROVIDED: 274CF STOCKPILE AREAS THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE DA: 0.14 A.C. HOWARD SOIL CONSERVATION DISTRICT. STABILIZED CONSTRUCTION PATH HOWARD SOIL CONSERVATION DISTRICT 15/40/80 STAD PATH LENGTH: 50' APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. STAGING AREA 12-18-21 TREE PROTECTION FENCE FENCE LENGTH: 200' 12.1.21 CHIEF, DEVELOPMENT ENGINEERING DIVISION **EARTH DIKE-1** MDE C-1, TYPE A-1 32 FT DIA DRIP DATE CHIEF. DIVISION OF LAND DEVELOPMENT DIKE LENGTH: 55' A TRAW PT RKK3 \$9 AVERAGE SLOPE: 1.2% AGIP-1: MDE E-2 $V_2 = 1.15 \text{ FPS}$ DA: 0.19 A.C. FLOW DEPTH = 0.18' DATE NO. REVISION TSOS-2: MDE E-7 OWNER / DEVELOPER CREST OF WEIR: 51.5' NOVITIATE OF FRANCISCAN FATHERS VOL. REQUIRED: 684CF MINOR CONVENTUALS OF MD INC VOL. PROVIDED: 684CF TREE PROTECTION FENCE DA: 0.34 A.C. 12300 FOLLY QUARTER RD FENCE LENGTH: 78' ELLICOTT CITY MD 21042 6" ČÁK , TWIN 32 FT DIA DRIP PROJECT THE SHRINE OF SAINT ANTHONY PRAYER GARDEN DIVERSION FENCE-2: MDE C-9 FENCE LENGTH: 261' SLOPE LENGTH: 261' 12290 FOLLY QUARTER RD, ELLICOTT CITY, MD 21042 26 FT DIA DRIP TAX MAP: 22 PARCEL: 46 GRID: 24 ZONED: AGR AVERAGE SLOPE: 5.3% ELECTION DISTRICT 3 - HOWARD COUNTY, MARYLAND DA: 0.59 A.C. EARTH DIKE-2 EROSION & SEDIMENT CONTROL PLAN -MDE C-1, TYPE A-PH1 TREE PROTECTION FENCE DIKE LENGTH: 69 FENCE LENGTH: 142' **AVERAGE SLOPE: 1.0%** EKSK $V_2 = 0.95 \text{ FPS}$ FLOW DEPTH = 0.14' P: 410.728.2900 700 E. Pratt Street, Suite 500 | Baltimore, MD 21202 TSOS-3: MDE E-7 STFRANCIS TRAIL" WOOD SIGN POST SEE FIELD PICTURE CREST OF WEIR: 51.5' Responsive People | Creative Solutions VOL. REQUIRED: 1404CF #1260 E1329160 100/FT DIA DRIP E1329600 VOL. PROVIDED: 1843CF EARTH DIKE-3 BENCH DA: 0.78 A.C. MDE C-1, TYPE A-1 EXISTING AREA FOR FUTURE SEWAGE 42" POPLAR DIKE LENGTH: 38' FT DIA DRIP DISROSAL EARTH DIKE-4 **AVERAGE SLOPE: 1.0%** MDE C-1, TYPE A-1 REVIEWED BY: CDK $V_2 = 0.88 \text{ FPS}$ TRAIL MAP "ST-CLARE TRAIL" FOREST DIKE LENGTH: 34' FLOW DEPTH = 0.14' CWWM/ZWB/MNC DESIGN BY: AVERAGE SLOPE: 1.0% DRAWN BY: ZWB/MNC $V_2 = 1.29 \text{ FPS}$ PROJECT NO: 20 10 0 FLOW DEPTH = 0.22' JULY 23, 2021 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARE SCALE: SCALE: 1" = 20' OFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, CHRIS KRUPINSKI SCALE: 1" = 20' LICENSE NO: 23012 \_\_\_27\_\_OF\_\_35\_\_ EXIPRATION DATE: MARCH 6, 20 COORDINATE SYSTEM: MARYLAND STATE PLANE (HORIZONTAL) NAVD88 (VERTICAL) SDP-04-064









SEEDING AND MULCHING

Purpose

**Conditions Where Practice Applies** 

a. All seed must meet the requirements of the Maryland State Seed Law. All seed must be subject

b. Mulch alone may be applied between the fall and spring seeding dates only if the ground is

c. Inoculants: The inoculant for treating legume seed in the seed mixtures must be a pure culture

of nitrogen fixing bacteria prepared specifically for the species. Inoculants must not be used

later than the date indicated on the container. Add fresh inoculants as directed on the package.

Use four times the recommended rate when hydroseeding. Note: It is very important to keep

inoculant as cool as possible until used. Temperatures above 75 to 80 degrees Fahrenheit can

d. Sod or seed must not be placed on soil which has been treated with soil sterilants or

chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit

i. Incorporate seed into the subsoil at the rates prescribed on Temporary Seeding Table B.1,

ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in

each direction. Roll the seeded area with a weighted roller to provide good seed to soil

frozen. The appropriate seeding mixture must be applied when the ground thaws.

to re-testing by a recognized seed laboratory. All seed used must have been tested within the 6

months immediately preceding the date of sowing such material on any project. Refer to Table

B.4 regarding the quality of seed. Seed tags must be available upon request to the inspector to

To the surface of all perimeter controls, slopes, and any disturbed area not under active grading.

The application of seed and mulch to establish vegetative cover.

A. Seeding

Specifications

2. Application

To protect disturbed soils from erosion during and at the end of construction.

verify type of seed and seeding rate.

dissipation of phyto-toxic materials.

weaken bacteria and make the inoculant less effective.

a. Dry Seeding: This includes use of conventional drop or broadcast spreaders.

Permanent Seeding Table B.3, or site-specific seeding summaries.

B.15

b. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.

- i. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
- ii. Apply seed in two directions, perpendicular to each other. Apply half the seeding rate in
- c. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).
- i. If fertilizer is being applied at the time of seeding, the application rates should not exceed the following: nitrogen, 100 pounds per acre total of soluble nitrogen; P<sub>2</sub>O<sub>5</sub> (phosphorous), 200 pounds per acre; K<sub>2</sub>O (potassium), 200 pounds per acre.
- ii. Lime: Use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
- iii. Mix seed and fertilizer on site and seed immediately and without interruption.
- iv. When hydroseeding do not incorporate seed into the soil.

## Mulching

## 1. Mulch Materials (in order of preference)

- a. Straw consisting of thoroughly threshed wheat, rye, oat, or barley and reasonably bright in color. Straw is to be free of noxious weed seeds as specified in the Maryland Seed Law and not musty, moldy, caked, decayed, or excessively dusty. Note: Use only sterile straw mulch in areas where one species of grass is desired.
- b. Wood Cellulose Fiber Mulch (WCFM) consisting of specially prepared wood cellulose processed into a uniform fibrous physical state.
- i. WCFM is to be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
- ii. WCFM, including dye, must contain no germination or growth inhibiting factors.
- iii. WCFM materials are to be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material must form a blotter-like ground cover, on application, having moisture absorption and percolation properties and must cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
- iv. WCFM material must not contain elements or compounds at concentration levels that will be phyto-toxic.
- v. WCFM must conform to the following physical requirements: fiber length of approximately 10 millimeters, diameter approximately 1 millimeter, pH range of 4.0 to 8.5, ash content of 1.6 percent maximum and water holding capacity of 90 percent minimum.

B.16

1. TREE PROTECTION FENCING SHALL BE INSTALLED ALONG THE BOUNDARY OF ALL

WHERE COMBINED SUPER SILT FENCE/ TREE PROTECTION FENCE IS SPECIFIED

BOUNDARIES OF FOREST CONSERVATION AREA SHOULD BE STAKED AND FLAGGED

INSTALL SUPER SILT FENCE PER DETAIL, EXCEPT, APPLY TREE PROTECTION SIGN TO

FOREST CONSERVATION EASEMENTS BORDERING THE LOD.

DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

PRIOR TO INSTALLING DEVICE.

SUPER SILT FENCE.

ROOT DAMAGE SHOULD BE AVOIDED

## 2. Application

STANDARD SYMBOL

TSOS

MAXIMUM DRAINAGE AREA = ½ ACRE

NONWOVEN GEOTEXTILE INTERFACE

BETWEEN STONE AND ALL EARTH

EARTH DIKE

-18 IN MIN.

12 IN MIN.

BAFFLE BOARD

L2 IN x 10 IN x 12 FT

- GROUND LINE

STORAGE VOLUME -

- WOVEN MONOFILAMENT

MARYLAND DEPARTMENT OF ENVIRONMENT

WATER MANAGEMENT ADMINISTRATION

GEOTEXTILE

EXCAVATE AS NECESSARY

1 OF 2

a. Apply mulch to all seeded areas immediately after seeding.

DETAIL E-7 TEMPORARY STONE OUTLET

2. USE NONWOVEN GEOTEXTILE ON INTERFACE BETWEEN GROUND AND STONE

PERFORATE BAFFLE BOARD WITH 3 ROWS OF 1 INCH DIAMETER HOLES 6 INCHES ON CENTER, EMBED A MINIMUM OF 4 INCHES INTO GROUND, AND EXTEND BAFFEL BOARD MINIMUM OF 12 INCHES INTO

USE CLEAN 2 TO 3 INCH STONE OR EQUIVALENT RECYCLED CONCRETE. PLACE WOVEN MONOFILAMENT

GEOTEXTILE ON UPSTREAM FACE AND COVER WITH A MINIMUM OF 6 INCHES OF ADDITIONAL STONE.

USE NONWOVEN AND WOVEN MONOFILAMENT GEOTEXTILES AS SPECIFIED IN SECTION H-1 MATERIALS.

. SET WEIR CREST OF STONE 6 INCHES LOWER THAN THE TOP OF EARTH DIKE. USE MINIMUM LENGTH

REMOVE SEDIMENT WHEN IT HAS ACCUMULATED TO WITHIN 6 INCHES OF WEIR CREST. REPLACE

GEOTEXTILE AND STONE FACING WHEN STRUCTURE CEASES TO DRAIN. MAINTAIN LINE, GRADE, AND

UPON REMOVAL OF STONE OUTLET STRUCTURE, GRADE AREA FLUSH WITH EXISTING GROUND. WITHIN

24 HOURS STABILIZE DISTURBED AREA WITH TOPSOIL, SEED, AND MULCH, OR AS SPECIFIED ON

STRUCTURE

PROVIDE STORAGE VOLUME AS SPECIFIED ON APPROVED PLANS.

CONSTRUCTION SPECIFICATIONS

OF 6 FEET FOR WEIR CREST.

b. When straw mulch is used, spread it over all seeded areas at the rate of 2 tons per acre to a application rate to 2.5 tons per acre.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

c. Wood cellulose fiber used as mulch must be applied at a net dry weight of 1500 pounds per acre. Mix the wood cellulose fiber with water to attain a mixture with a maximum of 50 pounds

- a. Perform mulch anchoring immediately following application of mulch to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon the size of the area and erosion hazard:
- 50 pounds of wood cellulose fiber per 100 gallons of water.
- iii. Synthetic binders such as Acrylic DLR (Agro-Tack), DCA-70, Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used. Follow application rates as specified by the manufacturer. Application of liquid binders needs to be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. Use of asphalt binders is strictly prohibited.

U.S. DEPARTMENT OF AGRICULTURE

NATURAL RESOURCES CONSERVATION SERVIC

- uniform loose depth of 1 to 2 inches. Apply mulch to achieve a uniform distribution and depth so that the soil surface is not exposed. When using a mulch anchoring tool, increase the
- of wood cellulose fiber per 100 gallons of water.

- i. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of 2 inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should follow the contour.
- ii. Wood cellulose fiber may be used for anchoring straw. Apply the fiber binder at a net dry weight of 750 pounds per acre. Mix the wood cellulose fiber with water at a maximum of

- iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000

### WATER MANAGEMENT ADMINISTRATION NATURAL RESOURCES CONSERVATION SERVICE

MARYLAND DEPARTMENT OF ENVIRONMENT

2 OF

STANDARD SYMBOL

**₹**SOS

DETAIL B-4-6-D

PREPARED SLOPE

WITH SEED IN PLACE-

STRETCHING THE MATTING

U.S. DEPARTMENT OF AGRICULTURE

TAMPING TO SECURE THE MAT END IN THE KEY.

2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.

CONSTRUCTION SPECIFICATIONS

STRESS DESIGNATED ON APPROVED PLANS.

PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.

OVERLAP OR ABUT

ROLL EDGES (TYP.

PERMANENT SOIL

STABILIZATION MATTING

ISOMETRIC VIEW

USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR

. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS

OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST

BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-INJURIOUS TO THE

SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO

SECURE MATTING USING STEEL STAPLES OR WOOD STAKES. STAPLES MUST BE "U" OR "T" SHAPED STEEL

PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS.

. UNROLL MATTING DOWN SLOPE, LAY MATTING SMOOTHLY AND FIRMLY UPON THE SEEDED SURFACE. AVOID

BY 6 INCHES (MINIMUM), WITH THE UPSTREAM MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.

8. STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND

ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE

1 TO 11/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM

8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG. AND MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE

ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1x3 INCH IN CROSS SECTION, AND WEDGE SHAPE AT

UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL

OVERLAP OR ABUT EDGES OF MATTING ROLLS PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS

KEY IN THE TOP OF SLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING

IF SPECIFIED BY THE DESIGNER OR MANUFACTURER AND DEPENDING ON THE TYPE OF MAT BEING INSTALLED,

MATERIAL AND LIGHTLY COMPACT OR ROLL TO MAXIMIZE SOIL/MAT CONTACT WITHOUT CRUSHING MAT.

IO. ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

ONCE THE MATTING IS KEYED AND STAPLED IN PLACE, FILL THE MAT VOIDS WITH TOP SOIL OR GRANULAR

ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND

SLOPE APPLICATION

## STOCKPILE AREA

## Definition

**B-4-8 STANDARDS AND SPECIFICATIONS** 

**FOR** 

A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

## Purpose

To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

## Conditions Where Practice Applies

Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

## Criteria

- 1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
- 2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
- 3. Runoff from the stockpile area must drain to a suitable sediment control practice.
- 4. Access the stockpile area from the upgrade side.
- 5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
- 6. Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
- 7. Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
- 8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable

## **Maintenance**

The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

B.43

**EXISTING TREES** TO REMAIN **GALVANIZED PIPE** - HIGHLY VISIBLE FLAGGING CHAIN-LINK SUPPORT AT 10' O.C. MAXIMUM MAXIMUM - ORANGE HIGH VISIBILITY 10 FEET SAFETY FENCING TREE PROTECTION SIGNS- 100' O.C. (MINIMUM ONE SIGN PER TREE PROTECTION AREA) ANCHOR POSTS MUST BE **INSTALLED TO A DEPTH EXISTING GRADE -**OF NO LESS THAN 1/3 OF

THE TOTAL HEIGHT OF POST

**B-4 STANDARDS AND SPECIFICATIONS** 

## **VEGETATIVE STABILIZATION**

**FOR** 

Definition

Using vegetation as cover to protect exposed soil from erosion

To promote the establishment of vegetation on exposed soil.

and permanent stabilization.

STANDARD SYMBOL

PSSMS - \* 1.75 lb/ft

(\* INCLUDE SHEAR STRESS)

-FILL MAT VOIDS IF SPECIFIED

(SEE NOTE 9)

6 IN MIN. OVERLAP

AT ROLL END (TYP.

MARYLAND DEPARTMENT OF ENVIRONMENT

WATER MANAGEMENT ADMINISTRATION

## <u>Purpose</u>

On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization; soil preparation, soil amendments and topsoiling; seeding and mulching; temporary stabilization;

Conditions Where Practice Applies

## Effects on Water Quality and Quantity

Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge. Over time, vegetation will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth.

Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone.

Sediment control practices must remain in place during grading, seedbed preparation, seeding, mulching, and vegetative establishment.

## Adequate Vegetative Establishment

Inspect seeded areas for vegetative establishment and make necessary repairs, replacements, and reseedings within the planting season.

- 1. Adequate vegetative stabilization requires 95 percent groundcover.
- 2. If an area has less than 40 percent groundcover, restabilize following the original recommendations for lime, fertilizer, seedbed preparation, and seeding.
- 3. If an area has between 40 and 94 percent groundcover, over-seed and fertilize using half of the rates
- 4. Maintenance fertilizer rates for permanent seeding are shown in Table B.6.

B.9

## HOWARD SCD SIGNATURE BLOCK:

THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. HOWARD SOIL CONSERVATION DISTRICT 08/04/21

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

12-10-21 12.1.21 CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIÉF, DIVISION OF LAND DEVELOPMENT

DATE NO. OWNER / DEVELOPER

## NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MD INC 12300 FOLLY QUARTER RD ELLICOTT CITY MD 21042

REVISION

PROJECT THE SHRINE OF SAINT ANTHONY PRAYER GARDEN

> 12290 FOLLY QUARTER RD, ELLICOTT CITY, MD 21042 TAX MAP: 22 PARCEL: 46 GRID: 24 ZONED: AGR ELECTION DISTRICT 3 - HOWARD COUNTY, MARYLAND

**EROSION & SEDIMENT CONTROL DETAILS** 





HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPAR R APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF

LICENSE NO: 23012 \_\_31\_\_OF\_\_35\_ DRAWING NO.

TREE PROTECTION FENCE - HIGH VISIBILITY ORANGE FENCE

COORDINATE SYSTEM: MARYLAND STATE PLANE (HORIZONTAL) NAVD88 (VERTICAL) SDP-04-064

REVIEWED BY: CDK DESIGN BY: CWWM/ZWB/MNC DRAWN BY: ZWB/MNC

PROJECT NO: 20263 JULY 23, 2021 DATE: SCALE:

### **B-4-5 STANDARDS AND SPECIFICATIONS**

<u>FOR</u>

### PERMANENT STABILIZATION

Definition

To stabilize disturbed soils with permanent vegetation

To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils.

Conditions Where Practice Applies

Exposed soils where ground cover is needed for 6 months or more.

Criteria

## Seed Mixtures

## 1. General Use

- a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
- b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
- c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil
- d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 ½ pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.

## 2. Turfgrass Mixtures

- a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
- b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
- i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore, Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
- ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where

## **B-4-2 STANDARDS AND SPECIFICATIONS**

**FOR** 

SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

<u>Definition</u> The process of preparing the soils to sustain adequate vegetative stabilization.

Purpose

To provide a suitable soil medium for vegetative growth.

<u>Criteria</u>

**Conditions Where Practice Applies** 

Where vegetative stabilization is to be established

A. Soil Preparation

- 1. Temporary Stabilization
  - a. Seedbed preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
  - b. Apply fertilizer and lime as prescribed on the plans.
  - c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable

## 2. Permanent Stabilization

- a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
- i. Soil pH between 6.0 and 7.0.
- ii. Soluble salts less than 500 parts per million (ppm).
- iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lovegrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
- iv. Soil contains 1.5 percent minimum organic matter by weight.
- v. Soil contains sufficient pore space to permit adequate root penetration.
- b. Application of amendments or topsoil is required if on-site soils do not meet the above
- c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.

B.12

rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.

- iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade, Recommended mixture includes; Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended,
- iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes; Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 11/2 to 3 pounds per 1000 square feet.

Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"

Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line

## c. Ideal Times of Seeding for Turf Grass Mixtures

Western MD: March 15 to June 1, August 1 to October 1 (Hardiness Zones: 5b, 6a)

Central MD: March 1 to May 15, August 15 to October 15 (Hardiness Zone: 6b)

Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardiness Zones: 7a, 7b)

- d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 11/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will
- e. If soil moisture is deficient, supply new seedings with adequate water for plant growth (1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

B.22

- d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil
- e. Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rake lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seedbed preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seedbed loosening may be unnecessary on newly disturbed areas.

## Topsoiling

- 1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- 2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
- 3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
- a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- c. The original soil to be vegetated contains material toxic to plant growth.
- d. The soil is so acidic that treatment with limestone is not feasible
- 4. Areas having slopes steeper than 2:1 require special consideration and design.
- 5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
- a. Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 11/2 inches in diameter.
- b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
- c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

## 6. Topsoil Application

- a. Erosion and sediment control practices must be maintained when applying topsoil.
- b. Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
- c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading

B.13

 $K_20$ 

### Hardiness Zone (From Figure B.3): 7a Seed Mixture (From Table B.3): Cool-Season Grass Mixes Seeding Dates Seeding Depths P2O5 1/4" - 1/2" 45 lb/ac 90 lb/ac 90 lb/ac 2 tons/ac (1.0 lb/1000 sf) (2 lb/1000 sf) (2 lb/1000 sf) (90 lb/1000 sf) 1/4" - 1/2" 2/15 to 4/30 Kentucky Bluegrass

**Permanent Seeding Summary** 

## B. Sod: To provide quick cover on disturbed areas (2:1 grade or flatter).

## General Specifications

- a. Class of turfgrass sod must be Maryland State Certified. Sod labels must be made available to the job foreman and inspector.
- b. Sod must be machine cut at a uniform soil thickness of \( \frac{3}{2} \) inch, plus or minus \( \frac{1}{2} \) inch, at the time of cutting. Measurement for thickness must exclude top growth and thatch. Broken pads and torn or uneven ends will not be acceptable.
- c. Standard size sections of sod must be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the
- d. Sod must not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
- e. Sod must be harvested, delivered, and installed within a period of 36 hours. Sod not transplanted within this period must be approved by an agronomist or soil scientist prior to its installation.

## Sod Installation

- a. During periods of excessively high temperature or in areas having dry subsoil, lightly irrigate the subsoil immediately prior to laying the sod.
- b. Lay the first row of sod in a straight line with subsequent rows placed parallel to it and tightly wedged against each other. Stagger lateral joints to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
- c. Wherever possible, lay sod with the long edges parallel to the contour and with staggering joints. Roll and tamp, peg or otherwise secure the sod to prevent slippage on slopes. Ensure solid contact exists between sod roots and the underlying soil surface.
- d. Water the sod immediately following rolling and tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. Complete the operations of laying, tamping and irrigating for any piece of sod within eight hours.

## 3. Sod Maintenance

- a. In the absence of adequate rainfall, water daily during the first week or as often and sufficiently as necessary to maintain moist soil to a depth of 4 inches. Water sod during the heat of the day to prevent wilting.
- b. After the first week, sod watering is required as necessary to maintain adequate moisture
- c. Do not mow until the sod is firmly rooted. No more than 1/2 of the grass leaf must be removed by the initial cutting or subsequent cuttings. Maintain a grass height of at least 3 inches unless otherwise specified.

and seedbed preparation.

## C. Soil Amendments (Fertilizer and Lime Specifications)

- 1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- 2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
- 3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
- 4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
- 5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

B.14

## **B-4-1 STANDARDS AND SPECIFICATIONS**

## **INCREMENTAL STABILIZATION**

## <u>Definition</u>

Establishment of vegetative cover on cut and fill slopes.

## <u>Purpose</u>

To provide timely vegetative cover on cut and fill slopes as work progresses

### Conditions Where Practice Applies

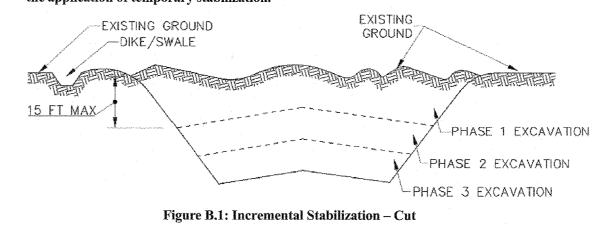
Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

## Criteria

## Incremental Stabilization - Cut Slopes

- 1. Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seedbed and apply seed and mulch on all cut slopes as the work progresses.
- 2. Construction sequence example (Refer to Figure B.1):
- a. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around
- b. Perform Phase 1 excavation, prepare seedbed, and stabilize.
- c. Perform Phase 2 excavation, prepare seedbed, and stabilize. Overseed Phase 1 areas as
- d. Perform final phase excavation, prepare seedbed, and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.



## **B-4-4 STANDARDS AND SPECIFICATIONS**

<u>FOR</u>

## TEMPORARY STABILIZATION

Purpose

To stabilize disturbed soils with vegetation for up to 6 months.

## To use fast growing vegetation that provides cover on disturbed soils. Conditions Where Practice Applies

Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

## Criteria

- 1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- 2. For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
- 3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.I.b and maintain until the next seeding season.

## **Temporary Seeding Summary**

	Hardiness Zo Seed Mixture	Fertilizer Rate	Lime Rate					
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	(10-20-20)	Lime Nate		
	Foxtail Millet	30	Feb 15-Apr 30 Aug 15-Nov 30	0.5"				
	Annual ryegrass	40	May 1 - August 14	0.5"	436 lb/ac	436 lb/ac	2 tons/ac	2 tons/ac
				· · · · · · · · · · · · · · · · · · ·	(10 lb/1000 sf)	(90 lb/1000 sf)		

B.18

Incremental Stabilization - Fill Slopes

- 1. Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seedbed and
- apply seed and mulch on all slopes as the work progresses. 2. Stabilize slopes immediately when the vertical height of a lift reaches 15 feet, or when the grading
- operation ceases as prescribed in the plans.
- 3. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.
- 4. Construction sequence example (Refer to Figure B.2):
- a. Construct and stabilize all temporary swales or dikes that will be used to divert runoff around the fill. Construct silt fence on low side of fill unless other methods shown on the plans address this area.
- b. At the end of each day, install temporary water conveyance practice(s), as necessary, to
- intercept surface runoff and convey it down the slope in a non-erosive manner.
- c. Place Phase 1 fill, prepare seedbed, and stabilize.
- d. Place Phase 2 fill, prepare seedbed, and stabilize.
- e. Place final phase fill, prepare seedbed, and stabilize. Overseed previously seeded areas as

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

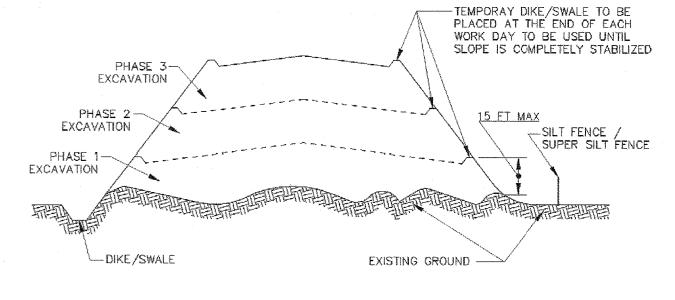


Figure B.2: Incremental Stabilization - Fill

B.11

DATE NO.

## HOWARD SCD SIGNATURE BLOCK: THIS PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Alexandre Evatedia HOWARD SOIL CONSERVATION DISTRICT 15/40/80 DATE APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. 12-10-21

12.1.21 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

OWNER / DEVELOPER NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MD INC 12300 FOLLY QUARTER RD

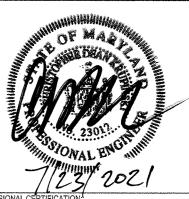
ELLICOTT CITY MD 21042

REVISION

PROJECT THE SHRINE OF SAINT ANTHONY PRAYER GARDEN

12290 FOLLY QUARTER RD, ELLICOTT CITY, MD 21042 TAX MAP: 22 PARCEL: 46 GRID: 24 ZONED: AGR ELECTION DISTRICT 3 - HOWARD COUNTY, MARYLAND





MARYLAND, CHRIS KRUPINSKI

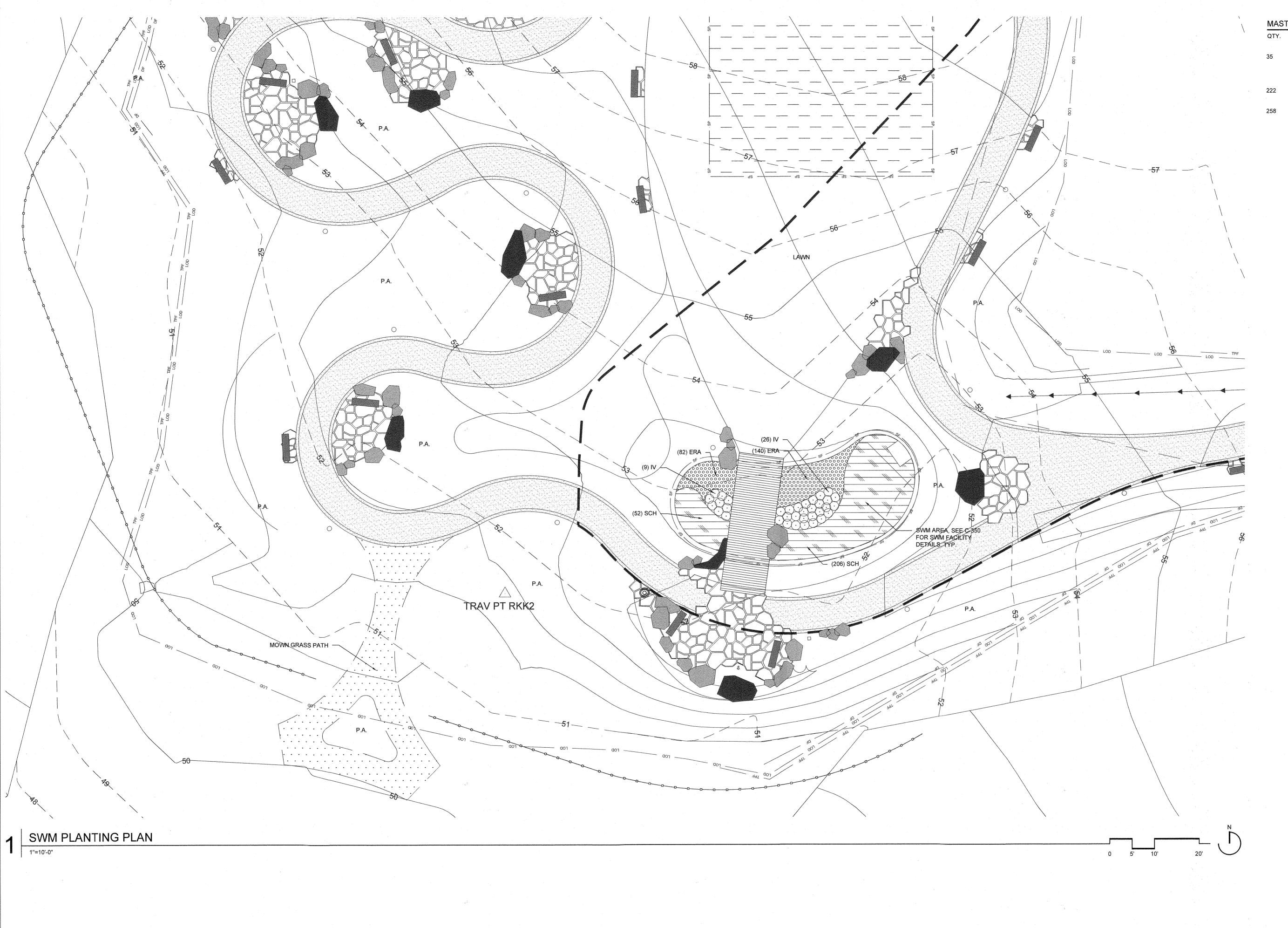
REVIEWED BY: CDK

CWWM/ZWB/MNC

ZWB/MNC DRAWN BY: PROJECT NO: 20263 JULY 23, 2021 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARE OR APPROVED BY ME, AND THAT I AM A DULY LICENSED SCALE: \_\_32\_\_OF\_\_35\_\_

DESIGN BY:

EXIPRATION DATE: MARCH 6, 20 COORDINATE SYSTEM: MARYLAND STATE PLANE (HORIZONTAL) NAVD88 (VERTICAL) SDP-04-064



MASTER PLANT SCHEDULE (ONLY ON THIS SHEET) QTY. KEY BOTANICAL/COMMON NAME SIZE ROOT COMMENTS 35 IV Itea virginica 'Sprich' Little Henry' #3 Cont. 24" O.C. Virginia Swetspire 222 ERA Eragrostis spectabilis Purple Love Grass SCH Schizachyrium scoparium Little Bluestem

> 12-10-21 DATE CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

OWNER / DEVELOPER NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MD INC 12300 FOLLY QUARTER RD

DATE NO.

TITLE

REVISION

PROJECT THE SHRINE OF SAINT ANTHONY PRAYER GARDEN

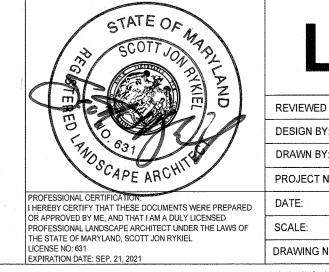
12290 FOLLY QUARTER RD, ELLICOTT CITY, MD 21042 TAX MAP: 22 PARCEL: 46 GRID: 24 ZONED: AGR ELECTION DISTRICT 3 - HOWARD COUNTY, MARYLAND

**ELLICOTT CITY MD 21042** 

PLANTING PLAN

## MAHAN RYKIEL

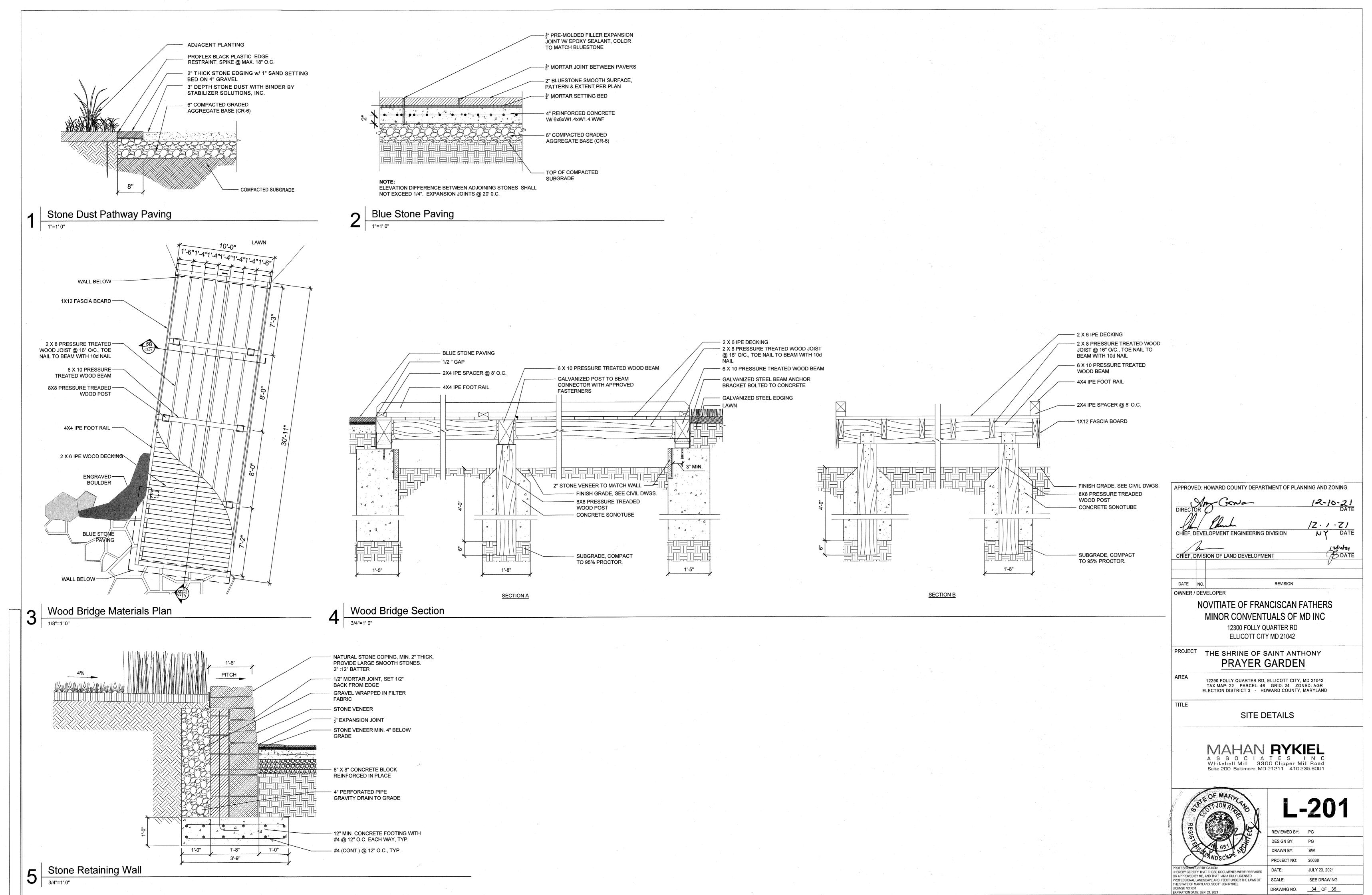
A S S O C I A T E S I N C Whitehall Mill 3300 Clipper Mill Road Suite 200 Baltimore, MD 21211 410.235.6001



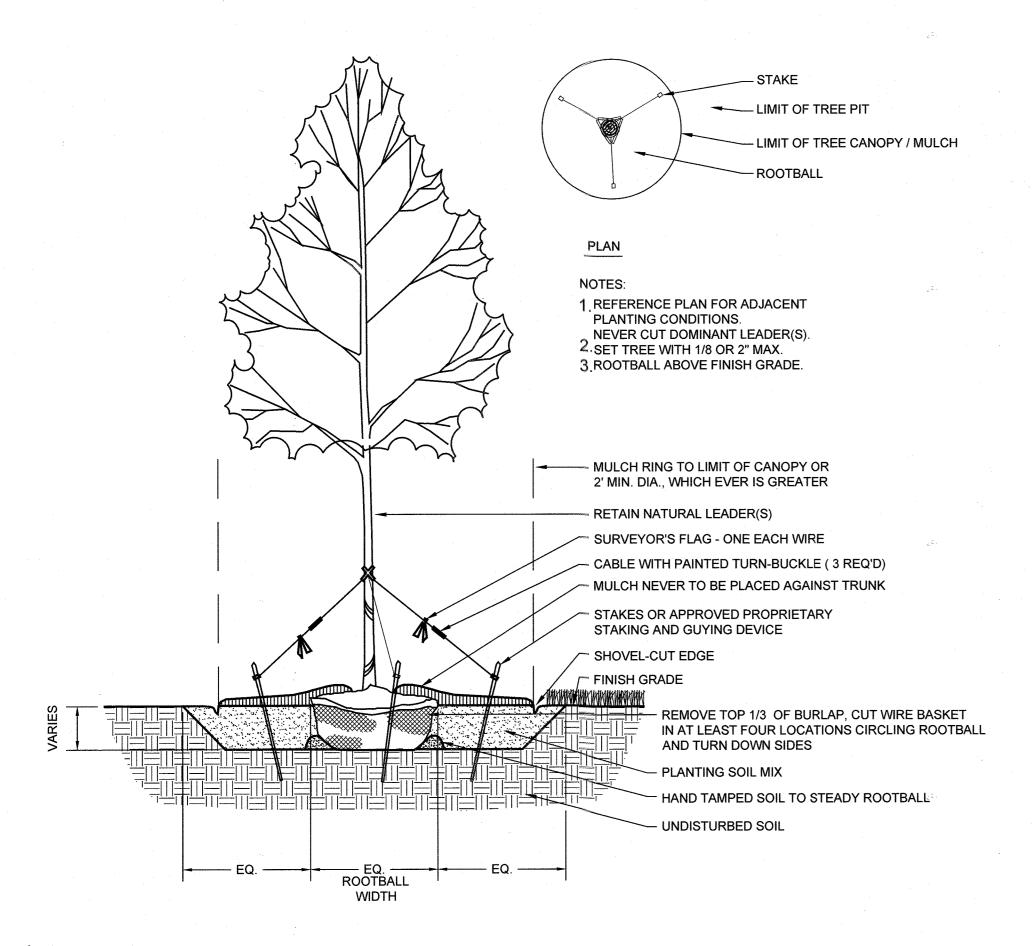
	L-	101	
	REVIEWED BY:	PG .	•
	DESIGN BY:	PG	•
	DRAWN BY:	SW	
	PROJECT NO:	20038	
PARED	DATE:	DECEMBER 06, 2021	

SEE DRAWING

DRAWING NO. \_\_\_33\_\_ OF \_\_35\_\_ COORDINATE SYSTEM: MARYLAND STATE PLANE (HORIZONTAL) NAVD88 (VERTICAL) SDP-04-064



COORDINATE SYSTEM: MARYLAND STATE PLANE (HORIZONTAL) NAVD88 (VERTICAL) SDP-04-064

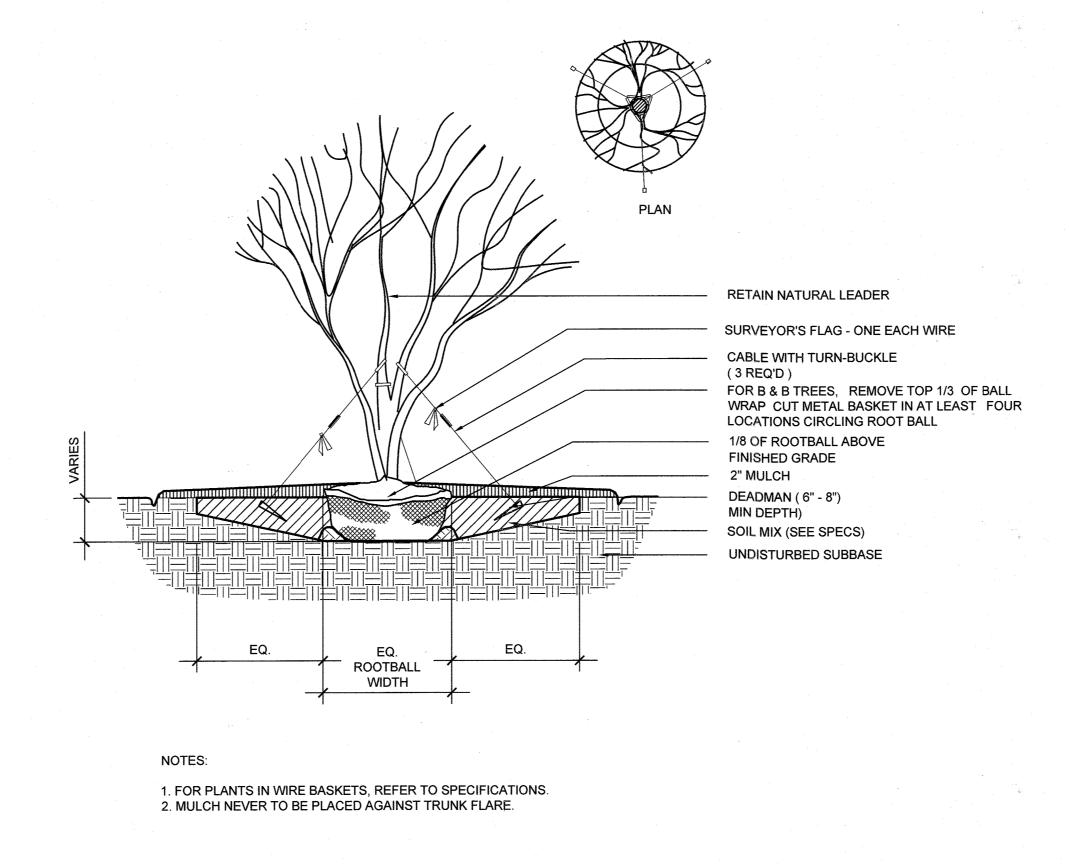


**Tree Planting Detail** 

1/2"=1' 0"

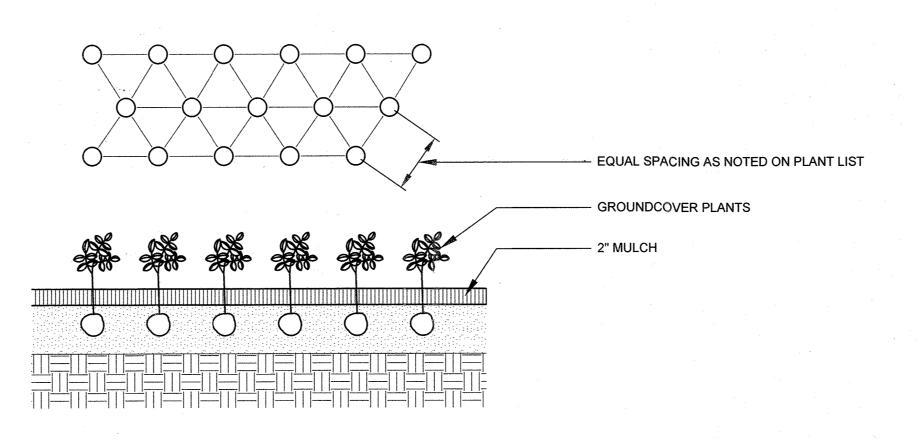
- FIRST LATERAL ROOT FLUSH WITH FINISH GRADE - MULCH (TYP.)(2" DEPTH) - FINISH GRADE, CONDITION VARIES SEE PLAN (TYP.) SOIL MIX AS SPECIFIED COMPACTED OR BIORETENTION SOIL - TAMPED SOIL UNDER ROOTBALL TO PREVENT SETTLING

3 Shrub Planting Detail



2 Multi-Stem Tree Planting Detail

1/2"=1' 0"



Groundcover Planting Detail

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. CHIEF, DEVELOPMENT ENGINEERING DIVISION CHIEF, DIVISION OF LAND DEVELOPMENT DATE NO. OWNER / DEVELOPER NOVITIATE OF FRANCISCAN FATHERS MINOR CONVENTUALS OF MD INC 12300 FOLLY QUARTER RD

**ELLICOTT CITY MD 21042** PROJECT THE SHRINE OF SAINT ANTHONY PRAYER GARDEN 12290 FOLLY QUARTER RD, ELLICOTT CITY, MD 21042 TAX MAP: 22 PARCEL: 46 GRID: 24 ZONED: AGR ELECTION DISTRICT 3 - HOWARD COUNTY, MARYLAND LANDSCAPE DETAILS MAHAN RYKIEL A S S O Ć I A T E S I N C Whitehall Mill 3300 Clipper Mill Road Suite 200 Baltimore, MD 21211 410.235.6001 REVIEWED BY: PG DESIGN BY: DRAWN BY: PROJECT NO: 20038 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND, SCOTT JON RYKIEL

SCALE:

[2-10-2] DATE

12.1.21 MY DATE

JULY 23, 2021

SEE DRAWING

REVISION

LICENSE NO: 631 EXPIRATION DATE: SEP. 21, 2021 DRAWING NO. 35 OF 35 COORDINATE SYSTEM: MARYLAND STATE PLANE (HORIZONTAL) NAVD88 (VERTICAL) SDP-04-064