

**GENERAL NOTES**

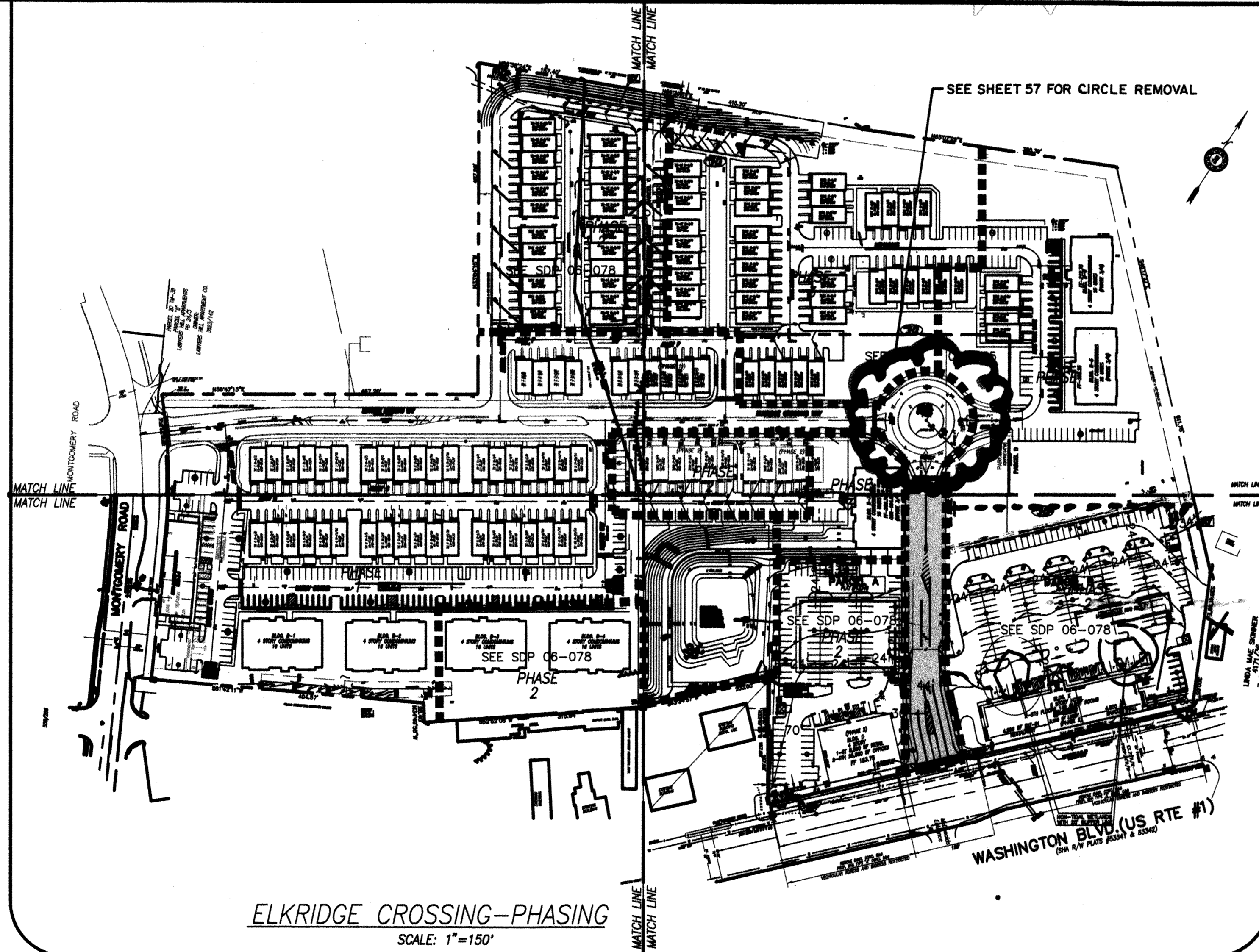
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS.
  - C & P TELEPHONE COMPANY 725-9976
  - HOWARD COUNTY BUREAU OF UTILITIES 313-2366
  - AT&T CABLE LOCATION DIVISION 393-3553
  - B&E CO. CONTRACTOR SERVICES 850-4620
  - B&E CO. UNDERGROUND DAMAGE CONTROL 787-4620
  - STATE HIGHWAY ADMINISTRATION 531-5533
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS, APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN BEDDING SHALL BE CLASS 'C', VOLUME I OF HOWARD COUNTY DESIGN MANUAL.
- COORDINATES AND ELEVATION ARE BASED ON THE FOLLOWING HOWARD COUNTY MONUMENTS:
  - 38A9 N 561,056.341 E 1,389,634.145
  - 38BA N 562,553.293 E 1,390,967.941
- A NOISE STUDY PREPARED BY MARS GROUP WAS SUBMITTED AND APPROVED WITH THE SKETCH PLAN SUBMITTAL (S-04-011)
- FOR PAVING SECTIONS DETAIL SEE SHEETS 12 & 19
- CONC. CURB AND GUTTER TO BE AS PER HC STD. PLATE R-3.01
- CONC. BARRIER CURBS TO BE AS PER HC STANDARD PLATE R-3.03
- PAVING SECTIONS TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- PUBLIC WATER METERS ARE SHOWN ON UTILITY PLAN, SHEET 45
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM THE CURB, CONTRACTOR TO USE CONCRETE BARRIER CURBS(HC PLATE R-3.03)
- EXISTING TOPOGRAPHY IS BASED ON AERIAL TOPOGRAPHIC SURVEY PREPARED BY WINGS MAPPING DATED DECEMBER, 2002 AND SUPPLEMENTED BY FIELD SURVEY BY HILDBERGER-BOENDER ASSOC. IN APRIL 2004
- THIS PROJECT IS SERVED BY PUBLIC WATER AND PUBLIC SEWER (CONTRACT NO.MD-105C3312)
- THE CONTRACTOR WILL REMOVE EX. CURB AND GUTTER AS NOTED ON THE SITE PLAN. THE CONTRACTOR WILL LEAVE A CLEAN EDGE AT EXISTING PAVING FOR TIE-IN OF PROPOSED PAVING.
- THE CONTRACTOR WILL CONSTRUCT ALL CONCRETE CURB AND GUTTER NOTED ON THE SITE PLAN TO BE FULLY DEPRESSED SO THAT THERE IS NOT A LIP.
- OUTDOOR LIGHTING TO BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- ALL 2:1 SLOPES TO BE STABILIZED WITH SEDIMENT AND EROSION CONTROL MATTING.
- ALL UTILITIES INSTALLED SHALL RECEIVE FULL TRENCH COMPACTION(95%) PER AASHTO SPECIFICATIONS.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL WATER MAIN TEES, BENDS, CAPS, ETC. SHALL BE BUTTRESSED IN ACCORDANCE WITH HOWARD COUNTY DESIGN REQUIREMENTS.
- THIS PLAN IS SUBJECT TO THE AMENDED 5-TH EDITION OF THE SUBDIVISION REGULATIONS
- STORMWATER QUALITY & CHANNEL PROTECTION WILL BE PROVIDED FOR PHASE I IN AN OPEN POND WHICH WILL DISCHARGE INTO THE DRAINAGE SYSTEM. THE REQUIRED LANDSCAPING AND FOREBAYS FOR THE SWM DESIGN HAVE BEEN DEFERRED UNTIL THE FACILITY IS CONVERTED TO ITS FINAL DESIGN UPON THE COMPLETION OF PHASE II OF THE PROJECT
- REQUIRED NO. OF MIH UNITS=128X15%=20; MIH UNITS PROVIDED=20 MIHU AGREEMENT RECORDED IN LIBER 10174 FOLIO 306-316 & LIBER 10194 FOLIO 268-274
- MODE WILL ISSUE A LETTER OF AUTHORIZATION TO ALLOW CONSTRUCTION ACTIVITY IN THE TWO WETLAND AND BUFFER AREAS IDENTIFIED AND SHOWN ON THESE DRAWINGS.
- IN THE TWO ISOLATED NONTIDAL WETLAND AND BUFFER AREAS IDENTIFIED AND SHOWN ON THESE DRAWINGS. (#98-NI-0482, TRACKING #19985413)
- THE FOREST CONSERVATION OBLIGATION FOR THIS PLAN AND ALL OTHER PHASES OF ELKRIDGE CROSSING HAS BEEN MET BY PROVIDING 5.27 ACRES OF OFFSITE RETENTION AT BRANTWOOD, 2/1, PRES. PARCEL F AND 2.52 ACRES OF OFFSITE RETENTION (ONLY 50% ACREAGE CREDIT) AND 3.83 ACRES OF OFFSITE REFORESTATION AT ELLICOTT MEADOWS, TM 16, BLK. 22, TM PARCEL 99.
- FOREST CONSERVATION SURETY IN THE AMOUNT OF \$114,780.80 FOR 5.27 ACRES OF OFFSITE REFORESTATION AT BRANTWOOD, 2/1, PRES. PARCEL F HAS BEEN POSTED AS A PART OF THE DEVELOPER'S AGREEMENT- PN 18487-489
- FOREST CONSERVATION SURETY IN THE AMOUNT OF \$21,954.24 FOR 2.52 ACRES OF OFFSITE RETENTION AND \$83,417.40 FOR 3.83 ACRES OF OFFSITE RETENTION AT ELLICOTT MEADOWS, TM 16, BLK. 22, TM PARCEL 99, TOTALING \$105,371.64 HAS BEEN POSTED AS A PART OF THE DEVELOPER'S AGREEMENT PN 18490-500
- TRASH COLLECTION FOR THIS PROJECT WILL BE PROVIDED BY A PRIVATE CONTRACTOR.
- LANDSCAPE SURETY IN THE AMOUNT OF \$81,750.00 HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT
- SWM HAS NOT CHANGED AS LESS IMPERVIOUS IS PROPOSED WITH THE 'T' INTERSECTION**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION J.R. [Signature] 7/2/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT [Signature] 8/1/07  
 DIRECTOR [Signature] 8/2/07

**BENCH MARKS**

HOWARD COUNTY MON. #38A9  
 ELEV. 223.417  
 BRASS DISK ON CONC. MONUMENT  
 IN GRASS PLOT ON SE SIDE OF  
 US RTE 1 AND MONTGOMERY RD.  
 HOWARD COUNTY MON. #38BA  
 ELEV. 166.939  
 BRASS DISK ON CONC. MONUMENT  
 ON WEST SIDE OF US RTE.1 APPROX.  
 100' N OF BONNIE VIEW LA.



**ELKRIDGE CROSSING-PHASE ONE**  
 SCALE: 1"=150'

# SITE DEVELOPMENT PLANS PHASE ONE ELKRIDGE-CROSSING FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**SHEET INDEX**

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- 49-52 SWM PLANS
- 53-56 SEDIMENT AND EROSION CONTROL PLANS
- 57 CIRCLE REMOVAL PLAN

**PURPOSE OF REVISION NOTE:**  
 THE PURPOSE OF THIS REVISION IS TO REPLACE BUILDINGS A1 AND A2 WITH A SINGLE 3-STORY BUILDING A1, AND TO REVISE RELATED SHEETS IN CONJUNCTION WITH THE BUILDING REVISION, AND TO REMOVE DR. PATEL DRIVE LOCATED NORTHWEST OF THE ROUND-ABOUT.

**COMMERCIAL AREA REQUIREMENTS**

PHASE NO.	UNITS PROPOSED	AREA REQUIRED	AREA PROVIDED
1 - 2007	128	38,400 SF	19,320 SF
2 - 2008	98	29,400 SF	99,040 SF
3 - 2009	136	40,000 SF	
4 - 2010			
<b>TOTAL</b>	<b>362</b>	<b>108,600 SF</b>	<b>118,360 SF</b>

(A MINIMUM OF 300 SQ.FT. OF COMMERCIAL AREA IS REQUIRED PER EACH RESIDENTIAL UNIT)

**MODERATE INCOME HOUSING UNITS SUMMARY**

PHASE NO.	TOTAL UNITS	REQUIRED MIHU UNITS	PROVIDED
1 - 2007	128	20	20
2 - 2008	98	15	15
3 - 2009	136	30	30
4 - 2010			
<b>TOTAL</b>	<b>362</b>	<b>65</b>	<b>65</b>

MINIMUM MIHU REQUIRED: 15% OF TOTAL UNITS

**CONSTRUCTION PHASING**

PHASE NO.	UNITS PROPOSED	UNITS TYPE & NO. OF UNITS	RETAIL	OFFICES	COMMERCIAL	RESTAURANT	BANQUET	HOTEL	GUEST ROOMS	SOPH. NO.
1 - 2007	128	96 * 32(BLDGS.B1-B2)	14,120 SF		*25,200 SF					01-017
2 - 2008	98	66 ** 32(BLDGS.B3-B4)	27,480 SF		**6,700 SF	4,999 SF	5,000 SF	148		06-078
3 - 2009	136	56 *** 32(BLDGS.B5-B8)								07-056
4 - 2010										
<b>TOTAL</b>	<b>362</b>	<b>218</b>	<b>41,600 SF</b>		<b>11,900 SF</b>	<b>4,999 SF</b>	<b>5,000 SF</b>	<b>148</b>		

\*\* BLDGS. TH 1-8 \*\*\* BLDGS. TH 9-14  
 \*\* BLDGS. TH 9-14 \*\*\* BLDGS. TH 15-21

FOR COMPLETE ADDRESS CHART SEE SHEET 2 OF 56

**ADDRESS CHART**

PARCEL No.	STREET ADDRESS
38	6200 BALTIMORE WASHINGTON BOULEVARD (US RTE. #1)
30	7255 MONTGOMERY ROAD

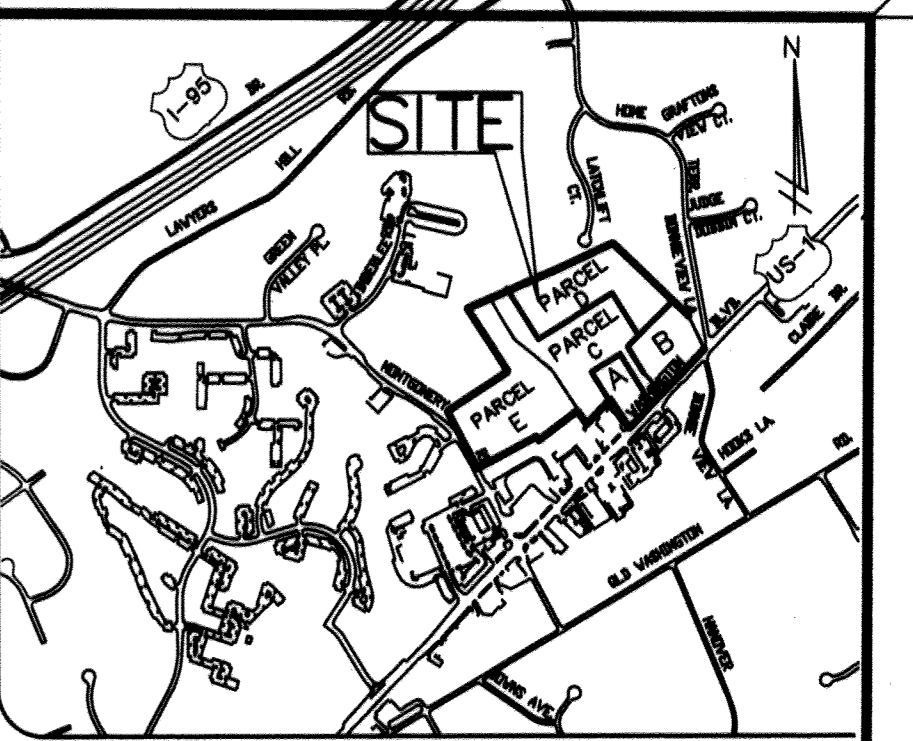
DATE: JUNE 21, 2006  
 SCALE: AS SHOWN  
 SHEET NO. 1 OF 57

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**PLANS PREPARED BY:**  
**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2823 Chenoweth Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8762 Fax: 410-661-8762  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-660-1602 Fax: 410-660-0627

NO.	DATE	DESCRIPTION	BY
1	6/15/07	OVERALL PLAN, NOTES	JM
PERMIT INFO			
ADDRESS CHART NOTE			
PHASE 1-SITE ANALYSIS NOTES			
FUTURE PHASE 3/4 LAYOUT			
2	8/29/08	Grass Road Rev. Notes, Paving, Erosion	CND
3	3-25-21	Remove Traffic Circle	FCC



**VICINITY MAP**  
**SITE ANALYSIS - PHASE ONE**

**PARKING DATA:**

**TOWNHOUSE BUILDINGS TH1 - TH8**  
 TOTAL 96 UNITS  
 TOTAL PARKING REQUIRED @ 2.0/UNIT = 192 SPACES  
 PARKING PROVIDED @ 2.0/UNIT = 192 SPACES  
 1 SPACE IN GARAGE UNDER BLDG. 1 SPACE IN REAR OF EACH UNIT ON A DRIVEWAY

**NOTE:**  
 THE GARAGES SHALL BE USED FOR PARKING ONLY IN ACCORDANCE WITH ZONING SECTION 133.D.2.G

**BUILDING A1**  
 BUILDING A-1-3 STORY=463140' = 8,440 SF  
 PROPOSED USE: 1,844 Units = 12,448 SF (1,844 Units @ 6.75 SF/Unit)  
 (CONC. CURB AND GUTTER TO BE AS PER HC STD. PLATE R-3.01)  
 (CONC. BARRIER CURBS TO BE AS PER HC STANDARD PLATE R-3.03)  
 (CONC. CURB AND GUTTER TO BE AS PER HC STD. PLATE R-3.01)  
 (CONC. BARRIER CURBS TO BE AS PER HC STANDARD PLATE R-3.03)  
 CONDOMINIUM BUILDINGS B1-B2 Total = 21,146.6 = 78 SPACES

**NO. OF UNITS PER BUILDING: 16**  
**TOTAL NO. OF UNITS FOR BLDGS. B1-B2: 32 UNITS**  
**PARKING PROVIDED: 32 @ 2/UNIT = 64 SPACES**

**CONDOMINIUM BUILDINGS B3-B4 (FUTURE PHASE II)**  
**NO. OF UNITS PER BUILDING: 16**  
**TOTAL NO. OF UNITS FOR BLDGS. B3-B4: 32 UNITS**  
**PARKING PROVIDED: 32 @ 2/UNIT = 64 SPACES**

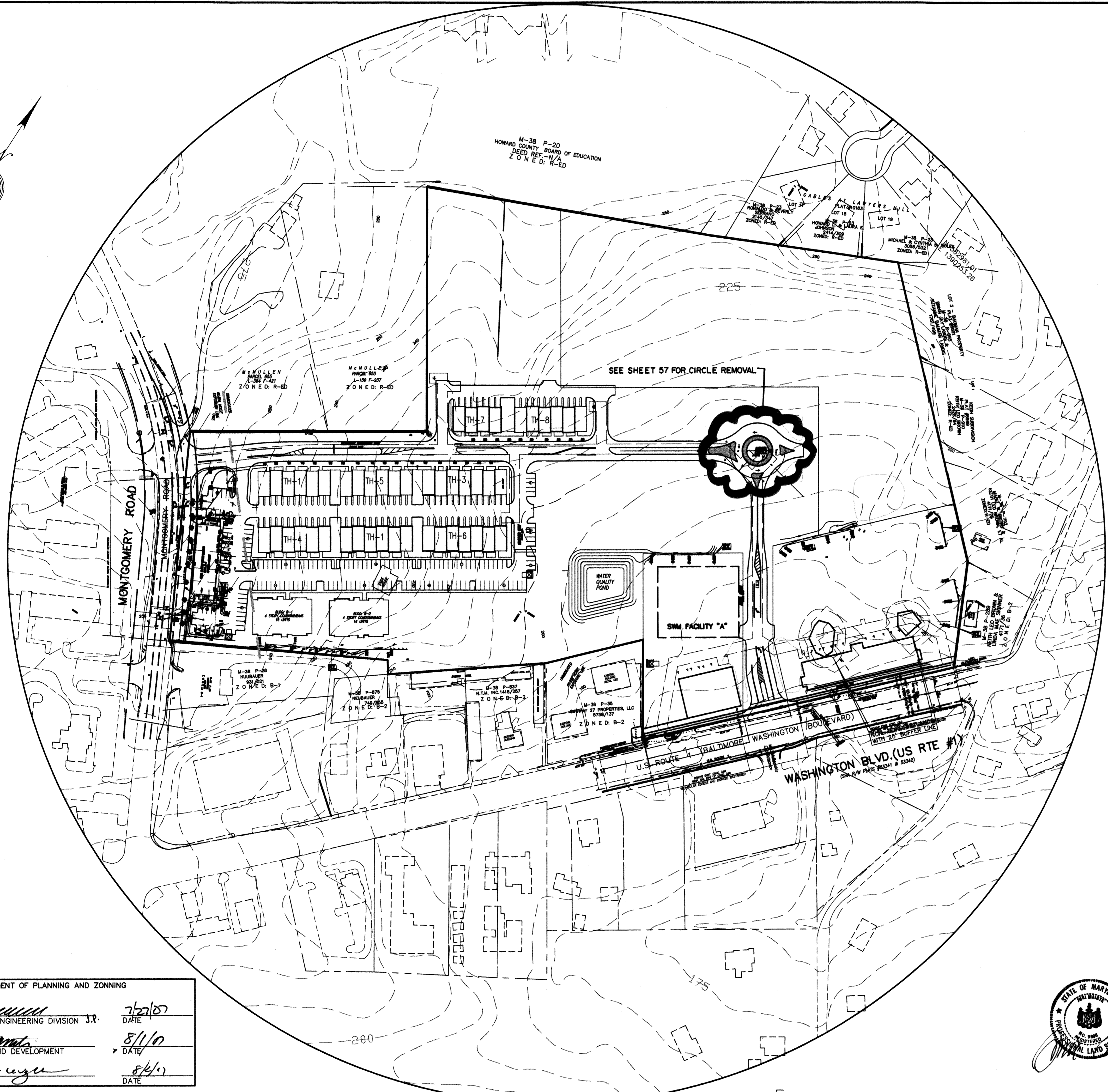
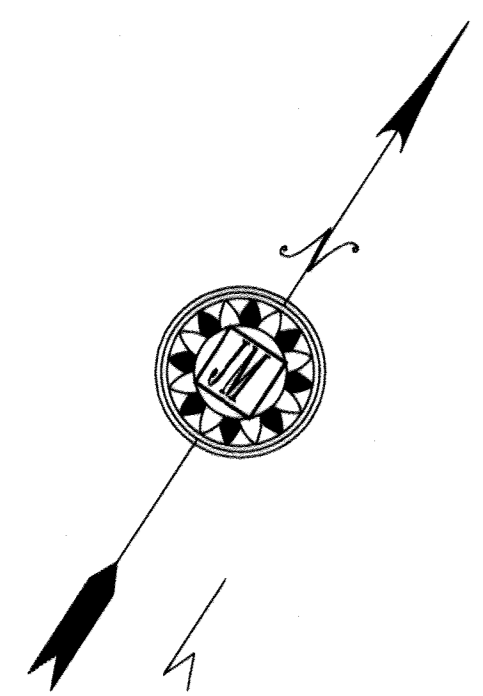
**SHARED PARKING ADJUSTMENT-PARKING LOTS A & B**  
**TOTAL PARKING REQUIRED FOR BLDGS. A1, B1 & B4**  
**= 64 + 64 + 70 = 198 SPACES**  
**SHARED PARKING ADJUSTMENT PER SECTION 133.E.1.0**  
**206 SPACES REQUIRED X 80% = 165 SPACES**  
**PARKING PROVIDED IN PARKING LOTS A & B = 166**

**OVERFLOW PARKING NOTE:**  
 IN ACCORDANCE WITH SECTION 16.120(b)(12) OF THE HOWARD COUNTY SUBDIVISION REGULATIONS OVERFLOW PARKING IS REQUIRED TO BE 38.4 ROUNDED TO 39 SPACES. THE PARKING LOT ON DABRY DOWNS AND HARPER WAY CONTAINS 118 PARKING SPACES OF THOSE SPACES 64 ARE DEDICATED TO CONDOMINIUM BUILDINGS B-1 AND B-2. THE REMAINING 54 SPACES ARE AVAILABLE FOR OVERFLOW PARKING. IN ADDITION THE PARKING LOT ON ELSQUIRE COURT CONTAINS 50 PARKING SPACES FOR THE OFFICE DEVELOPMENT. THESE SPACES ARE ALSO AVAILABLE FOR OVERFLOW PARKING FROM THE RESIDENTIAL UNITS.

**SITE DATA - PHASE ONE**

- TOTAL AREA: 423,417 SF OR 9.720 ACRES
- TOTAL BUILDING AREAS: 86,808 SF OR 1.993 ACRES
- SITE BUILDING COVERAGE: 86,808/423,417 = 21%
- PAVED AREA/AREA OF SITE: 354,533 / 423,417 = 84%
- TOTAL DISTURBED AREA: 423,417 SF OR 9.720 ACRES
- COMMERCIAL DISTURBED AREA: 46,200 SF OR 1.060 ACRES
- LOCATION BACKGROUND:  
 PROJECT: ELKRIDGE, HOWARD COUNTY, MD.  
 TAX MAP: 38, PARCEL 30 PROPERTY NO. 01-168150  
 TAX MAP: 38, PARCEL 38 PROPERTY NO. 01-164465  
 ZONED: CAC
- AMENITY OPEN SPACE PROVIDED: 1.0 ACRES
- DEVELOPER/OWNER WILL EXECUTE A COVENANT WITH DEPARTMENT OF HOUSING WITH REGARD TO PROVIDING MODERATE INCOME HOUSING
- SKETCH PLAN FOR "ELKRIDGE CROSSING(S-04-011)" APPROVED ON DEC.10, 2004

**SDD.04-017**



ADDRESS CHART

BLDG. #	ADDRESS
A-1	7320 ESQUIRE COURT
B-1	7210 DARBY DOWNS
B-2	7230 DARBY DOWNS
<b>TH1</b>	
U1/2	7202/7204 ELKRIDGE CROSSING WAY
U3/4	7206/7208 ELKRIDGE CROSSING WAY
U5/6	7210/7212 ELKRIDGE CROSSING WAY
U7/8	7214/7216 ELKRIDGE CROSSING WAY
U9/10	7218/7220 ELKRIDGE CROSSING WAY
U11/12	7222/7224 ELKRIDGE CROSSING WAY
<b>TH2</b>	
U1/2	7228/7230 ELKRIDGE CROSSING WAY
U3/4	7232/7234 ELKRIDGE CROSSING WAY
U5/6	7236/7238 ELKRIDGE CROSSING WAY
U7/8	7240/7242 ELKRIDGE CROSSING WAY
U9/10	7244/7246 ELKRIDGE CROSSING WAY
U11/12	7248/7250 ELKRIDGE CROSSING WAY
<b>TH3</b>	
U1/2	7254/7256 ELKRIDGE CROSSING WAY
U3/4	7258/7260 ELKRIDGE CROSSING WAY
U5/6	7262/7264 ELKRIDGE CROSSING WAY
U7/8	7266/7268 ELKRIDGE CROSSING WAY
U9/10	7270/7272 ELKRIDGE CROSSING WAY
U11/12	7274/7276 ELKRIDGE CROSSING WAY
U13/14	7278/7280 ELKRIDGE CROSSING WAY
<b>TH4</b>	
U1/2	7203/7205 DARBY DOWNS
U3/4	7207/7209 DARBY DOWNS
U5/6	7211/7213 DARBY DOWNS
U7/8	7215/7217 DARBY DOWNS
U9/10	7219/7221 DARBY DOWNS
U11/12	7223/7225 DARBY DOWNS
<b>TH5</b>	
U1/2	7229/7231 DARBY DOWNS
U3/4	7233/7235 DARBY DOWNS
U5/6	7237/7239 DARBY DOWNS
U7/8	7241/7243 DARBY DOWNS
U9/10	7245/7247 DARBY DOWNS
U11/12	7249/7251 DARBY DOWNS
<b>TH6</b>	
U1/2	7255/7257 DARBY DOWNS
U3/4	7259/7261 DARBY DOWNS
U5/6	7263/7265 DARBY DOWNS
U7/8	7267/7269 DARBY DOWNS
U9/10	7271/7273 DARBY DOWNS
U11/12	7275/7277 DARBY DOWNS
U13/14	7279/7281 DARBY DOWNS
<b>TH7</b>	
U1/2	7265/7267 ELKRIDGE CROSSING WAY
U3/4	7269/7271 ELKRIDGE CROSSING WAY
U5/6	7273/7275 ELKRIDGE CROSSING WAY
U7/8	7277/7279 ELKRIDGE CROSSING WAY
<b>TH8</b>	
U1/2	7285/7287 ELKRIDGE CROSSING WAY
U3/4	7289/7291 ELKRIDGE CROSSING WAY
U5/6	7293/7295 ELKRIDGE CROSSING WAY
U7/8	7297/7299 ELKRIDGE CROSSING WAY
U9/10	7301/7303 ELKRIDGE CROSSING WAY
U11/12	7305/7307 ELKRIDGE CROSSING WAY

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 7/27/07  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION J.R. DATE

*[Signature]* 8/1/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 8/1/07  
 DIRECTOR DATE



**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 091617  
 SCALE: 1"=100'

DATE	REVISION	BY	APP.
6/15/07 <td>OFFICE BUILDING ADDRESS CHART ADDED <td></td> <td></td> </td>	OFFICE BUILDING ADDRESS CHART ADDED <td></td> <td></td>		
3.25.21	Remove Traffic Circle		

**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**EXISTING FEATURES WITHIN 200' OF SITE**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chesaok Avenue Baltimore Maryland, 21284  
 Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland, 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET 2 OF 57

Rev / Replacement Sht.

SDP 04-017

**PARCEL E**  
PN 19052-53

ALLEY C  
(PRIVATE)

SEE SHEET 4

MATCH LINE  
LAWYERS HILL APARTMENTS  
F-72-05

**MONTGOMERY ROAD**  
(PUBLIC 105' R/W)

ELKRIDGE PHARMACY, INC.  
538/286

**OWNER**  
PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810  
PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961  
**DEVELOPER**  
BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

M-38 P-28  
PATRICK J. & CAROL A.  
NUUBAUER  
931/021  
ZONED: B-1

SC FIRE DEPT. SIAMESE CONN.  
KB FIRE DEPT. KNOX BOX

**FIRE DEPARTMENT NOTE:**  
THE FIRE DEPARTMENT KNOX BOX SHALL BE PLACED AT THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR.

**EASEMENT LEGEND**  
PN 19052-53

- DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
- DENOTES PRIVATE ACCESS EASEMENT
- DENOTES PUBLIC WATER AND UTILITY EASEMENT
- PRIVATE 10' STORM DRAIN EASEMENT
- PRIVATE STORMWATER MANAGEMENT EASEMENT

**HANDICAPPED ACCESS NOTE:**  
CONTRACTOR TO PROVIDE SIDEWALK RAMPS AT ALL INTERSECTIONS PER HOWARD COUNTY STD. PLATES R-4.01, R-4.02, OR R-4.03.

**LEGEND**

- D - EXISTING STORM DRAIN
- G - EXISTING GAS MAIN
- S - EXISTING SANITARY SEWER
- W - EXISTING WATER MAIN
- PROPOSED CONTOUR LINES
- EXISTING CONTOUR LINES
- PROPOSED WATER MAINS
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- EXISTING CONC. CURB & GUTTER
- PROPOSED CURB & GUTTER
- 20 DESIGNATES NUMBER OF PARKING SPACES
- FH - FIRE HYDRANT
- CW - CONCRETE WALK
- EDGE OF EXISTING WOODS LINE
- PROP. 6' WIDE CROSSWALK STAMPED CONC. OR PAVER BLOCKS
- PROP. DUMPSTERS W/ENCLOSURE
- PROP. WATER METERTVALVE
- PROP. FIRE HYDRANTS
- PHASING LINES
- PARCEL LINES PER F-04-187
- 15%-24.99% SLOPES
- STEEP SLOPES >25%
- SIDEWALK CROSS-OVER(CONC.PAVERS)

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	17	R2	SINGLE	14000	0.720	175W MH 15' Semi-Cutoff/Reflector
	0	C1	SINGLE	14000	0.720	250 WATT HPR (VAPOR) MOUNTED ON 30' POLES WITH 12" ARMS
	2	S2	BACK-BACK	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector
	1	S2T	TWIN	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector

**BENCH MARKS**

HOWARD COUNTY MON. #38A9  
ELEV. 223.417  
BRASS DISK ON CONC. MONUMENT  
IN GRASS PLOT ON SE SIDE OF  
US RTE 1 AND MONTGOMERY RD.  
HOWARD COUNTY MON. #38BA  
ELEV. 166.939  
BRASS DISK ON CONC. MONUMENT  
ON WEST SIDE OF RTE.1 APPROX.  
100' N OF BONNIE VIEW LA.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Mr. [Signature]* 2/2/05  
CHIEF, DEVELOPMENT ENGINEERING DIVISION J.R. DATE  
*Chandy [Signature]* 5/1/07  
CHIEF, DIVISION OF LAND DEVELOPMENT \* DATE  
*Mark [Signature]* 2/2/07  
DIRECTOR DATE

**PHASE 2**  
98 UNITS

50.00'  
TYPICAL 4 STORY  
2-UNIT TOWNHOUSE  
CONDOMINIUM  
FRONT  
24.00'

STATE OF MARYLAND  
PROFESSIONAL ENGINEER  
JURI MAISTE

**ELKRIDGE - CROSSING - PHASE ONE**  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SITE DEVELOPMENT PLAN - 1**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
2923 Chemok Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

**SHEET 3 OF 57**

DRAWN: J.M.  
DATE: JUNE 21, 2005  
SCALE: 1"=30'

DATE	REVISION
7/15/07	BIDS AS REMOVED
8/10/07	REVISION TO CONCEPT PLAN
10/17/07	ADD MAINS CROSSING
5/15/11	ADD SHEET 57

Rev/Replacement Sht.  
**SDP-04-017**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 9/14/06  
 DIRECTOR DATE

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

Symbol	Qty	Label	Arrangement	Lunens	LLF	Description
R2	44	R2	SINGLE	14000	0.720	175W MH 15' Semi-Cutoff/Reflector
C1	3	C1	SINGLE	14000	0.720	250 WATT HPR (VAPOR) MOUNTED ON 30' POLES WITH 12' ARMS
S2	5	S2	BACK-BACK	36000	0.720	Twin EGA 400 watt MH 32' Full Cutoff/Reflector
S2T	1	S2T	TWIN	36000	0.720	Twin EGA 400 watt MH 32' Full Cutoff/Reflector

**LEGEND**

- D - EXISTING STORM DRAIN
- G - EXISTING GAS MAIN
- S - EXISTING SANITARY SEWER
- W - EXISTING WATER MAIN
- PROPOSED CONTOUR LINES
- EXISTING CONTOUR LINES
- PROPOSED WATER MAINS
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- EXISTING CONC. CURB & GUTTER
- PROPOSED CURB & GUTTER
- DESIGNATES NUMBER OF PARKING SPACES
- FH - FIRE HYDRANT
- CW - CONCRETE WALK
- EDGE OF EXISTING WOODS LINE
- PROP. 6" WIDE CROSSWALK STAMPED CONC. OR PAVER BLOCKS
- PROP. DUMPSTERS W/ENCLOSURE
- PROP. WATER METERVALVE
- PROP. FIRE HYDRANTS
- PHASING LINES
- PARCEL LINES PER F-04-187
- 15%-24.99% SLOPES
- STEEP SLOPES >25%
- SIDEWALK CROSS-OVER(CONC.PAVERS)

**EASEMENT LEGEND**

- PN.18490-91 & 18494-95
- DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
  - DENOTES PRIVATE ACCESS EASEMENT
  - DENOTES PUBLIC WATER AND UTILITY EASEMENT
  - PRIVATE 10' STORM DRAIN EASEMENT
  - PRIVATE STORMWATER MANAGEMENT EASEMENT

**HANDICAPPED ACCESS NOTE:**

CONTRACTOR TO PROVIDE SIDEWALK RAMPS AT ALL INTERSECTIONS PER HOWARD COUNTY STD. PLATES R-4.01, R-4.02, OR R-4.03.

**DRIVEWAY NOTE:**  
 THE INDIVIDUAL DRIVEWAYS IN FRONT OF THE TOWNHOME GARAGES SHALL BE A MINIMUM LENGTH OF 18 FEET.

**PHASE 1**  
 128 UNITS

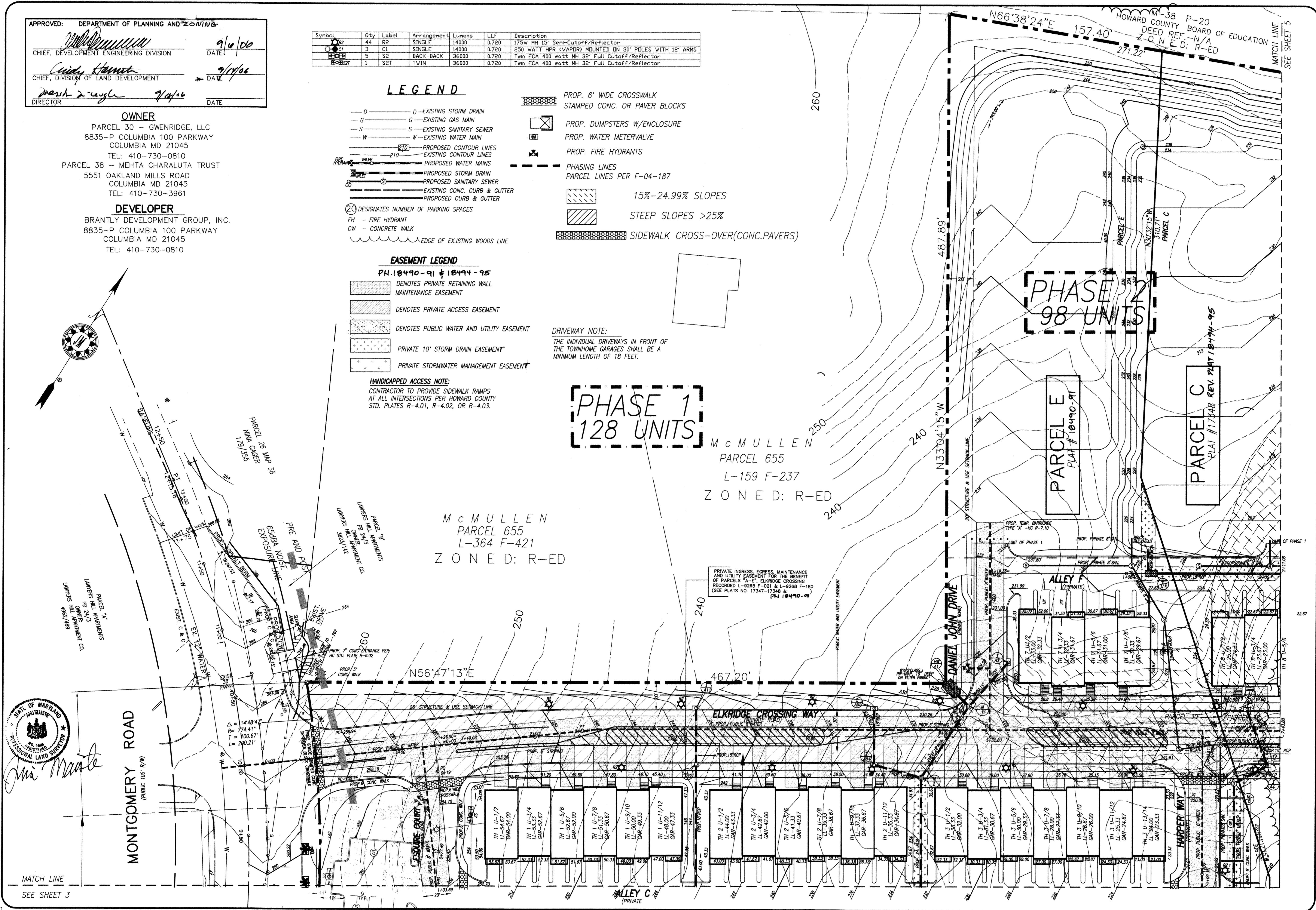
McMULLEN  
 PARCEL 655  
 L-159 F-237  
 ZONED: R-ED

McMULLEN  
 PARCEL 655  
 L-364 F-421  
 ZONED: R-ED

**PHASE 2**  
 98 UNITS

PARCEL E  
 PLAT #18490-91

PARCEL C  
 PLAT #17348 REV #18494-95



MATCH LINE  
 SEE SHEET 3

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: 1"=30'

DATE	BY	REVISION
1/1/07	PC	REVISE BLDG. A-2 LARG. GARAGES
3/25/07	ABJ	Sheet 57

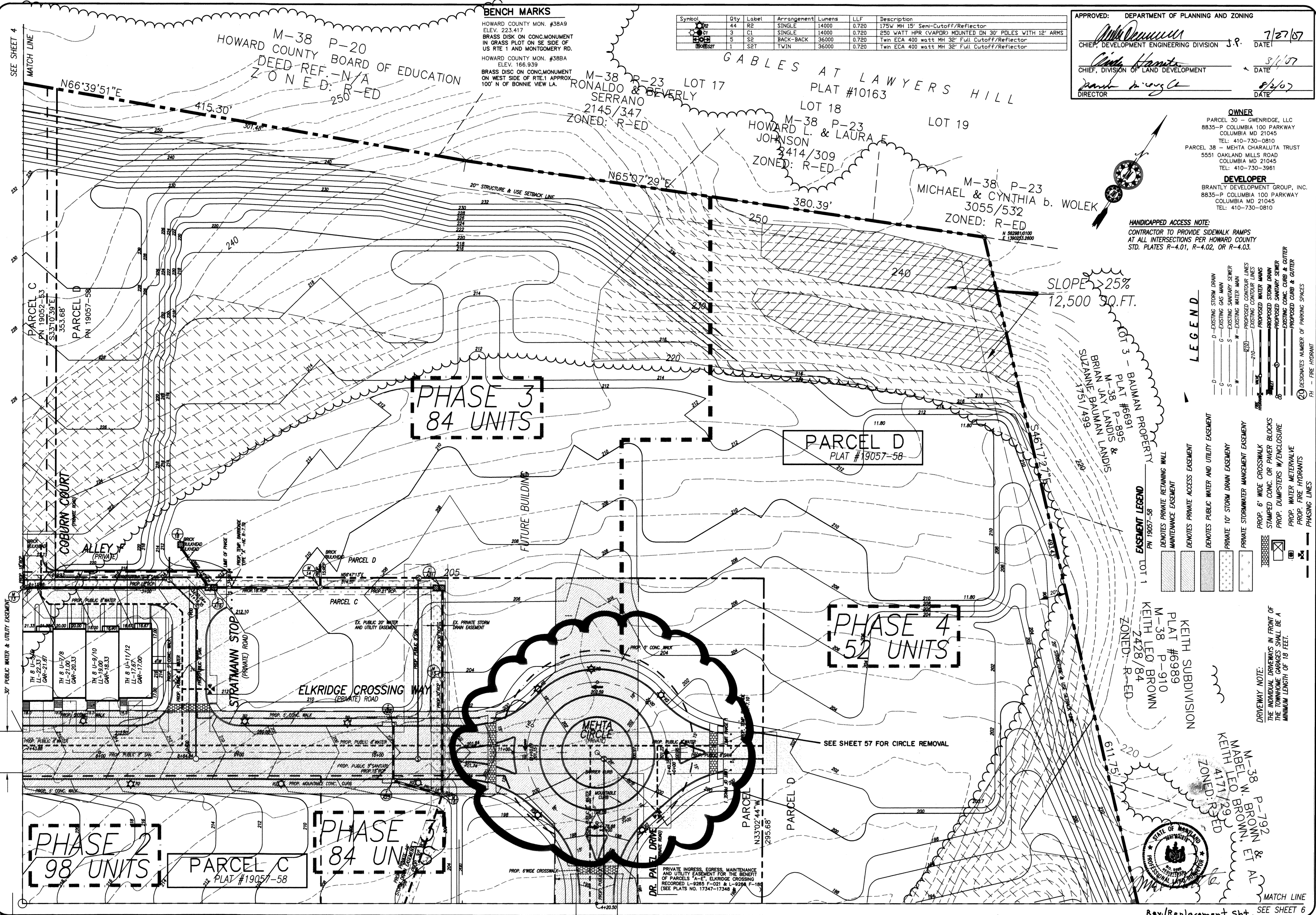
**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-F  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SITE\*DEVELOPMENT\*PLAN - 2**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chemoak Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
 4 OF 57

SDP-04-017



**BENCH MARKS**  
 HOWARD COUNTY MON. #38A9  
 ELEV. 223.417  
 BRASS DISK ON CONC. MONUMENT  
 IN GRASS PLOT ON SE SIDE OF  
 US RTE 1 AND MONTGOMERY RD.  
 HOWARD COUNTY MON. #38BA  
 ELEV. 166.939  
 BRASS DISK ON CONC. MONUMENT  
 ON WEST SIDE OF RTE. 1 APPROX.  
 100' N OF BONNIE VIEW LA.

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
☉	44	RE	SINGLE	14000	0.720	175W MH 15' Semi-Cutoff/Reflector
☉	3	CI	SINGLE	14000	0.720	250 WATT HPR (VAPOR) MOUNTED ON 30' POLES WITH 12' ARMS
☉	5	SB	BACK-BACK	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector
☉	1	S&T	TWIN	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION J.P. DATE: 7/27/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 8/1/07  
 DIRECTOR DATE: 8/2/07

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961  
**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**HANDICAPPED ACCESS NOTE:**  
 CONTRACTOR TO PROVIDE SIDEWALK RAMP  
 AT ALL INTERSECTIONS PER HOWARD COUNTY  
 STD. PLATES R-4.01, R-4.02, OR R-4.03.

- LEGEND**
- D - EXISTING STORM DRAIN
  - G - EXISTING GAS MAIN
  - S - EXISTING SANITARY SEWER
  - W - EXISTING WATER MAIN
  - PROPOSED STORM DRAIN
  - PROPOSED GAS MAIN
  - PROPOSED SANITARY SEWER
  - PROPOSED WATER MAIN
  - PROPOSED CONC. CURB & GUTTER
  - PROPOSED CONC. CURB & GUTTER
  - DESIGNATES NUMBER OF PARKING SPACES
  - FI - FIRE HYDRANT
  - PH - CONCRETE PAVEMENT

- EASEMENT LEGEND**
- PN 19057-58
  - DNOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
  - DNOTES PRIVATE ACCESS EASEMENT
  - DNOTES PUBLIC WATER AND UTILITY EASEMENT
  - PRIVATE 10' STORM DRAIN EASEMENT
  - PRIVATE STORMWATER MANAGEMENT EASEMENT
  - PROP. 6' WIDE CROSSWALK
  - STAMPED CONC. OR PAVEMENT BLOCKS
  - PROP. DUMPSTERS W/ ENCLOSURE
  - PROP. WATER METERVALE
  - PROP. FIRE HYDRANTS
  - PHASING LINES

**DRIVEWAY NOTE:**  
 THE INDIVIDUAL DRIVEWAYS IN FRONT OF  
 THE TOWNHOMES SHALL BE A  
 MINIMUM LENGTH OF 10 FEET.

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: 1"=30'

DATE	REVISION	BY	FOR APPROVED REVISIONS
6/15/07	3/25/07	J.M.	Remove Traffic Circle

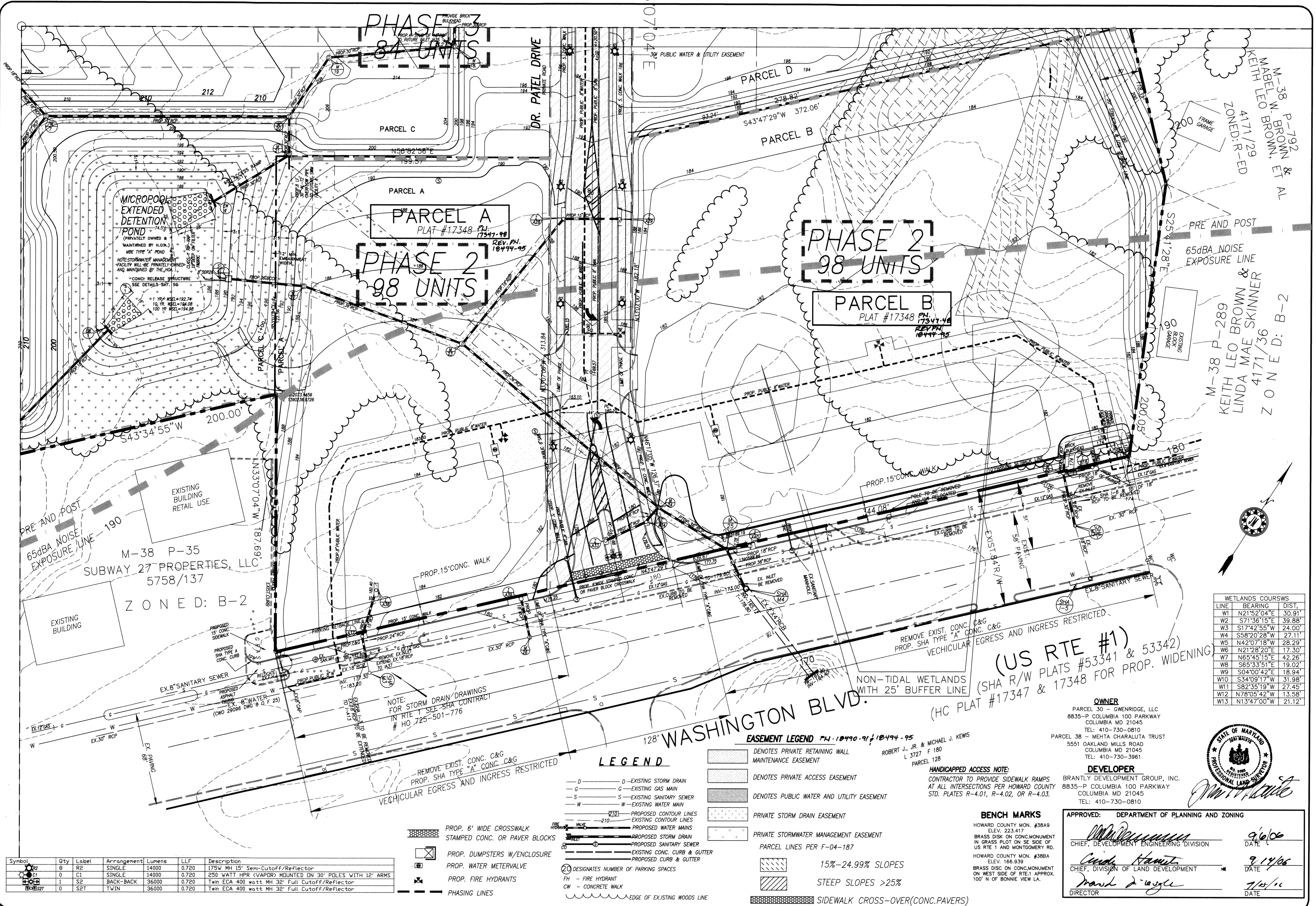
**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SITE DEVELOPMENT PLAN - 3**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chemok Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET 5 OF 57

SDP-04-017

C:\DRAWINGS\ELKRIDGE\1\PHASE-1\ELK-SDP4 Set, Aug 12 20:54:26 2006



Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
R2	8	R2	SINGLE	14000	0.720	175W MH 15' Semi-Cutoff/Reflector
C1	0	C1	SINGLE	14000	0.720	250 WATT HPR (VAPOR) MOUNTED DN 30' POLES WITH 12" ARMS
S2	1	S2	BACK-BACK	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector
S2T	0	S2T	TWIN	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector

- PROP. 6' WIDE CROSSWALK STAMPED CONC. OR PAVER BLOCKS
- PROP. DUMPSTERS W/ENCLOSURE
- PROP. WATER METER VALVE
- PROP. FIRE HYDRANTS
- PHASING LINES

- ### LEGEND
- D- EXISTING STORM DRAIN
  - G- EXISTING GAS MAIN
  - S- EXISTING SANITARY SEWER
  - W- EXISTING WATER MAIN
  - (210) PROPOSED CONTOUR LINES
  - (210) EXISTING CONTOUR LINES
  - (210) PROPOSED WATER MAINS
  - (210) PROPOSED STORM DRAIN
  - (210) PROPOSED SANITARY SEWER
  - (210) EXISTING CONC. CURB & GUTTER
  - (210) PROPOSED CURB & GUTTER
  - (20) DESIGNATES NUMBER OF PARKING SPACES
  - FW - FIRE HYDRANT
  - CH - CONCRETE WALK
  - WAVE - EDGE OF EXISTING WOODS LINE

- ### EASEMENT LEGEND
- DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
  - DENOTES PRIVATE ACCESS EASEMENT
  - DENOTES PUBLIC WATER AND UTILITY EASEMENT
  - PRIVATE STORM DRAIN EASEMENT
  - PRIVATE STORMWATER MANAGEMENT EASEMENT
  - 15%-24.99% SLOPES
  - STEEP SLOPES >25%
  - SIDEWALK CROSS-OVER (CONC. PAVERS)

**BENCH MARKS**  
 HOWARD COUNTY MON. #38A9 ELEV. 223.417  
 BRASS DISK ON CONCRETE MONUMENT IN GRASS PLOT ON SE SIDE OF US RTE 1 AND MONTGOMERY RD.  
 HOWARD COUNTY MON. #38BA ELEV. 166.939  
 BRASS DISC ON CONCRETE MONUMENT ON WEST SIDE OF RTE 1 APPROX. 100' N OF BONNIE VIEW LA.

**WETLANDS COURSES**  

LINE	BEARING	DIST.
W1	N21°52'04"E	30.91'
W2	S71°36'15"E	39.88'
W3	S17°42'55"W	24.00'
W4	S58°20'28"W	27.11'
W5	N42°07'18"W	28.29'
W6	N21°28'20"E	17.30'
W7	N65°45'15"E	42.28'
W8	S65°33'51"E	18.02'
W9	S04°00'42"E	18.94'
W10	S34°09'17"W	31.98'
W11	S82°35'19"W	27.45'
W12	N78°05'42"W	13.58'
W13	N13°47'00"W	21.12'

REMOVE EXIST. CONC. C&G  
 PROP. SHA TYPE "A" CONC. C&G  
 VEHICULAR EGRESS AND INGRESS RESTRICTED.

(US RTE #1)  
 (SHA R/W PLATS #53341 & 53342)  
 (HC PLAT #17347 & 17348 FOR PROP. WIDENING)

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**APPROVED:** DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7/12/11  
 DIRECTOR DATE



**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2023 Chenoweth Avenue, Baltimore, Maryland, 21234  
 Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland, 21030  
 Phone: 410-660-1602 Fax: 410-660-0887

DRAWN: J.M.  
 DATE: JUNE 1, 2006  
 SCALE: 1"=30'

BY: JOC  
 REVISION: ABB Sheet 57

**ELKRIDGE-CROSSING-PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SITE DEVELOPMENT PLAN-4**



ELEVATION  
BUILDING A-1

NTS



TYPICAL ELEVATION  
BUILDINGS B-1 & B-2

NTS



TYPICAL ELEVATION  
BUILDING GROUPS TH1--TH22

NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 7/27/02  
CHIEF, DEVELOPMENT ENGINEERING DIVISION J.R. DATE

*[Signature]* 8/1/02  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 8/2/02  
DIRECTOR DATE

APPROVED FOR PUBLIC WATER AND SEWERAGE SYSTEMS

*[Signature]* N/A  
COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT DATE



Rev/Replacement Sht.

DRAWN: J.M.  
DATE: APRIL 27, 2006  
SCALE: NTS

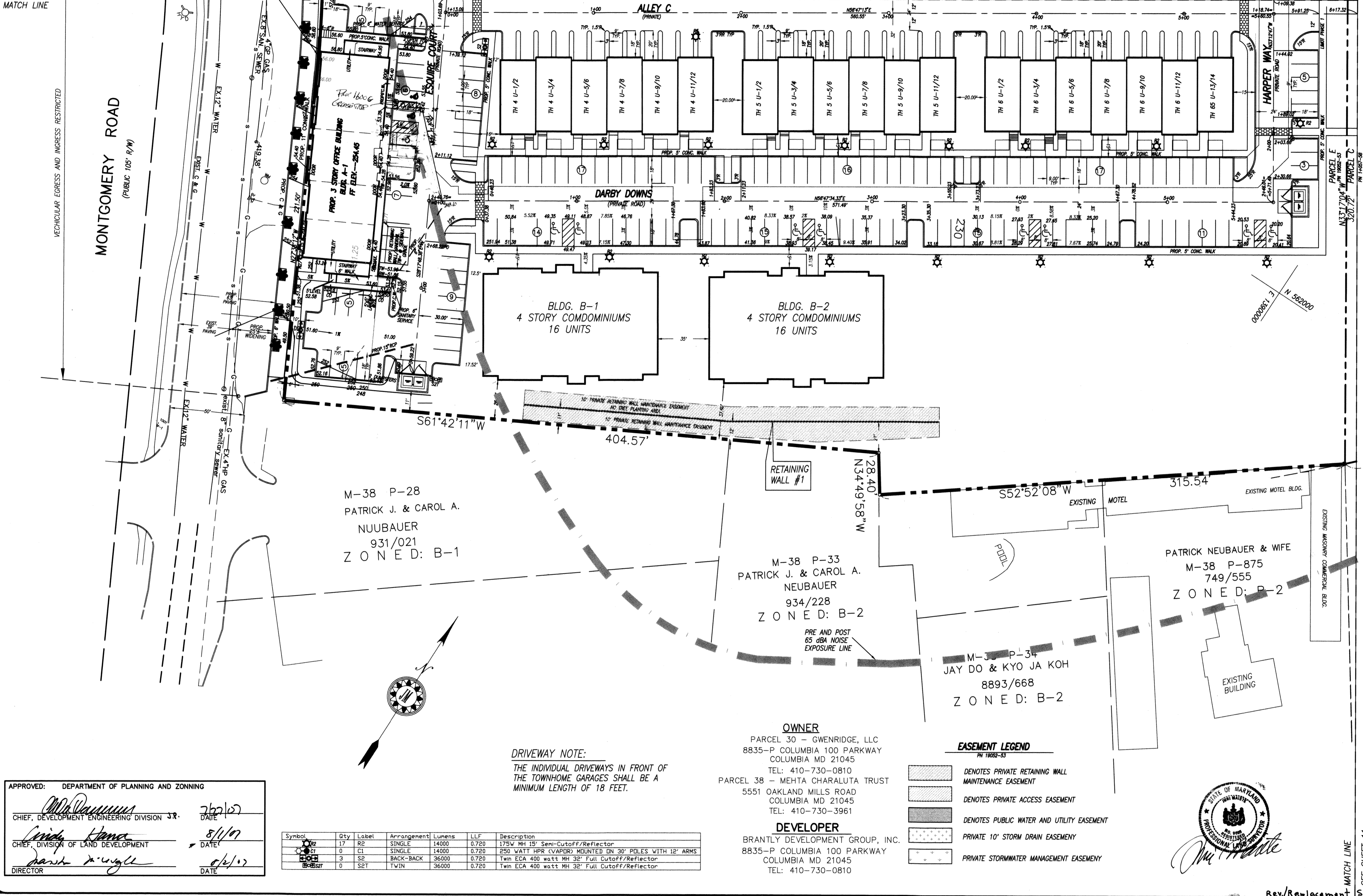
DATE	BY	REVISION
3/25/07	JM	BUILDING A-1 REPLACES BUILDINGS A1 AND A2 ADD SHEET 67

ELKRIDGE-CROSSING-PHASE ONE  
PARCELS A-E  
TAX MAP 33, GRID 2, PARCELS 30 & 38  
SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
BUILDING-ELEVATIONS

JURI MAISTE - SITE DESIGN CONSULTANT  
2823 Chesnut Avenue, Baltimore, Md. 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
RICHARDSON ENGINEERING, LLC  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
7 OF 57

SDP-04-017



$\Delta = 1'48.47"$   
 $R = 774.41"$   
 $T = 100.67"$   
 $L = 200.21"$

MONTGOMERY ROAD  
 (PUBLIC 105' R/W)

VEHICULAR EGRESS AND INGRESS RESTRICTED

M-38 P-28  
 PATRICK J. & CAROL A.  
 NUUBAUER  
 931/021  
 ZONED: B-1

M-38 P-33  
 PATRICK J. & CAROL A.  
 NEUBAUER  
 934/228  
 ZONED: B-2

PATRICK NEUBAUER & WIFE  
 M-38 P-875  
 749/555  
 ZONED: P-2

M-38 P-34  
 JAY DO & KYO JA KOH  
 8893/668  
 ZONED: B-2

**DRIVEWAY NOTE:**  
 THE INDIVIDUAL DRIVEWAYS IN FRONT OF THE TOWNHOME GARAGES SHALL BE A MINIMUM LENGTH OF 18 FEET.

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**EASEMENT LEGEND**  
PN 19082-33

[Pattern]	DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
[Pattern]	DENOTES PRIVATE ACCESS EASEMENT
[Pattern]	DENOTES PUBLIC WATER AND UTILITY EASEMENT
[Pattern]	PRIVATE 10' STORM DRAIN EASEMENT
[Pattern]	PRIVATE STORMWATER MANAGEMENT EASEMENT

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
R2	17	R2	SINGLE	14000	0.720	175W MH 15' Semi-Cutoff/Reflector
C1	0	C1	SINGLE	14000	0.720	250 WATT HPR (VAPOR) MOUNTED ON 30' POLES WITH 12" ARMS
S2	3	S2	BACK-BACK	36000	0.720	Twin ECA 400 watt MH 32" Full Cutoff/Reflector
S2T	0	S2T	TWIN	36000	0.720	Twin ECA 400 watt MH 32" Full Cutoff/Reflector

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Michael J. Dammus* 7/27/17  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION JR. DATE

*Christy Hanna* 8/1/17  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*David K. Wright* 8/2/17  
 DIRECTOR DATE



**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Cherokeet Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8762  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Piedmont Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38 GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SITE GEOMETRY - 1**

DRAWN: J.M.  
 DATE: JUNE 1, 2006  
 SCALE: 1"=30'

DATE	BY	REVISION
8/1/17 <td>JM <td>PER APPROVED REVISIONS</td> </td>	JM <td>PER APPROVED REVISIONS</td>	PER APPROVED REVISIONS
3/25/21 <td>JM <td>ADD SHEET 57</td> </td>	JM <td>ADD SHEET 57</td>	ADD SHEET 57

Rev/Replacement Sht.

SEE SHEET 11

SDP-04-017



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 9/16/06

CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 9/16/06

DIRECTOR  
 DATE: 9/16/06

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	14	R2	SINGLE	14000	0.720	175W MH 15' Semi-Cutoff/Reflector
	2	C1	SINGLE	14000	0.720	250 WATT HPR (VAPOR) MOUNTED DN 30' POLES WITH 12' ARMS
	1	S2	BACK-BACK	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector
	0	S2T	TWIN	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**DRIVEWAY NOTE:**  
 THE INDIVIDUAL DRIVEWAYS IN FRONT OF THE TOWNHOME GARAGES SHALL BE A MINIMUM LENGTH OF 18 FEET.

**EASEMENT LEGEND**  
 P.L. 18490-91 & 18474-95

- DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
- DENOTES PRIVATE ACCESS EASEMENT
- DENOTES PUBLIC WATER AND UTILITY EASEMENT
- PRIVATE 10' STORM DRAIN EASEMENT
- PRIVATE STORMWATER MANAGEMENT EASEMENT

M-38 P-20  
 HOWARD COUNTY BOARD OF EDUCATION  
 DEED REF. - N/A  
 ZONE D: R-ED

DRAWN: J.M.  
 DATE: JUNE 21, 2005  
 SCALE: 1" = 30'

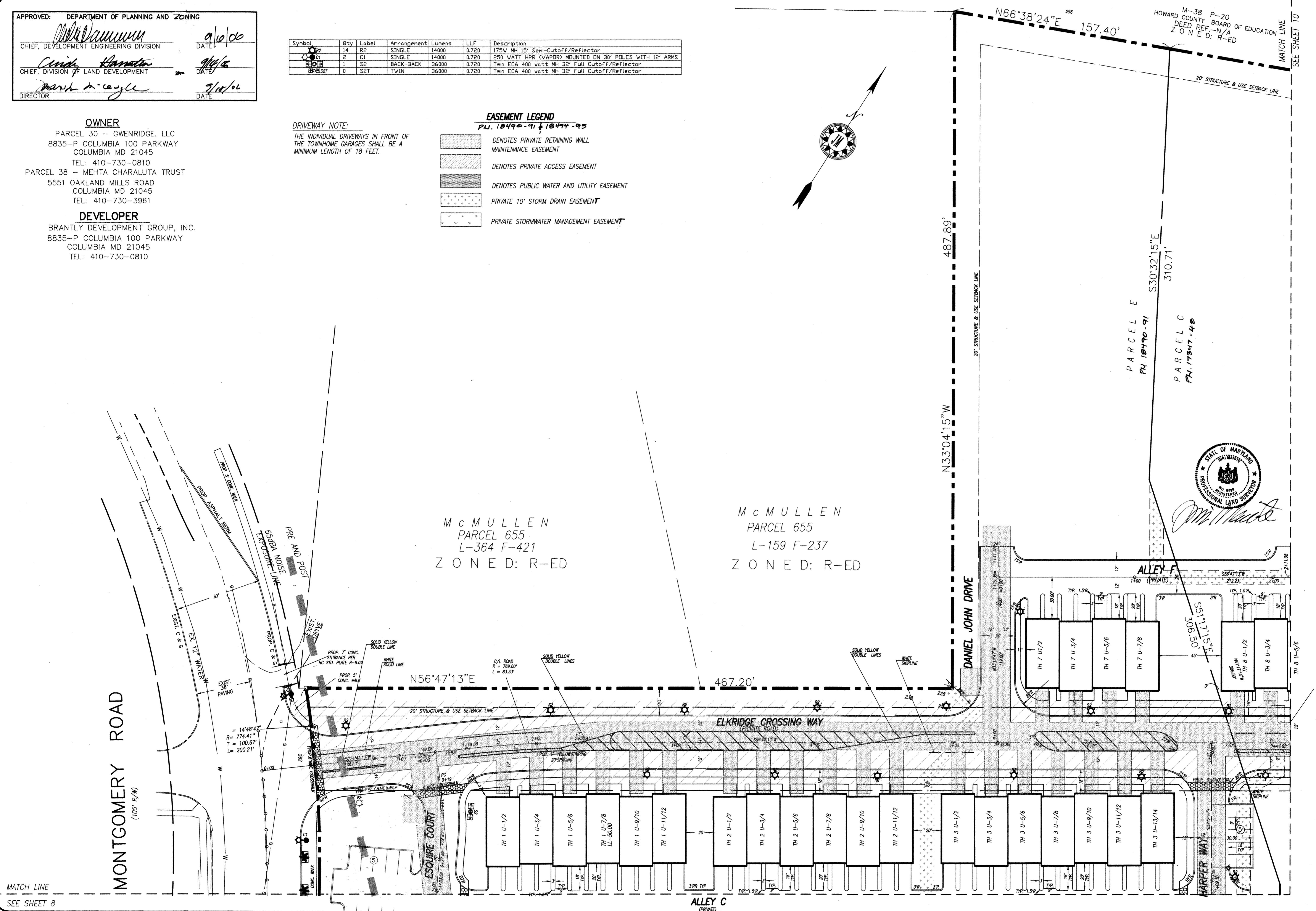
REVISION  
 1/1/07  
 3/25/21  
 Add Sheet 57

**ELKRIDGE-CROSSING--PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SITE\*GEOMETRY-2**

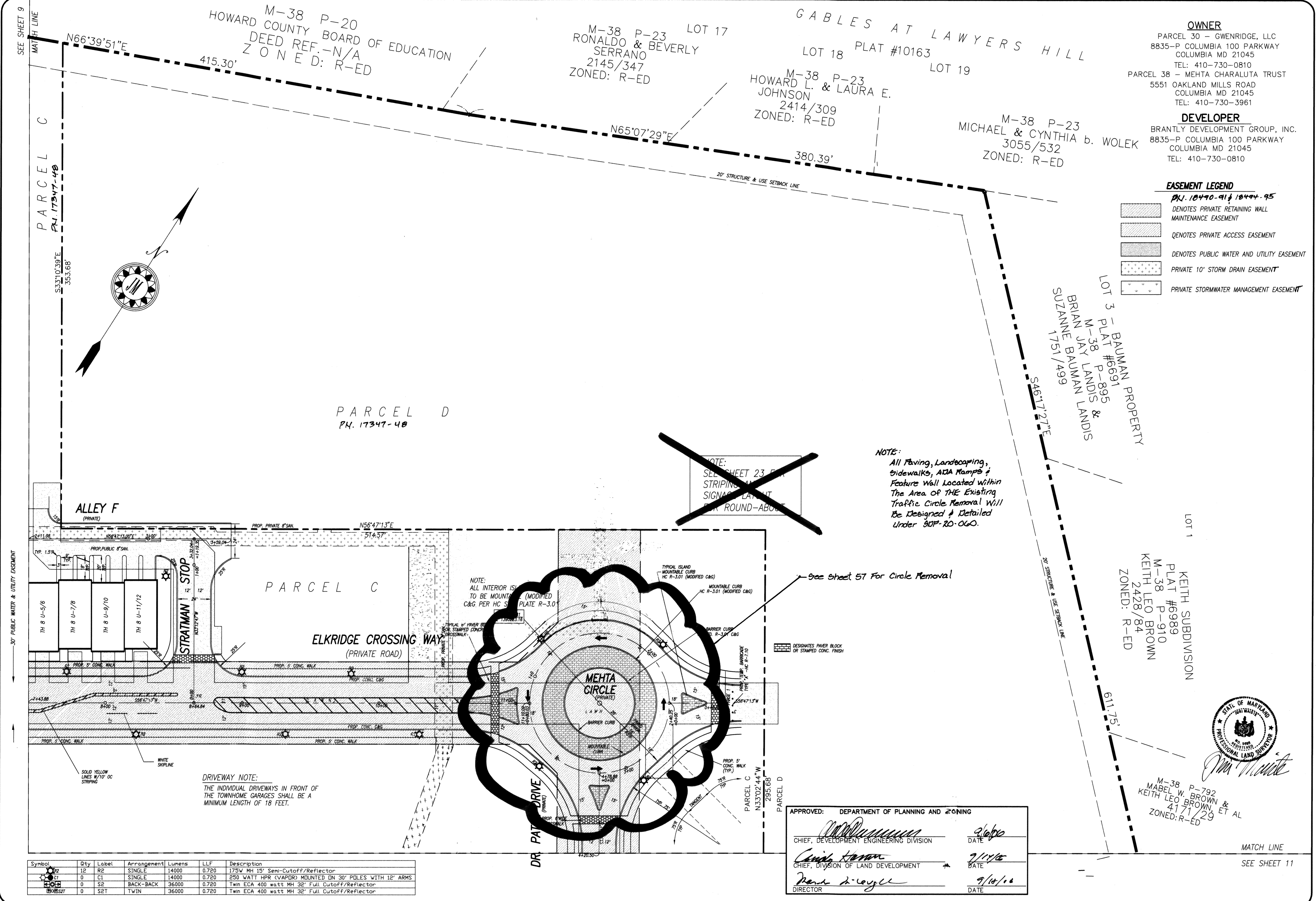
**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2823 Cheapeake Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET 9 OF 57



STATE OF MARYLAND  
 DEPARTMENT OF GENERAL SERVICES  
 PROFESSIONAL LAND SURVEYOR  
 M. Maiste



**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**EASEMENT LEGEND**

- DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
- DENOTES PRIVATE ACCESS EASEMENT
- DENOTES PUBLIC WATER AND UTILITY EASEMENT
- PRIVATE 10' STORM DRAIN EASEMENT
- PRIVATE STORMWATER MANAGEMENT EASEMENT

LOT 3 - BAUMAN PROPERTY  
 PLAT #6691  
 M-38 P-895  
 BRIAN JAY LANDIS &  
 SUZANNE BAUMAN LANDIS  
 1751/499

LOT 1  
 KEITH SUBDIVISION  
 PLAT #6989  
 M-38 P-910  
 KEITH LEO BROWN  
 2428/84  
 ZONED: R-ED



M-38 P-792  
 MABEL W. BROWN &  
 KEITH LEO BROWN ET AL  
 4171/29  
 ZONED: R-ED

ALLEY F  
 (PRIVATE)

PARCEL C

ELKRIDGE CROSSING WAY  
 (PRIVATE ROAD)

MEHTA CIRCLE  
 (PRIVATE)

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	12	RE	SINGLE	14000	0.720	175W MH 18" Semi-Cutoff/Reflector
	0	CI	SINGLE	14000	0.720	250 WATT HPR (VAPDR) MOUNTED ON 30' POLES WITH 12' ARMS
	0	S2	BACK-BACK	36000	0.720	Twin ECA 400 watt MH 32" Full Cutoff/Reflector
	0	S2T	TWIN	36000	0.720	Twin ECA 400 watt MH 32" Full Cutoff/Reflector

**DRIVEWAY NOTE:**  
 THE INDIVIDUAL DRIVEWAYS IN FRONT OF THE TOWNHOME GARAGES SHALL BE A MINIMUM LENGTH OF 18 FEET.

NOTE:  
 ALL INTERIOR ISLANDS TO BE MOUNTED TO C&G PER HC S-3.01 (MODIFIED C&G) PLATE R-3.0

TYPICAL ISLAND MOUNTABLE CURB HC R-3.01 (MODIFIED C&G)

DESIGNATES PAVEMENT OR STAMPED CONC. FINISH

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 9/11/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 9/18/06  
 DIRECTOR DATE

NOTE:  
 All Paving, Landscaping, Sidewalks, ADA Ramps & Feature Wall Located Within The Area of THE Existing Traffic Circle Removal Will Be Designed & Detailed Under SDP-20-060.

NOTE:  
 SEE SHEET 23 FOR STRIPING AND SIGNAGE LAYOUT FOR ROUND-ABOUT

See Sheet 57 For Circle Removal

MATCH LINE  
 SEE SHEET 11

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: 1"=30'

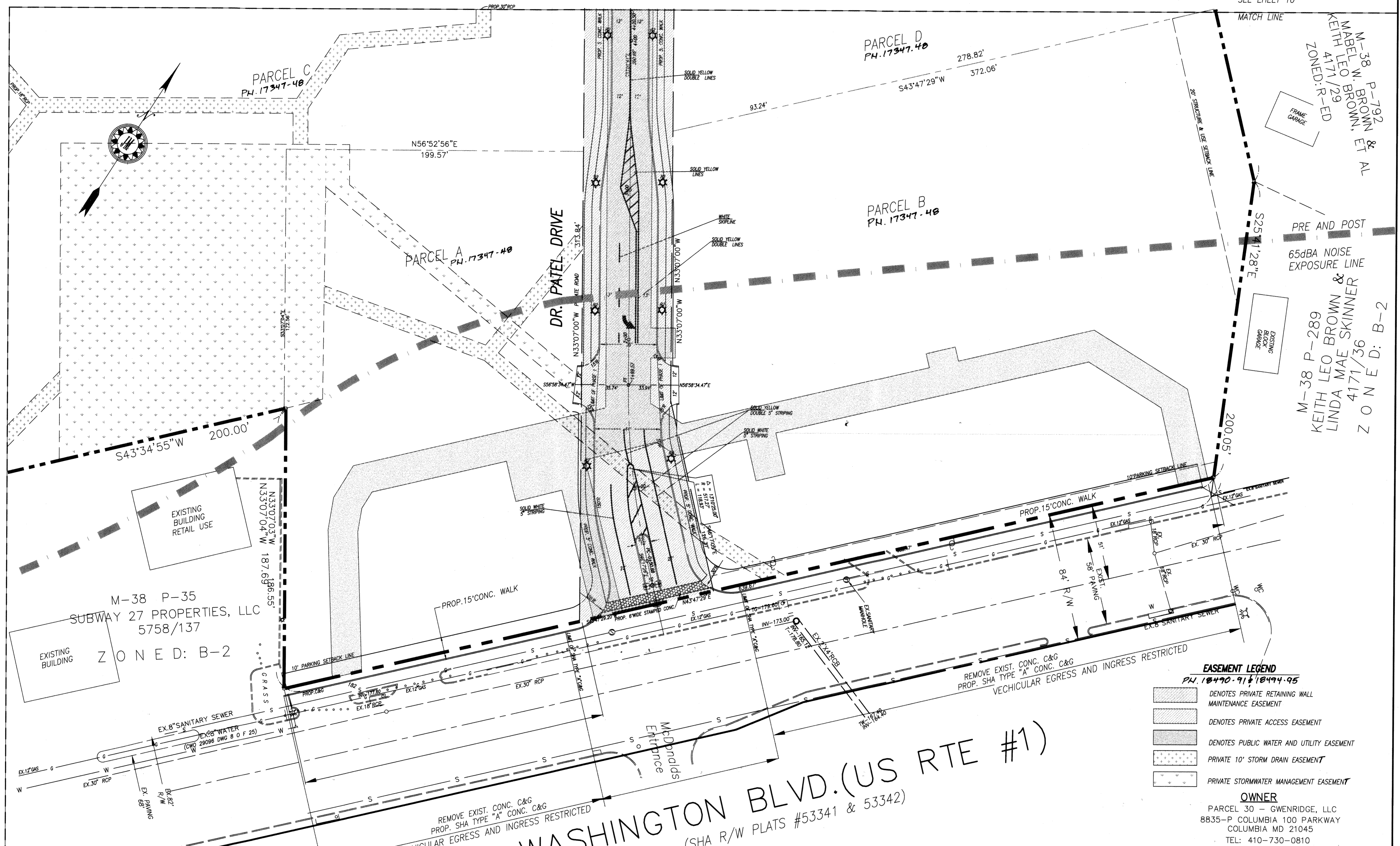
DATE	REVISION	BY	CAUSE
3/25/07	REMOVE TRAFFIC CIRCLE	J.M.	REVISED

**ELKRIDGE-CROSSING-PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SITE\*GEOMETRY-3**

JURI MAISTE - SITE DESIGN CONSULTANT  
 2923 Chemok Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
 10 OF 57

C:\DRAWINGS\ELKRIDGE\PHASE-1\EG-GE04 - Sun Jul 23 10:55:2006



SEE SHEET 10  
MATCH LINE  
M-38 P-792  
MABEL W. BROWN, ET AL  
KEITH LEO BROWN  
4171/29  
ZONED: R-ED  
FRAME GARAGE

PARCEL D  
PH. 17347.40  
278.82'  
372.06'  
S43°47'29"W

PARCEL B  
PH. 17347.40  
93.24'  
N33°07'00"W

PARCEL A  
PH. 17347.40  
N56°52'56"E  
199.57'

PRE AND POST  
65dBA NOISE  
EXPOSURE LINE  
M-38 P-289  
KEITH LEO BROWN &  
LINDA MAE SKINNER  
4171/36  
ZONED: B-2  
EXISTING  
GARAGE  
200.05'

EXISTING  
BUILDING  
RETAIL USE

M-38 P-35  
SUBWAY 27 PROPERTIES, LLC  
5758/137  
ZONED: B-2

EXISTING  
BUILDING

PROP. 15' CONC. WALK

PROP. 15' CONC. WALK

WASHINGTON BLVD. (US RTE #1)  
(SHA R/W PLATS #53341 & 53342)  
REMOVE EXIST. CONC. C&G  
PROP. SHA TYPE "A" CONC. C&G  
VEHICULAR EGRESS AND INGRESS RESTRICTED

EASEMENT LEGEND  
PH. 18490.91 & 18494.95

- Denotes PRIVATE RETAINING WALL MAINTENANCE EASEMENT
- Denotes PRIVATE ACCESS EASEMENT
- Denotes PUBLIC WATER AND UTILITY EASEMENT
- PRIVATE 10' STORM DRAIN EASEMENT
- PRIVATE STORMWATER MANAGEMENT EASEMENT

OWNER

PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810  
PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

DEVELOPER

BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
R2	8	R2	SINGLE	14000	0.720	175W MH 15' Semi-Cutoff/Reflector
C1	0	C1	SINGLE	14000	0.720	250 WATT HPR (VAPDR) MOUNTED ON 30' POLES WITH 12" ARMS
S2	1	S2	BACK-BACK	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector
S2T	0	S2T	TWIN	36000	0.720	Twin ECA 400 watt MH 32' Full Cutoff/Reflector



APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Jurj Maiste*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/14/06

*Cindy Hammett*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/14/06

*Mark La Tourette*  
DIRECTOR  
DATE:

DRAWN: J.M.  
DATE: JUNE 1, 2006  
SCALE: 1"=30'

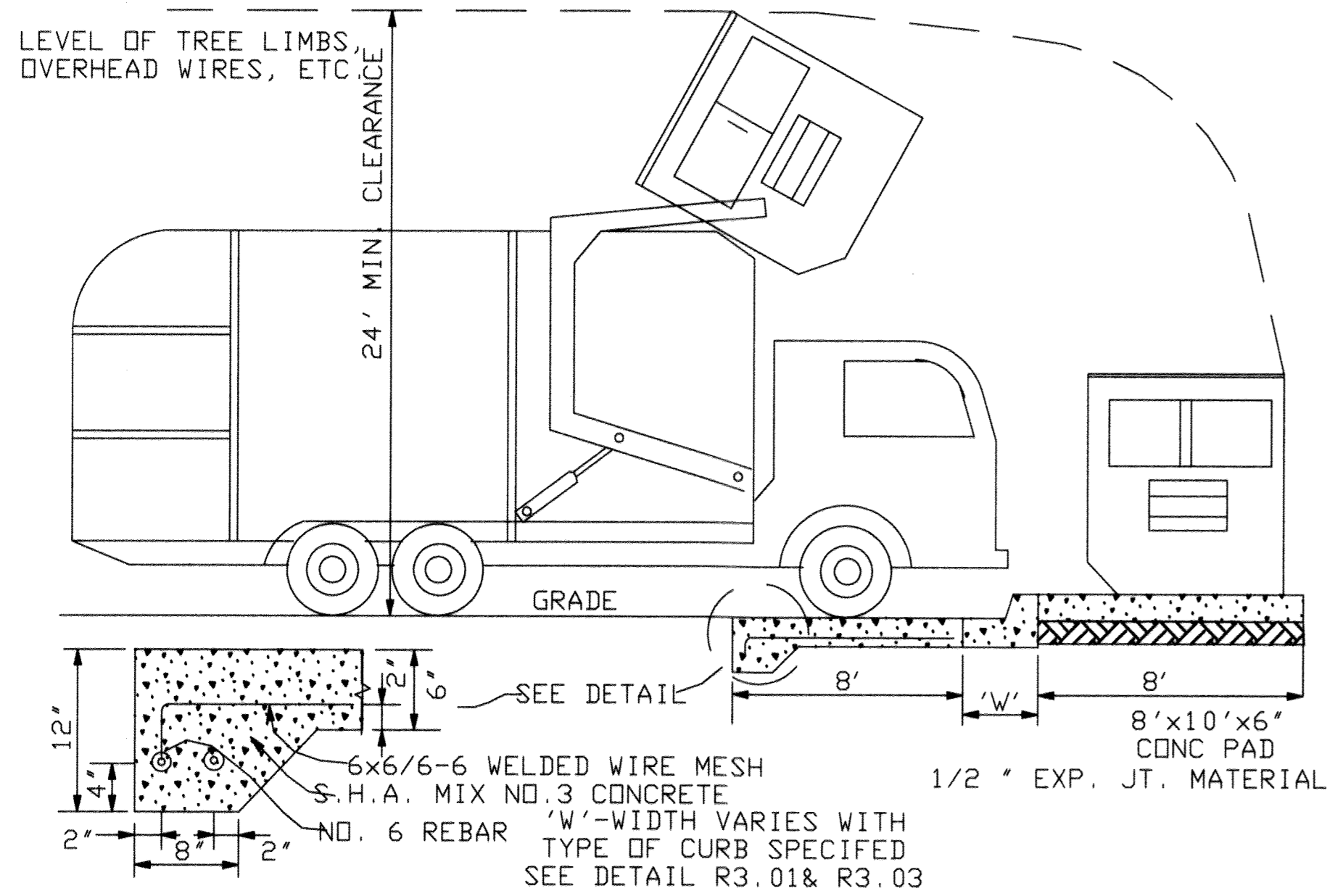
DATE	BY	REVISION
3/25/06	J.M.	Add sheet 57

ELKRIDGE - CROSSING - PHASE ONE  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SITE GEOMETRY - 4

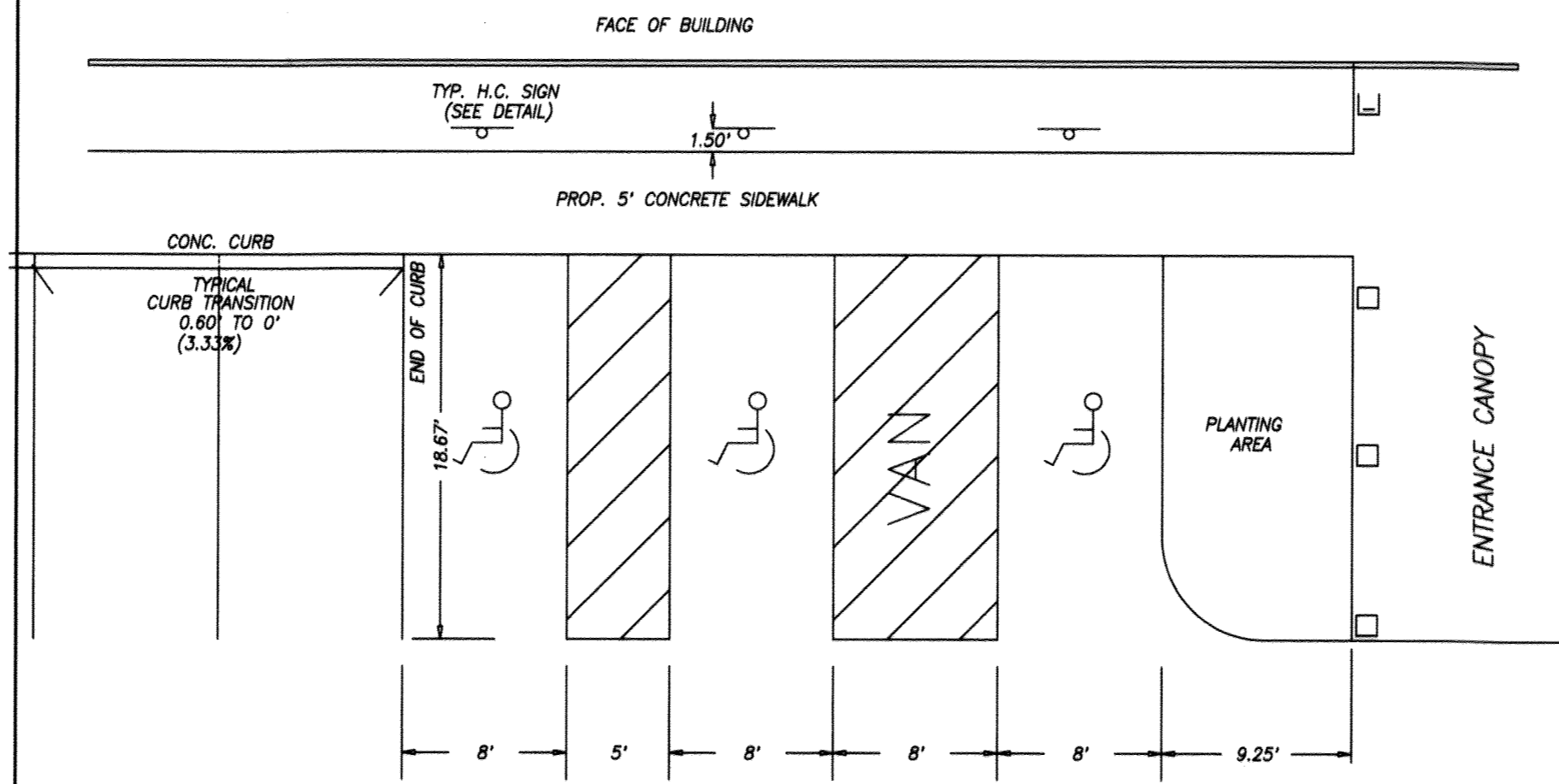
JURJ MAISTE - SITE DESIGN CONSULTANT  
2923 Chemok Avenue, Baltimore, Maryland, 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
RICHARDSON ENGINEERING, LLC  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland, 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
11 OF 57

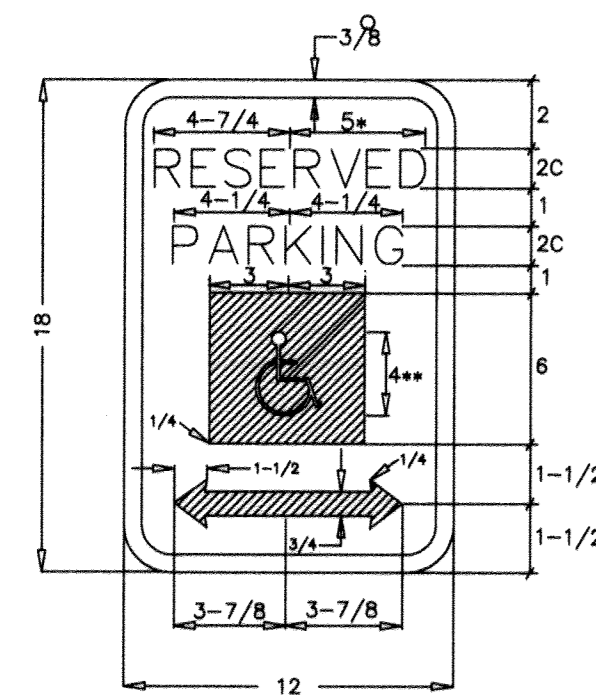
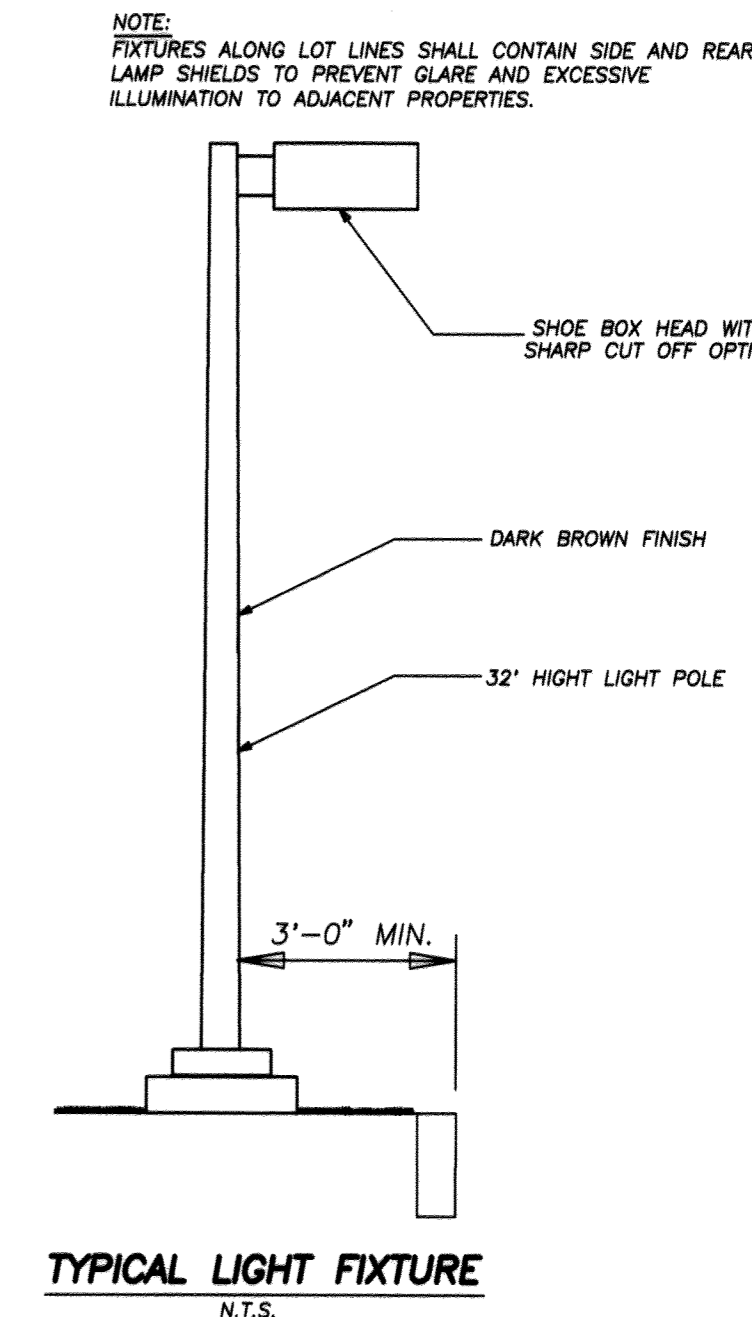
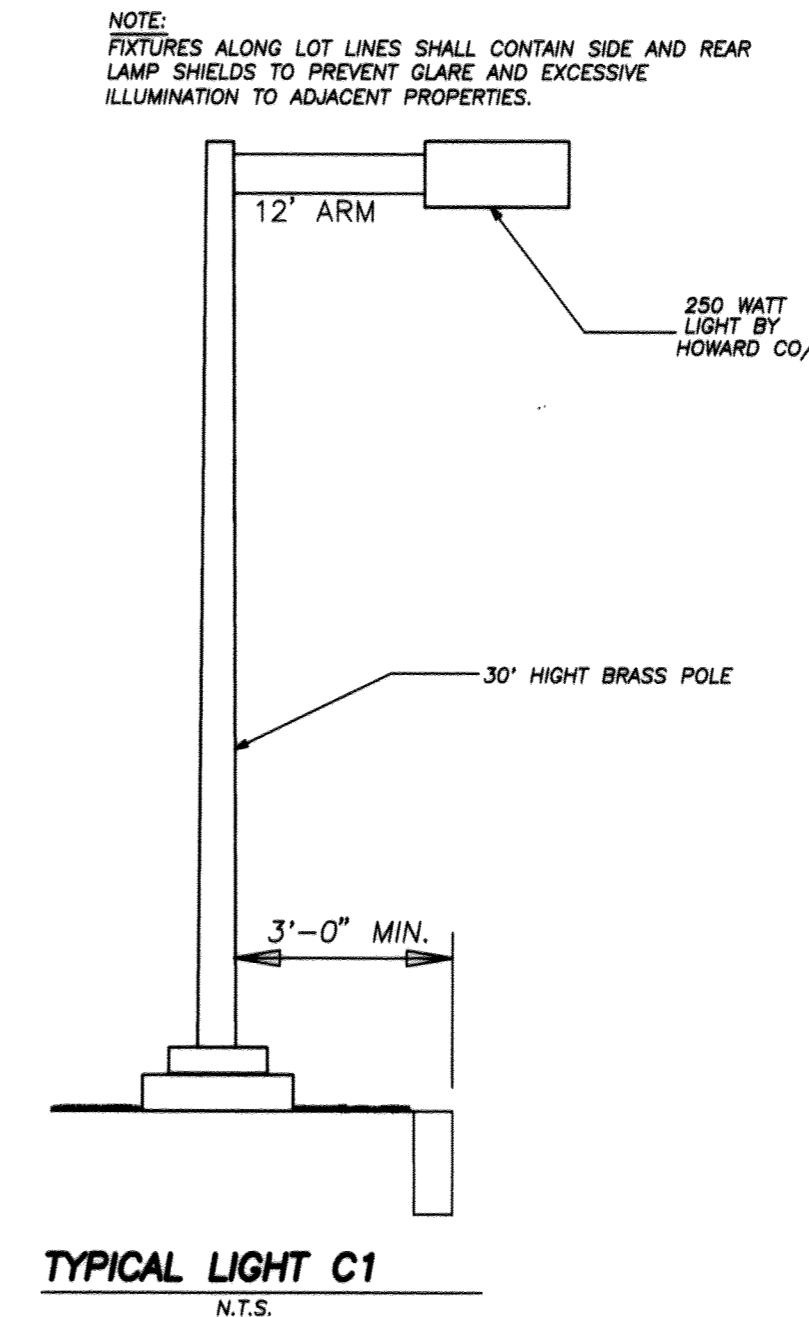
SDP-04-017



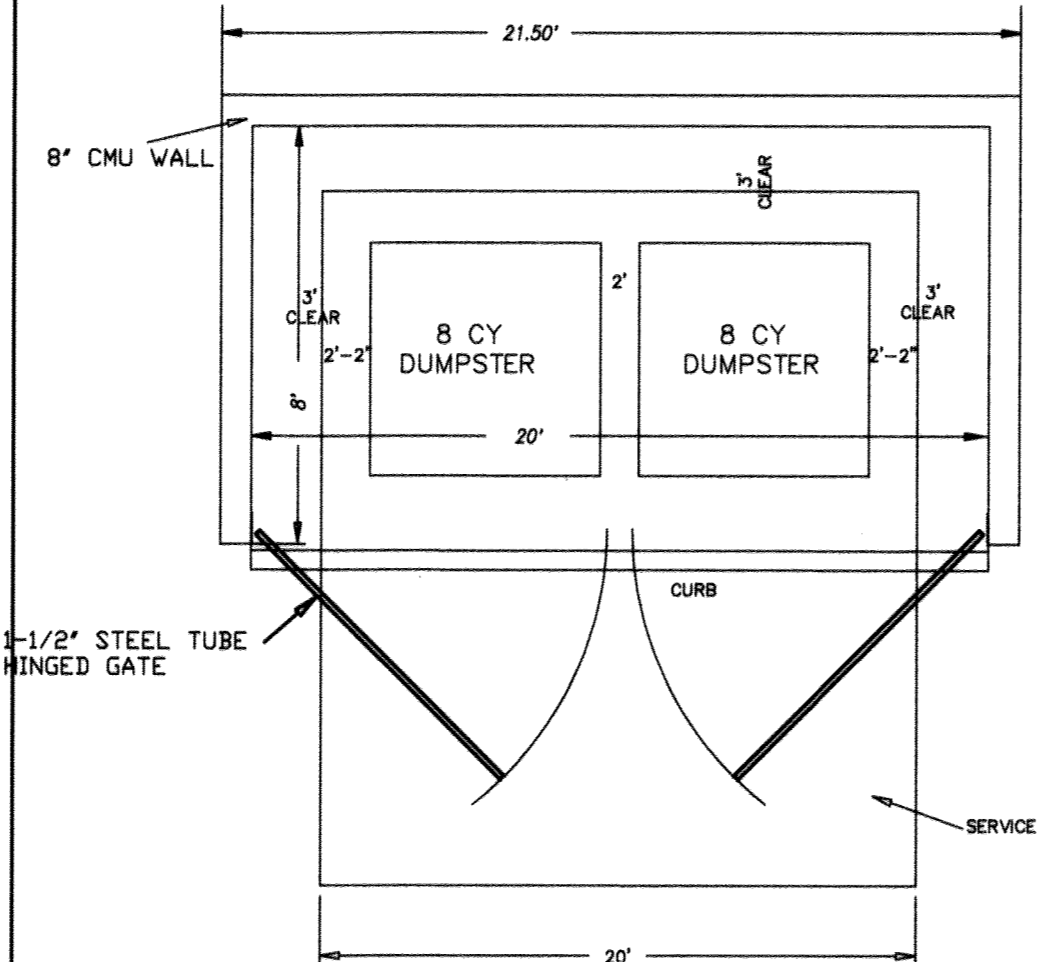
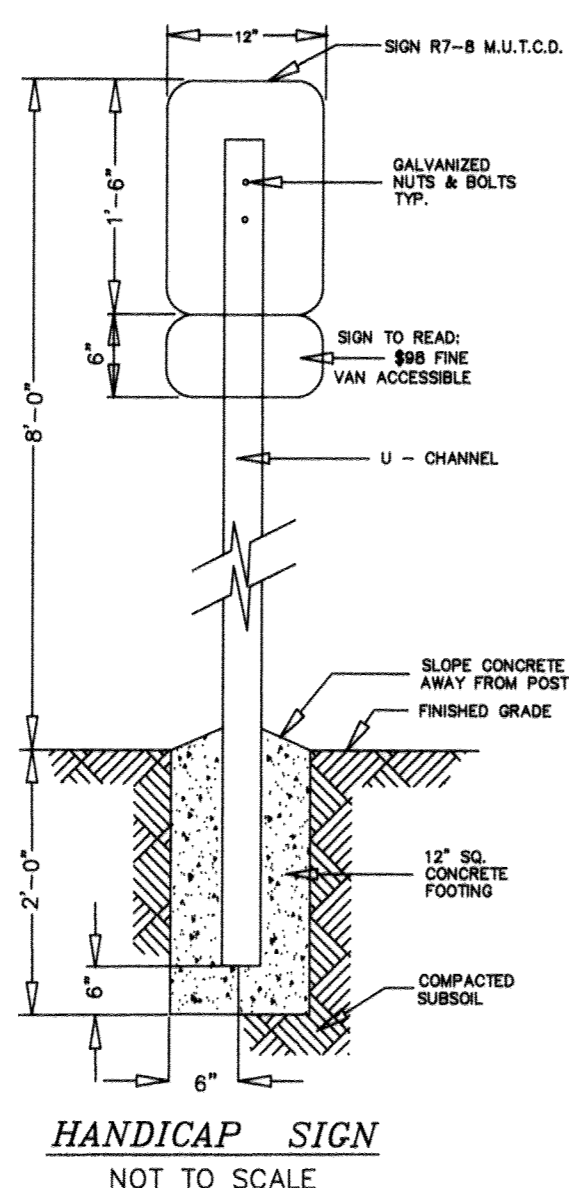
**SOLID WASTE SERVICE PAD**  
N.T.S.



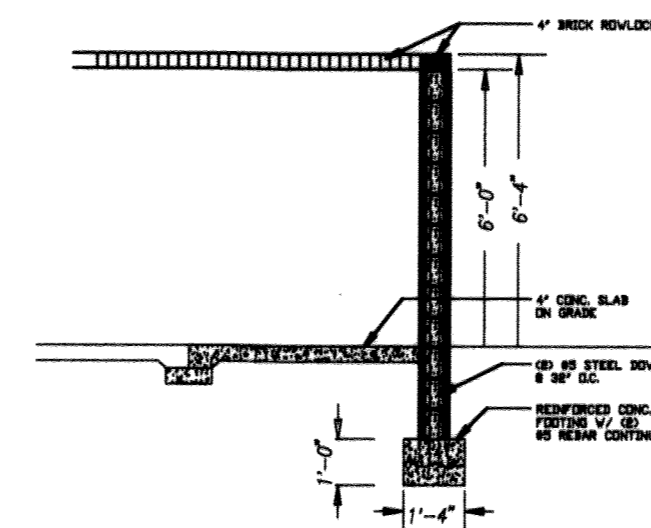
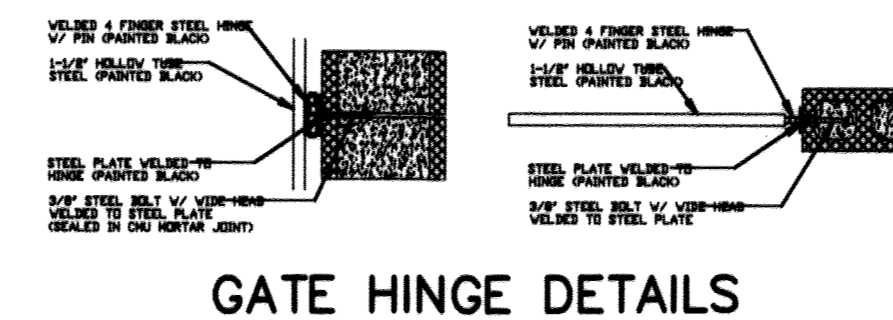
**HANDICAPPED PARKING LAYOUT DETAILS**  
BLDGS. C, D, E & F



• REDUCE SPACING 50%  
• SEE SYMBOL 1860 FOR SYMBOL DESIGN (ALL DIMENSIONS FOR SIGN IN INCHES)  
COLORS:  
LEGEND AND BORDER - GREEN  
WHITE SYMBOL ON BLUE BACKGROUND  
BACKGROUND - WHITE  
REFERENCE: STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET MARYLAND DEPARTMENT OF TRANSPORTATION



**PLAN VIEW**



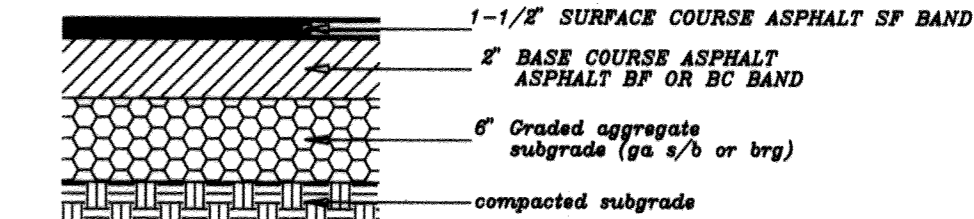
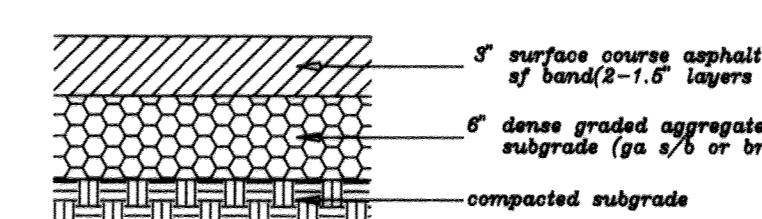
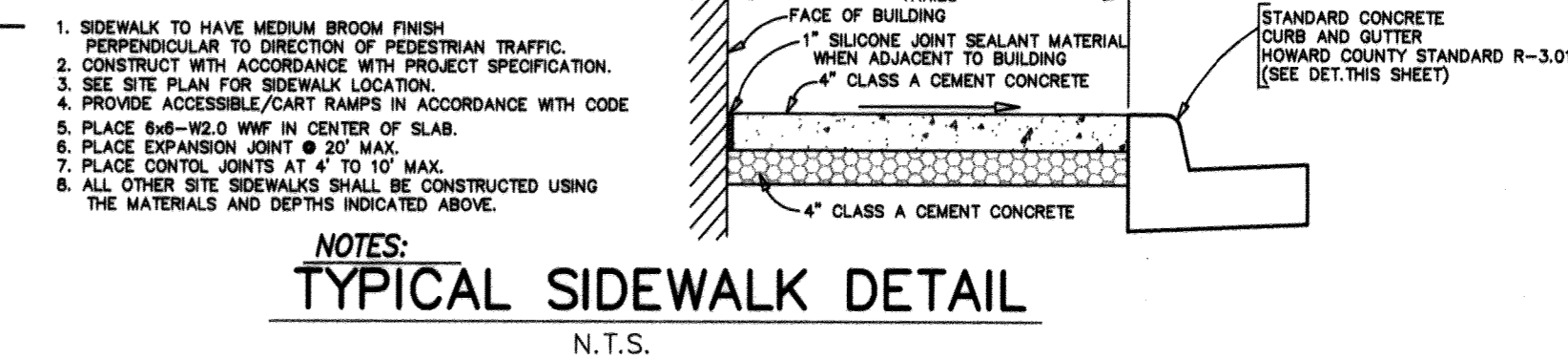
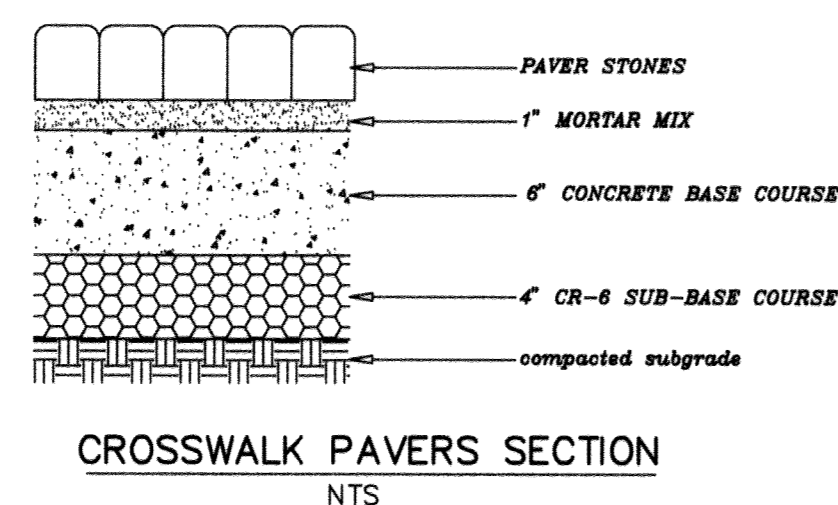
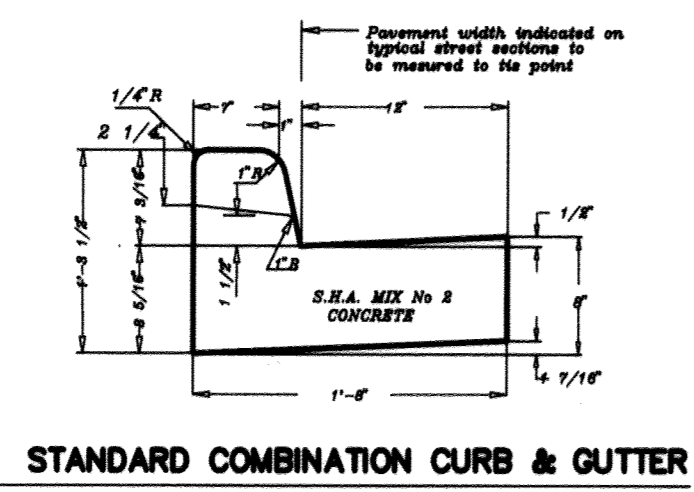
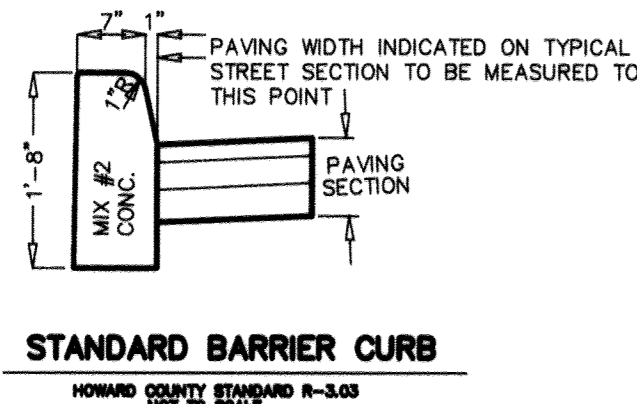
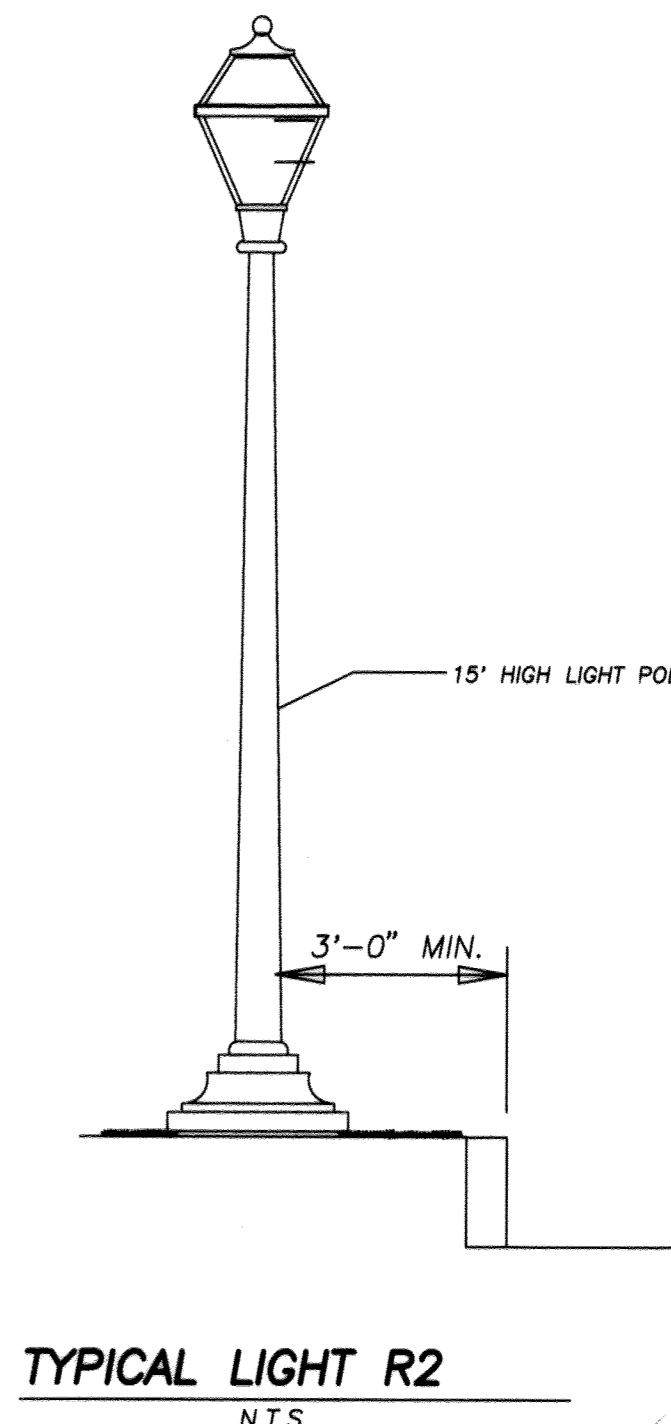
**FRONT VIEW**

**DUMPSTER ENCLOSURE DETAIL**

N.T.S.

**OWNER**  
PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810  
PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

**DEVELOPER**  
BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810



**TYPICAL PAVEMENT SECTIONS**  
NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR  
DATE: 9/14/06  
DATE: 9/14/06  
DATE: 9/14/06

DATE: JUNE 21, 2006  
SCALE: AS SHOWN

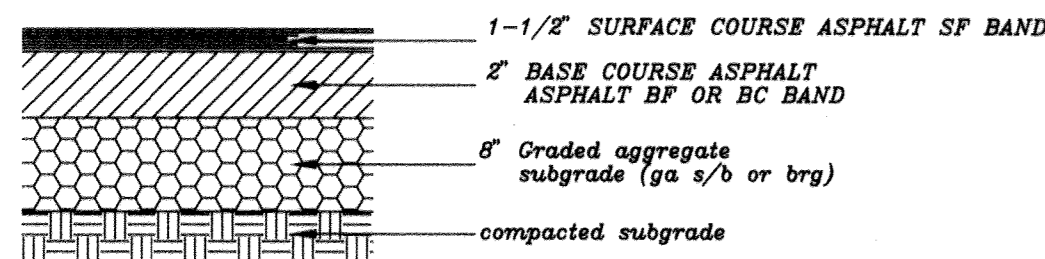
DATE: 3/25/21  
BY: PJC  
REVISION: Add Sheet 97

**ELKRIDGE - CROSSING - PHASE ONE**  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**CONSTRUCTION - DETAILS**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
2933 Chennock Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
730 W. Madison Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET 12 OF 57

SDP-04-017

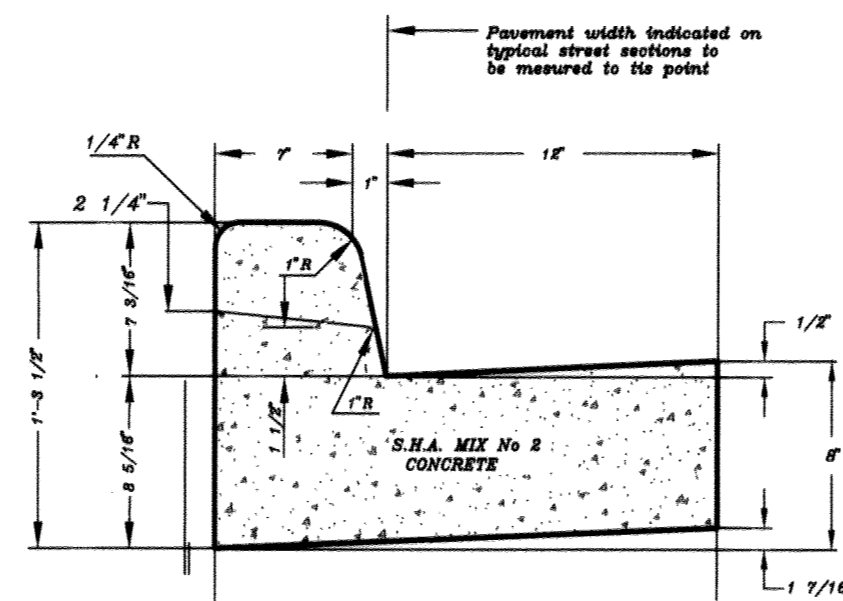


TYPICAL PAVEMENT SECTION

NTS

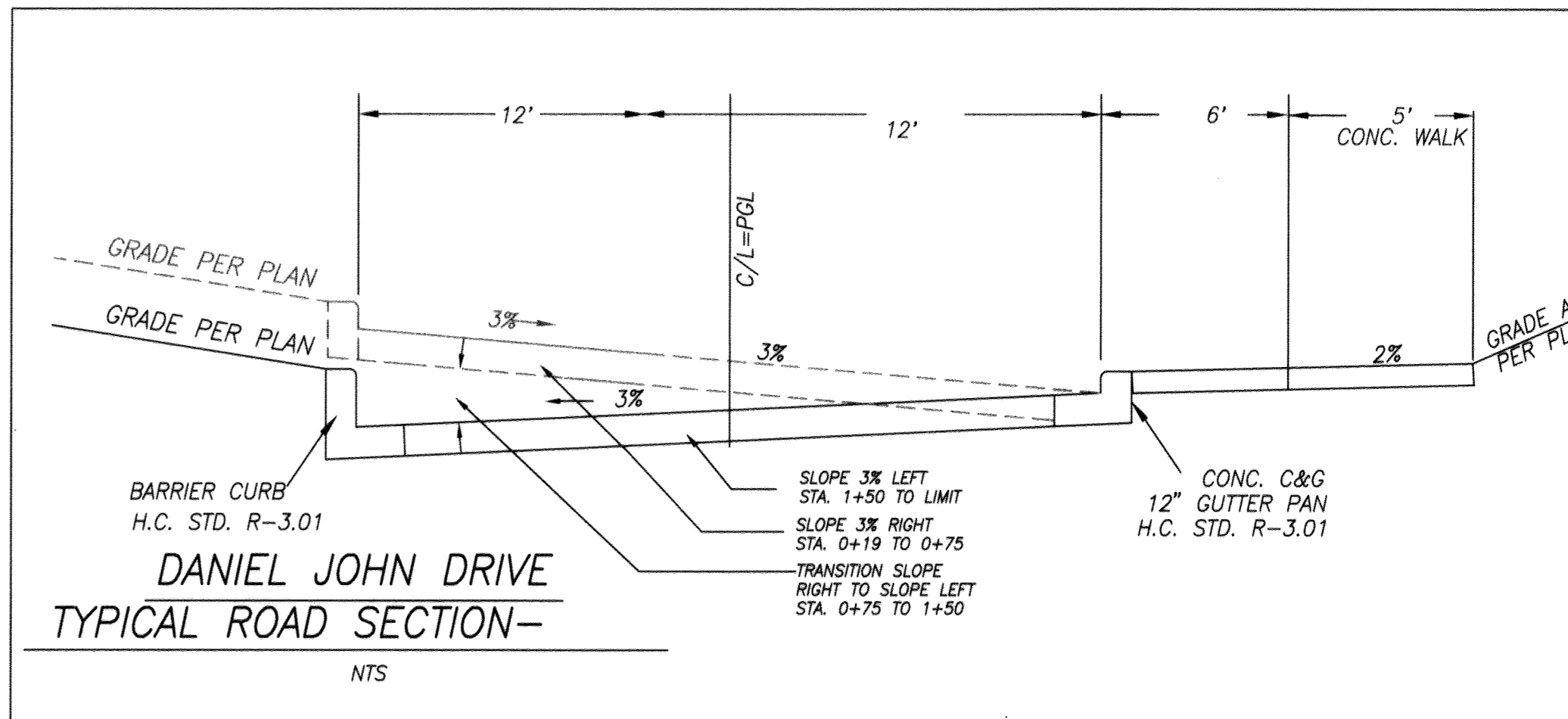
NOTES:

1. SIDEWALK TO HAVE MEDIUM BROOM FINISH PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAFFIC.
2. CONSTRUCT IN ACCORDANCE WITH PROJECT SPECIFICATIONS.
3. SEE SITE PLAN FOR SIDEWALK LOCATION.
4. PROVIDE ACCESSIBLE/CART RAMPS IN ACCORDANCE WITH STANDARD RAMP DETAIL.
5. PLACE 6x6-W2.0 WWF IN CENTER OF SLAB.
6. PLACE EXPANSION JOINT @ 20' MAX.
7. PLACE CONTROL JOINTS AT 4' TO 10' MAX.
8. ALL OTHER SITE SIDEWALKS SHALL BE CONSTRUCTED USING THE MATERIALS AND DEPTHS INDICATED ABOVE.



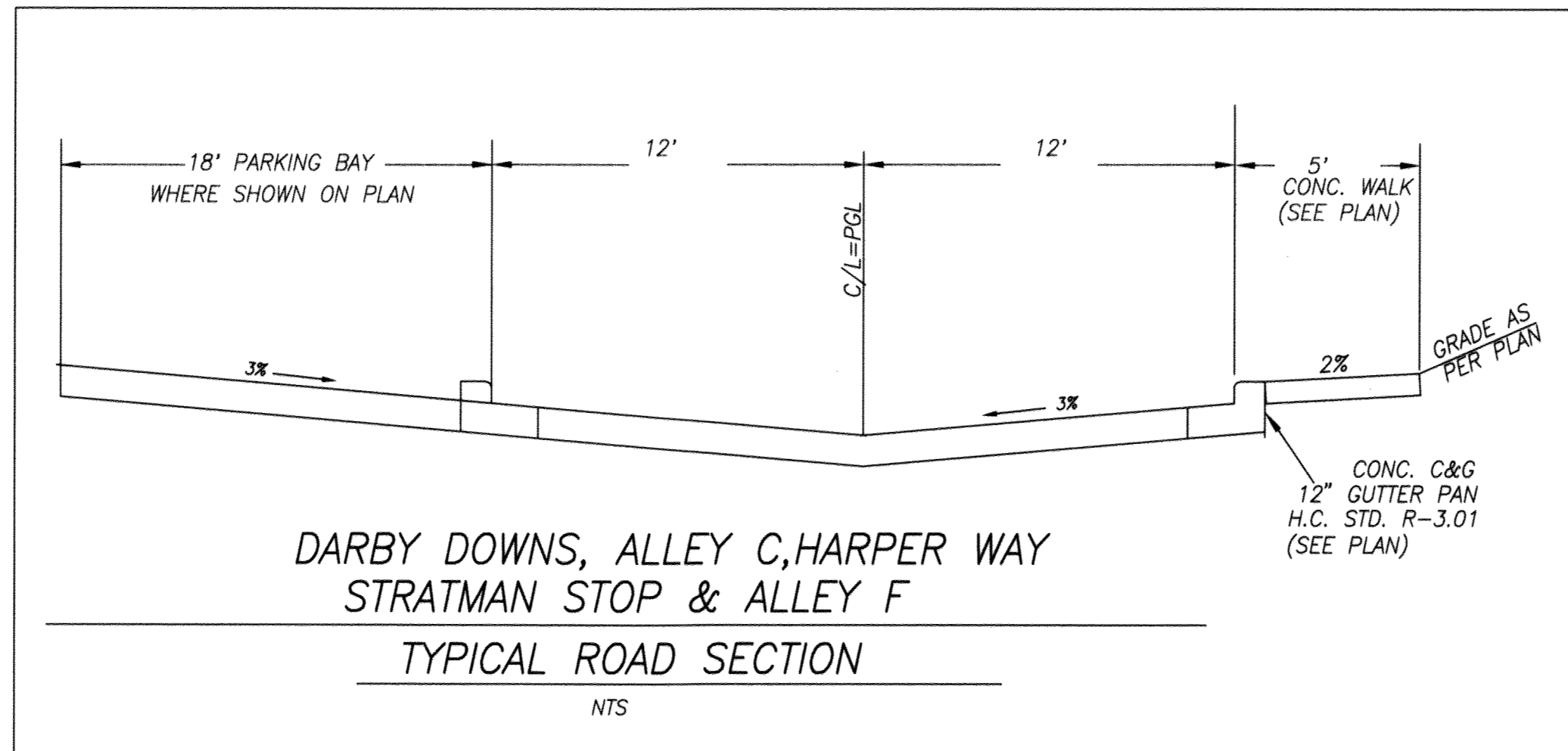
STANDARD COMBINATION CURB & GUTTER

HOWARD COUNTY STANDARD R-3.01  
NTS



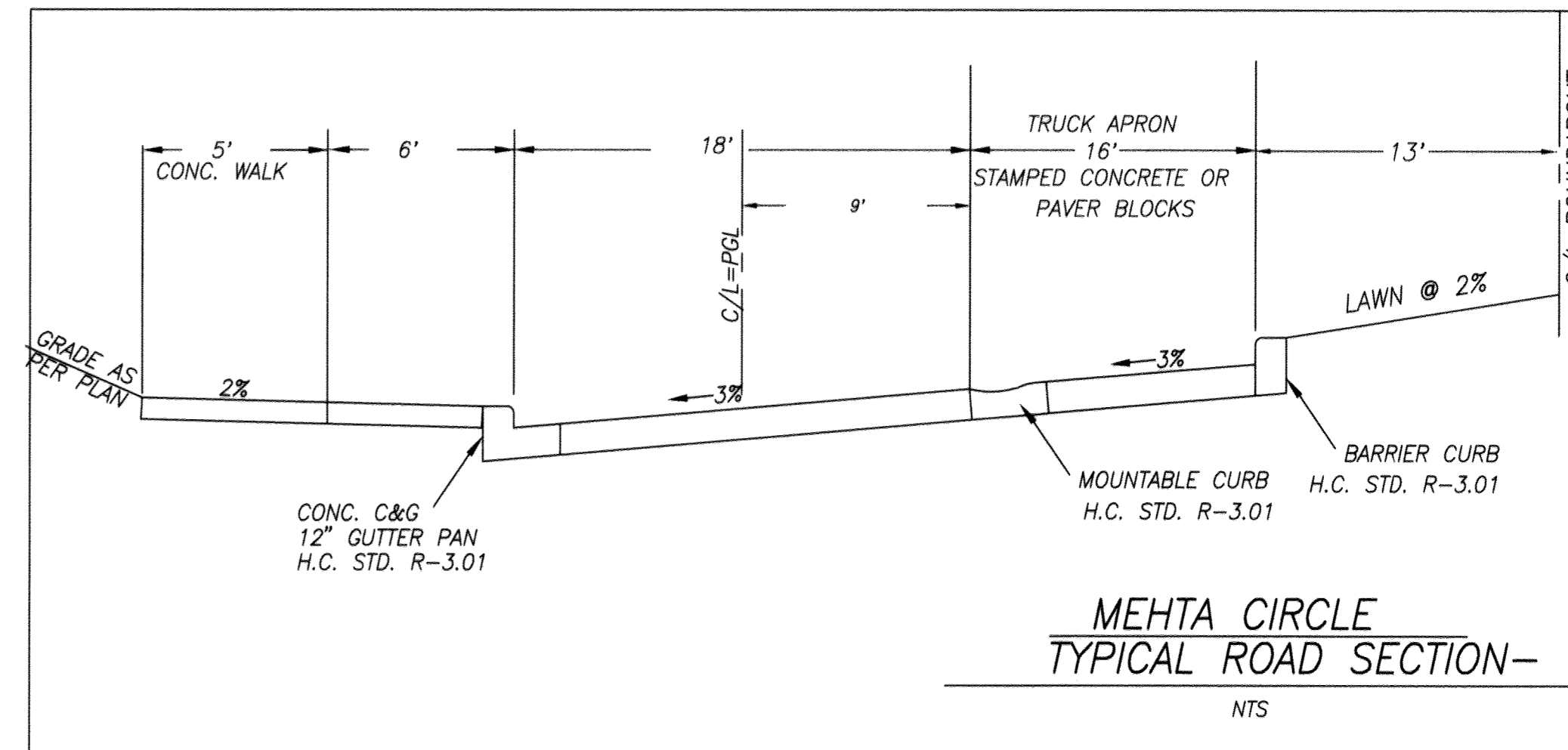
DANIEL JOHN DRIVE  
TYPICAL ROAD SECTION-

NTS



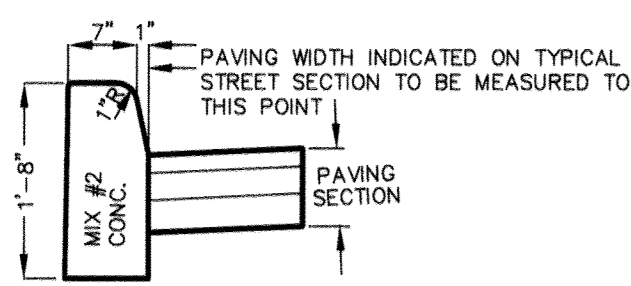
DARBY DOWNS, ALLEY C, HARPER WAY  
STRATMAN STOP & ALLEY F  
TYPICAL ROAD SECTION

NTS



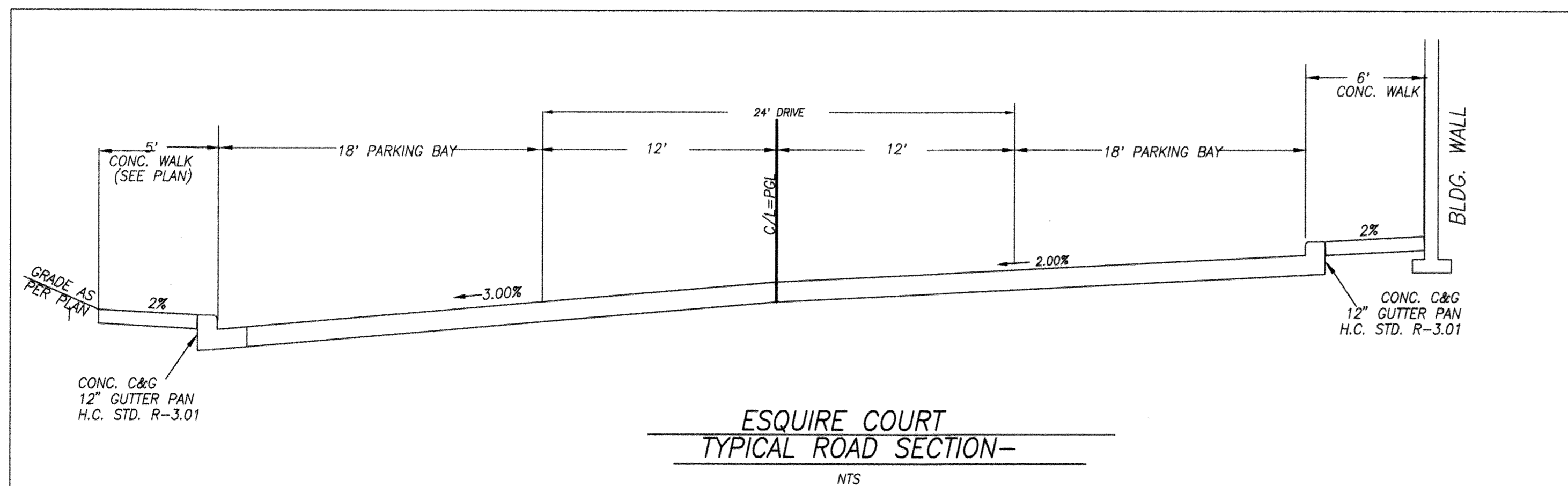
MEHTA CIRCLE  
TYPICAL ROAD SECTION-

NTS



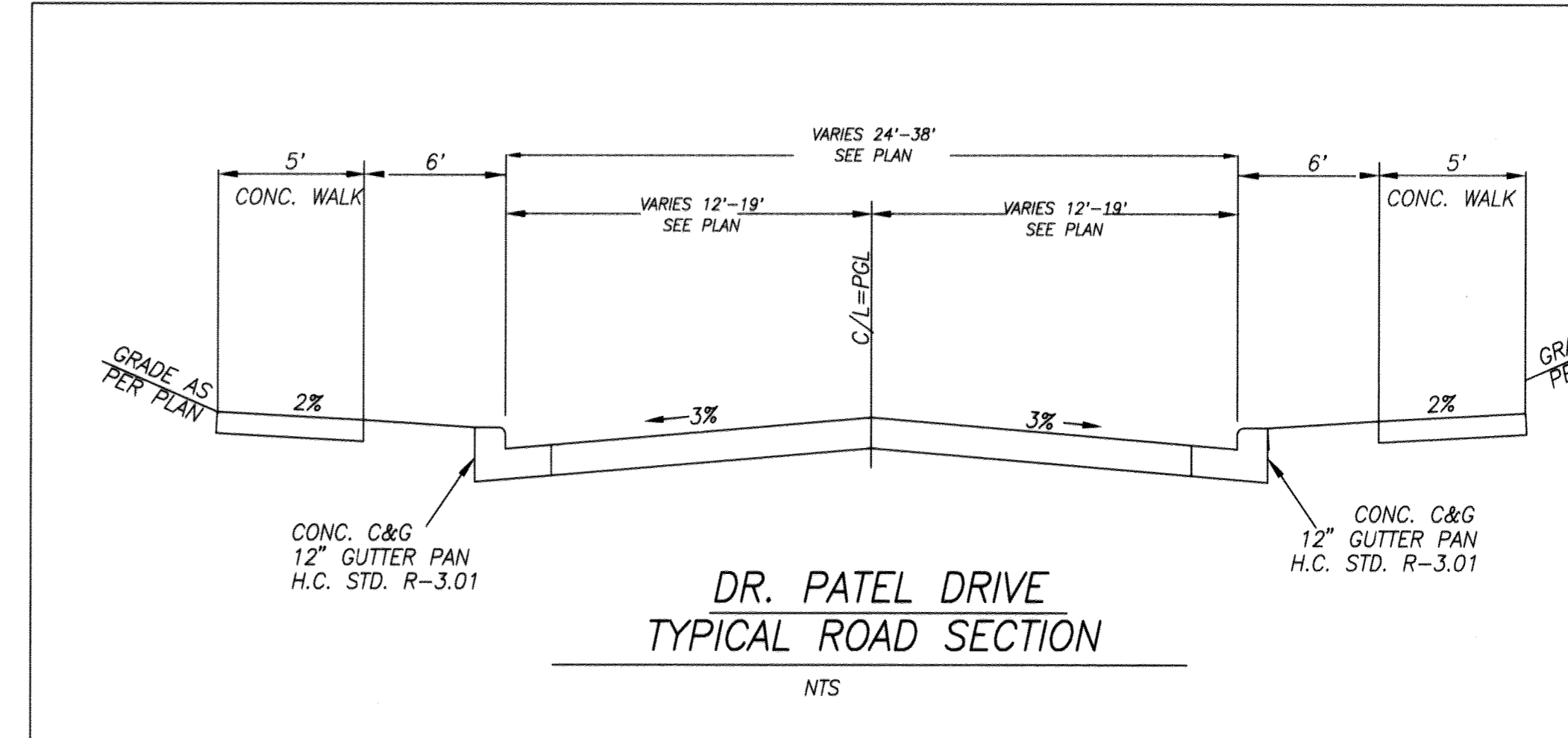
STANDARD BARRIER CURB

HOWARD COUNTY STANDARD R-3.01  
NOT TO SCALE



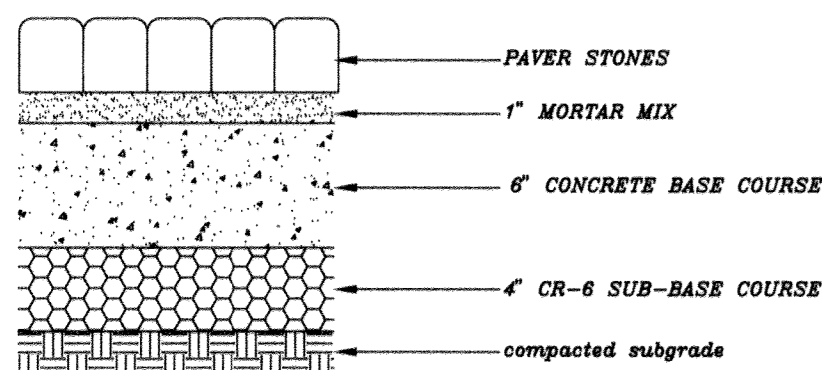
ESQUIRE COURT  
TYPICAL ROAD SECTION-

NTS



DR. PATEL DRIVE  
TYPICAL ROAD SECTION

NTS



CROSSWALK PAVERS SECTION

NTS

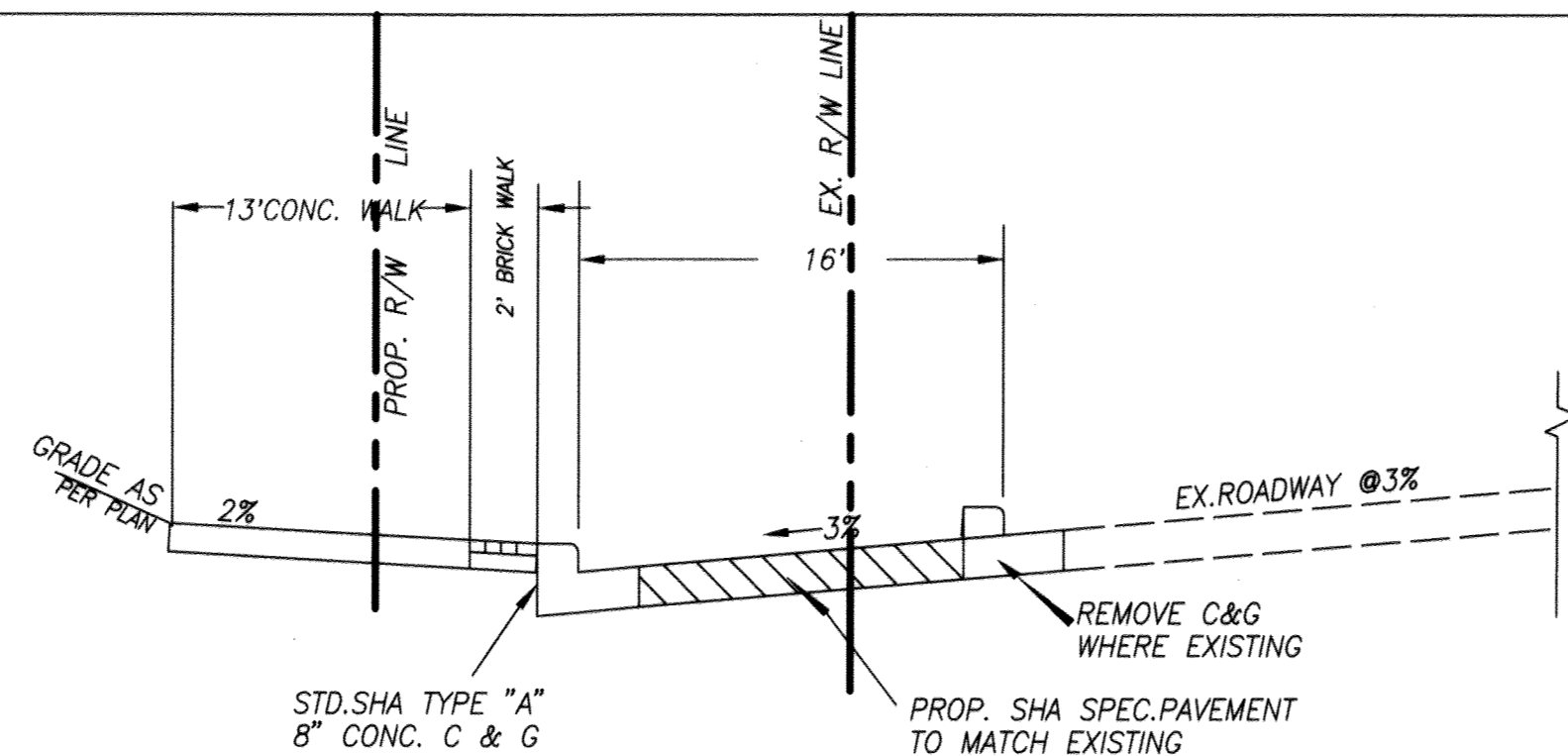
BENCH MARKS

HOWARD COUNTY MON. #38A9  
ELEV. 223.417

BRASS DISK ON CONC. MONUMENT  
IN GRASS PLOT ON SE SIDE OF  
US RTE 1 AND MONTGOMERY RD.

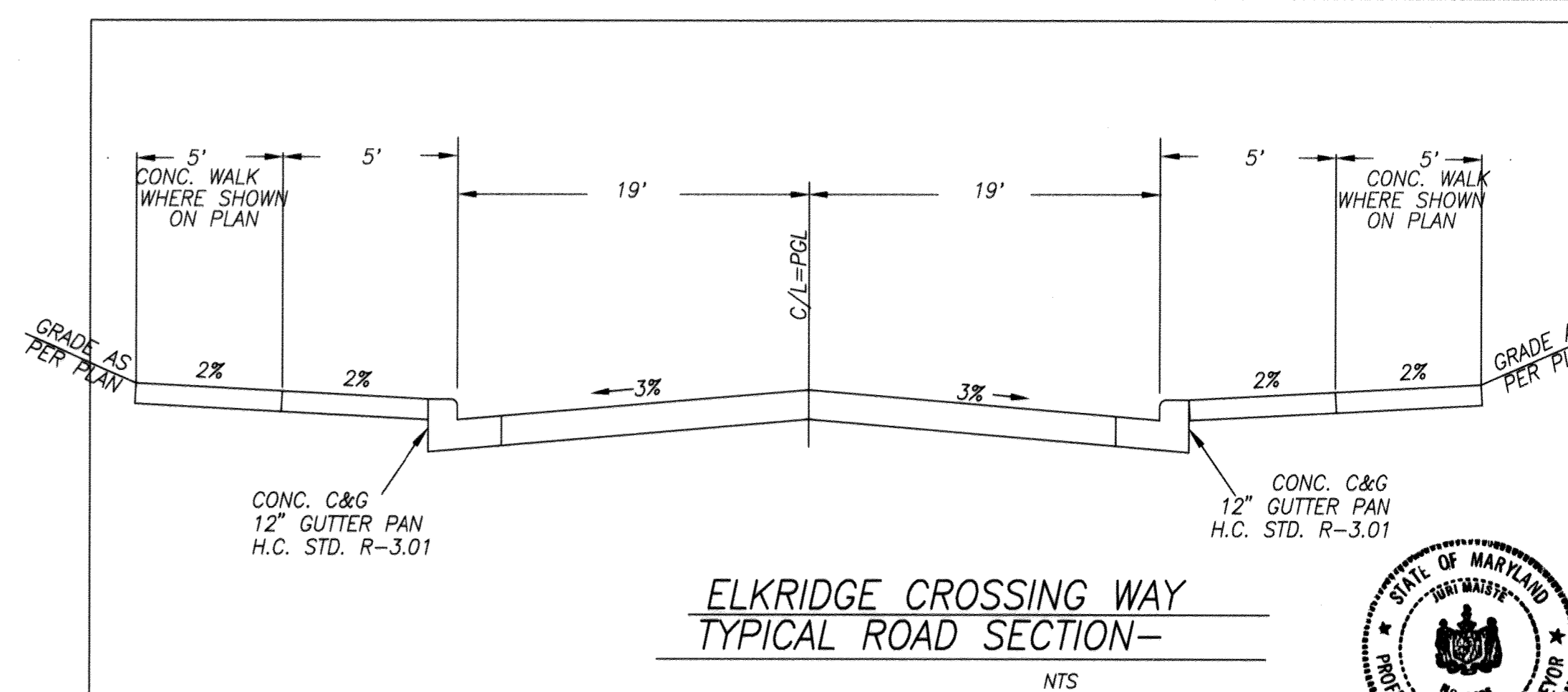
HOWARD COUNTY MON. #38BA  
ELEV. 166.939

BRASS DISK ON CONC. MONUMENT  
ON WEST SIDE OF RTE.1 APPROX.  
100' N OF BONNIE VIEW LA.



TYPICAL WIDENING SECTION US RTE.1

NTS



ELKRIDGE CROSSING WAY  
TYPICAL ROAD SECTION-

NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 9/6/06  
  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 9/14/06  
  
 DIRECTOR DATE: 5/12/06



DRAWN: J.M.  
DATE: JUNE 21, 2006  
SCALE: AS SHOWN

DATE: 3/25/07  
BY: A.B.J.  
CHECKED: A.B.J.

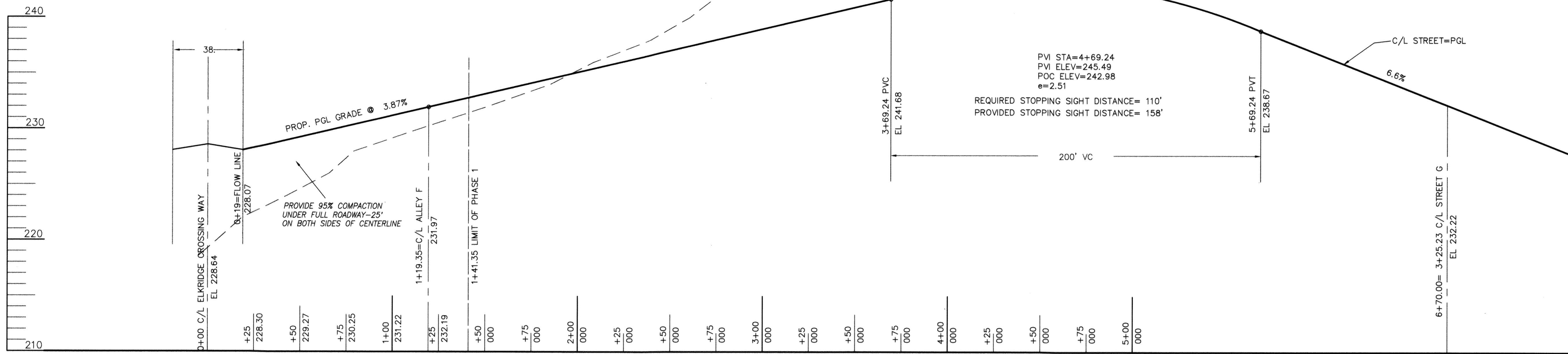
ELKRIDGE-CROSSING-PHASE ONE  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
ROAD-SECTIONS-DETAILS

JURI MAISTE - SITE DESIGN CONSULTANT  
2928 Cherrack Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
RICHARDSON ENGINEERING, LLC  
730 N. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

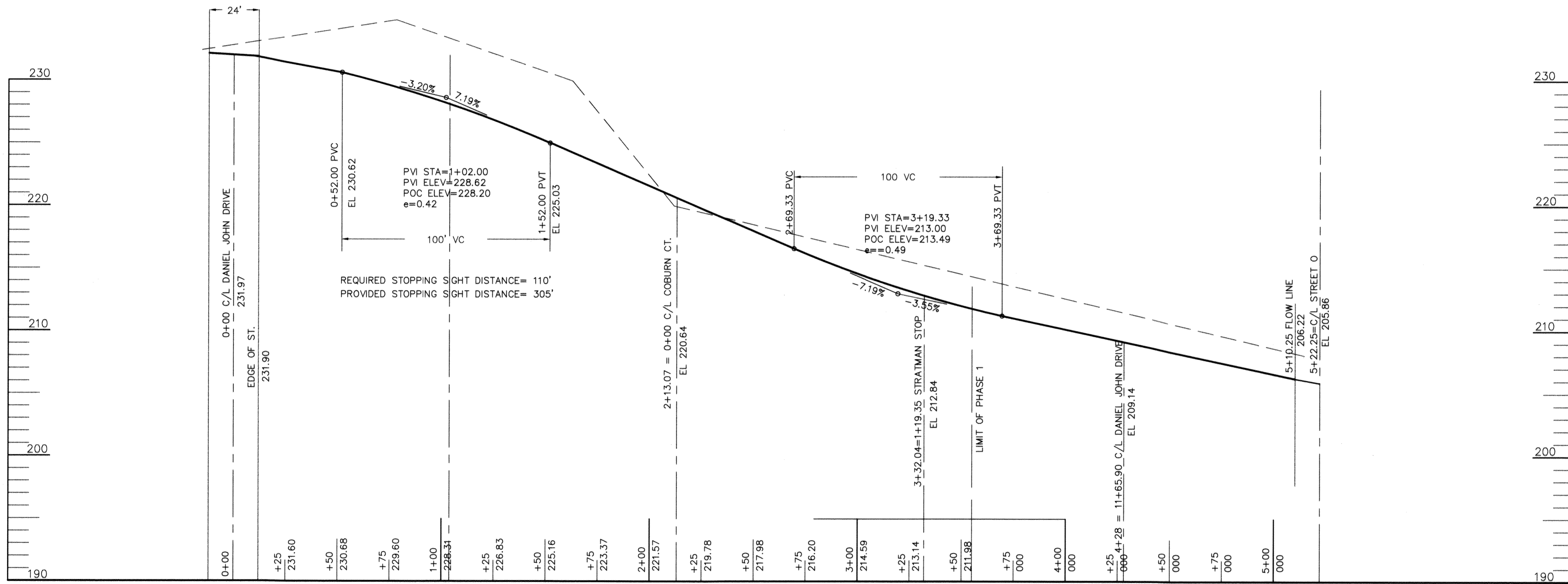
SHEET 13 OF 57

SDP-04-017

C:\DRAWINGS\ELKRIDGE\PHASE-1\E-ROAD\_Sun Aug 13 20:42:10 2006



**DANIEL JOHN DRIVE**  
PRIVATE ROAD



**ALLEY F**  
PRIVATE ROAD

**BENCH MARKS**

HOWARD COUNTY MON. #38A9  
ELEV. 223.417  
BRASS DISK ON CONC. MONUMENT  
IN GRASS PLOT ON SE SIDE OF  
US RTE 1 AND MONTGOMERY RD.

HOWARD COUNTY MON. #38BA  
ELEV. 166.939  
BRASS DISC ON CONC. MONUMENT  
ON WEST SIDE OF RTE.1 APPROX.  
100' N OF BONNIE VIEW LA.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/6/06  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 9/14/06  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7/14/06  
DIRECTOR DATE



**OWNER**  
PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

**DEVELOPER**  
BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

**JURJ MAISTE - SITE DESIGN CONSULTANT**  
2923 Cherrack Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1602 Fax: 410-560-0827

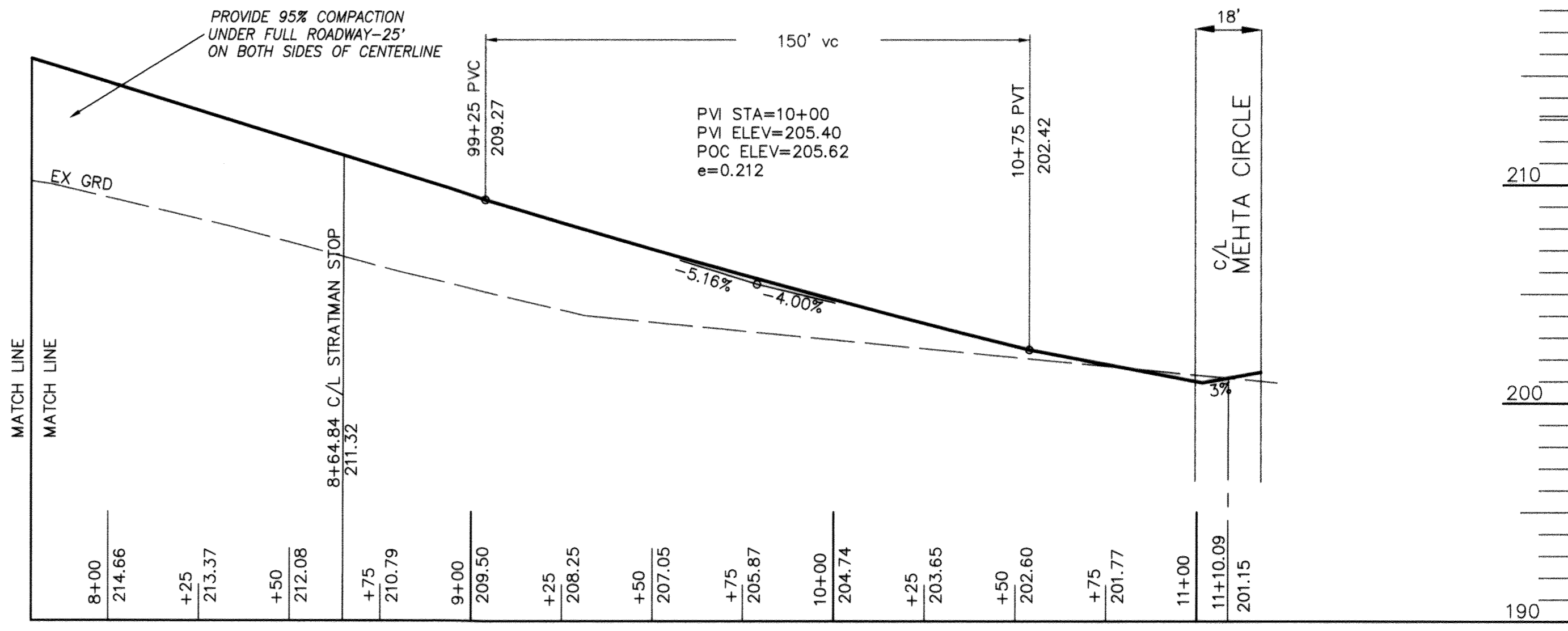
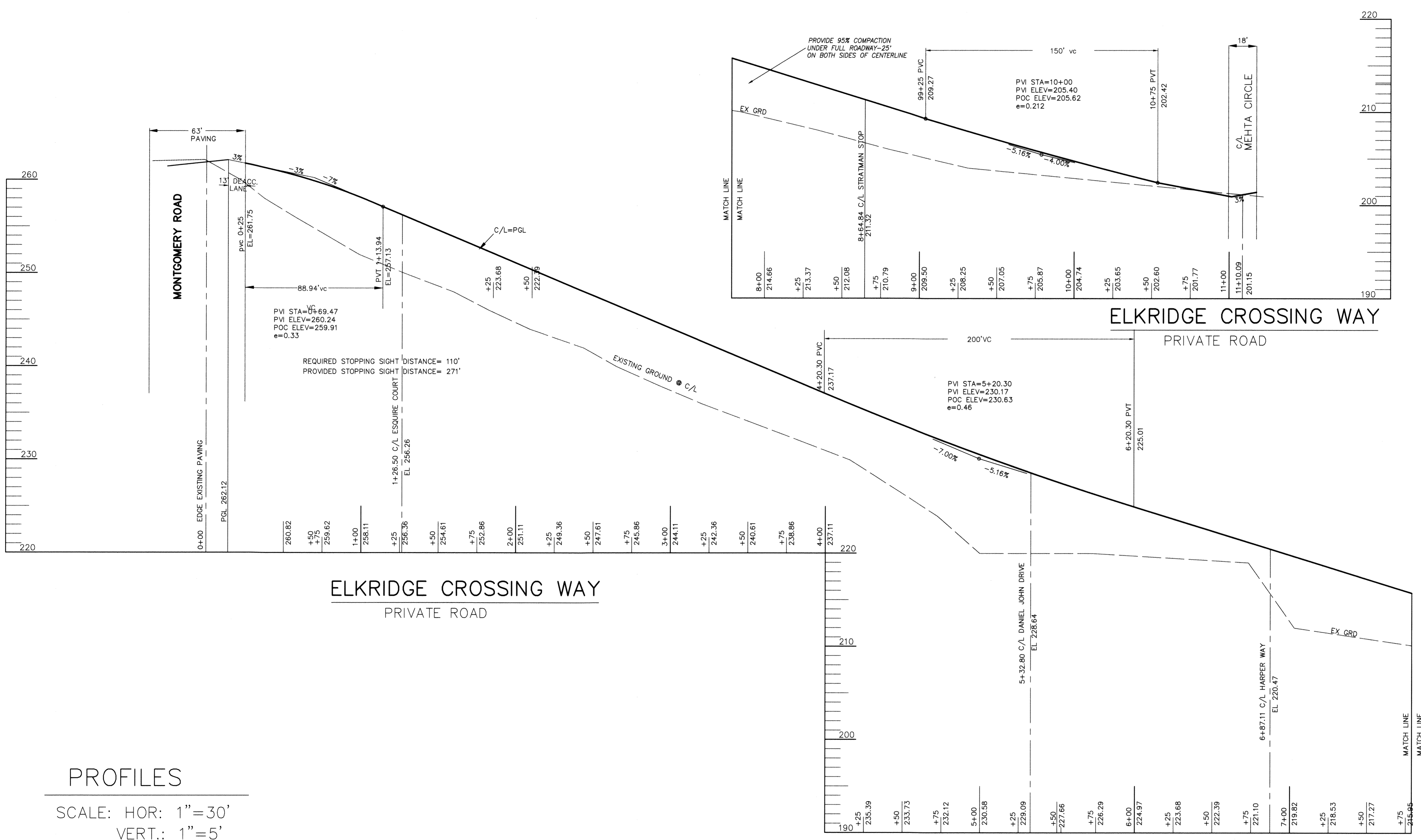
**ELKRIDGE - CROSSING - PHASE ONE**  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**ROAD - PROFILES**

DATE: 9/25/06  
BY: JCM  
REVISION: Add Sheet 57

DRAWN: J.M.  
JUNE 21, 2006  
SCALE: H-1"=30'  
V-1"=5'

C:\DRAFTING\ELKRIDGE\1\PHASE-1\RD-PROF 5th Aug 12 21:21:31 2006



PROFILES

SCALE: HOR: 1"=30'  
VERT.: 1"=5'

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Michael D...* 9/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*David Ham...* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*Mark A. ...* 5/12/06  
 DIRECTOR DATE

BENCH MARKS

HOWARD COUNTY MON. #38A9  
 ELEV. 223.417  
 BRASS DISK ON CONC. MONUMENT  
 IN GRASS PLOT ON SE SIDE OF  
 US RTE 1 AND MONTGOMERY RD.  
 HOWARD COUNTY MON. #38BA  
 ELEV. 166.939  
 BRASS DISK ON CONC. MONUMENT  
 ON WEST SIDE OF RTE.1 APPROX.  
 100' N OF BONNIE VIEW LA.



PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961  
**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: H-1"=30'  
 V-1"=5'

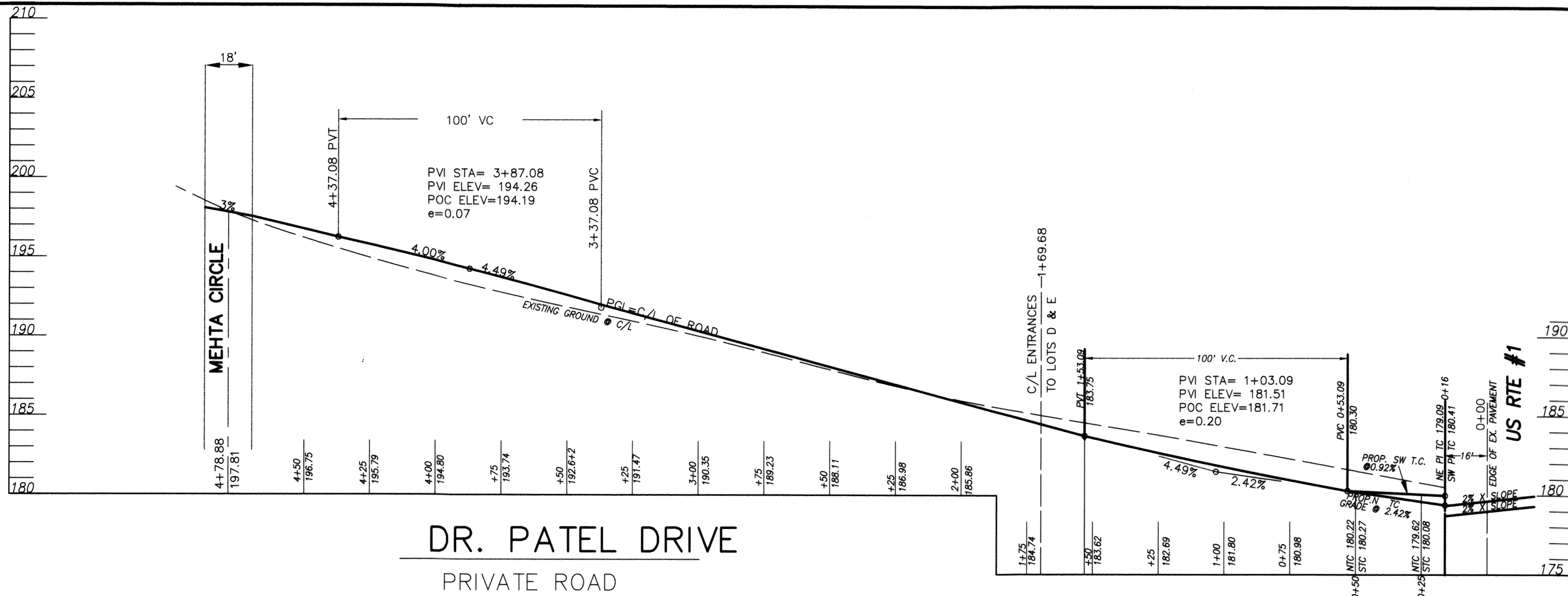
DATE: 3/25/21  
 REVISION: Add sheet 57  
 BY: FCC

ELKRIDGE - CROSSING - PHASE ONE  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 ROAD - PROFILES

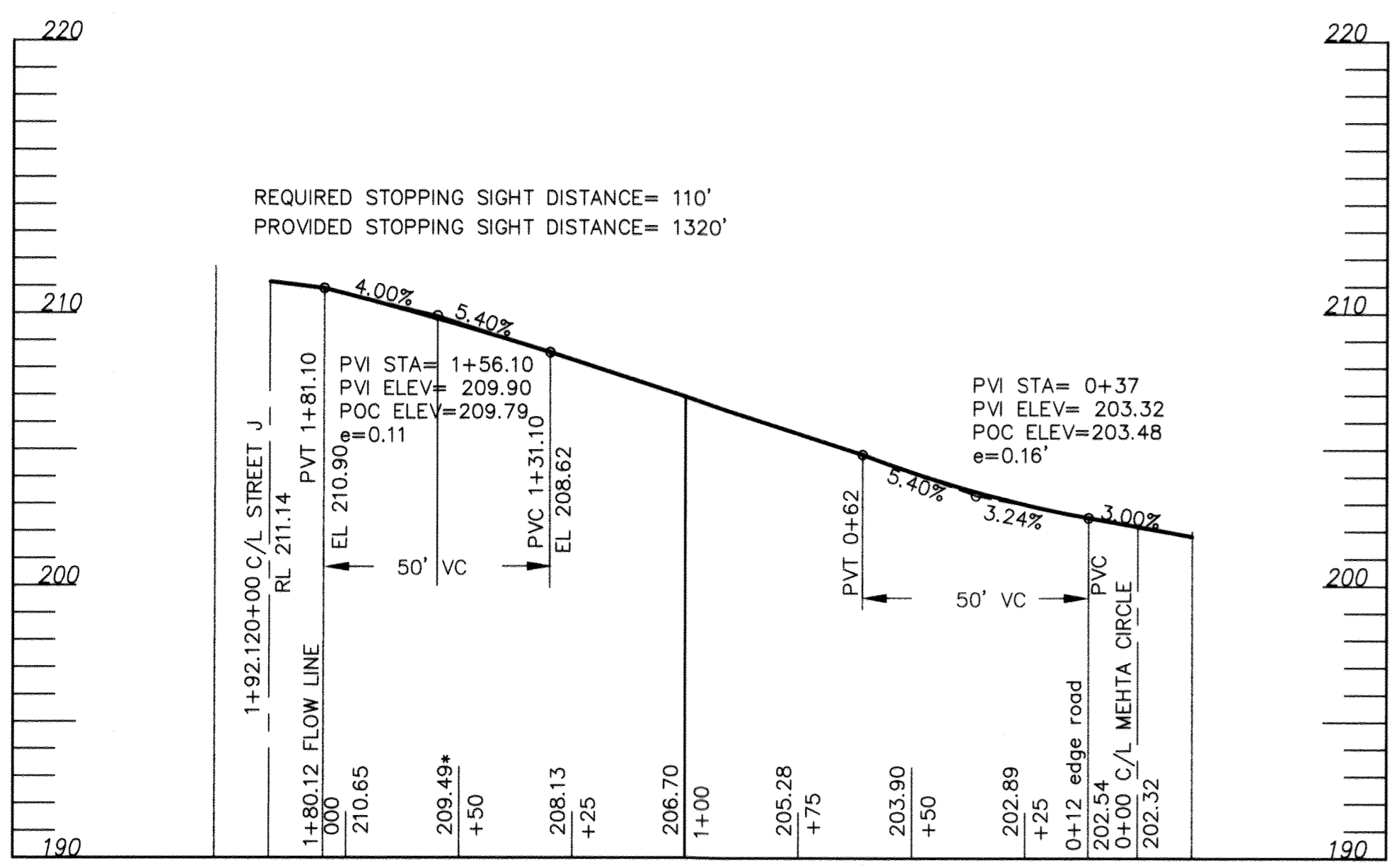
JURI MAISTE - SITE DESIGN CONSULTANT  
 2929 Chesapeake Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8762 Fax: 410-661-8763  
 RICHARDSON ENGINEERING, LLC  
 730 W. Indonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
 15 OF 57

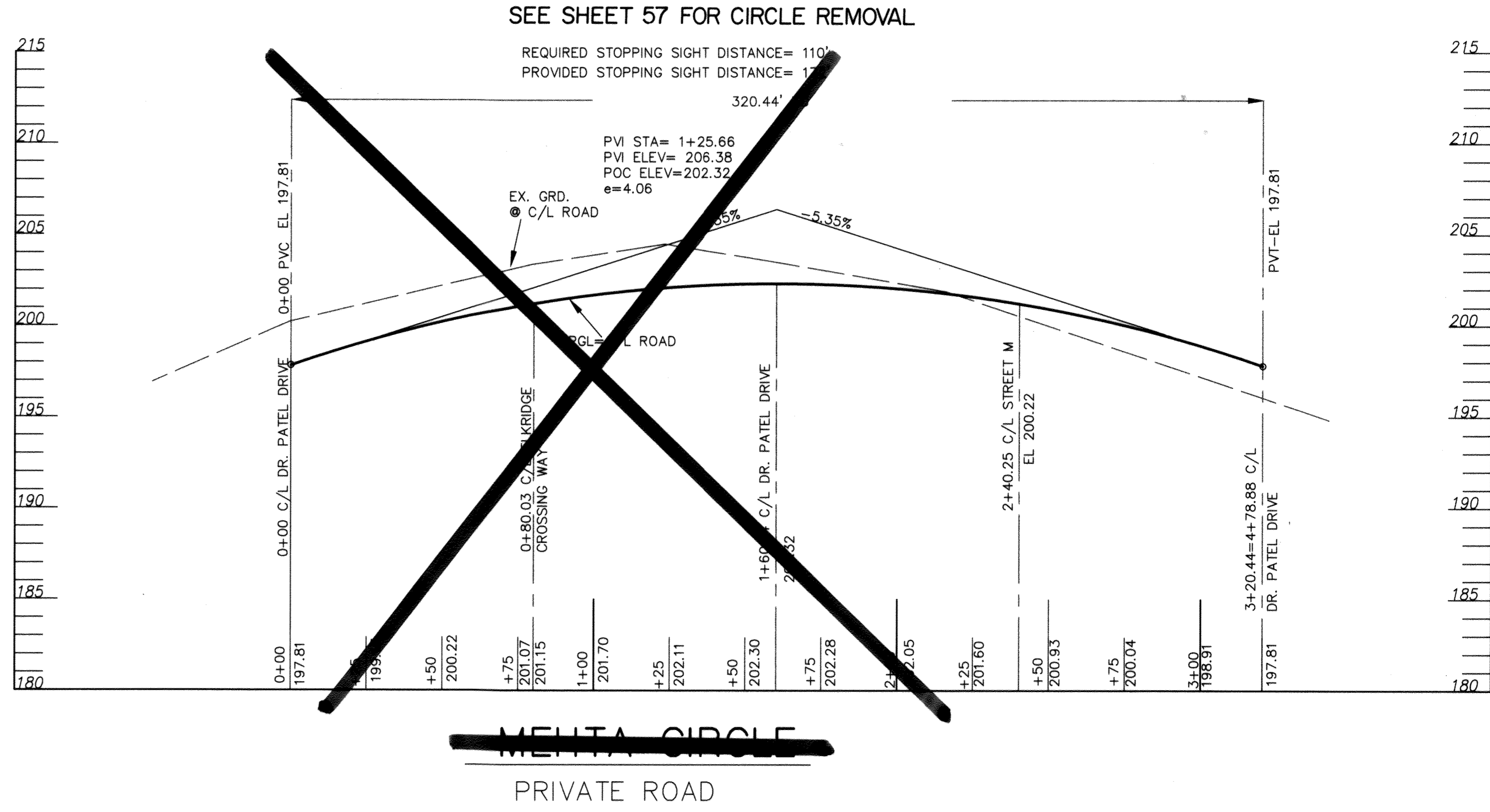
SDP.04.017



DR. PATEL DRIVE  
PRIVATE ROAD



DR. PATEL DRIVE  
PRIVATE ROAD



~~MEHTA CIRCLE~~  
PRIVATE ROAD

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 9/14/06  
 DIRECTOR

PROFILES  
 SCALE: HOR: 1"=30'  
 VERT.: 1"=5'

OWNER  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961  
 DEVELOPER  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810



BENCH MARKS  
 HOWARD COUNTY MON. #38A9  
 ELEV. 223.417  
 BRASS DISK ON CONC. MONUMENT  
 IN GRASS PLOT ON SE SIDE OF  
 US RTE 1 AND MONTGOMERY RD.  
 HOWARD COUNTY MON. #38BA  
 ELEV. 166.939  
 BRASS DISC ON CONC. MONUMENT  
 ON WEST SIDE OF RTE.1 APPROX.  
 100' N OF BONNIE VIEW LA.

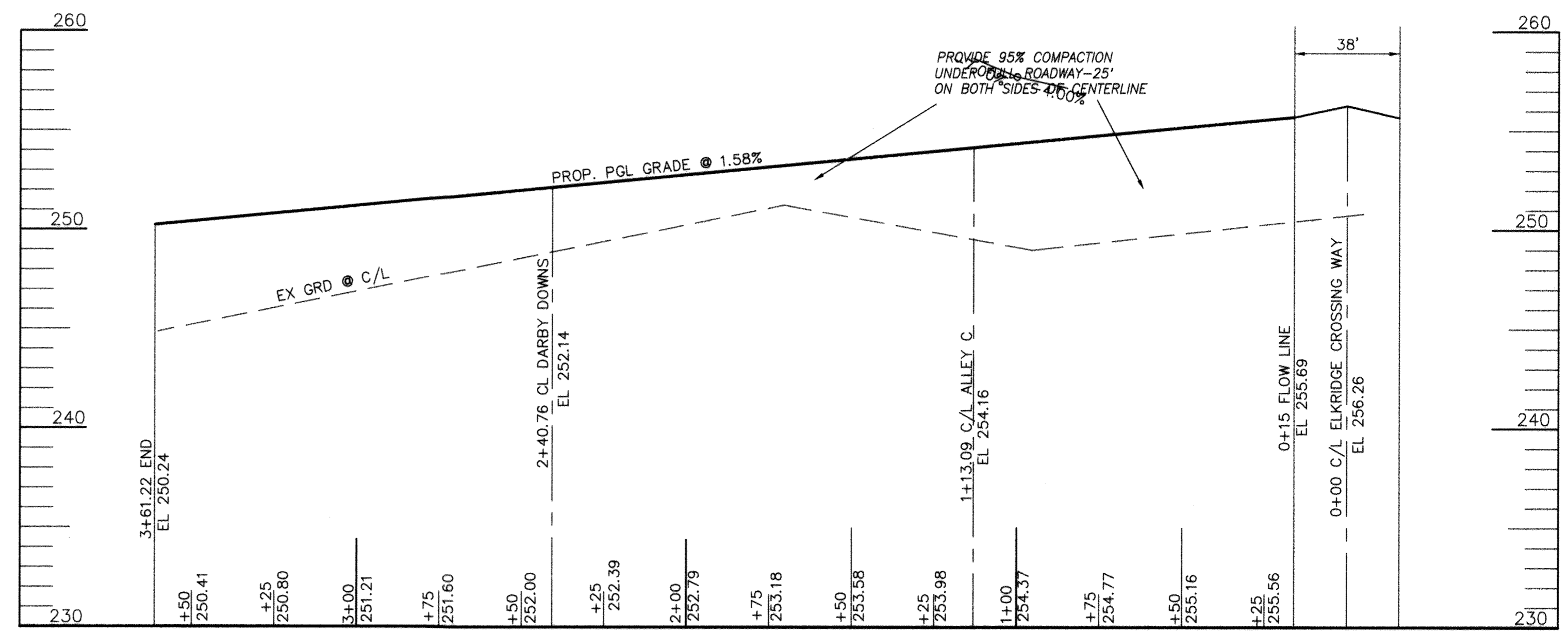
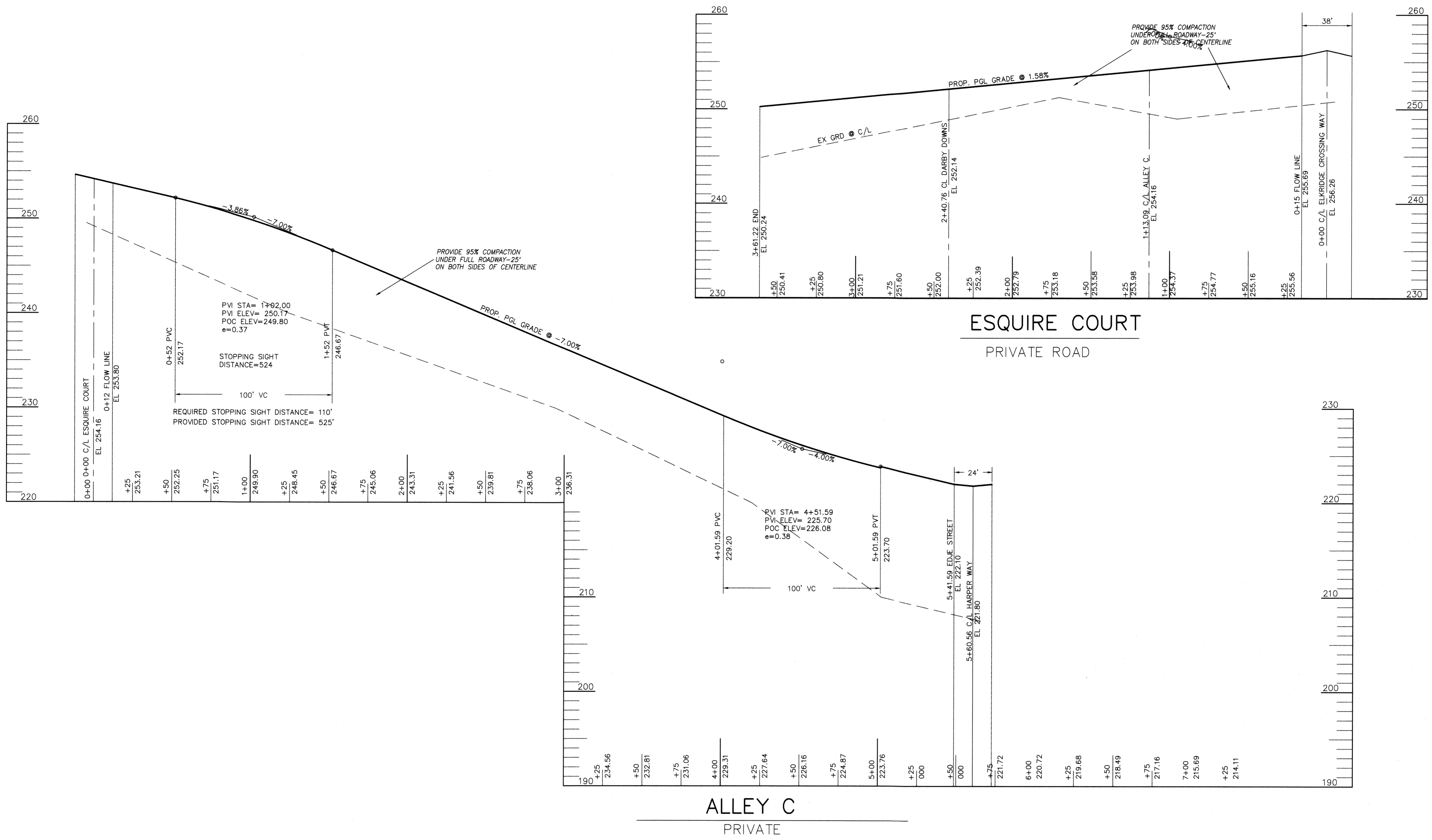
JURI MAISTE - SITE DESIGN CONSULTANT  
 2923 Chennock Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752  
 RICHARDSON ENGINEERING, LLC  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-660-1602 Fax: 410-660-0827

ELKRIDGE - CROSSING - PHASE ONE  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 ROAD - PROFILES

DATE: 5/25/06  
 BY: [Signature]  
 REVISION: Add sheet 57 for Removal of Mehta Circle.  
 DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: H-1"=30' V-1"=5'



C:\DRAWINGS\ELKRIDGE\PHASE-1\RD-PROF Sat Aug 12 21:39:45 2006



**ESQUIRE COURT**  
PRIVATE ROAD

**ALLEY C**  
PRIVATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>[Signature]</i> DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	<i>[Signature]</i> DATE
<i>[Signature]</i> DIRECTOR	<i>[Signature]</i> DATE



**OWNER**  
PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

**DEVELOPER**  
BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

DRAWN: J.M.  
DATE: JUNE 21, 2006  
SCALE: H-1"=30'  
V-1"=5'

DATE	BY	REVISION
3/25/07	JM	Add Sheet 57

**ELKRIDGE - CROSSING - PHASE ONE**  
**PARCELS A-E**  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**ROAD - PROFILES**

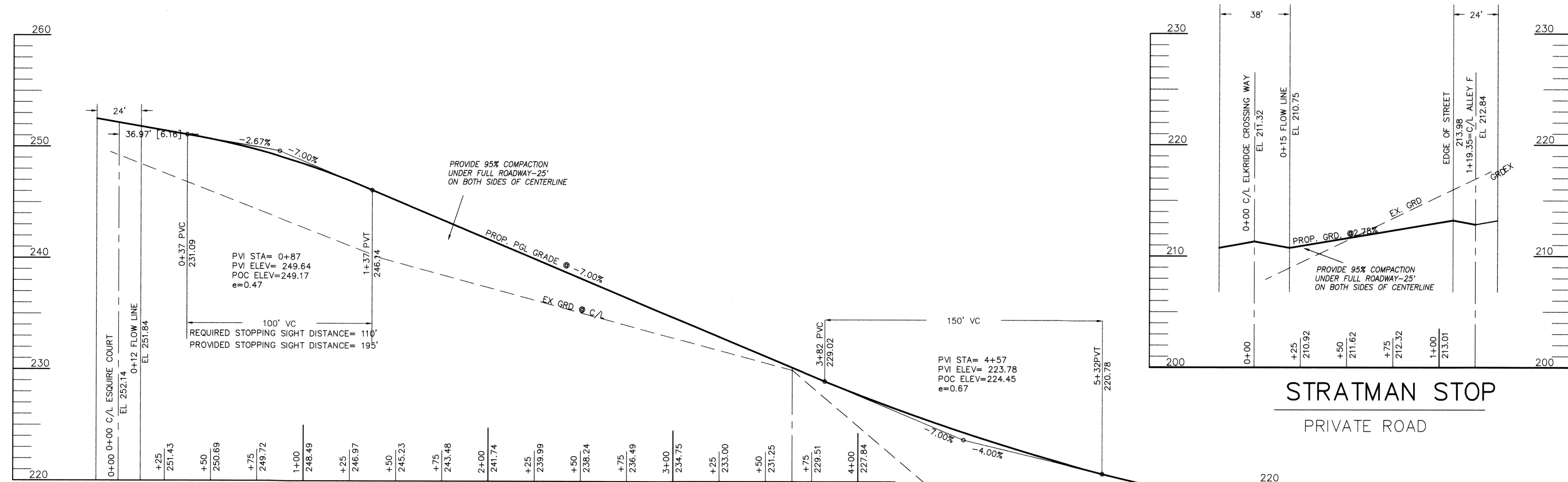
**JURI MAISTE - SITE DESIGN CONSULTANT**  
2923 Chesaok Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
730 N. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-7502 Fax: 410-560-0827

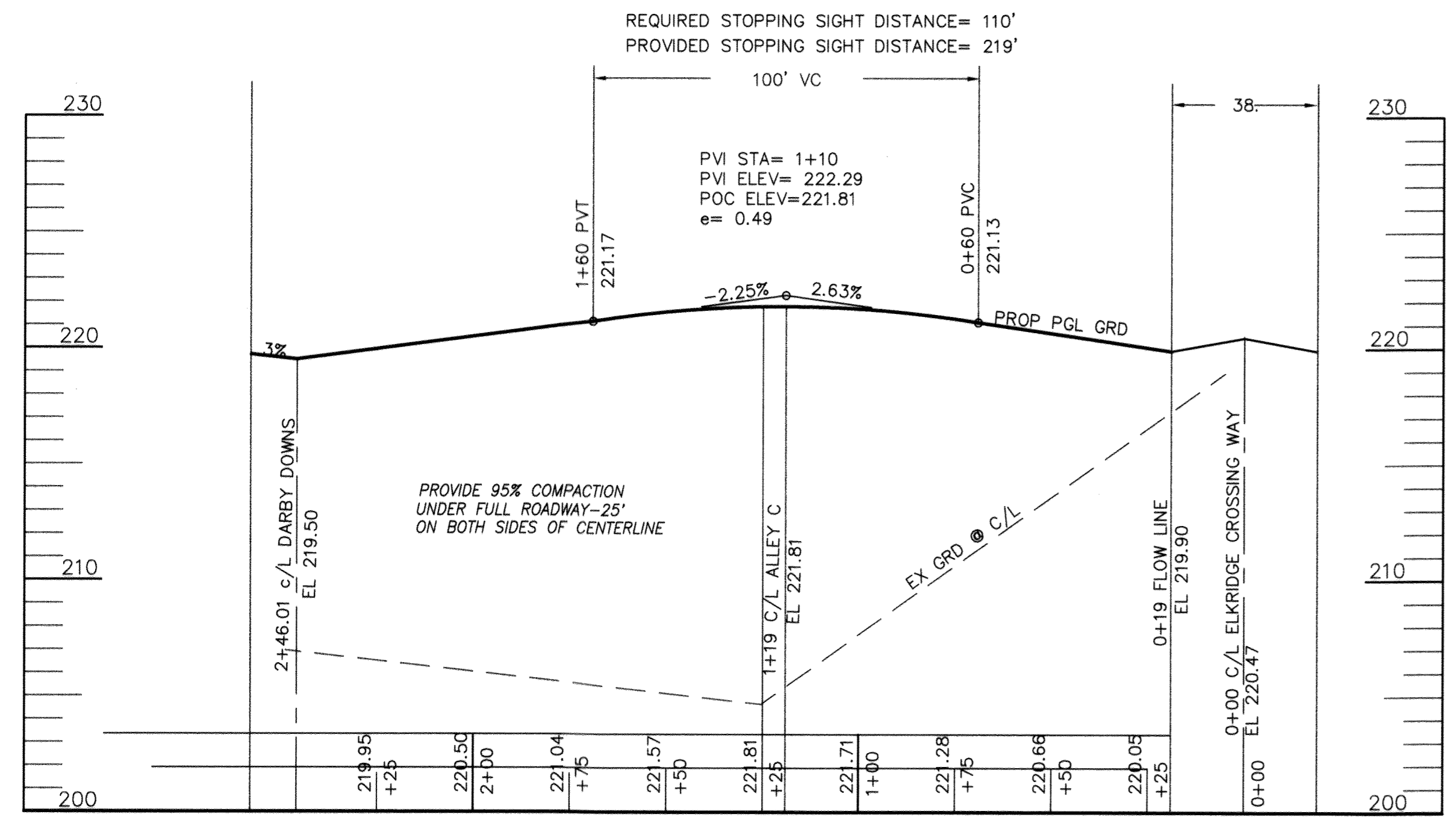
SHEET  
17 OF 57

SDP-04-017

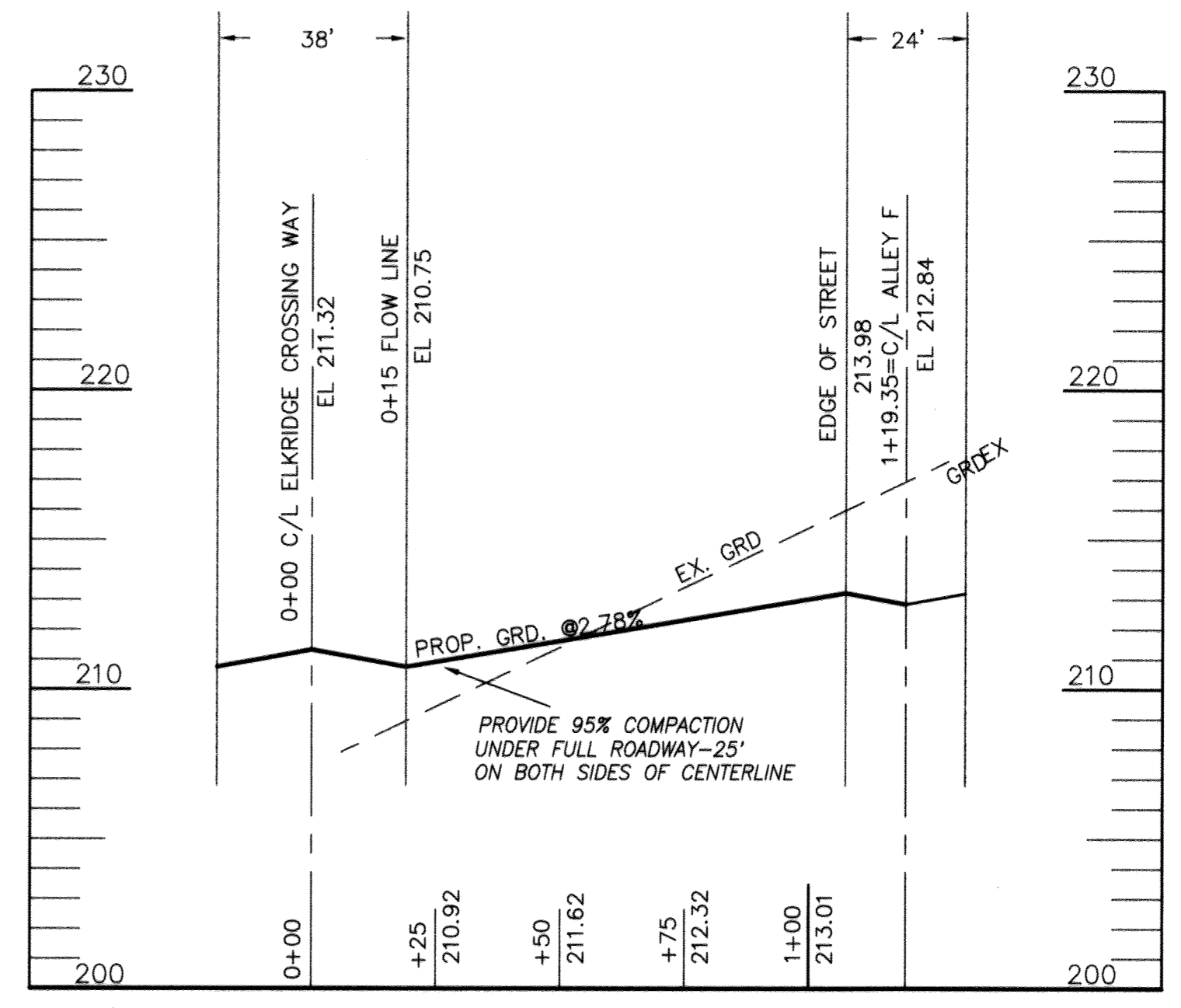
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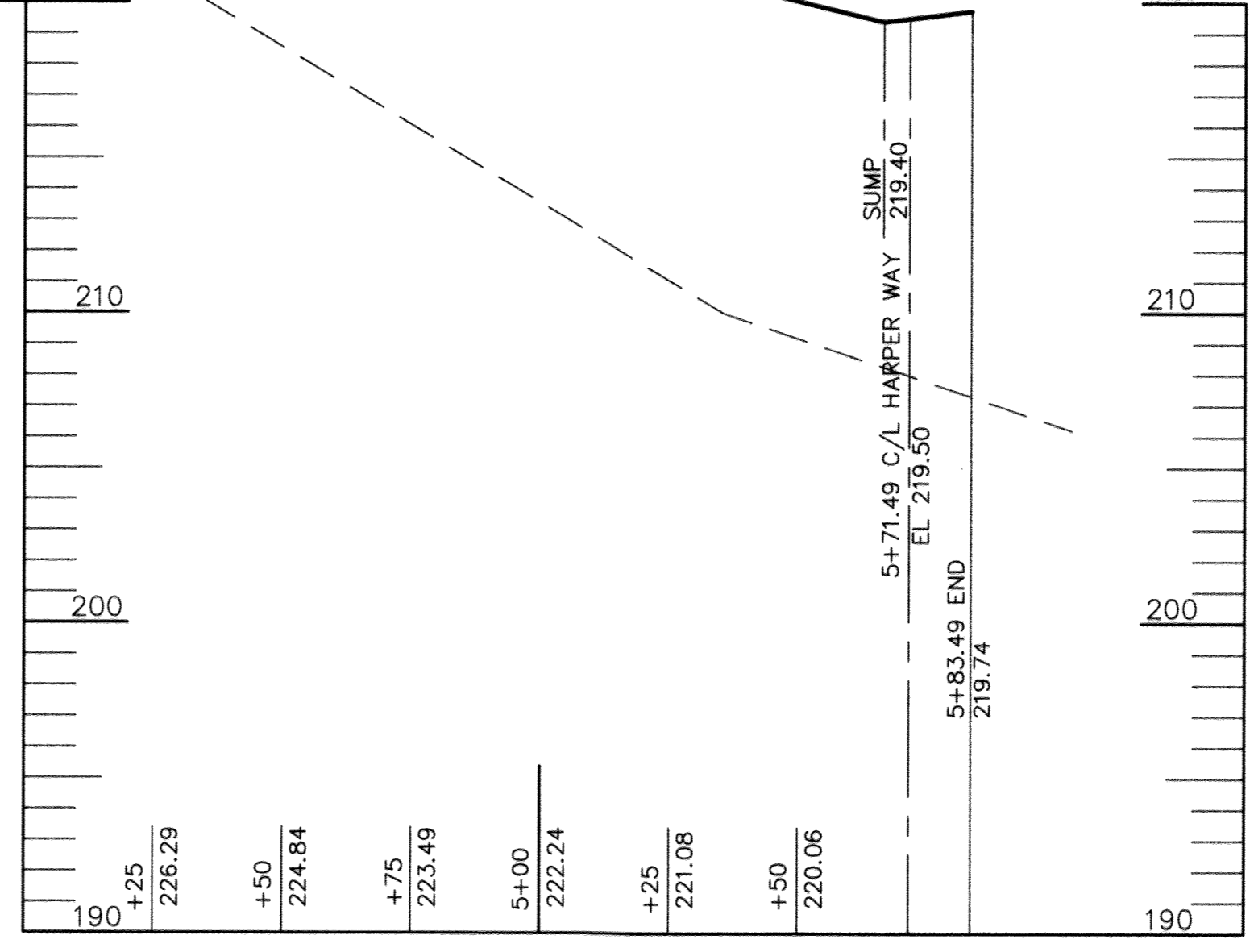
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PRIVATE ROAD



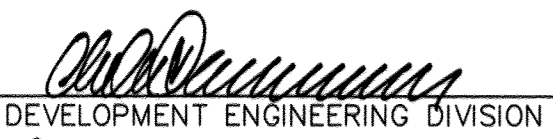
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PRIVATE ROAD




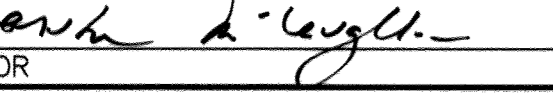
**STRATMAN STOP**  
PRIVATE ROAD



APPROVED: DEPARTMENT OF PLANNING AND ZONING

 DATE: 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

 DATE: 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT

 DATE: 9/6/06  
 DIRECTOR



**OWNER**

PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**

BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chesnut Avenue, Baltimore, Maryland, 21234  
 Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

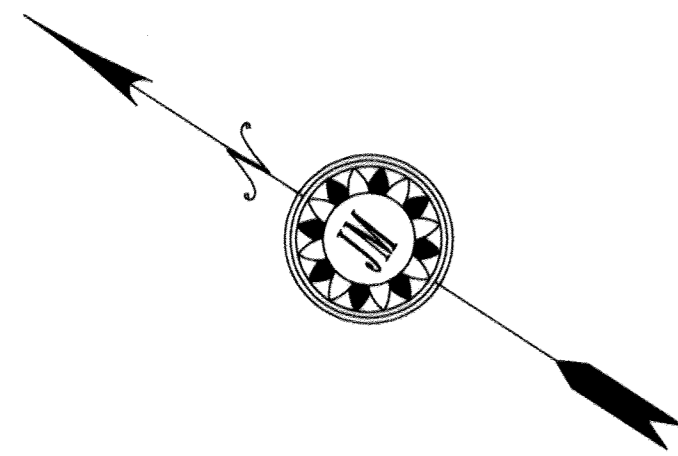
**ELKRDGE-CROSSING-PHASE ONE**  
**PARCELS A-E**  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**ROAD-PROFILES**

DATE: 5/25/06  
 REVISION: Add sheet 57  
 BY: JCM

DRAWN: JLM  
 DATE: JUNE 21, 2006  
 SCALE: H-1"=30'  
 V-1"=5'

SHEET  
18 OF 57

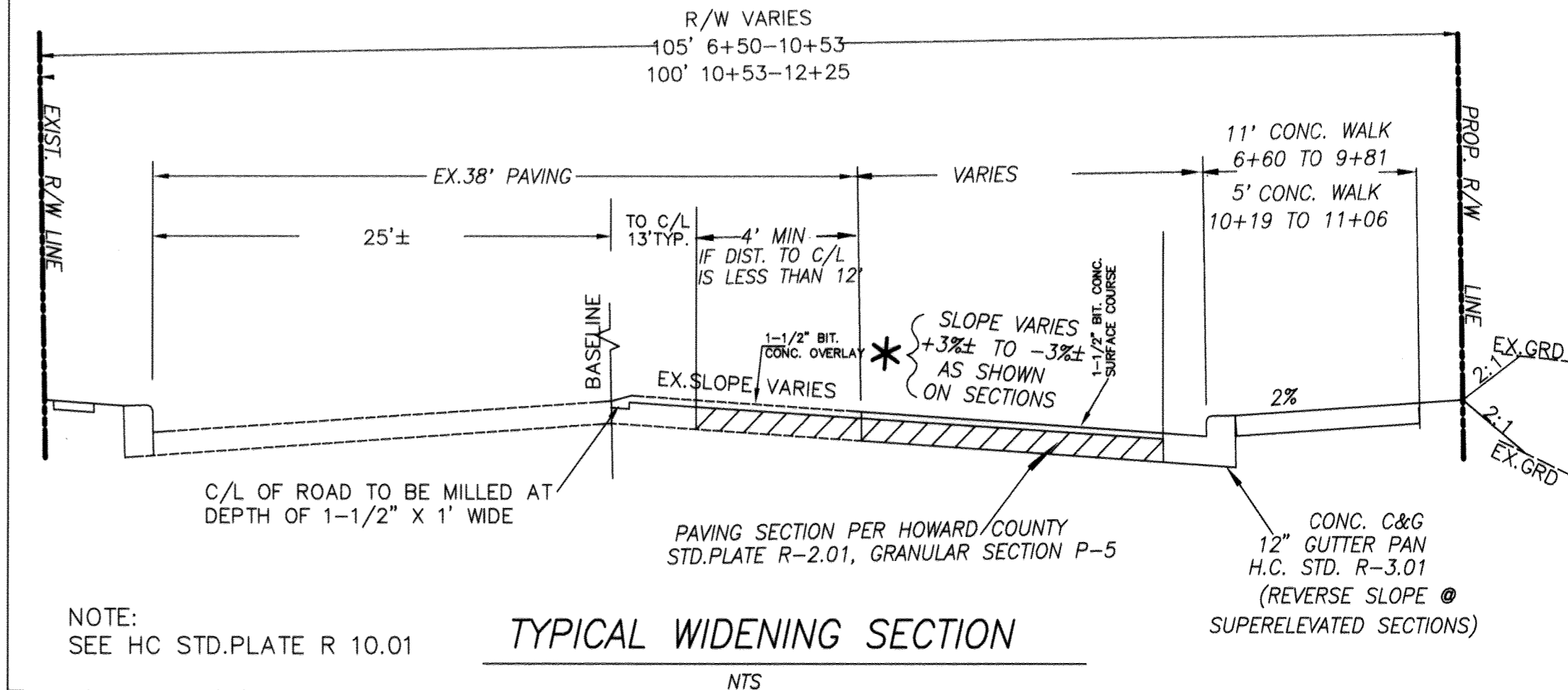
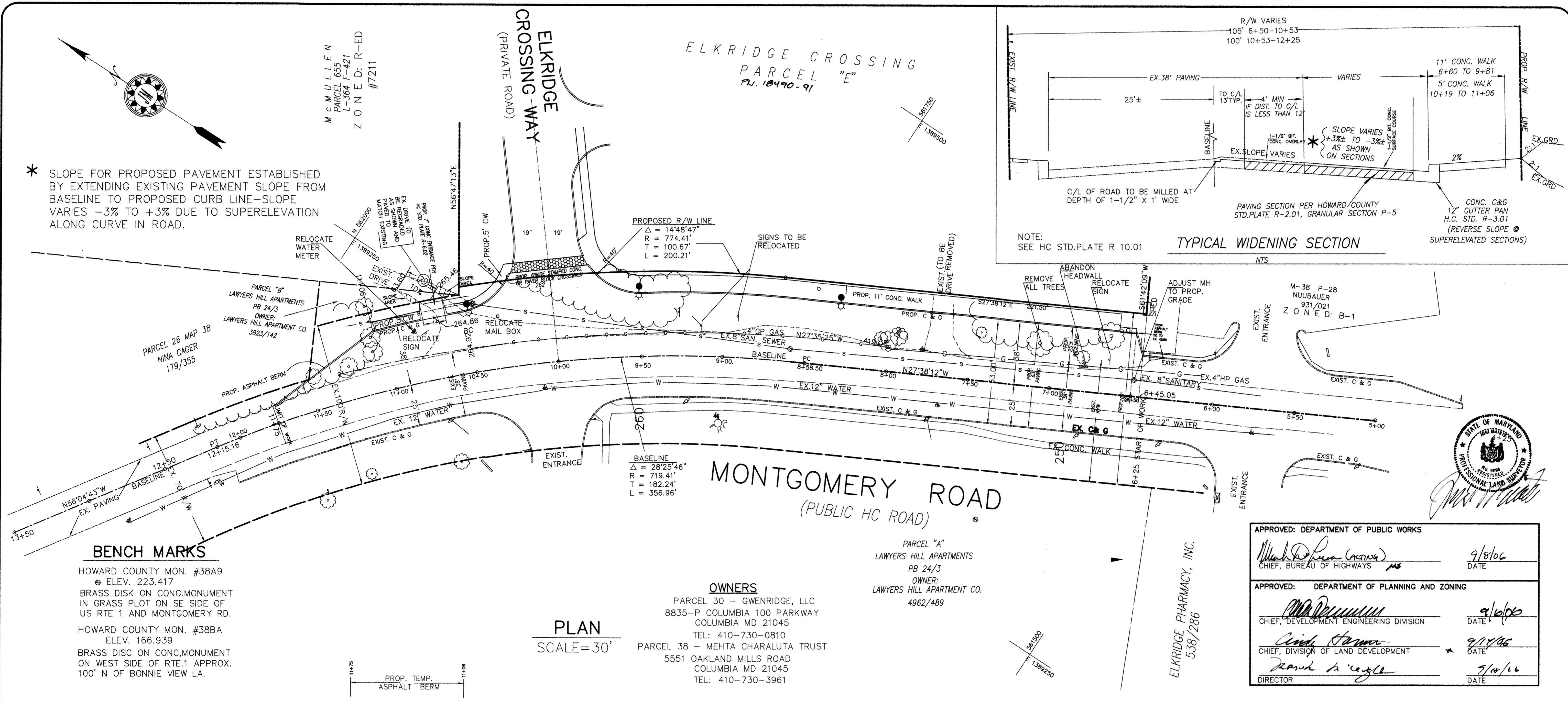
SDP.04-017



M C MULLEN  
PARCEL 655  
L-364 F-421  
ZONED: R-ED  
#7211

ELKRIDGE CROSSING  
PARCEL "E"  
P.L. 18490-91

\* SLOPE FOR PROPOSED PAVEMENT ESTABLISHED BY EXTENDING EXISTING PAVEMENT SLOPE FROM BASELINE TO PROPOSED CURB LINE—SLOPE VARIES -3% TO +3% DUE TO SUPERELEVATION ALONG CURVE IN ROAD.



NOTE: SEE HC STD. PLATE R 10.01  
TYPICAL WIDENING SECTION  
NTS

**BENCH MARKS**

- HOWARD COUNTY MON. #38A9  
ELEV. 223.417  
BRASS DISK ON CONC. MONUMENT IN GRASS PLOT ON SE SIDE OF US RTE 1 AND MONTGOMERY RD.
- HOWARD COUNTY MON. #38BA  
ELEV. 166.939  
BRASS DISC ON CONC. MONUMENT ON WEST SIDE OF RTE.1 APPROX. 100' N OF BONNIE VIEW LA.

PLAN  
SCALE=30'

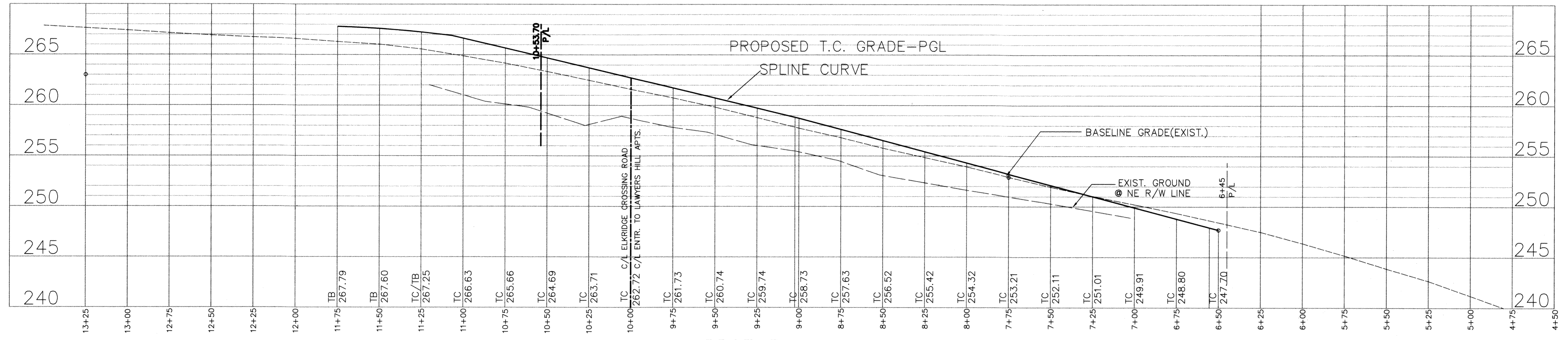
**OWNERS**  
PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810  
PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Michael P. ...* 9/8/06  
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*...* 9/10/06  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*...* 9/14/06  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*...* 9/10/06  
DIRECTOR DATE



PROFILE  
SCALE 1"=30'  
V=1"=5'



DRAWN: J.M.  
DATE: JUNE 21, 2006  
SCALE: AS SHOWN

BY: FCC  
REVISION: Add Sheet 57  
DATE: 3/25/21

ELKRIDGE - CROSSING - PHASE ONE  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
MONTGOMERY ROAD WIDENING PLAN

JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Chenoweth Avenue, Baltimore, Maryland, 21234  
Phone: 410-663-8752 Fax: 410-661-8752  
RICHARDSON ENGINEERING, LLC  
730 W. Rudista Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
19 OF 57

SDP.04-017

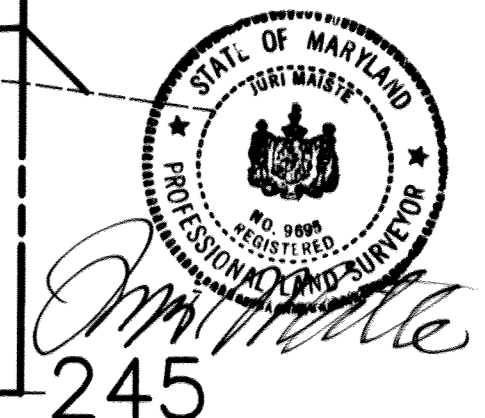
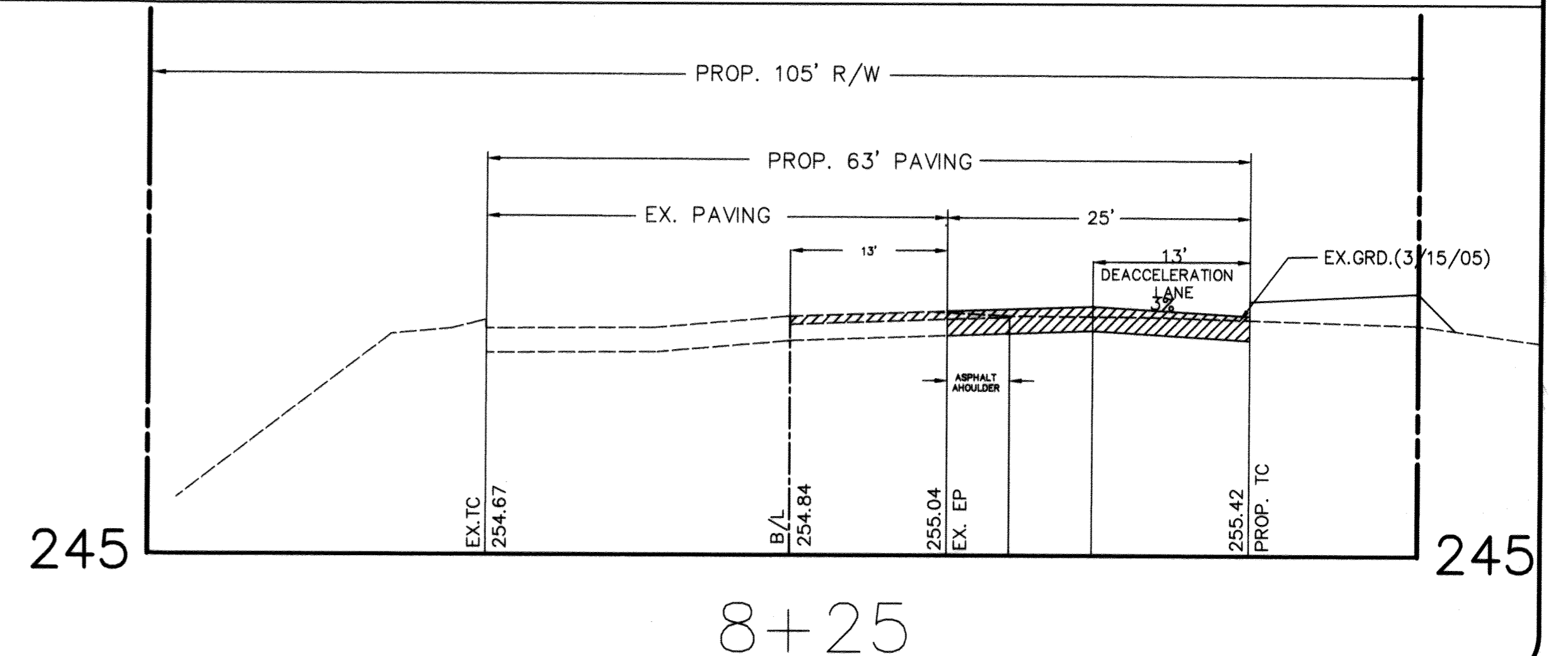
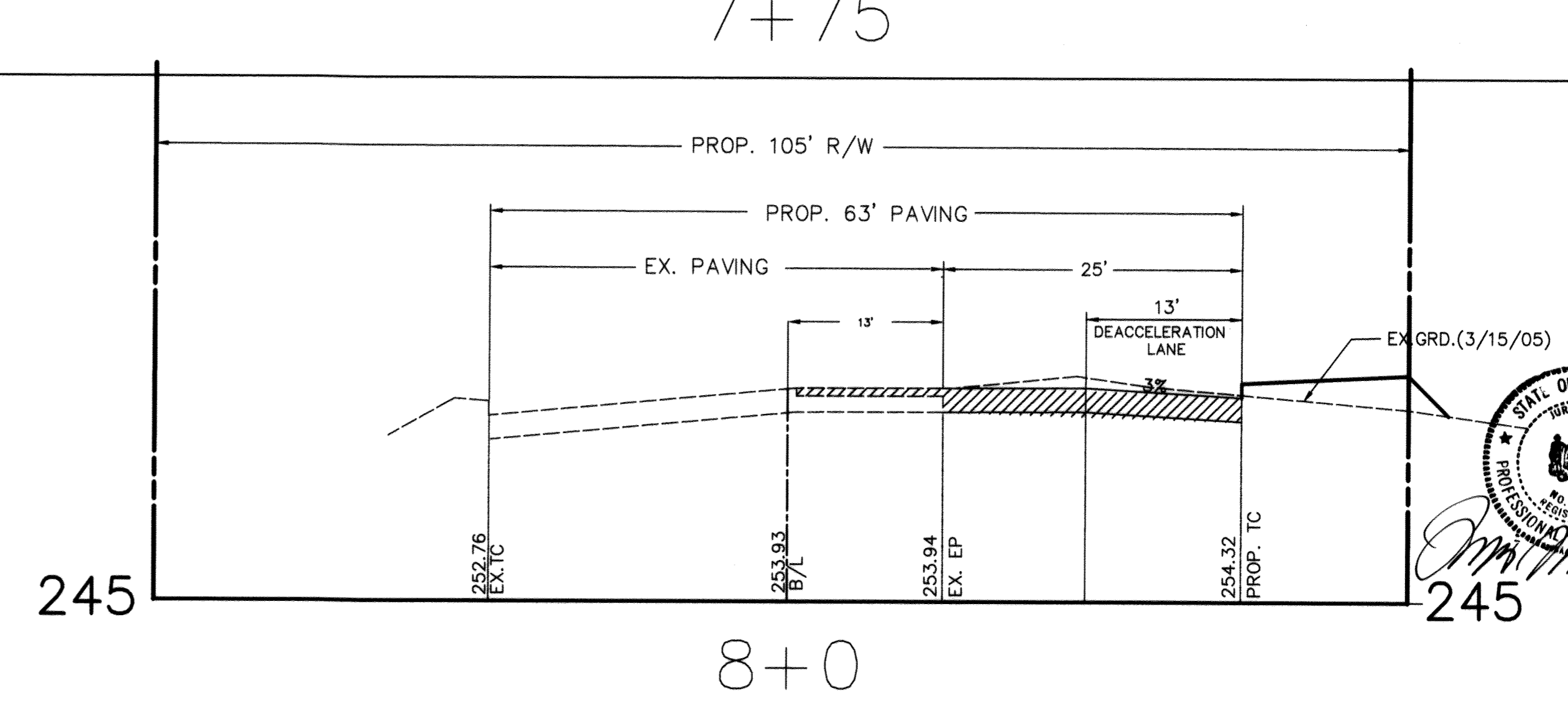
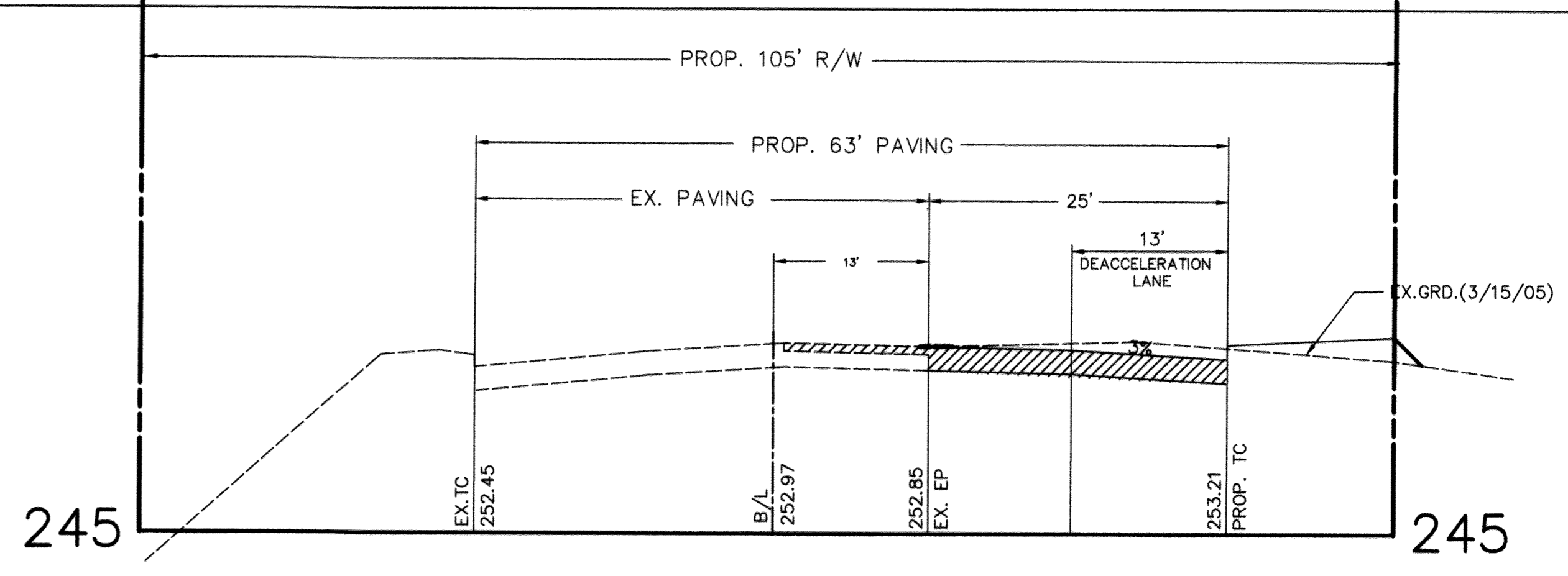
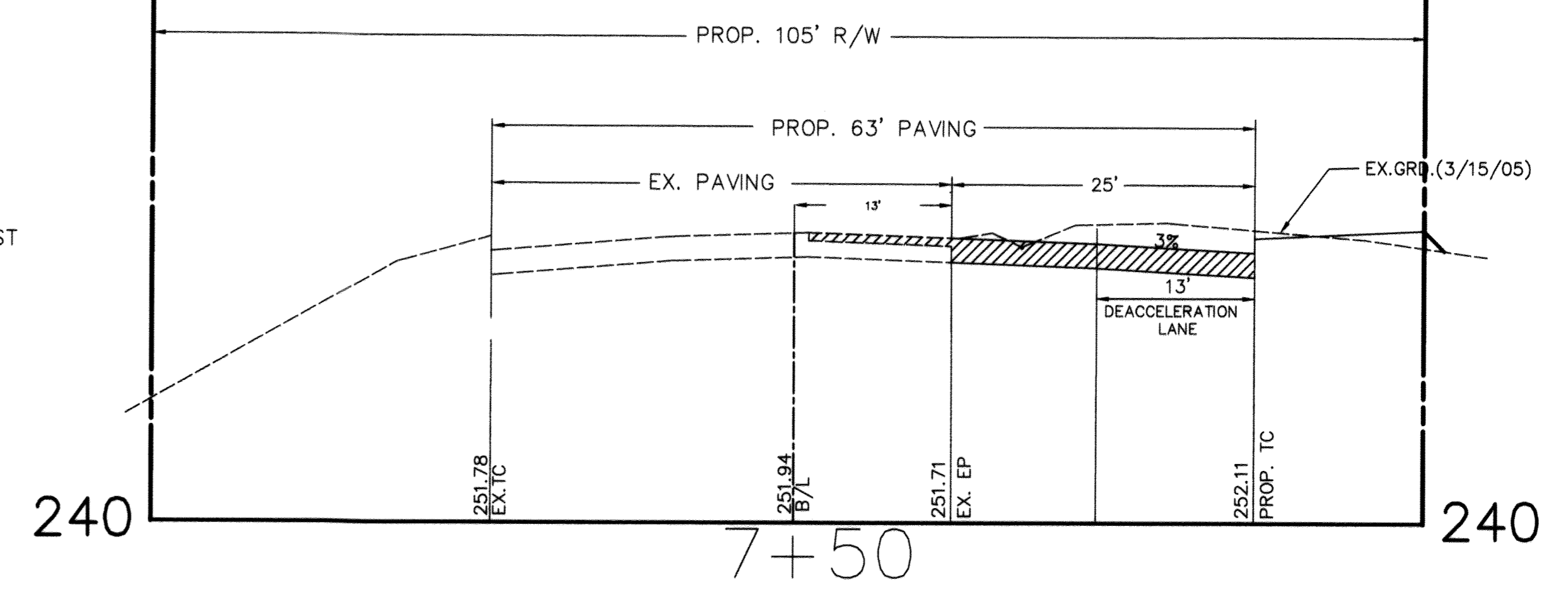
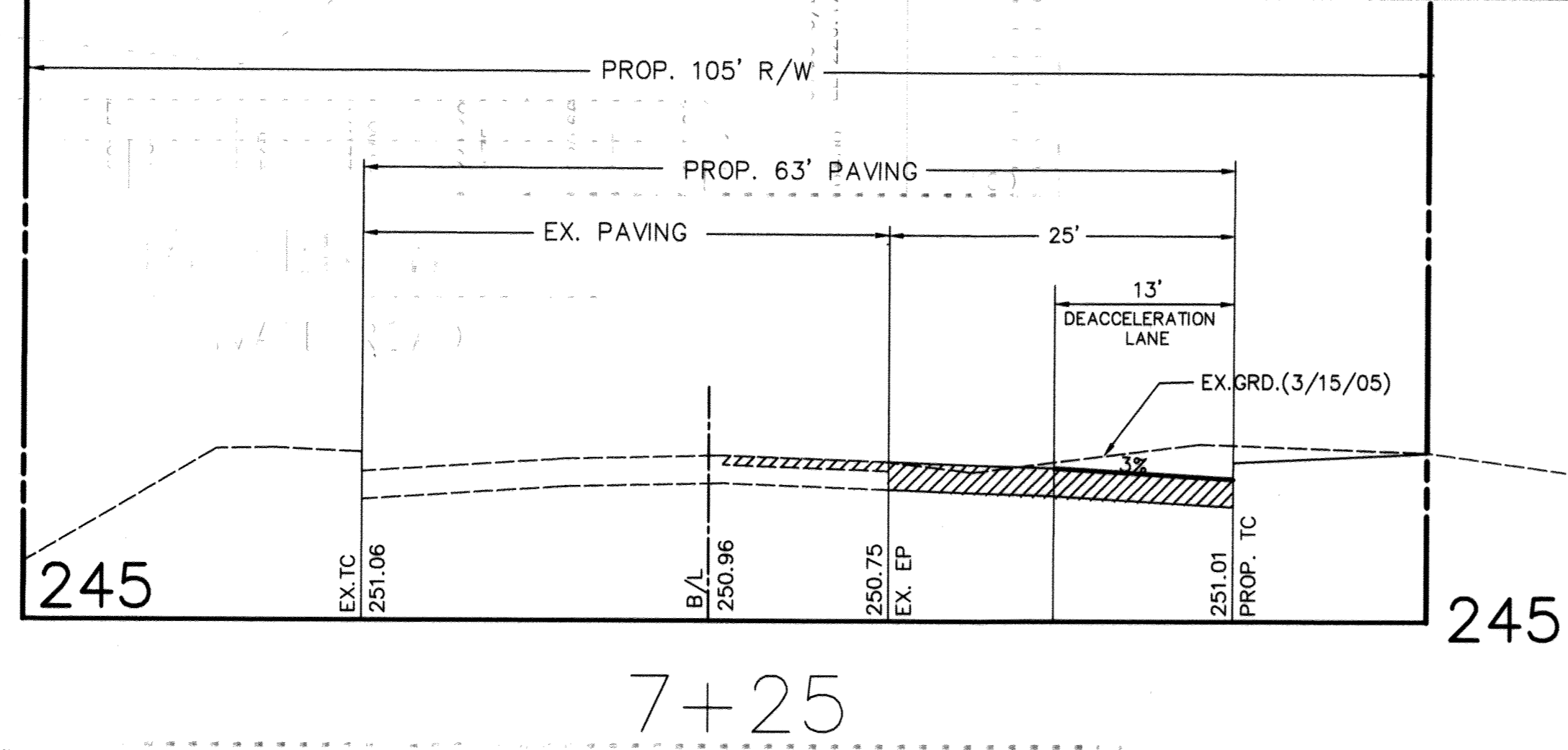
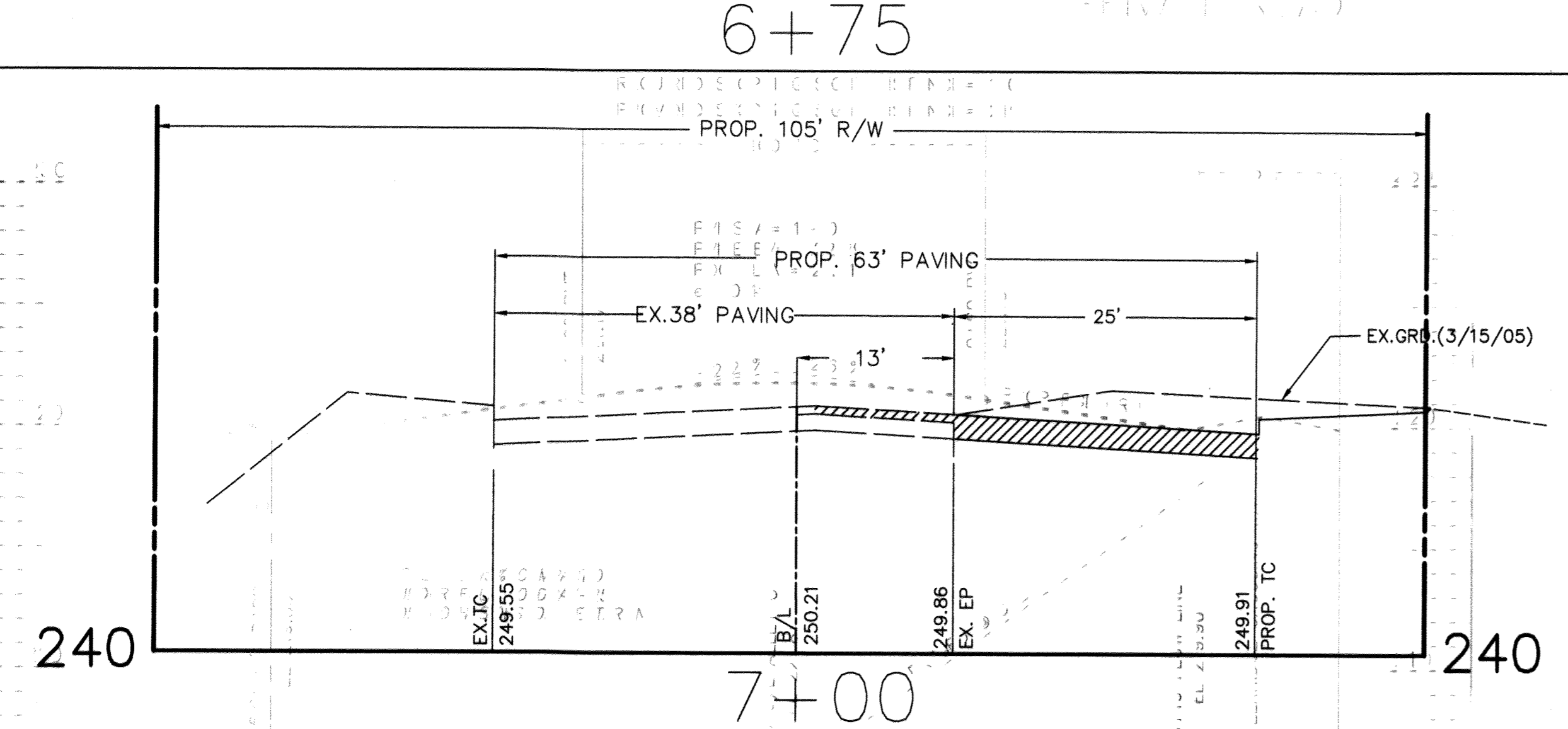
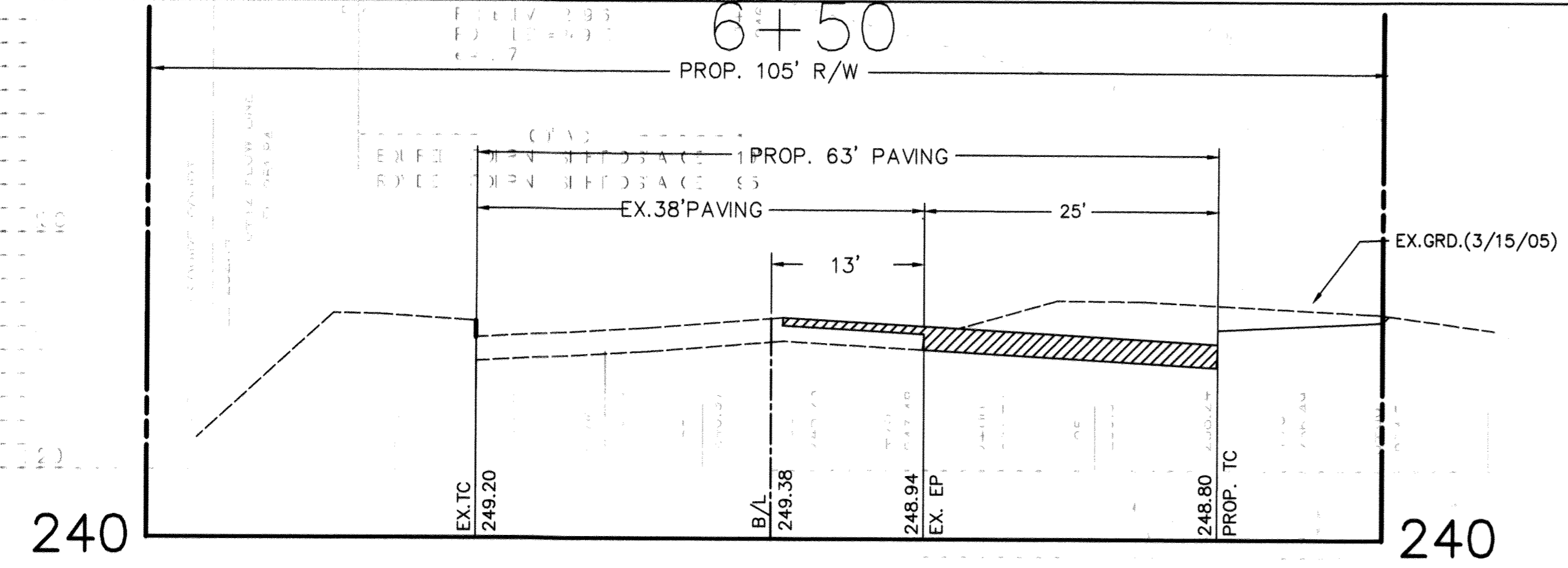
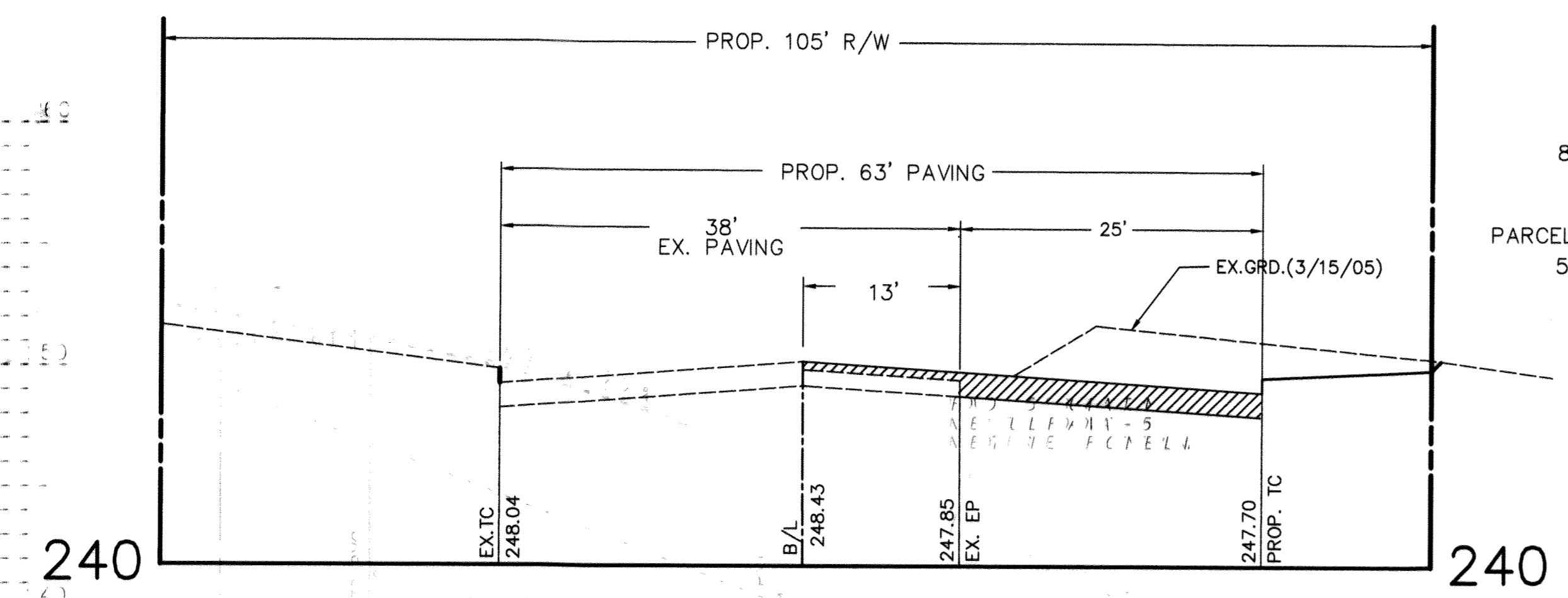
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APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Mark Adams* 9/14/06  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Hanna* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Paul Dwyer* 9/14/06  
 DIRECTOR DATE

**OWNERS**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961



DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: H-1"=10'  
 V-1"=5'

DATE	BY	REVISION
3/25/21	J.M.	Add Sheet 57

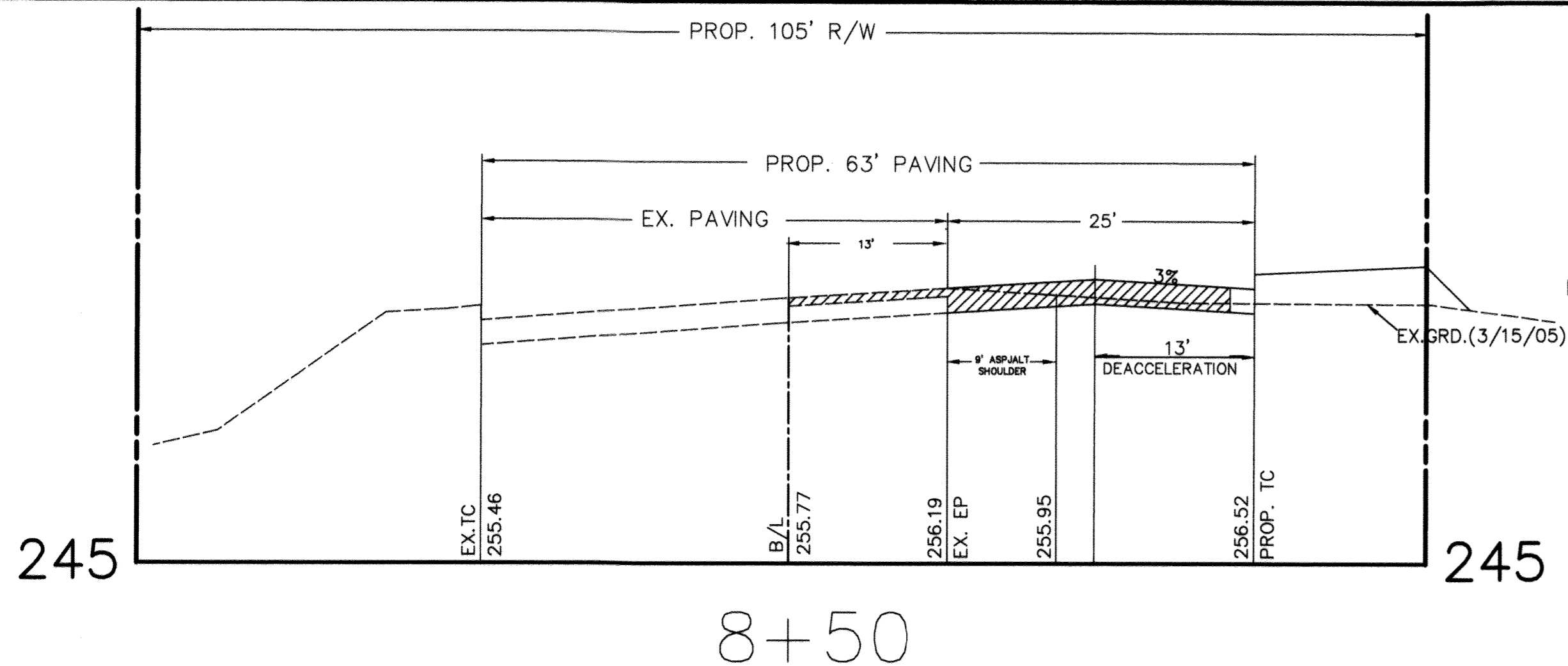
**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-F  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**MONTGOMERY ROAD CROSS SECTIONS #1**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chesaok Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8762 Fax: 410-661-8762  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-7502 Fax: 410-560-0827

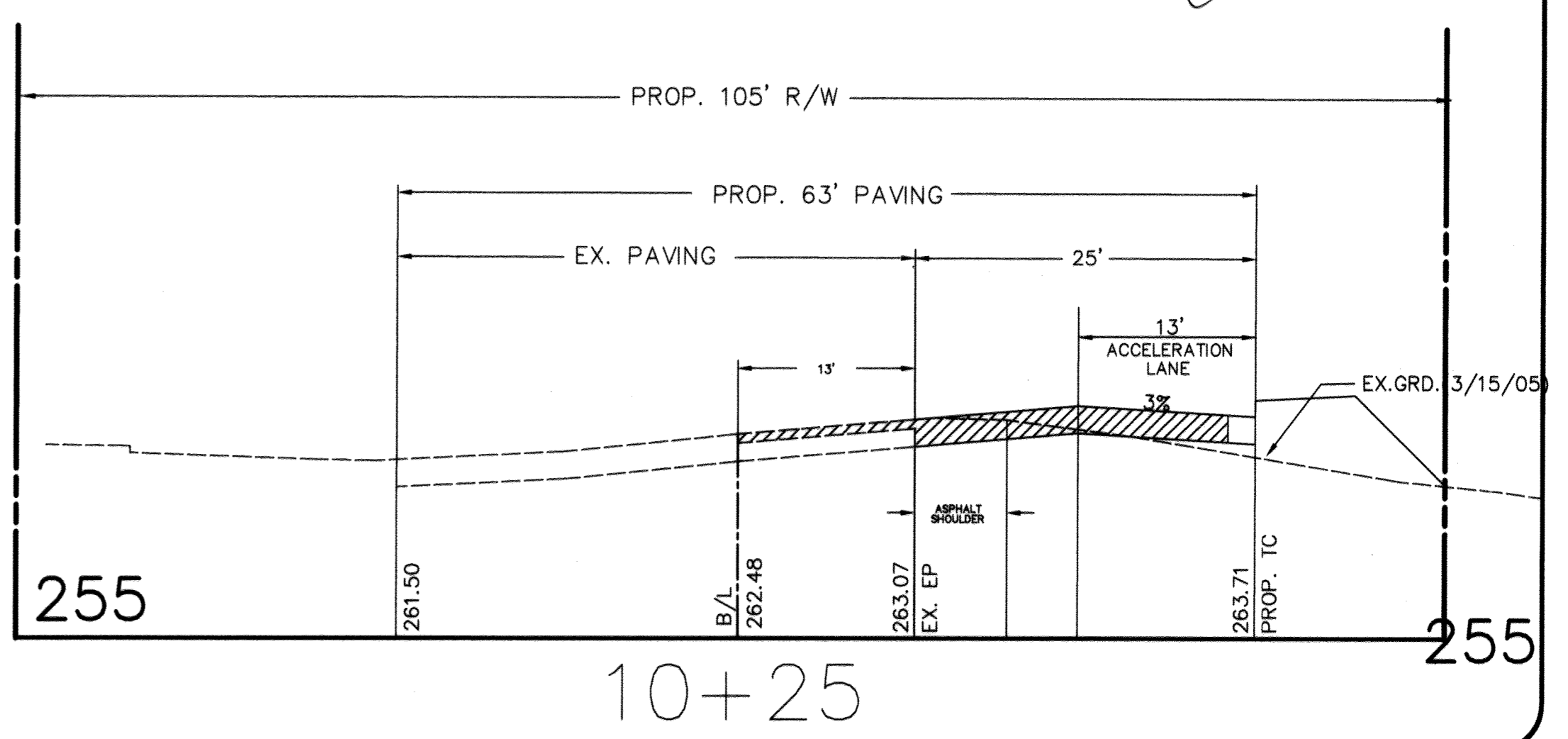
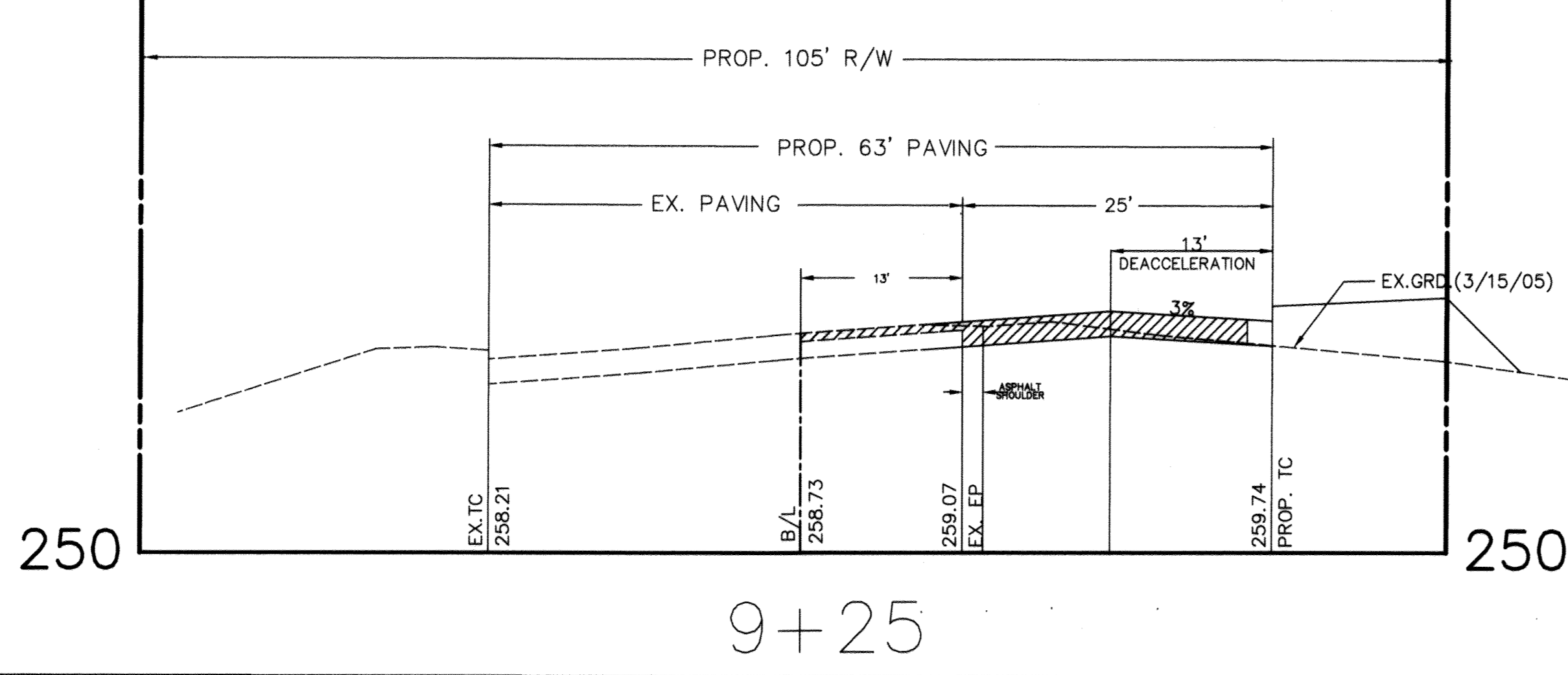
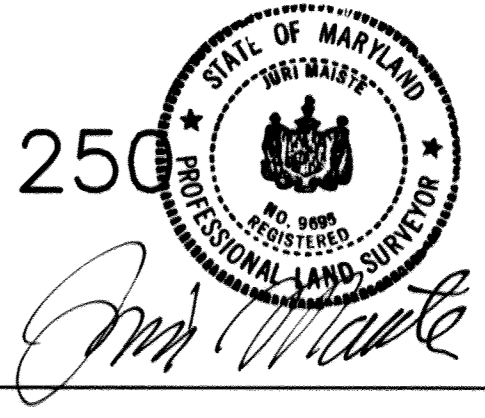
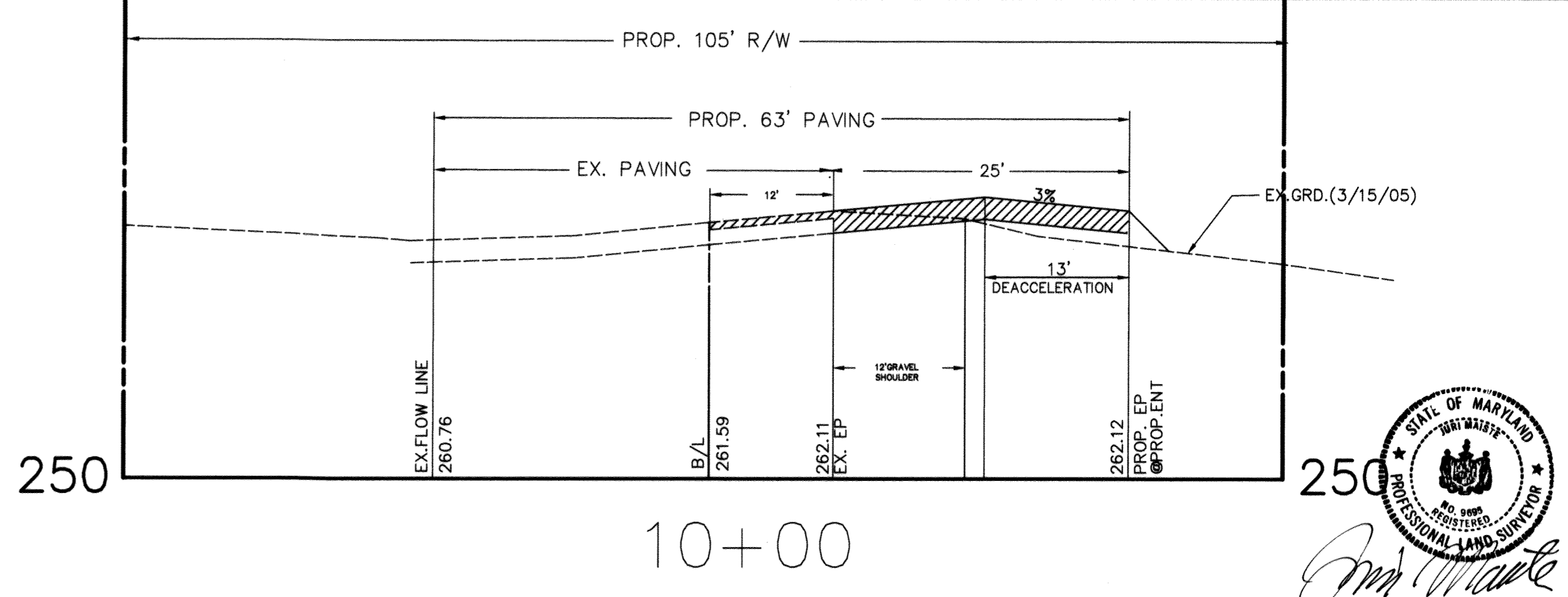
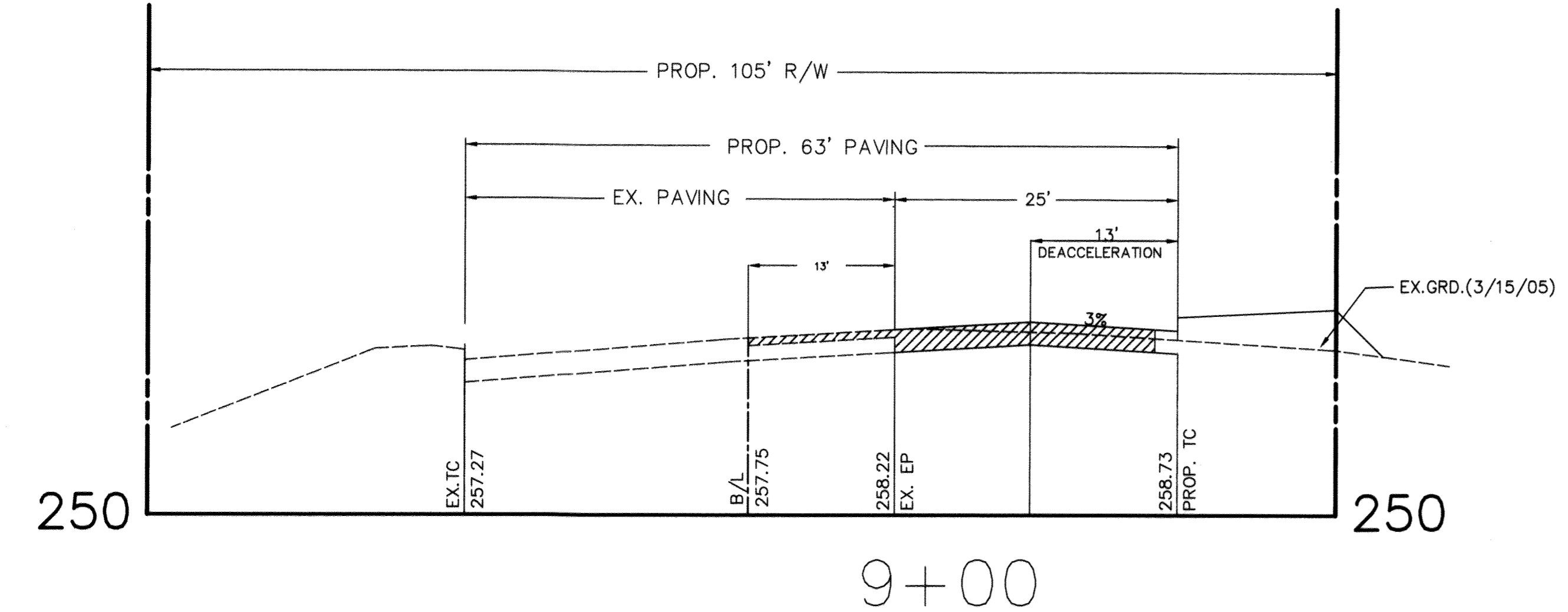
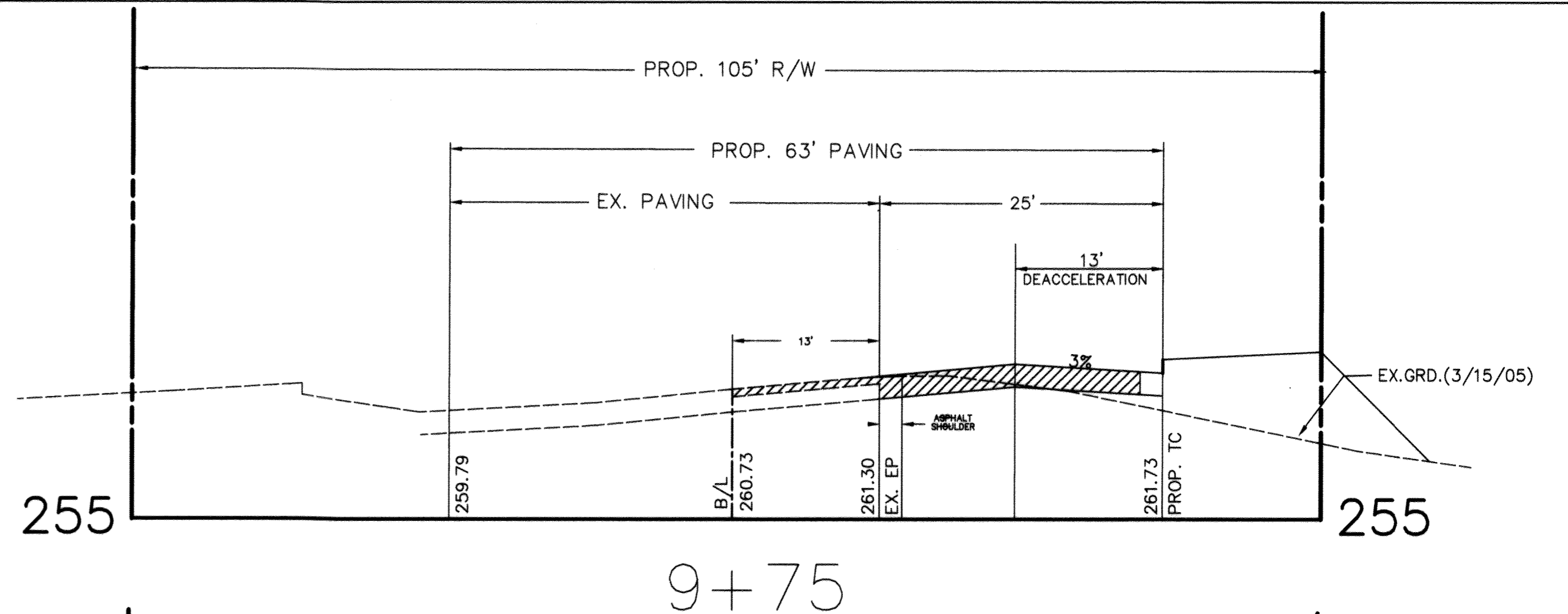
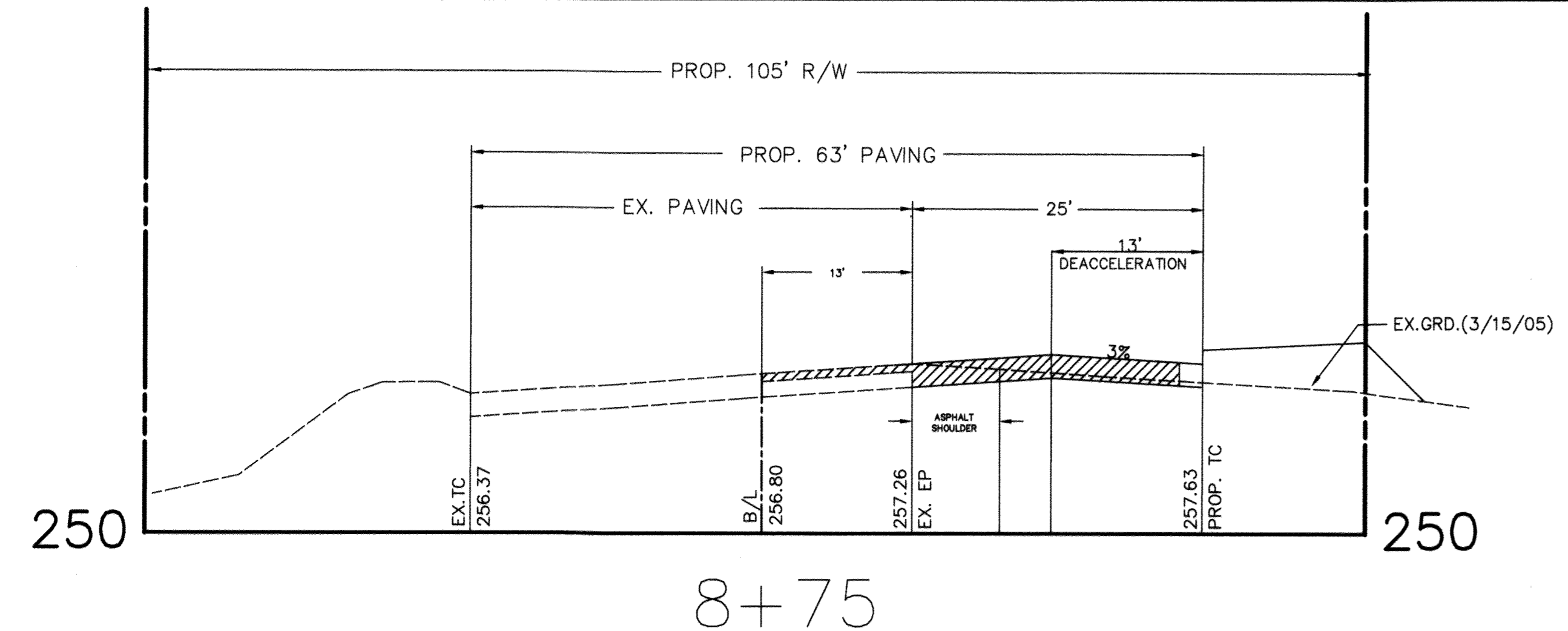
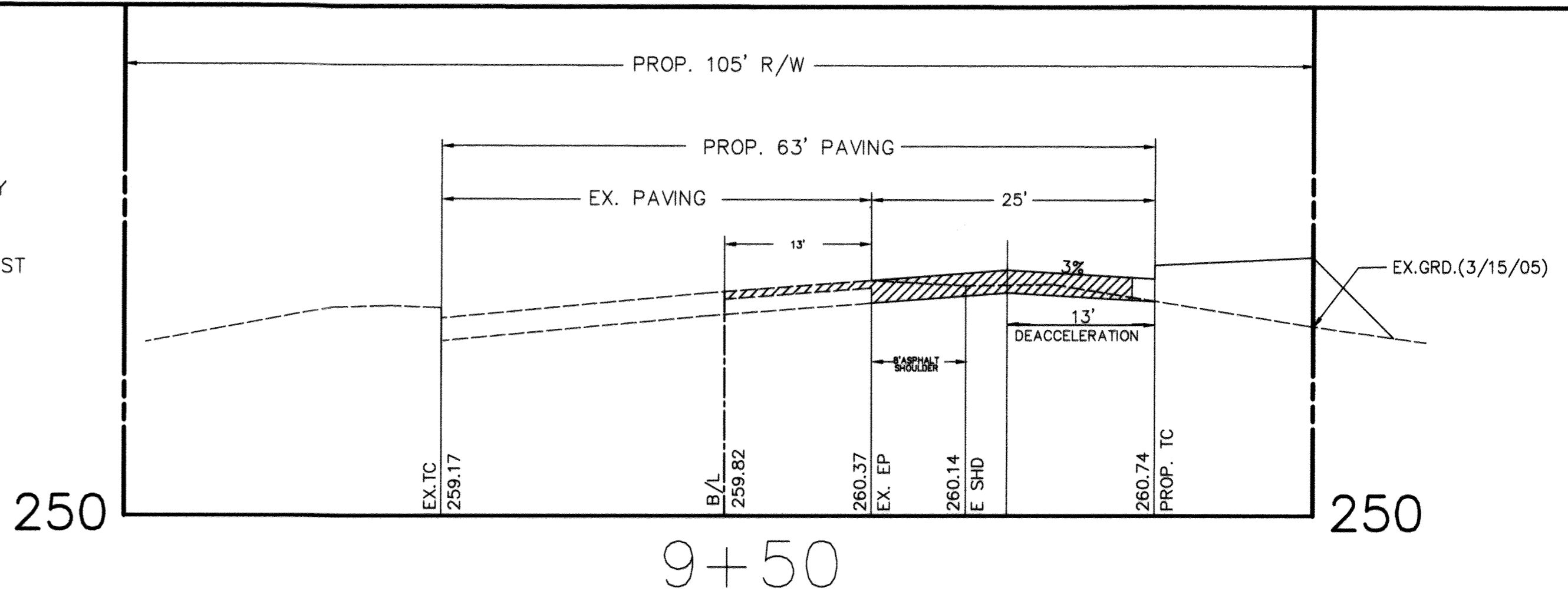
SHEET  
 20 OF 57

SDP-04-017

C:\UPRINTING\ELKRIDGE\1\PHASE-1\PRINT-1.DWG Mon Jul 24 15:51:19 2006



**OWNERS**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*Mark Adams* 9/8/06  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Hamer* 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Mark DeLuca* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Mark DeLuca* 9/18/06  
 DIRECTOR DATE

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: H-1"=10'  
 V-1"=5'

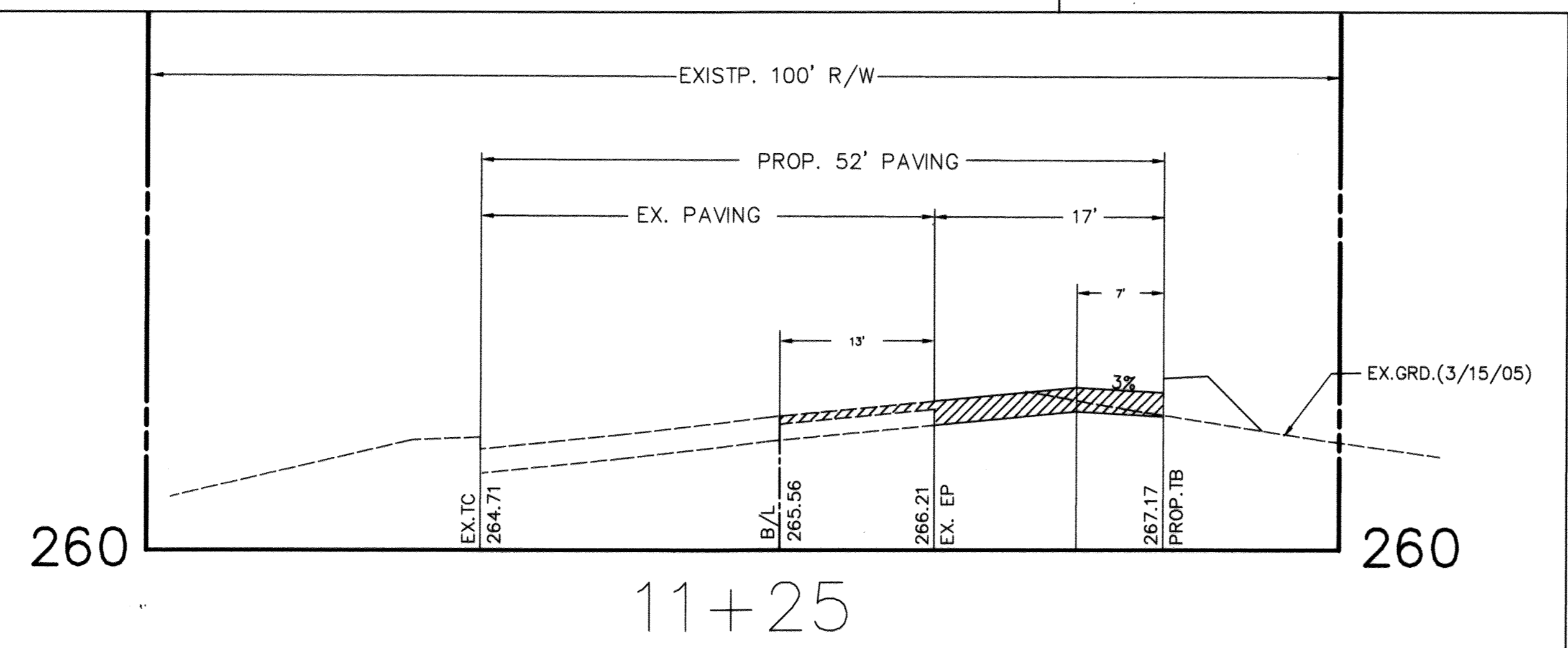
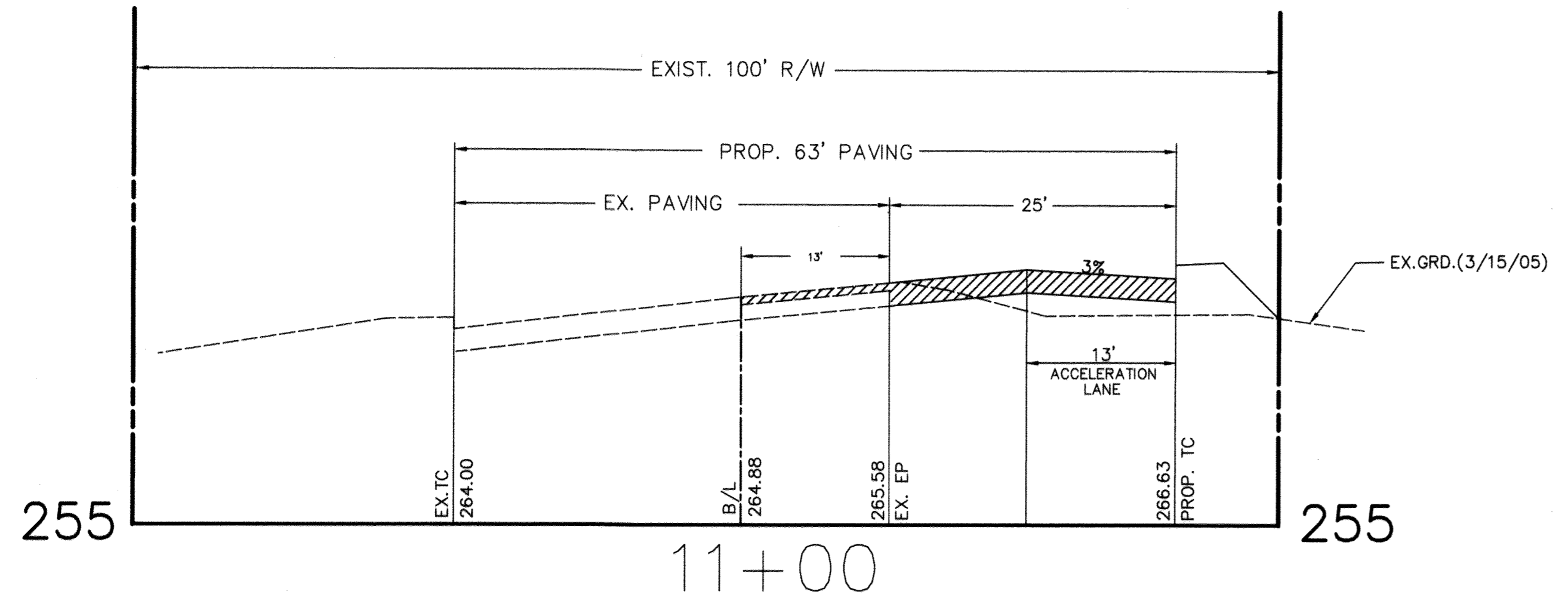
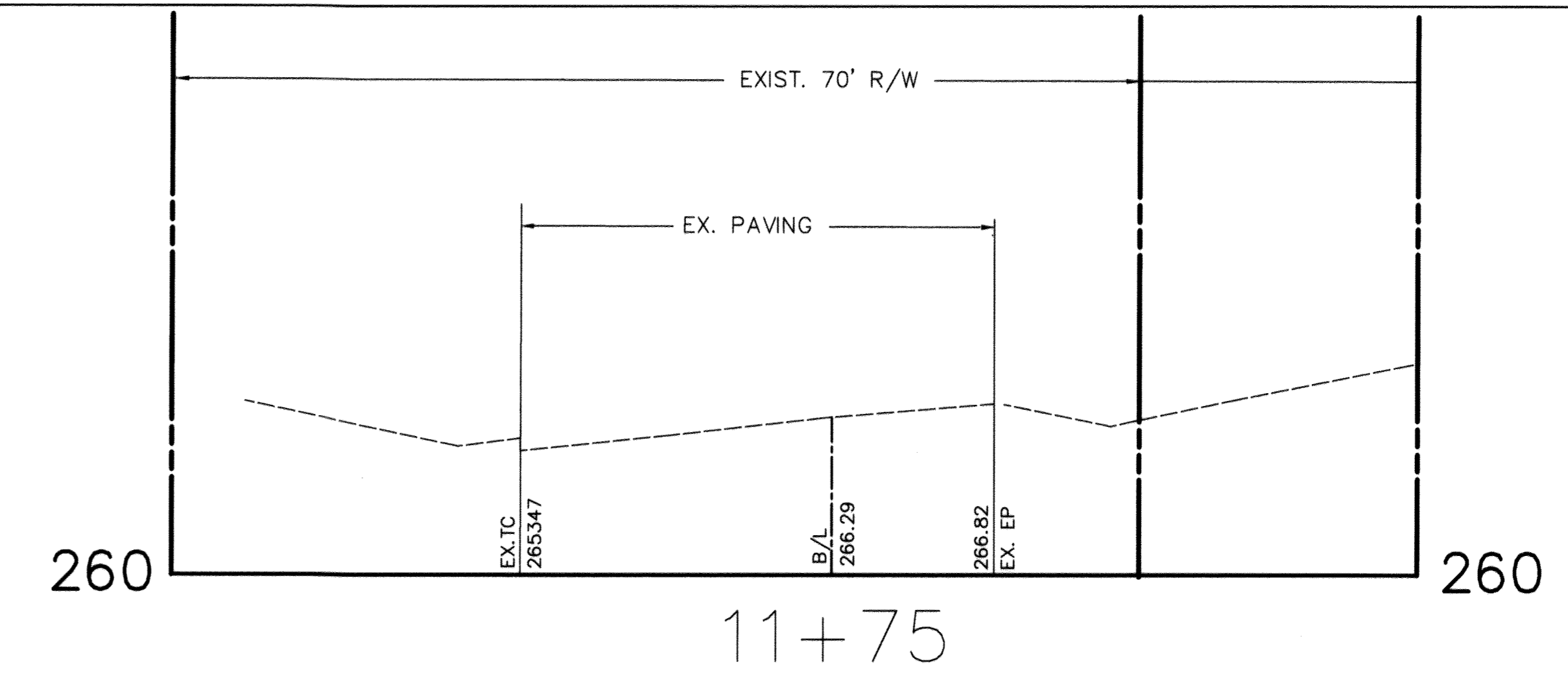
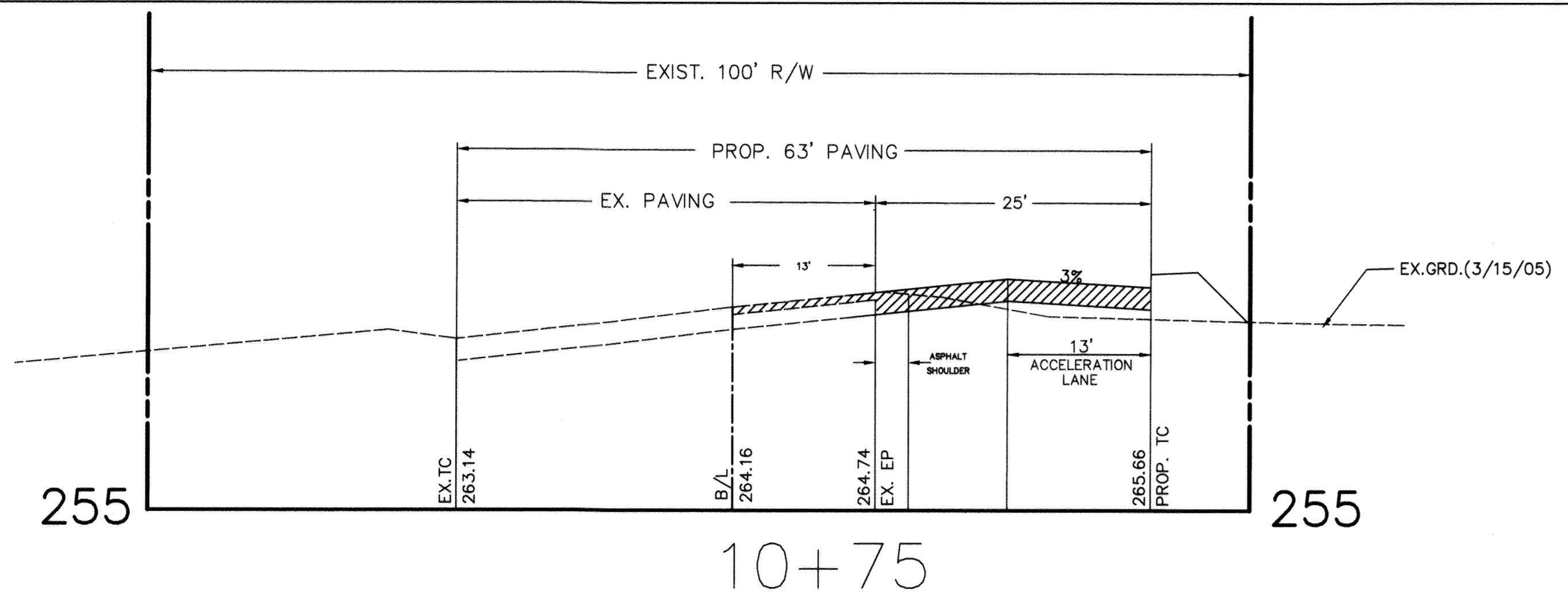
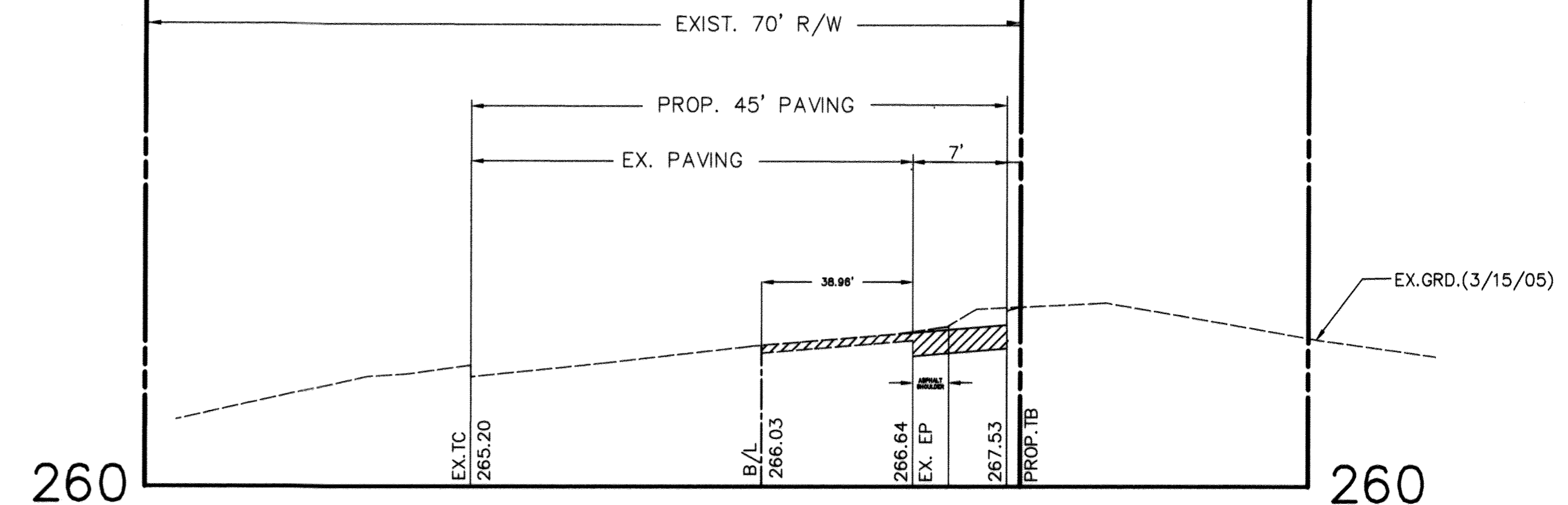
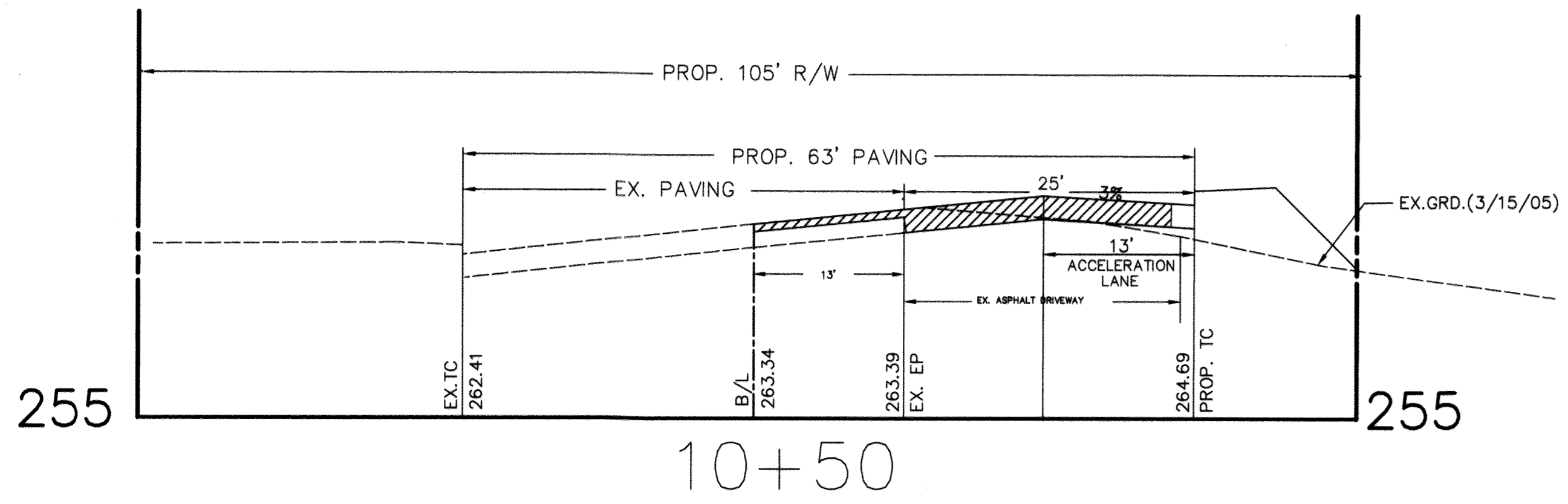
NO.	DATE	BY	REVISION
1	3/25/07	J.M.	Add Sheet 57

**ELKRIDGE - CROSSING - PHASE ONE**  
**PARCELS A-F**  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**MONTGOMERY ROAD CROSS SECTIONS**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Cheapeake Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
 21 OF 57

SDP-04-017



APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 9/15/06  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 9/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 9/18/06  
 DIRECTOR DATE

*[Signature]*  
 JURI MAISTE

**OWNERS**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: H-1"=10'  
 V-1"=5'

BY: J.C.  
 REVISION: Add Sheet 57  
 DATE: 8/25/06

**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**MONTGOMERY ROAD CROSS SECTIONS**

JURI MAISTE - SITE DESIGN CONSULTANT  
 2923 Chenook Avenue, Baltimore, Maryland 21284  
 Phone: 410-661-8752 Fax: 410-661-8752  
 RICHARDSON ENGINEERING, LLC  
 730 W Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
 22 OF 57

SDP-04-017

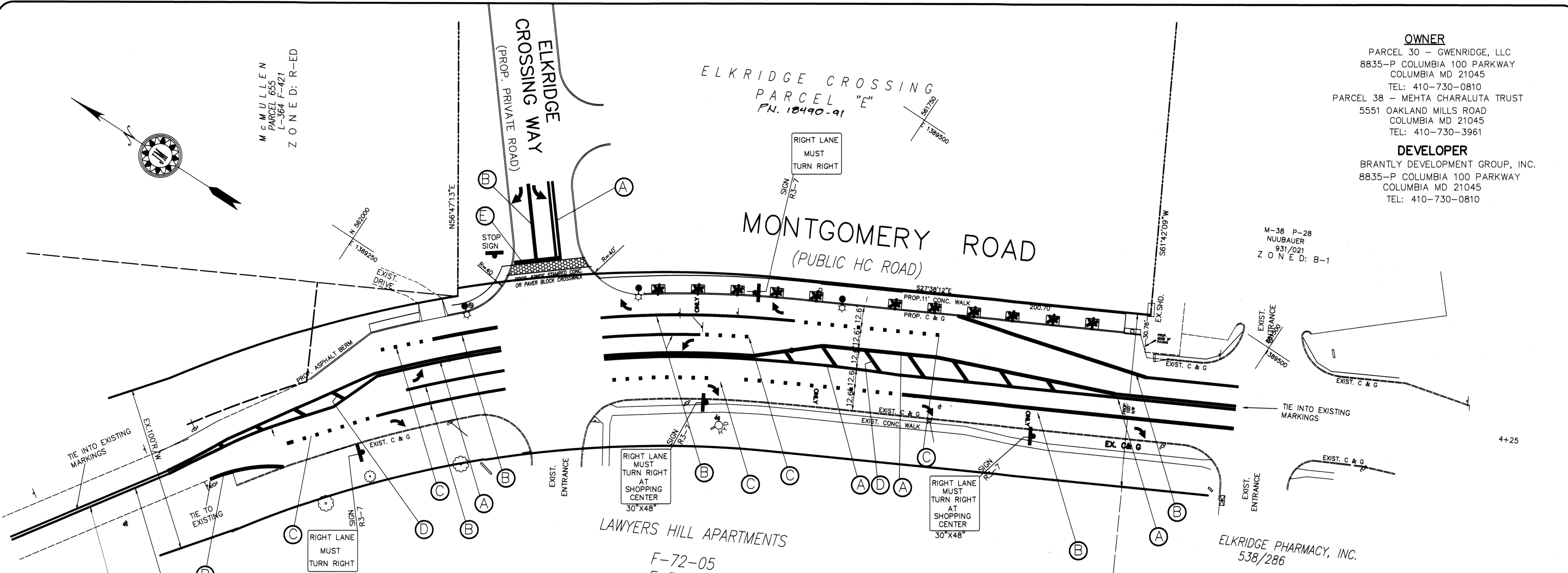
M C M U L L E N  
 PARCEL 655  
 L-364 F-421  
 ZONED: R-ED

ELKRIDGE CROSSING  
 PARCEL "E"  
 FN. 18490-91

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

M-38 P-28  
 NUUBAUER  
 931/021  
 ZONED: B-1



**LEGEND**

- (A) 5" DOUBLE YELLOW
- (B) 5" SOLID WHITE
- (C) 5" PUPPY TRACKS..... WHITE(2' LINE SEGMENT/6' SPACE/2' LINE SEGMENT/6' SPACE)...
- (D) 12" YELLOW HATCH LINES (20' SPACING)
- (E) 24" WHITE STOP BAR
- (F) 12" BROKEN WHITE, 3" STRIPE, 3' GAP
- (G) 8" SOLID YELLOW
- 250WATT HPS (SAG)
- ☆ MOUNTED @ 30' ON A BRONZE FIBERGLASS POLE WITH 12' ARM SIGN

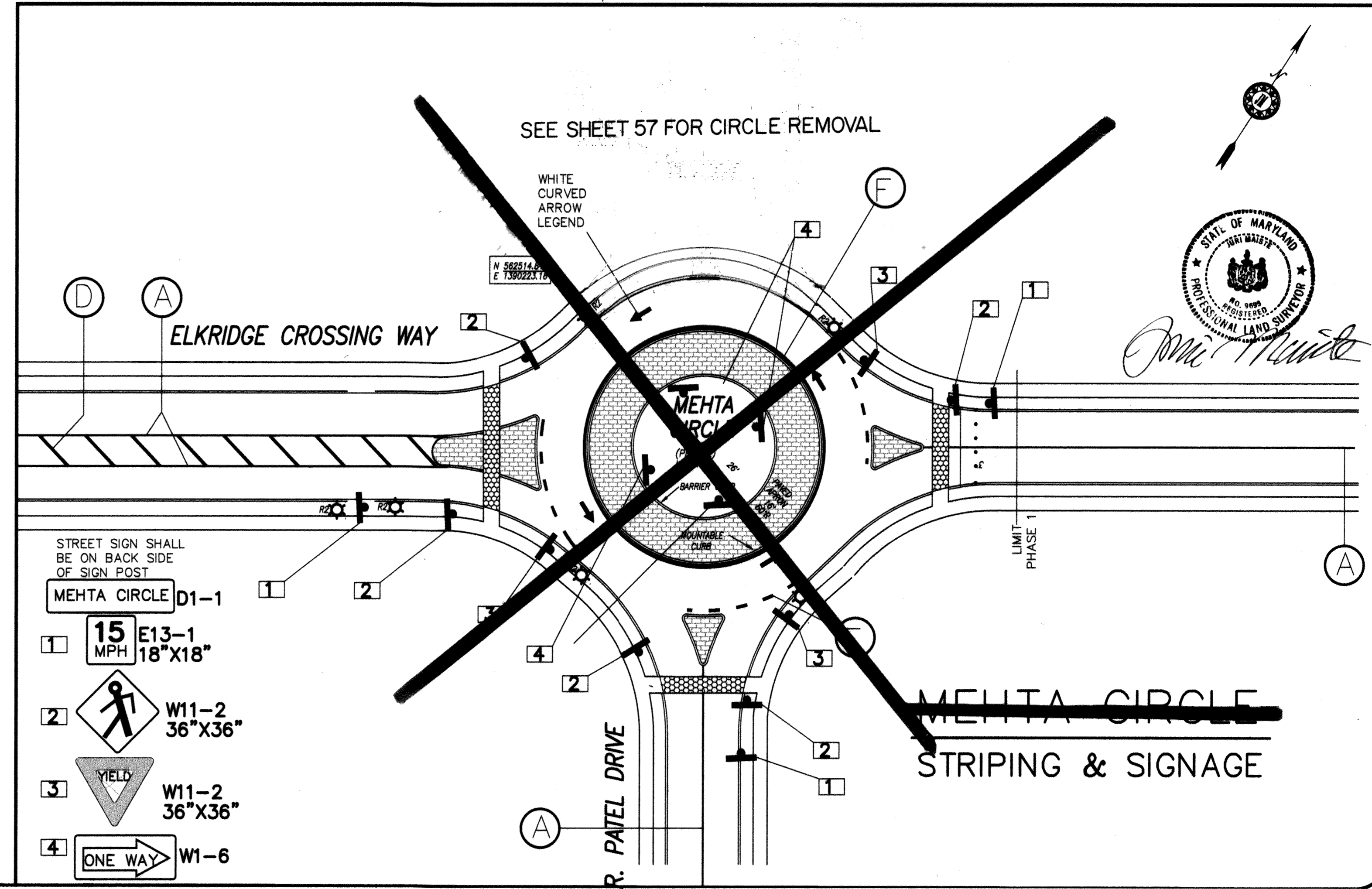
APPROVED: DEPARTMENT OF PUBLIC WORKS  
*[Signature]* 2/1/06  
 CHIEF, BUREAU OF HIGHWAYS MS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 2/1/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 2/1/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 2/1/06  
 DIRECTOR DATE

NOTE:  
 1. EXISTING LINES MUST BE GRINDED FOR REMOVAL  
 2. NEW LINES TO BE THERMOPLASTIC  
 3. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 TO LAY OUT SIGN LOCATION AND PAVEMENT MARKINGS.



- 1. MEHTA CIRCLE D1-1 15 MPH E13-1 18"X18"
- 2. W11-2 36"X36"
- 3. YIELD W11-2 36"X36"
- 4. ONE WAY W1-6



DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: 1"=30'

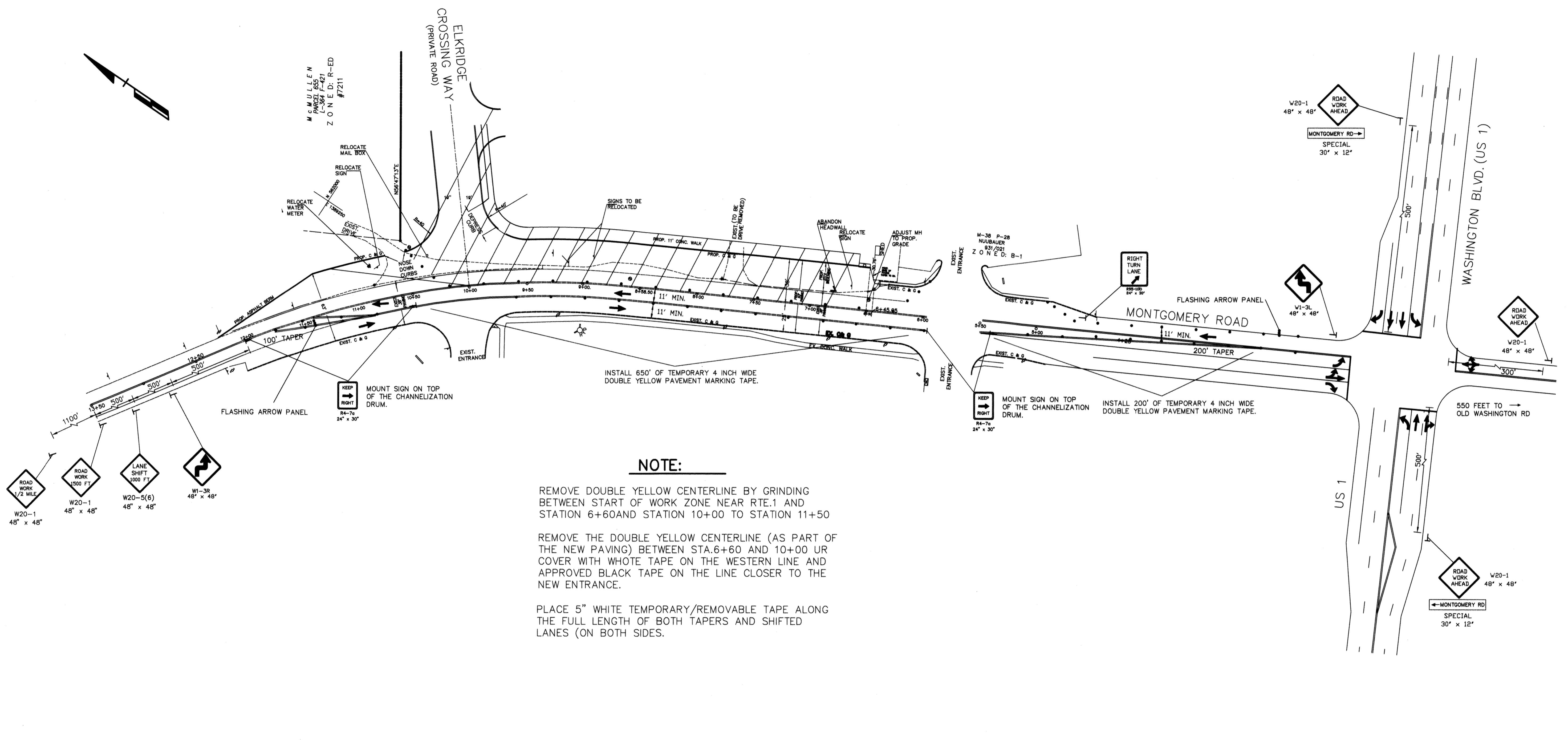
DATE	BY	REVISION
1/1/07	MELITA CIRCLE	Remove Traffic Circle
3/25/07		

**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS 30 & 38  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**MONTGOMERY ROAD STRIPING PLAN**  
**MONTGOMERY ROAD AND ROUNDABOUT**

JURI MAISTE - SITE DESIGN CONSULTANT  
 2923 Cheroke Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752  
 RICHARDSON ENGINEERING, LLC  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-5502 Fax: 410-560-0827

SHEET 23 OF 57

SDP-04-017

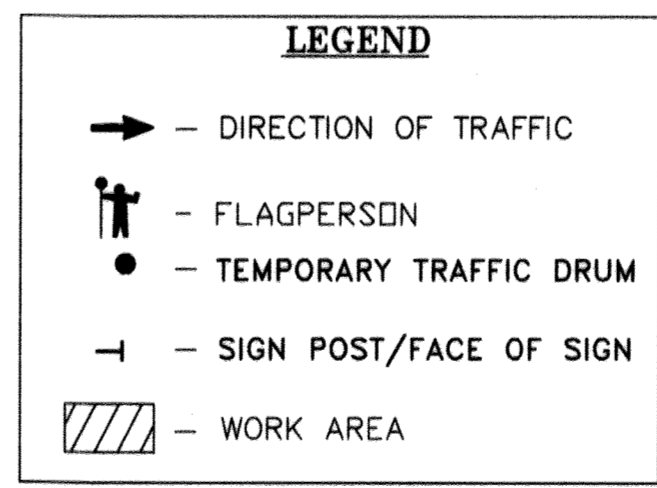


**NOTE:**

REMOVE DOUBLE YELLOW CENTERLINE BY GRINDING BETWEEN START OF WORK ZONE NEAR RTE.1 AND STATION 6+60 AND STATION 10+00 TO STATION 11+50

REMOVE THE DOUBLE YELLOW CENTERLINE (AS PART OF THE NEW PAVING) BETWEEN STA.6+60 AND 10+00 OR COVER WITH WHITE TAPE ON THE WESTERN LINE AND APPROVED BLACK TAPE ON THE LINE CLOSER TO THE NEW ENTRANCE.

PLACE 5" WHITE TEMPORARY/REMOVABLE TAPE ALONG THE FULL LENGTH OF BOTH TAPERS AND SHIFTED LANES (ON BOTH SIDES).



**GENERAL NOTES**

1. INSTALL THE TRAFFIC DEVICES AS SHOWN.
2. TRAFFIC DRUM SPACING SHALL BE 30 FEET ON TANGENT SECTIONS AND 10 FEET ON TAPERS AND RADII.
3. CONSTRUCT THE ROAD WIDENING AND SIDEWALK BETWEEN STA. 6+25 AND STA. 10+50 AS SHOWN.
4. DURING THE ROAD WIDENING BETWEEN STA. 10+50 AND STA. 12+25 THE WORK ZONE WILL REQUIRE FLAGGING OPERATION AS DETAILED IN STANDARD NO. MD 104.31-02.
5. ACCESS SHALL BE MAINTAINED TO ALL DRIVEWAYS.
6. REMOVE THE TRAFFIC CONTROL DEVICES IN REVERSE ORDER OF INSTALLATION.

APPROVED: DEPARTMENT OF PUBLIC WORKS

*Mark A. ...* 9/8/06  
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*...* 9/14/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*...* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*...* 7/14/06  
 DIRECTOR DATE



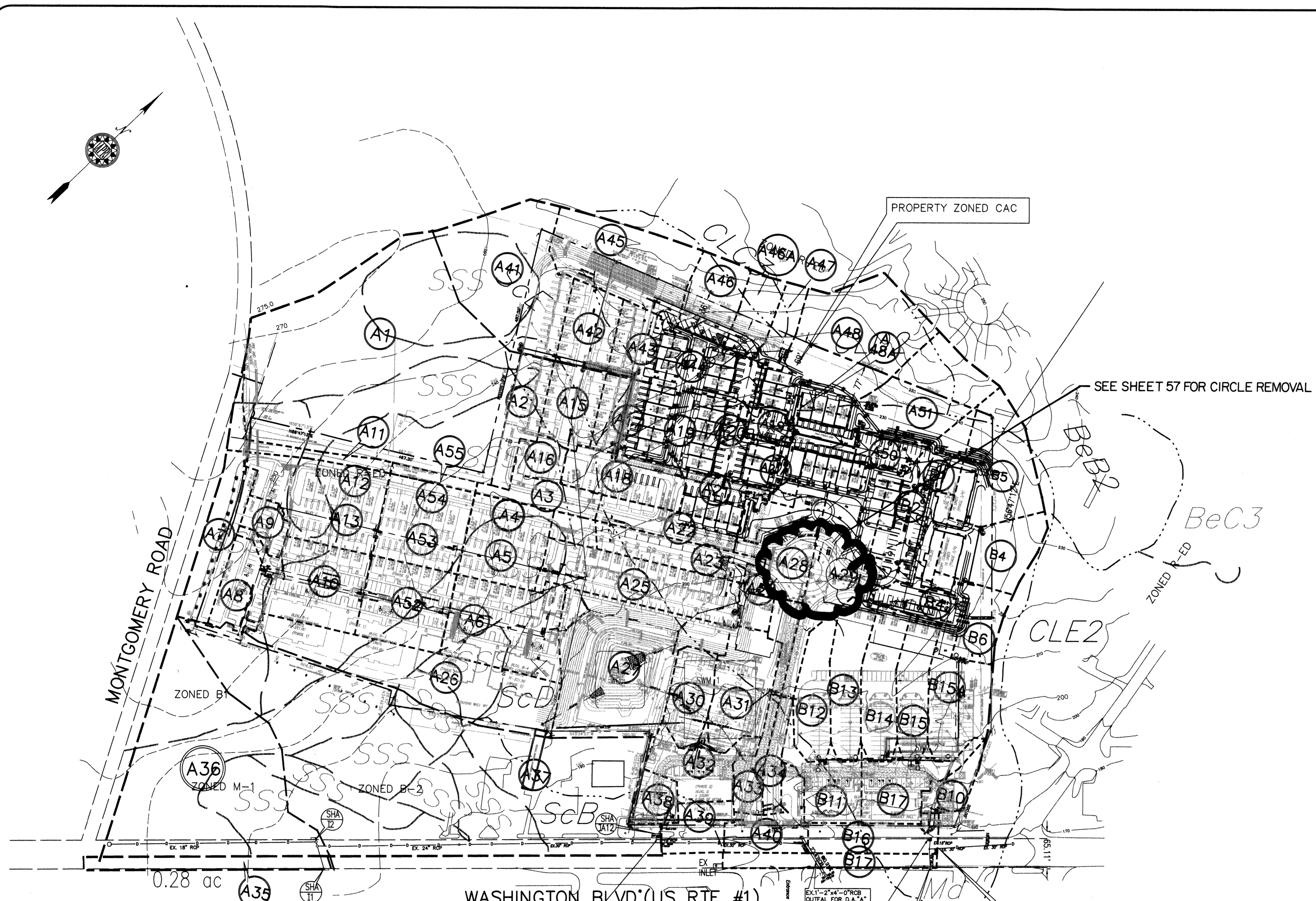
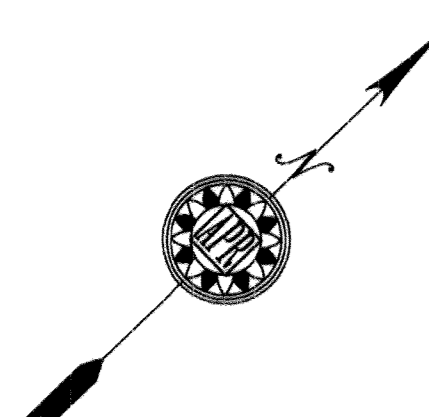
DRAWN: MN  
 DATE: MAY 1, 2006  
 SCALE: NO SCALE

DATE	BY	REVISION
3.25.21	ADD	SHEET 57

**ELKRIDGE - CROSSING - PHASE ONE**  
**PARCELS 4-5**  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 MONTGOMERY RD WORKZONE TRAFFIC CONTROL PLAN

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chennock Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-660-6602 Fax: 410-660-0827





**DRAINAGE AREA DATA**

D.A. NO.	AREA (ACRES)	"C"	SOILS TYPE
A1	4.03	0.27	C
A2	0.33	0.79	C
A3	0.22	0.79	C
A4	0.28	0.76	C
A5	0.38	0.79	C
A6	0.84	0.76	C
A7	0.54	0.79	C
A8	0.33	0.76	C
A9	0.16	0.73	C
A10	0.68	0.70	C
A11	0.14	0.83	C
A12	0.31	0.76	C
A13	0.56	0.79	C
A15	0.37	0.49	C
A16	0.16	0.76	C
A17	0.38	0.79	C
A18	0.42	0.76	C
A19	0.44	0.49	C
A20	0.0.70	0.79	C
A21	0.23	0.60	C
A21A	0.25	0.60	C
A22	0.32	0.76	C
A23	0.46	0.73	C
A24	0.19	0.39	C
A25	0.78	0.76	C
A26	1.25	0.60	C
A27	1.56	0.32	C
A28	0.76	0.73	C
A29	0.98	0.73	C
A30	0.33	0.79	C
A31	0.55	0.76	C
A32	0.42	0.79	C
A33	0.21	0.66	C
A34	0.20	0.70	C
A35	0.28	0.76	C
A36	2.49	0.60	C
A37	5.22	0.57	C
A38	0.17	0.79	C
A39	0.27	0.76	C
A40	0.35	0.73	C
A41	1.23	0.36	C
A42	0.46	0.60	C
A43	0.33	0.73	C
A44	0.25	0.60	C
A45	0.85	0.70	C
A46	0.35	0.32	C
A46A	0.27	0.28	C
A47	0.18	0.28	C
A48	0.29	0.28	C
A48A	0.48	0.60	C
A49	0.86	0.86	C
A50	0.15	0.86	C
A51	0.81	0.30	C
A52	0.62	0.76	C
A53	0.42	0.76	C
A54	0.22	0.76	C
A55	0.10	0.76	C
B1	0.29	0.48	C
B2	0.47	0.78	C
B3	0.54	0.40	C
B4	0.57	0.62	C
B5	0.73	0.62	C
B6	0.24	0.39	C
B10	0.17	0.78	C
B11	0.40	0.79	C
B12	0.25	0.79	C
B13	0.25	0.79	C
B14	0.42	0.79	C
B15	0.36	0.79	C
B16	0.52	0.79	C
B17	0.51	0.79	C

WASHINGTON BLVD (US RTE #1)

**PLAN**  
SCALE: 1"=100'

- LEGEND:**
- (A11) AREA NUMBER
  - - - - - EXISTING CONTOURS
  - ..... ZONING DIVIDE
  - - - - - DRAINAGE AREAS
  - \_\_\_\_\_ PROPERTY LINES

**OWNER**  
PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810  
PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

**DEVELOPER**  
BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION J3	7/27/09 DATE
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	8/1/09 DATE
<i>[Signature]</i> DIRECTOR	8/1/09 DATE



DRAWN: J.M.  
DATE: JUNE 15, 2007  
06/10/7

DATE	REVISION
9/19/07	PER APPROVED REVISIONS
3/25/11	Remove Traffic Circle

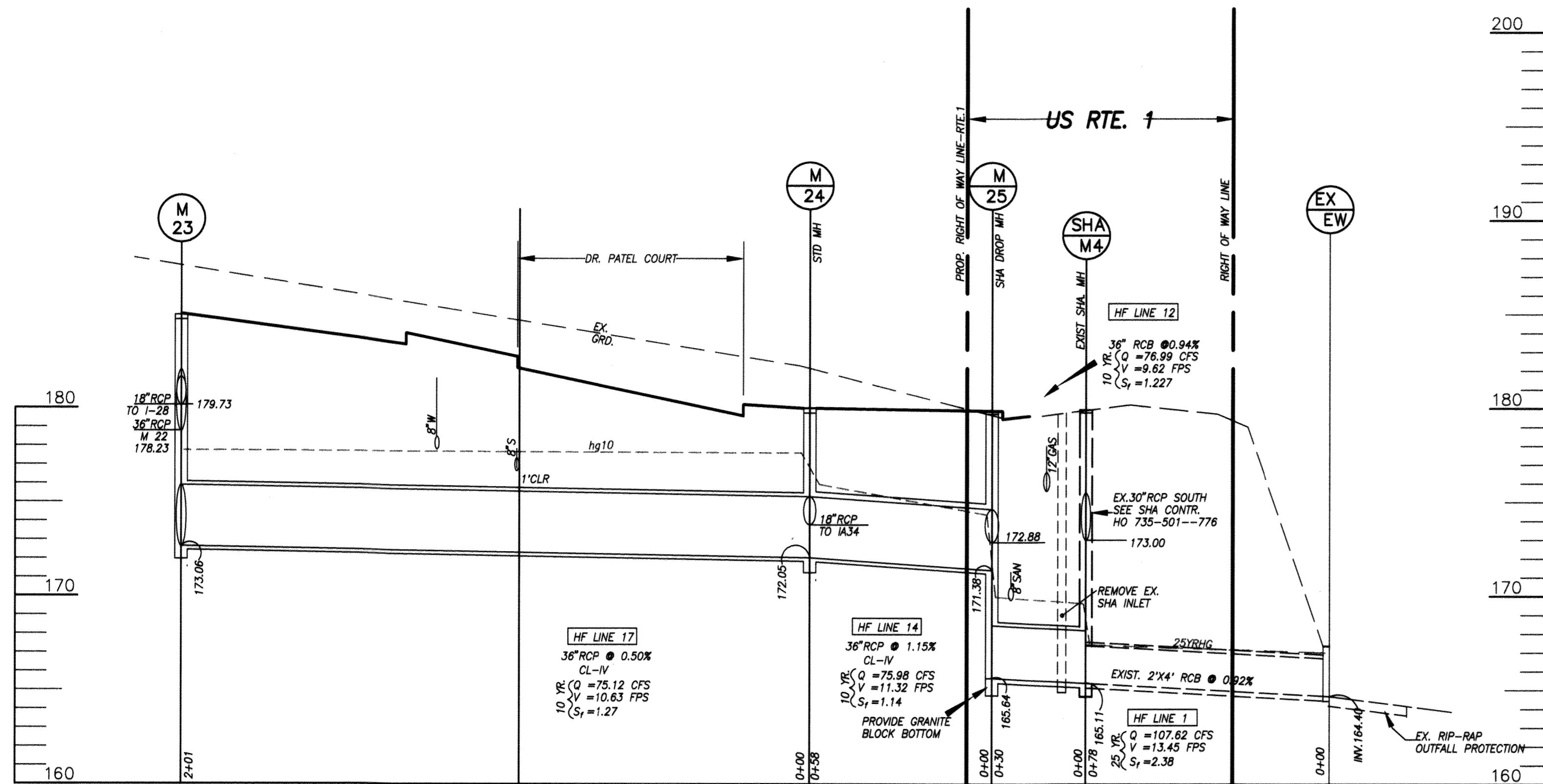
**ELKRIDGE - CROSSING - PHASE ONE**  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**DRAINAGE AREA MAP**

JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Chensod Avenue, Baltimore, Maryland, 21234  
Phone: 410-861-8752 Fax: 410-861-8752  
RICHARDSON ENGINEERING, LLC  
730 W. Piedmont Road, Suite 101, Cockeysville, Maryland, 21030  
Phone: 410-860-1502 Fax: 410-560-0827

SHEET  
25 OF 57

Rev./Replacement Sht.

SDP-04-017



SHA STRUCTURE SCHEDULE - US RTE.1

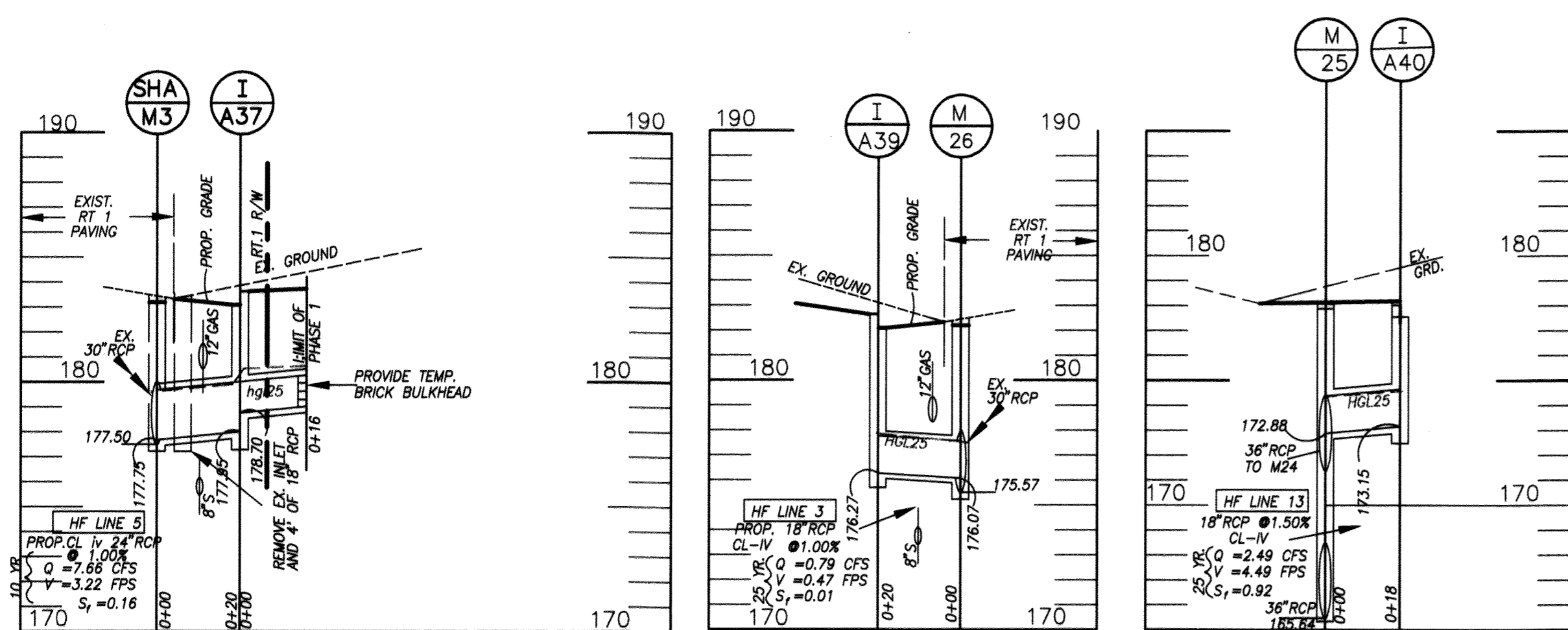
NO.	TYPE	DETAIL	RIM	INV. IN	INV. OUT	COORDINATES		
						NORTHING	EASTING	
M25	5' DIA. MANHOLE	MD-384.03	177.85	18"-172.88	36"-171.38	30"-165.54	562159.80	1390574.15
M26	5' DIA. MANHOLE	MD-384.03	180.43	18"-176.07	30"-175.57*	30"-175.57*	OVER EXIST. 30" RCP	
M40	5' DIA. MANHOLE	MD-384.03	174.45	18"-168.58	30"-167.58	30"-167.38	562241.60	1,90748.38

\* EXIST. 30" RCP

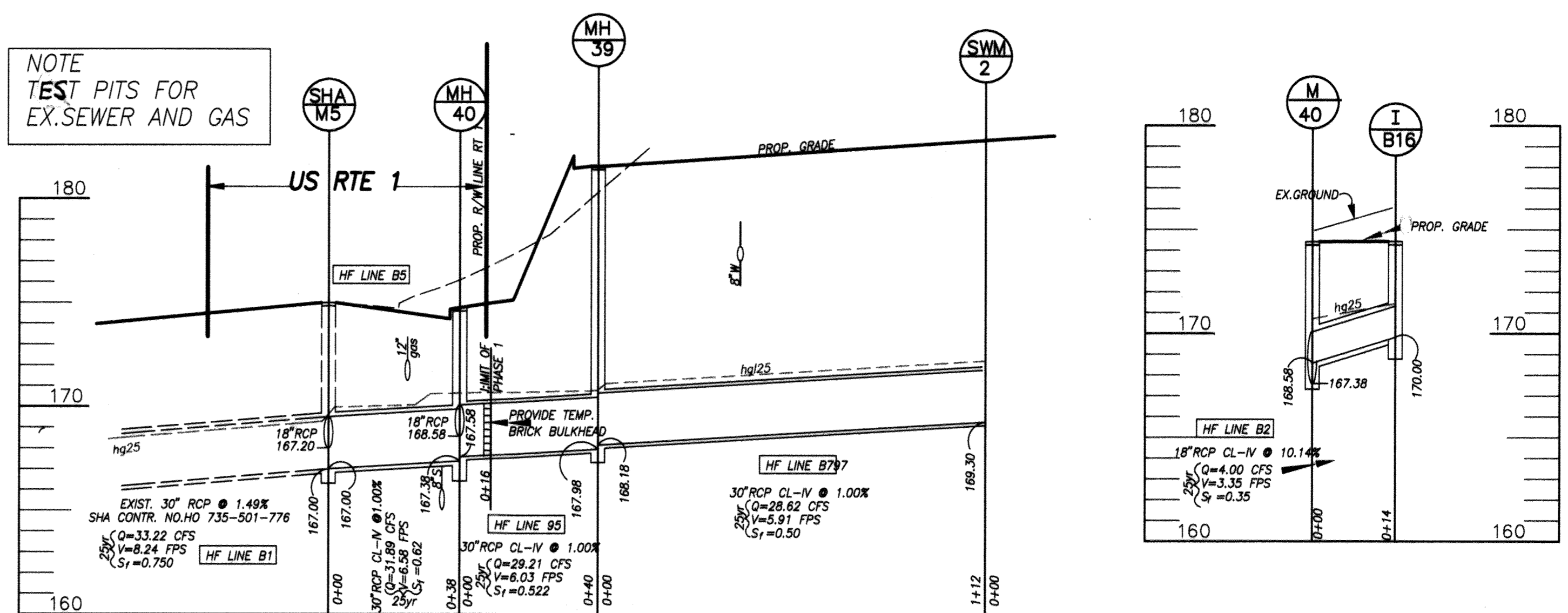
SHA INLET SCHEDULE - US RTE.1

NO.	TYPE	DETAIL	T.C. ELEV. UPPER/LOWER	INV. IN	INV. OUT	COORDINATES	
						NORTHING	EASTING
IA-37	COG-20	MD-374.31	TC-182.55 / 182.00	15"-178.70	24"-177.95	561959.14	1390387.77
IA-39	COG-15	MD-374.31	TC-180.51 / 180.24	---	18"-176.27	562045.34	1390470.30
IA-40	COG-15	MD-374.31	TC-177.86 / 177.56	---	18"-173.15	562169.19	1390588.86
IB-16	COG-15	MD-374.31	TC-174.28 / 13.96	---	18"-170.00	562354.47	139766.23

NOTE: COORDINATES SHOWN ARE AT FACE OF CURB



NOTE  
TEST PITS FOR  
EX. SEWER AND GAS



PROFILES

SCALE: HOR: 1"=30'  
VERT.: 1"=5'

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 9/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 [Signature] 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 [Signature] 9/10/06  
 DIRECTOR DATE

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

NOTE:  
PROVIDE 95%  
FULL TRENCH COMPACTION

BENCH MARKS

HOWARD COUNTY MON. #38A9  
 ELEV. 223.417  
 BRASS DISC ON CONC. MONUMENT  
 IN GRASS PLOT ON SE SIDE OF  
 US RTE 1 AND MONTGOMERY RD.

HOWARD COUNTY MON. #38BA  
 ELEV. 166.939  
 BRASS DISC ON CONC. MONUMENT  
 ON WEST SIDE OF RTE.1 APPROX.  
 100' N OF BONNIE VIEW LA.



DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: AS SHOWN

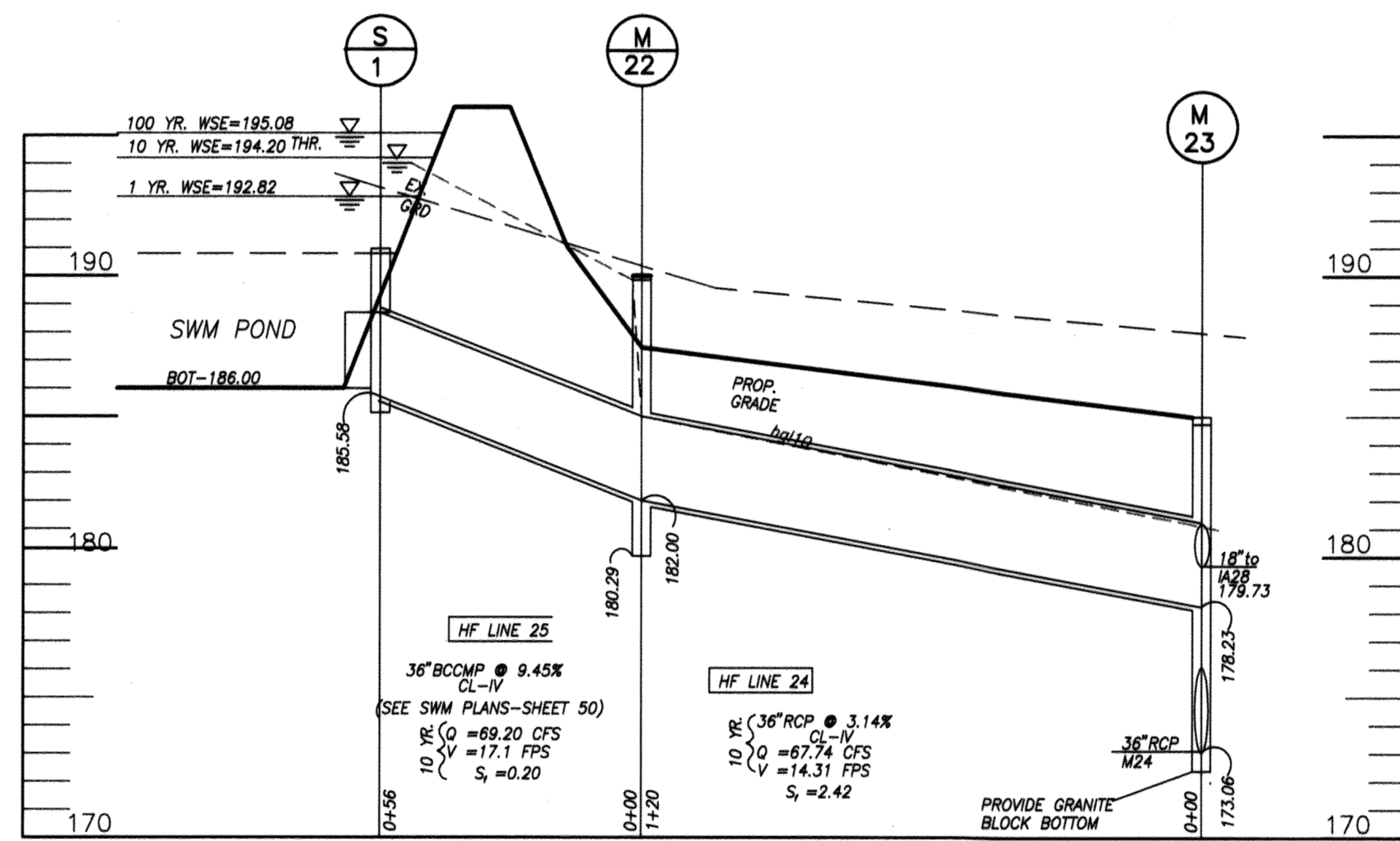
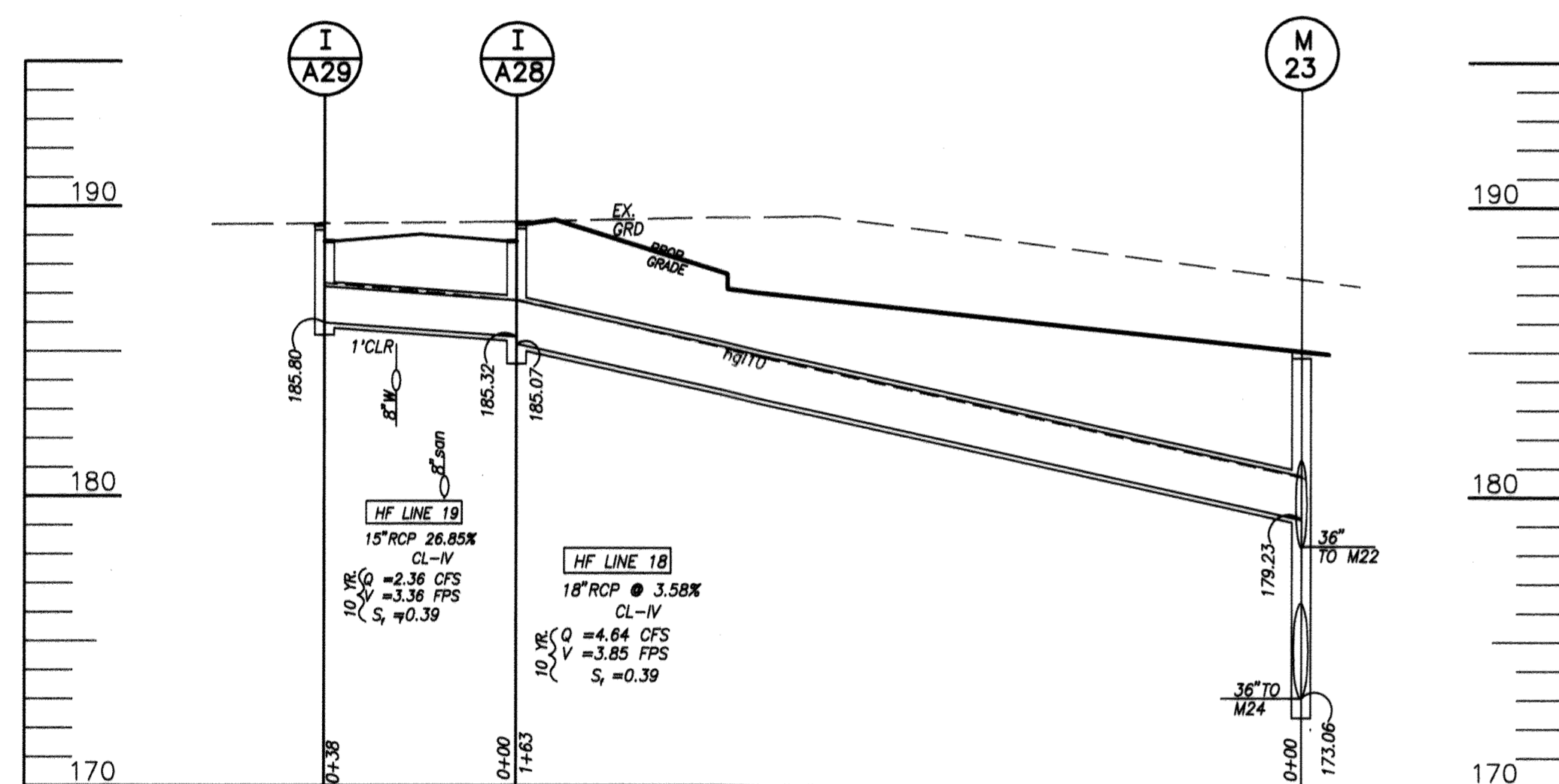
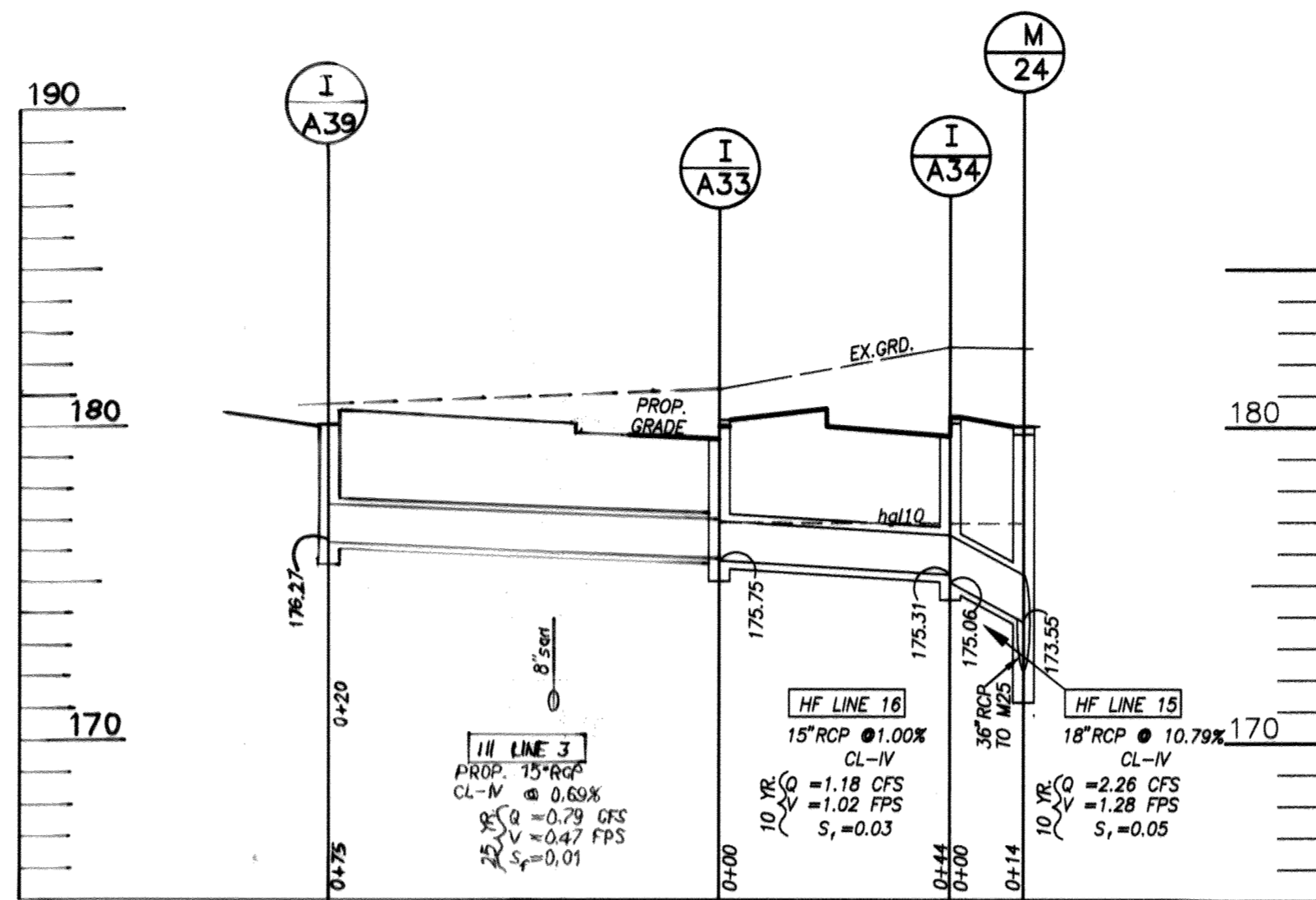
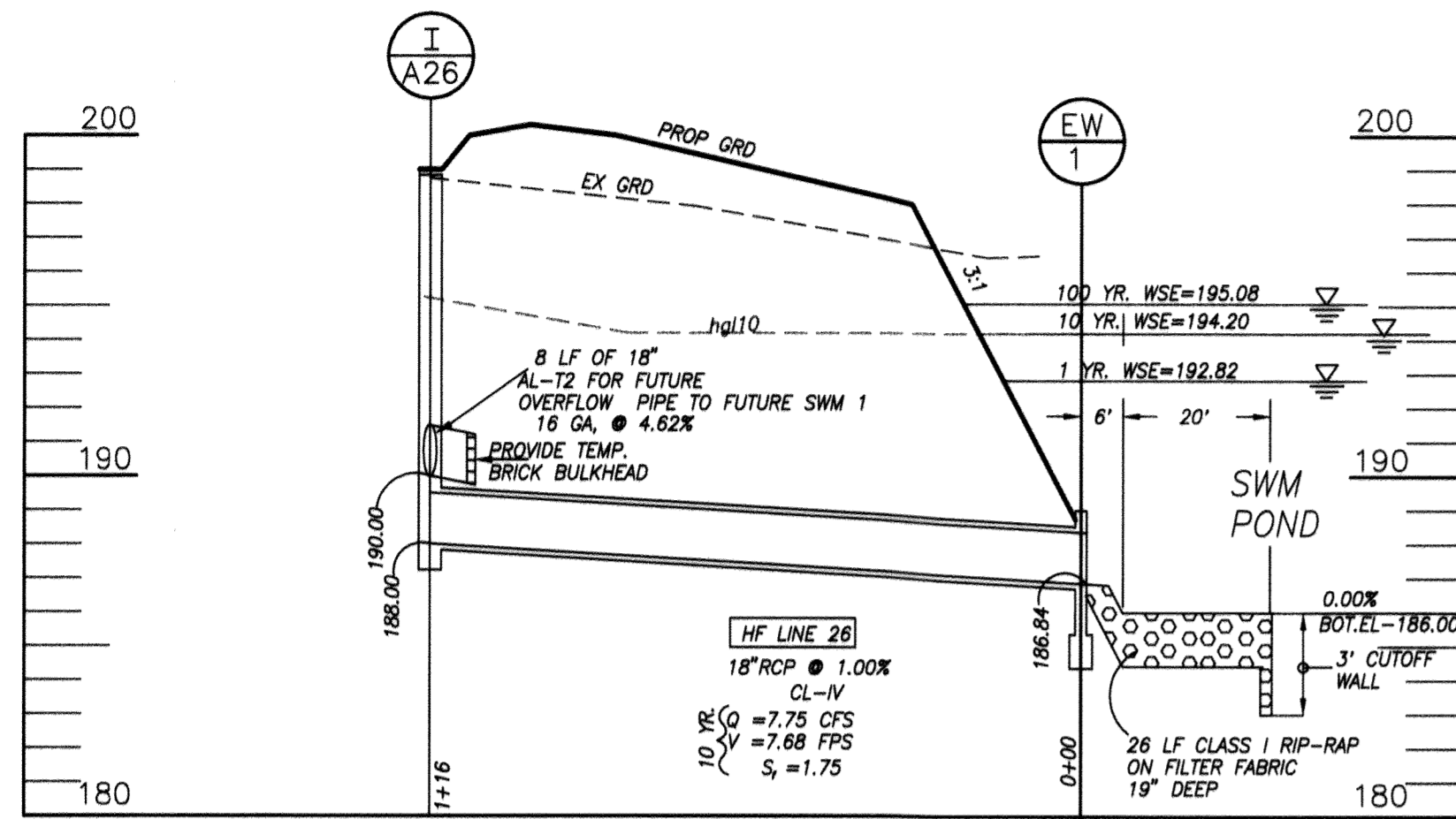
DATE: 3/15/07  
 DRAWN: J.M.  
 CHECKED: J.M.

ELKRIDGE - CROSSING - PHASE ONE  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 STORM DRAIN PROFILES - 1

JURI MAISTE - SITE DESIGN CONSULTANT  
 2823 Chesapeake Avenue, Baltimore, Maryland 21284  
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 RICHARDSON ENGINEERING, LLC  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
26 OF 57

SPP-04-017



**PROFILES**

SCALE: HOR: 1"=30'  
VERT.: 1"=5'

**NOTE:**

PROVIDE 95%  
FULL TRENCH COMPACTION

**BENCH MARKS**

HOWARD COUNTY MON. #38A9  
ELEV. 223.417  
BRASS DISK ON CONC. MONUMENT  
IN GRASS PLOT ON SE SIDE OF  
US RTE 1 AND MONTGOMERY RD.  
HOWARD COUNTY MON. #38BA  
ELEV. 166.939  
BRASS DISC ON CONC. MONUMENT  
ON WEST SIDE OF RTE.1 APPROX.  
100' N OF BONNIE VIEW LA.

**OWNER**

PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810  
PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

**DEVELOPER**

BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 6/6/06
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	DATE: 7/14/06
<i>[Signature]</i> DIRECTOR	DATE: 7/10/06



DRAWN: J.M.  
DATE: JUNE 21, 2006  
SCALE: AS SHOWN

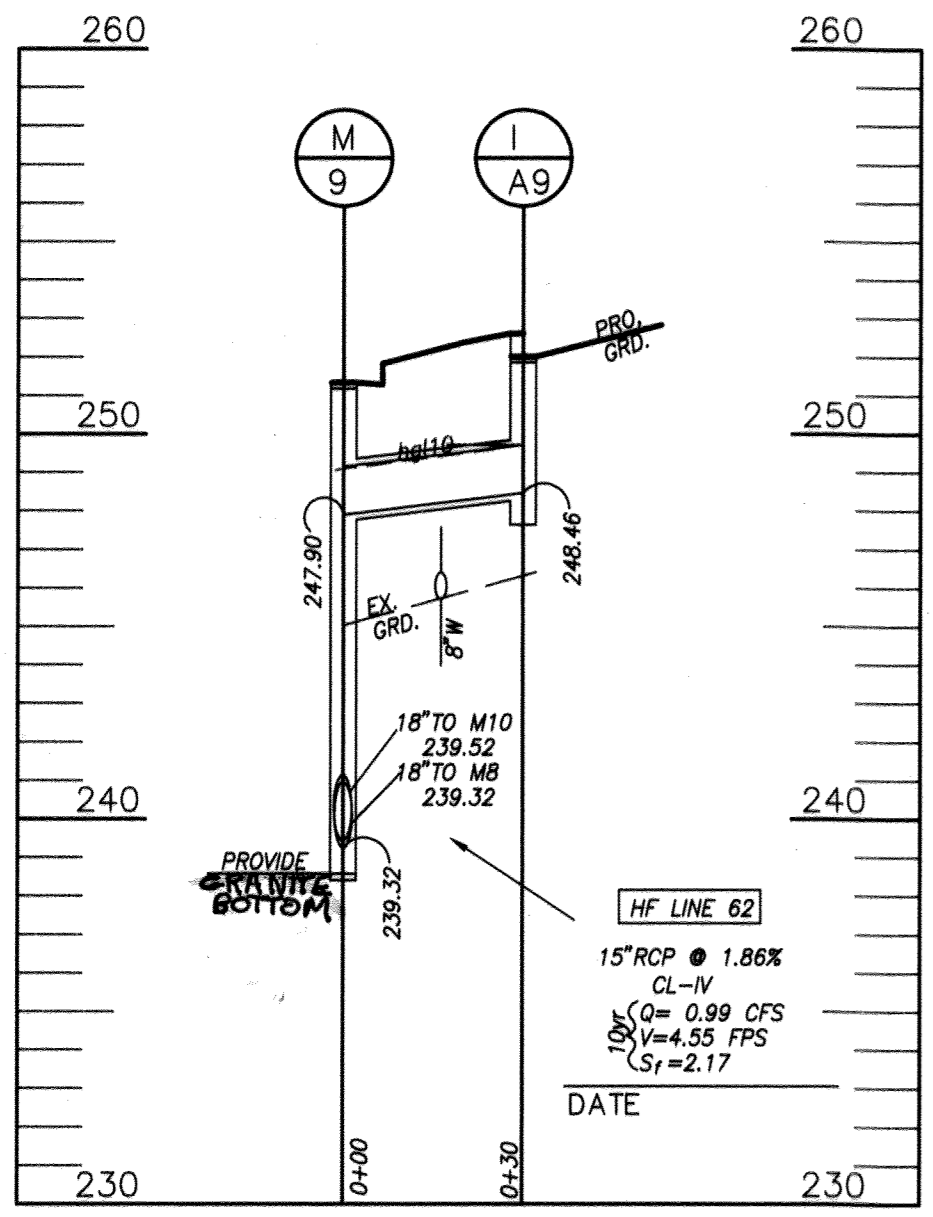
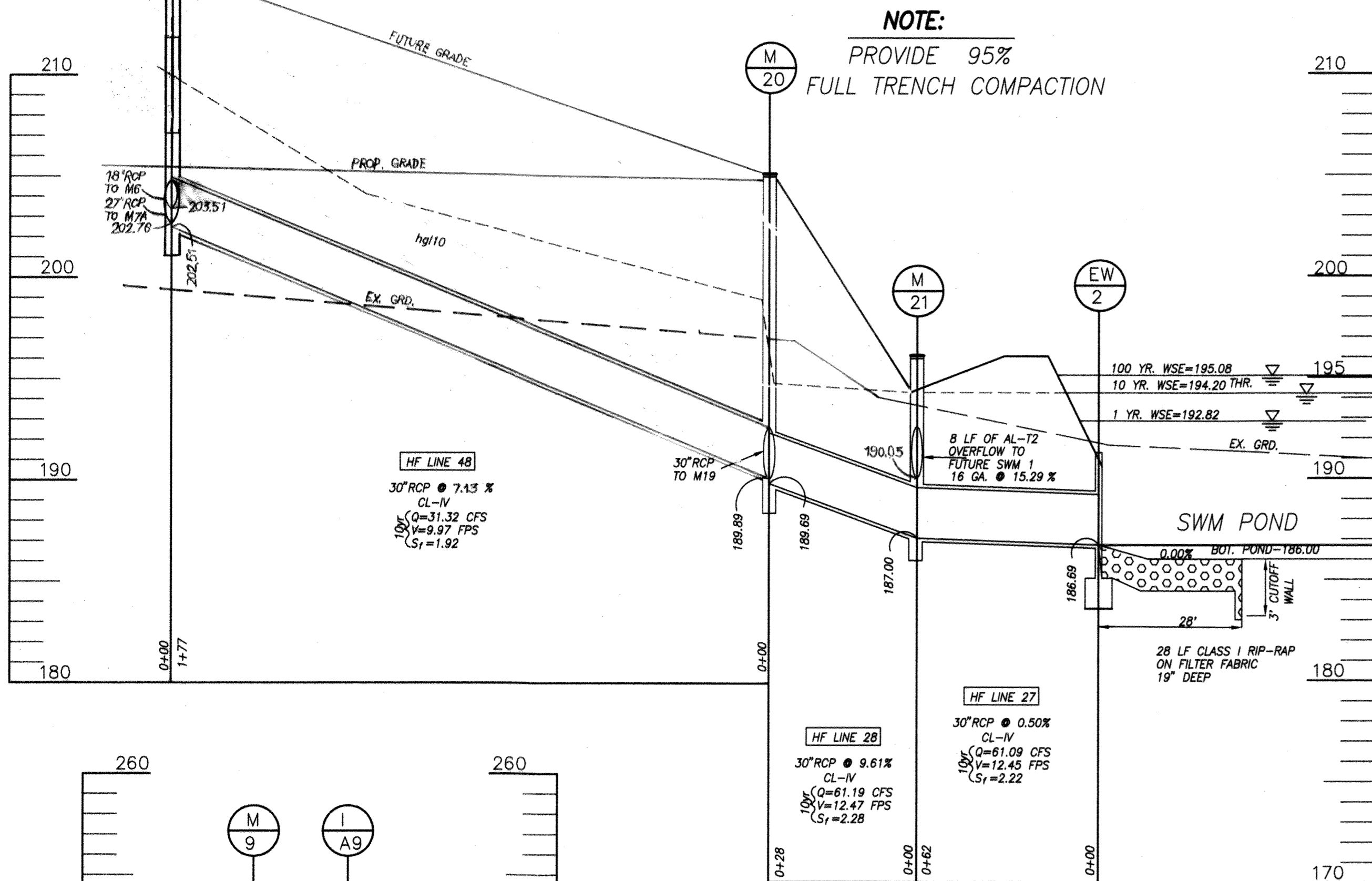
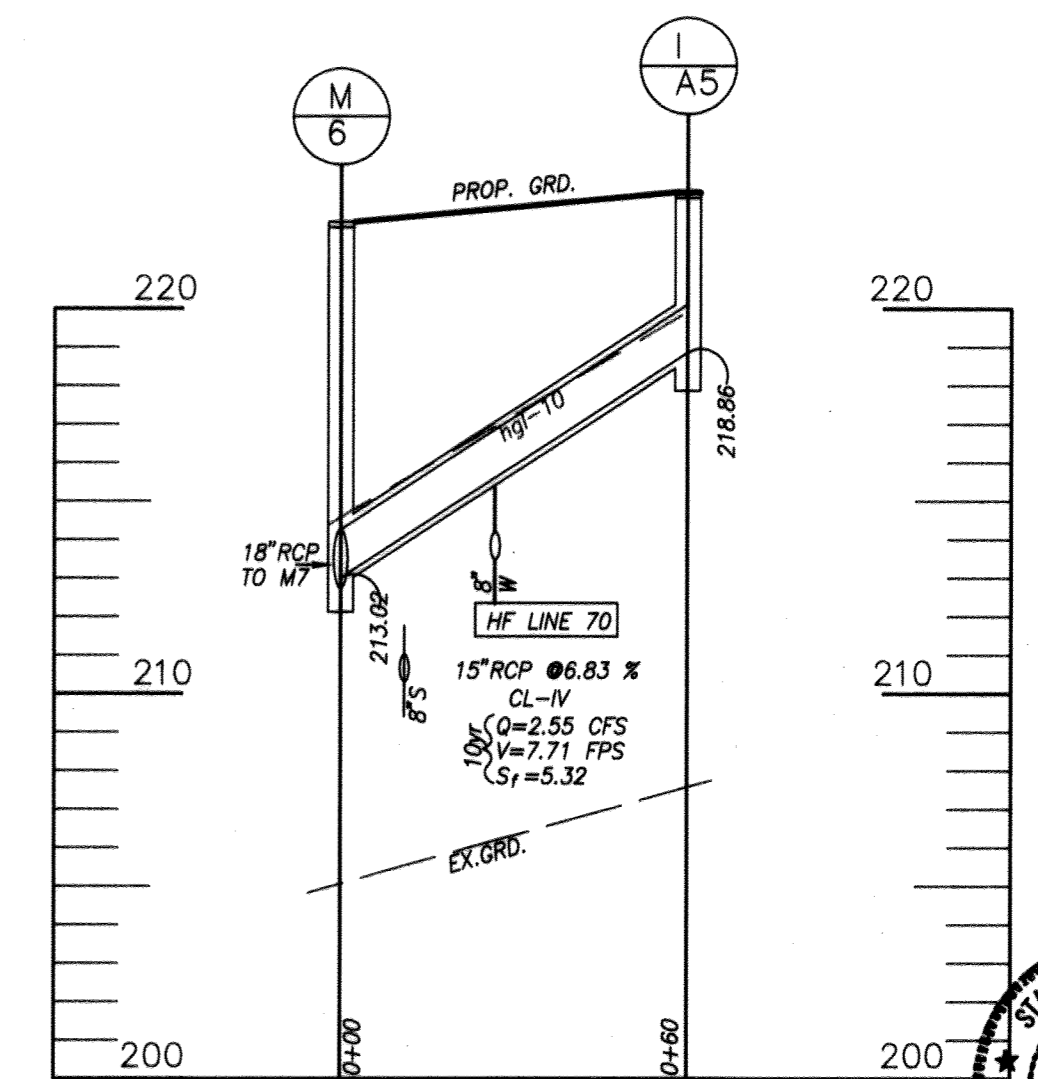
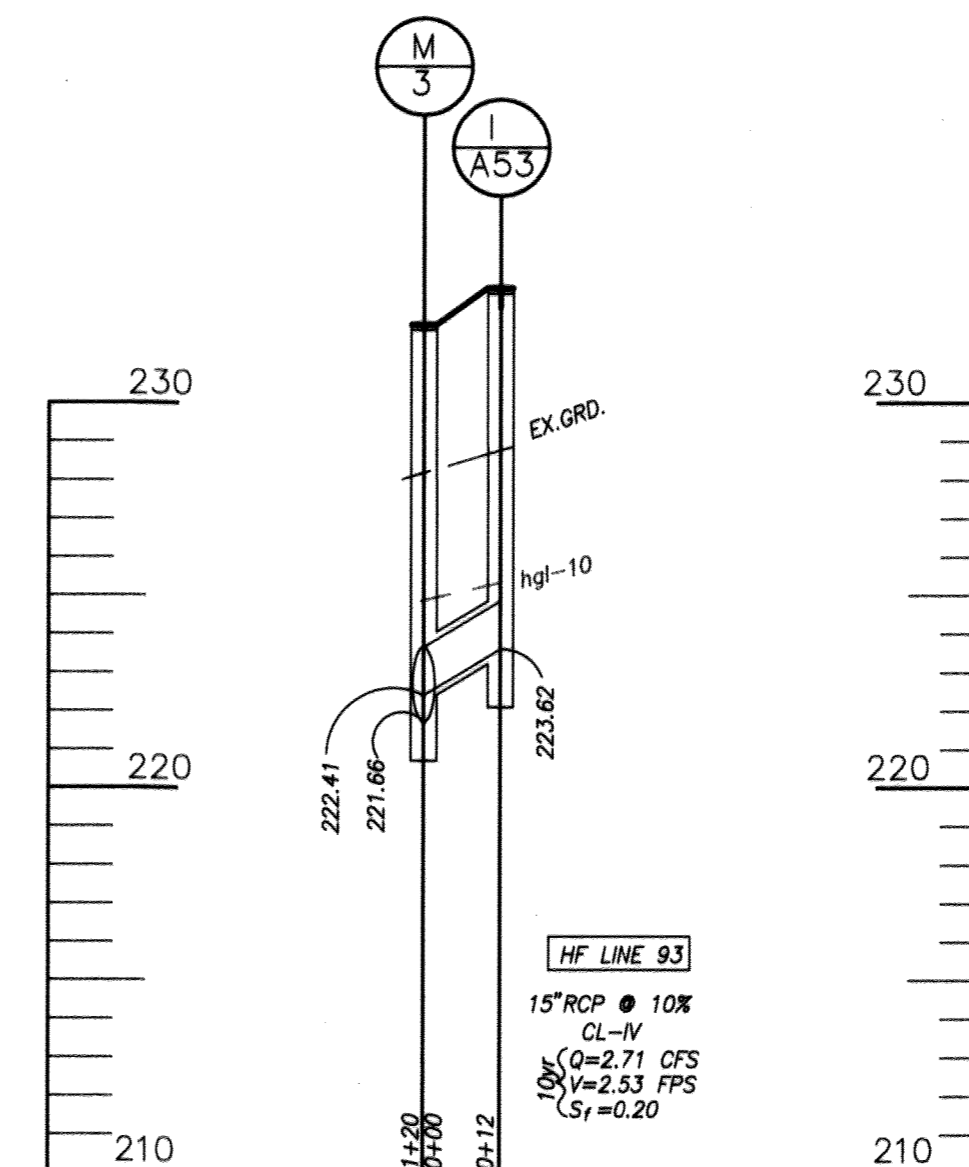
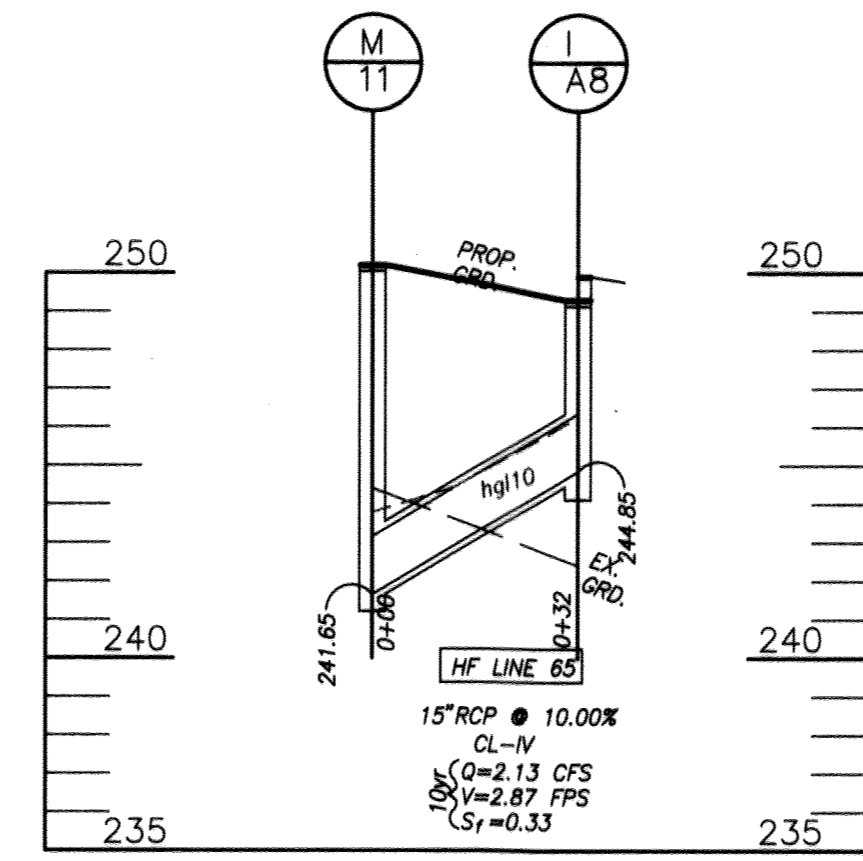
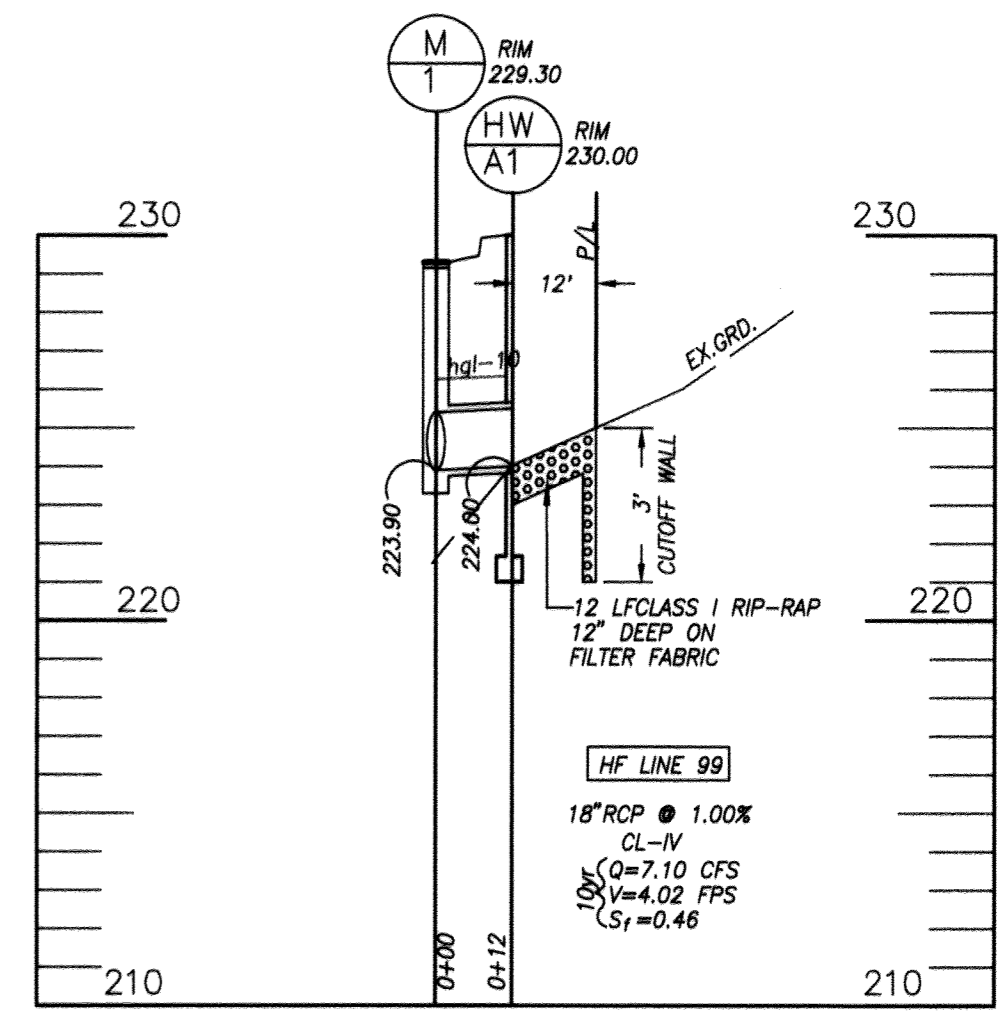
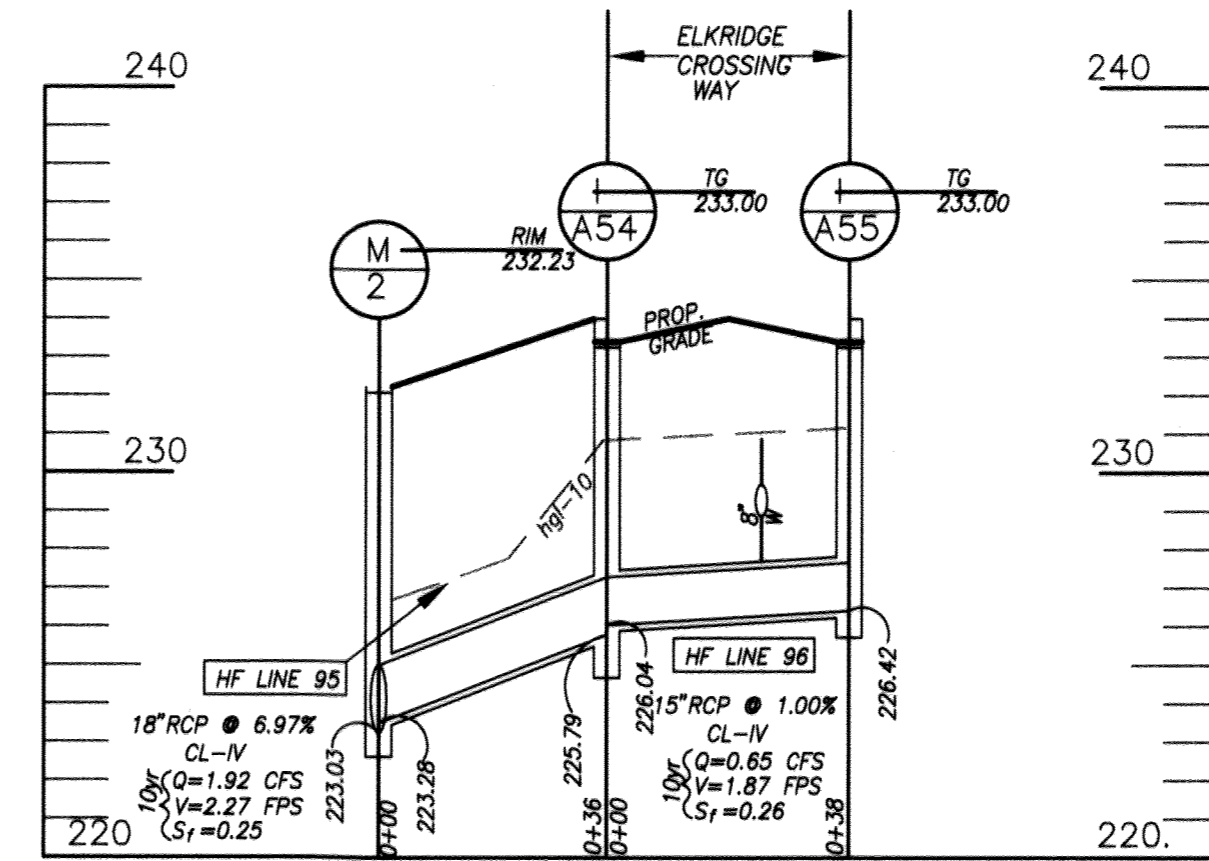
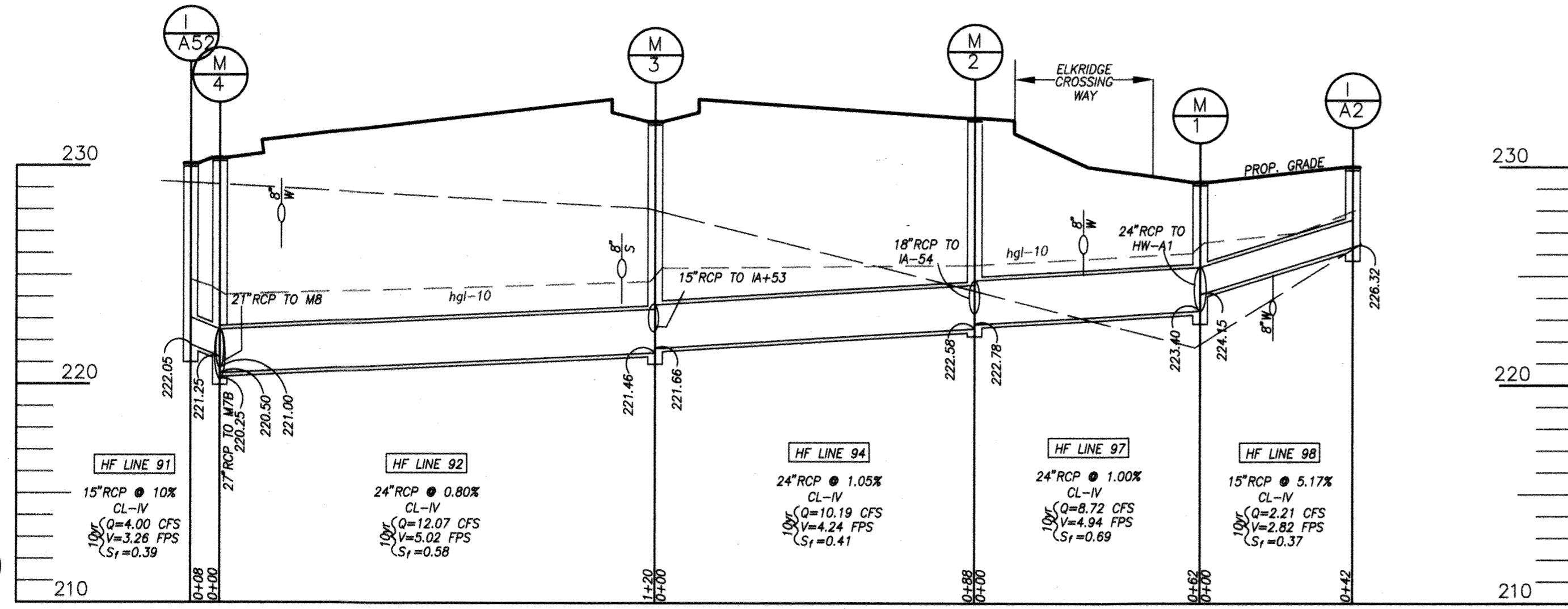
REVISION  
DATE  
BY  
3/25/07  
ADD SHEET 57

**ELKRIDGE - CROSSING - PHASE ONE**  
PARCELS 4-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**STORM DRAIN PROFILES - 2**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
2823 Cheapeake Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
27 OF 57

SDP-04-017



**PROFILES**  
 SCALE: HOR: 1"=30'  
 VERT.: 1"=5'

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**PARCEL 38 - MEHTA CHARALUTA TRUST**  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/6/06
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	9/14/06
<i>[Signature]</i> DIRECTOR	9/14/06



DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 AS SHOWN

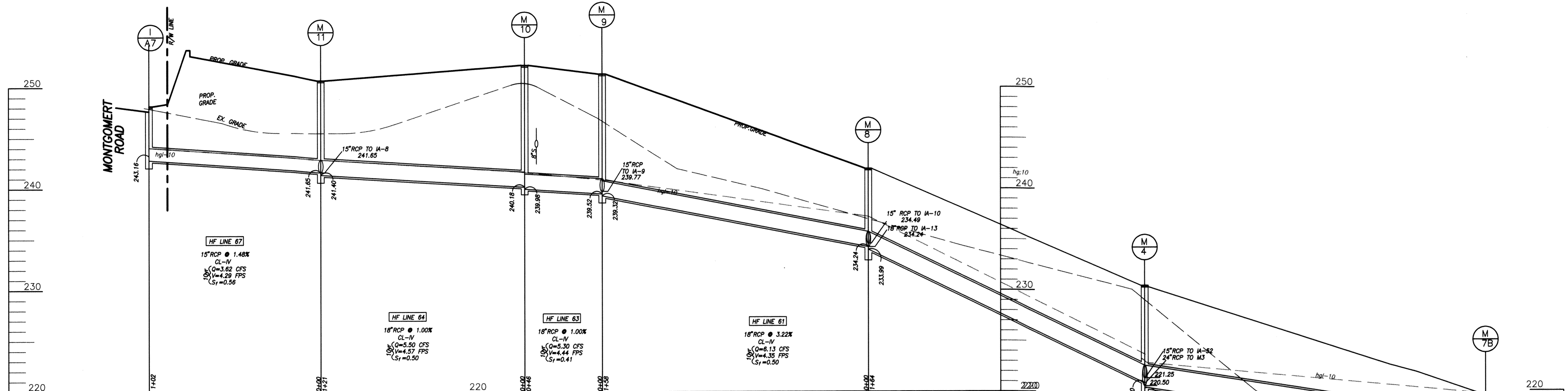
NO.	DATE	BY	REVISION
1	1/1/07	J.M.	ADD SHEET 57

**ELKRIDGE - CROSSING - PHASE ONE**  
**PARCELS 4-E**  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

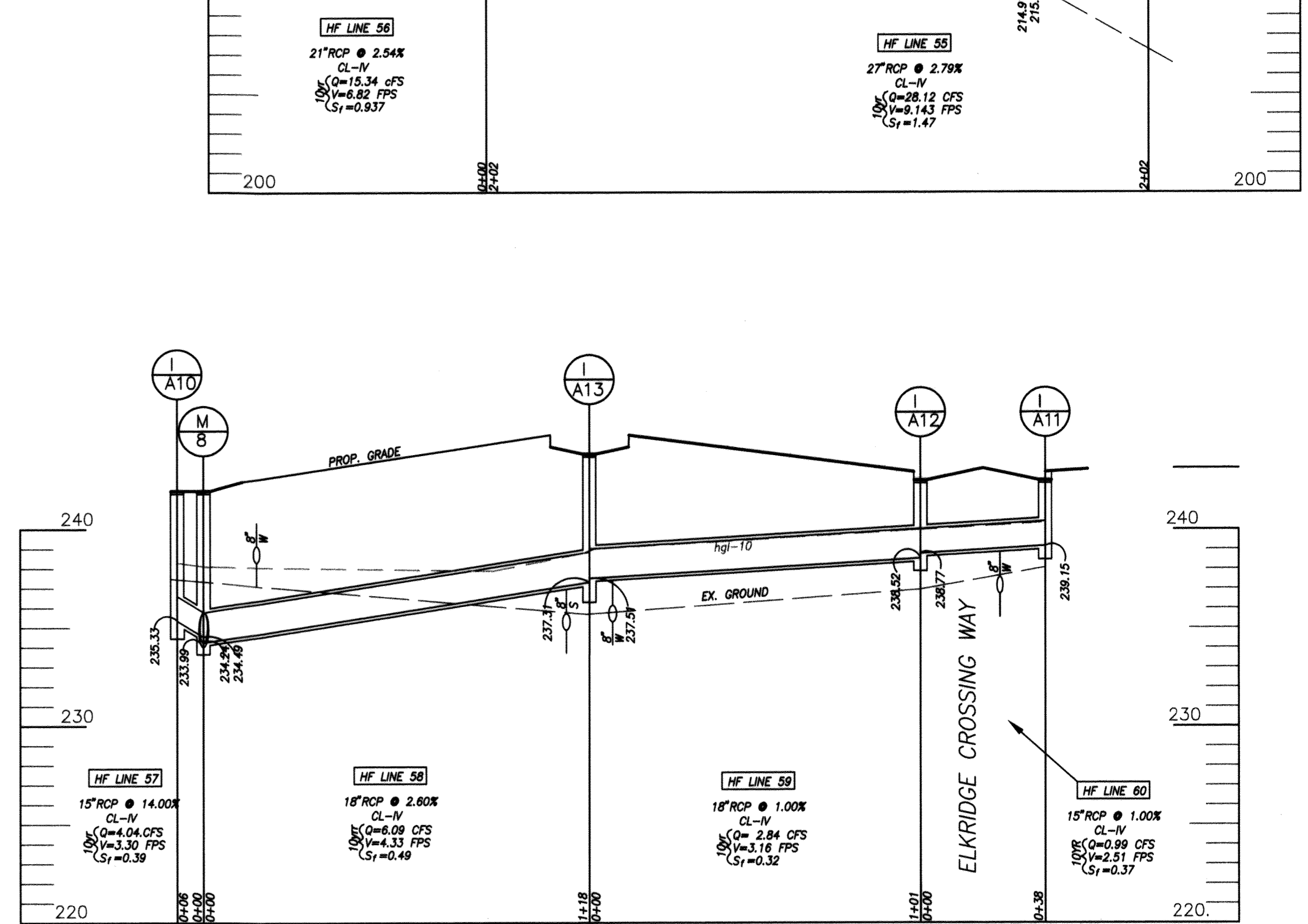
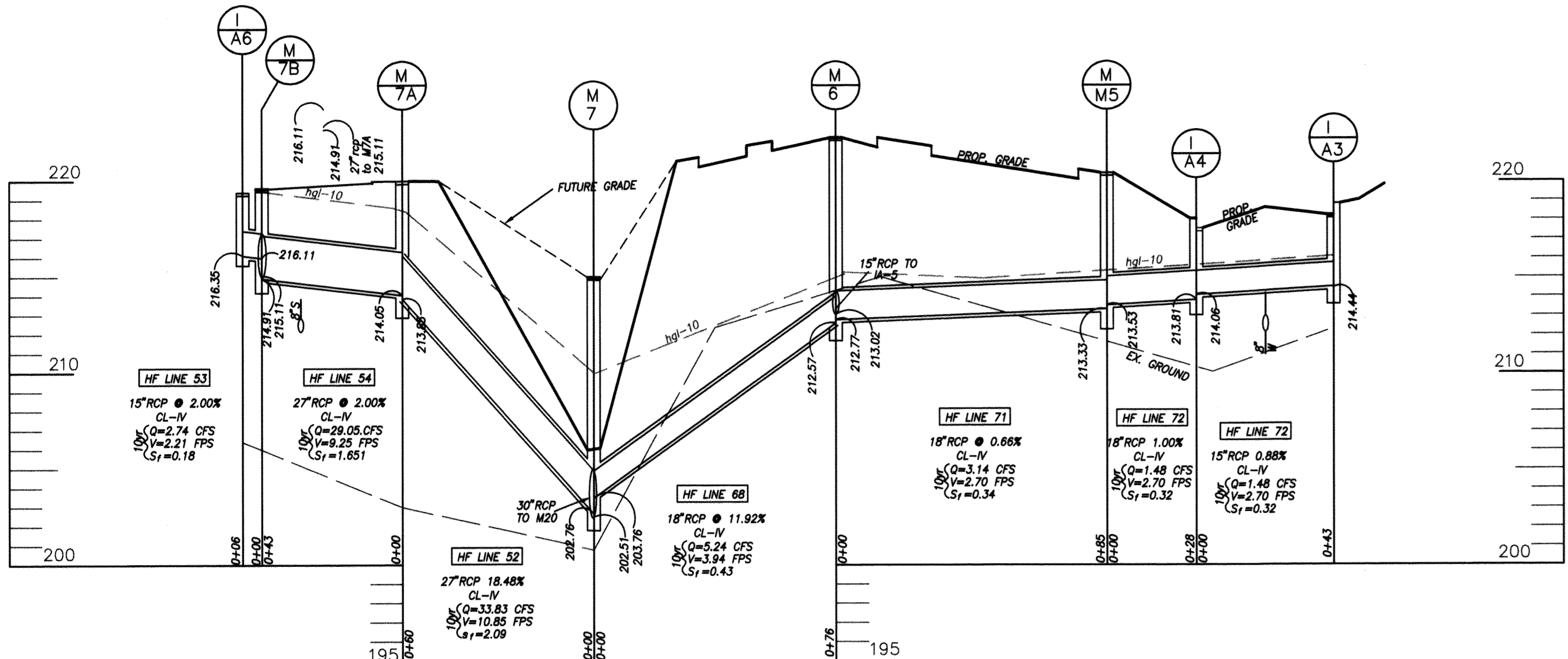
**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Cheoak Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
 28 OF 57



**NOTE:**  
 PROVIDE 95%  
 FULL TRENCH COMPACTION



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 7/27/07  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 3A. DATE  
 [Signature] 8/1/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 [Signature] 7/2/07  
 DIRECTOR DATE

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961  
**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**PROFILES**  
 SCALE: HOR: 1"=30'  
 VERT.: 1"=5'

STATE OF MARYLAND  
 PROFESSIONAL LAND SURVEYOR  
 [Signature]  
 Rev./Replacement sht.

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 06107  
 SCALE: 1"=30'

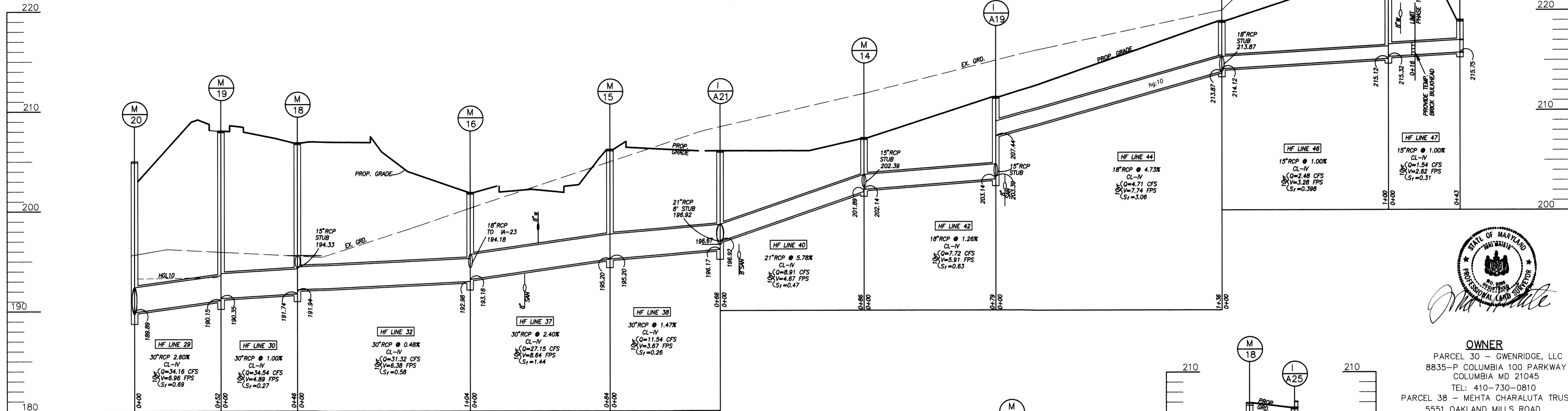
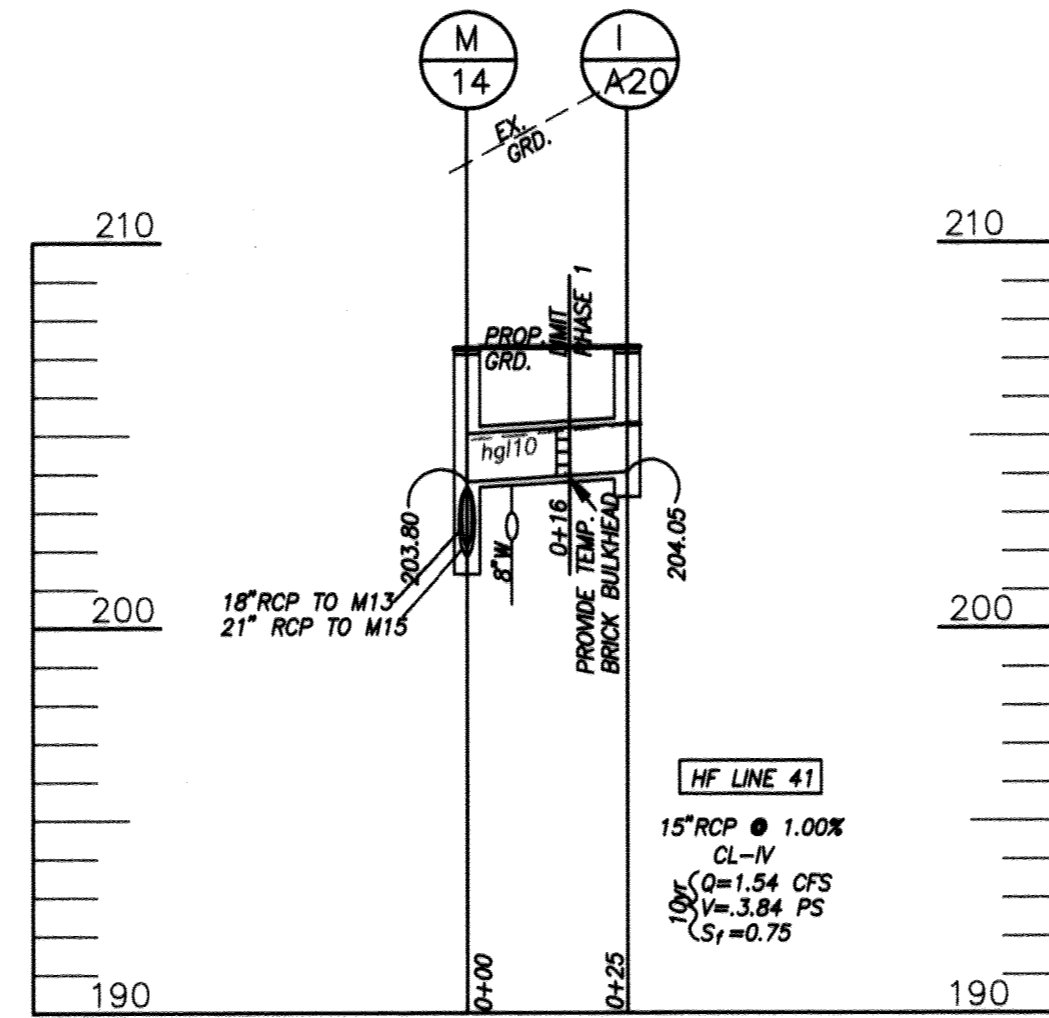
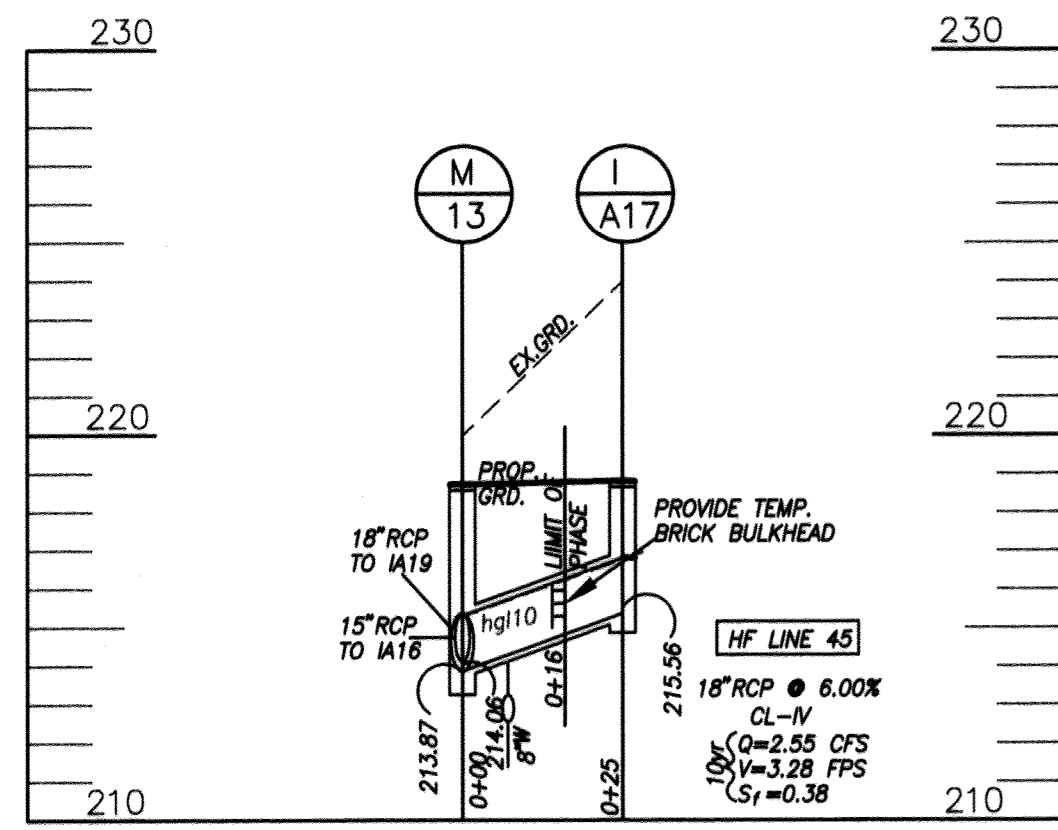
DATE	REVISION	BY	APP'D
6/15/07	RCP PROFILE M-7 TO M-8 TO M-9 TO M-10	JM	JM
	M-11 TO M-12 TO M-13	JM	JM
	M-14 TO M-15	JM	JM
3/25/07	ADD SHEET 57	JM	JM

**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**STORM DRAIN PROFILES - 4**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Cherokeek Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Palmdale Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
 29 OF 57

SDP-04-017



**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

**BENCH MARKS**  
 HOWARD COUNTY MON. #38A9  
 ELEV. 223.417  
 BRASS DISK ON CONC. MONUMENT  
 IN GRASS PLOT ON SE SIDE OF  
 US RTE 1 AND MONTGOMERY RD.

HOWARD COUNTY MON. #38BA  
 ELEV. 166.939  
 BRASS DISC ON CONC. MONUMENT  
 ON WEST SIDE OF RTE.1 APPROX.  
 100' N OF BONNIE VIEW LA.

**PROFILES**

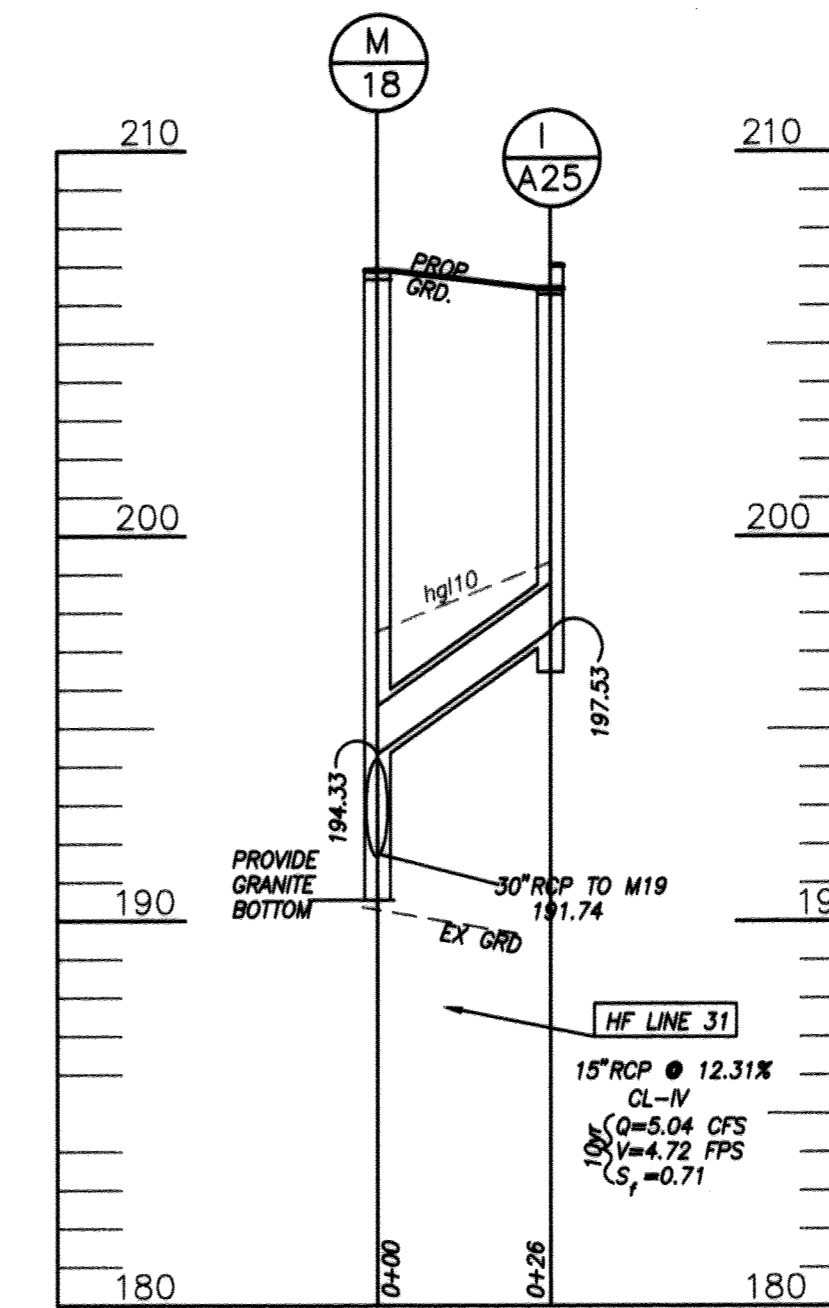
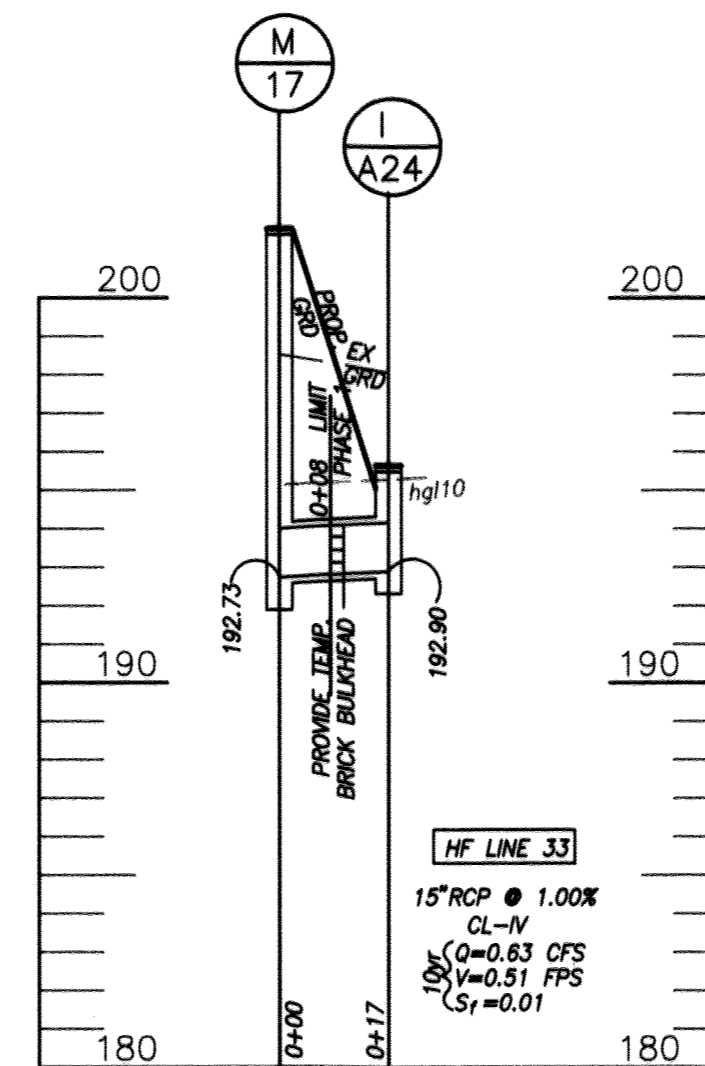
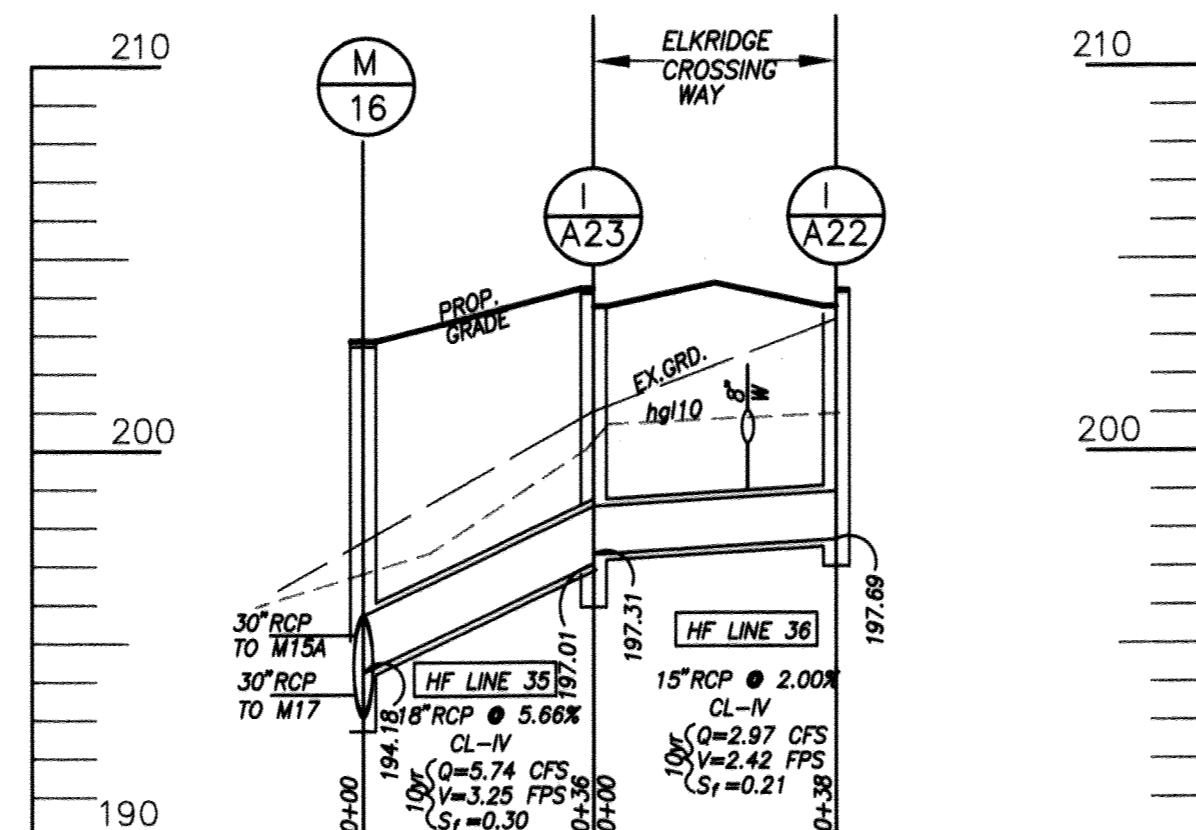
SCALE: HOR: 1"=30'  
 VERT.: 1"=5'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 7/1/07  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION J-E DATE

*[Signature]* 5/11/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 2/2/07  
 DIRECTOR DATE



DRAWN: J.M.  
 DATE: JUNE 27, 2006  
 OF 107  
 SCALE: 1"=30'

BY: J.M.  
 REVISION: M15-160  
 3/29/07 Add Sheet 57

**ELKRIDGE - CROSSING - PHASE ONE**  
**PARCELS A-E**  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**STORM DRAIN PROFILES - 5**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chenoweth Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET 30 OF 57

Rev./Replacement Sht.

SDP-04-017

**BENCH MARKS**

HOWARD COUNTY MON. #38A9  
ELEV. 223.417  
BRASS DISK ON CONC. MONUMENT  
IN GRASS PLOT ON SE SIDE OF  
US RTE 1 AND MONTGOMERY RD.  
HOWARD COUNTY MON. #38BA  
ELEV. 166.939  
BRASS DISC ON CONC. MONUMENT  
ON WEST SIDE OF RTE.1 APPROX.  
100' N OF BONNIE VIEW LA.

**OWNER**

PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810  
PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

**DEVELOPER**

BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

**STRUCTURE SCHEDULE - PHASE 1**

NO.	TYPE	RIM /TOP	INV. IN			INV. OUT	H.C. DETAIL
			1	2	3		
S-1	CONTROL STR.	192.70	185.58	-----	-----	36"-185.58	
HW-A1	A HEADWALL	230.00	224.00	-----	-----	18"-224.00	SD 5.22
EW-1	C ENDWALL	193.33	186.84	-----	-----	186.84	SD 5.21
EW-2	C ENDWALL	190.60	186.69	-----	-----	186.69	SD 5.21
M1	SHALLOW MH	229.12	15"-224.15	24"-223.40	-----	24"-223.40	G 5.12
M2	STD. MH	232.07	18"-223.28	24"-222.78	-----	24"-222.58	G 5.12
M3	STD. MH	232.43	24"-221.66	15"-222.41	-----	24"-221.46	G 5.12
M4	STD. MH	230.44	15"-221.25	21"-220.75	24"-220.50	27"-220.25	G 5.12
M5	STD. MH	221.00	18"-213.53	-----	-----	18"-213.33	G 5.12
M6	STD. MH	221.83	15"-213.02	18"-212.77	-----	18"-212.57	G 5.12
M7	STD. MH	216.00	18"-210.45	27"-209.68	-----	30"-200.68	G 5.13
M7A	STD. MH	220.00	27"-214.05	-----	-----	27"-213.85	G 5.13
M7B	STD. MH	219.40	15"-216.11	27"-215.11	-----	27"-214.91	G 5.13
M8	STD. MH	241.78	15"-234.49	18"-234.24	18"-234.24	21"-233.99	G 5.12
M9	STD. MH	251.00	15"-247.90	18"-239.52	-----	18"-239.32	G 5.12
M10	STD. MH	252.24	18"-240.18	-----	-----	18"-239.98	G 5.12
M11	STD. MH	250.58	15"-241.65	15"-241.65	-----	18"-241.40	G 5.12
M13	STD. MH	220.64	18"-213.87	15"-214.42	-----	18"-213.87	G 5.12
M14	STD. MH	209.35	18"-202.14	15"-203.80	-----	21"-201.89	G 5.12
M15	STD. MH	205.50	30"-195.20	-----	-----	30"-195.20	G 5.12
M16	STD. MH	203.00	18"-194.15	30"-193.35	-----	30"-193.15	G 5.13
M17	STD. MH	201.60	30"-191.48	-----	-----	30"-191.28	G 5.13
M18	STD. MH	195.00	30"-189.68	-----	-----	30"-189.48	G 5.13
M19	STD. MH	194.80	188.64	-----	-----	188.64	G 5.13
M20	STD. MH	196.80	30"-188.06	30"-188.06	-----	30"-187.86	G 5.13
M21	STD. MH	193.75	187.20	-----	-----	30"-187.00	G 5.13
M22	STD. MH	187.33	36"-182.00	-----	-----	36"-182.00	G 5.13
M23	STD. MH	184.70	36"-178.23	18"-179.73	-----	36"-173.06	G 5.13
M24	STD. MH	181.50	36"-172.05	18"-173.55	-----	36"-172.05	G 5.13

FUTURE 30" INV. OUT 190.05

**SHA STRUCTURE SCHEDULE - US RTE.1**

NO.	TYPE	DETAIL	RIM	INV. IN	INV. OUT	COORDINATES	
						NORTHING	EASTING
M25	5' DIA. MANHOLE	MD-384.03	177.85	18"-172.88	36"-171.38	30"-165.54	562159.60 1390574.15
M26	5' DIA. MANHOLE	MD-384.03	180.43	18"-176.07	30"-175.57*	30"-175.57*	562241.60 1390748.38
M40	5' DIA. MANHOLE	MD-384.03	174.45	18"-168.58	30"-167.58	30"-167.38	562241.60 1390748.38

\* EXIST. 30" RCP

**INLET SCHEDULE - PHASE 1**

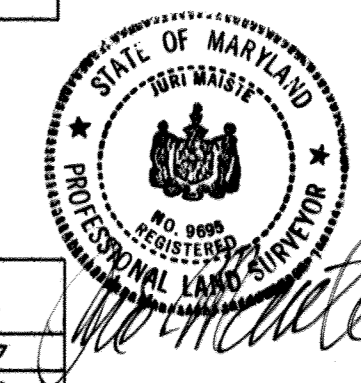
NO.	TYPE	H.C. DETAIL	TOP ELEV. UPPER/LOWER	INV. IN		INV. OUT	REMARKS	NO.
				1	2			
IA-2	A-5	SD 4.40	TC 230.03 / 229.81	-----	-----	15"-226.32		IA-2
IA-3	A-5	SD 4.40	TC 218.96 / 218.66	-----	-----	15"-214.44		IA-3
IA-4	A-5	SD 4.40	TC 218.20 / 217.89	15"-214.06	-----	18"-213.81		IA-4
IA-5	S	SD 4.23	TG 223.09	-----	-----	15"-218.86		IA-5
IA-6	S	SD 4.23	TG 219.40	-----	-----	15"-216.35	SUMP	IA-6
IA-7	A-5	SD 4.40	TC 248.06 / 247.82	-----	-----	15"-243.16		IA-7
IA-8	A-5	SD 4.40	TC 250.28	-----	-----	15"-244.85	SUMP	IA-8
IA-9	A-5	SD 4.40	TC 252.46	-----	-----	15"-248.46	SUMP	IA-9
IA-10	S	SD 4.23	TG 241.74	-----	-----	15"-235.33		IA-10
IA-11	A-5	SD 4.40	TC 243.13 / 242.71	-----	-----	15"-239.15	USE HC SD-4.83 DEFLECTORS	IA-11
IA-12	A-5	SD 4.40	TC 243.13 / 242.71	15"-238.77	-----	18"-238.52	USE HC SD-4.83 DEFLECTORS	IA-12
IA-13	S	SD 4.23	TG 243.96	18"-237.51	-----	18"-237.31		IA-13
IA-16	S	SD 4.23	TG 227.29	15"-215.32	-----	15"-215.12		IA-16
IA-19	S	SD 4.23	TG 212.10	18"-207.44	15"-203.39	18"-203.14		IA-19
IA-21	S	SD 4.23	TG 206.20	21"-196.92	24"-196.67	30"-196.17	SUMP	IA-21
IA-22	A-10	SD 4.02	TC 204.60 / 204.15	-----	-----	15"-197.69		IA-22
IA-23	A-10	SD 4.02	TC 204.60 / 204.15	15"-197.31	-----	18"-197.01		IA-23
IA-26	D	SD 4.11	THROAT 198.00	-----	-----	15"-188.00	OPEN 4 SIDES	IA-26
IA-28	A-10	SD 4.41	TC 189.85 / 189.37	15"-185.32	-----	18"-185.07		IA-28
IA-29	A-10	SD 4.41	TC 189.85 / 189.37	-----	-----	15"-188.80		IA-29
IA-33	A-5	SD 4.40	TC 179.90 / 179.76	-----	-----	15"-175.75		IA-33
IA-34	A-5	SD 4.40	TC 180.33 / 180.27	15"-175.31	-----	18"-175.06		IA-34
IA52	S	SD 4.23	TG 230.26	-----	-----	15"-222.05		IA52
IA53	S	SD 4.23	TG 233.43	-----	-----	15"-223.62		IA53
IA54	A-5	SD 4.01	TC 234.12 / 233.73	18"-226.04	-----	18"-225.79	USE HC SD-4.83 DEFLECTORS	IA54
IA55	A-5	SD 4.01	TC 234.12 / 233.73	-----	-----	15"-226.42	USE HC SD-4.83 DEFLECTORS	IA55

NOTE: USE RETICULAR GRATE-SD-4.93 FOR ALL S INLETS

**SHA INLET SCHEDULE - US RTE.1**

NO.	TYPE	DETAIL	T.C. ELEV. UPPER/LOWER	INV. IN	INV. OUT	COORDINATES	
						NORTHING	EASTING
IA-37	COG-20	MD-374.31	TC-182.55 / 182.00	15"-178.70	24"-177.95	561959.14	1390387.77
IA-39	COG-15	MD-374.31	TC-180.51 / 180.24	-----	18"-176.27	562045.34	1390470.30
IA-40	COG-15	MD-374.31	TC-177.86 / 177.56	-----	18"-173.15	562189.19	1390588.86
IB-16	COG-15	MD-374.31	TC-174.28 / 173.96	-----	18"-170.00	562354.47	1390766.23

NOTE: COORDINATES SHOWN ARE AT FACE OF CURB



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730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

**ELKRIDGE - CROSSING - PHASE ONE**  
PARCELS A-E  
TAX MAP 38 GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**STORM DRAIN PROFILES - 6**

DATE	REVISION	BY	SCALE
6/15/07	ELEV. OF A-5, A-6, M-7, M-7A, AND STRUCTURE SCHEDULE PER REV. OF 2/10/07	JM	AS SHOWN
3/25/21	ADD Sheet 57	PC	

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 38  
 DATE: 7/27/07  
  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 5/1/07  
  
 DIRECTOR  
 DATE: 8/2/07

Rev./Replacement Sht.

SDP-04-017

PARCEL E  
PN 19052-53

ALLEY C  
(PRIVATE)

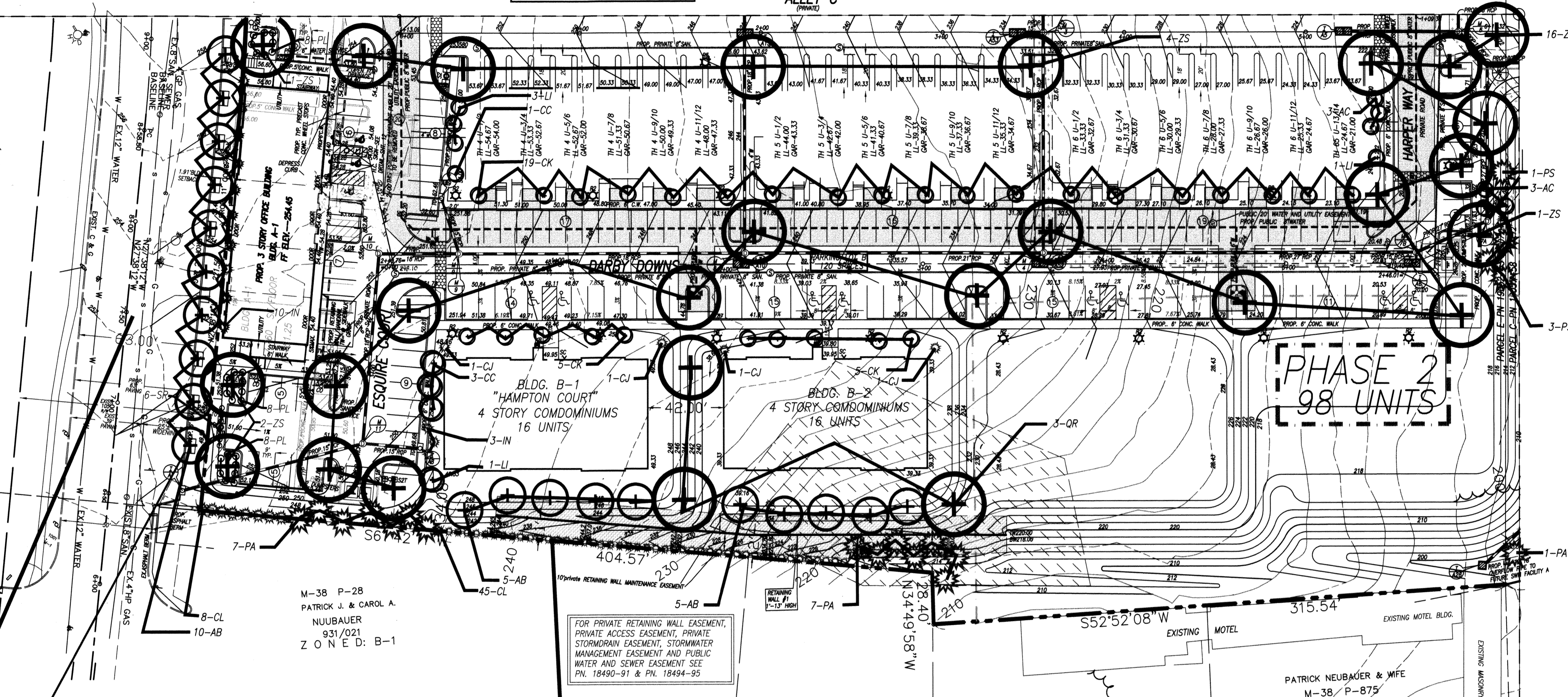
SEE SHEET 33

MATCH LINE

LAWMERS HILL APARTMENTS  
F-72-05

MONTGOMERY ROAD  
(PUBLIC 105' R/W)

ELKRIDGE PHARMACY, INC.  
538/286



HOWARD COUNTY LANDSCAPE MANUAL CATEGORY	EDGE TYPE	LINEAR DISTANCE	PLANT QUANTITY
Perimeter 2A: ADJACENT TO MONTGOMERY ROAD			
HOWARD COUNTY LANDSCAPE MANUAL			
LANDSCAPE TYPE: PARKING ADJACENT TO ROAD	B	120'	
CREDIT FOR EXISTING VEGETATION: NONE		0'	
CREDIT FOR EXISTING WALL: NONE		0'	
NUMBER OF PLANTS REQUIRED:			
SHADE TREES (1:40):			4
SHRUBS (1:4):			30
NUMBER OF PLANTS PROPOSED:			
SHADE TREES (1:40):			4
SHRUBS (1:4):			44

FOR PRIVATE RETAINING WALL EASEMENT, PRIVATE ACCESS EASEMENT, PRIVATE STORMDRAIN EASEMENT, STORMWATER MANAGEMENT EASEMENT AND PUBLIC WATER AND SEWER EASEMENT SEE PN. 18490-91 & PN. 18494-95

EASEMENT LEGEND  
PN 19052-53

- DENOTES PRIVATE RETAINING WALL MAINTENANCE EASEMENT
- DENOTES PRIVATE ACCESS EASEMENT
- DENOTES PUBLIC WATER AND UTILITY EASEMENT
- PRIVATE 10' STORM DRAIN EASEMENT
- PRIVATE STORMWATER MANAGEMENT EASEMENT

HOWARD COUNTY LANDSCAPE MANUAL CATEGORY	EDGE TYPE	LINEAR DISTANCE	PLANT QUANTITY
Perimeter 2: ADJACENT TO MONTGOMERY ROAD			
HOWARD COUNTY LANDSCAPE MANUAL			
LANDSCAPE TYPE: OFFICES ADJACENT TO ROAD	B	140'	
CREDIT FOR EXISTING VEGETATION: NONE		0'	
CREDIT FOR EXISTING WALL: NONE		0'	
NUMBER OF PLANTS REQUIRED:			
SHADE TREES (1:50):			3
EVERGREEN TREES (1:40):			4
NUMBER OF PLANTS PROPOSED:			
SHADE TREES:			12
SMALL DECIDUOUS TREES:			10
EVERGREEN TREES (1:40):			10
REQUIRED: LARGE DECIDUOUS TREES @ 40' MAX. ON CENTER		419'	11
PROPOSED: LARGE DECIDUOUS TREES:			12
SMALL DECIDUOUS TREES:			

CATEGORY	EDGE TYPE	LINEAR DISTANCE	PLANT QUANTITY OWNER
Perimeter 1: NON-RESIDENTIAL (BLDG'S B-1 & B-2) ADJ. TO NON-RESIDENTIAL			
HOWARD COUNTY LANDSCAPE MANUAL			
LANDSCAPE TYPE: APTS. ADJACENT TO NON-RES.	A	464'	
CREDIT FOR EXISTING VEGETATION:		0'	
CREDIT FOR EXISTING WALL:		0'	
NUMBER OF PLANTS REQUIRED:			
LARGE TREES (1:50):			10
NUMBER OF PLANTS PROPOSED:			
LARGE TREES:			14
EVERGREENS:			59

PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

DEVELOPER  
BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION J.P. DATE 7/27/07

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 8/1/07

DIRECTOR DATE 8/2/07



DRAWN: J.M.  
DATE: JUNE 21, 2006  
SCALE: 1"=30'

REVISION  
6/19/07 BLDG. A-1 REPLACES BLDGS. A1 AND A2 IN  
6/19/07 BLDG. A-2 REPLACES BLDG. A2 IN  
6/19/07 BLDG. A-3 REPLACES BLDG. A3 IN  
6/19/07 BLDG. A-4 REPLACES BLDG. A4 IN  
6/19/07 BLDG. A-5 REPLACES BLDG. A5 IN  
6/19/07 BLDG. A-6 REPLACES BLDG. A6 IN  
6/19/07 BLDG. A-7 REPLACES BLDG. A7 IN  
6/19/07 BLDG. A-8 REPLACES BLDG. A8 IN  
6/19/07 BLDG. A-9 REPLACES BLDG. A9 IN  
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6/19/07 BLDG. A-11 REPLACES BLDG. A11 IN  
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6/19/07 BLDG. A-13 REPLACES BLDG. A13 IN  
6/19/07 BLDG. A-14 REPLACES BLDG. A14 IN  
6/19/07 BLDG. A-15 REPLACES BLDG. A15 IN  
6/19/07 BLDG. A-16 REPLACES BLDG. A16 IN  
6/19/07 BLDG. A-17 REPLACES BLDG. A17 IN  
6/19/07 BLDG. A-18 REPLACES BLDG. A18 IN  
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6/19/07 BLDG. A-21 REPLACES BLDG. A21 IN  
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6/19/07 BLDG. A-28 REPLACES BLDG. A28 IN  
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6/19/07 BLDG. A-37 REPLACES BLDG. A37 IN  
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6/19/07 BLDG. A-39 REPLACES BLDG. A39 IN  
6/19/07 BLDG. A-40 REPLACES BLDG. A40 IN  
6/19/07 BLDG. A-41 REPLACES BLDG. A41 IN  
6/19/07 BLDG. A-42 REPLACES BLDG. A42 IN  
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6/19/07 BLDG. A-53 REPLACES BLDG. A53 IN  
6/19/07 BLDG. A-54 REPLACES BLDG. A54 IN  
6/19/07 BLDG. A-55 REPLACES BLDG. A55 IN  
6/19/07 BLDG. A-56 REPLACES BLDG. A56 IN  
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6/19/07 BLDG. A-58 REPLACES BLDG. A58 IN  
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6/19/07 BLDG. A-61 REPLACES BLDG. A61 IN  
6/19/07 BLDG. A-62 REPLACES BLDG. A62 IN  
6/19/07 BLDG. A-63 REPLACES BLDG. A63 IN  
6/19/07 BLDG. A-64 REPLACES BLDG. A64 IN  
6/19/07 BLDG. A-65 REPLACES BLDG. A65 IN  
6/19/07 BLDG. A-66 REPLACES BLDG. A66 IN  
6/19/07 BLDG. A-67 REPLACES BLDG. A67 IN  
6/19/07 BLDG. A-68 REPLACES BLDG. A68 IN  
6/19/07 BLDG. A-69 REPLACES BLDG. A69 IN  
6/19/07 BLDG. A-70 REPLACES BLDG. A70 IN  
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6/19/07 BLDG. A-75 REPLACES BLDG. A75 IN  
6/19/07 BLDG. A-76 REPLACES BLDG. A76 IN  
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6/19/07 BLDG. A-85 REPLACES BLDG. A85 IN  
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6/19/07 BLDG. A-87 REPLACES BLDG. A87 IN  
6/19/07 BLDG. A-88 REPLACES BLDG. A88 IN  
6/19/07 BLDG. A-89 REPLACES BLDG. A89 IN  
6/19/07 BLDG. A-90 REPLACES BLDG. A90 IN  
6/19/07 BLDG. A-91 REPLACES BLDG. A91 IN  
6/19/07 BLDG. A-92 REPLACES BLDG. A92 IN  
6/19/07 BLDG. A-93 REPLACES BLDG. A93 IN  
6/19/07 BLDG. A-94 REPLACES BLDG. A94 IN  
6/19/07 BLDG. A-95 REPLACES BLDG. A95 IN  
6/19/07 BLDG. A-96 REPLACES BLDG. A96 IN  
6/19/07 BLDG. A-97 REPLACES BLDG. A97 IN  
6/19/07 BLDG. A-98 REPLACES BLDG. A98 IN  
6/19/07 BLDG. A-99 REPLACES BLDG. A99 IN  
6/19/07 BLDG. A-100 REPLACES BLDG. A100 IN

ELKRIDGE - CROSSING - PHASE ONE  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
LANDSCAPE PLAN - 1

JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Chemok Avenue, Baltimore, Maryland, 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
RICHARDSON ENGINEERING, LLC  
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Phone: 410-660-6602 Fax: 410-660-0827

SHEET  
32 OF 57

Rev./Replacement Sh.  
SDP-04-017



APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/16/00  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 7/14/01  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 9/18/16  
 DIRECTOR DATE

**OWNER**  
 PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**  
 BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

CATAGORY	EDGE TYPE	LINEAR DISTANCE	PLANT QUANTITY
Perimeter 3: ADJACENT TO PARCEL 655 FROM PROPOSED ELKBRIDGE CROSSING WAY	C	565'	
LANDSCAPE TYPE:			
CREDIT FOR EXISTING VEGETATION:		0'	
CREDIT FOR EXISTING WALL:		0'	
NUMBER OF PLANTS REQUIRED:			
SHADE TREES (1:40):			15
EVERGREEN TREES (1:20):			29
NUMBER OF PLANTS PROPOSED:			
SHADE TREES:			13
SMALL DECIDUOUS TREES:			5
EVERGREEN TREES:			30

**PHASE 1**  
 128 UNITS

Mc MULLEN  
 PARCEL 655  
 L-159 F-237  
 ZONED: R-ED

Mc MULLEN  
 PARCEL 655  
 L-364 F-421  
 ZONED: R-ED

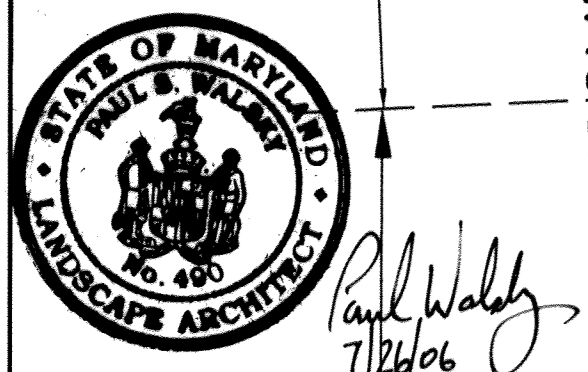
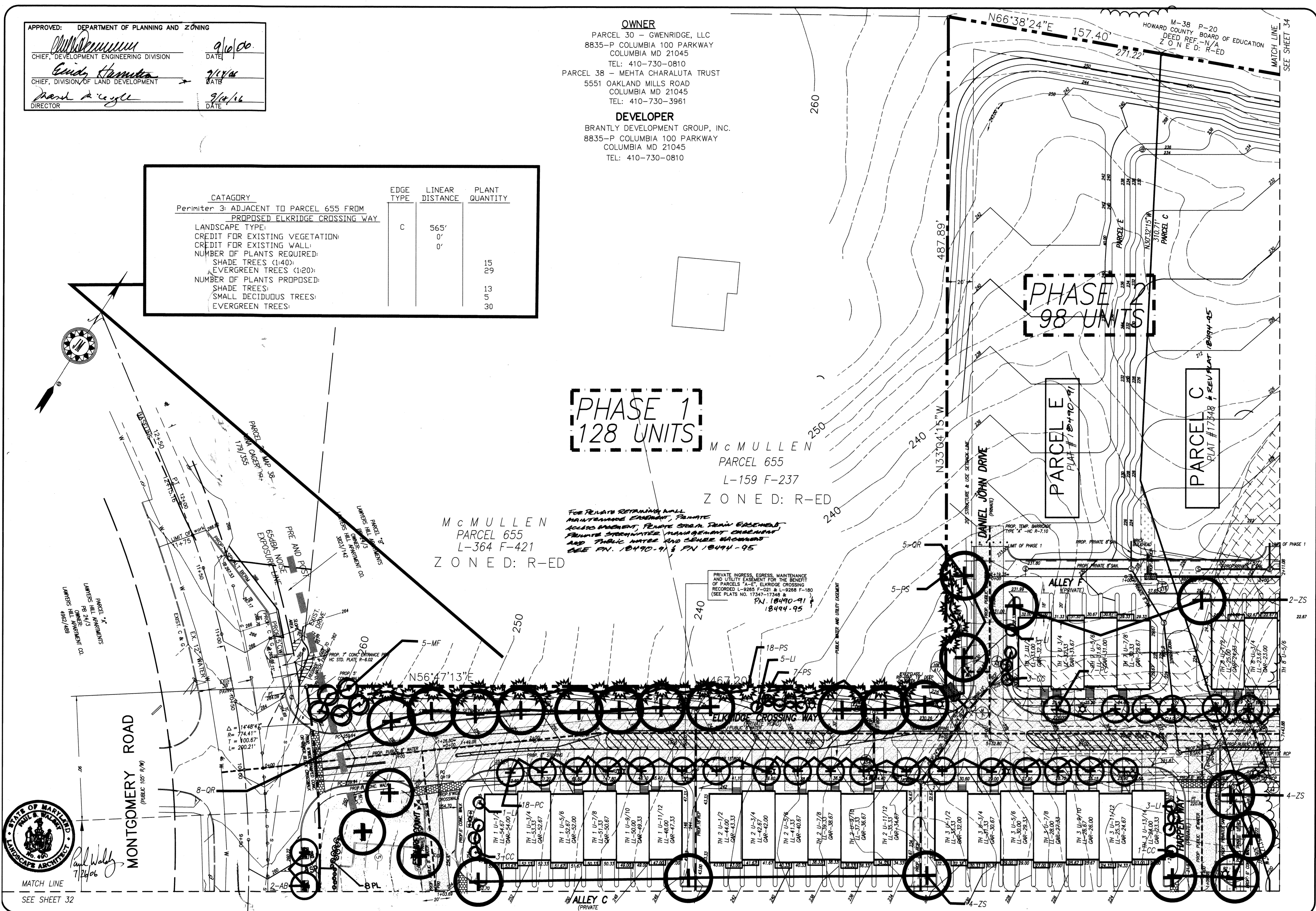
FOR RETAINING WALL MAINTENANCE EASEMENT, FUTURE ACCESS EASEMENT, PRIVATE SEWER MAIN EASEMENT, FUTURE STORMWATER MANAGEMENT EASEMENT AND PUBLIC WATER AND SEWER EASEMENTS SEE PN. 18490-91 & PN. 18494-95

PRIVATE INGRESS, EGRESS, MAINTENANCE AND UTILITY EASEMENT FOR THE BENEFIT OF PARCELS "A-E", ELKBRIDGE CROSSING RECORDED L-9285 F-021 & L-9286 F-180 (SEE PLATS NO. 17347-17348 & PN. 18490-91 & 18494-95)

**PHASE 2**  
 98 UNITS

PARCEL E  
 PLAT # 18490-91

PARCEL C  
 PLAT # 17348 & REV. PLAT 18494-95



MONTGOMERY ROAD  
 (PUBLIC 105' R/W)

MATCH LINE  
 SEE SHEET 32

DATE: JUNE 21, 2006  
 SCALE: 1"=30'

BY: *[Signature]*  
 DATE: 3/25/21  
 REVISION: 1/1/17  
 3/25/21 Add Sheet 67

**ELKBRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**LANDSCAPE PLAN - 2**

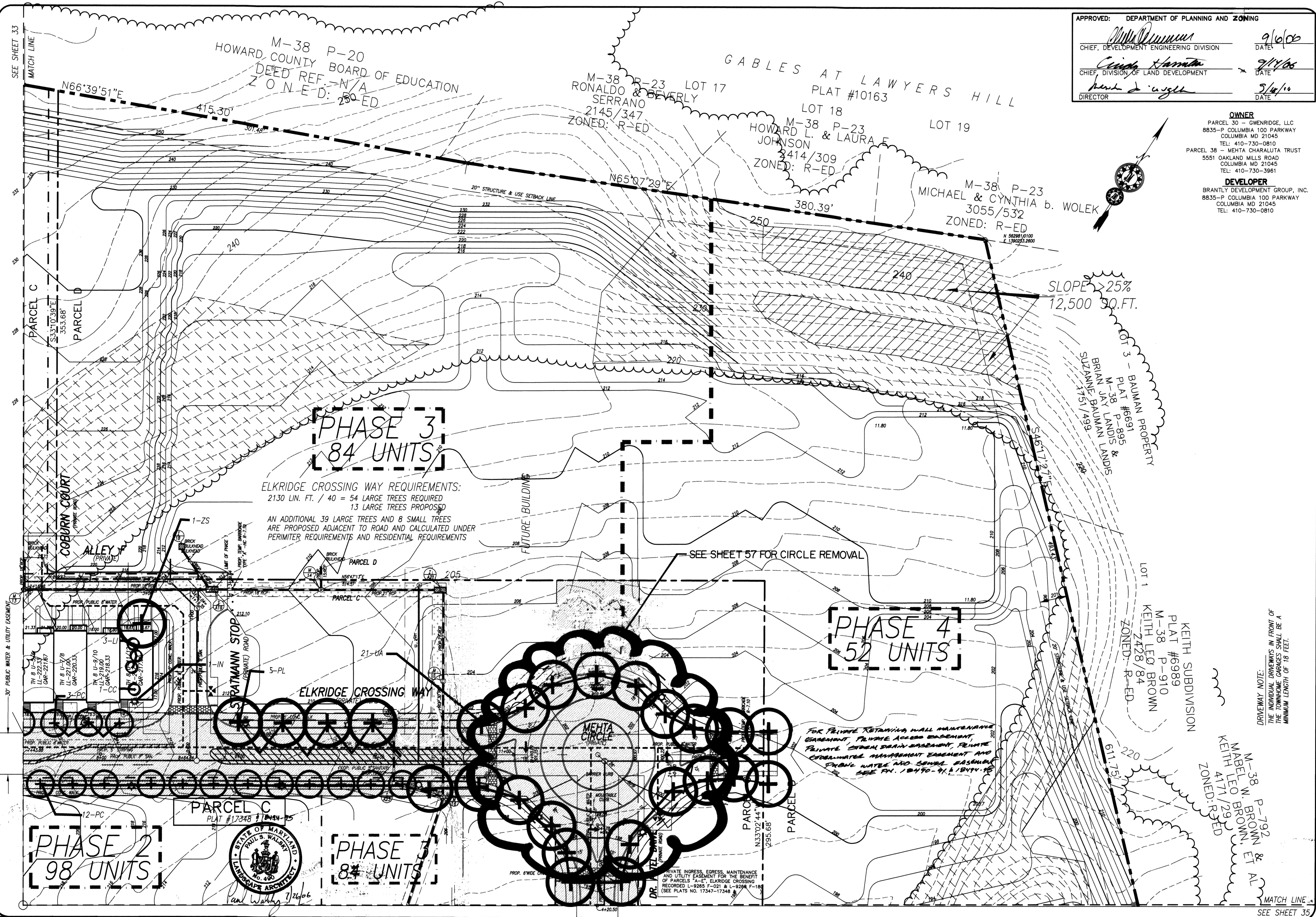
**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chenoweth Avenue, Baltimore, Maryland 21284  
 Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827


SHEET 33 OF 57


SDP-04-017

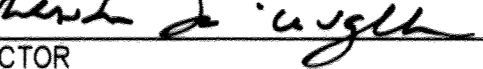
C:\DRAWINGS\ELKBRIDGE\PHASE-1\02 Mon Jul 24 22:24:17 2006



APPROVED: DEPARTMENT OF PLANNING AND ZONING

 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

 3/14/10  
 DIRECTOR DATE

**OWNER**

PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
 TEL: 410-730-3961

**DEVELOPER**

BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA MD 21045  
 TEL: 410-730-0810

DRAWN: J.M.  
 DATE: JUNE 21, 2006  
 SCALE: 1"=30'

DATE	REVISION	BY	REASON
1/1/07			
3/25/11	Remove Traffic Circle	J.M.	

**ELKRDGE-CROSSING - PHASE ONE**  
**PARCELS A-E**  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**LANDSCAPE\*PLAN-3**

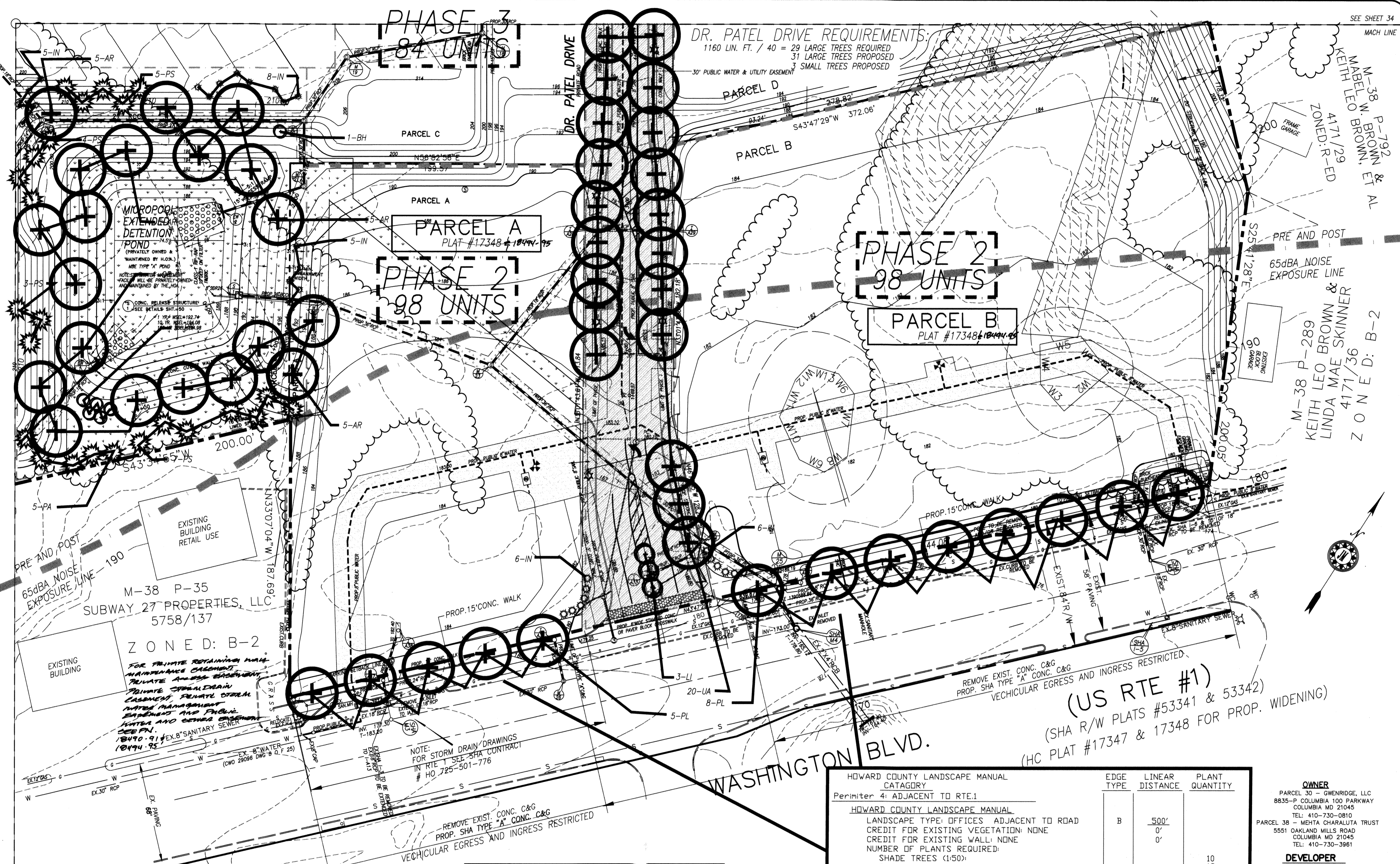
**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chesaok Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752

**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

SHEET 34 OF 57

SDP-04-017

**DR. PATEL DRIVE REQUIREMENTS:**  
1160 LIN. FT. / 40' = 29 LARGE TREES REQUIRED  
31 LARGE TREES PROPOSED  
3 SMALL TREES PROPOSED



DRAWN: JLM  
DATE: JUNE 21, 2006  
SCALE: 1"=30'

REV. NO. 1  
DATE 5/25/07  
BY JLM  
REVISION ADD SHEET 57

**ELKRIDGE - CROSSING - PHASE ONE**  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**LANDSCAPE PLAN - 4**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
2929 Chesapeake Avenue, Baltimore, Maryland 21224  
Phone: 410-661-8762 Fax: 410-661-8763  
**RICHARDSON ENGINEERING, LLC**  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET 35 OF 57

C:\ORDINANCES\ELKRIDGE\PHASE-1\02 Mon Jul 24 23:02:14 2006

SEE SHEET 32  
MATCH LINE



Paul Wasby 7/26/06

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 9/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 [Signature] 7/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 [Signature] 7/26/06  
 DIRECTOR DATE

EDGE TYPE	LINEAR DISTANCE	PLANT QUANTITY
B	500'	10
	0'	13
	0'	5
	500'	13
		13
		5

REQUIRED: LARGE DECIDUOUS TREES @ 40' MAX. DN CENTER  
 PROPOSED: LARGE DECIDUOUS TREES  
 PROPOSED: LARGE DECIDUOUS TREES

**OWNER**  
PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810  
PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

**DEVELOPER**  
BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

(US RTE #1)  
(SHA R/W PLATS #53341 & 53342)  
(HC PLAT #17347 & 17348 FOR PROP. WIDENING)

WASHINGTON BLVD.

M-38 P-35  
SUBWAY 27 PROPERTIES, LLC  
5758/137  
ZONED: B-2

FOR PRIVATE RETAINING WALL  
MAINTENANCE CALCULATION  
PRIVATE ACCESS EASEMENT  
PRIVATE STORM DRAIN  
CALCULATION PRIVATE STORM  
DRAIN MANAGEMENT  
SYSTEMS AND PUBLIC  
WATER AND SEWER EASEMENT  
18490-91 EX. 8" SANITARY SEWER  
10/19/95

NOTE:  
FOR STORM DRAIN DRAWINGS  
IN RITE 1 SEE SHA CONTRACT  
# HO 725-501-776

REMOVE EXIST. CONC. C&G  
PROP. SHA TYPE "A" CONC. C&G  
VEHICULAR EGRESS AND INGRESS RESTRICTED

SDP-04-017

**SCHEDULE 'A'**  
**PERIMETER LANDSCAPE EDGE**

CATAGORY	ADJACENT TO PERIMETER PROPERTIES		
	A	B	C
LANDSCAPE TYPE:			
LINEAR FEET OF ROADWAY, FRONTAGE/PERIMETER	464	919	565
CREDIT FOR EXISTING VEGETATION	NO	NO	NO
CREDIT FOR EXISTING WALL: NONE	NO	NO	NO
NUMBER OF PLANTS REQUIRED:			
LARGE TREES	10 (1:50')	19 (1:50')	15 (1:40)
EVERGREEN TREES		23 (1:40)	29 (1:20)
NUMBER OF PLANTS PROVIDED:			
LARGE TREES	14	24	13
EVERGREEN TREES	59	25	30
OTHER TREES (2:1 SUBSTITUTION)		5	5

**SCHEDULE 'B'**  
**PARKING LOT INTERNAL LANDSCAPING**

CATAGORY	RESIDENTIAL (1:10)	NON-RESIDENTIAL (1:20)
	18 ISLANDS	3 ISLANDS
NUMBER OF PARKING SPACES	120	44
NUMBER OF TREES REQUIRED	12	3
NUMBER OF TREES PROPOSED		
SHADE TREES	18	3
OTHER TREES (2:1 SUBSTITUTION)		

**SCHEDULE 'C'**  
**RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING**

CATAGORY	SINGLE FAMILY ATTACHED	APARTMENT TYPE (CONDO, BLDG.)
	(1 TREE PER UNIT)	(1 TREE PER 3 UNITS)
NUMBER OF DWELLING UNITS	48	32
NUMBER OF TREES REQUIRED	48	11
NUMBER OF TREES PROVIDED:		
SHADE TREES (1:50)	13	3
OTHER TREES (2:1 SUBSTITUTION)	71	16

**SCHEDULE 'D'**  
**STORMWATER MANAGEMENT AREA LANDSCAPING**

LINEAR FEET OF PERIMETER BUFFER TYPE:	B
900 LIN. FT.	
NUMBER OF TREES REQUIRED:	
SHADE TREES (1:50)	18
EVERGREEN TREE (1:40)	23
CREDIT FOR EXISTING VEGETATION: NONE	
CREDIT FOR OTHER LANDSCAPING: NONE	
NUMBER OF TREES PROPOSED:	
SHADE TREES (1:50)	19
EVERGREEN TREE (1:40)	24
OTHER TREES (2:1 SUBSTITUTION)	6

**INTERNAL STREET TREE LANDSCAPING**

LENGTH OF DR. PATEL DRIVE AND ELK RIDGE CROSSING WAY (BOTH SIDES):	3,290 LIN. FT.
NUMBER OF TREES REQUIRED: (1:40)	83
NUMBER OF TREES PROVIDED:	
SHADE TREES (1:50)	41
OTHER TREES (2:1 SUBSTITUTION)	10

AN ADDITIONAL 39 LARGE TREES AND 8 SMALL TREES ARE PROPOSED ADJACENT TO ELK RIDGE CROSSING WAY AND CALCULATED UNDER PERIMETER REQUIREMENTS AND RESIDENTIAL REQUIREMENTS

**PUBLIC ROAD STREET TREE LANDSCAPING**

ROAD	DISTANCE	NO. OF TREES REQUIRED	NO. OF TREES PROPOSED
ROUTE 1	500'	13 (1:40')	13
MONTGOMERY ROAD	419'	11 (1:40')	12

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* DATE: 9/14/06  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

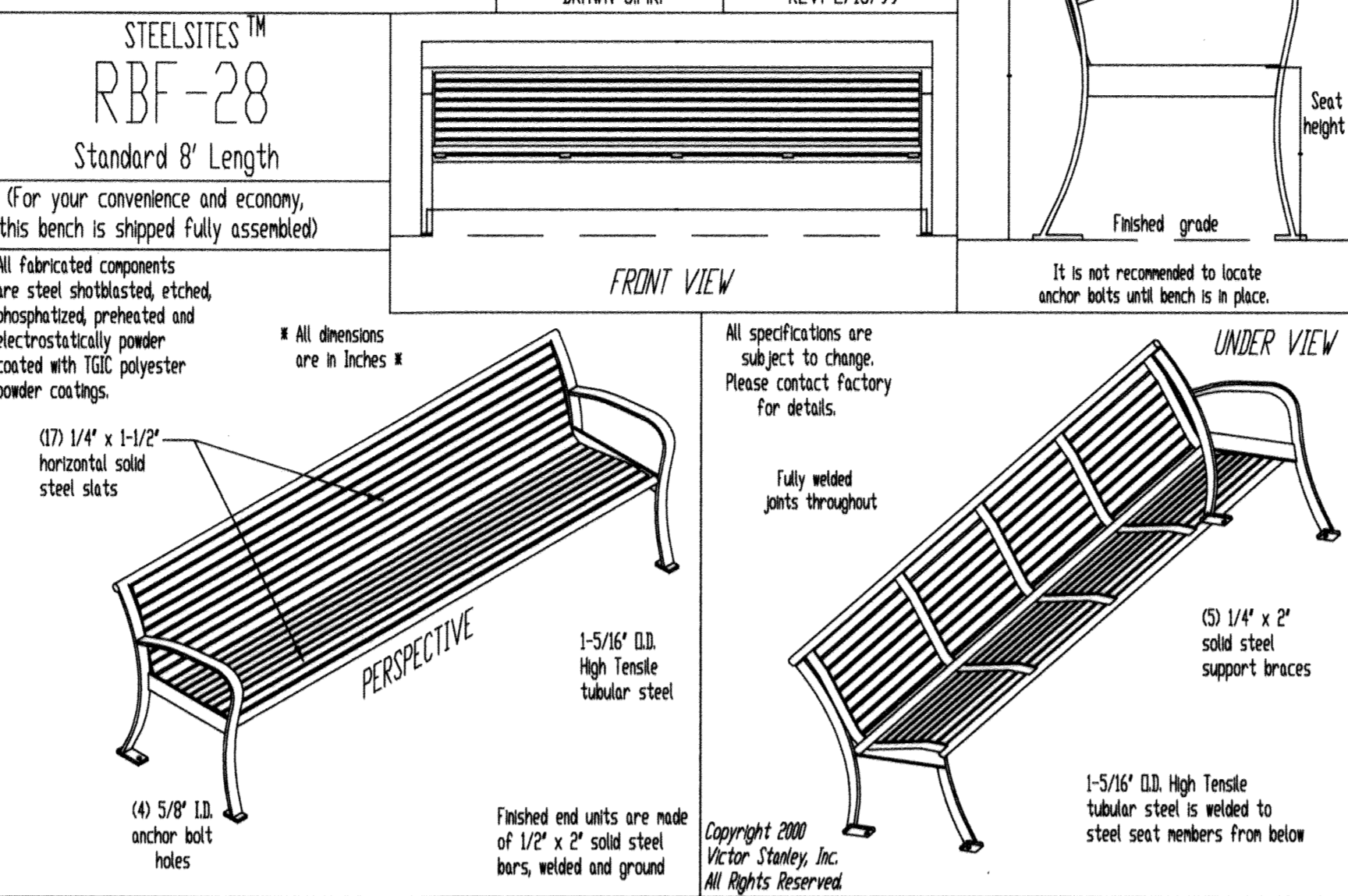
*[Signature]* DATE: 9/14/06  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* DATE: 9/14/06  
DIRECTOR



Victor Stanley, Inc.  
P.O. BOX 938 - BUNKER, MD 20754 USA  
TEL: (301) 855-8200 FAX: (410) 257-7379  
WEB SITE: http://victorst Stanley.com

**PRODUCT SPECIFICATIONS**



**BENCH DETAIL**

NOT TO SCALE

**ENDS OF RESIDENTIAL UNITS ADJACENT TO INTERNAL ROADS**

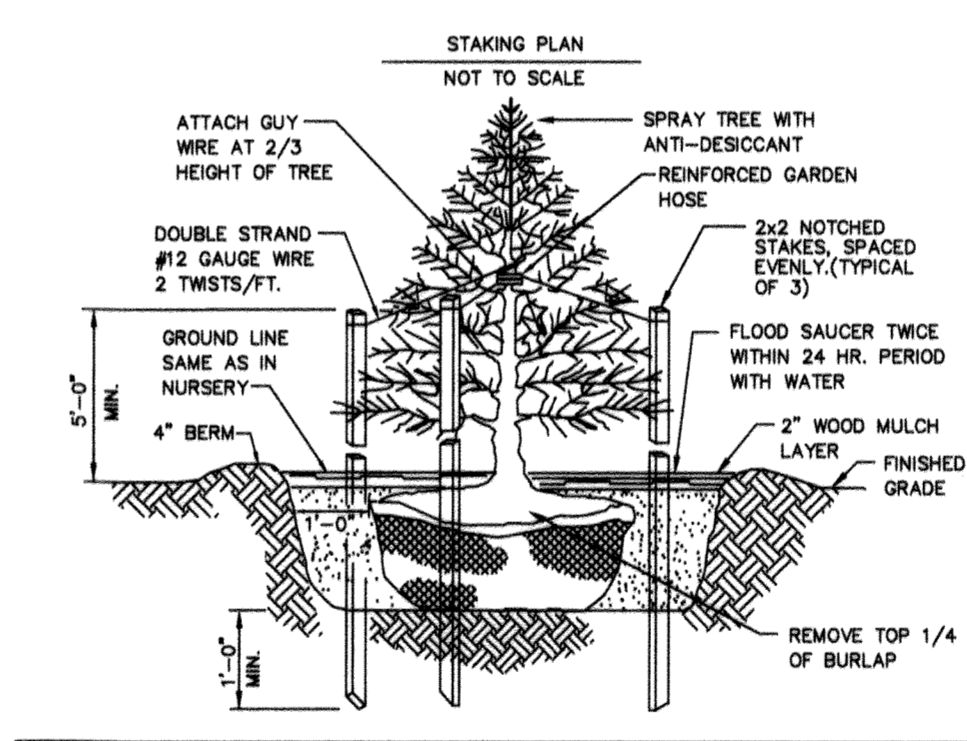
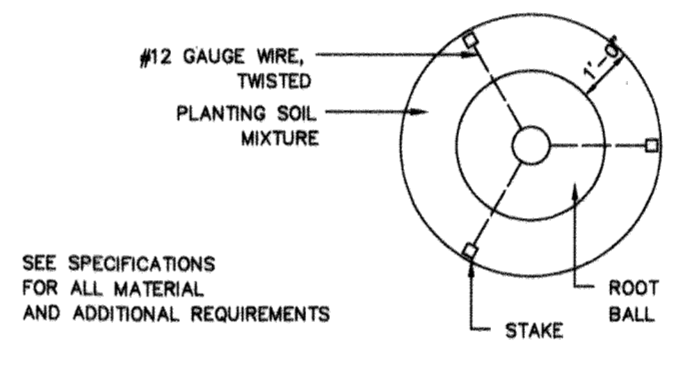
LANDSCAPE TYPE:	'B'
LENGTH OF INTERNAL ROAD:	480 LIN. FT.
NUMBER OF PLANTS REQUIRED:	
LARGE TREES	10 (1:50)
EVERGREEN TREES	12 (1:40)
NUMBER OF TREES PROVIDED:	
SHADE TREES (1:50)	0
OTHER TREES (2:1 SUBSTITUTION)	32

**INDIVIDUAL PROPERTY LINE PERIMETER LANDSCAPE EDGE CALCULATIONS**

CATAGORY	EDGE TYPE	LINEAR DISTANCE	PLANT QUANTITY
Perimeter 1: NON-RESIDENTIAL (BLDG.S B-1 & B-2) ADJ. TO NON-RESIDENTIAL (HOTEL). LANDSCAPE TYPE: NON-RES. ADJACENT TO NON-RES. CREDIT FOR EXISTING VEGETATION: NONE CREDIT FOR EXISTING WALL: NONE NUMBER OF PLANTS REQUIRED: SHADE TREES (1:50): EVERGREEN TREES (1:40):	A	464' 0' 0'	10
Perimeter 2: ADJACENT TO MONTGOMERY ROAD (EXTERNAL ROAD) LANDSCAPE TYPE: NON-RESIDENTIAL ADJ. TO ROAD CREDIT FOR EXISTING VEGETATION: NONE CREDIT FOR EXISTING WALL: NONE NUMBER OF PLANTS REQUIRED: SHADE TREES (1:50): EVERGREEN TREES (1:40):	B	419' 0' 0'	9 11
Perimeter 3: ADJACENT TO PARCEL 655 FROM PROPOSED ELK RIDGE CROSSING WAY. LANDSCAPE TYPE: CREDIT FOR EXISTING VEGETATION: CREDIT FOR EXISTING WALL: NUMBER OF PLANTS REQUIRED: SHADE TREES (1:50): EVERGREEN TREES (1:20):	A	565' 0' 0'	14 29
Perimeter 4: ADJACENT TO RTE. 1 (EXTERNAL ROAD) LANDSCAPE TYPE: PARKING ADJACENT TO ROAD CREDIT FOR EXISTING VEGETATION: NONE CREDIT FOR EXISTING WALL: NONE NUMBER OF PLANTS REQUIRED: SHADE TREES (1:50): EVERGREEN TREES (1:40):	B	500' 0' 0'	10 13

**PLANTING NOTES**

- PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUNSCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BOXERS AND ALL FORMS OF INFESTATION OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG; NO HELED-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, ALL PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1986, PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMAN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS", (HEREIN-AFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, SEPTEMBER, 1981, INCLUDING ALL ADDENDA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UTILITIES AND MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANTING MATERIALS TO AVOID CONFLICTS WITH UTILITIES.
- PLANTING BED SHALL BE MULCHED WITH 3" OF SHREDDED HARDWOOD BARK MULCH. GROUND COVER BEDS SHALL BE MULCHED TO A DEPTH OF 2".
- ALL AREAS WITHIN THE CONTRACT LIMIT NOT COVERED BY BUILDING, PAVING, PLANTING BEDS OR OTHERWISE DESIGNATED ON THE PLANS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH "1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PERMANENT SEEDING SPECIFICATIONS (SEE SHEET 6), INCLUDING ALL ADDENDA, AS DIRECTED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. PLANTING MIX SHALL BE DONE AS FOLLOWS:  
DECIDUOUS PLANTS - TWO PARTS TOP SOIL, ONE PART WELL-ROTTED COW OR HORSEMANURE, ADD 3 LBS. OF STANDARD 10-10-10 FERTILIZER PER CUBIC YARD OF PLANTING MIX.  
EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX.
- TOPSOIL SHALL CONFORM TO LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR LANDSCAPE PLA ONLY. SEE OTHER PLAN SHEETS FOR INFORMATION ON GRADING, SIDEMENT CONTROL, LAYOUT, ETC.
- CONTRACTOR TO ADJUST PLANTINGS AS REQUIRED WITH PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT. THE BUILDING AREA PLANTS SHALL BE ADJUSTED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- ANY CHANGES TO THE SITE LAYOUT SHALL REQUIRE THE REDESIGN OF THE PLANTING BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE SURETY IN THE AMOUNT OF \$ HAS BEEN POSTED AS A PART THE DEVELOPER'S AGREEMENT



**EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE

**DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE

KEY	QUANTITY	BOTANICAL NAME/COMMON NAME	MINIMUM SIZE	ROOT	REMARKS
AB	22	ACER RUBRUM 'ARMSTRONG' / ARMSTRONG MAPLE	2 1/2 - 3" CAL.	B&B	
AR	15	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	2 1/2 - 3" CAL.	B&B	
PL	7	PLATANUS ACERIFOLIA 'BLOODGOOD' / BLOODGOOD LONDON PLANETREE	2 1/2 - 3" CAL.	B&B	
PC	40	PYRUS CAL. 'REDSPIRE' / REDSPIRE PEAR	2 1/2 - 3" CAL.	B&B	
QR	20	QUERCUS RUBRA / RED OAK	2 1/2 - 3" CAL.	B&B	
UA	41	ULMUS AMER. 'VALLEY FORGE' / VALLEY FORGE AMER. ELM	2 1/2 - 3" CAL.	B&B	
ZS	34	ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN ZELKOVA	2 1/2 - 3" CAL.	B&B	
AC	3	AMELANCHIER CANADENSIS / SHADBLow	8-10' HGT.	B&B	MULTI-STEM
BH	6	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	8-10' HGT.	B&B	MULTI-STEM
CC	12	CERCUS CANADENSIS / EASTERN REDBUD	8-10' HGT.	B&B	
CK	29	CORNUS KOUSA / KOUSA DOGWOOD	6-7' HGT.	B&B	
LI	21	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ' / NATCHEZ CRAPEMYRTLE	7-8' HGT.	B&B	MULTI-STEM
MF	5	MALUS FLORIBUNDA / JAPANESE FLOWERING CRABAPPLE	8-10' HGT.	B&B	
PL	32	PRUNUS LAUROBRASUS 'SCHIPKENS' / SCHIP CHERRY - LAUREL	24-30"	B&B	IN MULCH BED
CJ	4	CRYPTOMERIA JAPONICA 'YOSHINO' / YOSHINO CRYPTOMERIA	6-8' HGT.	B&B	
CL	53	CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS	6-8' HGT.	B&B	
IN	44	ILEX X 'NELLIE R. STEVENS' / NELLIE STEVENS HOLLY	6-8' HGT.	B&B	
PS	53	PINUS STROBUS / EASTERN WHITE PINE	6-8' HGT.	B&B	
PA	20	PICEA ABIES / NORWAY SPRUCE	6-8' HGT.	B&B	
SP	16	SPIRAEA RONALDA 'ANTHONEY WATERER' / ANTHONY WATERER SPIRAEA	24-30"	CONT.	IN MULCH BED

DRAWN P.W.  
DATE: JUNE 21, 2006  
SCALE: AS SHOWN

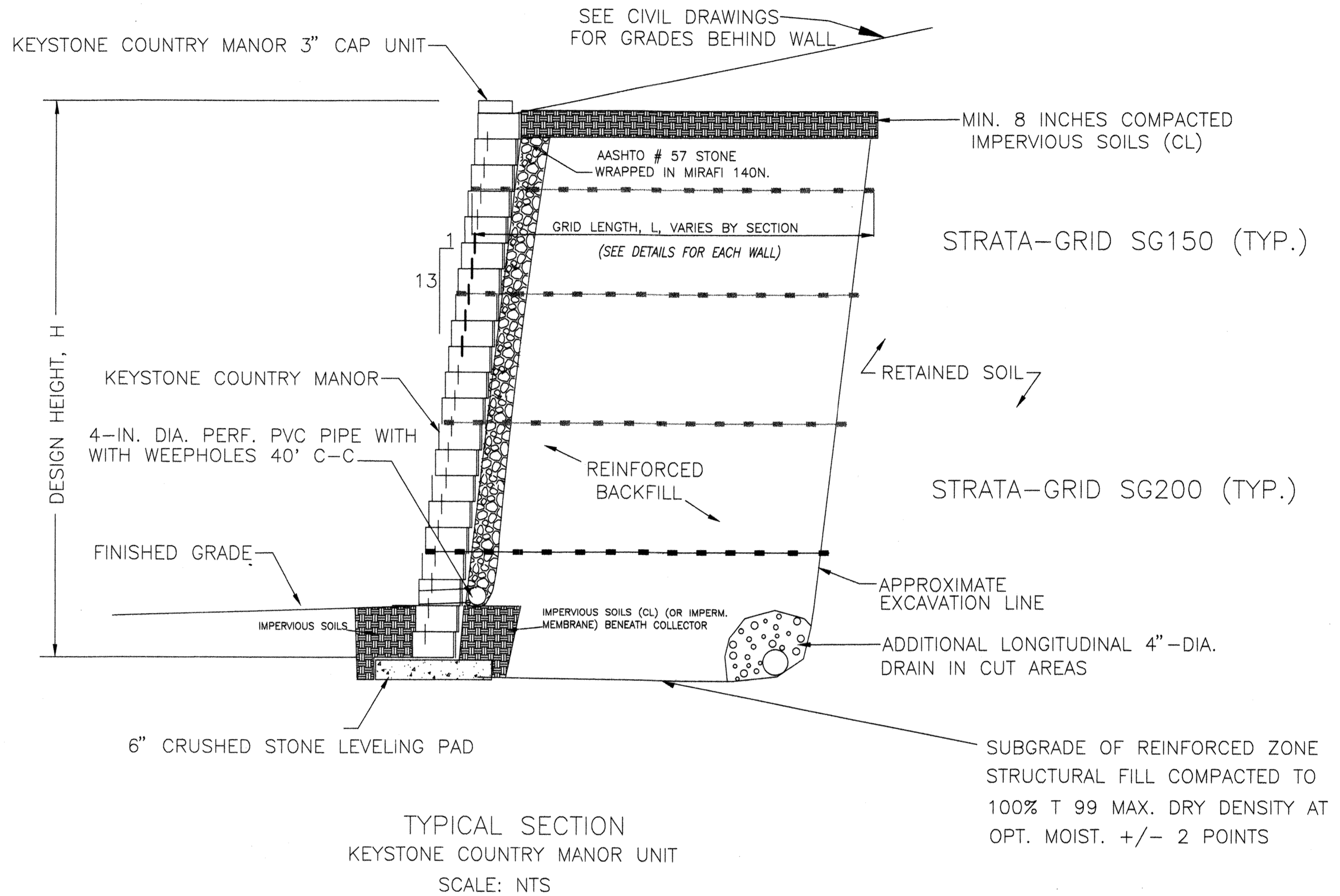
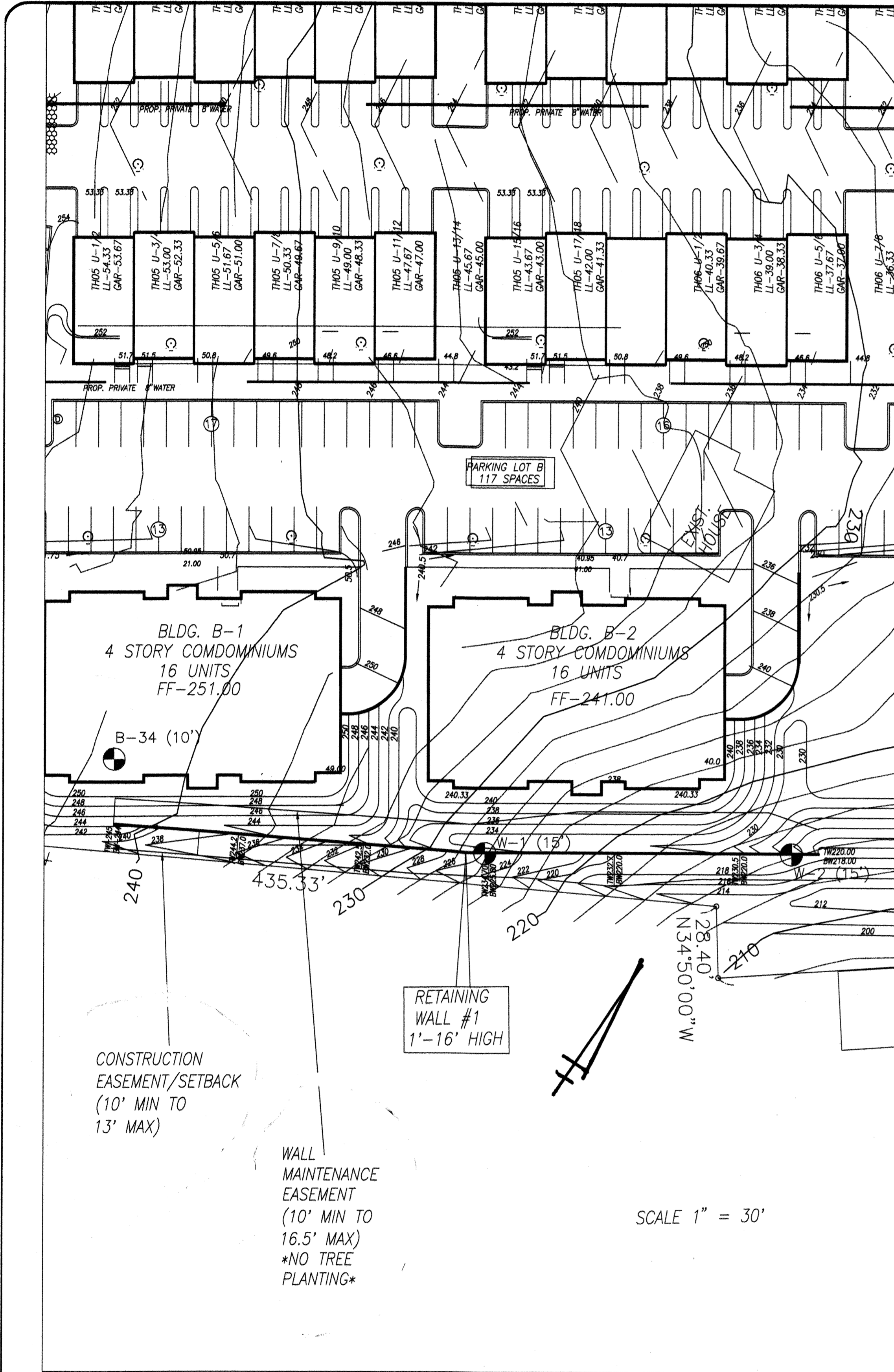
DATE: 9/14/06  
REVISION: 1/1/07  
PLANT LIST  
ADD Sheet 67

**ELK RIDGE - CROSSING - PHASE ONE**  
**PARCELS A-F**  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**LANDSCAPE PLAN - DETAILS**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
2923 Chemok Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
730 W. Padonia Road, State 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0887

SHEET  
36 OF 57

SPR-04-017



- NOTES:
1. VERIFY ALLOWABLE BEARING PRESSURE AT SUBGRADE OF REINFORCED ZONE THROUGHOUT WALL SUBGRADE (SEE TABLE) OVER-EXCAVATION MAY BE NECESSARY AT SUBGRADE TO ACHIEVE REQUIRED BEARING. CONSULT SITE GEOTECHNICAL ENGINEER
  2. SEE TABLE NEXT SHEET FOR GRID LENGTH, GRID SPACING, AND SPECIFIC TREATMENT
  3. BACKFILL USED IN REINFORCED AREAS SHALL BE USCS CLASSIFICATION SM, SC, CL, GM, OR GC (ML WITH MAX 65% <#200) CH OR MH SOILS SHALL NOT BE PERMITTED IN BACKFILL. BACKFILL PARTICLE SIZE SHALL NOT EXCEED 3 INCHES MAX. AND SUCH PARTICLES SHALL BE <25% OF FILL
  4. ALL FILL MATERIAL SHALL HAVE MIN. DRY DENSITY OF 110 PCF (T 99) AND DRAINED FRICTION ANGLE OF 28 DEGREES.
  5. ALL BACKFILL WITHIN REINFORCED ZONE SHALL BE COMPACTED TO MIN. 95 PERCENT OF T 99 MAX. DRY DENSITY WITHIN TWO PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT
  6. MAXIMUM STEP IN LEVELING PAD SHALL BE 12 INCHES AT ANY LOCATION
  7. FOR TAPERING WALL AT EACH END, TOP LEVEL OF REINFORCEMENT GRID MAY BE OMITTED TO MAINTAIN MIN. 1 FT. OF COVER ON UPPERMOST GRID LAYER.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 9/16/06

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 9/14/06

DIRECTOR  
DATE: 9/14/06

OWNERS

PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA MD 21045  
TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRU  
5551 OAKLAND MILLS ROAD  
COLUMBIA MD 21045  
TEL: 410-730-3961

STATE OF MARYLAND  
Professional Engineer Seal for Hillis-Carnes

STATE OF MARYLAND  
Professional Engineer Seal for Juri Maiste

DRAWN: FSL  
DATE: JUNE 20, 2005  
SCALE: AS SHOWN

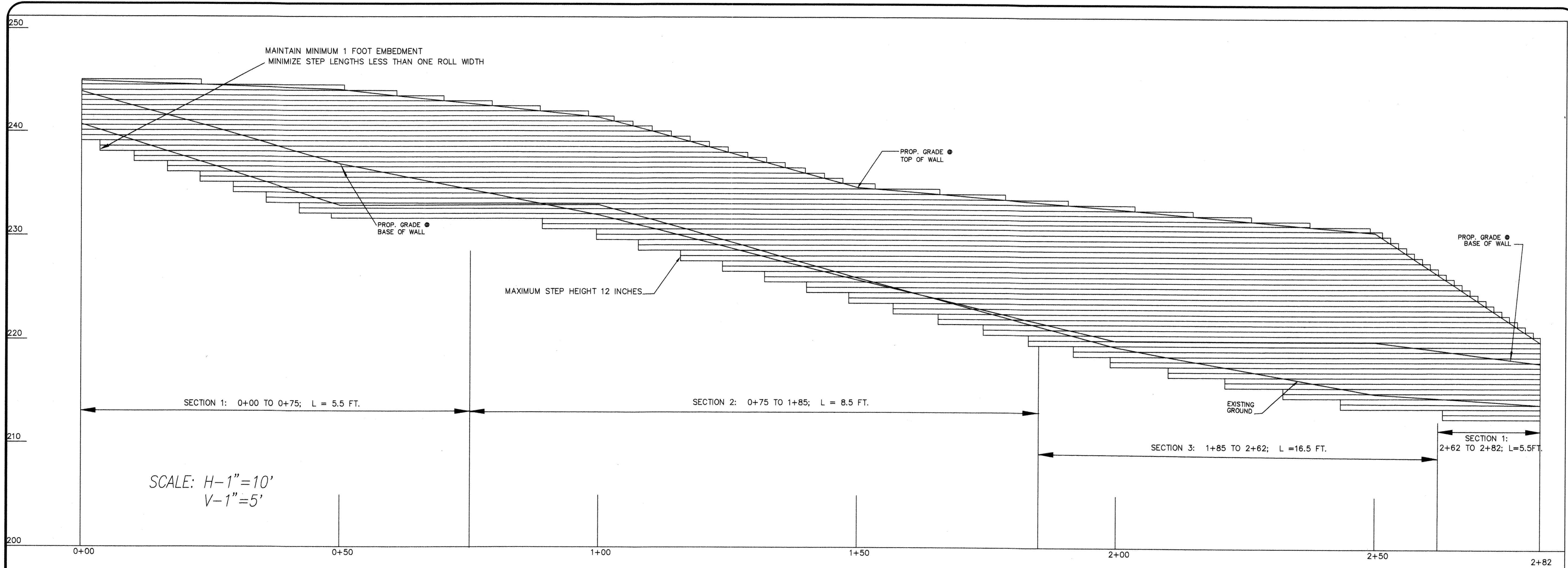
BY: FSL  
CHECKED: JRM  
DATE: 9/15/06  
SHEET 37 OF 57

ELKRIDGE - CROSSING - PHASE ONE  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
RETAINING WALL #1 PLAN AND CROSS SECTION

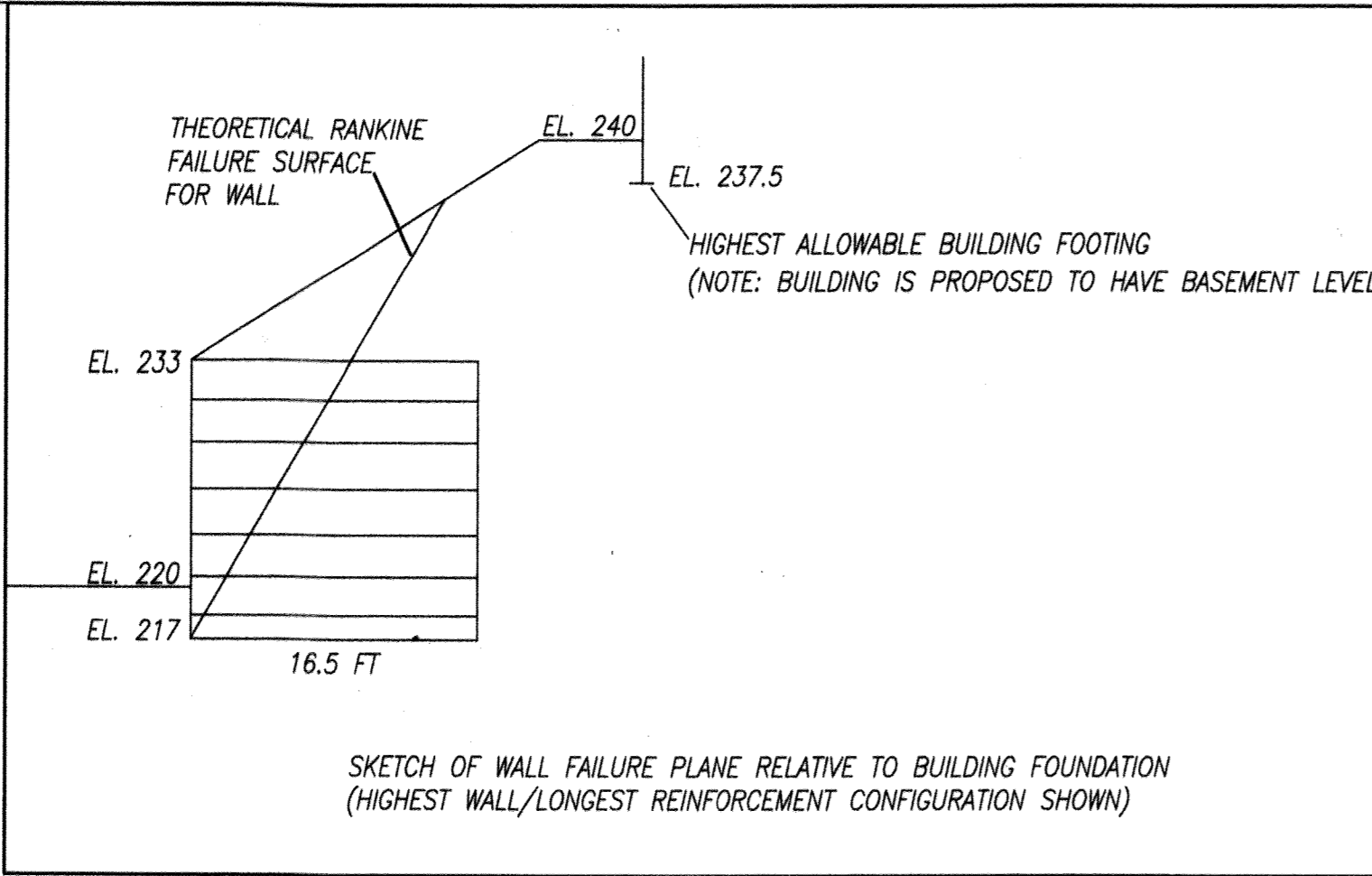
JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Chermack Avenue, Baltimore, Maryland 21284  
Phone: 410-661-8752 Fax: 410-661-8752

HILLIS-CARNES, GEOTECHNICAL ENGINEER  
4959 New Design Road, Suite 107, Frederick, Maryland 21703  
Phone: 301-662-2522 Fax: 301-662-5575

SDP-04-017



RETAINING WALL #1



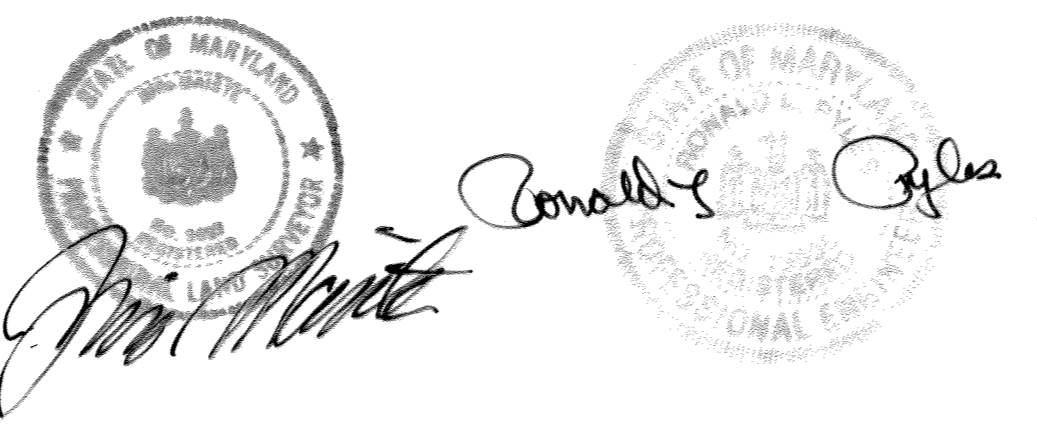
GENERAL NOTES

1. VERIFY ALLOWABLE BEARING PRESSURE AT SUBGRADE OF REINFORCED ZONE THROUGHOUT WALL SUBGRADE (SEE TABLE). 2. SEE TABLE FOR GRID LENGTH, GRID SPACING, AND SPECIFIC TREATMENT
2. SEE TABLE FOR GRID LENGTH, GRID SPACING, AND SPECIFIC TREATMENT
3. BACKFILL USED IN REINFORCED AREAS SHALL BE USCS CLASSIFICATION SM, SC, CL, GM, OR GC (ML WITH MAX 65% <#200) CH OR MH SOILS SHALL NOT BE PERMITTED IN BACKFILL. BACKFILL PARTICLE SIZE SHALL NOT EXCEED 3 INCHES MAX. AND SUCH PARTICLES SHALL BE <25% OF FILL
4. ALL FILL MATERIAL SHALL HAVE MIN. DRY DENSITY OF 110 PCF (T 99) AND DRAINED FRICTION ANGLE OF 28 DEGREES.
5. ALL BACKFILL WITHIN REINFORCED ZONE SHALL BE COMPACTED TO MIN. 95 PERCENT OF T 99 MAX. DRY DENSITY WITHIN TWO PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT
6. MAXIMUM STEP IN LEVELING PAD SHALL BE 12 INCHES (BLOCK HEIGHT) AT ANY LOCATION
7. FOR TAPERING WALL AT EACH END, TOP LEVEL OF REINFORCEMENT GRID MAY BE OMITTED TO MAINTAIN MIN. 1 FT. OF COVER ON UPPERMOST GRID LAYER.
8. TOP OF WALL TO BE FENCED. SEE DETAIL, SHEET 39.

RETAINING WALL #1					
SECTION	STATIONING	GEOGRID (STRATAGRID)	HEIGHT ABOVE SUBGRADE (FT.)	LENGTH, L (FT.)	REQUIRED ALLOWABLE BEARING PRESSURE (PSF)
1	0+00 - 0+75	SG150	7.5	5.5	3,000
		SG150	6.0	5.5	3,000
	2+62 - 2+82	SG150	4.5	5.5	3,000
		SG150	3.0	5.5	3,000
		SG150	2.0	5.5	3,000
2	0+75 - 1+85	SG200	1.0	5.5	3,000
		SG150	10.5	8.5	3,000
		SG150	9.0	8.5	3,000
		SG150	7.5	8.5	3,000
		SG150	6.0	8.5	3,000
		SG200	4.5	8.5	3,000
		SG200	3.0	8.5	3,000
		SG200	2	8.5	3,000
		SG200	1	8.5	3,000
		3	1+85 - 2+62	SG150	16.0
SG150	14.5			16.5	6,000
SG150	13.0			16.5	6,000
SG150	11.5			16.5	6,000
SG200	10.0			16.5	6,000
SG200	8.5			16.5	6,000
SG200	7.0			16.5	6,000
SG200	6.0			16.5	6,000
SG200	5			16.5	6,000
SG200	4			16.5	6,000
3	1+85 - 2+62	SG200	3	16.5	6,000
		SG200	2	16.5	6,000
		SG200	1.5	16.5	6,000
		SG200	1	16.5	6,000
		SG200	0.5	16.5	6,000
		SG200	0.5	16.5	6,000
		SG200	0.5	16.5	6,000
		SG200	0.5	16.5	6,000

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 9/14/06  
 DIRECTOR

**OWNER**  
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 COLUMBIA MD 21045  
 TEL: 410-730-0810  
 PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA MD 21045  
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DRAWN: PSL  
 DATE: JUNE 20, 2005  
 SCALE: AS SHOWN

DATE: 9/15/06  
 BY: [Signature]  
 REVISION: [Signature]

**ELKRIDGE - CROSSING - PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**RETAINING WALL #1 - ELEVATION AND NOTES**

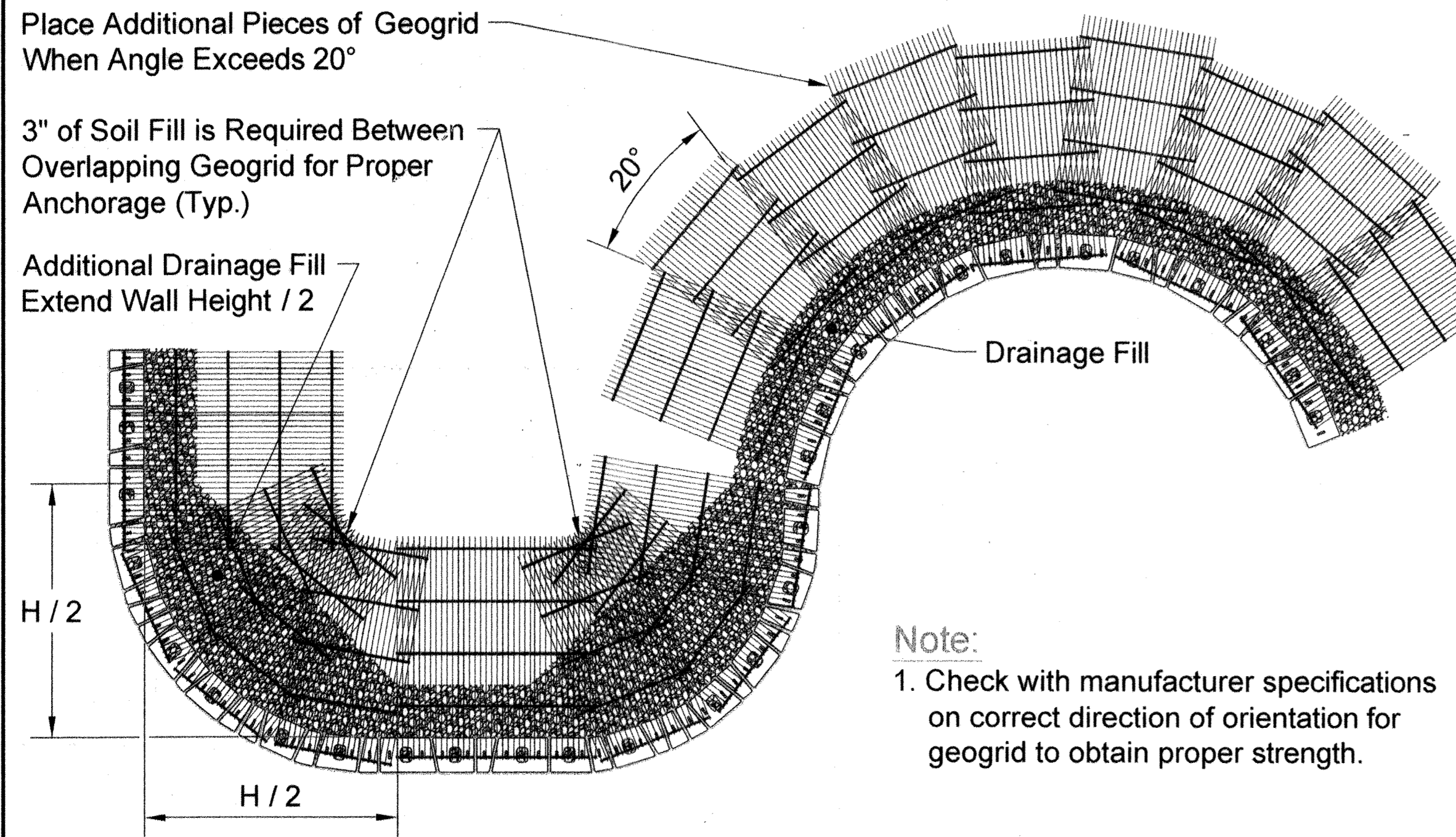
**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2828 Chemok Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-6752 Fax: 410-661-6752  
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SHEET  
 38 OF 57

Place Additional Pieces of Geogrid When Angle Exceeds 20°

3" of Soil Fill is Required Between Overlapping Geogrid for Proper Anchorage (Typ.)

Additional Drainage Fill Extend Wall Height / 2

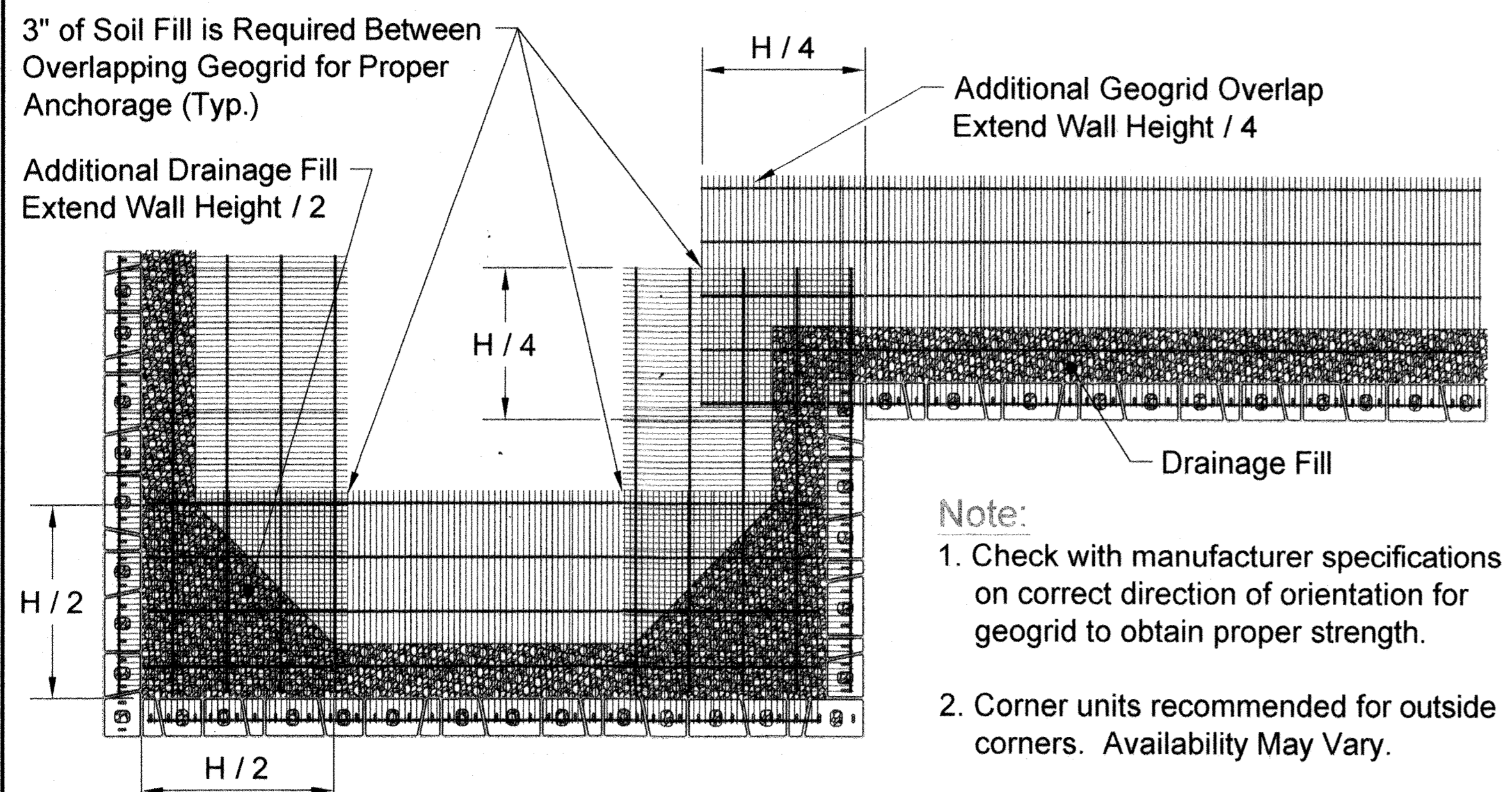


**Geogrid Installation on Curves**

**Note:**  
1. Check with manufacturer specifications on correct direction of orientation for geogrid to obtain proper strength.

3" of Soil Fill is Required Between Overlapping Geogrid for Proper Anchorage (Typ.)

Additional Drainage Fill Extend Wall Height / 2



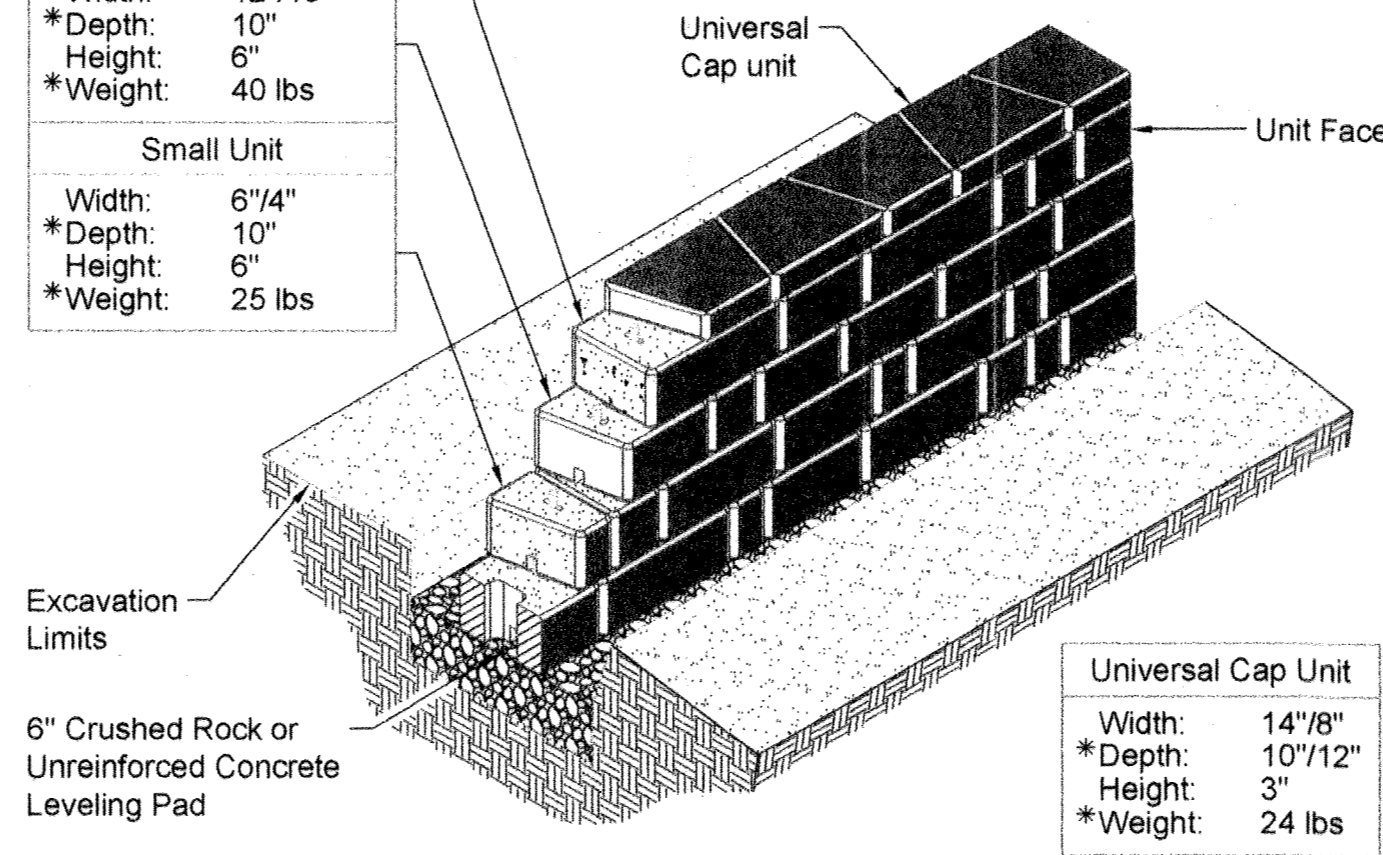
**Geogrid Installation at Corners**

**Note:**  
1. Check with manufacturer specifications on correct direction of orientation for geogrid to obtain proper strength.  
2. Corner units recommended for outside corners. Availability May Vary.

Large Unit	
Width:	16"14"
*Depth:	10"
Height:	6"
*Weight:	60 lbs
Medium Unit	
Width:	12"10"
*Depth:	10"
Height:	6"
*Weight:	40 lbs
Small Unit	
Width:	6"14"
*Depth:	10"
Height:	6"
*Weight:	25 lbs

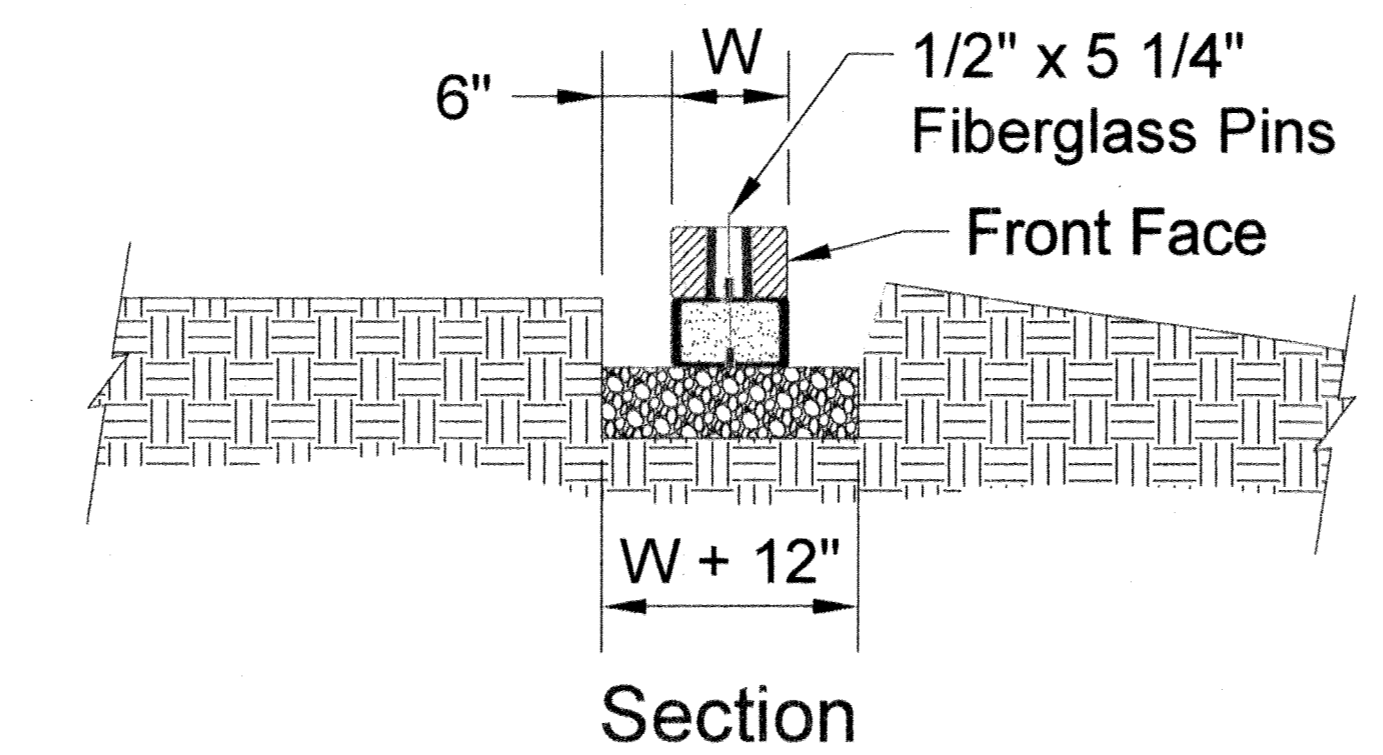
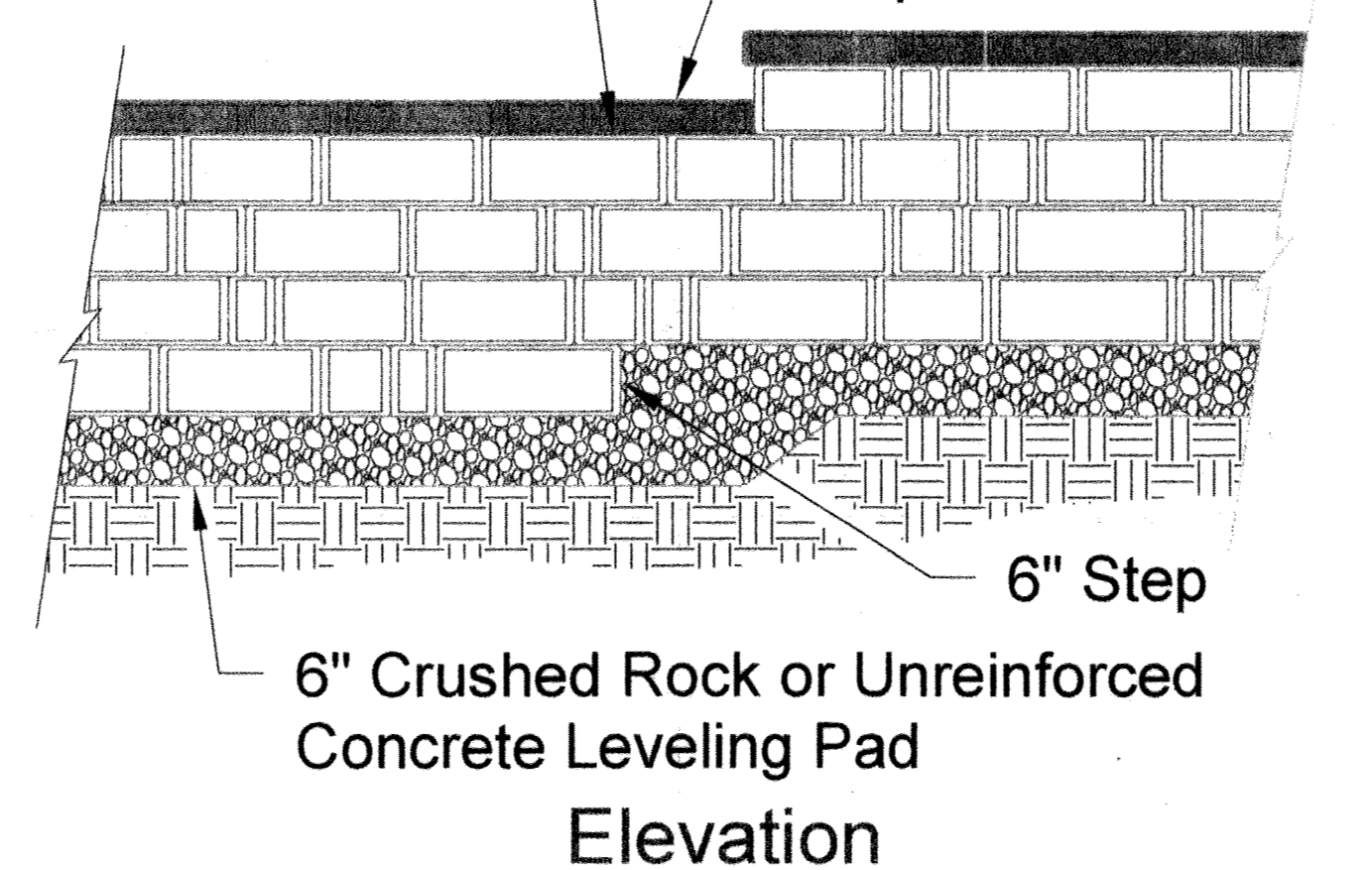
**Base Leveling Pad Notes:**

1. The leveling pad is to be constructed of crushed stone or 2,000 psi unreinforced concrete
2. The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

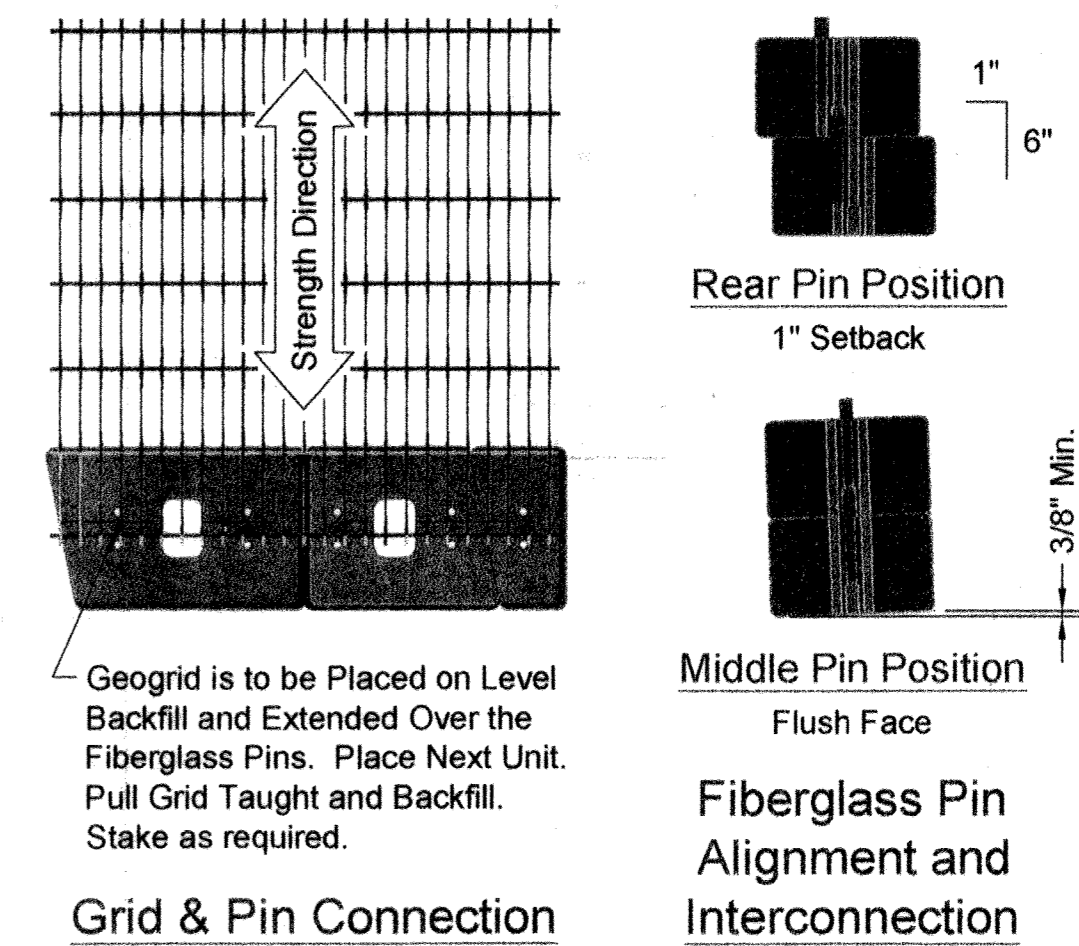


Country Manor Unit/Base Pad Isometric Section View  
Dimensions & Weight May Vary by Region

6" Country Manor Unit      3" Country Manor Cap Unit

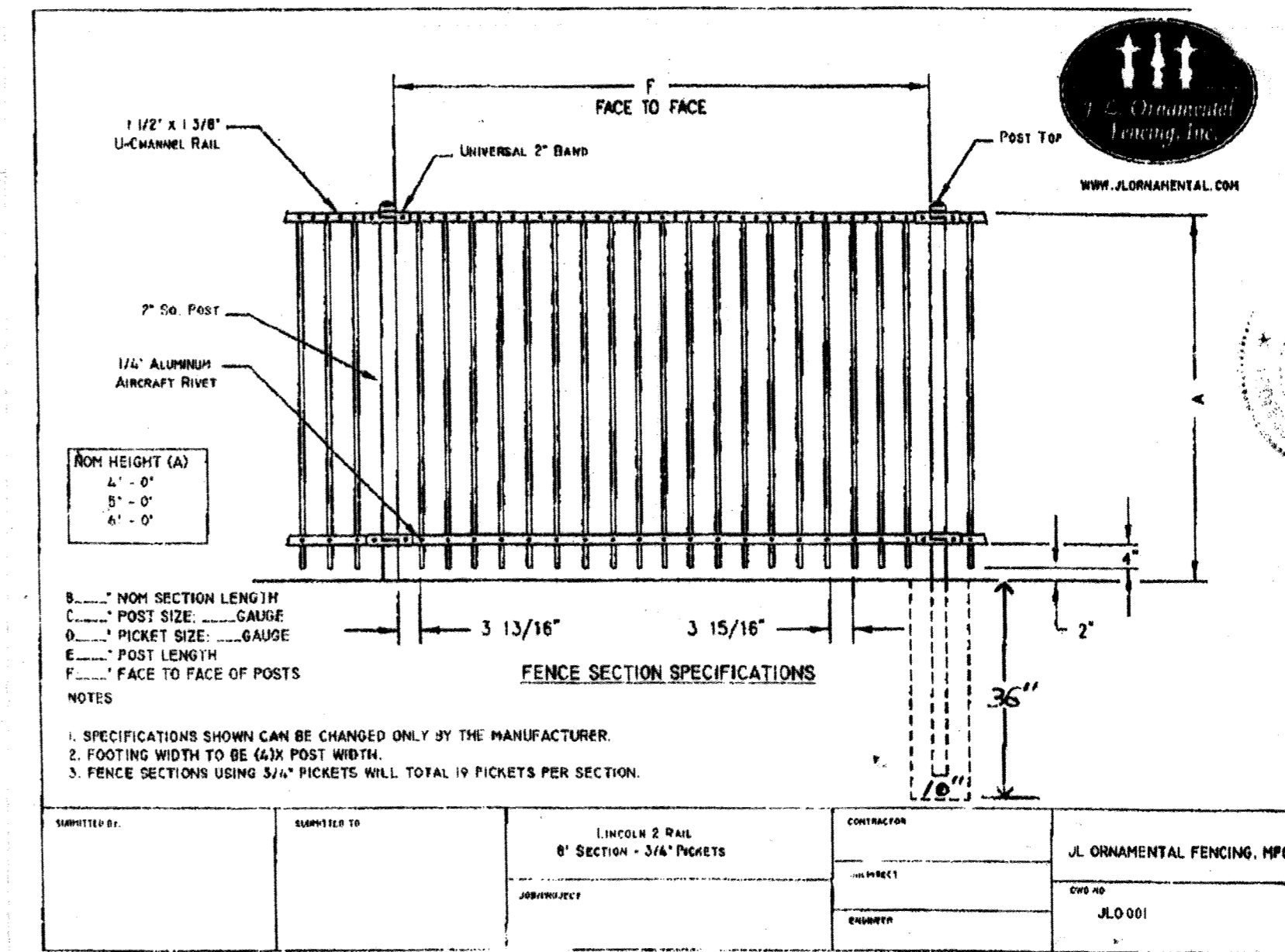
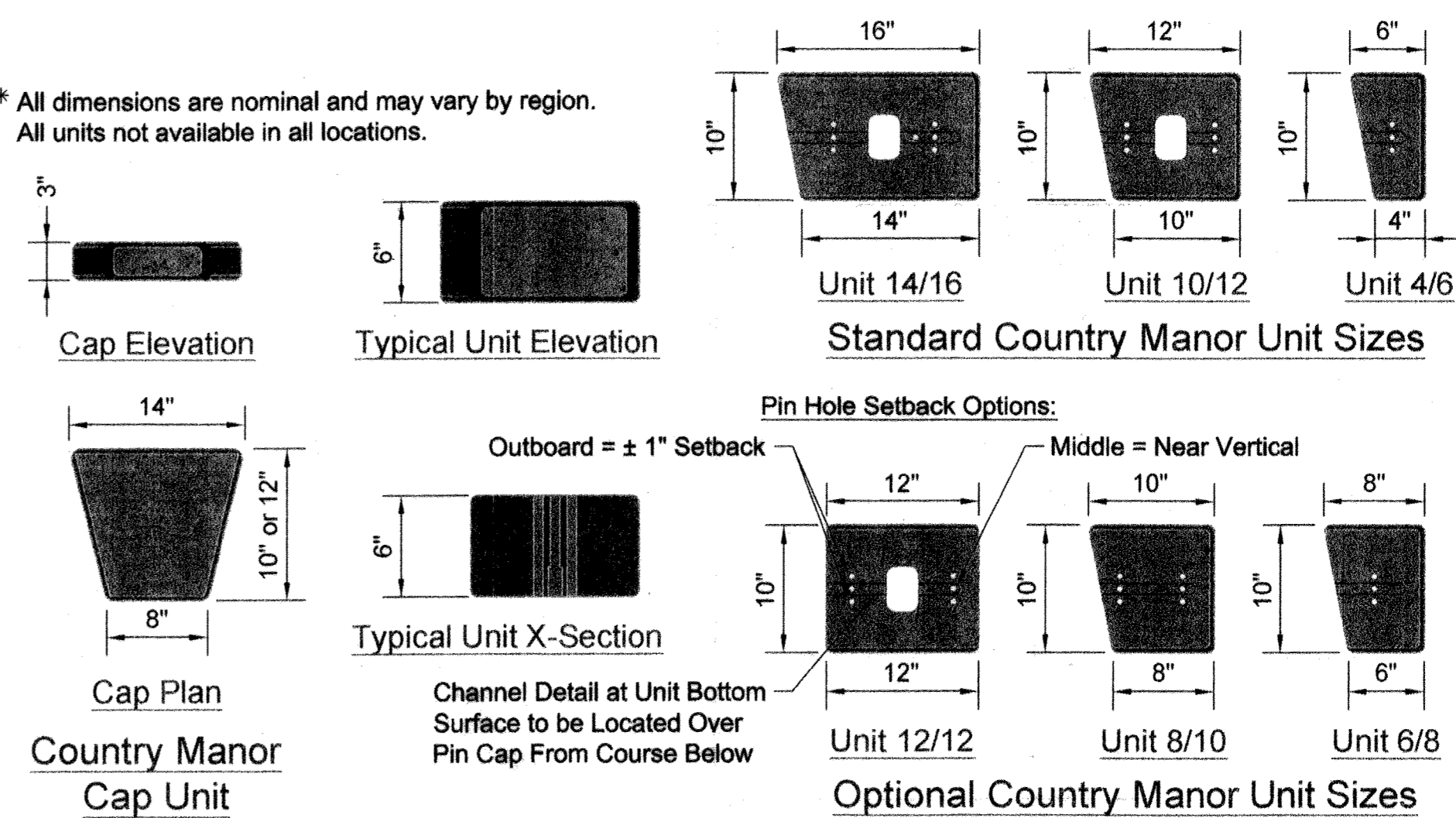


**Leveling Pad and Cap Step Detail**



**Grid & Pin Connection**

\* All dimensions are nominal and may vary by region. All units not available in all locations.



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 9/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 9/14/06  
 DIRECTOR

**OWNERS**  
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[Seal of State of Maryland] [Signature] [Seal of State of Maryland]

DRAWN: PSL  
 DATE: JUNE 20, 2005  
 SCALE: AS SHOWN

DATE: 3/25/07  
 REVISION: Add Sheet 57

ELKRIDGE - CROSSING - PHASE ONE  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 RETAINING WALL #1 - KEYSTONE COUNTRY MANOR DETAILS

JURI MAISTE - SITE DESIGN CONSULTANT  
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 HILLIS-CARNES, GEOTECHNICAL ENGINEER  
 4650 New Design Road, Suite 407, Frederick, Maryland 21703  
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SHEET 39 OF 57

SDP-04-017

# ELKRIDGE CROSSING - OFFSITE PLANTING SCHEDULE

## FOREST CONSERVATION WORKSHEET Version 1.0

**FCE- ELKRIDGE CROSSING OFFSITE # 1 - 0.93 acres**  
Planting Units Required: 651  
Planting Units Provided: 652.5

Qty	Species	Size	Spacing
4	Acer rubrum - Red maple	1" cal.	15' o.c.
4	Liriodendron tulipifera - Tulip poplar **	1" cal.	15' o.c.
4	Platanus occidentalis - Sycamore	1" cal.	15' o.c.
3	Quercus alba - White oak **	1" cal.	15' o.c.
15	total 1" caliper trees provided		
55	Acer rubrum - Red maple	2-3' whip	11' o.c.
10	Diospyros virginiana - Persimmon **	2-3' whip	11' o.c.
75	Liriodendron tulipifera - Tulip poplar **	2-3' whip	11' o.c.
40	Nyssa sylvatica - Black gum	2-3' whip	11' o.c.
30	Platanus occidentalis - Sycamore	2-3' whip	11' o.c.
40	Prunus serotina - Black cherry **	2-3' whip	11' o.c.
5	Quercus palustris - Pin oak	2-3' whip	11' o.c.
20	Ulmus rubra - Slippery Elm	2-3' whip	11' o.c.
25	Viburnum prunifolium - Blackhaw **	2-3' whip	11' o.c.
300	total whips w/shelters provided		

**FCE- ELKRIDGE CROSSING OFFSITE # 4 - 0.44 acres**  
Planting Units Required: 308  
Planting Units Provided: 314

Qty	Species	Size	Spacing
6	Acer rubrum - Red maple	1" cal.	15' o.c.
8	Liriodendron tulipifera - Tulip poplar **	1" cal.	15' o.c.
6	Platanus occidentalis - Sycamore	1" cal.	15' o.c.
4	Quercus alba - White oak **	1" cal.	15' o.c.
24	total 1" caliper trees provided		
20	Acer rubrum - Red maple	2-3' whip	11' o.c.
10	Diospyros virginiana - Persimmon **	2-3' whip	11' o.c.
15	Liriodendron tulipifera - Tulip poplar **	2-3' whip	11' o.c.
15	Nyssa sylvatica - Black gum	2-3' whip	11' o.c.
15	Platanus occidentalis - Sycamore	2-3' whip	11' o.c.
15	Prunus serotina - Black cherry **	2-3' whip	11' o.c.
10	Quercus palustris - Pin oak	2-3' whip	11' o.c.
5	Ulmus rubra - Slippery Elm	2-3' whip	11' o.c.
10	Viburnum prunifolium - Blackhaw **	2-3' whip	11' o.c.
115	total whips w/shelters provided		

**FCE- ELKRIDGE CROSSING OFFSITE # 2 - 0.43 acres**  
Planting Units Required: 301  
Planting Units Provided: 302

Qty	Species	Size	Spacing
8	Acer rubrum - Red maple	1" cal.	15' o.c.
10	Liriodendron tulipifera - Tulip poplar **	1" cal.	15' o.c.
6	Platanus occidentalis - Sycamore	1" cal.	15' o.c.
6	Quercus alba - White oak **	1" cal.	15' o.c.
32	total 1" caliper trees provided		
20	Acer rubrum - Red maple	2-3' whip	11' o.c.
5	Diospyros virginiana - Persimmon **	2-3' whip	11' o.c.
20	Liriodendron tulipifera - Tulip poplar **	2-3' whip	11' o.c.
6	Nyssa sylvatica - Black gum	2-3' whip	11' o.c.
6	Platanus occidentalis - Sycamore	2-3' whip	11' o.c.
10	Prunus serotina - Black cherry **	2-3' whip	11' o.c.
8	Quercus palustris - Pin oak	2-3' whip	11' o.c.
10	Ulmus rubra - Slippery Elm	2-3' whip	11' o.c.
10	Viburnum prunifolium - Blackhaw **	2-3' whip	11' o.c.
95	total whips w/shelters provided		

**FCE- ELKRIDGE CROSSING OFFSITE # 14 - 3.3 acres**  
Planting Units Required: 2310  
Planting Units Provided: 2318

Qty	Species	Size	Spacing
6	Acer rubrum - Red maple	1" cal.	15' o.c.
8	Liriodendron tulipifera - Tulip poplar **	1" cal.	15' o.c.
6	Platanus occidentalis - Sycamore	1" cal.	15' o.c.
8	Quercus alba - White oak **	1" cal.	15' o.c.
28	total 1" caliper trees provided		
250	Acer rubrum - Red maple	2-3' whip	11' o.c.
40	Diospyros virginiana - Persimmon **	2-3' whip	11' o.c.
250	Liriodendron tulipifera - Tulip poplar **	2-3' whip	11' o.c.
100	Nyssa sylvatica - Black gum	2-3' whip	11' o.c.
170	Platanus occidentalis - Sycamore	2-3' whip	11' o.c.
60	Prunus serotina - Black cherry **	2-3' whip	11' o.c.
140	Quercus palustris - Pin oak	2-3' whip	11' o.c.
80	Ulmus rubra - Slippery Elm	2-3' whip	11' o.c.
20	Viburnum prunifolium - Blackhaw **	2-3' whip	11' o.c.
1110	total whips w/shelters provided		

**FCE- ELKRIDGE CROSSING OFFSITE # 3 - 2.04 acres**  
Planting Units Required: 1428  
Planting Units Provided: 1437

Qty	Species	Size	Spacing
25	Acer rubrum - Red maple	1" cal.	15' o.c.
35	Liriodendron tulipifera - Tulip poplar **	1" cal.	15' o.c.
18	Platanus occidentalis - Sycamore	1" cal.	15' o.c.
24	Quercus alba - White oak **	1" cal.	15' o.c.
102	total 1" caliper trees provided		
70	Acer rubrum - Red maple	2-3' whip	11' o.c.
15	Diospyros virginiana - Persimmon **	2-3' whip	11' o.c.
120	Liriodendron tulipifera - Tulip poplar **	2-3' whip	11' o.c.
50	Nyssa sylvatica - Black gum	2-3' whip	11' o.c.
70	Platanus occidentalis - Sycamore	2-3' whip	11' o.c.
75	Prunus serotina - Black cherry **	2-3' whip	11' o.c.
50	Quercus palustris - Pin oak	2-3' whip	11' o.c.
40	Ulmus rubra - Slippery Elm	2-3' whip	11' o.c.
50	Viburnum prunifolium - Blackhaw **	2-3' whip	11' o.c.
540	total whips w/shelters provided		

**FCE- ELKRIDGE CROSSING OFFSITE # 15 - 0.53 acres**  
Planting Units Required: 371  
Planting Units Provided: 378

Qty	Species	Size	Spacing
4	Acer rubrum - Red maple	1" cal.	15' o.c.
4	Liriodendron tulipifera - Tulip poplar **	1" cal.	15' o.c.
4	Platanus occidentalis - Sycamore	1" cal.	15' o.c.
3	Quercus alba - White oak **	1" cal.	15' o.c.
15	total 1" caliper trees provided		
25	Acer rubrum - Red maple	2-3' whip	11' o.c.
12	Diospyros virginiana - Persimmon **	2-3' whip	11' o.c.
20	Liriodendron tulipifera - Tulip poplar **	2-3' whip	11' o.c.
25	Nyssa sylvatica - Black gum	2-3' whip	11' o.c.
25	Platanus occidentalis - Sycamore	2-3' whip	11' o.c.
10	Prunus serotina - Black cherry **	2-3' whip	11' o.c.
20	Quercus palustris - Pin oak	2-3' whip	11' o.c.
15	Ulmus rubra - Slippery Elm	2-3' whip	11' o.c.
10	Viburnum prunifolium - Blackhaw **	2-3' whip	11' o.c.
162	total whips w/shelters provided		

Project: Elkridge Crossing  
Date: February 14, 2008

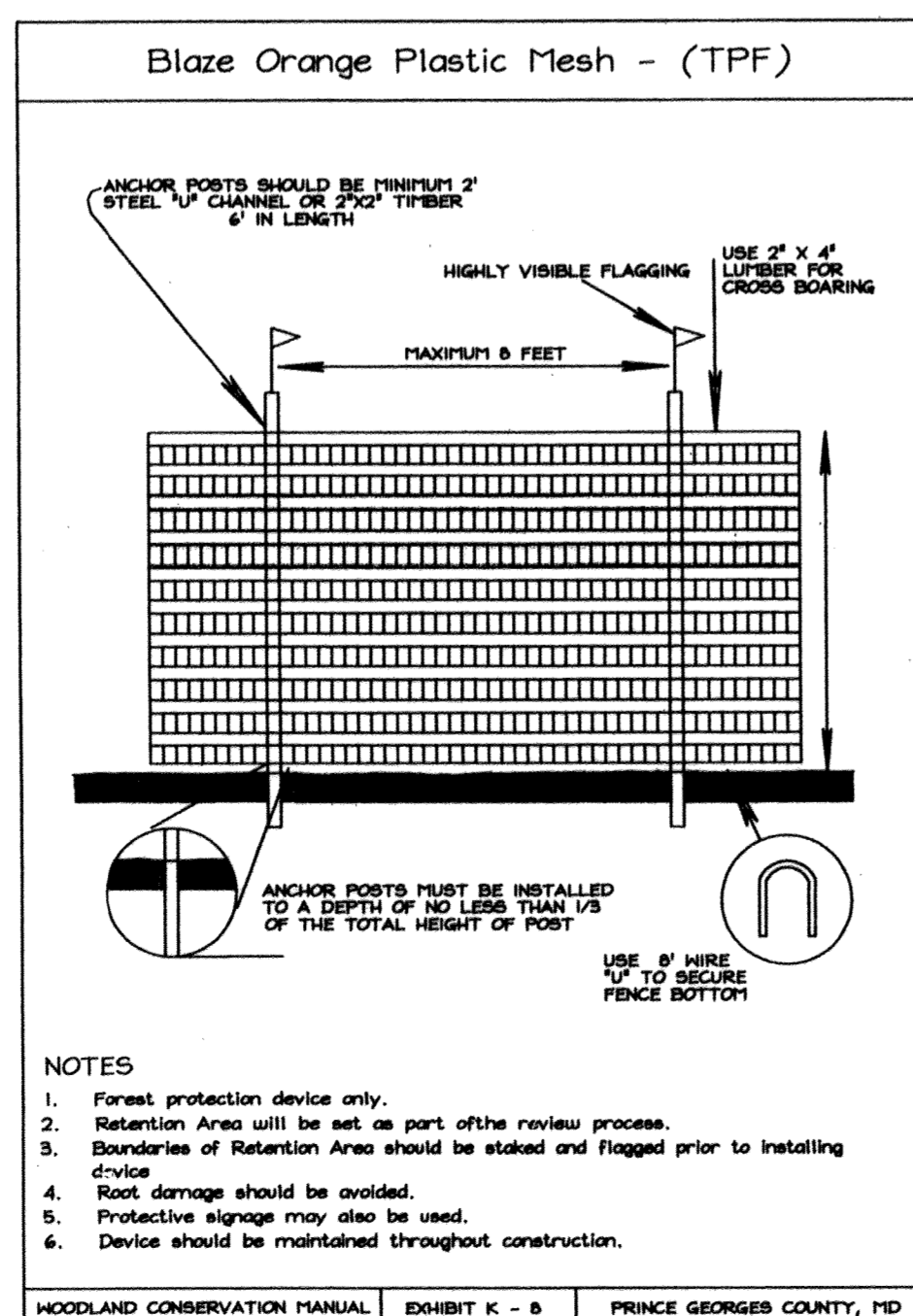
NET TRACT AREA	Acres
A. Total tract area	26.5
B. Area within 100 Year Floodplain	0
C. Area to remain in agricultural production	0
D. Net Tract Area	26.5
LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)	
ARA MDR IDA HDR MPD CIA	1
E. Afforestation Threshold (percentage)	15% 4.0
F. Conservation Threshold (percentage)	15% 4.0
EXISTING FOREST COVER:	
G. Existing Forest Cover (excluding floodplain)	12.4
H. Area of forest above afforestation threshold	8.4
I. Area of forest above conservation threshold	8.4
BREAK EVEN POINT:	
J. Forest retention above threshold with no mitigation	1.7
Break-Even Point	5.7
K. Clearing permitted without mitigation	6.7
PROPOSED FOREST CLEARING	
L. Total area of forest to be Cleared	12.4
M. Total area of forest to be Retained in FCE	0.0
PLANTING REQUIREMENTS	
N. Reforestation for clearing above Conservation Threshold	2.1
P. Reforestation for clearing below Conservation Threshold	8.0
Q. Credit for retention above conservation threshold	0
R. Total reforestation required	10.1
S. Total afforestation required	0
T. Total reforestation and afforestation required	10.1

### Planting Notes:

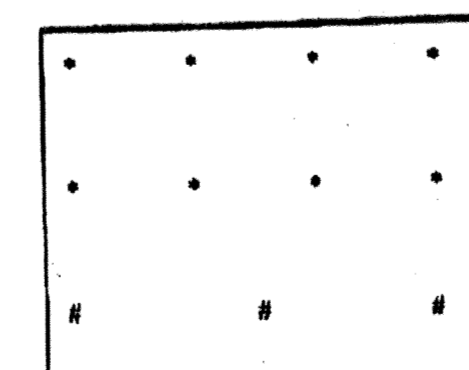
- Planting density based spacing requirements: 2" caliper trees @ 20' on center, 1" caliper trees @ 15' on center, whips with shelter @ 11' on center.
- \*\* - These species should not be planted within the wetland limits.
- 1" caliper trees should be staggered along the outer perimeter of the planting area to serve as demarcation of the boundary. The trees should be no closer than 15 foot spacing.
- Planting shall be made in a curvilinear fashion along contour. The planting should avoid a grid appearance but should be spaced to facilitate maintenance
- Multiflora rose/heavy brush removal/control may be required prior to installation of planting.
- All whips are required to be installed with tree shelters per Howard County FCA requirements.
- Planting units defined by the spacing requirements established in the FCA Manual. One plant unit is defined as 1 seedling or whip without shelter. The Manual states that 700 seedlings/whips without shelters are required per acre, or 350 whips w/shelters, or 200 1" caliper trees, or 100 2" caliper trees. By conversion it has been determined that a seedling or whip without shelter = 1 unit, whip with shelter = 2 units, 1" caliper tree = 3.5 units and 2" caliper tree = 7 units. The use of plant units simplifies the plant density calculations when mixing stock size.

### Offsite FCE Credit Breakdown for Elkridge Crossing

FCE #	Acres to be Planted	Acres to be Retained	Total FCE credit-acres	Location
1	1.91		1.91	Brantwood 2-1
2	0.88		0.88	Brantwood 2-1
3	2.04		2.04	Brantwood 2-1
4	0.44		0.44	Brantwood 2-1
10		1.86	0.93	Ellicott Meadows
13		0.66	0.33	Ellicott Meadows
14	3.3		3.3	Ellicott Meadows
15	0.53		0.53	Ellicott Meadows
Total	9.10	2.52	10.36	



### Planting Spacing Diagram

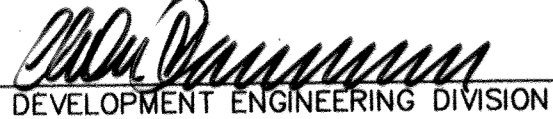

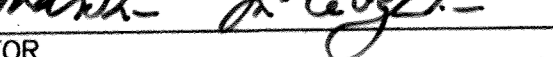


\* - whip w/shelter 11' on center spacing  
# - 1" caliper tree 15' on center spacing  
Species shall be randomly interspersed, rows should be planting along contours

### PROJECT NOTES

- The forest Conservation obligation for this plan and all other phases of Elkridge Crossing has been met by providing 5.27 acres of offsite reforestation at Brantwood, 2/1, Pres. Parcel F and 2.52 acres of offsite retention (only 50% acreage credit) and 3.83 acres of offsite reforestation at Ellicott Meadows, TM 16, BLK 22, TM Parcel 99.
- The offsite planting plan for Elkridge Crossing was prepared by Eco-Science Professionals, Inc. The base plan for the Brantwood community was prepared by Wildman Environmental Services, Inc.
- The FCE locations shown on these Offsite Forest Conservation Plan sheets are for illustrative purposes only. The actual limits are shown by metes and bounds on the Plat of Revision for Brantwood Section 2 Area 1 and Ellicott Meadows.
- All FCP notes are shown on the Elkridge Crossing Forest Conservation Plan sheet.
- Any Forest Conservation Easement (FCE) area shown hereon is subject to protective covenants which may be found in the Land Records of Howard County which restrict the disturbance and use of these areas.
- Forested areas occurring outside of the FCE shall not be considered part of the FCE and shall not be subject to protective land covenants.
- Limits of disturbance shall be restricted to areas outside the limit of temporary fencing or the FCE boundary, whichever is greater.
- There shall be no clearing, grading, construction or disturbance of vegetation in the Forest Conservation Easement, except as permitted by Howard County DPZ.
- No stockpiles, parking areas, equipment cleaning areas, etc. shall occur within areas designated as Forest Conservation Easements.
- Temporary fencing shall be used to protect forest resources during construction. The fencing shall be placed along all FCE boundaries which occur within 15 feet of the proposed limits of disturbance.
- Permanent signage shall be placed 50-100' apart along the boundaries of all areas included in Forest Conservation Easements.
- The existing conditions of the forest retention easements are reported in the Bagher Property Forest Stand Delineation Report prepared by Eco-Science Professionals, Inc. November 2004. The conditions reported therein accurately reflect the existing site conditions. Since the original FSD report for the Bagher Property was performed and accepted by Howard County within five years of the date this submission the information is considered valid for the purpose of this submission.
- Area for proposed reforestation have been field review and do not currently meet the County's definition of forest.
- Forest Conservation surety in the amount of \$114,780.60 for 5.27 acres of offsite reforestation at Brantwood, 2/1, Pres. Parcel F has been posted as a part of the Developer's Agreement.
- Forest Conservation surety in the amount of \$21,954.24 for 2.52 acres of offsite retention and \$83,417.40 for 3.83 acres of offsite reforestation at Ellicott Meadows, TM 16, BLK 22, TM Parcel 99, totaling \$105,371.64 has been posted as a part of the Developer's Agreement.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

 9/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
 9/14/06  
 DIRECTOR DATE

MIN. 11"

FOREST CONSERVATION EASEMENT

Unauthorized disturbance of vegetation is prohibited. Violators are subject to fines as imposed by the Howard County Forest Conservation Act of 1992

Trees for Your Future

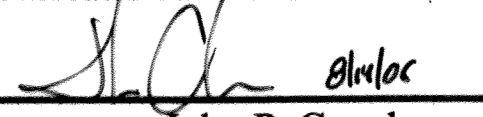
OWNERS

PARCEL 30 - GWENRIDGE, LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA, MD 21045  
TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA, MD 21045  
TEL: 410-730-3961

Eco-Science Professionals, Inc.  
Consulting Ecologists  
P.O. Box 2006 Glen Arm, Maryland 21057 Telephone (410) 592-4732 Fax (410) 512-3488

MD DNR Qualified Professional  
USACOE Wetland Delineator  
Certification # WDCP93MD0610044B2

  
John P. Canoles

DRAWN: J.M.  
DATE: APRIL 27, 2005

DATE: 5/29/06  
BY: JCC  
REVISION: Add Sheet 57

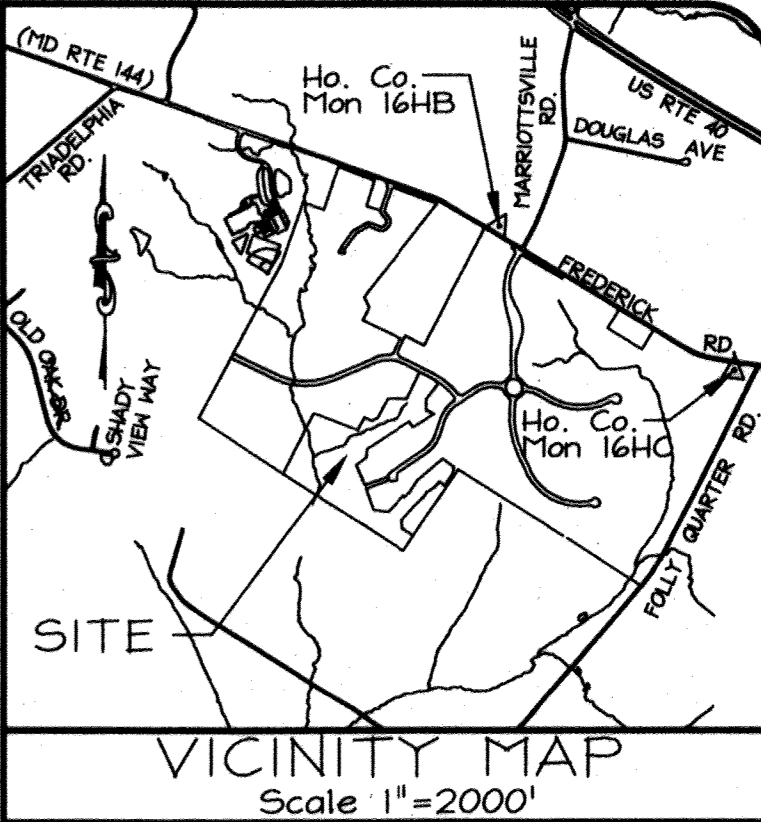
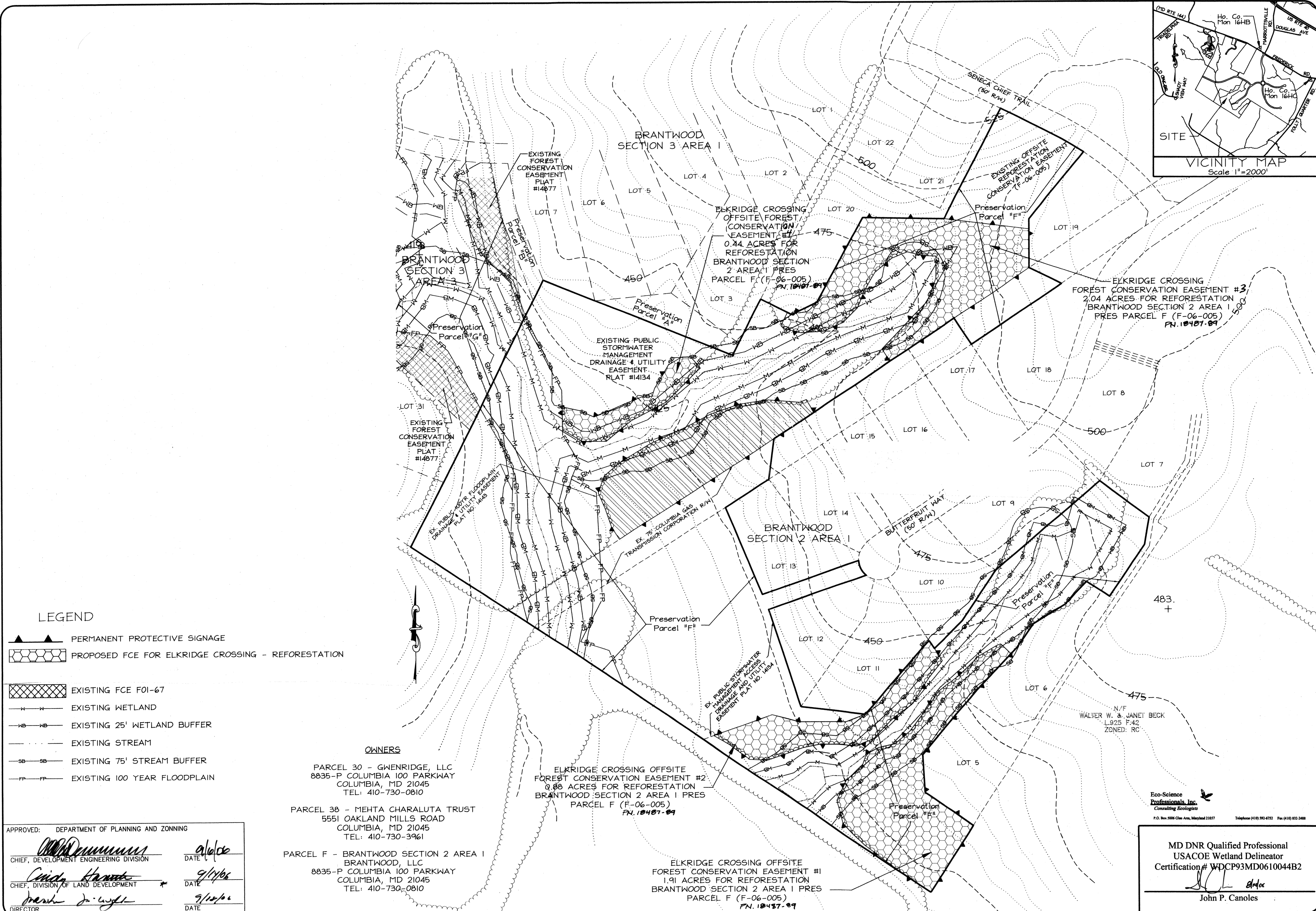
ELKRIDGE - CROSSING - PHASE ONE  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
FOREST - CONSERVATION - PLAN

JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Chemoak Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8762  
RICHARDSON ENGINEERING, LLC  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET 40 OF 57

SDP-04-017





DRAWN: J.M.  
 DATE: APRIL 27, 2005  
 SCALE: 1" = 100'

DATE	REVISION
5/25/02	Add Sheet 57

**ELKRIDGE-CROSSING-PHASE ONE**  
**PARCELS A-E**  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**FOREST-CONSERVATION-PLAN**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2923 Chennet Avenue, Baltimore, Maryland 21284  
 Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Federal Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-660-1602 Fax: 410-660-0827

**LEGEND**

- PERMANENT PROTECTIVE SIGNAGE
- PROPOSED FCE FOR ELKRIDGE CROSSING - REFORESTATION
- EXISTING FCE F01-67
- EXISTING WETLAND
- EXISTING 25' WETLAND BUFFER
- EXISTING STREAM
- EXISTING 75' STREAM BUFFER
- EXISTING 100 YEAR FLOODPLAIN

**OWNERS**

PARCEL 30 - GWENRIDGE, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MD 21045  
 TEL: 410-730-0810

PARCEL 38 - MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA, MD 21045  
 TEL: 410-730-3961

PARCEL F - BRANTWOOD SECTION 2 AREA 1  
 BRANTWOOD, LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MD 21045  
 TEL: 410-730-0810

ELKRIDGE CROSSING OFFSITE  
 FOREST CONSERVATION EASEMENT #2  
 0.86 ACRES FOR REFORESTATION  
 BRANTWOOD SECTION 2 AREA 1 PRES  
 PARCEL F (F-06-005)  
 PN. 18487-89

ELKRIDGE CROSSING OFFSITE  
 FOREST CONSERVATION EASEMENT #1  
 1.91 ACRES FOR REFORESTATION  
 BRANTWOOD SECTION 2 AREA 1 PRES  
 PARCEL F (F-06-005)  
 PN. 18487-89

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 9/14/06  
  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 9/14/06  
  
 DIRECTOR  
 DATE: 9/14/06

Eco-Science  
**Professionals, Inc.**  
 Consulting Ecologists  
 P.O. Box 5006 Glen Arm, Maryland 21057 Telephone (410) 592-6752 Fax (410) 832-2488

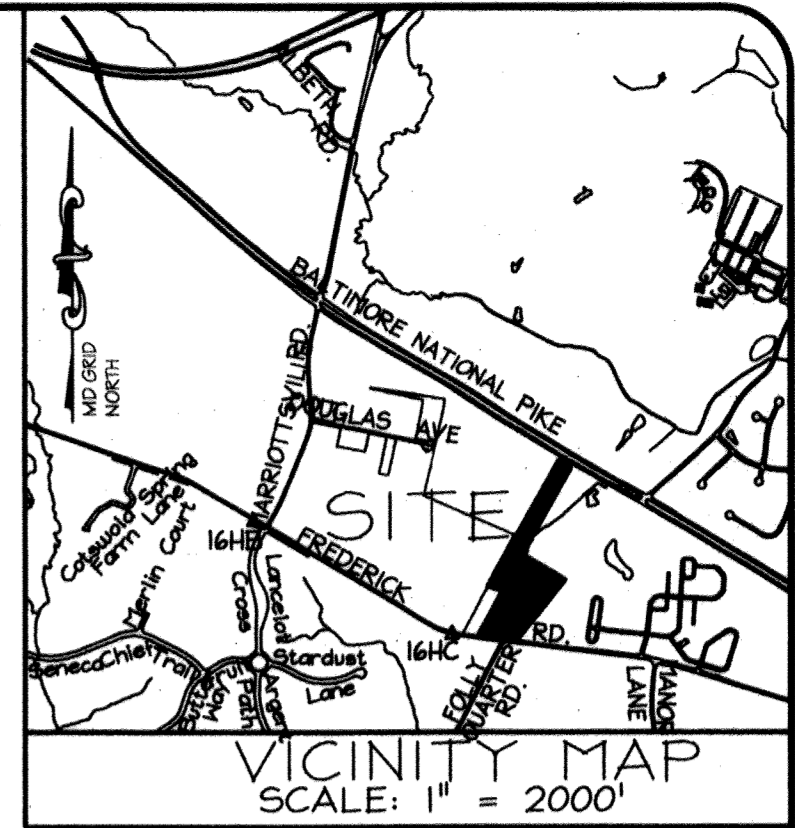
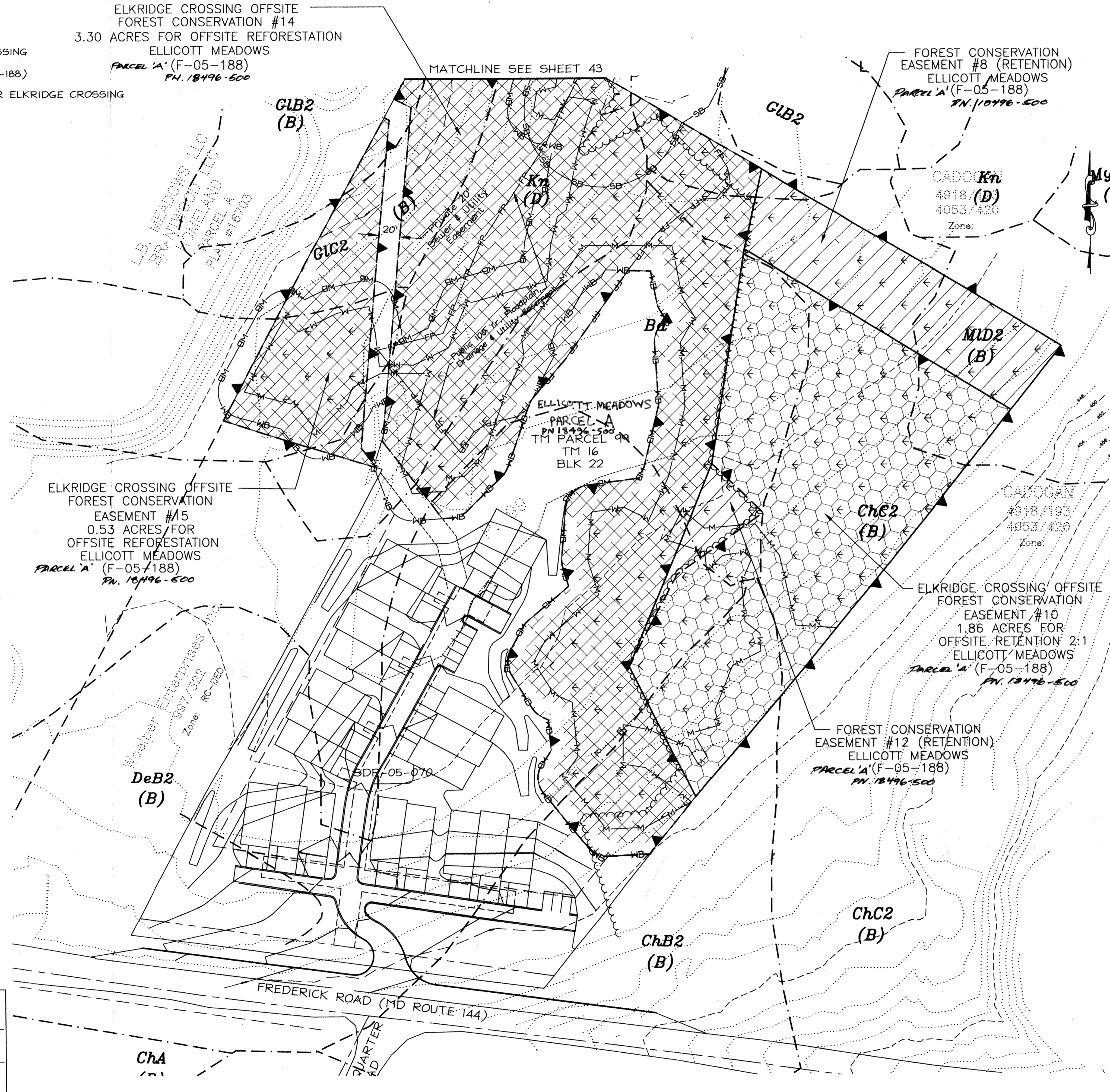
MD DNR Qualified Professional  
 USACOE Wetland Delineator  
 Certification # WDPC93MD0610044B2  
  
 John P. Canoles

SDP-04-017

LEGEND

- PERMANENT PROTECTIVE SIGNAGE
- PROPOSED FCE FOR ELKRIDGE CROSSING
- FCE FOR ELLICOTT MEADOWS (F-05-188)
- PROPOSED REFORESTATION FCE FOR ELKRIDGE CROSSING
- EXISTING WETLAND
- EXISTING 25' WETLAND BUFFER
- EXISTING STREAM
- EXISTING 75' STREAM BUFFER
- EXISTING 100 YEAR FLOODPLAIN
- EXISTING TREE LINE

ELKRIDGE CROSSING OFFSITE  
FOREST CONSERVATION #14  
3.30 ACRES FOR OFFSITE REFORESTATION  
ELLICOTT MEADOWS  
PARCEL 'A' (F-05-188)  
PN. 18496-500



DRAWN: J.M.  
DATE: APRIL 27, 2005  
SCALE: 1" = 50'

DATE	REVISION	BY	FILE
5/25/21	ADD SHEET 57		

**ELKRIDGE-CROSSING-PHASE ONE**  
PARCELS A-F  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**FOREST-CONSERVATION-PLAN**

ELKRIDGE CROSSING OFFSITE  
FOREST CONSERVATION  
EASEMENT #15  
0.53 ACRES FOR  
OFFSITE REFORESTATION  
ELLICOTT MEADOWS  
PARCEL 'A' (F-05-188)  
PN. 18496-500

FOREST CONSERVATION  
EASEMENT #8 (RETENTION)  
ELLICOTT MEADOWS  
PARCEL 'A' (F-05-188)  
PN. 18496-500

CADON Kn  
4918/420  
4053/420  
Zone:

CADON  
4918/420  
4053/420  
Zone:

ELKRIDGE CROSSING OFFSITE  
FOREST CONSERVATION  
EASEMENT #10  
1.86 ACRES FOR  
OFFSITE RETENTION 2:1  
ELLICOTT MEADOWS  
PARCEL 'A' (F-05-188)  
PN. 18496-500

FOREST CONSERVATION  
EASEMENT #12 (RETENTION)  
ELLICOTT MEADOWS  
PARCEL 'A' (F-05-188)  
PN. 18496-500

- OWNERS:**
- Parcel 30 - Guenridge, LLC  
8835 P Columbia 100 Parkway  
Columbia, MD 21045  
Tel: 410-730-0810
  - Parcel 38 - Mehta Charalata Trust  
5551 Oakland Mills Road  
Columbia, MD 21045  
Tel: 410-730-3961
  - Parcel 99 - Brantly Development Corporation  
8835 P Columbia 100 Parkway  
Columbia, MD 21045  
Tel: 410-730-0810

Eco-Science  
Professionals, Inc.  
Consulting Ecologists  
P.O. Box 5004 Clow Arms, Maryland 21057 Telephone (410) 992-0752 Fax (410) 932-2488

MD DNR Qualified Professional  
USACOE Wetland Delineator  
Certification # WDCP93MD0610044B2  
*J.P. Canoles*  
John P. Canoles





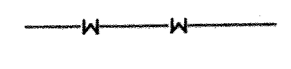
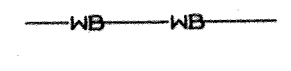
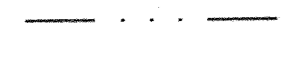

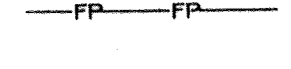

APPROVED: DEPARTMENT OF PLANNING AND ZONING

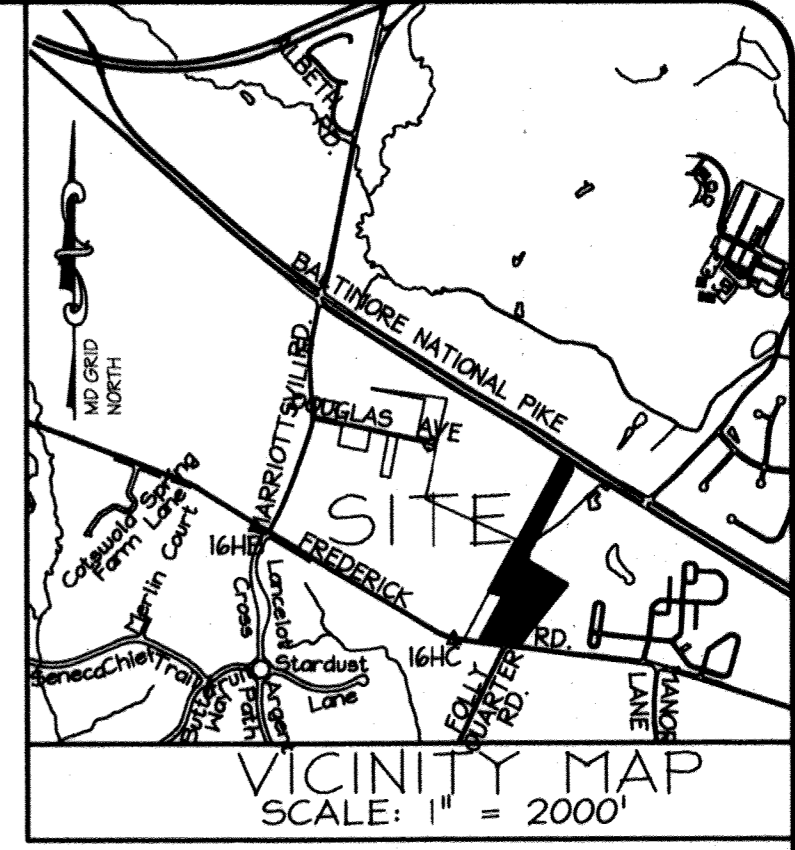
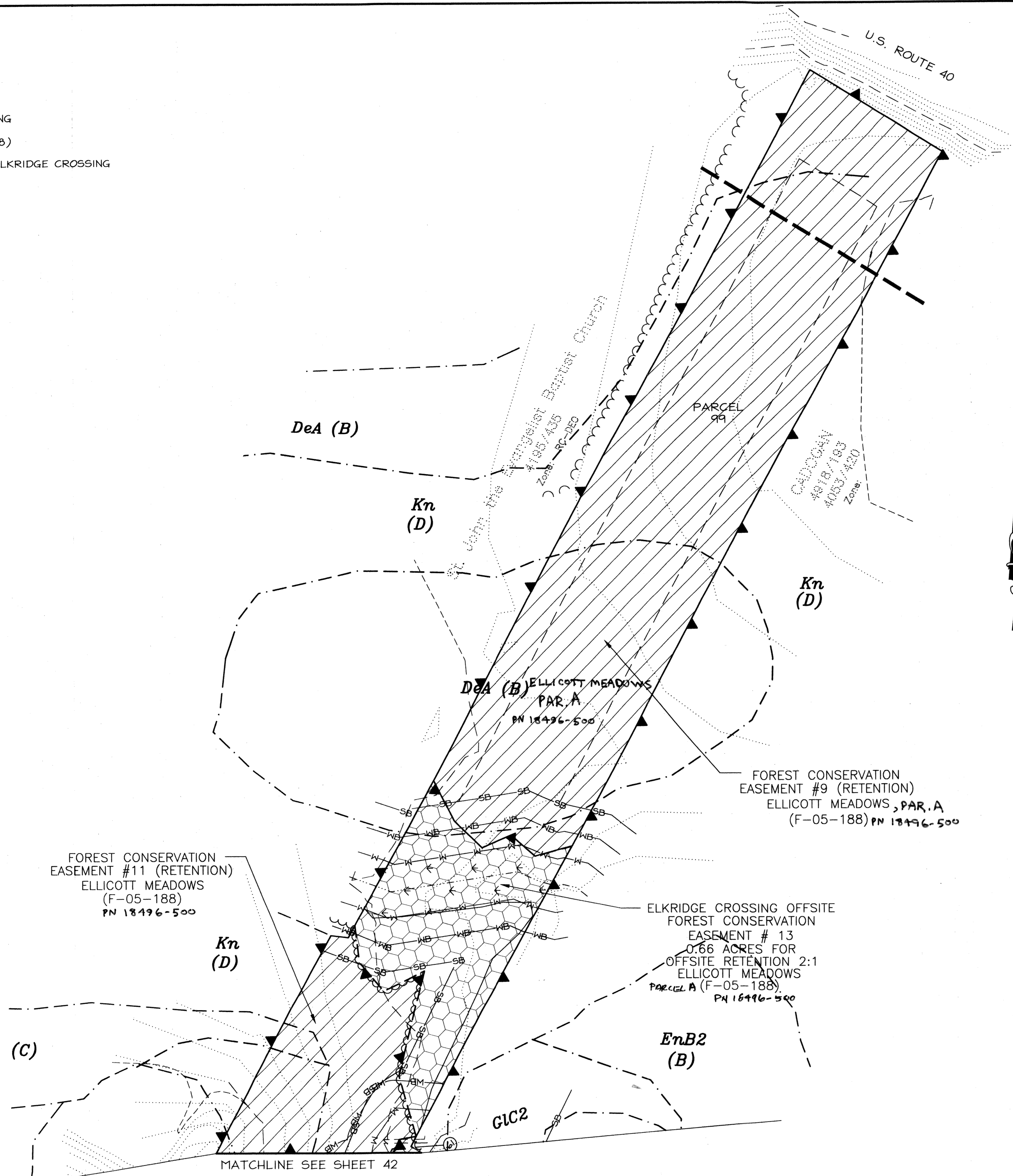
<i>[Signature]</i>	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	9/16/06
<i>[Signature]</i>	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	9/14/06
<i>[Signature]</i>	DATE
DIRECTOR	9/14/06

JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Chesaok Avenue, Baltimore, Maryland 21284  
Phone: 410-661-8752 Fax: 410-661-8752  
RICHARDSON ENGINEERING, LLC  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SDP-04-017

LEGEND

-  PERMANENT PROTECTIVE SIGNAGE
-  PROPOSED FCE FOR ELKRIDGE CROSSING
-  FCE FOR ELLICOTT MEADOWS (F-05-188)
-  PROPOSED REFORESTATION FCE FOR ELKRIDGE CROSSING
-  EXISTING WETLAND
-  EXISTING 25' WETLAND BUFFER
-  EXISTING STREAM
-  EXISTING 75' STREAM BUFFER
-  EXISTING 100 YEAR FLOODPLAIN
-  EXISTING TREE LINE



DRAWN: J.M.  
DATE: APRIL 27, 2005  
SCALE: 1" = 50'

DATE: 3/25/06  
BY: J.M.  
CHECKED: J.M.  
SCALE: 1" = 50'

**ELKRIDGE-CROSSING—PHASE ONE**  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**FOREST-CONSERVATION—PLAN**

**JURI MAIESTE - SITE DESIGN CONSULTANT**  
2928 Chomok Avenue, Baltimore, Maryland 21284  
Phone: 410-661-8762 Fax: 410-661-8762  
**RICHARDSON ENGINEERING, LLC**  
730 T. Padonia Road, Suite 401, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

**OWNERS:**  
Parcel 30 - Guenridge, LLC  
8835 P Columbia 100 Parkway  
Columbia, MD 21045  
Tel: 410-730-0810  
Parcel 38 - Mehta Charaluta Trust  
5551 Oakland Mills Road  
Columbia, MD 21045  
Tel: 410-730-3961  
Parcel 99 - Brantly Development Corporation  
8835 P Columbia 100 Parkway  
Columbia, MD 21045  
Tel: 410-730-0810

Eco-Science  
Professionals, Inc.  
Consulting Ecologists  
P.O. Box 2006 Glen Arm, Maryland 21057 Telephone (410) 592-8732 Fax (410) 512-2488

MD DNR Qualified Professional  
USACOE Wetland Delineator  
Certification # WDGP3MD0610044B2  
*J.P. Canoles* 8/1/06  
John P. Canoles

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* DATE: 4/16/06  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
*[Signature]* DATE: 9/14/06  
CHIEF, DIVISION OF LAND DEVELOPMENT  
*[Signature]* DATE: 9/14/06  
DIRECTOR

SHEET  
43 OF 57

SDP-04-017

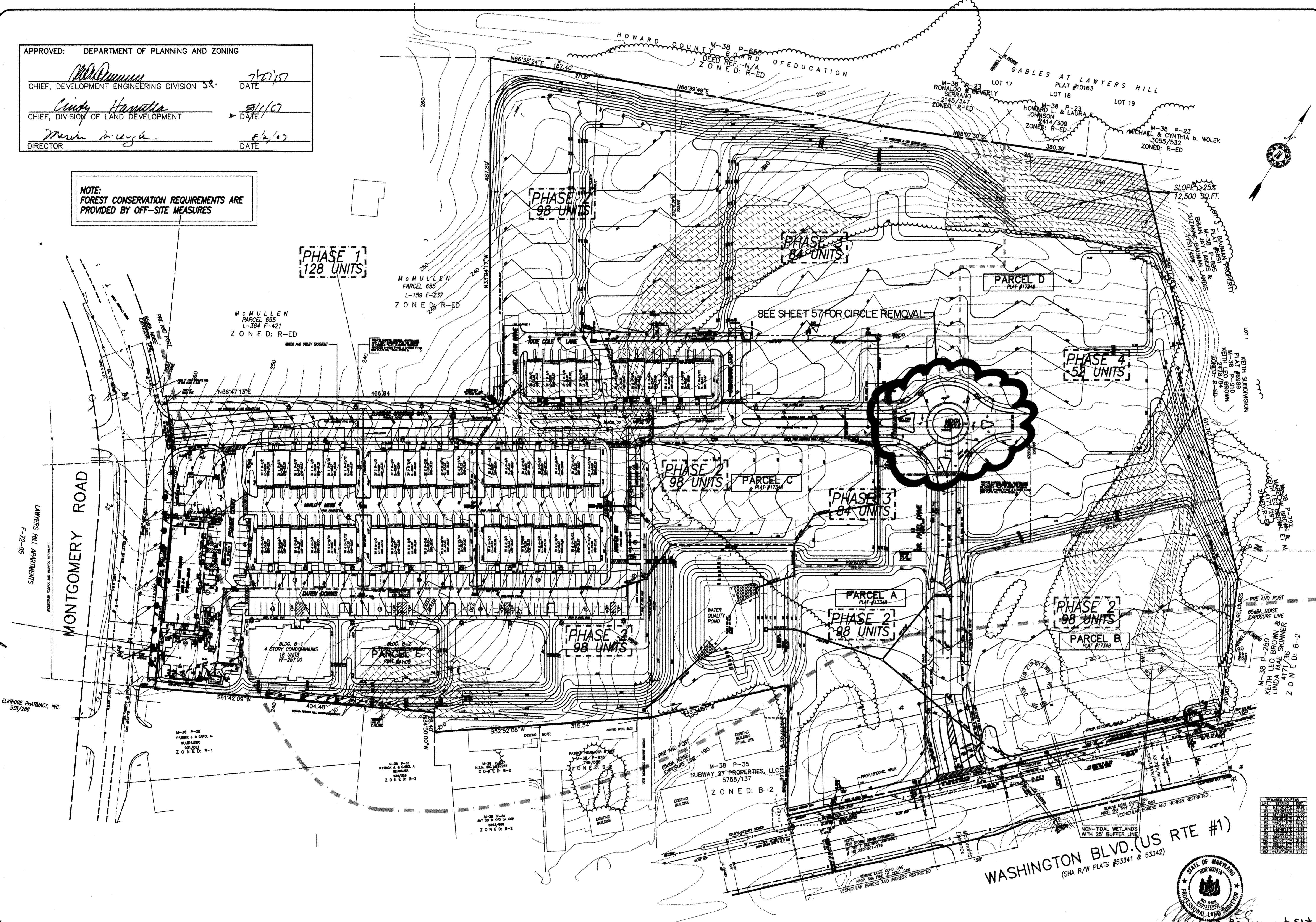
APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 2/27/17  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION SR. DATE

*[Signature]* 5/1/17  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 6/2/17  
 DIRECTOR DATE

NOTE:  
 FOREST CONSERVATION REQUIREMENTS ARE  
 PROVIDED BY OFF-SITE MEASURES



DRAWN: J.M.  
 DATE: JUNE 15, 2017  
 SCALE: 1"=60'

REVISION	DATE	BY	DESCRIPTION
1	3/22/17	J.M.	Remove Traffic Circle

**ELKRIDGE-CROSSING - PHASE ONE**  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 SECOND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**FOREST\*CONSERVATION\*PLAN**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
 2928 Chensack Avenue, Baltimore, Maryland 21284  
 Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-660-1502 Fax: 410-660-0827

SHEET  
 44 OF 57



WASHINGTON BLVD. (US RTE #1)  
 (SHA R/W PLATS #53341 & 53342)

SDP-04-017

McMULLEN  
PARCEL 655  
L-364 F-421  
ZONED: R-ED

McMULLEN  
PARCEL 655  
L-159 F-237  
ZONED: R-ED

PHASE 1  
128 UNITS

PARCEL D  
PLAT #

SEE SHEET 57 FOR CIRCLE REMOVAL

PARCEL C  
PLAT #

PARCEL A  
PLAT #

PARCEL E  
PLAT #

BLDG. B-1  
4 STORY CONDOMINIUMS  
16 UNITS  
FF-250.15

BLDG. B-2  
4 STORY CONDOMINIUMS  
16 UNITS  
FF-239.85

M-38 P-28  
NUUBAUER  
931/021  
ZONED: B-1

M-38 P-875  
NEUBAUER  
749/555  
ZONED: B-2

M-38 P-837  
N.T.M. INC. 1418/257  
ZONED: B-2

M-38 P-35  
SUBWAY 27 PROPERTIES, LLC  
5758/137  
ZONED: B-2

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 7/2/15

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 8/1/10

*[Signature]*  
DIRECTOR  
DATE: 8/2/07

OWNERS/DEVELOPERS

PARCEL 30 -  
GWENRIDGE LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA, MD 21045

PARCEL 38 -  
MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA, MD 21045

BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA, MD 21045

TYPICAL TOWNHOUSE  
SEWER CONNECTION

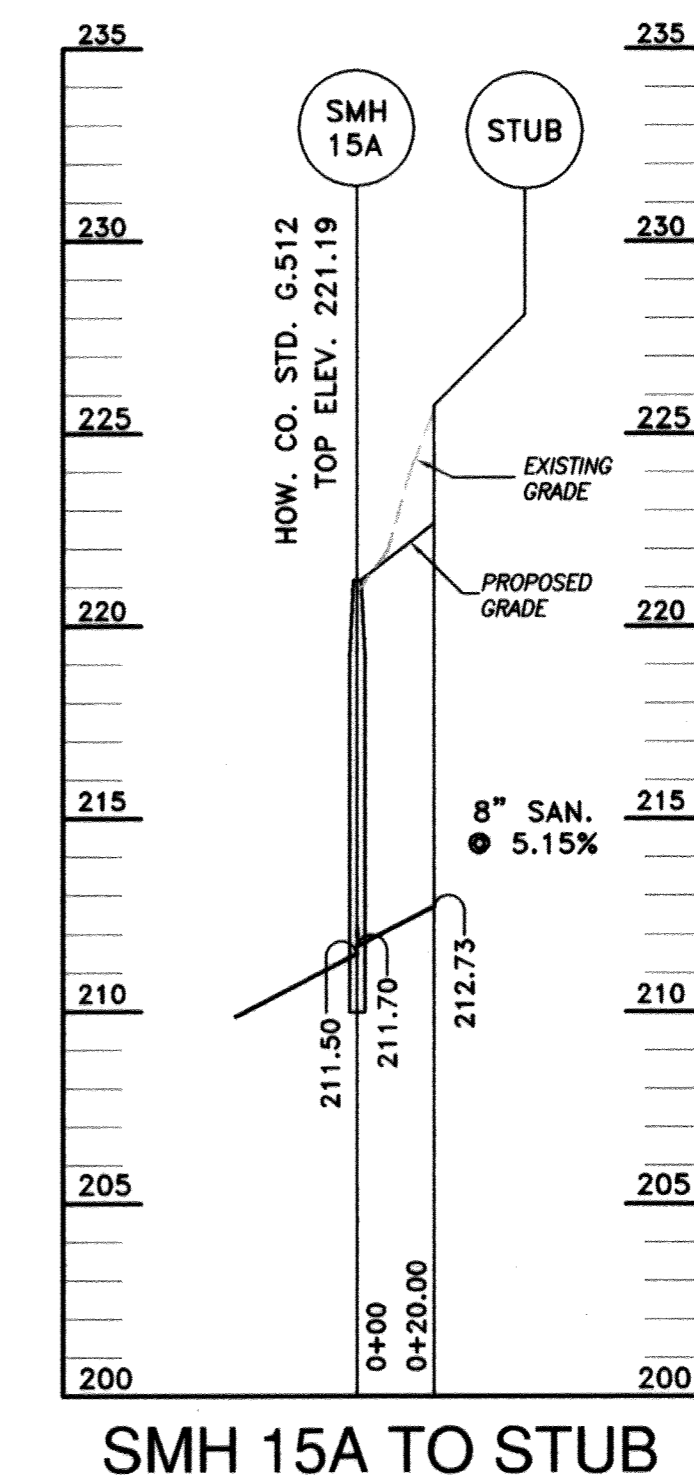
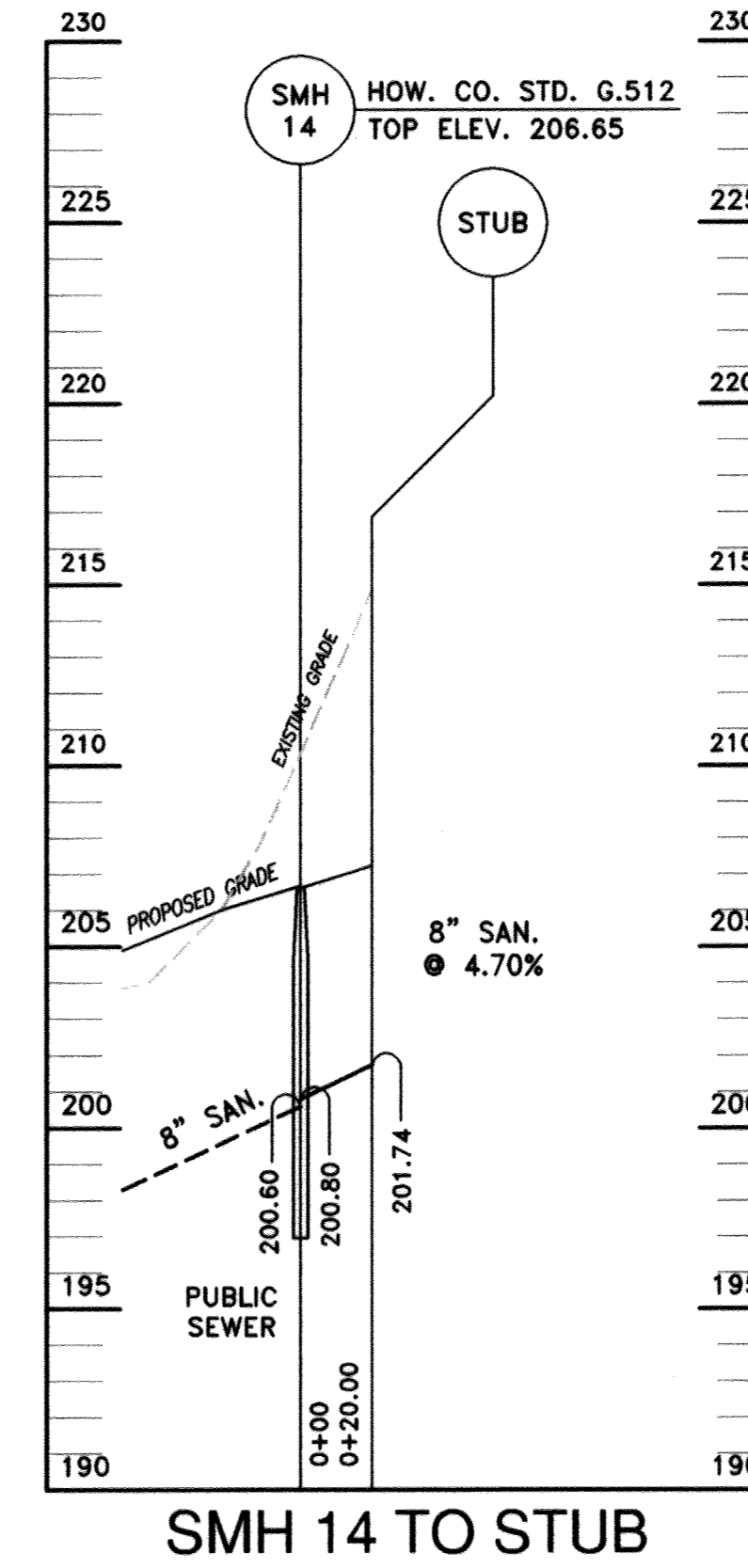
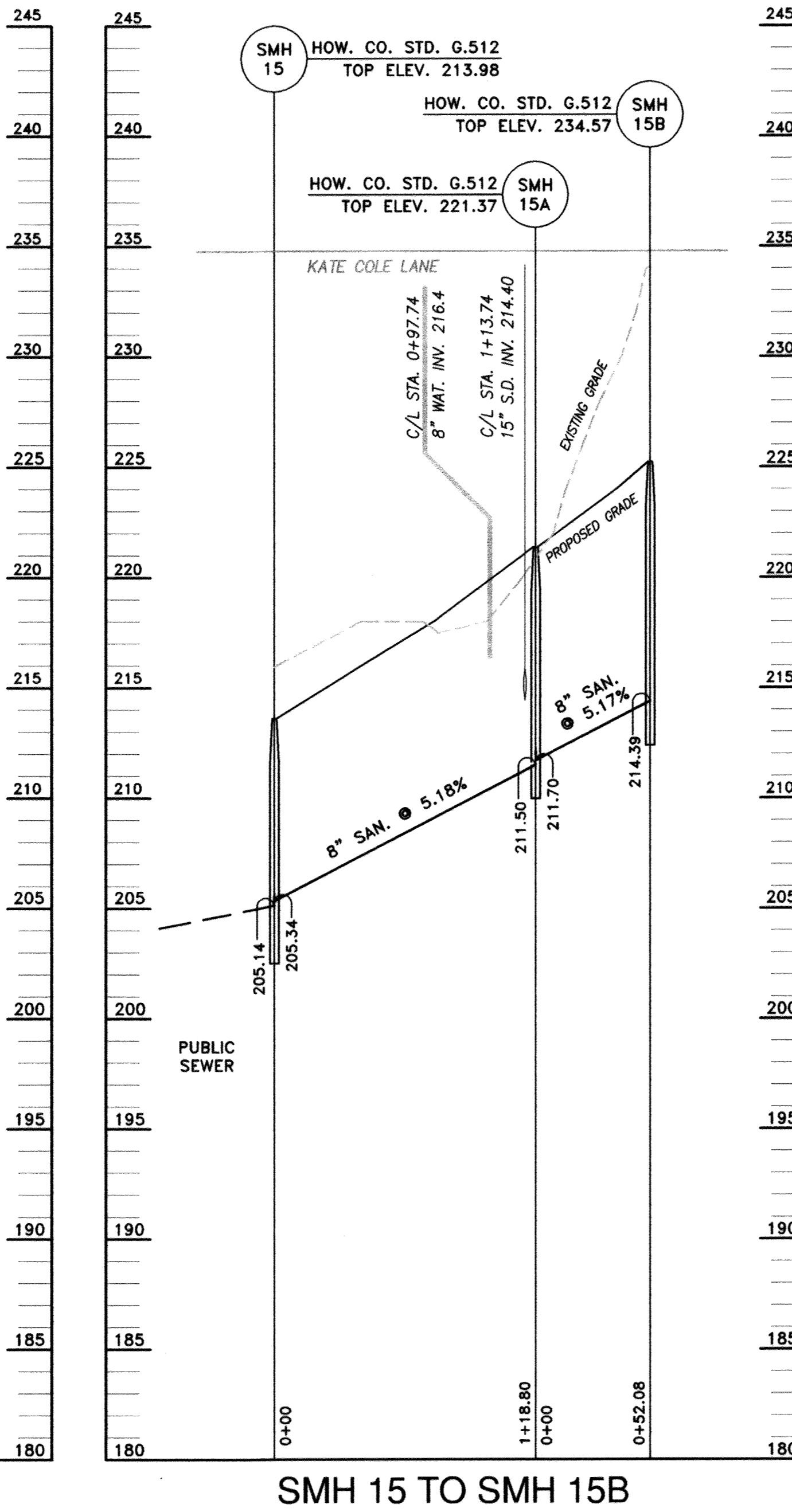
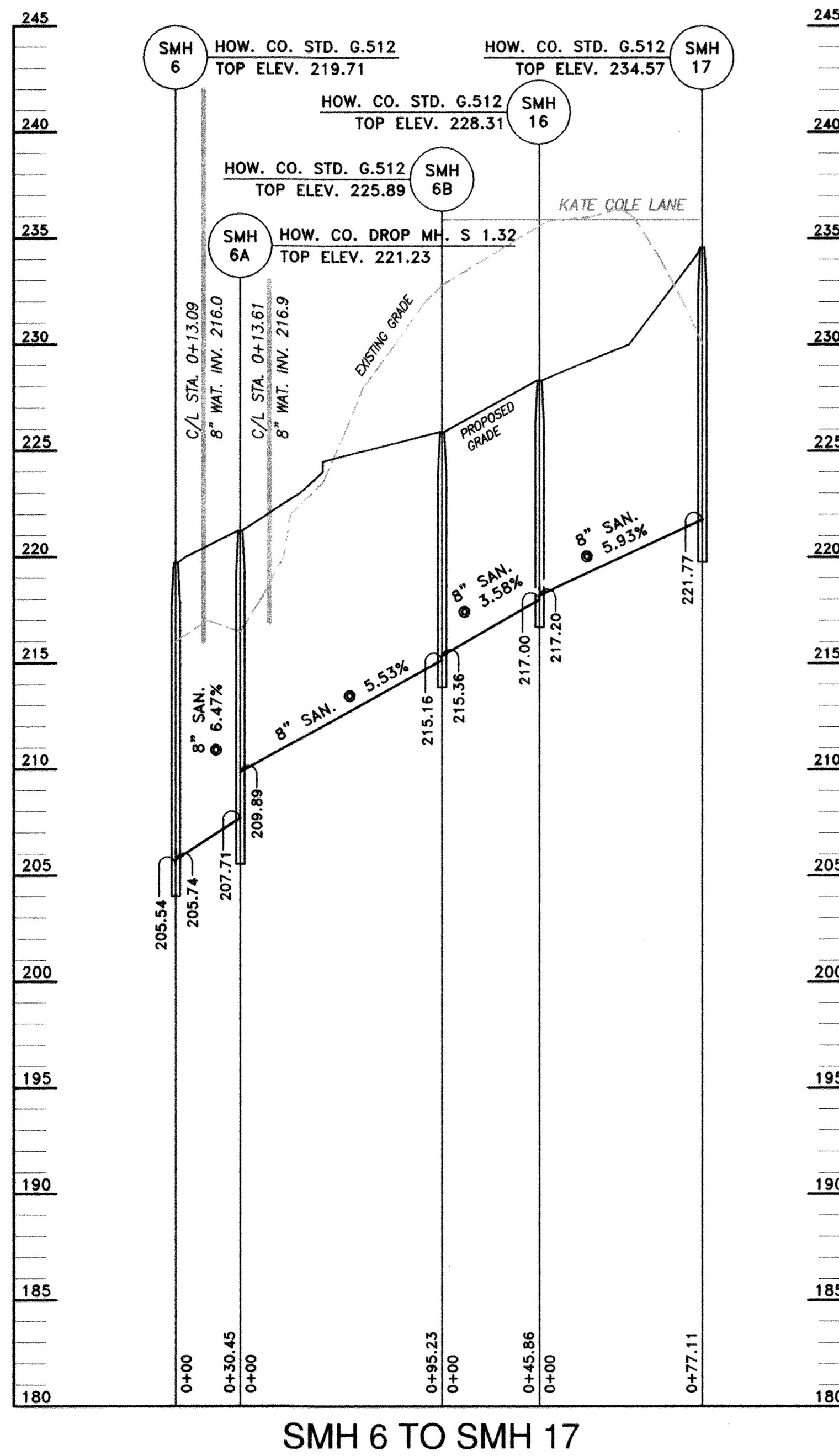


ELKRIDGE-CROSSING-PHASE ONE  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
UTILITY PLAN

JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Cheapeake Avenue Baltimore, Maryland 21234  
Phone: 410-661-8753 Fax: 410-661-8763  
RICHARDSON ENGINEERING, LLC  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET  
45 OF 57

SDP-04-017



APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 9/15/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7/12/06  
 DIRECTOR DATE



OWNERS/DEVELOPERS

PARCEL 30 -  
 GWENRIDGE LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MD 21045

PARCEL 38 -  
 MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA, MD 21045

BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MD 21045

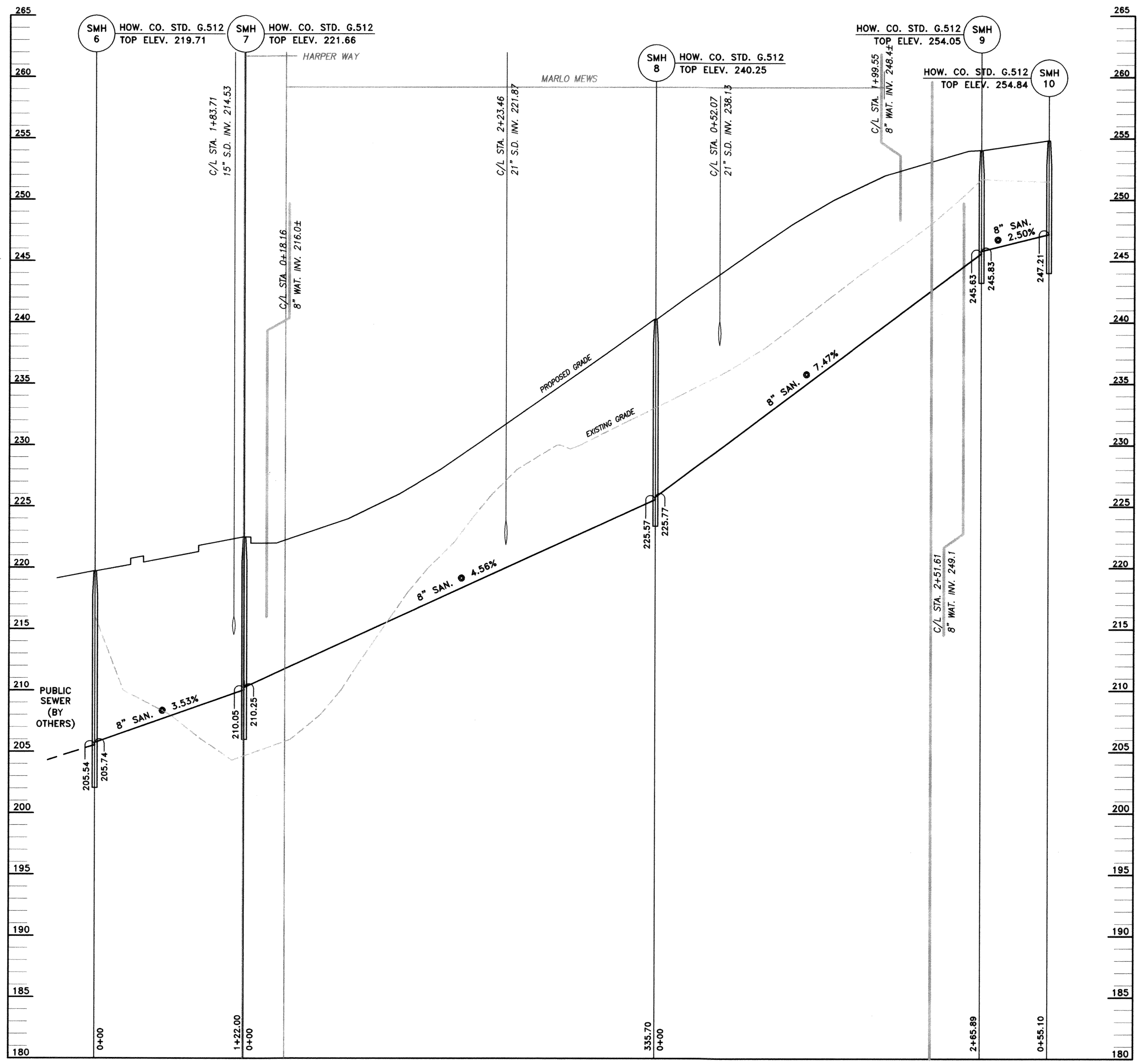
JURI MAISTE - SITE DESIGN CONSULTANT  
 2823 Chenook Avenue, Baltimore, Maryland, 21284  
 Phone: 410-661-8752 Fax: 410-661-8752

RICHARDSON ENGINEERING, LLC  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

ELKRIDGE-CROSSING-PHASE ONE  
 PARCELS A-F  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 PROFILES-SEWER No.1

DATE	3/25/21	ADD SHEET 97
REVISION		
BY		
NO.		

DRAWN: CND  
 DATE: MAR. 1, 2006  
 SCALE:  
 HORIZ. = 1"=50'  
 VERT. = 1"=5'



SMH 6 TO SMH 10

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 7/12/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7/12/06  
 DIRECTOR DATE



OWNERS/DEVELOPERS

PARCEL 30 -  
 GWENRIDGE LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MD 21045

PARCEL 38 -  
 MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA, MD 21045

BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MD 21045

JURI MAISTE - SITE DESIGN CONSULTANT  
 2923 Chesook Avenue, Baltimore, Maryland 21234  
 Phone: 410-661-8752 Fax: 410-661-8752

RICHARDSON ENGINEERING, LLC  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

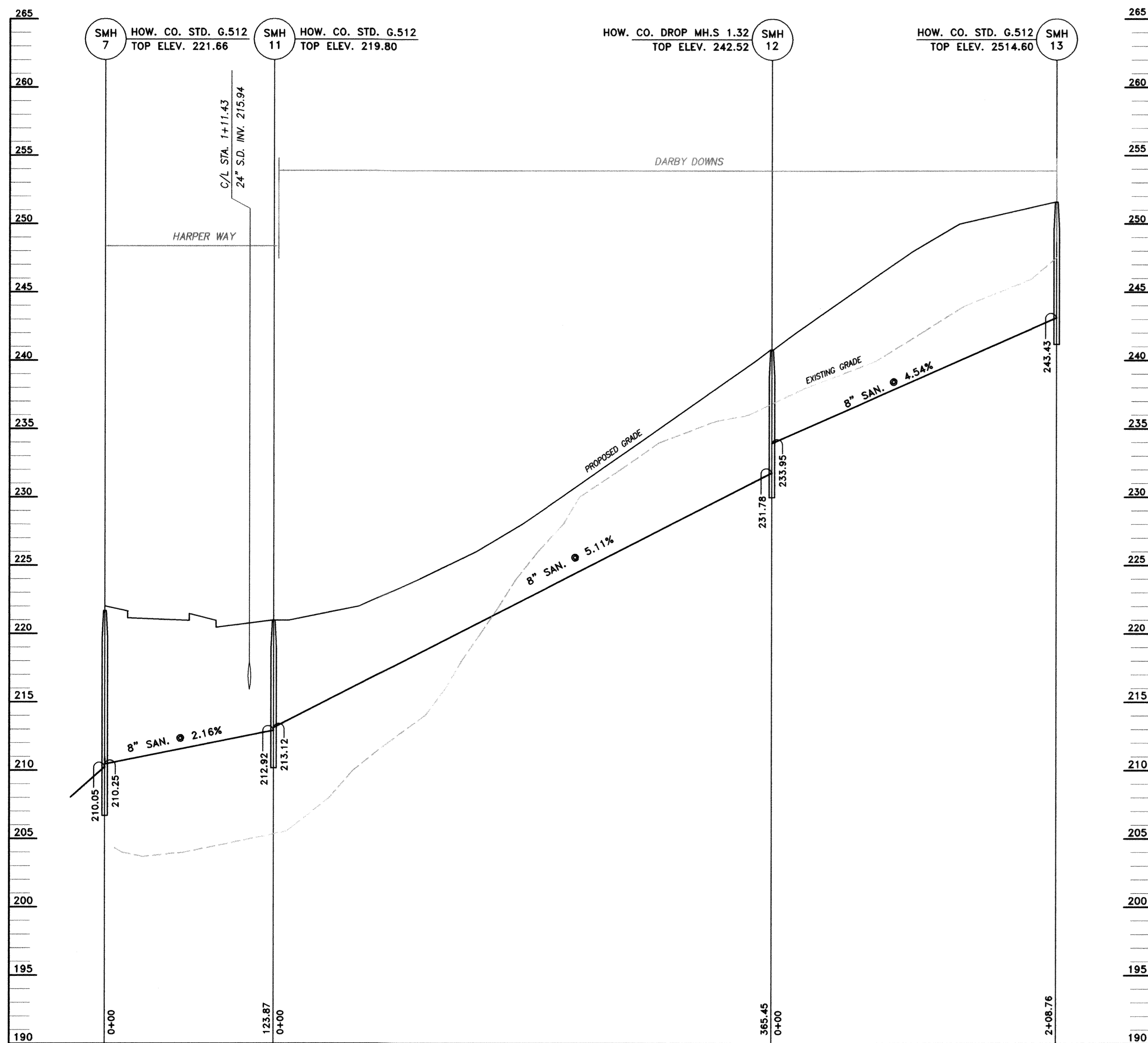
ELKRIDGE - CROSSING - PHASE ONE  
 PARCELS A-F  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

PROFILES - SEWER No. 2

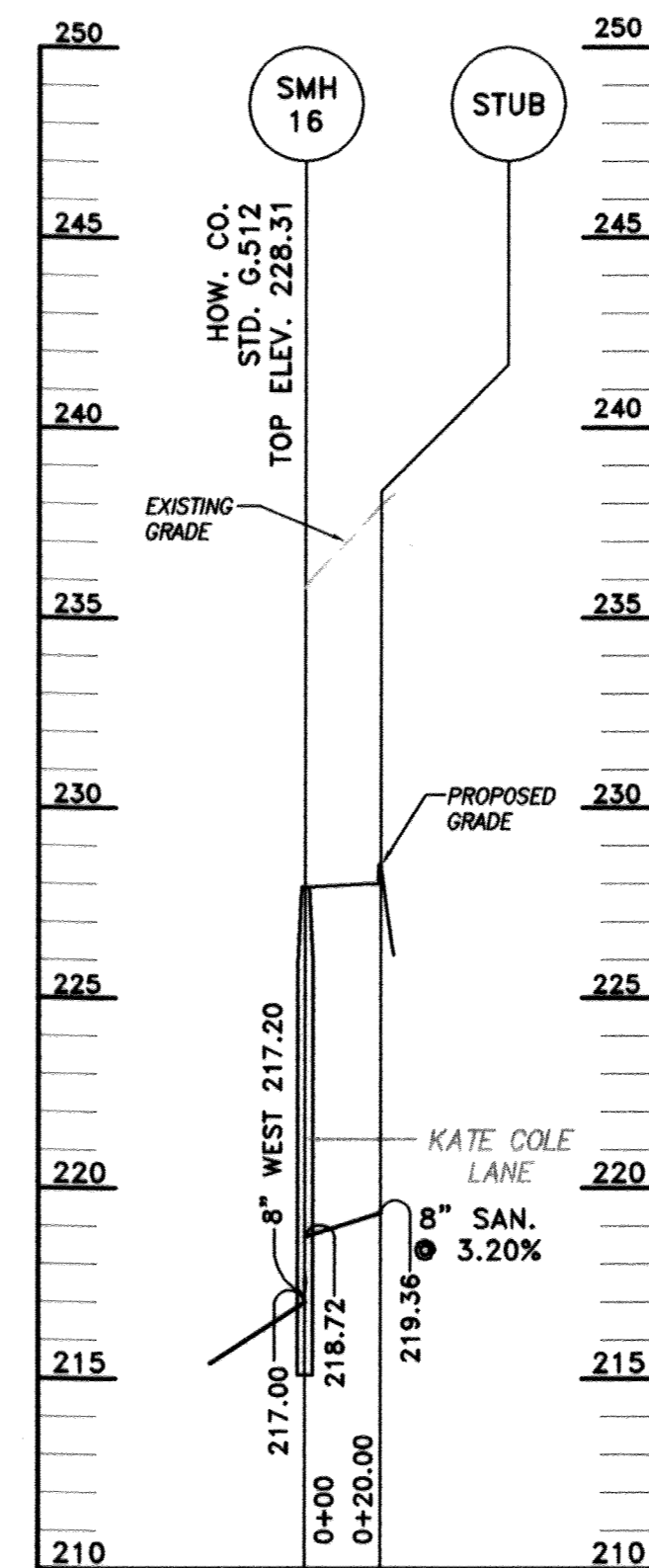
DATE: 3/22/21  
 BY: [Signature]  
 REVISION: Add Sheet 57

DRAWN: CHD  
 DATE: MAR. 1, 2006  
 SCALE: HORIZ = 1"=50' VERT = 1"=5'

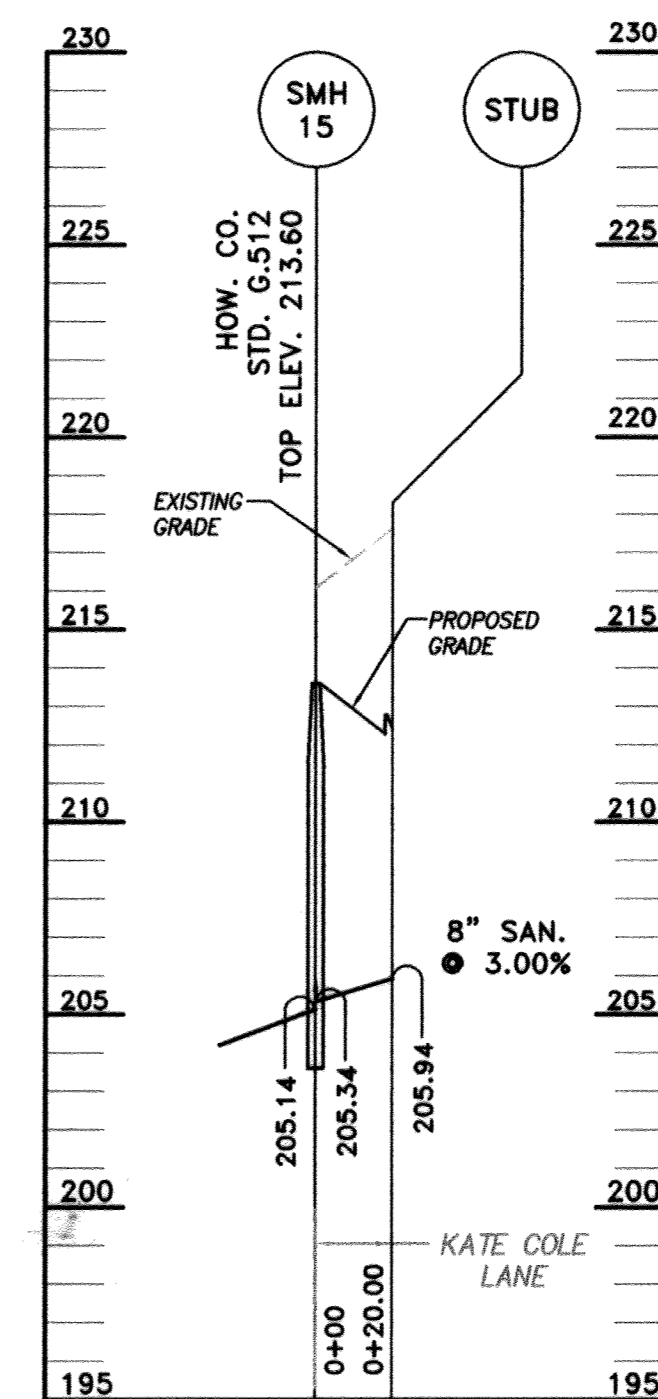
G:\0851\0851004\04037\DRAWINGS\PRIVATEWAY&SEWER.DWG (LAYOUT) (smw2)



SMH 7 TO SMH 13



SMH 16 TO STUB



SMH 15 TO STUB

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/6/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 9/18/06  
 DIRECTOR DATE



OWNERS/DEVELOPERS

PARCEL 30 -  
 GWENRIDGE LLC  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MD 21045

PARCEL 38 -  
 MEHTA CHARALUTA TRUST  
 5551 OAKLAND MILLS ROAD  
 COLUMBIA, MD 21045

BRANTLY DEVELOPMENT GROUP, INC.  
 8835-P COLUMBIA 100 PARKWAY  
 COLUMBIA, MD 21045

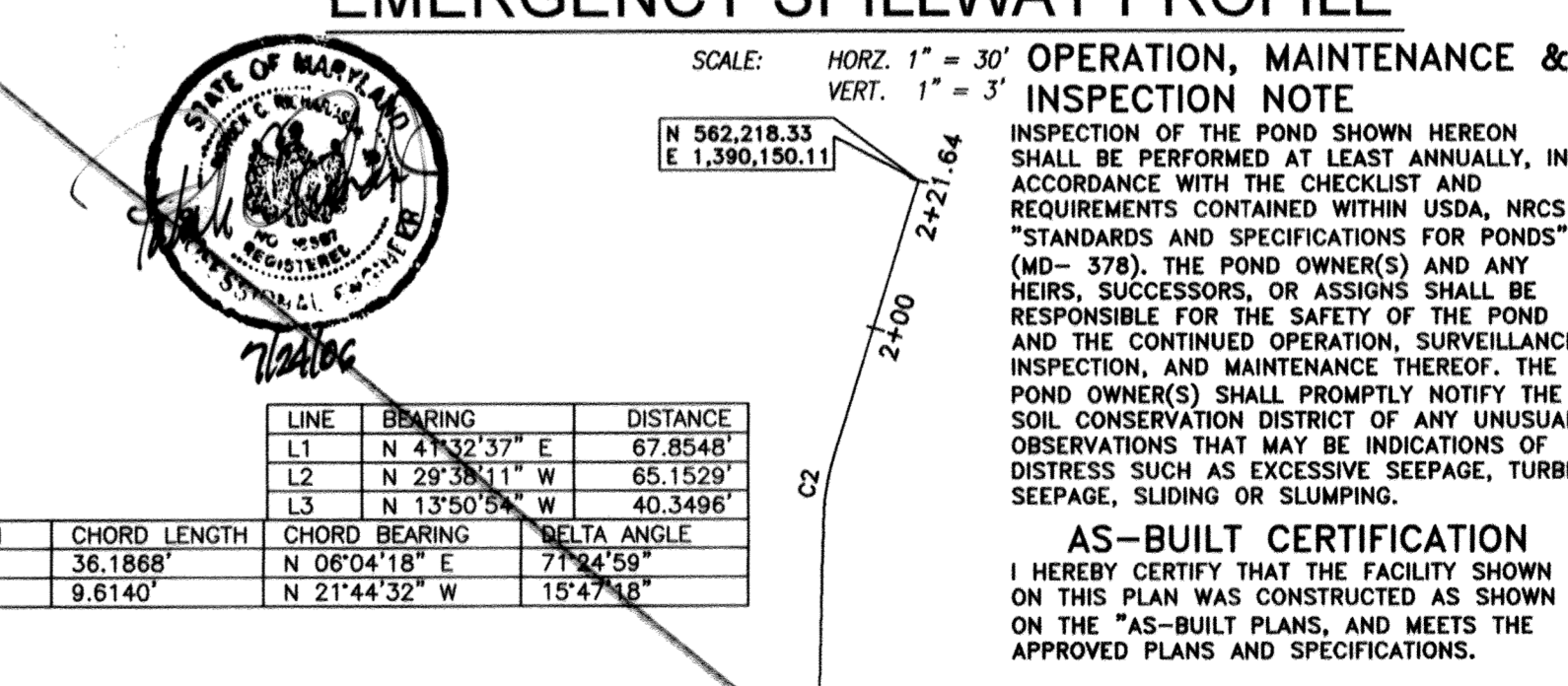
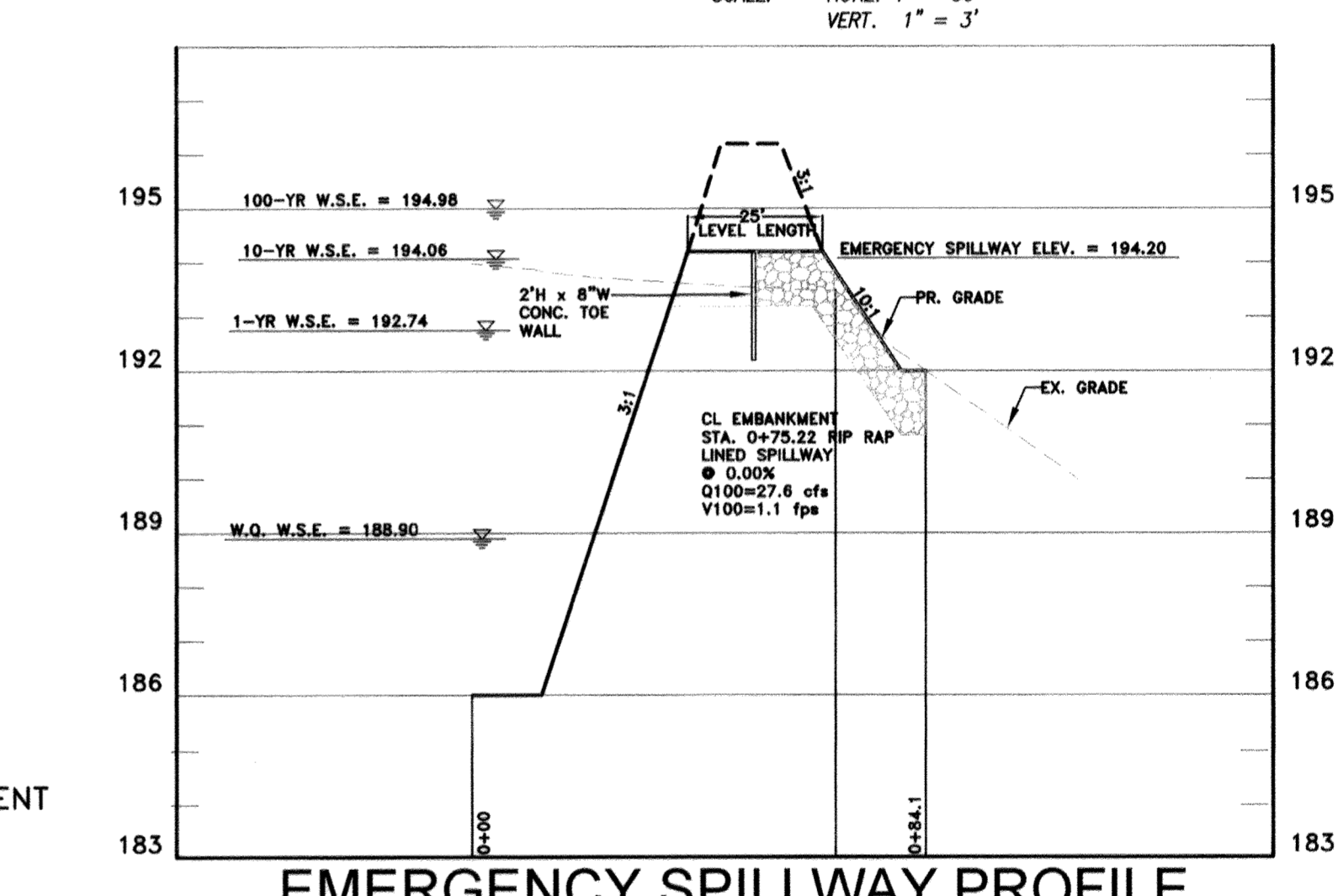
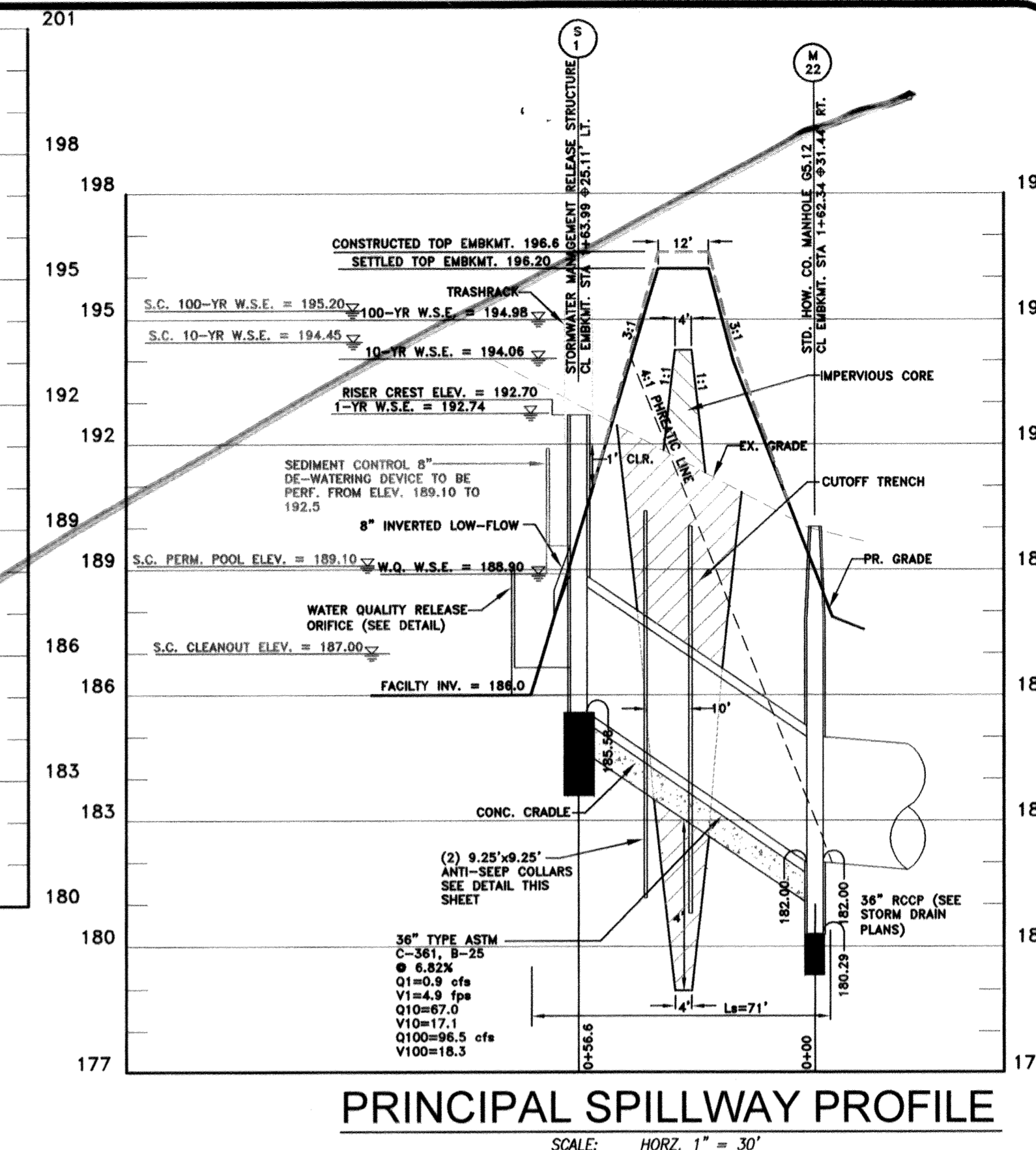
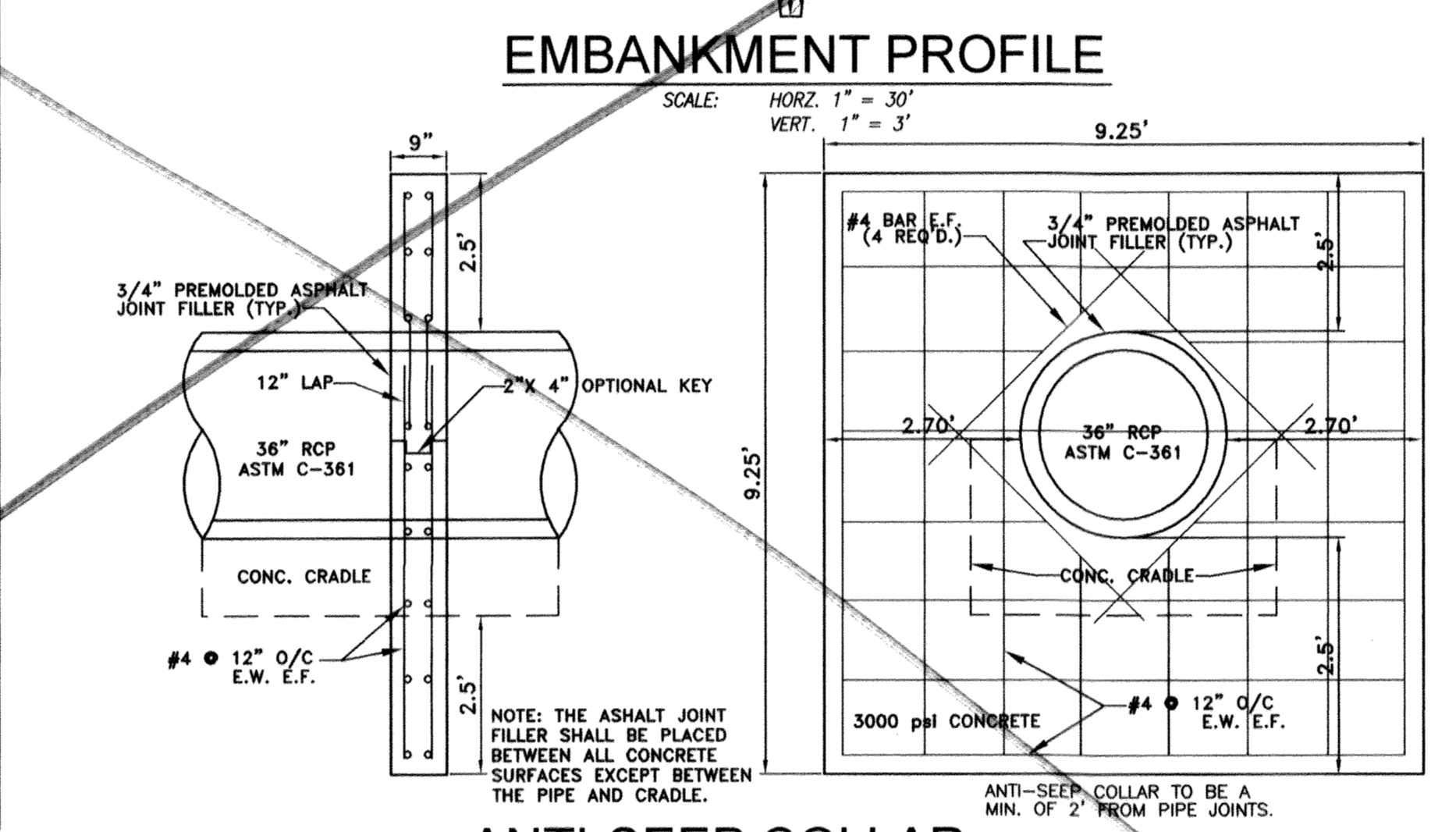
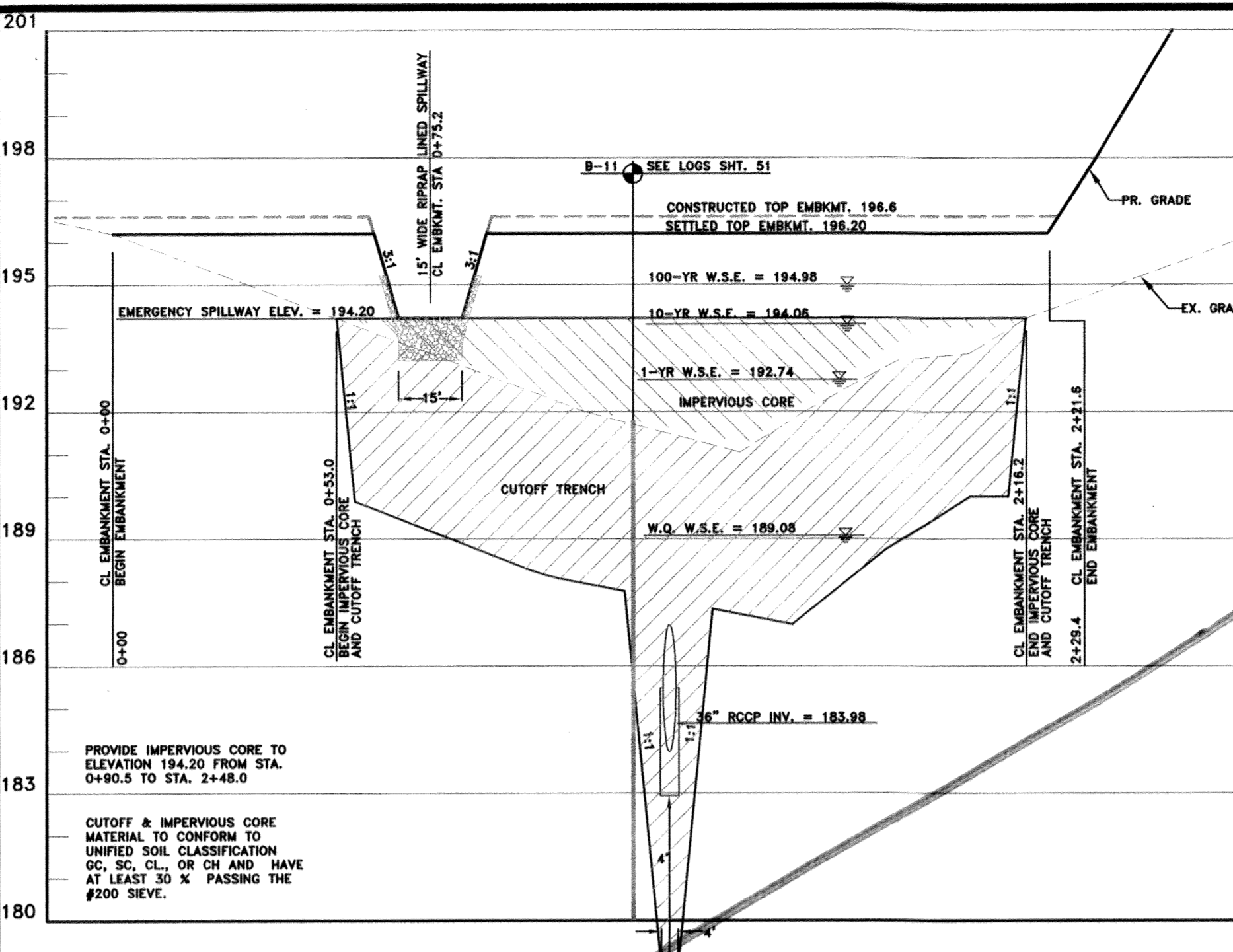
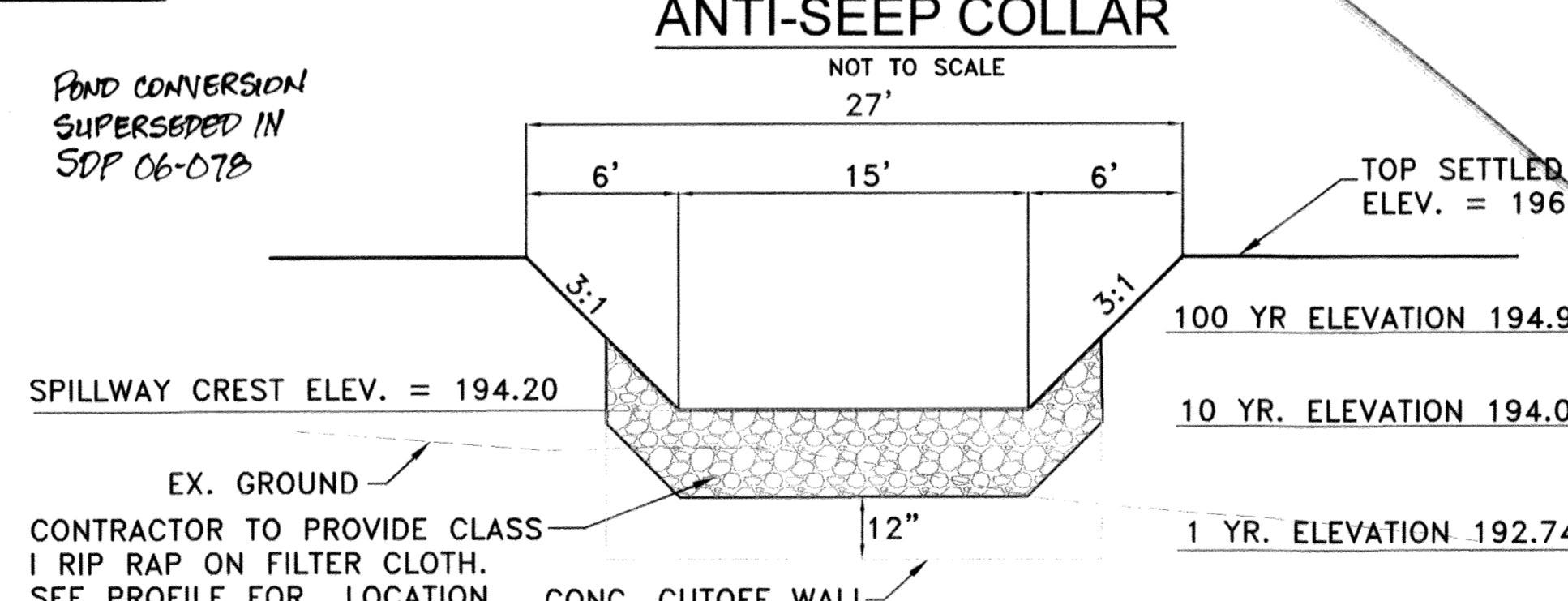
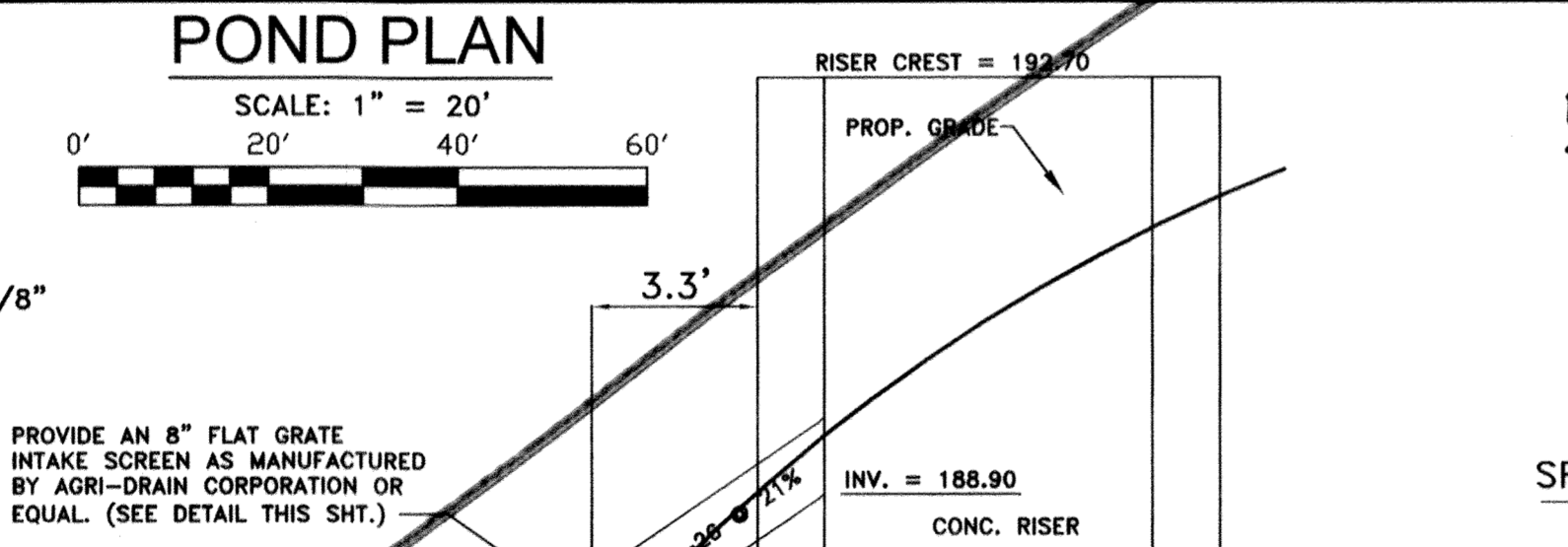
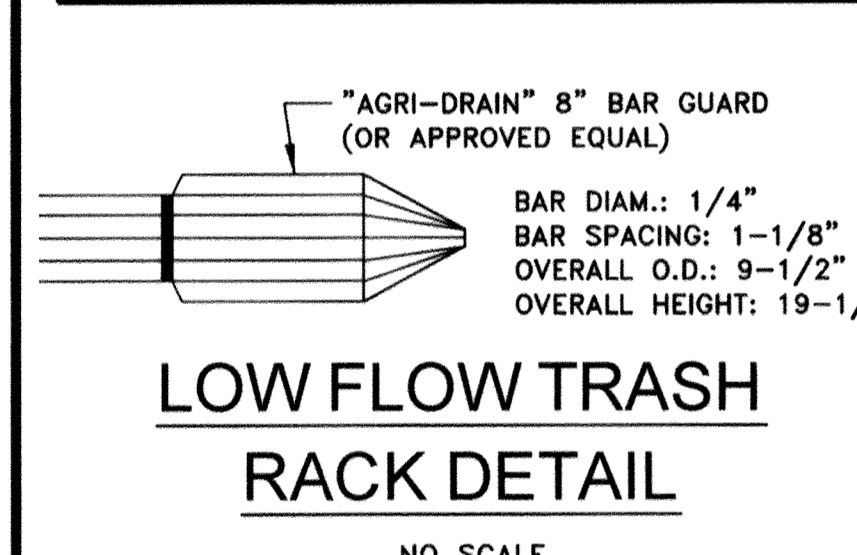
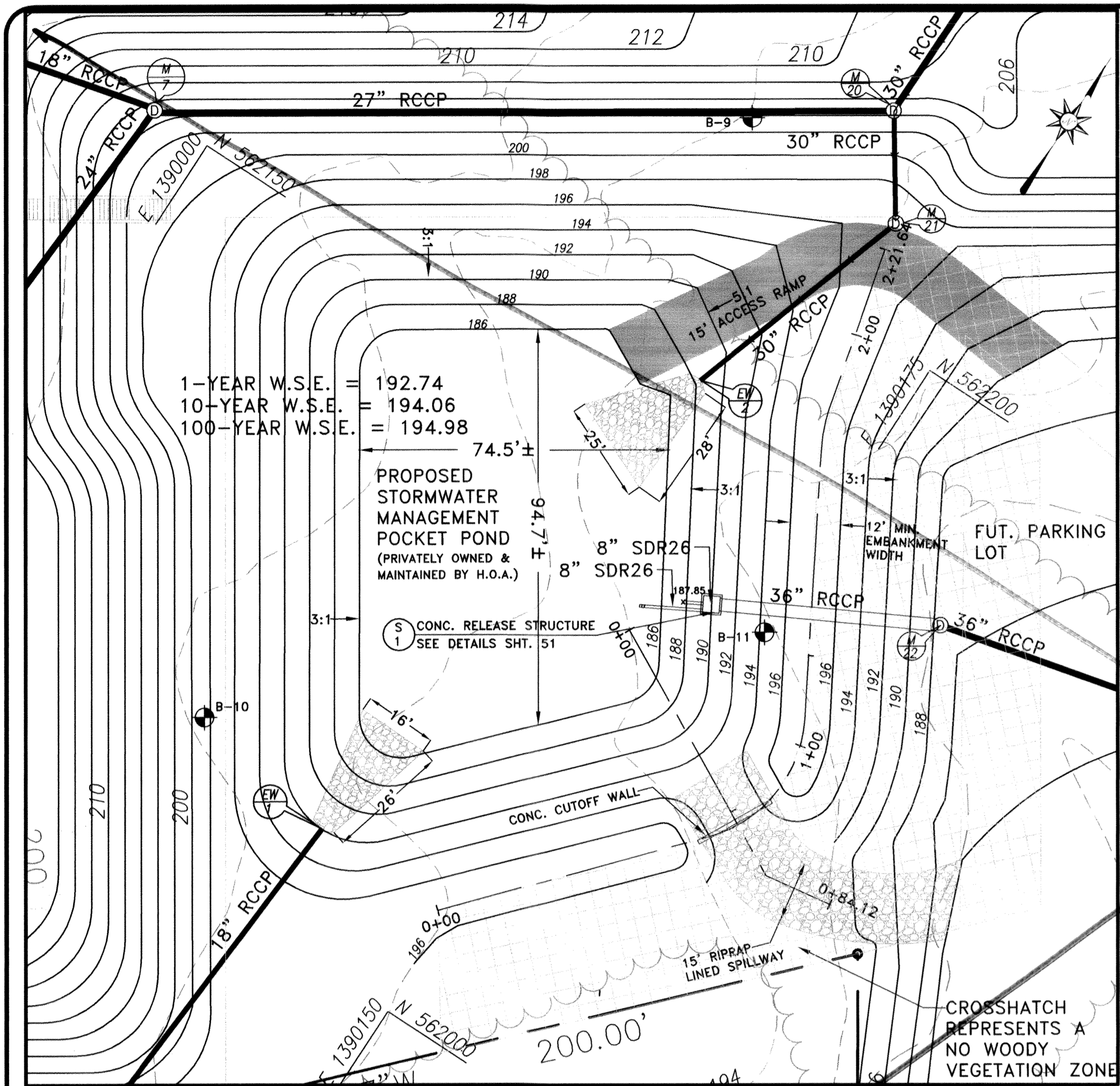
JURI MAISTE - SITE DESIGN CONSULTANT  
 2923 Chenoweth Avenue, Baltimore, Maryland, 21234  
 Phone: 410-661-8762 Fax: 410-661-8752  
 RICHARDSON ENGINEERING, LLC  
 730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
 Phone: 410-560-1502 Fax: 410-560-0827

ELKRIDGE - CROSSING - PHASE ONE  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 PROFILES - SEWER No.3

DATE: 9/25/06  
 BY: JFC  
 REVISION: Add sheet 57

DRAWN: CND  
 DATE: MAR. 1, 2008  
 SCALE: HORIZ. = 1"=50'  
 VERT. = 1"=5'





APPROVED: DEPARTMENT OF PLANNING AND ZONING

*John P. Rhutson* 8/22/06

CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE

*Charles Hammer* 9/14/06

CHIEF, DIVISION OF LAND DEVELOPMENT

DATE

*Mark deLough* 9/14/06

DIRECTOR

DATE

NOTE: SWM POND CONVERSION WILL BE DONE WITH SDP06-07B AS APPROVED UNDER SDP06-07B.

FOR A-NATURAL RESOURCES CONSERVATION SERVICE

*Jim Meyer* 8/22/06

CONSERVATION SERVICE

DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John P. Rhutson* 8/22/06

HOWARD SOIL CONSERVATION DISTRICT

DATE

OPERATION, MAINTENANCE & INSPECTION NOTE

INSPECTION OF THE POND SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, NRCS "STANDARDS AND SPECIFICATIONS FOR PONDS" (MD-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

P.E. NO. \_\_\_\_\_

OWNERS/DEVELOPERS

PARCEL 30 - GWENRIDGE LLC 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MD 21045

PARCEL 38 MEHTA CHARALUTA TRUST 5551 OAKLAND MILLS ROAD COLUMBIA, MD 21045

BRANTLY DEVELOPMENT GROUP, INC. 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MD 21045

DRAWN: J.D.  
DATE: MAY 10, 2006  
SCALE: AS SHOWN

ELKRIDGE-CROSSING- PHASE ONE

PARCELS A-E

TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

STORMWATER MANAGEMENT PLAN, PROFILES & DETAILS

JURI MAISTE - SITE DESIGN CONSULTANT  
2823 Chenoweth Avenue Baltimore, Maryland 21284  
Phone: 410-661-8752 Fax: 410-661-8752

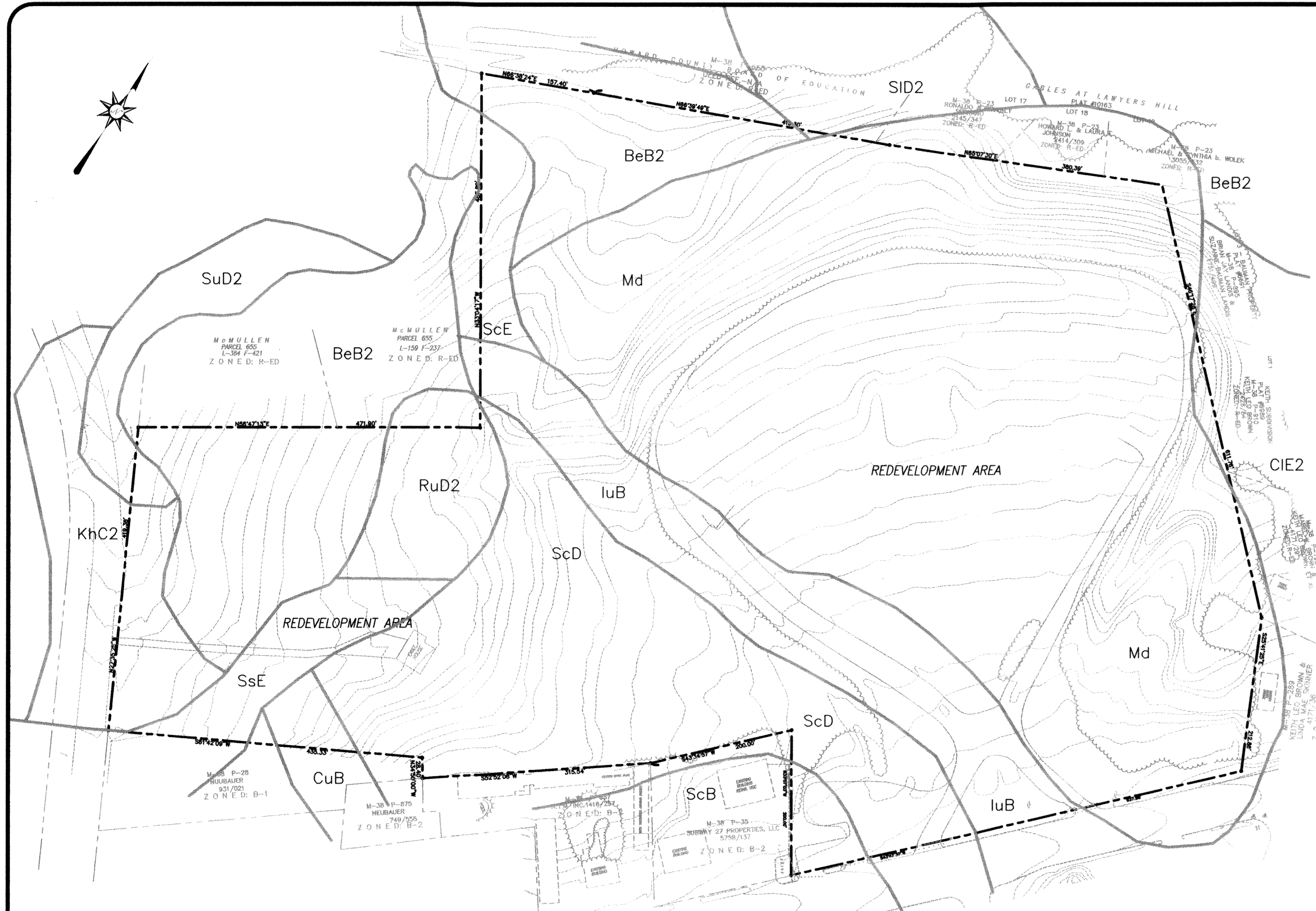
RICHARDSON ENGINEERING, LLC  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-0827 Fax: 410-560-0827

REVISION  
DATE REASON  
10/25/17 LEAVITTATE CHG. CONSTRUCTION BY SUPPRESSED IN SDP 06-07B  
3-25-21 Add Sheet 57 FCC

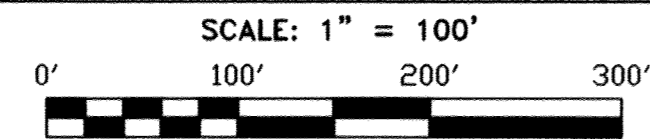
SHEET 49 OF 57

SDP-04-017





**EXISTING DRAINAGE AREA MAP**



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Jim Meyer* 9/22/06  
 USDA NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robinson* 9/22/06  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 9/16/06  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*[Signature]* 9/14/06  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*[Signature]* 9/16/06  
 DIRECTOR DATE

**SOILS DATA**

ID	NAME	SOIL GROUP
Br	BELTSVILLE	C
Cl	CHILLUM	B
Cu	CODORUS	C
Iu	IUKA	C
Kh	KEYPORT	C
Md	MADE	C
Sc	SAND & CLAY	C
Si	SASSAFRAS	B
Ss	SASSAFRAS	B
Su	SUNNYSIDE	B

HILLIS - GARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Elkridge Crossing SWM, Howard County, Maryland. Boring Number: B-9 04327A.

ELEV.	SOIL DESCRIPTION	DEPTH (FT)	SCALE	NO.	REC.	BORING & SAMPLING NOTES
198.00	SURFACE	0.0				
198.00	Grayish brown, moist, silty sand with rock fragments and gravel (SM)	0-0.6	D	1	10"	Groundwater encountered at 9.0' while drilling
198.00	Brown, moist, medium dense, silty sand, trace gravel (SM)	0-11.1	I	2	10"	
198.00	Dark brown, moist, medium dense, clayey coarse sand with gravel and rock fragments (SC)	5-7.9	D	4	14"	Caved in at 9.0' at Completion
198.00	Brown, wet, loose, silty sand (SM)	12.0				
198.00	Brown, wet, soft, clay, trace sand, trace organics (CL)	2-15	D	5	12"	
198.00	Bottom of Test Hole at 15.0'					

AMPLER TYPE: MENAPLIT BRON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: UNDISTURBED. GROUND WATER DEPTH: AT COMPLETION 8.8 FT. BORING METHOD: HSA.

HILLIS - GARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Elkridge Crossing SWM, Howard County, Maryland. Boring Number: B-10 04327A.

ELEV.	SOIL DESCRIPTION	DEPTH (FT)	SCALE	NO.	REC.	BORING & SAMPLING NOTES
198.00	SURFACE	0.0				
198.00	Grayish brown, moist, silty clay, with sand and asphalt fragments (CL)	0-2.2	D	1	10"	No groundwater encountered while drilling
198.00	Brown to reddish brown, moist, silty, sandy silt (ML)	7-9-10	I	2	12"	
198.00	Light brown, moist, silty, trace sand (ML)	5-7-10	I	3	16"	Caved in at 6.5' at Completion
198.00	Change and gray, moist, silty, sandy clay, trace gravel and rock fragments (CL)	3-5-7	I	4	16"	Caved in at 7.5' after 24 hours
198.00	Bottom of Test Hole at 15.0'					

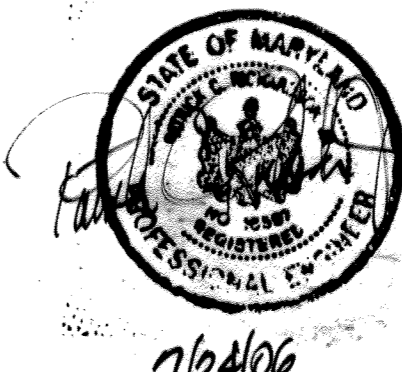
AMPLER TYPE: MENAPLIT BRON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: UNDISTURBED. GROUND WATER DEPTH: AT COMPLETION 8.8 FT. BORING METHOD: HSA.

HILLIS - GARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Elkridge Crossing SWM, Howard County, Maryland. Boring Number: B-11 04327A.

ELEV.	SOIL DESCRIPTION	DEPTH (FT)	SCALE	NO.	REC.	BORING & SAMPLING NOTES
198.00	SURFACE	0.0				
198.00	Dark grayish brown, moist, medium dense, clayey sand, trace gravel trace organics (SC)	0-3-11	D	1	4"	2" Topsoil
198.00	Dark grayish brown, moist, soft, sandy clay, trace gravel, trace organics (CL)	2-2-2	D	2	2"	Groundwater encountered at 4.8' while drilling
198.00	Brown, wet, soft, clay, trace sand, trace organics (CL)	1-1-3	D	3	15"	Caved in at 4.3' after 24 hours
198.00	Brown, wet, medium stiff to stiff, sandy clay, trace gravel and rock fragments in sample 5 (CL)	3-3-3	D	4	10"	
198.00	Bottom of Test Hole at 15.0'					

AMPLER TYPE: MENAPLIT BRON UNLESS OTHERWISE NOTED. SAMPLE CONDITIONS: UNDISTURBED. GROUND WATER DEPTH: AT COMPLETION 3.8 FT. BORING METHOD: HSA.



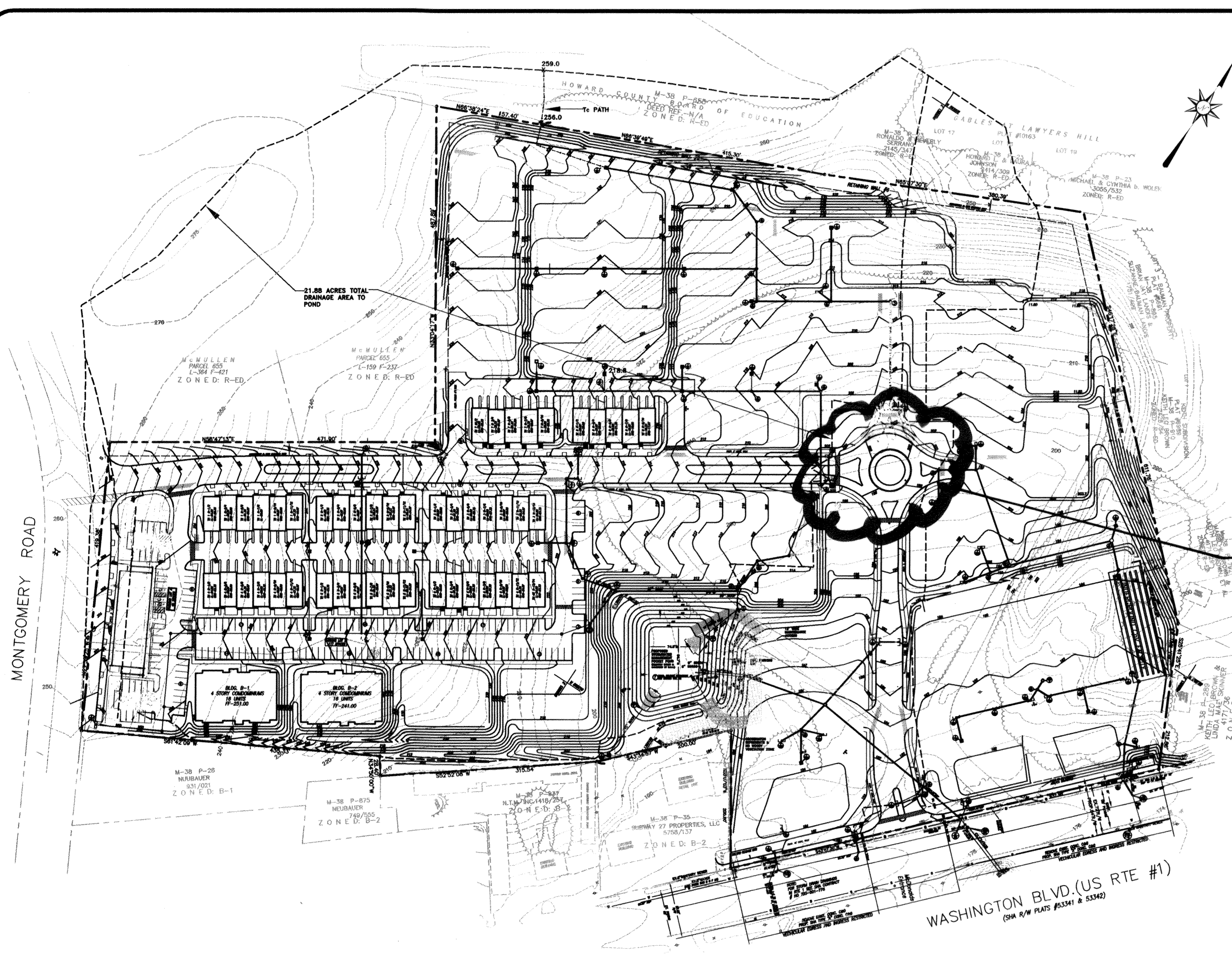
**OWNERS/DEVELOPERS**  
 PARCEL 30 - GWENRIDGE LLC 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MD 21045  
 PARCEL 38 - MEHTA CHARALUTA TRUST 5551 OAKLAND MILLS ROAD COLUMBIA, MD 21045  
 BRANTLY DEVELOPMENT GROUP, INC. 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MD 21045

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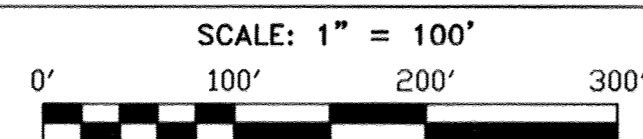
ELKRIDGE-CROSSING-PHASE ONE  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 STORMWATER MANAGEMENT DRAINAGE AREA MAPS

DRAWN: J.D.  
 DATE: MARCH 1, 2006  
 SCALE: AS SHOWN

DATE: 3/29/21  
 REVISION: Add Sheet 51



**PROPOSED DRAINAGE AREA MAP**



WATER QUALITY STUDY AREA = 20.75 ACRES

SEE SHEET 57 FOR CIRCLE REMOVAL

- ~~SWM DATA~~
1. TYPE OF FACILITY - \*\*POCKET POND (P5)
  2. STRUCTURE CLASSIFICATION - CLASS A 10'-378
  3. WATERED AREA TO FACILITY - 21.88 AC.±
  4. MAINTENANCE RESPONSIBILITY - PRIVATE
  5. FREEBOARD - 2'
  6. WATER QUALITY REQUIRED = 0.2 AC-FI
  7. WATER QUALITY PROVIDED = 0.24 AC-FI
  8. CPV REQUIRED = 1.18 AC-FI
  9. CPV PROVIDED = 1.18 AC-FI
  10. Qp = NOT REQUIRED, NOT REQUIRED
  11. RUNOFF CURVE NUMBER = 0.5
  12. TIME OF CONCENTRATION - 0.20 HOURS
  13. 100-YEAR SAFETY ROUTED
  14. 1-YR W.S.E. = 192.74
  15. 10-YR W.S.E. = 194.06
  16. 100-YR W.S.E. = 194.98

POND CONSTRUCTION SUPERSEDED IN SDP 06-078

~~\*\*DUE TO M.A.A. REGULATIONS THE POND WILL HAVE TO BE A DRY POND, THEREFORE 24 HOUR EXTENDED DETENTION HAS BEEN PROVIDED FOR THE WATER QUALITY VOLUME.~~

**SOILS DATA**

ID	NAME	SOIL GROUP
Bf	BELTSVILLE	C
Ci	CHILLUM	B
Cu	CODORUS	C
Iu	IUKA	C
Kh	KEYPORT	C
Md	MADE	C
Sc	SAND & CLAY	B
Si	SASSAFRAS	B
Ss	SASSAFRAS	B
Su	SUNNYSIDE	B

**POCKET POND MAINTENANCE SCHEDULE**

1. THE FACILITY SHALL BE INSPECTED TWICE ANNUALLY - MARCH AND SEPTEMBER. VISUAL INSPECTION OF ALL COMPONENTS SHALL BE COMPLETED BY THE OWNER. ALL DRAINS SHALL BE OPENED BY THE OWNER ONCE A YEAR. THE OWNER SHALL KEEP NOTES OF EACH INSPECTION.
2. GRASS AREAS SHALL BE MOWED ANYTIME THE GRASS IS OVER TWELVE (12) INCHES TALL.
3. VEGETATIVE COVER SHALL BE MAINTAINED BY MOWING, LIMING AND FERTILIZING. AS A MINIMUM REQUIREMENT, THE LIME AND FERTILIZER SHALL BE APPLIED ONE (1) TIME EVERY TWO (2) YEARS. NO TREES OR WOODY VEGETATION SHALL BE ALLOWED ON THE EMBANKMENT OR WITHIN FIFTEEN (15) FEET OF THE TOE OF THE EMBANKMENT, IN THE EMERGENCY SPILLWAY OR WITHIN TWENTY-FIVE (25) FEET OF THE OUTLET STRUCTURE.
4. ALL APURTENANCES SHALL BE KEPT FREE OF TRASH.
5. VISIBLE SIGNS OF DETERIORATION OF THE RISER, BARREL AND EMERGENCY SPILLWAY SHALL BE REPAIRED AS SOON AS POSSIBLE.
6. ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER, OR THE OWNER'S REPRESENTATIVE AT THE OWNER'S EXPENSE.

**SEQUENCE OF CONSTRUCTION**

1. CLEAR & GRUB AREA OF STORMWATER MANAGEMENT POND ONLY AFTER SEDIMENT & EROSION CONTROLS HAVE BEEN INSTALLED. (THE POND SHALL INITIALLY BE CONSTRUCTED AS A SEDIMENT BASIN, THEREFORE REFER TO THE SEDIMENT AND EROSION CONTROL PLANS. (2 DAYS)
2. BEGIN CONSTRUCTION OF EMBANKMENT. (10 DAYS)
3. INSTALL THE BARREL ANTI-SLEEP COLLAR, RISER, LOW-FLOW, DE-WATERING DEVICE, AND OUTFALL STRUCTURE. (5 DAYS)
4. CONSTRUCT THE REMAINING EMBANKMENT, EMERGENCY SPILLWAY AND STABILIZE. (5 DAYS)
5. INITIAL RELEASE STRUCTURE CONFIGURATION SHALL BE IN ACCORDANCE WITH THE SEDIMENT AND EROSION CONTROL PLANS.
6. UPON COMPLETION OF STABILIZATION OF ALL CONTRIBUTORY DRAINAGE AREA TO THE SEDIMENT BASIN, CONVERT THE FACILITY FOR STORMWATER MANAGEMENT USAGE AS SEQUENCED IN THE SEDIMENT AND EROSION CONTROL SEQUENCE. (5 DAYS)
7. IMMEDIATELY STABILIZE ANY AREAS DISTURBED DURING THE CONVERSION. (2 DAYS)
8. WITH SEDIMENT CONTROL INSPECTOR'S APPROVAL REMOVE ANY REMAINING SEDIMENT CONTROL AND STABILIZE.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Jim Mastrom* 9/22/06  
 USDA NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Peltzer* 9/22/06  
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i>	9/16/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	9/14/06
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	9/18/06
DIRECTOR	DATE



**OWNERS/DEVELOPERS**

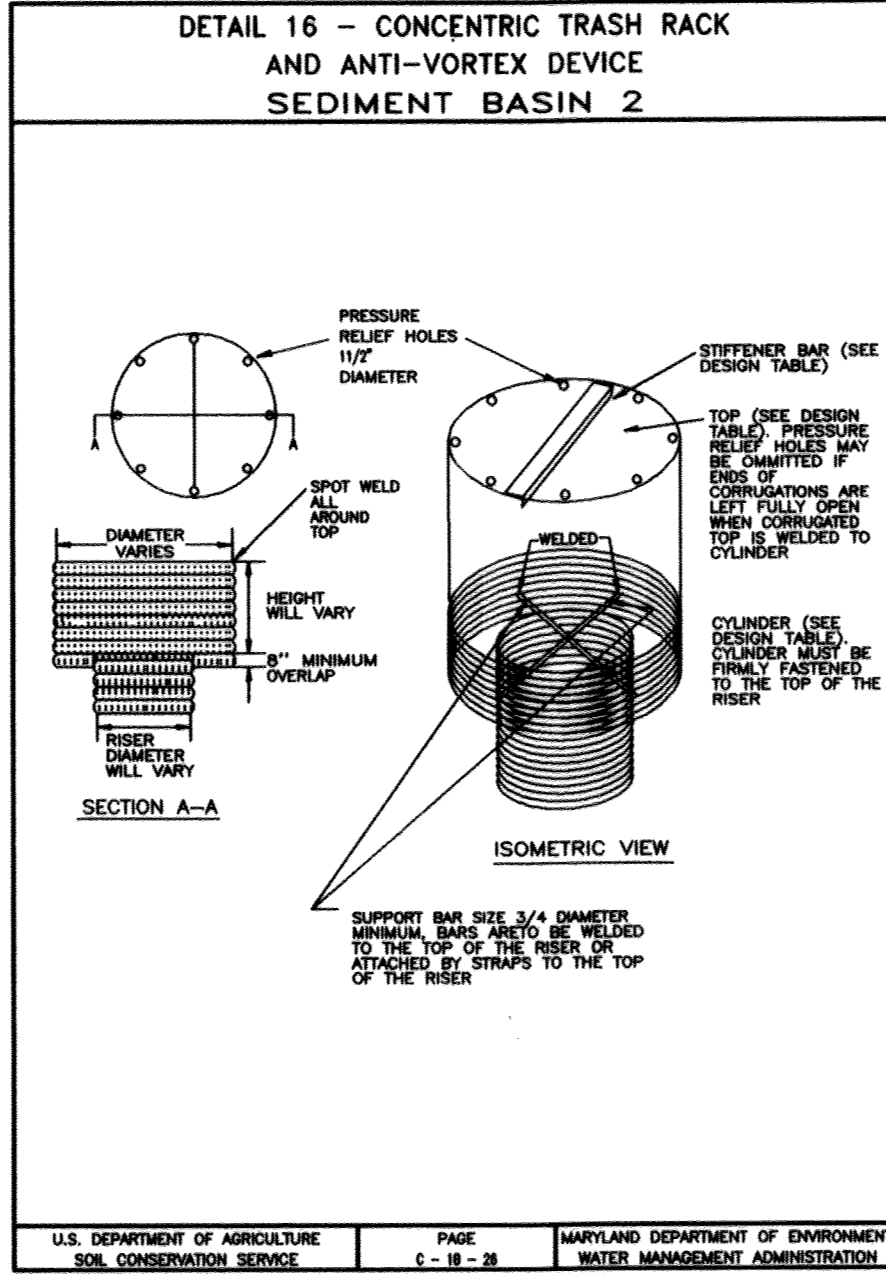
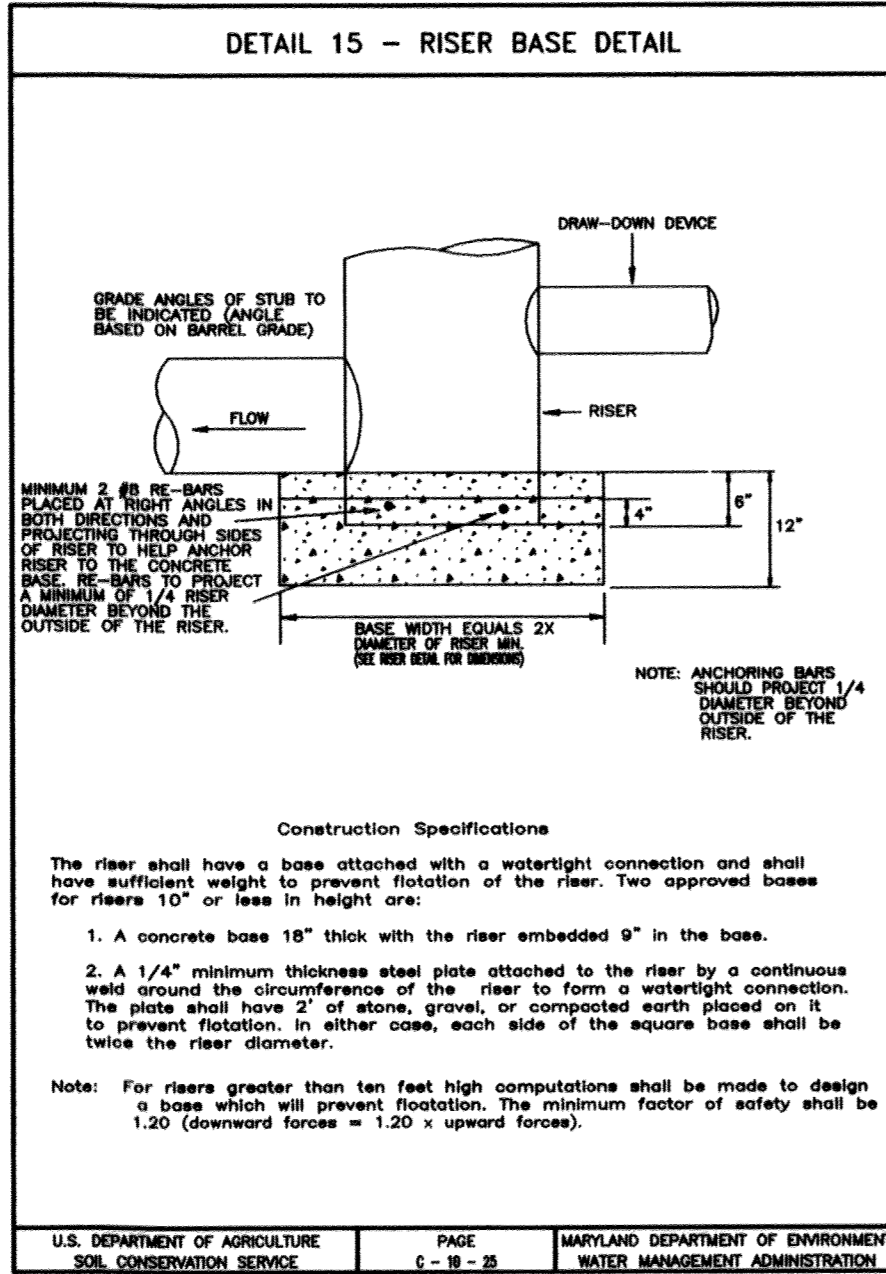
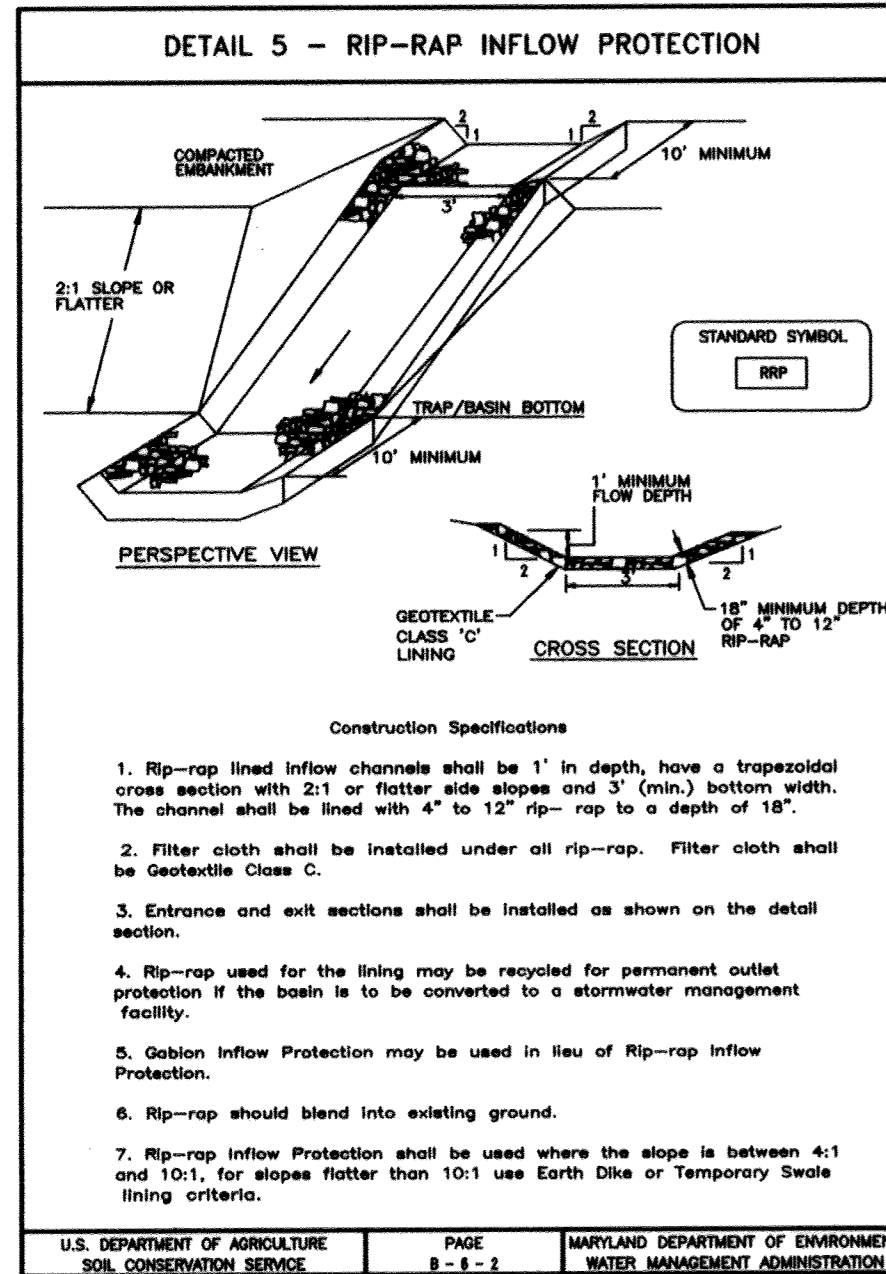
PARCEL 30 - GWENRIDGE LLC 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MD 21045
PARCEL 38 - MEHTA CHARALUTA TRUST 5551 OAKLAND MILLS ROAD COLUMBIA, MD 21045
BRANTLY DEVELOPMENT GROUP, INC. 8835-P COLUMBIA 100 PARKWAY COLUMBIA, MD 21045

DRAWN: J.D.  
 DATE: MARCH 1, 2006  
 SCALE: AS SHOWN

DATE	BY	REVISION
10/05/07	J.M.	ELIMINATE POND CONSTRUCTION PER SUPP 06-078
3-25-01	J.M.	Remove Traffic Circle

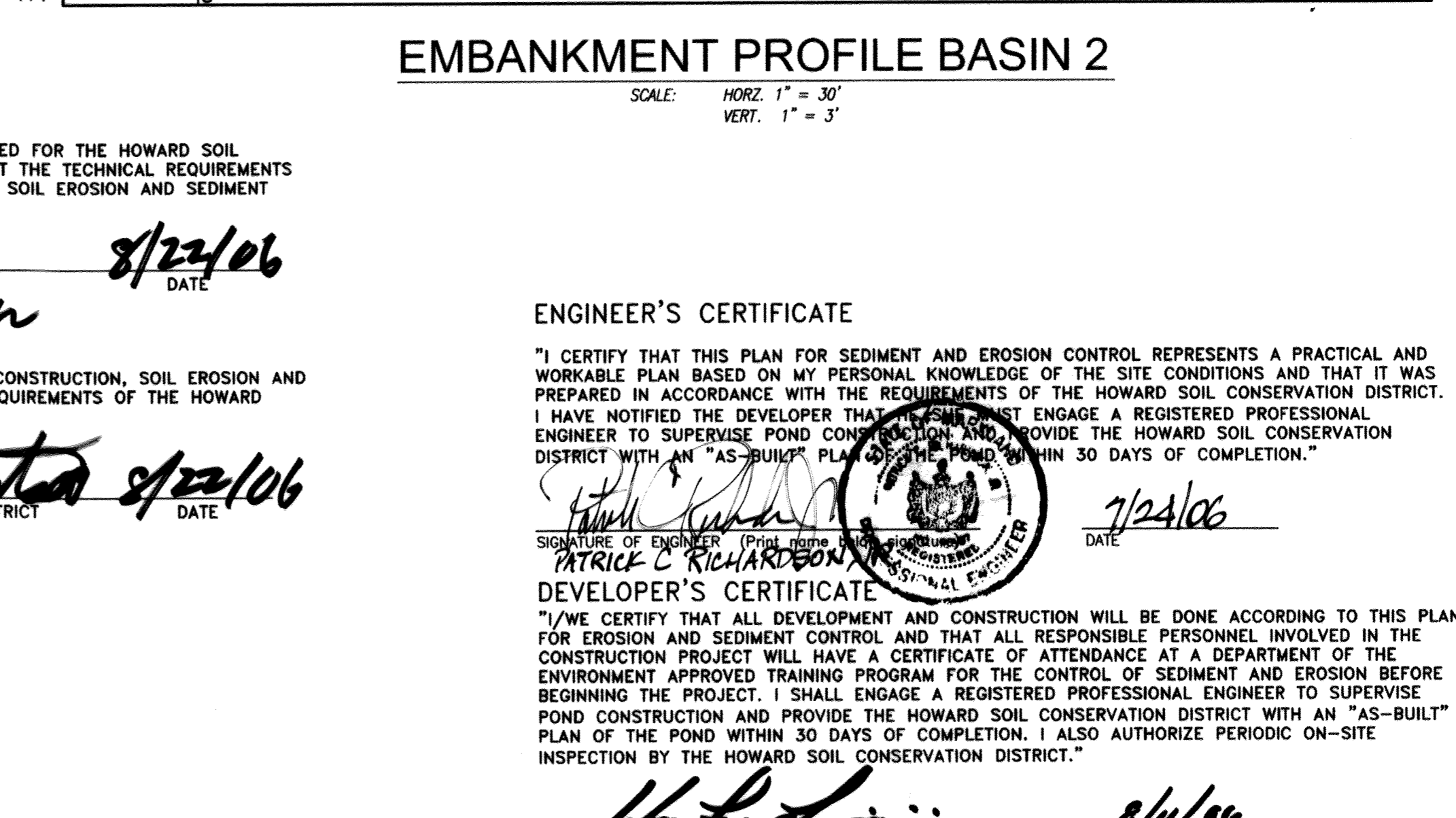
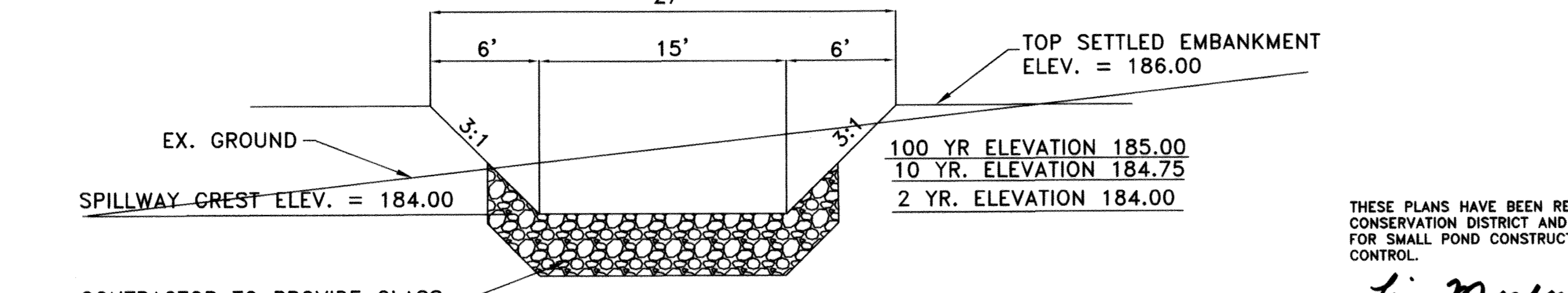
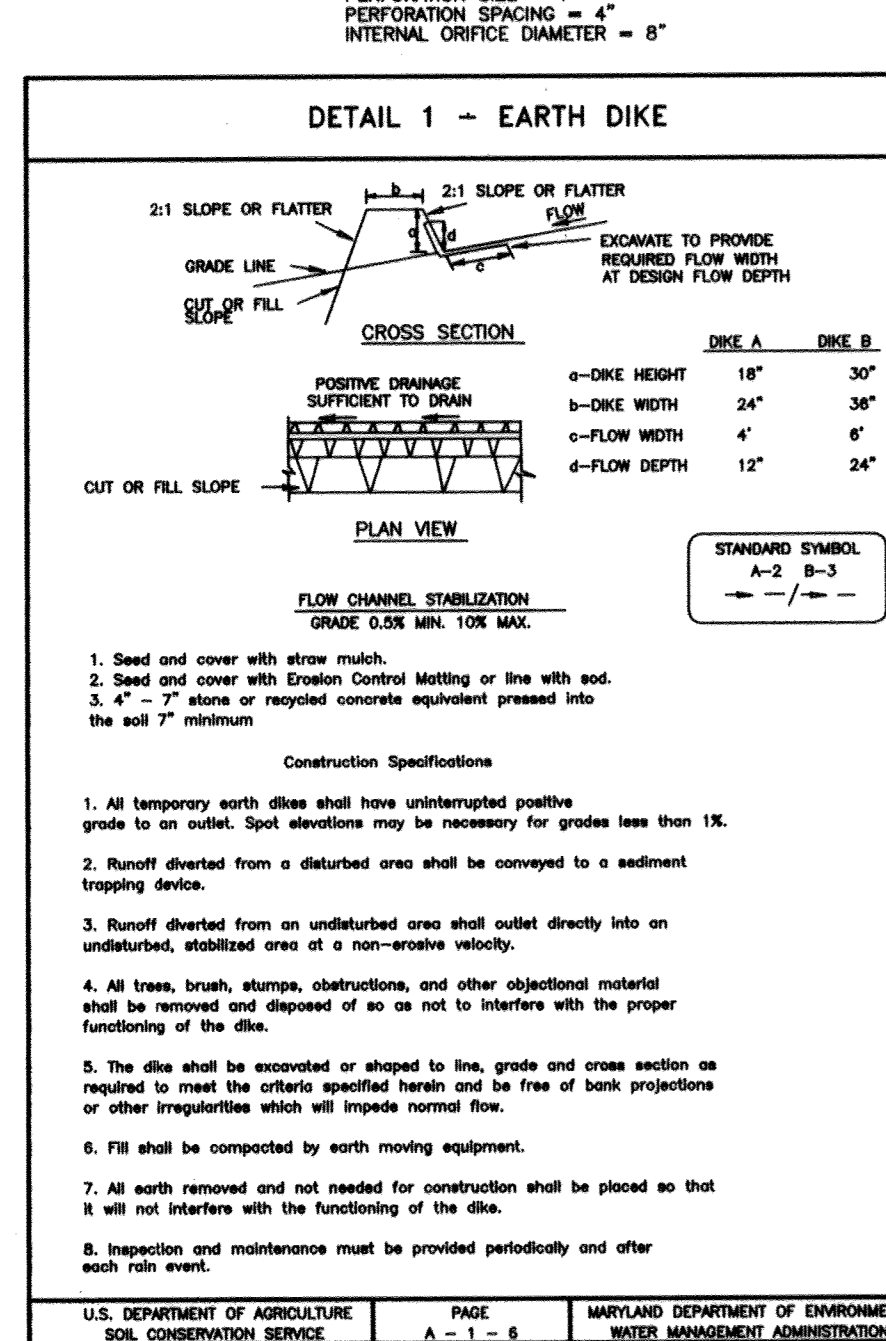
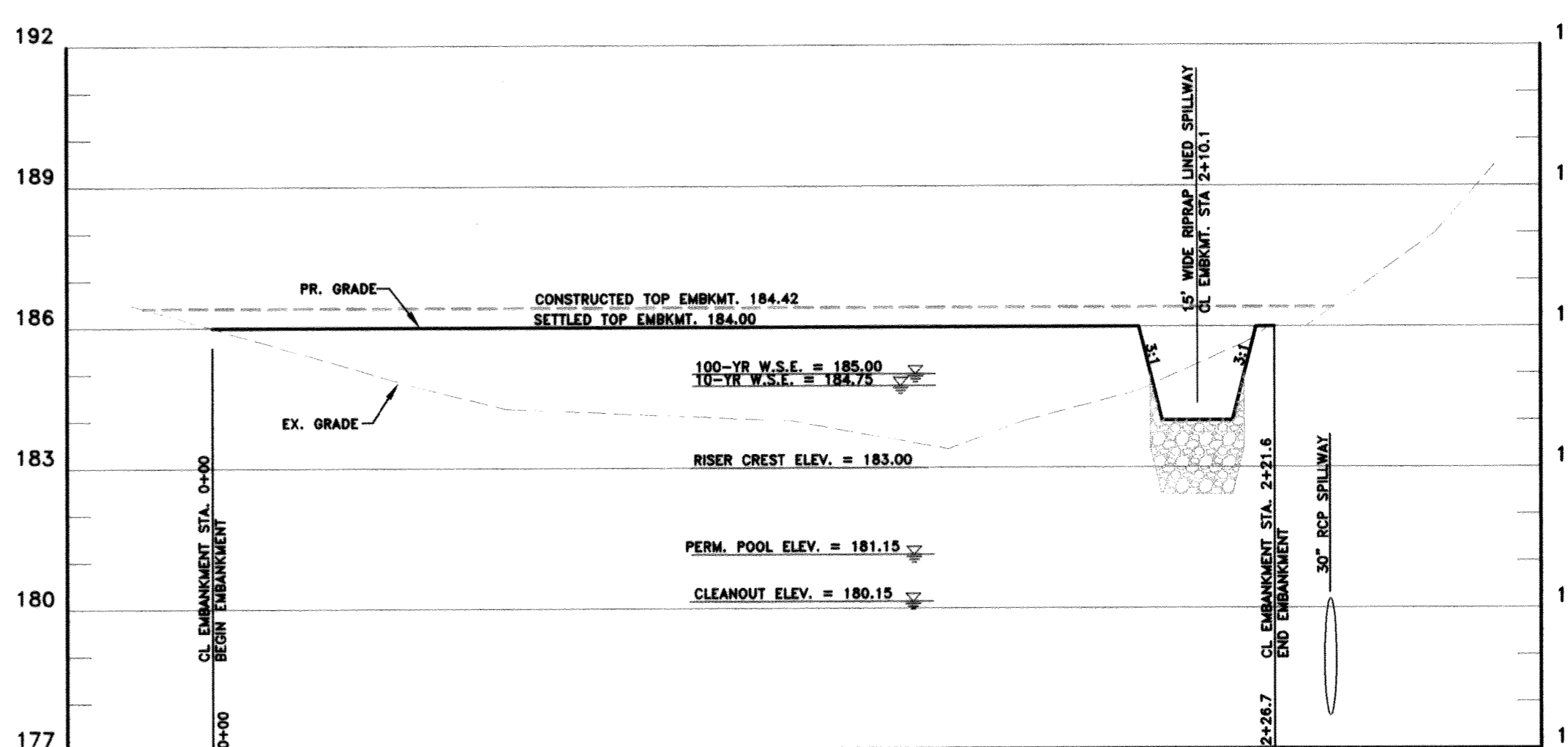
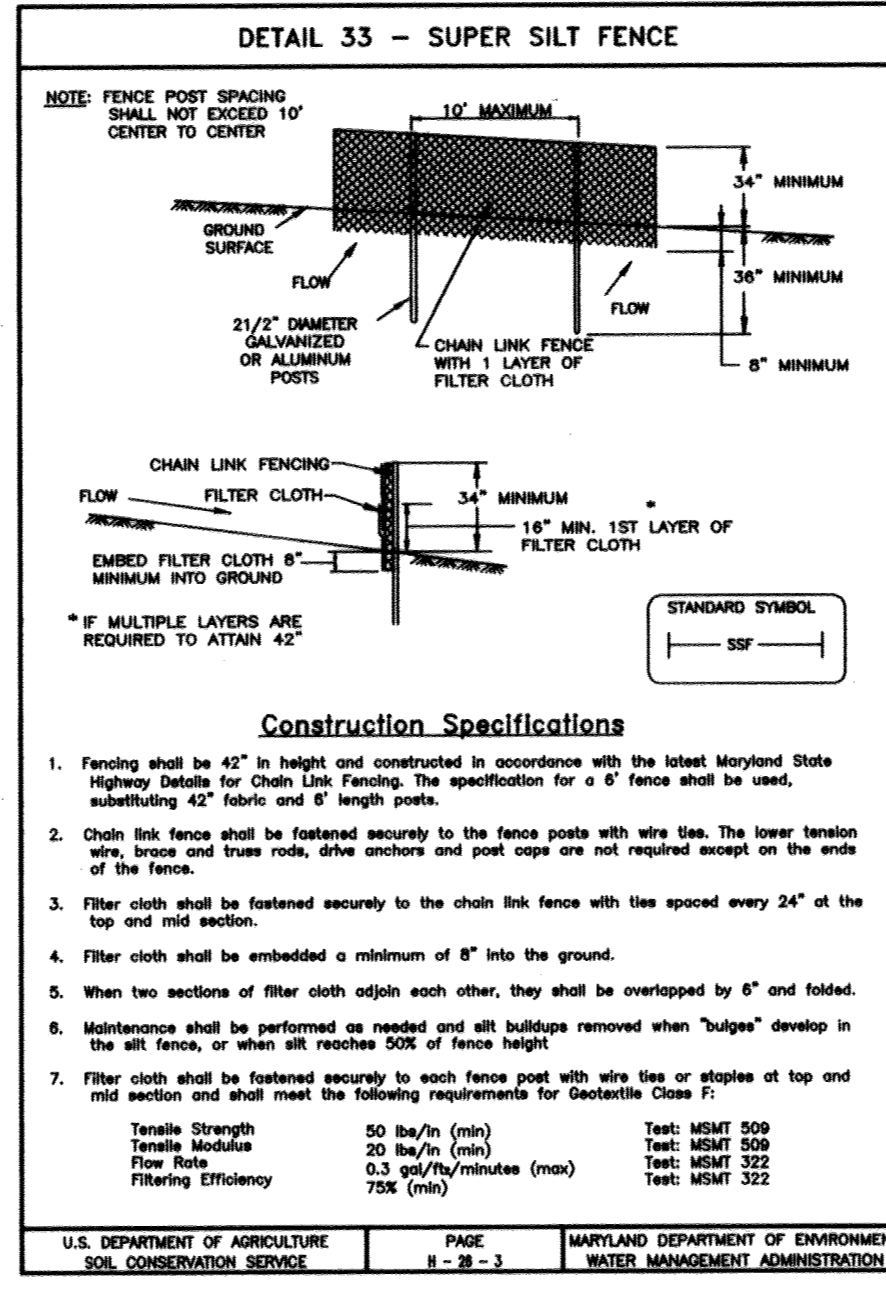
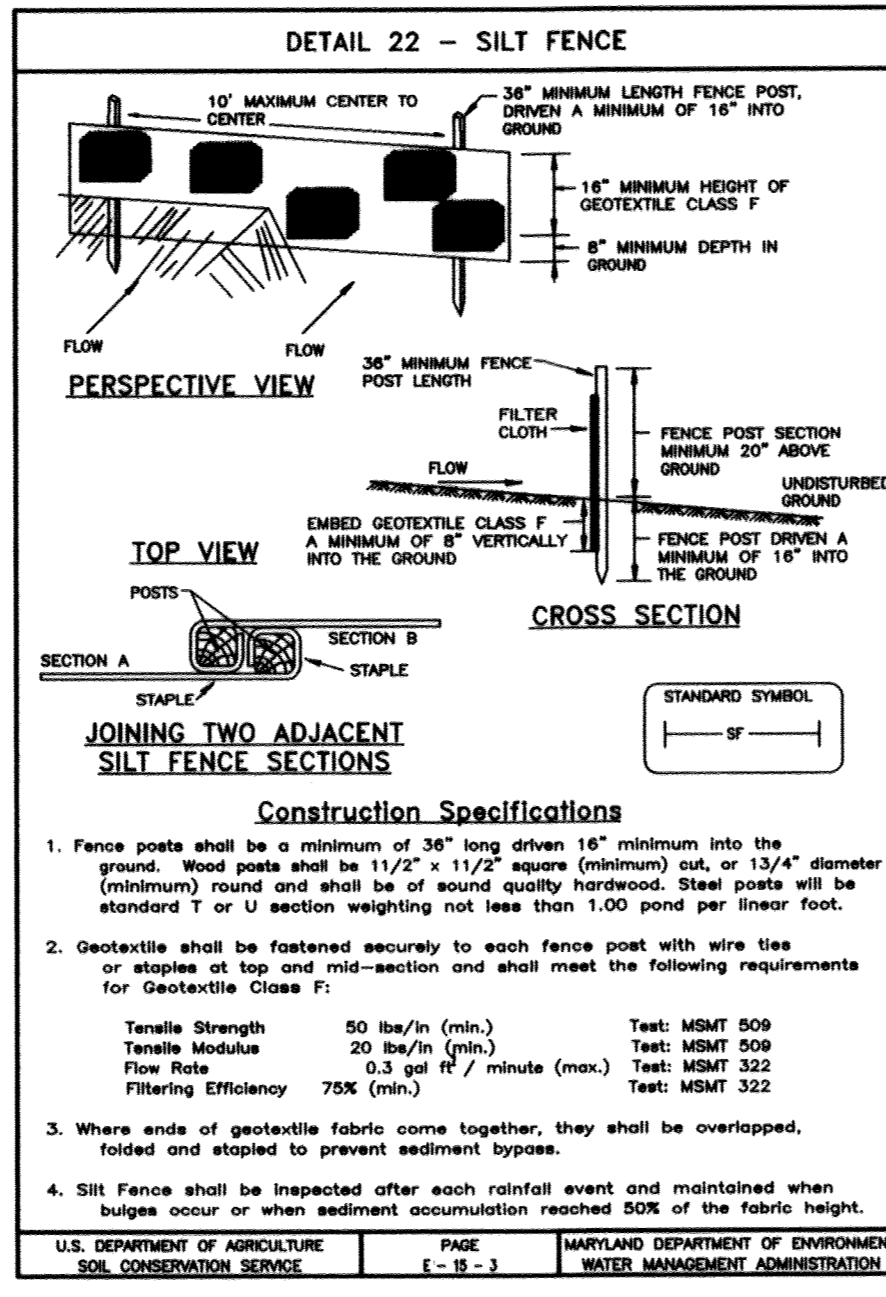
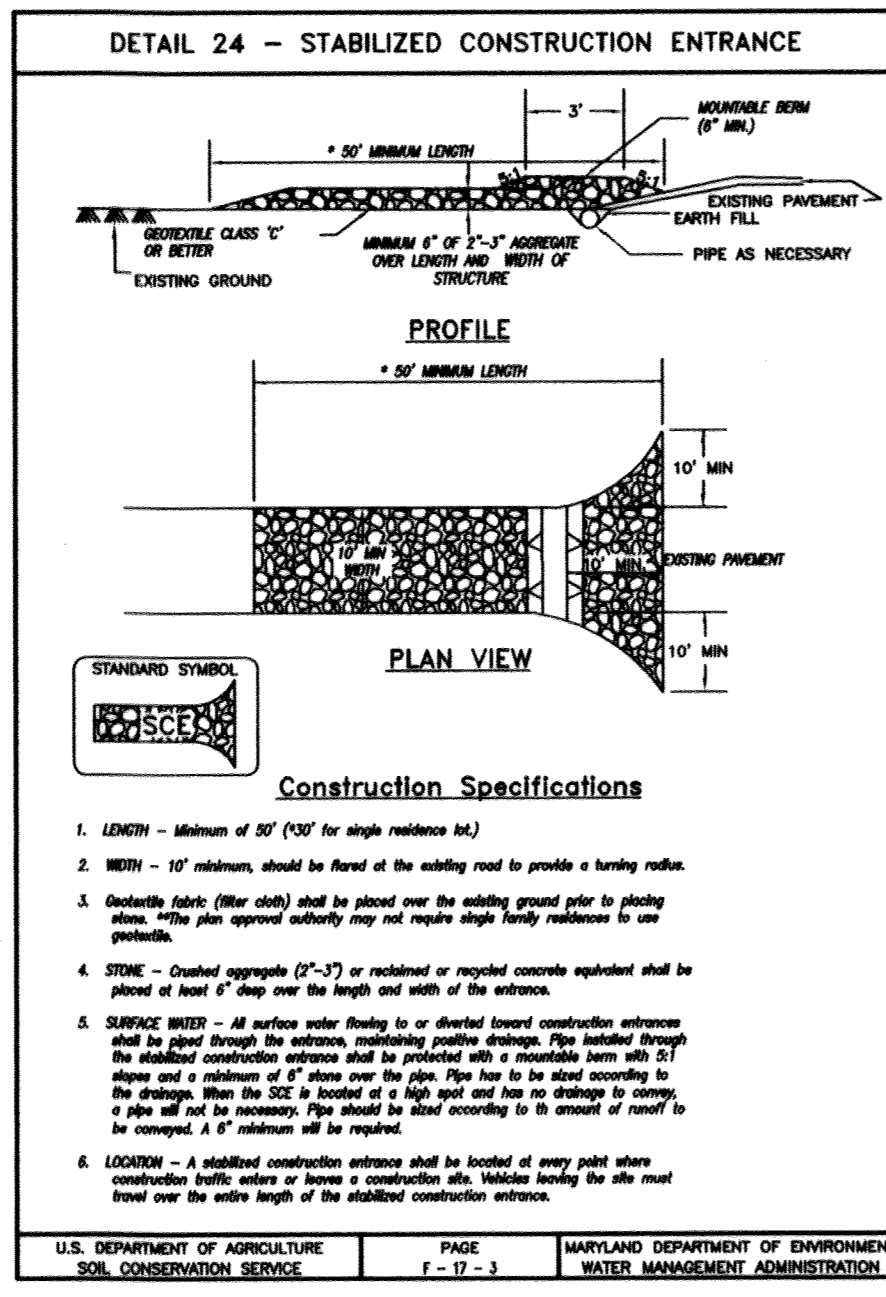
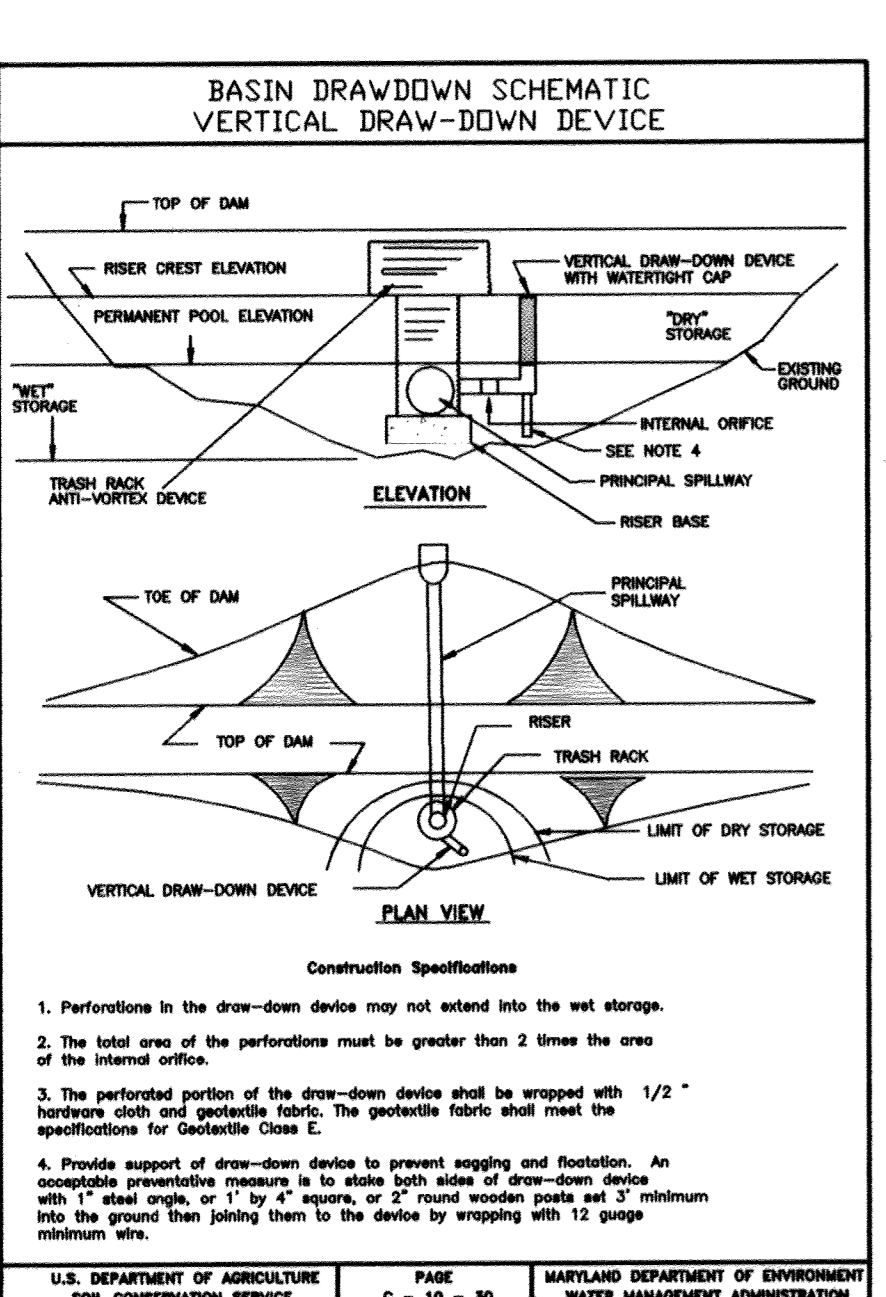
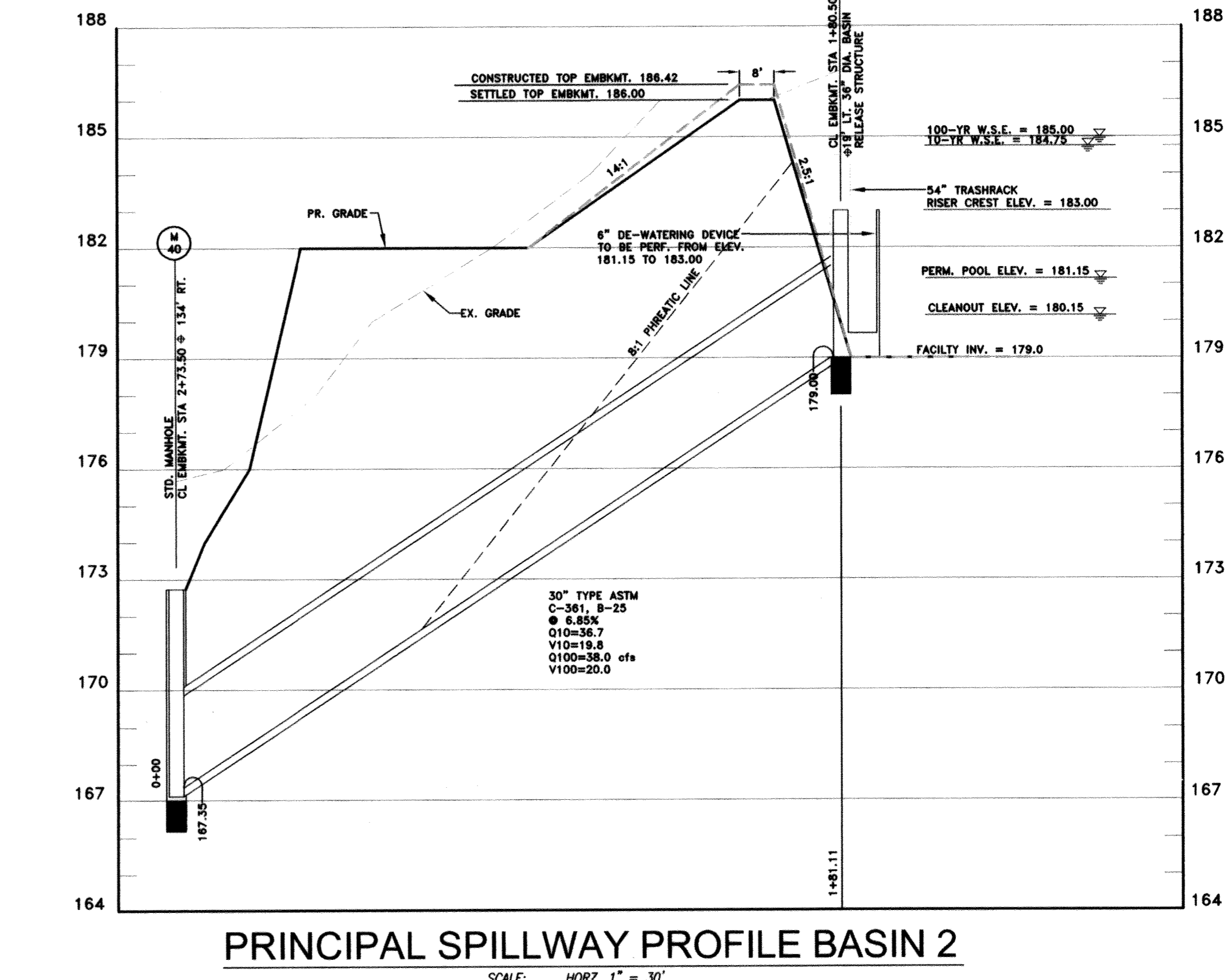
ELKRIDGE-CROSSING-PHASE-ON  
 PARCELS A-E  
 TAX MAP 38, GRID 2, PARCELS 30 & 38  
 FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
 STORMWATER MANAGEMENT DRAINAGE AREA MAPS

JURI MAISTE - SITE DESIGN CONSULTANT  
 2823 Chesapeake Avenue, Baltimore, Maryland, 21234  
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 Phone: 410-560-1502 Fax: 410-560-0827



### DETAIL 16 CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE (continued)

Riser Diam. In.	Trash Rack Cyl. Diam. In.	Trash Rack Thick. In.	H. In.	Minimum Size Support Bar	Minimum Top Thickness	Stiffener
12	18	16	6	#6 Rebar	16 ga.	---
15	21	16	7	"	"	---
18	27	16	8	"	"	---
21	30	16	11	"	"	---
24	36	16	13	"	14 ga.	---
27	42	16	15	"	14 ga.	---
30	48	16	16	"	14 ga.	---
36	54	16	17	#8 Rebar	12 ga.	---
42	60	16	19	"	"	---
48	72	12	21	1-1/4\"/>		



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-1-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-1-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-1-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-1-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*Jim Meyer* 8/24/06  
USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Roberts* 8/24/06  
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/10/06  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 9/10/06  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 9/10/06  
DIRECTOR DATE

OWNERS/DEVELOPERS

PARCEL 30 - GWENRIDGE LLC  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA, MD 21045

PARCEL 38 - MEHTA CHARALUTA TRUST  
5551 OAKLAND MILLS ROAD  
COLUMBIA, MD 21045

BRANTLY DEVELOPMENT GROUP, INC.  
8835-P COLUMBIA 100 PARKWAY  
COLUMBIA, MD 21045

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT I MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

*[Signature]* 8/24/06  
SIGNATURE OF ENGINEER (Print name below signature) DATE

*[Signature]* 8/24/06  
PATRICK C. RICHARDSON  
DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 8/24/06  
SIGNATURE OF DEVELOPER (Print name below signature) DATE

DRAWN: CND  
DATE: MAY 10, 2006  
SCALE: NTS

DATE: 5/25/21  
ADD SHEET 97

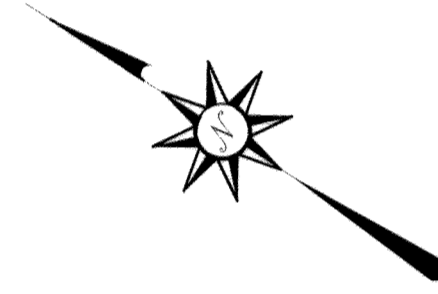
ELKRIDGE - CROSSING - PHASE ONE  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
SED. & EROSION CONTROL DETAILS

JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Chesapeake Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
RICHARDSON ENGINEERING, LLC  
730 W. Padonia Road, Suite 101, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SHEET 53 OF 57

SDP-04-017





THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

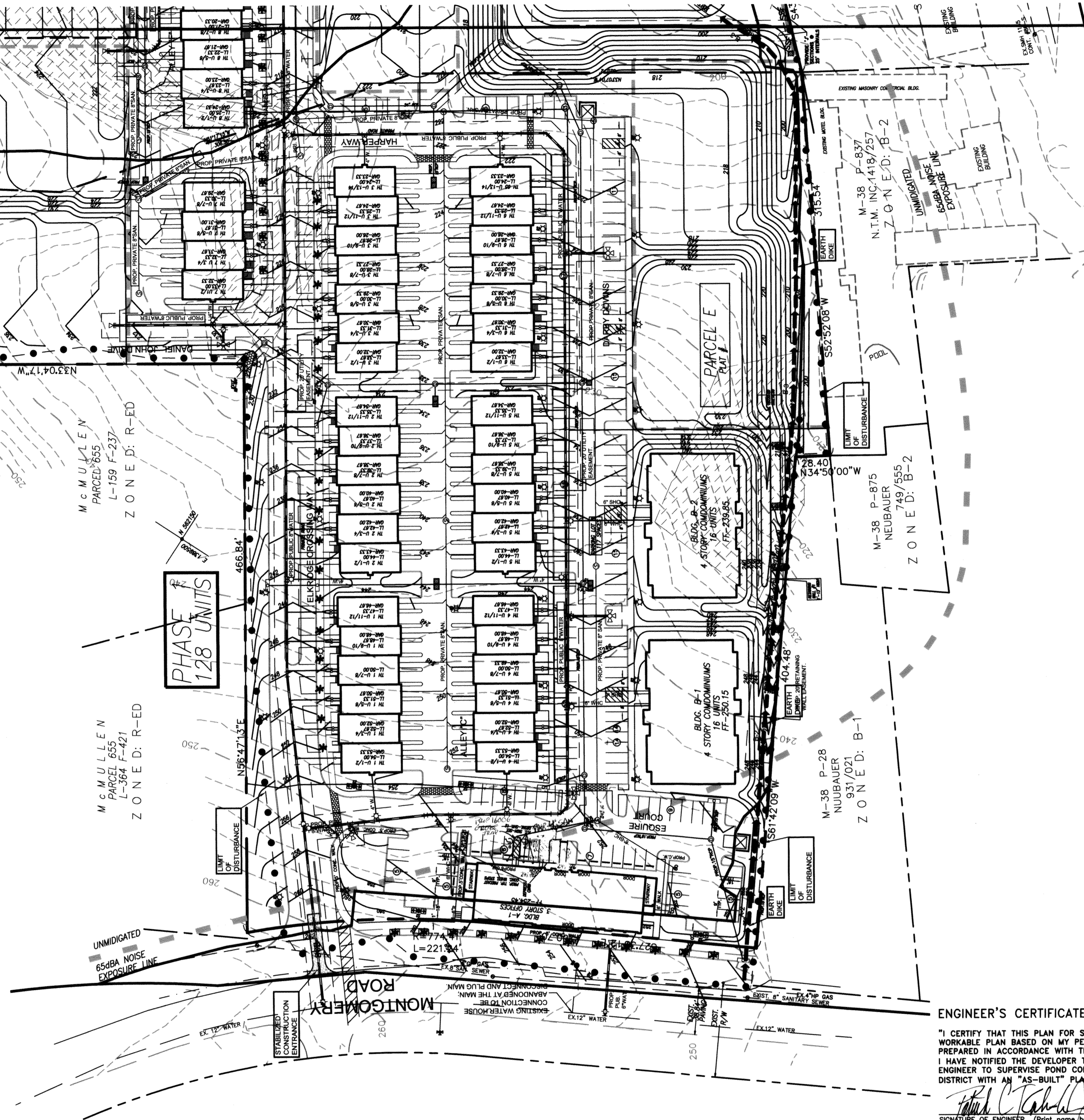
HOWARD SOIL CONSERVATION DISTRICT

APPROVED:	DEPARTMENT OF PLANNING AND ZONING
<i>[Signature]</i>	7/2/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>[Signature]</i>	8/1/07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i>	8/2/07
DIRECTOR	DATE

**LEGEND**

- 100--- EXISTING CONTOUR
- 100--- EXISTING PAVED AREAS
- [ ] EXISTING BUILDING
- 100--- PROPOSED PAVING
- 100--- PROPOSED CONTOUR
- SF SF SF SILT FENCE
- SSF SSF SSF SUPER SILT FENCE
- LIMIT OF DISTURBANCE

OWNERS/DEVELOPERS	
PARCEL 30 -	GWENRIDGE LLC
	8835-P COLUMBIA 100 PARKWAY
	COLUMBIA, MD 21045
PARCEL 38	MEHTA CHARALUTA TRUST
	5551 OAKLAND MILLS ROAD
	COLUMBIA, MD 21045
	BRANTLY DEVELOPMENT GROUP, INC.
	8835-P COLUMBIA 100 PARKWAY
	COLUMBIA, MD 21045



**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

*[Signature]* 6/26/07  
SIGNATURE OF ENGINEER (Print name below signature) DATE

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 6/27/07  
SIGNATURE OF DEVELOPER (Print name below signature) DATE

Rev./Replacement Sht.

DRAWN: OND  
DATE: MARCH 1, 2006  
06107  
SCALE: 1"=50'

DATE	REVISION
1/1/07	W.H.C. BLDG. A-2 & MEHTA CIRCLE OND
2/1/07	W.H.C. BLDG. A-2 & MEHTA CIRCLE OND
3/1/07	W.H.C. BLDG. A-2 & MEHTA CIRCLE OND
3/25/07	ADD Sheet 57

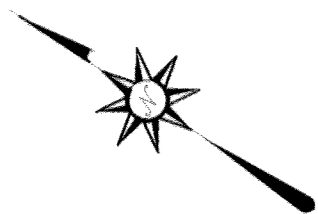
**ELKRIDGE-CROSSING-PHASE ONE**  
PARCELS A-E  
TAX MAP 38, GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SED. & EROSION CONTROL PLAN**

JURI MAISTE - SITE DESIGN CONSULTANT  
2923 Chemoak Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8782 Fax: 410-661-8782  
RICHARDSON ENGINEERING, LLC  
110 Old Padonia Road, Suite 1C, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-560-0827

SDP-04-017

**LEGEND**

- 100 --- EXISTING CONTOUR
- 100 --- EXISTING PAVED AREAS
- 100 --- EXISTING BUILDING
- 100 --- PROPOSED PAVING
- 100 --- PROPOSED CONTOUR
- SF-SF-SF SILT FENCE
- SSF-SSF-SSF SUPER SILT FENCE
- 100 --- LIMIT OF DISTURBANCE



MATCHLINE SHEET 56  
MATCHLINE SHEET 55

MATCHLINE SHEET 56  
MATCHLINE SHEET 55

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

*John M. ...* 9/22/06  
DATE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*John ...* 9/22/06  
DATE

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

*Patrick C. Richardson* 9/22/06  
SIGNATURE OF ENGINEER (Print name below signature) DATE  
**PATRICK C. RICHARDSON**  
REGISTERED PROFESSIONAL ENGINEER

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*John F. ...* 8/1/06  
SIGNATURE OF DEVELOPER (Print name below signature) DATE  
**JOHN F. ...**

OWNERS/DEVELOPERS	
PARCEL 30 -	GWENRIDGE LLC
8835-P COLUMBIA 100 PARKWAY	COLUMBIA, MD 21045
PARCEL 38	MEHTA CHARALUTA TRUST
5551 OAKLAND MILLS ROAD	COLUMBIA, MD 21045
BRANTLY DEVELOPMENT GROUP, INC.	8835-P COLUMBIA 100 PARKWAY
	COLUMBIA, MD 21045

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>...</i> 9/6/06	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	
<i>...</i> 9/14/06	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	
<i>...</i> 9/18/06	DATE
DIRECTOR	

SEDIMENT BASIN NO. 1  
PROPOSED D.A.: 21.88 AC.  
EXISTING D.A.: 20.00 AC.  
STORAGE REQ'D.: 78,768 C.F.  
STORAGE PROVID.: 85,000 C.F.  
WET STORAGE REQ'D.: 39,384 C.F.  
WET STORAGE PROVID.: 39,384 C.F.  
WET STORAGE: 189.10  
DRY STORAGE REQ'D.: 39,384 C.F.  
DRY STORAGE PROVID.: 62,652 C.F.  
DRY STORAGE: 192.70 (WEIR CREST)  
CLEAN OUT REQ'D.: 19,692 C.F.  
CLEAN OUT PROVID.: 19,692 C.F.  
CLEAN OUT ELEV.: 187.00  
SIDE SLOPE: 3:1  
BARRELL PIPE SIZE: 36"  
BARRELL INV.: 185.58  
STORAGE DEPTH: 8.7'  
TOP ELEVATION: 196.20 (EMBANKMENT ELEV.)  
EX. GROUND AT SPILLWAY: 194  
BOTTOM ELEV.: 184.0

SEDIMENT BASIN NO. 2  
PROPOSED D.A.: 14.87 AC.  
EXISTING D.A.: 14.87 AC.  
STORAGE REQ'D.: 53,534 C.F.  
STORAGE PROVID.: 54,052 C.F.  
WET STORAGE REQ'D.: 26,767 C.F.  
WET STORAGE PROVID.: 26,800 C.F.  
WET STORAGE: 181.15  
DRY STORAGE REQ'D.: 26,767 C.F.  
DRY STORAGE PROVID.: 27,252 C.F.  
DRY STORAGE: 183.0 (WEIR CREST)  
CLEAN OUT REQ'D.: 13,384 C.F.  
CLEAN OUT PROVID.: 13,400 C.F.  
CLEAN OUT ELEV.: 180.15  
SIDE SLOPE: 2:1  
BARRELL PIPE SIZE: 30"  
BARRELL INV.: 178.5  
STORAGE DEPTH: 4.0'  
TOP ELEVATION: 186.0 (EMBANKMENT ELEV.)  
EX. GROUND AT SPILLWAY: 184  
BOTTOM ELEV.: 179

DATE: 11/1/07  
BY: JCM  
CHECKED: JCM  
REVISION: 1  
NO. 1  
3-29-07 Add Sheet 07  
3-29-07 Remove Title Block

DATE: 11/1/07  
BY: JCM  
CHECKED: JCM  
REVISION: 1  
NO. 1  
3-29-07 Add Sheet 07  
3-29-07 Remove Title Block

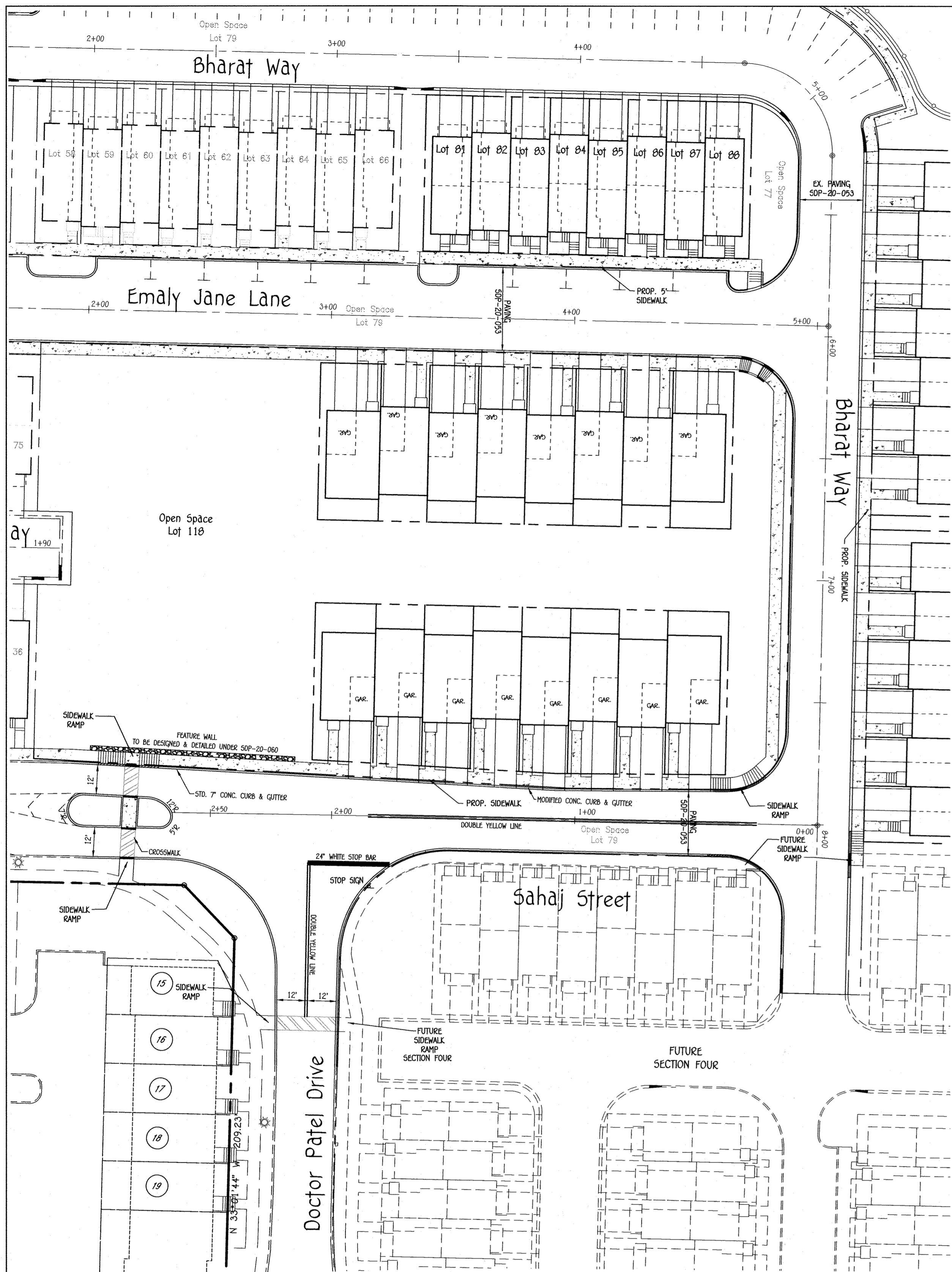
**ELKRIDGE-CROSSING-PHASE ONE**  
PARCELS A-E  
TAX MAP 38 GRID 2, PARCELS 30 & 38  
FIRST ELECTION DISTRICT, HOWARD COUNTY, MARYLAND  
**SED. & EROSION CONTROL PLAN**

**JURI MAISTE - SITE DESIGN CONSULTANT**  
2923 Chonak Avenue, Baltimore, Maryland 21234  
Phone: 410-661-8752 Fax: 410-661-8752  
**RICHARDSON ENGINEERING, LLC**  
110 Old Padonia Road, Suite 1C, Cockeysville, Maryland 21030  
Phone: 410-560-1502 Fax: 410-660-0827

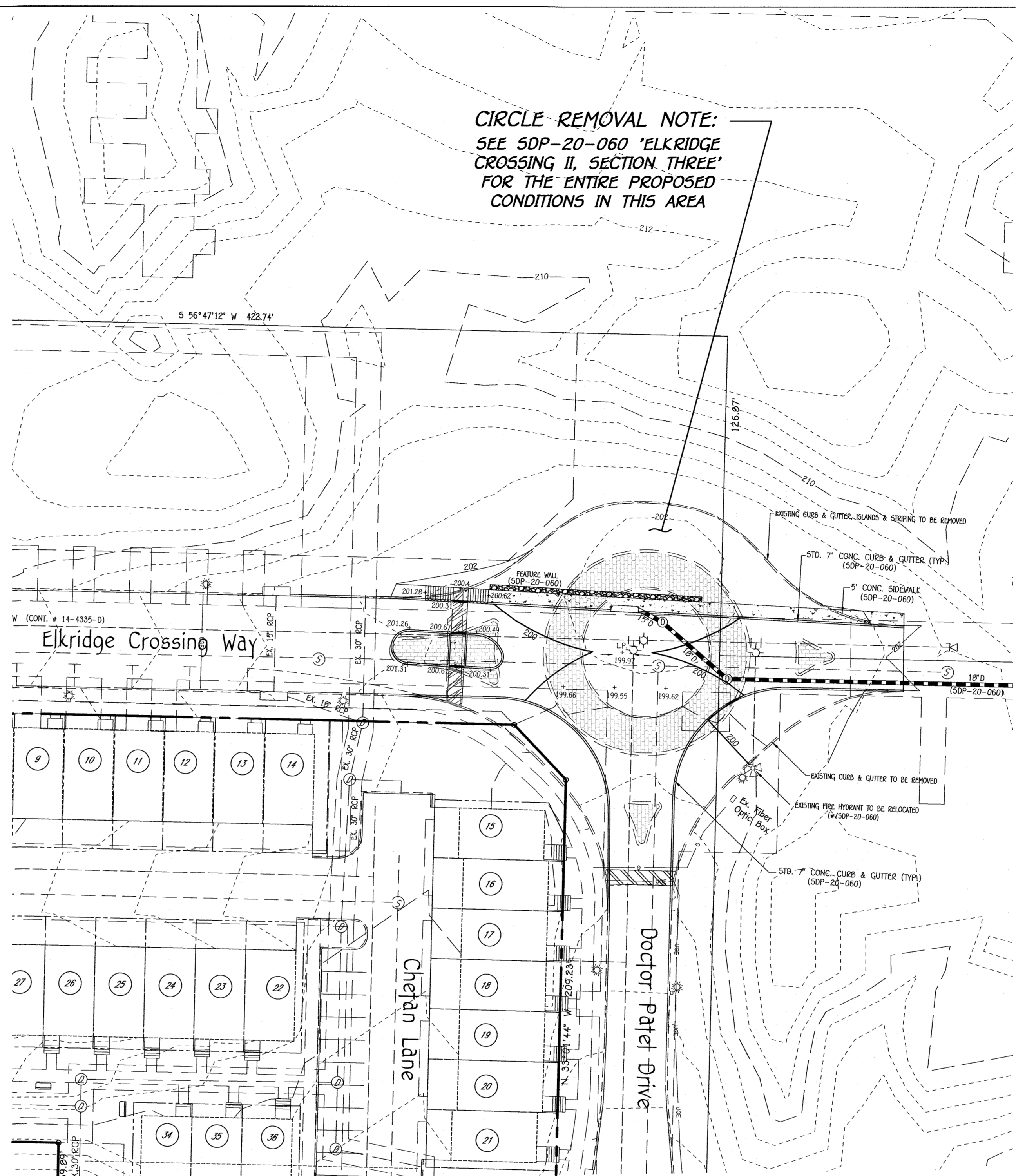
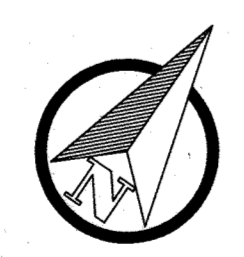
SHEET  
56 OF 57

SDR04-017

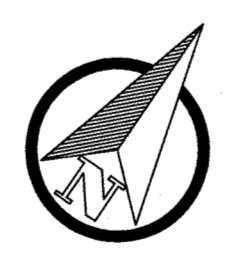




**ULTIMATE DEVELOPMENT PLAN**  
SCALE: 1" = 30'

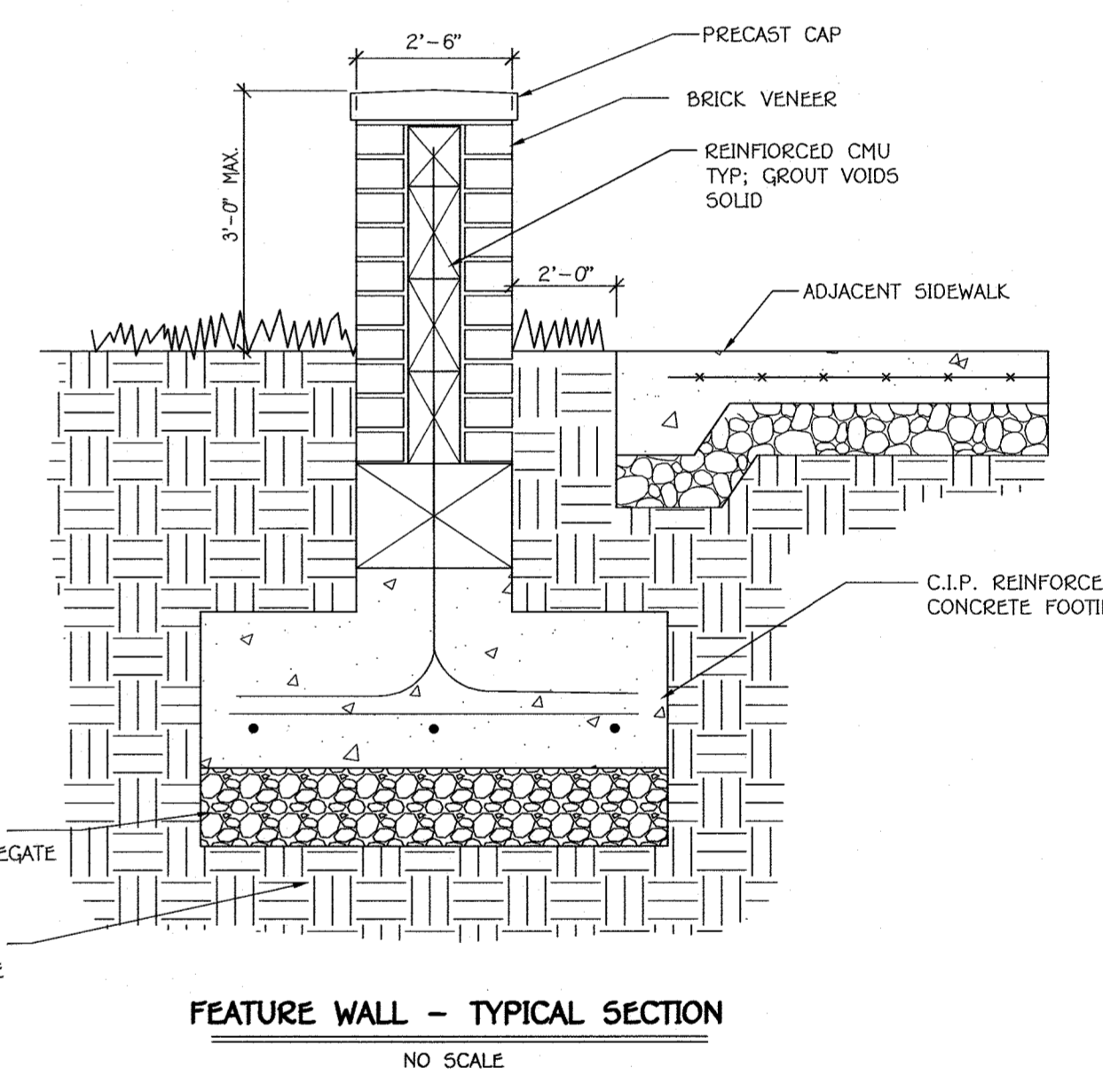


**CIRCLE REMOVAL PLAN**  
SCALE: 1" = 30'

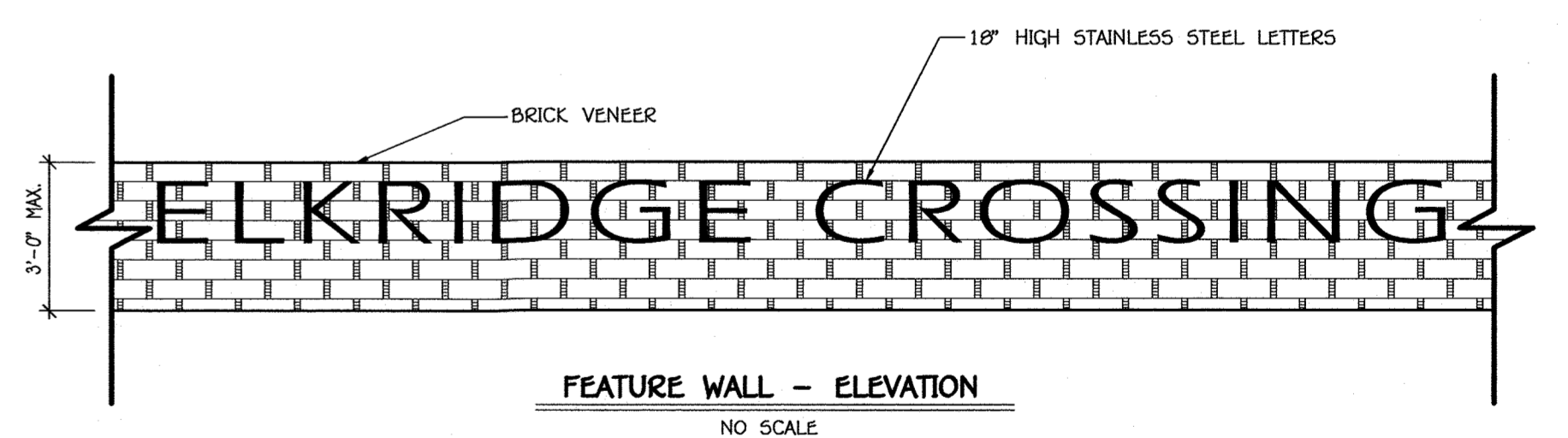


**NOTE:**  
ALL PAVING, LANDSCAPING SIDEWALKS, ADA RAMPS & FEATURE WALL LOCATED WITHIN THE AREA OF THE EXISTING TRAFFIC CIRCLE REMOVAL WILL BE DESIGNED & DETAILED UNDER SDP-20-060.

LEGEND	
SYMBOL	DESCRIPTION
---100---	EXISTING CONTOUR 10' INTERVAL
---102---	EXISTING CONTOUR 2' INTERVAL
---100---	PROPOSED CONTOUR 10' INTERVAL
---102---	PROPOSED CONTOUR 2' INTERVAL
+14.72	PROPOSED SPOT SHOT
~~~~~	EXISTING TREELINE
~~~~~	65 DBA NOISE LINE (Unmitigated)
---	ZONING LINE
---	STORM DRAIN
☀	STREET LIGHT (existing)
☀	STREET LIGHT (proposed)
---	PROPOSED BENCH
○	TREE (proposed)
○	TREE (existing)
---	PROPOSED MAILBOX BANK
⊙	BORING LOCATION
⊙	PROPOSED 1-1/2" TWIN WHC
⊙	PROPOSED 4" SHC



**FEATURE WALL - TYPICAL SECTION**  
NO SCALE



**FEATURE WALL - ELEVATION**  
NO SCALE

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21104  
(410) 461-2995

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development MW  
Date: 5/5/21

Chief, Development Engineering Division JP  
Date: 4-21-21

Director - Department of Planning and Zoning  
Date: 5-5-21



**Owner**  
CHETAN B. MEHTA, BENEFICIARY OF THE CHETAN MEHTA IRREVOCABLE TRUST  
5192 TALBOTS LANDING  
ELLCOTT CITY, MARYLAND 21104  
443-285-9563

**Developer**  
ELKRIDGE DEVELOPERS, LLC  
5192 TALBOTS LANDING  
ELLCOTT CITY, MD 21104  
443-285-9563

NO.		REVISION		DATE	
SUBDIVISION	ELKRIDGE CROSSING	SECTION	N/A	LOT Nos.	N/A
PLAT NO.	N/A	BLOCK NO.	N/A	ZONE	CAC-CL1
TAX/ZONE	3B	ELEC. DIST.	1st	CENSUS TR.	601101

**CIRCLE REMOVAL PLAN**

**ELKRIDGE CROSSING PARCELS A THRU E**

Zoned: CAC-CL1  
Tax Map No.: 3B Grid No.: 2 Parcel No.: 30 & 3B  
First Election District: Howard County, Maryland  
Scale: As Shown  
Date: March 25, 2021  
Sheet 57 of 57