

ADDRESS CHART	
LOT NO.	STREET ADDRESS
1	10226 CENTENNIAL WOODS LANE
2	10220 CENTENNIAL WOODS LANE
3	10214 CENTENNIAL WOODS LANE
4	10218 CENTENNIAL WOODS LANE
5	10222 CENTENNIAL WOODS LANE
6	10228 CENTENNIAL WOODS LANE
7	10221 CENTENNIAL WOODS LANE
8	10217 CENTENNIAL WOODS LANE
9	10213 CENTENNIAL WOODS LANE
10	10209 CENTENNIAL WOODS LANE

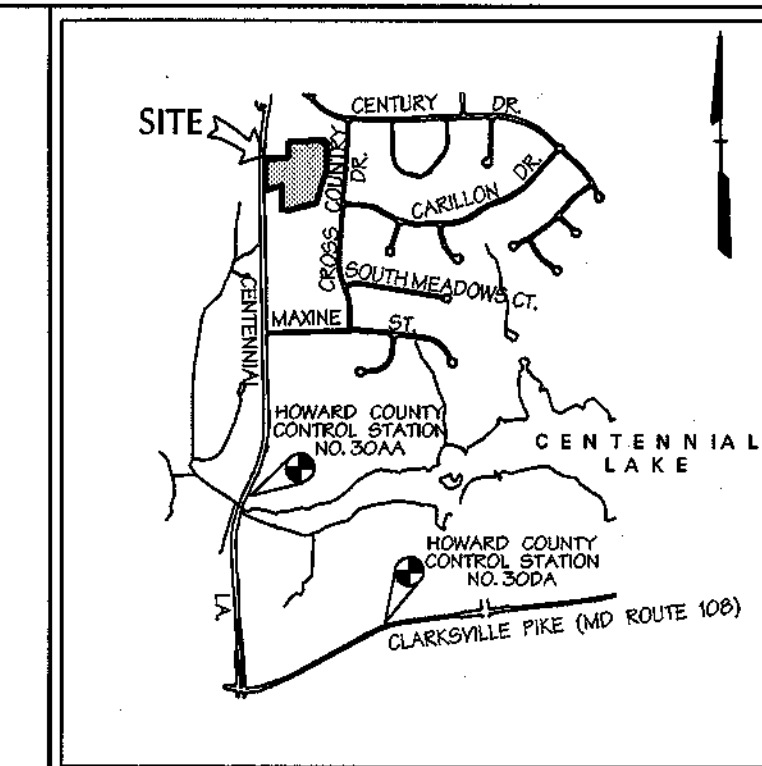
SHEET INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	HOUSE TYPE PLAN
3	SITE PLAN
4	GRADING PLAN
5	SEDIMENT & EROSION CONTROL PLAN
6	SEDIMENT & EROSION CONTROL DETAILS
7	LANDSCAPE PLAN
8	LANDSCAPE DETAILS

SITE DEVELOPMENT PLAN

CENTENNIAL WOODS

LOTS 1 THROUGH 10

HOWARD COUNTY, MARYLAND



VICINITY MAP

SCALE: 1"=2000'

BENCHMARK DESCRIPTION

1. COORDINATES AND BEARINGS SHOWN ON THIS PLAN ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED BY THE HOWARD COUNTY GEODETIC CONTROL SYSTEM MAP 83 (1981), AND ARE BASED ON THE FOLLOWING TRANSVERSE STATIONS (TRANSLATED METERS TO FEET):

DESIGNATION	NORTH (4FT)	EAST (4FT)
300A	572670.205	1349816.541
300A	572670.244	1349816.289

2. ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM 1985 (NAVD 85) WITH LOCAL REFERENCE TO THE FOLLOWING HOWARD COUNTY GEODETIC CONTROL SYSTEM STATIONS:

DESIGNATION	ELEVATION (4FT)
300A	384.632
300A	436.012

SITE ANALYSIS DATA CHART

- General Site Data
 - a. Present Zoning: R-20
 - b. Applicable DTZ File Reference: S-0047, F-0192, F-99-170, F-02-171
 - c. Proposed Use of Site or Structure(s): 10 Single Family Detached Residences
 - d. Proposed Water and Sewer Systems are public
 - e. Any Other Information Which May be Relevant:
- Area Tabulation
 - a. Total Project Area: 44.26 Acres
 - b. Area of This Plan Submission: 44.26 Acres
 - c. Limits of Disturbed Area: 15.34 Acres
 - d. Building Coverage of Site: N/A Ac and N/A % of Gross Area (Proposed)

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM AERIAL SURVEY WITH 2 FOOT CONTOUR INTERVALS, PREPARED BY 3DL INC. ON FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT 30AA AND 30DA WERE USED FOR THIS PROJECT.
- STORMWATER MANAGEMENT IS PROVIDED BY A SURFACE SAND FILTER FACILITY ON LOT 12 AND WAS APPROVED UNDER F-02-171.
- EXISTING UTILITIES ARE BASED ON CONTRACT NO. 24-3978-D
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE.
- FOR DRIVEWAY ENTRANCE DETAILS, REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-606.
- THE PROPERTY IS ZONED R-20 PER THE 1993 COMPREHENSIVE ZONING PLAN.

A. IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR CLOSED, MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.

B. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:

- WIDTH -- 12' (14' SERVING MORE THAN ONE RESIDENCE);
- SURFACE -- 6" OF COMPACTED CRUSHER RUN BASE W/ TAR AND CHIP COATING (1-1/2" MIN.);
- GEOMETRY -- MAX 15% GRADE, MAX 10% GRADE CHANGE AND MIN. 45° TURNING RAD.; DRIVEWAY TO BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN AND TYPICAL SECTION PROVIDED ON THIS SITE DEVELOPMENT PLAN.
- STRUCTURES (CULVERTS/BRIDGES) -- CAPABLE OF SUPPORTING 25 GROSS TONS (14-25 LOADING);
- DRAINAGE ELEMENTS -- CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
- MAINTENANCE -- SUFFICIENT TO INSURE ALL WEATHER USE.

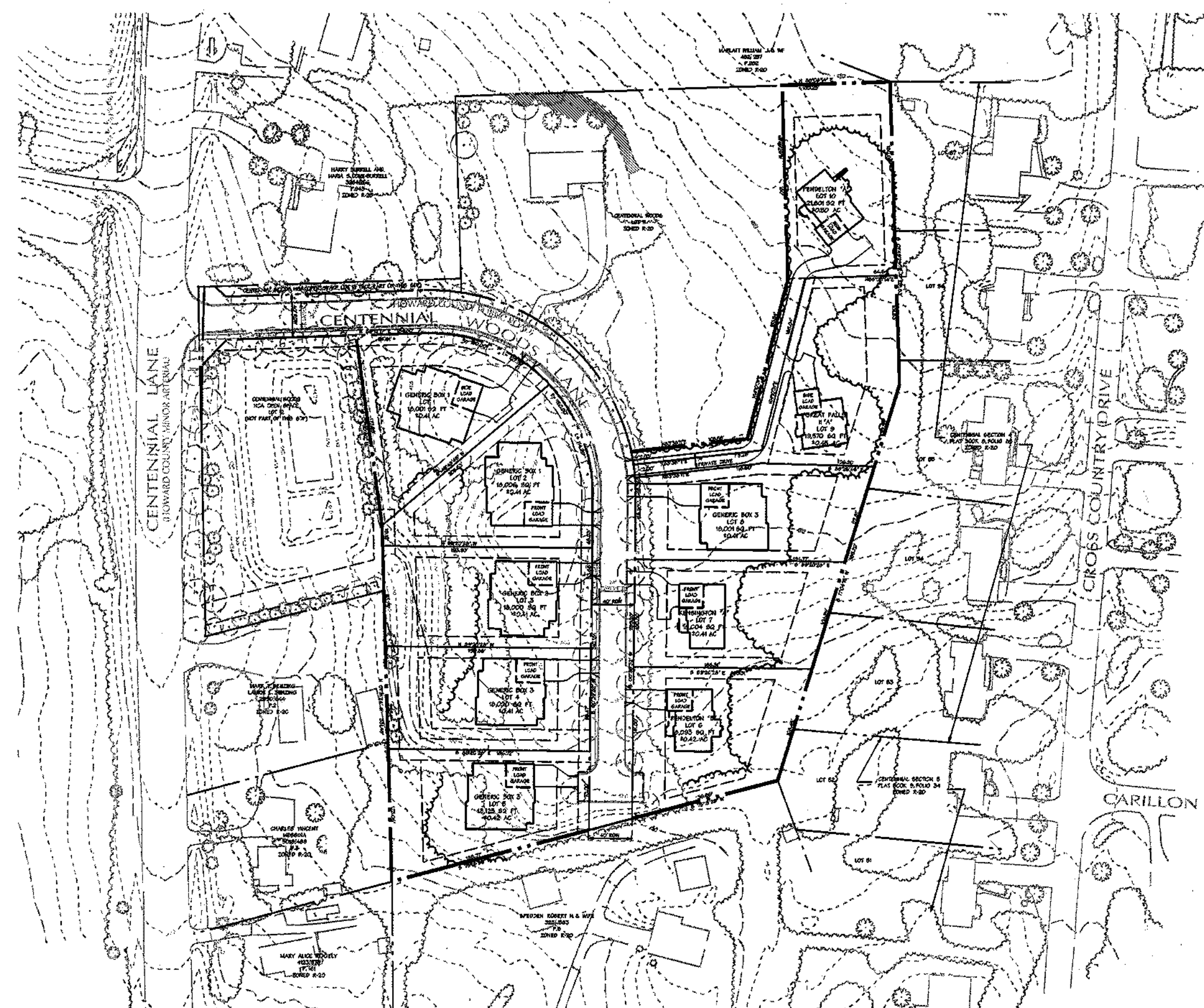
11. THIS PROJECT COMPLIES WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION UNDER F 02-171. THE 4.5 ACRE OBLIGATIONS WAS SATISFIED ON THE PROPERTY KNOWN AS CHASE FARM, LOT 5 TAX MAP 21

12. THIS PROJECT COMPLIES WITH SECTION 16.124 OF THE HOWARD COUNTY CODE FOR LANDSCAPE REQUIREMENTS. THE SURETY FOR THE REQUIRED LANDSCAPING FOR THIS PROJECT OF \$11,400.00 WAS POSTED WITH THE DEVELOPER'S AGREEMENT FOR F-02-171 AND THE SURETY FOR PERIMETERS 1, 2, AND 3 OF THIS SDP TO BE PAID WITH THE BUILDER'S GRADING PERMIT APPLICATION. PERIMETERS THAT WERE DEFERRED UNDER THE FINAL PLAN, HAVE BEEN ADDRESSED ON SHEET 7 AND 8 OF 8.

13. THERE ARE NO KNOWN CEMETERIES ON SITE.

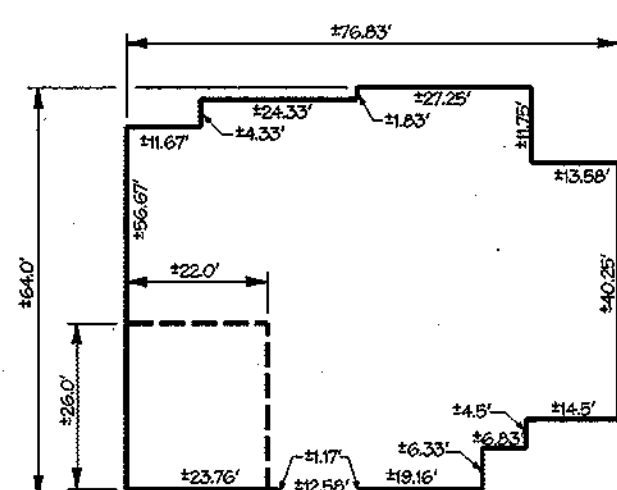
14. AS A RESULT OF THE PRELIMINARY PLAN BEING SUBMITTED TO THE COUNTY FOR REVIEW PRIOR TO 11/15/01, ON 01/05/02 IT IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. IN ADDITION, BECAUSE THE PRELIMINARY PLAN DID NOT OBTAIN SIGNATURE APPROVAL PRIOR TO 11/01/01, IT IS SUBJECT TO COMPLIANCE WITH COUNTY COUNCIL BILL 50-2001 WHICH AMENDS THE ZONING REGULATIONS, AND THE AMENDED ZONING REGULATIONS WHICH BECAME EFFECTIVE ON 01/06/02.

15. NO ANCILLARY IMPROVEMENTS SUCH AS FOUNDATION PLANTINGS, AIR CONDITIONING UNITS, FIRE PLACES, DECKS, ETC. SHALL BE CONSTRUCTED WITHIN OR OVER PUBLIC WATER & SEWER EASEMENTS LOCATED WITHIN RESIDENTIAL LOTS.

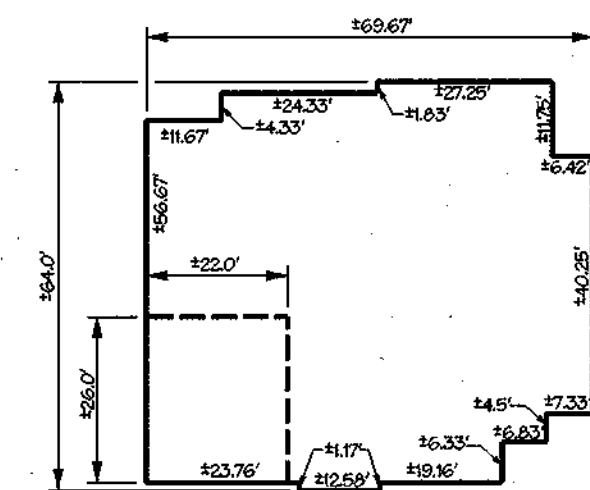


LOCATION MAP

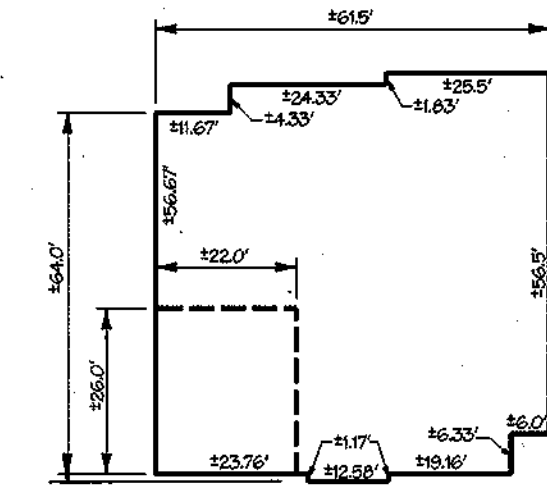
SCALE: 1"=100'



GENERIC BOX 1
SCALE: 1"=30'



GENERIC BOX 2
SCALE: 1"=30'



GENERIC BOX 3
SCALE: 1"=30'

HOUSE TYPES (SEE SHEET 2 OF 6)

- ASHLAND
- SUTTON PLACE
- PENDLETON
- GREAT FALLS II
- KENSINGTON
- GLENWOOD
- HATHAWAY I
- HATHAWAY II
- AFTON VIEW
- PROVIDENCE I
- PROVIDENCE II
- SAVANNAH
- CHARLESTON
- PENNINGTON
- WESTMORELAND*

* DUE TO HEIGHT LIMITATIONS THIS MODEL CAN NOT BE USED IN A WALK-OUT CONDITION

HOUSE TYPES (SEE SHEET 2 OF 6)

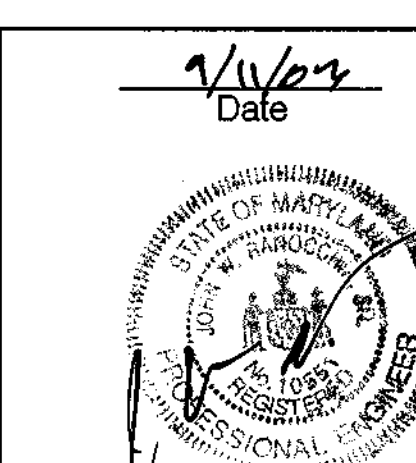
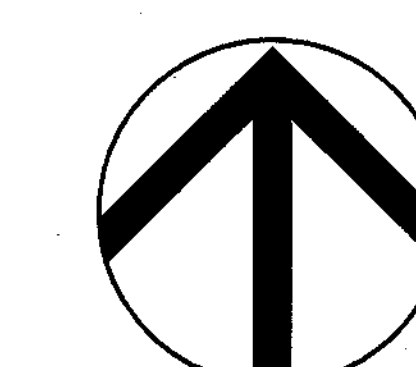
- ASHLAND
- SUTTON PLACE
- PENDLETON
- GREAT FALLS II
- KENSINGTON
- GLENWOOD
- HATHAWAY I
- HATHAWAY II
- AFTON VIEW (NO 3RD CAR GARAGE)
- PROVIDENCE I
- SAVANNAH
- CHARLESTON
- PENNINGTON
- WESTMORELAND*

* DUE TO HEIGHT LIMITATIONS THIS MODEL CAN NOT BE USED IN A WALK-OUT CONDITION

SEWER HOUSE CONNECTION TABLE

LOT	INV. AT E	MIN. C*
1	445.40	449.00
2	452.10	457.40
3	451.30	456.60
4	450.10	454.90
5	444.5	450.00
6	450.10	454.80
7	451.10	455.90
8	452.10	457.00
9	458.10 (DHC)	465.60
10	458.10 (DHC)	472.00

* MIN C is minimum floor elevation of unit that can be served by proposed sanitary connection.



Professional Engr. No. 10991

DATA SOURCES:
BOUNDARY PER RECORD PLAT 14167, TOPO PER 301 AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Carl Damman 10/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE

Quincy Swartz 10/25/03
CHIEF, DIVISION OF LAND DEVELOPMENT & DATE

Frank Z. Cayer 11/20/03
DIRECTOR DATE

Date	No.	Revision Description

CENTENNIAL WOODS LOTS 1-10 GENERIC SITE DEVELOPMENT PLAN "SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21738

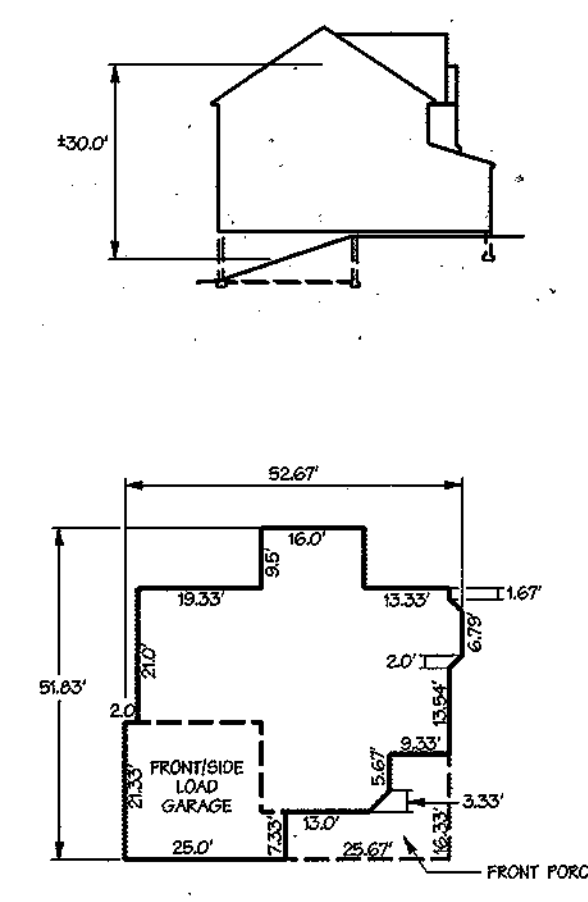
DMW
Daft McCune-Walker, Inc. A Team of Land Planners,
200 East Pennsylvania Avenue, Towson, Maryland 21286
(410) 296-3333 Fax 296-4705
Landscape Architects,
Civil/Structural Engineers,
Surveyors & Environmental Professionals

PROVISION NAME	SECTION AREA	LOT/FACILE #
CENTENNIAL WOODS	N/A	294
POINT OF BEGINNING	19.1	2
160225	R-20	2, NP
WATER CODE	J-06	5720200

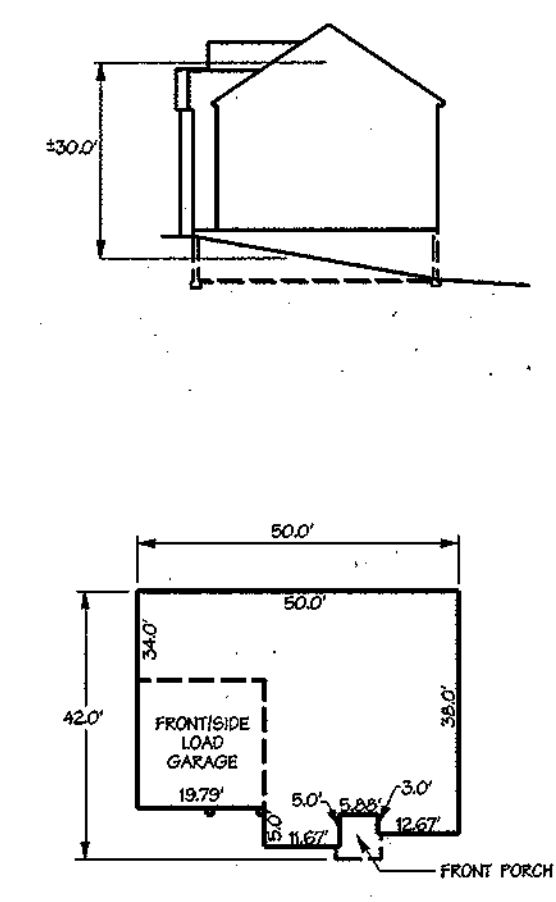
COVER SHEET

Drn By: BKC	Scale: AS NOTED	Proj. No. 00044.D0
Des By: BKC	Date: 9-5-03	
Chk By: J-06	Approved: _____	1 of 8

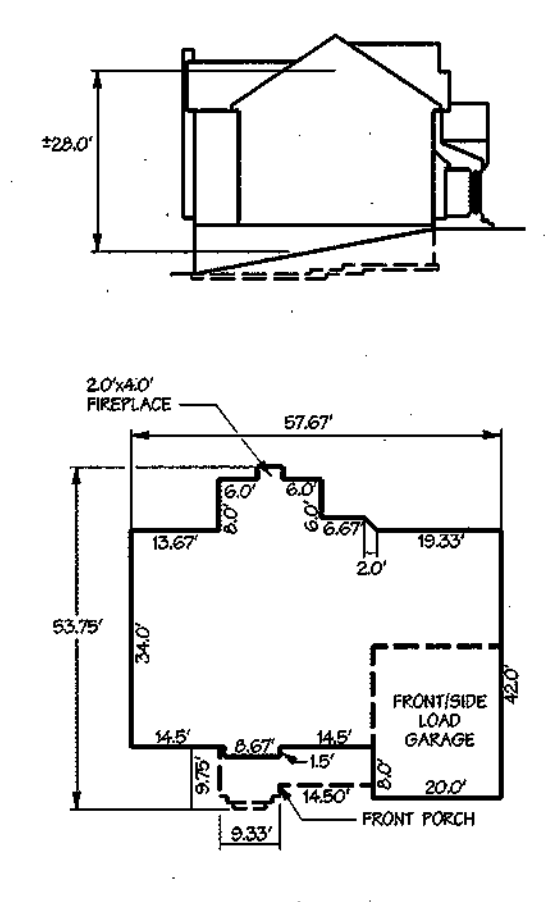
NOTE:
THESE 4 HOUSE TYPES HAVE BEEN EXCLUDED FROM THE GENERIC BOX'S. REFER TO SHEET 3 OF 8 FOR THE SPECIFIC LOTS THEY ARE SITED ON.



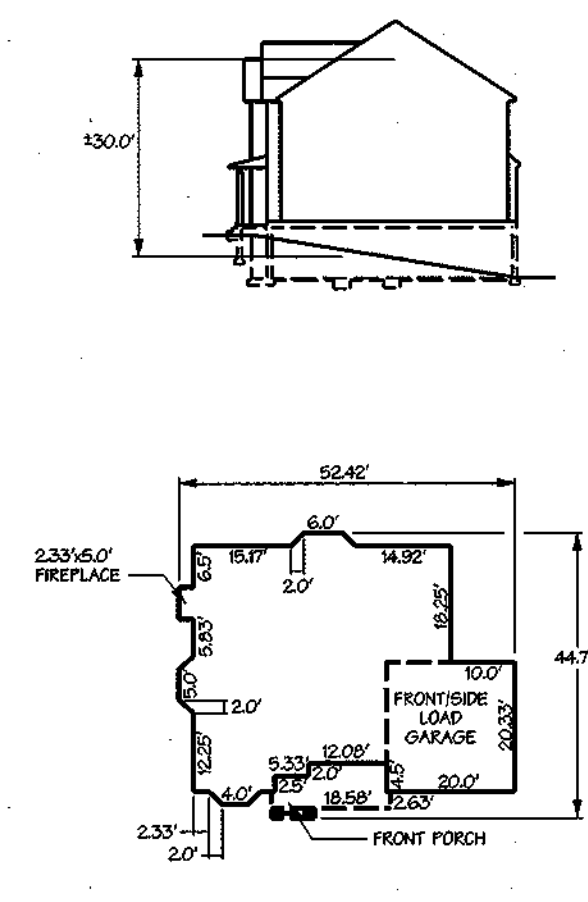
"A" ASHLAND
SCALE: 1"=30'



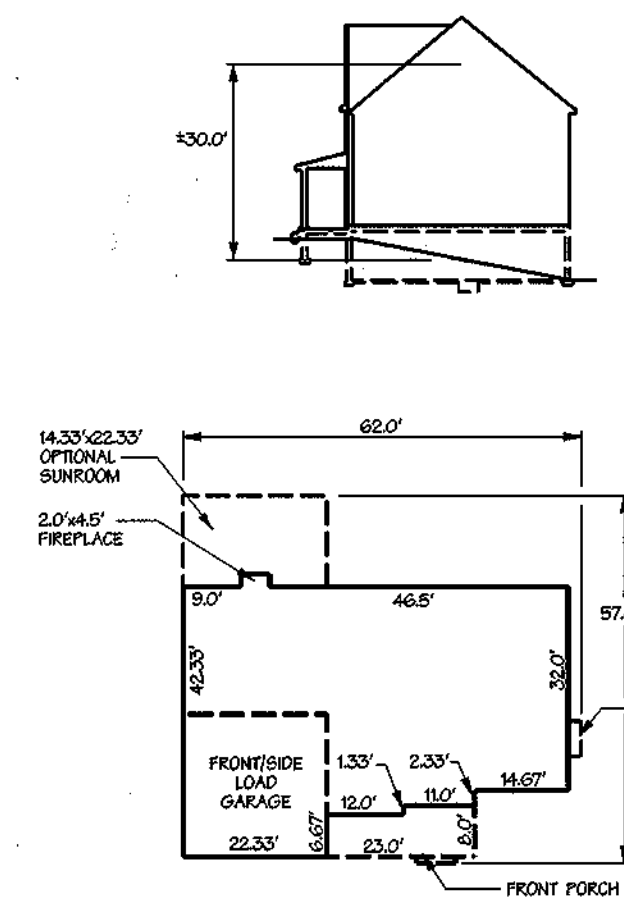
"B" BUTTON PLACE
SCALE: 1"=30'



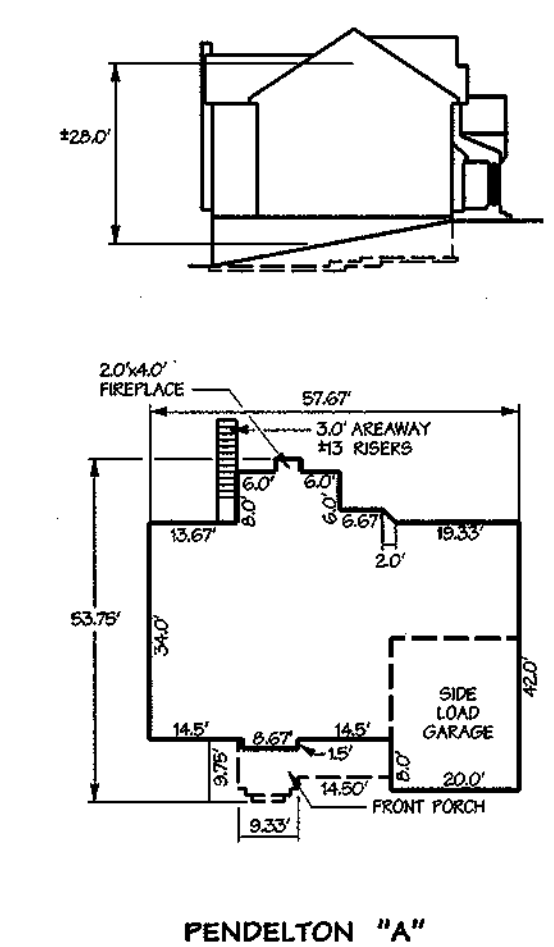
"C" PENDELTON
SCALE: 1"=30'



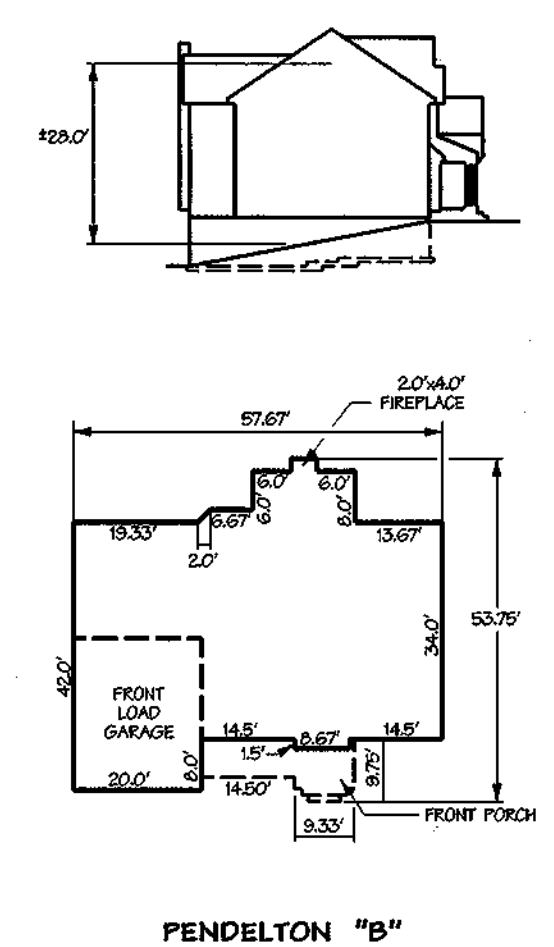
"D" GREAT FALLS
SCALE: 1"=30'



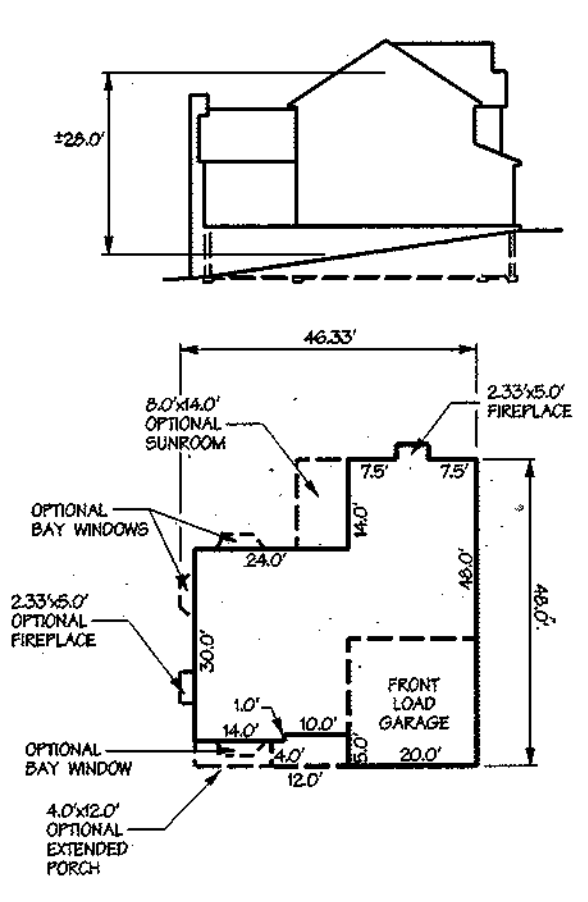
"E" KENSINGTON
SCALE: 1"=30'



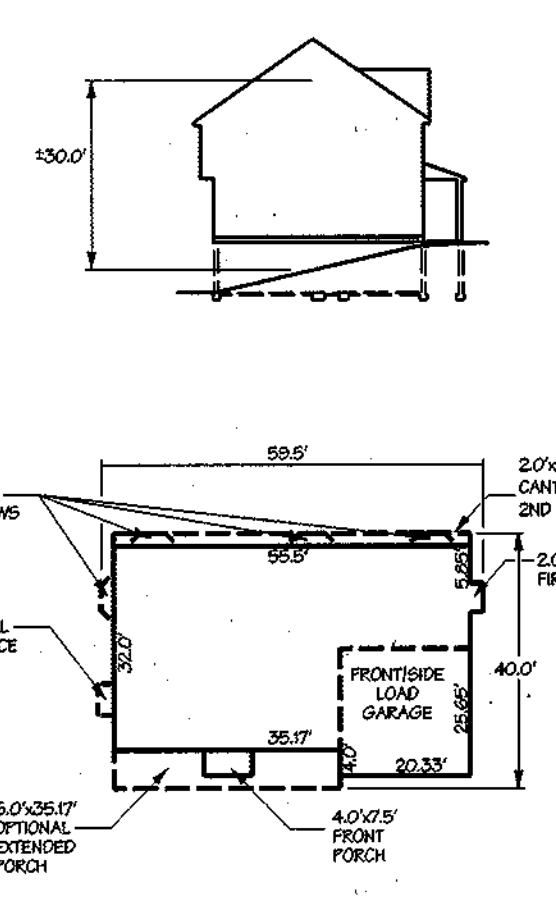
PENDELTON "A"
SCALE: 1"=30'



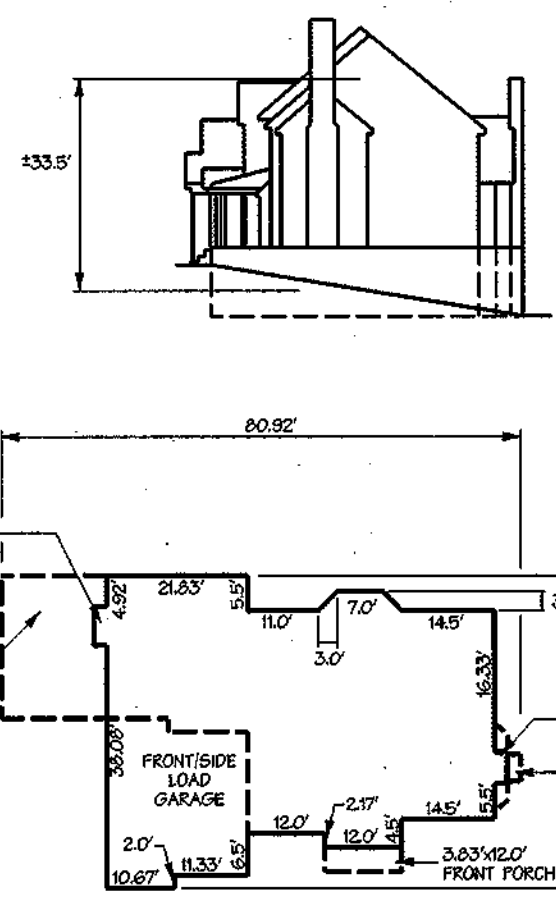
PENDELTON "B"
SCALE: 1"=30'



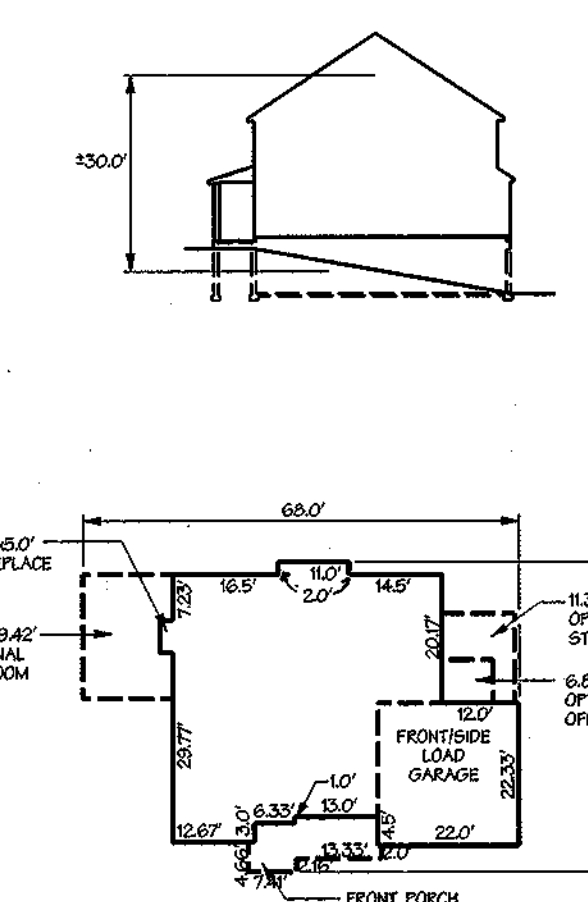
"G" GLENWOOD
SCALE: 1"=30'



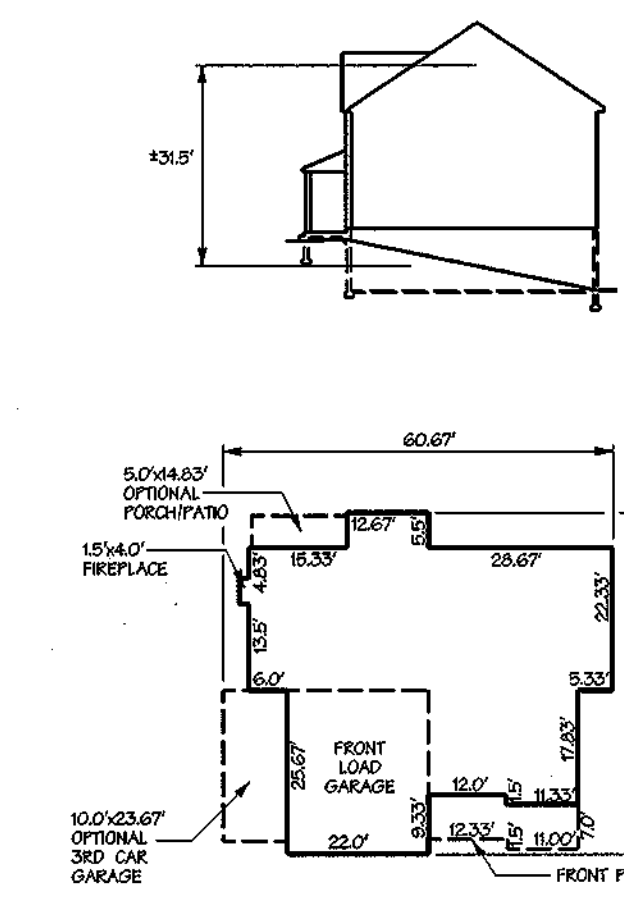
"H" HATHAWAY I & II
SCALE: 1"=30'



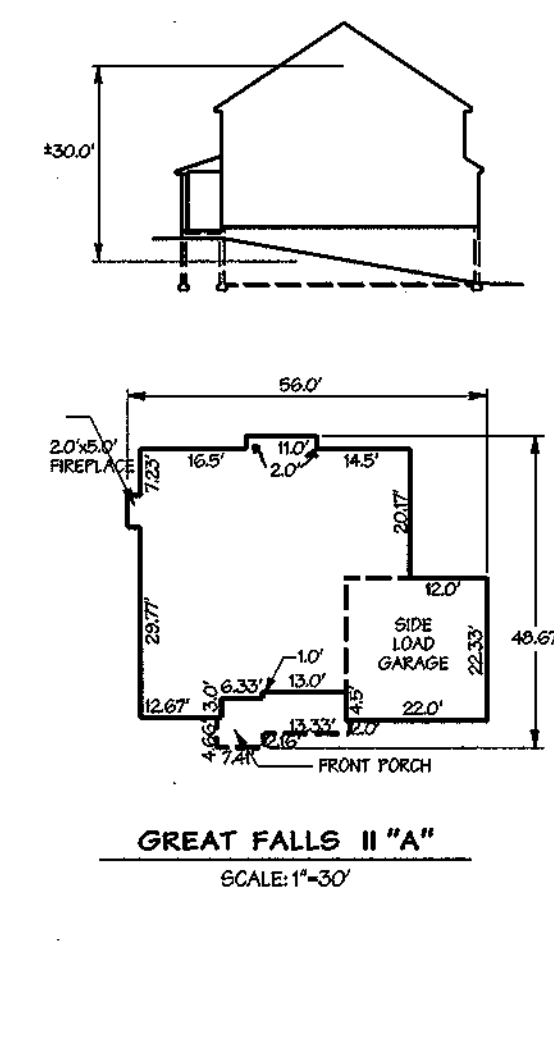
"I" AFTON VIEW
SCALE: 1"=30'



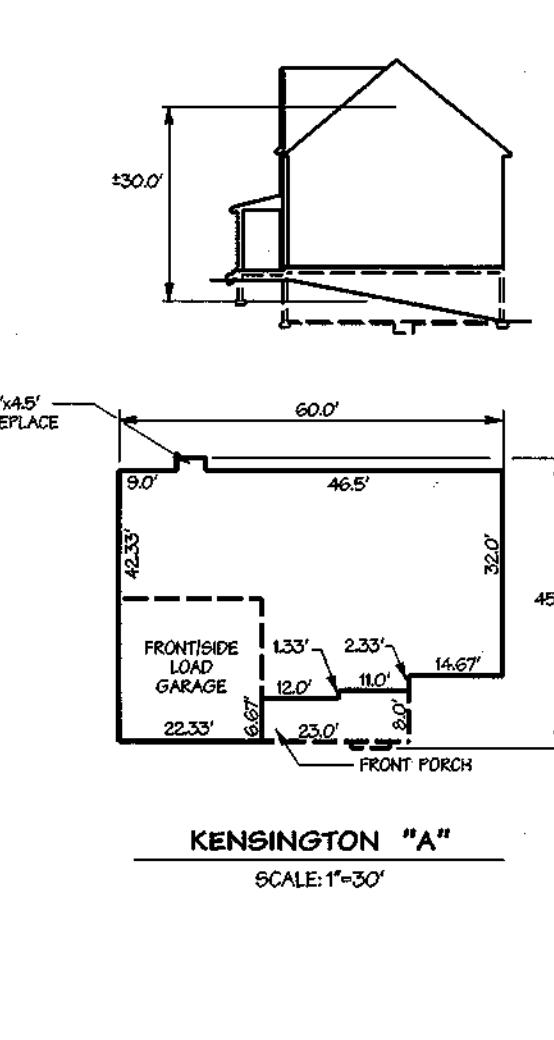
"J" GREAT FALLS II
SCALE: 1"=30'



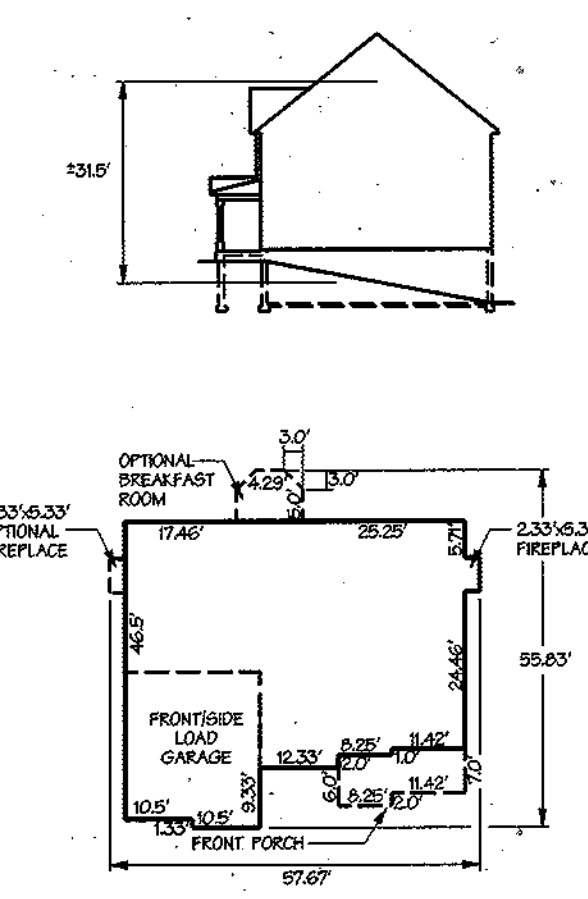
"K" SAVANNAH
SCALE: 1"=30'



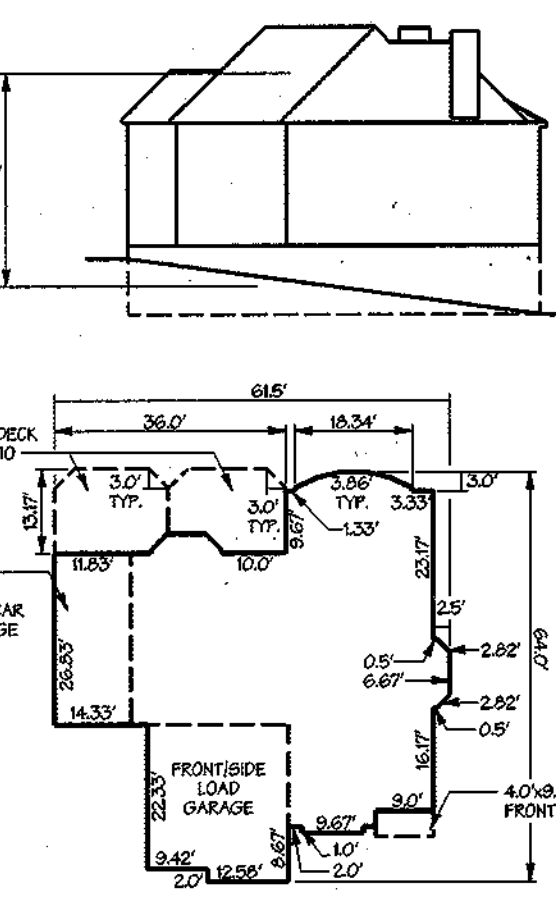
GREAT FALLS II "A"
SCALE: 1"=30'



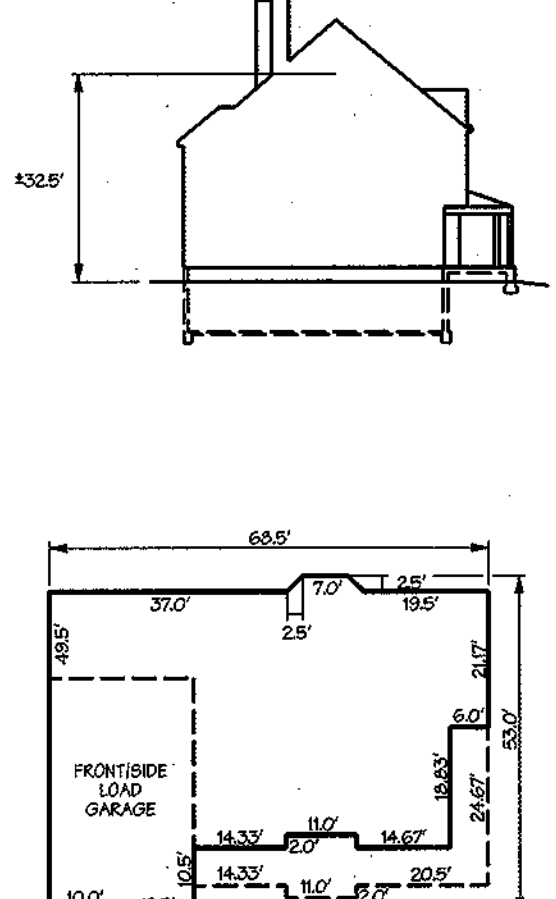
KENSINGTON "A"
SCALE: 1"=30'



"L" CHARLESTON
SCALE: 1"=30'

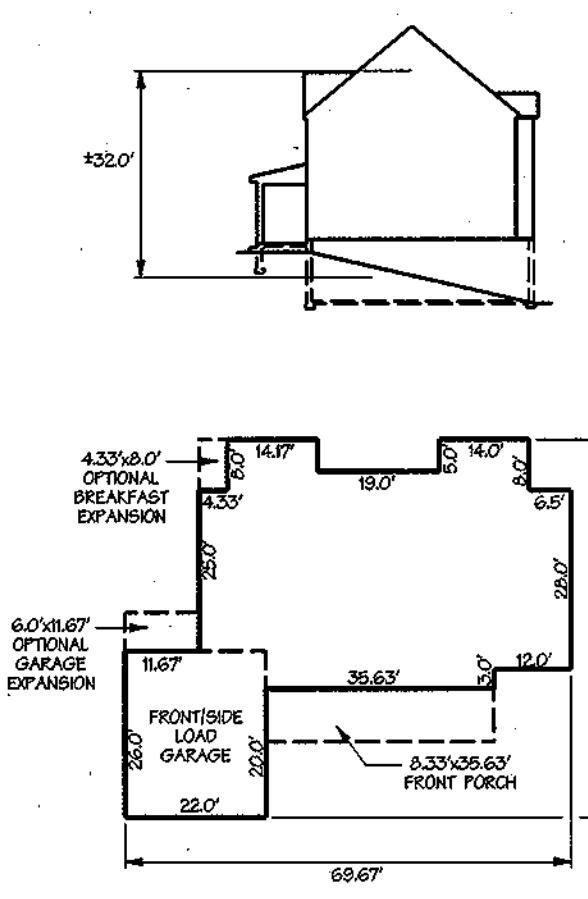


"M" PENNINGTON
SCALE: 1"=30'

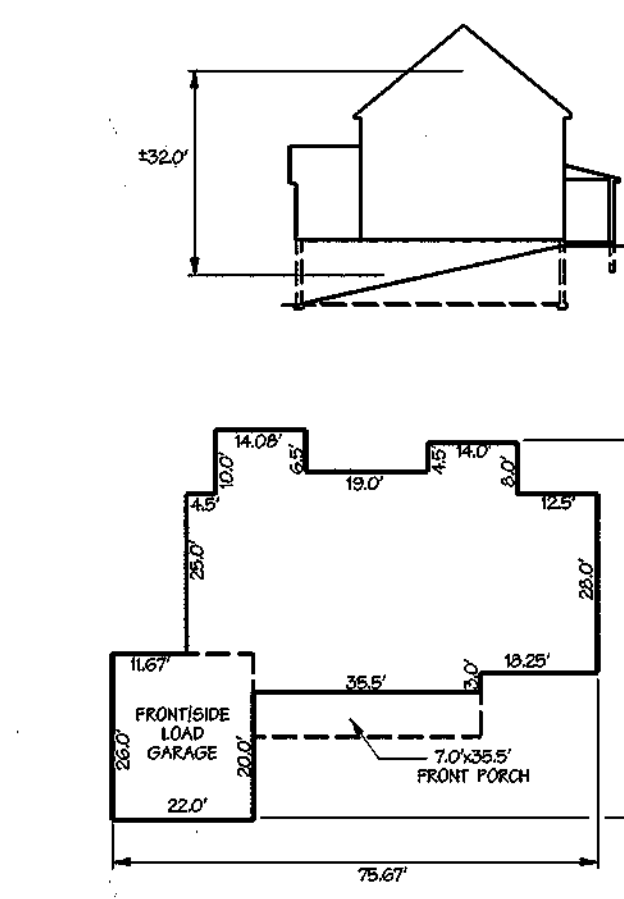


"N" WESTMORELAND
SCALE: 1"=30'

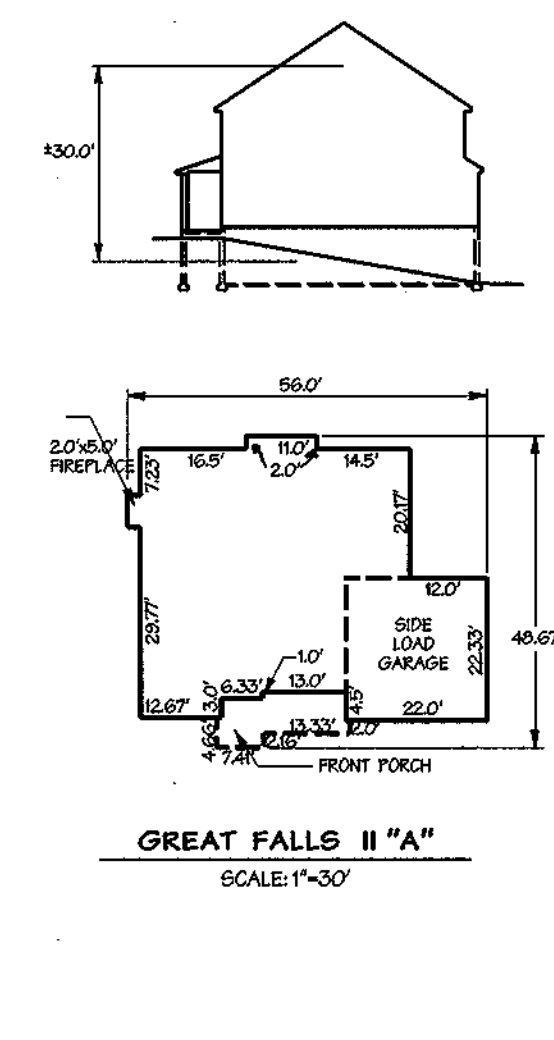
* DUE TO HEIGHT LIMITATIONS THIS HOUSE MODEL CAN NOT BE USED IN A WALK-OUT CONDITION



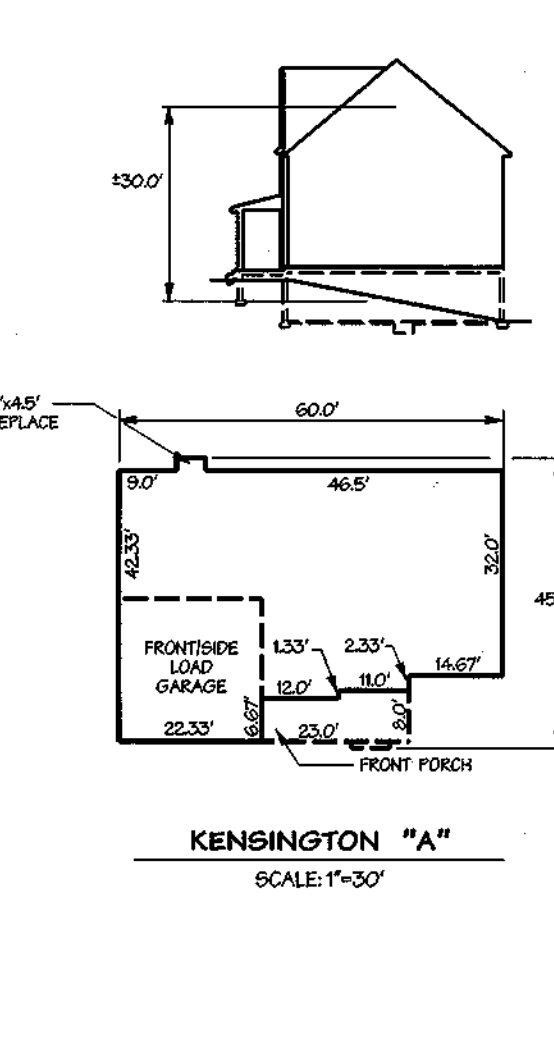
"O" PROVIDENCE I
SCALE: 1"=30'



"P" PROVIDENCE II
SCALE: 1"=30'



GREAT FALLS II "A"
SCALE: 1"=30'



KENSINGTON "A"
SCALE: 1"=30'

DATA SOURCES:

BOUNDARY PER RECORD PLAT 1467, TOPO PER 301 AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-17L.

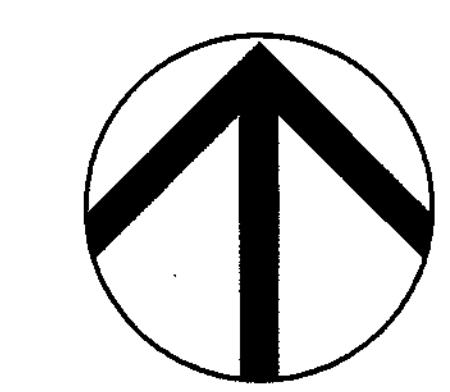
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Howard County 10/18/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE
Andy Harter 10/25/03
 CHIEF, DIVISION OF LAND DEVELOPMENT & DATE
Paul R. Lytle 10/23/03
 DIRECTOR DATE

Date	No.	Revision Description

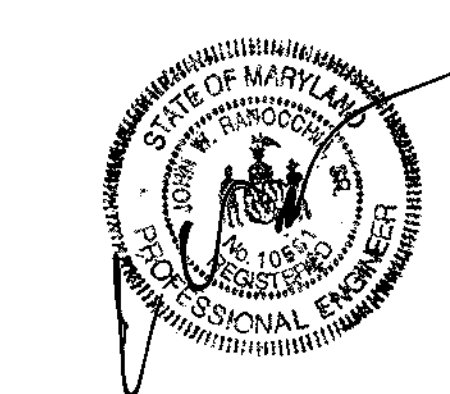
CENTENNIAL WOODS
 LOTS 1-10
 GENERIC SITE DEVELOPMENT PLAN
 "SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
 14045 GARED DRIVE
 GLENWOOD, MD 21738

DMW
 Daft-McCune-Walker, Inc. A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax 296-4705



2/1/03
 Date

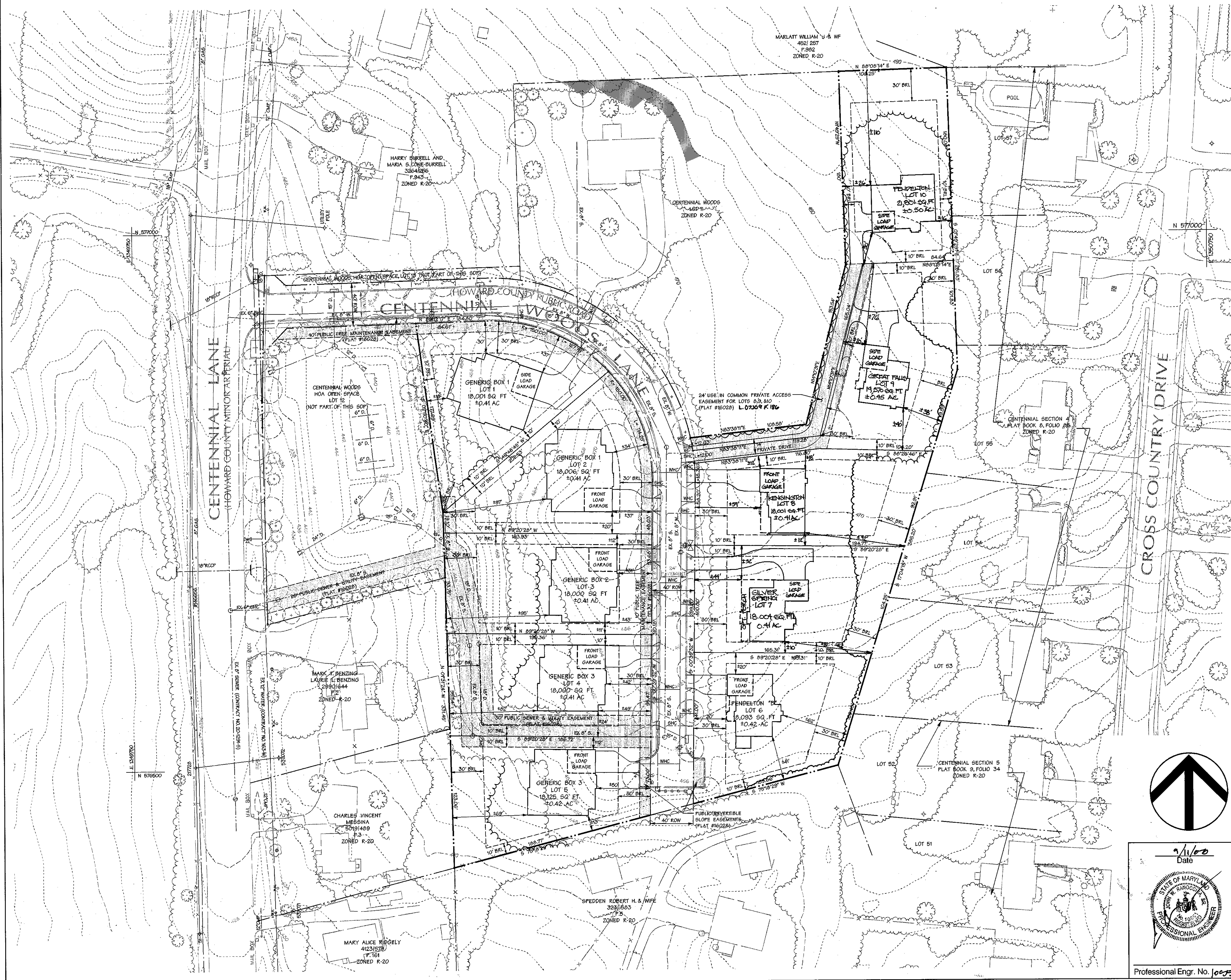


Professional Engr. No. 10691

PROVISION NAME	SECTION AREA	LOT/FACEL #
CENTENNIAL WOODS		294
FLYER OF LOT	BLK 1	
1802B	R-20	24, 30
		2 ND
		6023, 04

TITLE
 HOUSE TEMPLATE PLANS AND ELEVATIONS

Drn By: BKC	Scale: AS NOTED	Proj. No. 00044.00
Des By: BKC	Date: 9-5-03	
Chk By:	Approved:	2 of 8



LEGEND

EX CURB & GUTTER	=====
EX MAJOR CONTOURS	----- 400
EX MINOR CONTOURS	----- 402
EX SEWER	----- EX 8" S.
EX WATER	----- EX 8" W.
EX TREE	○
EX SHADE/STREET TREE (PER F 02-17)	○
EX ORNAMENTAL TREE (PER F 02-17)	○
EX EVERGREEN TREE (PER F 02-17)	○
EX WOODS	○
PROPOSED TREELINE	~~~~~
PROPERTY BOUNDARY LINE	-----
BUILDING SETBACK	-----
PROPOSED MINOR CONTOUR	----- 402
PROPOSED MAJOR CONTOUR	----- 400
EX EASEMENTS	▨

DATA SOURCES:
 BOUNDARY PER RECORD PLAT 14167, TOPO PER 3D/AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-17.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

John Dammann 10/15/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Vinda Horvath 11/29/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

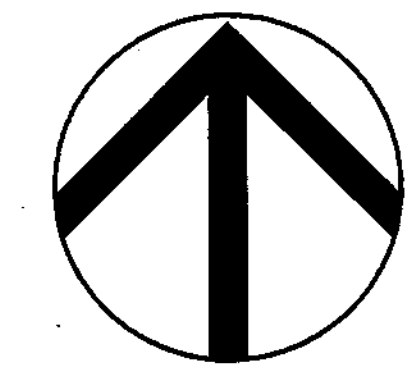
Derek D. Wright 11/29/03
 DIRECTOR DATE

Date	No.	Revision Description

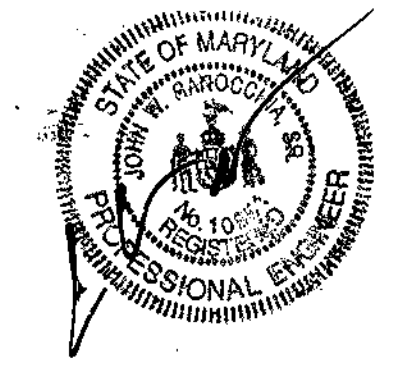
**CENTENNIAL WOODS
 LOTS 1-10
 GENERIC SITE DEVELOPMENT PLAN
 "SINGLE FAMILY DETACHED"**

OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
 14045 GARED DRIVE
 GLENWOOD, MD 21738

DMW
 Daft-McCune-Walker, Inc. A Team of Land Planners,
 200 East Pennsylvania Avenue Landscape Architects,
 Towson, Maryland 21286 Golf Course Architects,
 (410) 296-5333 Engineers, Surveyors &
 Fax 296-4705 Environmental Professionals



2/1/00
 Date



Professional Engr. No. 100751

SECTION NAME	SECTION AREA	LOT/FACIL #
CENTENNIAL WOODS		284
PLAT OF LOT	BOOK #	FOLIO #
18228	181	151
WATER CODE	SEWER CODE	
J-06	6720200	
TITLE	SITE PLAN	
Drn By:	BKC	Scale: 1"=40'
Des By:	BKC	Proj. No. 00044.D0
Chk By:		Dates: 9-5-03
		Approved: 3 of 8

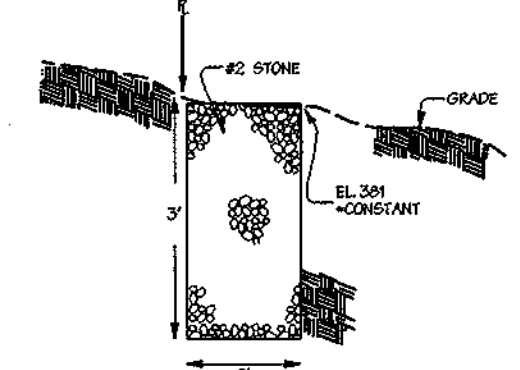
SEWER HOUSE CONNECTION TABLE

LOT	INV. AT R	MIN. C'
1	482.40	489.00
2	482.10	487.40
3	481.10	485.80
4	480.10	484.80
5	444.5	450.00
6	450.10	454.80
7	481.10	485.80
8	482.10	487.00
9	488.10 (PH)	485.60
10	488.10 (PH)	472.00

* MIN C is minimum floor elevation of unit that can be served by proposed sanitary connection.

LEGEND

- EX. CURB & GUTTER
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- EX. SEWER
- EX. WATER
- EX. TREE
- EX. SHADE/STREET TREE
- EX. ORNAMENTAL TREE
- EX. EVERGREEN TREE
- EX. WOODS
- PROPOSED TREELINE
- PROPERTY BOUNDARY LINE
- BUILDING SETBACK
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EX. EASEMENTS
- STONE PIT LEVEL SPREADER
- DOWNSPOUT



STONE PIT LEVEL SPREADER DETAIL
N.T.S.

DATA SOURCES:
BOUNDARY PER RECORD PLAT #167, TOPO PER 301 AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Chris Damann 10/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION 4. DATE

Cindy Harvath 10/25/03
CHIEF, DIVISION OF LAND DEVELOPMENT 2x DATE

Frank A. Wright 10/25/03
DIRECTOR DATE

CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHEDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21738

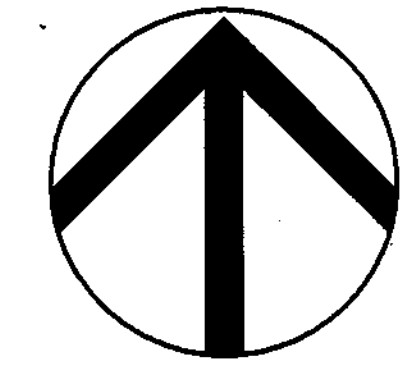


Daft-McCune-Walker, Inc. A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

SECTION NAME	CENTENNIAL WOODS	SECTION AREA	LOT/TRACT #
PLAT OF L.P.	BOOK 4 1602B	ZONE	R-20
WATER CODE	J-06	SEWER CODE	5720200

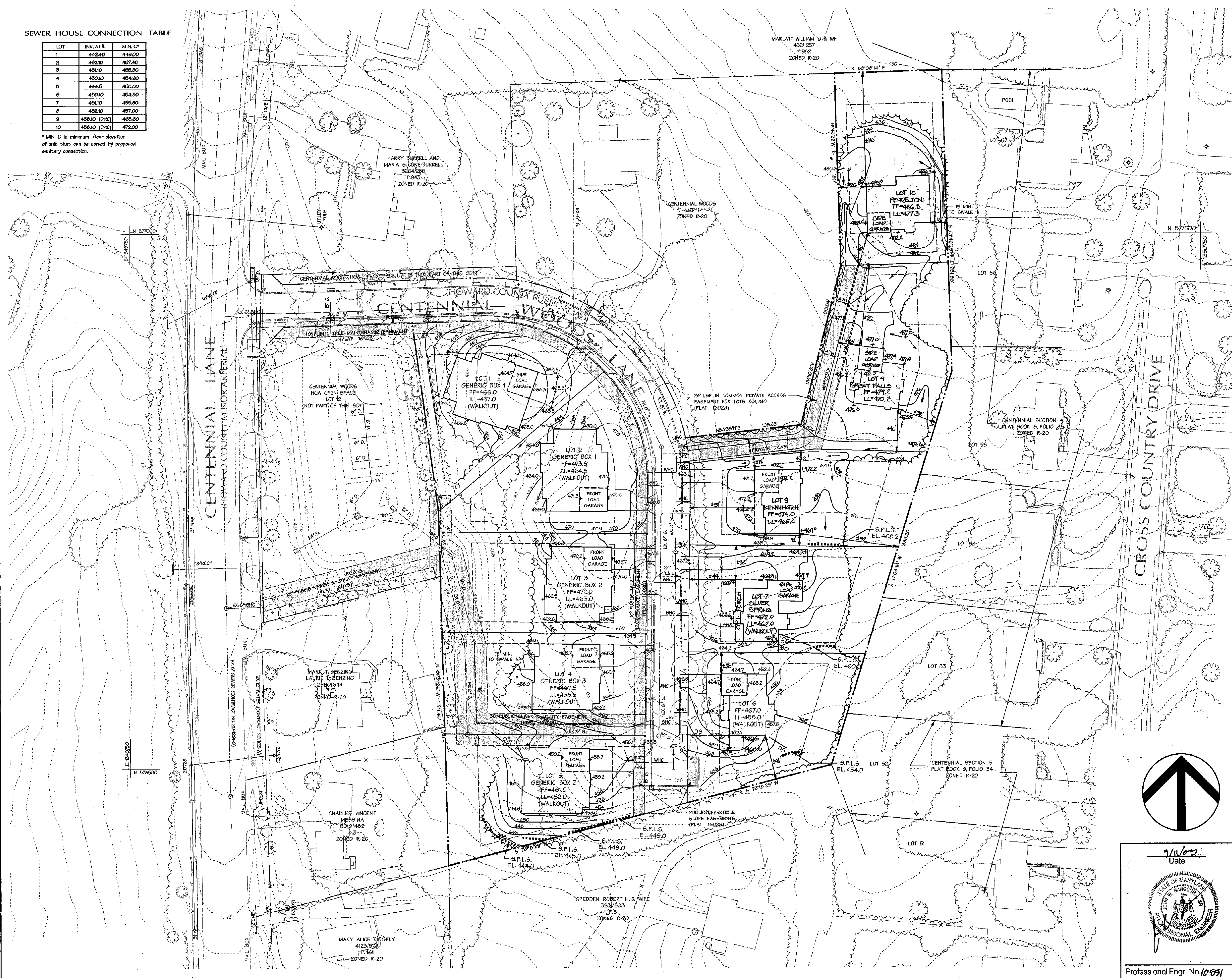
GRADING PLAN

Des By:	BKC	Scale:	1"=40'	Proj. No.:	00044LD0
Chk By:	BKC	Date:	9-5-03	Sheet:	4 of 8



9/16/03
Date

Professional Engr. No. 10851



Sediment Control General Notes

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1895).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY DESIGN MANUAL" FORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SODS, TEMPORARY SEEDING AND MULCHING (SECTION G); TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:
 - TOTAL AREA OR SITE 426 ACRES
 - AREA TO BE ROOPEL OR PAVED 3.30 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED 12 ACRES
 - TOTAL CUT 4800 CUBIC YARDS
 - TOTAL FILL 2700 CUBIC YARDS
 - * OFF-SITE WASTE/BORROW AREA LOCATION WASTE = 2100 CUBIC YARDS
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MEASURES MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- ALL EXCESS SOIL IS TO BE TAKEN TO A SITE WITH AN ACTIVE GRADING PERMIT.

LEGEND

EX. CURB & GUTTER	=====
EX. MAJOR CONTOURS	---400---
EX. MINOR CONTOURS	---402---
EX. SEWER	EX. 8" S.
EX. WATER	EX. 8" W.
EX. TREE	
EX. SHADE/STREET TREE	PER F 02-171)
EX. ORNAMENTAL TREE	(PER F 02-171)
EX. EVERGREEN TREE	PER F 02-171)
EX. WOODS	
PROPOSED TREELINE	
PROPERTY BOUNDARY LINE	-----
BUILDING SETBACK	-----
PROPOSED MINOR CONTOUR	482
PROPOSED MAJOR CONTOUR	480
EX. EASEMENTS	
LIMIT OF DISTURBANCE	
SILT FENCE	9F
SUPER SILT FENCE	68F
EROSION CONTROL MATTING	

Sequence of Construction

SEQUENCE	NUMBER OF DAYS
1. OBTAIN A GRADING PERMIT.	7
2. INSTALL EROSION AND SEDIMENT CONTROL MEASURES AND STABILIZE.	6
3. WITH PERMISSION FROM THE COUNTY INSPECTOR TO PROCEED INSTALL UTILITIES AND CONSTRUCT HOUSES.	400
4. STABILIZE ALL AREAS IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS. CLEAN AND STABILIZE THE FOND OF LOT 12 TO ITS ORIGINAL APPROVED CONDITION OF F-02-171.	42
5. UPON APPROVAL OF THE EROSION AND SEDIMENT CONTROL INSPECTOR REMOVE ALL EROSION AND SEDIMENT CONTROL MEASURES AND STABILIZE.	7

DATA SOURCES:

BOUNDARY PER RECORD PLAT 14167, 10'0" PER 301 AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

[Signature] 10/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE

[Signature] 10/15/03
CHIEF, DIVISION OF LAND DEVELOPMENT & DATE

[Signature] 10/15/03
DIRECTOR & DATE

CENTENNIAL WOODS LOTS 1-10 GENERIC SITE DEVELOPMENT PLAN "SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHBRIDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21736



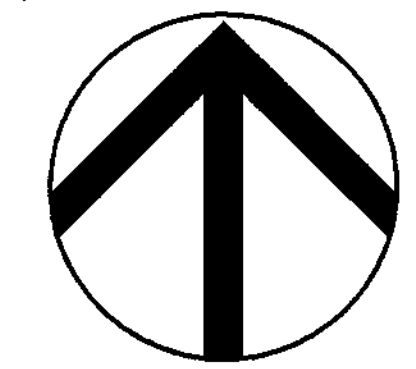
DMW
DeR. McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax 296-4705

A Team of Land Planners,
Landscape Architects,
Civil Engineers,
Environmental Professionals

DIVISION NAME	CENTENNIAL WOODS	SECTION AREA	LOT/FACIL #
PLAT OR BOOK #	1602B	ZONE	R-20
DATE	9-11-03	TAZING DATE	24, 30
WATER CODE	J-06	SEWER CODE	5720200

SEDIMENT AND EROSION CONTROL PLAN

Drn By:	BKC	Scale:	1"=40'	Proj. No.	00044.D0
Des By:	BKC	Date:	9-5-03		
Chk By:		Approved:			5 of 8



9/15/03
Date

[Signature]
Professional Engr. No. 10991



OWNER'S CERTIFICATION:
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 9/15/03
DATE

[Signature]
JAMES H. SELFRIDGE

ENGINEER'S CERTIFICATION:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 9-11-03
DATE

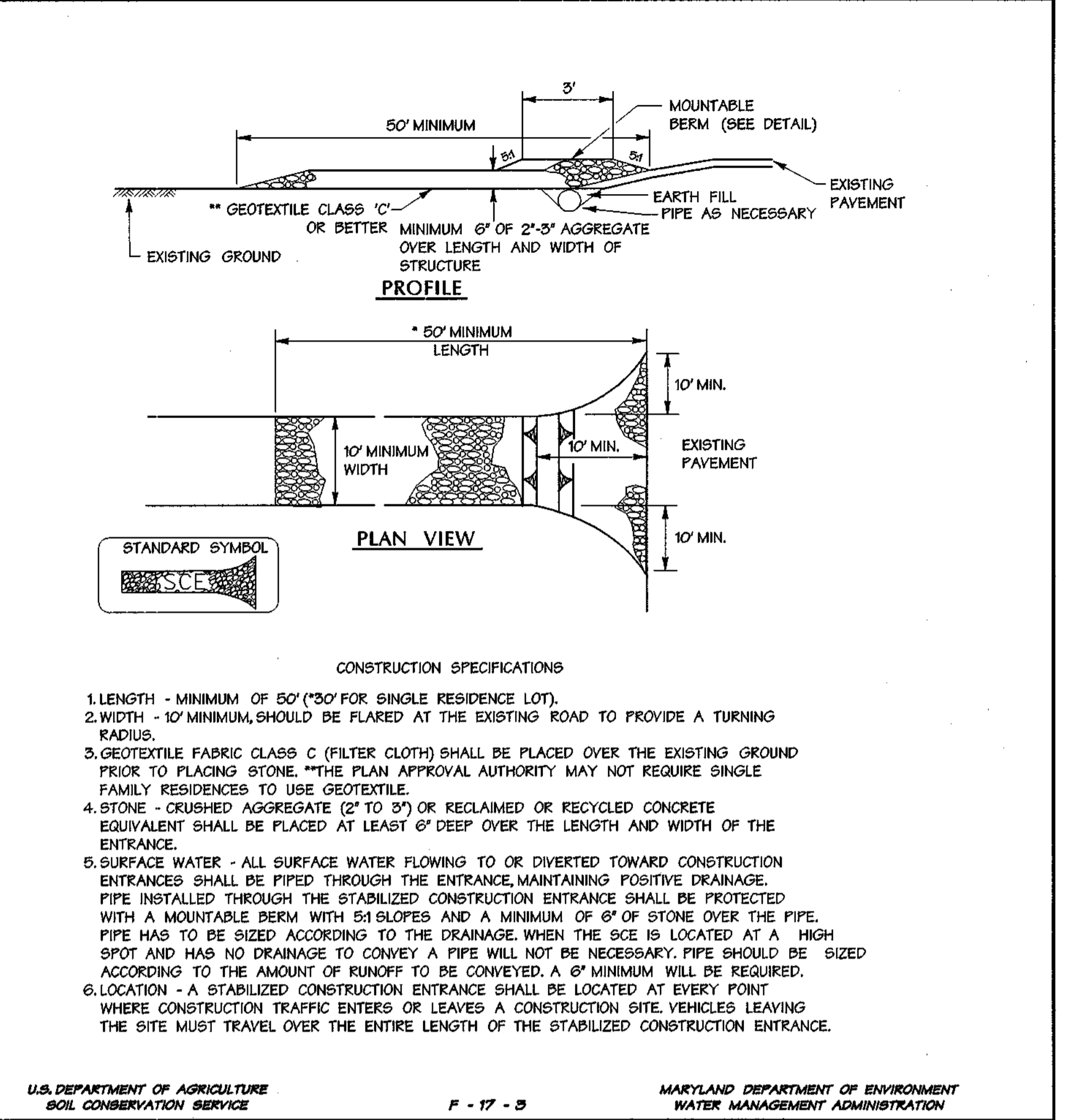
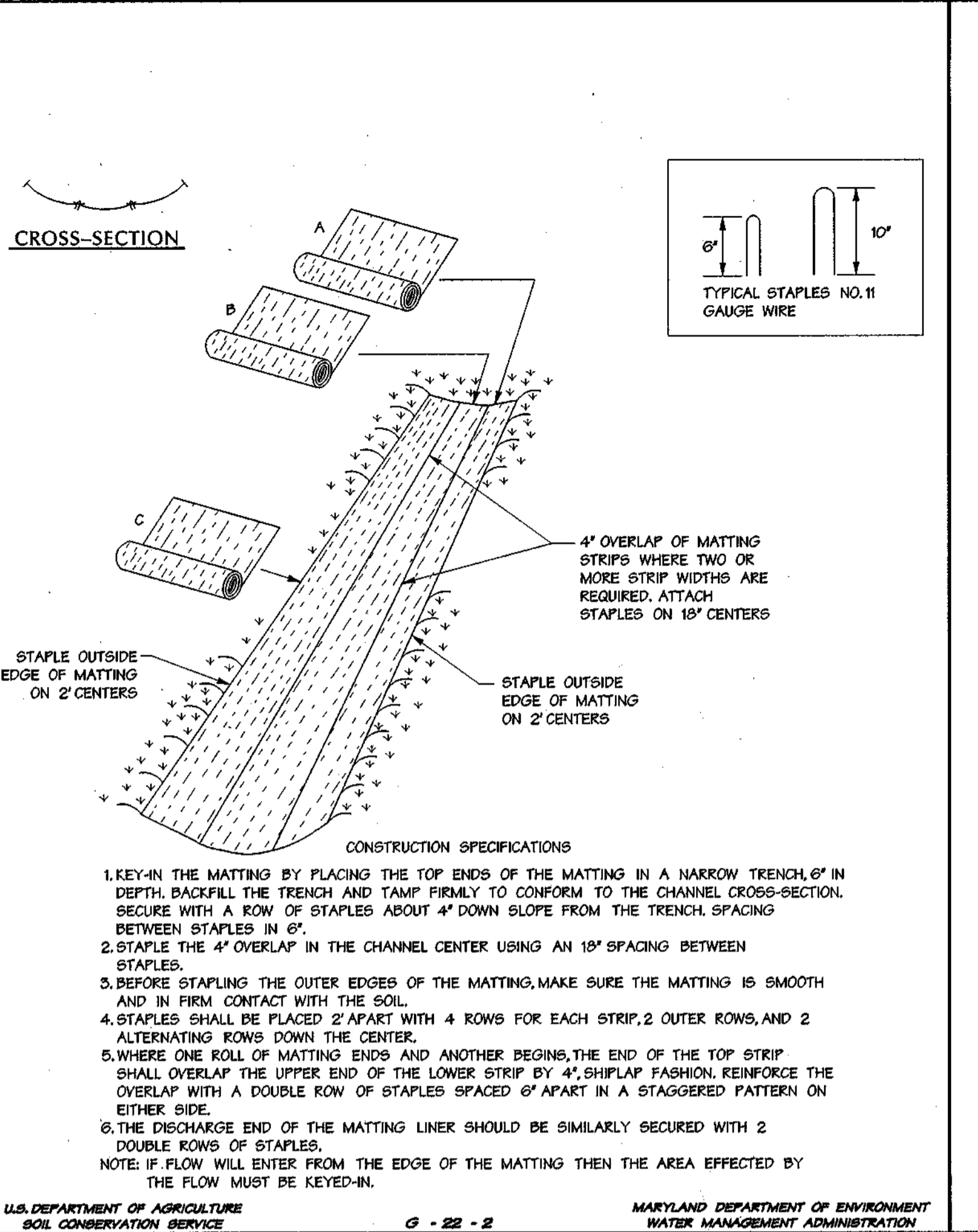
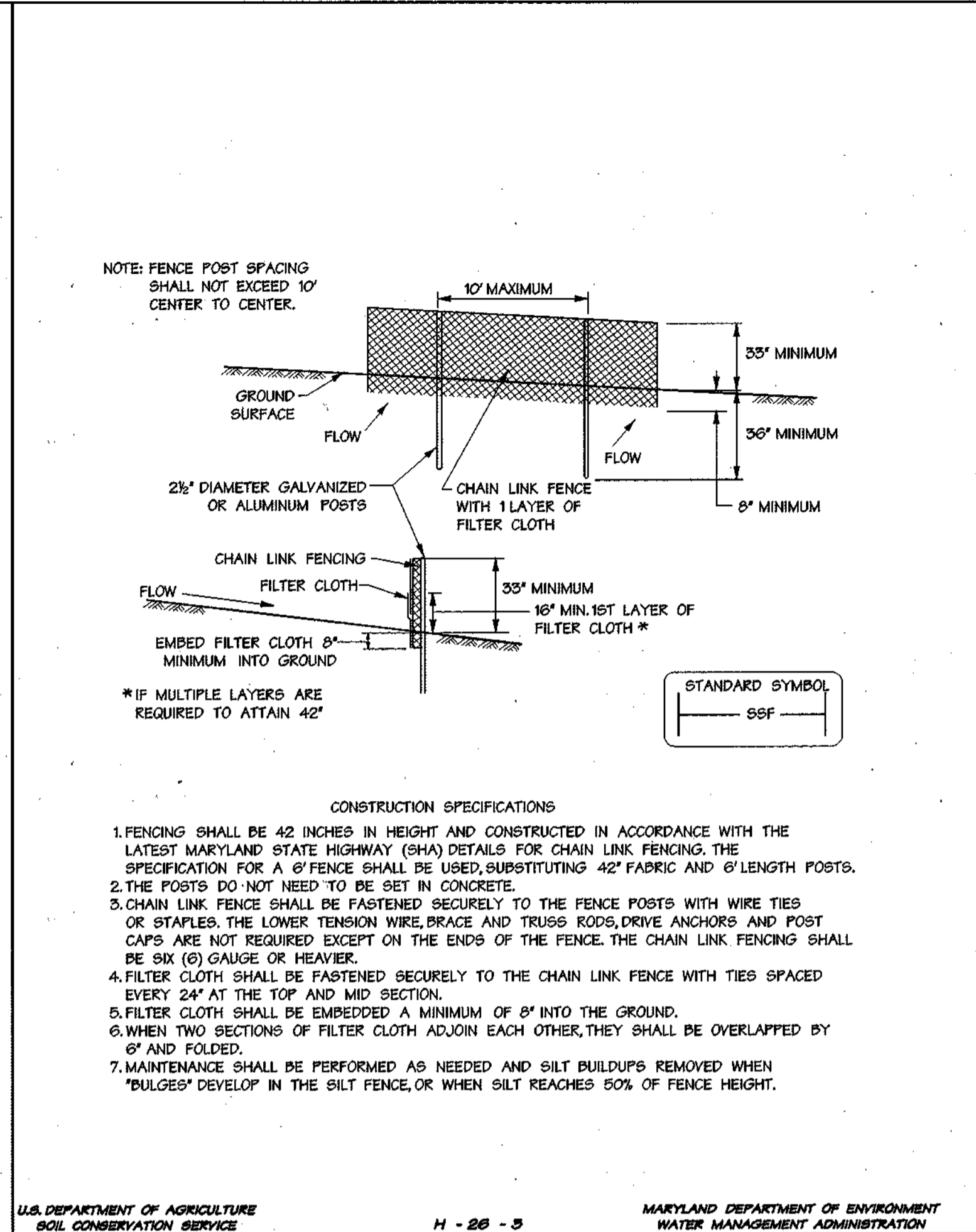
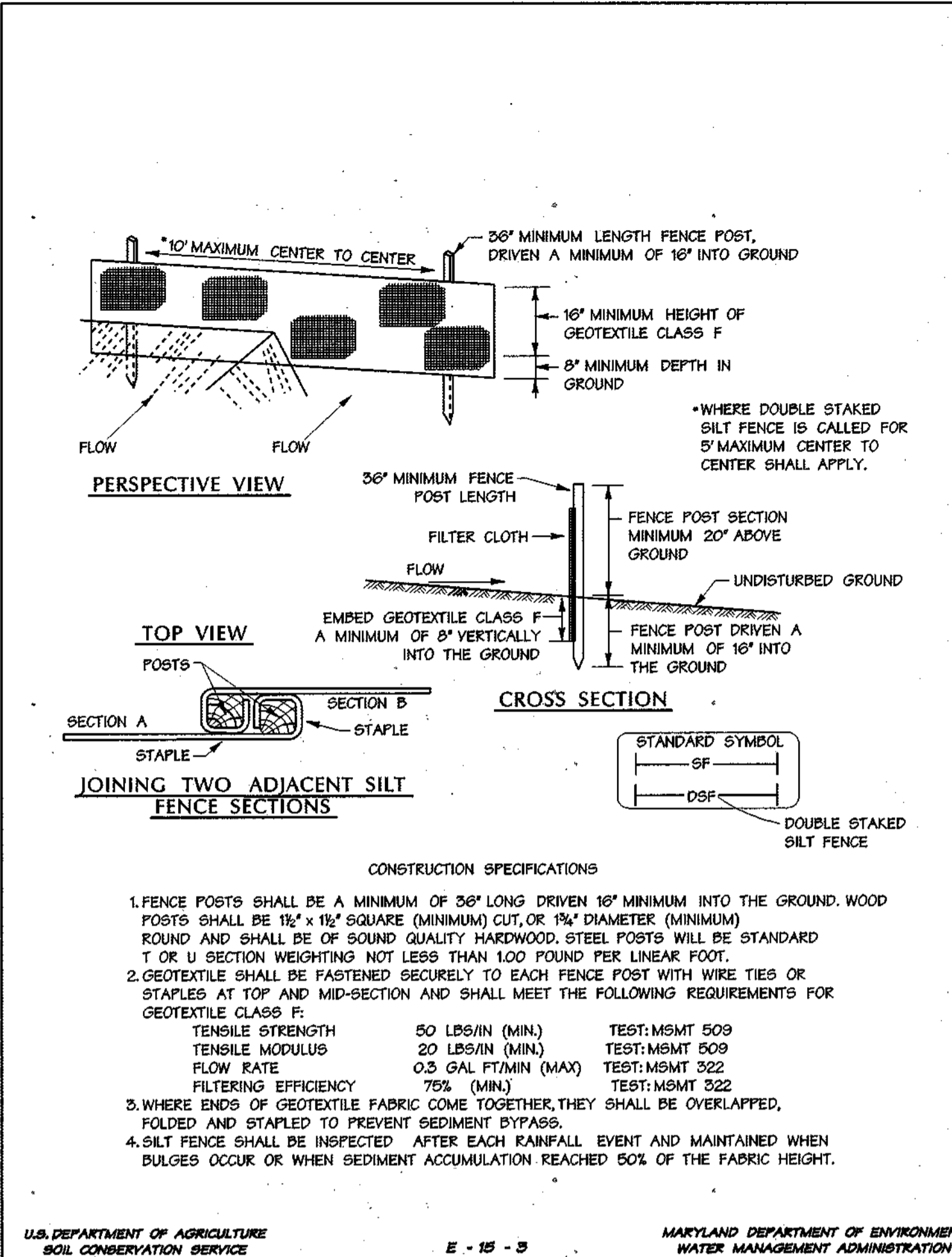
[Signature] 10/21/03
DATE

[Signature]
John M. Rancocchia, Sr.

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS

[Signature] 10/21/03
DATE

[Signature] 10/21/03
DATE



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE H-26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE G-22-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Silt Fence Not To Scale

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - IN USE OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITE LIMESTONE (92 LBS/1000 SQ.FT.) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (9 LBS/1000 SQ.FT.).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITE LIMESTONE (92 LBS/1000 SQ.FT.) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (14 LBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31 SEED WITH 60 LBS PER ACRE KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.5 LBS/1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) - 2 TONS PER ACRE OF WELL-ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. OPTION (3) - SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL-ANCHORED STRAW.

MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNKNOTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 8 FEET OR HIGHER. USE 345 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.)

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ.FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.7 LBS/1000 SQ.FT.). FOR THE PERIOD NOVEMBER 15 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL-ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OR USE SOD.

MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNKNOTTED WEEP FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GAL PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 8 FEET OR HIGHER. USE 345 GAL PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

Super Silt Fence Not To Scale

DUST CONTROL SPECIFICATIONS

TEMPORARY METHODS:

- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
- VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THE RUNOFF BEGINS TO FLOW.
- BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
- CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PERMANENT METHODS:

- PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
- TOPSOILING - COVERING WITH LESS ERODIBLE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

Erosion Control Matting Not To Scale

Topsoil Specifications
FOR SEDIMENT CONTROL / STABILIZATION PURPOSES

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture contents, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel sticks, roots, trash, and other materials larger than 1 1/2 inch in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

Stabilized Construction Entrance Not To Scale

PERMANENT SEEDING NOTES

- On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic contents of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
- No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

NOTE: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

II. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as ditches, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4% - 5% higher in elevation.
- Topsoil shall be uniformly distributed in a 4% - 5% layer and lightly compacted to a minimum thickness of 4%. Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

DATA SOURCES:
BOUNDARY PER RECORD PLAT 1467, TOPO PER 301 AERIAL DATED FEB. 5, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 [Signature] 10/15/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 10/28/03
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 11/29/03
 DIRECTOR

DATE: 9/11/03

CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHBRIDGE DEVELOPMENT, LLC
 14045 GARED DRIVE
 GLENWOOD, MD 21738

DMW
 Daft-McCune-Walker, Inc.
 A Team of Land Planners,
 Landscape Architects,
 Town, Maryland 21286
 Golf Course Architects,
 Engineers, Surveyors &
 Environmental Professionals

200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax 296-4705

DIVISION NAME: CENTENNIAL WOODS SECTION AREA: LOT#/ACRES: 294
 PLAT OR LOT: 18028 REEF: R-20 TAXING WAY: 24_30 ELEC. ENTRY: 2 ND SUBS. TRACT: 6029_04
 WATER CODE: J-05 FORMER CODE: 5720200

TITLE: SEDIMENT & EROSION CONTROL DETAILS

Drn By: BKC Scale: AS NOTED Proj. No. 00044.D0
 Des By: BKC Date: 9-5-03
 Ck By: Approved: 6 of 8

OWNER'S CERTIFICATION:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 9/15/03
 DEVELOPER
 JAMES H. SELFRIDGE

REVIEWED FOR HOWARD S.C.D. AND MEETS TECHNICAL REQUIREMENTS
 [Signature] 10/21/03
 U.S. NATURAL RESOURCE CONSERVATION SERVICE DATE
 [Signature] 10/21/03
 HOWARD S.C.D. DATE

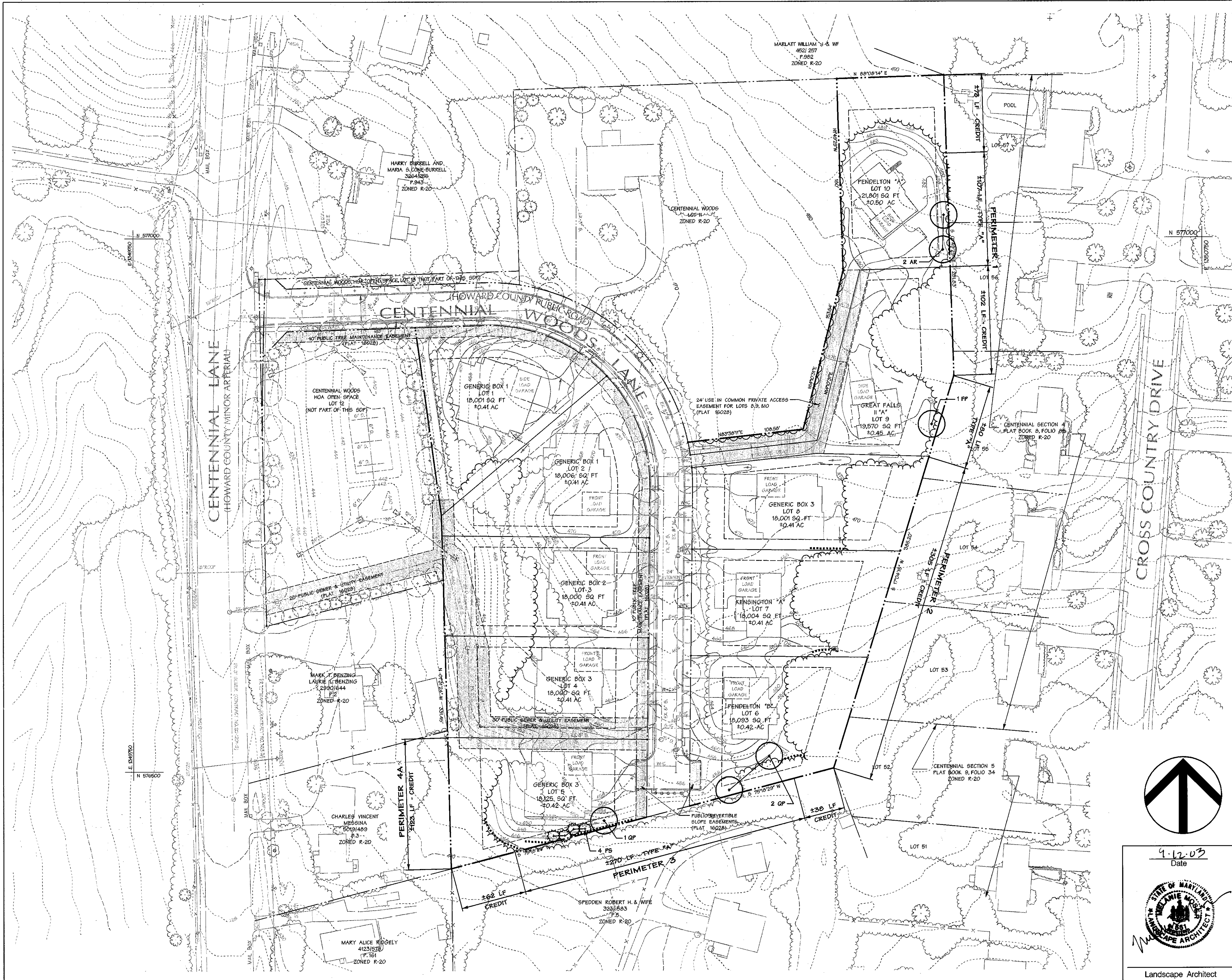
Dust Control Specifications Not To Scale

ENGINEER'S CERTIFICATION:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 9-11-03
 SIGNATURE OF ENGINEER DATE
 [Signature] John W. Rencovich, Sr.
 PROFESSIONAL ENGINEER

Professional Engr. No. 10991

Professional Engr. No. 10991



LEGEND

EX. CURB & GUTTER	---
EX. MAJOR CONTOURS	---400---
EX. MINOR CONTOURS	---402---
EX. SEWER	EX. 8" S.
EX. WATER	EX. 8" W.
EX. TREE	(Tree symbol)
EX. SHADE/STREET TREE (PER F 02-171)	(Shaded tree symbol)
EX. ORNAMENTAL TREE (PER F 02-171)	(Ornamental tree symbol)
EX. EVERGREEN TREE (PER F 02-171)	(Evergreen tree symbol)
EX. WOODS	(Woods symbol)
PROPOSED TREELINE	(Dashed line with trees)
PROPERTY BOUNDARY LINE	---
BUILDING SETBACK	---
PROPOSED MINOR CONTOUR	---482---
PROPOSED MAJOR CONTOUR	---480---
EX. EASEMENTS	(Shaded area)
STONE PIT LEVEL SPREADER

DATA SOURCES:
BOUNDARY PER RECORD PLAT 1467, TOPO PER 3D AERIAL
DATED FEB. 5, 2001 AND SUPPLEMENTED WITH GRADING
FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Chris Dammann 1/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Windy Hamilton 1/15/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

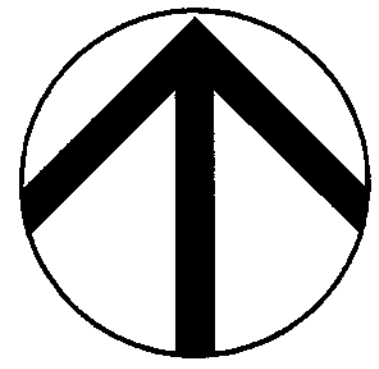
David Taylor 1/15/03
DIRECTOR DATE

CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21738

DMW
Dart-McCune-Walker, Inc.
A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals

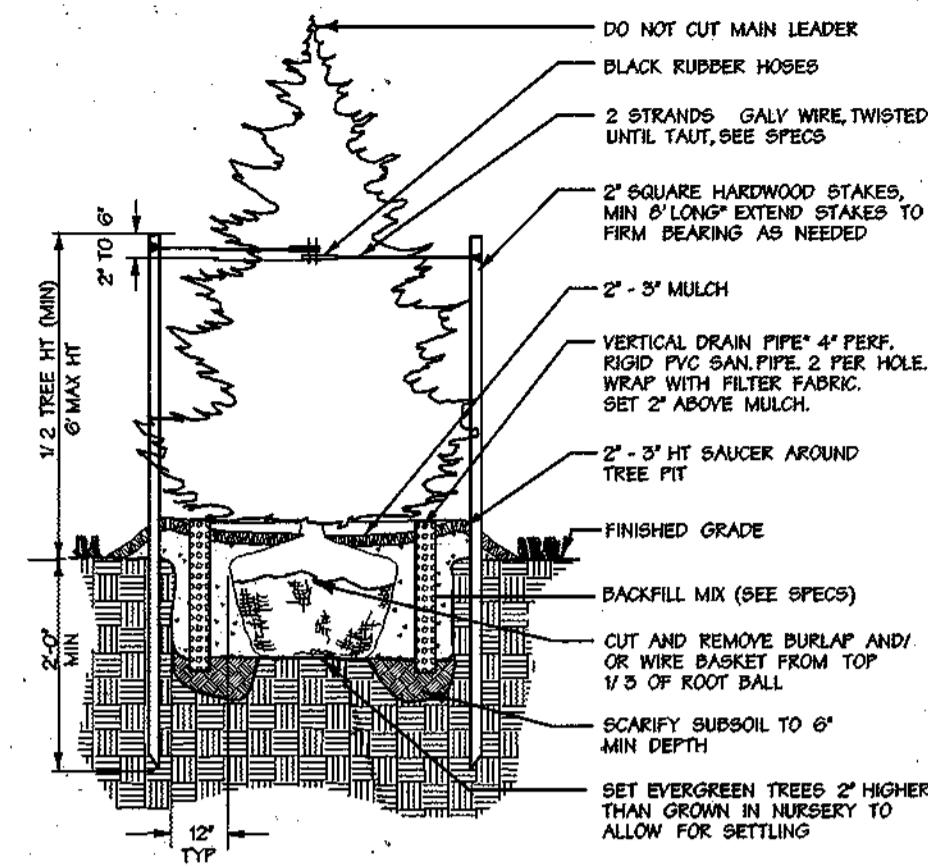
300 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3383
Fax 296-4706



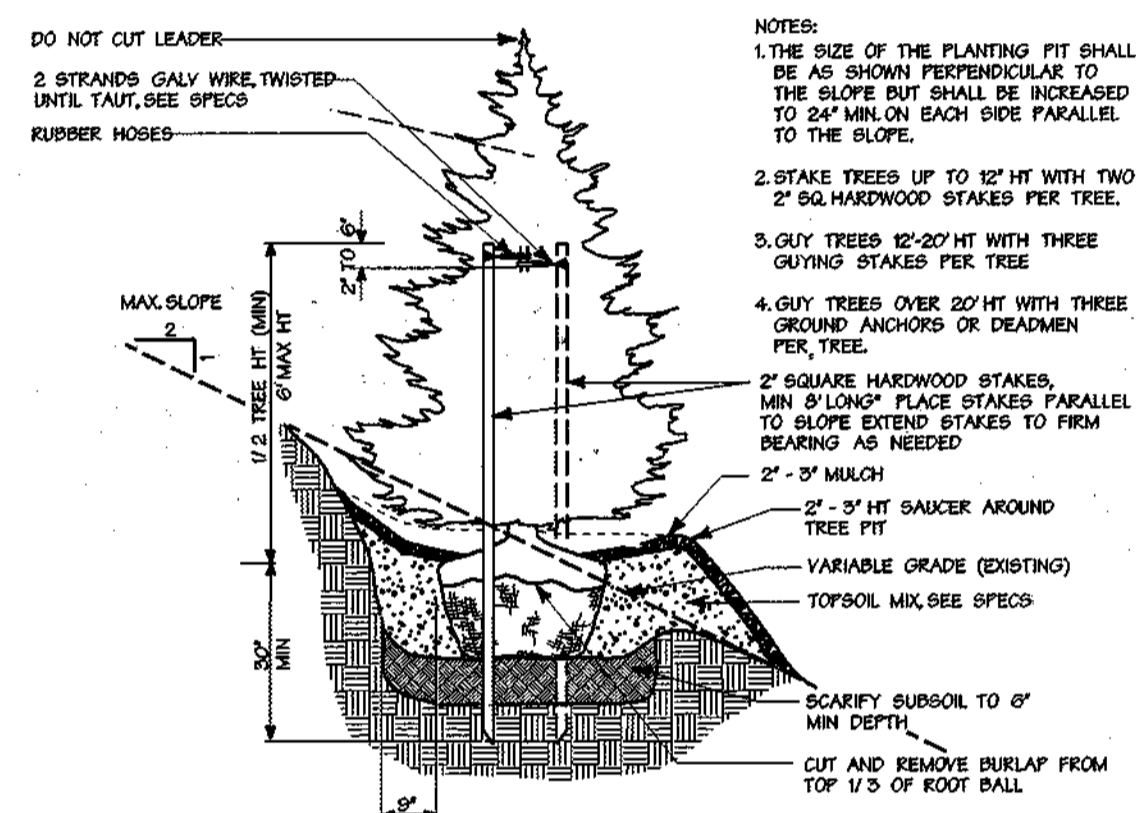
9-12-03
Date

SUBDIVISION NAME	CENTENNIAL WOODS	SECTION AREA	29.4
PLAT OF LOT	1802B	ZONE	R-20
WATER CODE	J-06	SEWER CODE	5720200

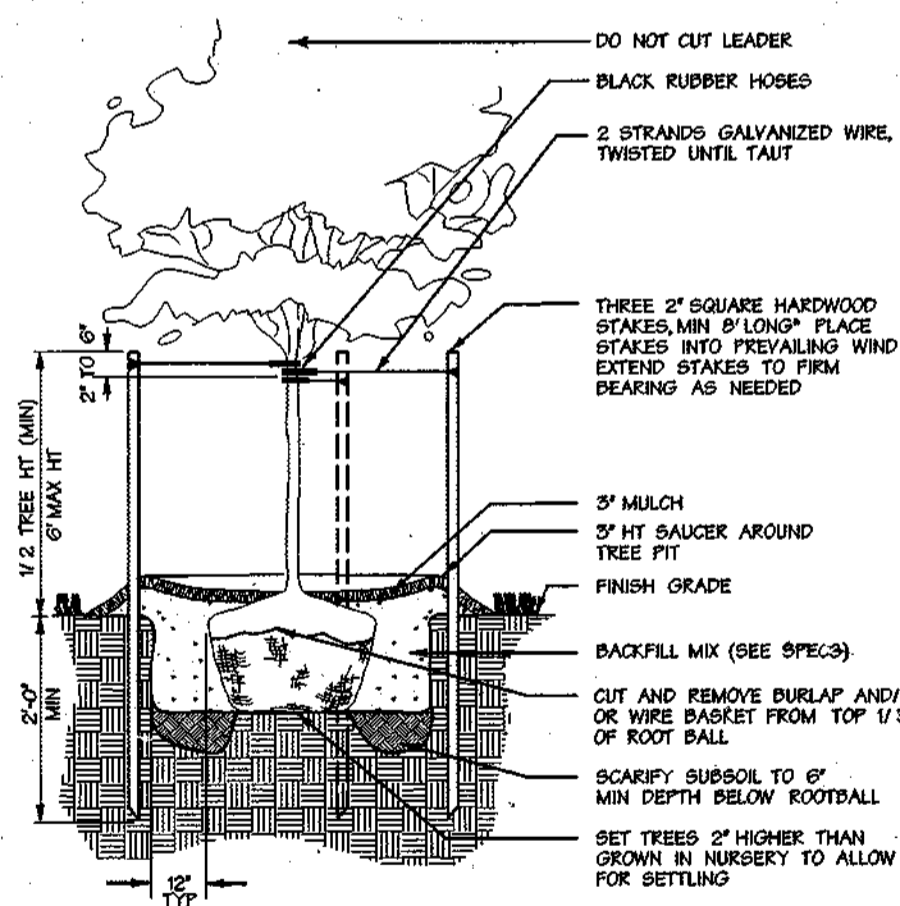
TITLE		
LANDSCAPE PLAN		
Drn By: BKC	Scale: 1"=40'	Proj. No. 00044.00
Des By: BKC	Date: 9-5-03	
Chk By:	Approved:	7 of 8



EVERGREEN TREE PLANTING
NOT TO SCALE



EVERGREEN TREE PLANTING ON SLOPE
NOT TO SCALE



TREE PLANTING 2 1/2 - 3\"/>

General Planting Notes

- All plant material to meet A.A.N. Standards.
- Landscape Contractor to follow landscape specification guidelines for Baltimore Washington Metro area approved by LCAMW.
- No substitutions to be made without consent of Landscape Architect or Owner and DPZ.
- All beds to be topped with three inches of hardwood mulch.
- Landscape Contractor to verify location of utilities with Owner before planting.
- Landscape Architect/Owner shall select, verify and/or approve all plant material. As Owner's discretion, specimen and other plant material will be selected.
- Landscape Contractor shall coordinate plant bed filling operations and plant material installation with General Contractor and Utilities Contractor. At the time of final inspection with acceptance, all electric, water, and drainage utilities, as well as all plant materials shall remain undamaged. Likewise, Landscape Contractor and Utilities Contractor shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
- Contractor shall notify Miesse Utility 72 hours prior to construction.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho. Co. code. Financial surety for the required landscaping in the amount of \$2,400.00 must be posted with the builder's grading permit application. (Ø shade trees).
- At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of proper height requirements in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocation of required plantings as shown on this plan may be made without prior approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.
- Developer/Builder's Certificate

We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County code and the Howard County Landscape Manual. In addition, no substitutions or relocation of required plantings as shown on this plan may be made without prior approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.

[Signature] 9/15/03
NAME DATE

PERIMETER PLANT LIST

Key	Qty.	Botanical Name	Common Name	Size	Condition	Remarks
Major Deciduous Tree:						
AR	2	Acer Rubrum 'Bowhall'	Bowhall Red Maple	2 1/2" - 3" CAL.	B&B	Full
FP	1	Fraxinus pennsylvanica 'Marshall's Seedless'	Marshall's Seedless Ash	2 1/2" - 3" CAL.	B&B	Full
QP	3	Quercus phellos	Willow Oak	2 1/2" - 3" CAL.	B&B	Full
Evergreen:						
PS	4	Pinus strobus	Eastern White Pine	6-8' Ht.	B&B	Full, Unsheared

SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT to PERIMETER PROPERTIES			
	P 1	P 2	P 3	P 4A
PERIMETER				
LANDSCAPE TYPE "A" LINEAR FEET OF PERIMETER	282 LF.	385 LF.	370 LF.	123 LF.
LANDSCAPE TYPE "B" LINEAR FEET OF PERIMETER				
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	175 LF.	305 LF.	100 LF.	123 LF.
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED				
SHADE TREES	2	1	5	0
EVERGREEN TREES	0	0	0	0
SHRUBS	0	0	0	0
NUMBER OF PLANTS PROVIDED				
SHADE TREES	2	1	3*	0
EVERGREEN TREES	0	0	4	0
OTHER TREES (2:1 SUBSTITUTION)	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)				
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)				

* NOTE: 4 EVERGREEN TREES HAVE BEEN SUBSTITUTED FOR 3 SHADE TREES.

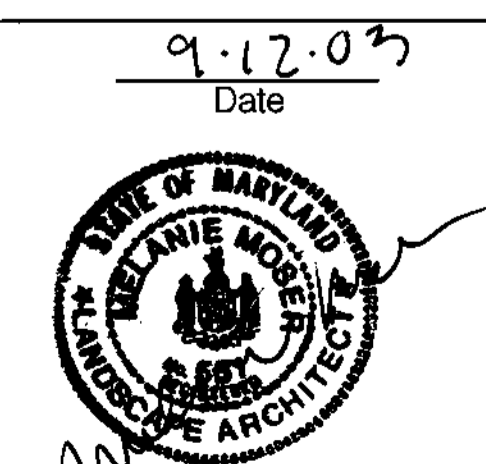
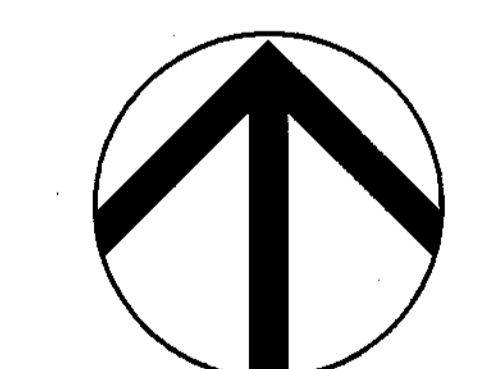
DATA SOURCES:
BOUNDARY PER RECORD PLAT 14167, TOPO PER 3D AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-17L.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
[Signature] 10/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 10/28/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 10/29/03
DIRECTOR DATE

DATE No. Revision Description
**CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"**

OWNER/DEVELOPER: NORTH RIDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21735

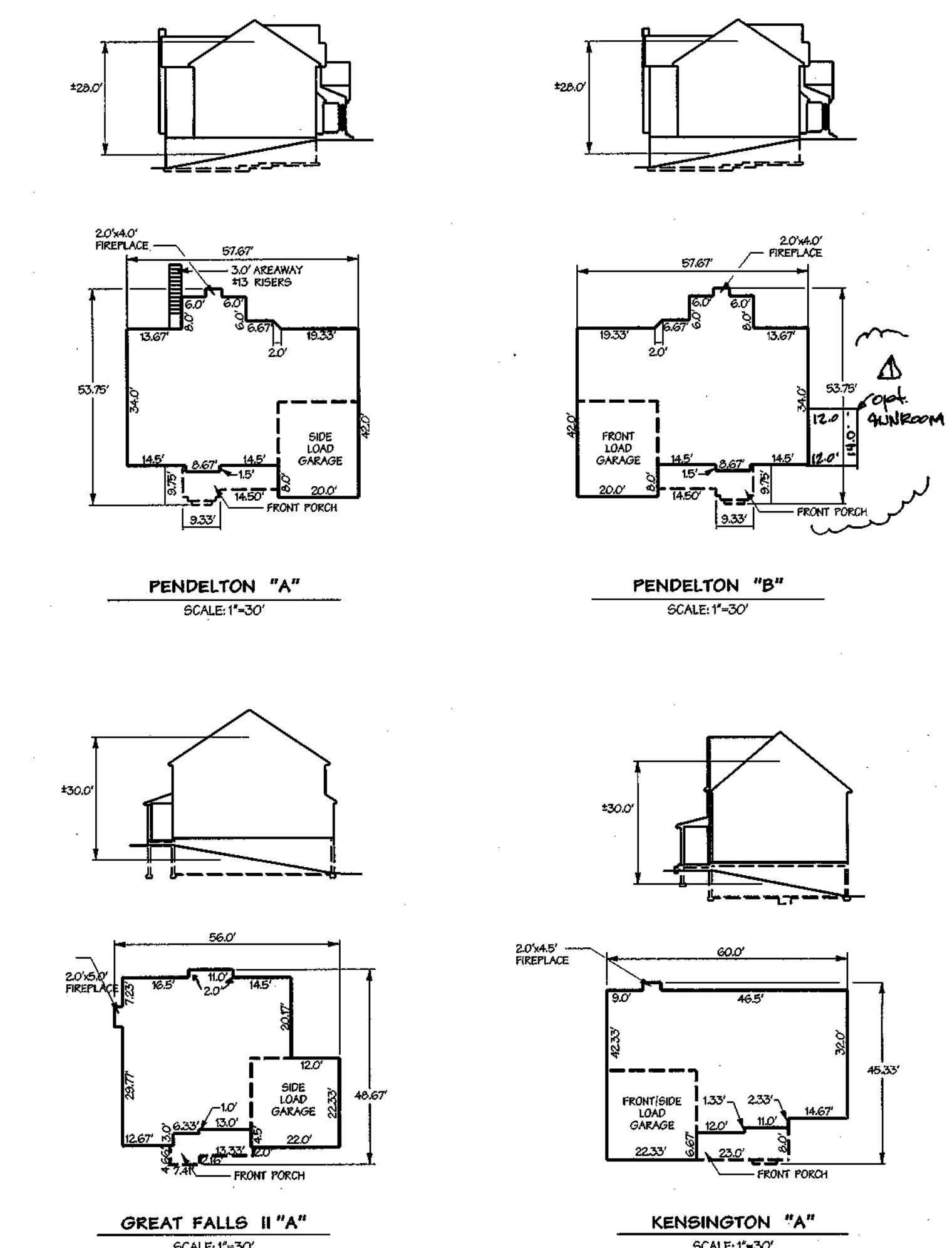
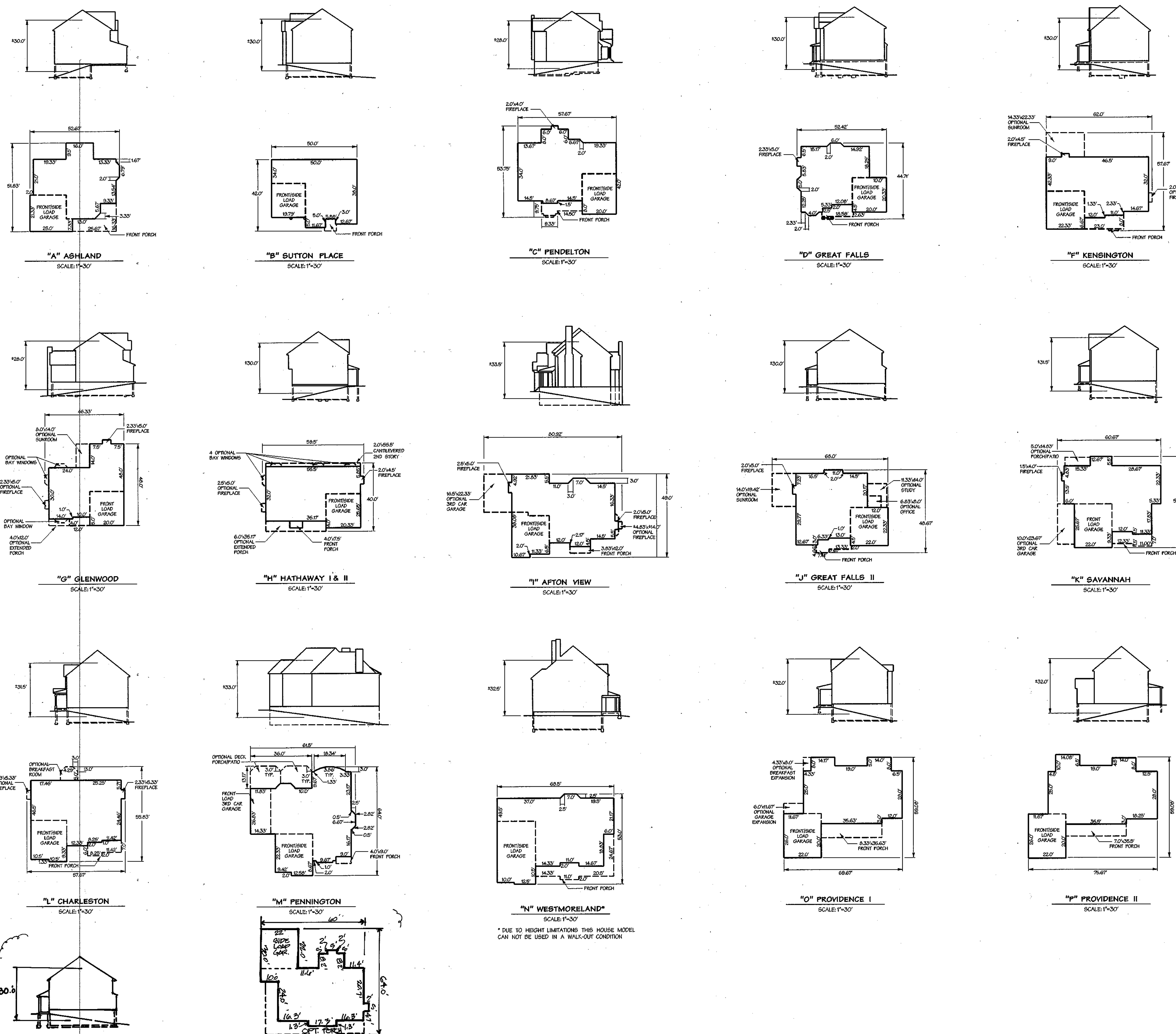
DMW
Daft-McCune-Walker, Inc. A Team of Land Planners,
200 East Pennsylvania Avenue Landscape Architects,
Towson, Maryland 21286 Golf Course Architects,
(410) 296-3333 Engineers, Surveyors &
Fax 296-4706 Environmental Professionals



SUBDIVISION NAME CENTENNIAL WOODS	SECTION AREA 19.1	LOT/PARCEL # 294
PLAT OF RECORD 1802B	ZONE R-20	FAZONING MAP 24_30
WATER CODE J-06	SEWER CODE 5720200	BLK/LOT 2 ND 6029.04

TITLE LANDSCAPE DETAILS		
Drn By: BKC	Scale: AS NOTED	Proj. No. 00044-DO
Des By: BKC	Date: 9-5-03	
Chk By:	Approved:	8 of 8

NOTE:
THESE 4 HOUSE TYPES HAVE BEEN EXCLUDED FROM THE GENERIC BOX'S. REFER TO SHEET 3 OF 6 FOR THE SPECIFIC LOTS THEY ARE SITED ON.



DATA SOURCES:
BOUNDARY PER RECORD PLAT 14467, TOPO PER 3D AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Howard Dammann 10/18/02
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Paul K. Hunter 1/25/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Paul K. Hunter 1/25/02
DIRECTOR DATE

12/16/04 A 100' SILVER SPRING MODEL & ADD OPT. GARAGE TO PENDELTON MODEL

Date	No.	Revision Description

CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21738

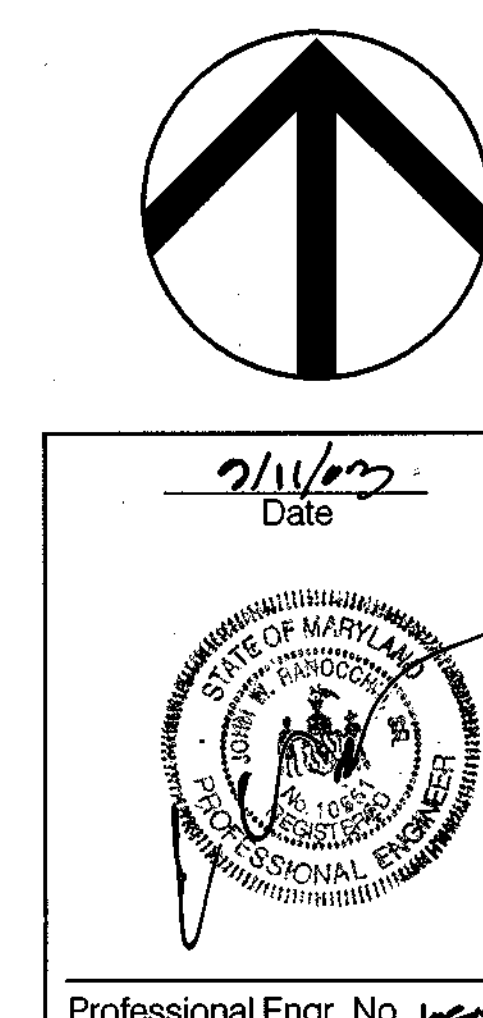
DMW
Daft-McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax 296-4705

A Team of Land Planners,
Landscape Architects,
Civil Engineers,
Professional Surveyors &
Environmental Professionals

SUBDIVISION NAME	SECTION AREA	LOT/FACILITY #
CENTENNIAL WOODS		294

PLAT OR L.P.	BLK. #	ZONE	TAZ/ZONE W/F	BLK. DISTRICT	GENERIC TRACT
18022B	18.1	R-20	24, 30	2, ND	60225.04

Drn By:	Scale:	Proj. No.:
BKC	AS NOTED	00044.00



ADDRESS CHART	
LOT NO.	STREET ADDRESS
1	10206 CENTENNIAL WOODS LANE
2	10210 CENTENNIAL WOODS LANE
3	10214 CENTENNIAL WOODS LANE
4	10218 CENTENNIAL WOODS LANE
5	10222 CENTENNIAL WOODS LANE
6	10226 CENTENNIAL WOODS LANE
7	10230 CENTENNIAL WOODS LANE
8	10234 CENTENNIAL WOODS LANE
9	10238 CENTENNIAL WOODS LANE
10	10242 CENTENNIAL WOODS LANE

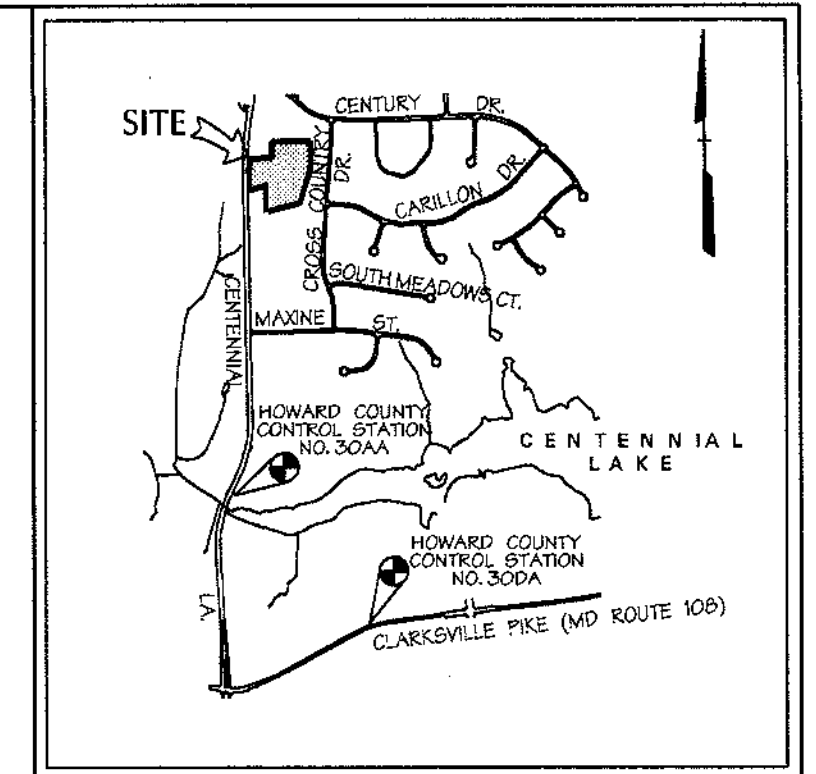
SHEET INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	HOUSE TYPE PLAN
3	SITE PLAN
4	GRADING PLAN
5	SEDIMENT & EROSION CONTROL PLAN
6	SEDIMENT & EROSION CONTROL DETAILS
7	LANDSCAPE PLAN
8	LANDSCAPE DETAILS

SITE DEVELOPMENT PLAN

CENTENNIAL WOODS

LOTS 1 THROUGH 10

HOWARD COUNTY, MARYLAND



VICINITY MAP

SCALE: 1"=2000'

BENCHMARK

DESCRIPTION

1. COORDINATES AND BEARINGS SHOWN ON THIS PLAN ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED BY THE HOWARD COUNTY GEODETIC CONTROL SYSTEM MAP 83 (1981) AND ARE BASED ON THE FOLLOWING TRAVERSE STATIONS (TRANSLATED METERS TO FEET):

DESIGNATION	NORTH (±FT)	EAST (±FT)
30AA	572670.228	1348916.541
30DA	572073.844	1350119.229

2. ELEVATIONS SHOWN ON THIS PLAN ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88) WITH LOCAL REFERENCE TO THE FOLLOWING HOWARD COUNTY GEODETIC CONTROL SYSTEM STATIONS:

DESIGNATION	ELEVATION (±FT)
30AA	354.632
30DA	436.012

SITE ANALYSIS DATA CHART

- General Site Data
 - a. Present Zoning: R-20
 - b. Applicable DPZ File References: 9-00-17, F-01-22, F-09-170, F-02-17
 - c. Proposed Use of Site or Structure(s): 10 Single Family Detached Residence
 - d. Proposed Water and Sewer Systems are public
 - e. Any Other Information Which May be Relevant: _____

- Area Tabulation
 - a. Total Project Area: 14.56 Acres
 - b. Area of This Plan Submission: 14.56 Acres
 - c. Limit of Disturbed Area: 13.34 Acres
 - d. Building Coverage of Site: N/A Ac and N/A % of Gross Area (Proposed)

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM AERIAL SURVEY WITH 2 FOOT CONTOUR INTERVALS, PREPARED BY SDI, INC. ON FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-17.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT 30AA AND 30DA WERE USED FOR THIS PROJECT.
- STORMWATER MANAGEMENT IS PROVIDED BY A SURFACE SAND FILTER FACILITY ON LOT 12 AND WAS APPROVED UNDER F-02-17L.
- EXISTING UTILITIES ARE BASED ON CONTRACT NO. 24-3978-D
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE.
- FOR DRIVEWAY ENTRANCE DETAILS, REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-606.
- THE PROPERTY IS ZONED R-20 PER THE 1993 COMPREHENSIVE ZONING PLAN.

A. IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR CLOSED, MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.

- B. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES FOR THE FOLLOWING MINIMUM REQUIREMENTS:
- WIDTH -- 12' (14' SERVING MORE THAN ONE RESIDENCE);
 - SURFACE -- 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN.);
 - GEOMETRY -- MAX 15% GRADE, MAX 10% GRADE CHANGE AND MIN. 45° TURNING RAD.; DRIVEWAY TO BE CONSTRUCTED IN ACCORDANCE WITH THE PLAN AND TYPICAL SECTION PROVIDED ON THIS SITE DEVELOPMENT PLAN.
 - STRUCTURES (CULVERTS/BRIDGES) -- CAPABLE OF SUPPORTING 25 GROSS TONS (11-25 LOADING);
 - DRAINAGE ELEMENTS -- CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 - MAINTENANCE -- SUFFICIENT TO INSURE ALL WEATHER USE.

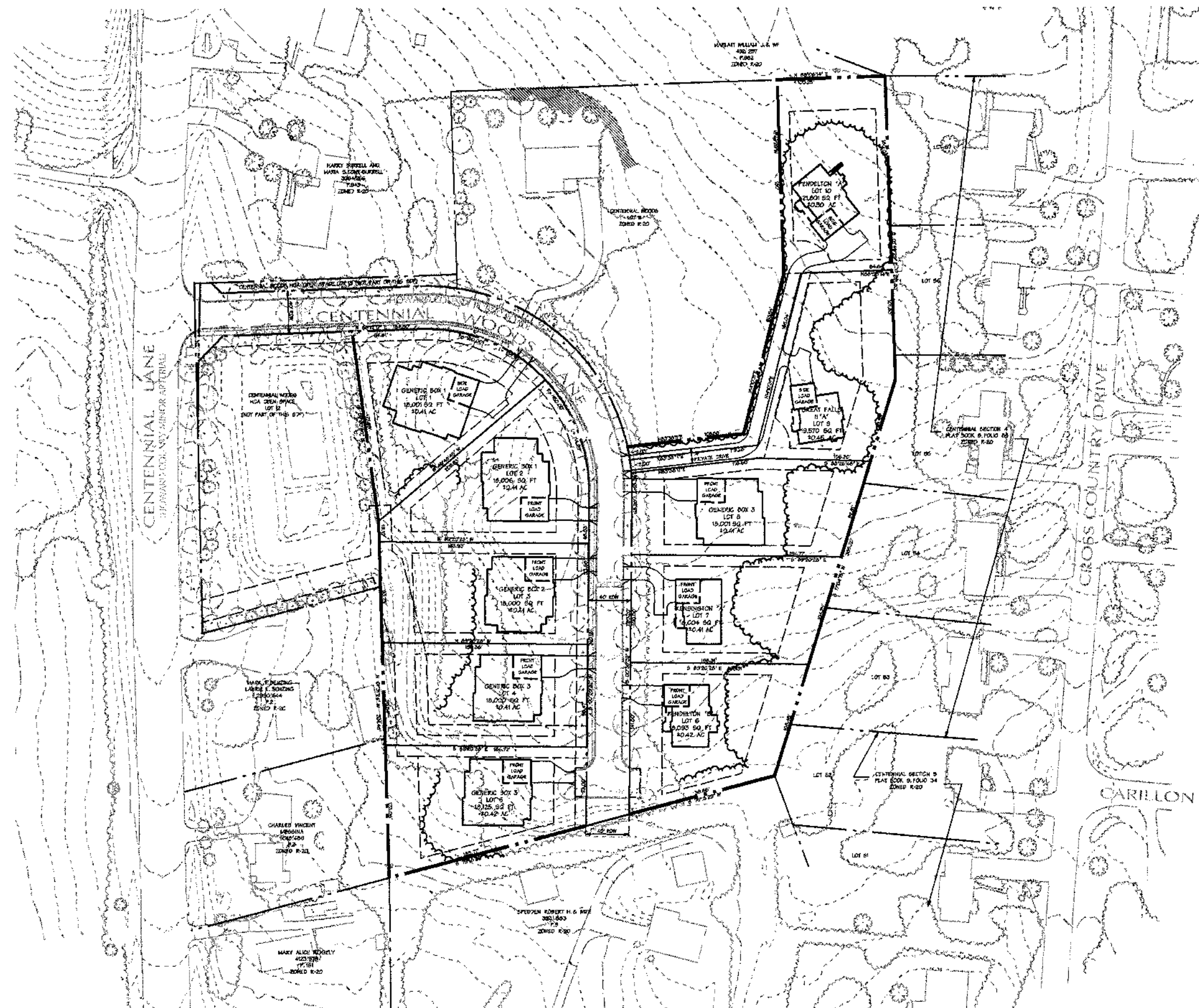
11. THIS PROJECT COMPLIES WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION UNDER F 02-17L. THE 4.5 ACRE OBLIGATIONS WAS SATISFIED ON THE PROPERTY KNOWN AS CHASE FARM, LOT 5 TAX MAP 21

12. THIS PROJECT COMPLIES WITH SECTION 16.124 OF THE HOWARD COUNTY CODE FOR LANDSCAPE REQUIREMENTS. THE SURETY FOR THE REQUIRED LANDSCAPING FOR THIS PROJECT OF \$11,400.00 WAS POSTED WITH THE DEVELOPER'S AGREEMENT FOR F-02-17L AND THE SURETY FOR PERIMETERS 1, 2, AND 3 OF THIS SDP TO BE PAID WITH THE BUILDER'S GRADING PERMIT APPLICATION, PERIMETERS THAT WERE DEFERRED UNDER THE FINAL PLAN, HAVE BEEN ADDRESSED ON SHEET 7 AND 8 OF 8.

13. THERE ARE NO KNOWN CEMETERIES ON SITE.

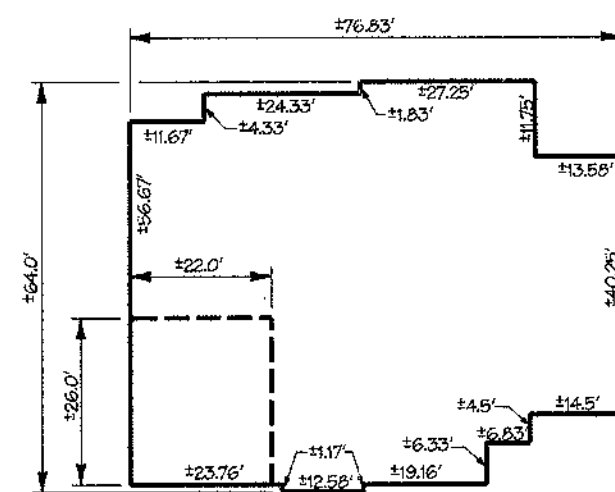
14. AS A RESULT OF THE PRELIMINARY PLAN BEING SUBMITTED TO THE COUNTY FOR REVIEW PRIOR TO 11/5/01, ON 06/06/01 IT IS SUBJECT TO COMPLIANCE WITH THE FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. IN ADDITION, BECAUSE THE PRELIMINARY PLAN DID NOT OBTAIN SIGNATURE APPROVAL PRIOR TO 11/01/01, IT IS SUBJECT TO COMPLIANCE WITH COUNTY COUNCIL BILL 50-2001 WHICH AMENDS THE ZONING REGULATIONS, AND THE AMENDED ZONING REGULATIONS WHICH BECAME EFFECTIVE ON 01/06/02.

15. NO ANCILLARY IMPROVEMENTS SUCH AS FOUNDATION PLANTINGS, AIR CONDITIONING UNITS, FIRE PLACES, DECKS, ETC. SHALL BE CONSTRUCTED WITHIN OR OVER PUBLIC WATER & SEWER CASSEMENTS LOCATED WITHIN RESIDENTIAL LOTS.



LOCATION MAP

SCALE: 1"=100'

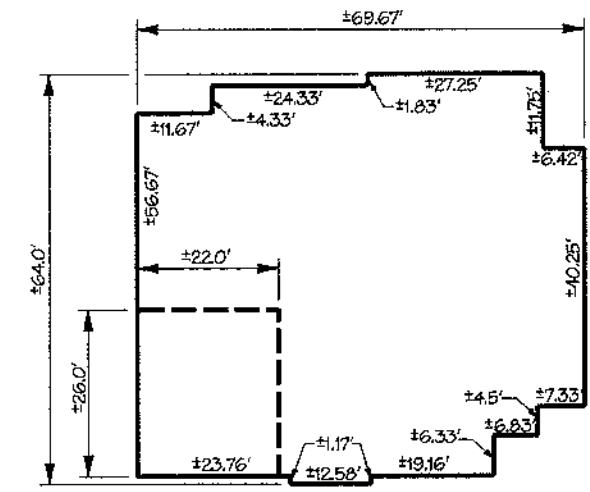


GENERIC BOX 1
SCALE: 1"=30'

HOUSE TYPES (SEE SHEET 2 OF 6)

- ASHLAND
- SUTTON PLACE
- PENDLETON
- GREAT FALLS
- GREAT FALLS II
- KENSINGTON
- GLENWOOD
- HATHAWAY I
- HATHAWAY II
- APTON VIEW
- PROVIDENCE I
- PROVIDENCE II
- SAVANNAH
- CHARLESTON
- PENNINGTON
- WESTMORELAND

WESTMORELAND & KENSINGTON A W/3 CAR GARAGE
* DUE TO HEIGHT LIMITATIONS THIS MODEL CAN NOT BE USED IN A WALK-OUT CONDITION

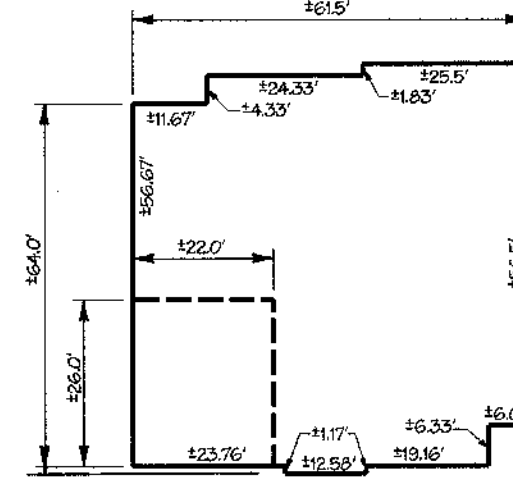


GENERIC BOX 2
SCALE: 1"=30'

HOUSE TYPES (SEE SHEET 2 OF 6)

- ASHLAND
- SUTTON PLACE
- PENDLETON
- GREAT FALLS
- GREAT FALLS II (NO SUNROOM)
- KENSINGTON
- GLENWOOD
- HATHAWAY I
- HATHAWAY II
- APTON VIEW (NO 3RD CAR GARAGE)
- PROVIDENCE I
- SAVANNAH
- CHARLESTON
- PENNINGTON
- WESTMORELAND

KENSINGTON A W/3 CAR GARAGE
* DUE TO HEIGHT LIMITATIONS THIS MODEL CAN NOT BE USED IN A WALK-OUT CONDITION



GENERIC BOX 3
SCALE: 1"=30'

HOUSE TYPES (SEE SHEET 2 OF 6)

- ASHLAND
- SUTTON PLACE
- PENDLETON
- GREAT FALLS
- GREAT FALLS II (NO SUNROOM)
- KENSINGTON
- GLENWOOD
- HATHAWAY I
- HATHAWAY II
- APTON VIEW (NO 3RD CAR GARAGE)
- SAVANNAH
- CHARLESTON
- PENNINGTON
- WESTMORELAND

KENSINGTON A W/3 CAR GARAGE
* DUE TO HEIGHT LIMITATIONS THIS MODEL CAN NOT BE USED IN A WALK-OUT CONDITION

SEWER HOUSE CONNECTION TABLE

LOT	INV. AT E	MIN. C*
1	442.40	448.00
2	482.10	487.40
3	481.10	486.80
4	480.10	484.80
5	444.5	450.00
6	480.10	484.80
7	481.10	485.80
8	482.10	487.00
9	488.10 (DHO)	488.80
10	488.10 (DHO)	472.00

* MIN C is minimum floor elevation of unit that can be served by proposed sanitary connection.

DATA SOURCES:

BOUNDARY PER RECORD PLAT 1467, TOPO PER 301 AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-17L.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Paul Dammann 10/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Wendy Sturtevant 10/25/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David L. Leiper 7/25/13
DIRECTOR DATE

01/25/04 ADD KENSINGTON A TO GENERIC BOXES 1, 2, & 3.

CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHBRIDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21738

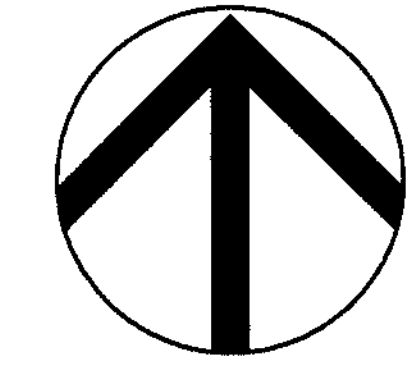
DMW
Duff-McCune-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax: 296-4706

A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

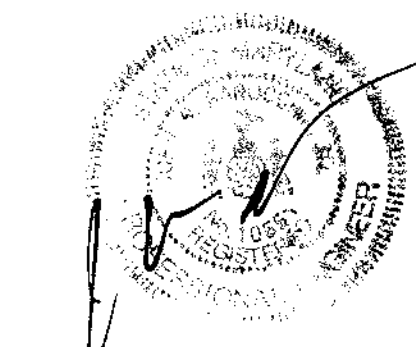
SUBDIVISION NAME	CENTENNIAL WOODS	SECTION AREA	N/A	LOT#/PARCELS #	294
PLAT OR LOT #	1602B	BLOCK #	19,1	TAXZONE MAP	R-20 24, 30
WATER CODE	J-08	GENEVE CODE	5720200	EASMENT TRACT	6022, 04

COVER SHEET

Drn By:	BKC	Scale:	AS NOTED	Proj. No.:	00044-00
Des By:	BKC	Date:	9-5-03		
Chk By:		Approved:			1 of 8

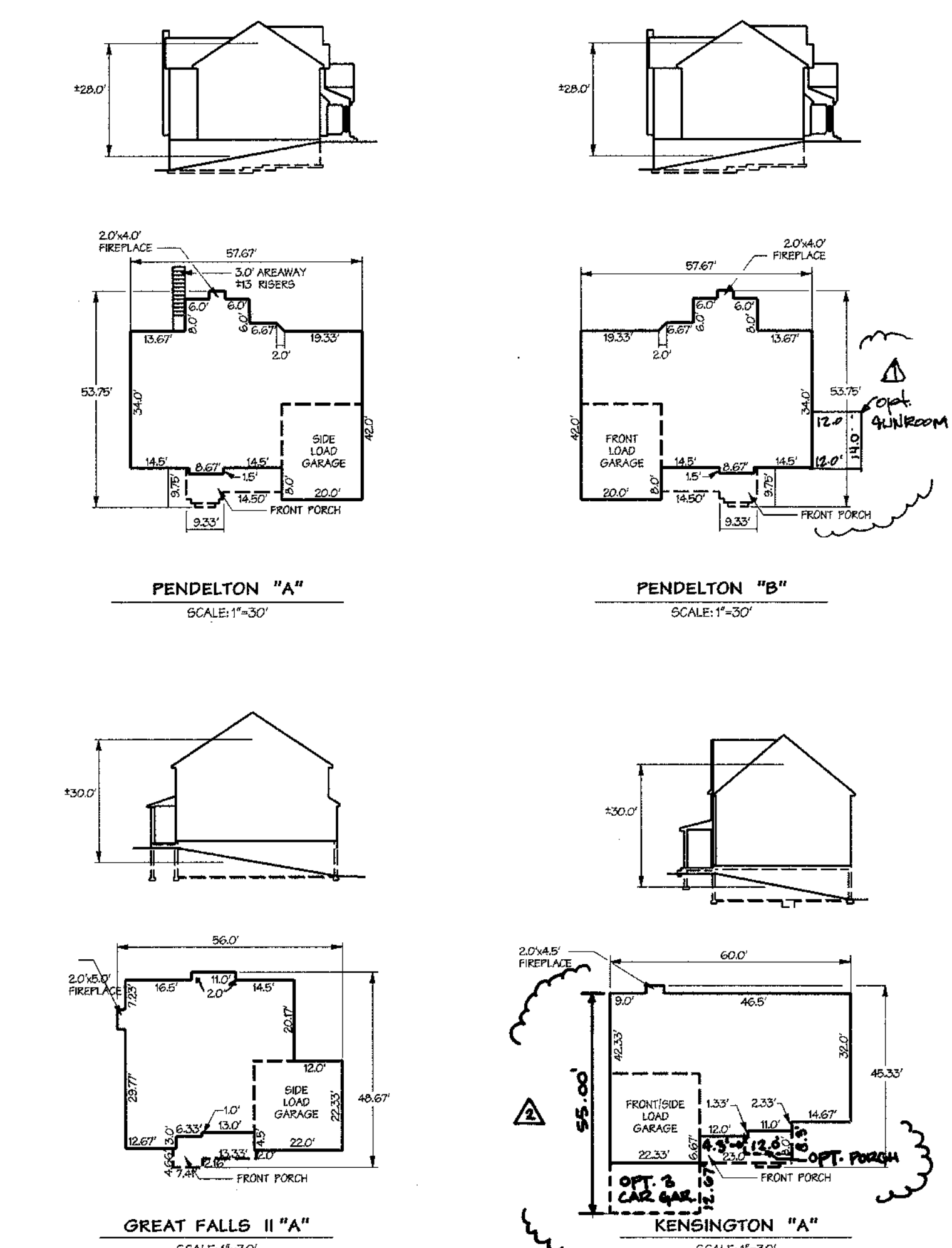
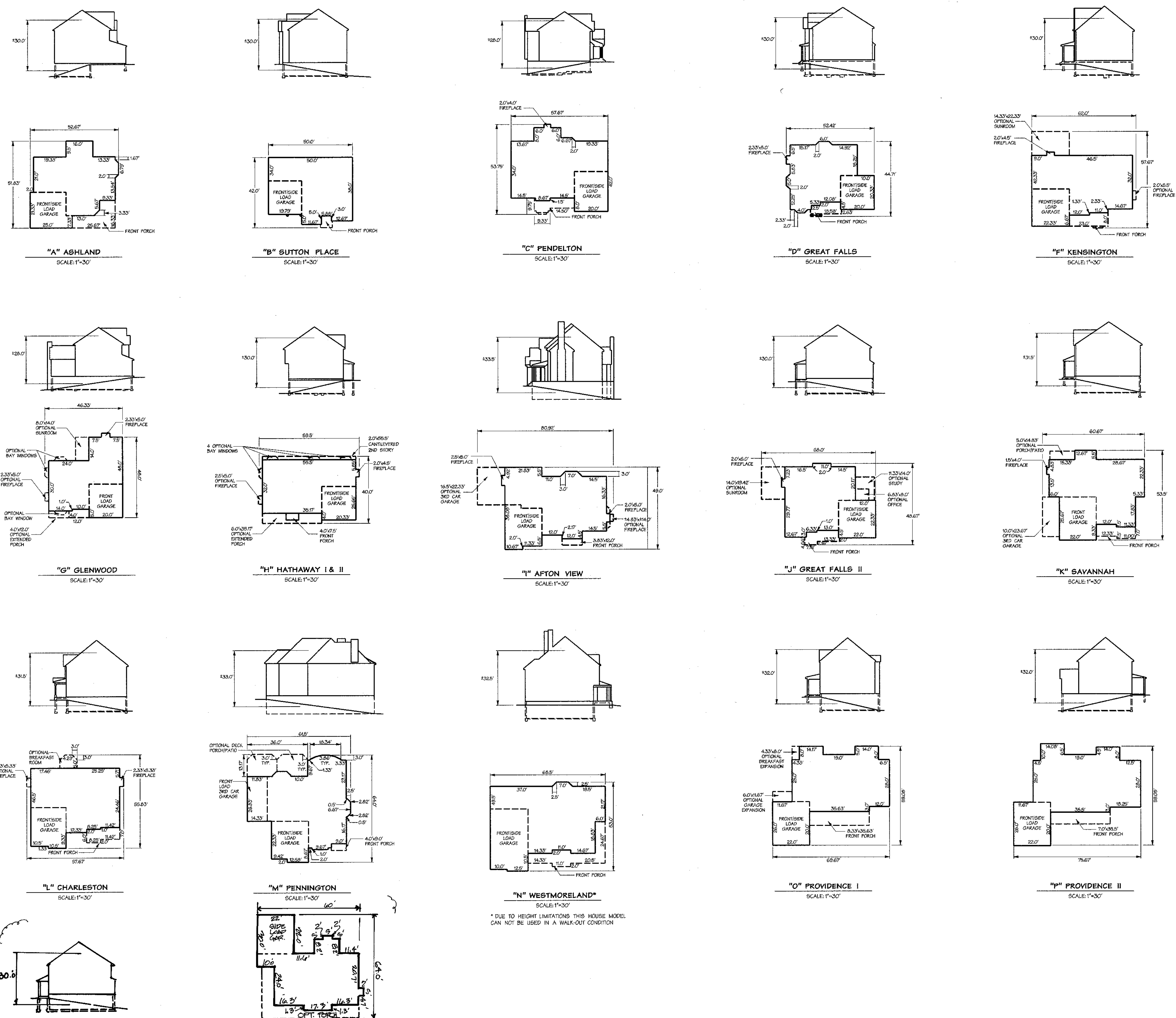


7/1/03
Date



Professional Engr. No. 10551

NOTE: THESE 4 HOUSE TYPES HAVE BEEN EXCLUDED FROM THE GENERIC BOX'S. REFER TO SHEET 3 OF 8 FOR THE SPECIFIC LOTS THEY ARE SITED ON.



DATA SOURCES:
BOUNDARY PER RECORD PLAT 14167, TOPO PER 3D AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

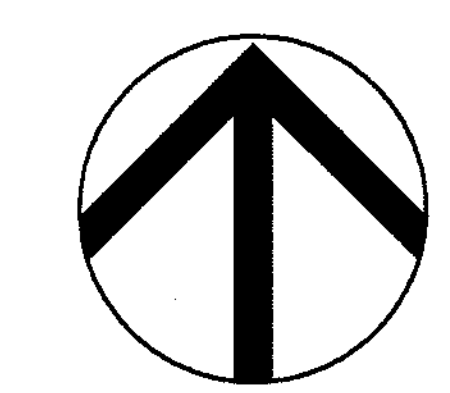
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Howard Dammann 10/18/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Carly Handley 10/25/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Paul L. Wylie 11/29/03
 DIRECTOR DATE

12/12/04	ADD SILVER SPRING MODEL & ADD OPT. GARAGE
02/28/04	ADD 3 CAR GARAGE TO KENSINGTON "A."
Date	No. Revision Description

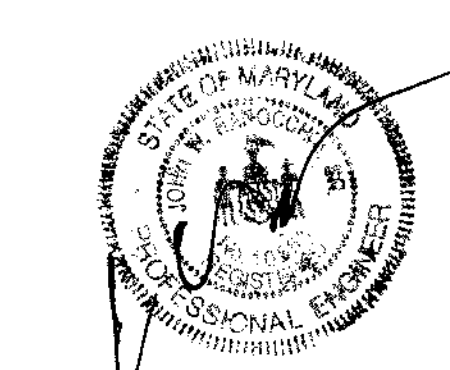
CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHEDGE DEVELOPMENT, LLC
 14045 GARED DRIVE
 GLENWOOD, MD 21738

DMW
 Daft-McCune-Walker, Inc.
 A Team of Land Planners, Landscape Architects, Engineers, Surveyors & Environmental Professionals
 200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax 296-4705



2/11/05
 Date



DIVISION NAME	SECTION AREA	LOT/PARCEL #
CENTENNIAL WOODS		294
PLAT OR MAP	TRAC #	SECTION
1602B	19.1	R-2D
WATER CODE	SEWER CODE	CENSUS TRACT
J-06	5720200	6022.04

HOUSE TEMPLATE PLANS AND ELEVATIONS

Drn By: BKC	Scale: AS NOTED	Proj. No. 00044.D0
Des By: BKC	Date: 9-5-03	
Chk By:	Approved:	2 of 8

Professional Engr. No. 10004410



LEGEND

EX. CURB & GUTTER	---
EX. MAJOR CONTOURS	---
EX. MINOR CONTOURS	---
EX. SEWER	EX. 8" S.
EX. WATER	EX. 8" W.
EX. TREE	(Symbol)
EX. SHADE/STREET TREE (PER F 02-171)	(Symbol)
EX. ORNAMENTAL TREE (PER F 02-171)	(Symbol)
EX. EVERGREEN TREE (PER F 02-171)	(Symbol)
EX. WOODS	(Symbol)
PROPOSED TREELINE	(Symbol)
PROPERTY BOUNDARY LINE	---
BUILDING SETBACK	---
PROPOSED MINOR CONTOUR	482
PROPOSED MAJOR CONTOUR	480
EX. EASEMENTS	(Symbol)

DATA SOURCES:
BOUNDARY PER RECORD PLAT 14167, TOPO PER 3D AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Bob Dammann 10/18/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Linda Hamilton 11/09/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Paul A. Unger 10/29/03
DIRECTOR DATE

02/23/04 **CHANGED GENERIC BOX 1 WITH KENSINGTON "A" ON LOT 2.**

Date	No.	Revision Description

**CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"**

OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21736

DMW
Darr-McCune-Walker, Inc.

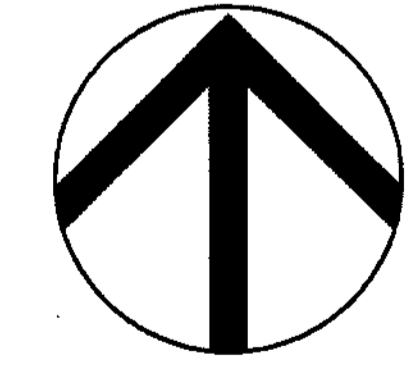
A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-3333
Fax: 396-4708

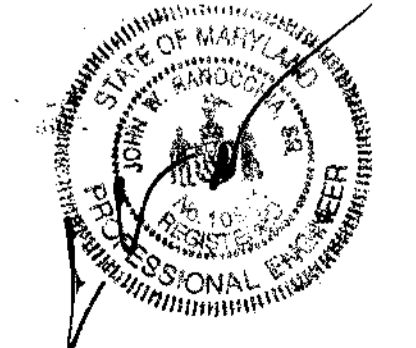
SECTION NAME CENTENNIAL WOODS	SECTION AREA 18.1	LOT/PARCEL # 294
PLAT OF LOT 18025	ZONE R-20	TRAVELWAY WAY 2 ND
WATER CODE J-06	SEWER CODE 5720200	GENERIC TRACT 6022,04

TITLE
SITE PLAN

Drawn By: BKC Scale: 1"=40' Proj. No. 00044.00
Des. By: BKC Date: 9-5-03
Chk. By: Approved: 3 of 8



2/1/00
Date



Professional Engr. No. 100351

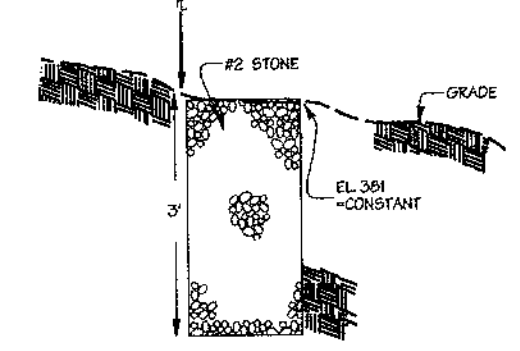
SEWER HOUSE CONNECTION TABLE

LOT	INV. AT R	MIN. C*
1	442.40	443.00
2	452.40	457.40
3	451.30	455.30
4	450.10	454.30
5	444.5	450.00
6	450.10	454.30
7	451.10	456.30
8	452.10	457.00
9	453.10 (DHC)	455.80
10	453.10 (DHC)	472.00

* MIN C is minimum floor elevation of un- that can be served by proposed sanitary connection.

LEGEND

- EX. CURB & GUTTER
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- EX. SEWER
- EX. WATER
- EX. TREE
- EX. SHADE/STREET TREE (PER F 02-17)
- EX. ORNAMENTAL TREE (PER F 02-17)
- EX. EVERGREEN TREE (PER F 02-17)
- EX. WOODS
- PROPOSED TREELINE
- PROPERTY BOUNDARY LINE
- BUILDING SETBACK
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EX. EASEMENTS
- STONE PIT LEVEL SPREADER
- DOWNSPOUT



STONE PIT LEVEL SPREADER DETAIL

N.T.S.

DATA SOURCES:

BOUNDARY PER RECORD PLAT 1467, TOPO PER 30'AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-17.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Development Engineering Division *[Signature]* 10/25/03
 Chief, Division of Land Development *[Signature]* 10/25/03
 Director *[Signature]* 10/25/03

02/23/04 CHANGED GENERIC BOX 1 WITH KENSINGTON "A" ON LOT 2

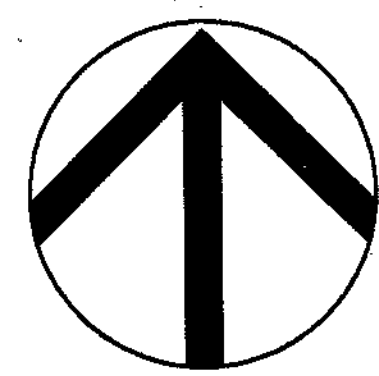
CENTENNIAL WOODS
 LOTS 1-10
 GENERIC SITE DEVELOPMENT PLAN
 "SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHBRIDGE DEVELOPMENT, LLC
 14045 GARED DRIVE
 GLENWOOD, MD 21735

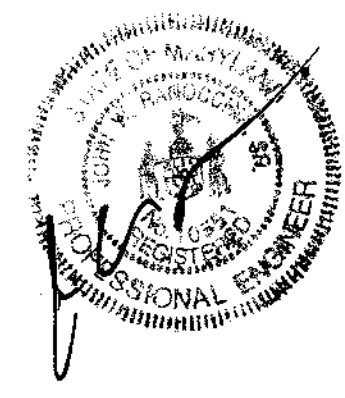
DMW
 Daft-McCune-Walker, Inc.
 300 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 286-3333
 Fax 286-4705

PERMISSION NAME	CENTENNIAL WOODS	DISTRICT AREA	LOT/FACIL #
PLAT OR L.P.	160228	ZONE	R-20
WATER CODE	J-06	LOT/FACIL #	294

TITLE	GRADING PLAN		
Drn By:	BKC	Scale:	1"=40'
Des By:	BKC	Date:	9-5-03
Chk By:		Approved:	
Proj. No.	CO044.00		
			4 of 8

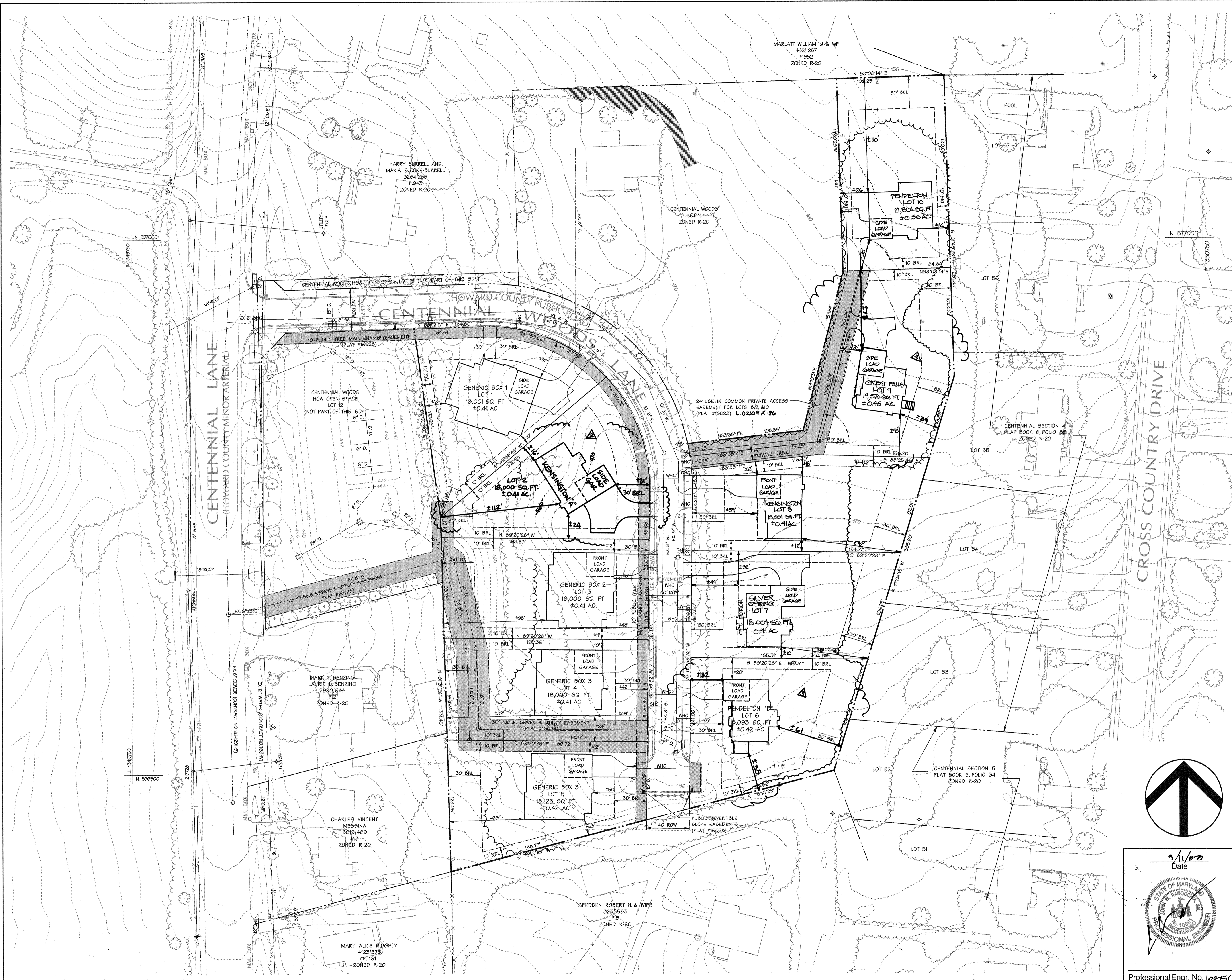


9/1/03
 Date



Professional Engr. No. 10551





LEGEND

EX. CURB & GUTTER	---
EX. MAJOR CONTOURS	---400---
EX. MINOR CONTOURS	---402---
EX. SEWER	EX. 8" S.
EX. WATER	EX. 8" W.
EX. TREE	(Symbol)
EX. SHADE/STREET TREE (PER F 02-171)	(Symbol)
EX. ORNAMENTAL TREE (PER F 02-171)	(Symbol)
EX. EVERGREEN TREE (PER F 02-171)	(Symbol)
EX. WOODS	(Symbol)
PROPOSED TREELINE	(Symbol)
PROPERTY BOUNDARY LINE	---
BUILDING SETBACK	---
PROPOSED MINOR CONTOUR	482
PROPOSED MAJOR CONTOUR	480
EX. EASEMENTS	(Symbol)

DATA SOURCES:
 BOUNDARY PER RECORD PLAT 14167, TOPO PER 301 AERIAL
 DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING
 FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

John D. ... 10/18/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Linda ... 10/20/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Derek ... 10/29/03
 DIRECTOR DATE

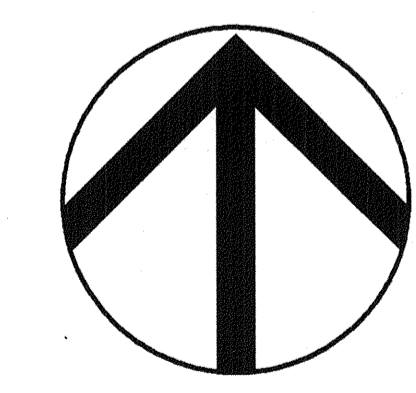
02/23/04	CHANGED GENERIC BOX 1 WITH KENSINGTON "A" ON LOT 2.
4/2/04	REVISED PFE FOR LOTS 6-9.

CENTENNIAL WOODS
 LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
 "SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
 14045 GARED DRIVE
 GLENWOOD, MD 21735

DMW
 Daft-McCune-Walker, Inc.
 A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

200 East Pennsylvania Avenue
 Towson, Maryland 21286
 (410) 296-3333
 Fax: 296-4705



7/1/00
 Date

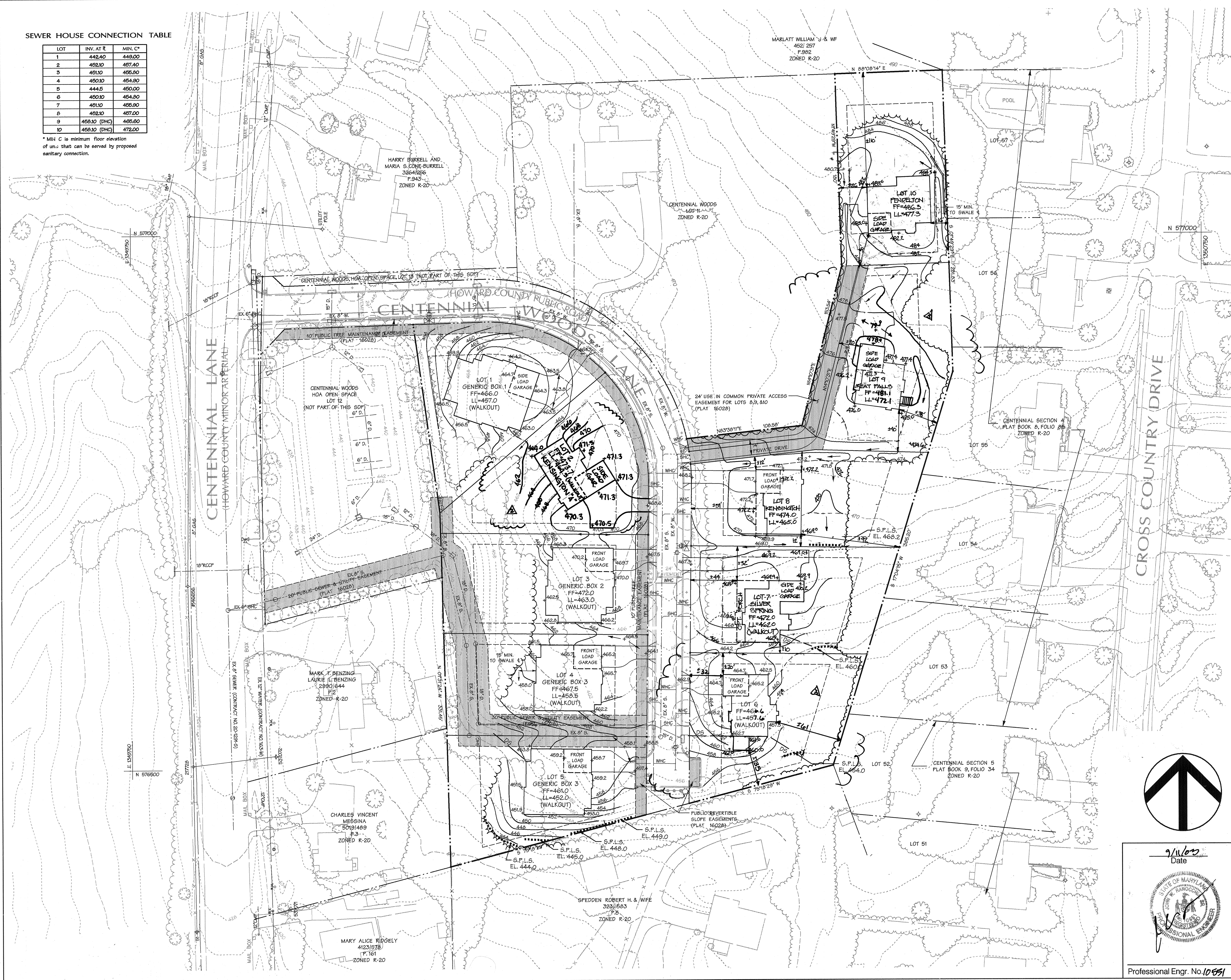
Professional Engr. No. 100551

SUBDIVISION NAME	CENTENNIAL WOODS	SECTION AREA	LOT/PARCEL #
PLAT/LOT	16022B	ZONE	294
PLAT/LOT	191	TAXZONE MAP	2 ND
WATER CODE	J-06	ELECT. DISTRICT	6023-04
		SEWER CODE	5720200
TITLE			
SITE PLAN			
Drn By:	BKC	Scale:	1"=40'
Des By:	BKC	Date:	9-5-03
Chk By:		Approved:	
			Proj. No. 00044.00
			3 of 8

SEWER HOUSE CONNECTION TABLE

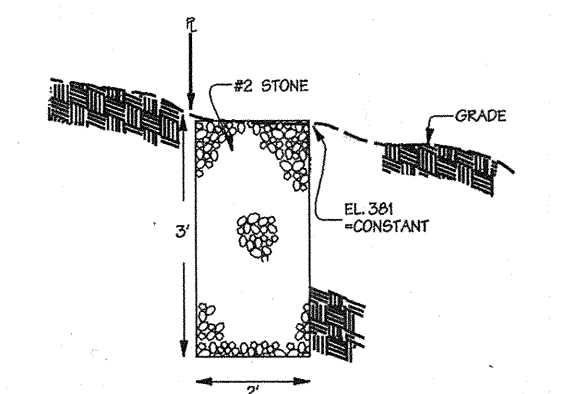
LOT	INV. AT E	MIN. C*
1	442.40	449.00
2	482.10	487.40
3	491.10	495.80
4	480.10	484.90
5	444.5	450.00
6	480.10	484.90
7	481.10	486.90
8	482.10	487.00
9	488.10 (DHS)	485.00
10	488.10 (DHS)	472.00

* MIN C is minimum floor elevation of unit that can be served by proposed sanitary connection.



LEGEND

- EX. CURB & GUTTER
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- EX. SEWER
- EX. WATER
- EX. TREE
- EX. SHADE/STREET TREE (PER F 02-171)
- EX. ORNAMENTAL TREE (PER F 02-171)
- EX. EVERGREEN TREE (PER F 02-171)
- EX. WOODS
- PROPOSED TREELINE
- PROPERTY BOUNDARY LINE
- BUILDING SETBACK
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EX. EASEMENTS
- STONE PIT LEVEL SPREADER
- DOWNSPOUT



DATA SOURCES:
BOUNDARY PER RECORD PLAT 14167, TOPO PER 301 AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Chris Damann 10/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 10/25/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Frank A. Lytle 10/25/03
DIRECTOR DATE

02/23/04	1	CHANGED GENERIC BOX 1 WITH KENSINGTON "A" ON LOT 2
4/2/04	2	REVISED GRADES FOR LOTS 6+9

CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
14045 GARED DRIVE
GLENWOOD, MD 21733

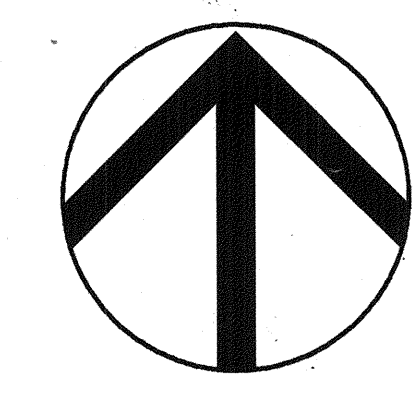


DMW
Daft-McCune-Walker, Inc.
A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

BOOK/NO. NAME	CENTENNIAL WOODS	SECTION AREA	LOT/PARCEL #	294
PLAT/ OR LUP	160228	ZONE	R-20	24, 30
WATER CODE	J-06	TAXING MAP	2 ND	6023.D4
		SEWER CODE	5720200	

TITLE
GRADING PLAN

Drn By:	BKC	Scale:	1"=40'	Proj. No.	00044.D0
Des By:	BKC	Date:	9-5-03		
Chk By:		Approved:			4 of 8



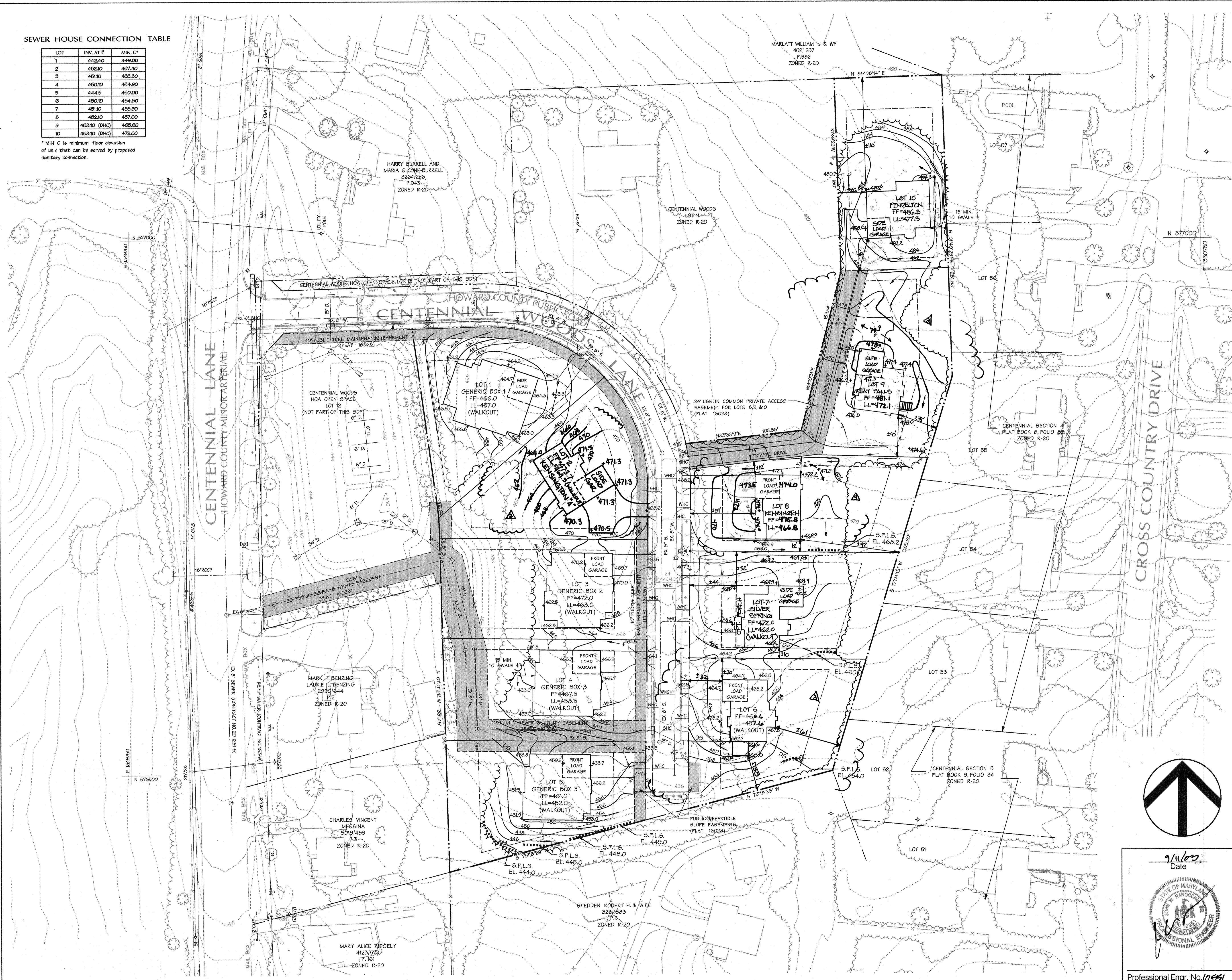
9/16/03
Date

Professional Engr. No. 10651

SEWER HOUSE CONNECTION TABLE

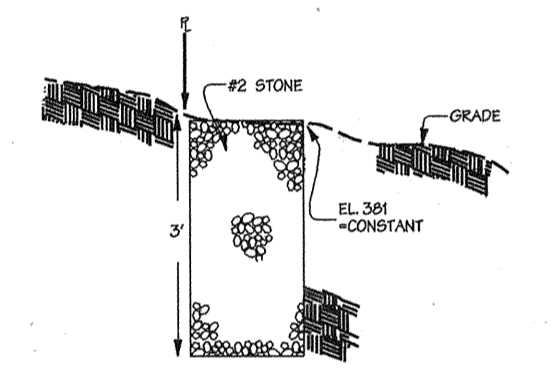
LOT	INV. AT R	MIN. C'
1	442.40	449.00
2	452.10	457.40
3	451.10	455.90
4	450.10	454.90
5	444.5	450.00
6	450.10	454.90
7	451.10	455.90
8	452.10	457.00
9	458.10 (PH)	465.60
10	458.10 (PH)	472.00

* MIN C is minimum floor elevation of units that can be served by proposed sanitary connection.



LEGEND

- EX CURB & GUTTER
- EX MAJOR CONTOURS
- EX MINOR CONTOURS
- EX SEWER
- EX WATER
- EX TREE
- EX SHADE/STREET TREE PER F 02-171
- EX ORNAMENTAL TREE PER F 02-171
- EX EVERGREEN TREE PER F 02-171
- EX WOODS
- PROPOSED TREELINE
- PROPERTY BOUNDARY LINE
- BUILDING SETBACK
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EX EASEMENTS
- STONE PIT LEVEL SPREADER
- DOWNSPOUT



STONE PIT LEVEL SPREADER DETAIL N.T.S.

2/25/04 **REVISOR GRADES FOR LOT 8**
 Date No. Revision Description

DATA SOURCES:
 BOUNDARY PER RECORD PLAT 1467, TOPO PER 3D/AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Chris Damann 10/15/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Cindy Hamilton 10/25/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Frank D'Angelo 10/29/03
 DIRECTOR DATE

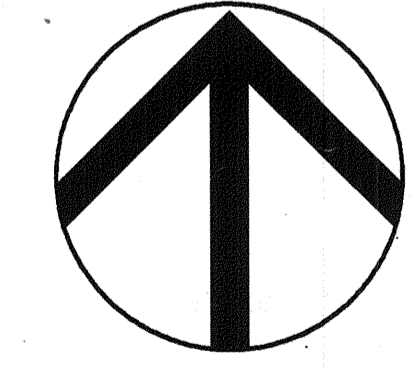
02/23/04 **CHANGED GENERIC BOX 1 WITH KENSINGTON "A" ON LOT 2**
 4/2/04 **REVISED GRADES FOR LOTS 6+9**
 Date No. Revision Description

CENTENNIAL WOODS
 LOTS 1-10
 GENERIC SITE DEVELOPMENT PLAN
 "SINGLE FAMILY DETACHED"

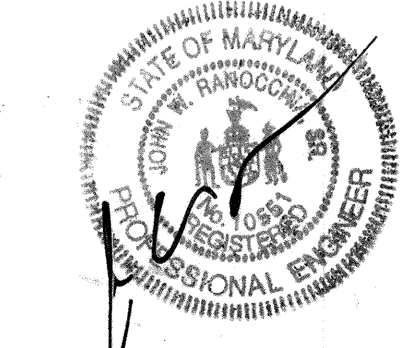
OWNER/DEVELOPER: NORTHTRIDGE DEVELOPMENT, LLC
 14045 GARED DRIVE
 GLENWOOD, MD 21738



DMW
 Draft-McCune-Walker, Inc. A Team of Land Planners, Landscape Architects, Townson, Maryland 21288, 4101 296-3333, Engineers, Surveyors & Environmental Professionals
 Fax 296-4705



9/16/03
 Date



Professional Engr. No. 10851

SUBDIVISION NAME	CENTENNIAL WOODS	SECTION AREA	LOT/PARCEL #
PLAT OR L.P.	1602B	ZONE	294
BLOCK #	191	TAXZONE MAP	24, 30
		ELECT. DISTRICT	2 ND
		CENSUS TRACT	60225_04
WATER CODE	J-06	SEWER CODE	5720200

TITLE
 GRADING PLAN

Drn By:	BKC	Scale:	1"=40'	Proj. No.	00044.00
Des By:	BKC	Date:	9-5-03		
Chk By:		Approved:			4 of 8

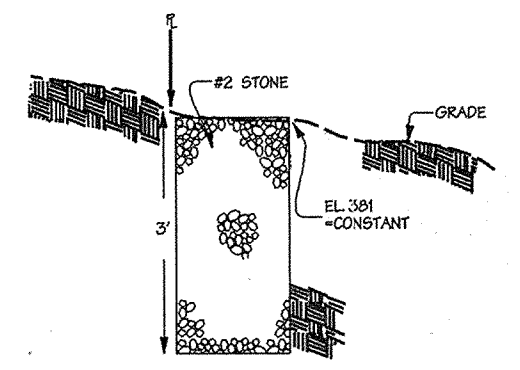
SEWER HOUSE CONNECTION TABLE

LOT	INV. AT R	MIN. C*
1	442.40	449.00
2	462.10	467.40
3	461.10	466.80
4	460.10	464.80
5	444.5	460.00
6	460.10	464.80
7	461.10	466.80
8	462.10	467.00
9	460.10 (DHC)	466.60
10	460.10 (DHC)	472.00

* MIN C is minimum floor elevation of un- that can be served by proposed sanitary connection.

LEGEND

- EX CURB & GUTTER
- EX MAJOR CONTOURS
- EX MINOR CONTOURS
- EX SEWER
- EX WATER
- EX TREE
- EX SHADE/STREET TREE PER F 02-171
- EX ORNAMENTAL TREE PER F 02-171
- EX EVERGREEN TREE PER F 02-171
- EX WOODS
- PROPOSED TREELINE
- PROPERTY BOUNDARY LINE
- BUILDING SETBACK
- PROPOSED MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- EX EASEMENTS
- STONE PIT LEVEL SPREADER
- DOWNSPOUT



STONE PIT LEVEL SPREADER DETAIL
N.T.S.

Date	No.	Revision Description
6/22/04	A	REVISED GRADES FOR LOT 10
8/29/04	A	REVISED GRADES FOR LOT 8
		Revision Description

DATA SOURCES:
BOUNDARY PER RECORD PLAT 1467, TOPO PER 3D AERIAL DATED FEB. 3, 2001 AND SUPPLEMENTED WITH GRADING FROM FINAL PLAN, F-02-171.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Chad Damman 10/15/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Harrelson 10/25/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Frank D'Angelo 10/25/03
DIRECTOR DATE

Date	No.	Revision Description
02/23/04	A	CHANGED GENERIC BOX 1 WITH KENSINGTON 'A' ON LOT 2
1/2/04	A	REVISED GRADES FOR LOTS 6+9

CENTENNIAL WOODS
LOTS 1-10
GENERIC SITE DEVELOPMENT PLAN
"SINGLE FAMILY DETACHED"

OWNER/DEVELOPER: NORTHEDGE DEVELOPMENT, LLC
14045 GARDEN DRIVE
GLENWOOD, MD 21738

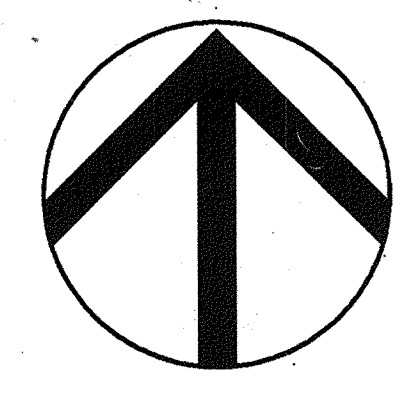


DMW
Daft-McCune-Walker, Inc. A Team of Land Planners, Landscape Architects, Golf Course Architects, Engineers, Surveyors & Environmental Professionals

PROPOSITION NAME	SECTION AREA	LOT/FACILITY #
CENTENNIAL WOODS		294
PLAT OR L.P.	ZONE	HAZARDOUS MAP
160229	R-20	24, 30
WATER CODE	BLDG. DISTRICT	CENSUS TRACT
J-06	2 ND	60225-04
	PERM CODE	5720200

TITLE
GRADING PLAN

Drawn By:	BKC	Scale:	1"=40'	Proj. No.:	00044.D0
Des. By:	BKC	Date:	9-5-03		
Chk. By:		Approved:			4 of 8



9/1/03
Date

Professional Engr. No. 10051

