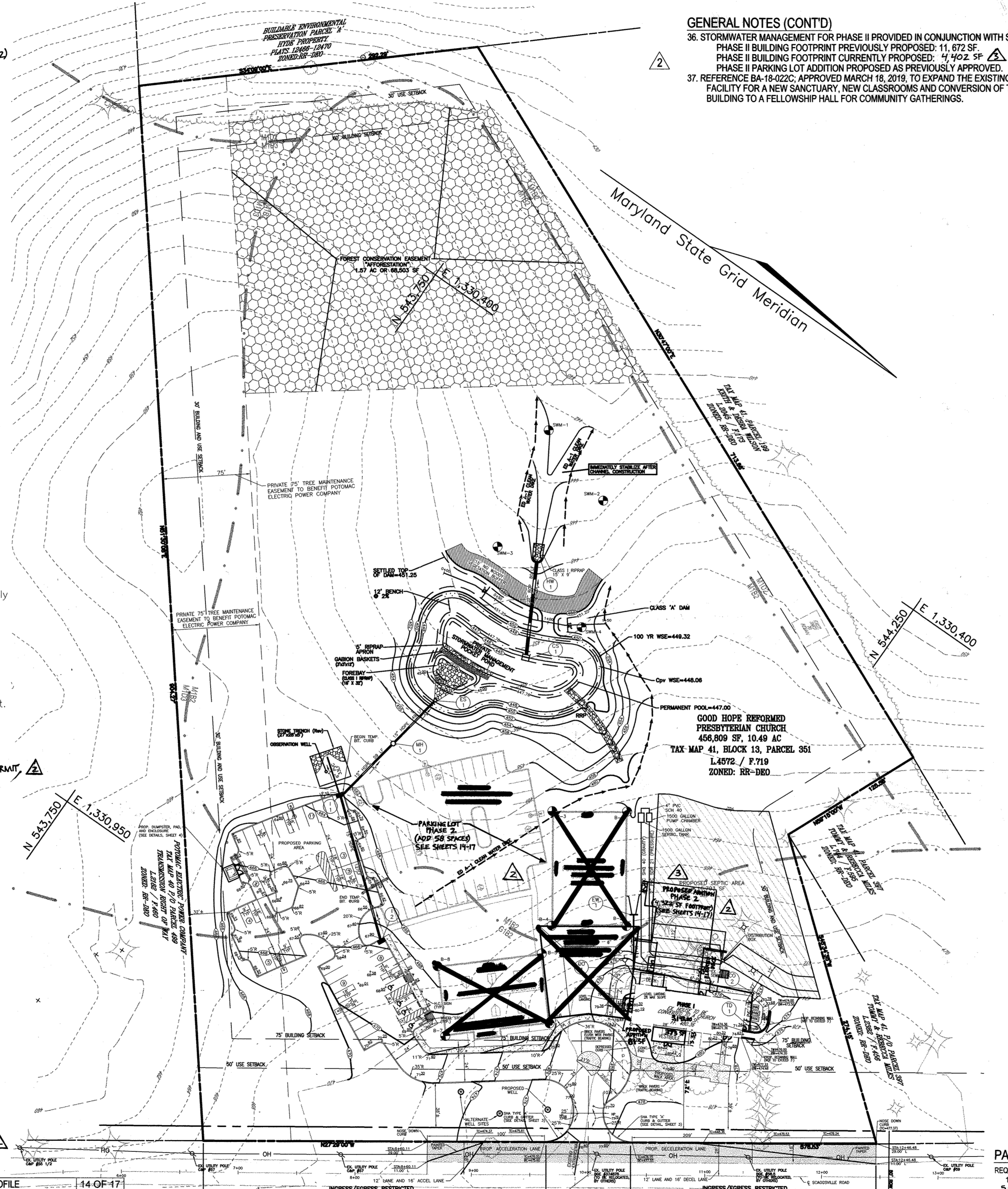


GENERAL NOTES

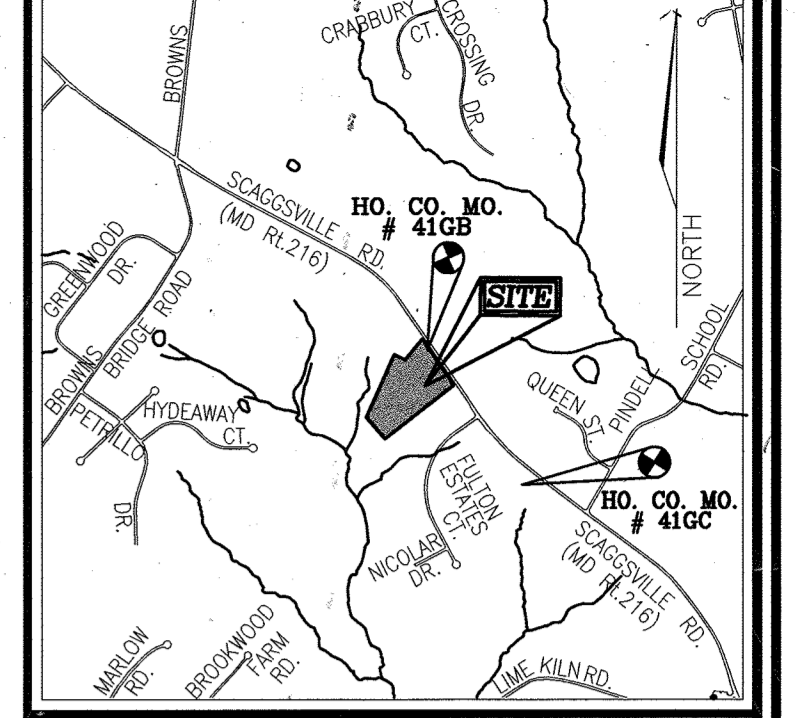
- 1. All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications, if applicable.
2. The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
3. The contractor is to notify the following utilities or agencies at least five days before starting work on these drawings:
Miss Utility 1-800-257-7777
Verizon Telephone company: 1-410-954-6281
Howard County Bureau of Utilities: 1-410-313-2366
AT&T Cable Location Division: 1-800-393-3553
B.G.&E. Co. Contractor Services: 1-410-850-4620
B.G.&E. Co. Underground Damage Control: 1-410-787-4620
State Highway Administration: 1-410-531-5533
4. Site analysis:
Area of Parcel: 10.49 Ac.
Present Zoning: RRDEO
Proposed Use: Convert existing residence into a church, add a front vestibule, parking area, SWM facility, landscaping and addition of forest conservation easements.
Building Area: 3,516 SF (PHASE I); 4,402 SF (PHASE 2) = 7,918 SF (TOTAL)
Building Coverage On Site: 0.18 Ac. or 1.72% of Gross Area
Paved Parking Lot/Area On Site: 0.97 Ac. or 9.25% of Gross Area
Area of Landscape Island: 0.06 Ac. or 0.57% of Gross Area
Limit of Disturbed Area: 3.30 Ac. or 31.46% of Gross Area (PHASE I) / 1.32 Ac. OR 12.58% OF GROSS AREA (PHASE 2)
Cut: 3300 sf. Fill: 1500 sf.
5. Project background:
Location: Fulton, MD.; Tax Map 41, Block 13, Parcel 351
Zoning: RRDEO
Subdivision: N/A
Section/Area: N/A
Site Area: 10.49 Ac.
DPZ references: BA 01-65C&V
6. The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to start of work.
7. Any damage to public right-of-ways, paving, or existing utilities will be corrected at the contractor's expense.
8. Existing utilities located from Road Construction Plans, Field Surveys, Public Water and Sewer Extension Plans and available record drawings. Approximate location of existing utilities are shown for the contractors information. Contractor shall locate existing utilities well in advance of construction activities and take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to contractor's operation shall be repaired immediately at the contractor's expense.
9. All reinforced concrete for storm drain structures shall have a minimum of 28 days strength of 3,500 p.s.i.
10. Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
11. Estimates of earthwork quantities are provided solely for the purpose of calculating fees.
12. Soil compaction specifications, requirements, methods and materials are to be in accordance with the recommendations of the project Geotechnical Engineer. Geotechnical Engineer to confirm acceptability of proposed paving section, based on soil test prior to construction.
13. The existing topography is taken from field run survey with two foot contour intervals prepared by Frederick Ward and Associates, dated May 22, 2001, and topographic survey prepared by others. The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System.
14. A noise study is not required for this project.
15. All paving to be minimum Howard County Standard Detail P-2 unless otherwise noted. (See details, sheet 4) The geotechnical engineer to confirm paving section prior to construction.
16. All curb and gutter to be Howard County Standard Detail 3.01 unless otherwise noted. (See detail, sheet 4)
17. Contractor responsible to construct all handicap ramps and handicap access in accordance with current ADA requirements.
18. Where drainage flows away from curb, contractor to reverse the gutter pan.
19. All elevations are to flowline/bottom of curb unless otherwise noted.
20. All dimensions are to face of curb unless otherwise noted.
21. Water and Sewer to be private.
22. Stormwater management quantity is provided by the proposed stormwater management pocket pond, which provides Cpv and Wqv. The proposed stone trench provides Rev. The proposed SWM is for the ultimate conditions; however, due to measured impervies areas any additional development will require the re-evaluation of SWM requirements. The proposed stormwater management system and water quality system are to be privately owned and maintained by Good Hope Reformed Presbyterian Church.
23. All exterior lighting to conform to section 134 of the Howard County Zoning Regulations. (Detail on Sheet 3)
24. Geotechnical report prepared by Herbst & Benson Associates dated March 28, 2003.
25. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and Landscape Manual.
26. Any existing street trees damaged or destroyed during construction will be replaced by the contractor.
27. In accordance with Section 16.1202 of Howard County Code and Forest Conservation Manual, forest conservation obligations on this site shall be fulfilled by the planting of 1.57 acres in an afforestation easement. Financial surety in the amount of \$34,194.60 shall be posted with the Developer's Agreement. See plat 16108
28. Perimeter landscaping in accordance with Section 16.124 of the Howard County Code and Landscape Manual, shall be provided as shown on the approved landscape plan. Financial surety in the amount of \$42,120 for 75 shade trees, 113 evergreen trees and 89 shrubs, shall be posted with the Developer's Agreement. FINANCIAL SURETY IN THE AMOUNT OF \$900.00 FOR THE REQUIRED 3 SHADE TREES FOR REDLINE #2 SHALL BE POSTED AS PART OF THE GRADING PERMIT. See plat 16108
29. This plan is subject to BA 01-65C&V, approved May 2, 2002, for a religious facility; and to reduce the 75 foot structure setback from an arterial public street right-of-way to 64 feet for an addition, and to reduce the 50 foot use setback to 39 feet for a walk and 37 feet for a driveway.
30. No cemeteries exist on this site.
31. This plan conforms to the Fifth Edition of the Subdivision Regulations.
32. The existing well will be properly abandoned in accordance with Health Department and MDE Regulations. A new well is proposed on the northern portion of this site. The existing septic tank and drywell will be abandoned with approval of the Health Department and MDE Regulations.
33. There are no existing streams, wetlands, flood plain areas located on this site in accordance with an environmental study conducted by Eco-Science Professionals Inc. on August 28, 2003.
34. An APFO study is not required since it has no peak hour impact.
25. REF: STATE WATER APPROPRIATION PERMIT NO. H02004-G001(01)

GOOD HOPE REFORMED PRESBYTERIAN CHURCH PHASE 1 & PHASE 2 SITE DEVELOPMENT PLAN PARCEL 351

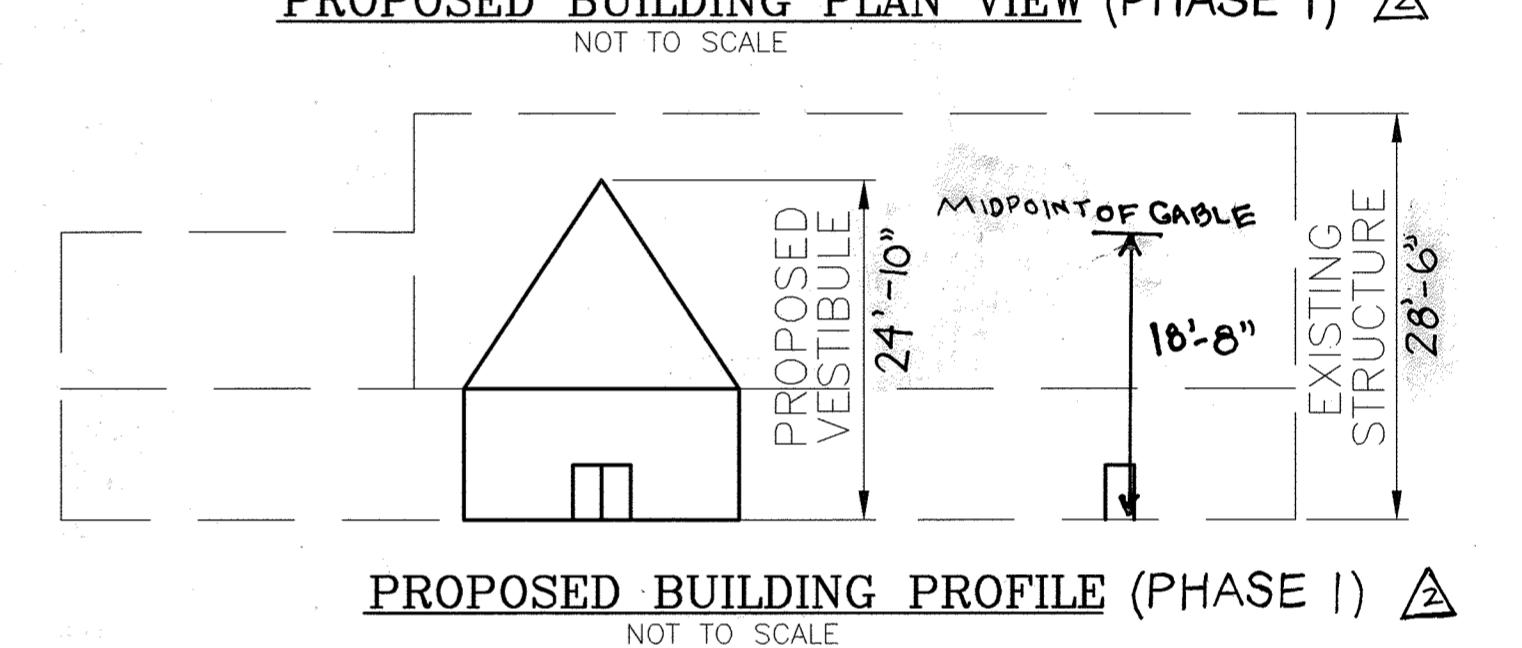
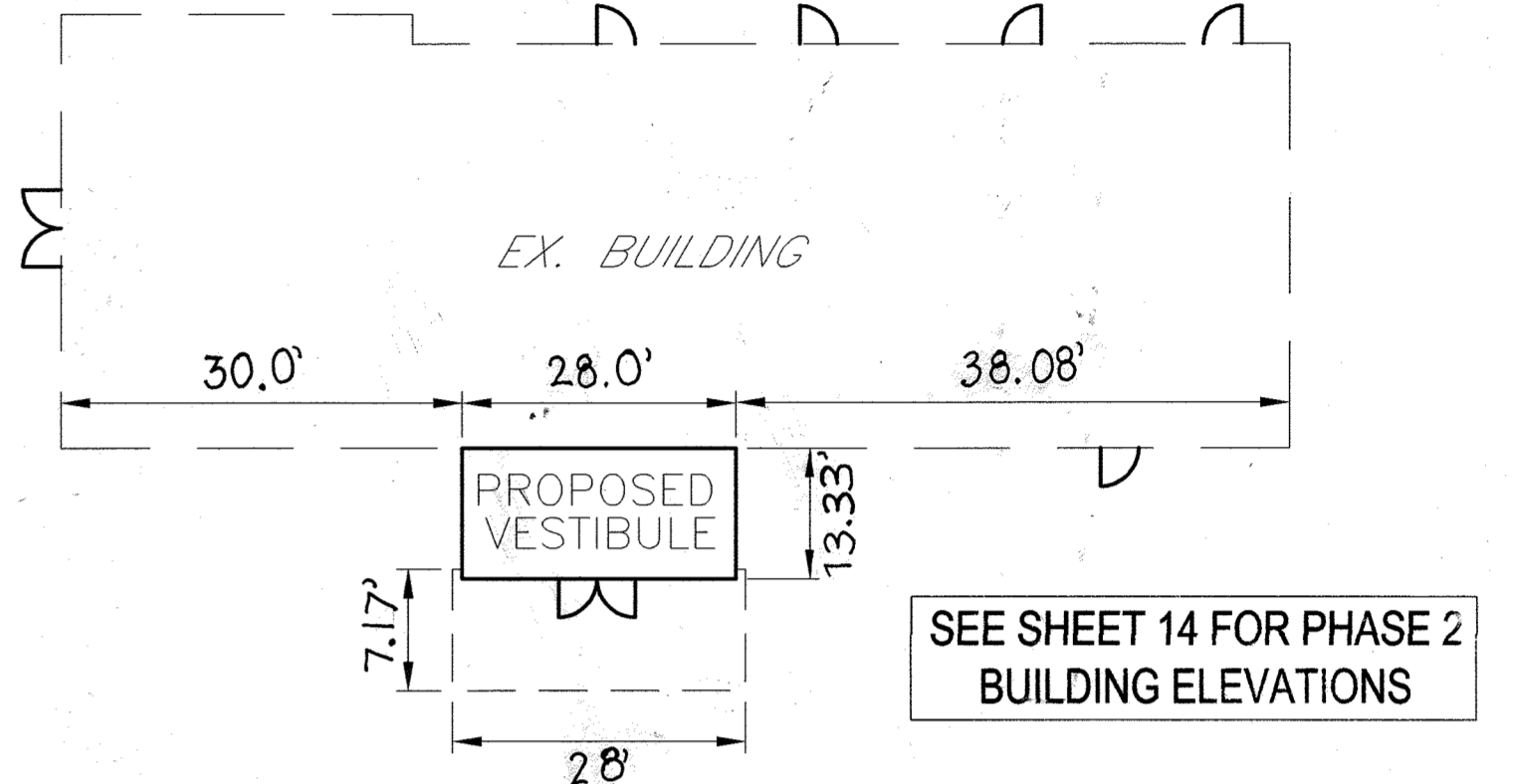


- GENERAL NOTES (CONT'D)
36. STORMWATER MANAGEMENT FOR PHASE II PROVIDED IN CONJUNCTION WITH SDP-03-160. PHASE II BUILDING FOOTPRINT PREVIOUSLY PROPOSED: 11,872 SF. PHASE II BUILDING FOOTPRINT CURRENTLY PROPOSED: 4,902 SF. PHASE II PARKING LOT ADDITION PROPOSED AS PREVIOUSLY APPROVED.
37. REFERENCE BA-18-022C, APPROVED MARCH 18, 2019, TO EXPAND THE EXISTING RELIGIOUS FACILITY FOR A NEW SANCTUARY, NEW CLASSROOMS AND CONVERSION OF THE EXISTING BUILDING TO A FELLOWSHIP HALL FOR COMMUNITY GATHERINGS.

LEGEND
Existing Contour: 302
Proposed Contour: 382.56
Existing Spot Elevation: +82.53
Proposed Spot Elevation: +82.53
Direction of Flow: arrow symbol
Existing Trees to Remain: cloud symbol
Light Poles: circle with cross symbol
Soil Type: M1B2, M1D3
Concrete: stippled pattern



BENCHMARKS
HOWARD COUNTY BENCHMARK 41GB: N 544580.380 E 1330741.359 ELEV. 475.998
HOWARD COUNTY BENCHMARK 41GC: N 543290.641 E 1331697.829 ELEV. 469.071



ADDRESS CHART
LOT/PARCEL# 351 STREET ADDRESS 12131 SCAGGSVILLE ROAD
PERMIT INFORMATION CHART
SUBDIVISION NAME N/A SECTION/AREA N/A PARCEL NUMBER 351
DEED REF. 6258/280 BLOCK NO. 13 ZONE RRDEO TAX/ZONE 41 ELECT. DIST. 5th CENSUS TR. 6051.02
WATER CODE: PRIVATE SEWER CODE: PRIVATE

REVISIONS
1. REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO UPDATE THE SEDIMENT CONTROL NOTES TO CURRENT STANDARDS 4-28-21
2. REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS 9-9-20
3. SHS 2-11 ADD FIRE TANKS, ADD BASEMENT ACCESS 02-22-05
REV BLDG ELEV, REV VESTIBULE

SHEET INDEX
DESCRIPTION SHEET NO.
COVER SHEET 1 OF 17
SITE LAYOUT & DEMOLITION PLAN (PHASE I) 2 OF 17
SITE LAYOUT PLAN AND MISCELLANEOUS DETAILS 3 OF 17
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS 4 OF 17
STORM DRAIN DRAINAGE AREA MAP, STORM DRAIN PROFILES, AND SWM NOTES AND DETAILS (PHASE I) 5 OF 17
STORMWATER MANAGEMENT NOTES AND DETAILS 6 OF 17
SEPTIC SYSTEM NOTES AND DETAILS 7 OF 17
LANDSCAPE PLAN 8 OF 17
LANDSCAPE PLAN 9 OF 17
FOREST STAND DELINEATION PLAN 10 OF 17
FOREST STAND DELINEATION PLAN 11 OF 17
FOREST CONSERVATION PLAN 12 OF 17
FOREST CONSERVATION PLAN 13 OF 17

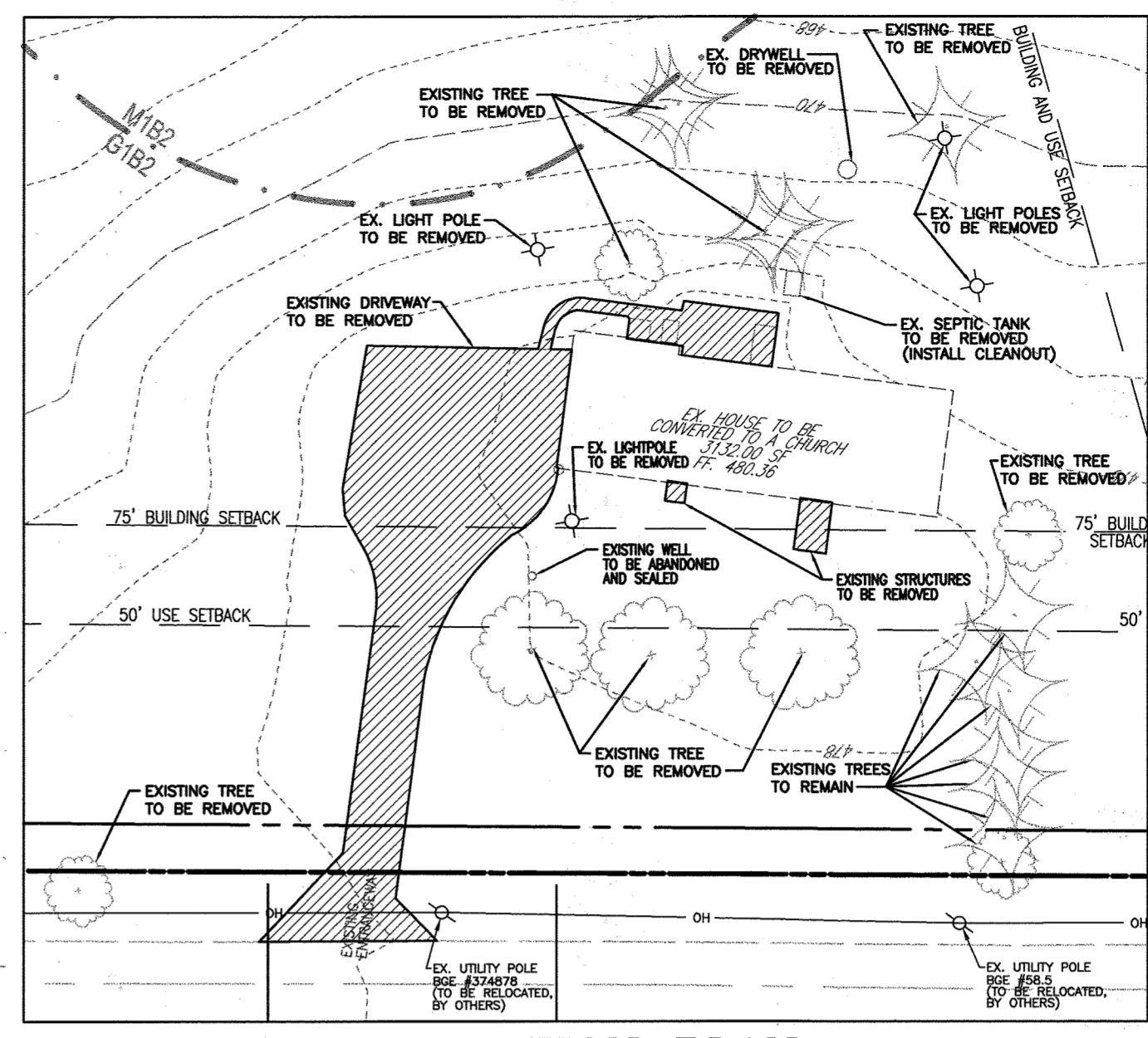
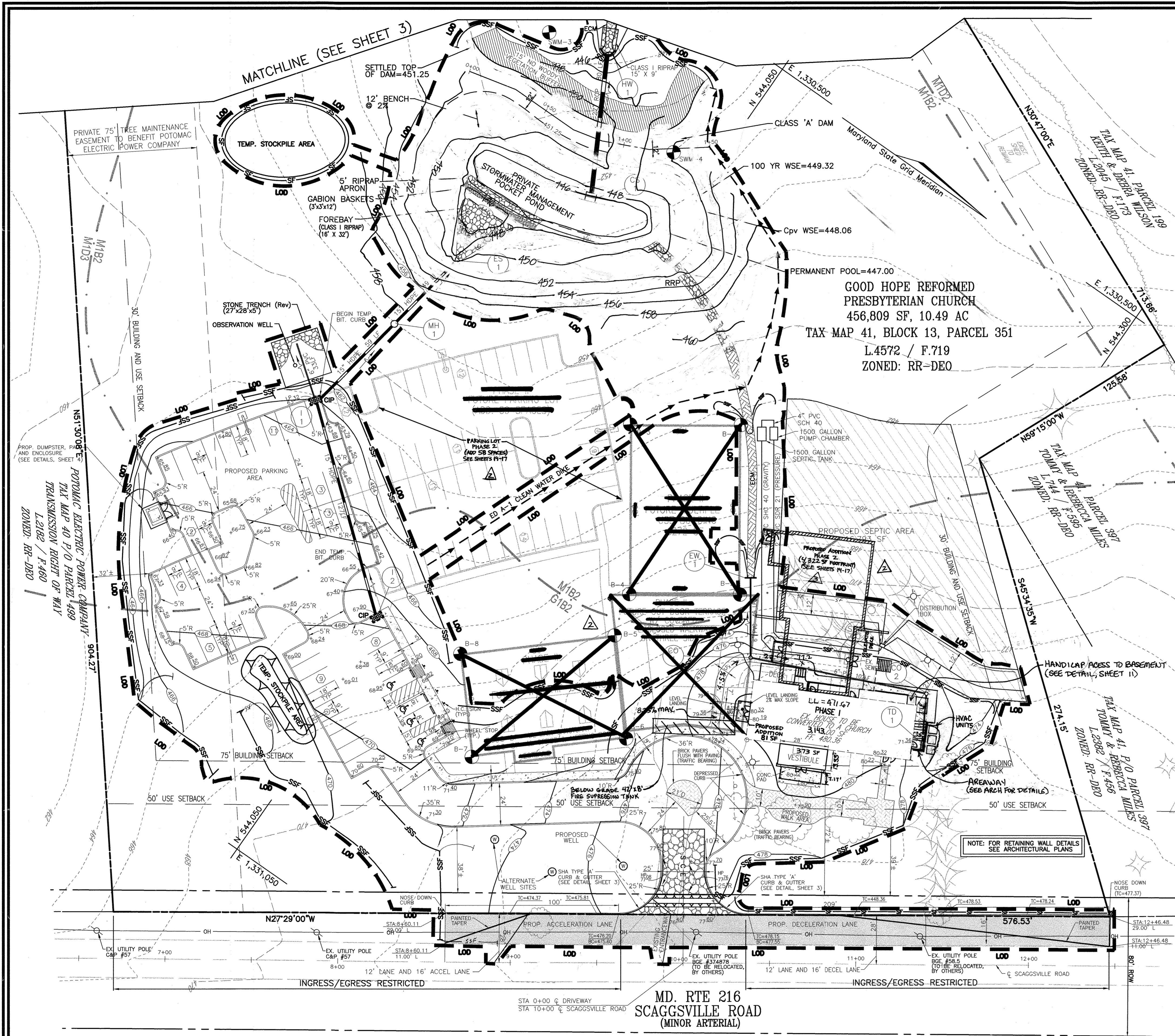
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION & SYSTEMS
DATE: 6/18/24
DATE: 7/9/24
DATE: 7/15/24

PHASE 2 DEMO PLAN, BUILDING ELEVATIONS, AND STORM DRAIN PROFILE 14 OF 17
PHASE 2 SITE LAYOUT AND LANDSCAPE PLAN 15 OF 17
PHASE 2 GRADING AND SEDIMENT CONTROL PLAN; STORM DRAIN DRAINAGE AREA MAP 16 OF 17
PHASE 2 ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN 17 OF 17
APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT
OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217

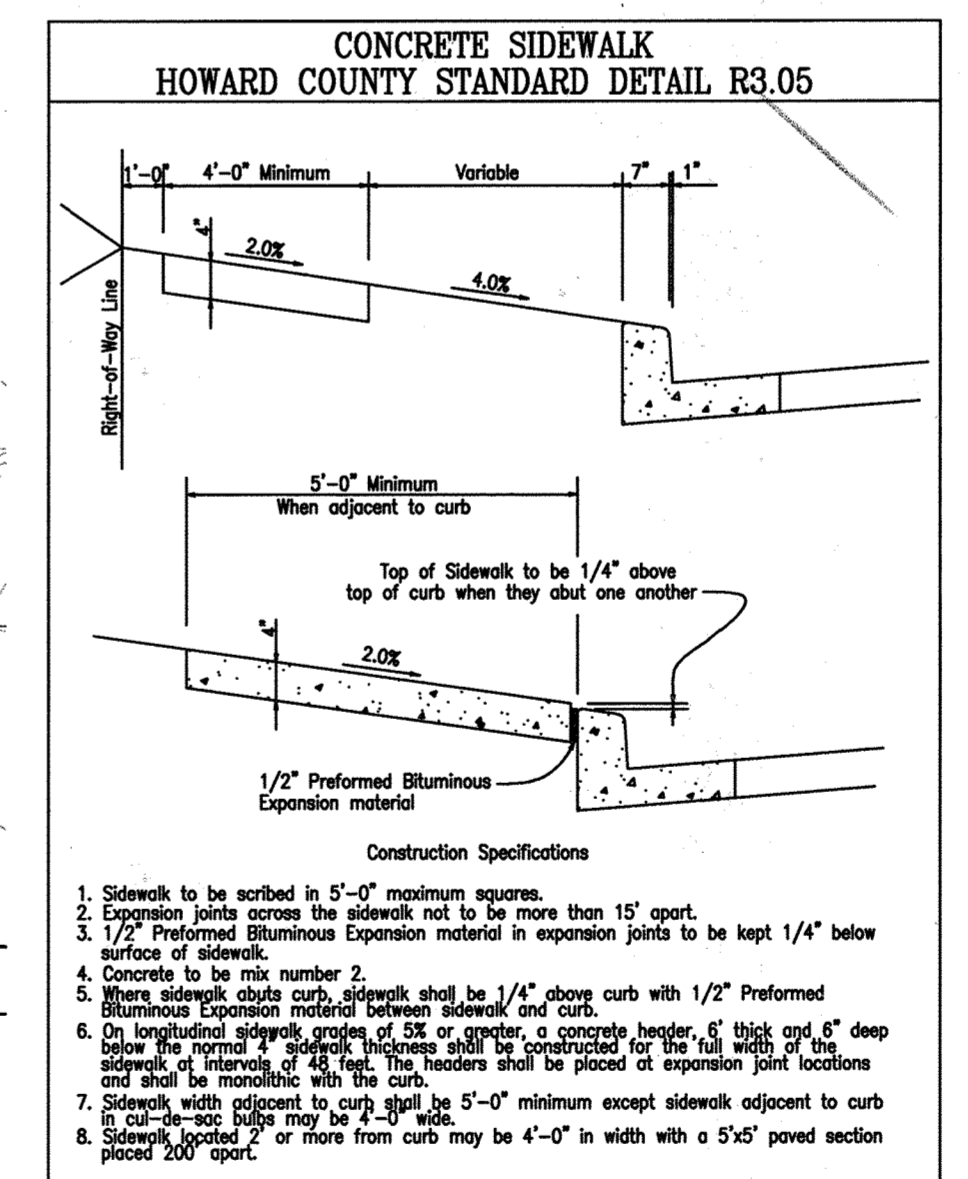
LOCATION MAP
SCALE: 1"=60'

PARKING TABULATION (PHASE I & II)
REQUIRED PARKING: 45 SPACES PER 1,000 OF ASSEMBLY AREA (PER ZONING SECTION 133.0.D.7)
5,807 SF TOTAL ASSEMBLY AREA @ 10 SPACES/1000 SF: 58 SPACES
PARKING PROVIDED:
EXISTING PARKING (PHASE I): 45 SPACES
PROPOSED PARKING (PHASE II): 58 SPACES
TOTAL PHASES I & II: 103 SPACES (INCLUDING 6 HC SPACES)

REVISED SITE DEVELOPMENT PLAN COVER SHEET
GOOD HOPE REFORMED PRESBYTERIAN CHURCH PHASE 1 & PHASE 2
TAX MAP #41 BLOCK 13 PARCEL 351
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia
DESIGN BY: RHW
DRAWN BY: MAN/DZ
CHECKED BY: RHW
DATE: MAY 2004
SCALE: AS SHOWN
W.O. NO.: 2017151
1 SHEET OF 17



STORMWATER MANAGEMENT FACILITY PRIVATELY OWNED AND MAINTAINED BY GOOD HOPE PRESBYTERIAN CHURCH



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING TREES (FIELD LOCATED)
- EXISTING TREELINE (FIELD LOCATED)
- EXISTING VEGETATION (APPROXIMATE LOCATION)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- M1B2
- M1D3
- SF
- SSF
- LIMIT OF DISTURBANCE
- PROPOSED LIGHT POLE
- EXISTING PAVING TO BE REMOVED AND REPLACED
- PROPOSED P-2 PAVING
- AT GRADE INLET PROTECTION
- PROPOSED SIDEWALK
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING
- FOREST CONSERVATION EASEMENT "RETENTION"
- FOREST CONSERVATION EASEMENT "RESTORATION"

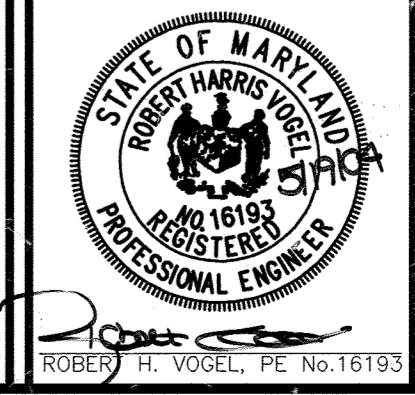
NOTE: EX. DRYWELL AND SEPTIC TANK TO BE PROPERLY ABANDONED IN ACCORDANCE WITH HEALTH DEPARTMENT AND MDE REGULATIONS.

THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BE NULL AND VOID UPON CONNECTION TO A PUBLIC SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENT INTO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.

NO.	REVISION	DATE
1	REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO UPDATE THE SEDIMENT CONTROL NOTES TO CURRENT STANDARDS	4-28-21
2	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	9-9-20
3	SHTS 2+11 ADD FIRE TANK, ADD BASEMENT ACCESS, REV BLDG ELEV, REV VESTIBULE	02-22-05

REVISED SITE DEVELOPMENT PLAN
PHASE 1 SITE LAYOUT, DEMOLITION PLAN, EROSION AND SEDIMENT CONTROL PLAN
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
 PHASE 1 & PHASE 2
 TAX MAP #41 BLOCK 13 PARCEL 351
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 7125 Riverwood Drive Columbia, Maryland 21046-2354
 Phone: 410-290-9550 Fax: 410-720-6226
 Bel Air, Maryland Columbia, Maryland Warrenton, Virginia



DESIGN BY: RHW
 DRAWN BY: MAN/DZ
 CHECKED BY: RHW
 DATE: MAY 2004
 SCALE: 1"=30'
 W.O. NO.: 2017151

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

4/18/04
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

7/15/04
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

7/15/04
 DIRECTOR (A&Z) (MGS)
 DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

7/6/04
 J. S. [Signature]
 DATE

7/6/04
 J. S. [Signature]
 DATE

BY THE DEVELOPER:

7/6/04
 W. Davis [Signature]
 DATE

5/19/04
 W. Davis [Signature]
 DATE

BY THE ENGINEER:

5/19/04
 R. H. Vogel [Signature]
 DATE

AS-BUILT CERTIFICATION

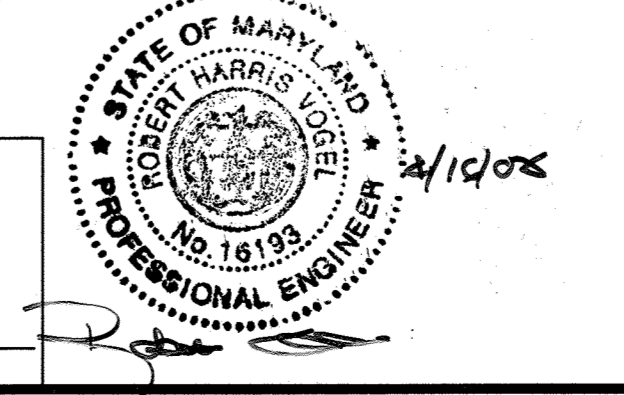
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE AS-BUILT PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

16193
 ROBERT H. VOGEL, P.E.
 PE NO. DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

5/19/04
 R. H. Vogel [Signature]
 DATE

OWNER/DEVELOPER
 GOOD HOPE REFORMED PRESBYTERIAN CHURCH
 714 FIRESTONE DRIVE
 SILVER SPRING, MD 20905
 WILLIAM DAVIS III, BOARD OF TRUSTEES
 (301) 230-5217

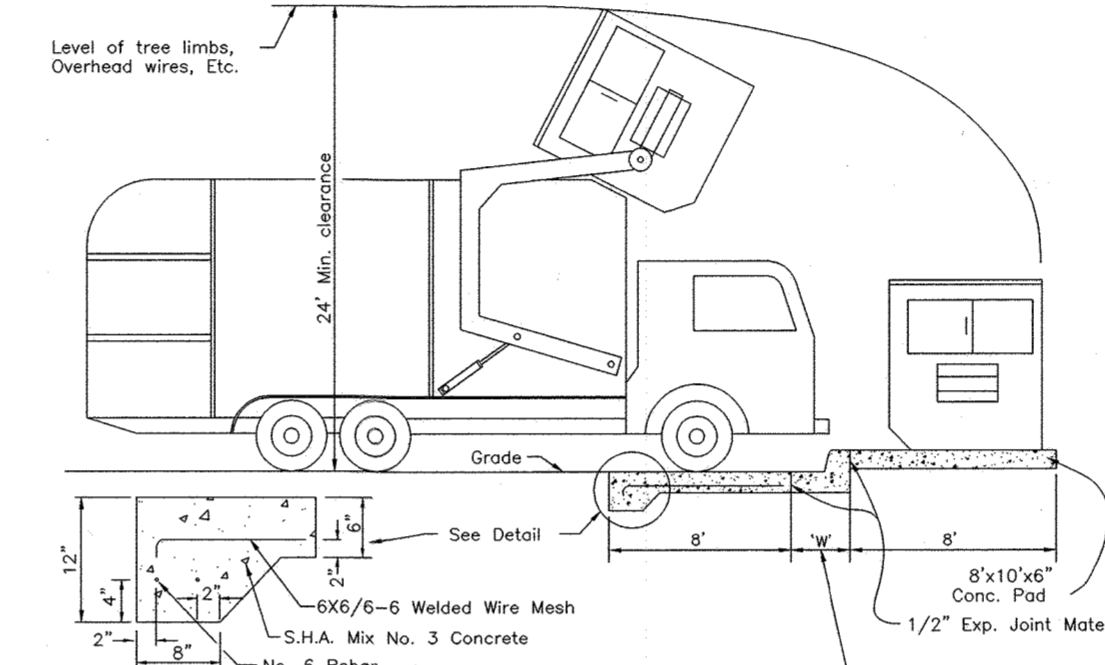
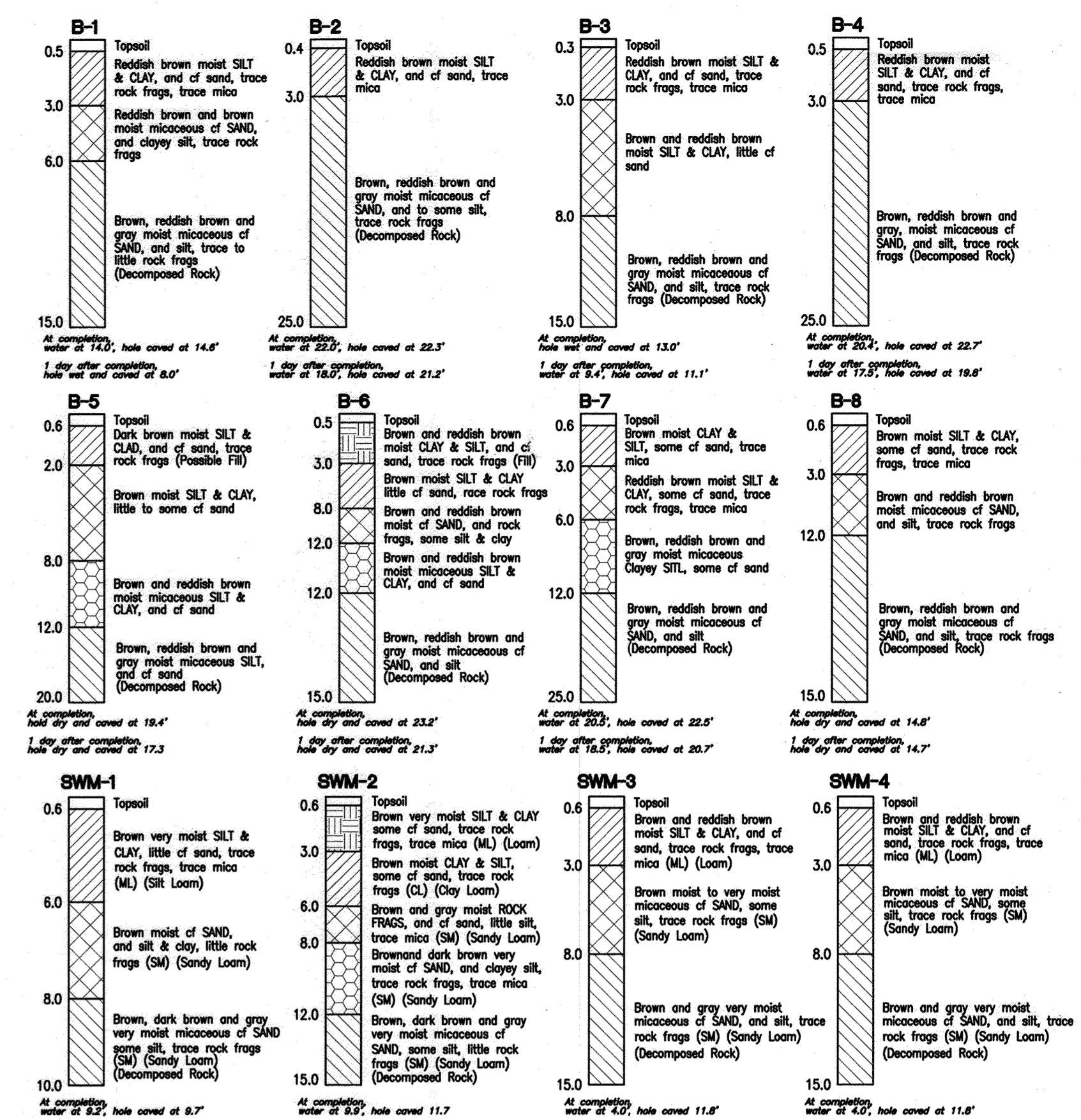


STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED

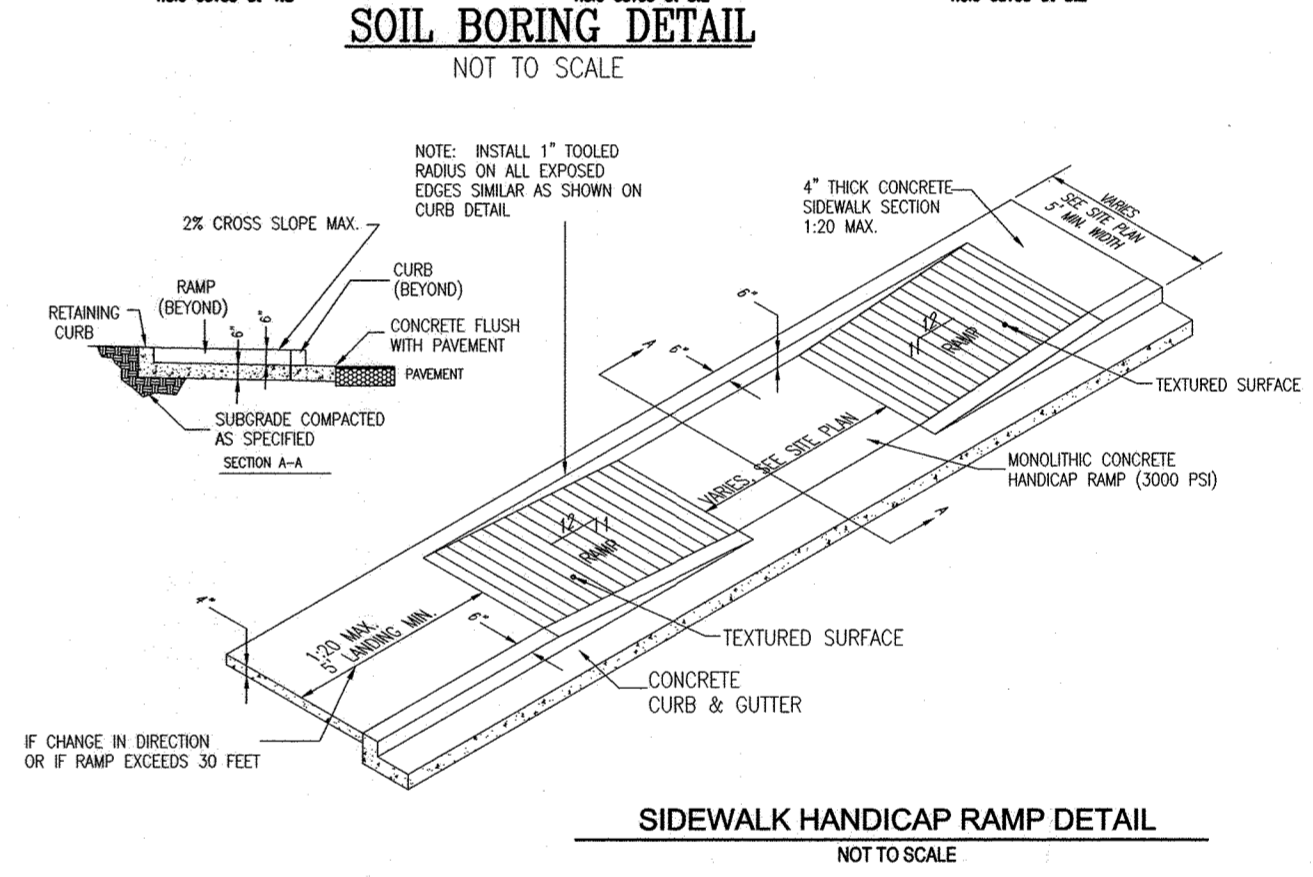
STORM WATER MANAGEMENT RECOMMENDATIONS

THE BORING PROFILES INDICATE A FINE GRAINED CLAYEY SURFACE LAYER CONFORMING TO UNIFIED ML, CL OF MH CLASSIFICATIONS AND USDA LOAM, SILT LOAM OR CLAY LOAM CLASSIFICATIONS. THE FINE GRAINED CLAYEY NATURE OF THE SOIL INDICATES RELATIVELY LOW PERMEABILITY INSUFFICIENT FOR STORM WATER DISPOSAL BY INFILTRATION. UPON PENETRATING THESE UPPER MATERIALS, LOOSE TO MEDIUM DENSE SILTY SANDS OR SANDY SILTS ARE ENCOUNTERED GENERALLY CONFORMING TO UNIFIED SM AND USDA SANDY LOAM CLASSIFICATIONS. THESE SOILS, IN A LOOSE CONDITION, WOULD LIKELY HAVE ACCEPTABLE INFILTRATION RATES; HOWEVER, AS NOTED ON THE PROFILES, THE GROUND WATER LEVELS ARE ABOVE OR WITHIN FOUR FEET OF THE TOP OF THE GRANULAR SOILS. IN SUMMARY, IT IS OUR OPINION THAT THE AREA INVESTIGATED BY SWM-1 THROUGH SWM-4 IS NOT SUITABLE FOR DESIGN STORM WATER DISPOSAL BY INFILTRATION.

STORM WATER MANAGEMENT FACILITIES SHOULD CONFORM TO MARYLAND 37B/2000 DESIGN AND CONSTRUCTION REQUIREMENTS. ALTHOUGH SOME UNIFIED CL SOILS WERE NOTED IN THE BORING PROFILES, THESE MATERIALS ARE TYPICALLY OF LIMITED EXTENT IN THIS GEOLOGIC FORMATION AND OFTEN HAVE EXCESSIVE MOISTURE FOR REUSE AS CONTROLLED, COMPACTED FILL. FOR PRELIMINARY ESTIMATES, WE WOULD ASSUME THAT OFFSITE UNIFIED "C" CLASS CLAYEY SOILS WOULD HAVE TO BE BROUGHT IN FOR DAM CORE AND CORE TRENCH FILL ALSO FOR PRELIMINARY DESIGN ESTIMATES. IT CAN BE CONSIDERED THAT THE NORMAL CORE TRENCH DIMENSIONS WOULD BE ADEQUATE ALONG MOST OF THE DAM ALIGNMENT, ALTHOUGH IT MAY BE NECESSARY TO DEEPEN THE CORE TRENCH IN SOME AREAS TO CUT OFF FLOW THROUGH THE LOOSE GRANULAR SOILS SUCH AS NOTED IN BORING SWM-3. MODIFICATION OF THE FOUNDING CONDITIONS FOR PRINCIPAL SPILLWAY MAY ALSO BE NEEDED IF VERY LOOSE GRANULAR SOILS ARE ENCOUNTERED AT OUTFALL INVERT ELEVATIONS.



SOLID WASTE SERVICE PAD
HOWARD COUNTY STD. R 11.01
NOT TO SCALE

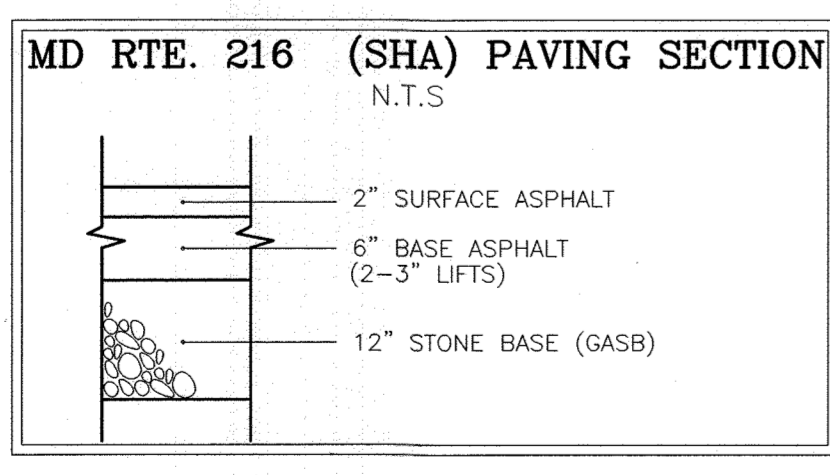


SIDEWALK HANDICAP RAMP DETAIL
NOT TO SCALE

WIDENING DETAIL MD RTE 216
NOT TO SCALE

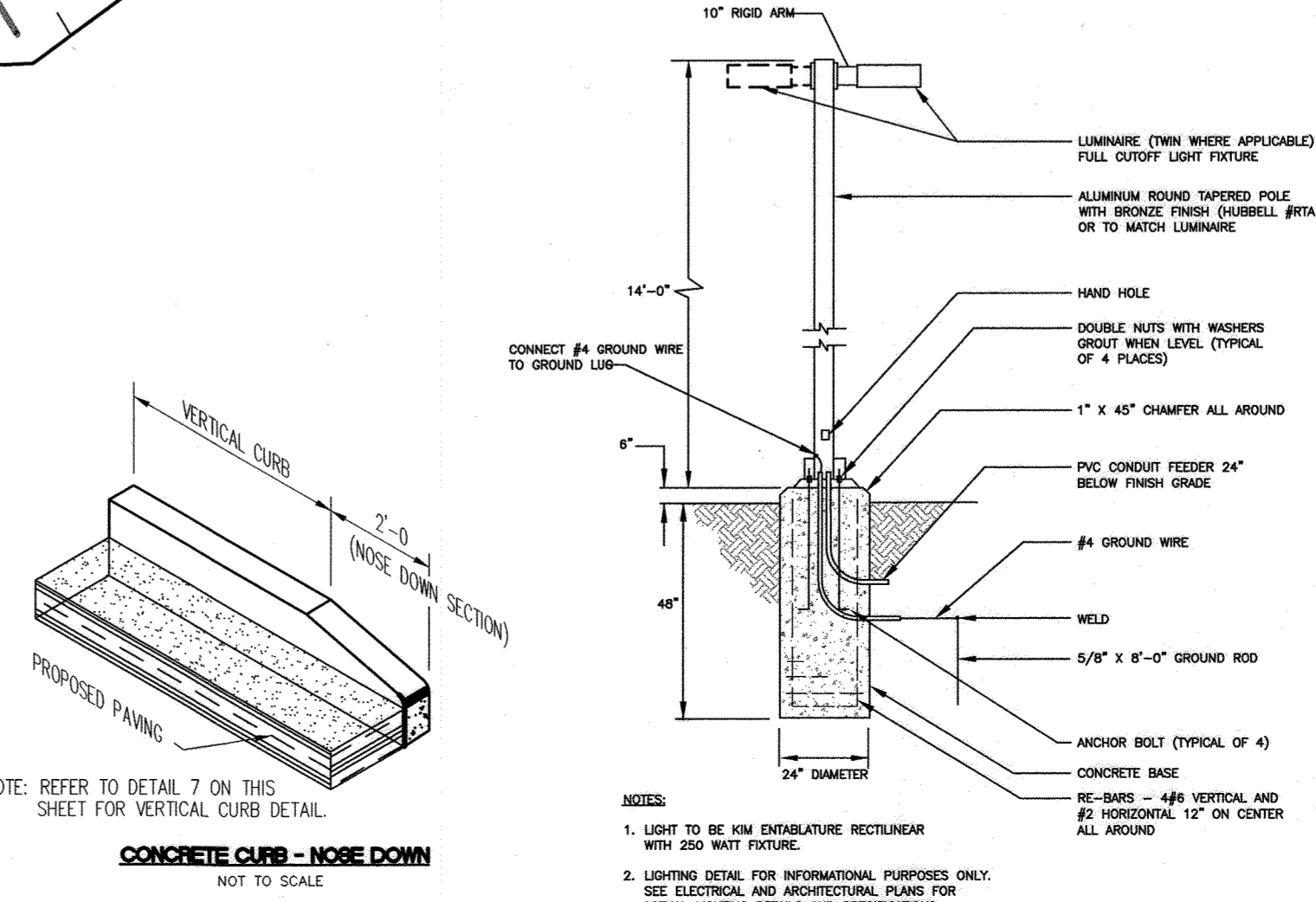
	Q ₁	V ₁	d ₁
PRE	0.59 cfs	1.4 fps	0.15'
DURING	2.54 cfs	2.1 fps	0.33'
POST	0.08 cfs	0.7 fps	0.05'

MD RTE. 216 (SHA) PAVING SECTION
N.T.S.



MD. TYPE 'A' CONCRETE COMBINATION CURB AND GUTTER
MD. NO. 620.02
NOT TO SCALE

HANDICAP RAMP
NOT TO SCALE



POLE BASE DETAIL
(NOT TO SCALE)

GOOD HOPE REFORMED PRESBYTERIAN CHURCH
456,809 SF, 10.49 AC
TAX MAP 41, BLOCK 13, PARCEL 351
L:4572 / F:719
ZONED: RR-DEO

OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 6/16/04
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/9/04
DIRECTOR (ACTING)
DATE: 7/15/04

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

DATE: 7/6/04
DATE: 7/15/04
DATE: 7/6/04

BY THE DEVELOPER:
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
DATE: 5/19/04

BY THE ENGINEER:
I HEREBY CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
DATE: 5/19/04

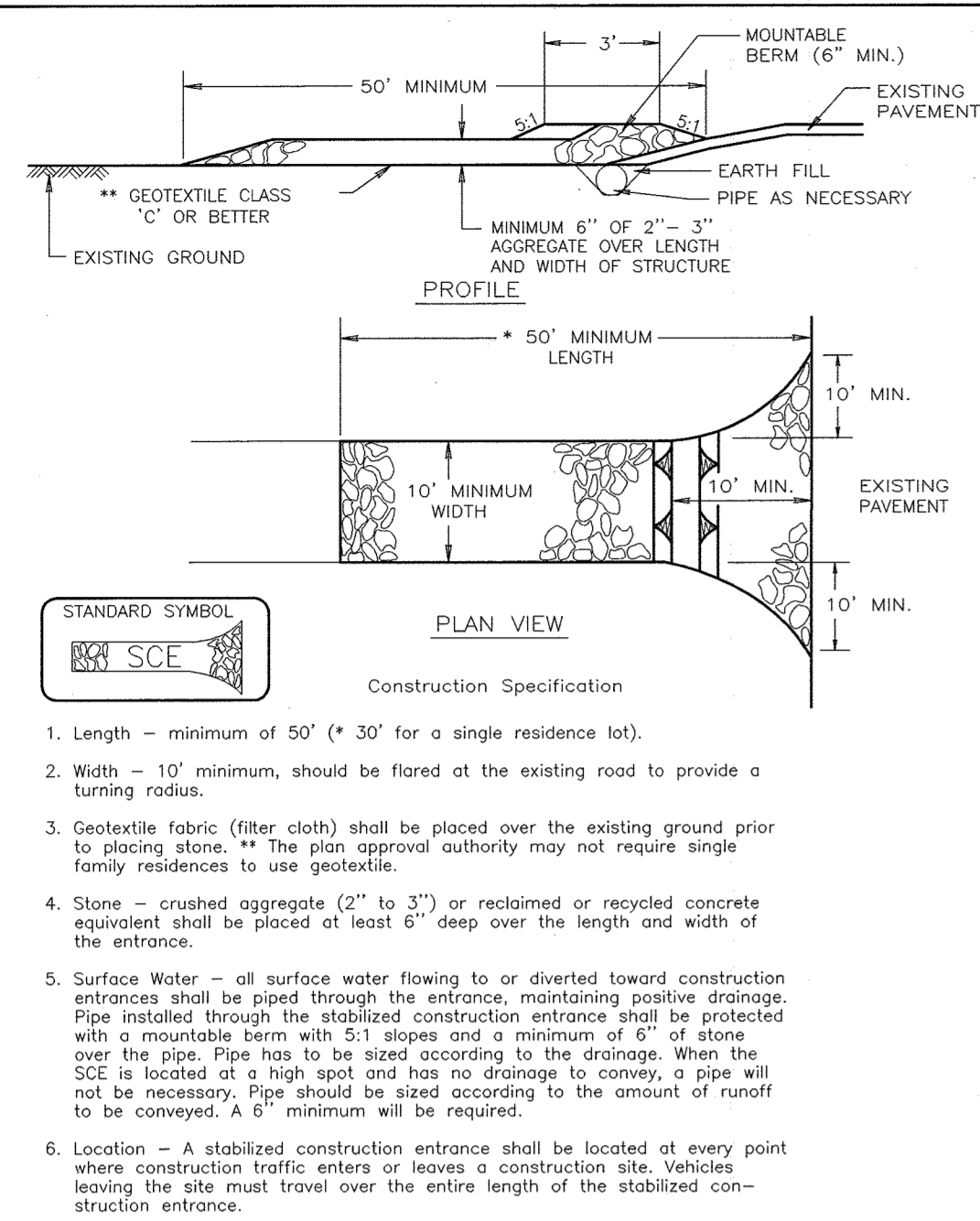
NO.	REVISION	DATE
1	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	9-9-20

REVISED SITE DEVELOPMENT PLAN
SITE LAYOUT, EROSION AND SEDIMENT CONTROL PLAN AND MISCELLANEOUS DETAILS
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
PHASE 1 & PHASE 2
TAX MAP #41 BLOCK 13 PARCEL 351
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS: 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS: Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS: Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

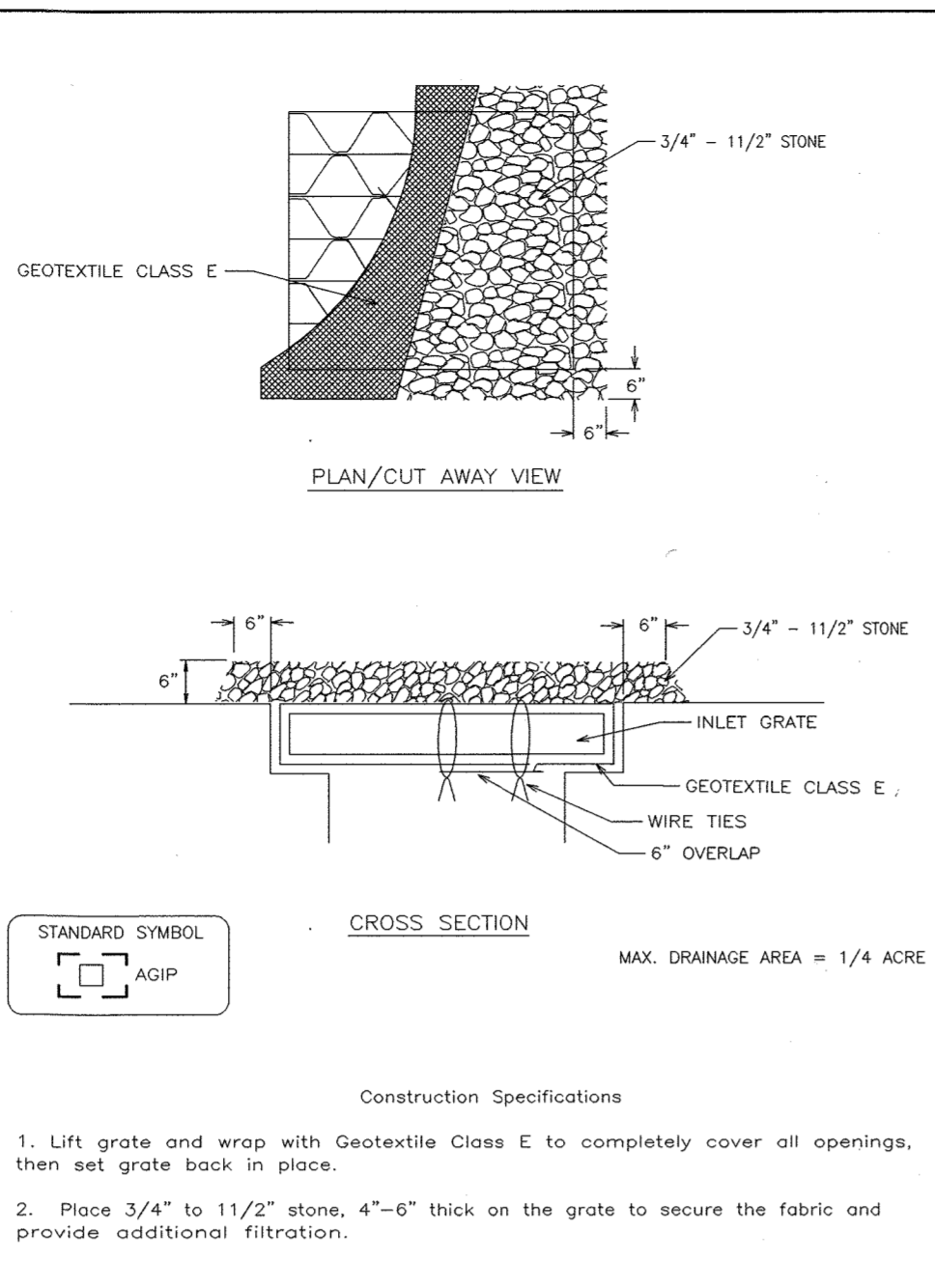
DESIGN BY: RHW
DRAWN BY: MAN/DZ
CHECKED BY: RHW
DATE: MAY 2004
SCALE: 1"=30'
W.O. NO.: 2017151
3 SHEET OF 17

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



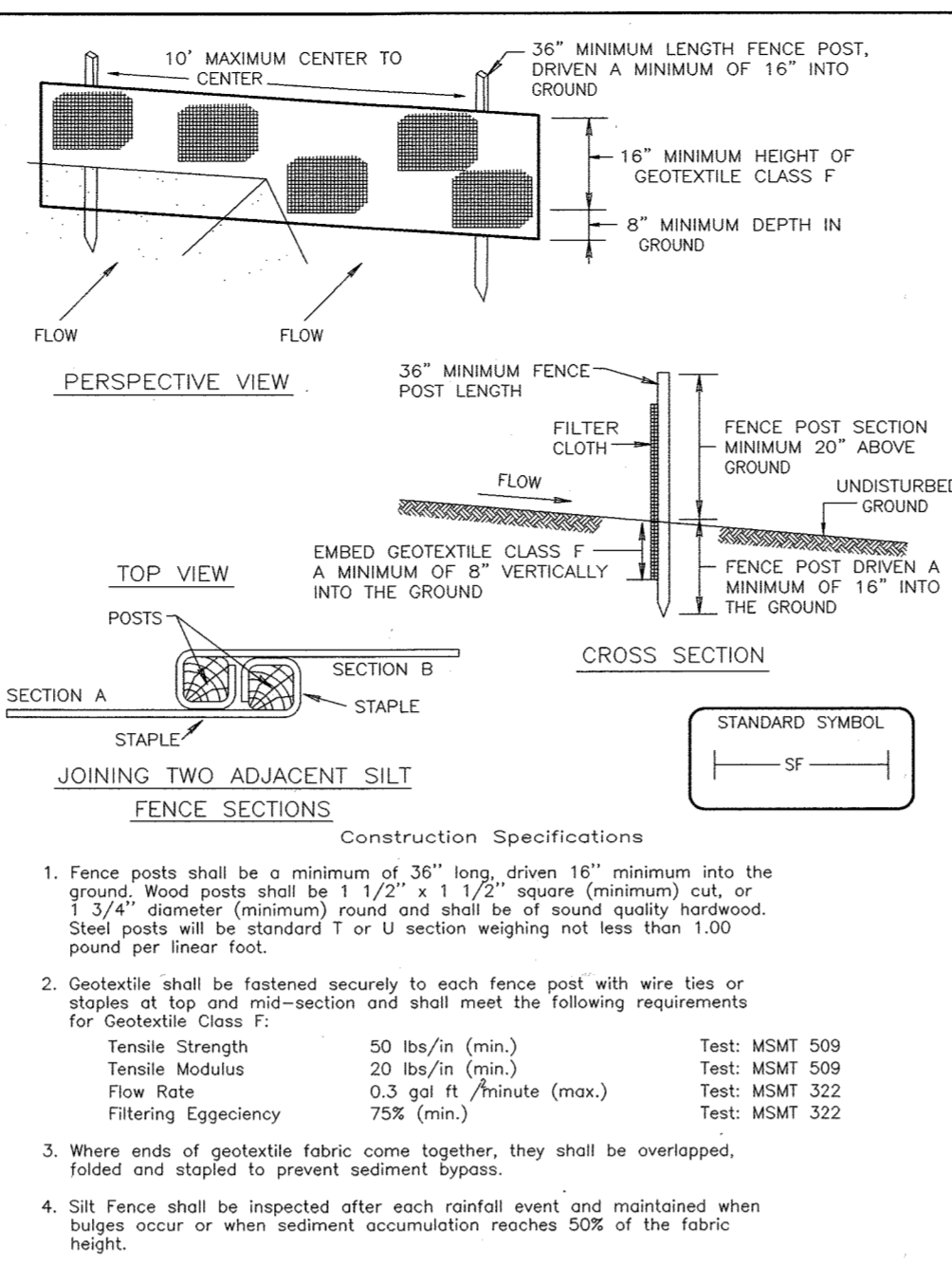
Construction Specifications
1. Length - minimum of 50' (30' for a single residence lot)
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.

DETAIL 23B - AT GRADE INLET PROTECTION



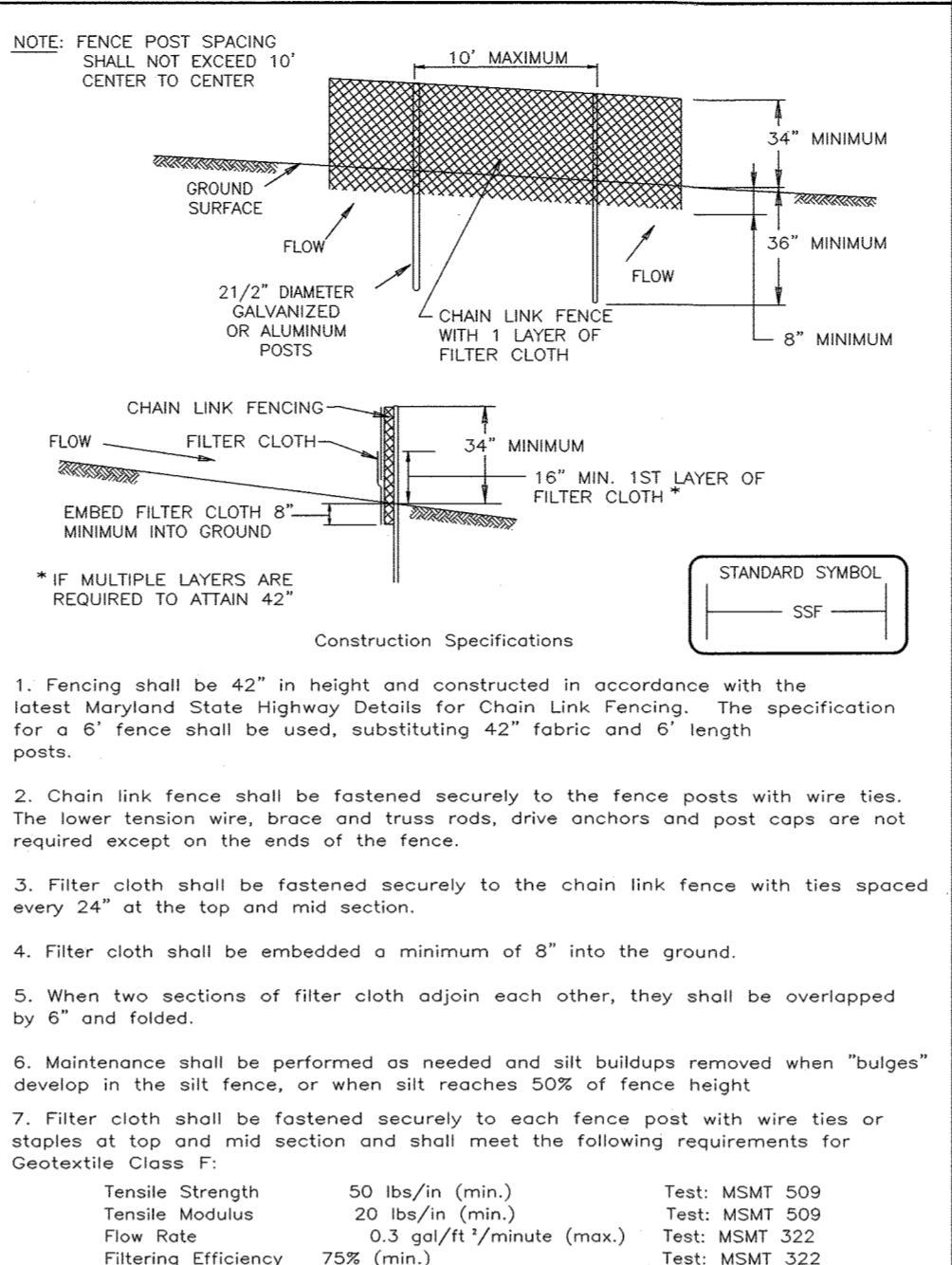
Construction Specifications
1. Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.

DETAIL 22 - SILT FENCE



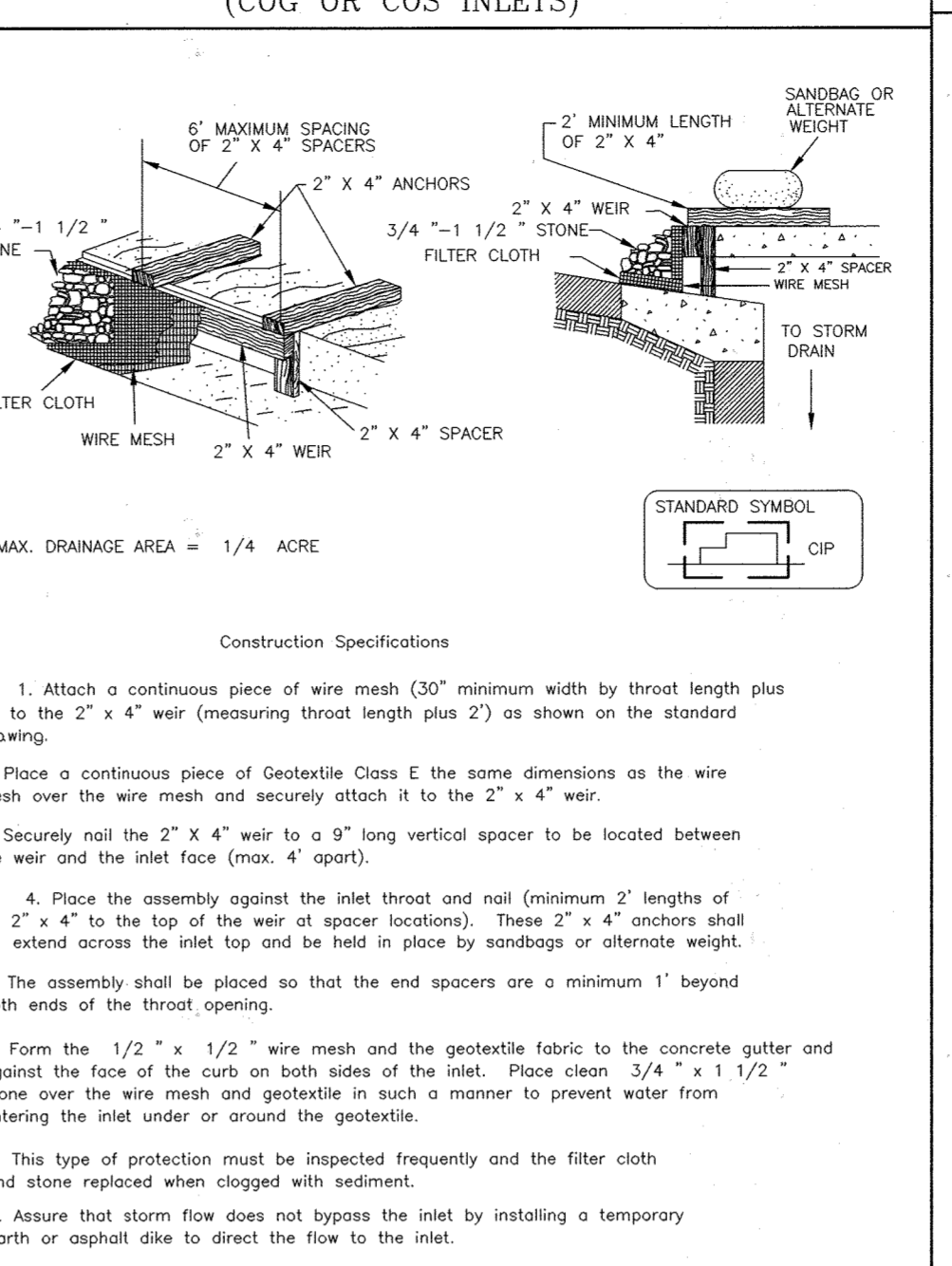
Construction Specifications
1. Fence posts shall be a minimum of 30\"/>

DETAIL 33 - SUPER SILT FENCE



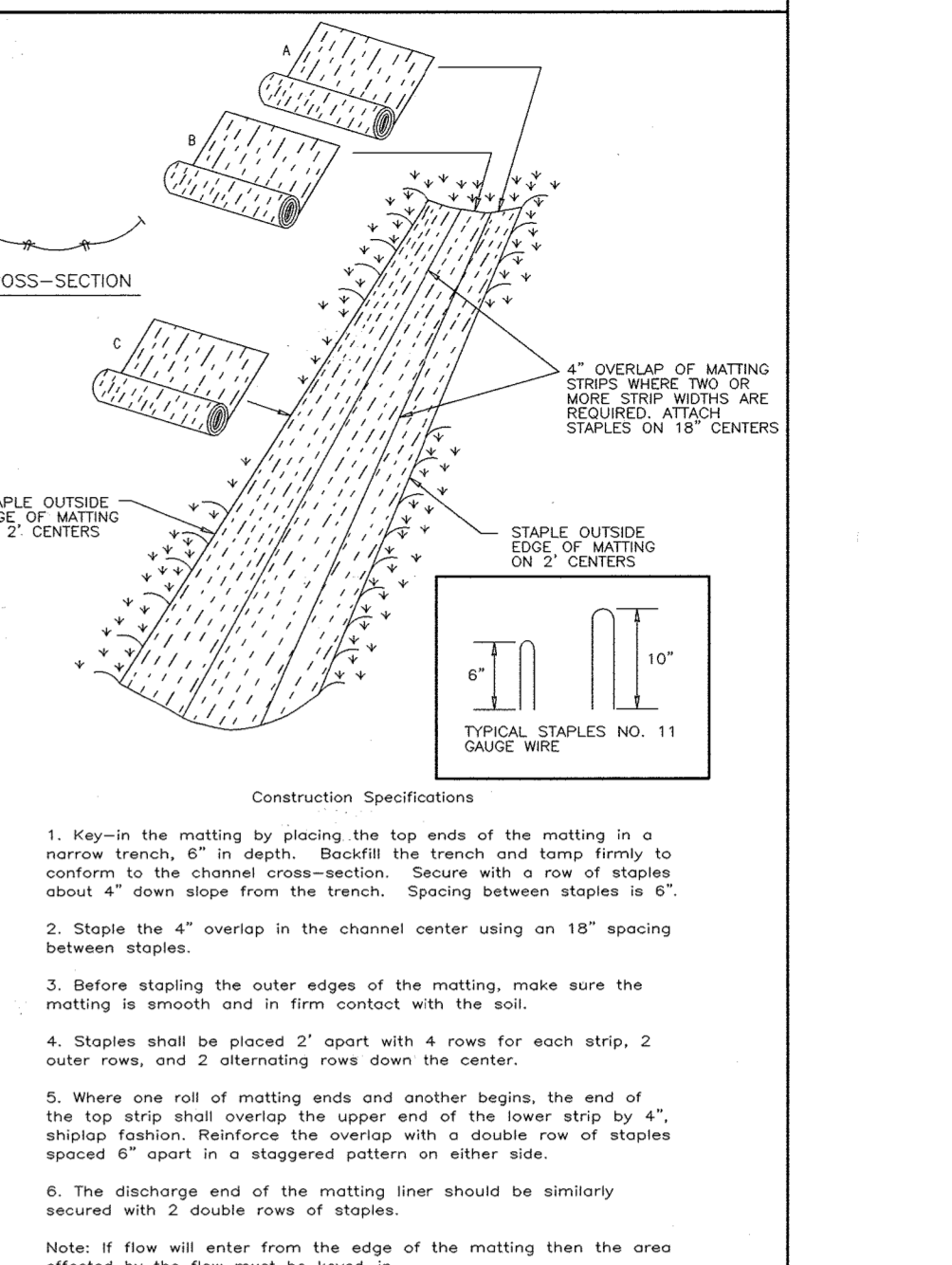
Construction Specifications
1. Fencing shall be 42\"/>

DETAIL 23C - CURB INLET PROTECTION (COG OR COS INLETS)



Construction Specifications
1. Attach a continuous piece of wire mesh (30\"/>

DETAIL 30 - EROSION CONTROL MATTING



Construction Specifications
1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6\"/>

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding...

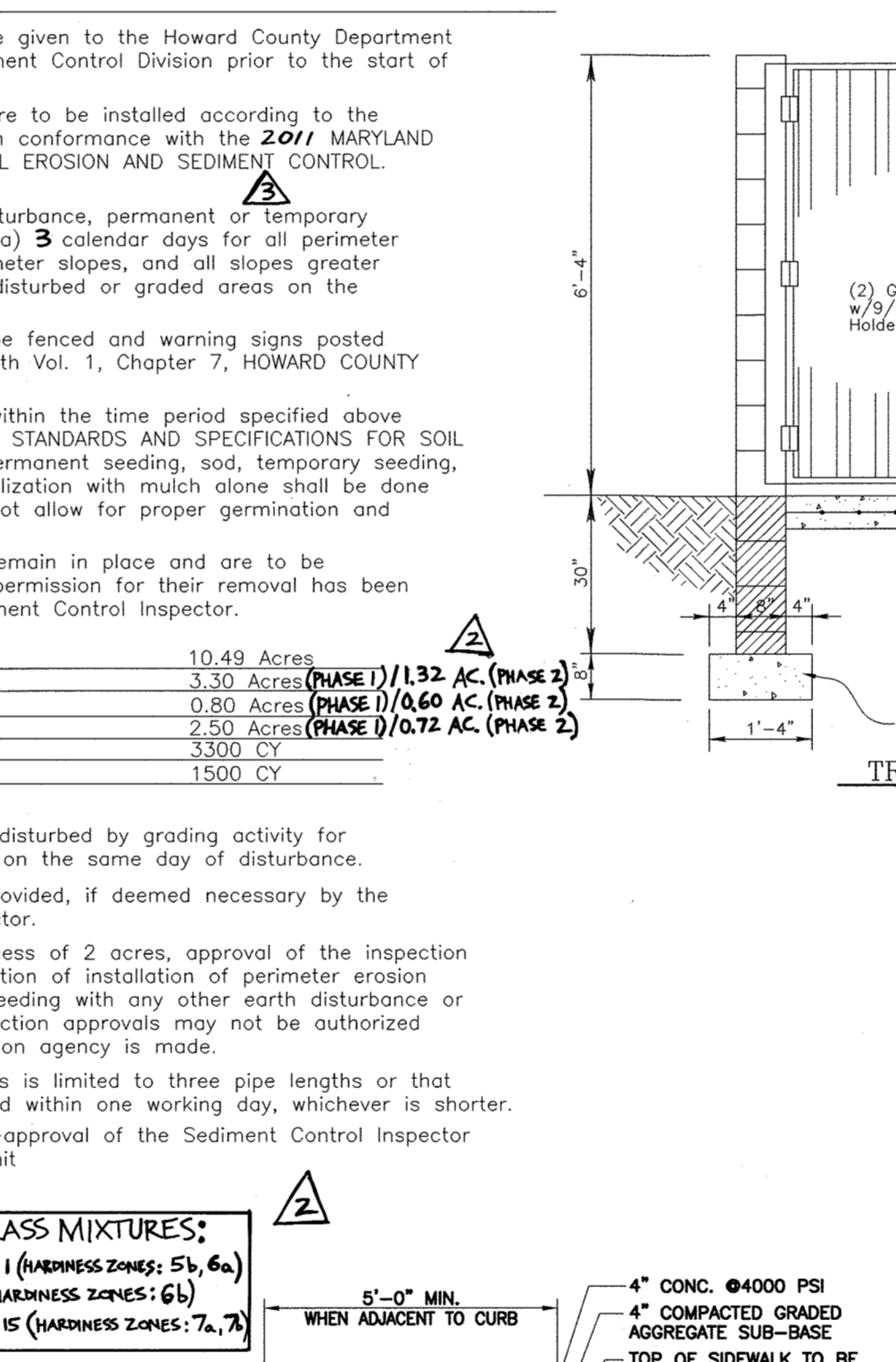
21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Purpose
Conditions Where Practice Applies
Construction and Material Specifications
Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications...

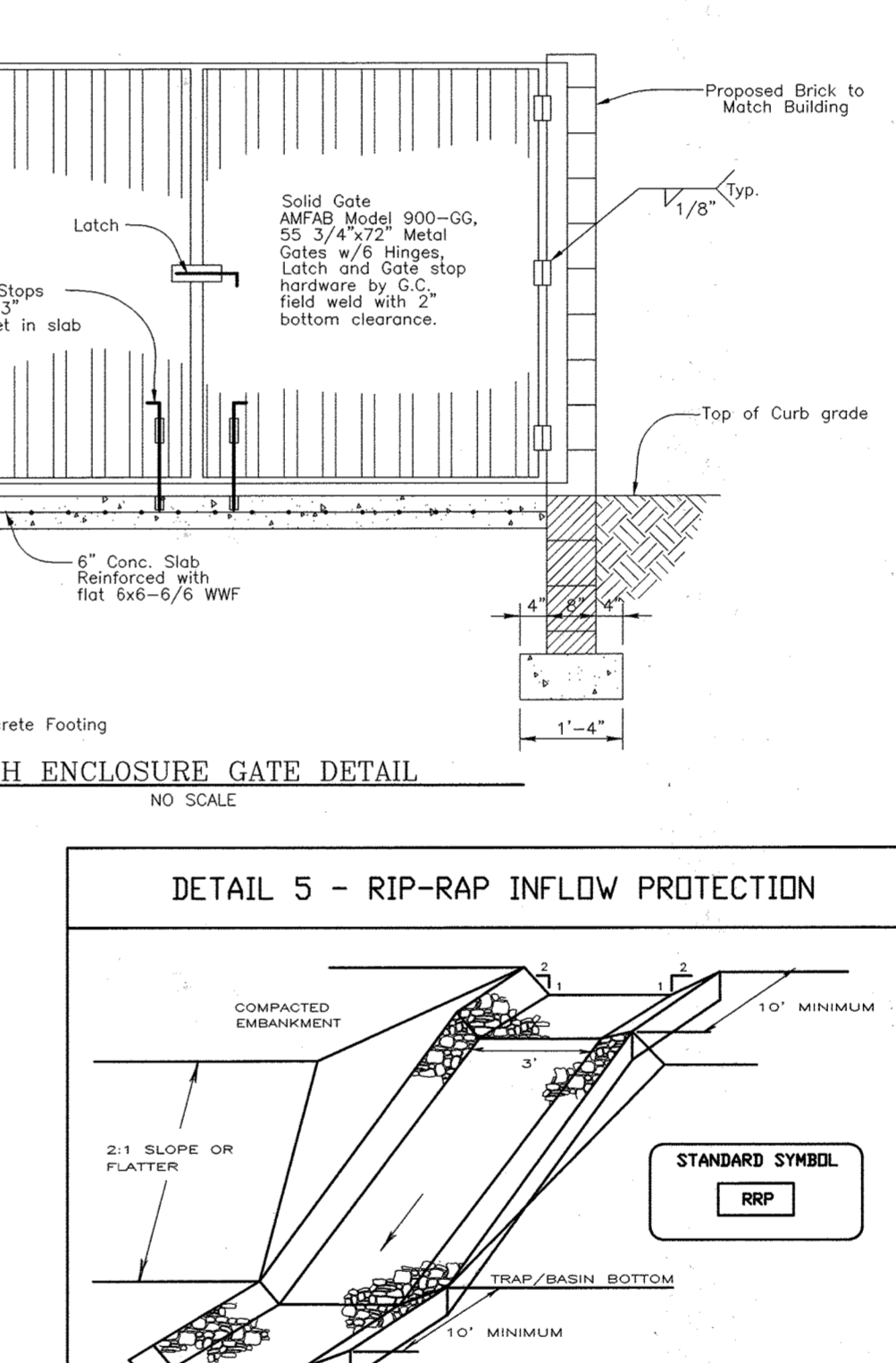
SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

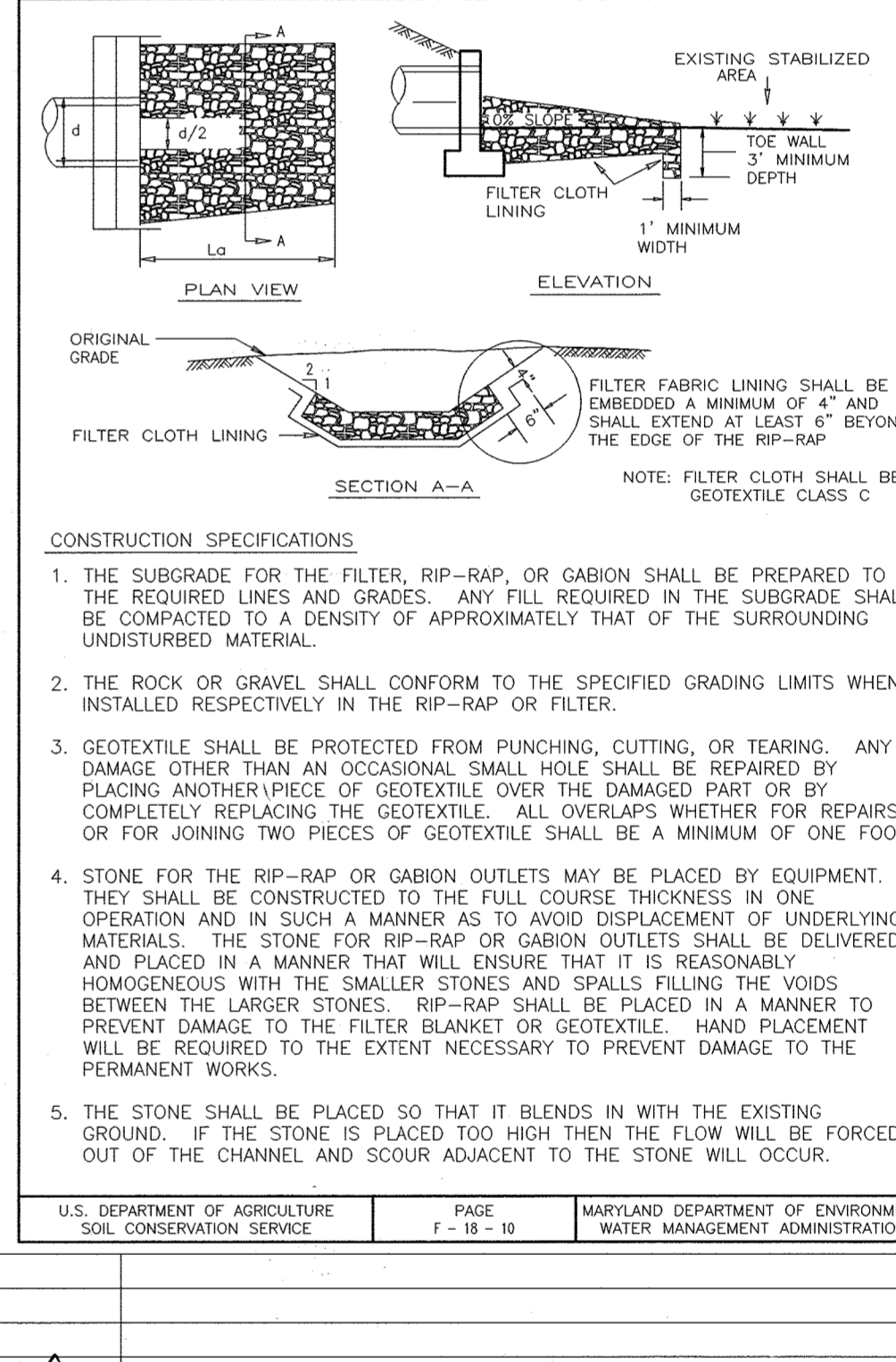
TRASH ENCLOSURE GATE DETAIL



DETAIL 5 - RIP-RAP INFLOW PROTECTION



DETAIL 27 - ROCK OUTLET PROTECTION III



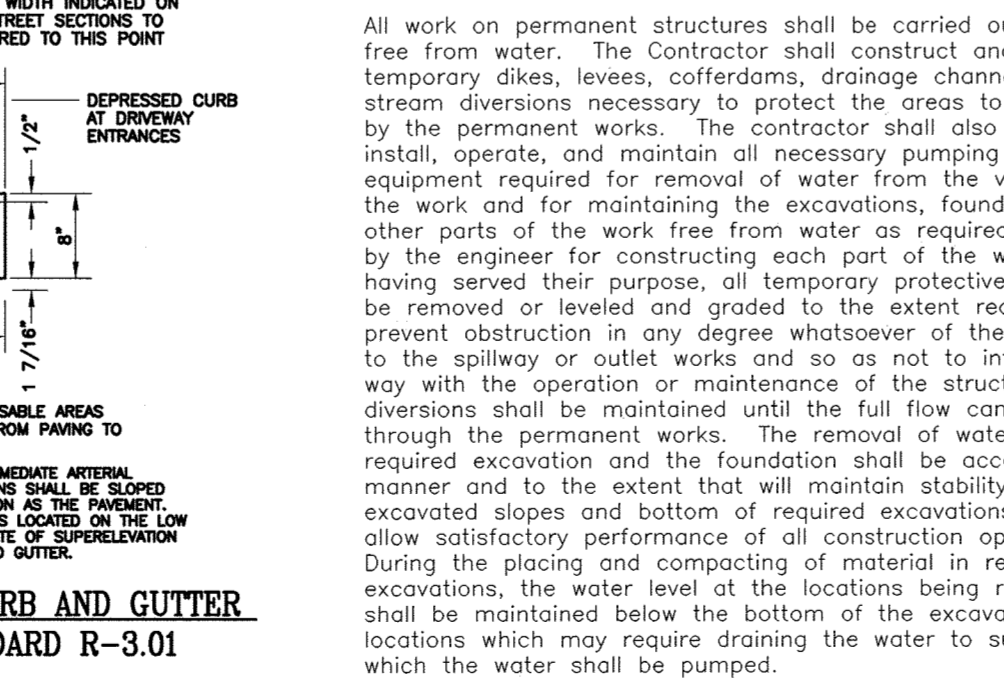
EROSION AND SEDIMENT CONTROL

Construction operations will be carried out in such a manner that erosion will be controlled and water and silt pollution minimized.
State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures to be employed during the construction process.

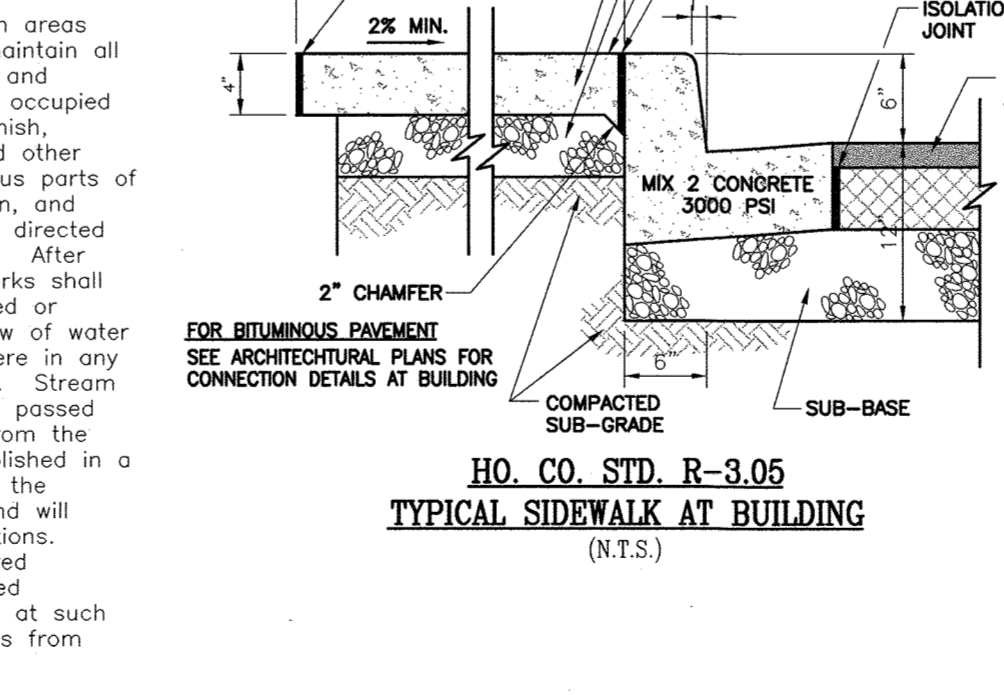
CARE OF WATER DURING CONSTRUCTION

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works...

TYPICAL SIDEWALK DETAIL



TYPICAL SIDEWALK AT BUILDING



REVISOR'S SITE DEVELOPMENT PLAN

REVISOR'S SITE DEVELOPMENT PLAN
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
GOOD HOPE REFORMED PRESBYTERIAN CHURCH PHASE 1 & PHASE 2

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 6/19/04

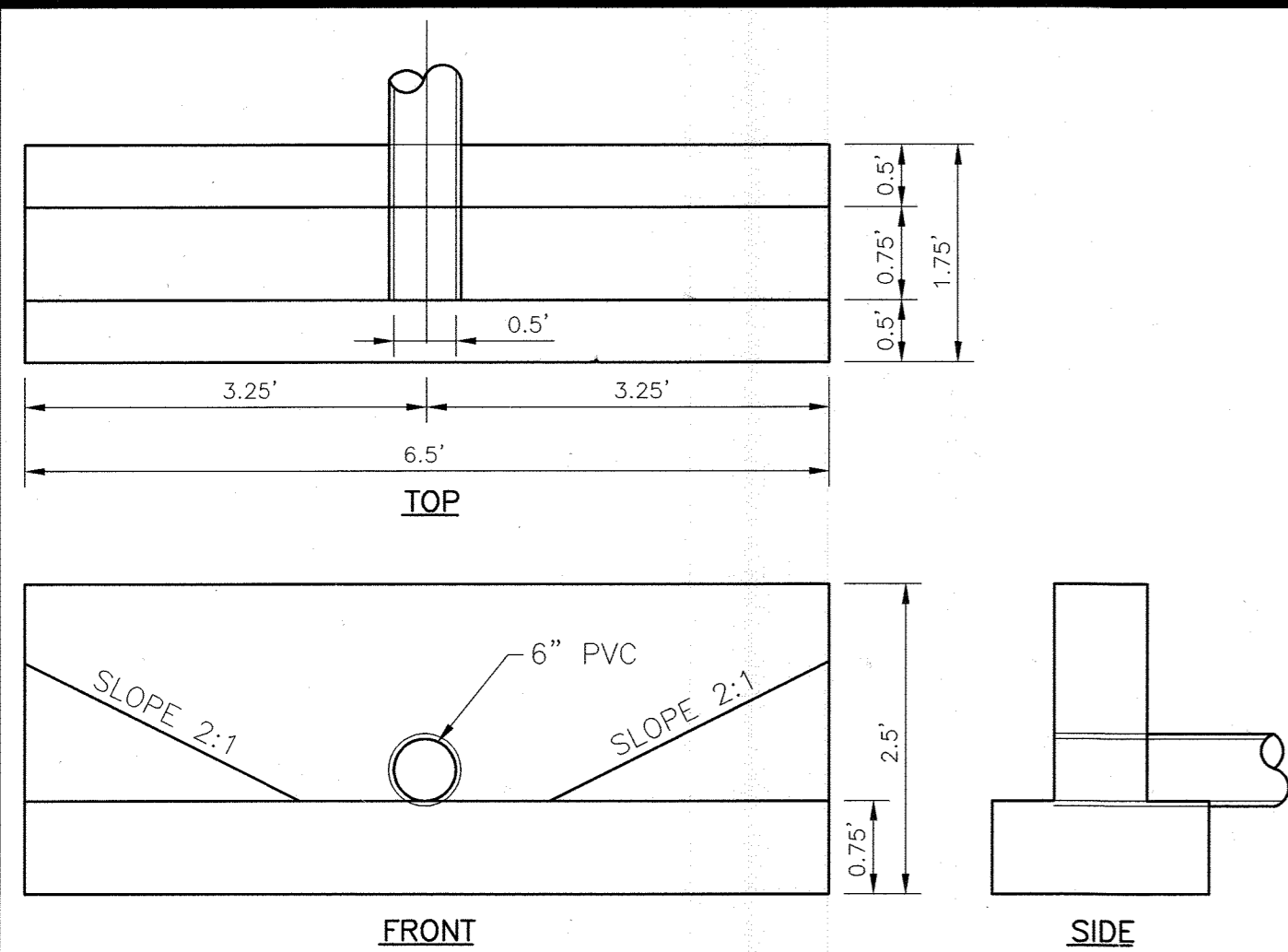
THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.
DATE: 7/6/04

BY THE DEVELOPER:
DATE: 5/19/04
BY THE ENGINEER:
DATE: 5/19/04

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 5/19/04

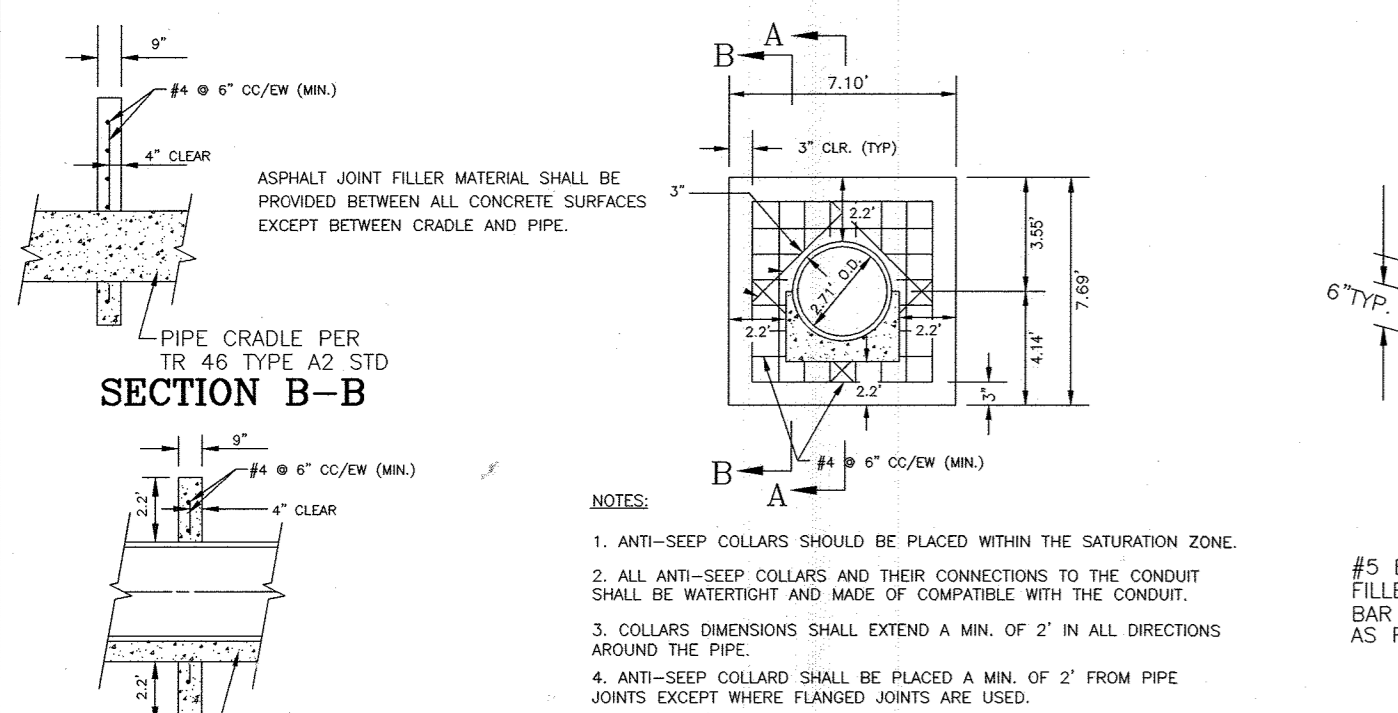
OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
DATE: MAY 2004

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
PHONE: 410-290-9550 FAX: 410-720-6226



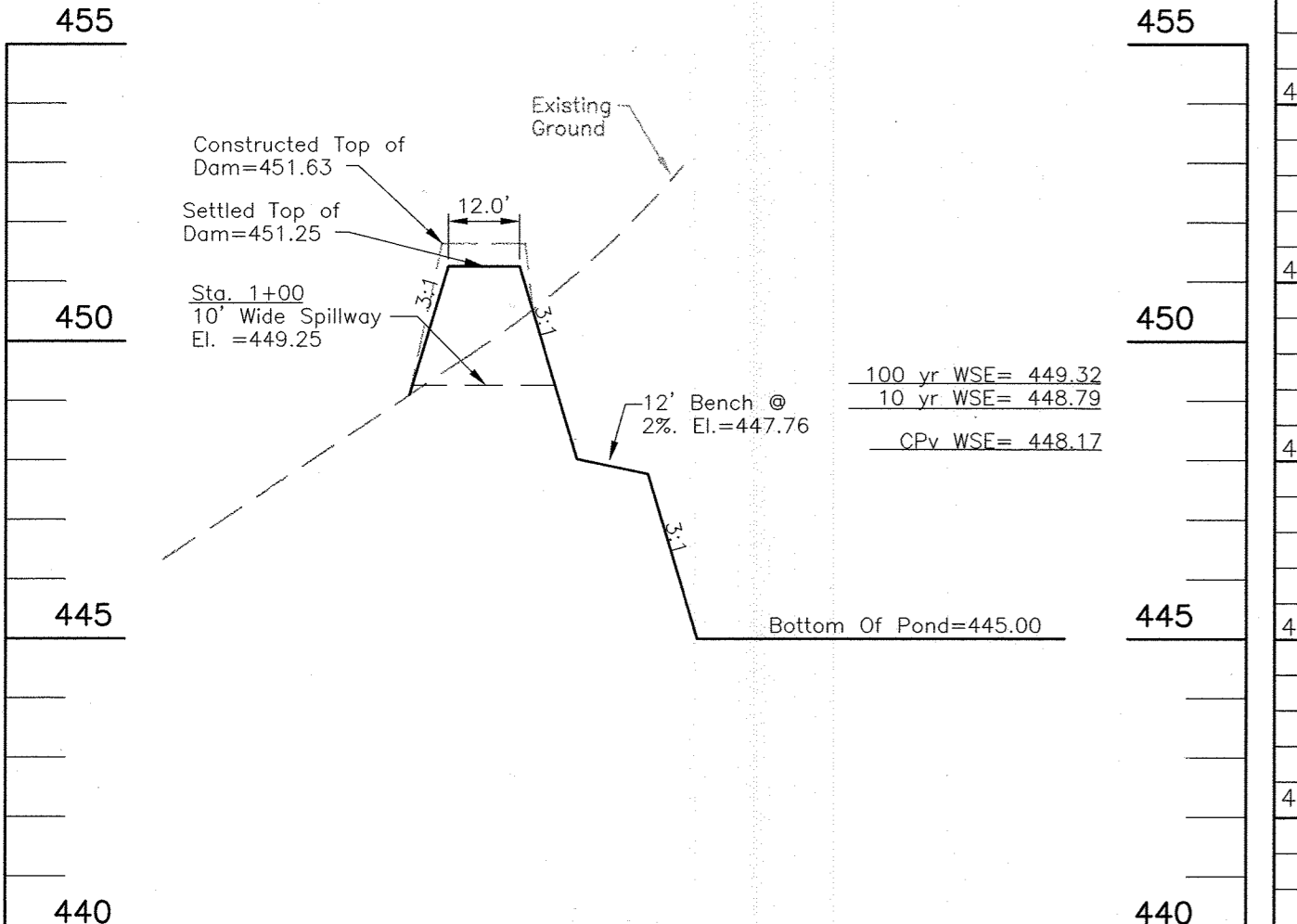
MODIFIED TYPE 'C' ENDWAL (SD-5.21)

NOT TO SCALE



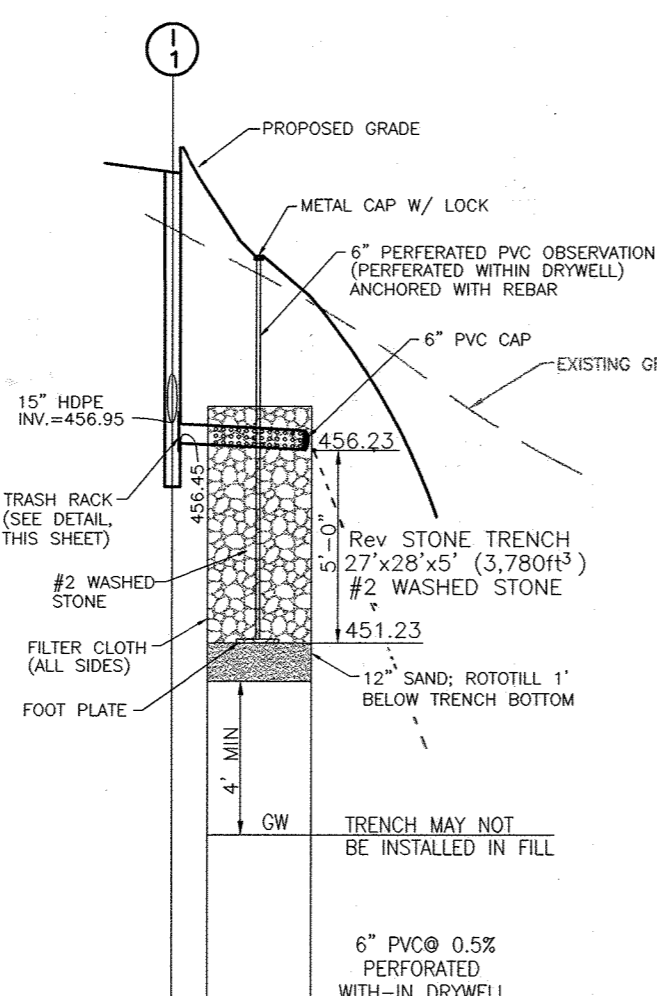
SECTION THROUGH EMERGENCY SPILLWAY

SCALE: HORIZONTAL - 1"=50'
 VERTICAL - 1"=3'



STORM DRAIN PROFILE

SCALE: HORIZONTAL - 1"=50'
 VERTICAL - 1"=5'



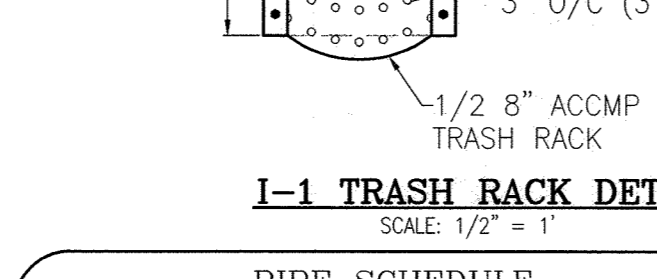
STRUCTURE SCHEDULE

NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	HO. CO. STD. DETAIL
I-1	TYPE 'S' COMBINATION INLET	N 543938 E 1330812	463.35	459.69	458.35	SD 4.33
I-2	TYPE 'S' COMBINATION INLET	N 544039 E 1330894	467.90	447.65	447.65	SD 4.33
MH-1	4" STANDARD PRECAST MANHOLE	N 543950 E 1330749	446.17	450.75	449.22	G 5.12
ES-1	CONCRETE END SECTION	N 543962 E 1330679	448.00	448.00	448.00	SD 5.52
HW-1	TYPE 'A' HEADWALL	N 543962 E 1330591	445.75	442.50	442.50	SD 5.11
CS-1	CONTROL STRUCTURE	N 544001 E 1330624	450.50	443.00	444.00	SEE DETAIL SHEET 6
TD-1	TRENCH DRAIN	N 544340 E 1330773	471.26	449.76	449.76	SEE DETAIL SHEET 6
EW-1	MODIFIED TYPE 'C' ENDWAL (SD 5.21)	N 544204 E 1330751	469.15	467.40	467.40	SEE DETAIL SHEET 6

NOTE: 1. Top elevations are to the center of the structure at top of curb for Double Type 'S' Comb. Inlets, center top of grate for Double Type 'S' Inlet and top of Manhole cover for Precast Manholes.
 2. For top slab slopes see grading plan.
 3. See Architectural plans for roof drain details.

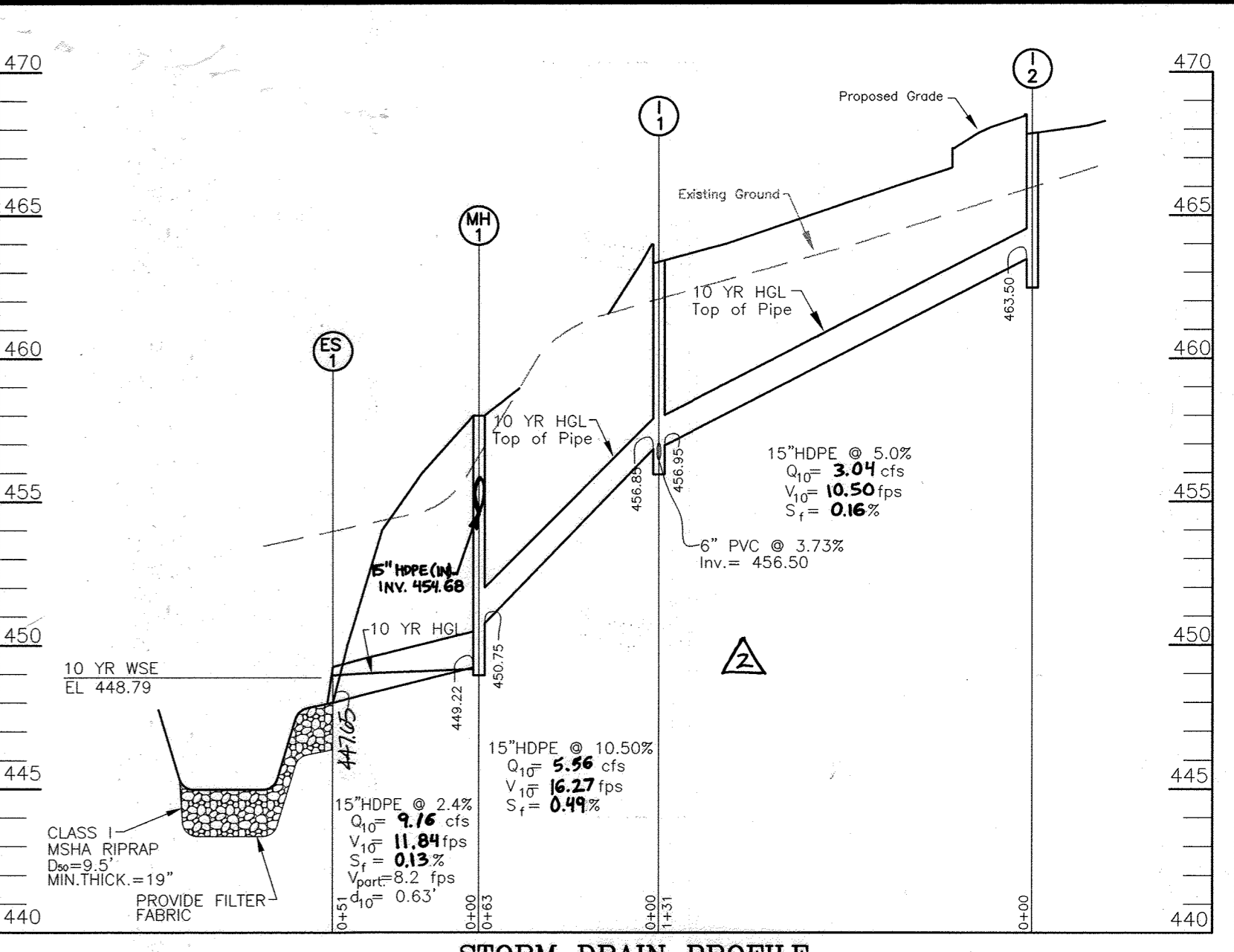
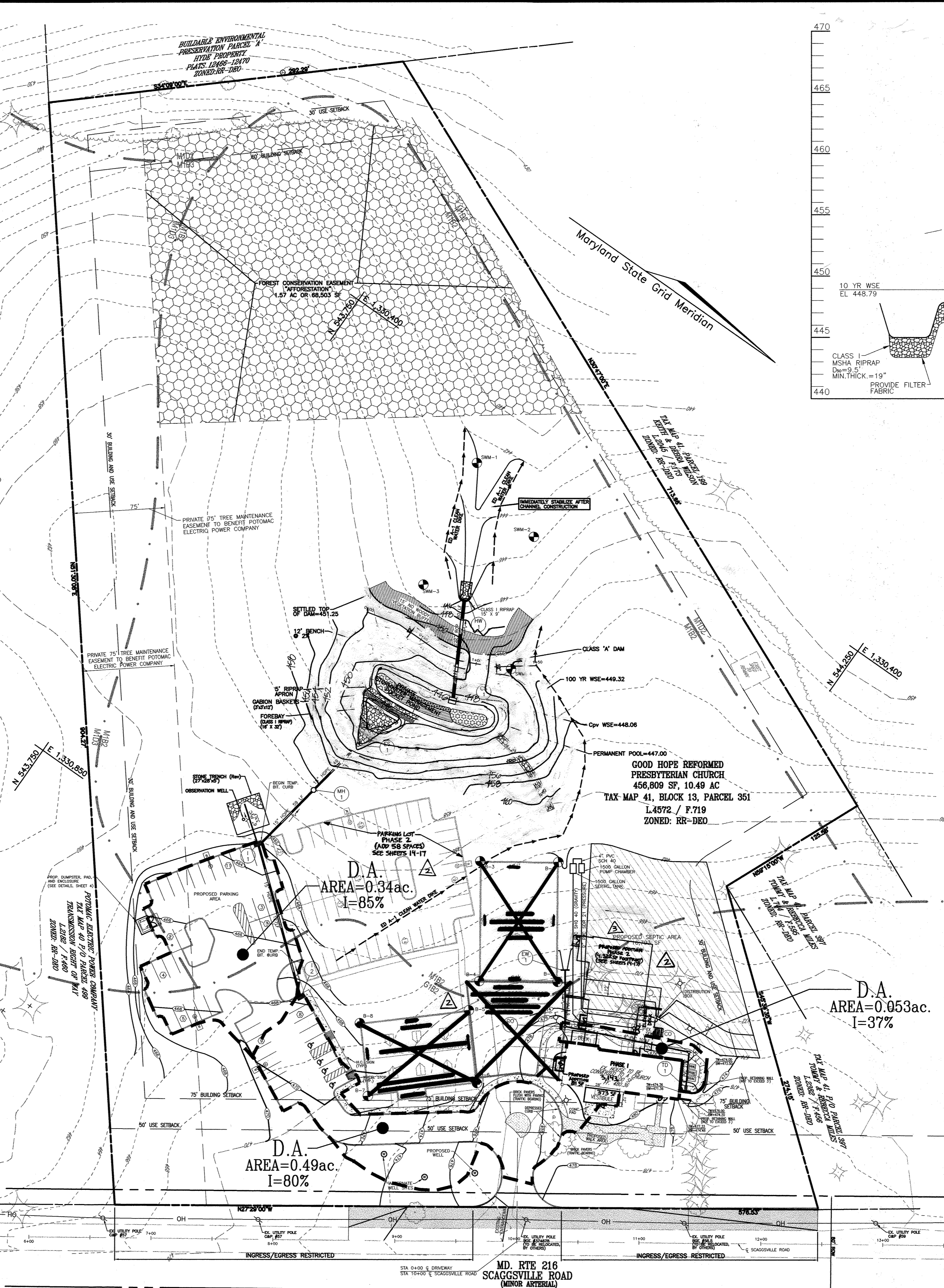
I-1 TRASH RACK DETAIL

SCALE: 1/2" = 1'



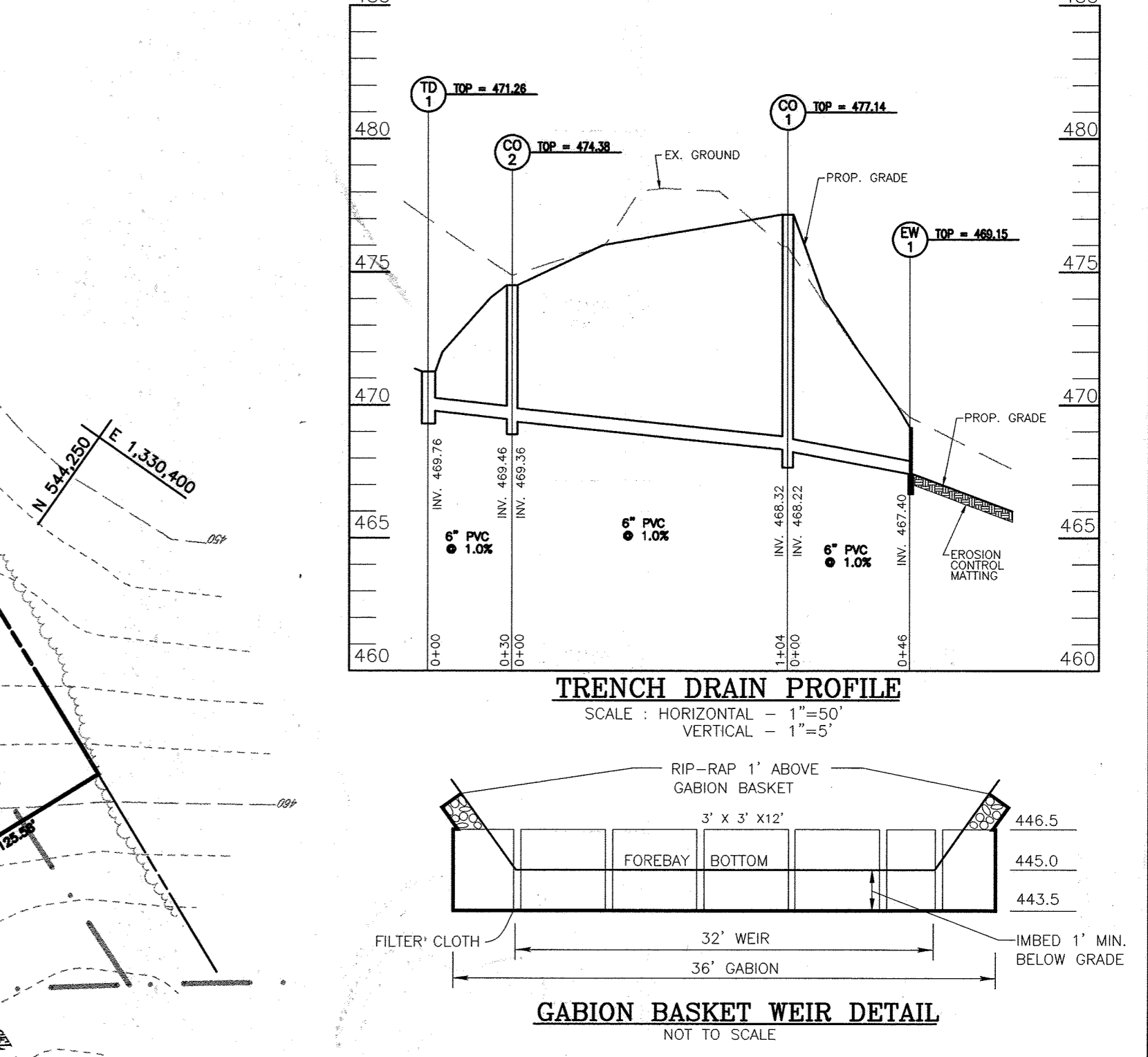
PIPE SCHEDULE

SIZE	TYPE	LENGTH
15"	HDPE	235 LF
6"	PVC	175 LF
6"	PERFORATED PVC SHC 80	33 LF
27"	RCP	80 LF



TRENCH DRAIN PROFILE

SCALE: HORIZONTAL - 1"=50'
 VERTICAL - 1"=5'



NO.	REVISION	DATE
1	REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO UPDATE THE SEDIMENT CONTROL NOTES TO CURRENT STANDARDS	4-28-21
2	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	9-9-20

**REVISED SITE DEVELOPMENT PLAN
 STORM DRAIN DRAINAGE AREA MAP,
 STORM DRAIN PROFILES, AND
 SWM NOTES AND DETAILS (PHASE I)
 GOOD HOPE REFORMED
 PRESBYTERIAN CHURCH**

TAX MAP #41 BLOCK 13 PHASE 1 & PHASE 2 PARCEL 351
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHY
 DRAWN BY: MAN/DZ
 CHECKED BY: RHY
 DATE: MAY 2004
 SCALE: AS SHOWN
 W.O. NO.: 2017151

5 SHEET OF 17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/14/04

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7/9/04

DIRECTOR (ACTING)
 DATE: 7/15/04

OWNER/DEVELOPER
 GOOD HOPE REFORMED PRESBYTERIAN CHURCH
 714 FIRESTONE DRIVE
 SILVER SPRING, MD 20905
 WILLIAM DAVIS III, BOARD OF TRUSTEES
 (301) 230-5217

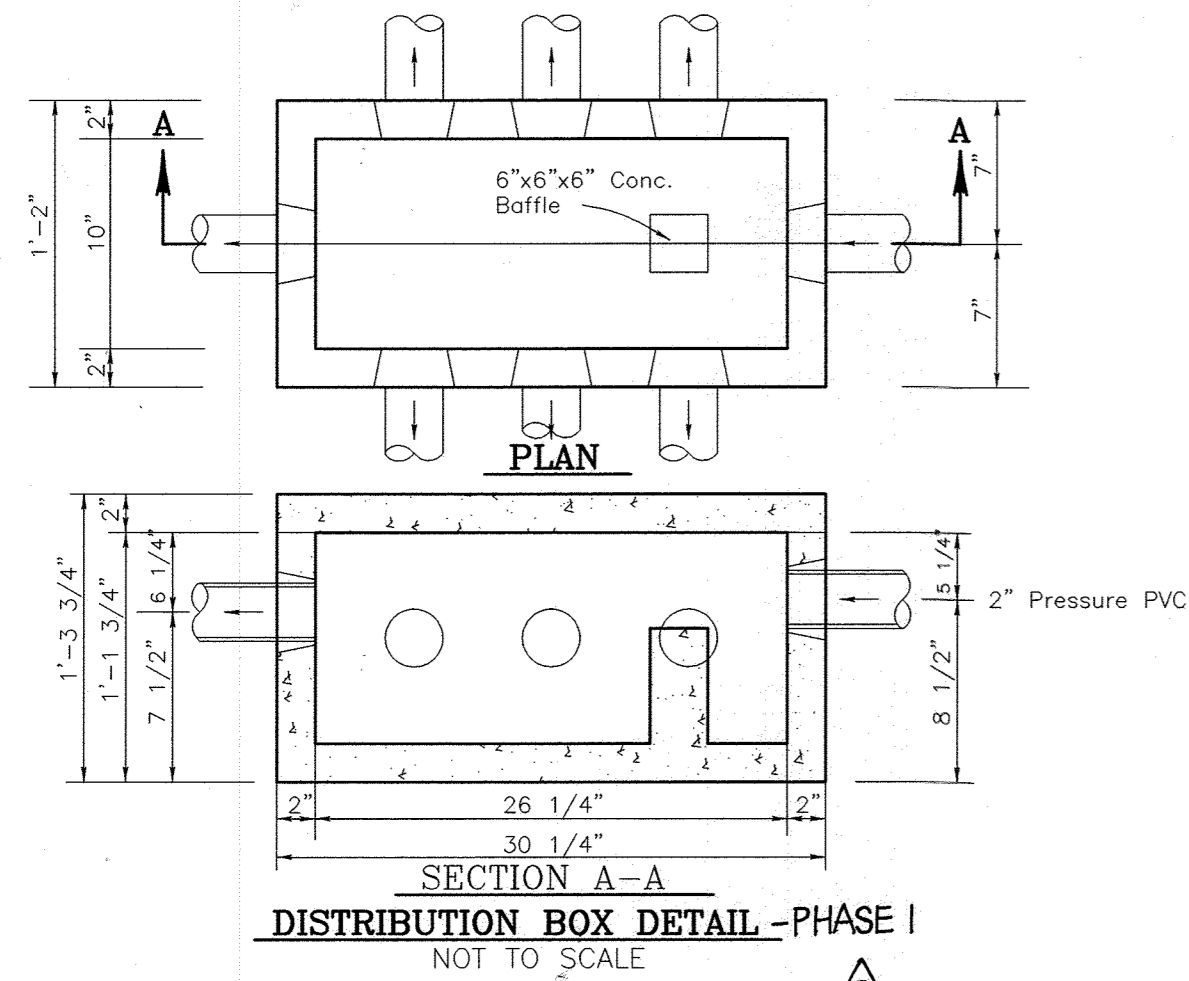
AS-BUILT CERTIFICATION
 "I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE 'AS-BUILT' PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS."

ROBERT H. VOGEL, P.E.
 10193 115 00
 P.E. No. DATE: 4/10/04

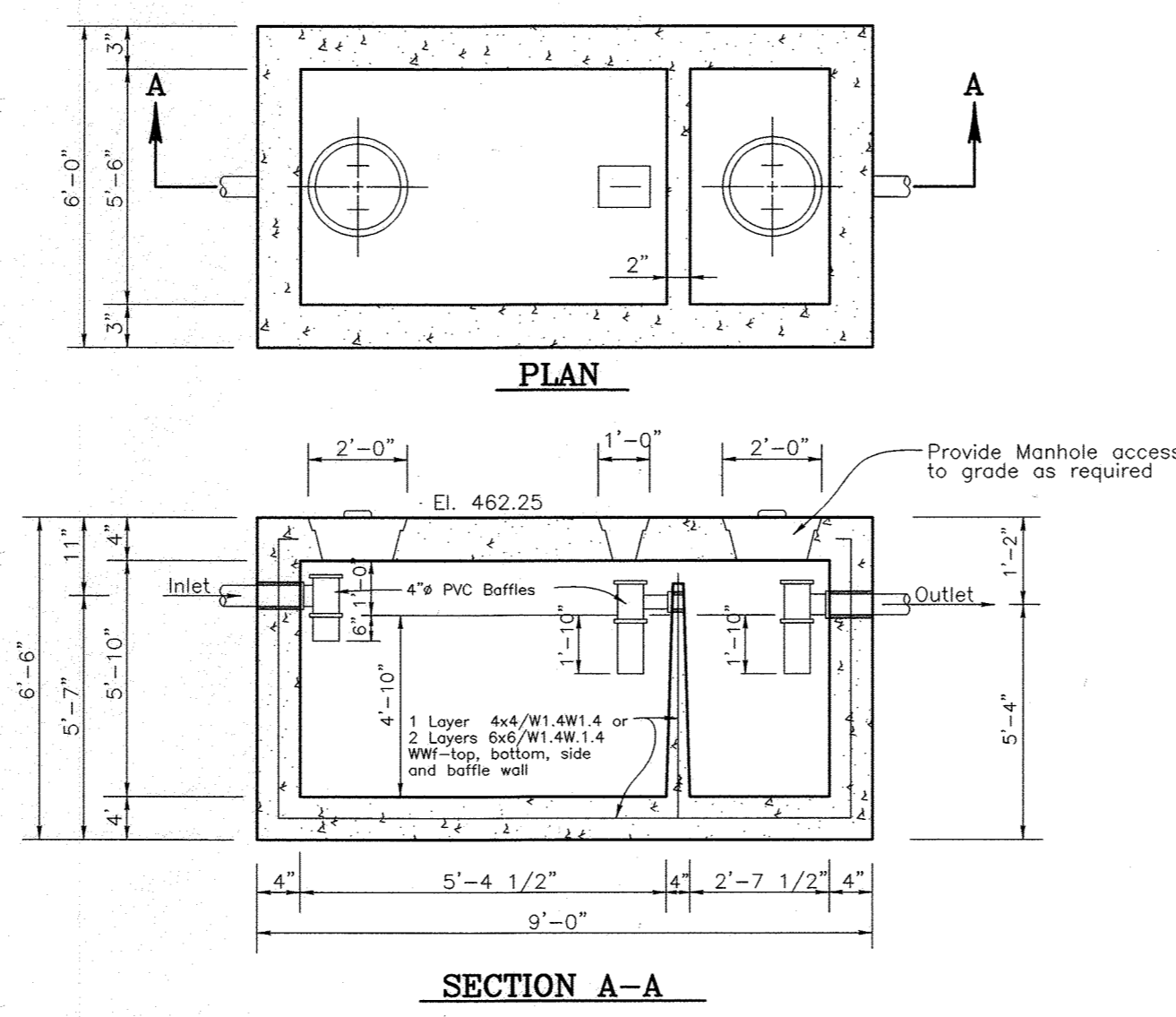
STORM DRAIN DRAINAGE AREA

SCALE: 1"=50'

SEE PHASE 2 DRAINAGE AREAS ON SHEET 16

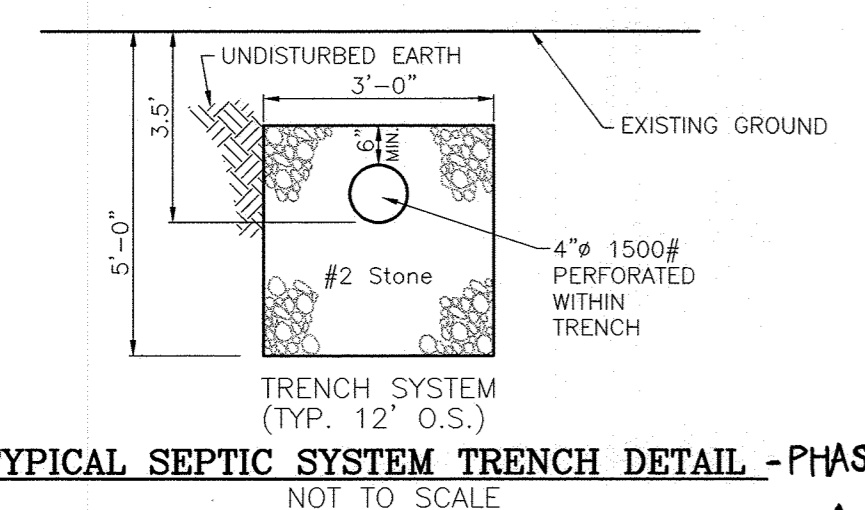


DISTRIBUTION BOX DETAIL - PHASE I
NOT TO SCALE

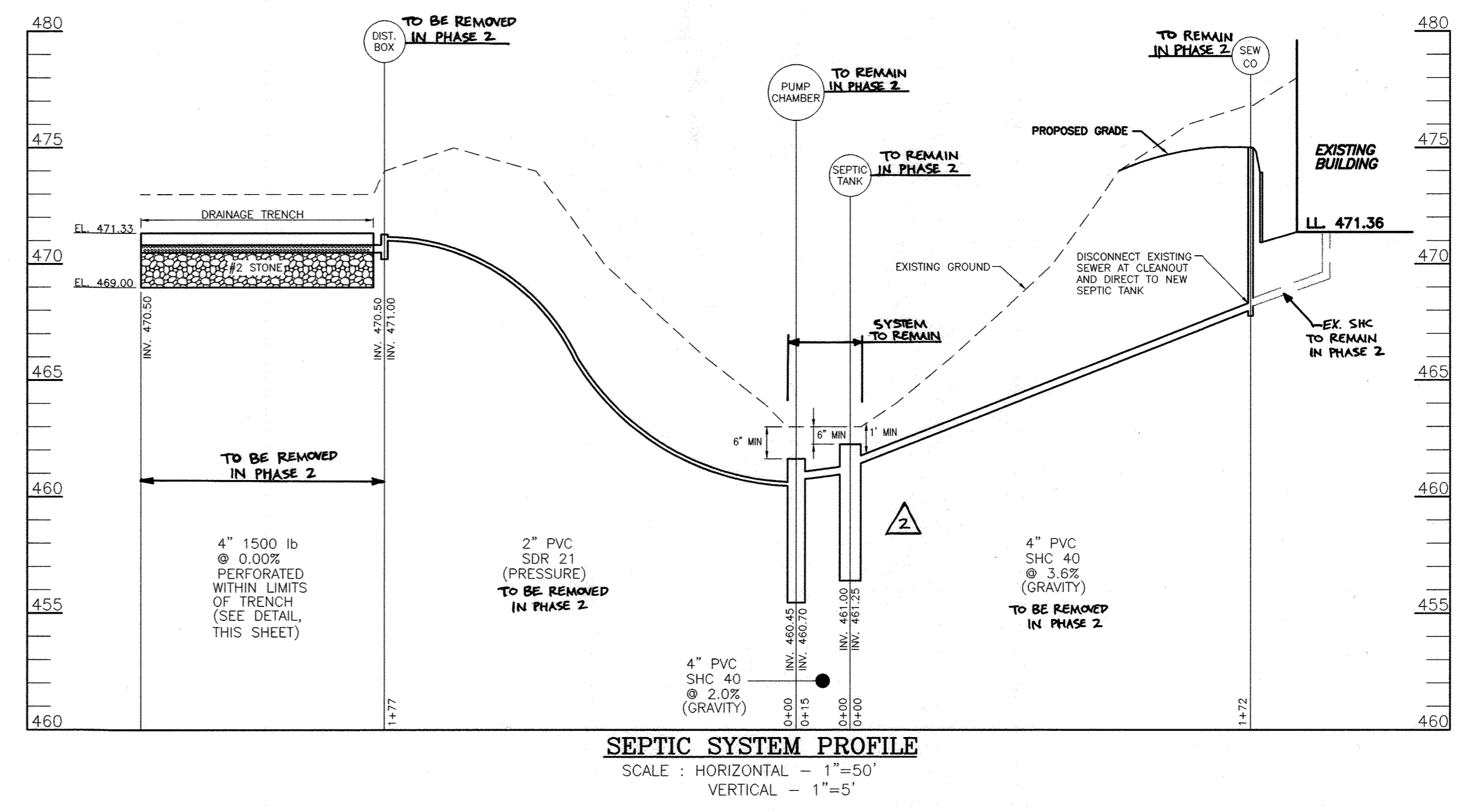


1,500 GALLON SEPTIC TANK TOP SEAM ONLY
NOT TO SCALE

NOTE: This tank is not designed, manufactured, or recommended to be installed under vehicle traffic area.
NOTE: Portland type 1/II 4,000 PSI min. concrete



TYPICAL SEPTIC SYSTEM TRENCH DETAIL - PHASE I
NOT TO SCALE



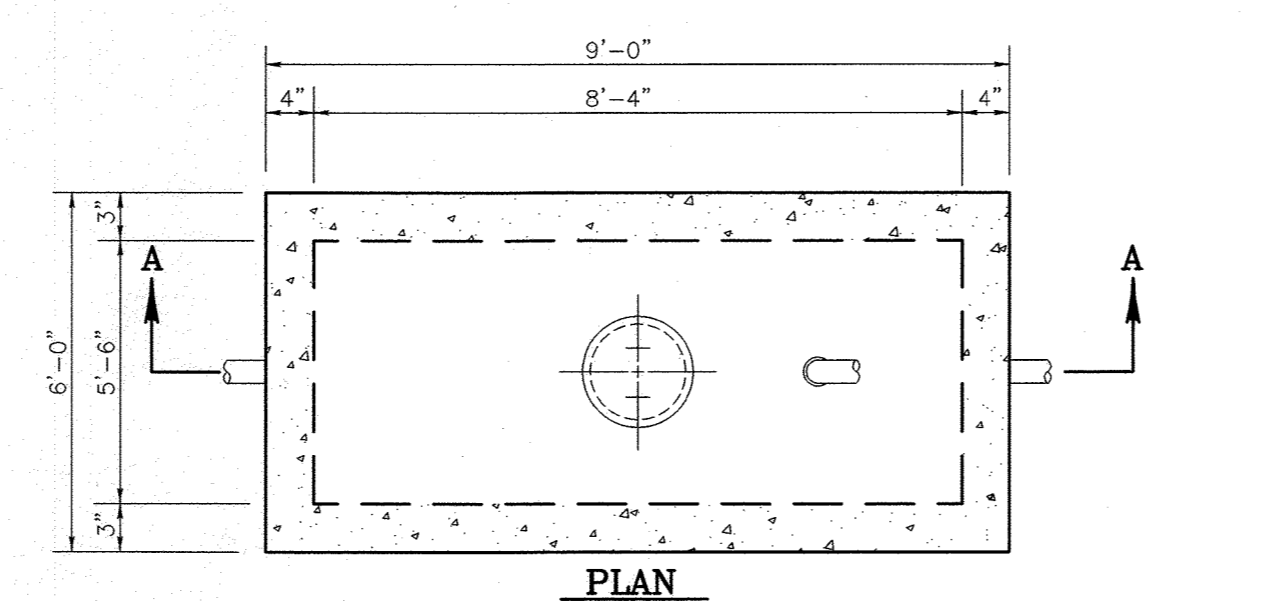
SEPTIC SYSTEM PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

SEE SHEET 17 FOR PHASE 2 SEPTIC SYSTEM REVISIONS

TRENCH CONSTRUCTION NOTES

- Trenches shall be excavated using a backhoe. Front-end loaders or bulldozers should not be used for trench excavations.
- Excavated materials from the trenches shall be placed at a sufficient distance downslope of the trenches to avoid migration of soils back into the trench.
- Work shall be scheduled such that the trenches can be covered in one day to prevent windblown or waterborne sediment from entering the trench. Health department to be notified for inspection prior to stone placement in trench.
- The field engineer shall verify the constructed elevations of the trenches to ensure a minimum 4' cover is provided below pavement base grade.
- Upon completion of the trench excavation and prior to placement of paving, heavy construction equipment traffic shall be permanently diverted from the trenches and adjacent area.

NOTE: Contractor to provide alternating electric submersible pumps in separate pump chamber. Pump to have electronic level with remote alarm located inside building. Pump to be Tsurumi 4-BE2 or equivalent. Minimum requirements: 50 GPM @ 13 ft head. See architectural drawings for electric details. Any proposed modifications to the septic system details will be submitted to the health department through the project engineer.



1500 GALLON TOP SEAM PUMP CHAMBER
NOT TO SCALE

NOTE: CONCRETE MINIMUM STRENGTH - 5,000 P.S.I. @ 28 DAYS
STEEL REINFORCEMENT - ASTM A-615-75, GRADE 60, 1" MIN. COVER

SEPTIC SYSTEM DESIGN

Phase I 125 Person x 3 GPD = 375 GPD
Phase II 500 Person x 3 GPD = 900 GPD
Trench loading rate = 0.8 Gal/SF/Day
375/0.8=469 SF

Trench Configuration=3'x2' (12'0.C.)
Length of trench required: 469 SF/3'=156 LF (260 LF Provided)

Lowest Flore Elevation Served Phase I :	470.00
Invert out of building :	468.00
Invert into septic tank :	461.25
Invert out of septic tank :	461.00
Existing grade at septic tank :	463.00
Proposed grade at septic tank :	463.00
Invert into pump chamber :	460.70
Invert into distribution box :	471.00
Invert into trench at distribution box :	470.50
Grade at distribution box :	473.00

Minimum Dose = 900 gallons/6 = 150 gallons
Storage Above High Water Alarm = 900 + 150 = 1050 gallons

356 SEATS AT 1,068 GPD (3 GALLONS/SEAT)
DOSE: 1/6 DESIGN FLOW = 178 GPD
178 GALLONS/7.48 FT³/GAL = 23.80 FT³
23.80 FT³/45.83 SF = 0.52'
ONE DAY RESERVE: 1,110 GALLONS/7.48 FT³/GAL = 148.4 FT³
148.4 FT³/45.83 = 3.24 FT
TDH (FRICTION + STATIC)
FRICTION FITTINGS: 45' ELBOW (H+V): 6x8 = 48
90' ELBOW: 1x7 = 7
FITTING EQ. LENGTH: 55 LF
PIPE LENGTH: 141 LF
TOTAL LENGTH: 196 LF
FRICTION LOSS (40 GPM): (2.63)(196)/100 = 5.15'
STATIC: 463.27-456.47 (PUMP OFF) = 12.80'
TDH: 12.80+5.15 = 17.95'
USE GOULDS WEOSH (OR EQUIVALENT)

Wastewater

Applications
Specifically designed for the following uses:
• Homes, Farms, Trailer Courts, Motels, Schools, Hospitals, Industry, Effluent Systems

Specifications
Pump
• Solids handling capabilities: 3/4" maximum
• Discharge size: 2" NPT
• Capacities: up to 140 GPM
• Total heads: up to 125 feet TDH
• Temperature: 100°F (40°C) continuous, 140°F (60°C) intermittent.
• See order numbers on reverse side for specific HP, voltage phase and RPM available.

Motors
• Fully submerged in high-grade turbine oil for lubrication and efficient heat transfer.
• Class B insulation on 1/2 - 1 1/2 HP models.
• Class F insulation on 2 HP models.

Single phase (40 Hz)
• Capacitor start motors for maximum starting torque.
• Built-in overload with automatic reset.

Agency Listings
Approved by NSF and CSA 332 NSF Standard By Canadian Standards Association (CSA) #232649

Goolds Water Technology
• S3TOW or STOW severe duty oil and water resistant power cords.
• 3/4 - 1 1/2 HP models have NEMA three prong grounding plugs.
• 1 1/2 HP and larger units have bare lead cord ends.

Three phase (40 Hz)
• Class 10 overload protection must be provided in separately ordered starter unit.
• STOW power cords all have bare lead cord ends.
• Designed for Continuous Operation: Pump ratings are within the motor manufacturer's recommended working limits, can be operated continuously without damage when fully submerged.
• Bearings: Upper and lower heavy duty ball bearing construction.
• Power Cables: Severe duty rated, oil and water resistant. Epoxy seal on motor end provides secondary moisture barrier in case of outer jacket damage and to prevent oil wicking. Standard cord is 20'. Optional lengths are available.
• O-ring: Assures positive sealing against contaminants and oil leakage.

Flow Chart
METERS FEET
TOTAL DYNAMIC HEAD
CAPACITY
CYCLES PER MINUTE
SIZE: 1/2 SOLIDS
SIZE: 3/4 SOLIDS
SIZE: 1 SOLIDS
SIZE: 1 1/2 SOLIDS

FLOW: 40 GPM
H=17.95'
USE GOULDS WEOSH (OR EQUIVALENT)

GENERAL NOTES

- A GROUND WATER APPROPRIATION PERMIT MUST BE SUBMITTED PRIOR TO RECORD PLAT SUBMISSION AND/OR PRIOR TO DRILLING WELLS.
- ALL WELLS TO BE ABANDONED AND SEALED BY A LICENSED WELL DRILLER.
- THE CURRENTLY PROPOSED PHASE I AND PHASE II FACILITY TO BE USED ON SUNDAYS FOR WORSHIP. THERE IS NO DAYCARE OR OTHER ACTIVITIES PLANNED.
- REFERENCE PERCOLATION CERTIFICATION PLAT APPROVED OCTOBER 2, 2002.

REVISED SITE DEVELOPMENT PLAN

SEPTIC SYSTEM NOTES AND DETAILS

GOOD HOPE REFORMED PRESBYTERIAN CHURCH

PHASE 1 & PHASE 2

TAX MAP #41 BLOCK 13 PARCEL 351
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
DRAWN BY: MAN/DZ
CHECKED BY: RHW
DATE: MAY 2004
SCALE: AS SHOWN
W.O. NO.: 2017151

7 SHEET OF 17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT-ENGINEERING DIVISION
DATE: 6/19/04

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/15/04

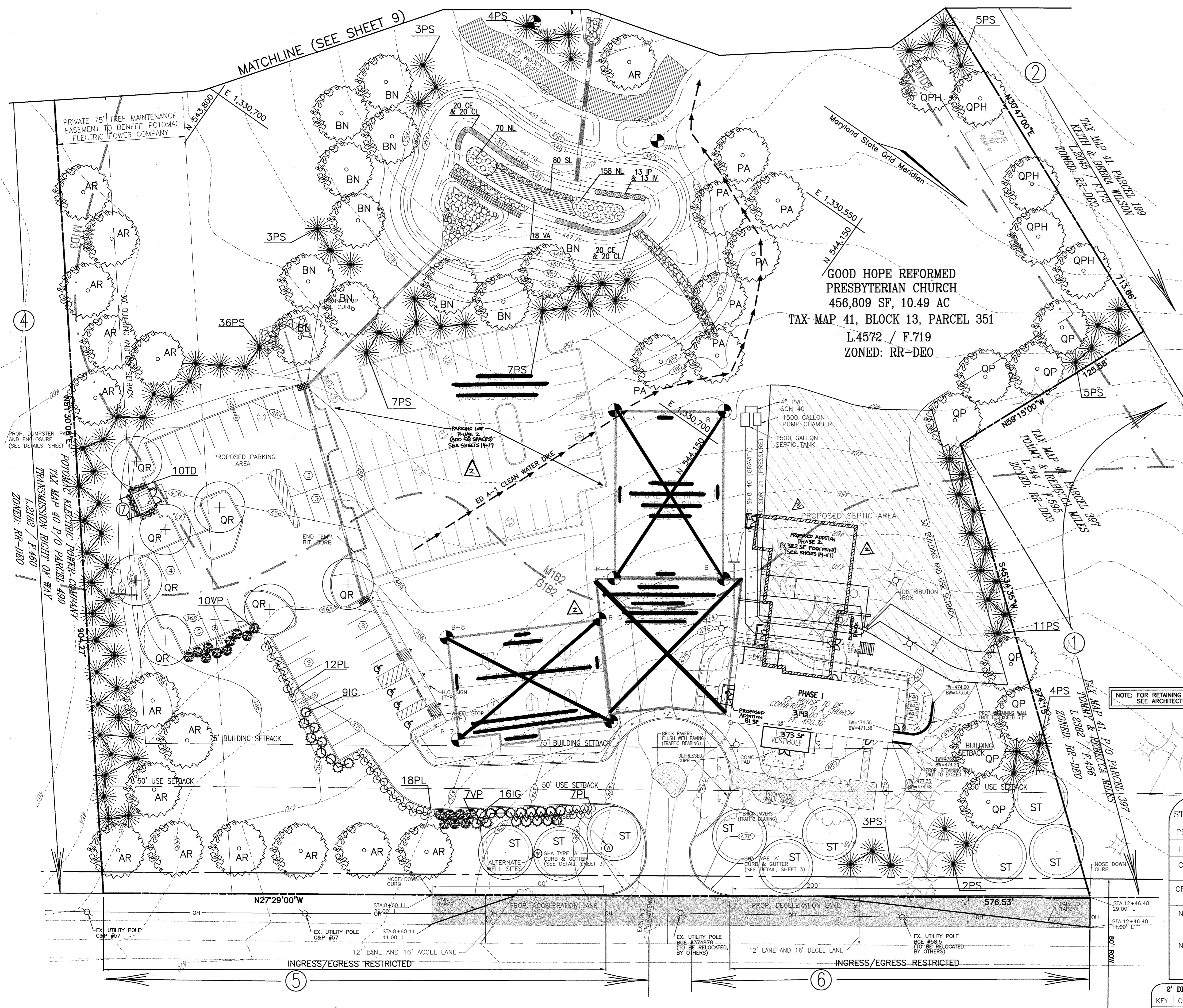
DIRECTOR (PLANNING)
DATE: 7/15/04

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER
DATE: 6-28-04

OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217



**GOOD HOPE REFORMED
PRESBYTERIAN CHURCH**
456,809 SF, 10.49 AC
TAX MAP 41, BLOCK 13, PARCEL 351
L.4572 / F.719
ZONED: RR-DEO

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION UNDER THE DEVELOPER'S AGREEMENT.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$42,120.00 FOR THE REQUIRED 75 SHADE TREES, 113 EVERGREEN TREES, AND 89 SHRUBS.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HERewith LISTED AND APPROVED FOR THIS SITE SHALL BE OF PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

LANDSCAPE SCHEDULE NOTE:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT ANA SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO ROADWAYS	ADJACENT TO DUMPSTER
Perimeter/Frontage Designation	1	2	3
Linear Feet of Roadway Frontage/Perimeter	400	714	292
Credit for Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	No	Yes (345)	Yes (292)
Credit for Wall, Fence or Berm (Yes, No, Linear Feet Describe below if needed)	No	No	No
Number of Plants Required			
Shade Trees	1:40 10	1:40 9	1:40 0
Evergreen Trees	1:20 20	1:20 19	1:20 0
Number of Plants Provided			
Shade Trees	10	9	22
Evergreen Trees	20	19	44
Other Trees (2:1 Substitution)	-	-	79
Shrubs (10:1 Substitution)	-	-	-
Describe Plant Substitution Credits Below if needed			10***

*2 Existing trees in perimeter 6 (1 Maple & 1 Multistem White Pine)
** Per SA Case No. 01-6504Y
*** Substitute 10 shrubs for 1 evergreen tree

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of parking spaces	45
Number of trees and islands required	3
Number of trees and islands provided	
Shade Trees (2:1 Substitution)	3
Other Trees	-

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
AR	23	Acer rubrum 'October Glory'	2 1/2"-3" Cal.	B & B
QR	7	Quercus rubra Red Oak	2 1/2"-3" Cal.	B & B
ST	9	Shademaster thornless honeylocust Shademaster	2 1/2"-3" Cal.	B & B
BN	11	Betula Niagra 'Heritage' Heritage Clump Birch	10'-12' Ht.	B & B
PA	7	Platanus x acerifolia 'Bloodgood' Bloodgood London Plane	2 1/2"-3" Cal.	B & B
QP	7	Quercus palustris Pin Oak	2 1/2"-3" Cal.	B & B
QPH	9	Quercus phellos Willow Oak	2 1/2"-3" Cal.	B & B
PS	113	Pinus strobus Eastern White Pine	6' - 8' Ht.	B & B
TD	10	Taxus x media 'Densiformis' Densiformis Yew	2 1/2"-3" Ht.	B & B or CONT.
VP	17	Viburnum prunifolium Blackhaw Viburnum	2 1/2"-3" Ht.	B & B or CONT.
PL	37	Prunus laurcerasus 'Otto Lutyken' Otto Lutyken Cherrylaurel	2 1/2"-3" Ht.	B & B or CONT.
IG	25	Ilex glabra 'Compacta' Compact Inkberry	2 1/2"-3" Ht.	B & B or CONT.

**SCHEDULE D
STORMWATER MANAGEMENT AREA LANDSCAPING**

PERIMETER TYPE	B
LINEAR FEET OF PERIMETER	946LF
CREDIT FOR EX VEGETATION (NO, YES AND LINEAR FEET)	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO
NUMBER OF TREES REQUIRED	
SHADE TREES	19
EVERGREEN TREES	24
NUMBER OF TREES PROVIDED	
SHADE TREES	19
EVERGREEN TREES	24
OTHER TREES (2:1 SUB.)	-

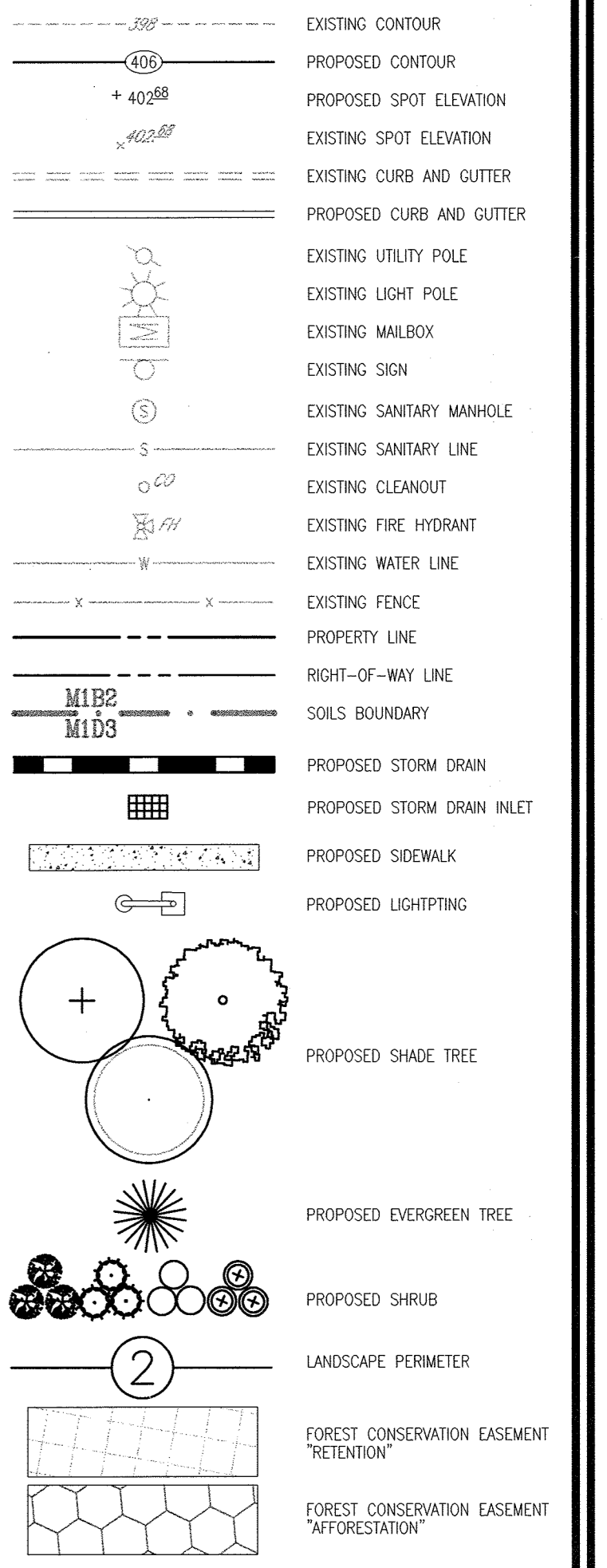
2' DEEP STORMWATER POND HERBACEOUS LANDSCAPE SCHEDULE

KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
IP	13	Iris pseudacorus Yellow Water Iris	plug 1.5' oc	
IV	13	Iris versicolor Blue Flag	plug 1.5' oc	(wear gloves)
CE	40	Cyperus esculentus Yellow Nut Sedge	plug 2' oc	
CL	40	Carex lacustris Lake Sedge	plug 2' oc	
SL	80	Sagittaria latifolia Duck Potato	plug 4' oc	(do not plant tubers)
VA	182	Vallisneria americana Wild Celery	plug 2' oc	
NL	228	Nuphar luteum Spatterdock	plug 1.5' oc	

PRIOR TO INSTALLATION OF PLANT MATERIALS, ADD THREE INCHES OF TOPSOIL TO PLANTING AREA. STABILIZE WITH 40 POUNDS PER ACRE OF A HYDROSEED MIX (WET MIX AND MEADOW MIX) FROM SYLVIA NATIVE NURSERY OR EQUAL.

ALL PLANT MATERIALS TO CONFORM TO THE MOST CURRENT ANA SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LCAMW SPECIFICATIONS.

LEGEND:



NO.	REVISION	DATE
4	REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO UPDATE THE SEDIMENT CONTROL NOTES TO CURRENT STANDARDS	4-28-21
9	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	9-9-20

REVISED SITE DEVELOPMENT PLAN

SITE LANDSCAPE PLAN

GOOD HOPE REFORMED PRESBYTERIAN CHURCH
PHASE 1 & PHASE 2

TAX MAP #41 BLOCK 13 PARCEL 351
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHY
DRAWN BY: MAN/DZ
CHECKED BY: RHY
DATE: MAY 2004
SCALE: 1"=30'
W.O. NO.: 2017151

STATE OF MARYLAND
ROBERT H. VOGEL, PE No. 16193

8 SHEET OF 17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 6/14/04

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/9/04

DIRECTOR
DATE: 7/15/04

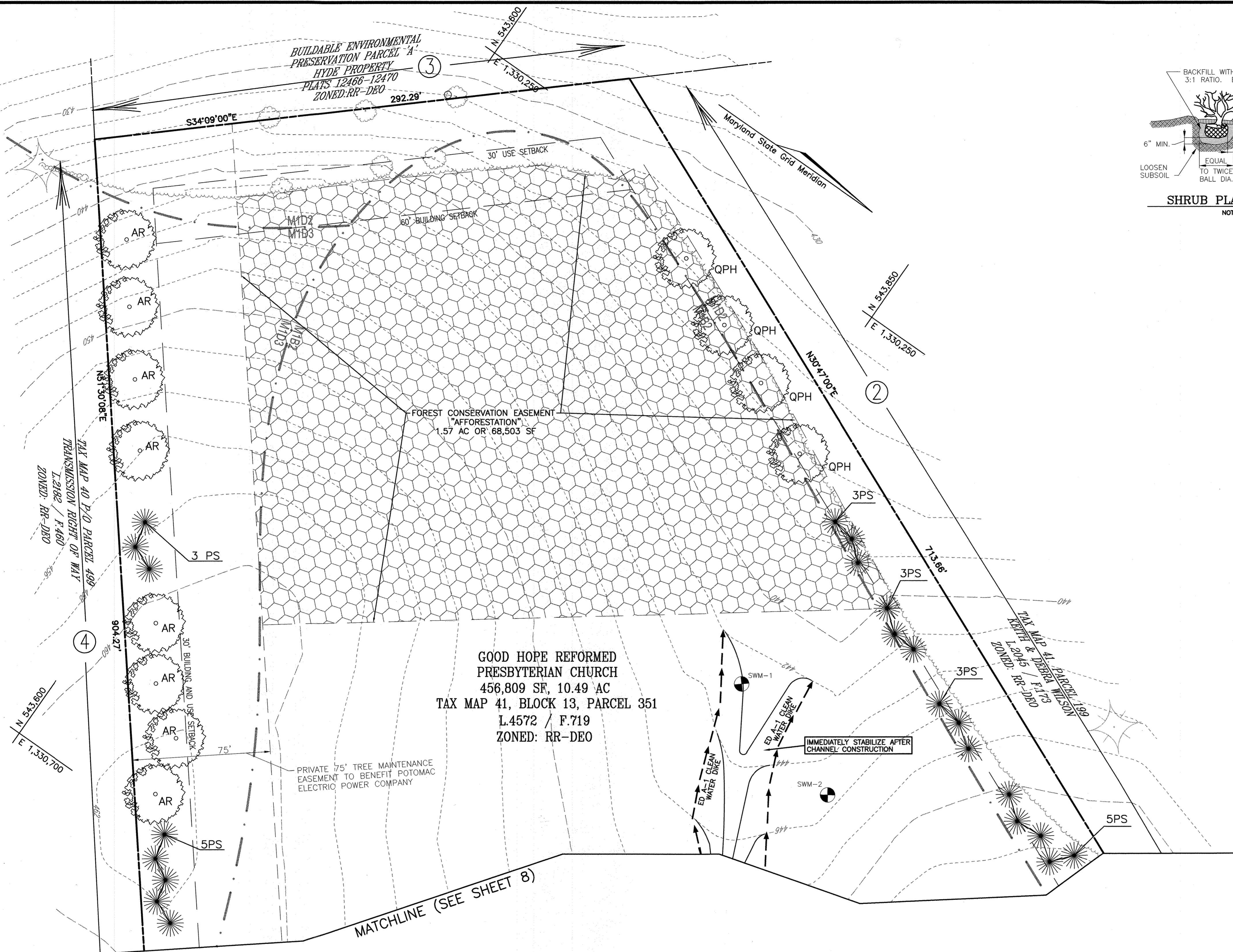
DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: [Signature]
DATE: 5/19/04

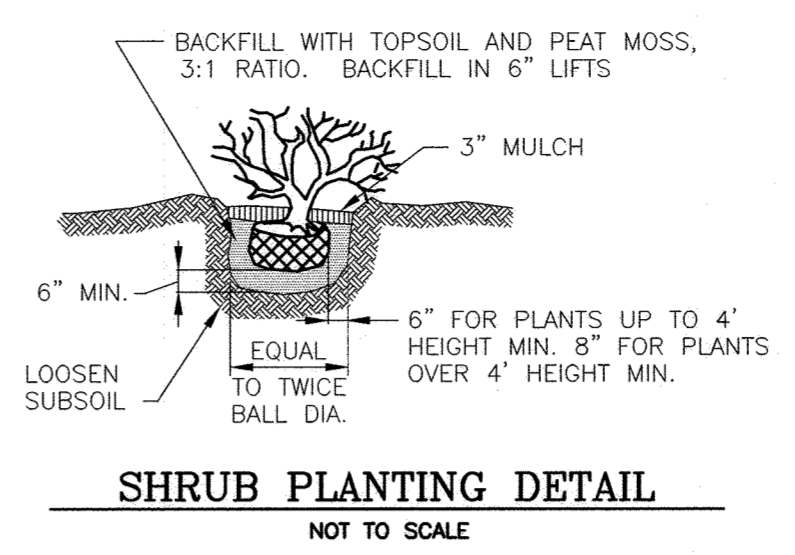
OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217

FOR ADDITIONAL LANDSCAPING AND SURETY INFO, SEE SHEET 15

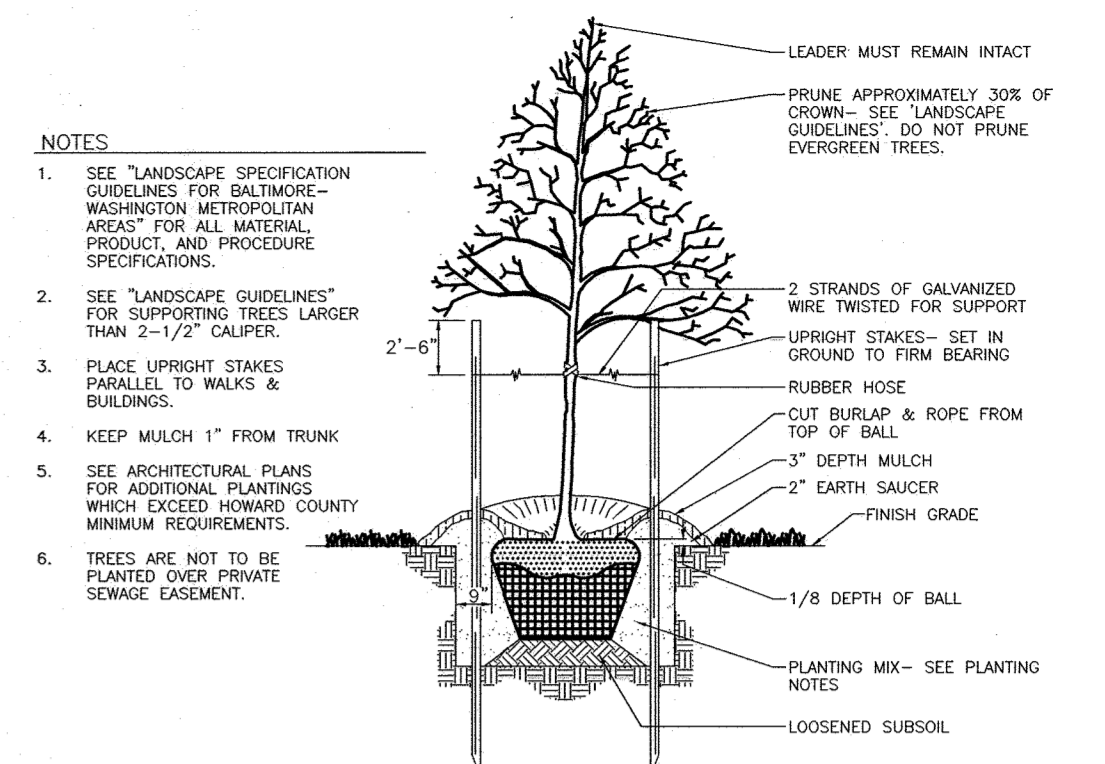


GOOD HOPE REFORMED
PRESBYTERIAN CHURCH
456,809 SF, 10.49 AC
TAX MAP 41, BLOCK 13, PARCEL 351
L.4572 / F.719
ZONED: RR-DEO

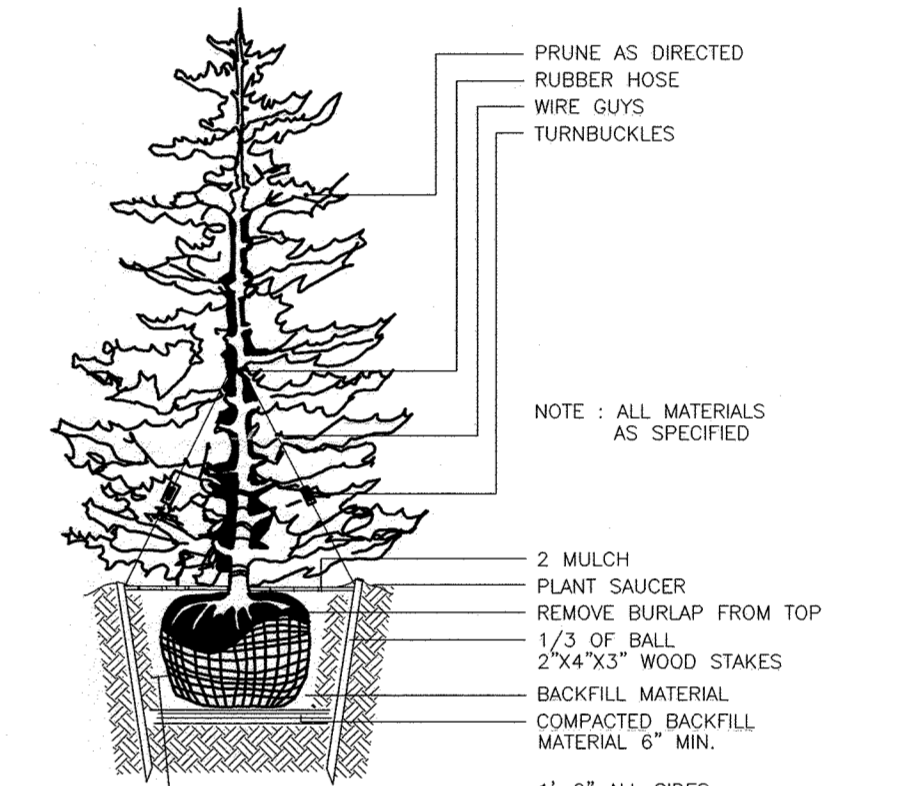
SITE PLAN
SCALE: 1" = 30'



SHRUB PLANTING DETAIL
NOT TO SCALE



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217

NO.	REVISION	DATE
1	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	9-9-20

REVISED SITE DEVELOPMENT PLAN
SITE LANDSCAPE PLAN
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
PHASE 1 & PHASE 2
TAX MAP #41 BLOCK 13 PARCEL 351
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
DRAWN BY: MAN/DZ
CHECKED BY: RHW
DATE: MAY 2004
SCALE: 1"=30'
W.O. NO.: 2017151

STATE OF MARYLAND
FREDERICK WARD ASSOCIATES, INC.
PROFESSIONAL ENGINEERS
ROBERT J. VOGEL, PE No. 16183

9 SHEET OF 17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE 6/19/04
CHIEF, DIVISION OF LAND DEVELOPMENT, DATE 7/6/04
DIRECTOR, DATE 7/15/04

DEVELOPER'S/BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
SIGNATURE OF DEVELOPER DATE 5/19/04

MATCHLINE (SEE SHEET 11)

- NOTES**
1. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO-FOOT CONTOURS PREPARED BY FREDERICK WARD ASSOCIATES, INC. DATED MAY 22, 2001.
 2. THERE IS NO 100 YEAR FLOODPLAIN ON SITE.
 3. SOIL BOUNDARY AND INFORMATION FROM THE SOIL SURVEY OF HOWARD COUNTY, MD, 1968.
 4. THIS PROPERTY CONTAINS NO NONTIDAL WETLANDS, WETLAND BUFFERS, OR WATERS OF THE UNITED STATE.

LEGEND:

- 2' --- EXISTING CONTOUR
- 4' --- PROPOSED CONTOUR
- + 40.25 EXISTING SPOT ELEVATION
- + 40.25 EXISTING SPOT ELEVATION
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREES (FIELD LOCATED)
- EXISTING TREELINE (FIELD LOCATED)
- EXISTING VEGETATION (APPROXIMATE LOCATION)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- MIB2 MIB3 SOILS BOUNDARY
- STAND LINE
- OF-1 F-1 STAND LABELS

SPECIMEN TREE CHART

DBH (INCHES)	COMMON NAME
32	Red Oak

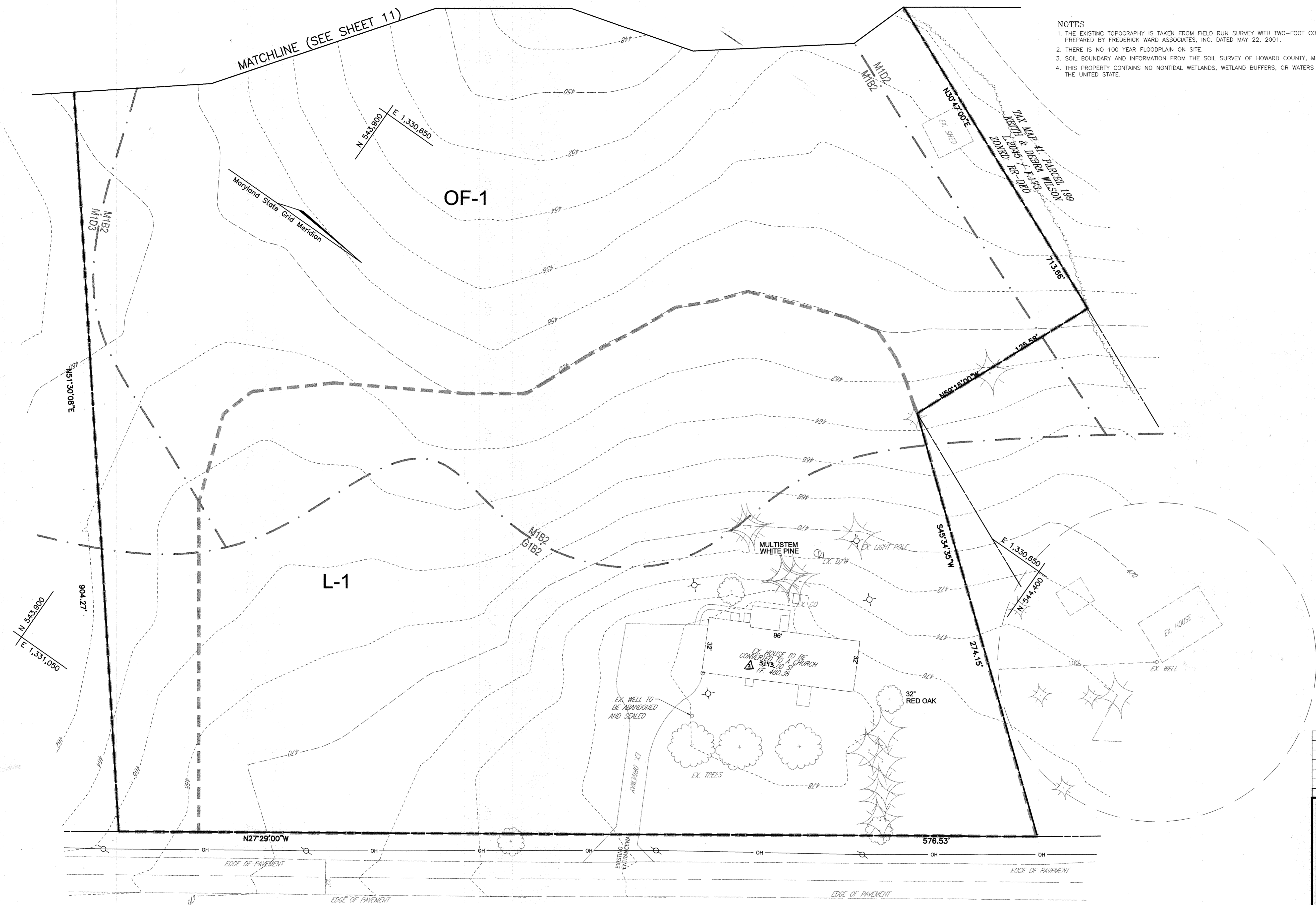
ENVIRONMENTAL AREA TOTALS

STAND L-1	3.31 ACRES
STAND OF-1	6.64 ACRES
STAND F-1	0.25 ACRES
STAND H-1	0.03 ACRES
STAND H-2	0.24 ACRES
TOTAL	10.47 ACRES

SUPPLEMENTAL INFORMATION

GROSS SITE AREA:	10.47 ACRES
ZONED:	RR-DEO
PROPOSED USE:	CHURCH

OWNER/DEVELOPER
 GOOD HOPE REFORMED PRESBYTERIAN CHURCH
 714 FIRESTONE DRIVE
 SILVER SPRING, MD 20905
 WILLIAM DAVIS III, BOARD OF TRUSTEES
 (301) 230-5217



FOREST STAND ANALYSIS TABLE

KEY	TYPE OF COMMUNITY	B. AREA	C. SOILS INFORMATION			D. EXISTING VEGETATION	E. STAND CHARACTERISTICS			F. FOREST AREA IN SEN. ENV.	G. HABITAT
			1. SOILS TYPES	2. TYPICAL FOREST COVER FOR SOILS TYPE	3. WOODLAND SUITABILITY INDEX		1. SIZE (DIA)	2. AGE (YRS)	3. GENERAL CONDITION		
L-1	LAWN	3.31 Ac	MIB2 MIB3 GIB2	MIXED UPLAND HARDWOODS MAINLY OAKS	43 44 50	WHITE AND PIN OAK, RED MAPLE, TULIP POPLAR, HICKORY MULTIFLORA ROSE, VIRGINIA CREEPER	22"	25	GOOD	0.00 Ac	G
OF-1	OPEN FIELD	6.64 Ac	MIB2 MIB3 GIB2	MIXED UPLAND HARDWOODS MAINLY OAKS	43 44 50		24"	25	GOOD		
F-1	WOODS	0.52 Ac	MID2		44		20"	25	GOOD	0.00 Ac	G

Chuck Schneider
 CHUCK SCHNEIDER DATE 5/19/04

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	SOIL GROUP
MIB2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MID2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B
MID3	MANOR LOAM, 3 TO 8 PERCENT SLOPES, SEVERELY ERODED	B
GIB2	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B

NOTE: BASED ON HOWARD SOIL SURVEY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Chad Hamrick
 DATE 6/15/04

CHIEF, DIVISION OF LAND DEVELOPMENT
Richard L. ...
 DATE 7/15/04

REVISION NO. 1 REVISION: REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS DATE: 9-9-20

REVISED SITE DEVELOPMENT PLAN

FOREST STAND DELINEATION PLAN

GOOD HOPE REFORMED PRESBYTERIAN CHURCH

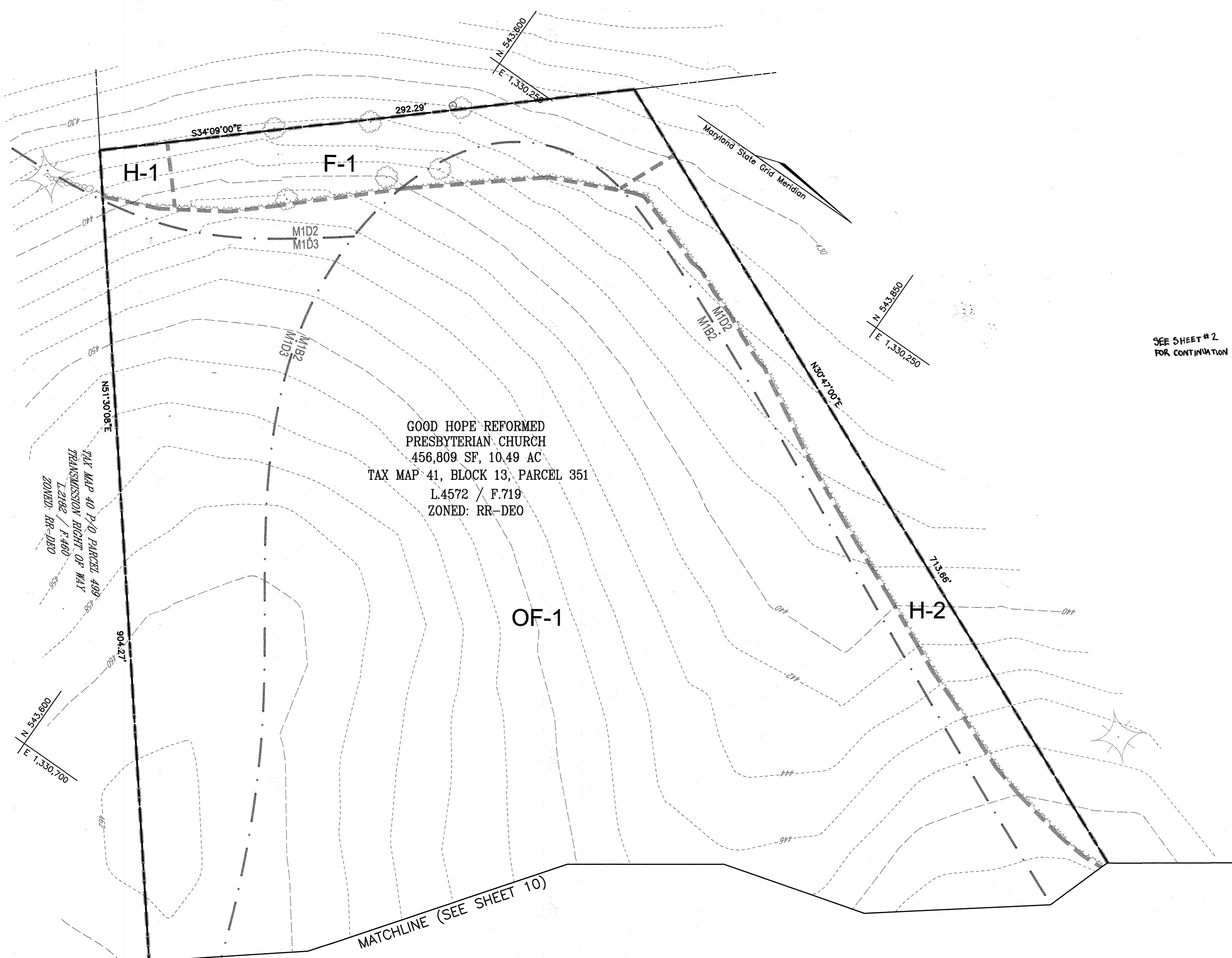
PHASE 1 & PHASE 2

TAX MAP #41 BLOCK 13 PARCEL 351
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS ARCHITECTS SURVEYORS
 7125 Riverwood Drive Columbia, Maryland 21046-2354
 Phone: 410-290-9550 Fax: 410-720-6226
 Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

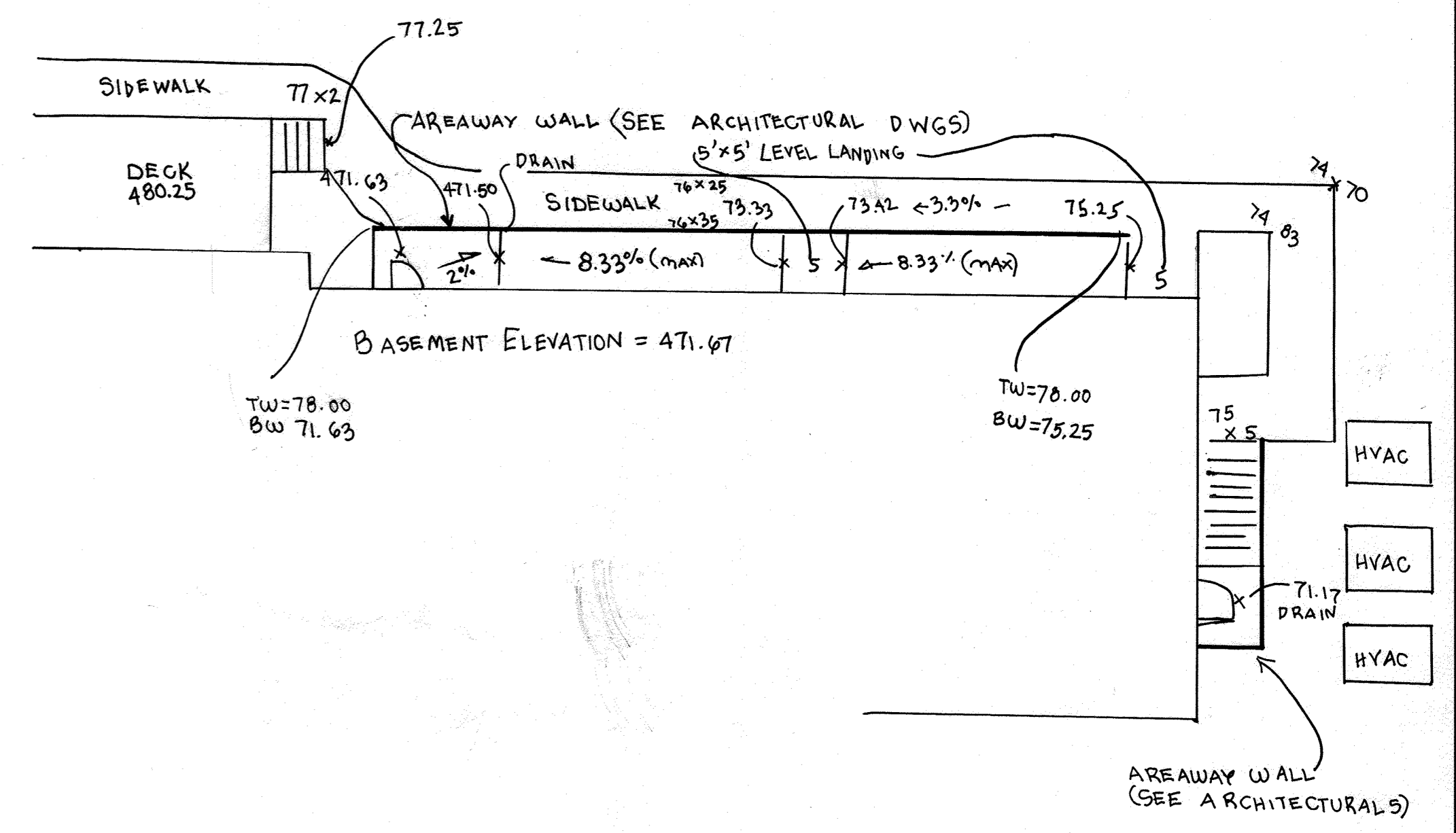
DESIGN BY: ACS/RHV
 DRAWN BY: MAN/DZ
 CHECKED BY: ACS
 DATE: MAY 2004
 SCALE: 1"=30'
 W.O. NO.: 2017151

10 SHEET OF 17



GOOD HOPE REFORMED
PRESBYTERIAN CHURCH
456,809 SF, 10.49 AC
TAX MAP 41, BLOCK 13, PARCEL 351
L.4572 / F.719
ZONED: RR-DEO

SEE SHEET #2
FOR CONTINUATION



BASEMENT ACCESS PLAN
SCALE 1"=10'

NO.	REVISION	DATE
1	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	9-9-20
1	SHTS 2+11, ADD FIRE TANK, ADD BASEMENT ACCESS, REV BLDG ELEV, REV VESTIBULE	02-22-05

REVISED SITE DEVELOPMENT PLAN
FOREST STAND DELINEATION PLAN
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
TAX MAP #41 BLOCK 13 PHASE 1 & PHASE 2 PARCEL 351
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

Chuck Schneider 5/19/04
CHUCK SCHNEIDER DATE

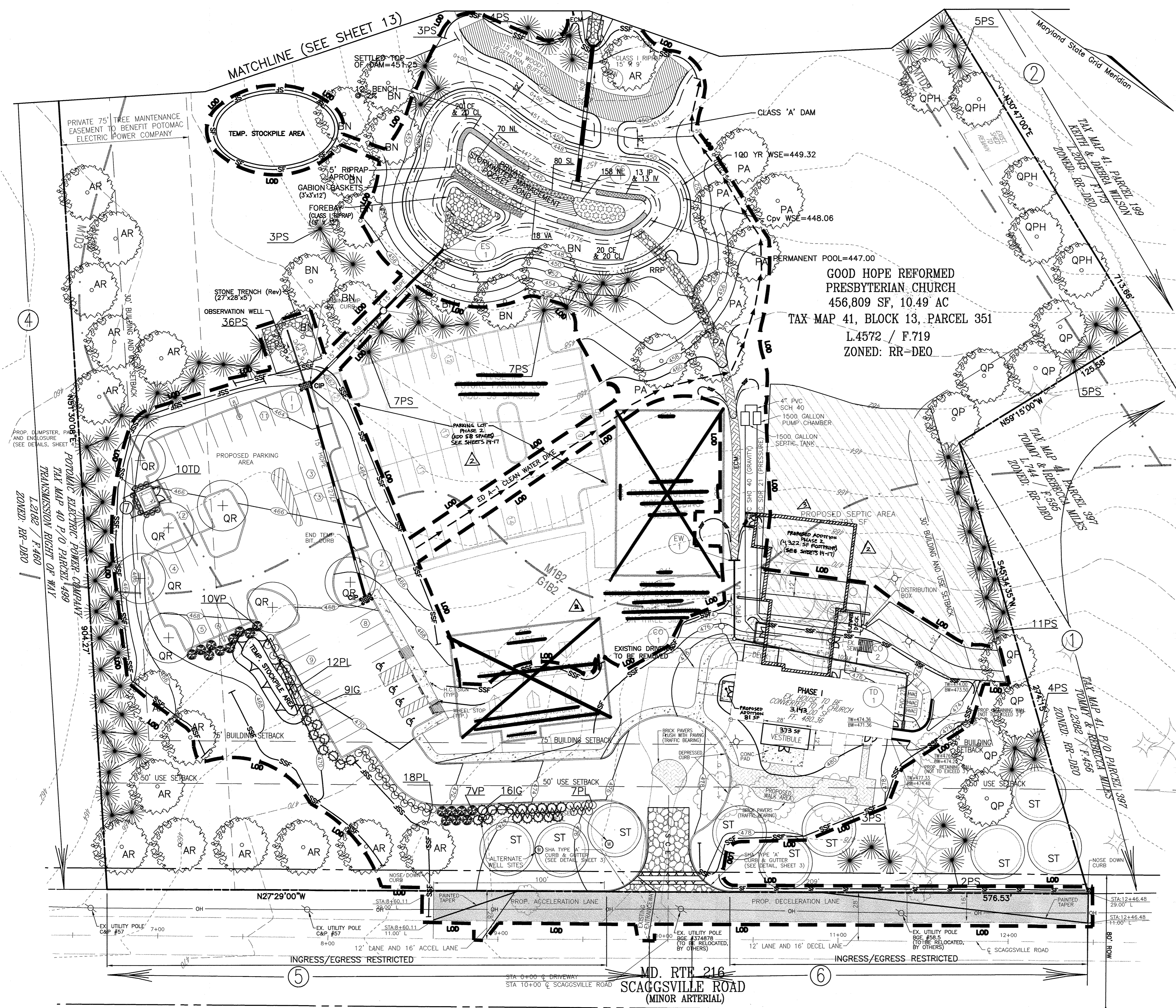
OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217

DESIGN BY: ACS/RHW
DRAWN BY: MAN/DZ
CHECKED BY: ACS
DATE: MAY 2004
SCALE: 1"=30'
W.O. NO.: 2017151

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 6/18/04 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 7/9/04 DATE
DIRECTOR (ACTING) *[Signature]* 7/15/04 DATE

K:\PROJECTS\2017151\ENGR\dwg\DD11.dwg Tue May 18 16:06:40 2004 DZ



- LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - EXISTING TREES (FIELD LOCATED)
 - EXISTING TREE LINE (FIELD LOCATED)
 - EXISTING VEGETATION (APPROXIMATE LOCATION)
 - EXISTING FENCE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - SOILS BOUNDARY
 - SILT FENCE
 - SUPER SILT FENCE
 - LIMIT OF DISTURBANCE
 - EXISTING PAVING TO BE REMOVED AND REPLACED
 - PROPOSED P-2 PAVING
 - EXISTING FEATURE TO BE DEMOLISHED
 - AT GRADE INLET PROTECTION
 - PROPOSED SIDEWALK
 - STABILIZED CONSTRUCTION ENTRANCE
 - FOREST CONSERVATION EASEMENT "RETENTION"
 - FOREST CONSERVATION EASEMENT "AFFORESTATION"

SOILS CLASSIFICATION

TYPE	DESCRIPTION	CLASS	WT	HYDRIC
GIB2	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B	20+	-
MIB2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B	20+	-
MID3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B	20+	-
MID2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B	20+	-

NO.	REVISION	DATE
3	REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO UPDATE THE SEDIMENT CONTROL NOTES TO CURRENT STANDARDS	4-28-21
2	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	9-9-20

REVISED SITE DEVELOPMENT PLAN

FOREST CONSERVATION PLAN

GOOD HOPE REFORMED PRESBYTERIAN CHURCH

PHASE 1 & PHASE 2

TAX MAP #41 BLOCK 13 PARCEL 351
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

CS
 CHUCK SCHNEIDER DATE: 5/11/24

OWNER/DEVELOPER
 GOOD HOPE REFORMED PRESBYTERIAN CHURCH
 714 FIRESTONE DRIVE
 SILVER SPRING, MD 20905
 WILLIAM DAVIS III, BOARD OF TRUSTEES
 (301) 230-5217

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

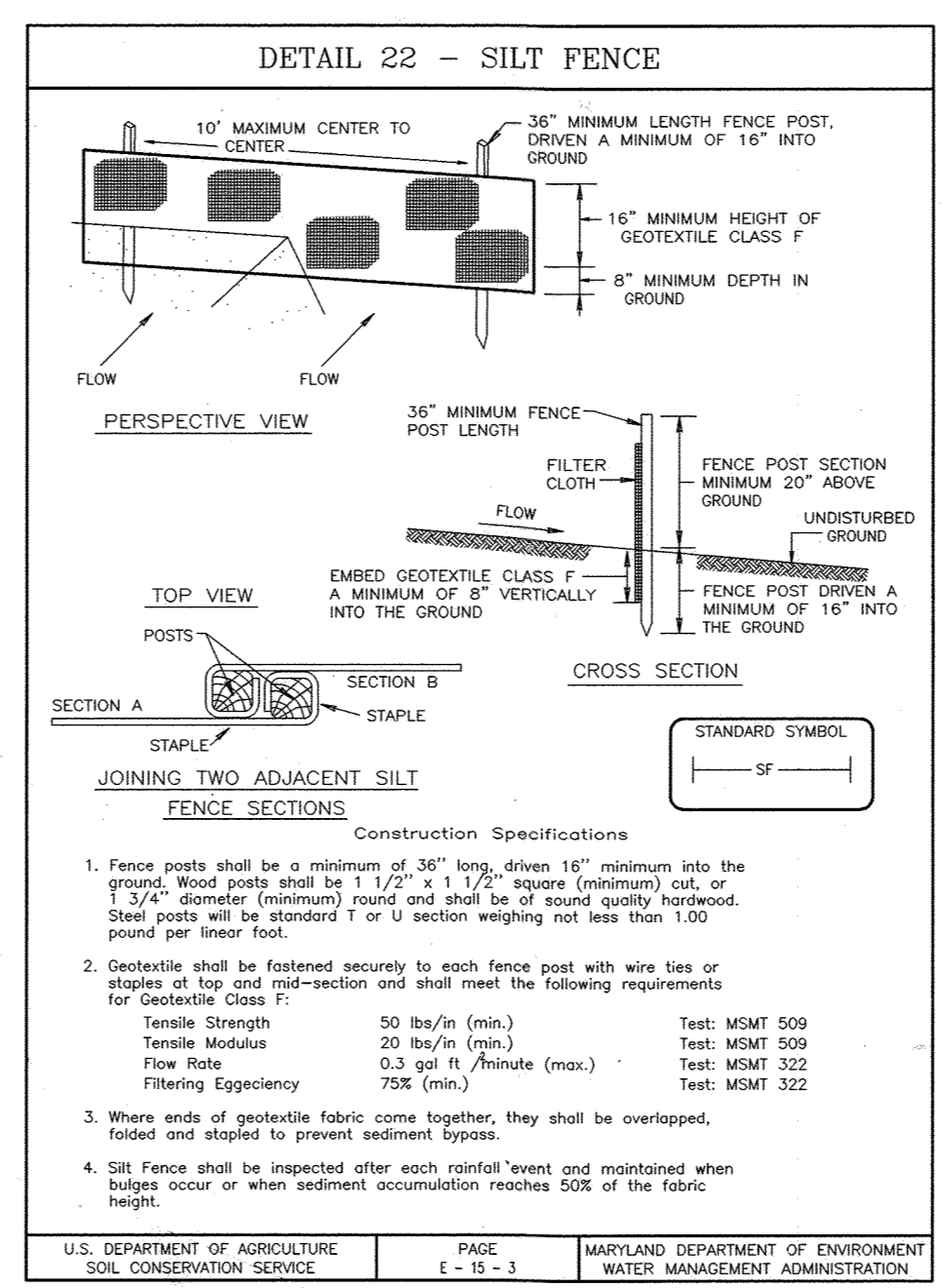
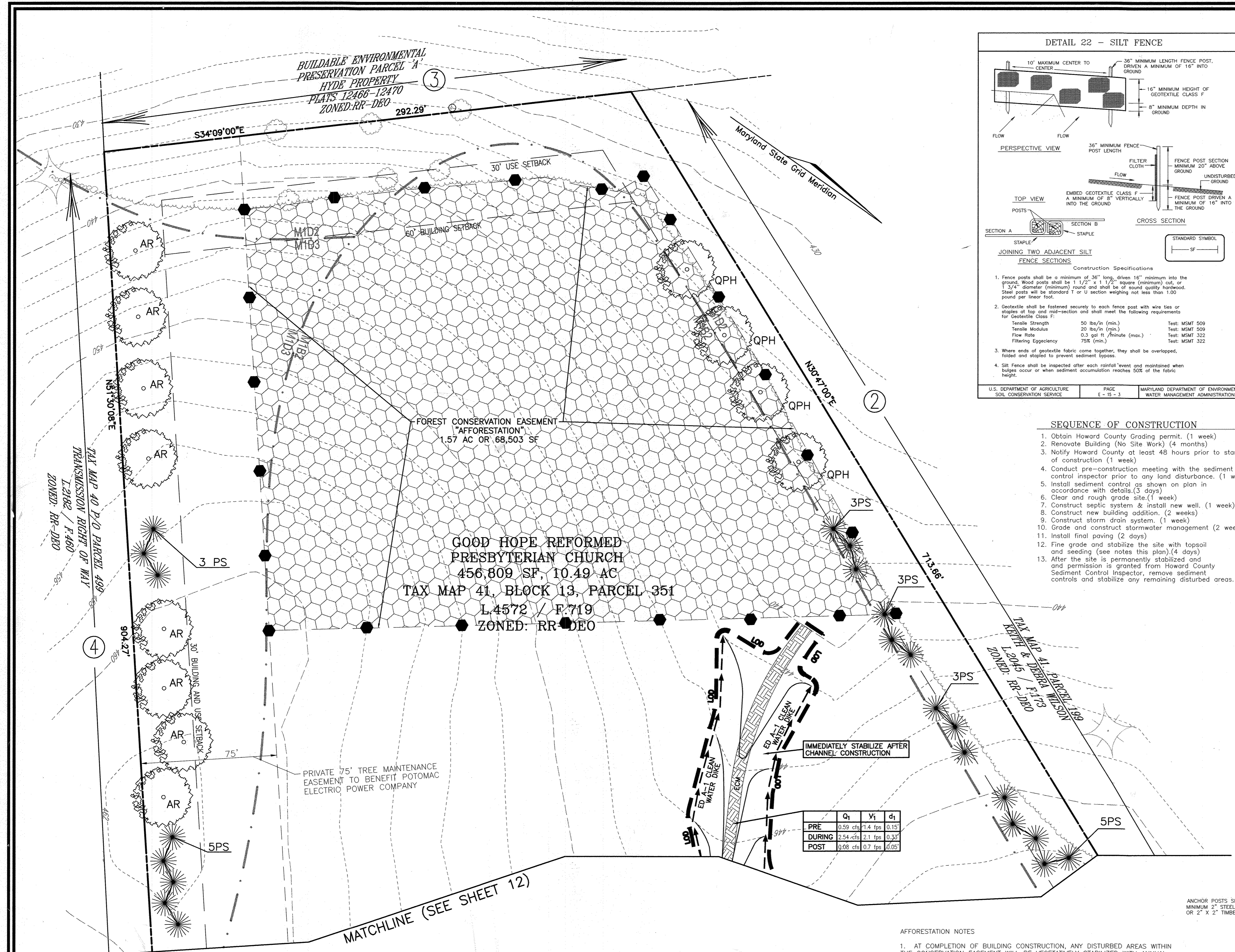
CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE: 6/18/24

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE: 7/9/24

DIRECTOR (ACTING) *[Signature]* DATE: 7/15/24

DESIGN BY: ACS/RHV
 DRAWN BY: MAN/DZ
 CHECKED BY: ACS
 DATE: MAY 2024
 SCALE: 1"=30'
 W.O. NO.: 2017151

12 SHEET OF 17



- #### SEQUENCE OF CONSTRUCTION
1. Obtain Howard County Grading permit. (1 week)
 2. Renovate Building (No Site Work) (4 months)
 3. Notify Howard County at least 48 hours prior to start of construction (1 week)
 4. Conduct pre-construction meeting with the sediment control inspector prior to any land disturbance. (1 week)
 5. Install sediment control as shown on plan in accordance with details. (3 days)
 6. Clear and rough grade site. (1 week)
 7. Construct septic system & install new well. (1 week)
 8. Construct new building addition. (2 weeks)
 9. Construct storm drain system. (1 week)
 10. Grade and construct stormwater management (2 weeks)
 11. Install final paving (2 days)
 12. Fine grade and stabilize the site with topsoil and seeding (see notes this plan). (4 days)
 13. After the site is permanently stabilized and permission is granted from Howard County Sediment Control Inspector, remove sediment control and stabilize any remaining disturbed areas.

FOREST CONSERVATION WORKSHEET

NET TRACT AREA:
 A. TOTAL TRACT AREA: 10.47 AC
 B. AREA WITHIN 100 YEAR FLOODPLAIN: 0.00 AC
 C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION: 0.00 AC
 D. NET TRACT AREA: 10.47 AC

LAND USE CATEGORY (FROM TABLE 3.2.1, PAGE 40, MANUAL)
 INPUT THE NUMBER "1" UNDER THE APPROPRIATE LAND USE ZONING, AND LIMIT TO ONLY ONE ENTRY.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	1	0	0	0

E. AFFORESTMENT THRESHOLD: 15% X D = 1.57 AC
 F. CONSERVATION THRESHOLD: 20% X D = 2.09 AC

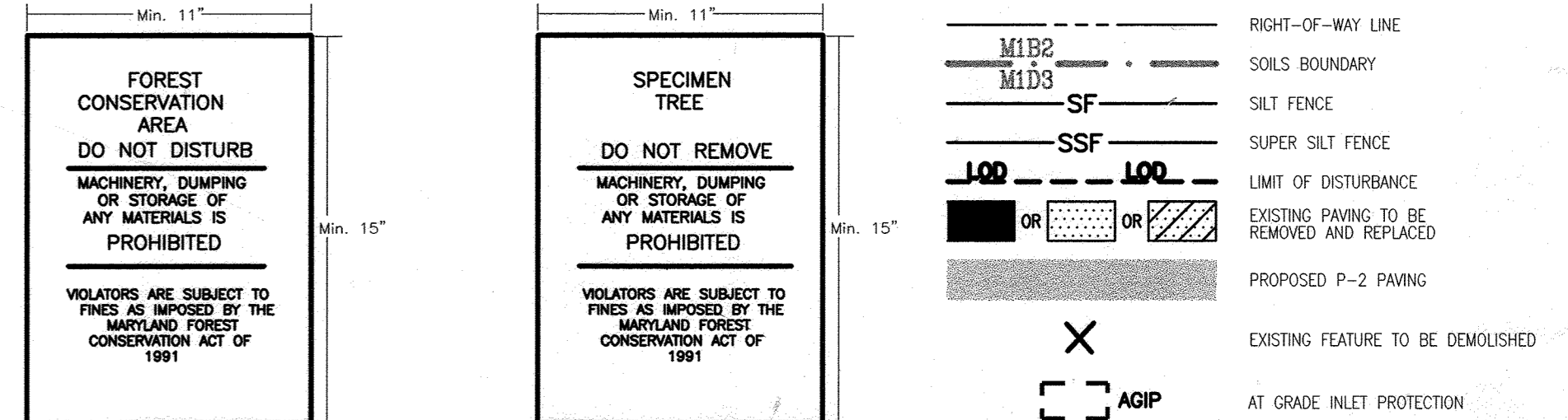
EXISTING FOREST COVER:
 G. EXISTING FOREST COVER (EXCLUDING FLOODPLAIN) = 0.00 AC
 H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD = 0.00 AC
 I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD = 0.00 AC

BREAK EVEN POINT:
 J. FOREST RETENTION WITH NO MITIGATION REQUIRED = 0.00 AC
 K. CLEARING PERMITTED WITHOUT MITIGATION = 0.00 AC

PROPOSED FOREST CLEARING:
 L. TOTAL AREA OF FOREST TO BE CLEARED = 0.00 AC
 M. TOTAL AREA OF FOREST TO BE RETAINED = 0.00 AC

PLANTING REQUIREMENTS:
 N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD = 0.00 AC
 O. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD = 0.00 AC
 P. TOTAL REFORESTATION REQUIRED = 0.00 AC
 Q. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD = 1.57 AC
 R. TOTAL AFFORESTATION REQUIRED = 1.57 AC
 S. TOTAL AFFORESTATION PROVIDED = 1.57 AC
 T. TOTAL REFORESTATION AND AFFORESTATION REQUIRED = 0.00 AC

FOREST CONSERVATION OBLIGATION WILL BE SATISFIED BY ON-SITE AFFORESTATION IN THE AMOUNT OF 1.57 AC.
 see plat #16708

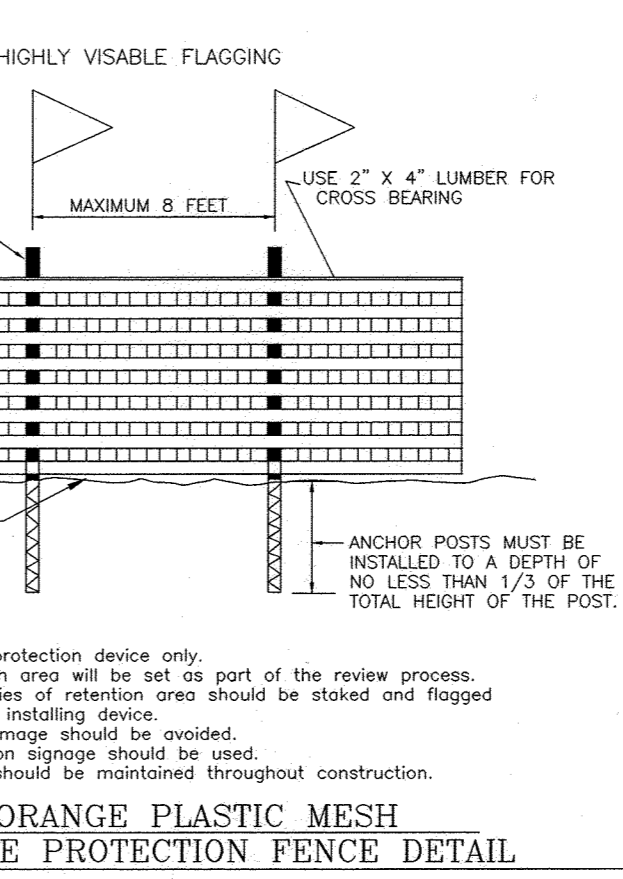


- #### NOTES
1. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO-FOOT CONTOURS PREPARED BY FREDERICK WARD ASSOCIATES, INC. DATED MAY 22, 2001.
 2. THERE IS NO 100 YEAR FLOODPLAIN ON SITE.
 3. SOIL BOUNDARY AND INFORMATION FROM THE SOIL SURVEY OF HOWARD COUNTY, MD, 1968.
 4. THIS PROPERTY CONTAINS NO NONTIDAL WETLANDS, WETLAND BUFFERS, OR WATERS OF THE UNITED STATES.
 5. PLEASE SEE THE LANDSCAPE PLAN, SHEETS 8 AND 9 OF 13, FOR THE PLANT SCHEDULE FOR THE SHOWN LANDSCAPE SPECIES.
 6. FOREST CONSERVATION OBLIGATIONS ON THIS SITE BE FULFILLED BY THE PLANTINGS OF 1.57 ACRES IN AN AFFORESTATION EASEMENT. FINANCIAL SURETY IN THE AMOUNT OF \$34,194.60 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT.

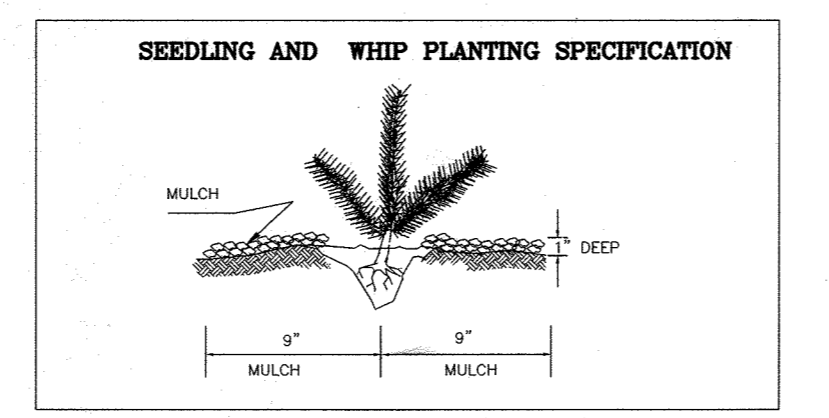
SPECIMEN TREE CHART

DBH (INCHES)	COMMON NAME	RETAIN/REMOVE
32	Red Oak	Remove (TPF)

CHUCK SCHNEIDER 5/9/04
 DATE

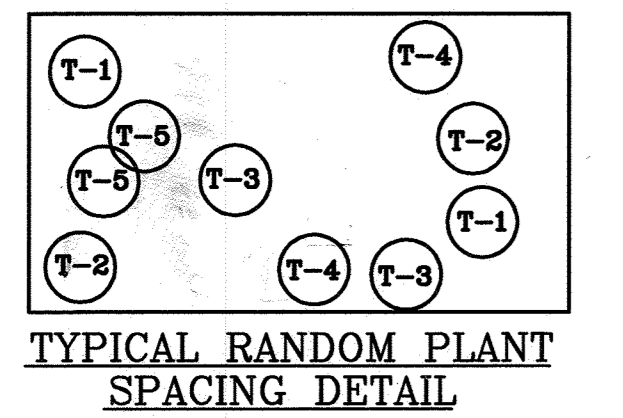


- #### AFFORESTATION NOTES
1. AT COMPLETION OF BUILDING CONSTRUCTION, ANY DISTURBED AREAS WITHIN THE CONSERVATION EASEMENT WILL BE VEGETATIVELY STABILIZED WITH ANNUAL RYE AND BIRDSFOOT TREFOL.
 2. ANY EXISTING TALL GRASSES WITHIN THE CONSERVATION EASEMENT SHALL BE MOWED TO A HEIGHT OF 3 INCHES.
 3. RANDOMLY SPACE 1 GALLON CONTAINER SPECIES/WHIPS SO THAT NO MORE THAN 5 OF ANY PARTICULAR SPECIES ARE PLANTED IN SUCCESSION. PLANT 1" CAL TREES AROUND PERIMETER OF AFFORESTATION AREA.
 4. ALL PROPOSED PLANT MATERIAL TO BE NATIVE PLANT SPECIES. NO ORNAMENTAL CULTIVARS TO BE USED. USE LOCAL GENETIC STOCK UP TO A 100-MILE RADIUS.
 5. AFFORESTATION MANAGEMENT RECORDS SHOULD BE KEPT FOR HOWARD COUNTY REVIEW.
 6. YEAR 1: INSPECT TREES FOR HEALTH AND VIGOR AT: A. BEGINNING OF GROWING SEASON; B. MIDSUMMER AND C. FALL. ADJUST WATERING, PEST CONTROL, WEEDING AND FEEDING AS NEEDED. AFTER ONE YEAR, REPLACE ANY 1" CAL OF 6' HT. TREES THAT DID NOT SURVIVE DURING THE NEXT PLANTING SEASON. 1 GALLON CONTAINER SPECIES SHALL BE REPLACED UP TO 50 PERCENT DURING THE NEXT PLANTING SEASON.
 7. YEAR 2: INSPECT TREES FOR HEALTH AND VIGOR IN APRIL AND OCTOBER. ADJUST WATERING, PEST CONTROL, WEEDING, AND FEEDING AS NEEDED. REPLACE ANY 1" CAL/6' HT. TREES THAT DID NOT SURVIVE YEAR 2 DURING THE NEXT PLANTING SEASON. 1 GALLON CONTAINER SPECIES SHALL BE REPLACED UP TO 50 PERCENT DURING THE NEXT PLANTING SEASON.
 8. CONTRACTOR TO FOLLOW ALL STATE AND COUNTY GUIDELINES FOR AFFORESTATION.
 9. IN ORDER TO INSURE SURVIVABILITY, THE PERSON RESPONSIBLE FOR INSTALLATION SHALL INSPECT AND AMEND THE SOILS PRIOR TO PLANTING. PROVIDE WATER DURING DROUGHT PERIODS, AND REMOVE ANY PESTS OR WEEDS DURING THE 2-YEAR MAINTENANCE PERIOD.



PLANT SCHEDULE

QUAN	BOTANICAL NAME	SIZE	REMARKS
120	Acer Rubrum	1 Gal. Cont./ tree shelter	Random Planting Pattern
120	Fraxinus Pennsylvanica	1 Gal. Cont./ tree shelter	
74	Quercus Coccinea	1 Gal. Cont./ tree shelter	
74	Red Bud	1 Gal. Cont./ tree shelter	
74	Amelanchier Laevis	1 Gal. Cont./ tree shelter	
74	Service Berry	1 Gal. Cont./ tree shelter	
74	Quercus Rubra	1 Gal. Cont./ tree shelter	
74	Red Oak	1 Gal. Cont./ tree shelter	
1462	- TOTAL REFORESTATION PROVIDED=57,572 SF OR 1.32 AC		



- NOTE: 1). Plant mix to be 1/3 pioneer & 2/3 mid to late successional species
 2). Do not plant trees in a grid pattern.

- #### FOREST PROTECTION NOTES
- ##### PRE-CONSTRUCTION ACTIVITIES
- Prior to the start of any construction, the applicant shall arrange a pre-construction meeting with the Howard County DPZ Environmental Planner to address implementation of the forest conservation plan. The installation of signage, and any required fencing will be inspected at that meeting.
1. Install blaze orange fence and forest conservation signs before construction begins.
 2. Fencing shall be maintained in good condition and promptly repaired or restored as the situation warrants.
- ##### CONSTRUCTION PHASE
1. No disturbance or dumping is allowed inside the afforestation area.
 2. No equipment shall be operated inside the afforestation area including tree canopies.
 3. In the event of drought, the protected trees shall be monitored for signs of stress and watered as needed.
- ##### POST-CONSTRUCTION ACTIVITIES
1. At the direction of a qualified tree care expert, damages to retained trees shall be repaired by the contractor.
 2. Fence removal and stabilization shall be as per the sediment and erosion control plan.
 3. Following construction, the applicant shall arrange a post-construction meeting with the Howard County DPZ Environmental Planner to address compliance with the Forest Conservation Plan. Do not remove signs.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 6/18/04

CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 7/14/04

DIRECTOR: [Signature] DATE: 7/19/04

REVISED SITE DEVELOPMENT PLAN

FOREST CONSERVATION PLAN DETAILS

GOOD HOPE REFORMED PRESBYTERIAN CHURCH

TAX MAP #41 BLOCK 13 PHASE 1 & PHASE 2 PARCEL 351
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

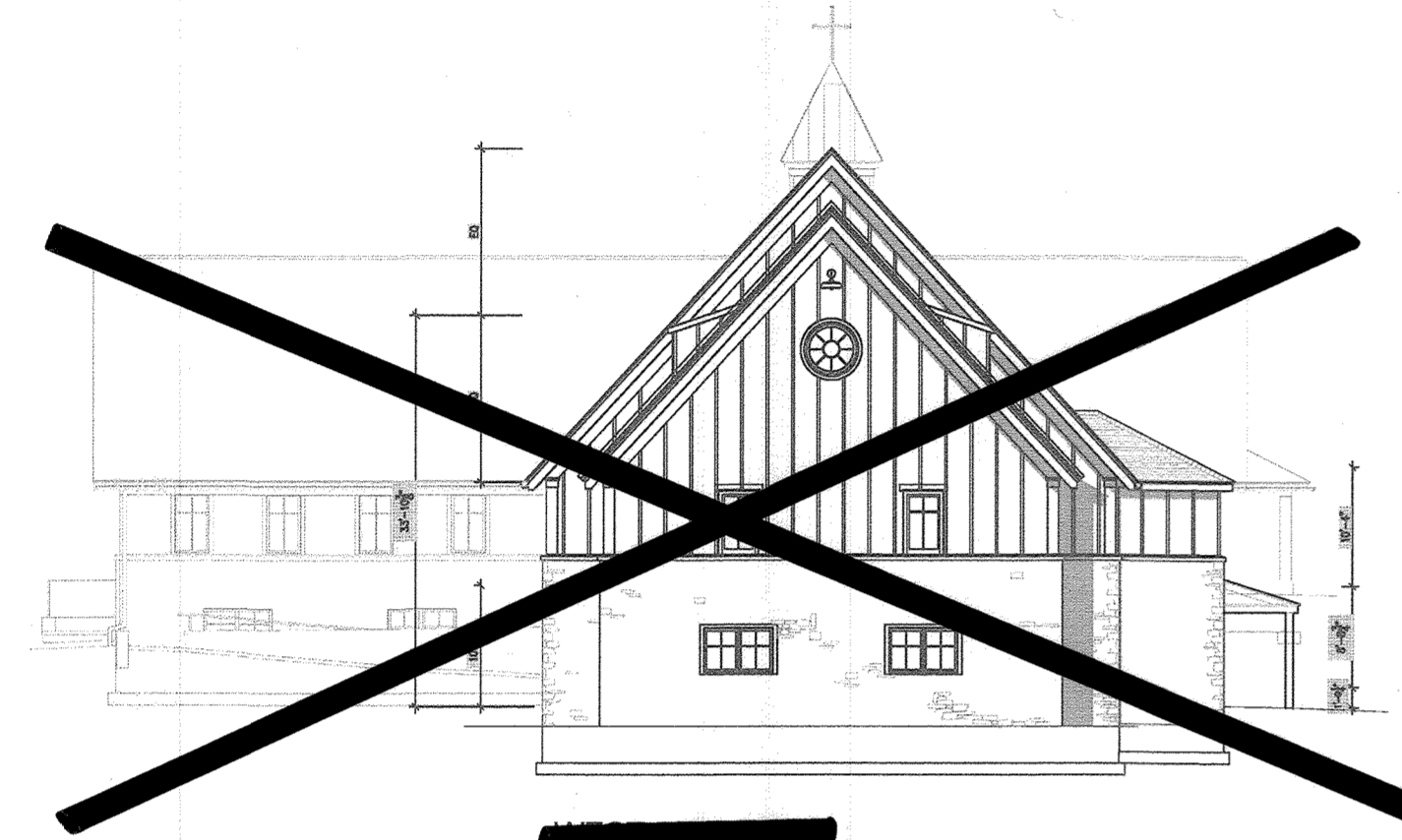
DESIGN BY: ACS/RHV
 DRAWN BY: MAN/DZ
 CHECKED BY: ACS
 DATE: MAY 2004
 SCALE: 1"=30'
 W.O. NO.: 2017151

NO. REVISION DATE
 2 REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS 9-9-20

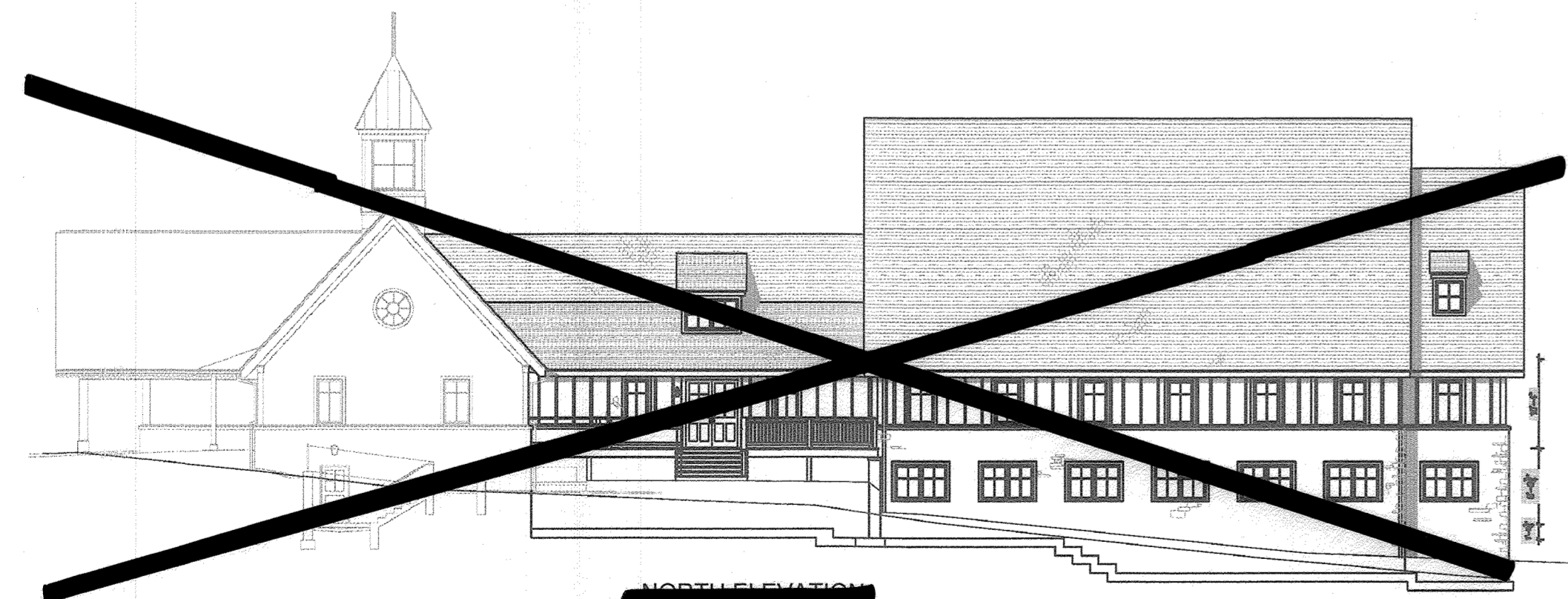
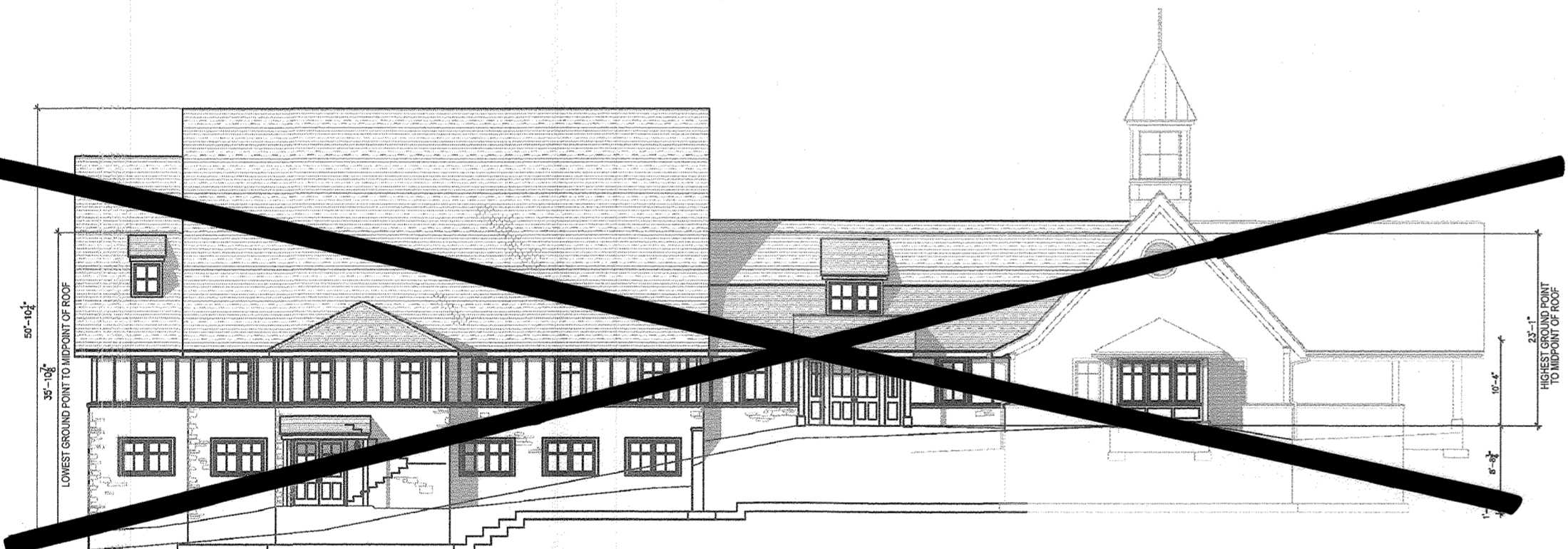
13 SHEET OF 17



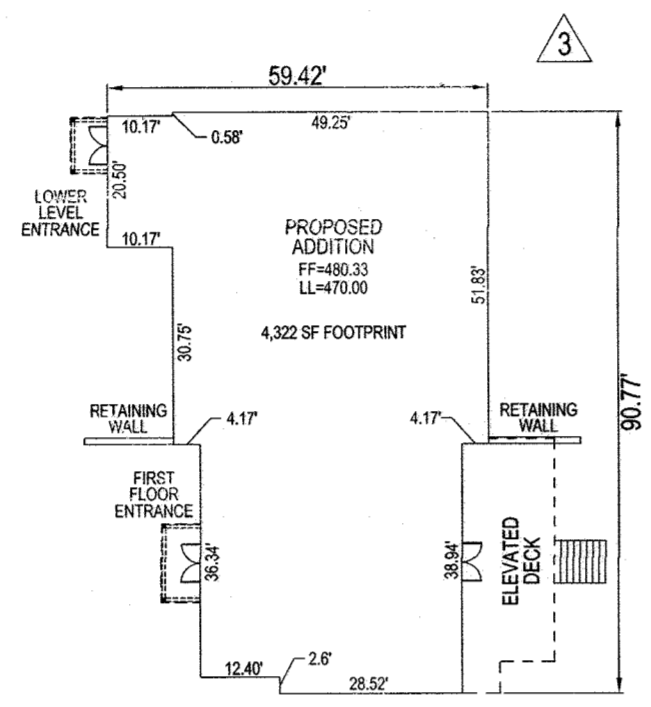
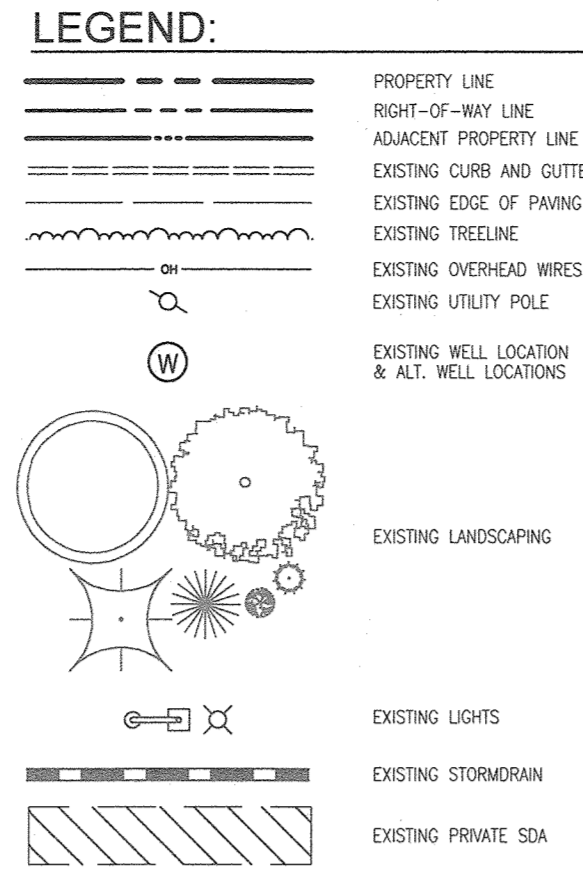
EAST ELEVATION
NOT TO SCALE



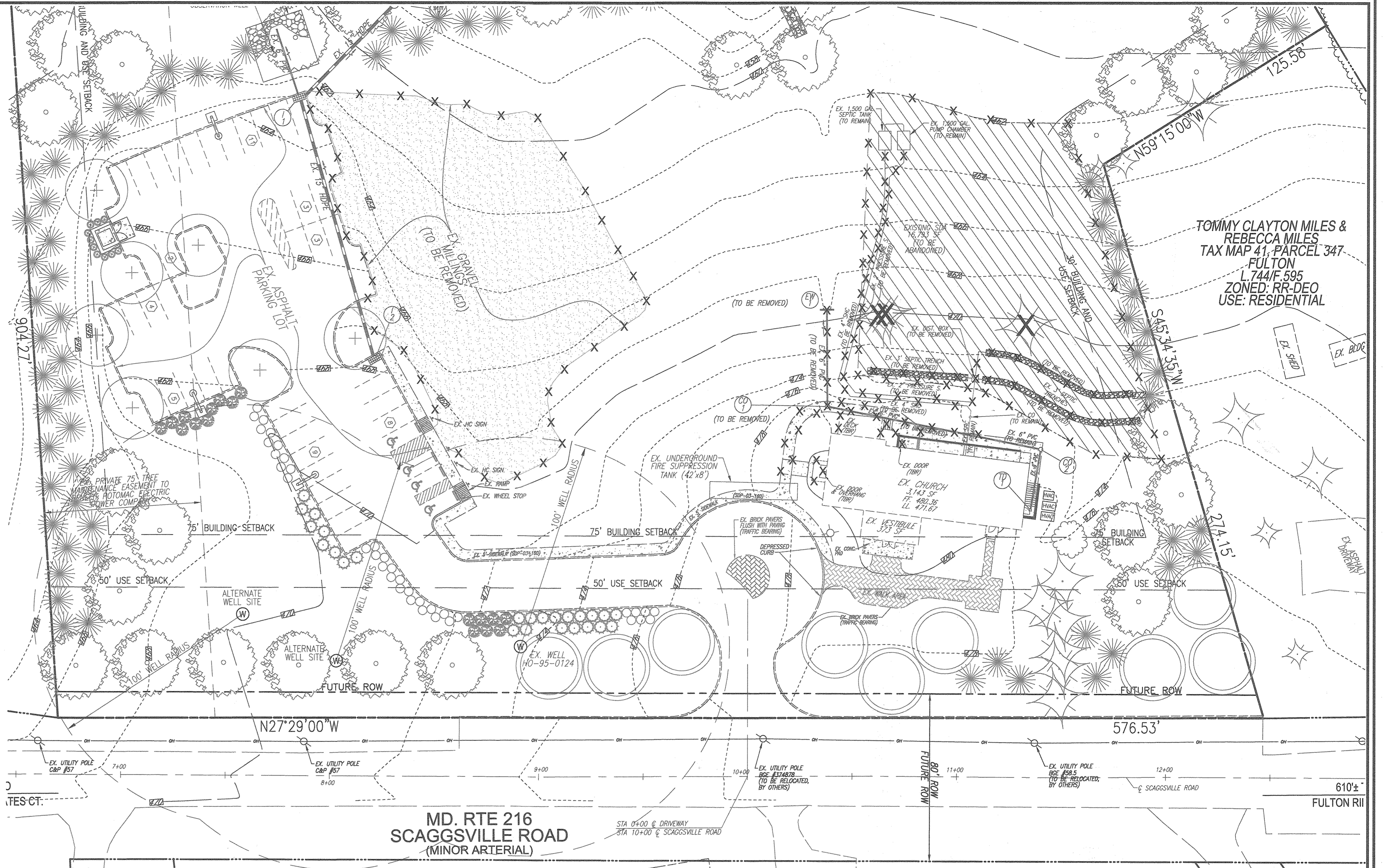
CHURCH ADDITION
SCALE: 1"=30'



NORTH ELEVATION
NOT TO SCALE



CHURCH ADDITION
SCALE: 1"=30'

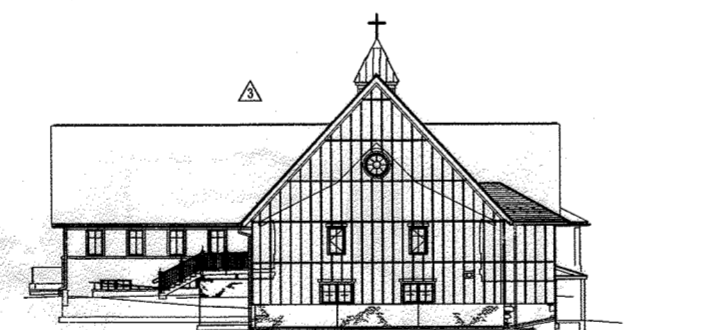


TOMMY CLAYTON MILES &
REBECCA MILES
TAX MAP 41, PARCEL 347
FULTON
L. 744/F. 595
ZONED: RR-DEO
USE: RESIDENTIAL

MD. RTE 216
SCAGGSVILLE ROAD
(MINOR ARTERIAL)

DEMO PLAN
SCALE: 1"=30'

OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217



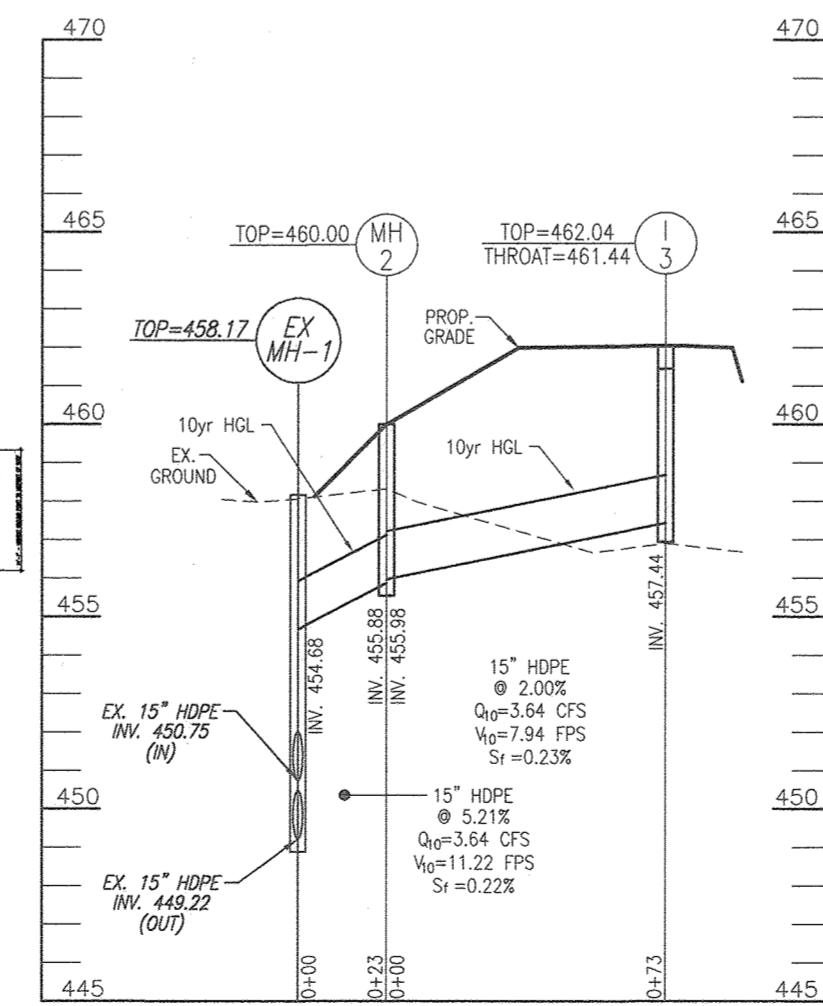
WEST ELEVATION
NOT TO SCALE



SOUTH ELEVATION
NOT TO SCALE



NORTH ELEVATION
NOT TO SCALE



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

DEMO PLAN
SCALE: 1"=30'

PIPE SCHEDULE

SIZE	TYPE / CLASS	TOTAL LENGTH
15"	HDPPE (SD)	96
4"	PVC RD (SD)	97
8"	PVC RD (SD)	246
12"	PVC (SD)	40

THE TOTAL LENGTH OF PIPE IS LINEAR FEET ONLY.
HOPE IS TO BE SMOOTH INTERIOR. CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

STRUCTURE SCHEDULE

STR #	TYPE	LOCATION	ELEV	INV IN	INV OUT	DETAIL	COMMENTS/REMARKS
13	TYPE A-10	N+544208.12 E+1330703.45	462.04	461.44	457.44	HO. CO. STD. D-4.03	
MH-2	4"Ø STD. PRECAST MANHOLE	N+543073.01 E+1330703.01	460.00	-	455.98	455.98 HO. CO. STD. D-4.12	
EW-2	TYPE "C" ENDWALL (12" PIPE)	N+544155.74 E+1330693.31	463.75	-	462.00	HO. CO. STD. D-5.21 MODIFIED FOR 6" PIPE	

1. TOP ELEVATIONS ARE TO CENTER TOP OF MANHOLE AND CENTER TOP OF INLET.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Phelan
CHIEF, DEVELOPMENT ENGINEERING DIVISION *PT* 12-14-20
DATE

Kyle B
CHIEF, DIVISION OF LAND DEVELOPMENT *KB* 12/23/20
DATE

Chris
DIRECTOR 12-23-20
DATE

FOR EXISTING STORM DRAIN PROFILES SEE SHEET 5.

NO.	REVISION	DATE
1	REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO UPDATE THE SEDIMENT CONTROL NOTES TO CURRENT STANDARDS	4-28-21
2	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	09-09-20
1	ADD FIRE TANK, ADD BASEMENT ACCESS AND REVISE BUILDING, ELEVATIONS AND VESTIBULE	02-22-05

REVISED SITE DEVELOPMENT PLAN
PHASE 2 DEMO PLAN, BUILDING ELEVATIONS,
AND STORM DRAIN PROFILE
GOOD HOPE REFORMED
PRESBYTERIAN CHURCH
PHASE 1 & PHASE 2

TAX MAP: 41 GRID: 13
5TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

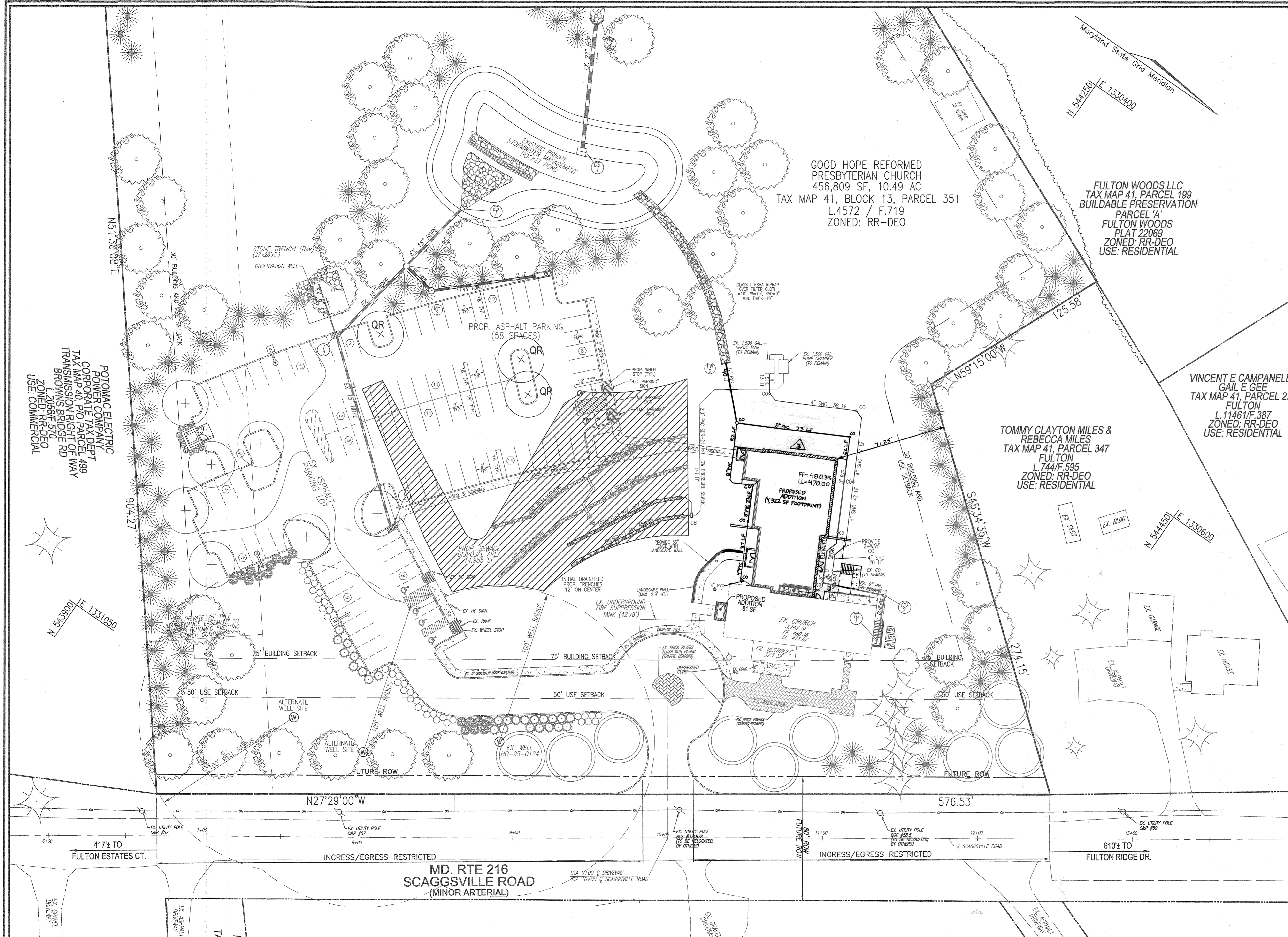
PROFESSIONAL CERTIFICATE

STATE OF MARYLAND
ROBERT HARRIS VOGEL
NO 16193
REGISTERED PROFESSIONAL ENGINEER
EXPIRATION DATE: 09-27-2022

DESIGN BY: RHV/DZE
DRAWN BY: DZE/JMR
CHECKED BY: RHV
DATE: SEPTEMBER 2020
SCALE: 1"=30'
W.O. NO.: 00-151/2017151

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022.

14 SHEET OF 17



LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVING
- EXISTING TREELINE
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- EXISTING WELL LOCATION & ALT. WELL LOCATIONS
- EXISTING LANDSCAPING
- EXISTING LIGHTS
- EXISTING STORAGE
- APPROVED PRIVATE SDA

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	58
NUMBER OF TREES REQUIRED	3
NUMBER OF TREES PROVIDED	3
SHADE TREES	3
OTHER TREES (2:1 SUBSTITUTION)	-

PLANT LIST - SCHEDULE B (PARKING LOT)

KEY	QUAN	BOTANICAL NAME	SIZE	CAT
QR	3	QUERCUS RUBRA RED OAK	2.5"-3" CAL	B & B

NOTE:
ANY EXISTING LANDSCAPING THAT IS DISTURBED IS TO BE RELOCATED, OR REPLACED, AS NEEDED

GENERAL NOTES:
1. LANDSCAPING IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
2. FINANCIAL SURETY IN THE AMOUNT OF \$900.00 FOR THE REQUIRED 3 SHADE TREES FOR REDLINE #2 SHALL BE POSTED AS PART OF THE GRADING PERMIT.

OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217

NO.	REVISION	DATE
1	REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO UPDATE THE SEWAGE CONTROL NOTES TO CURRENT STANDARDS	4-20-21
2	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	09-09-20
1	ADD FIRE TANK, ADD BASEMENT ACCESS AND REVISE BUILDING, ELEVATIONS AND VESTIBULE	02-22-05

REVISED SITE DEVELOPMENT PLAN
PHASE 2 SITE LAYOUT AND LANDSCAPE PLAN
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
PHASE 1 & PHASE 2

TAX MAP: 41, GRID: 13
5TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com



PROFESSIONAL CERTIFICATE
DESIGN BY: RHW/DZE
DRAWN BY: DZE/JMR
CHECKED BY: RHW
DATE: SEPTEMBER 2020
SCALE: 1"=30'
W.O. NO.: 00-151/2017151

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

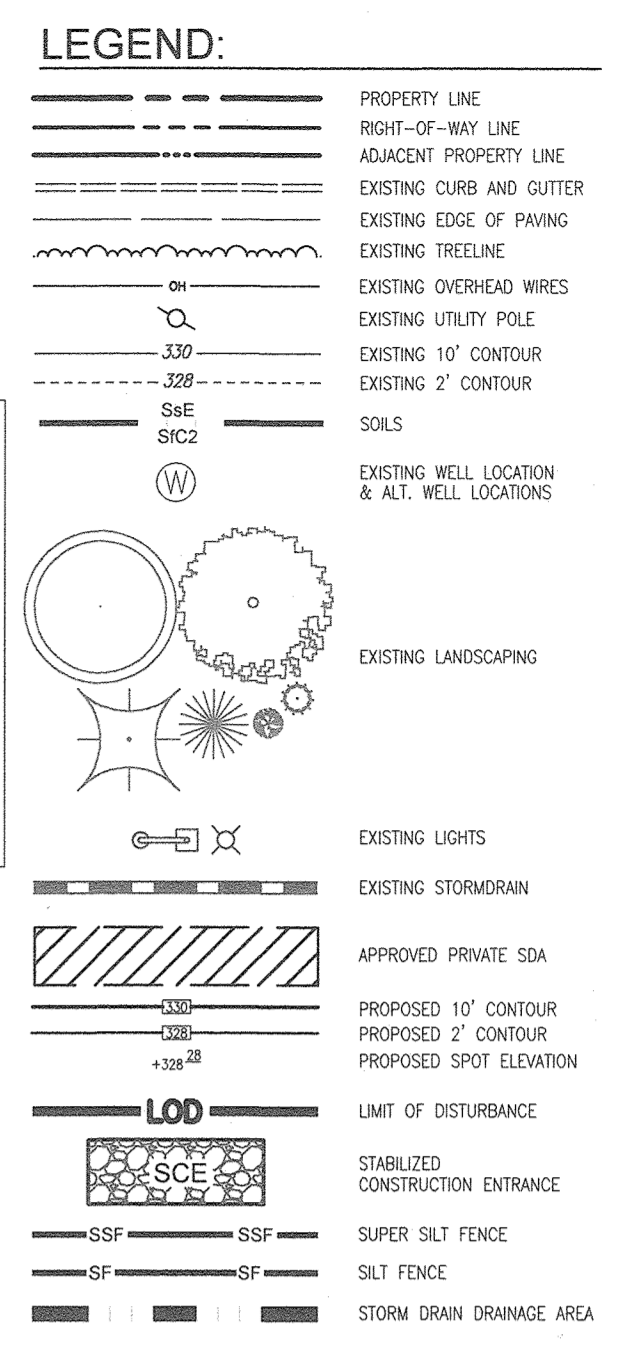
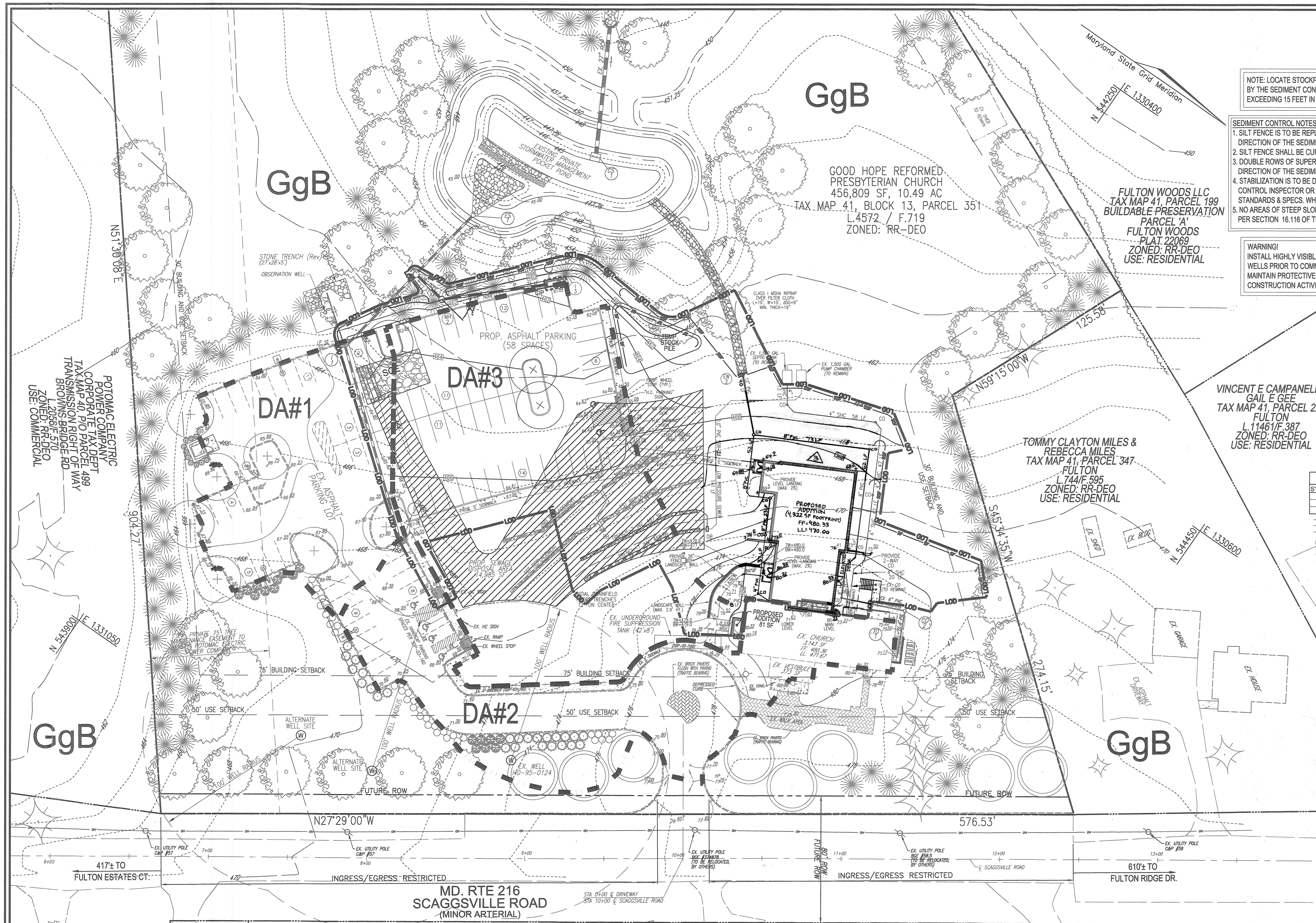
DEVELOPER'S/BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
SIGNATURE OF DEVELOPER
DATE

PLAN VIEW
SCALE: 1"=30'

FLORENTINE J BOARMAN & ROSETTE A BOARMAN
TAX MAP 41, PARCEL 62, LOT 4
BOARMAN PROPERTY
L 5048/F 582
PLAT 20442
ZONED: RR-DEO
USE: RESIDENTIAL

CHRISTOPHER L RAND
VICTORIA RAND
TAX MAP 41, PARCEL 62, LOT 2
BOARMAN PROPERTY
L 11600/F 478
PLAT 20442
ZONED: RR-DEO
USE: RESIDENTIAL

FULTON RIDGE HOMEOWNERS ASSOCIATION INC
TAX MAP 41, PARCEL 50
PARCEL C
FULTON RIDGE
L 12402/F 42
PLAT 18906
ZONED: RR-DEO
USE: RESIDENTIAL



NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

SEDIMENT CONTROL NOTES:

- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- STABILIZATION IS TO BE DONE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 STANDARDS & SPECS. WHICHEVER IS MORE RESTRICTIVE.
- NO AREAS OF STEEP SLOPES AS HATCHED HEREON ARE REGULATED PER SECTION 16.116 OF THE HOWARD COUNTY SUB. REG.'S.

WARNING!
INSTALL HIGHLY VISIBLE AND PROTECTIVE DEVICES AROUND WELLS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS. MAINTAIN PROTECTIVE DEVICES THROUGHOUT DURATION OF CONSTRUCTION ACTIVITIES

Table B.1: Temporary Seeding for Site Stabilization

Plant Species	Seeding Rate* (lb/1000 sq ft)	Seeding Depth* (inches)	Recommended Seeding Dates by Plant Hardiness Zone**			
			1b and 4a	6b	7a and 7b	8a and 8b
Annual Ryegrass (Lolium perenne)	40	0.5	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10
Bahiá (Cynodon dactylon)	60	2.0	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10
Orchard Grass (Dactylis glomerata)	75	1.0	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10
Wheat (Triticum aestivum)	120	2.0	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10
Coastal Ryegrass (Lolium perenne)	110	2.0	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10
Red Top (Lolium perenne)	30	0.5	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10	Mid 12 to Mid 11, Aug 1 to Sep 10

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRIC
GgB	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	C	.49	YES	YES
GgC	GAILA LOAM, 8 TO 15 PERCENT SLOPES	B	.55	YES	NO
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	.37	YES	NO

-SOILS INFORMATION FROM USDA WEB SOIL SURVEY WEBSITE
-K VALUES PER www.howardcountymd.org/documents - K FACTORS (USE KW)
-HOWARD COUNTY SOILS MAP NUMBER 23 - CLARKSVILLE SE

FOR STORM DRAIN PROFILES SEE SHEETS 5 AND 14.

SD Drainage Area Chart

DRAINAGE AREA	AREA AC	C	IMP %
DA-1 (I-1)	0.39	0.78	88%
DA-2 (I-2)	0.49	0.73	81%
DA-3 (I-3)	0.84	0.51	49%

OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DR.
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217

NO.	REVISION	DATE
1	REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO UPDATE THE SEDIMENT CONTROL NOTES TO CURRENT STANDARDS	4-28-21
2	REVISE THE PLAN TO SHOW THE PHASE 2 IMPROVEMENTS	09-09-20
1	ADD FIRE TANK, ADD BASEMENT ACCESS AND REVISE BUILDING, ELEVATIONS AND VESTIBULE	02-22-05

REVISED SITE DEVELOPMENT PLAN
PHASE 2 GRADING AND SEDIMENT CONTROL PLAN; STORM DRAIN DRAINAGE AREA MAP
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
PHASE 1 & PHASE 2
TAX MAP: 41 GRID: 13 5TH ELECTION DISTRICT PARCEL: 351 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
DESIGN BY: RHW/DZE
DRAWN BY: DZE/JMR
CHECKED BY: RHW
DATE: SEPTEMBER 2020
SCALE: 1"=30'
W.O. NO.: 00-151/2017151
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DEX LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 11843 EXPIRATION DATE: 09-27-2022
16 SHEET OF 17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
12/14/20
12/23/20
12-23-20
DATE
DATE
DATE

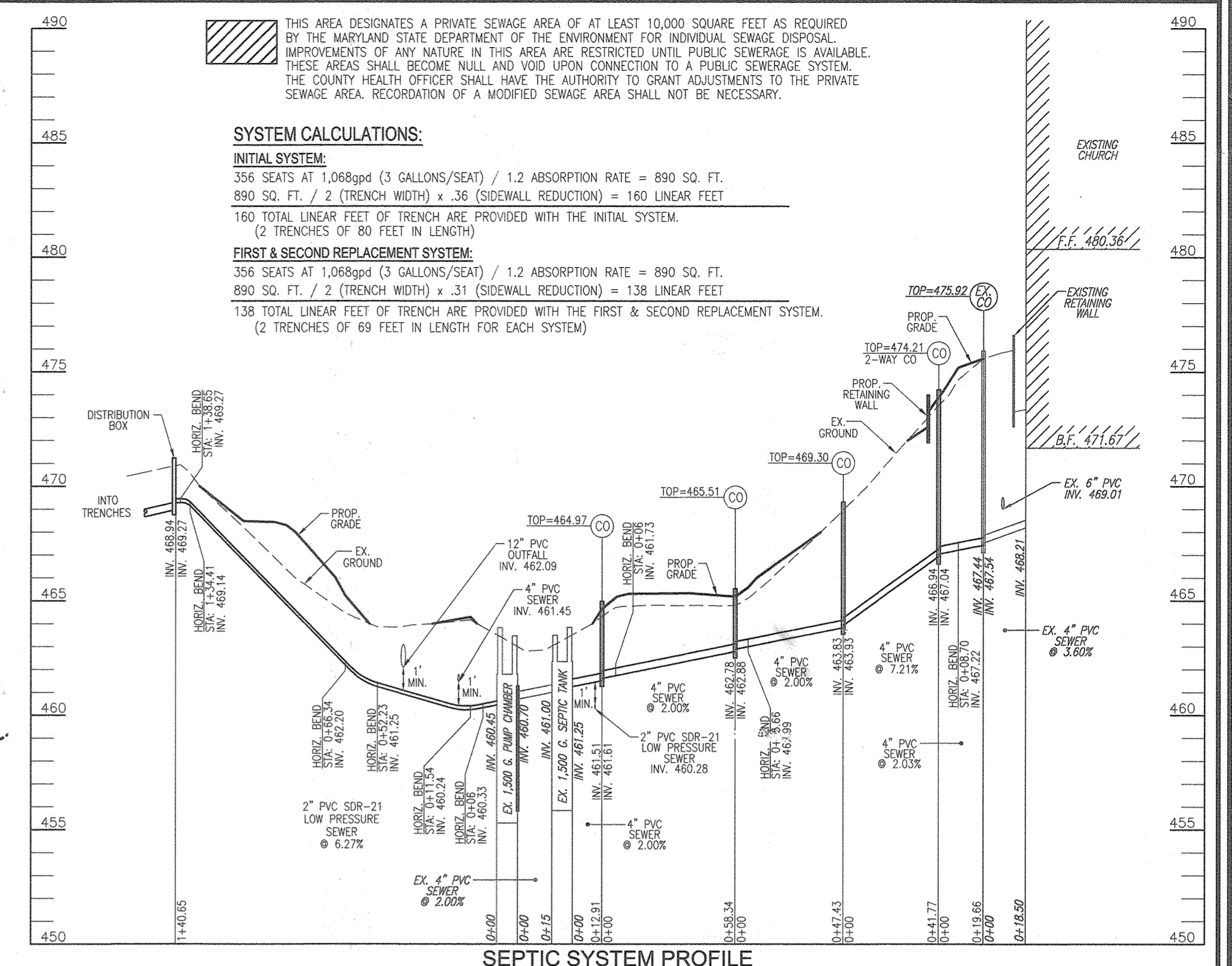
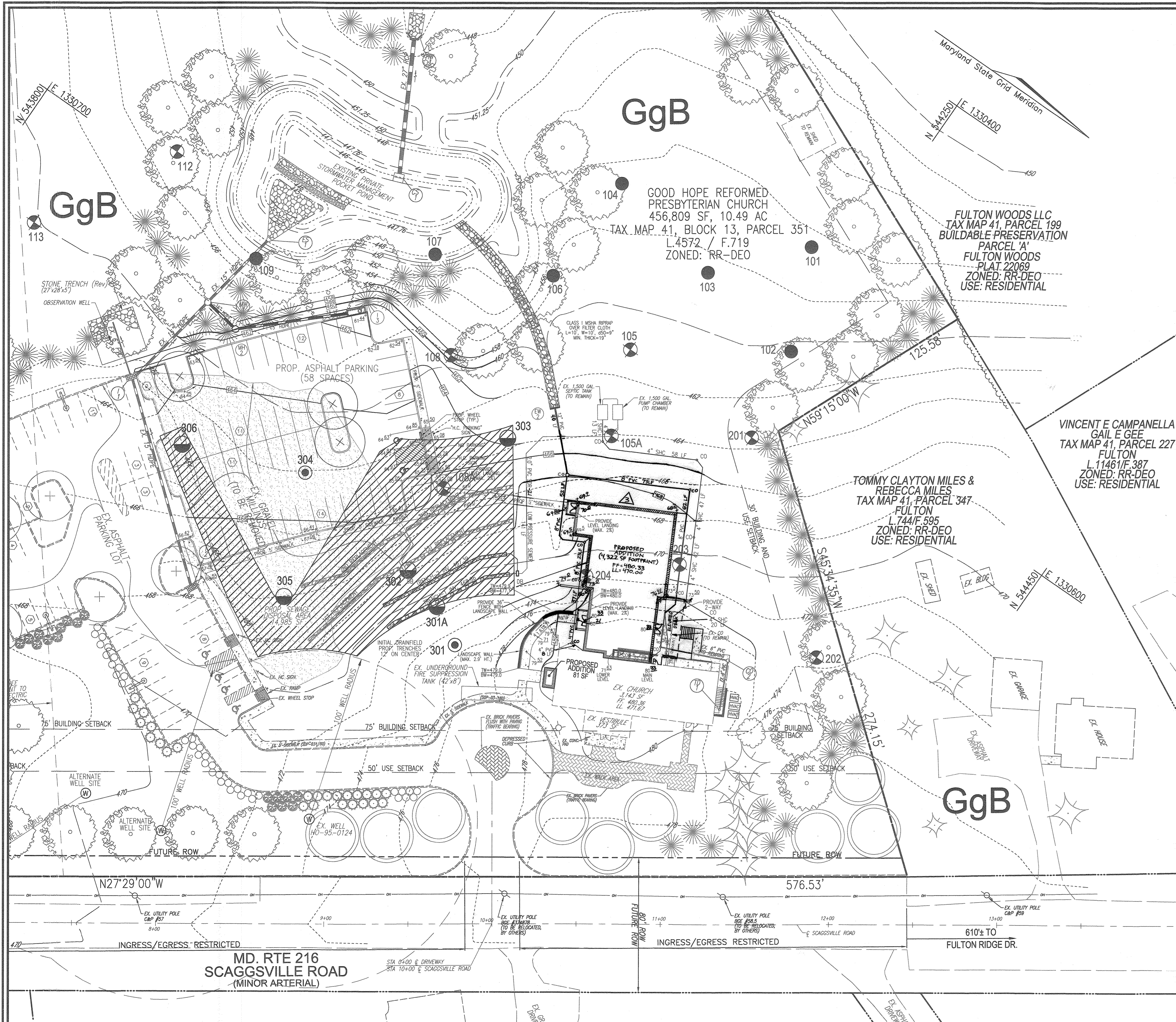
OWNER/DEVELOPER CERTIFICATION:
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT, OR MDE.
10/28/20
DATE
Don Thurman
PRINTED NAME & TITLE

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
10/12/20
DATE
Robert H. Vogel
DESIGNER'S SIGNATURE
PRINTED NAME
MD REGISTRATION NO. 16193
R.L.S. OR R.L.A. (circle one)

PLAN VIEW
SCALE: 1"=30'
15' 0' 30'
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Alexander Butcher
06/09/21
DATE
HOWARD S.C.D.

CHRISTOPHER L RAND
VICTORIA RAND
TAX MAP 41, PARCEL 62, LOT 2
BOARMAN PROPERTY
L.11600/F.478
PLAT 20442
ZONED: RR-DEO
USE: RESIDENTIAL

FULTON RIDGE HOMEOWNERS ASSOCIATION INC
TAX MAP 41, PARCEL 50
PARCEL C
FULTON RIDGE
L.12402/F.42
PLAT 18906
ZONED: RR-DEO
USE: RESIDENTIAL



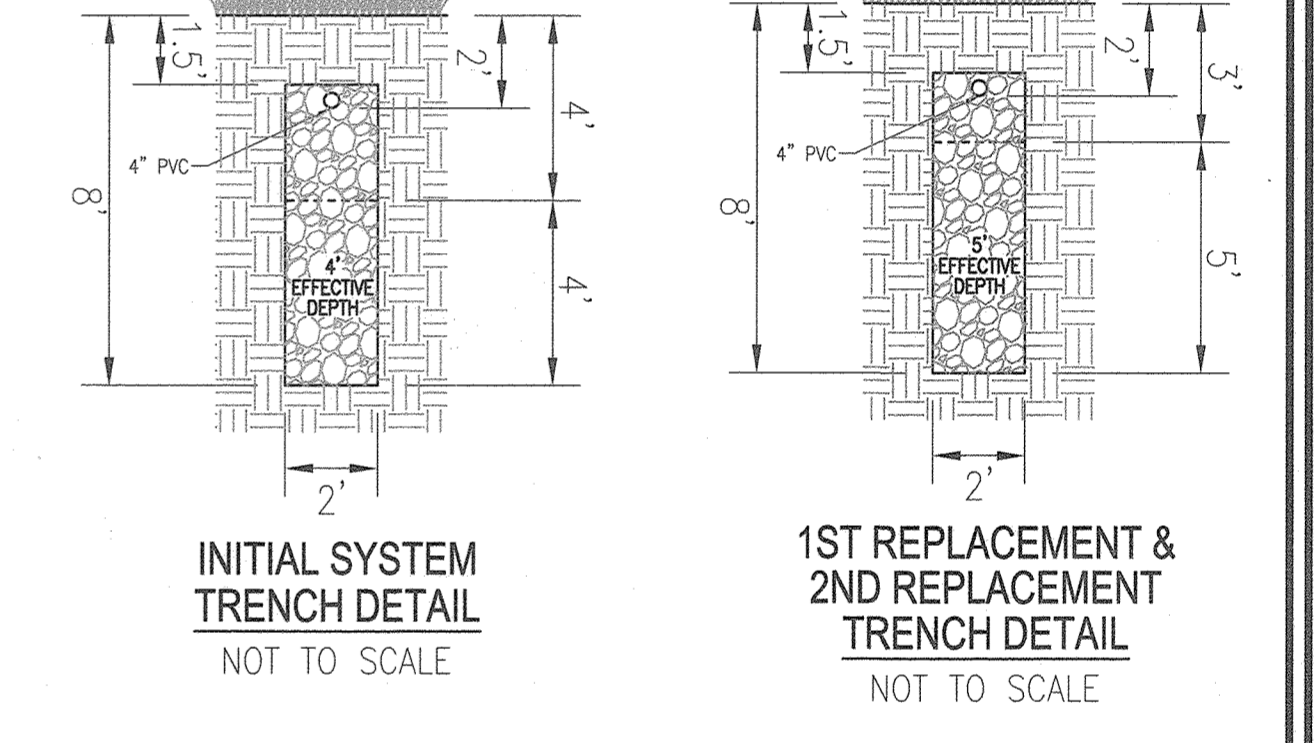
SEPTIC SYSTEM PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

TRENCH	LENGTH	INCH	INCH	INCH	INCH
1	80	458.88	462.86	470.85	
2	80	467.39	461.39	469.39	

WELL LOCATION CERTIFICATION:
THE EXISTING WELL SHOWN ON THIS PLAN (TAG #H0-05-0124) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN

SIZE	TYPE / CLASS	TOTAL LENGTH
4"	PVC SHC (SEWER)	181
2"	PVC SDR-21 LOW PRESSURE	141

THE TOTAL LENGTH OF PIPE IS LINEAR FEET ONLY. CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



- GENERAL NOTES:**
- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 - THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
 - ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
 - THE EXISTING TOPOGRAPHY IS BASED ON A FIELD RUN TOPOGRAPHICAL SURVEY PREPARED BY FREDERICK WARD AND ASSOCIATES, DATED FEBRUARY 2001, MARCH 2001, APRIL 2006, AND AUGUST 2006.
 - ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
 - EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWNGRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN USING ALL REASONABLE EFFORTS.

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVING
- EXISTING TREELINE
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- S&E
- SOILS
- EXISTING WELL LOCATION & ALT. WELL LOCATIONS
- EXISTING LANDSCAPING
- EXISTING LIGHTS
- EXISTING STORMDRAIN
- APPROVED PRIVATE SDA
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION

OWNER/DEVELOPER
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
714 FIRESTONE DRIVE
SILVER SPRING, MD 20905
WILLIAM DAVIS III, BOARD OF TRUSTEES
(301) 230-5217

NO.	REVISION	DATE
1	REVISE THE BUILDING FOOTPRINT PROPOSED UNDER THE PHASE 2 IMPROVEMENTS AND TO	4-28-21
2	UPDATE THE SEDIMENT CONTROL NOTES TO CURRENT STANDARDS	09-09-20
1	ADD FIRE TANK, ADD BASEMENT ACCESS AND REVISE BUILDING, ELEVATIONS AND VESTIBULE	02-22-05

REVISED SITE DEVELOPMENT PLAN
PHASE 2 ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
GOOD HOPE REFORMED PRESBYTERIAN CHURCH
PHASE 1 & PHASE 2
TAX MAP: 41 GRID: 13
5TH ELECTION DISTRICT

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022.

DESIGN BY: RHW/DZE
DRAWN BY: DZE/JMR
CHECKED BY: RHW
DATE: SEPTEMBER 2020
SCALE: 1"=30'
W.O. NO.: 00-151/2017151

ROBERT H. VOGEL, PE No.16193

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS
County Health Officer
Howard County Health Department

FLORENTINE J BOARMAN & ROSETTE A BOARMAN
TAX MAP 41, PARCEL 62, LOT 4
BOARMAN PROPERTY
L 5048/F 582
PLAT 20442
ZONED: RR-DEO
USE: RESIDENTIAL

CHRISTOPHER L RAND
VICTORIA RAND
TAX MAP 41, PARCEL 62, LOT 2
BOARMAN PROPERTY
L 11600/F 478
PLAT 20442
ZONED: RR-DEO
USE: RESIDENTIAL

FULTON RIDGE HOMEOWNERS ASSOCIATION INC
TAX MAP 41, PARCEL 50
PARCEL C
FULTON RIDGE
L 12402/F 42
PLAT 18906
ZONED: RR-DEO
USE: RESIDENTIAL