

BENCHMARKS:

HORIZONTAL AND VERTICAL CONTROL IS BASED ON MARYLAND STATE PLANE SYSTEM (NAD 83/91 AND NGVD1929) AND ARE REFERENCED TO THE FOLLOWING HOWARD COUNTY TRAVERSE STATIONS:

Table with 4 columns: Station ID, Northing, Easting, Elevation. Rows: 50BA (N 527,561.668, E 1,359,772.600, ELEV. 249.340), 50B5 (N 524,999.357, E 1,357,925.680, ELEV. 178.103)

ED GENERAL NOTES

- 1. ALL CONSTRUCTION PLANS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- 2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1 (800) 257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- 3. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
MISS UTILITY (800) 257-7777
BELL ATLANTIC (800) 954-6254
HOWARD COUNTY BUREAU OF UTILITIES (410) 313-2386
AT&T CABLE LOCATION DIVISION (202) 393-3553
B.G.&E. CO. CONTRACTOR SERVICES (410) 850-4620
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL (410) 787-4620
STATE HIGHWAY ADMINISTRATION (410) 531-5533
- 4. SITE ANALYSIS:
AREA OF PARCEL - 2.509 ACRES
PRESENT ZONING - B-2
USE OF STRUCTURE - DAYS INN HOTEL
TOTAL BUILDINGS COVERAGE ON SITE - 18,880 S.F. OR 0.43 AC. OR 17.14% OF GROSS AREA
PAVED PARKING LOT/AREA ON SITE - 1.08 AC OR 43.0% OF GROSS AREA
AREA OF LANDSCAPE - 1.00 AC (48610 S.F.)
LIMIT OF DISTURBANCE - 1.90 AC.
- 5. PROJECT BACKGROUND:
LOCATION - HOWARD COUNTY, MARYLAND TAX MAP 50, BLOCK 4, PARCEL 488, LOT 6589
ZONING - B-2, RECORDED PLAT #6589
SITE AREA - 2.509 ACRES
RELATED DPZ FILES: F77-127, VP82-54, F82-110, SDP83-22, F83-34.
- 6. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- 7. ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- 8. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- 9. ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 PSI.
- 10. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 11. ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- 12. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL TO CONFORM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- 13. ALL STORM DRAIN PIPE BEDDING TO BE CLASS 'C' AS SHOWN IN VOLUME I OF THE HOWARD COUNTY DESIGN MANUAL.
- 14. UNDERGROUND STORMWATER MANAGEMENT PROVIDED WITH THIS PLAN IS OWNED AND MAINTAINED BY DAYS INN HOTEL.
- 15. COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS 50BA AND 50B5.
- 16. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- 17. EXISTING TOPOGRAPHY IS FROM A TOPOGRAPHIC SURVEY PERFORMED BY EBA ENGINEERING/PROPOSE OF EBA, INC IN NOVEMBER, 2002.
- 18. WATER FOR THIS PROJECT IS PUBLIC. EXISTING 2" WATER CONNECTION WILL BE UPGRADED TO 6". EXISTING MAIN WATER LINE CONTRACT No. H08295176, S-HA.
- 19. SEWER FOR THIS PROJECT IS PUBLIC. PROPOSED 4" SANITARY WILL BE CONNECTED TO EXISTING 6" SANITARY SEWER ALREADY ON SITE. EXISTING 6" SANITARY CONNECTED TO EXISTING 8" SANITARY CONTRACT No. H08295176 (OLD SANITARY LINE CONTRACT NO.29-S).
- 20. ALL PAVING TO BE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER (SEE DETAIL).
- 21. ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE OR BITUMINOUS (SEE DETAIL, SHEET 4), LIMITS AS SHOWN ON PLAN.
- 22. PROPOSED PAVING SECTIONS TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- 23. PROJECT GEOTECHNICAL ENGINEER TO MONITOR WALL CONSTRUCTION, BACKFILL AND COMPACTION.
- 24. PROJECT GEOTECHNICAL ENGINEER TO APPROVE PAVING SUBBASE PRIOR TO INSTALLATION OF PAVING SECTION AND SWM CONTROL STRUCTURE.
- 25. ALL OUTDOOR LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- 26. CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- 27. WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- 28. ANY EXISTING TREES DAMAGE OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- 29. ALL 3:1 AND STEEPER SLOPES TO BE STABILIZED WITH SOO. SLOPES FLATTER THAN 3:1 TO BE STABILIZED WITH SEED AND MULCH.
- 30. THERE ARE NO KNOWN CEMETERIES LOCATED ON THIS SITE.
- 31. METES AND BOUNDS, ADJACENT PROPERTY INFORMATION PER RECORD PLAT PREPARED BY LESLIE CURTIS HOPKINS, PROPERTY LINE SURVEYOR #274 DATED 9-11-85 AND RECORDED AS PLAT #6589; FILE #F-86-52.
- 32. PARKING REQUIRED: 85 (1 FOR EACH ROOM PER HOWARD COUNTY)
PARKING REQUIRED: 91 (1.1 FOR EACH ROOM PER DAYS INN HOTEL)
PARKING PROVIDED: 94
HANDICAP SPACES PROVIDED: 5
- 33. ZONING BOARDING CASE No. 1015M WAS APPROVED BY ZONING BOAR OF HOWARD COUNTY, MARYLAND ON MARCH 27, 2001 IT WAS REQUEST REZONING OF 1.1 ACRES OF THE ENTIRE 2.5 ACRES PARCEL FROM THE R-3C ZONING DISTRICT TO THE B-2 ZONING DISTRICT.
- 34. APFO HAS BEEN PREPARE BY BRUDIS & ASSOCIATES, INC.
- 35. NO FLOODPLAIN EXISTS ON SITE.
- 36. SIGHT DISTANCE ON ROUTE 1 IS IN ACCORDADANCE WITH MSHA REQUIREMENTS.
- 37. EXISTING 2" WATER METERS ARE LOCATED INSIDE OF EXISTING BUILDINGS. PROPOSED WATER MEETER WILL BE LOCATED INSIDE NEW BUILDING.
- 38. THIS SITE IS QUALIFIED AS REDEVELOPMENT AND HAS BEEN DESIGNED TO MEET:
WATER QUALITY (2 FILTERA INLETS AND GRASS CHANNEL)
RECHARGE VOLUME (STONE UNDER SWM STRUCTURE)
CHANNEL PROTECTION (SWM STRUCTURE)
WAIVER FOR 36" DIAMETER PIPES AND MASS CENTROID SHIFT TIME HAS BEEN APPROVED BY HOWARD COUNTY (LETTER DATED JUNE 26, 2003)
- 39. THE PROPOSED PROJECT IS EXEMPT FROM THE FOREST CONSERVATION REQUIREMENTS UNDER SECTION 16.1202(B) OF THE HOWARD COUNTY CODE. REFER TO SDP-86-42 APPROVED BY PLANNING AND ZONING 2/13/86. THE ENTIRE SITE "PARCEL A" WAS DEVELOPED PRIOR TO DECEMBER 31, 1992 AND ALL PROPOSED WORK IS WITHIN THE LIMITS OF THIS PREVIOUSLY DEVELOPED PARCEL "A".
- 40. THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT (410) 313-1880.

PINDELL PROPERTY, PARCEL A

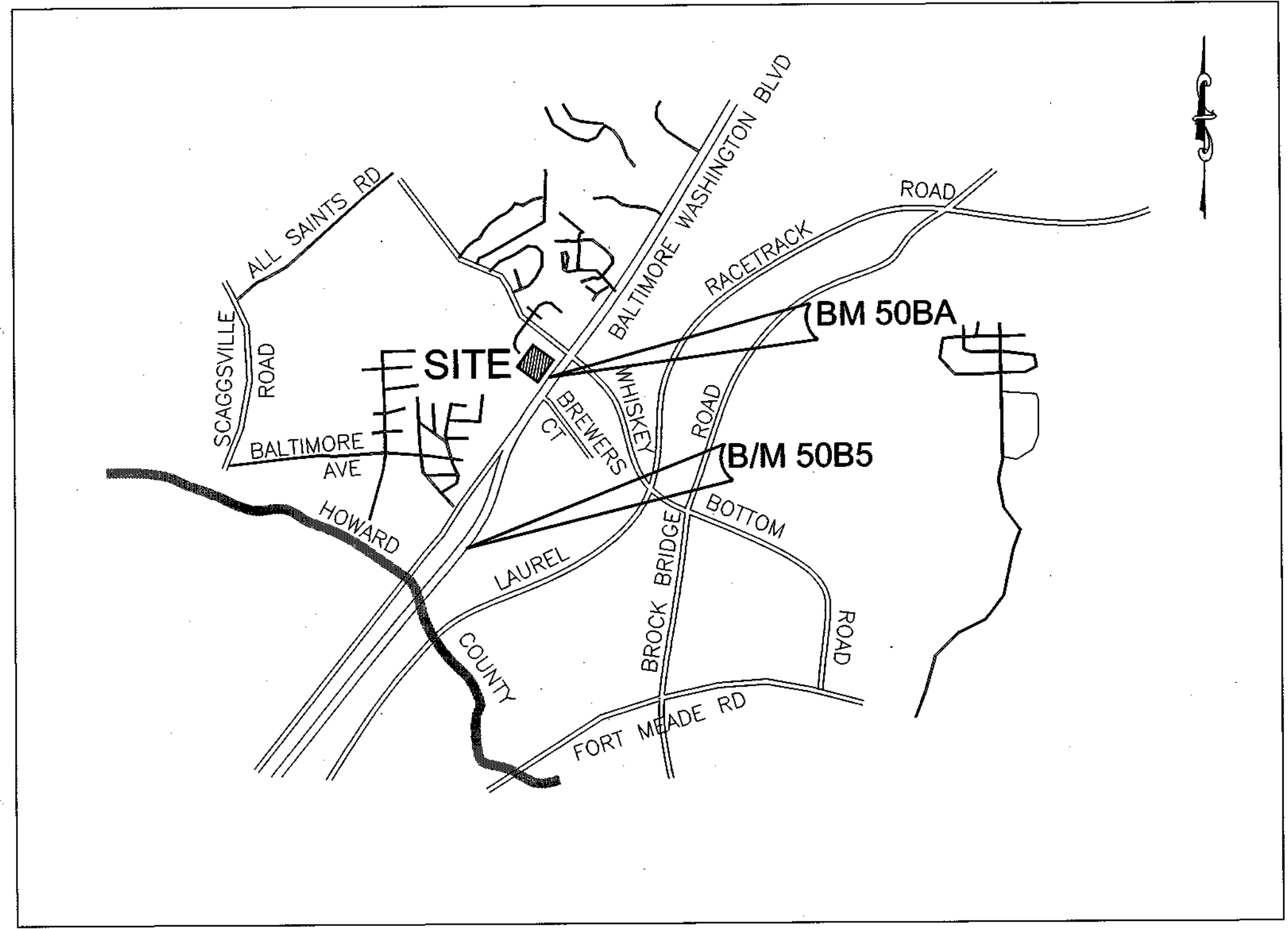
DAYS INN HOTEL

9860 WASHINGTON BLVD.

HOWARD COUNTY

LAUREL, MARYLAND

SITE DEVELOPMENT PLANS



VICINITY MAP
SCALE: 1"=2000'

LEGEND:

- Sanitary Sewer Manhole (circle with cross)
- Storm Drain Manhole (circle)
- Sanitary Cleanout (circle with cross)
- Deciduous Tree (circle with cross)
- Bush (circle)
- Coniferous Tree (circle with star)
- Sign Post (circle with cross)
- Electric Pole (circle with cross)
- Light Pole (circle with cross)
- Tree Line (wavy line)
- Fence (dashed line)
- Existing Water (line with W)
- Existing Sanitary (line with SAN)
- Existing Gas (line with GAS)
- Existing Contours (line with 250)
- Proposed Contours (line with 256)
- Existing Spot Elevations (x)
- Proposed Spot Elevations (+)
- Survey Control (triangle)
- Proposed Water (line with W)
- Proposed Sanitary (line with SAN)

EROSION AND SEDIMENT CONTROL LEGEND:

- Stabilized Construction Entrance (line with S)
- Silt Fence (line with SF)
- Super Silt Fence (line with SSF)
- At Grade Inlet Protection (line with ACIP)
- Curb Inlet Protection (line with CIP)
- Drainage Divide (line with D)
- Limit of Disturbance (line with LOD)

ON GOING COORDINATION WITH MARYLAND STATE HIGHWAY ADMINISTRATION CONTRACT No. H08295176 U.S. ROUTE 1 FROM BREWERS COURT TO WHISKEY BOTTOM ROAD.

DEBRIS IS TO BE KEPT OUT OF THE PROPOSED SWM FACILITY DURING AND AFTER CONSTRUCTION.

WATER QUALITY STRUCTURE: I-1, I-2, GRASS CHANNEL AND TRIPLE 34 L.F. - 48" ACMP STORMWATER CONTAINMENT FACILITY - TO BE PRIVATELY OWNED AND MAINTAINED.



SOIL MAP

SCALE: 1"=500'

FROM HOWARD COUNTY SOIL MAP (SHEET 33,34,31)

Legend for soil types: EvB (Evesboro Loamy Sand), Md (Made Land), "A" Soil, "B" Soil.

TABLE OF CONTENTS

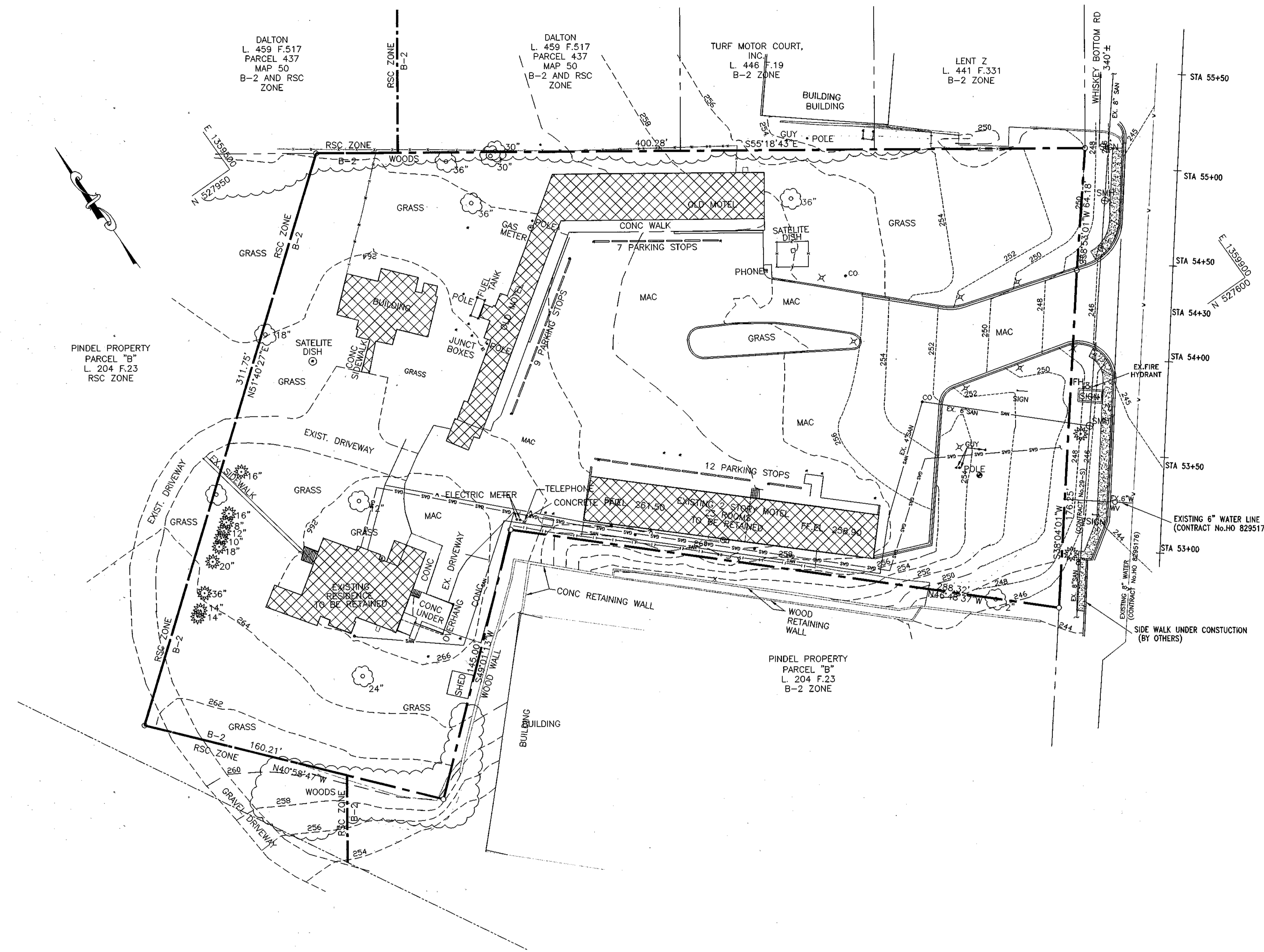
Table with 2 columns: SHEET NO. and SHEET DESCRIPTION. Lists 17 sheets from Cover Sheet to Landscaping Details.



Approval and revision table. Includes fields for Owner/Developer (Suresh D. Patel), Director (Masha D. Coughlin), and Chief Development Engineering Division (C. Hamilton). Includes a revision table with columns for No., Revision, and Date.

"The proposed project is exempt from the Forest Conservation requirements under section 16.1202(b) of the Howard County Code. Refer to SDP-86-42 approved by planning and zoning 2/13/86. The entire site 'Parcel A' was developed prior to December 31, 1992 and all proposed work is within the limits of this previously developed Parcel 'A'."

Vertical sidebar containing: REVISIONS table, MORAND ARCHITECTS contact info (1276 West Third Street, Cleveland, Ohio 44113), EBA Engineering Inc. logo, COVER SHEET title, PINDELL PROPERTY, PARCEL A DAYS INN HOTEL address, and SHEET 1 OF 16.



- LEGEND --
- ⊕ SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - ⊗ SANITARY CLEANOUT
 - ⊙ DECIDUOUS TREE
 - ⊙ BUSH
 - ⊙ CONIFEROUS TREE
 - ⊙ SIGN POST
 - ⊙ ELECTRIC POLE
 - ⊙ LIGHT POLE
 - TREE LINE
 - FENCE
 - EXISTING WATER
 - SAN — EXISTING SANITARY
 - GAS — EXISTING GAS
 - 250 — EXISTING CONTOURS
 - 258 — SHA GRADING
 - 258 — PROPOSED CONTOURS
 - x EXISTING SPOT ELEVATIONS
 - + PROPOSED SPOT ELEVATIONS
 - △ SURVEY CONTROL
 - ▨ PROPOSED CONCRETE SIDEWALK
 - W — PROPOSED WATER
 - SAN — PROPOSED SANITARY

REVISIONS

No.	REVISION	DATE

MORAND ARCHITECTS
 1276 WEST THIRD STREET
 CLEVELAND, OHIO 44113
 OFFICE: 216-861-2100 FAX 216-861-2614
 E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
 4813 SETON DRIVE
 BALTIMORE, MD 21215
 (410) 358-7171

EXISTING CONDITION PLAN

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

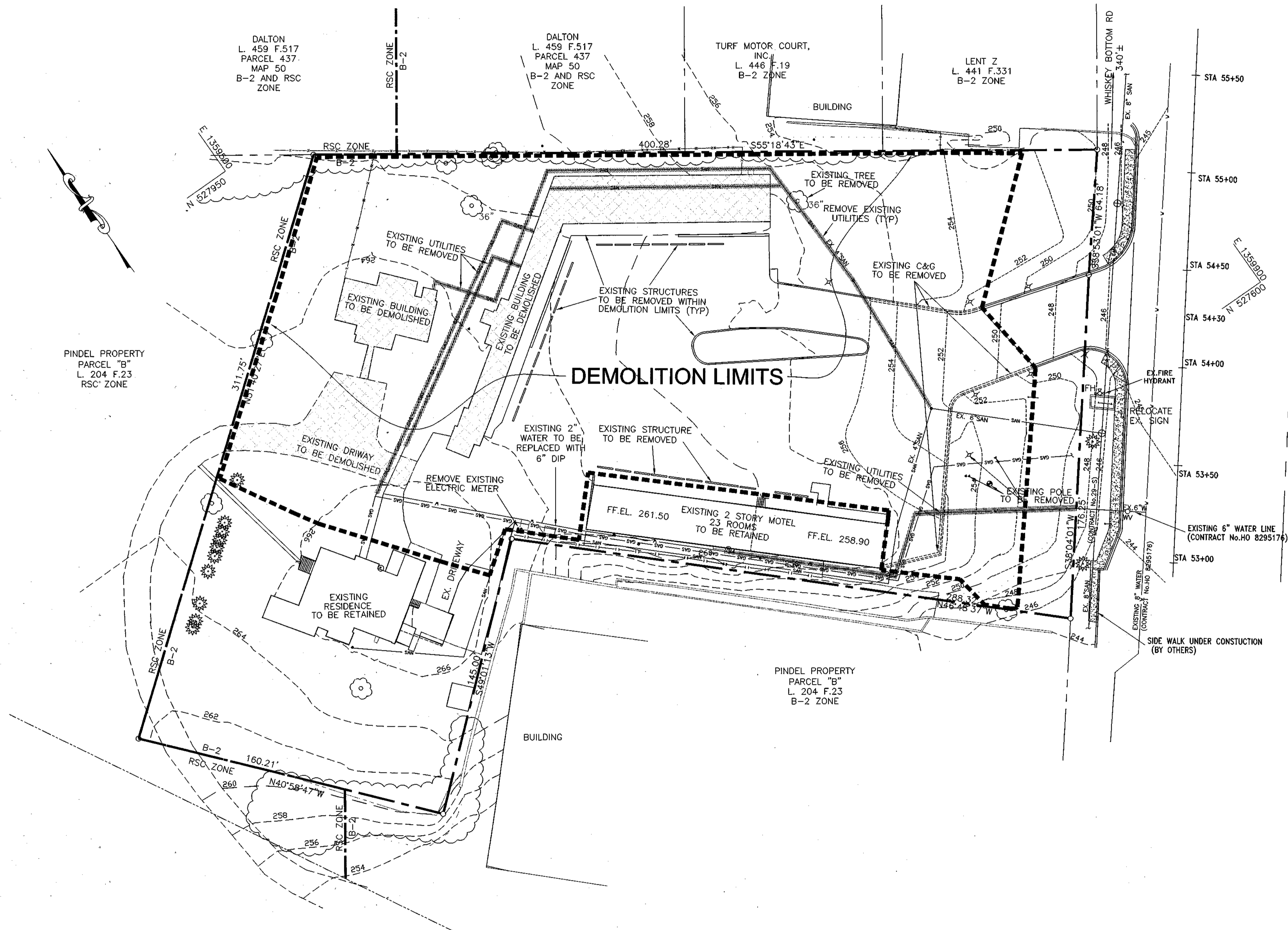
DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP

OWNER / DEVELOPER:
 SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: *March to Lager*
 Chief, Development Engineering Division: *Chad Damman*
 DATE: 10/16/03

ADDRESS CHART					
PARCEL No.	STREET ADDRESS				
488	9860 WASHINGTON BLDR, LAUREL				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
PINDELL PROPERTY, PARCEL A	N/A	PARCEL A			
PLAT No	BLOCK No	ZONE	TAX/ZONE	ELECT.DIST.	CENSUS TR.
6589	4	B-2	50	6	6069.03
WATER CODE: C05		SEWER CODE: 7162400			





PINDELE PROPERTY
PARCEL "B"
L. 204 F.23
RSC ZONE

DALTON
L. 459 F.517
PARCEL 437
MAP 50
B-2 AND RSC
ZONE

DALTON
L. 459 F.517
PARCEL 437
MAP 50
B-2 AND RSC
ZONE

TURF MOTOR COURT,
INC.
L. 446 F.19
B-2 ZONE

LENT Z
L. 441 F.331
B-2 ZONE

PINDELE PROPERTY
PARCEL "B"
L. 204 F.23
B-2 ZONE

OWNER / DEVELOPER:
SURESH D. PATEL
9860, WASHINGTON BLVD
LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: *Mark A. Taylor* 10/10/03
 Chief, Division of Land Development: *Chris Hamilton* 10/14/03
 Chief, Development Engineering Division: *Chad D. ...* 10/7/03



No.	REVISION	DATE

ADDRESS CHART					
PARCEL No.	STREET ADDRESS				
488	9860 WASHINGTON BLDR, LAUREL				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
PINDELE PROPERTY, PARCEL A	N/A	PARCEL A			
PLAT No.	BLOCK No.	ZONE	TAX/ZONE	ELECT.DIST.	CENSUS TR.
6589	4	B-2	50	6	8089.03
WATER CODE: C05			SEWER CODE: T102400		

REVISIONS

MORAND ARCHITECTS
1276 WEST THIRD STREET
CLEVELAND, OHIO 44113
OFFICE: 216-861-2100 FAX 216-861-2614
E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD, 21215
(410) 358 7171

SITE DEMOLITION PLAN

PINDELE PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND

DATE 08/20/03
SCALE 1"=30'
DRN ZF
DSN ZF
CKD HP
SHEET 3 OF 16

REVISIONS

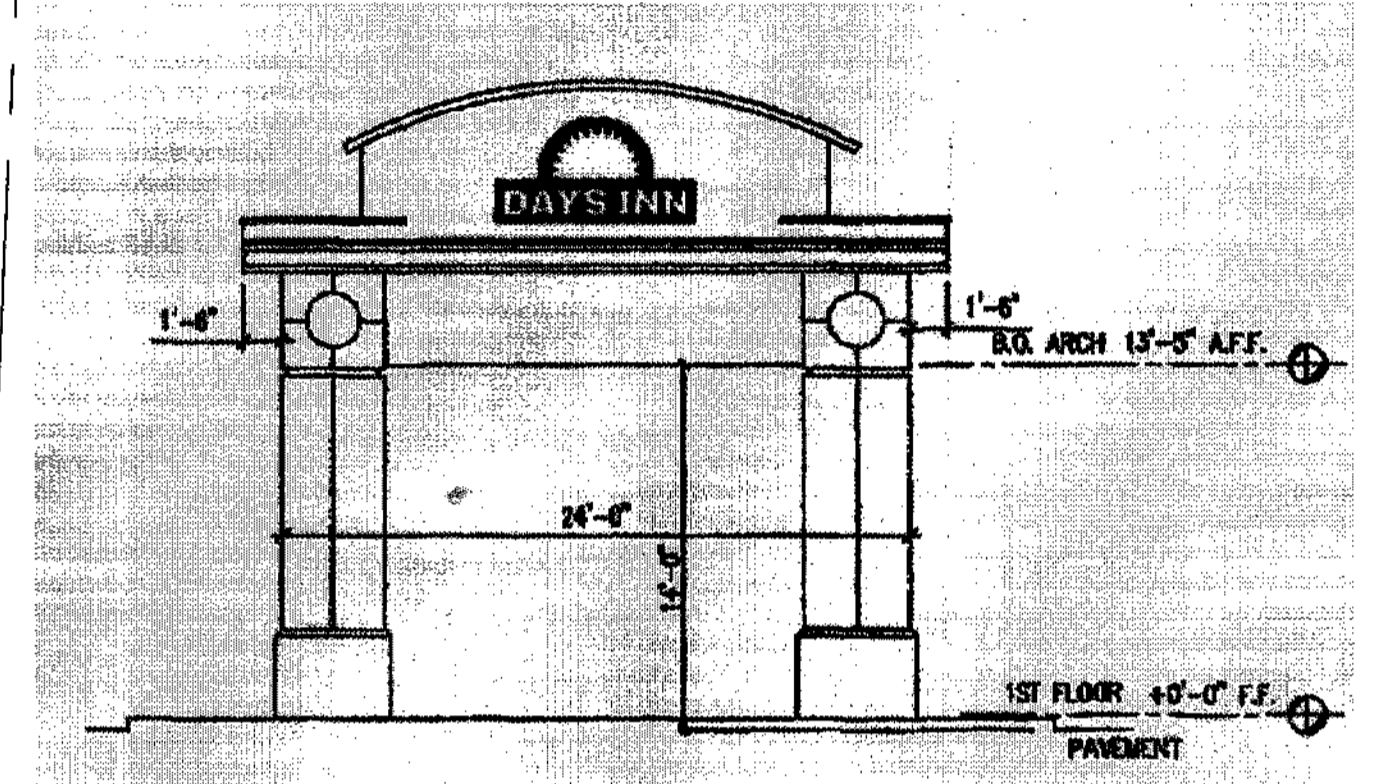
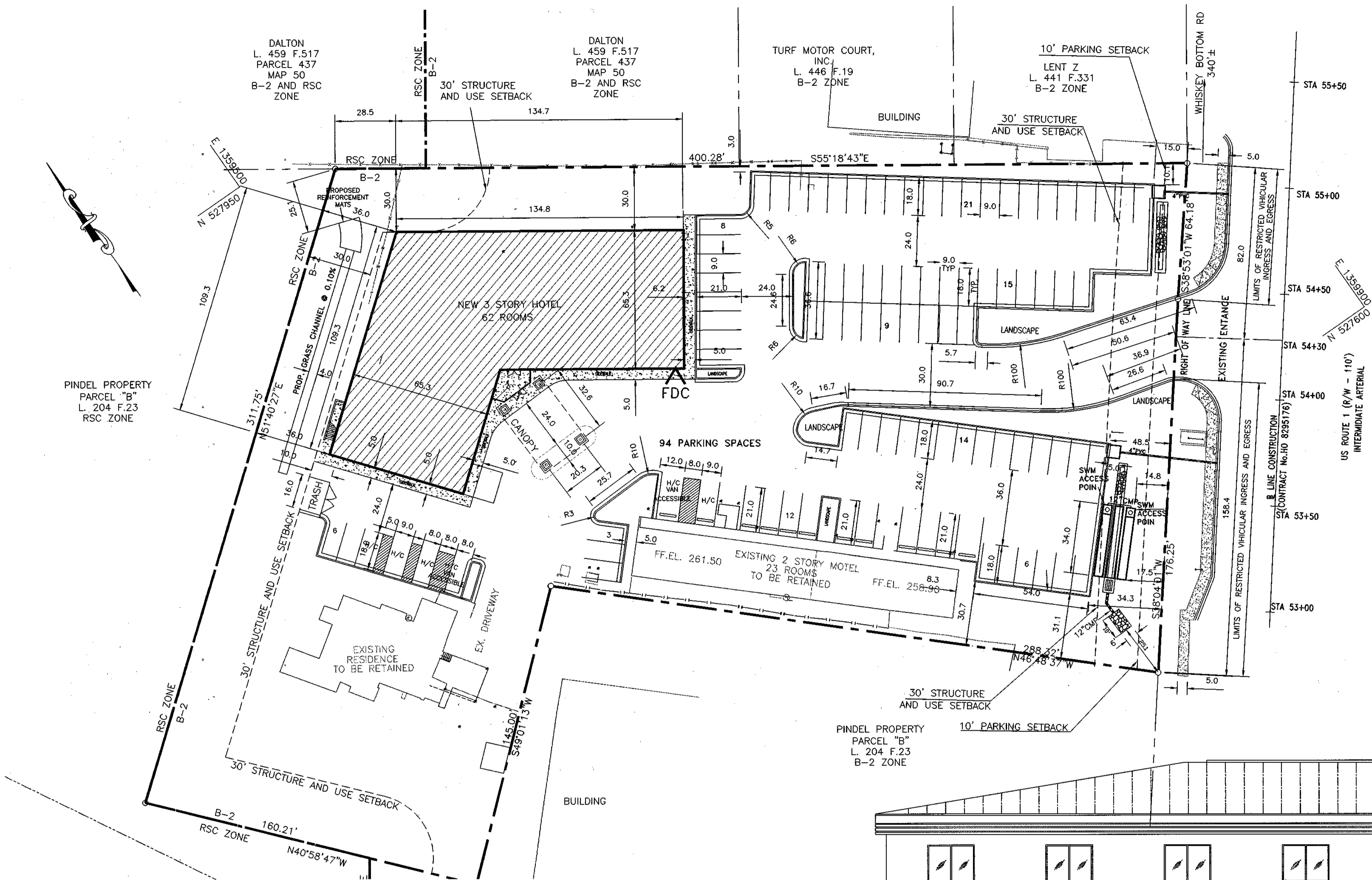
MORAND ARCHITECTS
 1276 WEST THIRD STREET
 CLEVELAND, OHIO 44113
 OFFICE: 216-861-2100 FAX 216-861-2614
 E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

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 BALTIMORE, MD. 21215
 (410) 368 7171

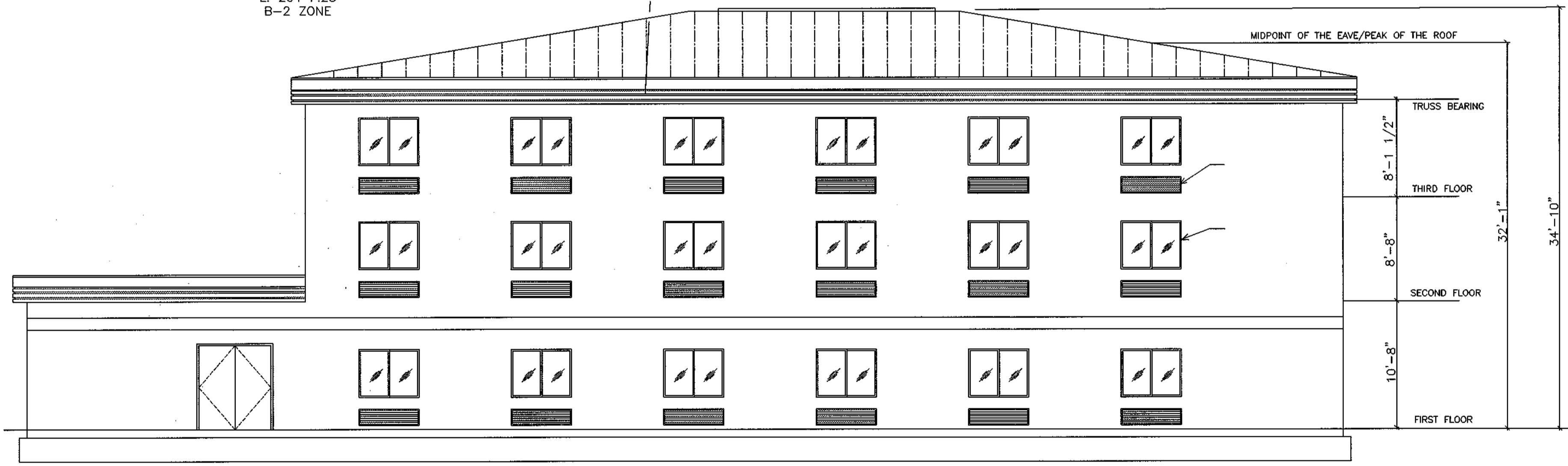
SITE LAYOUT PLAN

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP
 SHEET 4 OF 16



ELEVATION B
 SCALE: 1/8"=1'-0"



BUILDING ELEVATION
 NOT TO SCALE

OWNER / DEVELOPER:
 SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: *Mark A. Coyne* 10/13/03
 Chief, Development Engineering Division: *Andy Hamilton* 10/10/03
 Chief, Development Engineering Division: *Chris Dammon* 10/10/03



No.	REVISION	DATE

ADDRESS CHART	
PARCEL No. 488	STREET ADDRESS 9860 WASHINGTON BLDG, LAUREL
SUBDIVISION NAME PINDELL PROPERTY, PARCEL A	SECTION/AREA N/A
PARCEL NUMBER PARCEL A	PARCEL NUMBER PARCEL A
PLAT No 15589	BLOCK No 4
ZONE B-2	TAX/ZONE 50
ELECT.DIST. 6	CENSUS TR. 8099.03
WATER CODE C05	SERIAL CODE 7102400

REVISIONS

MORAND ARCHITECTS
 1276 WEST THIRD STREET
 CLEVELAND, OHIO 44113
 OFFICE: 216-861-2100 FAX 216-861-2614
 E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
 4813 SETON DRIVE
 BALTIMORE, MD. 21215
 (410) 358 7171

SITE GRADING PLAN

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP

SHEET 5 OF 16

- LEGEND ---
- ⊕ SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - ⊗ SANITARY CLEANOUT
 - ⊙ DECIDUOUS TREE
 - ⊙ BUSH
 - ⊙ CONIFEROUS TREE
 - ⊙ SIGN POST
 - ⊙ ELECTRIC POLE
 - ⊙ LIGHT POLE
 - TREE LINE
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 - SAN EXISTING SANITARY
 - GAS EXISTING GAS
 - 250 EXISTING CONTOURS
 - 256 PROPOSED CONTOURS
 - x EXISTING SPOT ELEVATIONS
 - + PROPOSED SPOT ELEVATIONS
 - △ SURVEY CONTROL
 - ▨ PROPOSED CONCRETE SIDEWALK
 - W PROPOSED WATER
 - SAN PROPOSED SANITARY

FIXTURE SCHEDULE

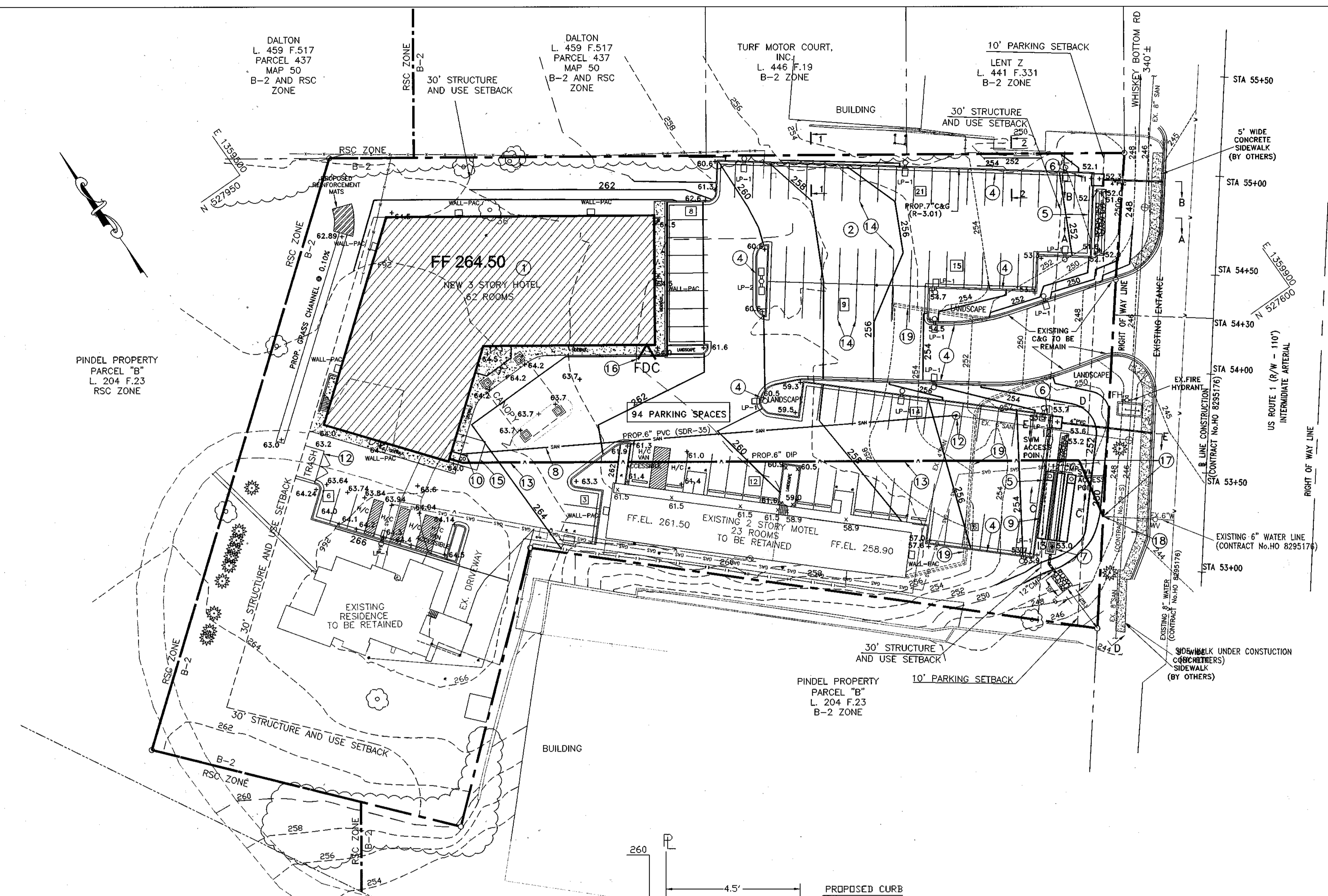
- LP-1 GARCO FORM 10 EH OR EQUAL WITH 250W HIGH PRESSURE SODIUM LAMPS WITH 30,000 LUMEN/WATT SINGLE WITH 25' POLE
- LP-2 GARCO FORM 10 EH OR EQUAL WITH 250W HIGH PRESSURE SODIUM LAMPS WITH 30,000 LUMEN/WATT TWIN WITH 25' POLE
- FIXTURES TO BE 208V-1Ø - 400W WIND DESIGN LOAD: 130 MPH
- WALL PACKS - MFR.: HUBBLE, PERMASHIELD II (CUT-OFF TYPE) MODEL: PRS-0150S-521-PVLV

OWNER / DEVELOPER:
 SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

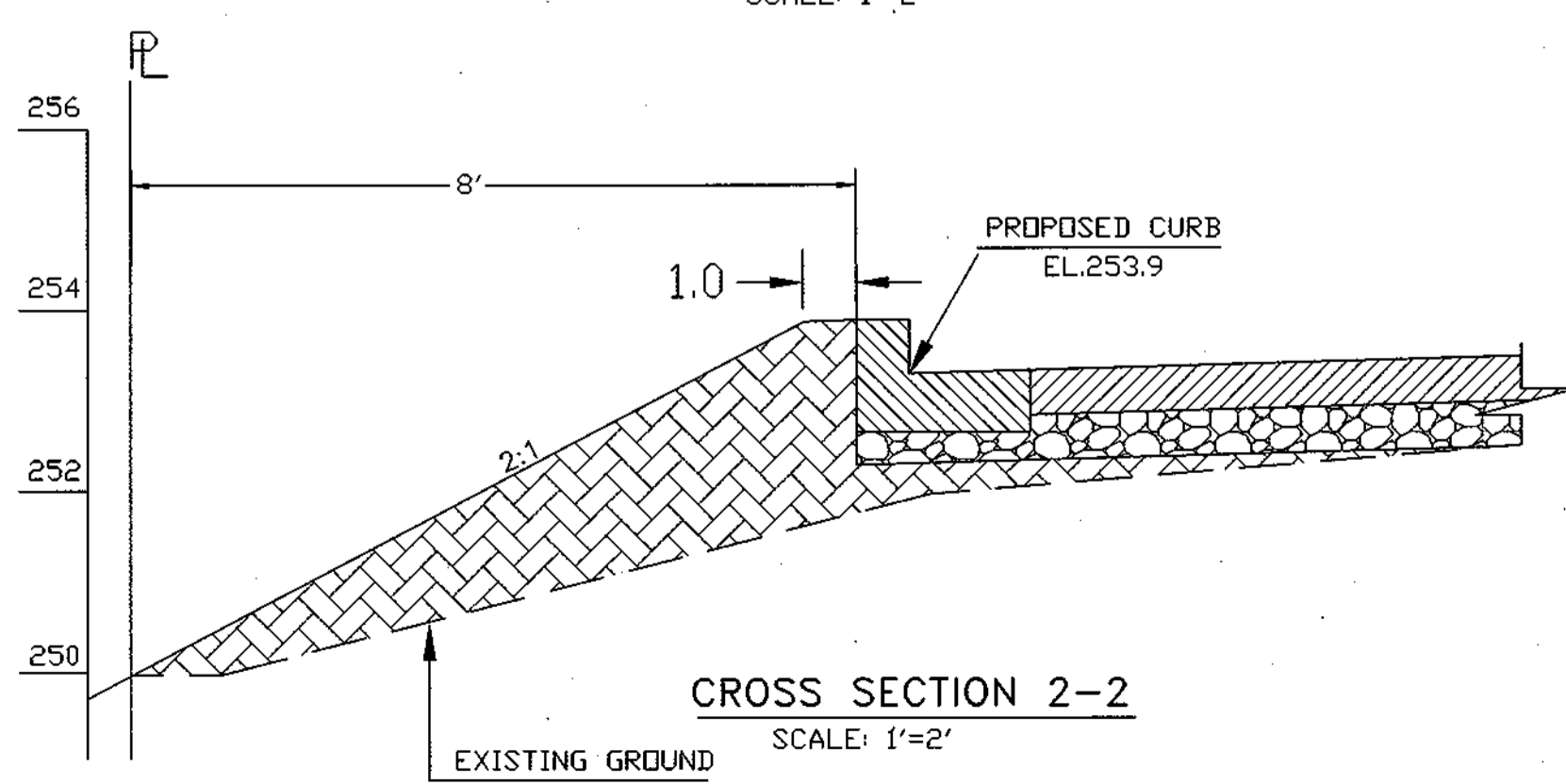
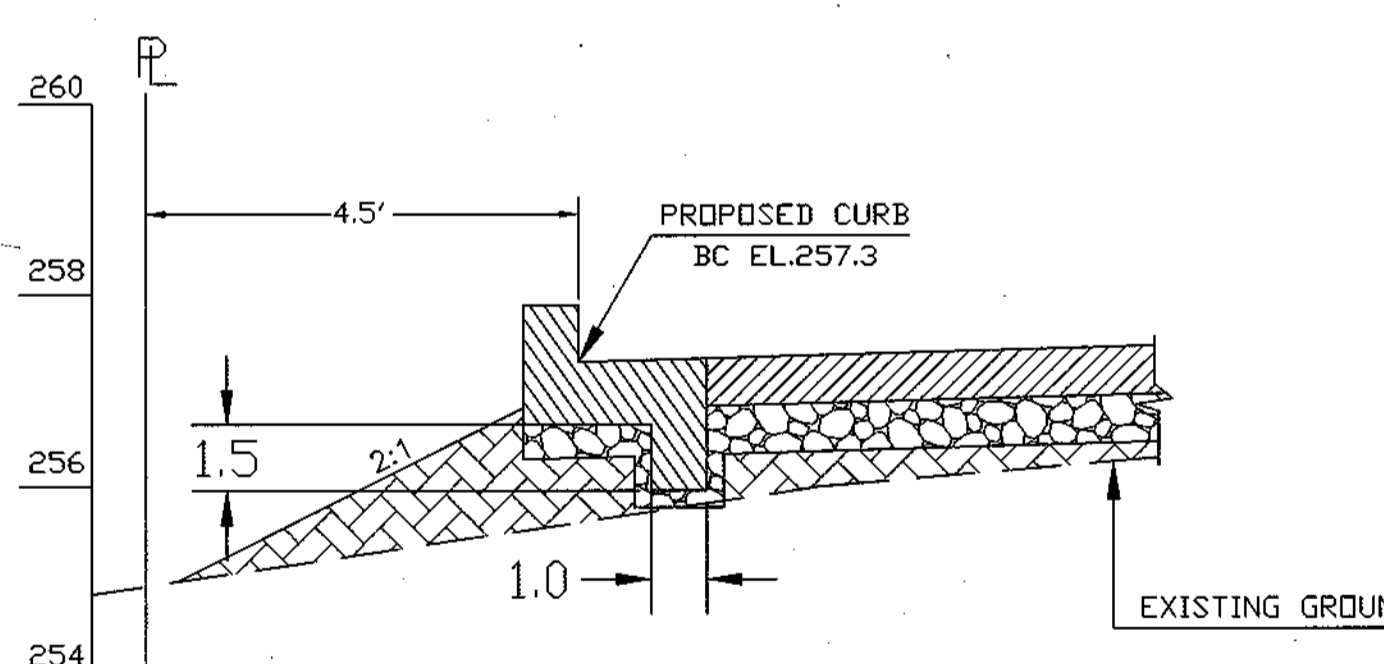
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Frank J. Leyla 10/10/03
 DIRECTOR DATE
Chris Hamilton 10/10/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Chris Hamilton 10/7/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

No.	REVISION	DATE

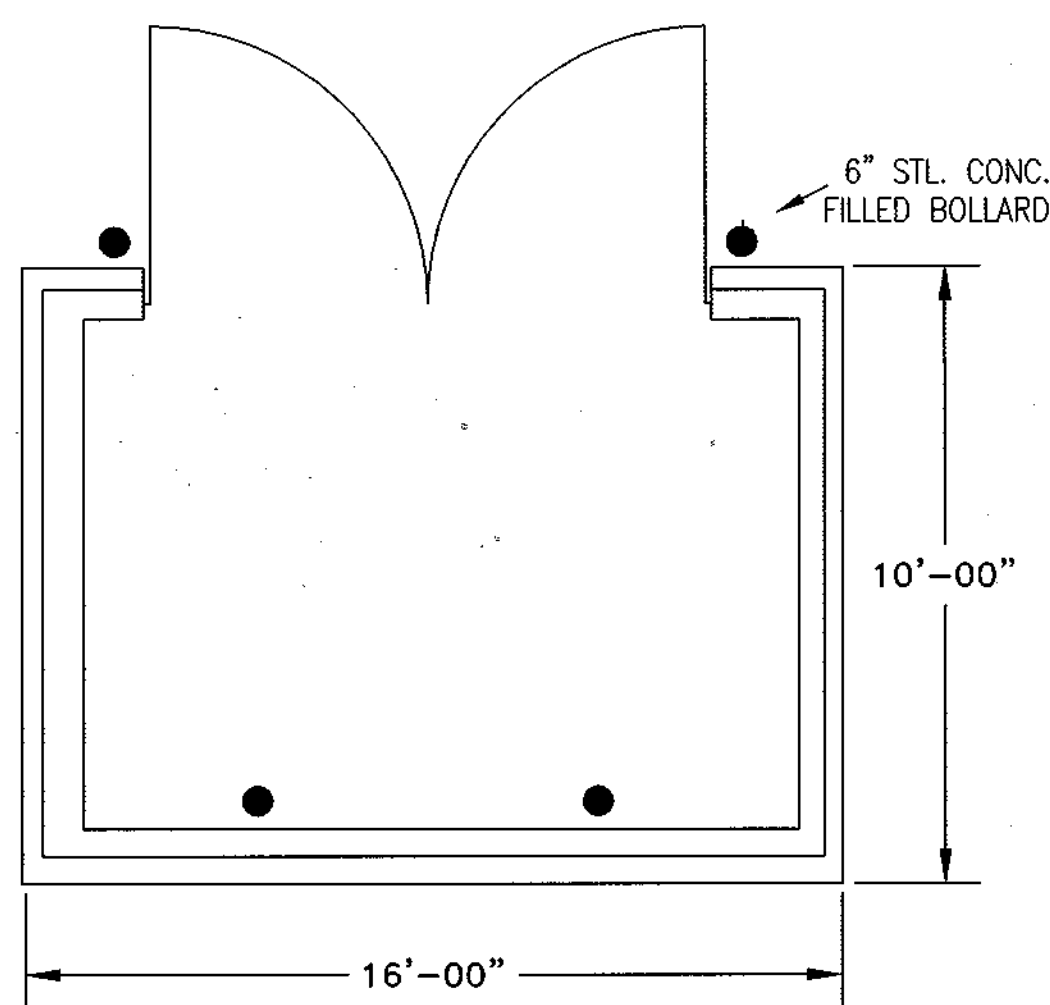
ADDRESS CHART		PARCEL NUMBER	
PARCEL No.	STREET ADDRESS	SECTION/AREA	PARCEL NUMBER
498	9860 WASHINGTON BLVD, LAUREL	N/A	PARCEL A
SUBDIVISION NAME	PINDELL PROPERTY, PARCEL A		
PLAT No.	BLOCK No.	ZONE	TAX/ZONE
4589	4	B-2	50
WATER CODE: C05		ELECT.DIST. 6	CENSUS TR. 6099.03
			SEWER CODE: 1162465



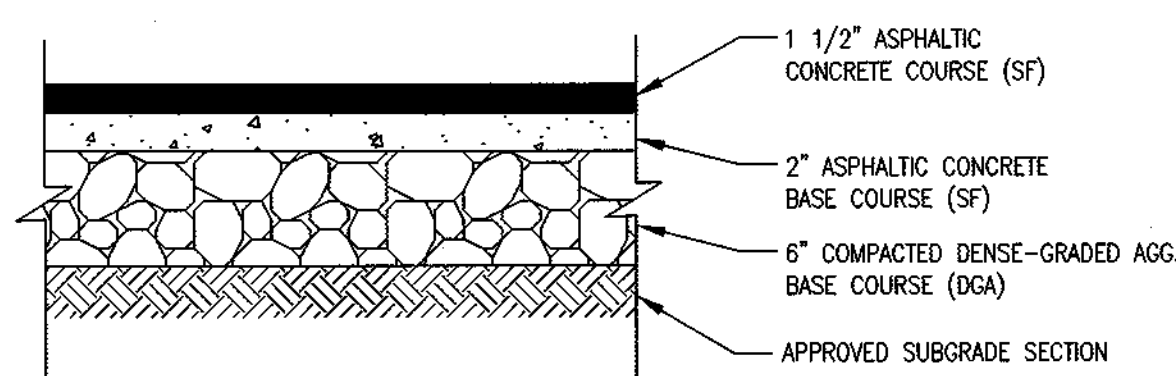
- DRAWING NOTES:
1. PROPOSED NEW 3 STORY HOTEL
 2. PROPOSED NEW PAVING
 3. PROPOSED 5' WIDE CONCRETE SIDEWALK (HOWARD COUNTY STD. R-3.05)
 4. PROPOSED 7" CURB AND GUTTER (HOWARD COUNTY STD. DETAIL R-3.01)
 5. PROPOSED FLASH CURB AND GUTTER (HOWARD COUNTY STD. DETAIL R-3.01A)
 6. PRECAST 6'x 6' FILTERRA INLET BY AMERICAST
 7. PROPOSED TYPE "K" INLET (HOWARD COUNTY STD DET. SD-4.12)
 8. PROPOSED 6" SANITARY (PVC SDR-35)
 9. PROPOSED SWM FOR Cpv AND Rev
 10. PROPOSED CLEANOUT (HOWARD COUNTY STD. S-3.21)
 11. PROPOSED 48" DIA SANITARY MANHOLE (HOWARD COUNTY STD. G-5.12)
 12. PROPOSED DUMPSTER (HOWARD COUNTY STD. R11.01)
 13. PROPOSED 6" WATER LINE
 14. PROPOSED PAVING MARKING
 15. LOADING - DELIVERY AREA
 16. FIRE DEPARTMENT CONNECTION (FDC)
 17. PROPOSED 6" HORIZONTAL BEND
 18. PROPOSED CONNECTION TO EXISTING 6" WATER LINE
 19. REMOVE EXISTING CURB AND GUTTER



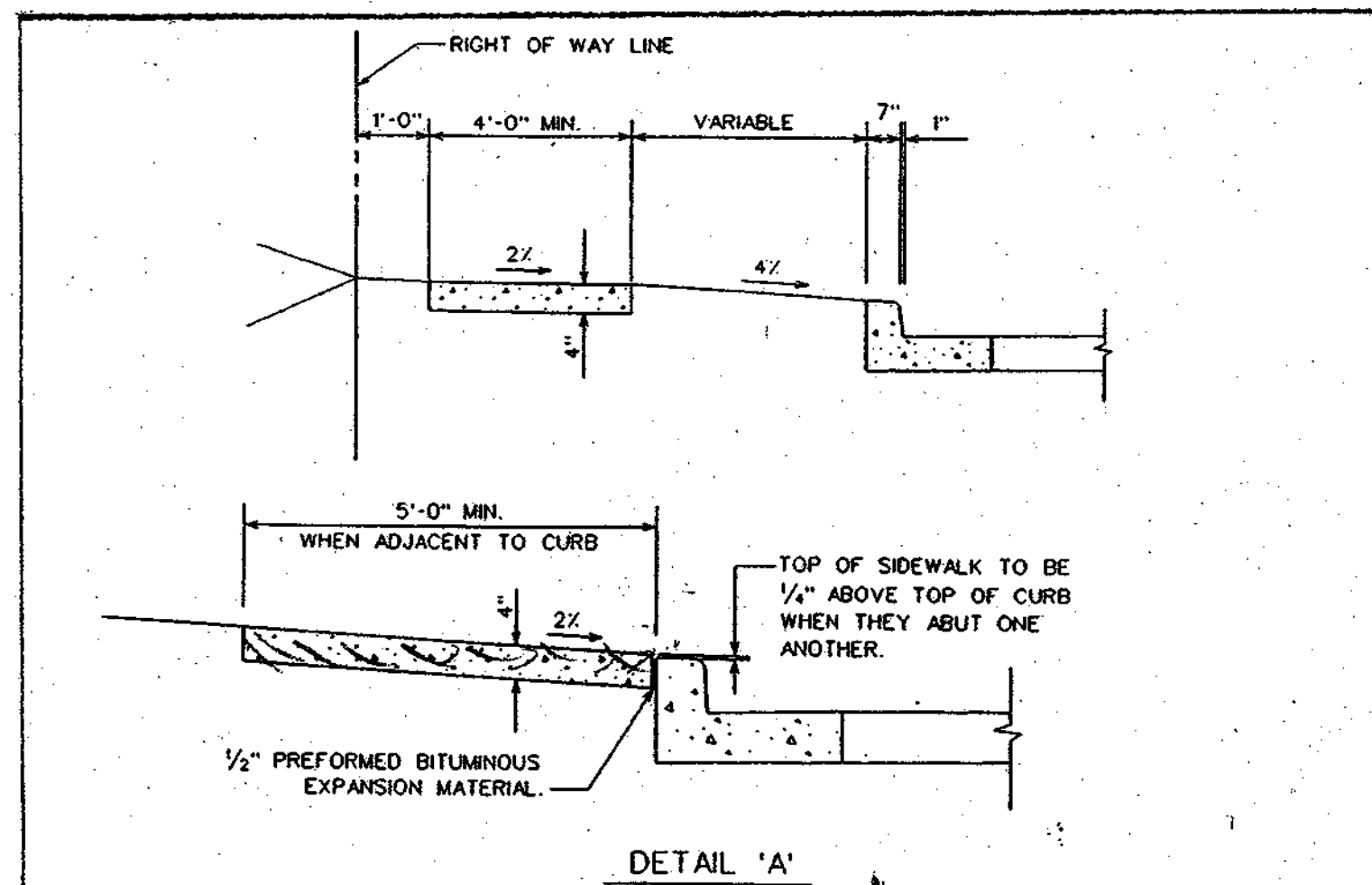
SDP-03-141



DUMSTER PLAN
SCALE: NTS



PROPOSED PAVING
SCALE: NTS



NOTES:

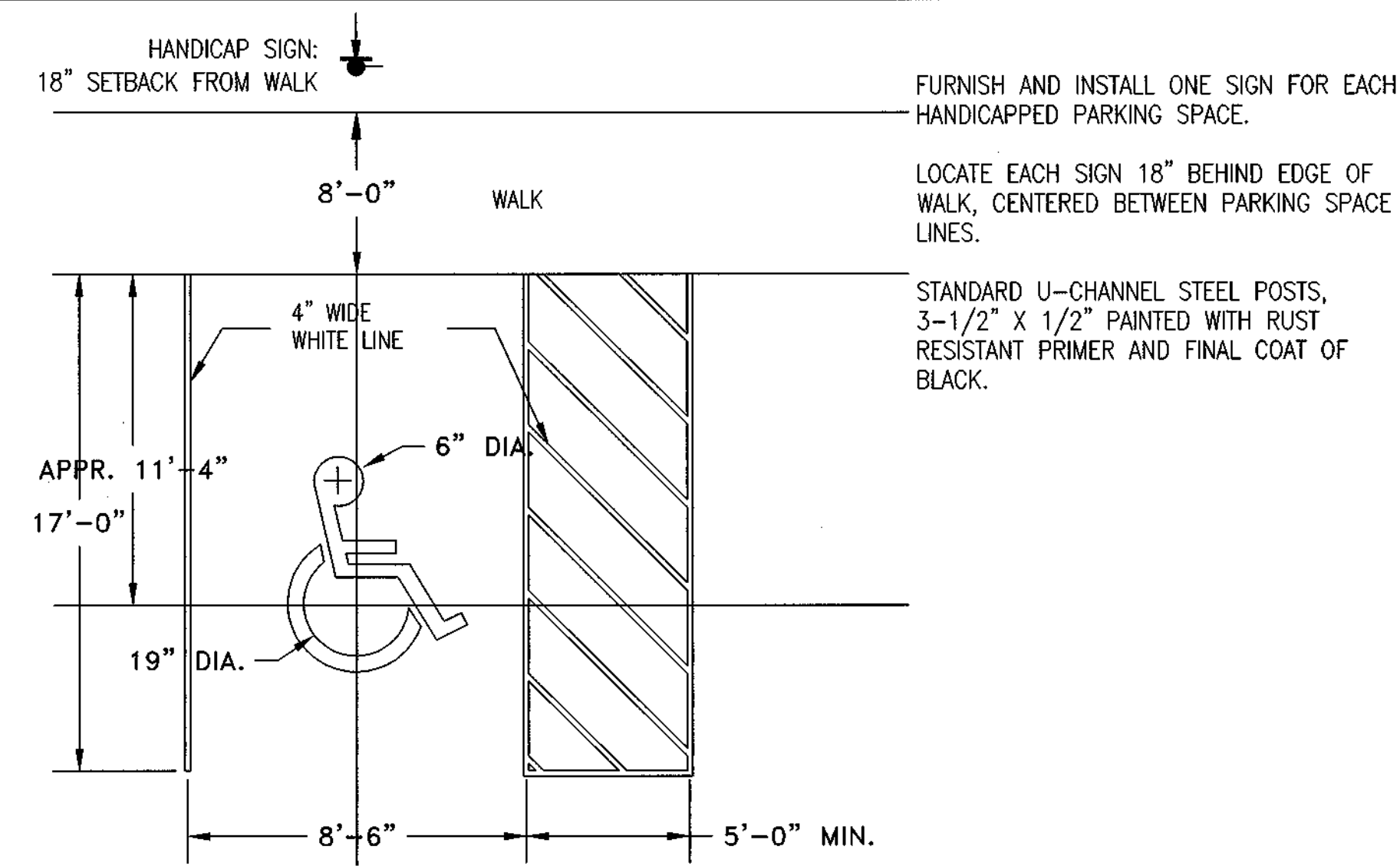
1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES.
2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.
3. 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
4. CONCRETE TO BE MIX NO. 2
5. WHEN SIDEWALK ABUTS CURB, WALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB.
6. ON LONGITUDINAL SIDEWALK GRADES OF 5% OR GREATER, A CONCRETE HEADER, 6" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET. THE HEADERS SHALL BE PLACED AT EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.
7. SIDEWALK WIDTH ADJACENT TO CURB SHALL BE 5'-0" MIN. EXCEPT SIDEWALK ADJACENT TO CURB IN CUL-DE-SAC BULBS MAY BE 4'-0" WIDE.
8. SIDEWALK LOCATED 2' OR MORE FROM CURB MAY BE 4'-0" IN WIDTH WITH A 5'-x5' PAVED SECTION PLACED 200' APART.

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS

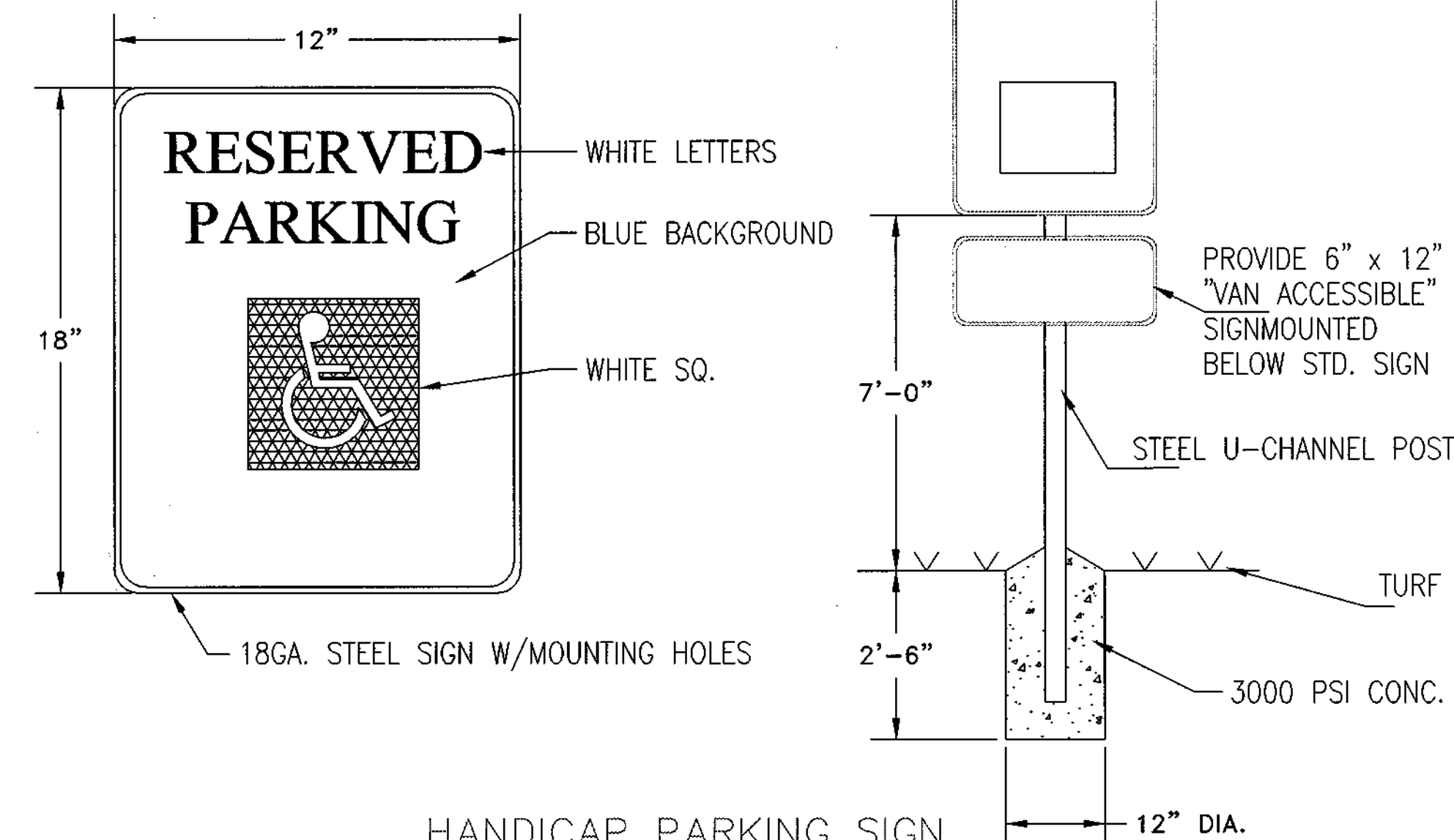
Approved: *[Signature]* 10/20/03
Chief - Bureau of Engineering Date

CONCRETE SIDEWALK

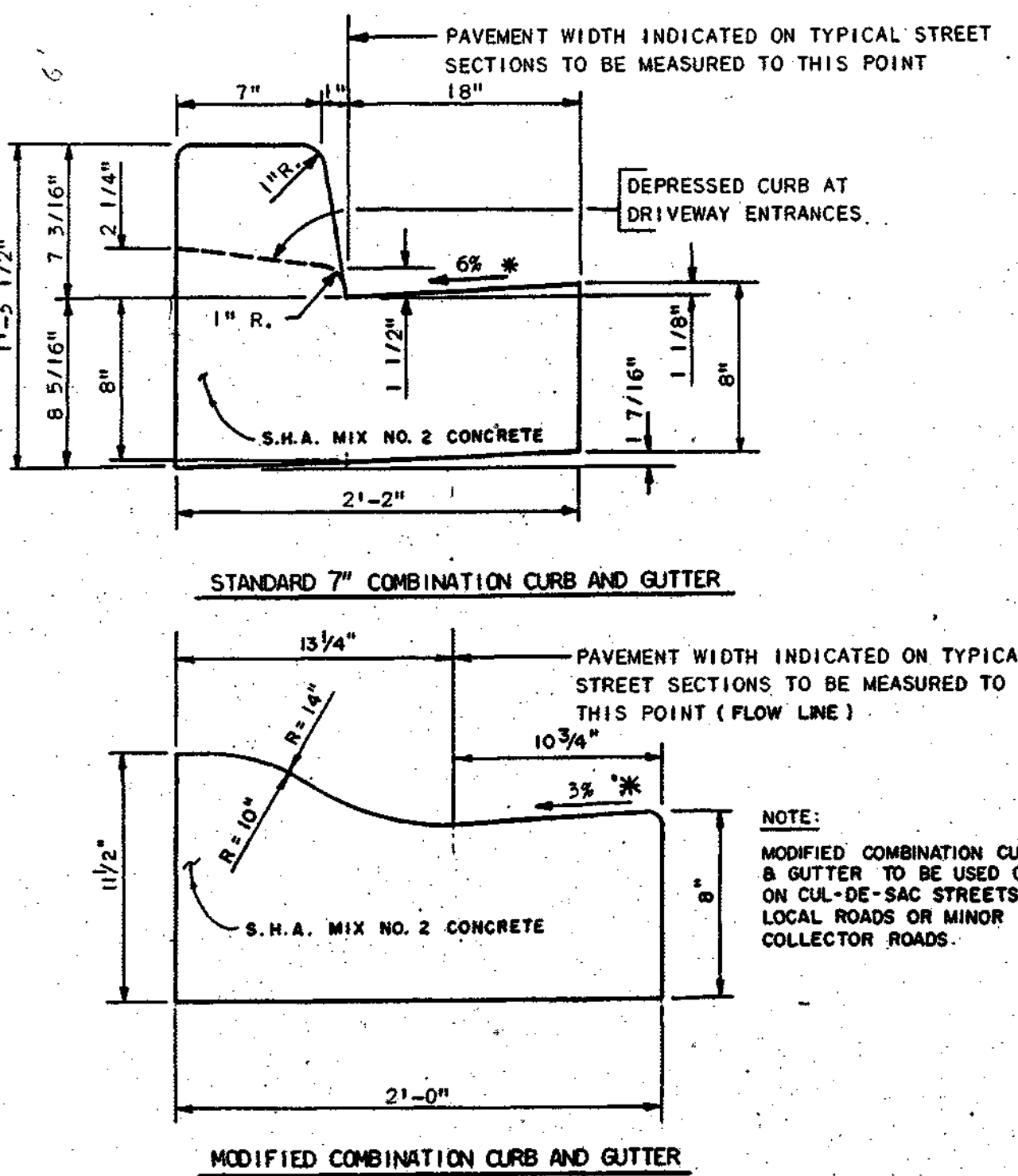
OWN: Y.P.
CHK: W.M.H.
NO SCALE
R - 3.05



HANDICAP PARKING STALL
SCALE: NTS



HANDICAP PARKING SIGN
SCALE: NTS



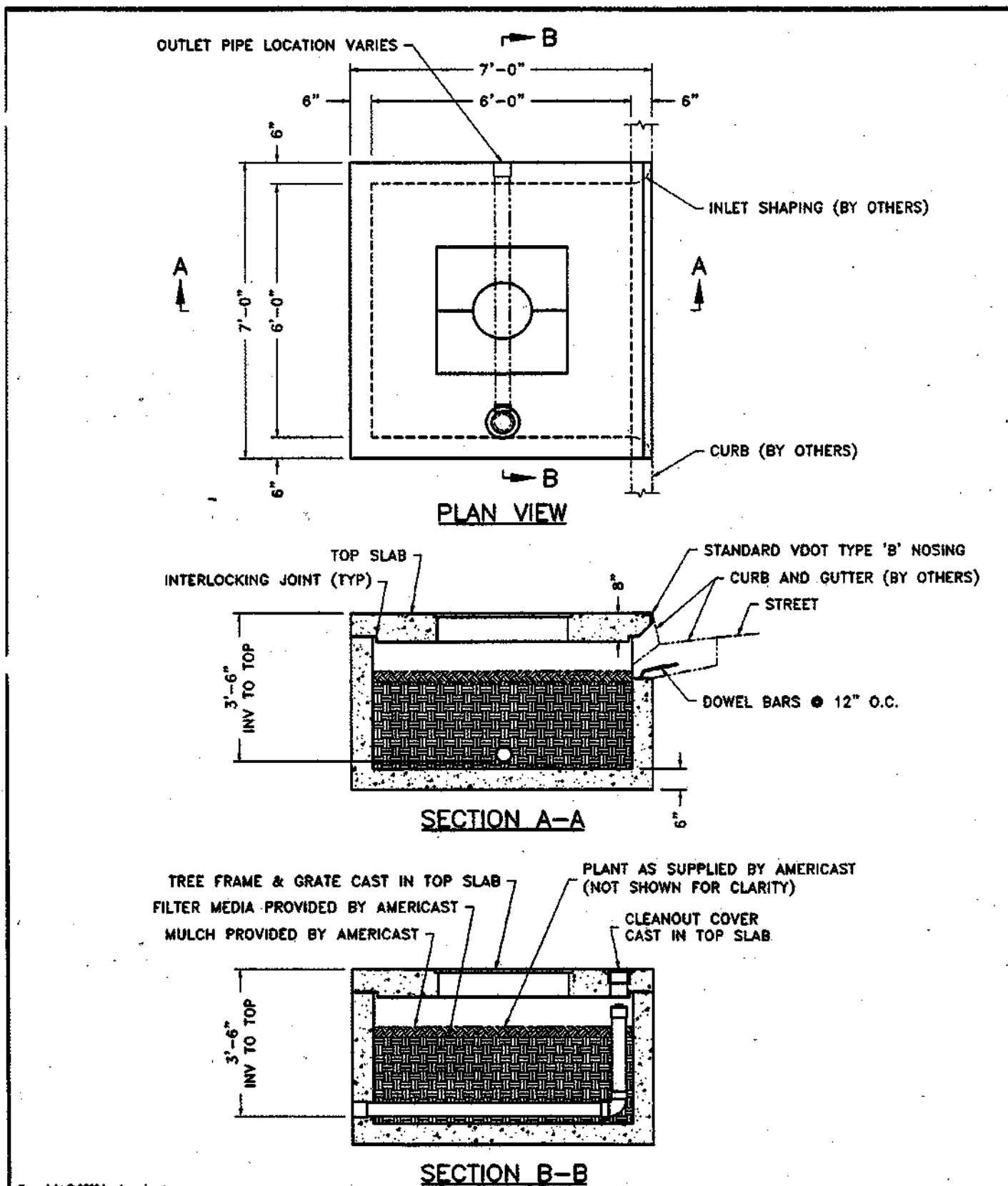
STANDARD 7" COMBINATION CURB AND GUTTER

MODIFIED COMBINATION CURB AND GUTTER

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.

REV. JAN. 1992
REV. JUN. 1987
REV. MAR. 1986

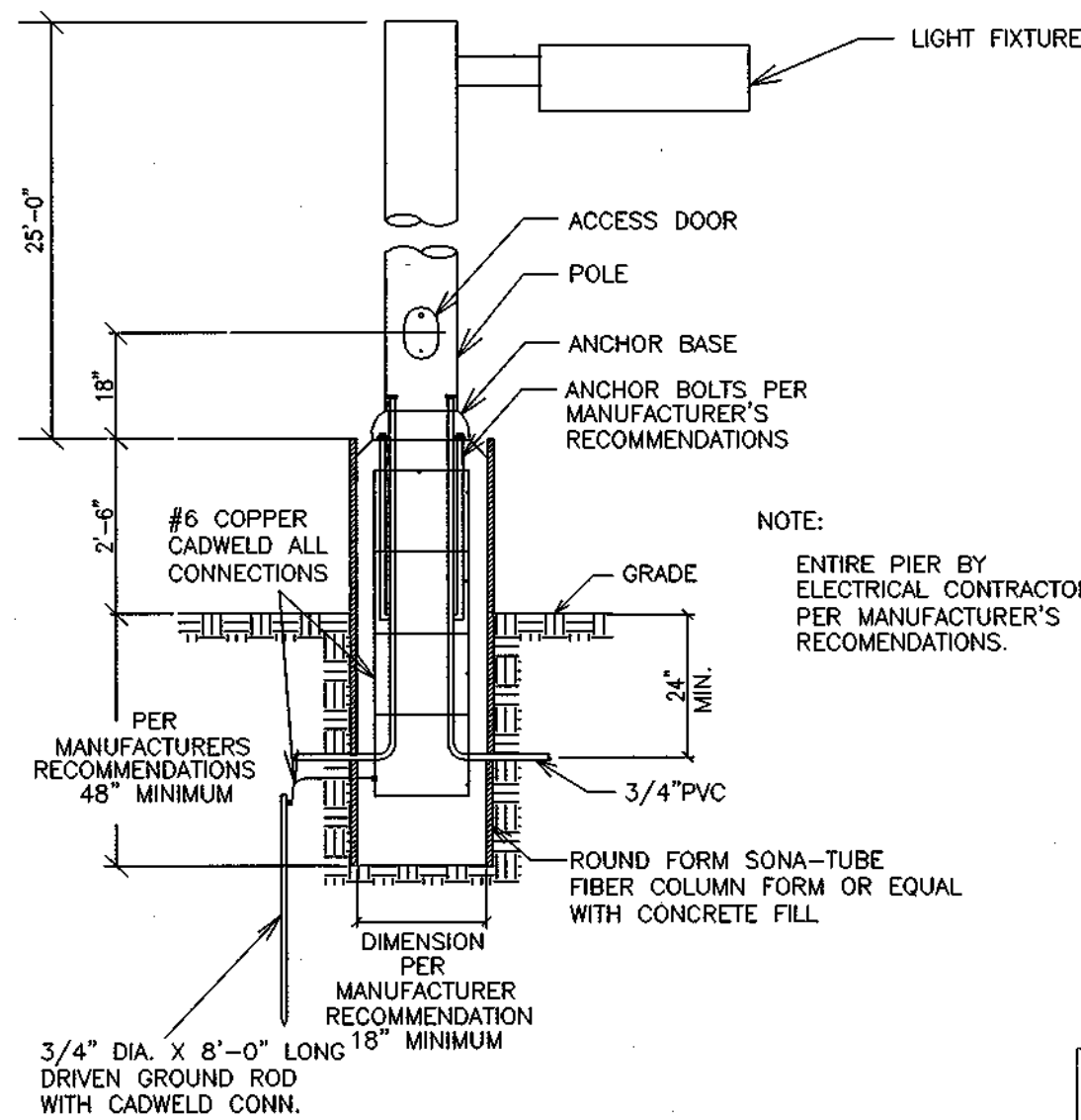
DRAWN BY
W.T. BALLARD
CHECKED BY
J.L.B.
NO SCALE
R - 3.01



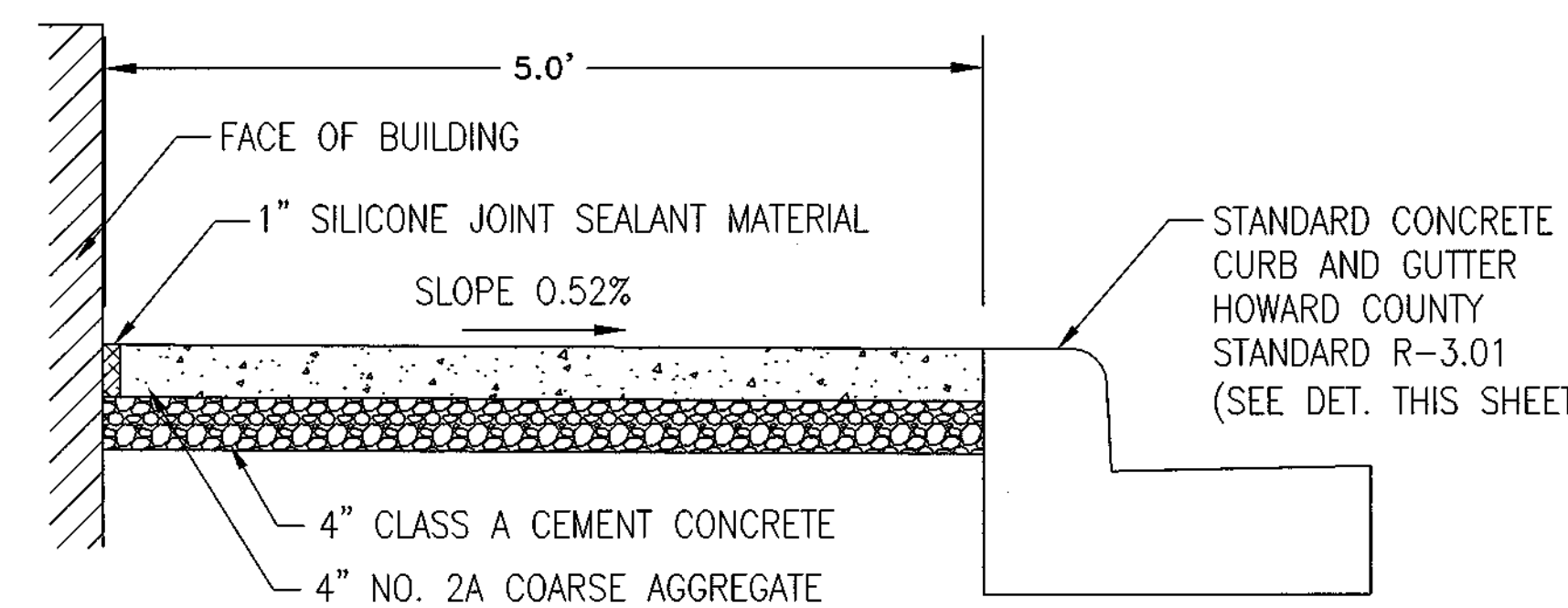
DATE: 06-21-02 DRWG: FILTERRATM INLET

AMERICAST
A Division of VALLEY BLOC, Inc.

PRECAST 6'-0 x 6'-0
FILTERRATM INLET



POLE MTD. LIGHTING FIXTURE DETAIL
N.T.S.



TYPICAL SIDEWALK DETAIL
SCALE: NTS

OWNER / DEVELOPER:	SURESH D. PATEL 9860, WASHINGTON BLVD LAUREL, MARYLAND 20723	No.	REVISION	DATE
APPROVED:	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING			
	<i>[Signature]</i> 10/20/03 DIRECTOR			
	<i>[Signature]</i> 10/20/03 CHIEF, DEPARTMENT OF PLANNING AND ZONING			
	<i>[Signature]</i> 10/20/03 CHIEF, DEVELOPMENT ENGINEERING DIVISION			
ADDRESS CHART	PARCEL No. 488	STREET ADDRESS	9860 WASHINGTON BLDG, LAUREL	
SUBDIVISION NAME	PARCEL A	SECTION/AREA	N/A	PARCEL NUMBER
PLAT No. 6560	BLOCK No. 4	ZONE	B-2	TAX/ZONE 50
ELECT.DIST. 6	CENSUS TR. 6069.03	SEWER CODE	71024-00	

REVISIONS

MORAND ARCHITECTS
1276 WEST THIRD STREET
CLEVELAND, OHIO 44113
OFFICE: 216-861-2100 FAX 216-861-2614
E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD 21215
(410) 358-7171

SITE DETAILS

PINELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND

DATE 09/06/03
SCALE VB
DRN VB
DSN ZF
CKD HP
SHEET 6 OF 16

REVISIONS

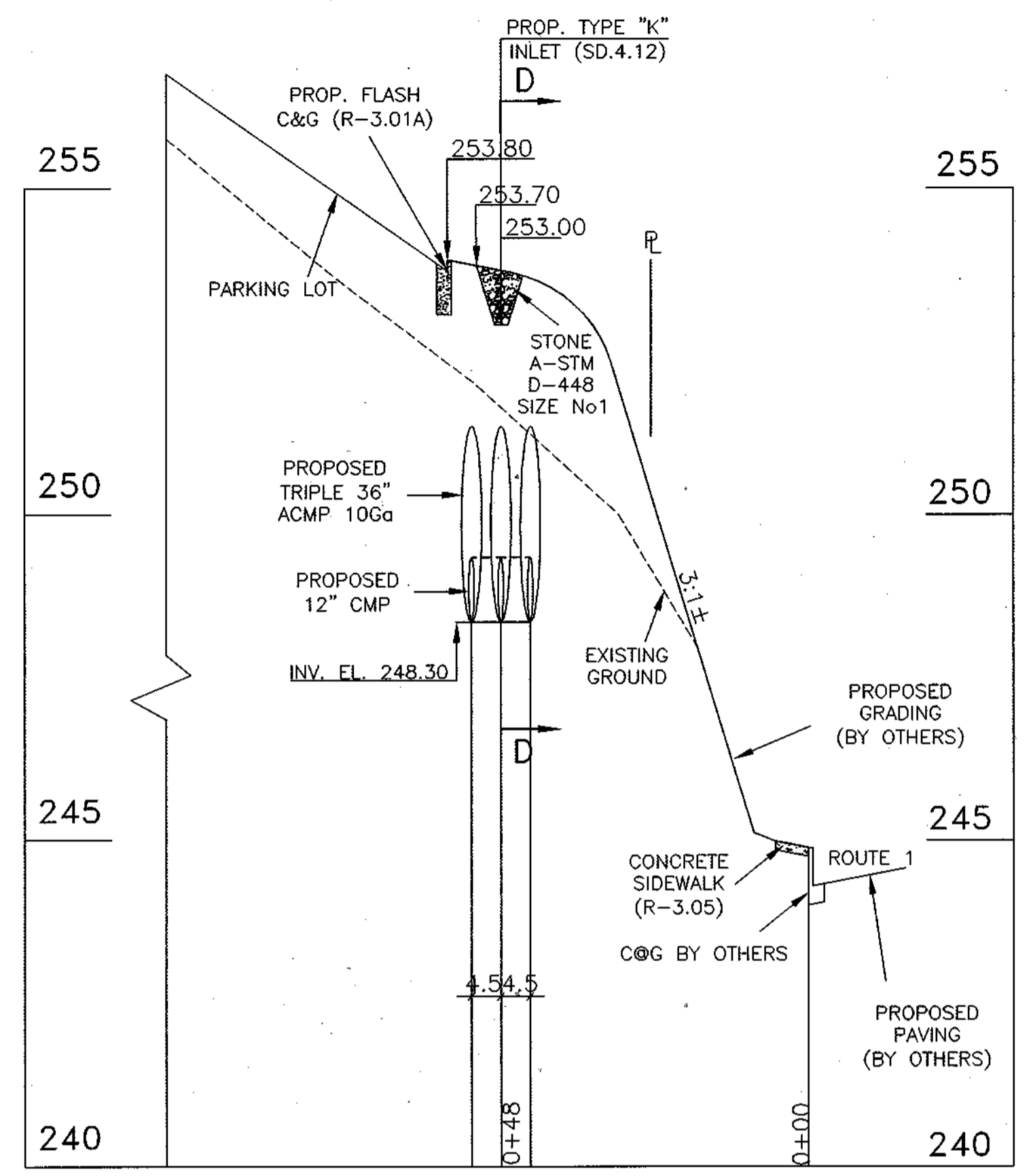
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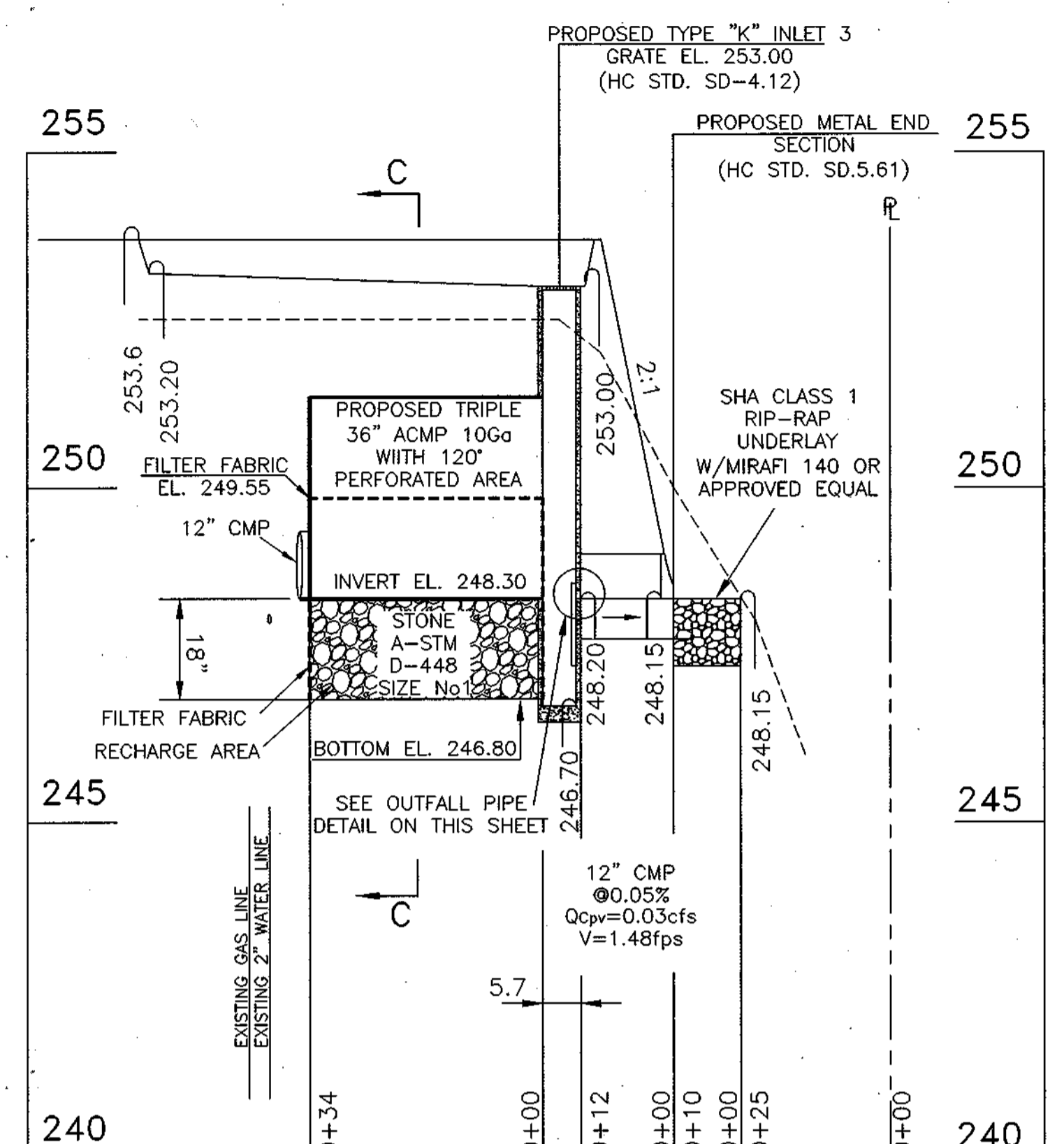
STORMWATER MANAGEMENT PROFILES AND DETAILS

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 09/06/03
 SCALE
 DRN ZF
 DSN ZF
 CKD HP



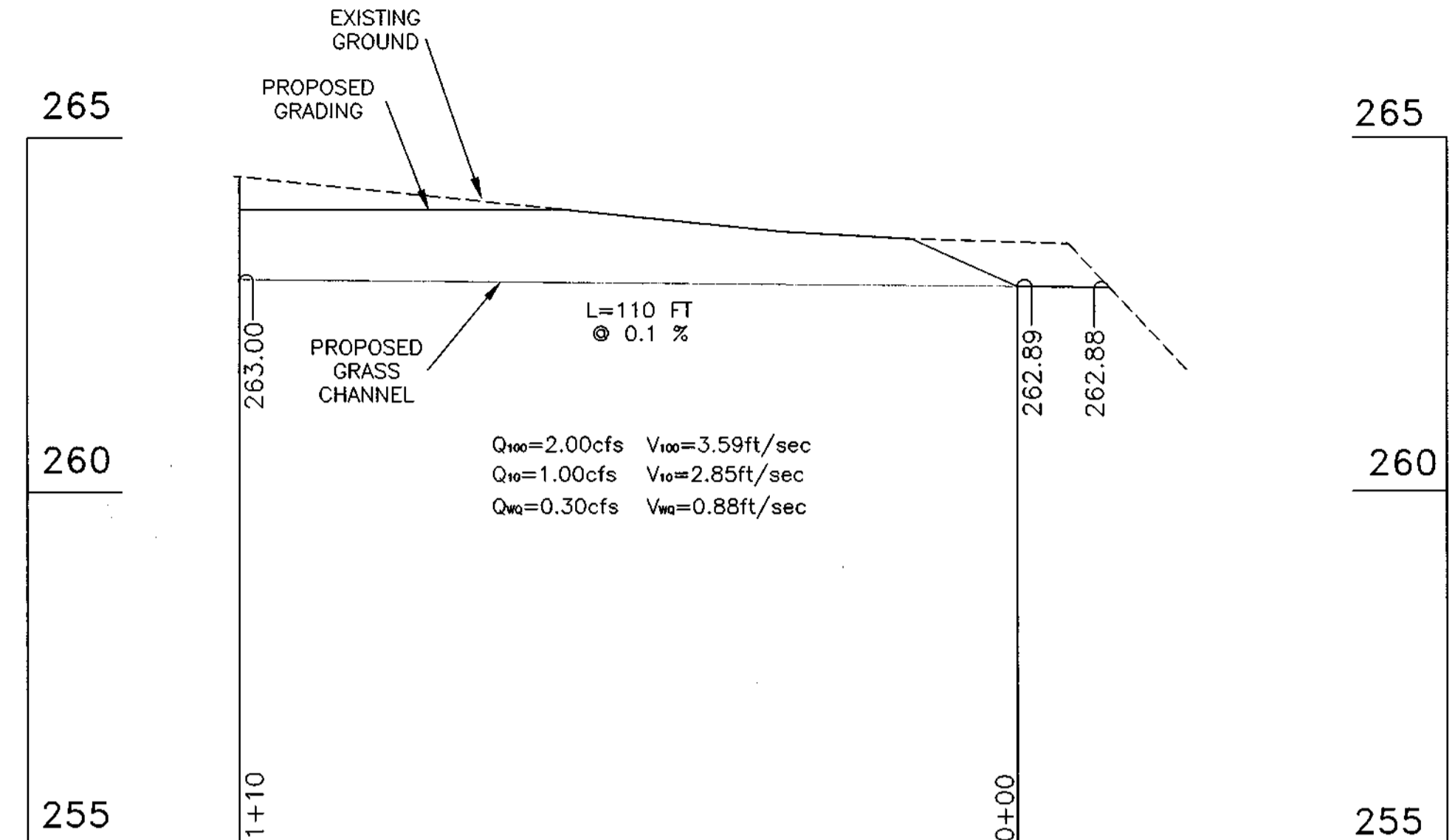
SECTION C-C
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'



SECTION D-D
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'

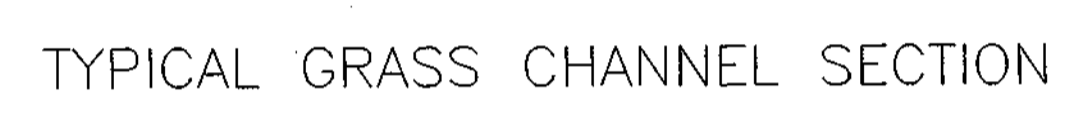
STORM DRAIN INLET SCHEDULE

No	Type	Q (cfs)	Inv.Out	T.C.Elev.	LOCATION	Standard Detail No.
I-1	FILTERRA	0.3	250.20	253.70	N 527701 E 1359850	FILTERRA 01
I-2	FILTERRA	0.3	248.80	252.30	N 527613 E 1359762	FILTERRA 01
I-3	TYPE "K"	0.03	248.20	253.00	N 527561 E 1359726	HC STD. SD-4.12

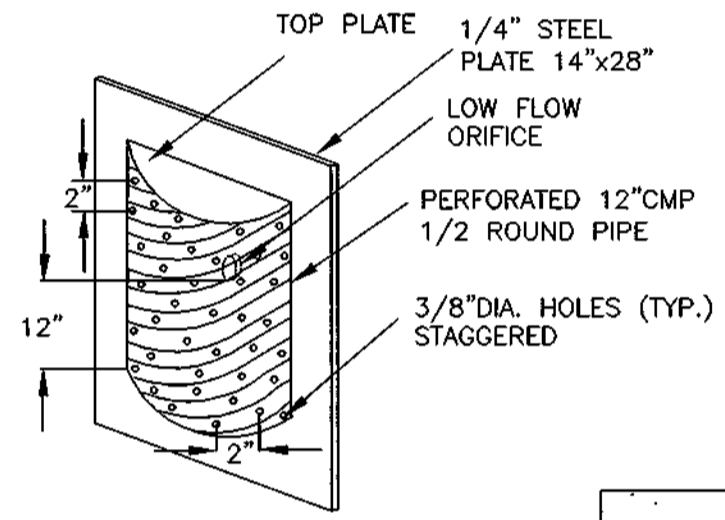


GRASS CHANNEL PROFILE

SCALE: HOR. 1"=20'
 VERT. 1"= 2'



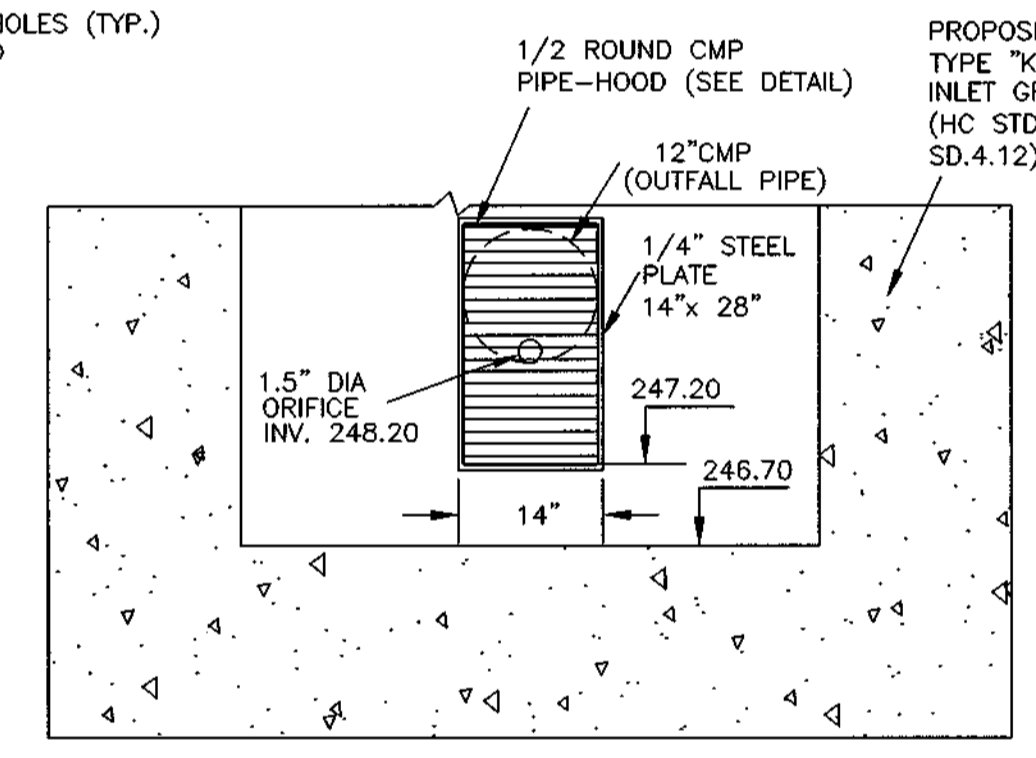
SCALE: NTS



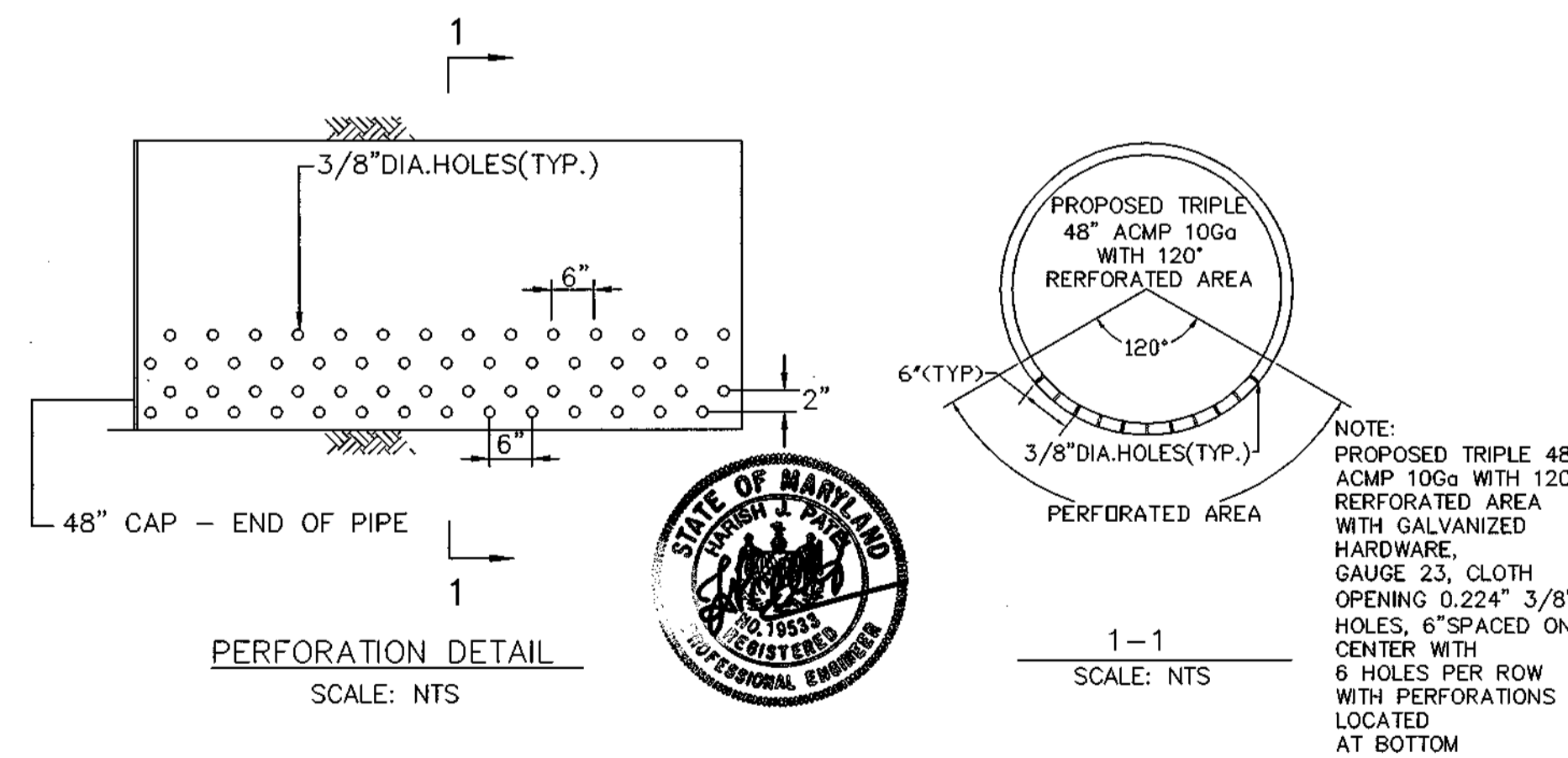
PIPE-HOOD FOR ORIFICE
 SCALE: NTS

STORM DRAIN PIPE SCHEDULE

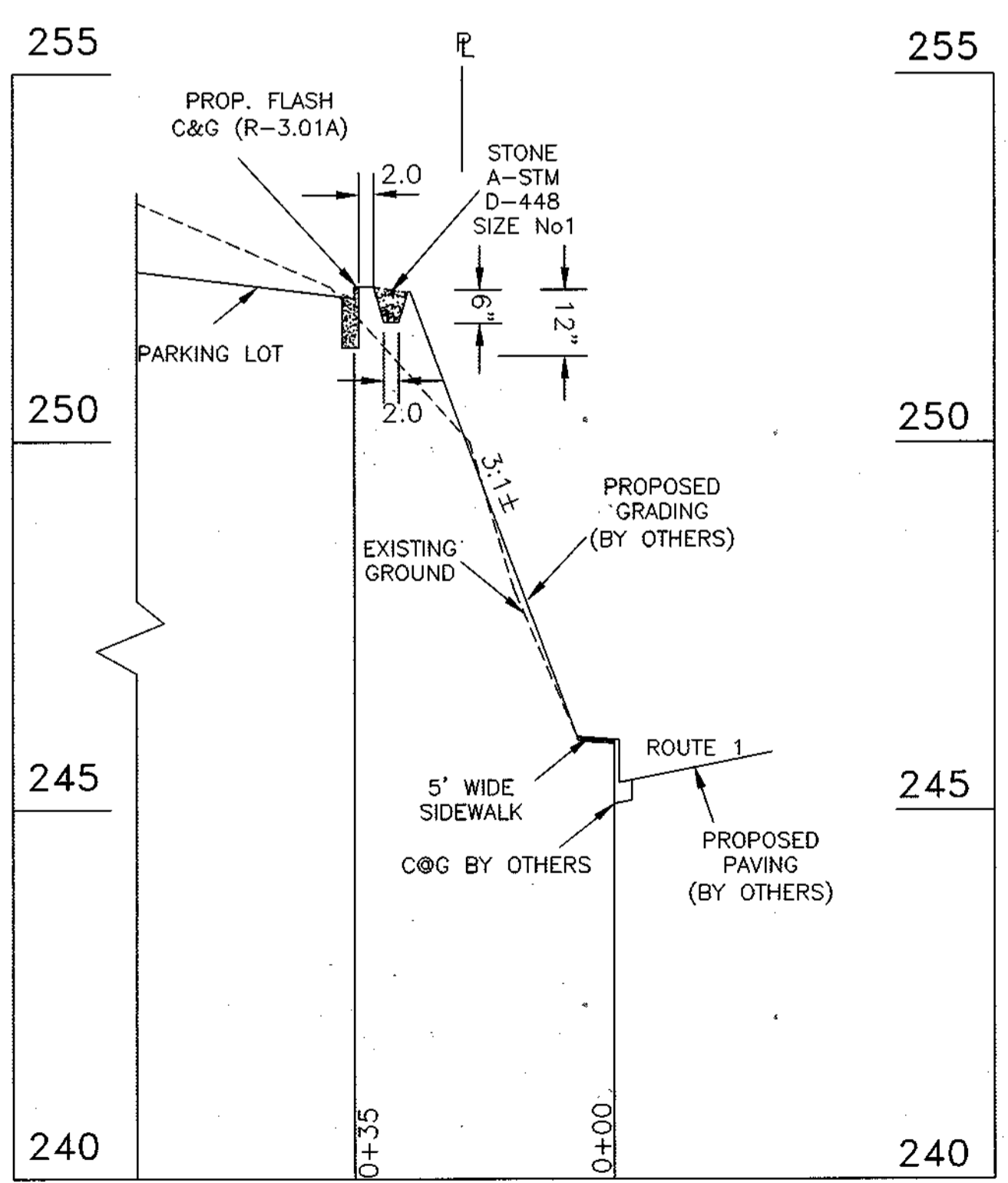
PIPE DESCRIPTION	LENGTH (L.F.)
6" PVC	50.0
8" CMP	14.0



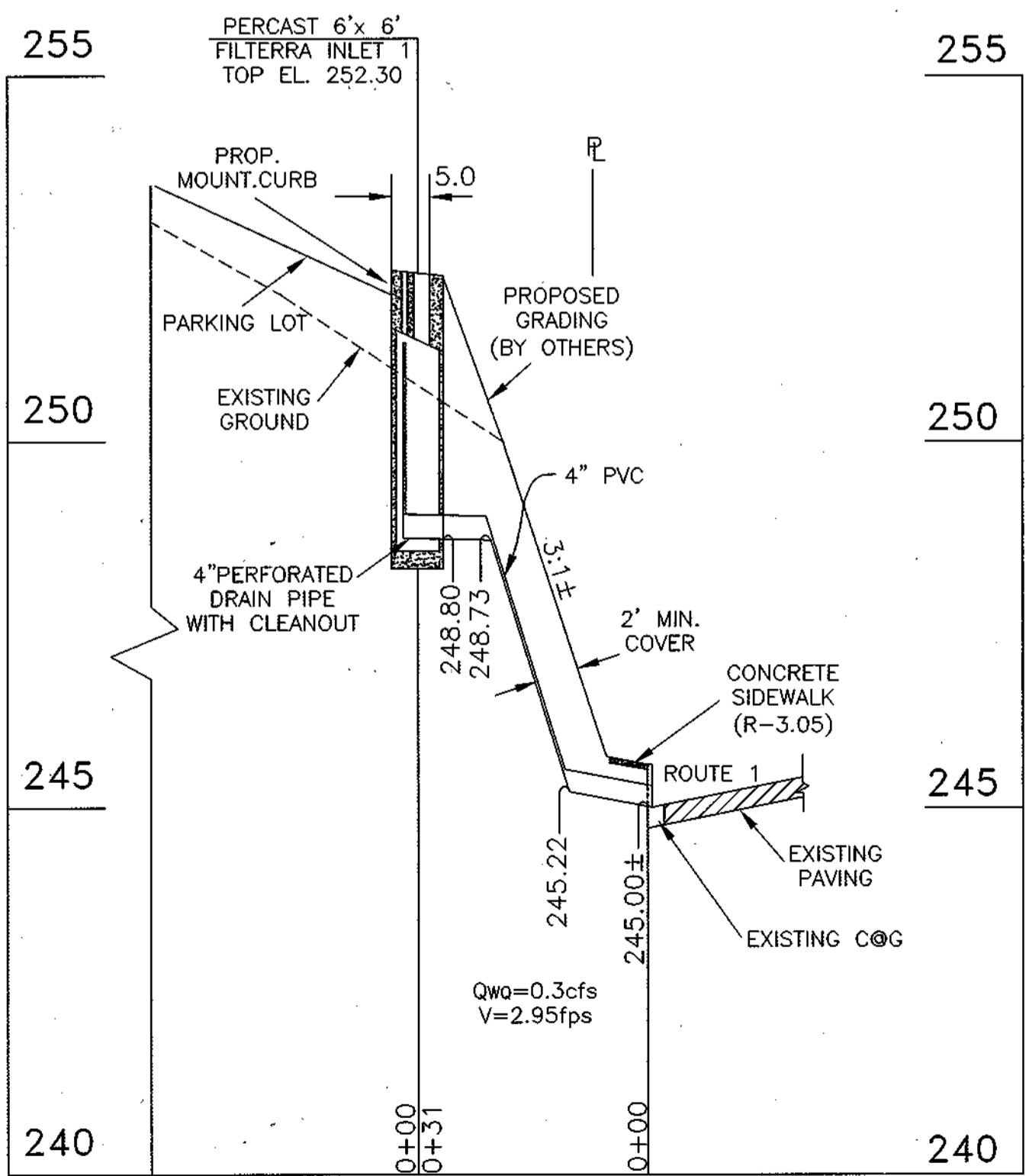
OUTFALL PIPE DETAIL
 SCALE: 1"=1'



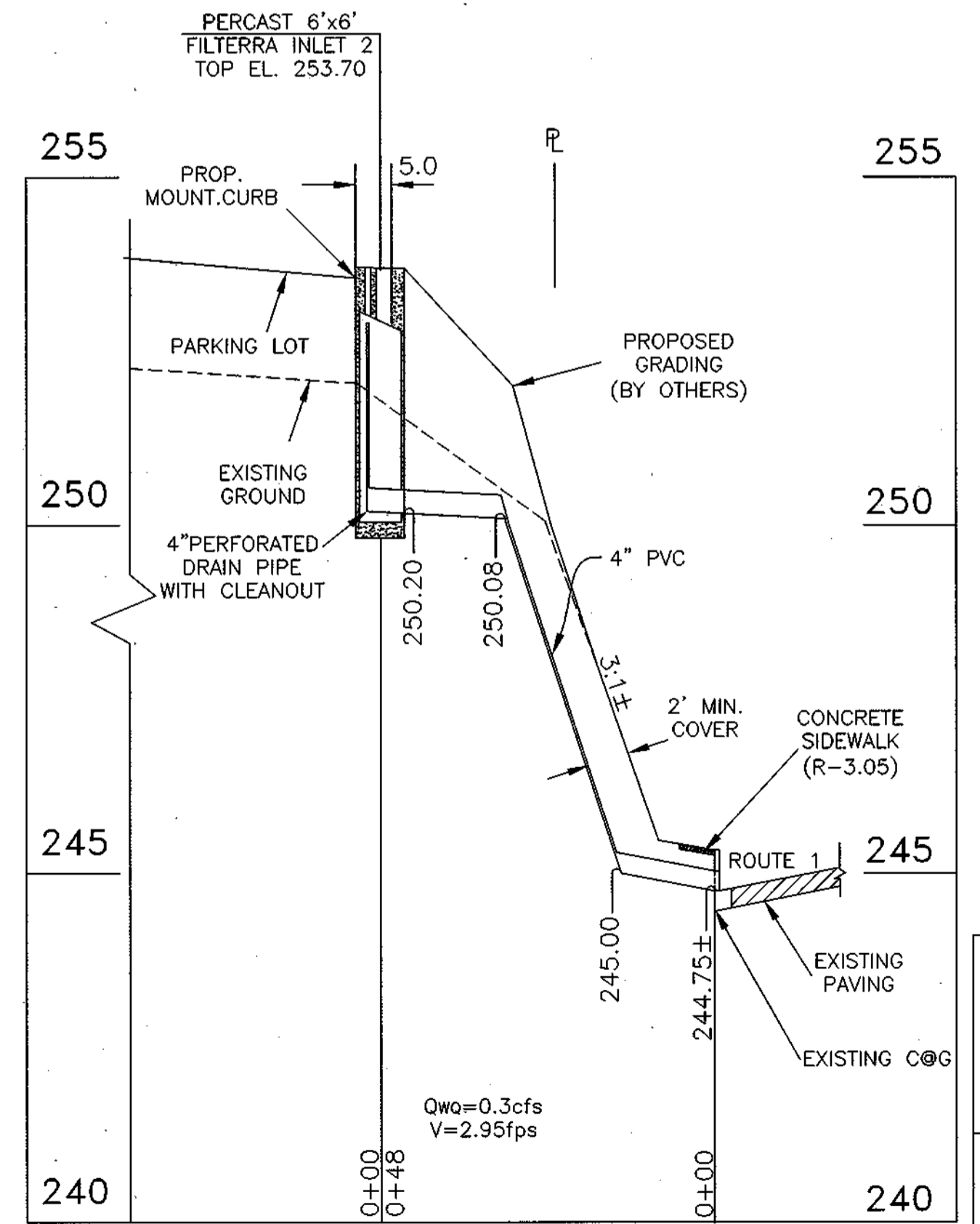
PERFORATION DETAIL
 SCALE: NTS



SECTION A-A
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'



SECTION B-B
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'



SECTION E-E
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'

OWNER / DEVELOPER:
SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David A. Lytle 10/14/03
 DIRECTOR DATE

John Hamilton 10/14/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

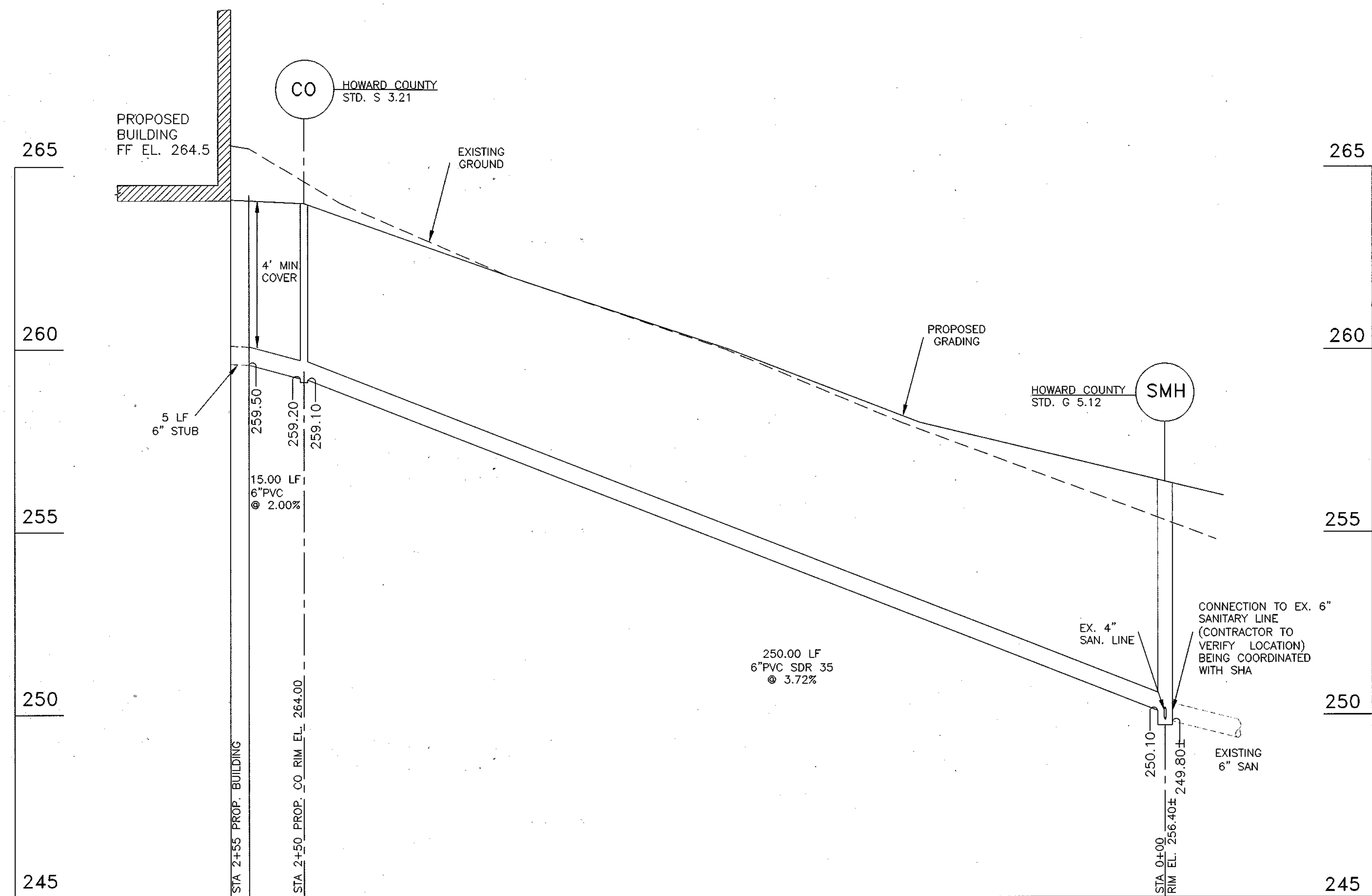
Michael... 10/17/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

No.	REVISION	DATE

ADDRESS CHART
 PARCEL No. 488
 STREET ADDRESS 9860 WASHINGTON BLDR, LAUREL

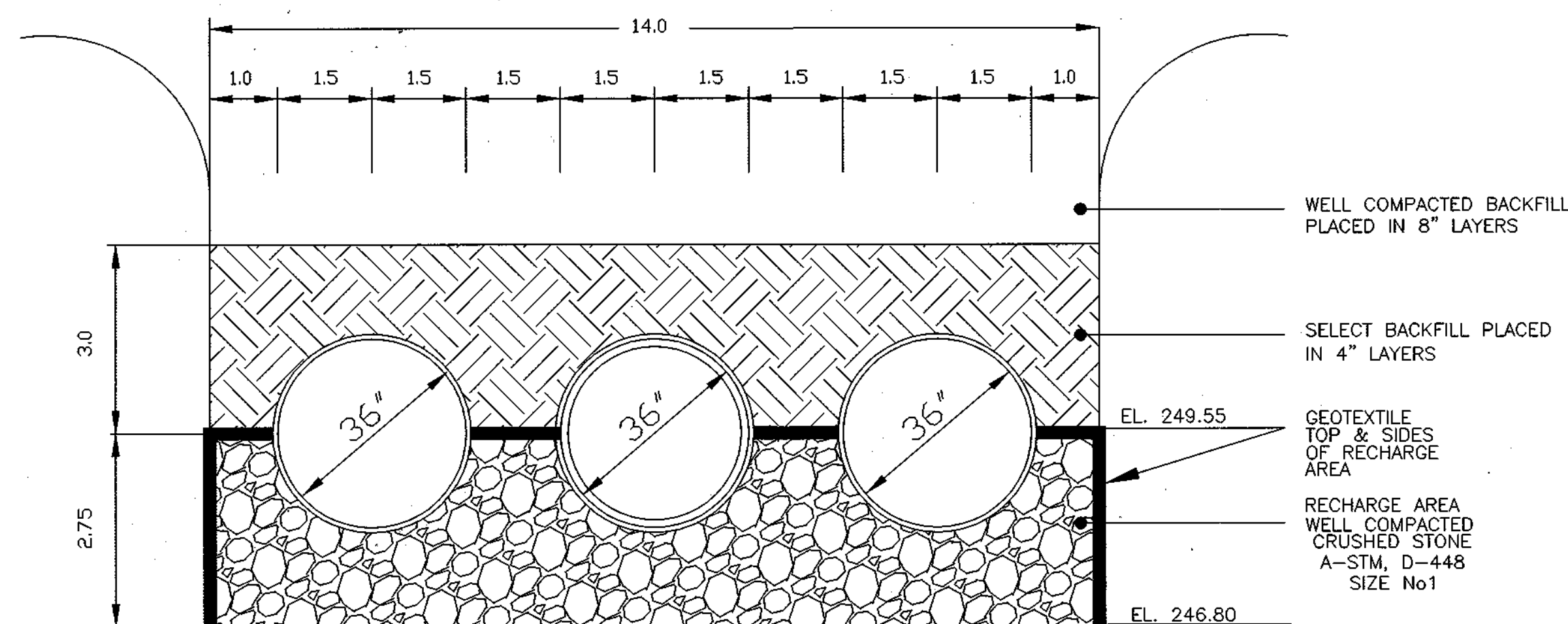
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
PINDELL PROPERTY, PARCEL A	N/A	PARCEL A

PLAT No. 6589 4
 BLOCK No. 4
 ZONE B-2
 TAX/ZONE 50
 ELECT.DIST. 6
 CENSUS TR. 6599.03
 WATER CODE: C05
 SHERA CODE: T102900



PROPOSED SANITARY LINE PROFILE

SCALE: HOR. 1"=20'
VERT. 1"= 2'



NOTE: EXCAVATION AND BACKFILL AS PER GEOTECHNICAL REPORT

SWM STORAGE PIPE DETAIL

SCALE: 1" = 2'

A. Installation, Operation, and Maintenance Plan (IOM Plan)
The Contractor shall submit the manufacturer's approved FilterraTM installation, operation, and maintenance plan for the system. It will be the responsibility of the unit owner/operator or their contractor to ensure that the unit is installed, operated, and maintained in accordance with the IOM plan.

B. Drawings
The Contractor shall be provided dimensional drawings and, when specified, utilize these drawings to show details for construction, materials, specifications, reinforcing, pipe joints and any appurtenances. A Professional Engineer shall certify design calculations and drawings.

C. Manufacturer's Certification
The manufacturer shall submit documentation sealed by a registered professional engineer, which certifies all components of the unit have been manufactured and assembled to meet the requirements of these specifications and the approved drawings.

V. Materials and Design
Each unit shall consist of a precast and fully constructed unit composed of a concrete container with appropriately sized and placed inlet and outlets, an under drain system, filter media, plant materials and an appropriate grate landscape cover where applicable.

A. Concrete for precast unit shall conform to ASTM Designation C 857 and C 858 and meet the following additional requirements:

- The wall thickness shall not be less than 6 inches or as shown on the dimensional drawings. In all cases the wall thickness shall be no less than the minimum thickness necessary to meet loading requirements of the application as determined by a Licensed Professional Engineer.
- The precast concrete unit shall be cured by an approved method. The unit shall not be shipped until the concrete has attained 85 % of its designed compressive strength.
- Vault joints to be sealed with an Engineer approved non-shrink grout.
- Dimensions to meet the requirements of the approved drawings.
- Pipe connections shall be provided to accept pipes of the specified size(s) and material(s).
- Frames, covers, and grates to be as recommended by the Supplier and subject to review of the Engineer for compatibility with site specific conditions.
- Plant type and size shall meet the requirements of the approved drawings and the plant materials will be supplied by a nursery that grows stock materials in conformance with the specifications of American Nursery Association Standards.
- Filter media shall be as directed by Americast which meets the performance criteria described in Section VI.
- The under drain system shall be constructed using perforated PVC pipe of sufficient capacity to freely accept the design flows of the unit without clogging or restricting flows. Access must be provided for inspection and cleaning of the under drain pipe.

- VI. Performance Criteria**
- The unit shall have a minimum flow rate 250 cubic feet / hour for a container with a surface area of 36 square feet.
 - The unit shall remove 80 % total suspended solids.
 - The unit shall remove 70 % total phosphorous, 60 % total nitrogen, 90 % heavy metals (Cu, Pb, Zn) and 50 % hydrocarbon for oil/grease.
 - The unit (of 36 square feet surface area) shall filter and treat a minimum of 90% of the annual volume of runoff from a 100 % total impervious area of 1/4 acre. Higher efficiency rates can be achieved with larger filters or more filters / unit area.
 - The unit shall be dewatered to 50 % soil moisture content within 12 hours through a process of gravity flow and evapotranspiration.
 - The unit shall be designed to ensure that high flow events shall bypass the filter media preventing erosion and resuspension of pollutants.
 - The filtered effluent shall be discharged to an appropriate storm drainage system in accordance with the approved drawings.
 - The unit shall support vigorous plant and microbe growth.
 - If in areas where salt (NaCl) is used for deicing the filter shall continue to function to remove pollutants and support vigorous plant growth provided that adequate drainage / filtration rates are maintained to flush residual salt concentrations out of the filter media.
- J. Contractor / Owner's strict compliance with the IOM Plan is critical to achieving performance criteria.**

- VII. Construction**
- Each unit shall be constructed at the locations and elevations according to the sizes shown on the approved drawings. Any modifications to the elevation or location shall be at the direction of and approved by the Engineer.
 - The unit shall be placed on a level compacted subbase with a 6-inch gravel base. Compact undisturbed sub-grade materials to 95 % of maximum density at + 1- 2 % of optimum moisture. Unsuitable material below sub-grade shall be replaced to site engineer's approval.
 - Inlet and outlets connections shall be aligned and sealed to meet the approved drawings with modifications necessary to meet site conditions.
 - Once the unit is set, backfilling should be performed in a careful manner, bringing the appropriate fill material up in 6" lifts on all sides. Precast sections shall be set in a manner that will result in a watertight joint. In all instances, installation of filter unit shall conform to ASTM specification C891 "Standard Practice for Installation of Underground Precast Utility Structures".

- VIII. Maintenance**
- Each FilterraTM system is to be maintained by Americast, or an Americast approved contractor for a minimum period of 2 years. The cost of this service to be included in the price of each FilterraTM system. Annual maintenance consists of a maximum of (2) scheduled visit. Each maintenance visit consists of the following tasks.
 - Foreign debris removal
 - Excess silt removal
 - Plant health evaluation and pruning or replacement as necessary
 - Media evaluation and recharge as necessary
 - Addition of mulch as necessary
 - Disposal of all maintenance refuse items
 - The beginning and ending date of Supplier obligation to maintain the installed system shall be determined by the Supplier at the time the system is placed in operation. Owner must promptly notify the Supplier of any damage to the plant(s), which constitute(s) an integral part of the bioretention technology. The Supplier shall provide a sign or tag for each unit warning not to cut or damage the plant(s).



OWNER / DEVELOPER:		No.		REVISION		DATE	
SURESH D. PATEL							
9860, WASHINGTON BLVD							
LAUREL, MARYLAND 20723							
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING		ADDRESS CHART		STREET ADDRESS			
Director: <i>Mark D. Cayle</i> 10/14/03 Chief, Division of Land Development: <i>Conrad Hamilton</i> 10/14/03 Chief, Development Engineering Division: <i>Paul D. ...</i> 10/17/03		PARCEL No. 488 9860 WASHINGTON BLD, LAUREL		SUBDIVISION NAME: PINDELL PROPERTY, PARCEL A SECTION/AREA: N/A PARCEL NUMBER: PARCEL A		PLAT No. 6589 4 BLOCK No. B-2 TAX/ZONE 50 ELECT.DIST. 6 CENSUS TR. 60669.03 WATER CODE: C05	

REVISIONS

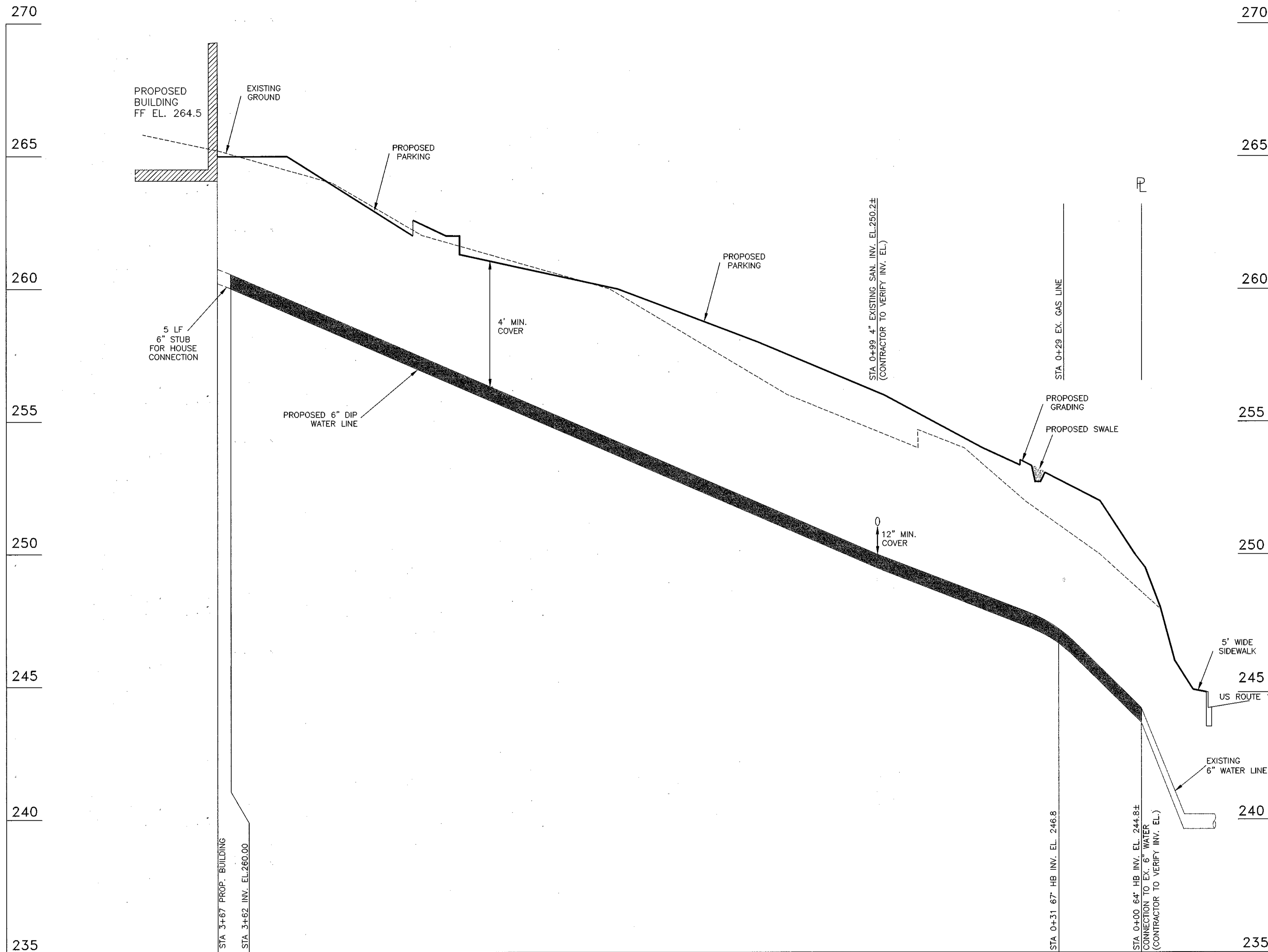
MORAND ARCHITECTS
1276 WEST THIRD STREET
CLEVELAND, OHIO 44113
OFFICE: 216-861-2100 FAX 216-861-2614
E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD. 21215
(410) 368 7171

**STORMWATER MANAGEMENT
DETAILS AND
SANITARY PROFILE**

**PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND**

DATE 09/06/03
SCALE
DRN VB
DSN ZF
CKD HP
SHEET 8 OF 16



PROPOSED WATER LINE PROFILE

SCALE: HOR. 1"=20'
VERT. 1"= 2'



OWNER / DEVELOPER:
SURESH D. PATEL
9860, WASHINGTON BLVD
LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Mark Wright 10/1/03
DIRECTOR DATE
Andy Hamilton 10/1/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Chad Damman 10/1/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

No.	REVISION	DATE

ADDRESS CHART	
PARCEL No. 488	STREET ADDRESS 9860 WASHINGTON BLDR, LAUREL
SUBDIVISION NAME PINDELL PROPERTY, PARCEL A	SECTION/AREA N/A
PLAT No. 6589	BLOCK No. 4
ZONE B-2	TAX/ZONE 50
ELECT.DIST. 6	CENSUS TR. 6069-03
WATER CODE C05	SHEET CODE 102600

REVISIONS

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CLEVELAND, OHIO 44113
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EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD. 21215
(410) 358 7171

WATER LINE PROFILE

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND

DATE 09/06/03
SCALE
DRN VB
DSN ZF
CKD HP
SHEET 9 OF 16

SDR-03-141

REVISIONS

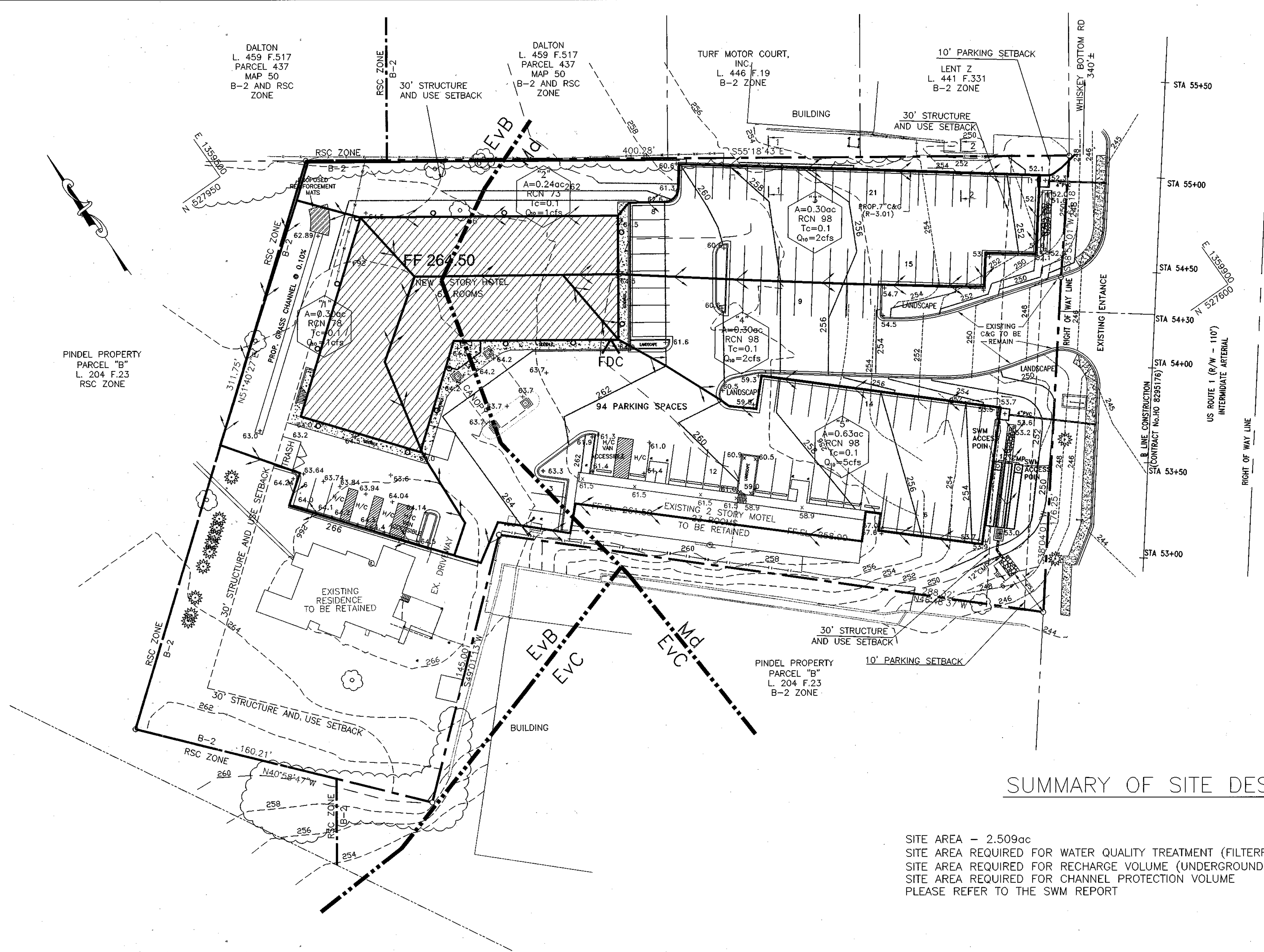
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 BALTIMORE, MD. 21215
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SOIL AND DRAINAGE
 AREA MAP

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP
 SHEET 10 OF 16

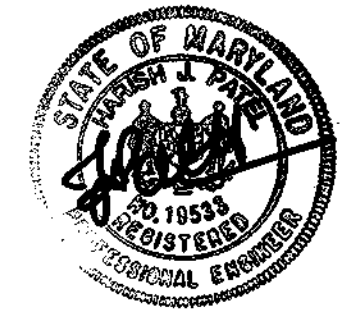


SUMMARY OF SITE DESIGN PARAMETERS

	REQUIRED	ACTUAL	
SITE AREA - 2.509ac			
SITE AREA REQUIRED FOR WATER QUALITY TREATMENT (FILTRERA INLETS)	- 0.39ac	- 0.93ac	A3-0.30ac A5-0.63ac
SITE AREA REQUIRED FOR RECHARGE VOLUME (UNDERGROUND STONE)	- 0.39ac	- 0.39ac	FILTRERA BIORETENTION FILTRATION SYSTEM
SITE AREA REQUIRED FOR CHANNEL PROTECTION VOLUME	- 0.38ac	- 0.38ac	UNDERGROUND PIPES
PLEASE REFER TO THE SWM REPORT			

SYMBOL	SOIL DESCRIPTION	TYPE
EvB	EVESBORO LOAMY SAND	"A" SOIL
Md	MADE LAND	"B" SOIL

OWNER / DEVELOPER: SURESH D. PATEL 9860, WASHINGTON BLVD LAUREL, MARYLAND 20723		No.	REVISION	DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING		ADDRESS CHART		
DIRECTOR: <i>Mark R. Loyell</i> 10/10/03 CHIEF, DEVELOPMENT ENGINEERING DIVISION: <i>Cindy Hamilton</i> 10/10/03 CHIEF, DEVELOPMENT ENGINEERING DIVISION: <i>Chris Dammann</i> 10/7/03		PARCEL No. 488 STREET ADDRESS: 9860 WASHINGTON BLDG, LAUREL		
PLAT No. 6589	BLOCK No. 4	ZONE B-2	TAX/ZONE 50	ELECT.DIST. 6
CENSUS TR. 6069.03		SERIES CODE: T102460		



REVISIONS

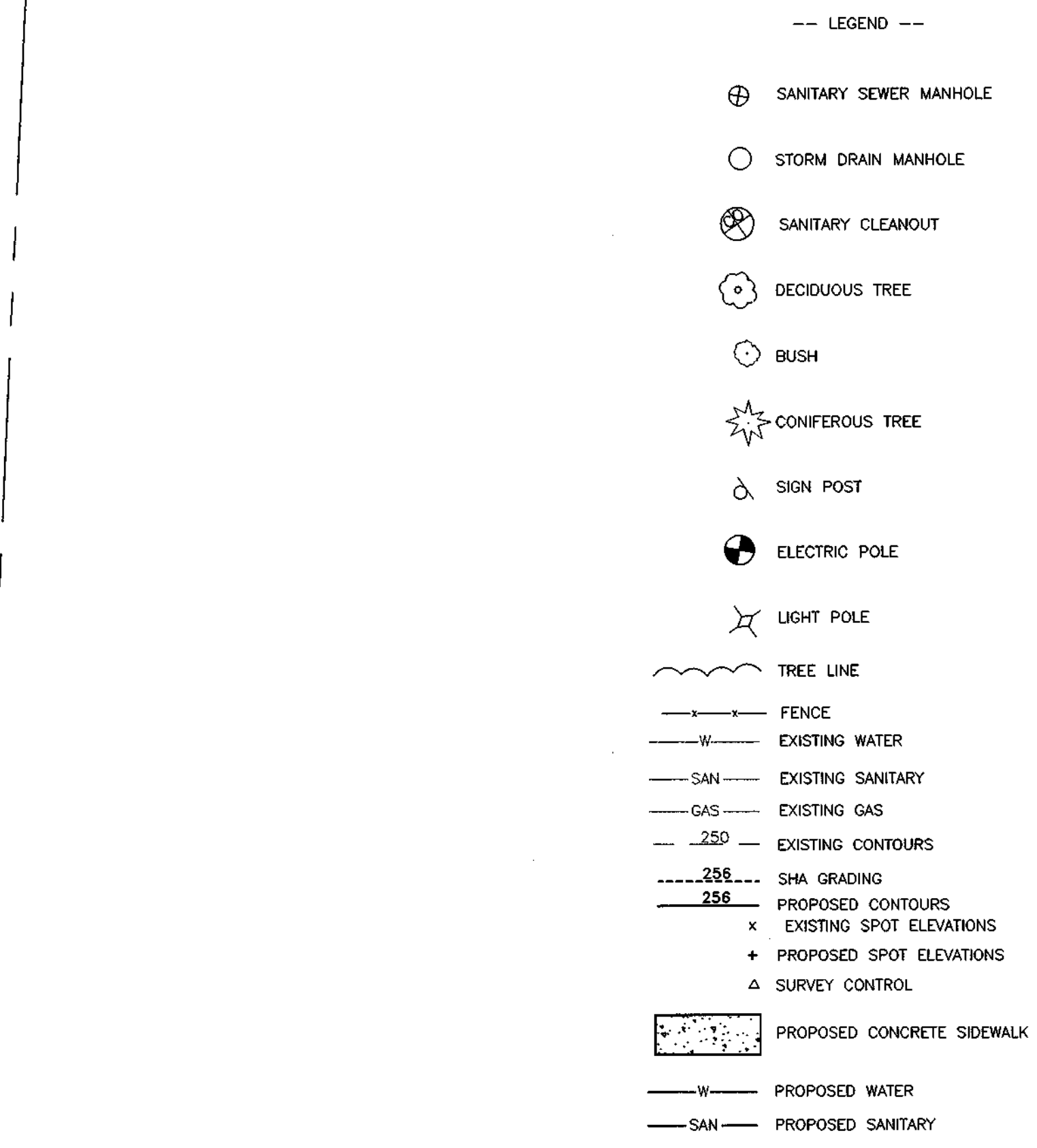
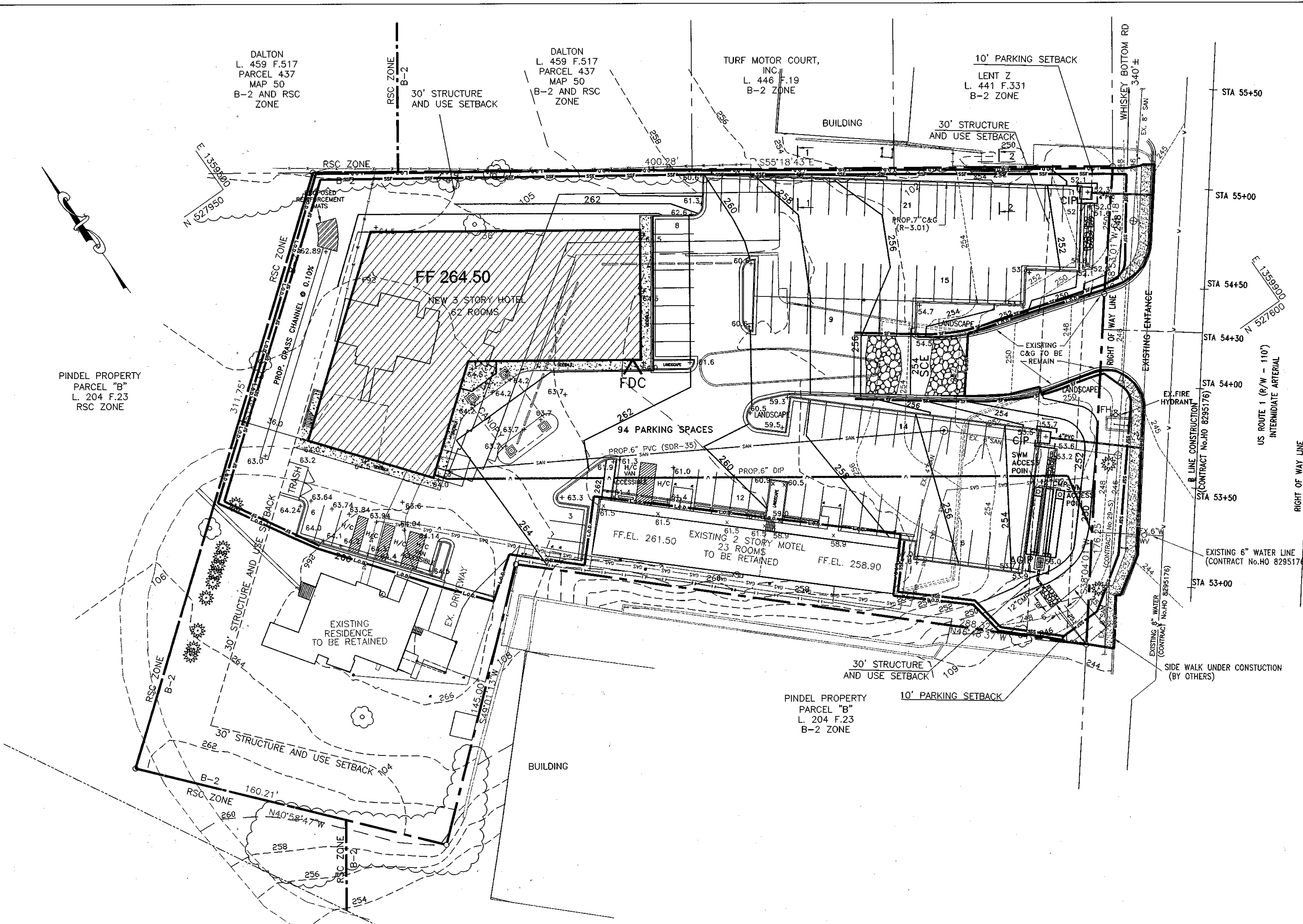
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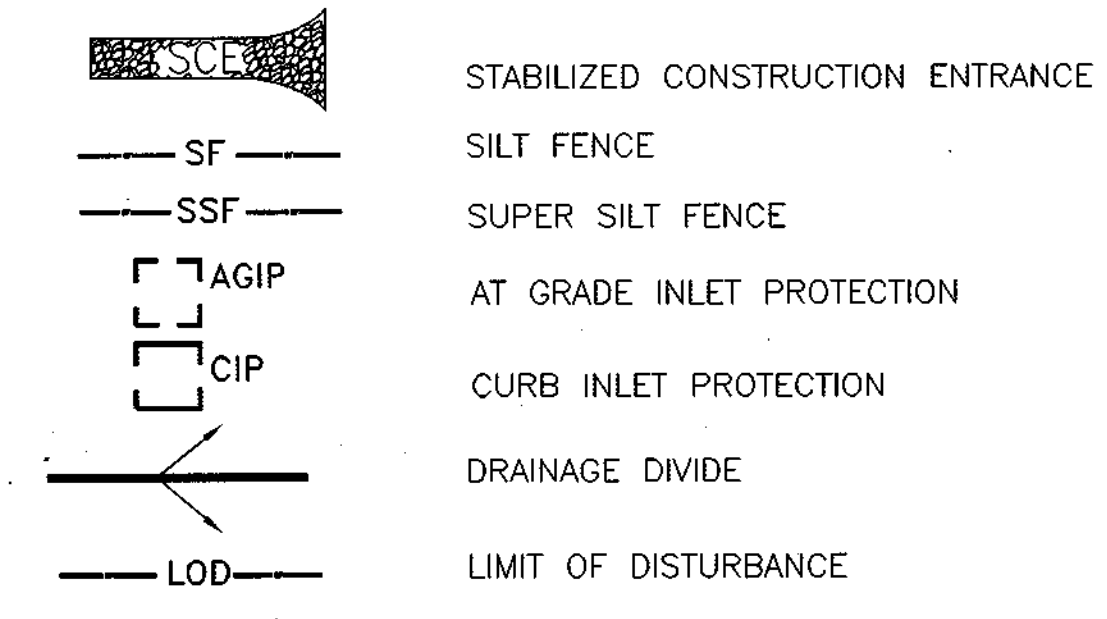
EROSION AND SEDIMENT CONTROL PLAN

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP
 SHEET 11 OF 16



EROSION AND SEDIMENT CONTROL LEGEND:



WATER QUALITY STRUCTURE: I1, I2, I3, GRASS CHANNEL AND TRIPLE 34 L.F.- 36" DIA ACMP STORMWATER CONTAINMENT FACILITY - TO BE PRIVATELY OWNED AND MAINTAINED.

DEBRIS IS TO BE KEPT OUT OF THE PROPOSED SWM FACILITY DURING AND AFTER CONSTRUCTION.

DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROLS OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF DEVELOPER DATE: *Suresh D. Patel* 9-12-2003

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER DATE: *John H. Paton* 9-12-03

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Murray 10/2/03
 USDA-NATURAL RESOURCE CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
John H. Paton 10/2/03
 HOWARD SCD



OWNER / DEVELOPER:
 SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
David R. Coyle 10/10/03
 DIRECTOR
Chris Hamilton 10/10/03
 CHIEF, DIVISION OF LAND DEVELOPMENT
Chad Cammisa 10/10/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

No.	REVISION	DATE

ADDRESS CHART
 PARCEL No. 488 STREET ADDRESS 9860 WASHINGTON BLD. LAUREL
 SUBDIVISION NAME SECTION/AREA PARCEL NUMBER
 PINDELL PROPERTY, N/A PARCEL A
 PLAT No 6589 BLOCK No 4 ZONE B-2 TAX/ZONE 50 ELECT.DIST. 6 CENSUS TR. 6069.03
 WATER CODE: C05 SEWER CODE: 7102400

REVISIONS

MORAND ARCHITECTS
 1276 WEST THIRD STREET
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EBA ENGINEERING INC.
 4813 SETON DRIVE
 BALTIMORE, MD. 21215
 (410) 368 7171

EROSION AND SEDIMENT CONTROL DETAILS

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 09/06/03

SCALE

DRN ZF

DSN ZF

CKD HP

SHEET 12 OF 16

DETAIL 33 - SUPER SILT FENCE

NOTE: FENCE POST SPACING SHALL NOT EXCEED 10' CENTER TO CENTER

Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8' into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when 'bulges' develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE

Construction Specifications

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23C - CURB INLET PROTECTION

Construction Specifications

- Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
- Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
- Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
- Place the assembly against the inlet throat and nail (min. 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
- The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
- Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" to 1-1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
- This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
- Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-5B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1 WEEK).
- INSTALL SUPER SILT FENCE AS PROPOSED (1 WEEK).
- PERFORM DEMOLITION OF THE BUILDINGS AS SHOWN (2 WEEK).
- GRADE SITE TO FINAL SUB-GRADE AND PREPARE BUILDING PAD (4 WEEK).
- INSTALL SITE UTILITIES AND BEGIN BUILDING CONSTRUCTION (4 WEEK).
- CONSTRUCT PARKING LOT BASE PAVING AND STORM DRAIN SYSTEM (4 WEEK).
- INSTALL LANDSCAPING AND SEED AND MULCH ALL REMAINING DISTURBED AREAS. INSTALL FINAL PAVING (8 WEEK).
- DURING GRADING AND AFTER EACH INSTALLATION, THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE INSTALLED SEDIMENT AND EROSION CONTROL MEASURES.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, SWALES AND ALL SLOPES GREATER THAN 3:1.
 - 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.
- UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL STRUCTURES AND STABILIZE THE DISTURBED AREA.

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

Construction Specification

- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23B - AT GRADE INLET PROTECTION

Construction Specifications

- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
- Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-5A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 30 - EROSION CONTROL MATTING

Construction Specifications

- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
- Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G-22-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SUPER SILT FENCE			
Design Criteria			
Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

OWNER / DEVELOPER:
 SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: *[Signature]* DATE: 10/14/03
 Chief Development Engineering Division: *[Signature]* DATE: 10/17/03

No.	REVISION	DATE

ADDRESS CHART
 PARCEL No. 498 STREET ADDRESS 9860 WASHINGTON BLDR, LAUREL

SUBDIVISION NAME N/A **SECTION/AREA** N/A **PARCEL NUMBER** PARCEL A

PINDELL PROPERTY, PARCEL A

PLAT No. 6589 BLOCK No. 4 ZONE B-2 TAX/ZONE 50 ELECT.DIST. 6 CENSUS TR. 6099-03 WATER CODE: C05

OWNER/DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROLS OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER DATE: SURESH D. PATEL 9-12-2003

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER DATE: HARISH PATEL 9-6-03



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

[Signature] DATE: 10-2-03
 N/A-NATURAL RESOURCES DIVISION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

[Signature] DATE: 10-2-03
 HOWARD SCD

SDP-03-141

EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS AT (410) 982-2447 SEVEN (7) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND, UNLESS WAIVED BY THE ADMINISTRATION, SHALL BE REQUIRED TO HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES AND A REPRESENTATIVE OF WATER MANAGEMENT ADMINISTRATION (WMA).
- THE CONTRACTOR MUST NOTIFY WATER MANAGEMENT ADMINISTRATION (WMA) IN WRITING AND BY TELEPHONE AT THE FOLLOWING POINTS:
 - THE REQUIRED PRE-CONSTRUCTION MEETING.
 - FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
 - DURING THE INSTALLATION OF SEDIMENT BASINS (TO BE CONVERTED INTO PERMANENT STORMWATER MANAGEMENT STRUCTURES) AT THE REQUESTED INSPECTION POINTS (SEE INSPECTION CHECKLIST ON PLAN). NOTIFICATION PRIOR TO COMMENCING CONSTRUCTION OF EACH STEP IS MANDATORY.
 - PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE(S).
 - PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES.
 - PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND, SHALL HAVE THEM INSPECTED AND APPROVED BY THE AGENCY INSPECTOR OR WMA INSPECTOR PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES. MINOR SEDIMENT CONTROL DEVICE LOCATION ADJUSTMENTS MAY BE MADE IN THE FIELD WITH THE APPROVAL OF THE WMA INSPECTOR. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES, AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM WMA INSPECTOR AND AGENCY INSPECTOR. THE CONTRACTOR MUST OBTAIN PRIOR AGENCY AND WMA APPROVAL FOR CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM WMA INSPECTOR AND AGENCY INSPECTOR.
- ALL SEDIMENT BASINS, TRAP EMBANKMENTS AND SLOPES, PERIMETER DIKES, SWALES AND ALL DISTURBED SLOPES STEEPER OR EQUAL TO 3:1 SHALL BE STABILIZED WITH SOD OR SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES, AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ESTABLISHMENT. ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST BE MINIMIZED. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. (REQUIREMENT FOR STABILIZATION MAY BE REDUCED TO THREE (3) DAYS FOR SENSITIVE AREAS).
- THE CONTRACTOR SHALL APPLY SOD OR SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES TO ALL DISTURBED AREAS AND STOCKPILES WITHIN FOURTEEN (14) CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES HAVE CEASED IN THE AREA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. (REQUIREMENT MAY BE REDUCED TO SEVEN (7) DAYS FOR SENSITIVE AREAS).
- PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES, THE CONTRACTOR SHALL STABILIZE AND HAVE ESTABLISHED PERMANENT STABILIZATION FOR ALL CONTRIBUTORY DISTURBED

- AREAS USING SOD OR AN APPROVED PERMANENT SEED MIXTURE WITH REQUIRED SOIL AMENDMENTS AND AN APPROVED ANCHORED MULCH. WOOD FIBER MULCH MAY ONLY BE USED IN SEEDING SEASON WHERE THE SLOPE DOES NOT EXCEED 10% AND GRADING HAS BEEN DONE TO PROMOTE SHEET FLOW DRAINAGE. AREAS BROUGHT TO FINISHED GRADE DURING THE SEEDING SEASON SHALL BE PERMANENTLY STABILIZED AS SOON AS POSSIBLE, BUT NO LATER THAN FOURTEEN (14) CALENDAR DAYS AFTER ESTABLISHMENT. WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS OF NOVEMBER THROUGH FEBRUARY, AND PERMANENT STABILIZATION OF SUCH PROPERTY SHALL BE APPLIED BY MARCH 15 OR EARLIER IF GROUND AND WEATHER CONDITIONS ALLOW.
- THE SITE'S APPROVAL LETTER, APPROVED EROSION AND SEDIMENT CONTROL PLANS, DAILY LOG BOOKS AND TEST REPORTS SHALL BE AVAILABLE AT THE SITE FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF WMA AND AGENCY RESPONSIBLE FOR PROJECT.
 - SURFACE DRAINAGE FLOWS OVER UNSTABILIZED CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER PREVENTING DRAINAGE FLOWS FROM TRAVERSING THE SLOPES OR BY INSTALLING PROTECTIVE DEVICES TO LOWER THE WATER DOWNSLOPE WITHOUT CAUSING EROSION. DIKES SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF CUT OR FILL SLOPES UNTIL THE SLOPE AND DRAINAGE AREA TO IT ARE FULLY STABILIZED, AT WHICH TIME THEY MUST BE REMOVED AND FINAL GRADING DONE TO PROMOTE SHEET FLOW DRAINAGE. PROTECTIVE METHODS MUST BE PROVIDED AT POINTS OF CONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.
 - PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIPRAP OR BY OTHER APPROVED STABILIZATION MEASURES.
 - TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED, WITH PERMISSION OF WMA INSPECTOR AND AGENCY INSPECTORS, WITHIN THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS. STORMWATER MANAGEMENT STRUCTURES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL.
 - NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS. A SLOPE GRADIENT OF UP TO 2:1 WILL BE PERMITTED IN NON-MAINTENANCE AREAS PROVIDED THAT THOSE AREAS ARE INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN WITH A LOW-MAINTENANCE GROUND COVER SPECIFIED FOR PERMANENT STABILIZATION SLOPE GRADIENT STEEPER THAN 2:1 WILL NOT BE PERMITTED WITH VEGETATIVE STABILIZATION.
 - FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS SO AS TO: PREVENT WATER FROM STANDING ON THE SURFACE MORE THAN TWENTY-FOUR (24) HOURS AFTER THE END OF A RAINFALL EXCEPT IN DESIGNATED DRAINAGE COURSES AND SWALE FLOW AREAS WHICH MAY DRAIN AS LONG AS FORTY-EIGHT (48) HOURS AFTER THE END OF A RAINFALL, AREAS DESIGNED TO HAVE STANDING WATER SHALL NOT BE REQUIRED TO MEET THIS REQUIREMENT.
 - SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN 20 FEET OF A FOUNDATION WHICH IS EXISTING OR UNDER CONSTRUCTION. NO STRUCTURE MAY BE CONSTRUCTED WITHIN 20 FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.
 - THE WMA INSPECTOR HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES. IF DEEMED NECESSARY.
 - ALL TRAP DEPTH DIMENSIONS ARE RELATIVE TO THE OUTLET ELEVATION. ALL TRAPS MUST HAVE A STABLE OUTFALL. ALL TRAPS AND BASINS SHALL HAVE STABLE INFLOW POINTS.
 - VEGETATION STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL REFER TO APPROPRIATE

SPECIFICATIONS FOR TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, SODDING AND GROUND COVERS.

- TEMPORARY SEDIMENT TRAP(S) SHALL BE CLEANED OUT AND RESTORED TO THE ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A POINT OF ONE HALF (1/2) THE DEPTH BETWEEN THE OUTLET CREST AND THE BOTTOM OF THE TRAP. SEDIMENT BASINS SHALL BE CLEANED OUT AND RESTORED TO THE ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO ONE HALF (1/2) THE DEPTH BETWEEN THE DEWATERING ELEVATION AND THE BOTTOM OF THE BASIN.
- SEDIMENT REMOVED FROM TRAPS (AND BASINS) SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR TREE-SAVE AREA. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO RELEASE FROM THE SITE. A SUMP PIT MAY BE USED IF SEDIMENT TRAPS THEMSELVES ARE BEING PUMPED OUT.
- WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, SEDIMENT BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST 42 INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN 8 FEET, HAVE MESH OPENINGS NO GREATER THAN 2 INCHES IN WIDTH AND 4 INCHES IN HEIGHT WITHIN A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.
- SEDIMENT CONTROL FOR UTILITY CONSTRUCTION FOR AREAS OUTSIDE OF DESIGNATED CONTROLS OR AS DIRECTED BY ENGINEER OR WATER MANAGEMENT ADMINISTRATION (WMA) INSPECTOR.
 - CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK.
 - EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
 - TRENCHES FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY. NO MORE TRENCH SHALL BE OPENED THAN CAN BE COMPLETED THE SAME DAY, UNLESS;
 - TEMPORARY SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED FOR MORE THAN ONE DAY.
- OFF-SITE SPOIL OR BORROW AREAS ON STATE OR FEDERAL PROPERTY MUST HAVE PRIOR APPROVAL BY WMA AND OTHER APPLICABLE STATE, FEDERAL AND LOCAL AGENCIES OTHERWISE, APPROVAL MUST BE GRANTED BY THE LOCAL AUTHORITIES. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.
- SITES WHERE INFILTRATION DEVICES ARE USED FOR THE CONTROL OF STORMWATER, EXTREME CARE MUST BE TAKEN TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE STRUCTURE DURING CONSTRUCTION. SEDIMENT CONTROL DEVICES PLACED IN INFILTRATION AREAS MUST HAVE BOTTOM ELEVATIONS AT LEAST TWO (2) FEET HIGHER THAN THE FINISH GRADE BOTTOM ELEVATION OF THE INFILTRATION PRACTICE. WHEN CONVERTING A SEDIMENT TRAP TO AN INFILTRATION DEVICE ALL ACCUMULATED SEDIMENT MUST BE REMOVED AND DISPOSED OF PRIOR TO FINAL GRADING OR INFILTRATION DEVICE.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS IN UNPAVED AREA SHALL BE STABILIZED AND PROTECTED TO PREVENT TRACKING OF MUD ONTO PUBLIC WAYS.
- WHEN A STORM DRAIN SYSTEM OUTFALL IS DIRECTED TO A SEDIMENT TRAP OR SEDIMENT BASIN AND THE SYSTEM IS TO BE USED FOR TEMPORARILY CONVEYING SEDIMENT LADEN WATER, ALL STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT BERMS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.

27. SITE INFORMATION (NOT TO BE USED FOR BIDDING PURPOSES):			
TOTAL AREA OF SITE	2.509±	ACRES	
AREA DISTURBED	1.90±	ACRES	
AREA TO BE ROOFED OR PAVED	1.51	ACRES	

OWNER/DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROLS OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER DATE *S. Patel* 9-12-03
SUDRESH D. PATEL DATE

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER DATE *H. Patel* 9-6-03
HARISH PATEL DATE



STANDARD STABILIZATION NOTE:

"FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND FOURTEEN (14) DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE."

OWNER / DEVELOPER:
SURESH D. PATEL
9860, WASHINGTON BLVD
LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Mark A. Caylor 10/11/03
DIRECTOR DATE
Andy Hamilton 10/10/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
John R. Peterson 10/11/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

No.	REVISION	DATE

ADDRESS CHART	
PARCEL No. 488	STREET ADDRESS 19860 WASHINGTON BLDG, LAUREL
SUBDIVISION NAME	SECTION/AREA
PINDELL PROPERTY, PARCEL A	N/A
PARCEL A	PARCEL A
PLAT No. 6589	BLOCK No. 4
ZONE B-2	TAX/ZONE 50
ELECT.DIST. 6	CENSUS TR. 60609.03
WATER CODE: 005	SINEX CODE: 7162005

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Meyer 10-2-03
USA-NATURAL RESOURCE CONSERVATION SERVICE DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
John R. Peterson 10-2-03
HOWARD SCD DATE

REVISIONS

MORAND ARCHITECTS
1276 WEST THIRD STREET
CLEVELAND, OHIO 44113
OFFICE: 216-861-2100 FAX 216-861-2614
E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD. 21215
(410) 368 7171

EROSION AND SEDIMENT CONTROL NOTES

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND

DATE 09/06/03

SCALE
DRN ZF
DSN ZF
CKD HP
SHEET 13 OF 16

STANDARDS AND SPECIFICATIONS

FOR
VEGETATIVE STABILIZATION

Section I - Vegetative Stabilization Methods and Materials

- A. Site Preparation**
- Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
 - Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
 - Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.
- B. Soil Amendments (Fertilizer and Lime Specifications)**
- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
 - Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade or trademark and warrantee of the producer.
 - Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 98 - 100% will pass through a #20 mesh sieve.
 - Incorporate lime and fertilizer into the top 3 - 5" of soil by disking or other suitable means.
- C. Seedbed Preparation**
- Temporary Seeding**
 - Seedbed preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth but left in the roughened condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.
 - Apply fertilizer and lime as prescribed on the plans.
 - Incorporate lime and fertilizer into the top 3 - 5" of soil by disking or other suitable means.
 - Permanent Seeding**
 - Minimum soil conditions required for permanent vegetative establishment:
 - Soil pH shall be between 6.0 and 7.0
 - Soluble salts shall be less than 500 parts per million (ppm).
 - The soil shall contain less than 40% clay but enough fine grained material (> 30% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovegrass or sercia lespedeza is to be planted, then a sandy soil (<30% silt plus clay) would be acceptable.
 - Soil shall contain 1.5% minimum organic matter by weight.
 - Soil must contain sufficient pore space to permit adequate root penetration.
 - If these conditions cannot be met by soils on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil.
 - Areas previously graded on conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3 - 5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
 - Apply soil amendments as per soil test or as included on the plans.
 - Mix soil amendments into the top 3 - 5" of topsoil by disking or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1 - 3" of soil should be loose and friable. Seedbed loosening may not be necessary on newly disturbed areas.
- D. Seed Specifications**
- All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job.

- Inoculant - The inoculant for treating legume seed in the seed mixture shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used later than the date indicated on the container. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75-80 degrees F. can weaken bacteria and make the inoculant less effective.
- E. Methods of Seeding**
- Hydroseeding:** Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeder, or a cultipacker seeder.
 - If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen; maximum of 100 lbs. per acre total of soluble nitrogen; P205 (phosphorous): 200 lbs/ac; K20 (Potassium): 200 lbs/ac.
 - Lime - use only ground agricultural limestone. (Up to 3 tones per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
 - Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.
 - Dry Seeding:** This includes use of conventional drop or broadcast spreaders.
 - Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
 - Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
 - Drill or Cultipacker Seeding:** Mechanized seeders that apply and cover seed with soil.
 - Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.
 - Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
- F. Mulch Specifications (In order of preference)**
- Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonably bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
 - Wood Cellulose Fiber Mulch (WCFM)**
 - WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
 - WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry.
 - WCFM, including dye, shall contain no germination or growth inhibiting factors.
 - WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
 - WCFM material shall contain no elements or compounds at concentration levels that will be phyto-toxic.
 - WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.
- Note: Only sterile straw mulch should be used in areas where one species of grass is desired.
- Mulching Seeded Areas -** Mulch shall be applied to all seeded areas immediately after seeding.
 - If grading is completed outside of the seeding season, mulch alone shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
 - When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.
 - Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
 - Securing Straw Mulch (Mulch Anchoring):** Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard:
 - A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, this practice should be used on the contour if possible.

- Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
 - Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and on crests of banks. The remainder of area should be applied uniform after binder application. Synthetic binders - such as Acrylic DLR (Agra-Tack), DCA-70, Petrosel, Terra Tack II, Terra Tack ARE or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.
 - Lightweight plastic netting may be stabled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4 to 15 feet wide and 300 to 3,000 feet long.
- I. Incremental Stabilization - Cut Slopes**
- All cut slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 15'.
 - Construction sequences:**
 - Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.
 - Perform phase 1 excavation, dress and stabilize.
 - Perform phase 2 excavation, dress and stabilize. Overseed phase 1 areas as necessary.
 - Perform final phase excavation, dress and stabilize. Overseed previously seeded areas as necessary.
- Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.
- J. Incremental Stabilization of Embankments - Fill Slopes**
- Embankments shall be constructed in lifts as prescribed on the plans.
 - Slopes shall be stabilized immediately when the vertical height of the multiple lifts reaches 15', or when grading operation ceases as prescribed in the plans.
 - At the end of each day, temporary berms and pipe slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a sediment trapping device.
 - Construction sequence:**
 - Excavate and stabilize all temporary swales, side ditches, or berms that will be used to divert runoff around the fill. Construct Slope Silt Fence on low side of fill, unless other methods shown on the plans address this area.
 - Place phase 1 embankment, dress and stabilize.
 - Place phase 2 embankment, dress and stabilize.
 - Place final phase embankment, dress and stabilize. Overseed previously seeded areas as necessary.
- Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.
- Section II - Temporary Seeding**
- Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.
- A. Seed Mixtures - Temporary Seeding**
- See Temporary Seeding Summary.
- Section III - Permanent Seeding**
- Seeding grass and legumes to establish ground cover for a minimum period of one year on disturbed areas generally receiving low maintenance.
- A. Seed Mixtures - Permanent Seeding**
- See Permanent Seeding Summary.
 - For sites having disturbed area over 5 acres, the rates shown on this table shall be deleted and the rates recommended by the soil testing agency shall be written in.
 - For areas receiving low maintenance, apply ureaform fertilizer (46-0-0) at 3 1/2 lbs/1000 sq.ft. (150 lbs/ac), in addition to the above soil amendments shown in the table below, performed at the time of seeding.
- Section IV - Sod -** To provide quick cover on disturbed areas (2:1 grade or flatter).
- A. General specifications**
- Class of turfgrass sod shall be Maryland or Virginia State Certified or Approved. Sod labels shall be made available to the job foreman and inspector.
 - Sod shall be machine cut at a uniform soil thickness of 3/4", plus or minus 1/4", at the time of cutting. Measurement for thickness shall exclude top growth and thatch. Individual pieces of sod shall be cut to the suppliers width and length. Maximum allowable deviation from standard widths and lengths shall be 5 percent. Broken pads and torn or uneven ends will not be acceptable.

- Standard size sections of sod shall be strong enough to support their own weight and retain their size and shape when suspended vertically with a firm grasp on the upper 10 percent of the section.
 - Sod shall not be harvested or transplanted when moisture content (excessively dry or wet) may adversely affect its survival.
 - Sod shall be harvested, delivered and installed with a period of 36 hours. Sod not transplanted within this period shall be approved by an agronomist or soil scientist prior to its installation.
- B. Sod Installation**
- During periods of excessively high temperature or in areas having dry subsoil, the subsoil shall be lightly irrigated immediately prior to laying the sod.
 - The first row of sod shall be laid in a straight line with subsequent rows placed parallel to and tightly wedged against each other. Lateral joints shall be staggered to promote more uniform growth and strength. Ensure that sod is not stretched or overlapped and that all joints are butted tight in order to prevent voids which would cause air drying of the roots.
 - Wherever possible, sod shall be laid with the long edges parallel to the contour and with staggering joints. Sod shall be rolled and tamped, pegged or otherwise secured to prevent slippage on slopes and to ensure solid contact between sod roots and the underlying soil surface.
 - Sod shall be watered immediately following rolling or tamping until the underside of the new sod pad and soil surface below the sod are thoroughly wet. The operations of laying, tamping and irrigating for any piece of sod shall be completed within eight hours.
- C. Sod Maintenance**
- In the absence of adequate rainfall, watering shall be performed daily or as often as necessary during the first week and in sufficient quantities to maintain moist soil to a depth of 4". Watering should be done during the heat of the day to prevent wilting.
 - After the first week, sod watering is required as necessary to maintain adequate moisture content.
 - The first mowing of sod should not be attempted until the sod is firmly rooted. No more than 1/3 of the grass leaf shall be removed by the initial cutting or subsequent cuttings. Grass height shall be maintained between 2" and 3" unless otherwise specified.

PERMANENT SEEDING SUMMARY

Seed Mixture (Hardiness Zone <u>6b</u>) From Table 25					Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate(lb/ac)	Seeding Dates	Seeding Depths	N	P205	K20	
3	Tall Fescue (85%)	125	3/1-5/15 and 8/15-10/15	1/4 to 1/2 in	Fertilizer and Lime rates will be based on soil tests. Recommendations shall be followed and a copy shall be furnished to Sediment Control Inspector.			
	Perennial Ryegrass (10%)	15						
	Kentucky Bluegrass (5%)	10						
7	Tall Fescue (83%)	110	5/16-8/14	1/4 to 1/2 in				
	Weeping Lovegrass (2%) Plus	3						
	Sercia Lespedeza (15%)	20						

TEMPORARY SEEDING SUMMARY

Seed Mixture (Hardiness Zone <u>6b</u>) From Table 26					Fertilizer Rate (10-10-10)	Lime Rate
No.	Species	Application Rate(lb/ac)	Seeding Dates	Seeding Depths		
1	Barley or Rye plus Foxtail	150	3/1-11/30	1 in.	600lb/ac	2 tons/ac.
	Millet				(15lb/1000sf)	(100lb/1000sf)
	(*) 10-15 for Barley.					

OWNER / DEVELOPER:
SURESH D. PATEL
9860, WASHINGTON BLVD
LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

REVISION

No.	REVISION	DATE

ADDRESS CHART

PARCEL No. 488 STREET ADDRESS 9860 WASHINGTON BLD, LAUREL

SUBDIVISION NAME SECTION/AREA PARCEL NUMBER
PINDELL PROPERTY, PARCEL A N/A PARCEL A

PLAT No. 6589 BLOCK No. 4 ZONE B-2 TAX/ZONE 50 ELECT.DIST. 6 CENSUS TR. 6696-03 WATER CODE: C05 SEWER CODE: T102200

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Myers 10-2-03 DATE

USA - NATURAL RESOURCES CONSERVATION DISTRICT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

John R. Roberts 10-2-03 DATE

HOWARD SCD



REVISIONS

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EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD. 21215
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MIISCELLANEOUS NOTES

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND

DATE 09/06/03
SCALE
DRN ZF
DSN ZF
CKD HP
SHEET 14 OF 16

SDP-03-141

CONSTRUCTION SPECIFICATIONS

THESE SPECIFICATIONS ARE APPROPRIATE TO ALL PONDS WITHIN THE SCOPE OF THE STANDARD FOR PRACTICE MD378. ALL REFERENCES TO ASTM AND AASHTO SPECIFICATIONS APPLY TO THE MOST RECENT VERSION.

SITE PREPARATION

AREAS DESIGNATED FOR BORROW AREAS, EMBANKMENT, AND STRUCTURAL WORKS SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL. ALL TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED. CHANNEL BANKS AND SHARP BREAKS SHALL BE SLOPED TO NO STEEPER THAN 1:1. ALL TREES SHALL BE CLEARED AND GRUBBED WITHIN 15 FEET OF THE TOE OF THE EMBANKMENT.

AREAS TO BE COVERED BY THE RESERVOIR WILL BE CLEARED OF ALL TREES, BRUSH, LOGS, FENCES, RUBBISH AND OTHER OBJECTIONABLE MATERIAL UNLESS OTHERWISE DESIGNATED ON THE PLANS. TREES, BRUSH, AND STUMPS SHALL BE CUT APPROXIMATELY LEVEL WITH THE GROUND SURFACE. FOR DRY STORMWATER MANAGEMENT PONDS, A MINIMUM OF A .25 FOOT RADIUS AROUND THE INLET STRUCTURE SHALL BE CLEARED.

ALL CLEARED AND GRUBBED MATERIAL SHALL BE DISPOSED OF OUTSIDE AND BELOW THE LIMITS OF THE DAM AND RESERVOIR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE. WHEN SPECIFIED, A SUFFICIENT QUANTITY OF TOPSOIL WILL BE STOCKPILED IN A SUITABLE LOCATION FOR USE ON THE EMBANKMENT AND OTHER DESIGNATED AREAS.

EARTH FILL

MATERIAL - THE FILL MATERIAL SHALL BE TAKEN FROM APPROVED DESIGNATED BORROW AREAS. IT SHALL BE FREE OF ROOTS, STUMPS, WOOD, RUBBISH, STONES GREATER THAN 6", FROZEN OR OTHER OBJECTIONABLE MATERIALS. FILL MATERIAL FOR THE CENTER OF THE EMBANKMENT, AND CUT OFF TRENCH SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL AND MUST HAVE AT LEAST 30% PASSING THE #200 SIEVE. CONSIDERATION MAY BE GIVEN TO THE USE OF OTHER MATERIALS IN THE EMBANKMENT IF DESIGNED BY A GEOTECHNICAL ENGINEER. SUCH SPECIAL DESIGNS MUST HAVE CONSTRUCTION SUPERVISED BY A GEOTECHNICAL ENGINEER.

MATERIALS USED IN THE OUTER SHELL OF THE EMBANKMENT MUST HAVE THE CAPABILITY TO SUPPORT VEGETATION OF THE QUALITY REQUIRED TO PREVENT EROSION OF THE EMBANKMENT.

PLACEMENT - AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL. FILL MATERIALS SHALL BE PLACED IN MAXIMUM 8 INCH THICK (BEFORE COMPACTION) LAYERS WHICH ARE TO BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE FILL. THE MOST PERMEABLE BORROW MATERIAL SHALL BE PLACED IN THE DOWNSTREAM PORTIONS OF THE EMBANKMENT. THE PRINCIPAL SPILLWAY MUST BE INSTALLED CONCURRENTLY WITH FILL PLACEMENT AND NOT EXCAVATED INTO THE EMBANKMENT.

COMPACTION - THE MOVEMENT OF THE HAULING AND SPREADING EQUIPMENT OVER THE FILL SHALL BE CONTROLLED SO THAT THE ENTIRE SURFACE OF EACH LIFT SHALL BE TRAVERSED BY NOT LESS THAN ONE TREAD TRACK OF HEAVY EQUIPMENT OR COMPACTION SHALL BE ACHIEVED BY A MINIMUM OF FOUR COMPLETE PASSES OF A SHEEPSFOOT, RUBBER TIRED OR VIBRATORY ROLLER. FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SUCH THAT THE REQUIRED DEGREE OF COMPACTION WILL BE OBTAINED WITH THE EQUIPMENT USED. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IF FORMED INTO A BALL IT WILL NOT CRUMBLE, YET NOT BE SO WET THAT WATER CAN BE SQUEEZED OUT.

WHEN REQUIRED BY THE REVIEWING AGENCY THE MINIMUM REQUIRED DENSITY SHALL NOT BE LESS THAN 95% OF MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT WITHIN ±2% OF THE OPTIMUM. EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY, AND IS TO BE CERTIFIED BY THE ENGINEER AT THE TIME OF CONSTRUCTION. ALL COMPACTION IS TO BE DETERMINED BY AASHTO METHOD T99 (STANDARD PROCTOR).

CUT OFF TRENCH - THE CUTOFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE BOTTOM WIDTH OF THE TRENCH SHALL BE GOVERNED BY THE EQUIPMENT USED FOR EXCAVATION, WITH THE MINIMUM WIDTH BEING FOUR FEET. THE DEPTH SHALL BE AT LEAST FOUR FEET BELOW EXISTING GRADE OR AS SHOWN ON THE PLANS. THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE BACKFILL SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY.

EMBANKMENT CORE - THE CORE SHALL BE PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE TOP WIDTH OF THE CORE SHALL BE A MINIMUM OF FOUR FEET. THE HEIGHT SHALL EXTEND UP TO AT LEAST THE 10 YEAR WATER ELEVATION OR AS SHOWN ON THE PLANS. THE SIDE SLOPES SHALL BE 1 TO 1 OR FLATTER. THE CORE SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY. IN ADDITION, THE CORE SHALL BE PLACED CONCURRENTLY WITH THE OUTER SHELL OF THE EMBANKMENT.

STRUCTURE BACKFILL

BACKFILL ADJACENT TO PIPES OR STRUCTURES SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE ADJOINING FILL MATERIAL. THE FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL NEEDS TO FILL COMPLETELY ALL SPACES UNDER AND ADJACENT TO THE PIPE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A CONCRETE STRUCTURE OR PIPE, UNLESS THERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE.

STRUCTURE BACKFILL MAY BE FLOWABLE FILL MEETING THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 313 AS MODIFIED. THE MIXTURE SHALL HAVE 100200 PSI; 28 DAY UNCONFINED COMPRESSIVE STRENGTH. THE FLOWABLE FILL SHALL HAVE A MINIMUM PH OF 4.0 AND A MINIMUM RESISTIVITY OF 2,000 OHMCM. MATERIAL SHALL BE PLACED SUCH THAT A MINIMUM OF 6" (MEASURED PERPENDICULAR TO THE OUTSIDE OF THE PIPE) OF FLOWABLE FILL SHALL BE UNDER (BEDDING), OVER AND, ON THE SIDES OF THE PIPE. IT ONLY NEEDS TO EXTEND UP TO THE SPRING LINE FOR RIGID CONDUITS. AVERAGE SLUMP OF THE FILL SHALL BE 7" TO ASSURE FLOWABILITY OF THE MATERIAL. ADEQUATE MEASURES SHALL BE TAKEN (SAND BAGS, ETC.) TO PREVENT FLOATING THE PIPE. WHEN USING FLOWABLE FILL, ALL METAL PIPE SHALL BE BITUMINOUS COATED. ANY ADJOINING SOIL FILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED FOUR INCHES IN THICKNESS AND COMPACTED BY HAND TAMPERS OR OTHER MANUALLY DIRECTED COMPACTION EQUIPMENT. THE MATERIAL SHALL COMPLETELY FILL ALL VOIDS ADJACENT TO THE FLOWABLE FILL ZONE. AT NO TIME DURING THE BACKFILLING OPERATION SHALL DRIVEN EQUIPMENT BE ALLOWED TO OPERATE CLOSER THAN FOUR FEET, MEASURED HORIZONTALLY, TO ANY PART OF A STRUCTURE. UNDER NO CIRCUMSTANCES SHALL EQUIPMENT BE DRIVEN OVER ANY PART OF A STRUCTURE OR PIPE UNLESS THERE IS A COMPACTED FILL OF 24" OR GREATER OVER THE STRUCTURE OR PIPE. BACKFILL MATERIAL OUTSIDE THE STRUCTURAL BACKFILL (FLOWABLE FILL) ZONE SHALL BE OF THE TYPE AND QUALITY CONFORMING TO THAT SPECIFIED FOR THE CORE OF THE EMBANKMENT OR OTHER EMBANKMENT MATERIALS.

PIPE CONDUITS

ALL PIPES SHALL BE CIRCULAR IN CROSS SECTION.

CORRUGATED METAL PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR CORRUGATED METAL PIPE:

1. MATERIALS (POLYMER COATED STEEL PIPE) - STEEL PIPES WITH POLYMERIC COATINGS SHALL HAVE A MINIMUM COATING THICKNESS OF 0.01 INCH (10 MIL) ON BOTH SIDES OF THE PIPE. THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATIONS M245 & M246 WITH WATERTIGHT COUPLING BANDS OR FLANGES.

MATERIALS - (ALUMINUM COATED STEEL PIPE) THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M274 WITH WATERTIGHT COUPLING BANDS OR FLANGES. ALUMINUM COATED STEEL PIPE, WHEN USED WITH FLOWABLE FILL OR WHEN SOIL AND/OR WATER CONDITIONS WARRANT THE NEED FOR INCREASED DURABILITY, SHALL BE FULLY BITUMINOUS COATED PER REQUIREMENTS OF AASHTO SPECIFICATION M190 TYPE A. ALUMINUM COATING DAMAGED OR OTHERWISE REMOVED SHALL BE REPLACED WITH COLD APPLIED BITUMINOUS COATING COMPOUND. ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT.

MATERIALS (ALUMINUM PIPE) - THIS PIPE AND ITS APPURTENANCES SHALL CONFORM TO THE REQUIREMENTS OF AASHTO SPECIFICATION M196 OR M211 WITH WATERTIGHT COUPLING BANDS OR FLANGES. ALUMINUM PIPE, WHEN USED WITH FLOWABLE FILL OR WHEN SOIL AND/OR WATER CONDITIONS WARRANT INCREASED DURABILITY, SHALL BE FULLY BITUMINOUS COATED PER REQUIREMENTS OF AASHTO SPECIFICATION M190 TYPE A. ALUMINUM SURFACES THAT ARE TO BE IN CONTACT WITH CONCRETE SHALL BE PAINTED WITH ONE COAT OF ZINC CHROMATE PRIMER OR TWO COATS OF ASPHALT. HOT DIP GALVANIZED BOLTS MAY BE USED FOR CONNECTIONS. THE PH OF THE SURROUNDING SOILS SHALL BE BETWEEN 4 AND 9.

2. COUPLING BANDS, ANTISEEP COLLARS, END SECTIONS, ETC., MUST BE COMPOSED OF THE SAME MATERIAL AND COATINGS AS THE PIPE. METALS MUST BE INSULATED FROM DISSIMILAR MATERIALS WITH USE OF RUBBER OR PLASTIC INSULATING MATERIALS AT LEAST 24 MILS IN THICKNESS.

3. CONNECTIONS - ALL CONNECTIONS WITH PIPES MUST BE COMPLETELY WATERTIGHT. THE DRAIN PIPE OR BARREL CONNECTION TO THE RISER SHALL BE WELDED ALL AROUND WHEN THE PIPE AND RISER ARE METAL. ANTISEEP COLLARS SHALL BE CONNECTED TO THE PIPE IN SUCH A MANNER AS TO BE COMPLETELY WATERTIGHT. DIMPLE BANDS ARE NOT CONSIDERED TO BE WATERTIGHT.

ALL CONNECTIONS SHALL USE A RUBBER OR NEOPRENE GASKET WHEN JOINING PIPE SECTIONS. THE END OF EACH PIPE SHALL BE ROLLED AN ADEQUATE NUMBER OF CORRUGATIONS TO ACCOMMODATE THE BANDWIDTH. THE FOLLOWING TYPE CONNECTIONS ARE ACCEPTABLE FOR PIPES LESS THAN 24 INCHES IN DIAMETER: FLANGES ON BOTH ENDS OF THE PIPE WITH A CIRCULAR ? INCH CLOSED CELL NEOPRENE GASKET, PREPUNCHED TO THE FLANGE BOLT CIRCLE, SANDWICHED BETWEEN ADJACENT FLANGES; A 12 INCH WIDE STANDARD LAP TYPE BAND WITH 12 INCH WIDE BY ? INCH THICK CLOSED CELL CIRCULAR NEOPRENE GASKET; AND A 12INCH WIDE HUGGER TYPE BAND WITH ORING GASKETS HAVING A MINIMUM DIAMETER OF ? INCH GREATER THAN THE CORRUGATION DEPTH. PIPES 24 INCHES IN DIAMETER AND LARGER SHALL BE CONNECTED BY A 24 INCH LONG ANNULAR CORRUGATED BAND USING A MINIMUM OF 4 (FOUR) RODS AND LUGS. 2 ON EACH CONNECTING PIPE END. A 24 INCH WIDE BY ? INCH THICK CLOSED CELL CIRCULAR NEOPRENE GASKET WILL BE INSTALLED WITH 12 INCHES ON THE END OF EACH PIPE. FLANGED JOINTS WITH ? INCH CLOSED CELL GASKETS THE FULL WIDTH OF THE FLANGE IS ALSO ACCEPTABLE.

HELICALLY CORRUGATED PIPE SHALL HAVE EITHER CONTINUOUSLY WELDED SEAMS OR HAVE LOCK SEAMS WITH INTERNAL CAULKING OR A NEOPRENE BEAD.

4. BEDDING - THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.

5. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL".

6. OTHER DETAILS (ANTISEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

REINFORCED CONCRETE PIPE - ALL OF THE FOLLOWING CRITERIA SHALL APPLY FOR REINFORCED CONCRETE PIPE:

1. MATERIALS - REINFORCED CONCRETE PIPE SHALL HAVE BELL AND SPIGOT JOINTS WITH RUBBER GASKETS AND SHALL EQUAL OR EXCEED ASTM C361.

2. BEDDING - REINFORCED CONCRETE PIPE CONDUITS SHALL BE LAID IN A CONCRETE BEDDING /CRADLE FOR THEIR ENTIRE LENGTH. THIS BEDDING / CRADLE SHALL CONSIST OF HIGH SLUMP CONCRETE PLACED UNDER THE PIPE AND UP THE SIDES OF THE PIPE AT LEAST 50% OF ITS OUTSIDE DIAMETER WITH A MINIMUM THICKNESS OF 6 INCHES. WHERE A CONCRETE CRADLE IS NOT NEEDED FOR STRUCTURAL REASONS, FLOWABLE FILL MAY BE USED AS DESCRIBED IN THE "STRUCTURE BACKFILL" SECTION OF THIS STANDARD. GRAVEL BEDDING IS NOT PERMITTED.

3. LAYING PIPE - BELL AND SPIGOT PIPE SHALL BE PLACED WITH THE BELL END UPSTREAM. JOINTS SHALL BE MADE IN ACCORDANCE WITH RECOMMENDATIONS OF THE MANUFACTURER OF THE MATERIAL. AFTER THE JOINTS ARE SEALED FOR THE ENTIRE LINE, THE BEDDING SHALL BE PLACED SO THAT ALL SPACES UNDER THE PIPE ARE FILLED. CARE SHALL BE EXERCISED TO PREVENT ANY DEVIATION FROM THE ORIGINAL LINE AND GRADE OF THE PIPE. THE FIRST JOINT MUST BE LOCATED WITHIN 4 FEET FROM THE RISER.

4. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL".

5. OTHER DETAILS (ANTISEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

PLASTIC PIPE - THE FOLLOWING CRITERIA SHALL APPLY FOR PLASTIC PIPE:

1. MATERIALS - PVC PIPE SHALL BE PVC1120 OR PVC1220 CONFORMING TO ASTM D1785 OR ASTM D2241. CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE, COUPLINGS AND FITTINGS SHALL CONFORM TO THE FOLLOWING: 4" - 10" INCH PIPE SHALL MEET THE REQUIREMENTS OF AASHTO M252 TYPE S, AND 12" THROUGH 24" INCH SHALL MEET THE REQUIREMENTS OF AASHTO M294 TYPE S.

2. JOINTS AND CONNECTIONS TO ANTISEEP COLLARS SHALL BE COMPLETELY WATERTIGHT.

3. BEDDING - THE PIPE SHALL BE FIRMLY AND UNIFORMLY BEDDED THROUGHOUT ITS ENTIRE LENGTH. WHERE ROCK OR SOFT, SPONGY OR OTHER UNSTABLE SOIL IS ENCOUNTERED, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE EARTH COMPACTED TO PROVIDE ADEQUATE SUPPORT.

4. BACKFILLING SHALL CONFORM TO "STRUCTURE BACKFILL".

5. OTHER DETAILS (ANTISEEP COLLARS, VALVES, ETC.) SHALL BE AS SHOWN ON THE DRAWINGS.

DRAINAGE DIAPHRAGMS - WHEN A DRAINAGE DIAPHRAGM IS USED, A REGISTERED PROFESSIONAL ENGINEER WILL SUPERVISE THE DESIGN AND CONSTRUCTION INSPECTION.

CONCRETE

CONCRETE SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 414, MIX NO. 3.

ROCK RIPRAP

ROCK RIPRAP SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 311.

GEOTEXTILE SHALL BE PLACED UNDER ALL RIPRAP AND SHALL MEET THE REQUIREMENTS OF MARYLAND DEPARTMENT OF TRANSPORTATION, STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, SECTION 921.09, CLASS C.

CARE OF WATER DURING CONSTRUCTION

ALL WORK ON PERMANENT STRUCTURES SHALL BE CARRIED OUT IN AREAS FREE FROM WATER. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL TEMPORARY DIKES, LEVEES, COFFERDAMS, DRAINAGE CHANNELS, AND STREAM DIVERSIONS NECESSARY TO PROTECT THE AREAS TO BE OCCUPIED BY THE PERMANENT WORKS. THE CONTRACTOR SHALL ALSO FURNISH, INSTALL, OPERATE, AND MAINTAIN ALL NECESSARY PUMPING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, FOUNDATION, AND OTHER PARTS OF THE WORK FREE FROM WATER AS REQUIRED OR DIRECTED BY THE ENGINEER FOR CONSTRUCTING EACH PART OF THE WORK. AFTER HAVING SERVED THEIR PURPOSE, ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED OR LEVELED AND GRADED TO THE EXTENT REQUIRED TO PREVENT OBSTRUCTION IN ANY DEGREE WHATSOEVER OF THE FLOW OF WATER TO THE SPILLWAY OR OUTLET WORKS AND SO AS NOT TO INTERFERE IN ANY WAY WITH THE OPERATION OR MAINTENANCE OF THE STRUCTURE. STREAM DIVERSIONS SHALL BE MAINTAINED UNTIL THE FULL FLOW CAN BE PASSED THROUGH THE PERMANENT WORKS. THE REMOVAL OF WATER FROM THE REQUIRED EXCAVATION AND THE FOUNDATION SHALL BE ACCOMPLISHED IN A MANNER AND TO THE EXTENT THAT WILL MAINTAIN STABILITY OF THE EXCAVATED SLOPES AND BOTTOM REQUIRED EXCAVATIONS AND WILL ALLOW SATISFACTORY PERFORMANCE OF ALL CONSTRUCTION OPERATIONS DURING THE PLACING AND COMPACTING OF MATERIAL IN REQUIRED EXCAVATIONS, THE WATER LEVEL AT THE LOCATIONS BEING REFILLED SHALL BE MAINTAINED BELOW THE BOTTOM OF THE EXCAVATION AT SUCH LOCATIONS WHICH MAY REQUIRE DRAINING THE WATER SUMPS FROM WHICH THE WATER SHALL BE PUMPED.

STABILIZATION

ALL BORROW AREAS SHALL BE GRADED TO PROVIDE PROPER DRAINAGE AND LEFT IN A SLIGHTLY CONDITION. ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, SPOIL AND BORROW AREAS, AND BERMS SHALL BE STABILIZED BY SEEDING, LIMING, FERTILIZING AND MULCHING IN ACCORDANCE WITH THE NATURAL RESOURCES CONSERVATION SERVICE STANDARDS AND SPECIFICATIONS FOR CRITICAL AREA PLANTING (MD342) OR AS SHOWN ON THE ACCOMPANYING DRAWINGS.

EROSION AND SEDIMENT CONTROL

CONSTRUCTION OPERATIONS WILL BE CARRIED OUT IN SUCH A MANNER THAT EROSION WILL BE CONTROLLED AND WATER AND AIR POLLUTION MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT WILL BE FOLLOWED. CONSTRUCTION PLANS SHALL DETAIL EROSION AND SEDIMENT CONTROL MEASURES.

OPERATION AND MAINTENANCE

AN OPERATION AND MAINTENANCE PLAN IN ACCORDANCE WITH LOCAL OR STATE REGULATIONS WILL BE PREPARED FOR ALL PONDS. AS A MINIMUM, THE DAM INSPECTION CHECKLIST LOCATED IN APPENDIX A SHALL BE INCLUDED AS PART OF THE OPERATION AND MAINTENANCE PLAN AND PERFORMED AT LEAST ANNUALLY. WRITTEN RECORDS OF MAINTENANCE AND MAJOR REPAIRS NEEDS TO BE RETAINED IN A FILE. THE ISSUANCE OF A MAINTENANCE AND REPAIR PERMIT FOR ANY REPAIRS OR MAINTENANCE THAT INVOLVES THE MODIFICATION OF THE DAM OR SPILLWAY FROM ITS ORIGINAL DESIGN AND SPECIFICATIONS IS REQUIRED. A PERMIT IS ALSO REQUIRED FOR ANY REPAIRS OR RECONSTRUCTION THAT INVOLVE A SUBSTANTIAL PORTION OF THE STRUCTURE. ALL INDICATED REPAIRS ARE TO BE MADE AS SOON AS PRACTICAL.

OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES

- 1. THE UNDERGROUND STORMWATER MANAEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.
2. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.
3. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIAHT OBSTRUCT THE OUTFA1L IS OBSERVED, THE FACILITY SHALL BE CLEANED.
4. THE FACILITY SHALL BY CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHA11 CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.
5. THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.
6. THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THO OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.

REVISIONS

MORAND ARCHITECTS
1276 WEST THIRD STREET
CLEVELAND, OHIO 44113
OFFICE: 216-861-2100 FAX 216-861-2614
E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD. 21215
(410) 358 7171

MIISCELLANEOUS NOTES

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND

DATE 09/06/03

SCALE

DRN ZF

DSN ZF

CKD HP

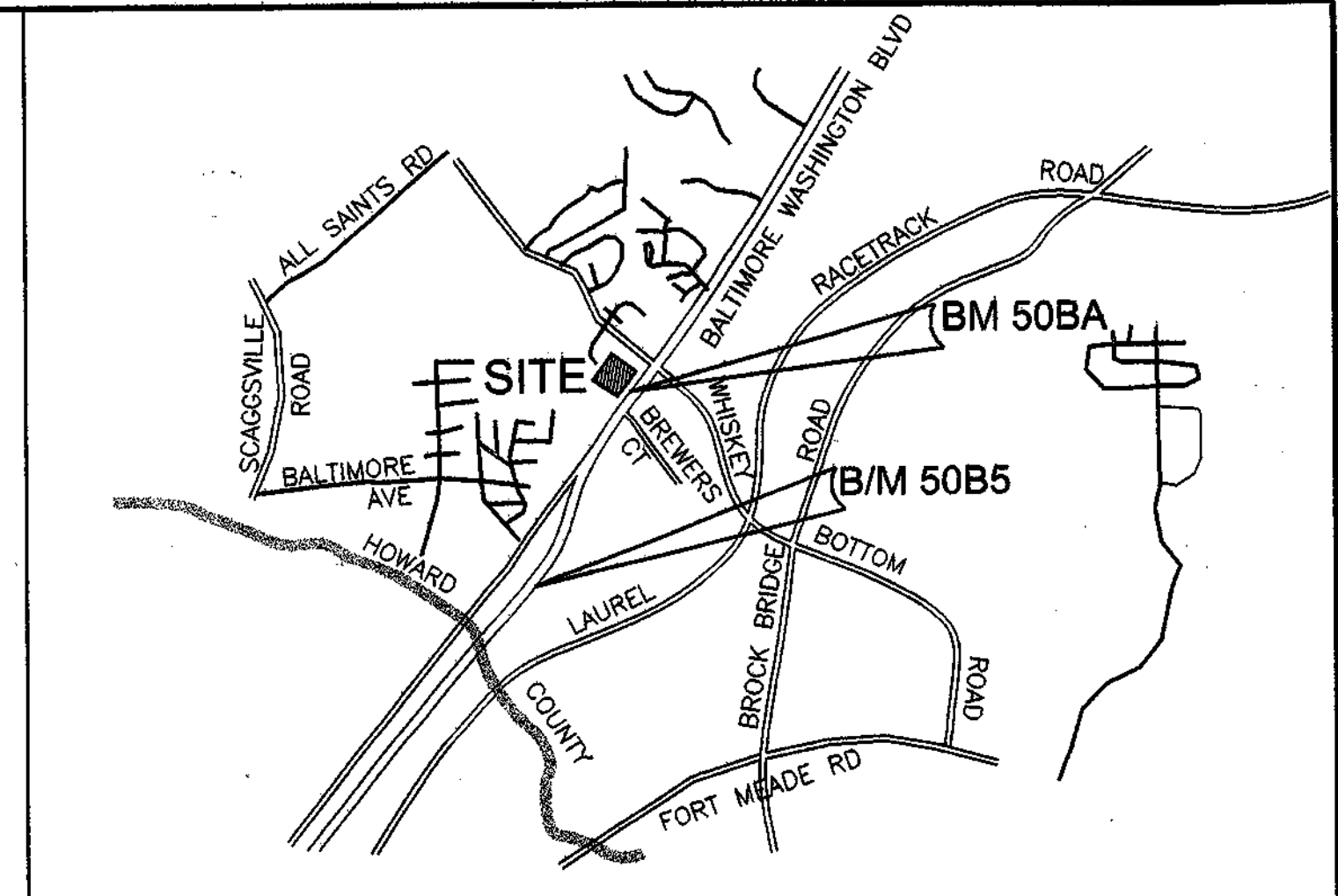
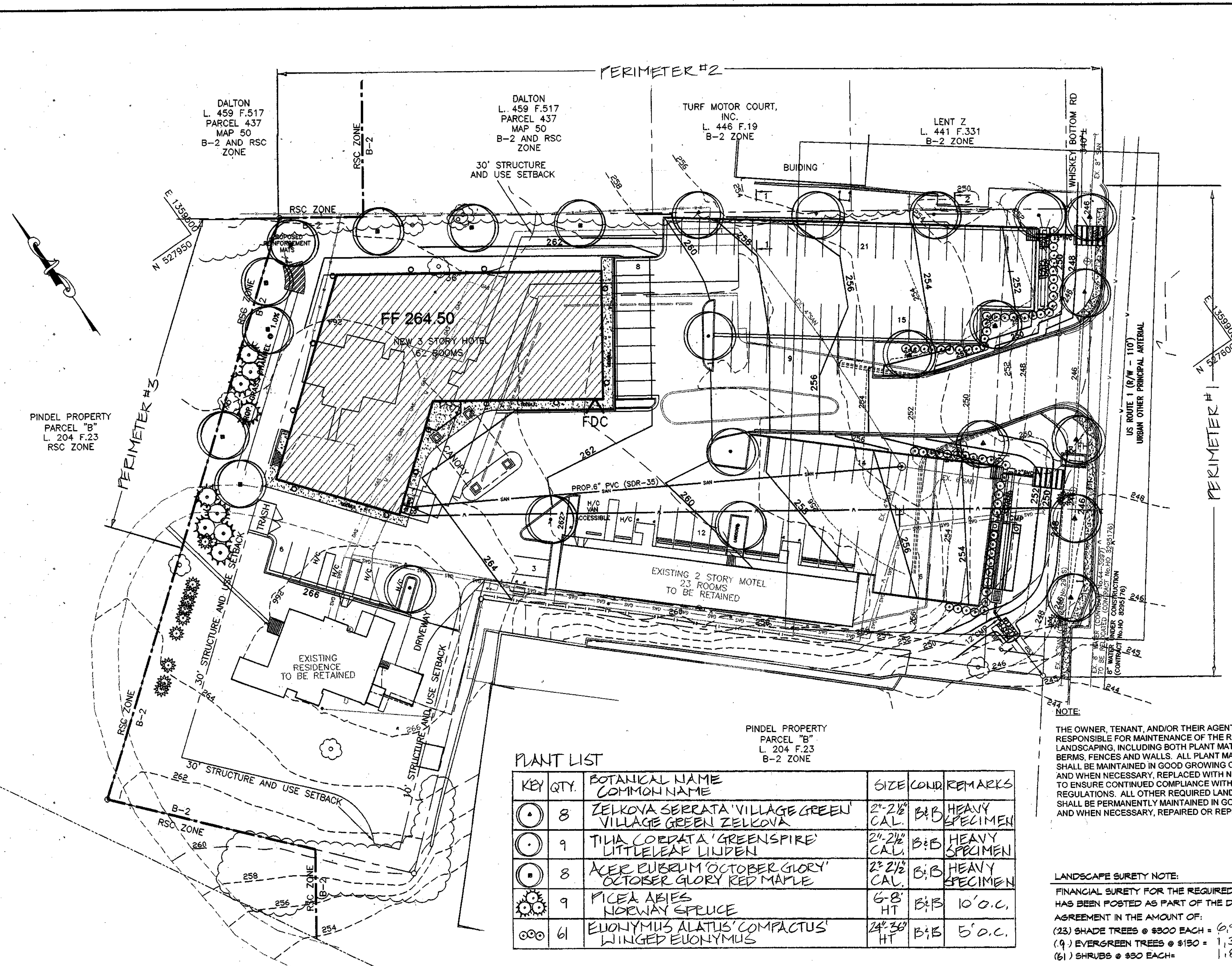
SHEET 15 OF 16



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Myers 10-2-03
DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
John R. Robertson 10-2-03
DATE

OWNER / DEVELOPER: SURESH D. PATEL
9860, WASHINGTON BLVD
LAUREL, MARYLAND 20723
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Mark A. Layton 10/10/03
DIRECTOR DATE
Cindy Hamilton 10/10/03
CHIEF DEVELOPER OF LAND DEVELOPMENT DATE
Chal... 10/7/03
CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

Table with columns: No., REVISION, DATE. Includes ADDRESS CHART, PARCEL No., STREET ADDRESS, SUBDIVISION NAME, SECTION/AREA, PARCEL NUMBER, PLAT No., BLOCK No., ZONE, TAX/ZONE, ELECT. DIST., CENSUS TR., WATER CODE.



SCHEDULE A PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties		
		1	2	3
Perimeter Number	1	2	3	
Landscape Type	"E"	"A"	"C"	
Linear Feet of Roadway Frontage/Perimeter	245'	400'	180'	
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	0	0	0	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	0	0	0	
Number of Plants Required				
Shade Trees	6	7	5	
Evergreen Trees	0	0	0	
Shrubs	61	0	0	
Number of Plants Provided				
Shade Trees	8	7	5	
Evergreen Trees	0	0	0	
Other Trees (2:1 substitution)	0	0	0	
Shrubs (10:1 substitution)	61	0	0	
(Describe plant substitution credits below if needed)				

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	94
Number of Trees Required	5
Number of Trees Provided	5
Shade Trees	5
Other Trees (2:1 substitution)	0
Internal Islands Required	5
Internal Islands Provided (Min. 200 SF.)	5

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING

Linear Feet of Perimeter	NA
Number of Trees Required	NA
Shade Trees	NA
Evergreen Trees	NA
Credit for Existing Vegetation (No, Yes and %)	NA
Credit for Other Landscaping (No, Yes and %)	NA
Number of Trees Provided	NA
Shade Trees	NA
Evergreen Trees	NA
Other Trees (2:1 substitution)	NA

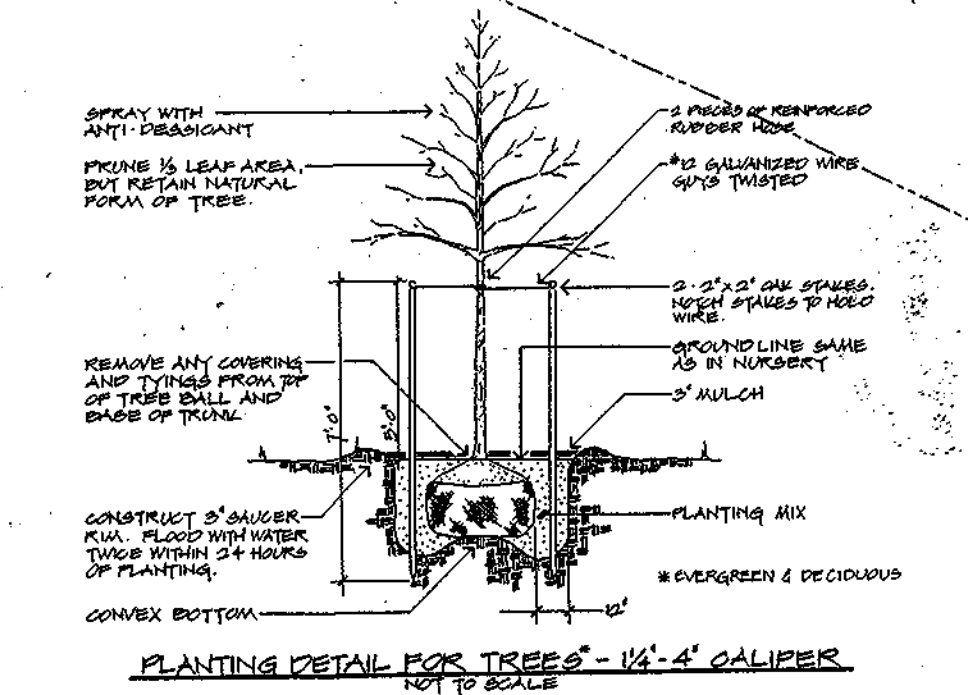
PLANT LIST

KEY	QTY.	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS
(●)	8	ZELKOVA SEERATA 'VILLAGE GREEN' VILLAGE GREEN ZELKOVA	2'-2 1/2' CAL.	B:B	HEAVY SPECIMEN
(●)	9	TILIA CORDATA 'GREENSPIRE' LITTLELEAF LINDEN	2 1/2' CAL.	B:B	HEAVY SPECIMEN
(●)	8	ACEP EUREUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2 1/2' CAL.	B:B	HEAVY SPECIMEN
(●)	9	PICEA ABIES NORWAY SPRUCE	6'-8' HT	B:B	10' O.C.
(○○○)	61	EUONYMUS ALATUS 'COMPACTUS' WINGED EUONYMUS	24" 3/8" HT	B:B	5' O.C.

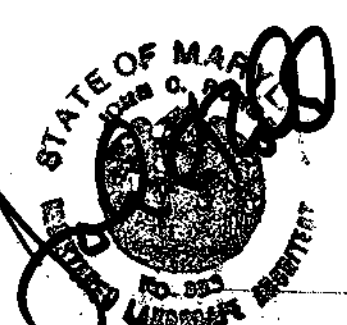
NOTE:
THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPE SURETY NOTE:
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:
(23) SHADE TREES @ \$300 EACH = 6,900.00
(9) EVERGREEN TREES @ \$150 = 1,350.00
(61) SHRUBS @ \$30 EACH = 1,830.00
TOTAL: 10,080.00

- PLANTING NOTES:**
- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN LATEST STANDARDS. PLANT INSTALLATION MUST CONFORM TO THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTOR'S ASSOCIATION.
 - CONTRACTOR IS TO NOTIFY "MISS UTILITY" A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE: 1-800-257-7777.
 - THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
 - NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
 - SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.



DEVELOPER'S / BUILDER'S CERTIFICATE
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 18-124 of the Howard County Code and the Howard County Landscape Manual.
I/We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
S. Patel
Name: _____ Date: **9-25-2003**



HUMAN & ROHDE, INC.
Landscape Architects
512 Virginia Avenue
Towson, Maryland 21286
(410) 825-3885

OWNER / DEVELOPER:
SURESH D. PATEL
9860 WASHINGTON BLVD
LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Paul A. Weger 11/10/03
Cheryl Hamilton 11/10/03
Chad D. ... 10/10/03

NO.	REVISION	DATE

ADDRESS CHART
PARCEL NO. 480
STREET ADDRESS 9860 WASHINGTON BLVD, LAUREL
SUBDIVISION NAME
PINDELL PROPERTY, PARCEL A
SECTION/AREA N/A
PARCEL NUMBER
PLAT NO. 6509
BLOCK NO. 4
ZONE B-2
TAX ZONE 50
COLLECT DIST. 6
GENESIS TR. 0082.03
EFFECT DATE 10/10/03
EFFECT CODE 005

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND
DATE
SCALE 1"=30'
DRN
DSN
CKD
SHEET 16 OF 16

BENCHMARKS:

HORIZONTAL AND VERTICAL CONTROL IS BASED ON MARYLAND STATE PLANE SYSTEM (NAD 83/91 AND NGVD1929) AND ARE REFERENCED TO THE FOLLOWING HOWARD COUNTY TRAVERSE STATIONS:

50BA N 527,561.668 E 1,359,772.600 ELEV. 249.340
 50B5 N 524,999.357 E 1,357,925.680 ELEV. 178.103

GENERAL NOTES

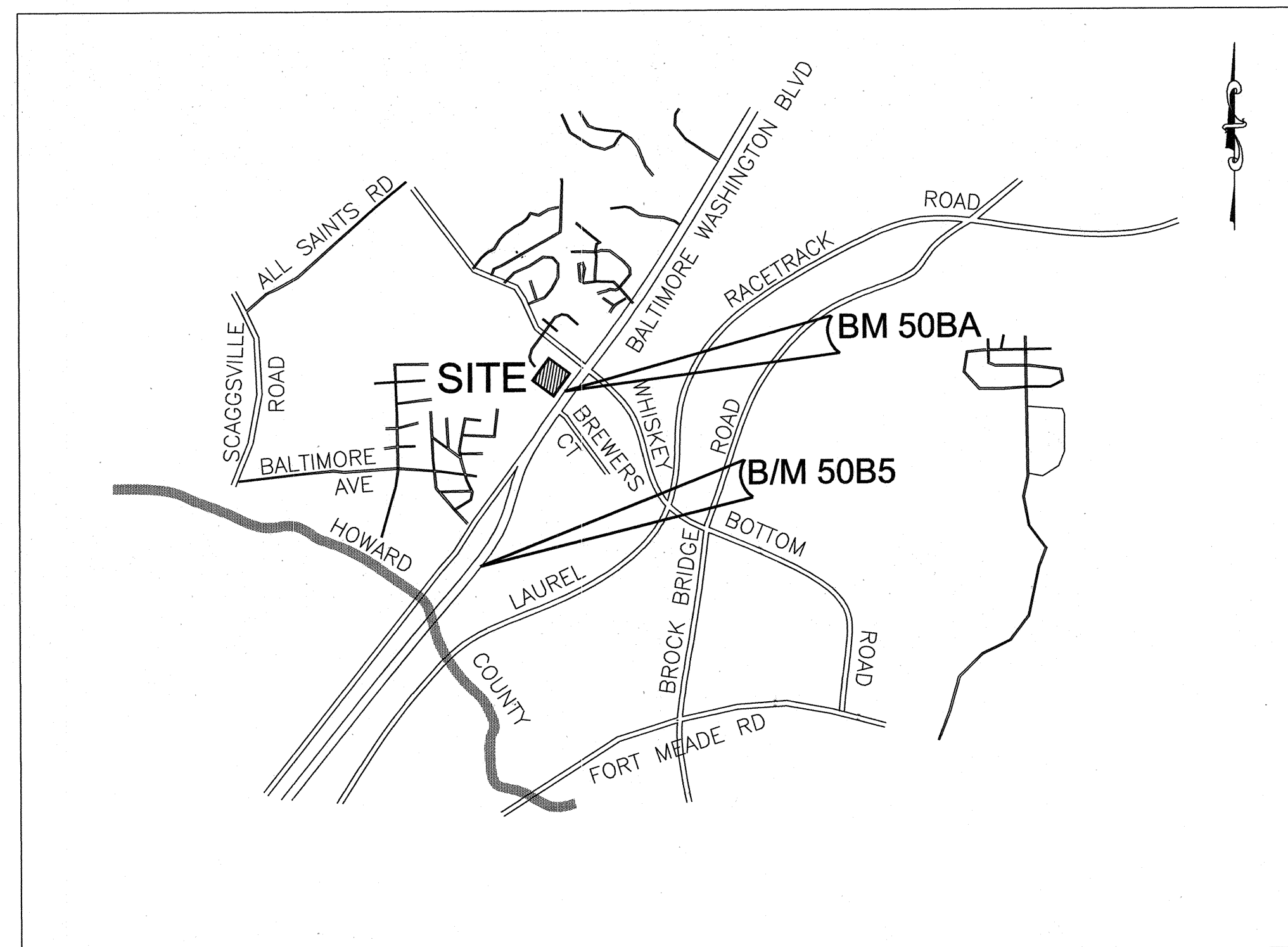
- ALL CONSTRUCTION PLANS SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1 (800) 257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY.....1 (800) 257-7777
 BELL ATLANTIC.....1 (800) 954-6254
 HOWARD COUNTY BUREAU OF UTILITIES.....(410) 313-2366
 AT&T CABLE LOCATION DIVISION.....(202) 393-3553
 B.G.&E. CO. CONTRACTOR SERVICES.....(410) 850-4620
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL.....(410) 787-4620
 STATE HIGHWAY ADMINISTRATION.....(410) 531-5533
- SITE ANALYSIS:
 AREA OF PARCEL - 2.509 ACRES
 PRESENT ZONING - B-2
 USE OF STRUCTURE: DAYS INN HOTEL
 TOTAL BUILDINGS COVERAGE ON SITE - 18,860 S.F. OR 0.43 AC. OR 17.14% OF GROSS AREA
 PAVED PARKING LOT/AREA ON SITE - 1.08 AC OR 43.0% OF GROSS AREA
 AREA OF LANDSCAPE - 1.00 AC (4610 S.F.)
 LIMIT OF DISTURBANCE - 1.90 AC.
- PROJECT BACKGROUND:
 LOCATION - HOWARD COUNTY, MARYLAND TAX MAP 50, BLOCK 4, PARCEL 488, PLOT 6589
 ZONING - B-2, RECORDED PLAT #6589
 SITE AREA - 2.509 ACRES
 RELATED DPZ FILES: F77-127, VP82-54, F82-110, SDP83-22, F83-34.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 PSI.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL TO CONFORM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL STORM DRAIN PIPE BEDDING TO BE CLASS 'C' AS SHOWN IN VOLUME I OF THE HOWARD COUNTY DESIGN MANUAL.
- UNDERGROUND STORMWATER MANAGEMENT PROVIDED WITH THIS PLAN IS OWNED AND MAINTAINED BY DAYS INN HOTEL.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS 50BA AND 50B5.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- EXISTING TOPOGRAPHY IS FROM A TOPOGRAPHIC SURVEY PERFORMED BY EBA ENGINEERING/PROPOSE OF EBA, INC. IN NOVEMBER, 2002.
- WATER FOR THIS PROJECT IS PUBLIC. EXISTING 2" WATER CONNECTION WILL BE UPGRADED TO 6". EXISTING MAIN WATER LINE CONTRACT NO. H08295176. 3/4"
- SEWER FOR THIS PROJECT IS PUBLIC. PROPOSED 4" SANITARY WILL BE CONNECTED TO EXISTING 6" SANITARY SEWER ALREADY ON SITE. EXISTING 6" SANITARY CONNECTED TO EXISTING 8" SANITARY CONTRACT NO. H08295176 (OLD SANITARY LINE CONTRACT NO.29-S).
- ALL PAVING TO BE AS SPECIFIED BY THE GEOTECHNICAL ENGINEER (SEE DETAIL).
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD CONCRETE OR BITUMINOUS (SEE DETAIL, SHEET 4), LIMITS AS SHOWN ON PLAN.
- PROPOSED PAVING SECTIONS TO BE CONFIRMED BY PROJECT GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
- PROJECT GEOTECHNICAL ENGINEER TO MONITOR WALL CONSTRUCTION, BACKFILL AND COMPACTION.
- PROJECT GEOTECHNICAL ENGINEER TO APPROVE PAVING SUBBASE PRIOR TO INSTALLATION OF PAVING SECTION AND SWM CONTROL STRUCTURE.
- ALL OUTDOOR LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP PARKING AND HANDICAP ACCESS ROUTES IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ANY EXISTING TREES DAMAGE OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- ALL 3:1 AND STEEPER SLOPES TO BE STABILIZED WITH SOD. SLOPES FLATTER THAN 3:1 TO BE STABILIZED WITH SEED AND MULCH.
- THERE ARE NO KNOWN CEMETERIES LOCATED ON THIS SITE.
- METES AND BOUNDS, ADJACENT PROPERTY INFORMATION PER RECORD PLAT PREPARED BY LESLIE CURTIS HOPKINS, PROPERTY LINE SURVEYOR #274 DATED 9-11-85 AND RECORDED AS PLAT #6589, FILE #F-86-92.
- PARKING REQUIRED: 81 (1 FOR EACH ROOM PER HOWARD COUNTY) **PLUS ONE PER TWO EMPLOYEES**
 PARKING PROVIDED: 94
 HANDICAP SPACES PROVIDED: 5
- ZONING BOARDING CASE No. 1015M WAS APPROVED BY ZONING BOAR OF HOWARD COUNTY, MARYLAND ON MARCH 27, 2001 IT WAS REQUEST REZONING OF 1.1 ACRES OF THE ENTIRE 2.5 ACRES PARCEL FROM THE R-SC ZONING DISTRICT TO THE B-2 ZONING DISTRICT.
- APFO HAS BEEN PREPARE BY BRUDIS & ASSOCIATES, INC.
- NO FLOODPLAIN EXISTS ON SITE.
- SIGHT DISTANCE ON ROUTE 1 IS IN ACCORDADANCE WITH MSHA REQUIREMENTS.
- EXISTING 2" WATER METERS ARE LOCATED INSIDE OF EXISTING BUILDINGS. PROPOSED WATER MEETER WILL BE LOCATED INSIDE NEW BUILDING.
- THIS SITE IS QUALIFIED AS REDEVELOPMENT AND HAS BEEN DESIGNED TO MEET:
 WATER QUALITY (2 FILTERRA INLETS AND GRASS CHANNEL)
 RECHARGE VOLUME (STONE UNDER SWM STRUCTURE)
 CHANNEL PROTECTION (SWM STRUCTURE)
 WAIVER FOR 36" DIAMETER PIPES AND MASS CENTROID SHIFT TIME HAS BEEN APPROVED BY HOWARD COUNTY (LETTER DATED JUNE 26, 2003)
- THE PROPOSED PROJECT IS EXEMPT FROM THE FOREST CONSERVATION REQUIREMENTS UNDER SECTION 16.1202(B) OF THE HOWARD COUNTY CODE. REFER TO SDP-86-42 APPROVED BY PLANNING AND ZONING 2/13/86. THE ENTIRE SITE "PARCEL A" WAS DEVELOPED PRIOR TO DECEMBER 31, 1992 AND ALL PROPOSED WORK IS WITHIN THE LIMITS OF THIS PREVIOUSLY DEVELOPED PARCEL 'A'.
- THE CONTRACTOR OR DEVELOPER SHALL CONTACT THE CONSTRUCTION INSPECTION DIVISION 24 HOURS IN ADVANCE OF COMMENCEMENT OF WORK AT (410) 313-1880.

PINDELL PROPERTY, PARCEL A

DAYS INN HOTEL

9860 WASHINGTON BLVD.
 HOWARD COUNTY
 LAUREL, MARYLAND

SITE DEVELOPMENT PLANS



VICINITY MAP

SCALE: 1"=2000'

LEGEND:

- ⊕ SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- ⊗ SANITARY CLEANOUT
- ⊙ DECIDUOUS TREE
- ⊙ BUSH
- ★ CONIFEROUS TREE
- ⊙ SIGN POST
- ⊙ ELECTRIC POLE
- ⊙ LIGHT POLE
- x— FENCE
- W— EXISTING WATER
- SAN— EXISTING SANITARY
- GAS— EXISTING GAS
- 250— EXISTING CONTOURS
- 256— PROPOSED CONTOURS
- x EXISTING SPOT ELEVATIONS
- + PROPOSED SPOT ELEVATIONS
- △ SURVEY CONTROL
- W— PROPOSED WATER
- SAN— PROPOSED SANITARY

EROSION AND SEDIMENT CONTROL LEGEND:

- SCS STABILIZED CONSTRUCTION ENTRANCE
- SF SILT FENCE
- SSF SUPER SILT FENCE
- AGIP AT GRADE INLET PROTECTION
- CGIP CURB INLET PROTECTION
- DRAINAGE DIVIDE
- LOD LIMIT OF DISTURBANCE

ON GOING COORDINATION WITH MARYLAND STATE HIGHWAY ADMINISTRATION CONTRACT No. H08295176 U.S. ROUTE 1 FROM BREWERS COURT TO WHISKEY BOTTOM ROAD.

"The proposed project is exempt from the Forest Conservation requirements under section 16.1202(b) of the Howard County Code. Refer to SDP-86-42 approved by planning and zoning 2/13/86. The entire site 'Parcel A' was developed prior to December 31, 1992 and all proposed work is within the limits of this previously developed Parcel 'A'."



SOIL MAP

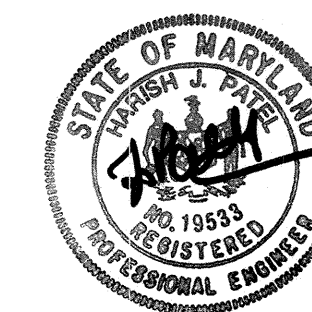
SCALE: 1"=500'

FROM HOWARD COUNTY SOIL MAP (SHEET 33,34,31)

EvB EVESBORO LOAMY SAND "A" SOIL
 Md MADE LAND "B" SOIL

TABLE OF CONTENTS

SHEET NO.	SHEET DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	DEMOLITION PLAN
4	SITE LAYOUT PLAN
5	SITE GRADING PLAN
6	SITE DETAILS
7	STORMWATER MANAGEMENT PROFILES AND DETAILS
8	STORMWATER MANAGEMENT DETAILS AND SANITARY PROFILE
9	WATER LINE PROFILE
10	SOIL AND DRAINAGE AREA MAP
11	EROSION AND SEDIMENT CONTROL PLAN
12	EROSION AND SEDIMENT CONTROL DETAILS
13	EROSION AND SEDIMENT CONTROL NOTES
14	MISSCELLANEOUS NOTES
15	MISSCELLANEOUS NOTES
16	LANDSCAPING PLAN
17	LANDSCAPING DETAILS



DEBRIS IS TO BE KEPT OUT OF THE PROPOSED SWM FACILITY DURING AND AFTER CONSTRUCTION.

WATER QUALITY STRUCTURE: I-1, I-2, GRASS CHANNEL AND TRIPLE 34 L.F.- 48" ACMF STORMWATER CONTAINMENT FACILITY - TO BE PRIVATELY OWNED AND MAINTAINED.

OWNER / DEVELOPER: SURESH D. PATEL 9860, WASHINGTON BLVD LAUREL, MARYLAND 20723		No. _____		REVISION		DATE	
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING		Revised the parking required 12-09-04					
DIRECTOR: <i>Suresh D. Patel</i> 10/10/03		DATE: 10/10/03		ADDRESS CHART			
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE: 10/10/03		PARCEL No. 488		STREET ADDRESS 9860 WASHINGTON BLDG, LAUREL	
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE: 10/10/03		SUBDIVISION NAME PINDELL PROPERTY, PARCEL A		SECTION/AREA N/A	
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE: 10/10/03		PARCEL No. 6589		BLOCK No. 4	
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE: 10/10/03		ZONE B-2		TAX/ZONE 50	
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE: 10/10/03		ELECT.DIST. 6		CENSUS TR. 60689.03	
CHIEF, DEVELOPMENT ENGINEERING DIVISION		DATE: 10/10/03		WATER CODE: 605		SEWER CODE: 7192460	

REVISIONS

MORAND ARCHITECTS
 1276 WEST THIRD STREET
 CLEVELAND, OHIO 44113
 OFFICE: 216-861-2100 FAX 216-861-2614
 E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
 4613 SECTION DRIVE
 BALTIMORE, MD 21215
 (410) 358-7171

COVER SHEET

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 09/06/03
 SCALE
 DRN ZF
 DSN ZF
 CKD HP
 SHEET 1 OF 16

REVISIONS

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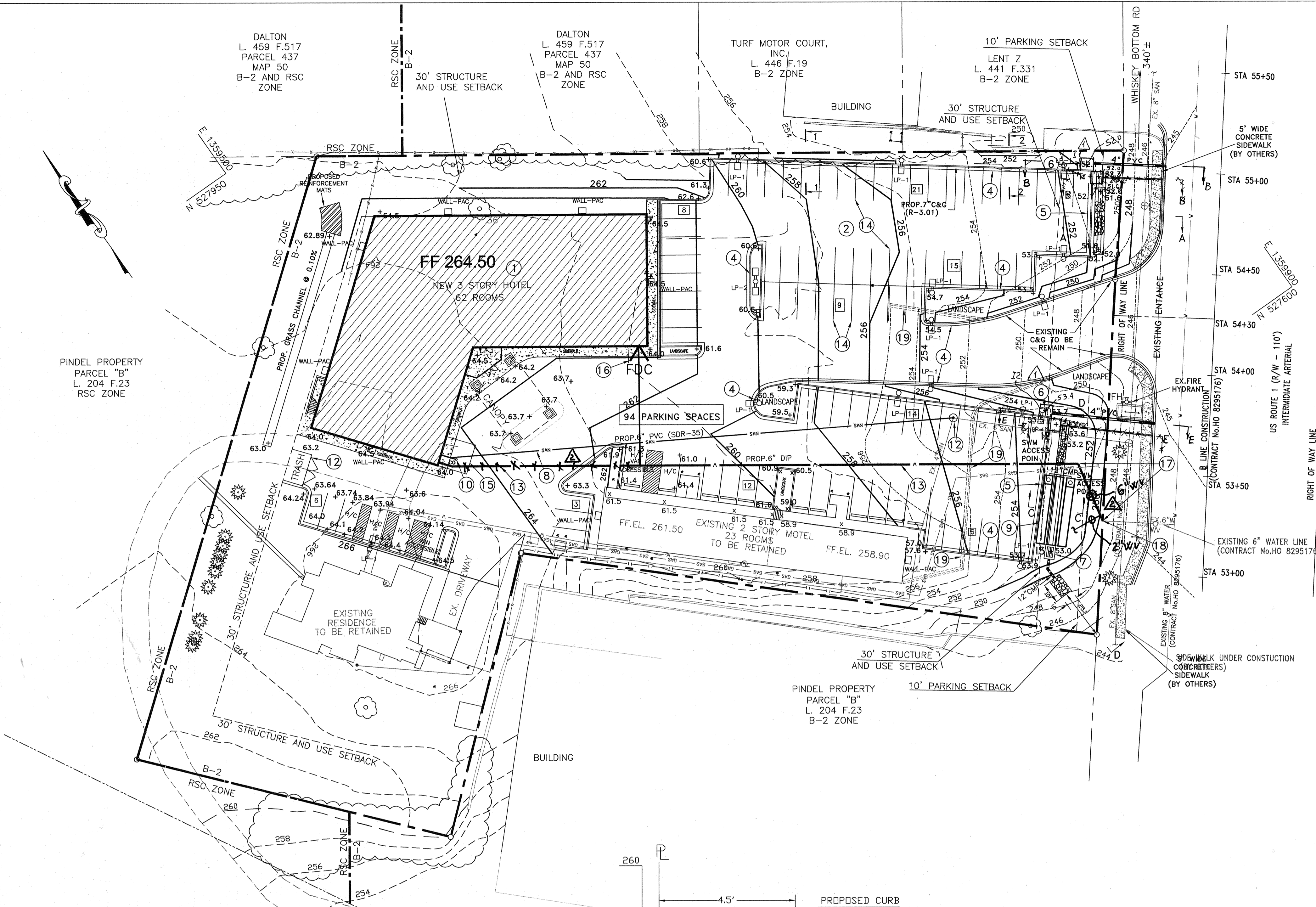
EBA ENGINEERING INC.
 4813 SETON DRIVE
 BALTIMORE, MD 21215
 (410) 358-7171

SITE GRADING PLAN

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

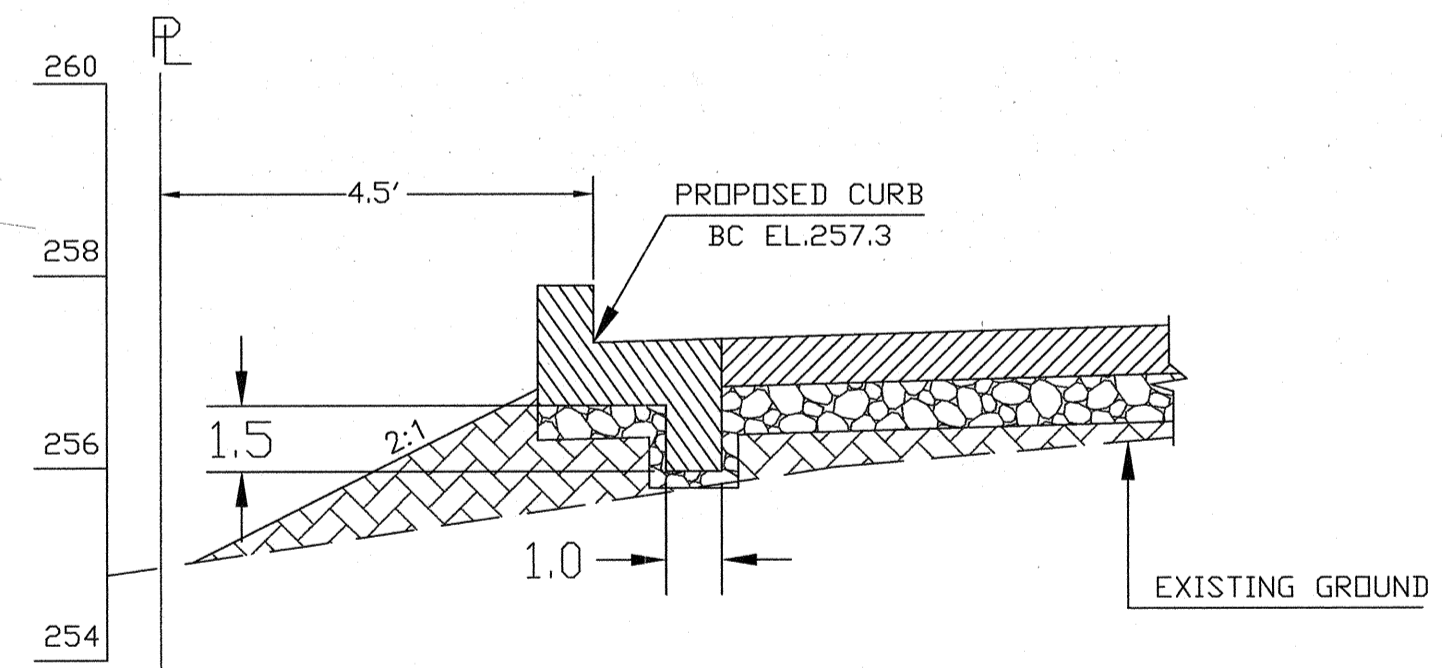
DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP
 SHEET 5 OF 16

- LEGEND ---
- ⊕ SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - ⊗ SANITARY CLEANOUT
 - ⊙ DECIDUOUS TREE
 - ⊙ BUSH
 - ★ CONIFEROUS TREE
 - ⊙ SIGN POST
 - ⊙ ELECTRIC POLE
 - ⊙ LIGHT POLE
 - TREE LINE
 - FENCE
 - EXISTING WATER
 - SAN EXISTING SANITARY
 - GAS EXISTING GAS
 - EXISTING CONTOURS
 - SHA GRADING
 - PROPOSED CONTOURS
 - x EXISTING SPOT ELEVATIONS
 - + PROPOSED SPOT ELEVATIONS
 - △ SURVEY CONTROL
 - ▨ PROPOSED CONCRETE SIDEWALK
 - PROPOSED WATER
 - SAN PROPOSED SANITARY

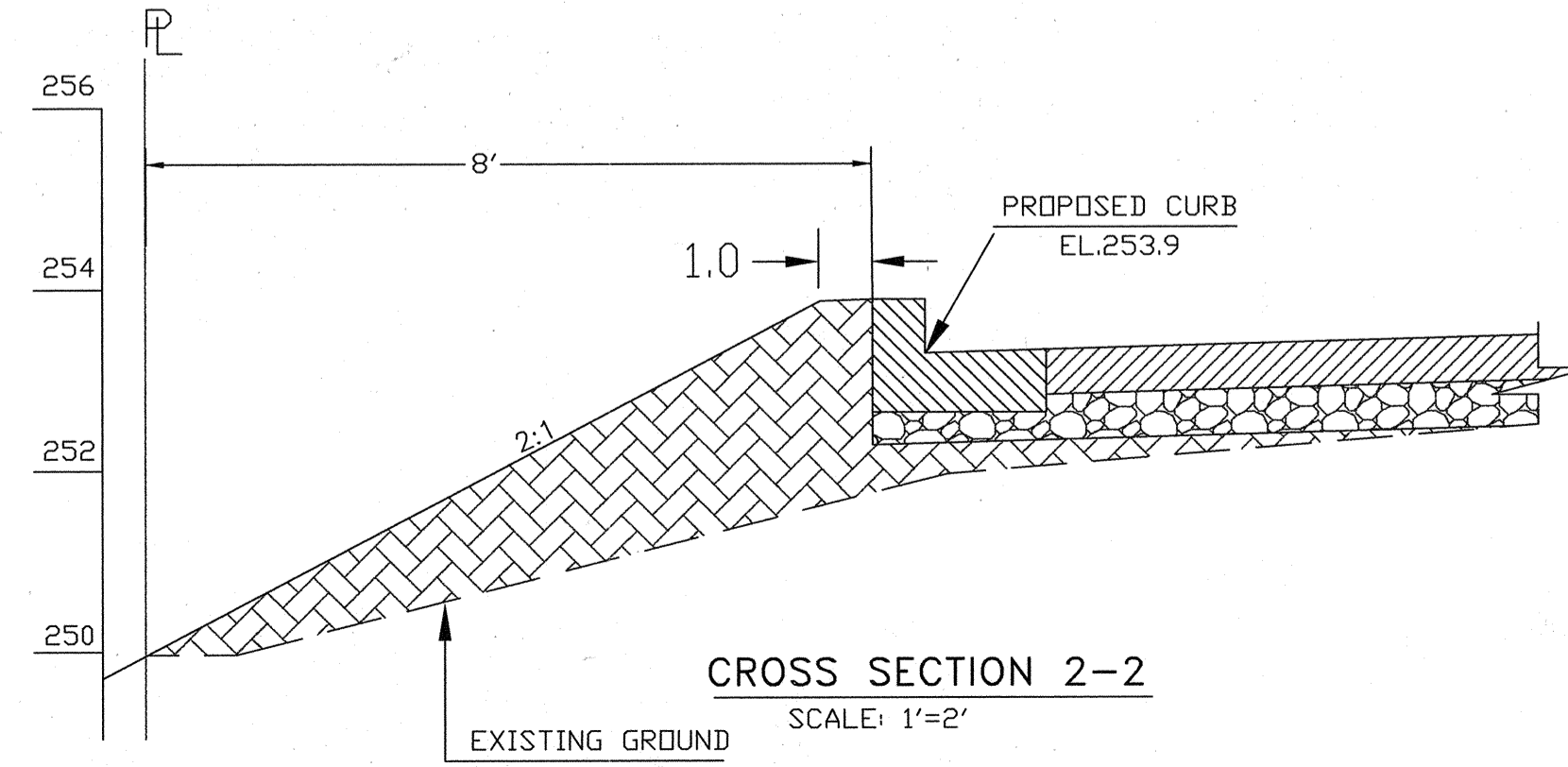


DRAWING NOTES:

1. PROPOSED NEW 3 STORY HOTEL
2. PROPOSED NEW PAVING
3. PROPOSED 5' WIDE CONCRETE SIDEWALK (HOWARD COUNTY STD. R-3.05)
4. PROPOSED 7" CURB AND GUTTER (HOWARD COUNTY STD. DETAIL R-3.01)
5. PROPOSED FLASH CURB AND GUTTER (HOWARD COUNTY STD. DETAIL R-3.01A)
6. PRECAST 6'x 6' FILTERRA INLET BY AMERICAST
7. PROPOSED TYPE "K" INLET (HOWARD COUNTY STD DET. SD-4.12)
8. PROPOSED 6" SANITARY (PVC SDR-35)
9. PROPOSED SWM FOR Cpv AND Rev
10. PROPOSED CLEANOUT (HOWARD COUNTY STD. S-3.21)
11. PROPOSED 48" DIA SANITARY MANHOLE (HOWARD COUNTY STD. G-5.12)
12. PROPOSED DUMPSTER (HOWARD COUNTY STD. R11.01)
13. PROPOSED 6" WATER LINE
14. PROPOSED PAVING MARKING
15. LOADING - DELIVERY AREA
16. FIRE DEPARTMENT CONNECTION (FDC)
17. PROPOSED 6" HORIZONTAL BEND
18. PROPOSED CONNECTION TO EXISTING 6" WATER LINE
19. REMOVE EXISTING CURB AND GUTTER



CROSS SECTION 1-1
 SCALE: 1"=2'



CROSS SECTION 2-2
 SCALE: 1"=2'

FIXTURE SCHEDULE

- LP-1 GARDCO FORM 10 EH OR EQUAL WITH 250W HIGH PRESSURE SODIUM LAMPS WITH 30,000 LUMEN/WATT SINGLE WITH 25' POLE
- LP-2 GARDCO FORM 10 EH OR EQUAL WITH 250W HIGH PRESSURE SODIUM LAMPS WITH 30,000 LUMEN/WATT TWIN WITH 25' POLE
- FIXTURES TO BE 208V-1Ø - 400W
 WIND DESIGN LOAD: 130 MPH
- WALL PACKS - MFR: HUBBLE, PERMASHIELD II (CUT-OFF TYPE)
 MODEL: PRS-0150S-521-PVLV

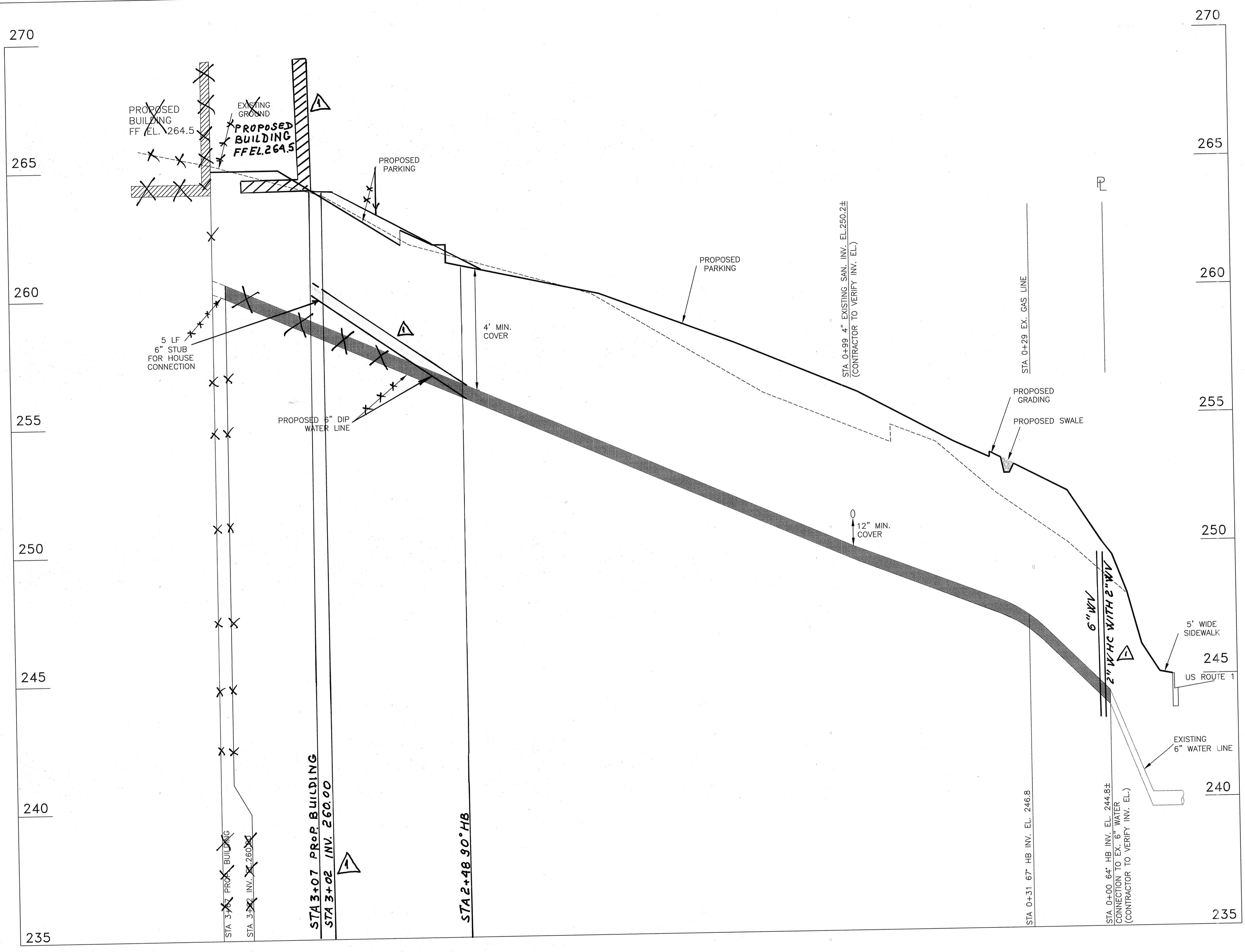
OWNER / DEVELOPER:
SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Debra J. Leyle DIRECTOR
Chris Hamata CHIEF, DIVISION OF LAND DEVELOPMENT
Chris Hamata CHIEF, DEVELOPMENT ENGINEERING DIVISION



No.	REVISION	DATE
1	REVISED FILTERRA INLETS LOCATION	4/21/04
2	REVISED WATER LINE	12-10-04

ADDRESS CHART	
PARCEL No. 48B	STREET ADDRESS 9860 WASHINGTON BLDR, LAUREL
SUBDIVISION NAME PINDELL PROPERTY, PARCEL A	SECTION/AREA N/A
PARCEL No. 48B	PARCEL NUMBER PARCEL A
PLAT No 6589	BLOCK No 4
ZONE B-2	TAX/ZONE 50
ELECT.DIST. 6	CENSUS TR. 6069.03
WATER CODE: C05	SEWER CODE: 7102400



PROPOSED WATER LINE PROFILE

SCALE: HOR. 1"=20'
VERT. 1"= 2'



OWNER / DEVELOPER:
SURESH D. PATEL
9860, WASHINGTON BLVD
LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Director: *Mark D. Wright* DATE: 10/10/02

Chief, Development Engineering Division: *Chad Cannon* DATE: 10/10/02

No.	REVISION	DATE
1	REVISED WATER LINE	12-10-04

ADDRESS CHART

PARCEL No.	STREET ADDRESS
488	9860 WASHINGTON BLDR, LAUREL

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
PINDELL PROPERTY, PARCEL A	N/A	PARCEL A

PLAT No.	BLOCK No.	ZONE	TAX/ZONE	ELECT.DIST.	CENSUS TR.
6589	4	B-2	50	6	6069.03

WATER CODE: C05

REVISIONS

MORAND ARCHITECTS
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E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD. 21215
(410) 358 7171

WATER LINE PROFILE

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND

DATE 09/06/03
SCALE
DRN VB
DSN ZF
CKD HP
SHEET 9 OF 16

SDR-03-141

REVISIONS

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EROSION AND SEDIMENT CONTROL PLAN

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP
 SHEET 11 OF 16

- LEGEND --
- ⊕ SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - ⊗ SANITARY CLEANOUT
 - ⊙ DECIDUOUS TREE
 - ⊙ BUSH
 - ⊙ CONIFEROUS TREE
 - ⊙ SIGN POST
 - ⊙ ELECTRIC POLE
 - ⊙ LIGHT POLE
 - TREE LINE
 - FENCE
 - EXISTING WATER
 - SAN EXISTING SANITARY
 - GAS EXISTING GAS
 - 250 EXISTING CONTOURS
 - 256 SHA GRADING
 - 256 PROPOSED CONTOURS
 - × EXISTING SPOT ELEVATIONS
 - + PROPOSED SPOT ELEVATIONS
 - △ SURVEY CONTROL
 - ▨ PROPOSED CONCRETE SIDEWALK
 - W PROPOSED WATER
 - SAN PROPOSED SANITARY

EROSION AND SEDIMENT CONTROL LEGEND:

- ▨ STABILIZED CONSTRUCTION ENTRANCE
- SF SILT FENCE
- SSF SUPER SILT FENCE
- ⌈ AGIP AT GRADE INLET PROTECTION
- ⌈ CIP CURB INLET PROTECTION
- DRAINAGE DIVIDE
- LOD LIMIT OF DISTURBANCE

WATER QUALITY STRUCTURE: I1, I2, I3, GRASS CHANNEL AND TRIPLE 34 L.F. - 36" DIA ACMP STORMWATER CONTAINMENT FACILITY - TO BE PRIVATELY OWNED AND MAINTAINED.

DEBRIS IS TO BE KEPT OUT OF THE PROPOSED SWM FACILITY DURING AND AFTER CONSTRUCTION.

DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROLS OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF DEVELOPER DATE: SURESH D. PATEL 9-12-2003

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER DATE: HARISH PATEL 9-12-03

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 Jim Meyer 10/2/03
 U.S. NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
 John H. Roberts 10/2/03
 HOWARD SCD



OWNER / DEVELOPER:
 SURESH D. PATEL
 9860 WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DIRECTOR: David R. Coyle 10/1/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: Linda Hamilton 10/2/03

No.	REVISION	DATE
1	REVISED FILTER AREA INLETS LOCATION	4/21/04
2	REVISED WATER LINE	12/10/04

ADDRESS CHART	
PARCEL No.	STREET ADDRESS
488	9860 WASHINGTON BLDG, LAUREL

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
PINDELL PROPERTY, PARCEL A	N/A	PARCEL A

PLAT No.	BLOCK No.	ZONE	TAX/ZONE	ELECT.DIST.	CENSUS TR.
6589	4	B-2	50	6	6569.03

WATER CODE: C05

REVISIONS

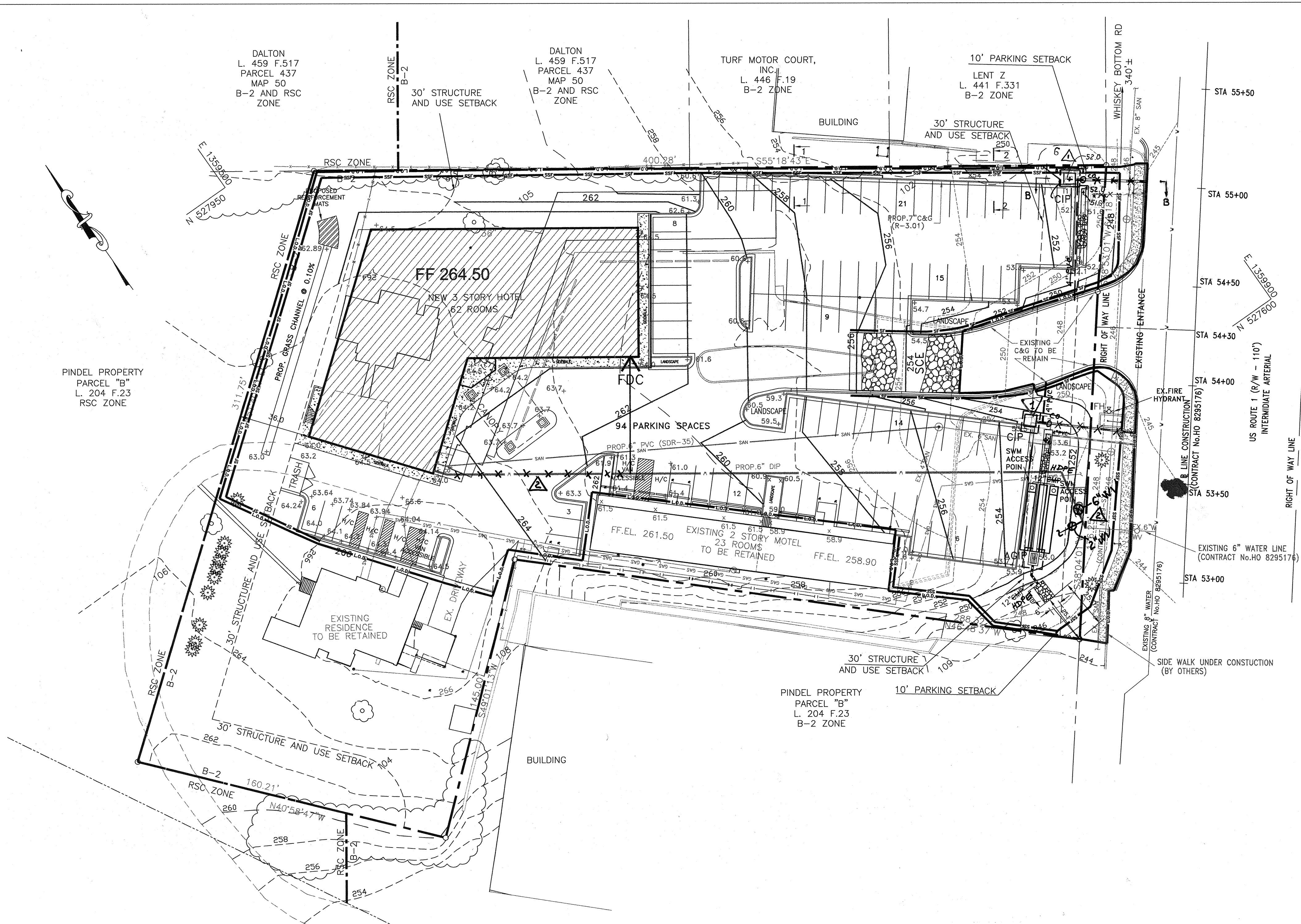
MORAND ARCHITECTS
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 BALTIMORE, MD. 21215
 (410) 358-7171

EROSION AND SEDIMENT CONTROL PLAN

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP
 SHEET 11 OF 16



- LEGEND ---
- ⊕ SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - ⊗ SANITARY CLEANOUT
 - ⊙ DECIDUOUS TREE
 - ⊙ BUSH
 - ☼ CONIFEROUS TREE
 - ⊙ SIGN POST
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 - EXISTING WATER
 - SAN — EXISTING SANITARY
 - GAS — EXISTING GAS
 - 250 — EXISTING CONTOURS
 - 256 — PROPOSED CONTOURS
 - SHA GRADING
 - x EXISTING SPOT ELEVATIONS
 - + PROPOSED SPOT ELEVATIONS
 - △ SURVEY CONTROL
 - ▨ PROPOSED CONCRETE SIDEWALK
 - PROPOSED WATER
 - SAN — PROPOSED SANITARY

EROSION AND SEDIMENT CONTROL LEGEND:

- ▨ STABILIZED CONSTRUCTION ENTRANCE
- SF — SILT FENCE
- SSF — SUPER SILT FENCE
- ⌈ AGIP ⌋ AT GRADE INLET PROTECTION
- ⌈ CIP ⌋ CURB INLET PROTECTION
- DRAINAGE DIVIDE
- LOD — LIMIT OF DISTURBANCE

WATER QUALITY STRUCTURE: I1, I2, I3, GRASS CHANNEL AND TRIPLE 34 L.F.- 36" DIA ACMP STORMWATER CONTAINMENT FACILITY - TO BE PRIVATELY OWNED AND MAINTAINED.

DEBRIS IS TO BE KEPT OUT OF THE PROPOSED SWM FACILITY DURING AND AFTER CONSTRUCTION.

DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROLS OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF DEVELOPER DATE: *Suresh D. Patel* 9-12-2003

ENGINEER'S CERTIFICATE
 "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER DATE: *John L. Whitson* 9-12-03

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
Jim Meyer 10/2/03
 USDA-NATURAL RESOURCE CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
John L. Whitson 10/2/03
 HOWARD SCD



OWNER / DEVELOPER:
 SURESH D. PATEL
 9860 WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
David R. Ogden 10/10/03
 DIRECTOR
John Hamilton 10/10/03
 CHIEF, DIVISION OF LAND DEVELOPMENT
John Hamilton 10/10/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

No.	REVISION	DATE
1	REVISED FILTERRA INLETS LOCATION	4/21/04
2	REVISED WATER LINE	12/10/04
3	REVISED SWM DETAILS	7/15/05

ADDRESS CHART	
PARCEL No.	STREET ADDRESS
488	9860 WASHINGTON BLDG, LAUREL

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
PINDELL PROPERTY, PARCEL A	N/A	PARCEL A

PLAT No	BLOCK No	ZONE	TAX/ZONE	ELECT.DIST.	CENSUS TR.
6589	4	B-2	50	6	8069.03

WATER CODE: C05 SEWER CODE: 7102400

SDP-03-141

REVISIONS

MORAND ARCHITECTS
 1276 WEST THIRD STREET
 CLEVELAND, OHIO 44113
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 E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
 4813 SETON DRIVE
 BALTIMORE, MD. 21215
 (410) 358 7171

SITE GRADING PLAN

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03

SCALE 1"=30'

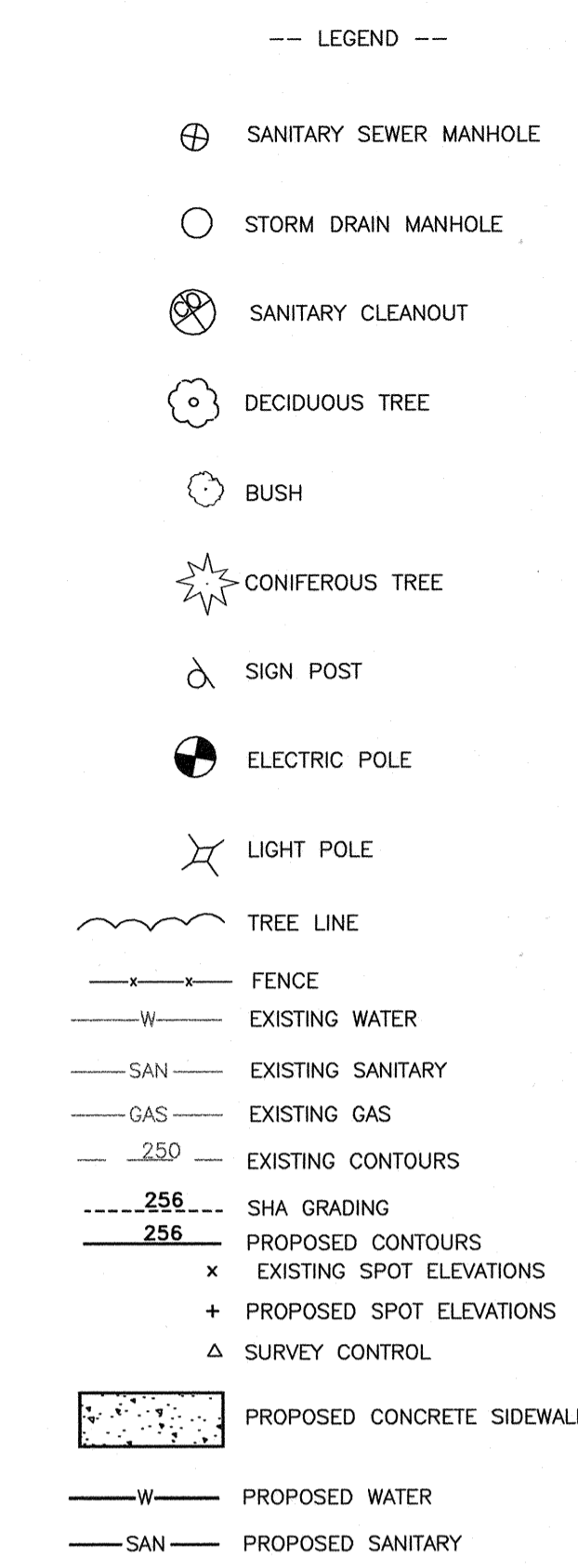
DRN ZF

DSN ZF

CKD HP

SHEET 5 OF 16

SDP-03-141



FIXTURE SCHEDULE

- LP-1 GARDCO FORM 10 EH OR EQUAL WITH 250W HIGH PRESSURE SODIUM LAMPS WITH 30,000 LUMEN/WATT SINGLE WITH 25' POLE
 - LP-2 GARDCO FORM 10 EH OR EQUAL WITH 250W HIGH PRESSURE SODIUM LAMPS WITH 30,000 LUMEN/WATT TWIN WITH 25' POLE
- FIXTURES TO BE 208V-1ϕ - 400W
 WIND DESIGN LOAD: 130 MPH
- WALL PACKS - MFR: HUBBLE, PERMASHIELD II (CUT-OFF TYPE)
 MODEL: PRS-0150S-521-PVLV

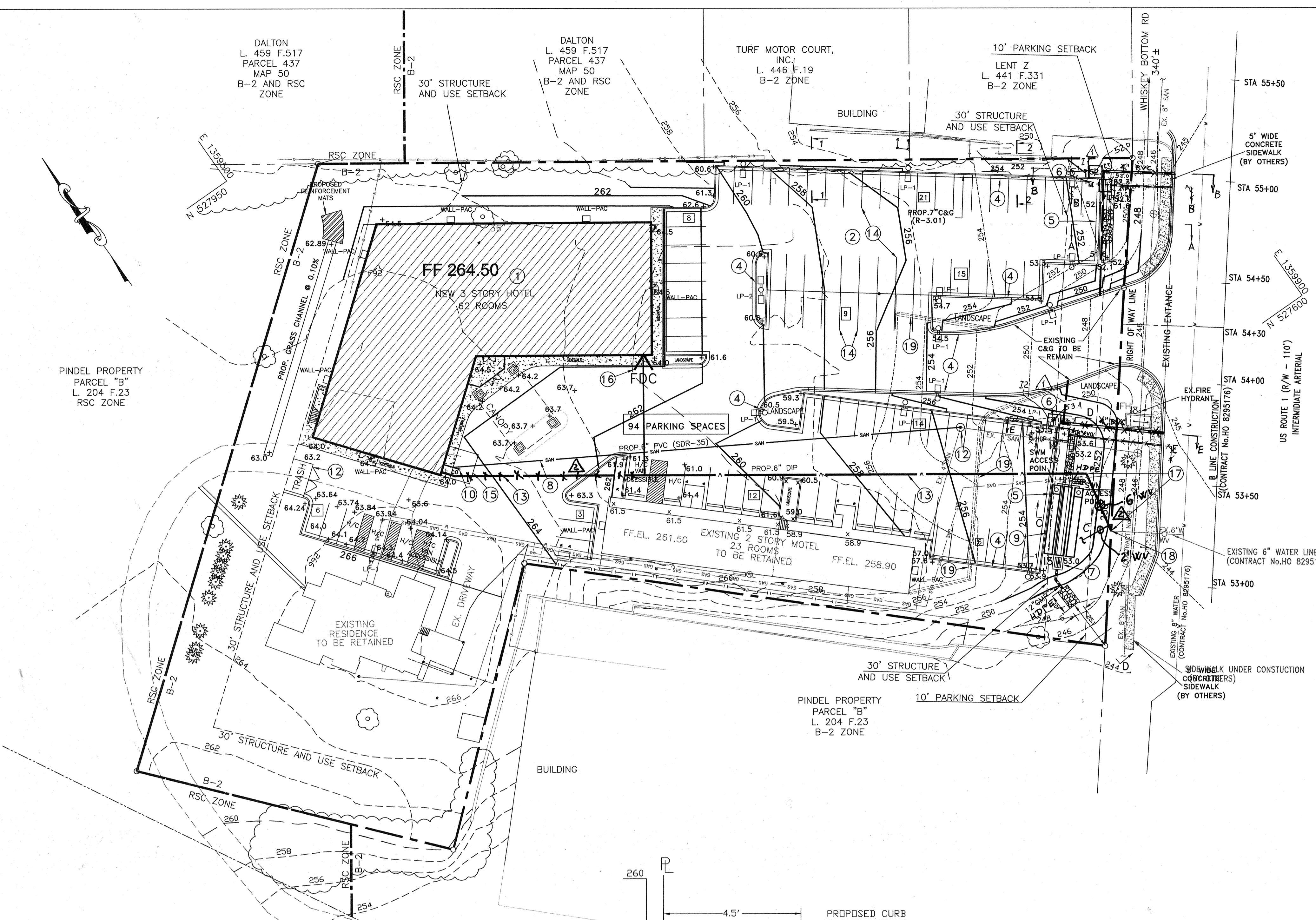
OWNER / DEVELOPER:
SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

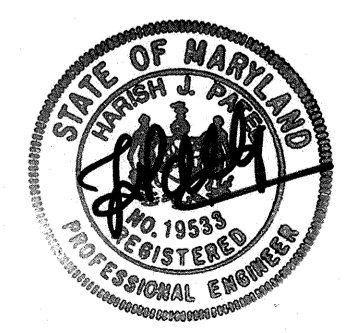
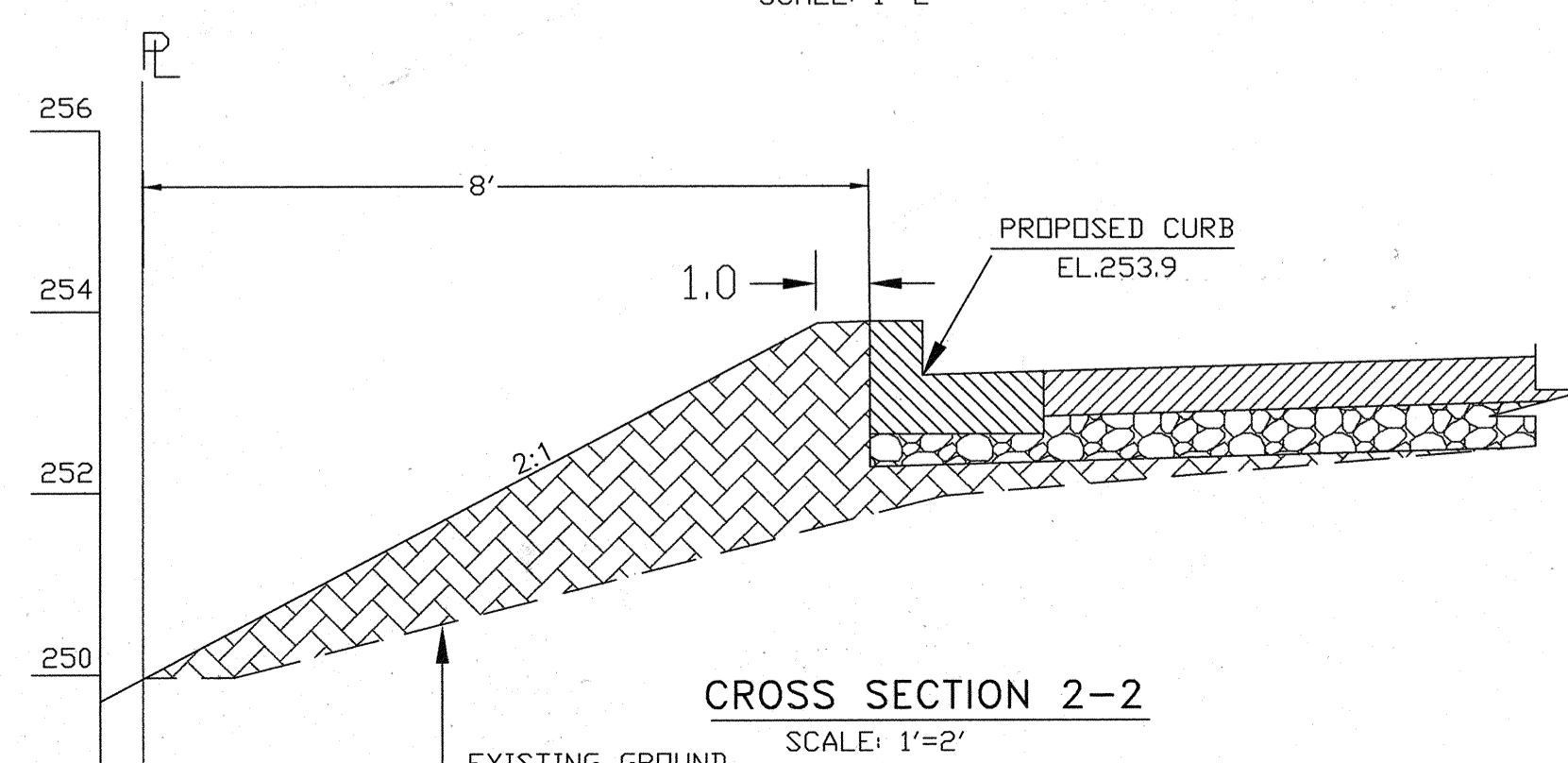
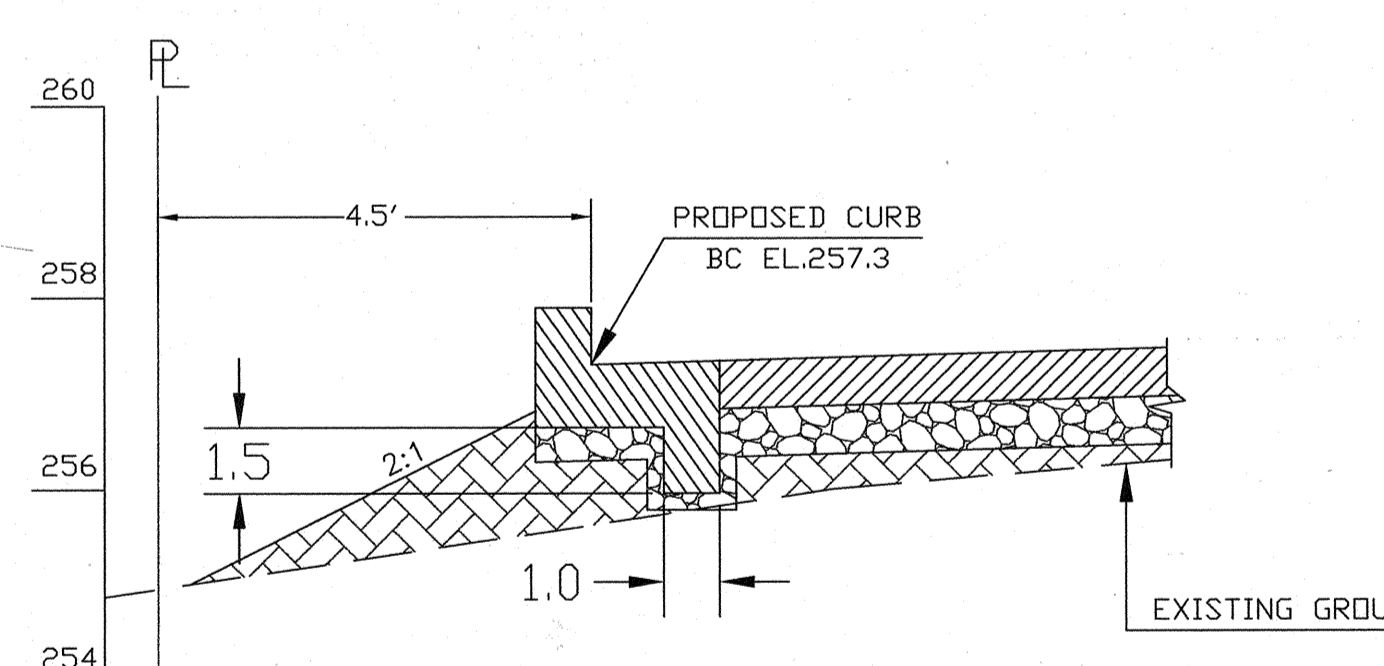
[Signature] DIRECTOR DATE 10/10/03
[Signature] CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 10/7/03

No.	REVISION	DATE
1	REVISED FILTERRA INLETS LOCATION	4/21/04
2	REVISED WATER LINE	12-10-04
3	REVISED SWM DETAILS	7-15-05

ADDRESS CHART	
PARCEL No. 488	STREET ADDRESS 9860 WASHINGTON BLVD, LAUREL
SUBDIVISION NAME PINDELL PROPERTY, PARCEL A	SECTION/AREA N/A
PARCEL NUMBER PARCEL A	
PLAT No 6589	BLOCK No 4
ZONE B-2	TAX/ZONE 50
ELECT.DIST. 6066.03	CENSUS TR. 6066.03
WATER CODE: C05	SEWER CODE: 7192400



- DRAWING NOTES:
1. PROPOSED NEW 3 STORY HOTEL
 2. PROPOSED NEW PAVING
 3. PROPOSED 5' WIDE CONCRETE SIDEWALK (HOWARD COUNTY STD. R-3.05)
 4. PROPOSED 7" CURB AND GUTTER (HOWARD COUNTY STD. DETAIL R-3.01)
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 7. PROPOSED TYPE "K" INLET (HOWARD COUNTY STD DET. SD-4.12)
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 12. PROPOSED DUMPSTER (HOWARD COUNTY STD. R11.01)
 13. PROPOSED 6" WATER LINE
 14. PROPOSED PAVING MARKING
 15. LOADING - DELIVERY AREA
 16. FIRE DEPARTMENT CONNECTION (FDC)
 17. PROPOSED 6" HORIZONTAL BEND
 18. PROPOSED CONNECTION TO EXISTING 6" WATER LINE
 19. REMOVE EXISTING CURB AND GUTTER



REVISIONS

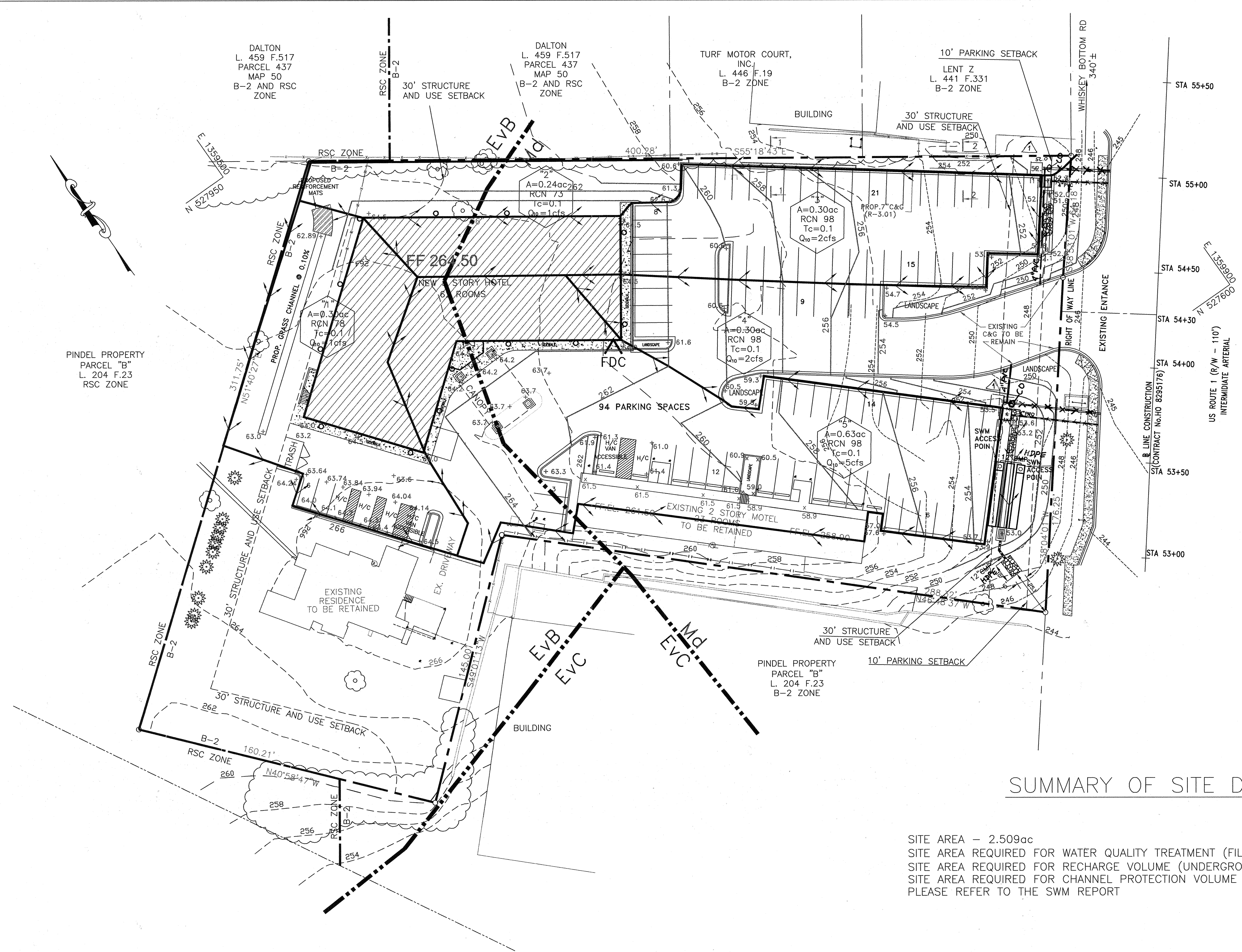
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SOIL AND DRAINAGE AREA MAP

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03
 SCALE 1"=30'
 DRN ZF
 DSN ZF
 CKD HP
 SHEET 10 OF 16



SUMMARY OF SITE DESIGN PARAMETERS

	REQUIRED	ACTUAL	
SITE AREA - 2.509ac			
SITE AREA REQUIRED FOR WATER QUALITY TREATMENT (FILTRERA INLETS)	- 0.39ac	- 0.93ac	← A3-0.30ac FILTRERA
SITE AREA REQUIRED FOR RECHARGE VOLUME (UNDERGROUND STONE)	- 0.39ac	- 0.39ac	← A5-0.63ac BIORETENTION
SITE AREA REQUIRED FOR CHANNEL PROTECTION VOLUME	- 0.38ac	- 0.38ac	FILTRATION SYSTEM
PLEASE REFER TO THE SWM REPORT			- UNDERGROUND PIPES

SOIL CHART		
SYMBOL	SOIL DESCRIPTION	TYPE
EvB	EVESBORO LOAMY SAND	"A" SOIL
Md	MADE LAND	"B" SOIL

OWNER / DEVELOPER:
 SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: *Mark Doyle* 10/10/03
 Chief, Development Engineering Division: *Andy Hamilton* 10/10/03
 Chief, Development Engineering Division: *Chad Dammann* 10/7/03



No.	REVISION	DATE
1	REVISED FILTRERA INLET LOCATION	4/21/04
2	REVISED SWM DETAILS	7/13/05

ADDRESS CHART					
PARCEL No.	STREET ADDRESS				
486	9860 WASHINGTON BLDG, LAUREL				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
PINDELL PROPERTY, PARCEL A	N/A	PARCEL A			
PLAT No	BLOCK No	ZONE	TAX/ZONE	ELECT.DIST.	CENSUS TR.
6589	4	B-2	50	6	6069.03
WATER CODE:	SEWER CODE:				
C05	T02400				

REVISIONS

MORAND ARCHITECTS
 1276 WEST THIRD STREET
 CLEVELAND, OHIO 44113
 OFFICE: 216-861-2100 FAX 216-861-2614
 E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
 4813 SETON DRIVE
 BALTIMORE, MD, 21215
 (410) 358 7171

STORMWATER MANAGEMENT
 PROFILES AND DETAILS

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 09/06/03

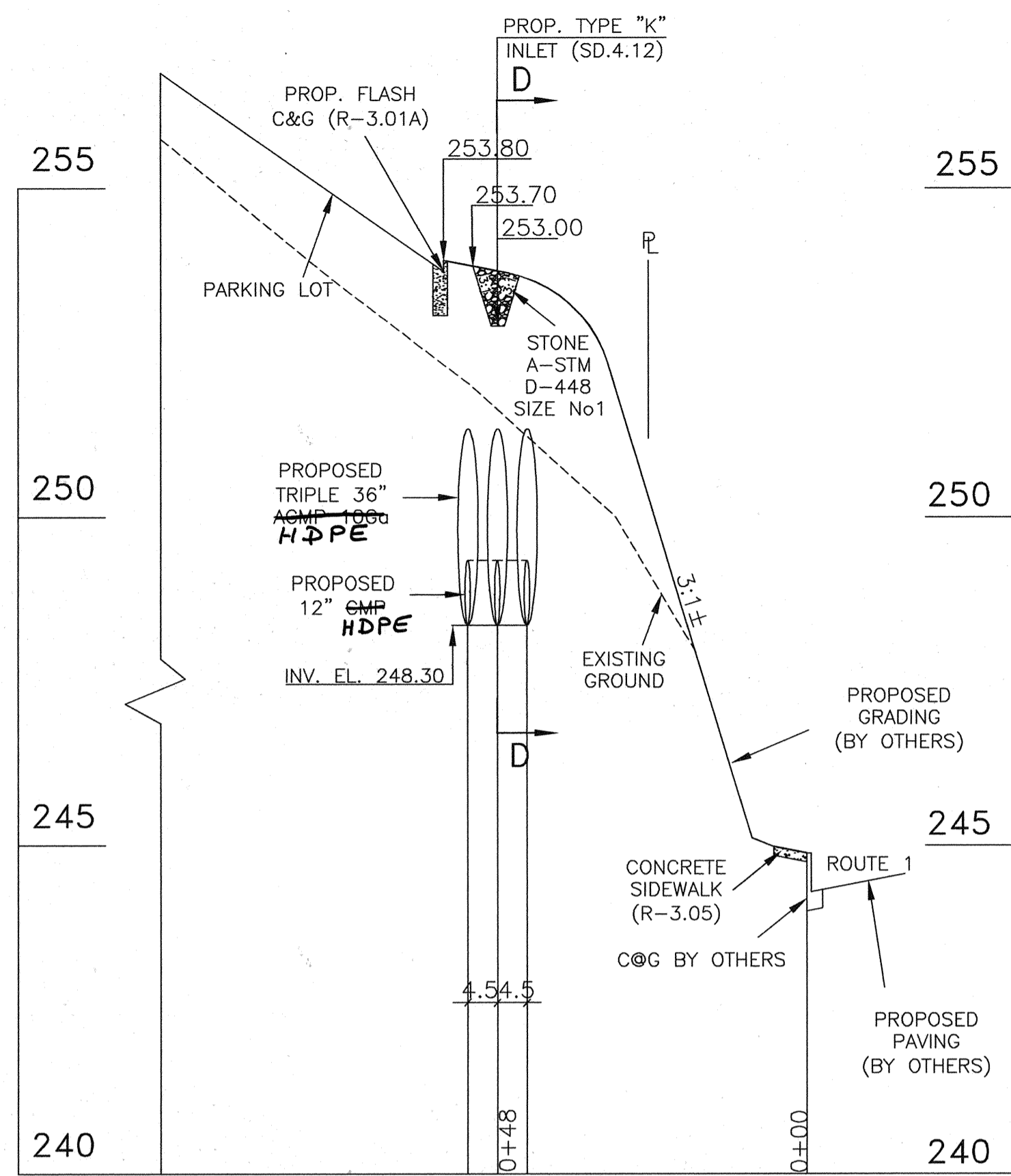
SCALE

DRN ZF

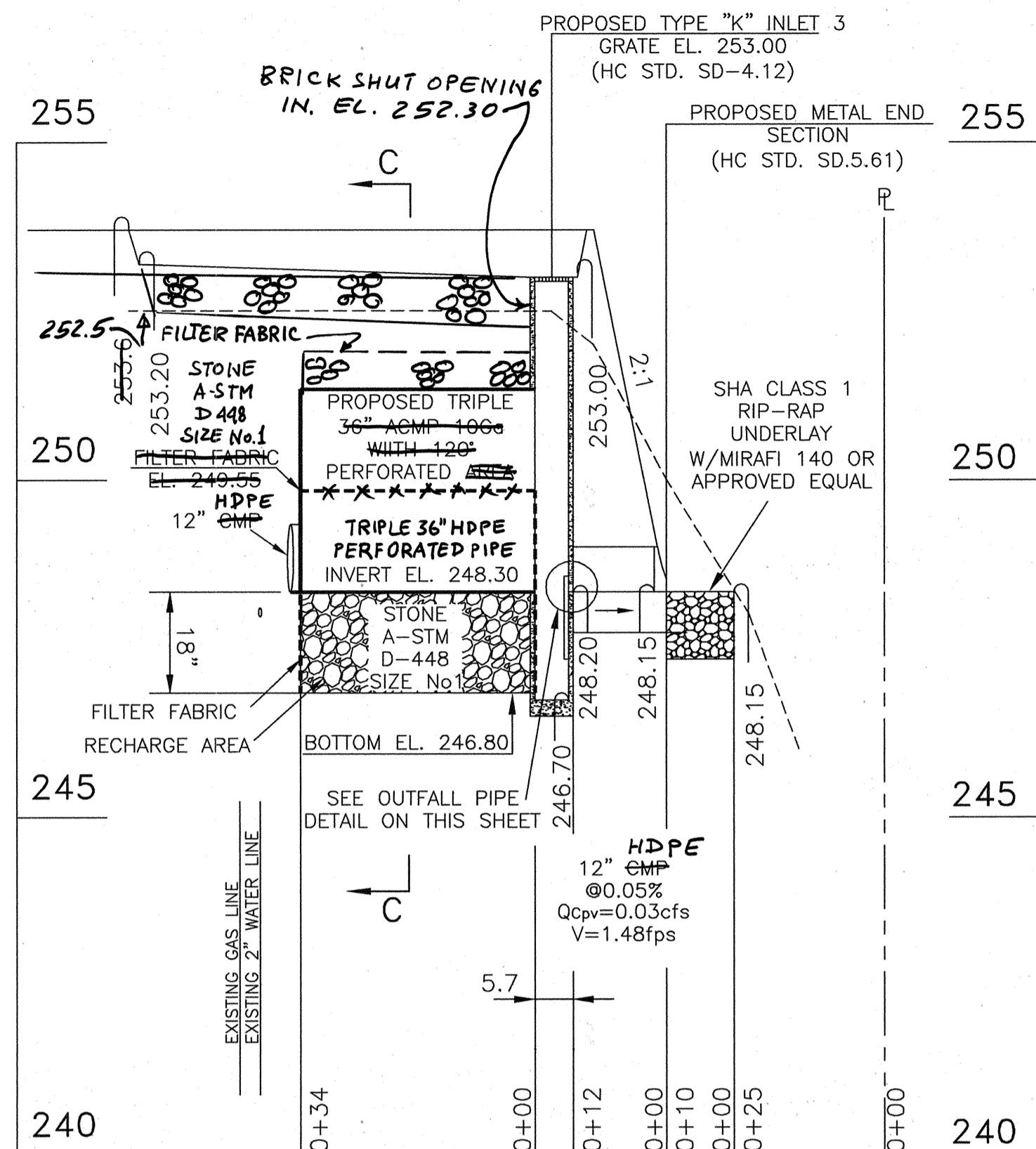
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CKD HP

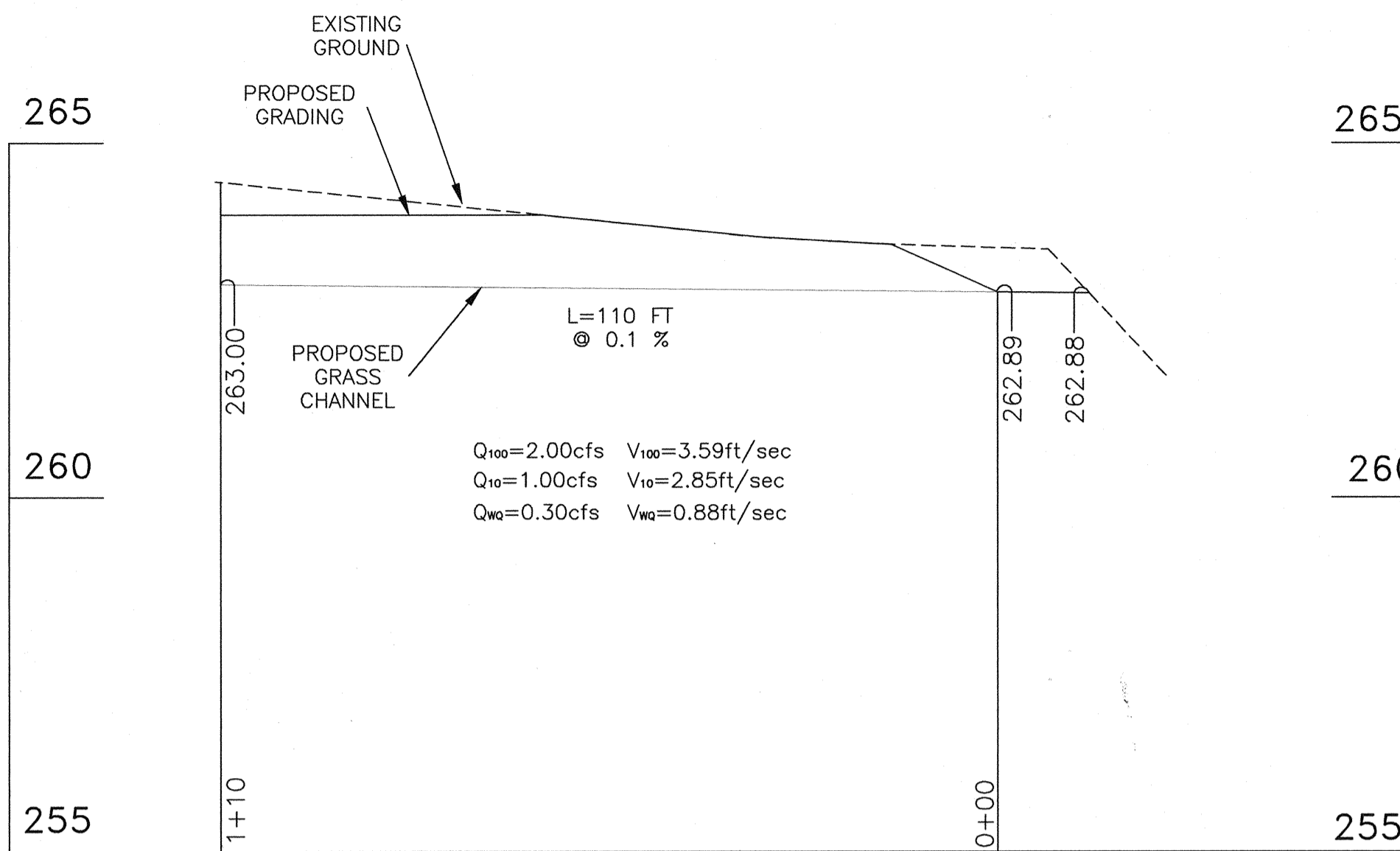
SHEET 7 OF 16



SECTION C-C
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'

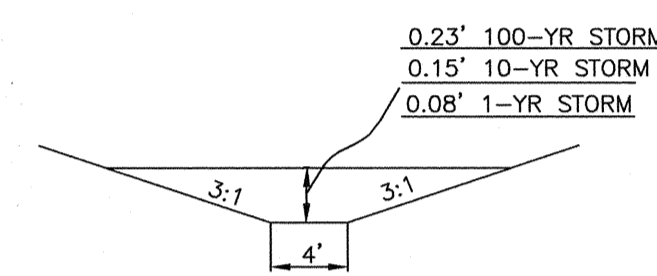


SECTION D-D
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'



GRASS CHANNEL PROFILE

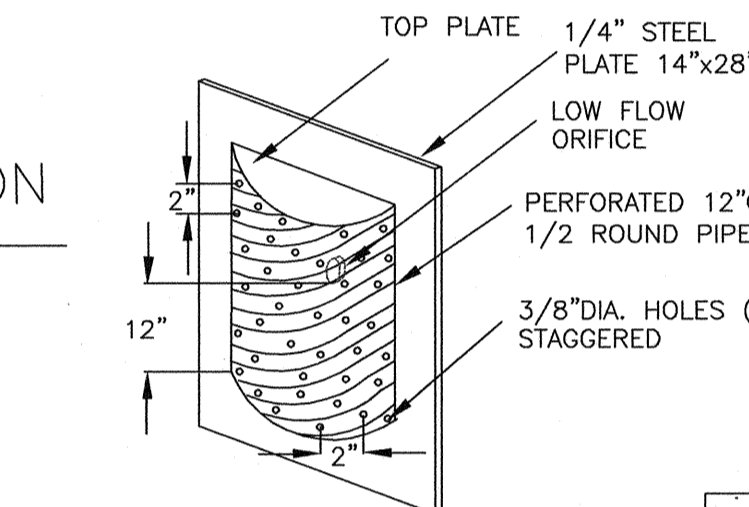
SCALE: HOR. 1"=20'
 VERT. 1"= 2'



TYPICAL GRASS CHANNEL SECTION

SCALE: NTS

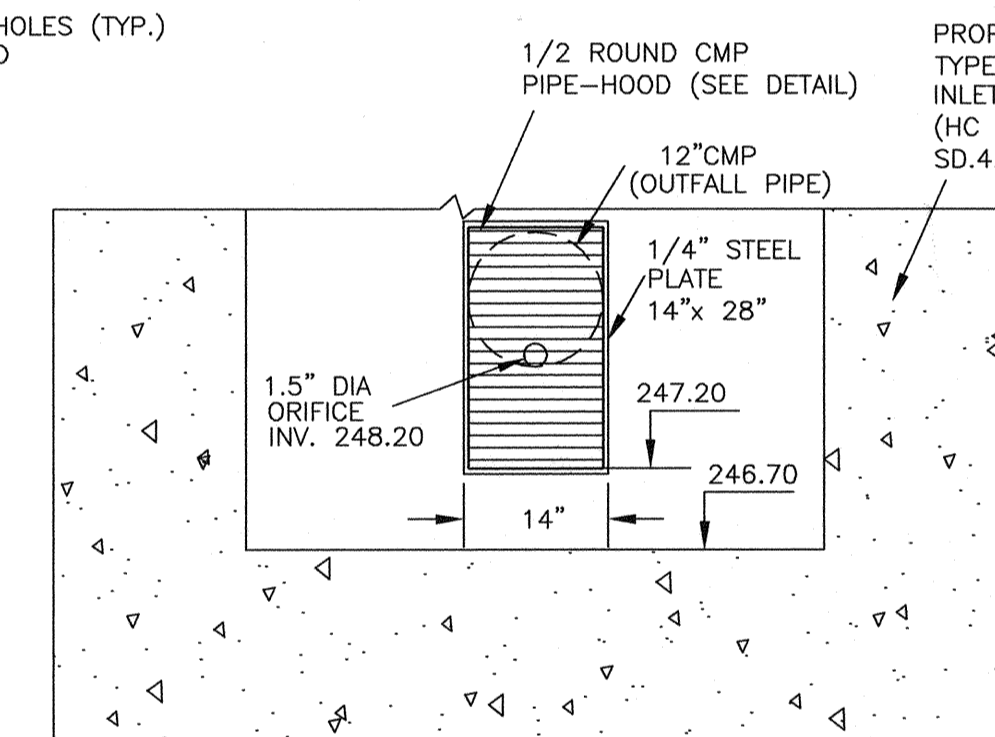
STORM DRAIN INLET SCHEDULE						
No	Type	Q (cfs)	Inv.Out	T.C.Elev.	LOCATION	Standard Detail No.
I-1	FILTERRA	0.3	250.20	253.70	N 527701 E 1359850	FILTERRA 01
I-2	FILTERRA	0.3	248.80	252.30	N 527813 E 1359762	FILTERRA 01
I-3	TYPE "K"	0.03	248.20	253.00	N 527561 E 1359726	HC STD. SD-4.12



PIPE-HOOD FOR ORIFICE

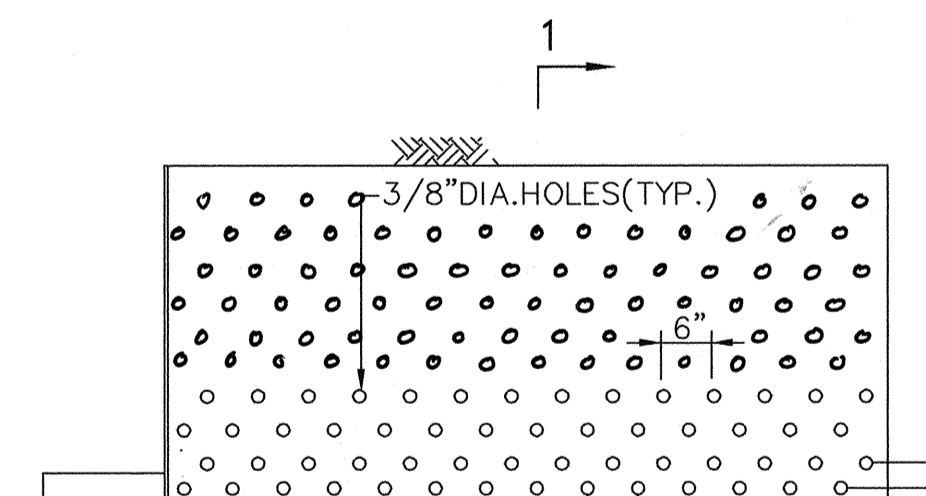
SCALE: NTS

STORM DRAIN PIPE SCHEDULE		
PIPE DESCRIPTION	TYPE	LENGTH (L.F.)
6"	PVC	50.0
8"	CMP	14.0
4"	PVC	85.0
36"	HDPE	22.0



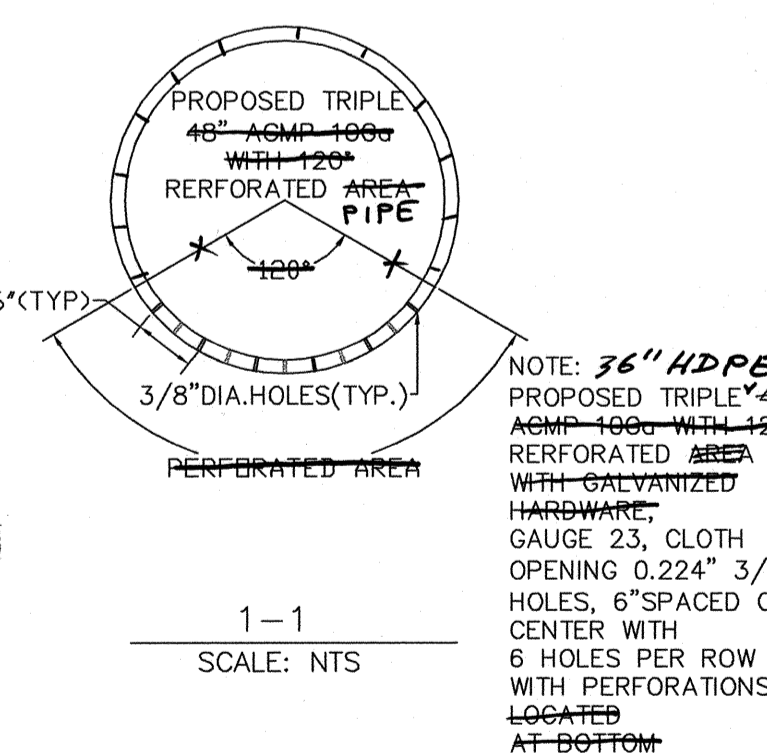
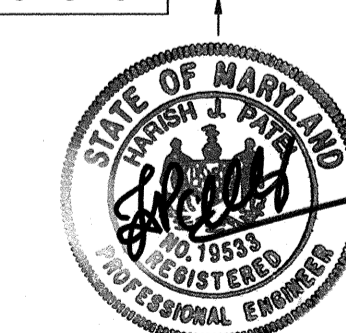
OUTFALL PIPE DETAIL

SCALE: 1"=1'



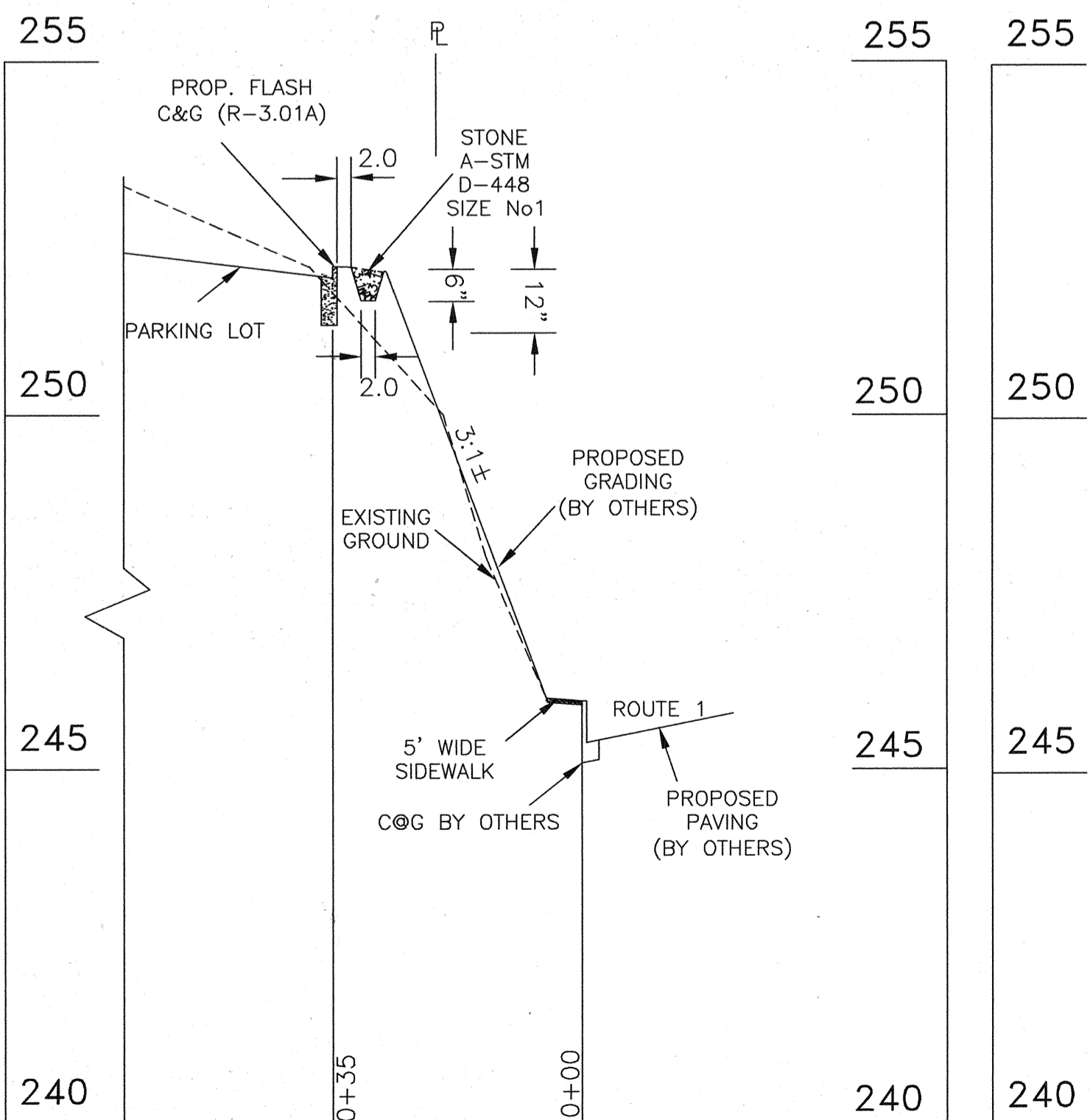
PERFORATION DETAIL

SCALE: NTS

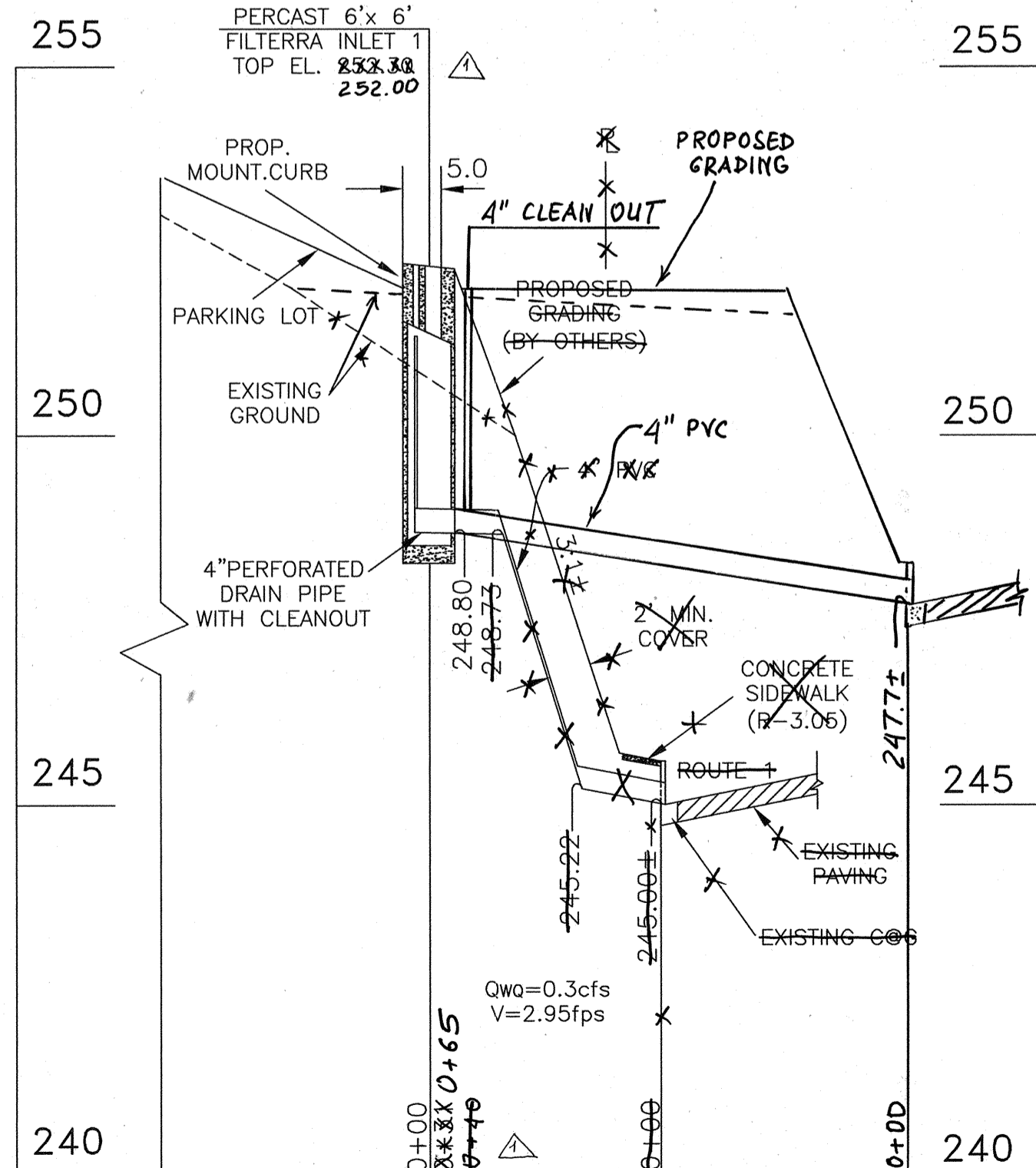


PROPOSED TRIPLE 48-INCH A-STM D-448 SIZE NO. 1 REPERFORATED AREA WITH GALVANIZED HARDWARE GAUGE 23, CLOTH OPENING 0.224 INCH 3/8 INCH HOLES 6 INCH SPACED ON CENTER WITH 6 HOLES PER ROW WITH PERFORATIONS LOCATED AT BOTTOM

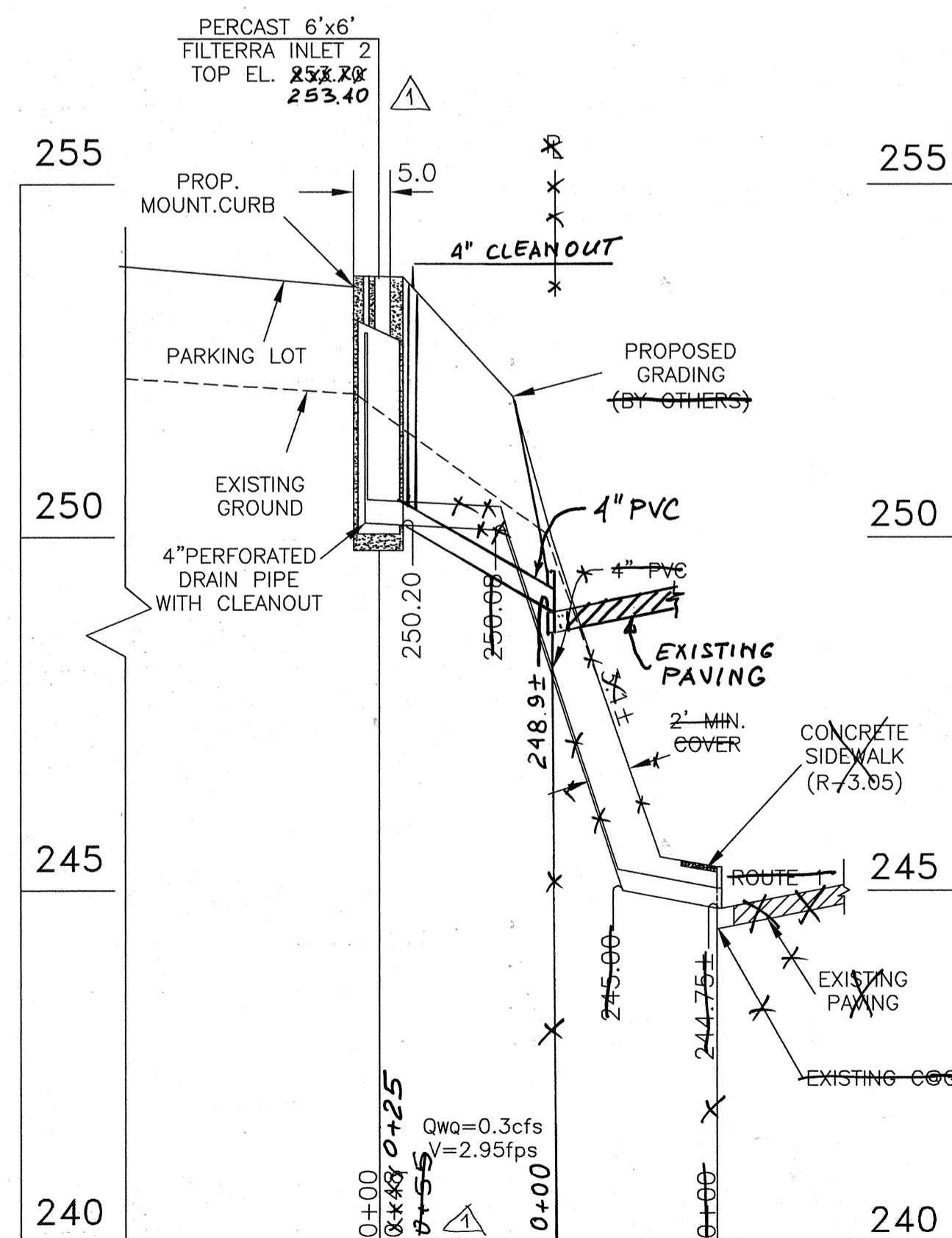
SCALE: NTS



SECTION A-A
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'



SECTION B-B
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'



SECTION E-E
 SCALE: HOR. 1"=20'
 VERT. 1"= 2'

OWNER / DEVELOPER:
 SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: Frank A. Lyell
 Chief, Development Engineering Division: [Signature]
 Date: 10/7/03

No.	REVISION	DATE
1	REVISED FILTERRA INLETS LOCATION	4/21/04
2	REVISED SWM DETAILS	7/15/05

ADDRESS CHART					
PARCEL No.	STREET ADDRESS				
486	9860 WASHINGTON BLVD, LAUREL				
SUBDIVISION NAME	SECTION/AREA				
PINDELL PROPERTY, PARCEL A	N/A				
PLAT No	BLOCK No	ZONE	TAX/ZONE	ELECT.DIST.	CENSUS TR.
6589	4	B-2	50	6	8069.03
WATER CODE:	SEWER CODE:				
C05	7162409				

REVISIONS

MORAND ARCHITECTS
 1276 WEST THIRD STREET
 CLEVELAND, OHIO 44113
 OFFICE: 216-861-2100 FAX 216-861-2614
 E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
 4813 SETON DRIVE
 BALTIMORE, MD. 21215
 (410) 358 7171

SITE LAYOUT PLAN

PINDELL PROPERTY, PARCEL A
 DAYS INN HOTEL
 9860 WASHINGTON BLVD.
 LAUREL, MARYLAND

DATE 08/20/03

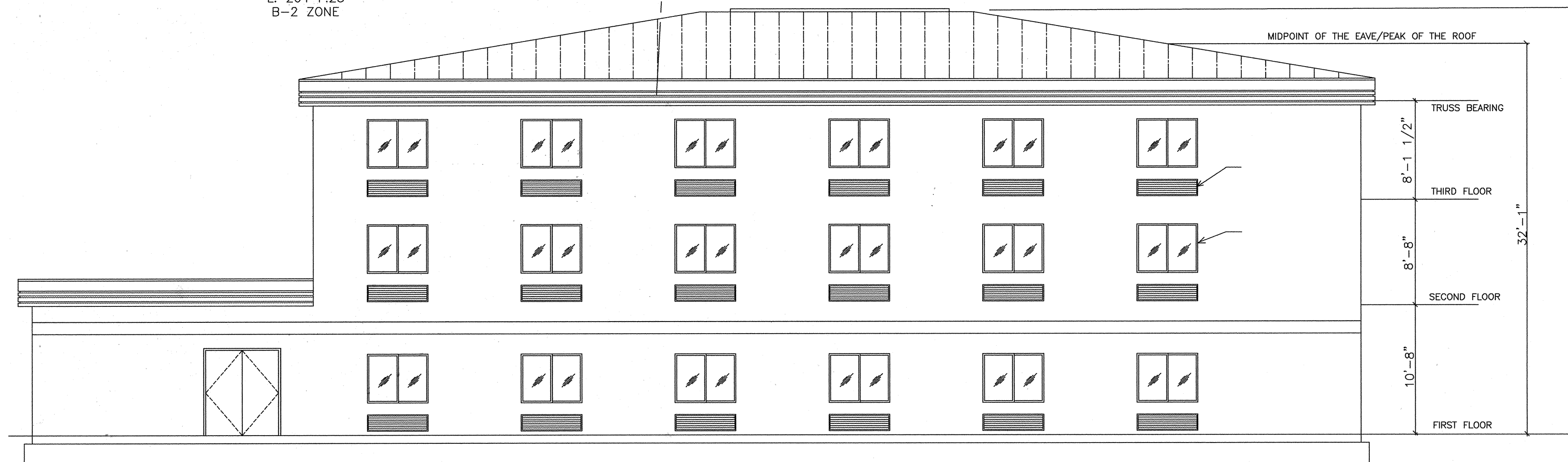
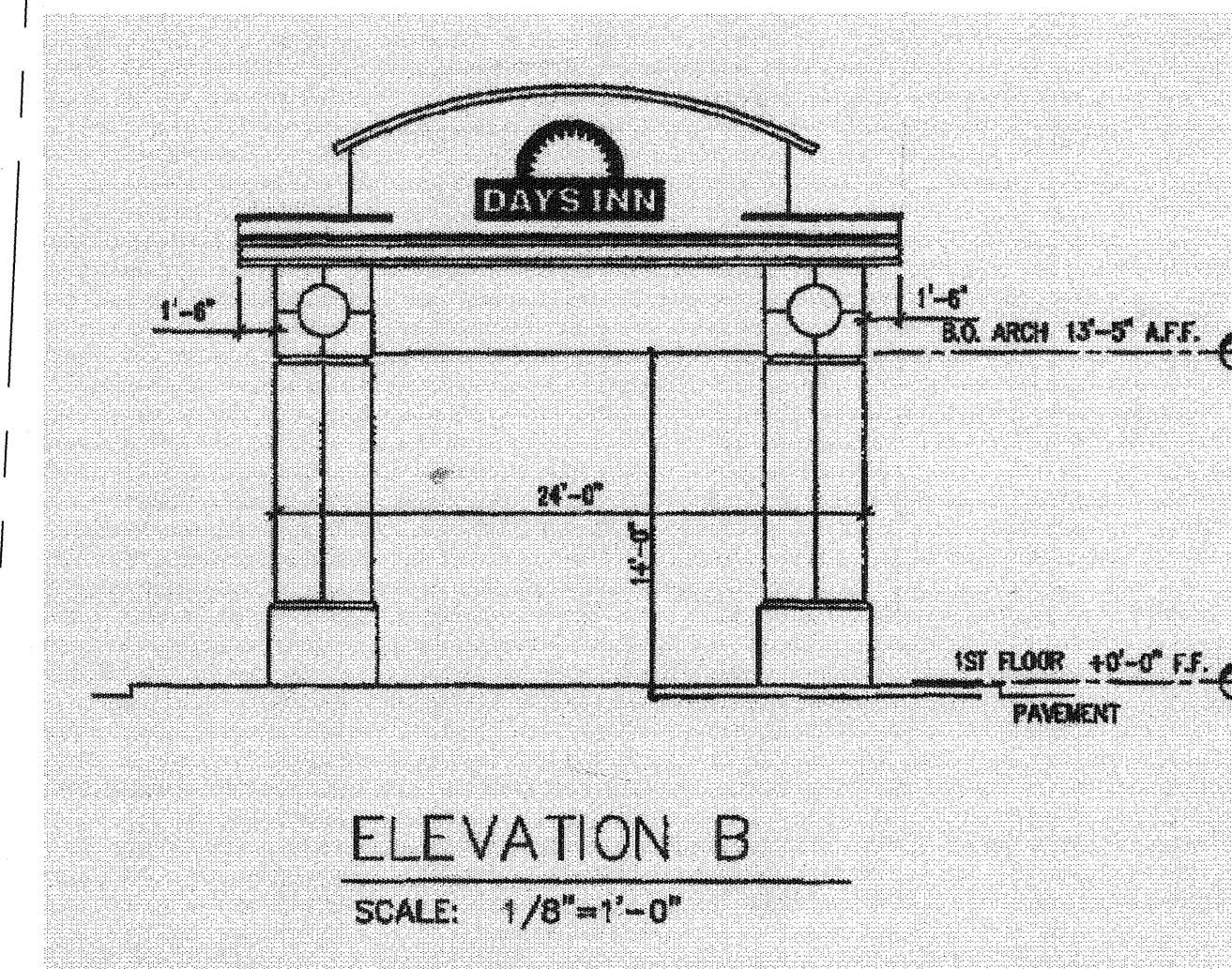
SCALE 1"=30'

DRN ZF

DSN ZF

CKD HP

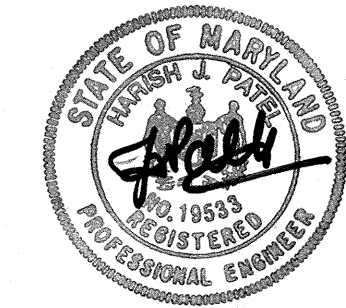
SHEET 4 OF 16



BUILDING ELEVATION
 NOT TO SCALE

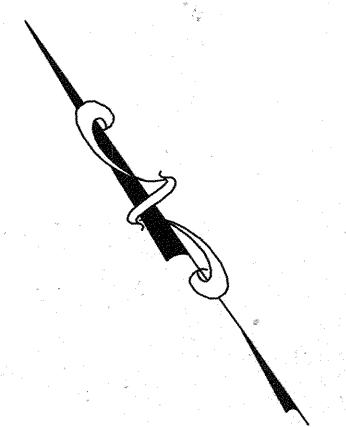
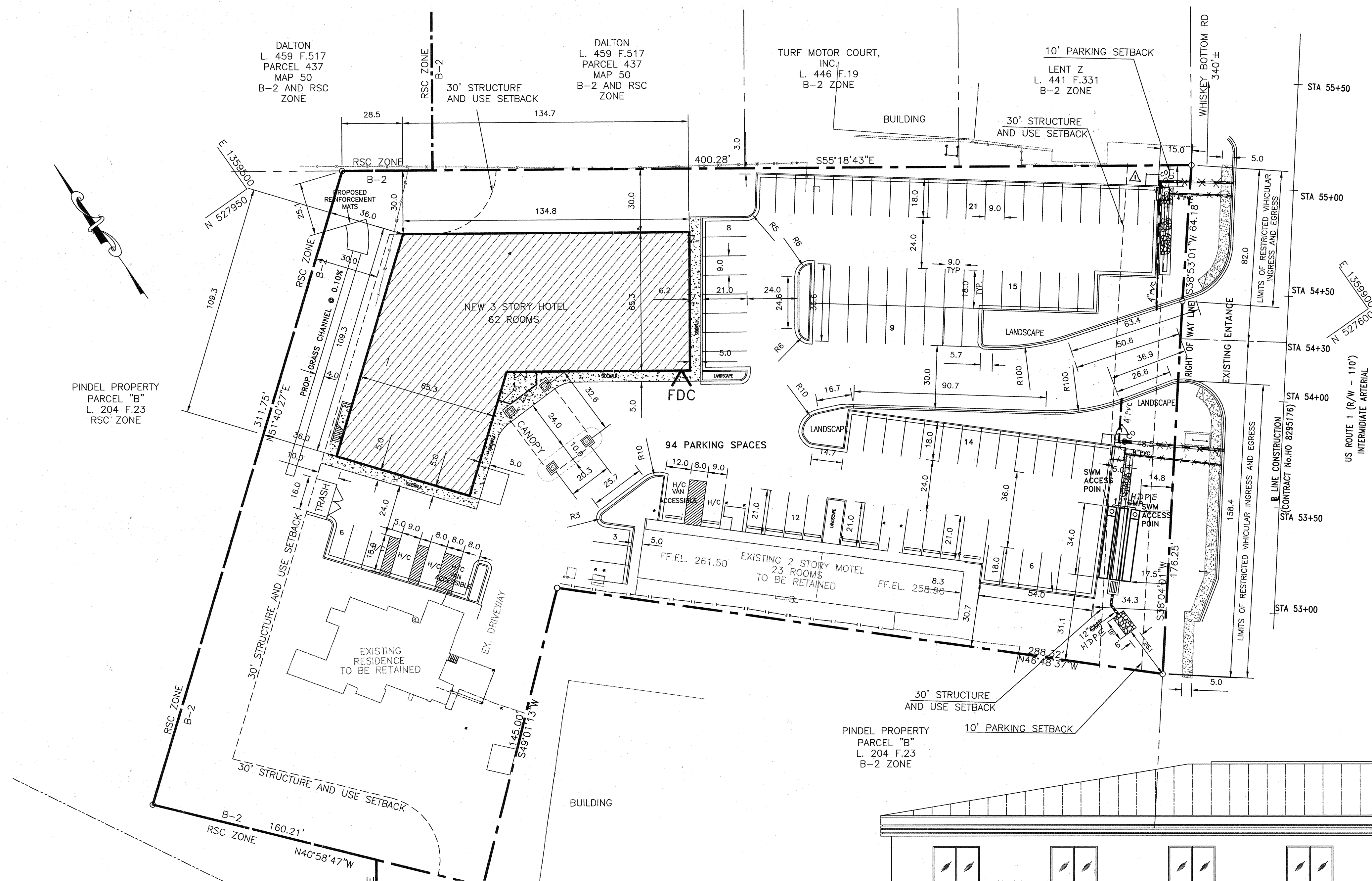
OWNER / DEVELOPER:
 SURESH D. PATEL
 9860, WASHINGTON BLVD
 LAUREL, MARYLAND 20723

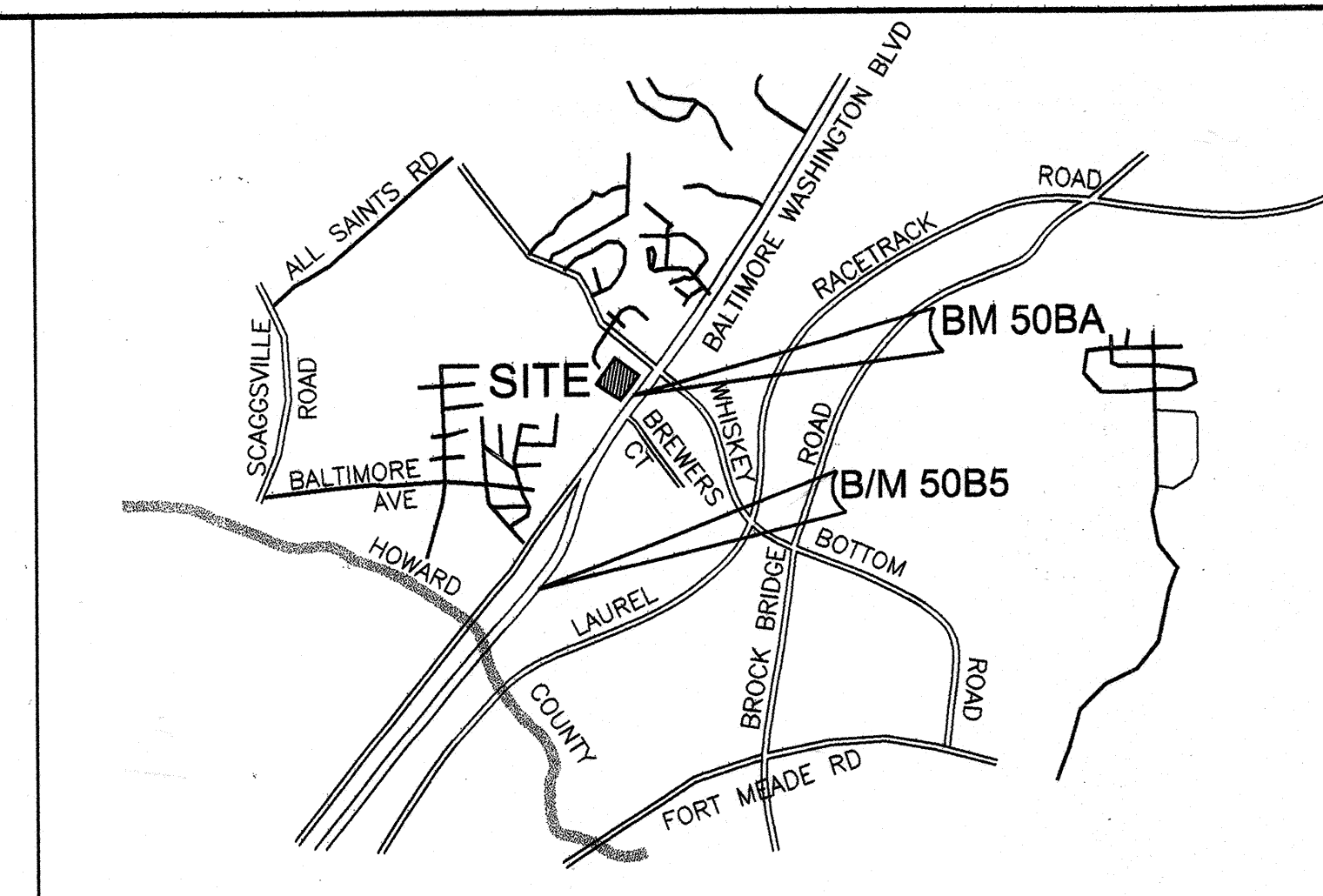
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: *Mark A. Legu* 10/12/03
 Chief, Development Engineering Division: *Andy Hamilton* 10/10/03
 Chief, Development Engineering Division: *Rob Dammon* 10/10/03



No.	REVISION	DATE
1	REVISED FILTER INLETS LOCATION	4/21/04
2	REVISED SWM DETAILS	7/15/05

ADDRESS CHART	
PARCEL No. 488	STREET ADDRESS 9860 WASHINGTON BLDG, LAUREL
SUBDIVISION NAME PINDELL PROPERTY, PARCEL A	SECTION/AREA N/A
PLAT No. 6589	BLOCK No. 4
ZONE B-2	TAX/ZONE 50
ELECT. DIST. 6	CENSUS TR. 6069.03
WATER CODE: C05	SEWER CODE: 712409





**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

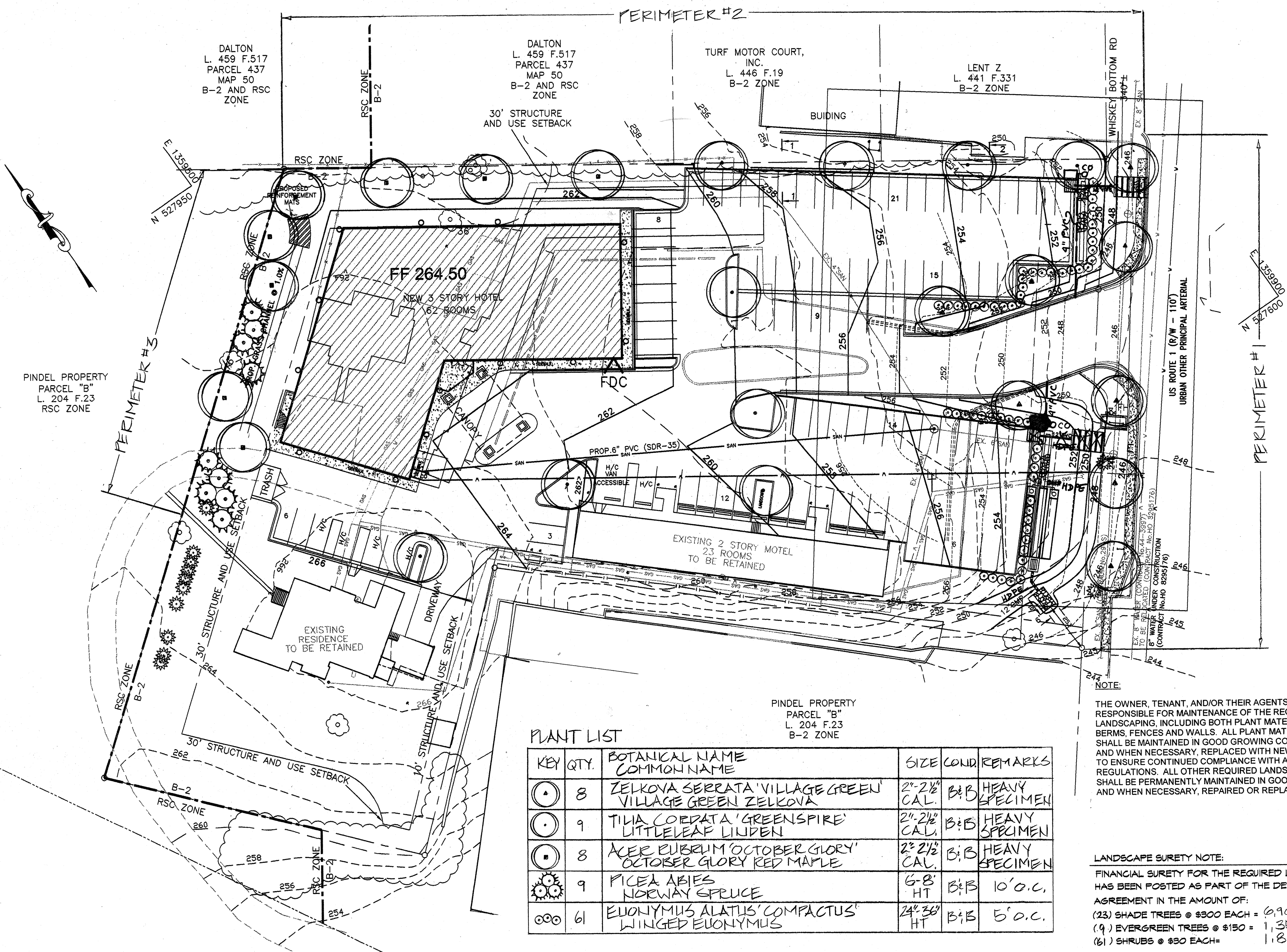
Category	Adjacent to Roadways	Adjacent to Perimeter Properties	
		2	3
Perimeter Number	1	2	3
Landscape Type	"E"	"A"	"C"
Linear Feet of Roadway Frontage/Perimeter	245'	400'	180'
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	0	0	0
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	0	0	0
Number of Plants Required			
Shade Trees	6	7	5
Evergreen Trees	0	0	0
Shrubs	61	0	0
Number of Plants Provided			
Shade Trees	8	7	5
Evergreen Trees	0	0	0
Other Trees (2:1 substitution)	0	0	0
Shrubs (10:1 substitution)	61	0	0

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	94
Number of Trees Required	5
Number of Trees Provided	5
Shade Trees	5
Other Trees (2:1 substitution)	0
Internal Islands Required	5
Internal Islands Provided (Min. 200 SF.)	5

**SCHEDULE D
STORMWATER MANAGEMENT AREA LANDSCAPING**

Linear Feet of Perimeter	N/A
Number of Trees Required	N/A
Shade Trees	N/A
Evergreen Trees	N/A
Credit for Existing Vegetation (No, Yes and %)	N/A
Credit for Other Landscaping (No, Yes and %)	N/A
Number of Trees Provided	N/A
Shade Trees	N/A
Evergreen Trees	N/A
Other Trees (2:1 substitution)	N/A

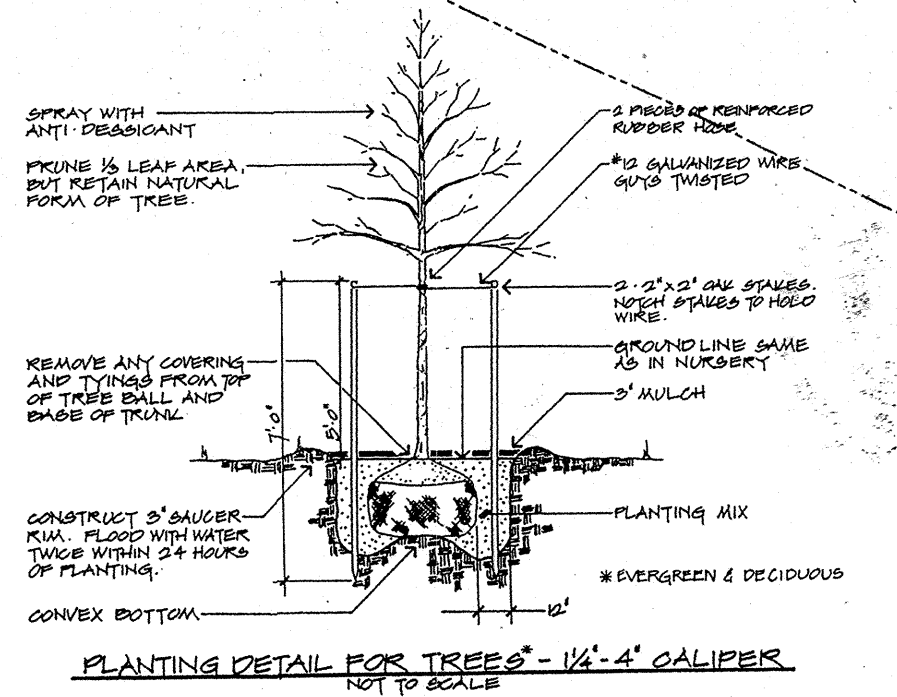


PLANT LIST

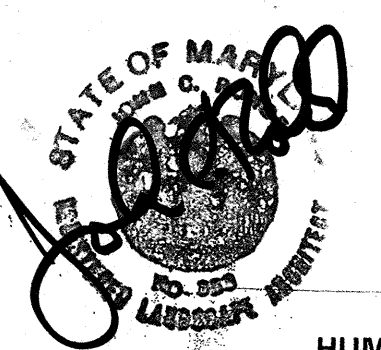
KEY	QTY.	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS
(Symbol)	8	ZELKOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN ZELKOVA	2 1/2" CAL.	B:B	HEAVY SPECIMEN
(Symbol)	9	TILIA CORPATA 'GREENSPIRE' LITTLELEAF LINDEN	2 1/2" CAL.	B:B	HEAVY SPECIMEN
(Symbol)	8	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2 1/2" CAL.	B:B	HEAVY SPECIMEN
(Symbol)	9	PICEA ABIES NORWAY SPRUCE	6-8' HT	B:B	10' O.C.
(Symbol)	61	EUONYMUS ALATUS 'COMPACTUS' WINGED EUONYMUS	24" 3/8" HT	B:B	5' O.C.

LANDSCAPE SURETY NOTE:
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:
(23) SHADE TREES @ \$300 EACH = 6,900.00
(9) EVERGREEN TREES @ \$150 = 1,350.00
(61) SHRUBS @ \$30 EACH = 1,830.00
TOTAL: 10,080.00

- PLANTING NOTES:**
- THIS PLAN IS FOR PLANTING PURPOSES ONLY.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSEYMEN LATEST STANDARDS. PLANT INSTALLATION MUST CONFORM TO THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF THE "LANDSCAPE SPECIFICATION GUIDELINES" BY THE LANDSCAPE CONTRACTOR'S ASSOCIATION.
 - CONTRACTOR IS TO NOTIFY "MISS UTILITY" A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE: 1-800-257-7777.
 - THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
 - NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
 - SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.



DEVELOPER'S / BUILDER'S CERTIFICATE
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.
[Signature]
Name: _____ Date: **9-25-2003**



HUMAN & ROHDE, INC.
Landscape Architects
512 Virginia Avenue
Townson, Maryland 21286
(410) 825-3885

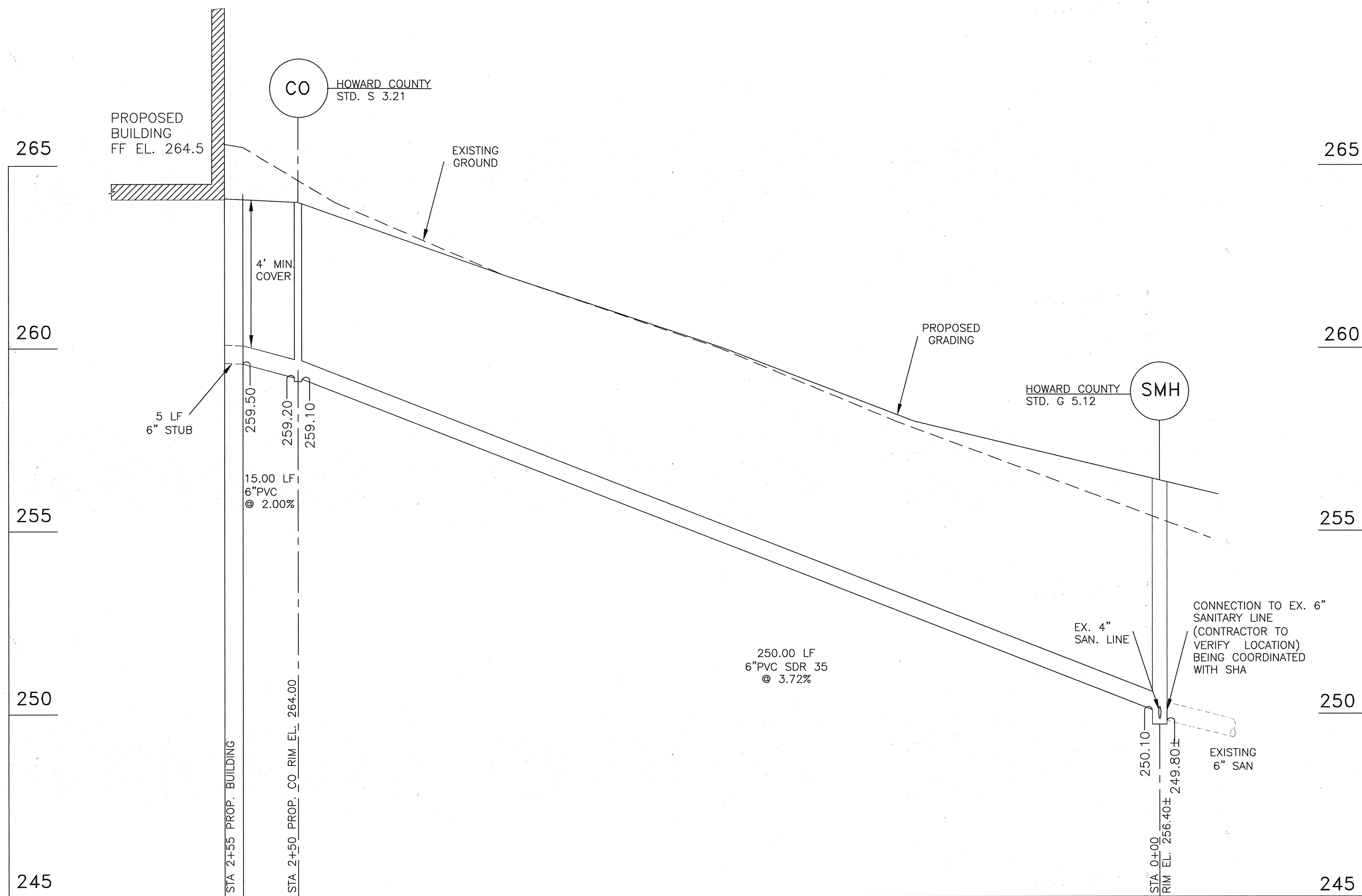
OWNER / DEVELOPER:
SURESH D. PATEL
9860 WASHINGTON BLVD
LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 11/10/03
DIRECTOR

REVISION:
1. REVISED SW/M DETAILS 11/19/03

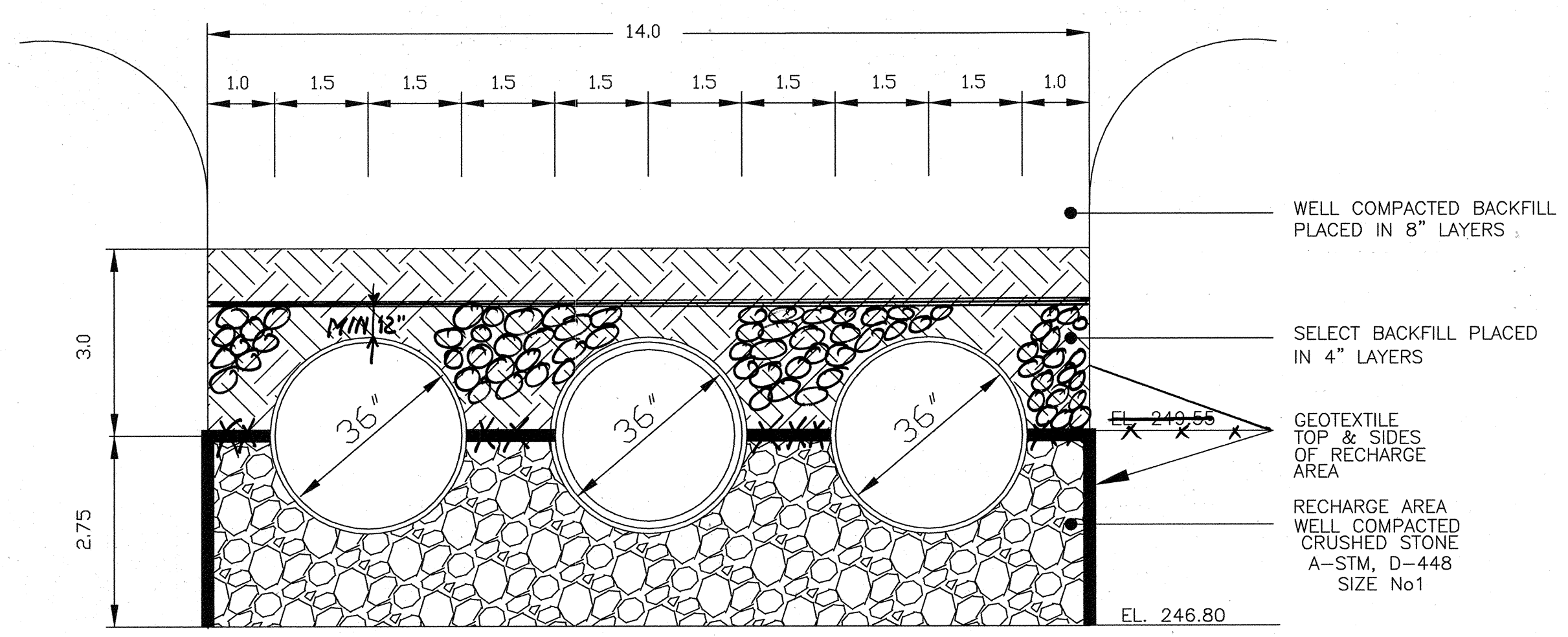
ADDRESS CHART:
PARCEL No. 488
STREET ADDRESS 9860 WASHINGTON BLVD, LAUREL

DATE: 11/10/03



PROPOSED SANITARY LINE PROFILE

SCALE: HOR. 1"=20'
VERT. 1"= 2'



NOTE: EXCAVATION AND BACKFILL AS PER GEOTECHNICAL REPORT

SWM STORAGE PIPE DETAIL

SCALE: 1" = 2'

A. Installation, Operation, and Maintenance Plan (IOM Plan)
The Contractor shall submit the manufacturer's approved Filterra™ installation, operation, and maintenance plan for the system. It will be the responsibility of the unit owner/operator or their contractor to ensure that the unit is installed, operated, and maintained in accordance with the IOM plan.

B. Drawings
The Contractor shall be provided dimensional drawings and, when specified, utilize these drawings to show details for construction, materials, specifications, reinforcing, pipe joints and any appurtenances. A Professional Engineer shall certify design calculations and drawings.

C. Manufacturer's Certification
The manufacturer shall submit documentation sealed by a registered professional engineer, which certifies all components of the unit have been manufactured and assembled to meet the requirements of these specifications and the approved drawings.

V. Materials and Design
Each unit shall consist of a precast and fully constructed unit composed of a concrete container with appropriately sized and placed inlet and outlets, an under drain system, filter media, plant materials and an appropriate grate landscape cover where applicable.

A. Concrete for precast unit shall conform to ASTM Designation C 857 and C 858 and meet the following additional requirements:

- The wall thickness shall not be less than 6 inches or as shown on the dimensional drawings. In all cases the wall thickness shall be no less than the minimum thickness necessary to meet loading requirements of the application as determined by a Licensed Professional Engineer.
- The precast concrete unit shall be cured by an approved method. The unit shall not be shipped until the concrete has attained 85 % of its designed compressive strength.
- Vault joints to be sealed with an Engineer approved non-shrink grout.
- Dimensions to meet the requirements of the approved drawings.
- Pipe connections shall be provided to accept pipes of the specified size(s) and material(s).
- Frames, covers, and grates to be as recommended by the Supplier and subject to review of the Engineer for compatibility with site specific conditions.
- Plant type and size shall meet the requirements of the approved drawings and the plant materials will be supplied by a nursery that grows stock materials in conformance with the specifications of American Nursery Association Standards.
- Filter media shall be as directed by Americast which meets the performance criteria described in Section VI.
- The under drain system shall be constructed using perforated PVC pipe of sufficient capacity to freely accept the design flows of the unit without clogging or restricting flows. Access must be provided for inspection and cleaning of the under drain pipe.

VI. Performance Criteria

- The unit shall have a minimum flow rate 250 cubic feet / hour for a container with a surface area of 36 square feet.
- The unit shall remove 80 % total suspended solids.
- The unit shall remove 70 % total phosphorous, 60 % total nitrogen, 90 % heavy metals (Cu, Pb, Zn) and 50 % hydrocarbon for oil/grease.
- The unit (of 36 square feet surface area) shall filter and treat a minimum of 80 % of the annual volume of runoff from a 100 % total impervious area of 1/4 acre. Higher efficiency rates can be achieved with larger filters or more filters / unit area.
- The unit shall be dewatered to 50 % soil moisture content within 12 hours through a process of gravity flow and evapotranspiration.
- The unit shall be designed to ensure that high flow events shall by-pass the filter media preventing erosion and resuspension of pollutants.
- The filtered effluent shall be discharged to an appropriate storm drainage system in accordance with the approved drawings.
- The unit shall support vigorous plant and microbe growth.
- In areas where salt (NaCl) is used for deicing the filter shall continue to function to remove pollutants and support vigorous plant growth provided that adequate drainage / filtration rates are maintained to flush residual salt concentrations out of the filter media.

J. Contractor / Owner's strict compliance with the IOM Plan is critical to achieving performance criteria.

VII. Construction

- Each unit shall be constructed at the locations and elevations according to the sizes shown on the approved drawings. Any modifications to the elevation or location shall be at the direction of and approved by the Engineer.
- The unit shall be placed on a level compacted subbase with a 6-inch gravel base. Compact undisturbed sub-grade materials to 95 % of maximum density at + 1- 2 % of optimum moisture. Unsuitable material below sub-grade shall be replaced to site engineer's approval.
- Inlet and outlets connections shall be aligned and sealed to meet the approved drawings with modifications necessary to meet site conditions.
- Once the unit is set, backfilling should be performed in a careful manner, bringing the appropriate fill material up in 6" lifts on all sides. Precast sections shall be set in a manner that will result in a watertight joint. In all instances, installation of filter unit shall conform to ASTM specification C891 "Standard Practice for Installation of Underground Precast Utility Structures".

VIII. Maintenance

- Each Filterra™ system is to be maintained by Americast, or an Americast approved contractor for a minimum period of 2 years. The cost of this service to be included in the price of each Filterra™ system. Annual maintenance consists of a maximum of (2) scheduled visit. Each maintenance visit consists of the following tasks.
 - Foreign debris removal
 - Excess silt removal
 - Plant health evaluation and pruning or replacement as necessary
 - Media evaluation and recharge as necessary
 - Addition of mulch as necessary
 - Disposal of all maintenance refuse items
- The beginning and ending date of Supplier obligation to maintain the installed system shall be determined by the Supplier at the time the system is placed in operation. Owner must promptly notify the Supplier of any damage to the plant(s), which constitute(s) an integral part of the bioretention technology. The Supplier shall provide a sign or tag for each unit warning not to cut or damage the plant(s).

OWNER / DEVELOPER:
SURESH D. PATEL
9860, WASHINGTON BLVD
LAUREL, MARYLAND 20723

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director: *M. D. Cagle* 10/11/13
 Chief, Division of Land Development: *Cathy Hamilton* 10/11/13
 Chief, Development Engineering Division: *John D. ...* 10/17/13



No.	REVISION	DATE
1	REVISED SWM DETAILS	7/13/05

ADDRESS CHART	STREET ADDRESS
PARCEL No. 488	9860 WASHINGTON BLVD, LAUREL

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
PINDELL PROPERTY, PARCEL A	N/A	PARCEL A

PLAT No	BLOCK No	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
6589	6	B-2	50	6069.03	

REVISIONS

MORAND ARCHITECTS
1276 WEST THIRD STREET
CLEVELAND, OHIO 44113
OFFICE: 216-861-2100 FAX 216-861-2614
E-MAIL: MORANDARCHITECTS@MINDSPRING.COM

EBA ENGINEERING INC.
4813 SETON DRIVE
BALTIMORE, MD, 21215
(410) 358 7171

STORMWATER MANAGEMENT DETAILS AND SANITARY PROFILE

PINDELL PROPERTY, PARCEL A
DAYS INN HOTEL
9860 WASHINGTON BLVD.
LAUREL, MARYLAND

DATE 09/06/03
SCALE
DRN VB
DSN ZF
CKD HP
SHEET 8 OF 16