

SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING AND SEDIMENT CONTROL PLAN AND DRAINAGE AREA MAP
4	SEDIMENT CONTROL DETAILS
5	PROFILES AND DETAILS
6	LANDSCAPE PLAN, NOTES AND DETAILS
7	DUMPSTER ENCLOSURE DETAILS
8	DAYSAVER DETAILS

SITE DEVELOPMENT PLAN

ROUTE 175 COMMERCIAL

SECTION 1, AREA 2

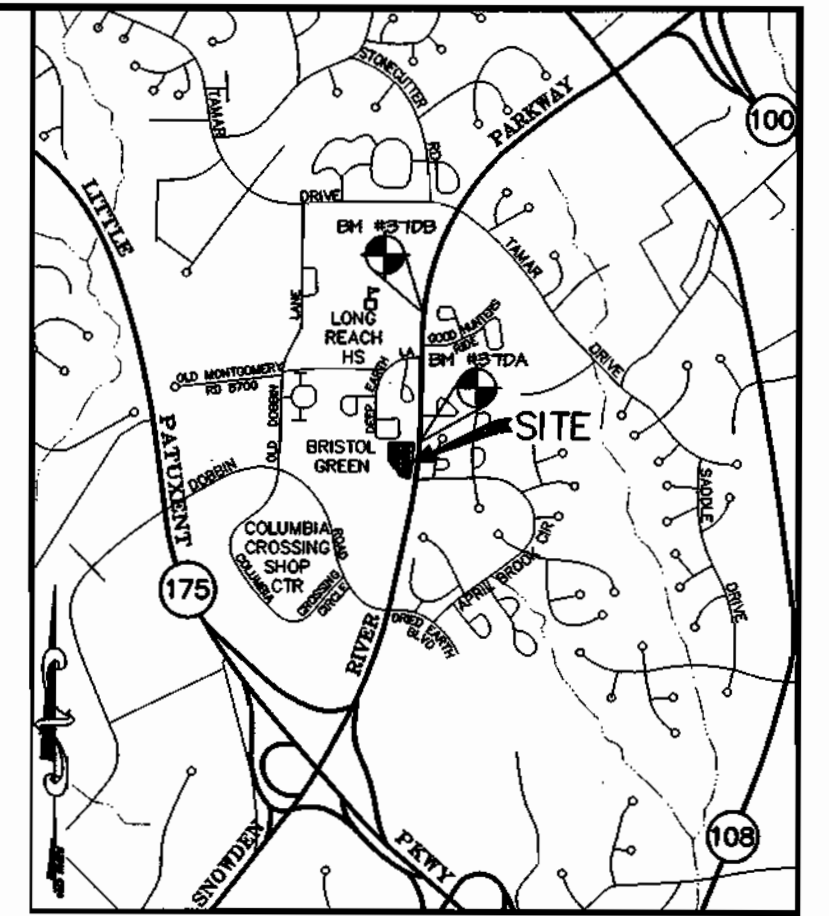
6th ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

BENCH MARK

CONTROL STATION 37DA
ELEVATION 380.475
N 558,667.522
E 1,366,857.438

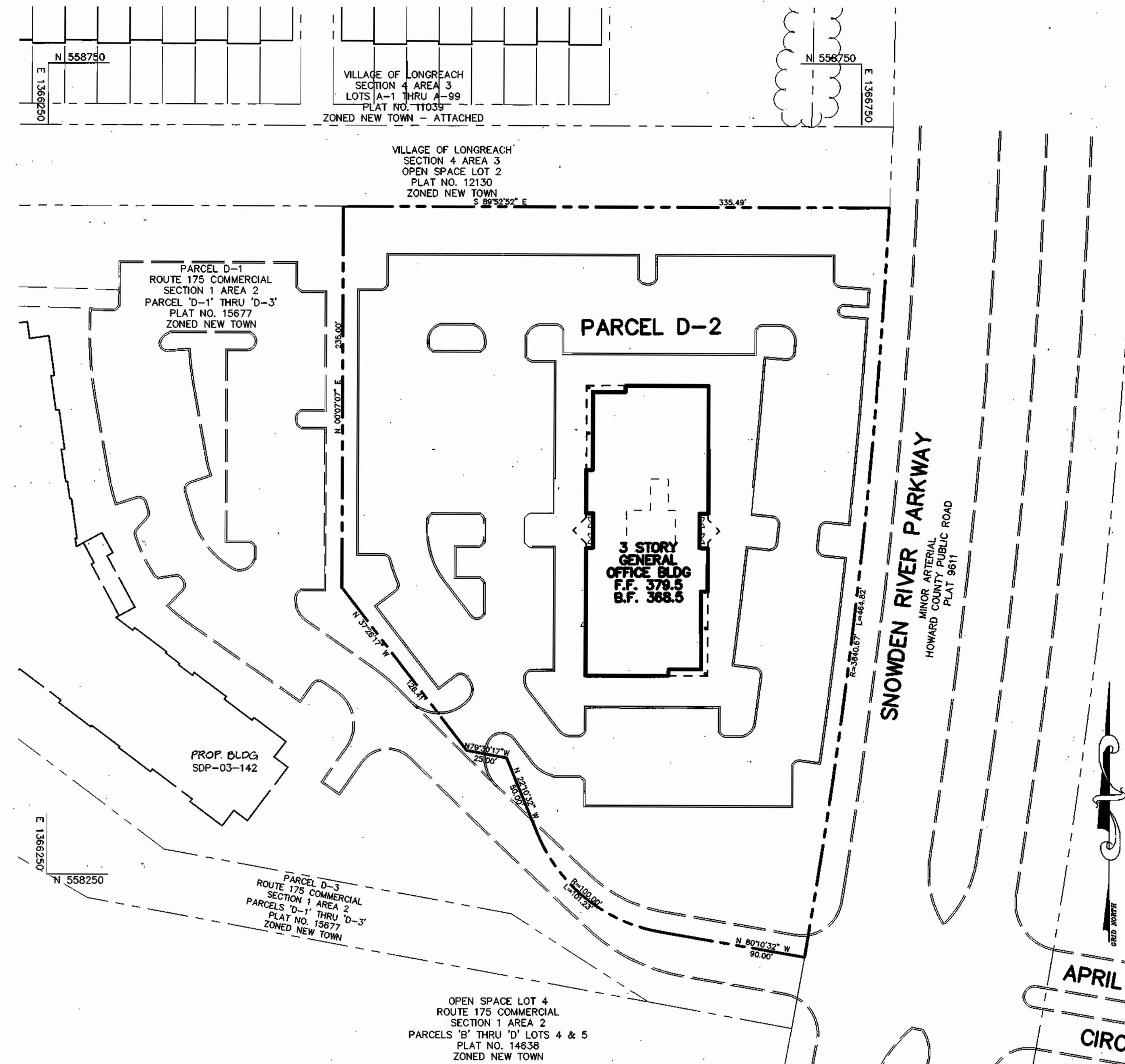
CONTROL STATION 37DB
ELEVATION 396.189
N 560,307.411
E 1,366,898.128



VICINITY MAP
SCALE: 1" = 2000'

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY SITE RESOURCES INC. DATED MARCH 2003 AND GUTSCHICK LITTLE & WEBER DATED MARCH 2001.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 37DA AND 37DB WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. CONTRACT NO. 44-4144-D
- SEWER IS PUBLIC. SEWER DRAINAGE AREA: 108 P.S. CONTRACT NO. 24-3773-D
- THE STORMWATER QUANTITY IS PROVIDED FOR THE DEVELOPMENT BY A REGIONAL HAZARD CLASS A RETENTION FACILITY TO BE PRIVATELY MAINTAINED PER SDP-01-09. WATER QUALITY IS PROVIDED BY A DAYSAVER WHICH WILL BE PRIVATELY OWNED & MAINTAINED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
- THERE ARE NO 100 YEAR FLOODPLAIN LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO WETLANDS LOCATED ON THE SUBJECT PROPERTY.
- A TRAFFIC STUDY FOR THIS PROJECT WAS COMPLETED AND APPROVED UNDER F-03-022.
- A NOISE STUDY FOR THIS PROJECT IS NOT REQUIRED.
- THE BOUNDARY SURVEY FOR THIS PROJECT WAS PREPARED BY GUTSCHICK LITTLE & WEBER DATED AUGUST 2002.
- SUBJECT PROPERTY ZONED NT-EMPLOYMENT CENTER COMMERCIAL PER 10-18-93 COMPREHENSIVE ZONING PLAN AND FDP-235.
- ALL ELEVATIONS SHOWN ARE BASED ON THE U.S.C. AND G.S. MEAN SEA LEVEL DATUM, 1929.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. PB CASE NO.337; S-99-05, WP-99-117, F-00-149, F-03-022, SDP-01-09, FDP-235, F-03-211.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
- NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
- ALL INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH HOWARD COUNTY STANDARDS.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
- STORM DRAIN TRENCHES WITHIN ROAD RIGHT OF WAY SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, I.E., STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION, LATEST AMENDMENTS.
- PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
- ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$14,550
37 SHADE TREES @ \$300 = \$11,100
0 ORNAMENTAL TREES @ \$150 = \$0
0 EVERGREEN TREES @ \$150 = \$0
115 SHRUBS @ \$30 = \$3,450
- ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THIS PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS SINCE THE NEW TOWN DISTRICT IS A PLANNED UNIT DEVELOPMENT WHICH HAS PRELIMINARY DEVELOPMENT PLAN APPROVAL AND WAS 50% OR MORE DEVELOPED PRIOR TO 12/31/92 IN ACCORDANCE WITH SECTION 16.1202(b)(1)(IV) OF THE HOWARD COUNTY CODE.
- THE MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS OF WAYS ARE IN ACCORDANCE WITH FDP-235.



SITE TABULATION

SITE AREA	2.84 ACRES (123,598 SF)
LIMIT OF DISTURBED AREA	3.06 ACRES
PRESENT ZONING	NT EMPLOYMENT CENTER COMMERCIAL
PROPOSED USE	3 STORY GENERAL/PROFESSIONAL OFFICE BUILDING
FLOOR SIZE	BASEMENT 1031 SF FIRST FLOOR 12414 SF SECOND FLOOR 12265 SF THIRD FLOOR 12996 SF TOTAL FLOOR AREA 38706 SF
PARKING SPACES REQUIRED	2 SPACE PER 1,000 SF.* 78 SPACES FOR GENERAL OFFICE 3.3/1000 ** 128 SPACES FOR MEDICAL OFFICE 5/1000 ** 194 SPACES
PARKING SPACES PROVIDED	178 SPACES (INCLUDES 6 HC SPACES)(FOR GENERAL/PROFESSIONAL OFFICE) (4.6/1000 PROVIDED)
BUILDING COVERAGE	10.7% OF SITE (13,270 SF)
* PER FDP PHASE 235	
** PER HOWARD COUNTY ZONING REGULATIONS	

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
<i>David J. Wright</i>	7/2/03
DIRECTOR	DATE
<i>Paul Dammann</i>	9/2/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Cindy Hanover</i>	7/1/03
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

1-22-04	MODIFIED SHEET INDEX, GENERAL NOTE 10	
DATE	NO.	REVISION
OWNER / DEVELOPER		
SNOWDEN PROFESSIONAL CENTER LLC 10400 LITTLE PATUXENT PARKWAY SUITE 250 COLUMBIA, MARYLAND 21044 410-715-6800		
PROJECT ROUTE 175 COMMERCIAL SECTION 1 AREA 2 PARCEL D-2		
AREA ROUTE 175 COMMERCIAL - PARCEL 521 PLAT NO. 15677 TAX MAP NO. 36, BLOCK 18 & TAX MAP NO. 37, BLOCK 13 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND		
TITLE		
TITLE SHEET		

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

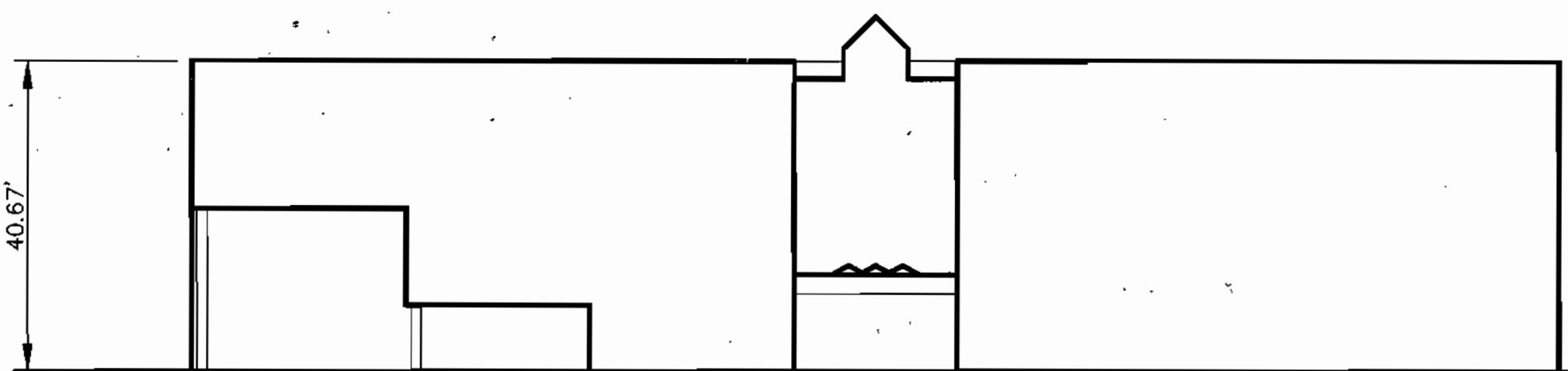
7-28-03	DATE
DESIGNED BY : C.J.R.	
DRAWN BY: DRH	
PROJECT NO. 11791-1-0 CO00COV	
DATE : JUNE 19, 2003	
SCALE : AS SHOWN	
DRAWING NO. 1 OF 2	
CHRISTOPHER J. REID #19949	

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE 6/26/03
ks

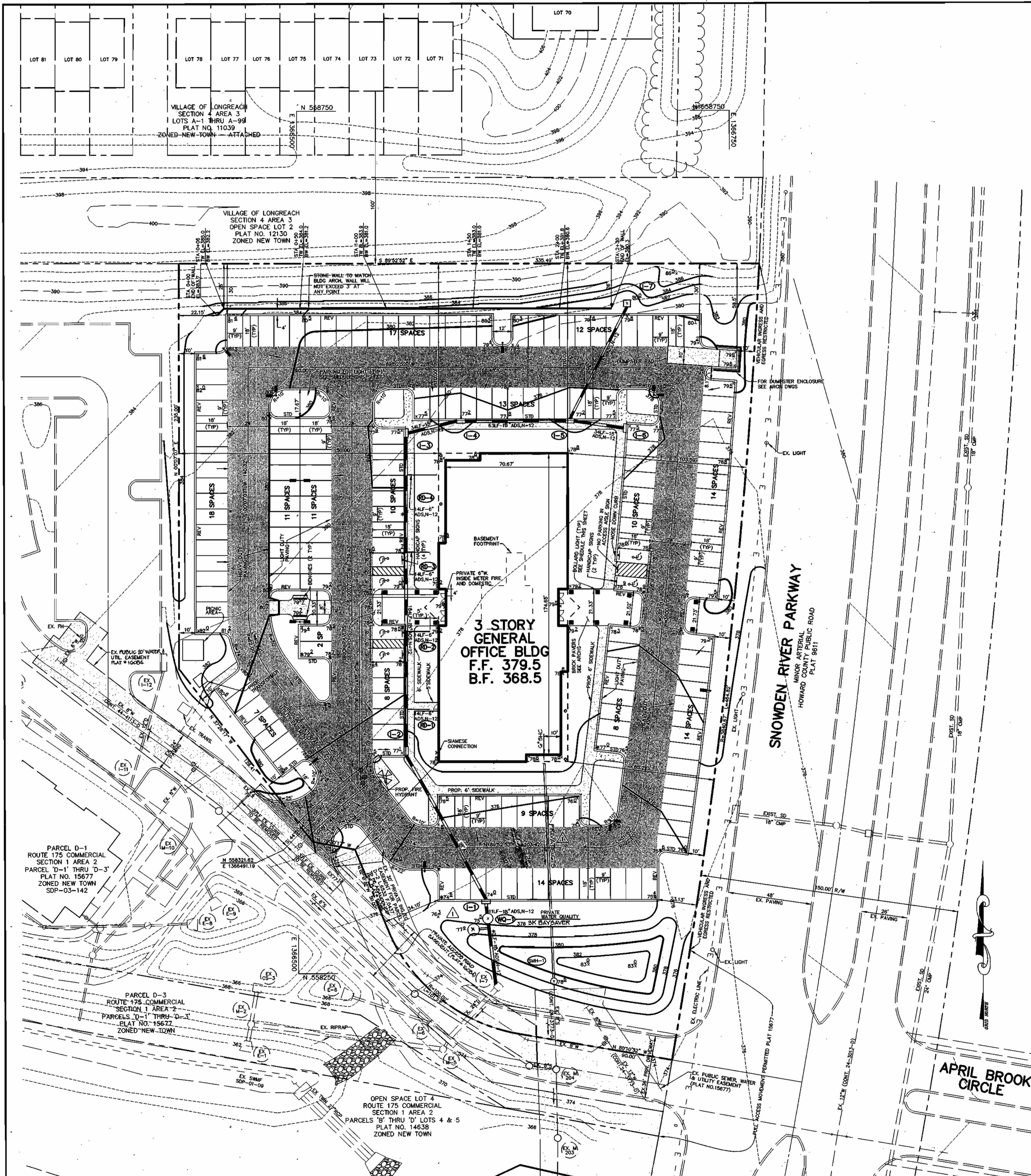
ADDRESS CHART	
PARCEL	STREET ADDRESS
D-2	8600 SNOWDEN RIVER PARKWAY

SUBDIVISION NAME	SECT./AREA	PARCEL
ROUTE 175 COMMERCIAL	1/2	D-2
PLAT # 16084	BLOCK # ZONING TAX MAP NO. 13 & 18 NT-ECC 37 & 36	ELECT. DIST. CENSUS TRACT 6 6067.03
WATER CODE E06	SEWER CODE 3460000	



BUILDING ELEVATION
SCALE: 1" = 20'

LOCATION PLAN
1" = 50'



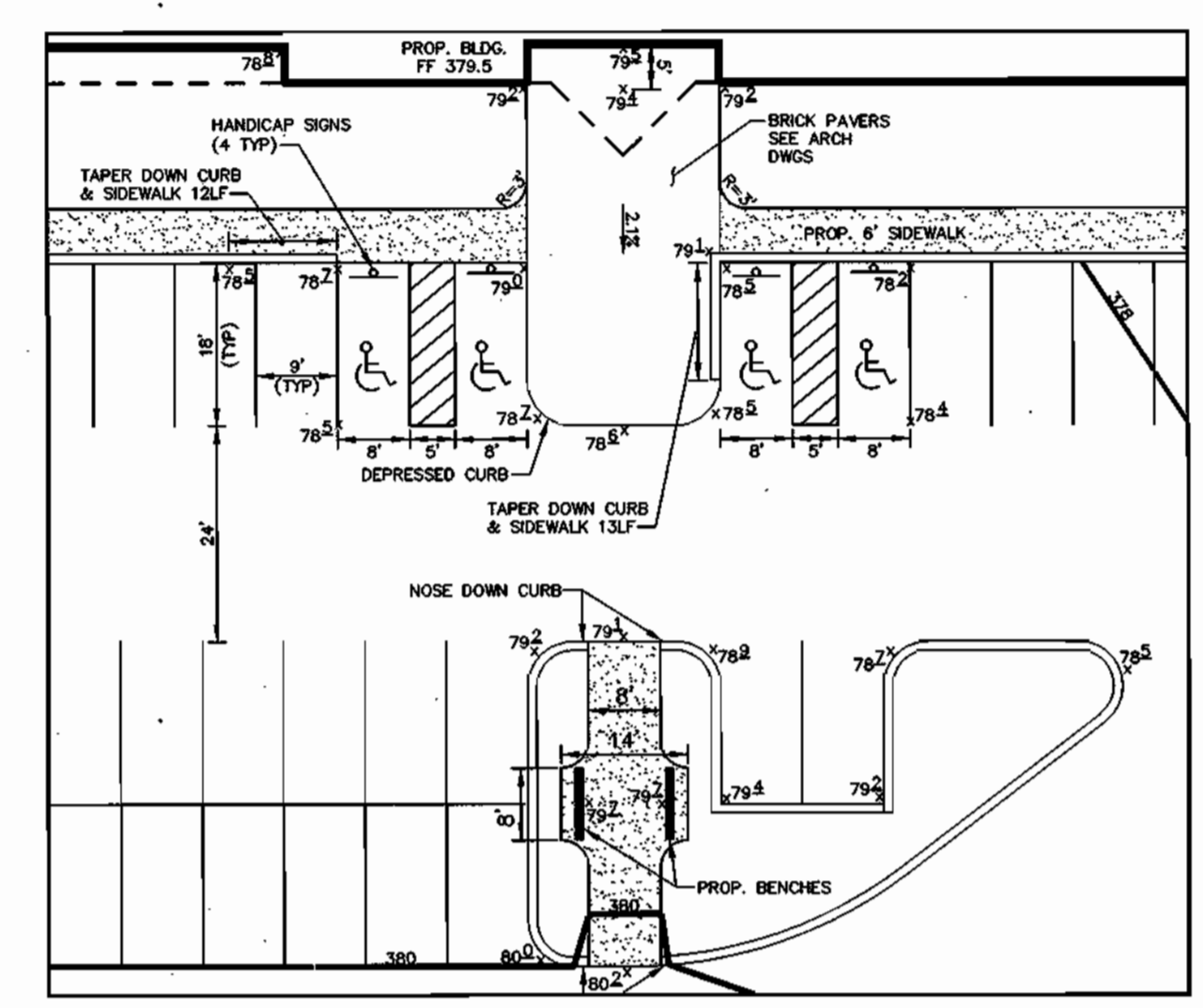
LIGHTING FIXTURE SCHEDULE					
TYPE	LAMPS	MOUNTING	DESCRIPTION	VOLTAGE	CATALOG NO.
■	175W MH	20' ROUND STRAIGHT ALUMINUM POLE	TYPE 3 FULL CUT OFF PARKING LUMINAIRE (DARK BRONZE FINISH) WITH MATCHING POLE	120V	COOPER UTILITY LIGHTING #RCL17MW23D4 POLE #PRA25-6188A/BL-P
■	50W MH	3' HIGH BOLLARD		120V	

NOTES:

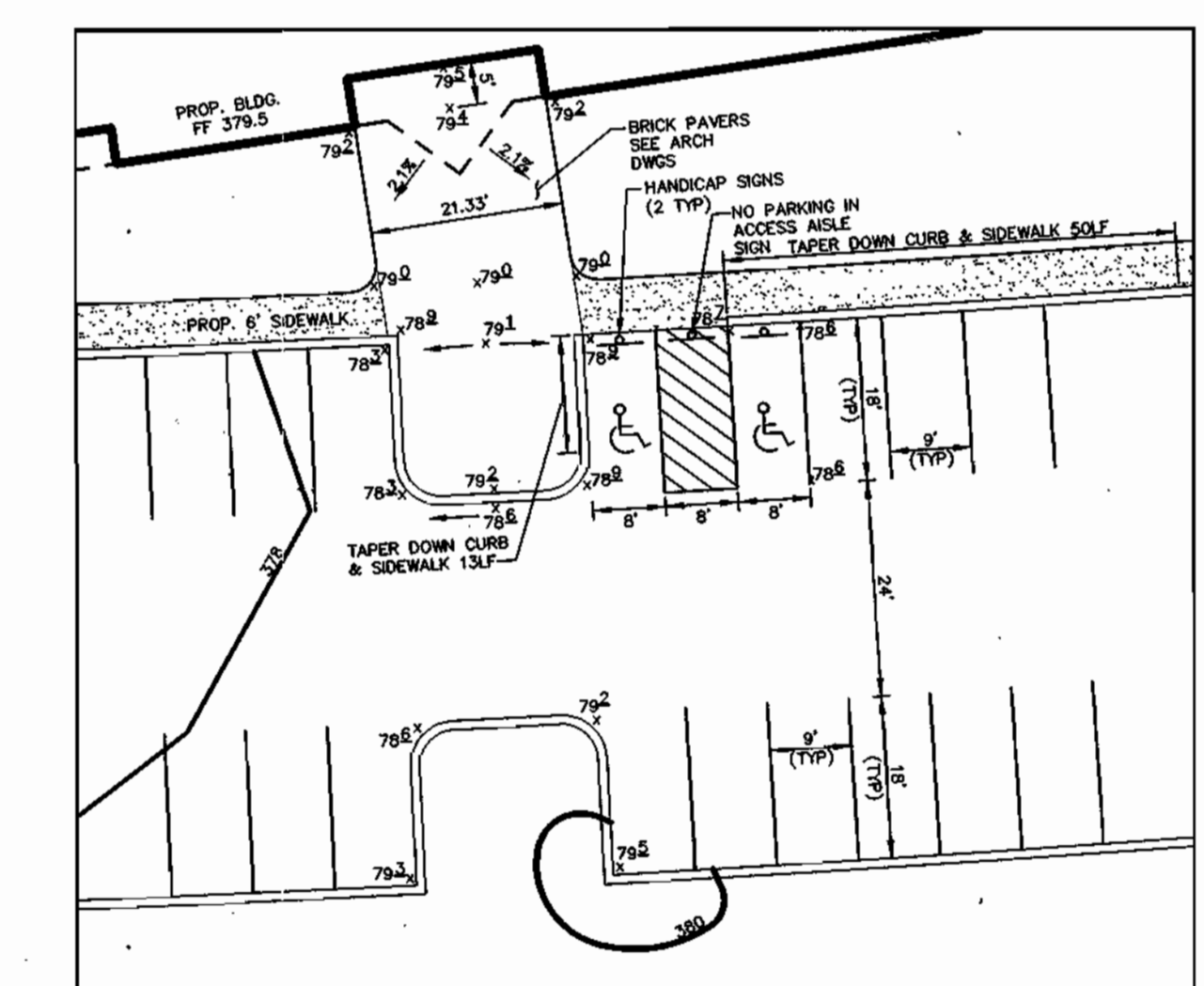
1. ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR BUILDING UNLESS OTHERWISE NOTED.
3. ALL ON-SITE ROADS ARE PRIVATE.
4. ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
5. * STD/REV - STANDARD TO REVERSE CURB TRANSITION.
6. ALL SIDEWALK RADII AREA 3' UNLESS OTHERWISE NOTED

LEGEND

- 450 — EXISTING 10' CONTOURS
- 446 — EXISTING 2' CONTOURS
- 450 — PROPOSED 10' CONTOURS
- 446 — PROPOSED 2' CONTOURS
- — PROPOSED CURB & GUTTER
- — PROPOSED STORM DRAIN
- — EXISTING TREELINE
- — PROPOSED TREELINE
- — LIGHT DUTY PAVING (SEE SHEET 5)
- — HEAVY DUTY PAVING (SEE SHEET 5)
- — CONCRETE SIDEWALK (HO.CO. DETAIL R-3.05)



PROP. HANDICAP ACCESS
SCALE: 1" = 20'



PROP. HANDICAP ACCESS
SCALE: 1" = 20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark L. Leyle 9/8/03
DIRECTOR DATE

M. Damm 9/8/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION MJK DATE

Crista Hamstra 9/14/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

1-22-04 MODIFIED ROOF DRAIN, SHG, SIDEWALK AND W.G. REV.

DATE NO. REVISION

OWNER / DEVELOPER
SNOWDEN PROFESSIONAL CENTER LLC
10400 LITTLE PATUXENT PARKWAY
SUITE 280
COLUMBIA, MARYLAND 21044
410-715-6800

PROJECT **ROUTE 175 COMMERCIAL SECTION 1 AREA 2 PARCEL D-2**

AREA ROUTE 175 COMMERCIAL - PARCEL 521 PLAT NO. 15677 TAX MAP NO. 36, BLOCK 18 & TAX MAP NO. 37, BLOCK 13 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE **SITE DEVELOPMENT PLAN**

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

7-28-03 DATE

DESIGNED BY: C.J.R.

DRAWN BY: DRH

PROJECT NO: 11791-1-0 C-400ST

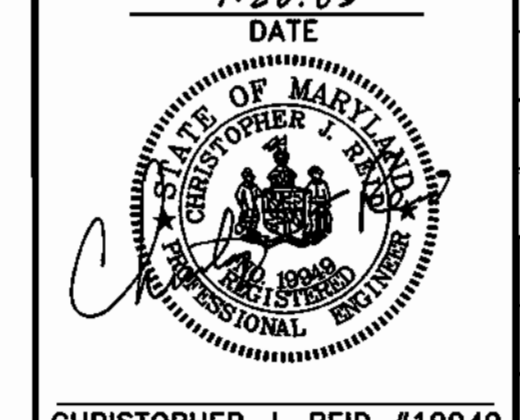
DATE: JUNE 19, 2003

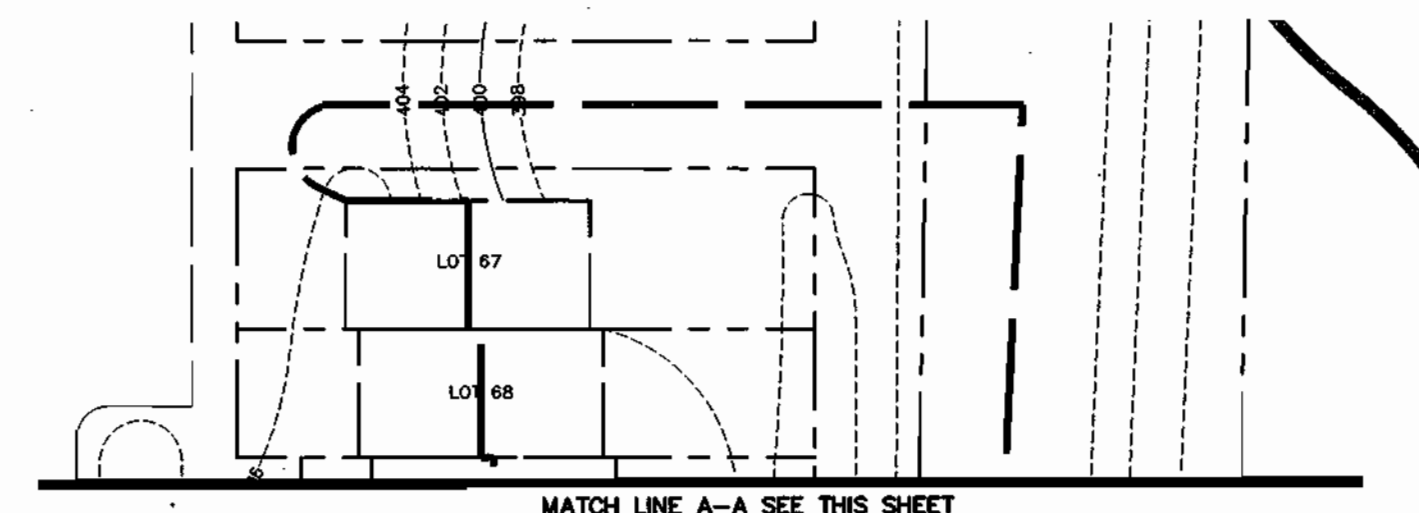
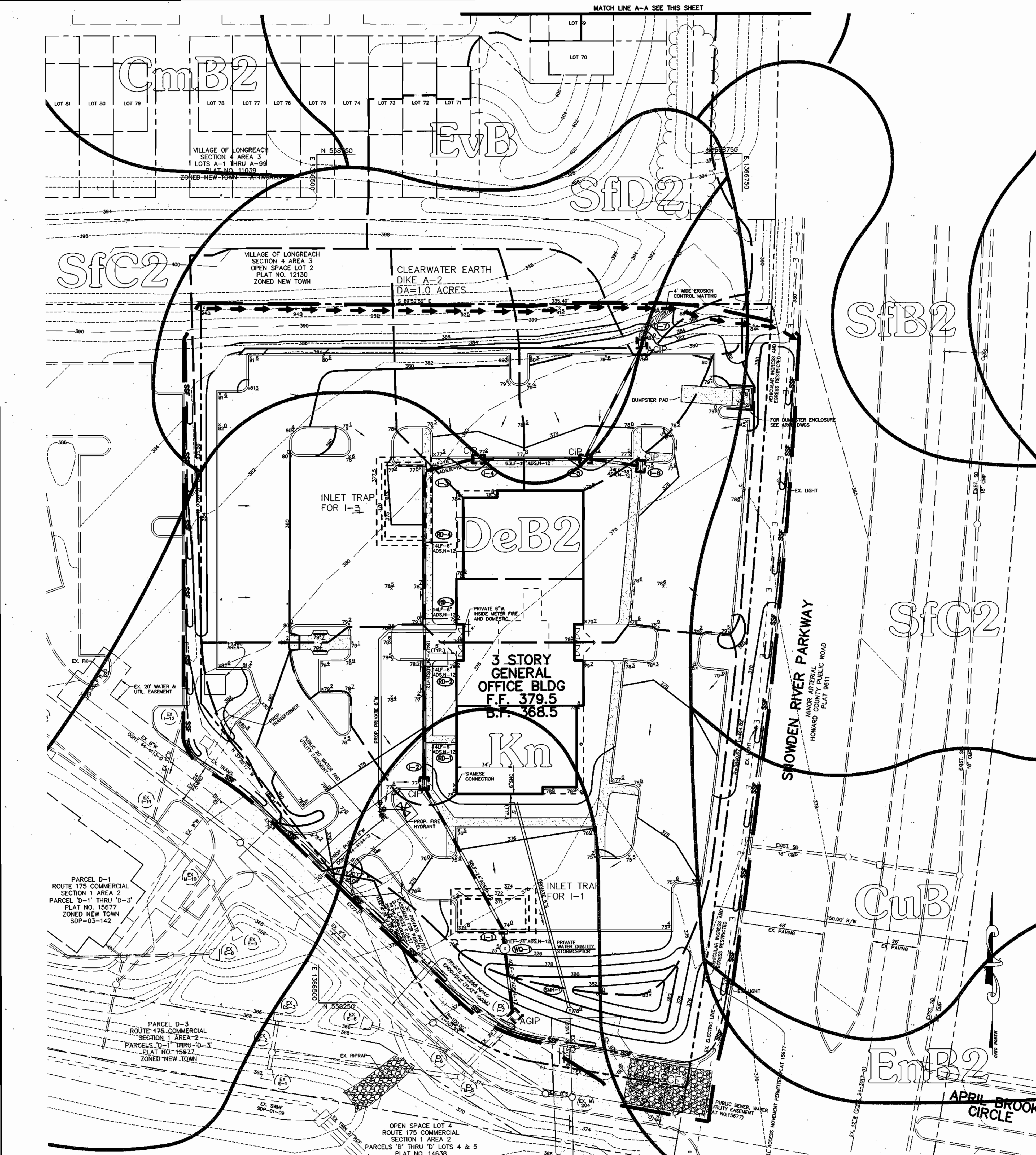
SCALE: 1" = 30'

DRAWING NO. 2 OF 8

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE 6/26/03
KS





LEGEND

- INLET PROTECTION
- TEMPORARY BARRIERS
- SOIL LINES
- DRAINAGE AREA LINES
- LIMIT OF DISTURBANCE
- SUPER SILT FENCE
- SILT FENCE
- EROSION CONTROL MATTING
- STABILIZED CONSTRUCTION ENTRANCE

DRAINAGE AREA CHART

INLET	AREA	'C'	% IMP
I-1	0.82 Ac	0.66	68
I-2	0.15 Ac	0.69	73
I-3	0.70 Ac	0.61	60
I-4	0.22 Ac	0.51	45
I-5	0.25 Ac	0.61	60
I-6	0.27 Ac	0.70	74
I-7	0.78 Ac	0.27	9
RD-1	0.08 Ac	0.87	100
RD-2	0.06 Ac	0.87	100
RD-3	0.06 Ac	0.87	100
RD-4	0.08 Ac	0.87	100

SOIL CHART

SYMBOL	DESCRIPTION
CuB	COMUS SILT LOAM, LACAL ALLUVIUM, 3 TO 8 PERCENT SLOPES
DeB2	DELANCO SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED
EnB2	EL SINBORO LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED
Kn	KINKORA SILT LOAM
Sfb2	SASSAFRAS GRAELLY SANDY LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED RCENT
Sfc2	SASSAFRAS GRAELLY SANDY LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED
Sfd2	SASSAFRAS GRAELLY SANDY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED

NOTE: SITE HAS BEEN MASS GRADED UNDER SDP-01-09.

INLET TRAP FOR I-1

DRAINAGE AREA 0.82 ACRES
 STOR. REQ'D (WET STOR.) 1476 CF
 STOR. REQ'D (DRY STOR.) 1476 CF
 STOR. PROV. (WET STOR.) 1612 CF @ 372.5
 STOR. PROV. (DRY STOR.) 1612 CF @ 374.0
 WEIR CREST ELEVATION 374.0
 CLEANOUT ELEVATION 371.75
 BOTTOM ELEVATION 371.0
 SIDE SLOPES 2:1
 BOTTOM DIMENSIONS 18'x38'

INLET TRAP FOR I-3

DRAINAGE AREA 0.7 ACRES
 STOR. REQ'D (WET STOR.) 1260 CF
 STOR. REQ'D (DRY STOR.) 1260 CF
 STOR. PROV. (WET STOR.) 1483 CF @ 376.25
 STOR. PROV. (DRY STOR.) 1483 CF @ 377.5
 WEIR CREST ELEVATION 377.5
 CLEANOUT ELEVATION 375.75
 BOTTOM ELEVATION 375.0
 SIDE SLOPES 2:1
 BOTTOM DIMENSIONS 22'x42'

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 8-6-03
 DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7-28-03
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

[Signature] 8/4/03
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 8/24/03
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[Signature] 9/6/03
 DIRECTOR DATE

[Signature] 9/13/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9/14/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

1-22-04 REVISED SHEET NUMBER

DATE NO. REVISION

OWNER / DEVELOPER

SNOWDEN PROFESSIONAL CENTER LLC
 10400 LITTLE PATUXENT PARKWAY
 SUITE 280
 COLUMBIA, MARYLAND 21044
 410-715-6800

PROJECT ROUTE 175 COMMERCIAL
 SECTION 1 AREA 2
 PARCEL D-2

AREA ROUTE 175 COMMERCIAL - PARCEL 521 PLAT NO. 15677
 TAX MAP NO. 36, BLOCK 18 & TAX MAP NO. 37, BLOCK 13
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE GRADING & SEDIMENT CONTROL PLAN
 AND DRAINAGE AREA MAP

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

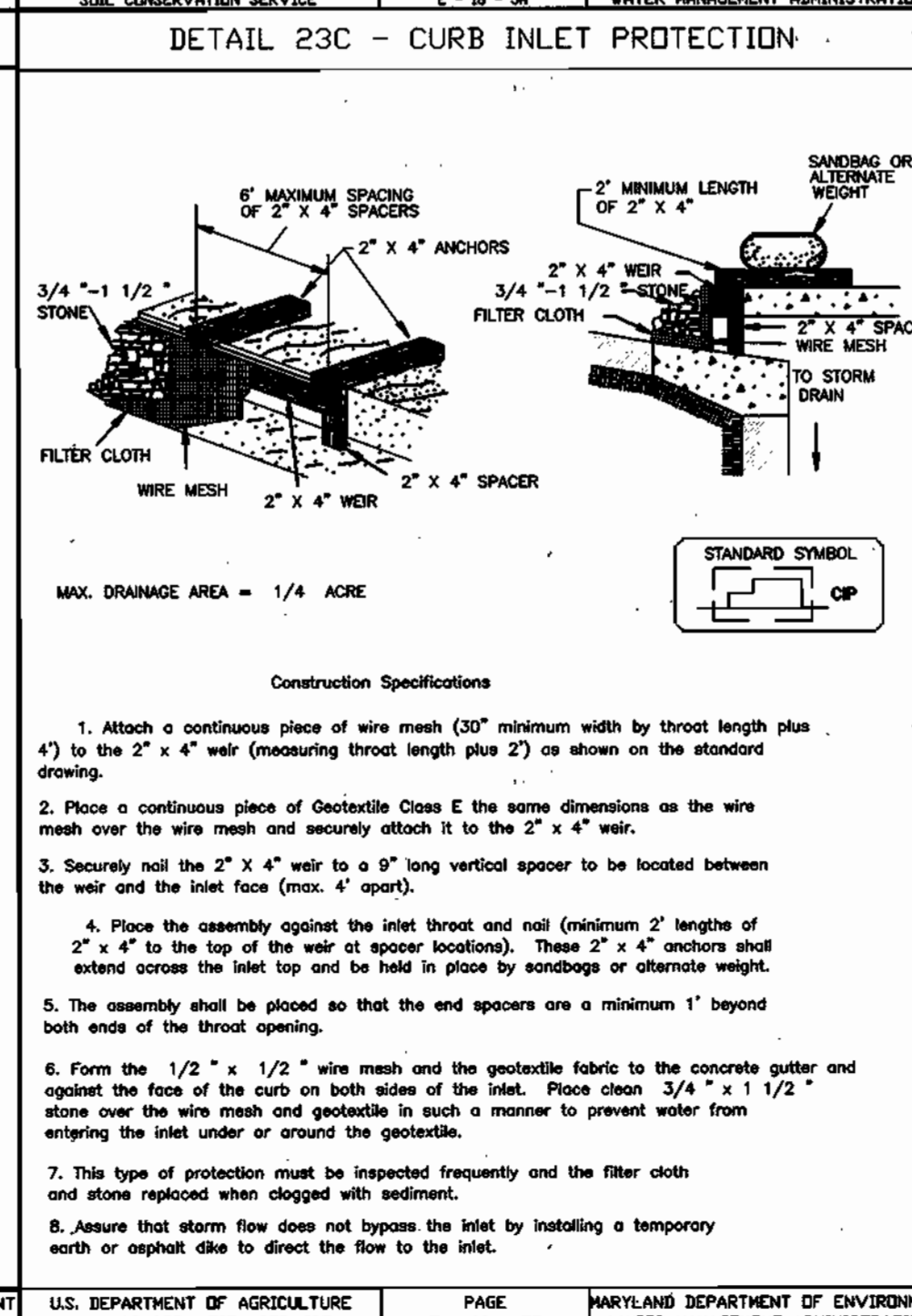
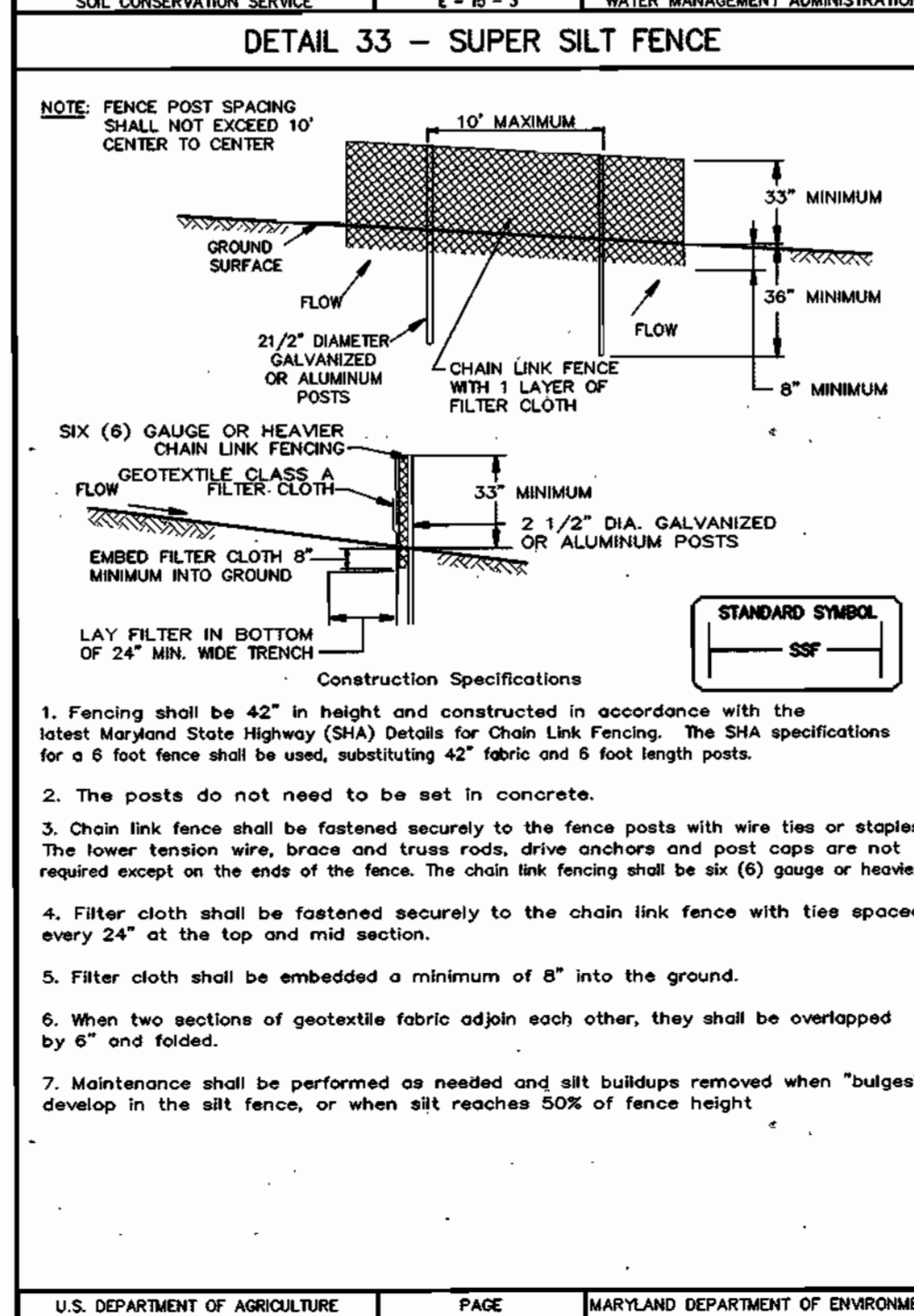
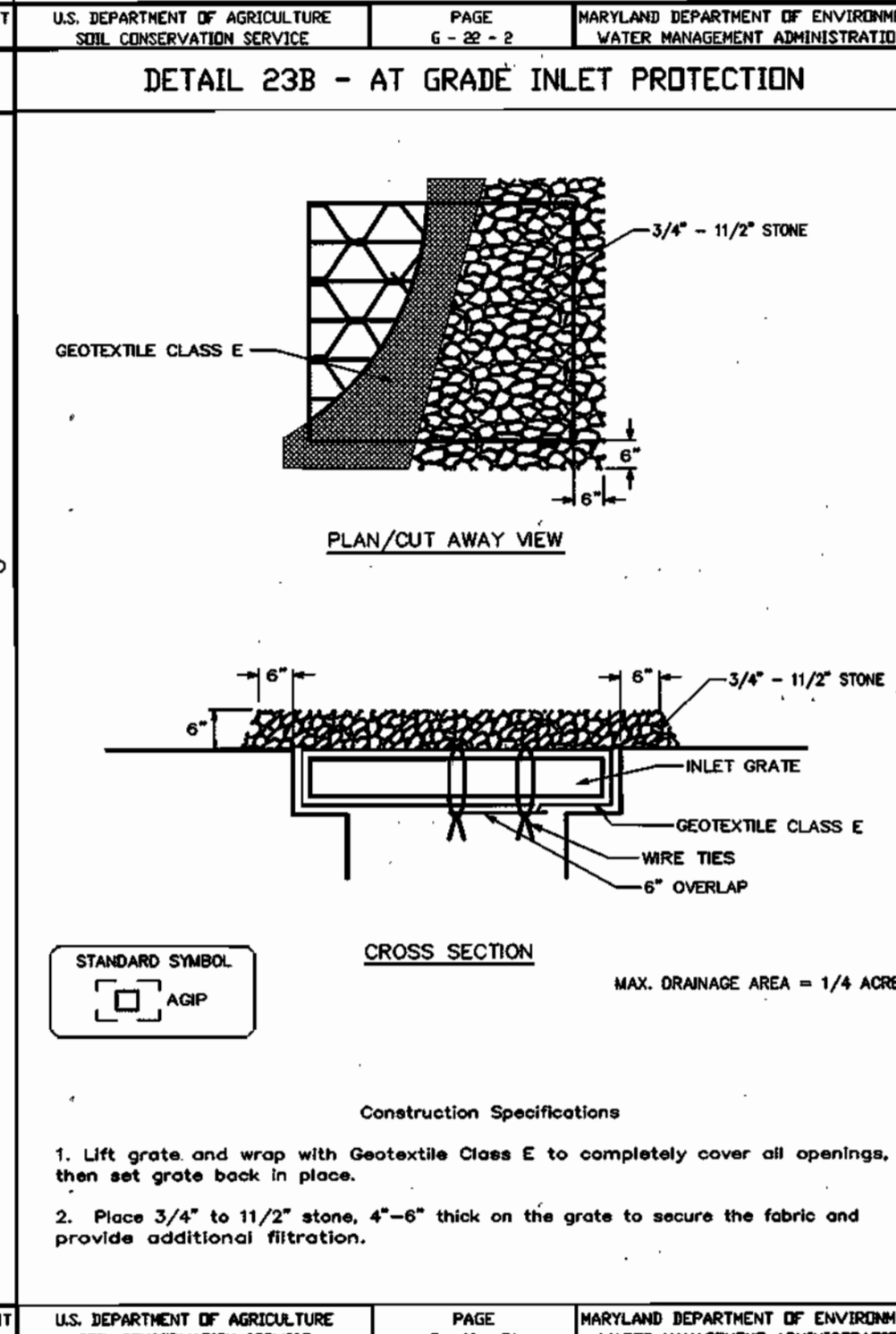
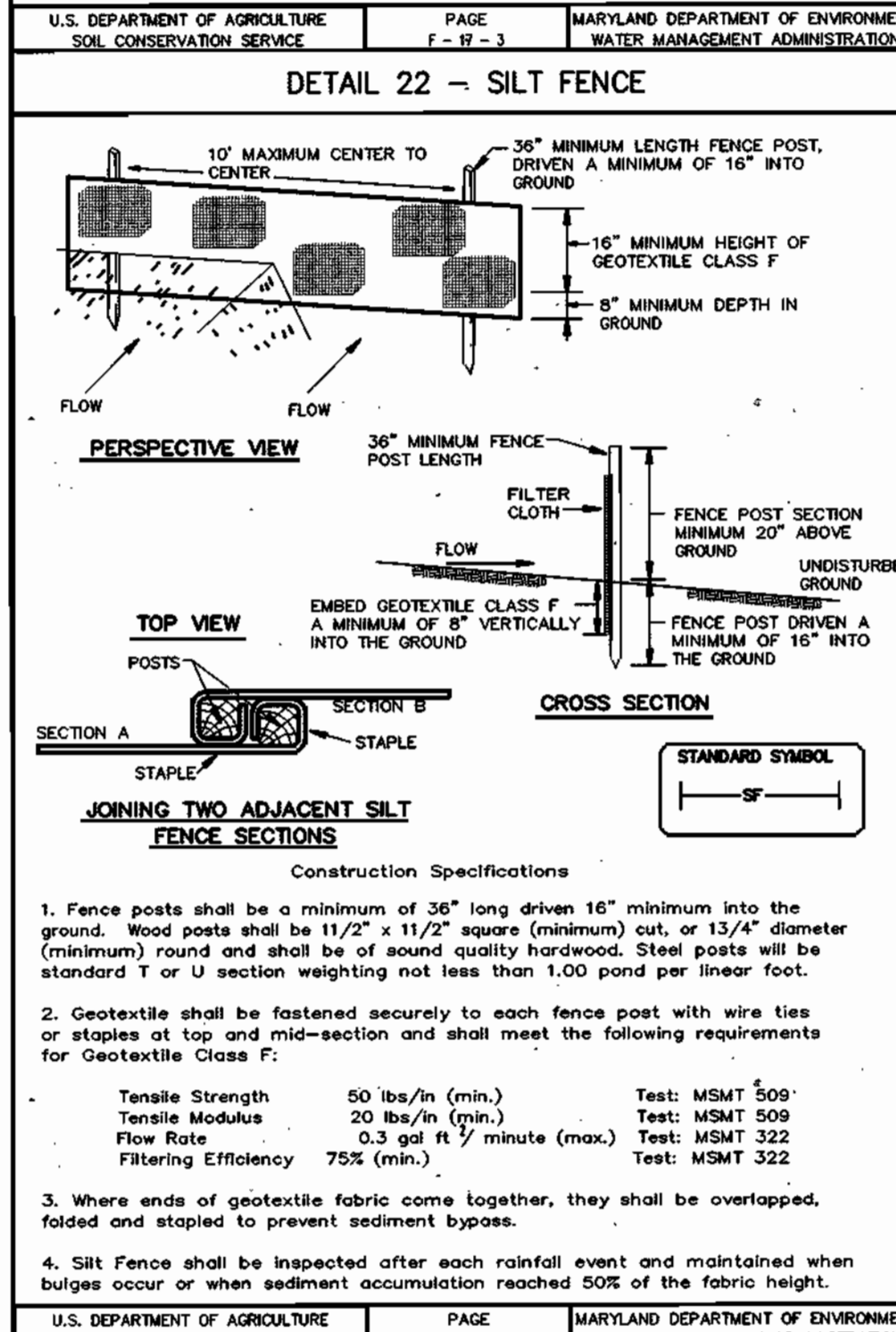
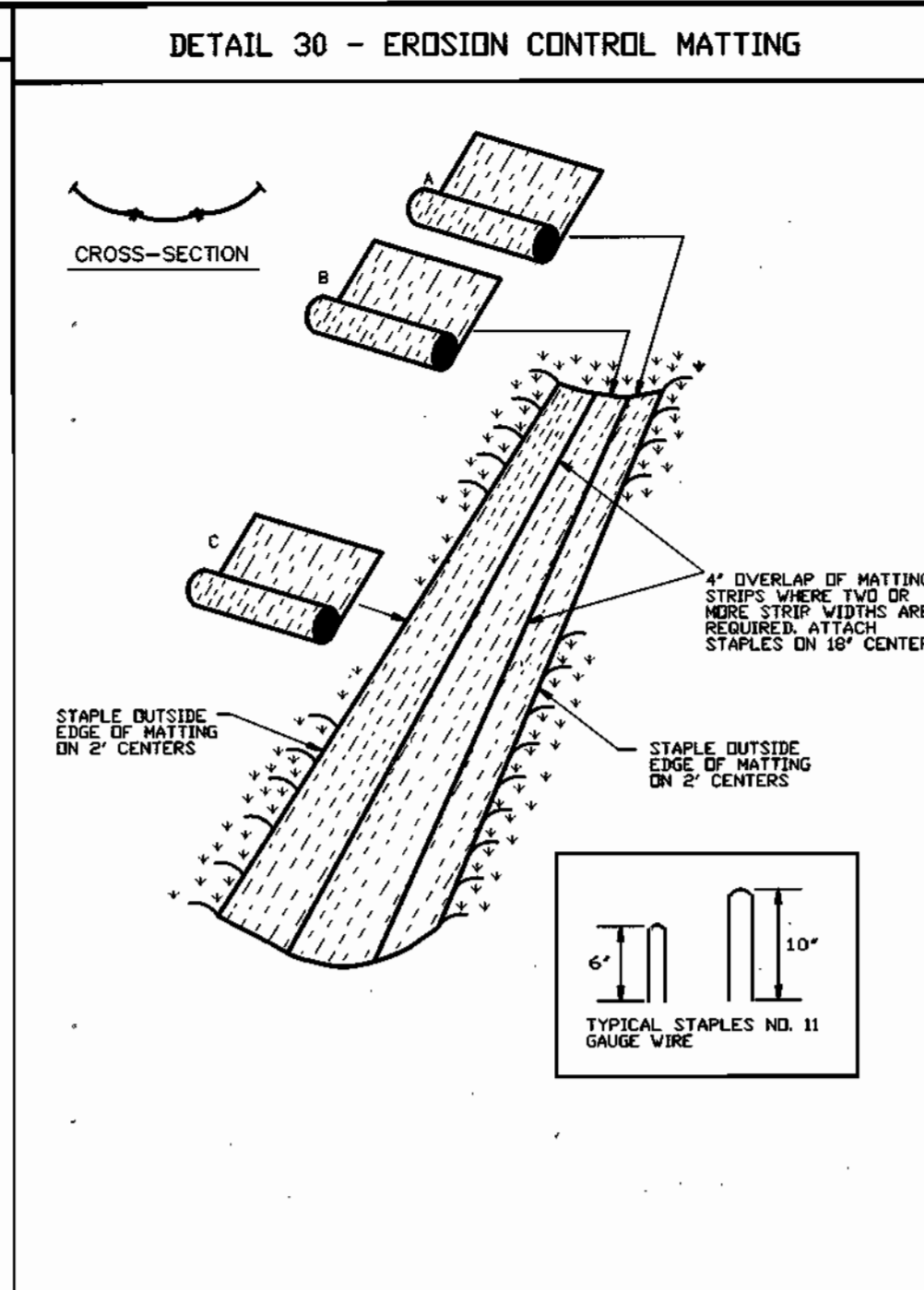
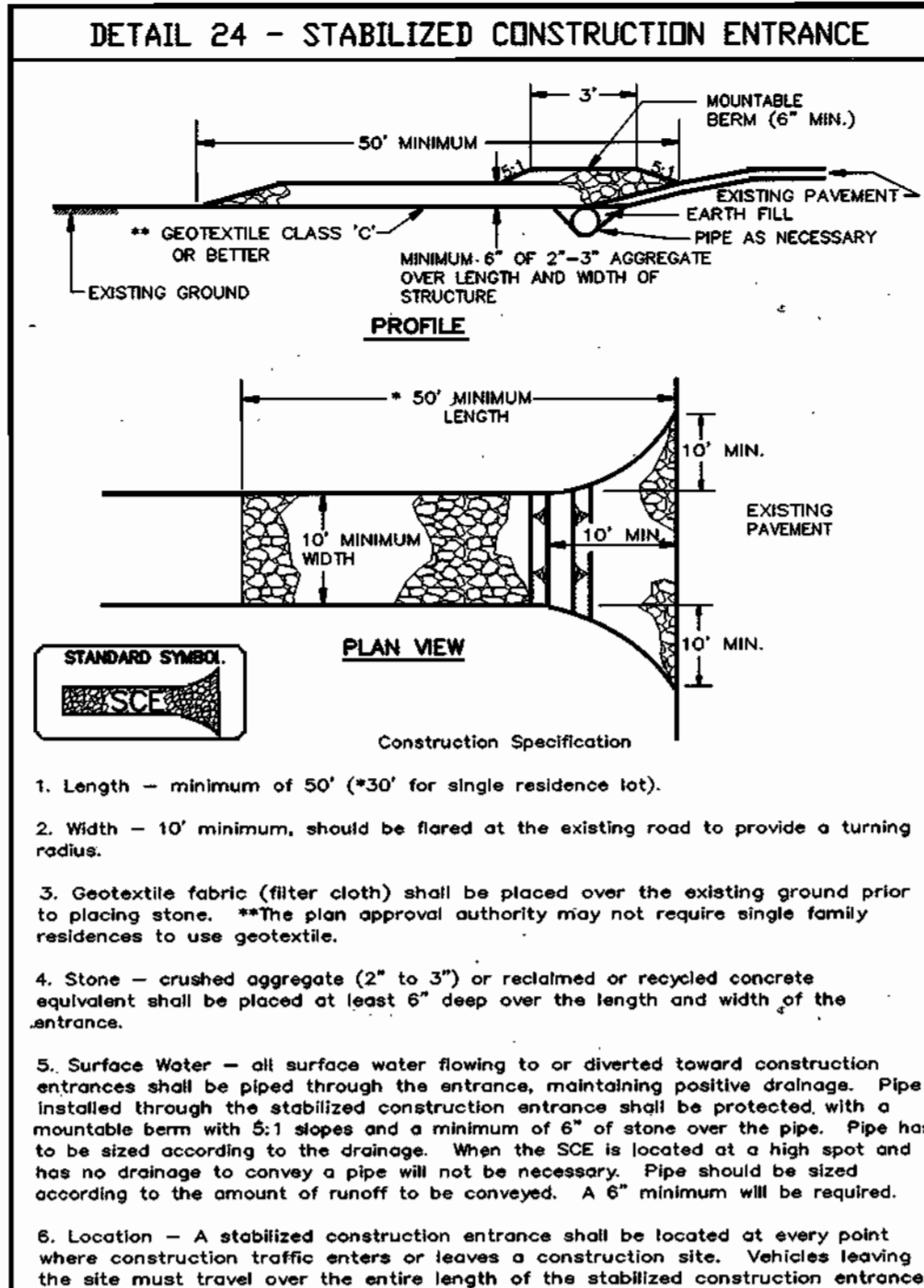
7-28-03
 DATE

DESIGNED BY: C.J.R.
 DRAWN BY: DRH
 PROJECT NO: 11791-1-0
 C-200ESC
 DATE: JUNE 19, 2003
 SCALE: 1" = 30'
 DRAWING NO. 3 OF 8

CHRISTOPHER J. REID #19949

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY

DATE 6/26/03



21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES
 I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 --a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 --b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 --c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 --d. THE SOIL IS SO ALCIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS
 I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTATION STATION.

II. TOPSOIL SPECIFICATIONS SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 --I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1-1/2" IN DIAMETER.
 --II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 --III. WHERE SUBSOIL IS EITHER HEAVY OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
 --IV. TOPSOIL SHALL NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNLESS SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISPERSION OF PHYTO-TOXIC MATERIALS.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 --I. PLACE TOPSOIL (IF REQUIRED) AND AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 --I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 --a. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 --b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 --c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 --d. NO SOIL OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNLESS SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISPERSION OF PHYTO-TOXIC MATERIALS.

IV. TOPSOIL SUBSTITUTES TO AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 --I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION
 --I. WHEN TOPSOILING, MAINTAIN EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 --II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION.
 --III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 --IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
 --I. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 --a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 --b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND MAKE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 --c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
 --d. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/2 THE NORMAL LIME APPLICATION RATE. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.).

SEEDING - FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (32 LBS. PER 1000 SQ.FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.07 LBS. PER 1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS. PER 1000 SQ.FT.).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIOD MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS. PER 1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.05 LBS. PER 1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY ONE OF THE FOLLOWING OPTIONS:

- 2 TONS PER ACRE OF WELL-ANCHORED MULCH STRAW AND SEED AS SOON AS POSSIBLE IN THE SPRING.
- USE SOO.
- SEED WITH 60 LBS. PER ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1; B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOO, TEMPORARY SEEDING, AND MULCHING (SEC. G.). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA OF SITE	2.84 ACRES
AREA DISTURBED	3.06 ACRES
AREA TO BE ROOFED OR PAVED	1.84 ACRES
AREA TO BE VEGETATIVELY STABILIZED	1.22 ACRES
TOTAL CUT	3,000 CU. YARDS
TOTAL FILL	3,000 CU. YARDS

 OFFSITE WASTE AREA LOCATION TO HAVE ACTIVE GRADING PERMIT
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, EARTH DIKE AND SUPER SILT FENCE. (2 DAYS)
- PERFORM ROUGH GRADING AND BEGIN BUILDING CONSTRUCTION. (3 WEEKS)
- AS SUBGRADE ELEVATIONS ARE ESTABLISHED, INSTALL STORM DRAINS, STORM INLET TRAPS AT I-1 AND I-3, WATER AND SEWER. (2 WEEKS)
- INSTALL INLET PROTECTION. (2 DAYS)
- INSTALL CURB AND GUTTER AND PAVE ROADWAYS. (2 WEEKS)
- APPLY TOPSOIL AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (1 WEEK)
- PERFORM FINE GRADING, LANDSCAPING AND SIDEWALKS. (2 WEEKS)
- COMPLETE BUILDING CONSTRUCTION. (4 MONTHS)
- UPON PERMISSION OF COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND STABILIZED REMAINING DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 WEEKS)

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Chris R... 8-6-03
 DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Chris R... 7-28-03
 ENGINEER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Myers 8/21/03
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. Robertson 8/21/03
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Frank D. Layton 9/6/03
 DIRECTOR DATE

Paul Dammann 9/10/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Wanda K. Kinnitt 9/4/03
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES
 I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 --a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 --b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 --c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 --d. THE SOIL IS SO ALCIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS
 I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTATION STATION.

II. TOPSOIL SPECIFICATIONS SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 --I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1-1/2" IN DIAMETER.
 --II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 --III. WHERE SUBSOIL IS EITHER HEAVY OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
 --IV. TOPSOIL SHALL NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNLESS SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISPERSION OF PHYTO-TOXIC MATERIALS.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 --I. PLACE TOPSOIL (IF REQUIRED) AND AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 --I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 --a. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 --b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 --c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 --d. NO SOIL OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNLESS SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISPERSION OF PHYTO-TOXIC MATERIALS.

IV. TOPSOIL SUBSTITUTES TO AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 --I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION
 --I. WHEN TOPSOILING, MAINTAIN EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 --II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION.
 --III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 --IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
 --I. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 --a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 --b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND MAKE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 --c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
 --d. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/2 THE NORMAL LIME APPLICATION RATE. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.).

SEEDING - FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (32 LBS. PER 1000 SQ.FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.07 LBS. PER 1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS. PER 1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL. PER 1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 347 GAL. PER ACRE (8 GAL. PER 1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

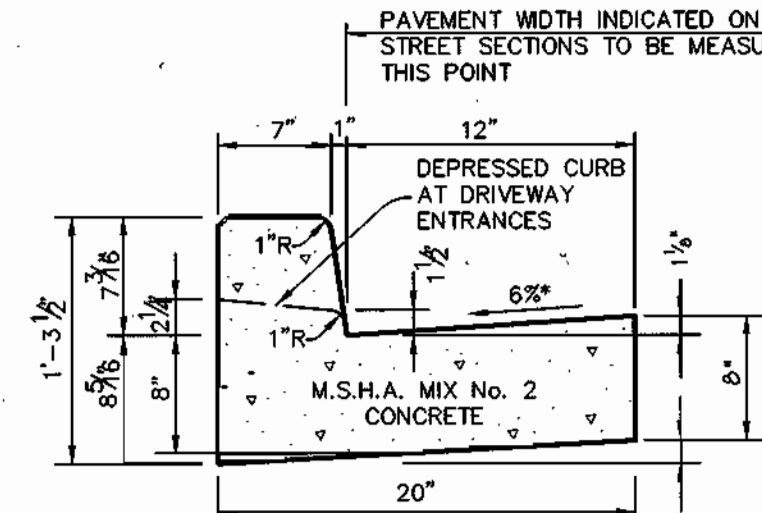
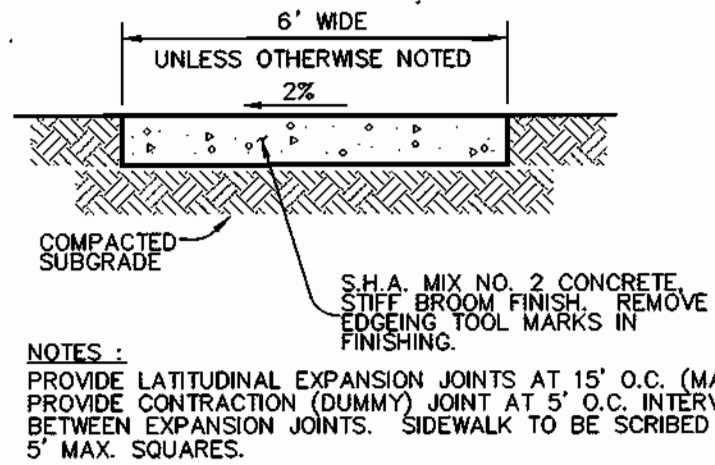
- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS. PER 1000 SQ.FT.).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS. PER 1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS. PER 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIOD MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS. PER 1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.05 LBS. PER 1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY

STRUCTURE SCHEDULE						
STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
I-1	A-5	N 558292.78 E 1366608.31	362.41 (16')	362.31 (16')	374.6	HOCO STD. DETAIL SD-4.01
I-2	A-5	N 558379.05 E 1366561.13	370.00 (16')	369.90 (16')	377.7	HOCO STD. DETAIL SD-4.01
I-3	A-5	N 558563.38 E 1366561.51	373.41 (15')	373.16 (16')	378.1	HOCO STD. DETAIL SD-4.01
I-4	A-5	N 558571.48 E 1366594.52	373.68 (16')	373.58 (15')	377.8	HOCO STD. DETAIL SD-4.01
I-5	A-5	N 558571.35 E 1366657.52	(2)374.10 (15')	374.00 (16')	377.8	HOCO STD. DETAIL SD-4.01
I-6	A-5	N 558565.75 E 1366690.99	-	374.00 (15')	378.1	HOCO STD. DETAIL SD-4.01
I-7	'S' INLET	N 558638.28 E 1366690.72	-	376.63 (15')	380.0	HOCO STD. DETAIL SD-4.22
WQ-1	BK BAYSAYER	N 558281.74 E 1366609.32	368.75 (24')	368.65 (24')	375.5	SEE DETAIL SHEET 8
SMH-1	4'-0" DIA.	N 558245.15 E 1366847.53	368.42 (6')	368.25 (EX. 8')	378.6	HOCO STD. DETAIL G-5.11

NOTES:
FOR END SECTIONS THE LOCATION IS CENTER OF THROAT OPENING AT FACE OF STRUCTURE.
LOCATION OF INLETS AND MANHOLES IS AT CENTER OF TOP COVER

PIPE SCHEDULE		
PIPE LENGTH	SIZE	TYPE
56	6"	HDPE
206	15"	HDPE
933	18"	HDPE

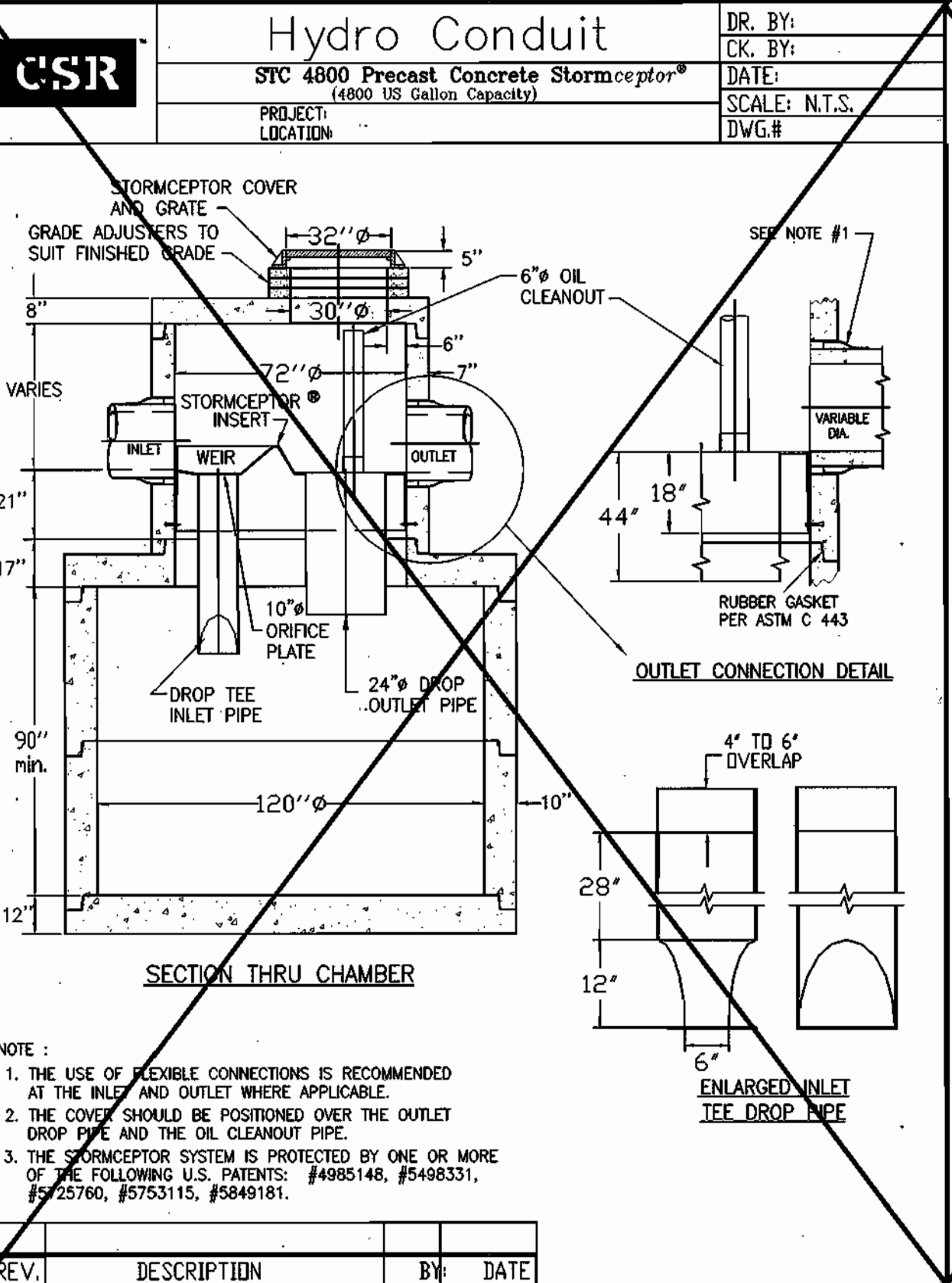
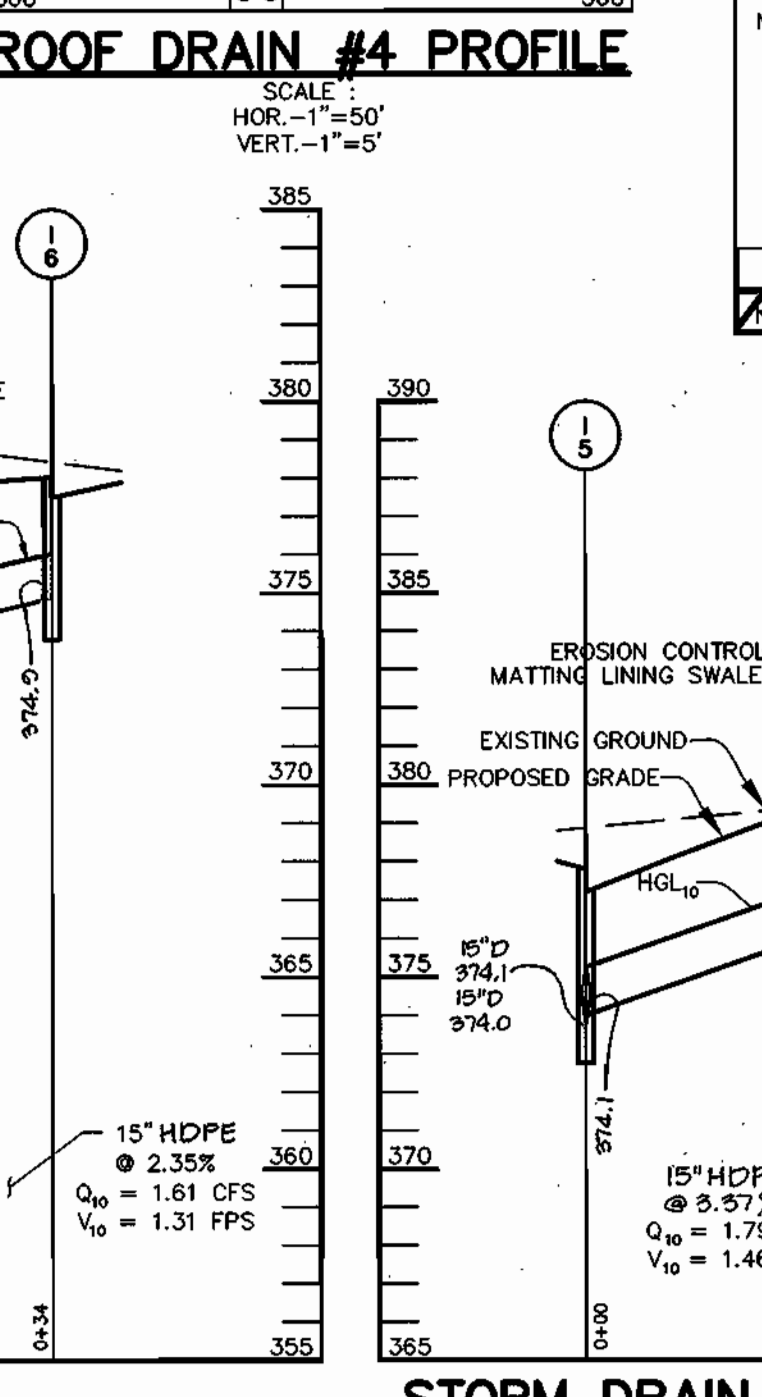
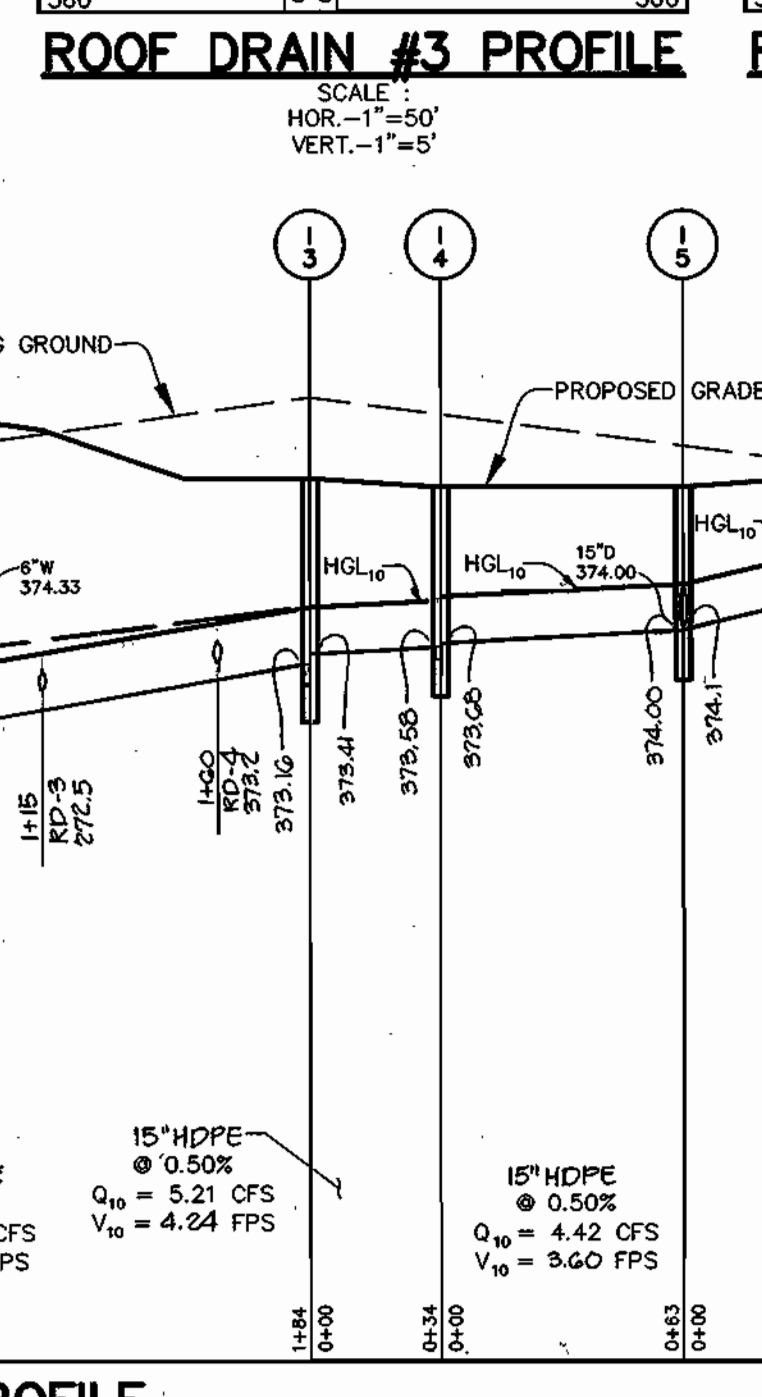
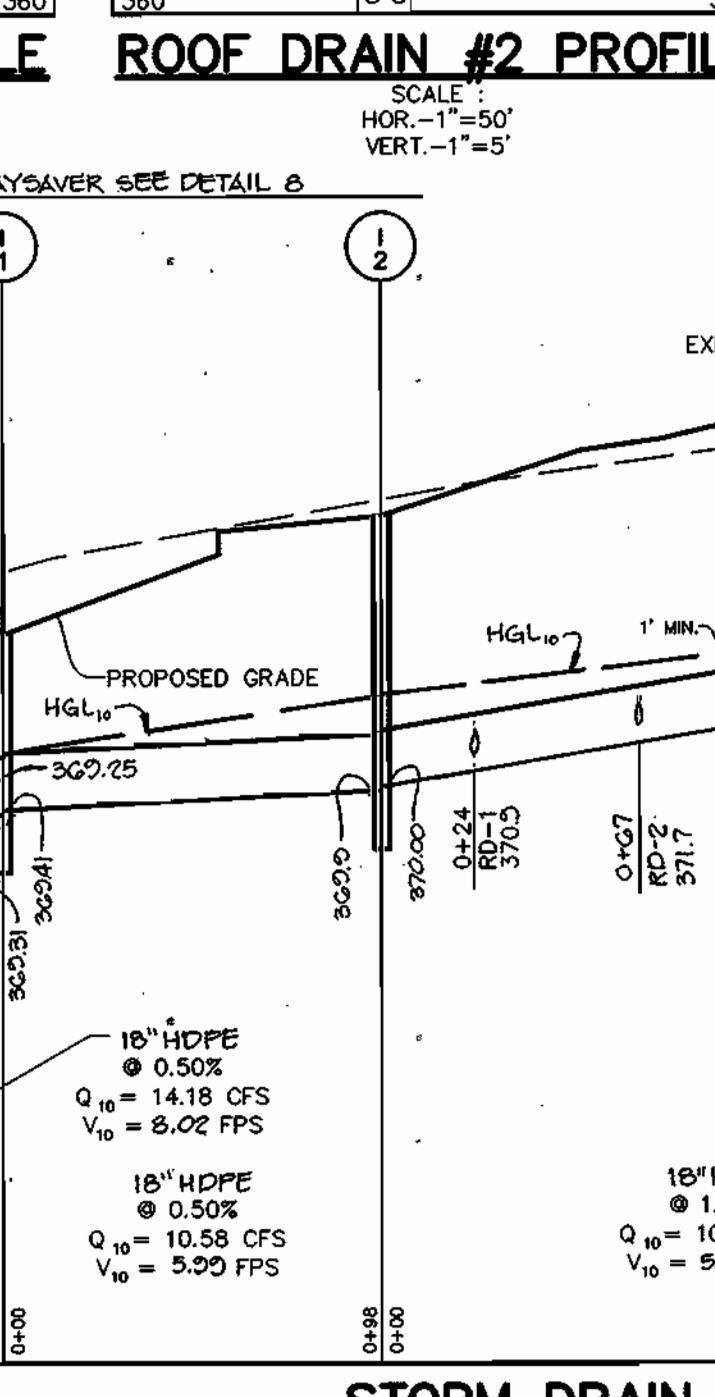
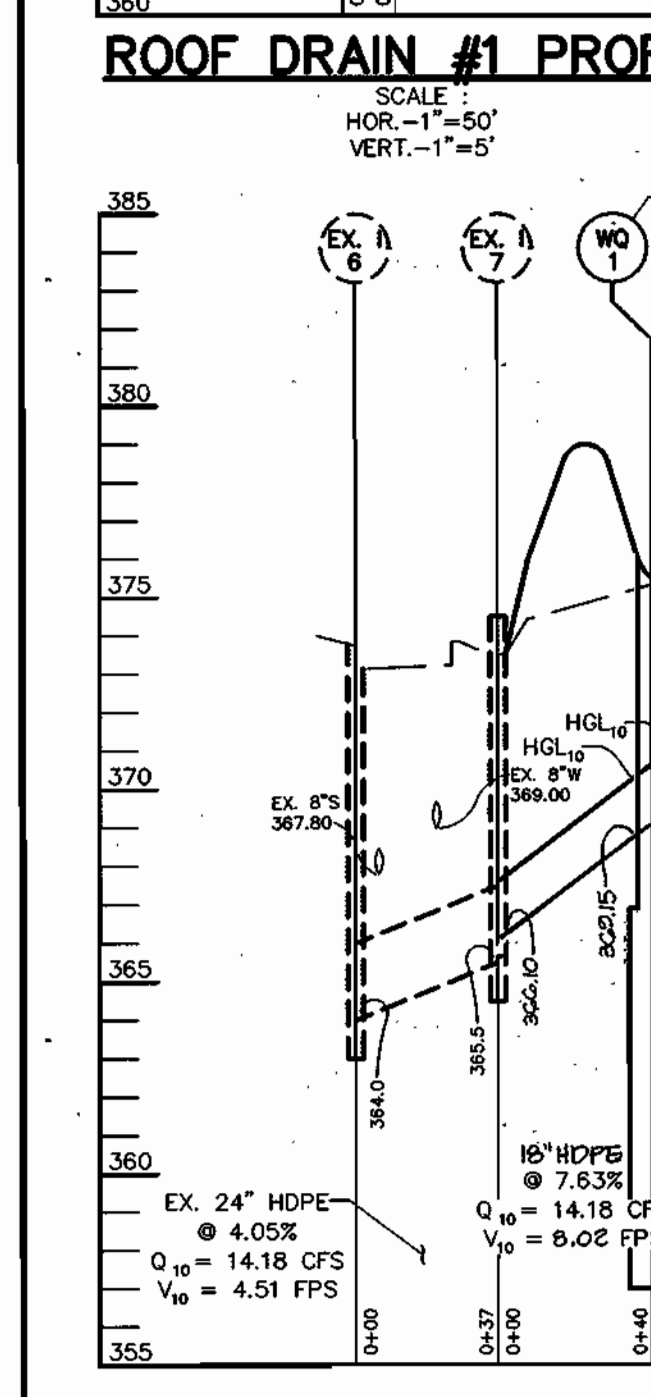
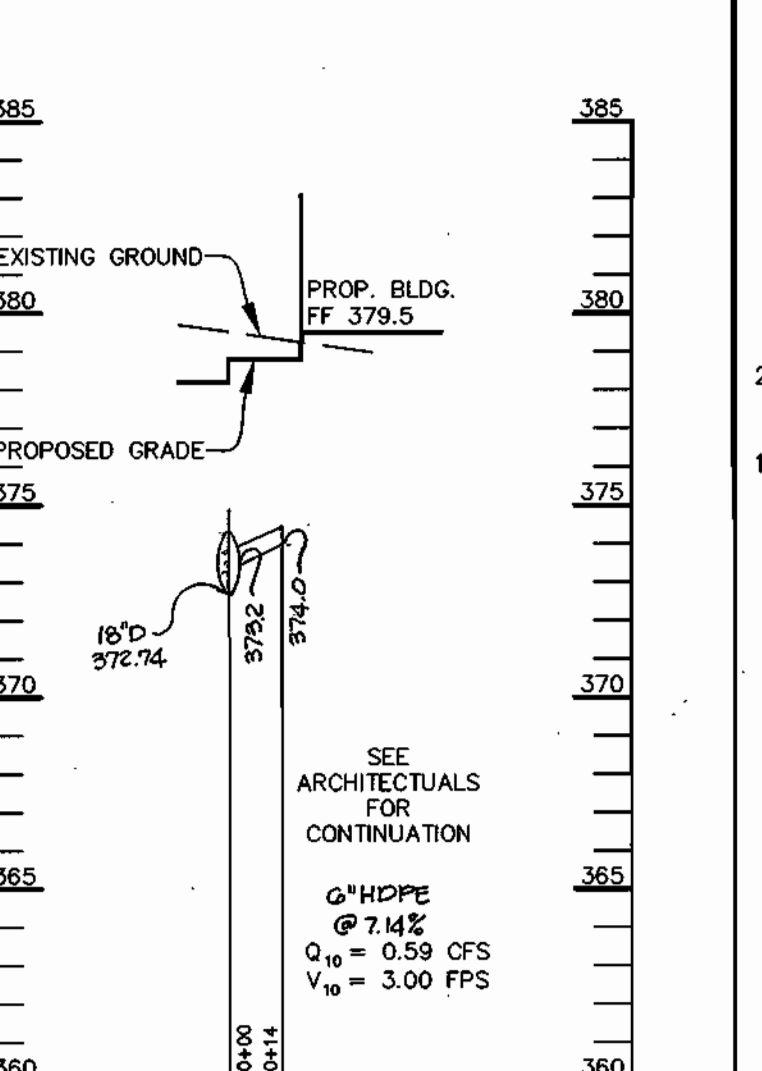
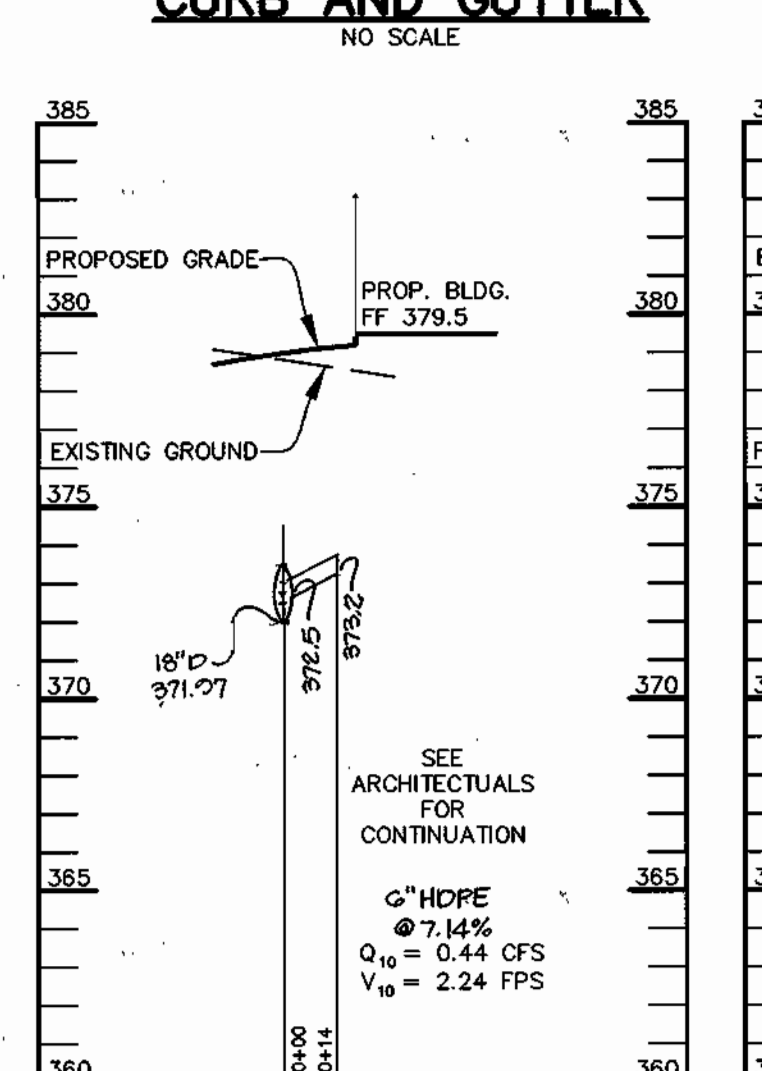
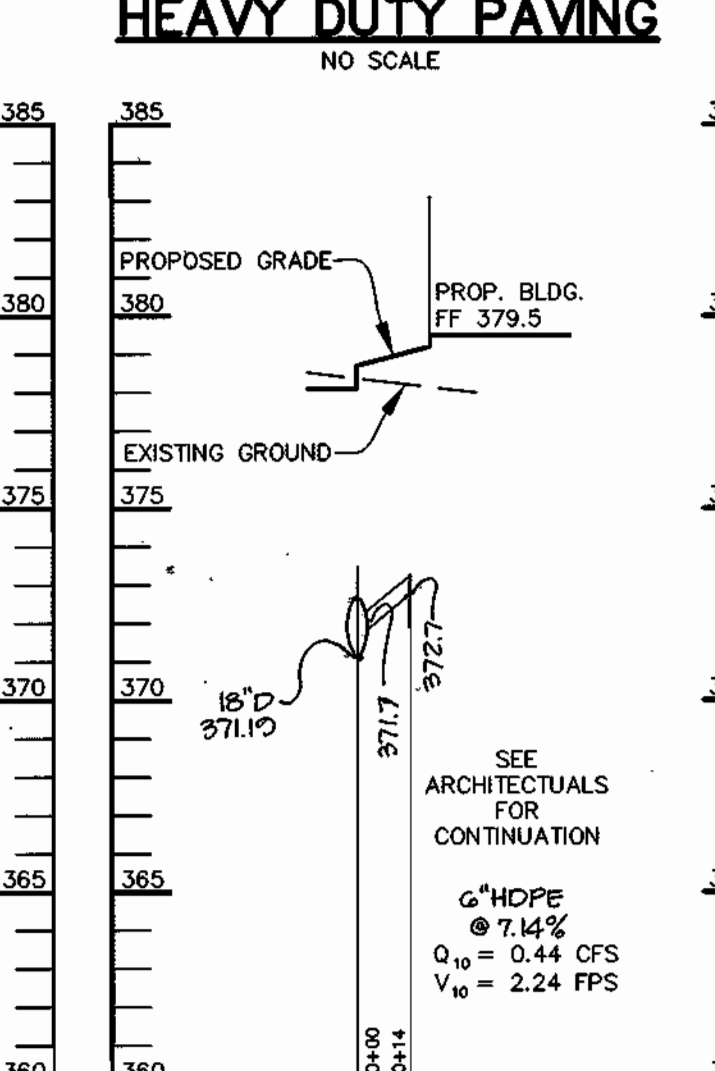
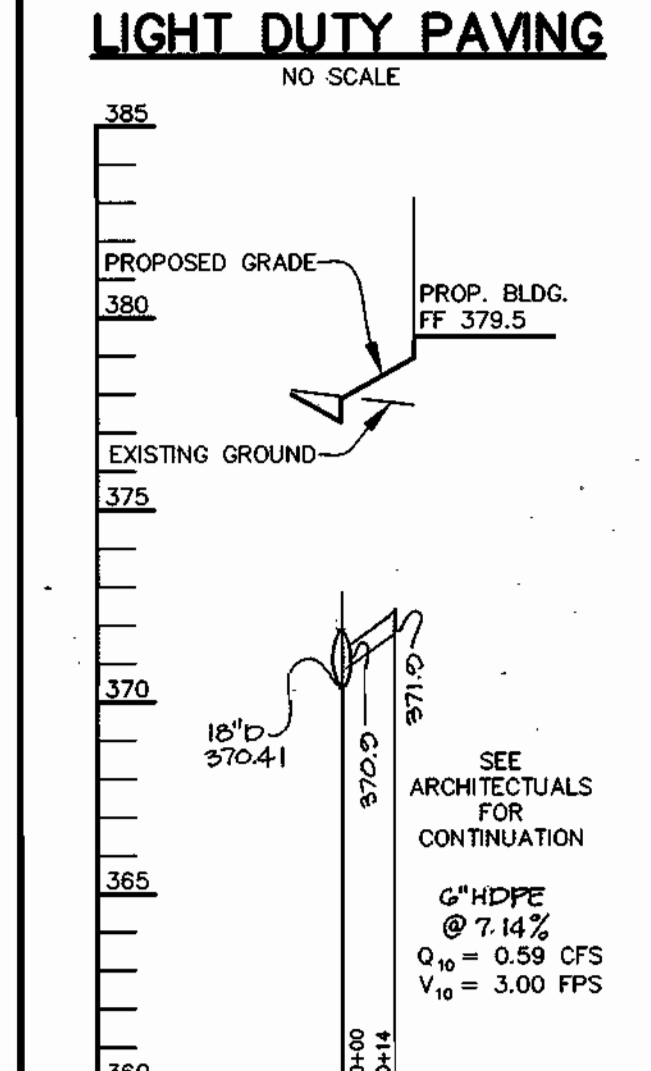
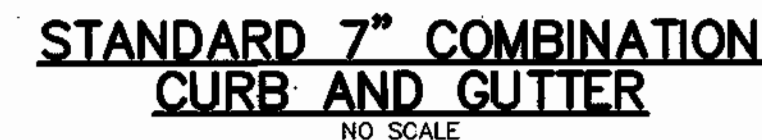


OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

- STORMCEPTOR WATER QUALITY STRUCTURES WILL REQUIRE PERIODIC INSPECTION AND CLEANING TO MAINTAIN OPERATION AND FUNCTIONAL OWNERS WILL HAVE THE STORMCEPTOR UNIT INSPECTED YEARLY AS REQUIRED BY HOWARD COUNTY. DURING THE STORMCEPTOR INSPECTION/MAINTENANCE PERIOD, INSPECTIONS CAN BE DONE BY USING A CLEAN PLYWOOD TREE TRUNK (OR SIMILAR OBJECT) TO BRUSH A WATER CLEANING BRUSH. WHEN SCUMED DEPOSITS EXCEED THE STORMCEPTOR LEVEL (TAKEN FROM TECHNICAL MANUAL) THEN CLEANING OF THE UNIT IS REQUIRED.
- STORMCEPTOR WATER QUALITY STRUCTURES MUST BE OILED AND CLEANED IMMEDIATELY AFTER PERIODIC SPILL TREATMENT APPROPRIATE REGULATORY AGENCIES.
- MAINTENANCE OF STORMCEPTOR UNITS SHOULD BE DONE BY A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING PARTICULATES, AND OTHER MATERIALS IN THE UNIT. PROPER COLLECTION AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED.
- INLET AND OUTLET PIPES MUST BE CHECKED FOR ANY OBSTRUCTIONS, AND IF ANY OBSTRUCTIONS ARE FOUND THEY MUST BE REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR WILL BE REPAIRED AS NEEDED.
- OWNER SHALL RETAIN AND MAKE STORMCEPTOR INSPECTION/MAINTENANCE RECORDS AVAILABLE TO HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

LIGHT DUTY PAVING	
BITUMINOUS CONCRETE SURFACE	1.5"
BITUMINOUS CONCRETE BASE	4"
6" CRUSHER RUN BASE COURSE	6"
6" DENSE GRADED STABILIZED AGGREGATE BASE COURSE	6"

HEAVY DUTY PAVING	
BITUMINOUS CONCRETE SURFACE	2"
BITUMINOUS CONCRETE BASE	4"
8" CRUSHER RUN BASE COURSE (2 COURSES)	8"
6" DENSE GRADED STABILIZED AGGREGATE BASE COURSE	6"



Hydro Conduit
STC 4800 Precast Concrete Stormceptor®
(4800 US Gallon Capacity)

DR. BY: _____
CK. BY: _____
DATE: _____
SCALE: N.T.S.
DWG. # _____

CONTRACTOR INFORMATION

Name: _____
Address: _____
City: _____
State: _____
Zip: _____
Contact: _____
Phone: _____
Fax: _____

GENERAL/PRIME CONTRACTOR

Name: _____
Phone: _____
Fax: _____

OWNER INFORMATION

Name: **W.H. STABLEIN & ASSOCIATES**
Phone: **301-989-8989**
Fax: **301-989-1598**

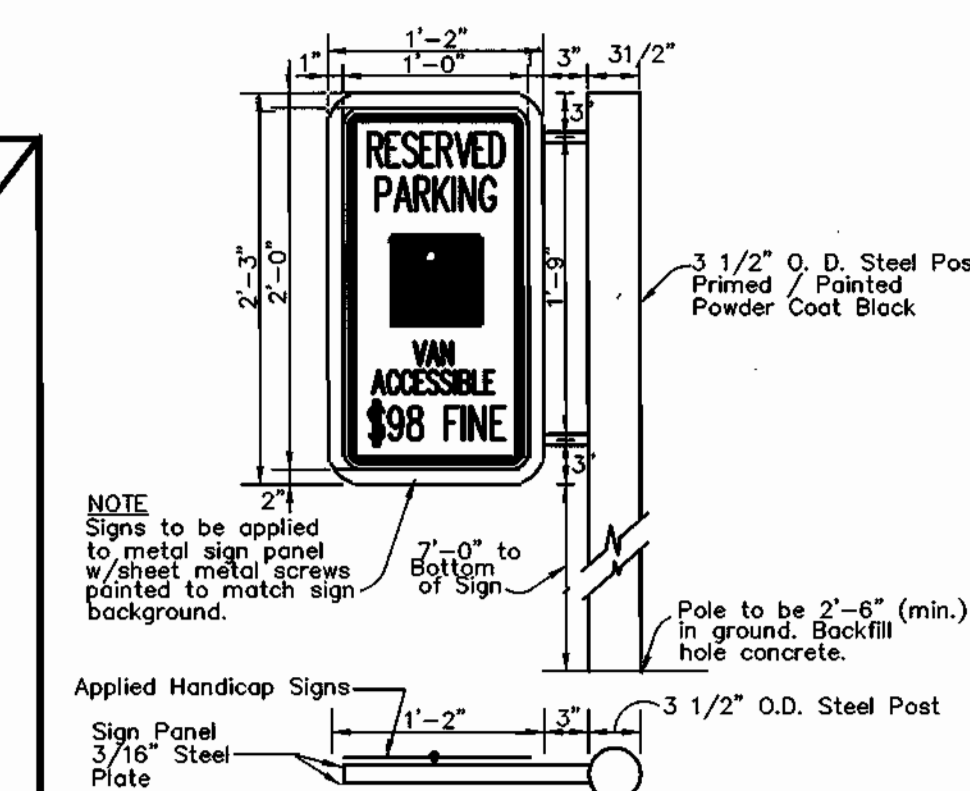
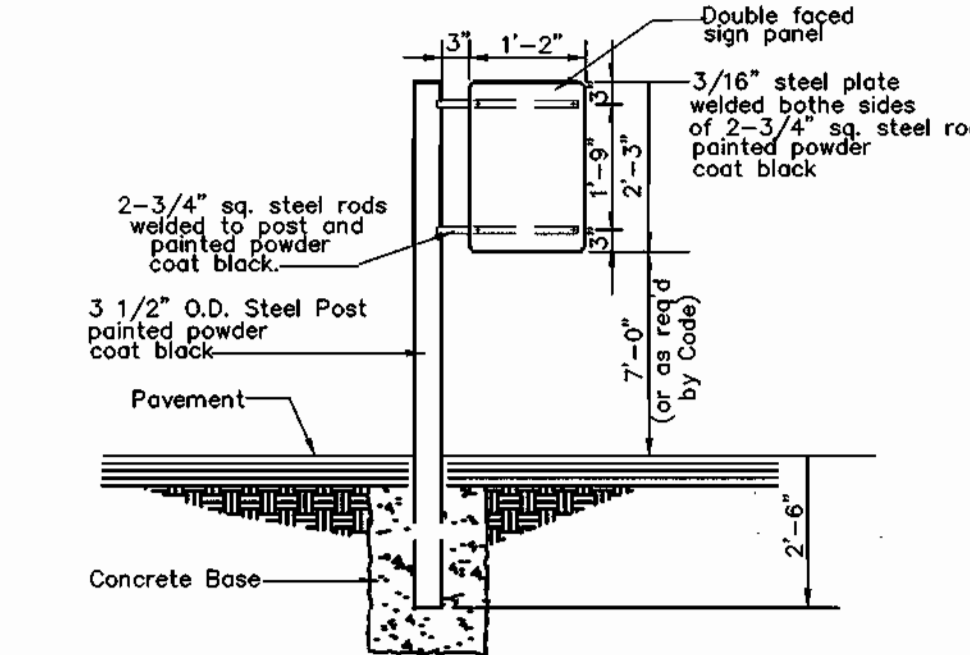
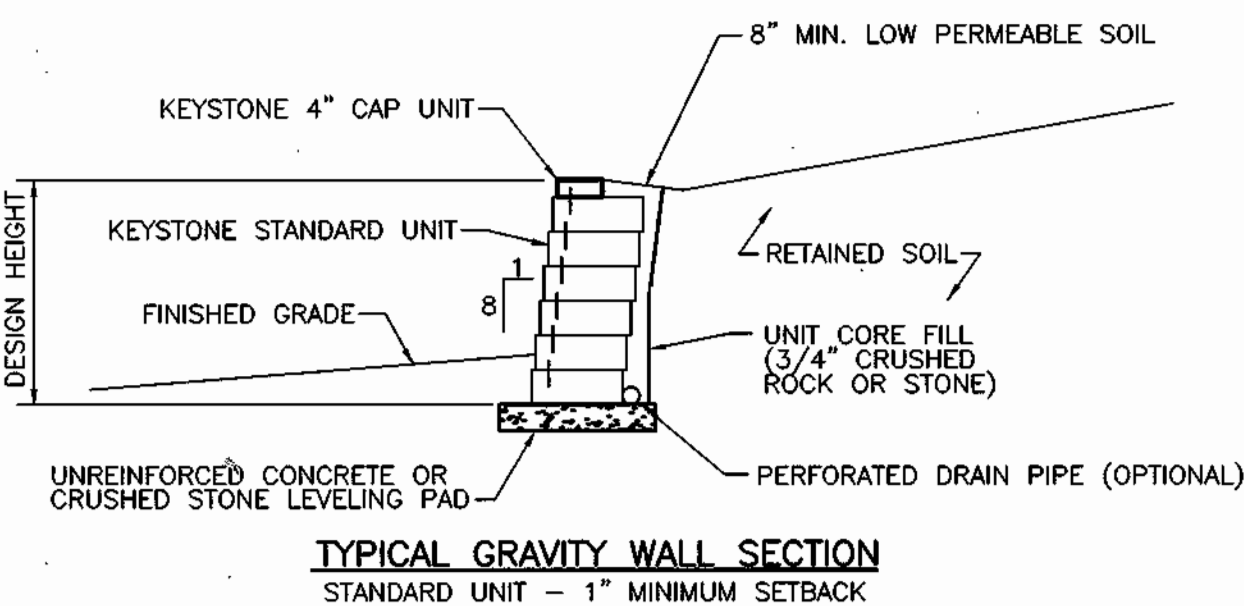
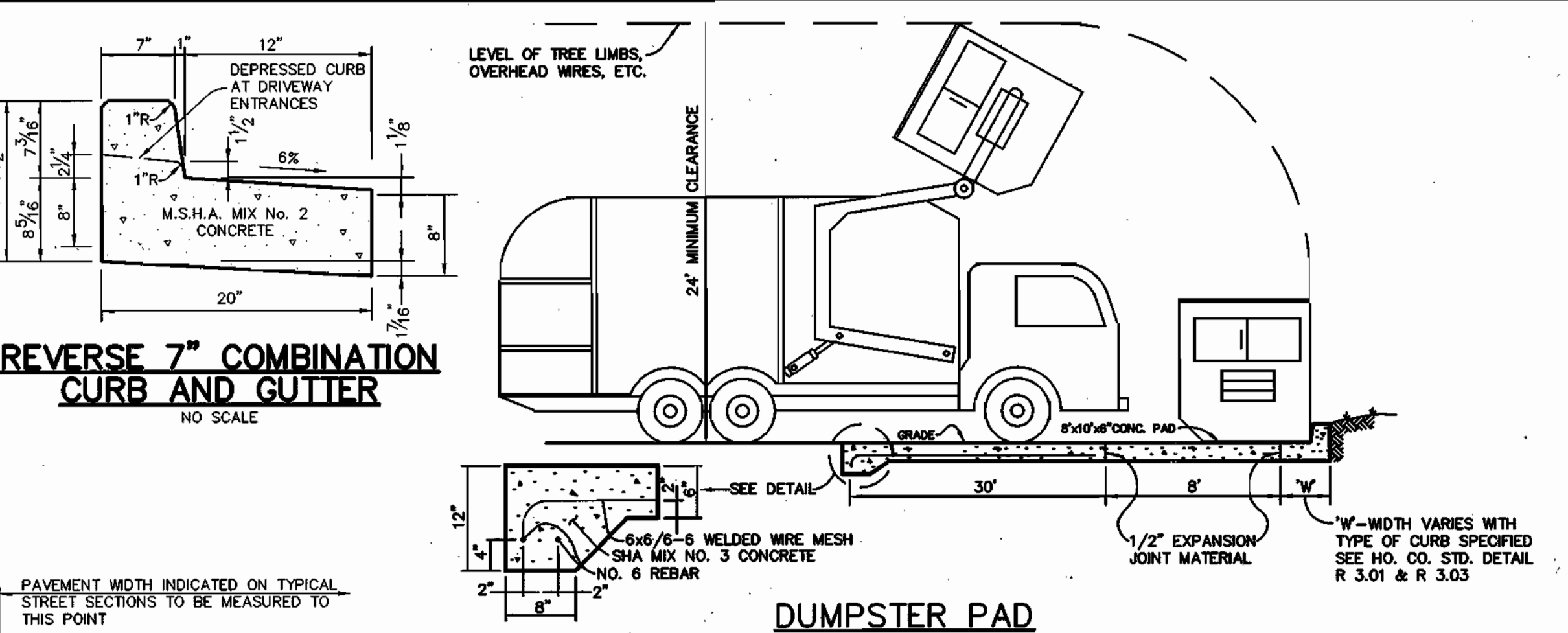
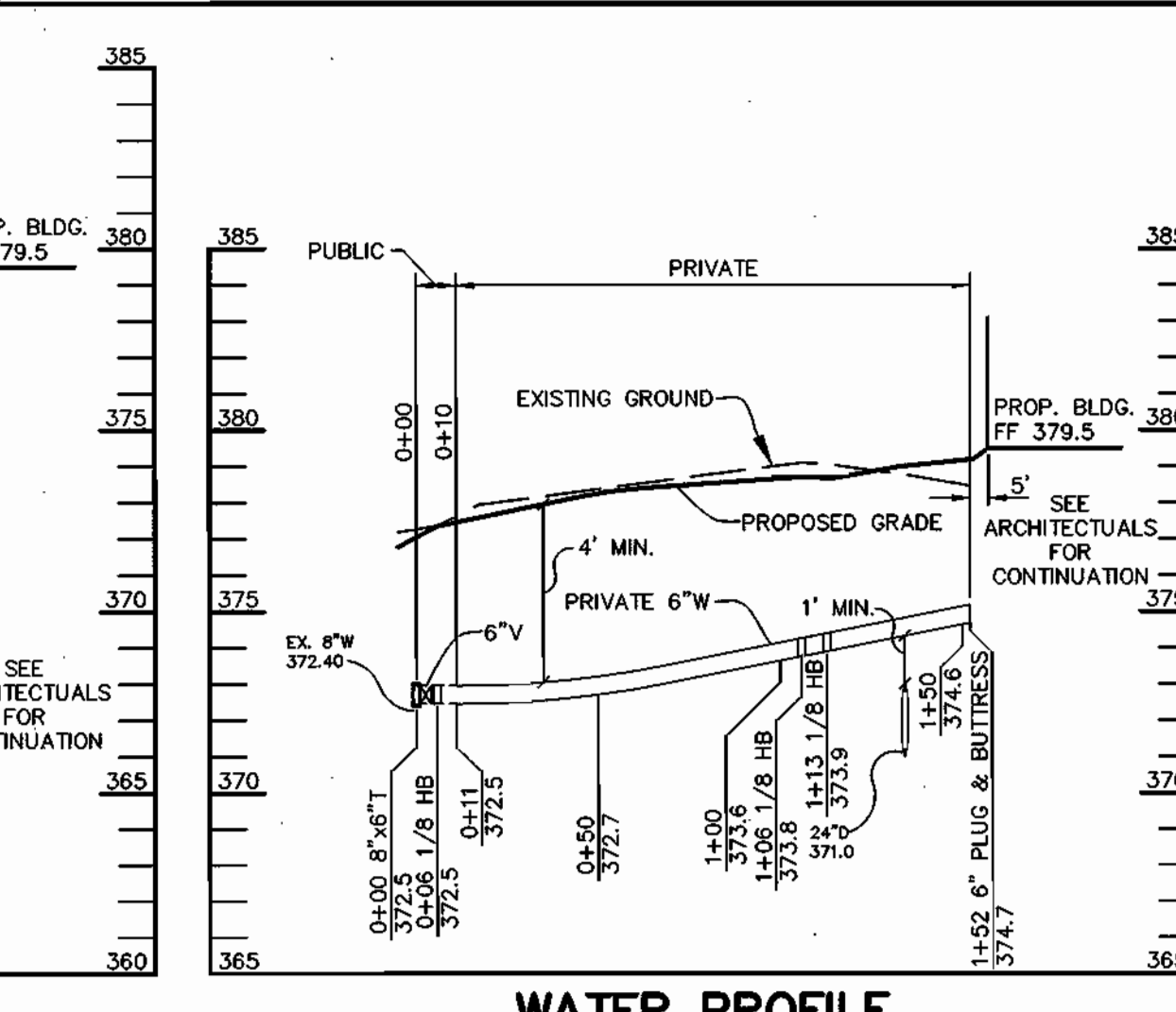
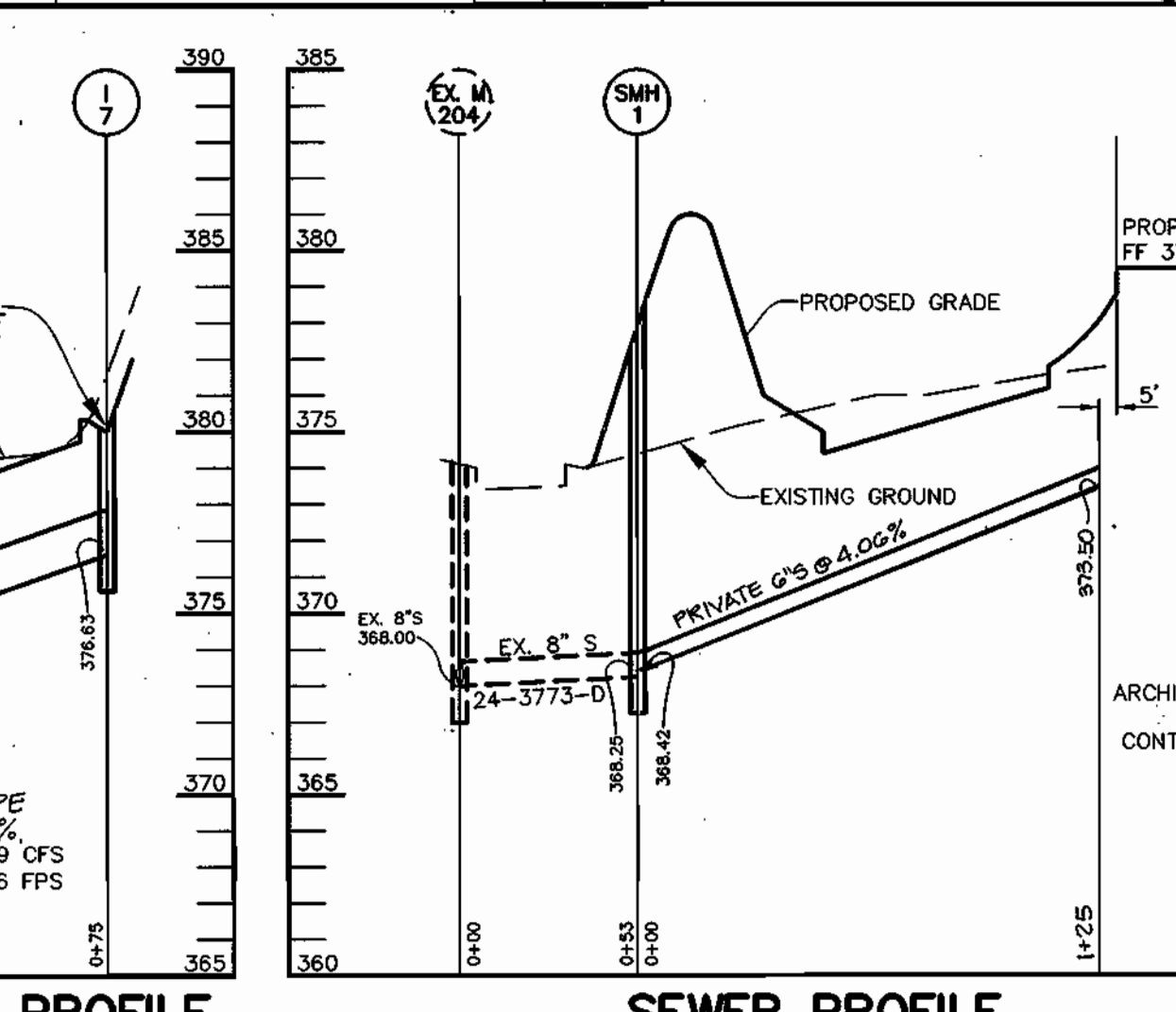
Manhole Number: **WQ-1**
Top Elevation (ft): **375.5**
Inlet Pipe Invert (ft): **368.75**
Outlet Pipe Invert (ft): **368.65**
#2 Inlet Pipe Invert (ft): _____
#2 Outlet Pipe Invert (ft): _____

Pipe Type: **ADS**
Inlet Pipe Inside Diameter (ID): **24"**
Inlet Pipe Outside Diameter (OD): **28"**
Outlet Pipe Inside Diameter (ID): **24"**
Outlet Pipe Outside Diameter (OD): **28"**

Project Name: **ROUTE 175 COMMERCIAL**
Bonded? _____ Bond # _____
Telephone: _____
Approximate time frame of delivery (weeks): _____
Delivery Address Street (for Permits): _____
City: _____ State: _____ Zip Code: _____

Designer Company: **PATTON HARRIS RUST & ASSOCIATES**
Designer Contact: **AMEE REMINGTON** Phone: **410-997-8900** Fax: **410-997-9282**

PLEASE FILL OUT COMPLETELY AND FAX TO:
ATTN: BRIAN GINGRICH FAX: (301)698-5351, PHONE: (800)414-7960 EXT. 240



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

David A. Laughlin 7/6/03
DIRECTOR DATE

Bill Dammann 9/16/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Wanda Hanista 7/4/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION
1-22-04	1	MODIFIED PROFILES, DELETED STORMCEPTOR

OWNER / DEVELOPER
SNOWDEN PROFESSIONAL CENTER LLC
10400 LITTLE PATUXENT PARKWAY
SUITE 280
COLUMBIA, MARYLAND 21044
410-715-6800

PROJECT **ROUTE 175 COMMERCIAL**
SECTION 1 AREA 2
PARCEL D-2

AREA ROUTE 175 COMMERCIAL - PARCEL 521 PLAT NO. 15677
TAX MAP NO. 36, BLOCK 18 & TAX MAP NO. 37, BLOCK 13
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

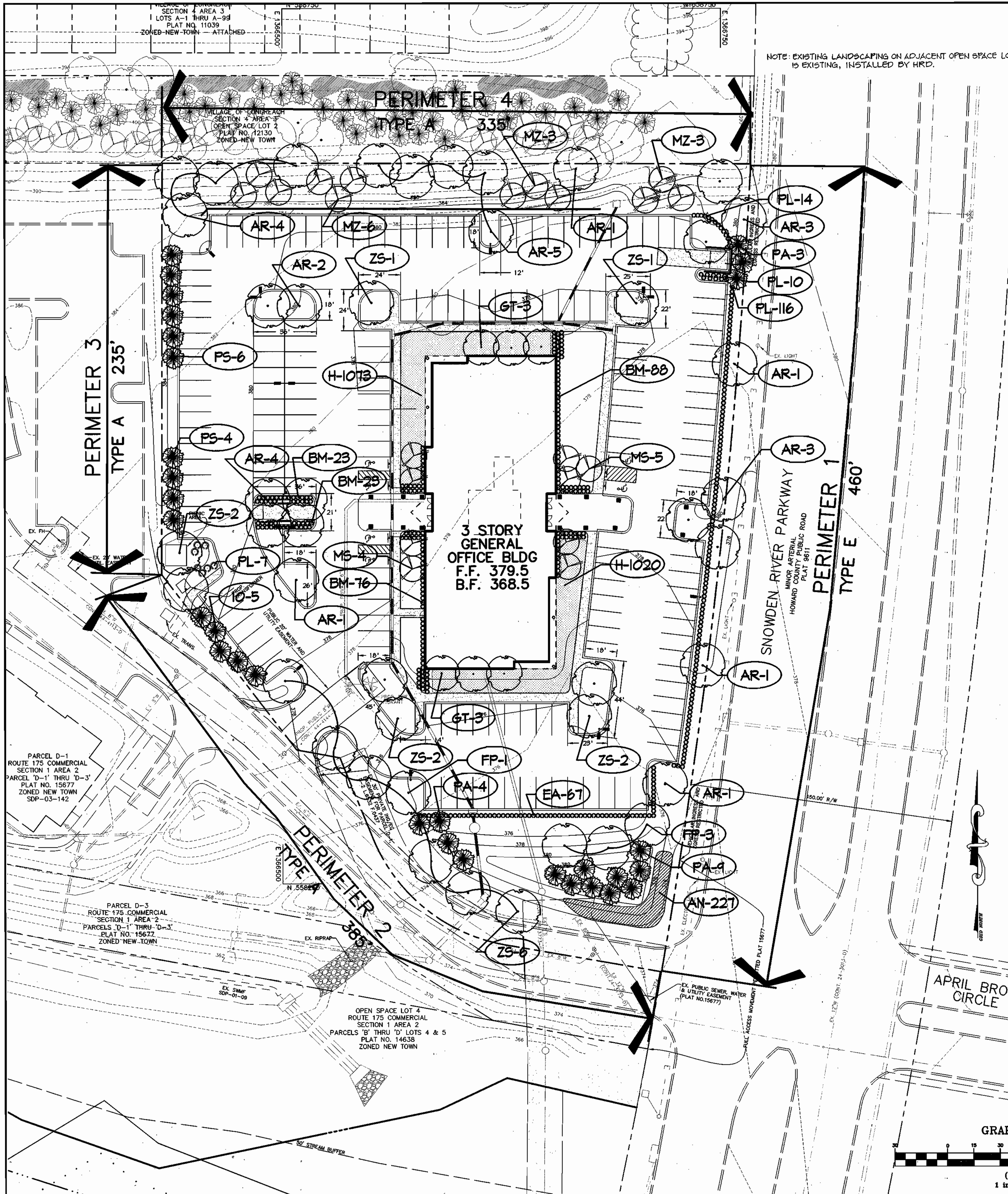
TITLE **PROFILES AND DETAILS**

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DATE **7.28.03**

DESIGNED BY: **C.J.R.**
DRAWN BY: **DRH**
PROJECT NO: **11791-1-0**
PROFILES
DATE: **JUNE 19, 2003**
SCALE: **AS SHOWN**
DRAWING NO. **5** OF **8**

CHRISTOPHER J. REID #19949



PARKING LOT AND PERIMETER PLANT LIST

SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	REMARKS
AR	26	Acacia saligna 'October Glory'	2.5'-3' cal.	B&B	Plant as shown
FP	4	Fraxinus pennsylvanica 'Hannah's Seedless'	2.5'-3' cal.	B&B	Plant as shown
GT	6	Gleditsia triacanthos 'Inverna'	2.5'-3' cal.	B&B	Plant as shown
ZS	14	Zelkova serrata 'Village Green'	2.5'-3' cal.	B&B	Plant as shown
IO	5	Ilex opaca	6'-8' ht.	B&B	Plant as shown
FA	16	Ficus glabra	6'-8' ht.	B&B	Plant as shown
PS	10	Pinus strobus	6'-8' ht.	B&B	Plant as shown
MS	4	Magnolia speciosa	4' cal.	B&B	Plant as shown
MZ	12	Malus sieboldii 'Gala Apple'	2'-2.5' cal.	B&B	Plant as shown
BH	210	Buxus microphylla	30" ht.	B&B	Plant 30" o.c.
EA	67	Eunymia alata 'Compacta'	24'-30" ht.	B&B	Plant 30" o.c.
PL	147	Prunus laurocerasus	24'-30" ht.	B&B	Plant 30" o.c.
H	2048	Hypericum calycinum 'Aaron's Beard'	1 gal.	Cont.	Plant on staggered 18" centers
AN	227	Annuals	2" Pot Pot	Cont.	Plant on staggered 18" centers

- GENERAL NOTES**
- THIS PLAN IS IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISION. NEW TOWN GUIDELINES FOR COMMERCIAL PLANTING HAVE BEEN USED TO DETERMINE ACTUAL PLANTING REQUIREMENTS.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$14,550.
37 SHADE TREES @ \$300 = \$11,100
0 ORNAMENTAL TREES @ \$150 = \$0
0 EVERGREEN TREES @ \$150 = \$0
115 SHRUBS @ \$30 = \$3,450
 - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
 - AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
 - NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.

SCHEDULE A - PERIMETER LANDSCAPE EDGE

PERIMETER	ADJACENT TO PERIMETER PROPERTIES			ADJACENT TO ROADWAYS
	2	3	4	1
LANDSCAPE TYPE	A	A	A	E
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	± 385'	± 235'	± 335'	± 460'
CREDIT FOR EXISTING VEGETATION (YES/NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	NO	NO	NO	NO
LINEAR FEET REMAINING	±	±	±	±
NUMBER OF PLANTS REQUIRED				
SHADE TREES	6	4	6	12
EVERGREEN TREES	0	0	0	0
SHRUBS	0	0	0	115
NUMBER OF PLANTS PROVIDED				
SHADE TREES	0	0	0	11
EVERGREEN TREES	0	0	0	0
SMALL FLOWERING TREES	0	0	0	134
SHRUBS	0	0	0	0

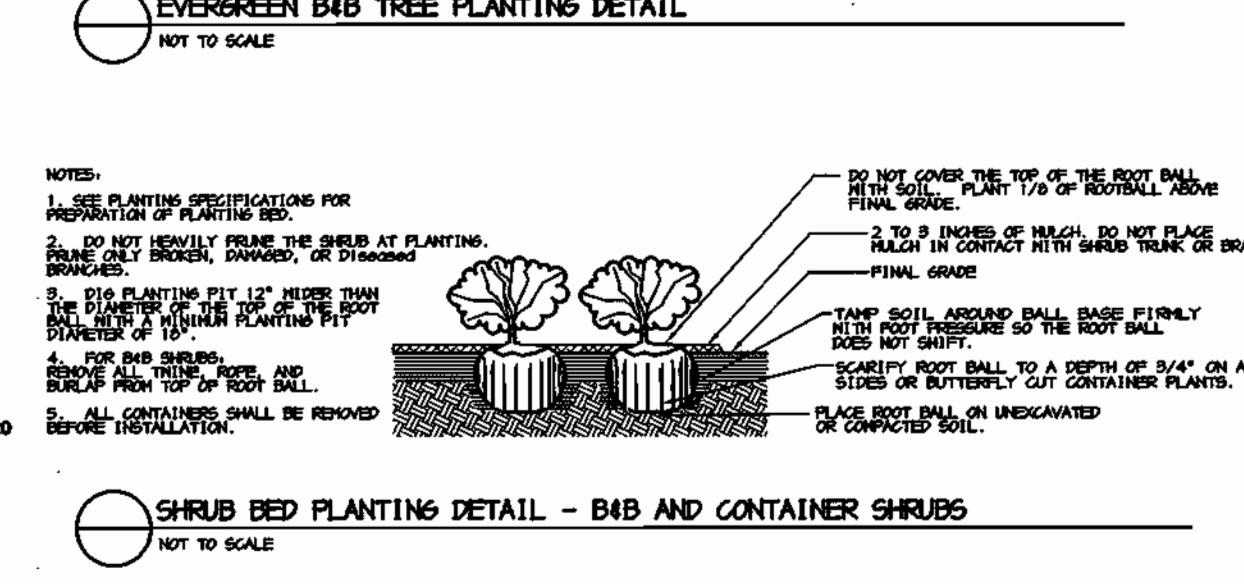
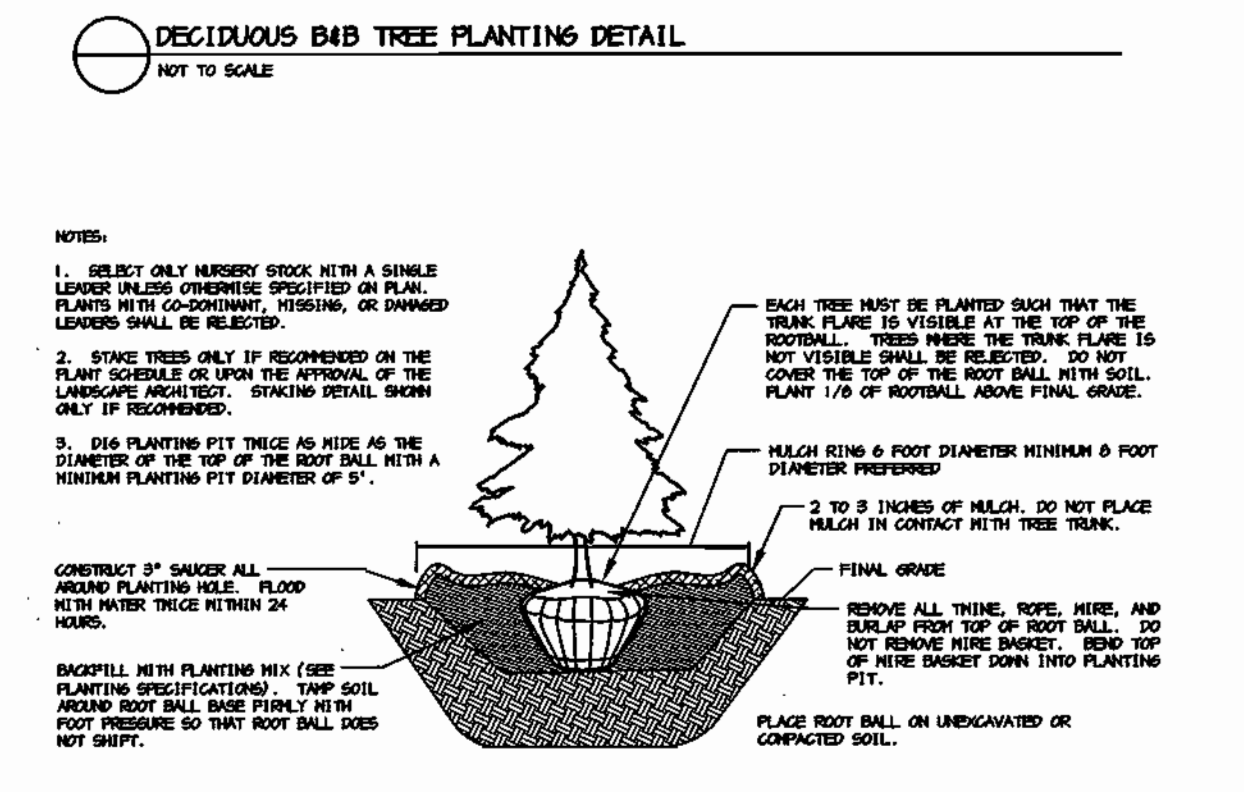
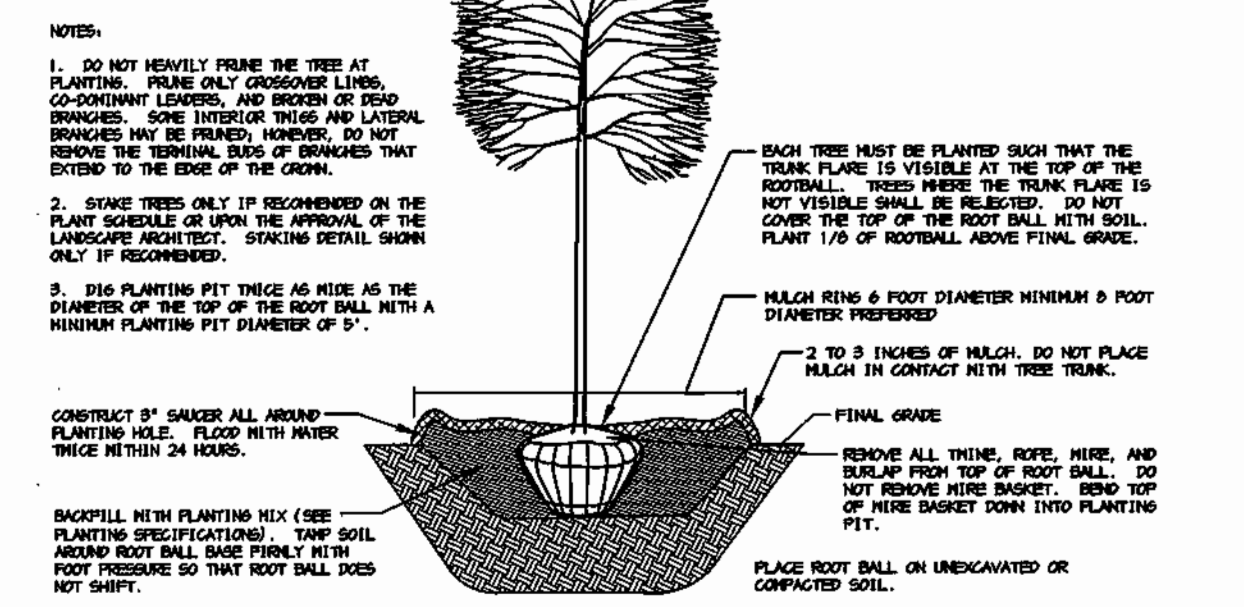
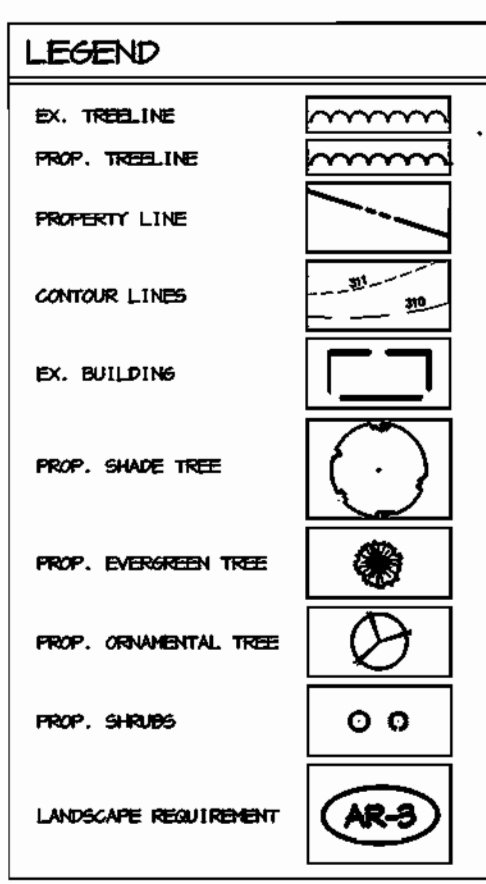
SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

PARKING LOT	1
NUMBER OF PARKING SPACES	178
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	9
NUMBER OF TREES PROVIDED	
SHADE TREES	15
OTHER TREES (2:1 SUBSTITUTION)	0
NUMBER OF ISLANDS PROVIDED	9

DEVELOPER'S/BUILDER'S CERTIFICATE

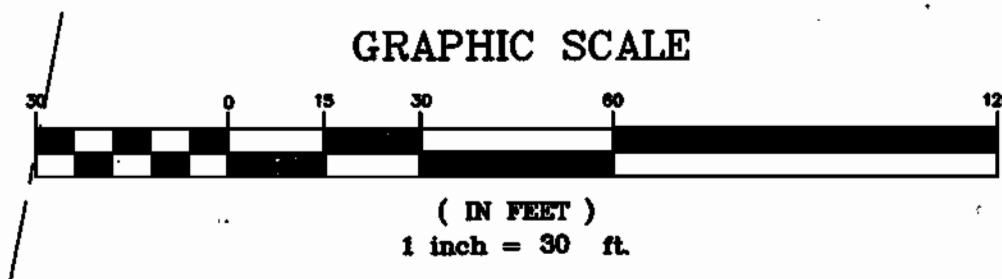
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 8-6-03
SIGNATURE DATE



APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 6/26/03
KS



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[Signature] 5/6/02
DIRECTOR DATE

[Signature] 9/13/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/4/03
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

1-22-04 REVISED SHEET NUMBER

DATE NO. REVISION

OWNER / DEVELOPER
SNOWDEN PROFESSIONAL CENTER LLC
10400 LITTLE PATUXENT PARKWAY
SUITE 280
COLUMBIA, MARYLAND 21044
410-715-6800

PROJECT: ROUTE 175 COMMERCIAL SECTION 1 AREA 2 PARCEL D-2

AREA: ROUTE 175 COMMERCIAL - PARCEL 521 PLAT NO. 15677 TAX MAP NO. 36, BLOCK 18 & TAX MAP NO. 37, BLOCK 13 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

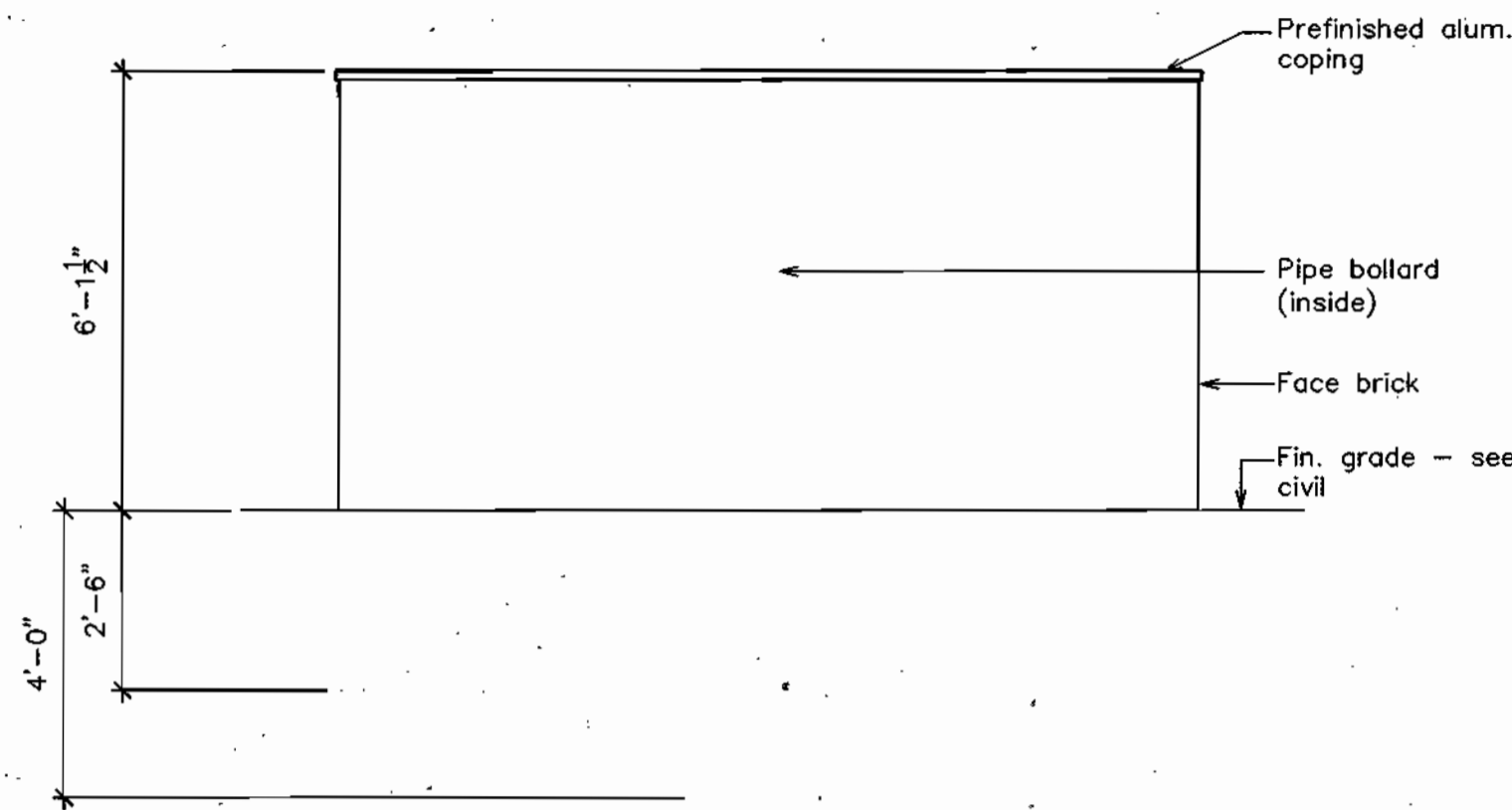
TITLE: **LANDSCAPE PLAN NOTES AND DETAILS**

PHRA
Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

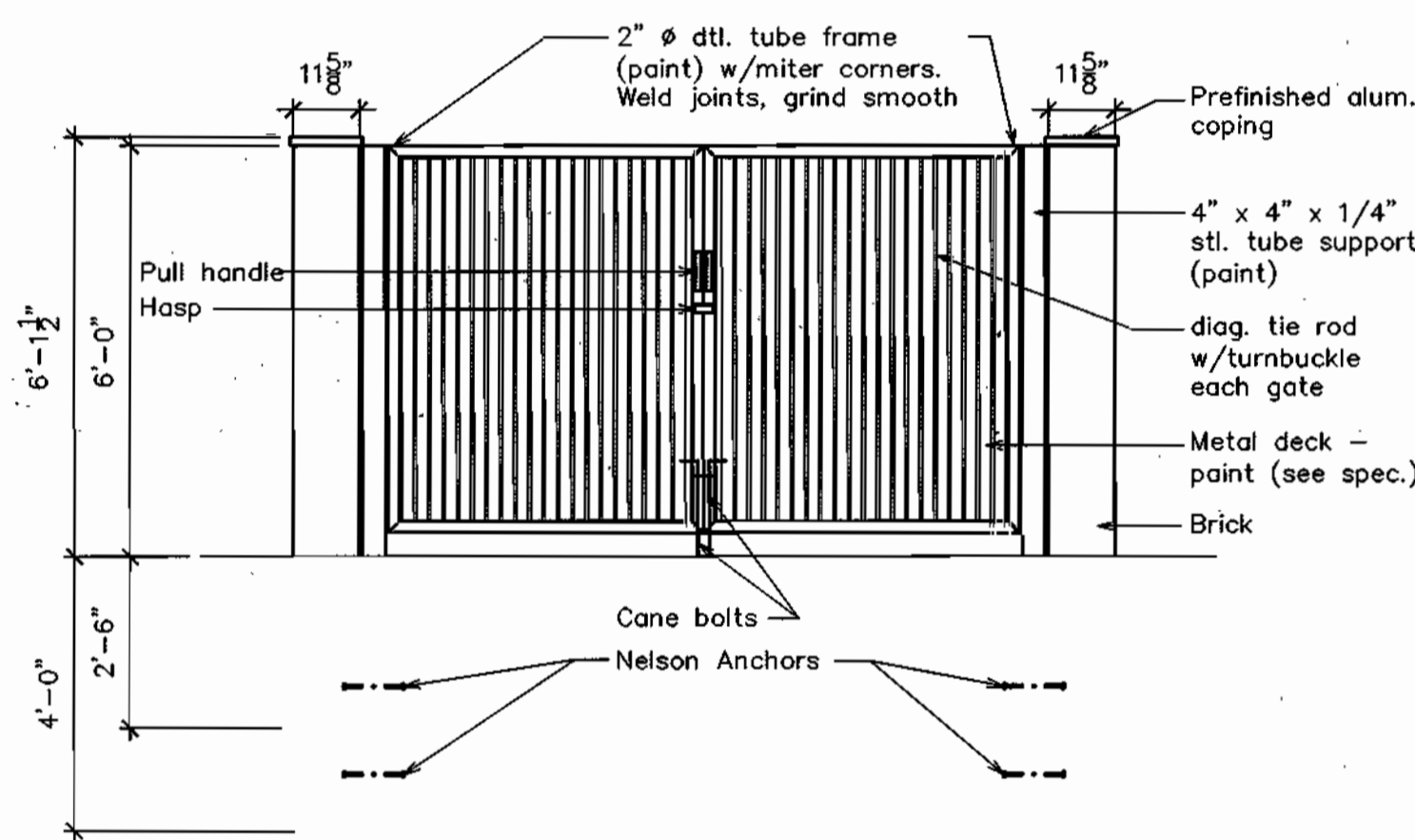
DATE: 6-18-03

DESIGNED BY: K.L.S.
DRAWN BY: K.L.S.
PROJECT NO.: 11791-1-0 LAND 1
DATE: JUNE 19, 2003
SCALE: 1" = 30'
DRAWING NO.: 6 OF 6

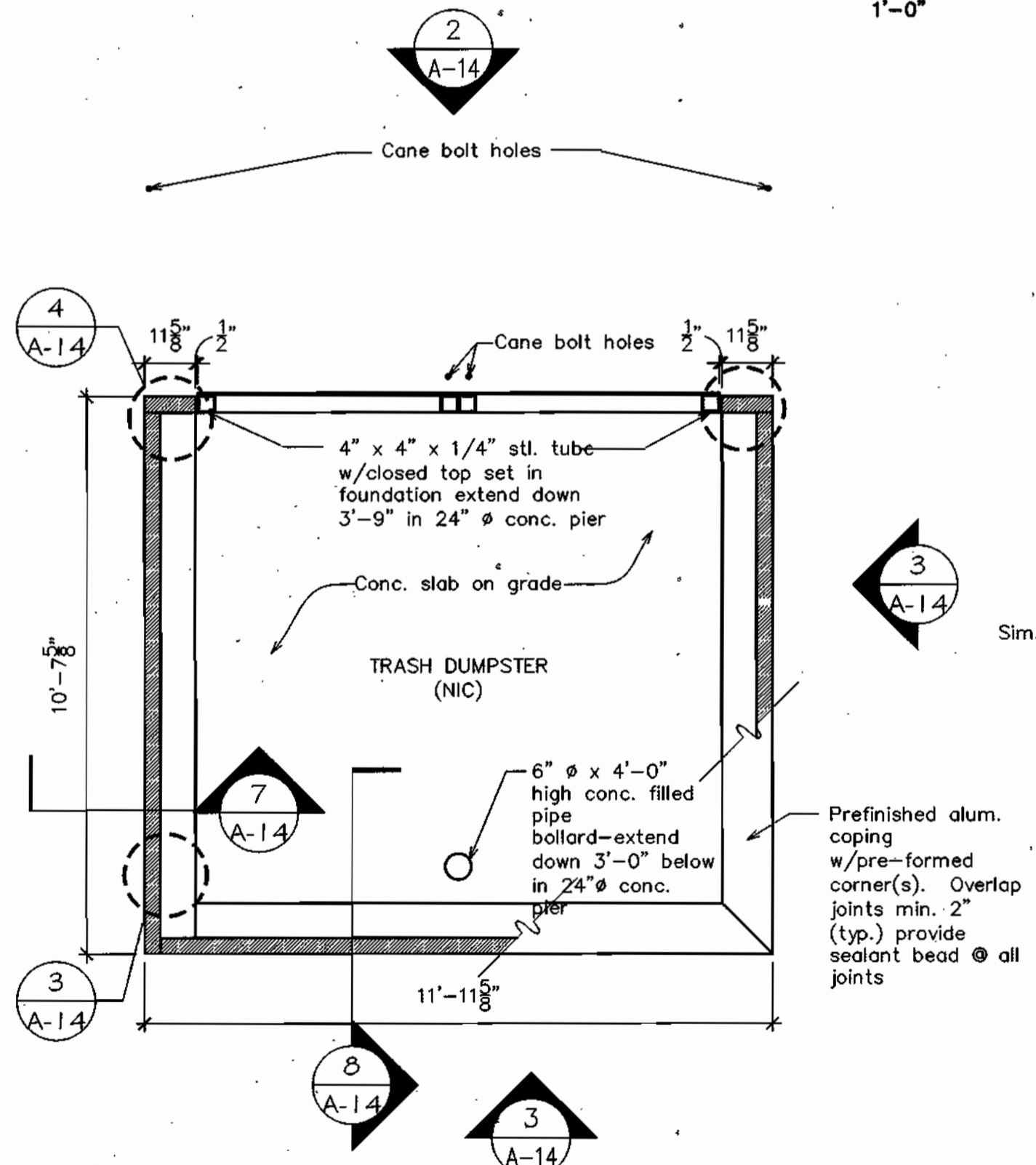
DAVID T. DOWS #830



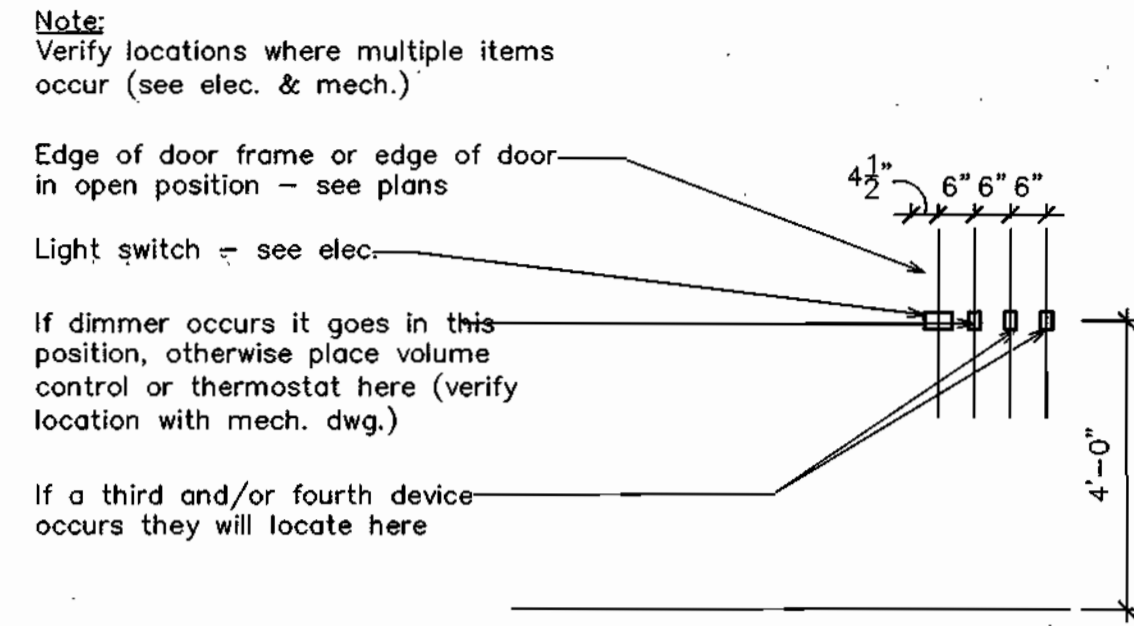
③ Dumpster Enclosure Rear Elevation (Sides Similar) Scale: 3/8" = 1'-0"



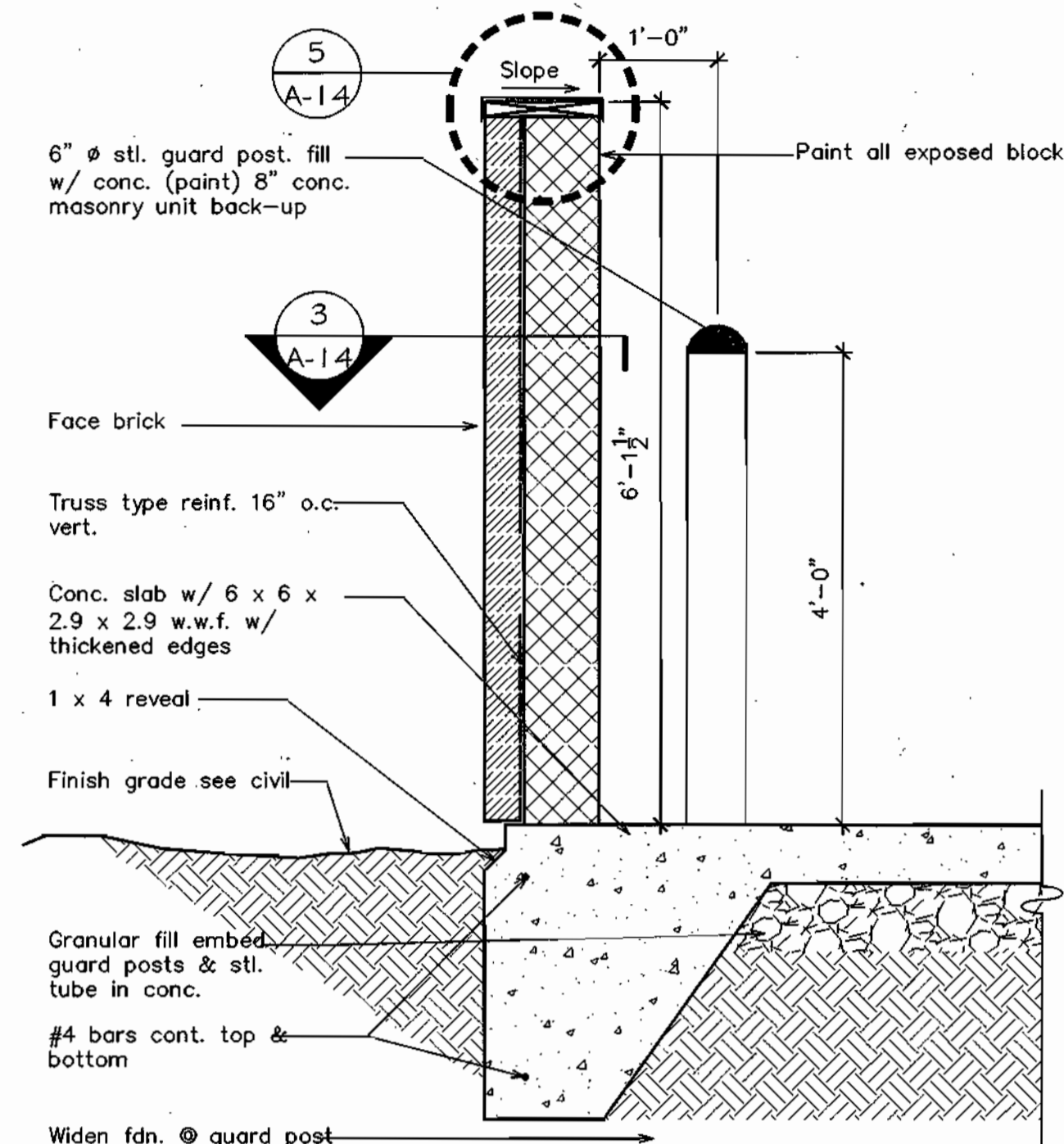
② Dumpster Enclosure Front Elevation Scale: 3/8" = 1'-0"



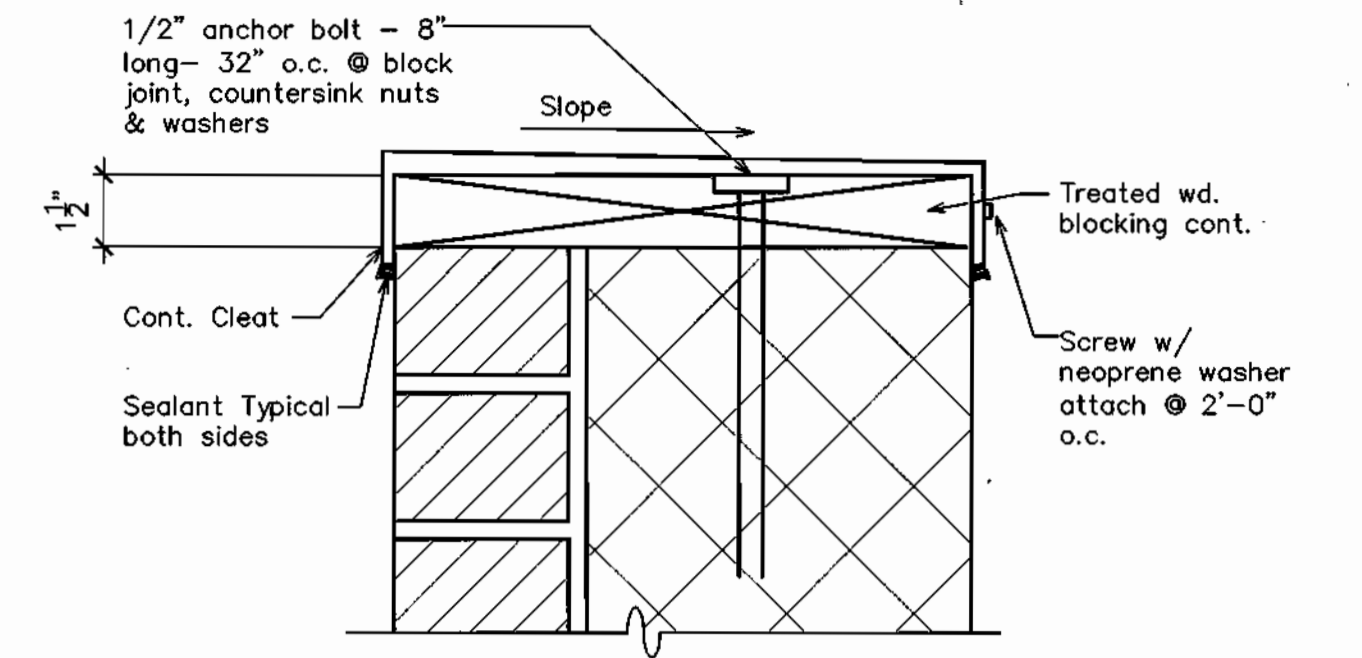
① Dumpster Enclosure Plan Scale: 3/8" = 1'-0"



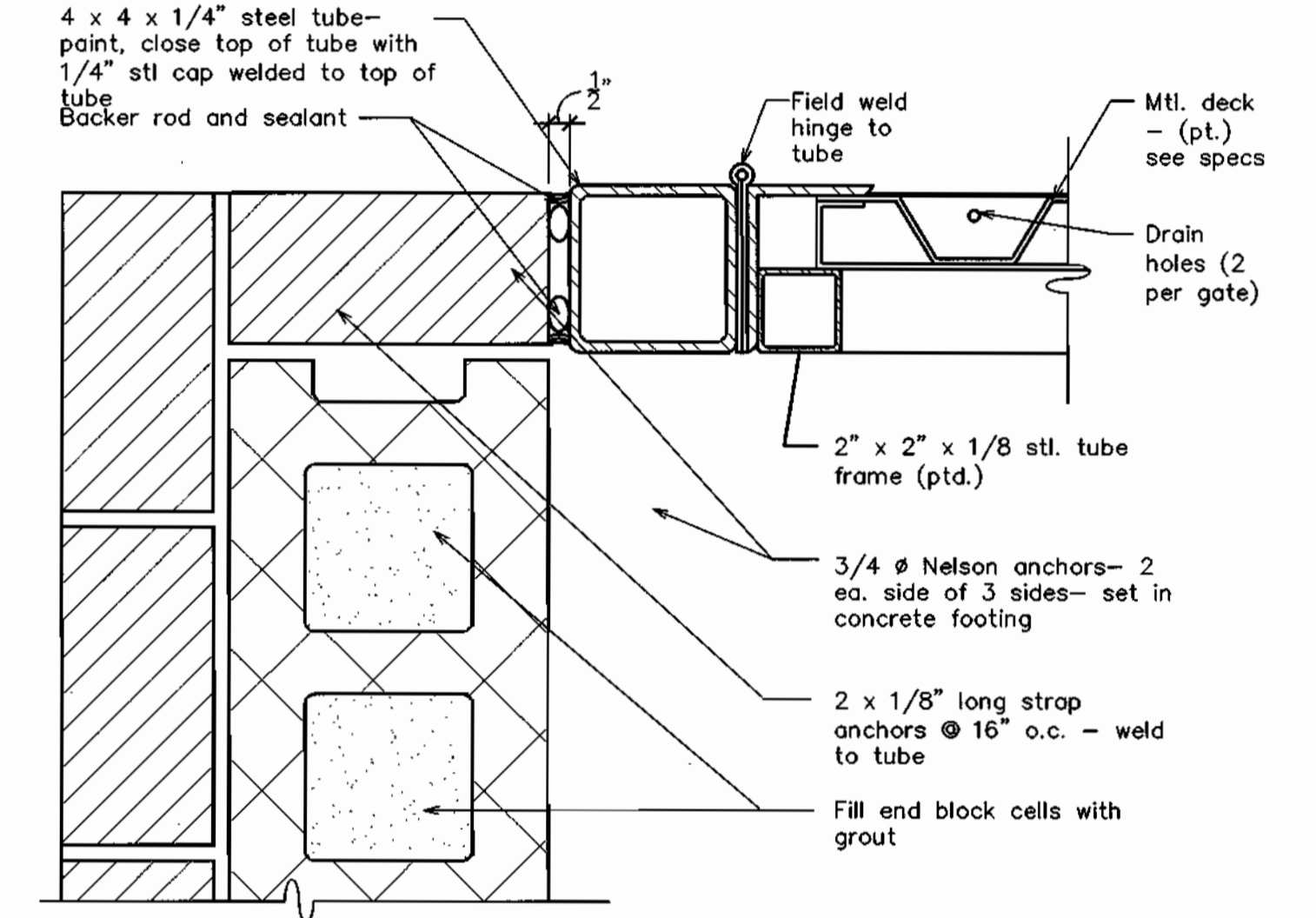
⑤ Typ. Control/Switch Mtg. @ Typ. Office Scale: 3/8" = 1'-0"



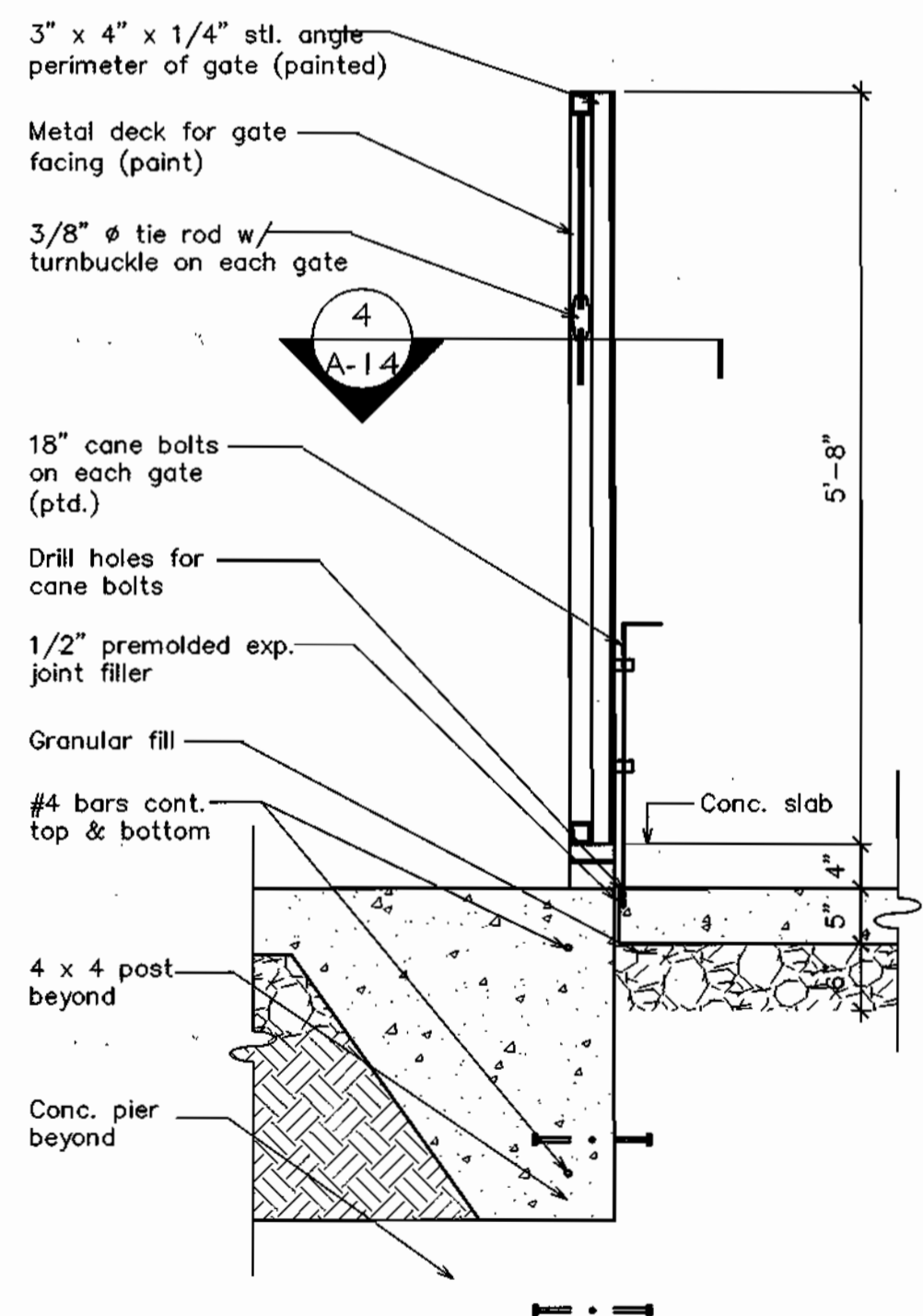
⑦ Section Through Wall (Looking @ Gate) Scale: 3/4" = 1'-0"



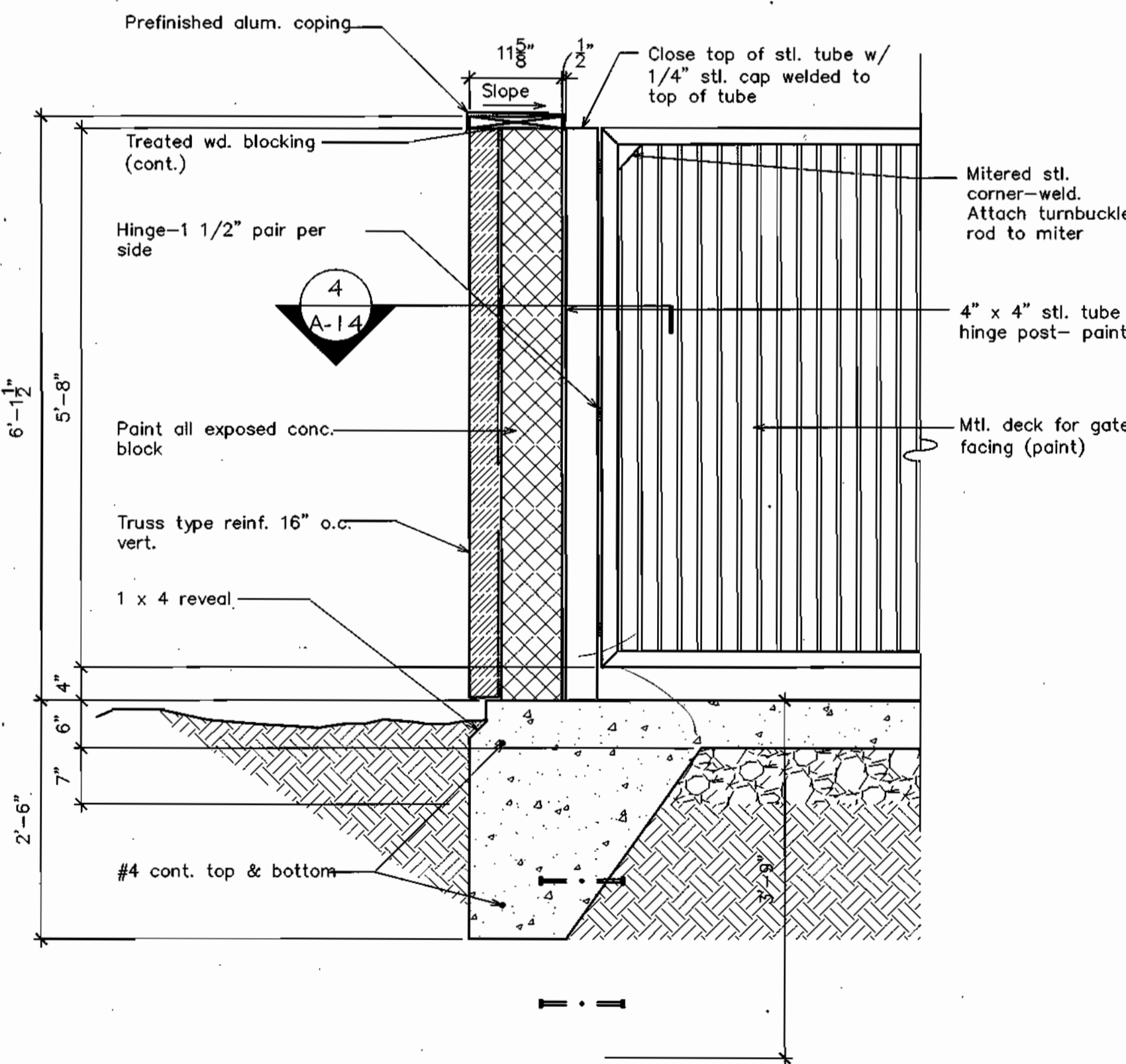
⑥ Detail Scale: 3" = 1'-0"



④ Plan Detail @ Gate Scale: 3" = 1'-0"



⑨ Section Through Gate Scale: 3/4" = 1'-0"



⑦ Section Through Wall (Looking @ Gate) Scale: 3/4" = 1'-0"

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 6/26/03
KJ

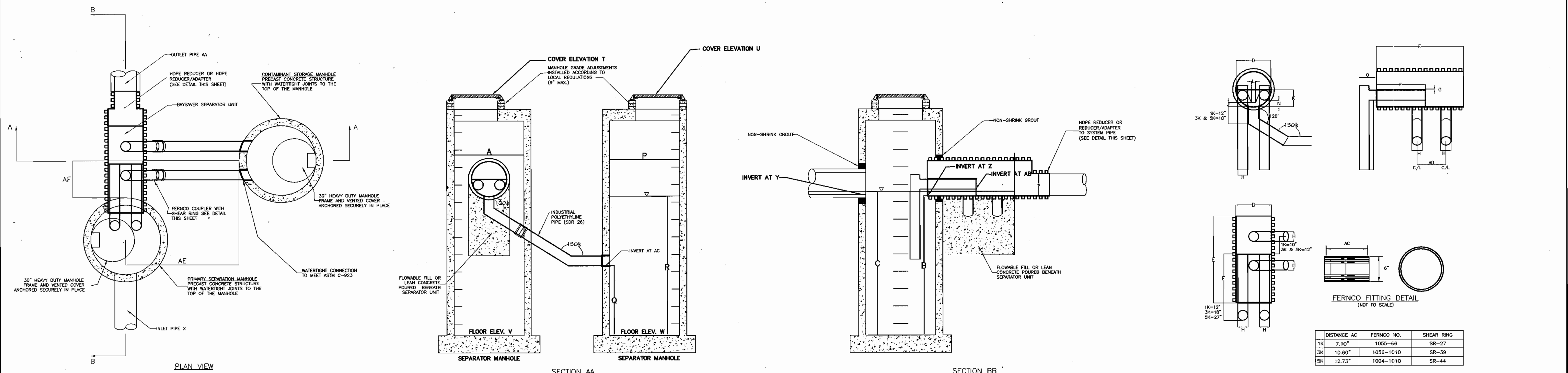
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
DIRECTOR: *Deborah McLaughlin* 7/6/03
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *Mike* 9/3/03
CHIEF, DIVISION OF LAND DEVELOPMENT: *Cindy Hamilton* 7/14/03

1-22-04 REVISOR SHEET NUMBER
OWNER / DEVELOPER: SNOWDEN PROFESSIONAL CENTER LLC, 10400 LITTLE PATUXENT PARKWAY, SUITE 280, COLUMBIA, MARYLAND 21044, 410-715-6800
PROJECT: ROUTE 175 COMMERCIAL, SECTION 1 AREA 2, PARCEL D-2
AREA: ROUTE 175 COMMERCIAL - PARCEL 521 PLAT NO. 15677, TAX MAP NO. 36, BLOCK 18 & TAX MAP NO. 37, BLOCK 13, 5th ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: DUMPSTER ENCLOSURE DETAILS

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

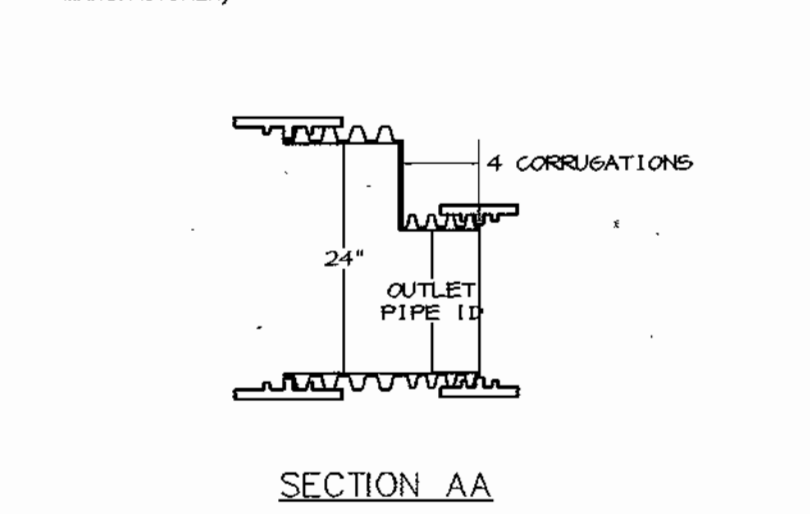
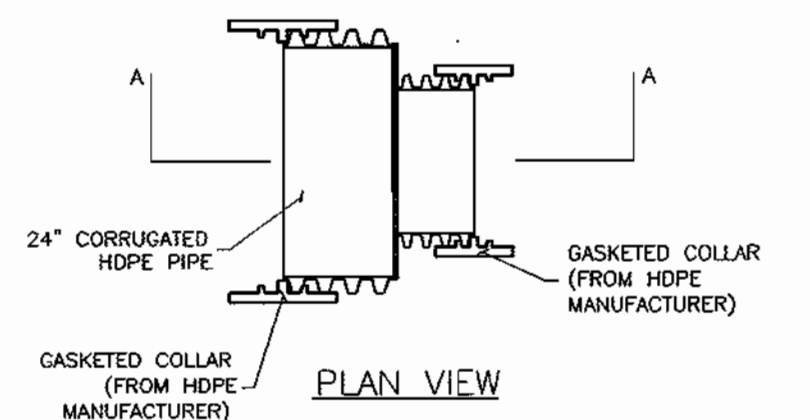
DATE: 7.20.02
DESIGNED BY: C.J.R.
DRAWN BY: DAM
PROJECT NO.: 11791-1-0
DATE: JUNE 19, 2003
SCALE: AS SHOWN
DRAWING NO. 7 OF 8
CHRISTOPHER J. REID #19949



DISTANCE AC	FERNCO NO.	SHEAR RING
1K	1055-66	SR-27
3K	1056-1010	SR-39
5K	1004-1010	SR-44

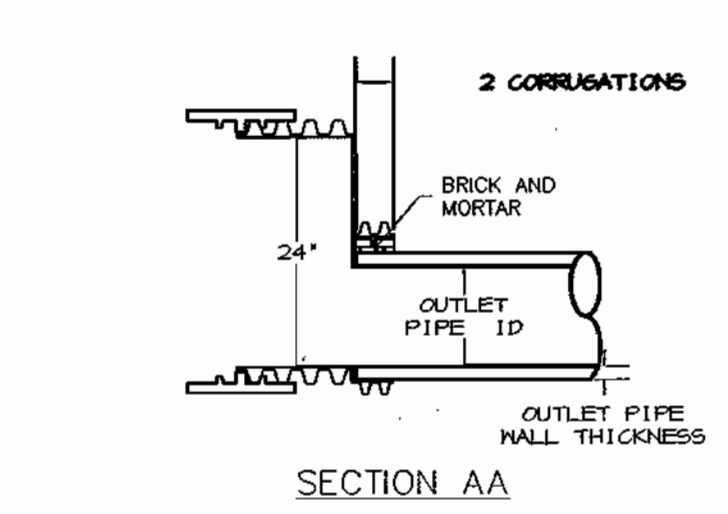
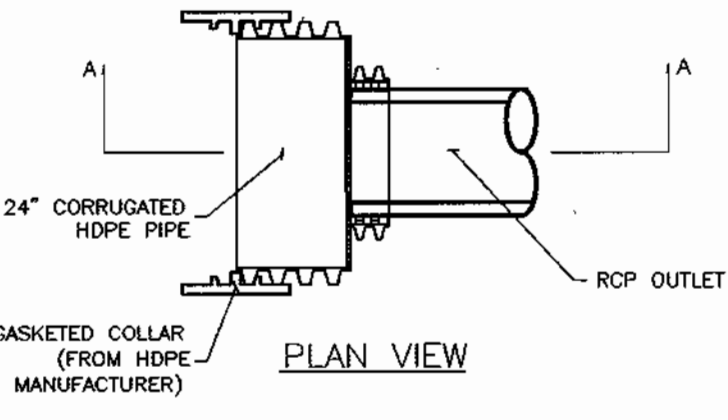
HDPE-HDPE REDUCER DETAIL

FOR USE WITH HDPE OUTLET PIPES
NOT TO SCALE



REDUCER/ADAPTER DETAIL

FOR USE WITH OUTLET PIPES OTHER THAN HDPE
NOT TO SCALE



SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR DUAL MANHOLE SEPARATORS

STAGE (X = APPROVAL REQUIRED)	DEVELOPER'S/ENGINEER APPROVAL		INSPECTOR		GEOLOGICAL ENGINEER	
	INITIALS	DATE	INITIALS	DATE	INITIALS	DATE
1. PRE-CONSTRUCTION MEETING.	X		X		X	
2. INSTALL MANHOLES AND ASSOCIATED STORM DRAINAGE: A. OBTAIN APPROVAL OF SUBGRADE FROM GEOLOGICAL ENGINEER. (SUBGRADE TO HAVE A MINIMUM OF 95% COMPACTION)			X			X
B. INSTALLATION OF PRECAST BASE, LOWER TANK AND LOWER PIPING.	X		X			
C. BACKFILL AND MIN. 95% COMPACTION AROUND LOWER TANK AND LOWER PIPING.					X	
D. INSTALLATION OF PRECAST MIDDLE SECTION(S) WITH SEPARATOR UNIT AND REMAINING PIPING.	X		X			
E. INSTALLATION OF PRECAST TOP SLAB.	X		X			
F. INSTALLATION OF ADJUSTMENT RINGS AND FRAME AND COVER.	X		X			
G. INSTALLATION OF FLOWABLE FILL OR CONCRETE BACKFILL.					X	
3. BACKFILLING OPERATION AND COMPACTION.					X	
4. SITE IS PERMANENTLY STABILIZED. SEDIMENT CONTROL MEASURES REMOVED AND ALL SEDIMENT AND DEBRIS REMOVED FROM DUAL MANHOLE SEPARATORS.			X			
5. FINAL INSPECTION.			X			

GENERAL CONSTRUCTION NOTES

- ALL WORK MUST BE DONE WITH REGARD FOR THE SAFETY OF THE CONSTRUCTION CREW.
- ALL WORK AND MATERIALS MUST COMPLY WITH APPLICABLE STATE AND LOCAL REGULATIONS.
- KNOW THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.

NOTE:
BAYSAYERS ARE TO BE INSTALLED WITH THE STORM DRAIN SYSTEM AND WILL FUNCTION AS SECONDARY SEDIMENT CONTROL DEVICES. UPON COMPLETION OF SITE STABILIZATION, EACH BAYSAYER SYSTEM SHALL BE FLUSHED CLEAN & THE MANHOLES CLEANED OUT AND REFILLED WITH CLEAN WATER.

NOTE: DIMENSIONAL SHOP DRAWINGS ARE TO BE APPROVED BY THE DESIGN ENGINEER

BAYSAYER MAINTENANCE

BAYSAYER SYSTEMS MUST BE INSPECTED AND MAINTAINED PERIODICALLY. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. MINIMUM INSPECTION IS REQUIRED TWICE A YEAR TO MAINTAIN OPERATION AND FUNCTION OF BAYSAYER.

MAINTENANCE CONSISTS OF THE FOLLOWING:

- CONTAMINANT STORAGE MANHOLE**
 - REMOVE THE ENTIRE VOLUME OF THE CONTAMINATED WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
- PRIMARY SEPARATOR MANHOLE**
 - USING A SUBMERSIBLE PUMP, PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY INTO THE EMPTY STORAGE MANHOLE UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
 - REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
 - CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
 - CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM TRUCK.

BAYSAYER INSTALLATION INSTRUCTIONS

- EXCAVATION MUST PROVIDE ADEQUATE SPACE TO CONNECT INLET AND OUTLET PIPES TO SEPARATOR MANHOLE AND BAYSAYER UNIT. INSTALL PRECAST DROP STRUCTURES ON SOLID GROUND AS VERIFIED BY A GEOLOGICAL ENGINEER.
- VERIFY THE SUBGRADE ELEVATION AGAINST THE MANHOLE DIMENSIONS AND CONNECTING STORM DRAIN INVERTS.
- MAKING SURE THE BASES ARE LEVEL AND THE STORAGE MANHOLE OPENINGS ARE ALIGNED WITH THE SEPARATOR UNIT. INSTALL PRIMARY AND STORAGE MANHOLES. INSTALL RUBBER GASKETS ON BASE UNITS AND COAT WITH LUBRICATING GREASE. INSTALL ADDITIONAL MANHOLE SECTIONS AS REQUIRED. SEAL LIFT HOLES WITH NON-SHRINK GROUT.
- BACKFILL BASE SECTIONS OF MANHOLES TO INVERT OF STORAGE MANHOLE CONNECTING PIPES. USING APPROVED BACKFILL MATERIAL. BACKFILL AND COMPACT IN 6 INCH LIFTS. BACKFILL AND COMPACTION SHOULD BE MONITORED BY A GEOLOGICAL ENGINEER.
- INSTALL BAYSAYER SEPARATOR UNIT AND CONNECTING PIPES. SEAL ALL CONNECTING JOINTS AND INSTALL SEPARATOR UNIT/STORM DRAIN JOINT COLLAR. CUT EXCESS LENGTH OFF CONNECTING PIPES INSIDE STORAGE MANHOLE.
- BACKFILL SEPARATOR UNIT AND MANHOLES. AREAS NOT ACCESSIBLE TO COMPACTION EQUIPMENT MUST BE BACKFILLED WITH LEAN CONCRETE OR FLOWABLE FILL.
- INSTALL AND SET MANHOLE COVER GRADE ADJUSTMENT RINGS AS NECESSARY.
- INSTALL AND SET MANHOLE FRAME AND COVER UNITS.

BAYSAYER SYSTEM DIMENSIONS

DESCRIPTION	1K SYSTEM	3K SYSTEM	5K SYSTEM
SEPARATOR MANHOLE DIMENSIONS			
A PRIMARY MANHOLE DIAMETER	48"	60"	96"
B MANHOLE DEPTH BELOW OUTLET	8' - 0"	8' - 0"	8' - 0"
C MINIMUM FLOOD DEPTH	3' - 3"	8' - 4 1/2"	8' - 6"
STANDARD SEPARATOR UNIT DIMENSIONS			
D SEPARATOR UNIT ID	24"	36"	48"
E SEPARATOR UNIT LENGTH	60"	80.0"	78"
F BYPASS PLATE LENGTH	34"	45"	45"
G WEIR/BYPASS PLATE THICKNESS	3/4"	3/4"	3/4"
H ELBOW AND CONNECTING PIPE OD	7.125"	10.75"	12.75"
I ELBOW LENGTH	48"	48"	48"
J WEIR HEIGHT ABOVE INVERT	3"	4"	6"
K BYPASS PLATE HEIGHT ABOVE INVERT	12"	18"	24"
L WIDTH OF WEIR AT BASE	3"	4 1/2"	6"
M OUTLET PIPE DIAMETER	M	M	M
N ELBOW INVERT HEIGHT ABOVE UNIT INVERT	4 1/2"	7 1/2"	11"
O ELBOW PIPE OVERHANG	12"	18"	24"
STORAGE MANHOLE DIMENSIONS			
P STORAGE MANHOLE DIAMETER	48"	60"	96"
Q MANHOLE DEPTH BELOW INLET/OUTLET	48"	48"	48"
R FLUID DEPTH	8' - 0"	8' - 0"	8' - 0"
S TOTAL STORAGE VOLUME	200 CF	300 CF	450 CF
SYSTEM DIMENSIONS AND ELEVATIONS			
T SEPARATOR MANHOLE COVER ELEVATION	T	T	T
U STORAGE MANHOLE COVER ELEVATION	U	U	U
V SEPARATOR MANHOLE FLOOR ELEVATION	V	V	V
W STORAGE MANHOLE FLOOR ELEVATION	W	W	W
X INLET PIPE ID AND MATERIAL	X1	X1	X1
Y INLET PIPE INVERT	Y1	Y1	Y1
Z SEPARATOR UNIT INVERT	Z	Z	Z
AA OUTLET PIPE ID AND MATERIAL	AA	AA	AA
AB ELBOW INVERT ELEVATION	AB	AB	AB
AC CONNECTING PIPE INVERT ELEVATION	AC	AC	AC
AD CONNECTION PIPE SPACING	20"	24"	24"
AE STORAGE MANHOLE SIDE OFFSET	72 ± 6"	72 ± 6"	72 ± 6"
AF STORAGE MANHOLE DOWNSTREAM OFFSET	25"	31"	25"

OPERATION AND MAINTENANCE SCHEDULE FOR BAYSAYER UNITS

- BAYSAYER STRUCTURES WILL REQUIRE PERIODIC INSPECTION AND CLEANING TO MAINTAIN OPERATION AND FUNCTION. OWNERS WILL HAVE THE BAYSAYER UNIT INSPECTED YEARLY OR AS REQUIRED BY HOWARD COUNTY, UTILIZING THE BAYSAYER UNITS INSPECTION/MONITORING FORM. INSPECTIONS CAN BE DONE BY USING A CLEAR FLEXIGLAS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN SEDIMENT DEPTHS EXCEED THE SPECIFIED LEVEL (TABLE 6 OF TECHNICAL MANUAL) THEN CLEANING OF THE UNIT IS REQUIRED.
- BAYSAYER STRUCTURES MUST BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. CONTACT APPROPRIATE REGULATORY AGENCIES.
- MAINTENANCE OF BAYSAYER UNITS SHOULD BE DONE BY A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS, AND OTHER MATERIALS IN THE UNIT. THE PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED.
- INLET AND OUTLET PIPES MUST BE CHECKED FOR ANY OBSTRUCTIONS AND IF ANY OBSTRUCTIONS ARE FOUND THEY MUST BE REMOVED. STRUCTURAL PARTS OF THE BAYSAYER WILL BE REPAIRED AS NEEDED.
- OWNER SHALL RETAIN AND MAKE BAYSAYER UNITS INSPECTION/MONITORING FORMS AVAILABLE TO HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

Baysaver Separator Unit	Baysaver Manhole Sizes (prim. x stor.)	Maximum Treatment (cfs)*1	Maximum Treatment (gpm)*1	Impervious Area (acres)
1K Baysaver Separator	48x48	2.4	1076	1.2
	48x60	2.4	1076	1.4
	48x72	2.4	1076	1.6
	60x60	2.4	1076	1.5
3K Baysaver Separator	60x60	7.2	3231	3.6 WQ-1
	60x72	7.2	3231	4.1
	60x84	7.2	3231	4.6
	72x72	7.2	3231	4.4
5K Baysaver Separator	72x72	11.1	4981	5.5
	72x84	11.1	4981	6.5
	72x96	11.1	4981	7.5
	96x96	11.1	4981	8.0

Project: RT 175 COMM Designer: PHRIA
 Address: 10400 LITTLE PATUXENT PARKWAY Contact: CHRIS REID
COLUMBIA, MD 21044 Phone: 410-997-8900
 Fax: 410-997-9282

Delivery Date: _____

Owner: SNOWDEN PROF CTR Contractor: _____
 Contact: _____ Address: _____
 Address: COLUMBIA, MD Phone: _____
410-715-6800 Fax: _____

Separator Unit Model:

1K

3K

5K

Circle system orientation above

Manhole Specifications:

Primary Manhole Diameter: 60 inches
 Storage Manhole Diameter: 60 inches

Floor Elevations:
 Primary Manhole 361.15
 Storage Manhole 361.15

Primary Manhole Inverts:
 Separator Unit 369.25
 Inlet Pipe(s) 369.25

361.15

Please show orientation (including angle), size and material of inlet pipes above.

Cover Elevations:
 Primary Manhole 375.5
 Storage Manhole 371.0 WQ-1/WQ-1A

This order can be faxed to Bay Saver, Inc. at (301) 829-3747

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Howard A. Cagle 2/13/14
DIRECTOR DATE

Chris Reid 2/9/14
CHIEF, DEVELOPMENT ENGINEERING DIVISION MK DATE

Chris Hamilton 2/11/14
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

1/22/04 ADDED SHEET

DATE NO. REVISION

OWNER / DEVELOPER
 SNOWDEN PROFESSIONAL CENTER LLC
 10400 LITTLE PATUXENT PARKWAY SUITE 280
 COLUMBIA, MARYLAND 21044
 410-715-6800

PROJECT **ROUTE 175 COMMERCIAL**
 SECTION 1 AREA 2
 PARCEL D-2

AREA ROUTE 175 COMMERCIAL - PARCEL 521 PLAT NO. 15677
 TAX MAP NO. 36, BLOCK 18 & TAX MAP NO. 37, BLOCK 13
 6th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

TITLE
BAYSAYER DETAILS

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

1.22.04
 DATE

DESIGNED BY: C.J.R.

DRAWN BY: DAM

PROJECT NO 11791-1-0
 C-DETAILS3

DATE: JANUARY 22, 2004

SCALE: AS SHOWN

DRAWING NO. 8 OF 8

CHRISTOPHER J. REID #19949