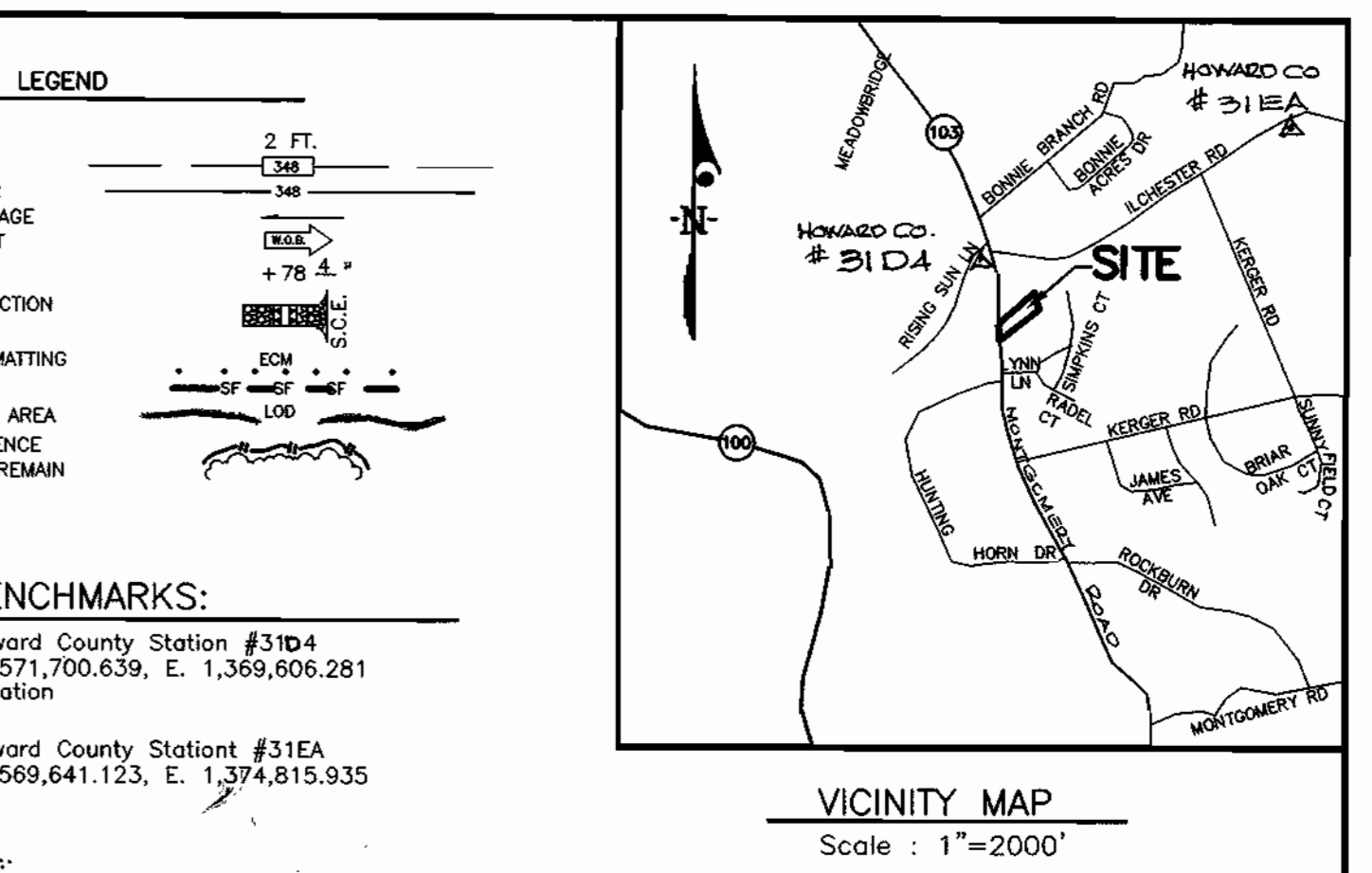
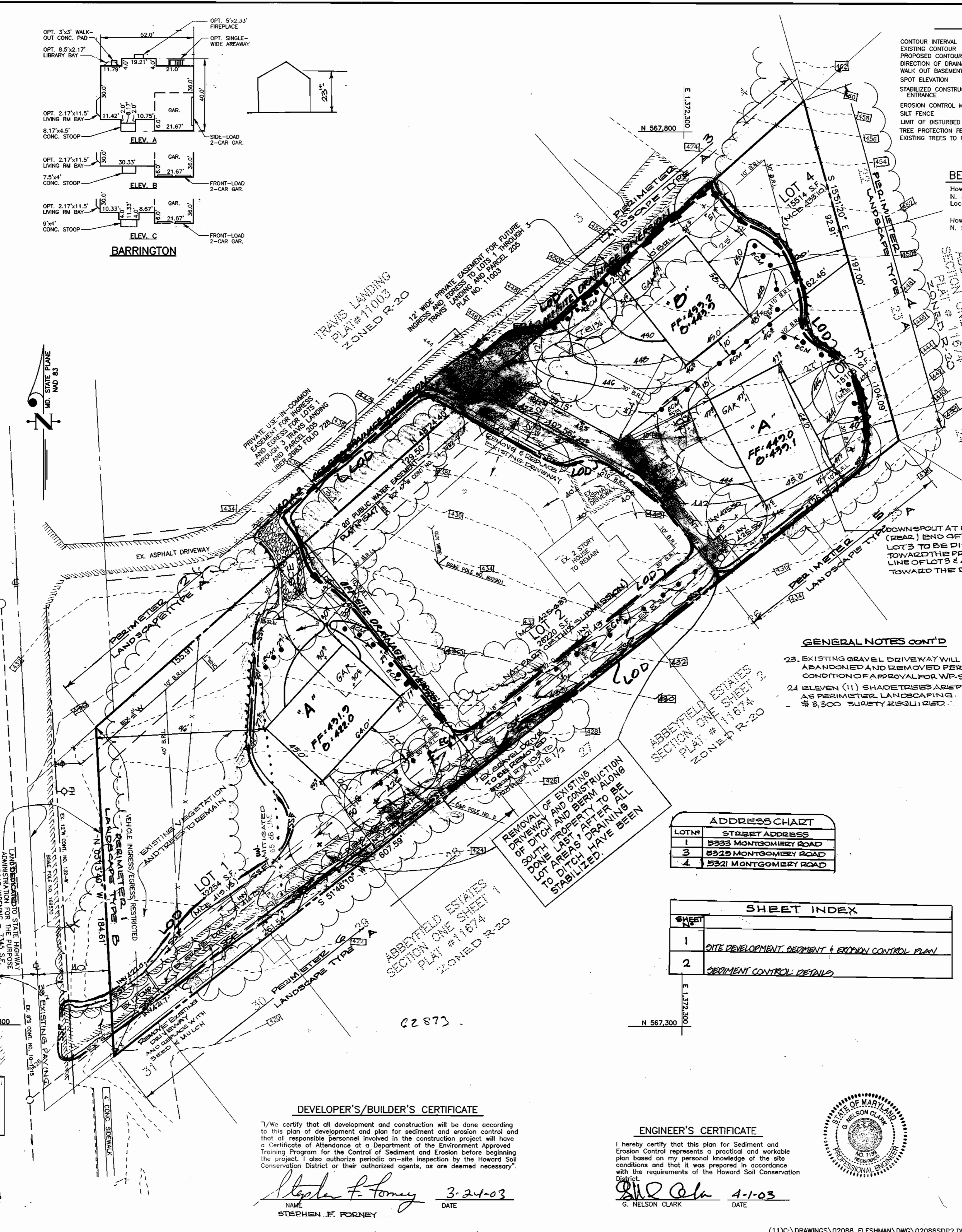


APPROVED: DEPARTMENT OF PLANNING & ZONING
 9/30/03
 DATE

APPROVED: DIVISION OF LAND DEVELOPMENT
 10/6/03
 DATE

APPROVED: HOWARD S.C.D.
 9/25/03
 DATE

APPROVED: JOHN K. ROBERTSON
 9/25/03
 DATE



LEGEND

- CONTOUR INTERVAL: 2 FT.
- EXISTING CONTOUR: 2 FT.
- PROPOSED CONTOUR: 2 FT.
- DIRECTION OF DRAINAGE: 2 FT.
- WALK OUT BASEMENT: 2 FT.
- SPOT ELEVATION: 2 FT.
- STABILIZED CONSTRUCTION: 2 FT.
- ENTRANCE: 2 FT.
- EROSION CONTROL MATTING: 2 FT.
- SILT FENCE: 2 FT.
- LIMIT OF DISTURBED AREA: 2 FT.
- TREE PROTECTION FENCE: 2 FT.
- EXISTING TREES TO REMAIN: 2 FT.

BENCHMARKS:

Howard County Station #31D4
 N. 571,700.639, E. 1,369,606.281
 Location

Howard County Station #31EA
 N. 569,641.123, E. 1,374,815.935
 Location

GENERAL NOTES:

- Subject property is zoned: R-20 per the 10/6/03 Comprehensive Zoning Plan.
- The total area included in this submission is: 0.2285 SF (the limit of disturbed area proposed for Lots 1, 2, 3 & 4 is 0.334 A).
- The total number of lots included in this submission is: 4.
- Improvement to property: Single Family Detached.
- Department of Planning and Zoning reference file numbers: F-99-192, W-99-126.
- Utilities shown as existing are taken from approved Water and Sewer plans Contract 14-3792-D, 10-215 & 132-W.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was field run by Clark, Finefrock and Sackett on Nov., 2002.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 31D4 & 31EA.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least 5 days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
- In accordance with Section 128 of the Ho. Co. zoning regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
- The minimum setbacks for structures shall be as shown on plat #15447.
- Access to and from this subdivision was granted by a private use-in-common easement through the adjacent Travis Landing subdivision, plat #11003, recorded Nov. 1993.
- Forest Conservation requirements have been met by payment of fee-in-lieu in the amount of \$7,841 per F-99-192.
- Open Space requirement has been met by payment of fee-in-lieu in the amount of \$4,500 per F-99-192.
- There are no 100 year floodplains or wetlands on the site.
- Driveway shall be constructed prior to issuance of a building permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width - 14 feet
 - Surface - 6 inches of compacted crusher run base with tar and chip coating
 - Geometry - Maximum 15% grade, maximum 10% grade change and minimum of 45 foot turning radius.
 - Structures (culverts/bridges) - Capable of supporting 25 gross tons (H25 Loading).
 - Drainage Elements - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances - Minimum 12 feet.
 - Maintenance - Sufficient to insure all weather use.
- As a consequence of its submission on March 27, 2002, this S.O.P. is subject to the 5th Edition of the Subdivision and Land Development Regulations.
- EXISTING VEGETATION SHALL BE ADJACENT TO MONUMENTS RIGHT OF WAY TO BE DETERMINED IN ORDER TO PROVIDE A VISUAL BUFFER FROM THE DRIVEWAY TO SITE 103.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans and/or approved Water and Sewer Plans Contract # 14-3792-D.

GENERAL NOTES CONT'D

- EXISTING GRAVEL DRIVEWAY WILL BE ABANDONED AND REMOVED PER A CONDITION OF APPROVAL FOR W-99-126
- EXISTING VEGETATION SHALL BE ADJACENT TO MONUMENTS RIGHT OF WAY TO BE DETERMINED IN ORDER TO PROVIDE A VISUAL BUFFER FROM THE DRIVEWAY TO SITE 103.
- EXISTING VEGETATION SHALL BE ADJACENT TO MONUMENTS RIGHT OF WAY TO BE DETERMINED IN ORDER TO PROVIDE A VISUAL BUFFER FROM THE DRIVEWAY TO SITE 103.

ADDRESS CHART

LOT#	STREET ADDRESS
1	5933 MONTGOMERY ROAD
2	5925 MONTGOMERY ROAD
3	5921 MONTGOMERY ROAD
4	5921 MONTGOMERY ROAD

SHEET INDEX

SHEET	DESCRIPTION
1	SITE DEVELOPMENT, SEDIMENT & EROSION CONTROL PLAN
2	SEDIMENT CONTROL DETAILS

DEVELOPER'S/BUILDER'S CERTIFICATE

I, Stephen F. Poorney, certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.

NAME: Stephen F. Poorney DATE: 3-24-03

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

NAME: G. Nelson Clark DATE: 4-1-03

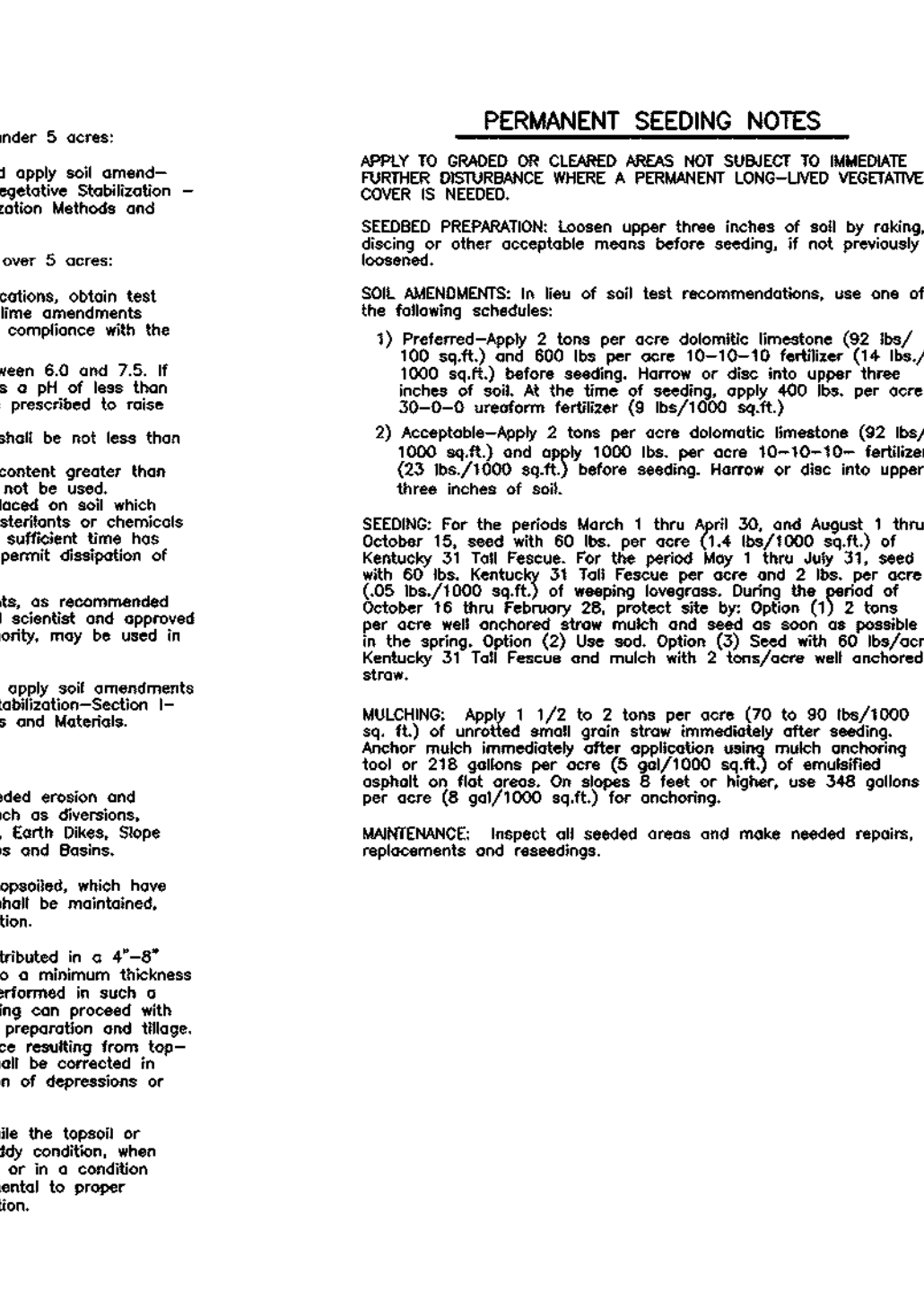
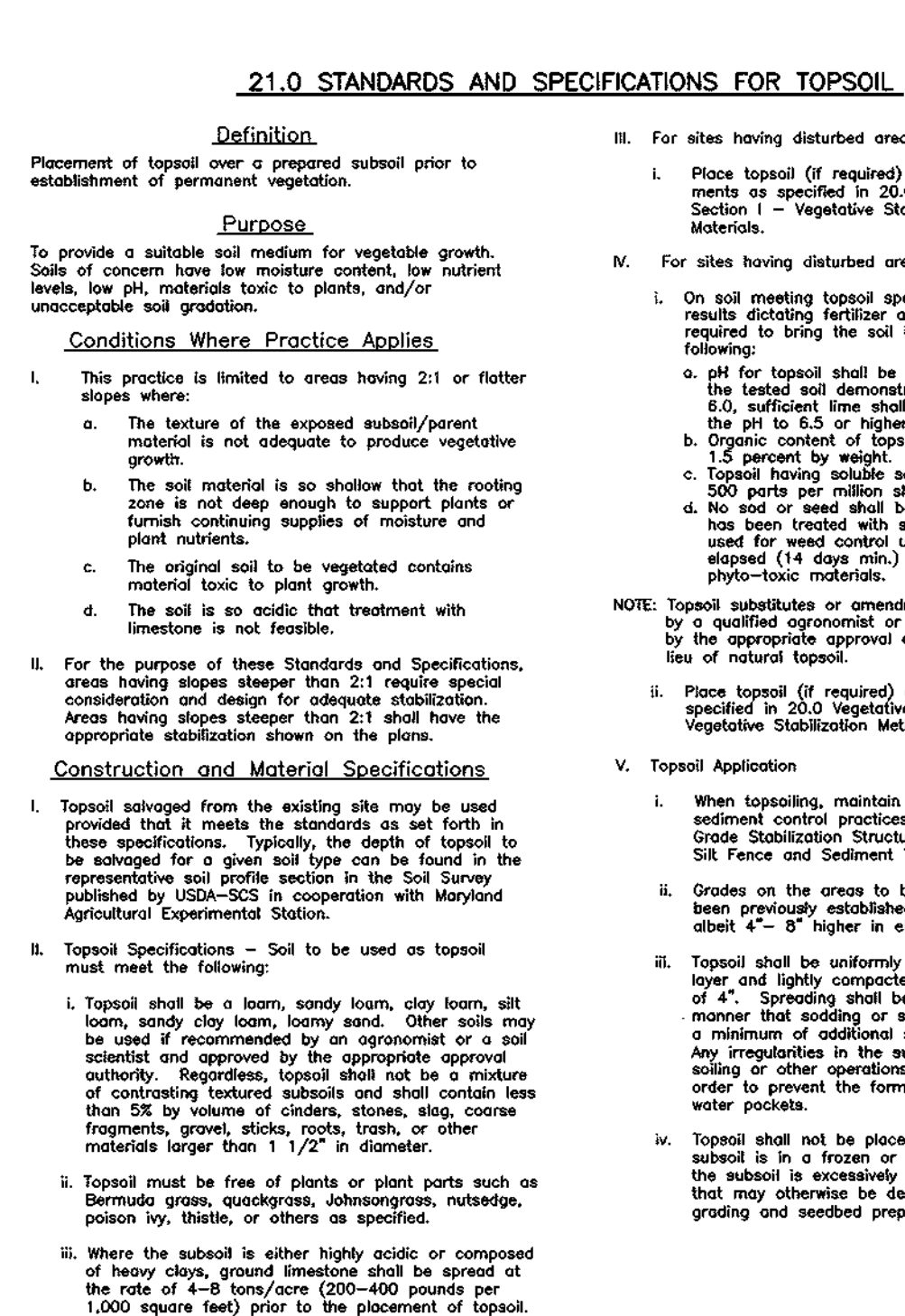
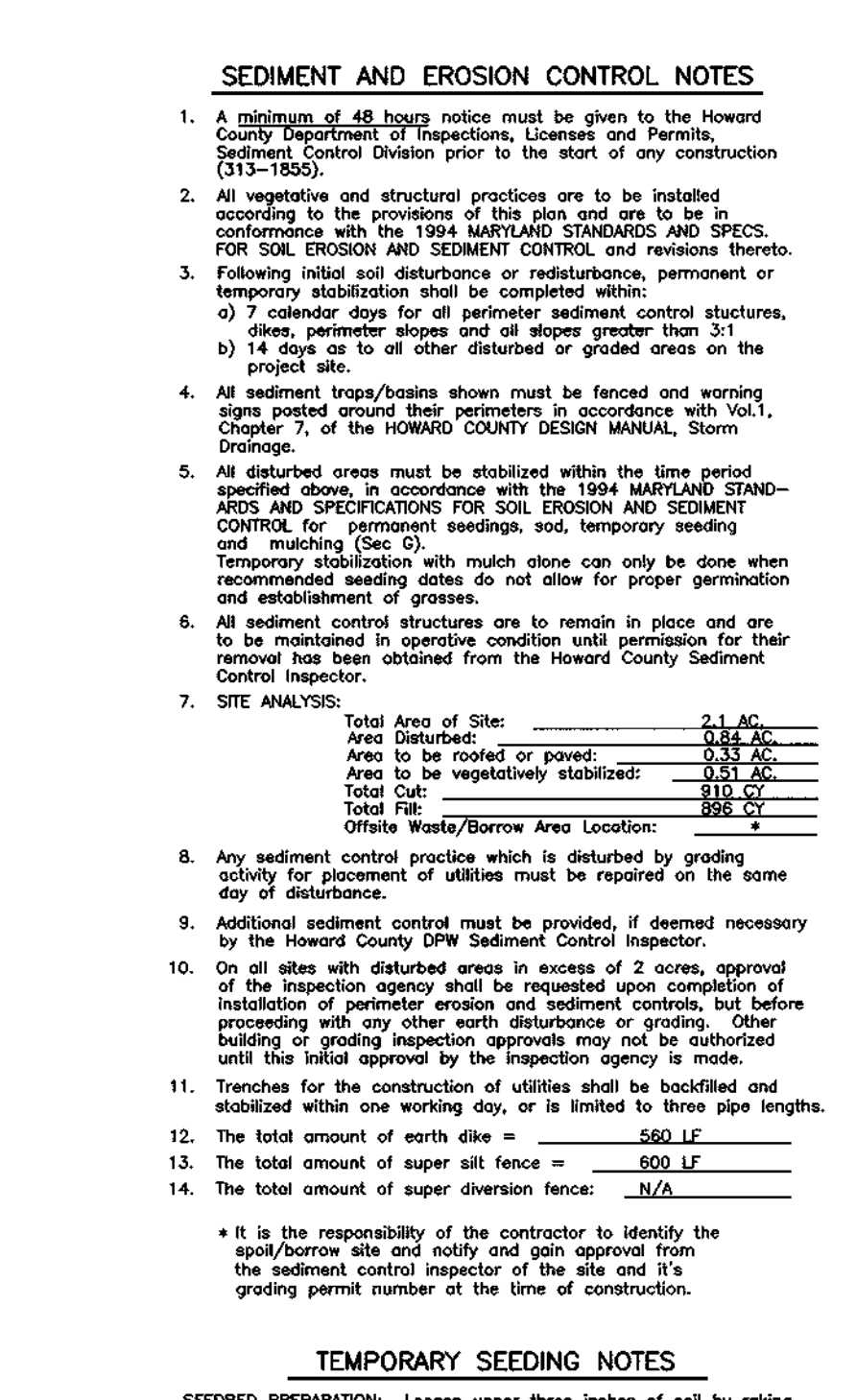
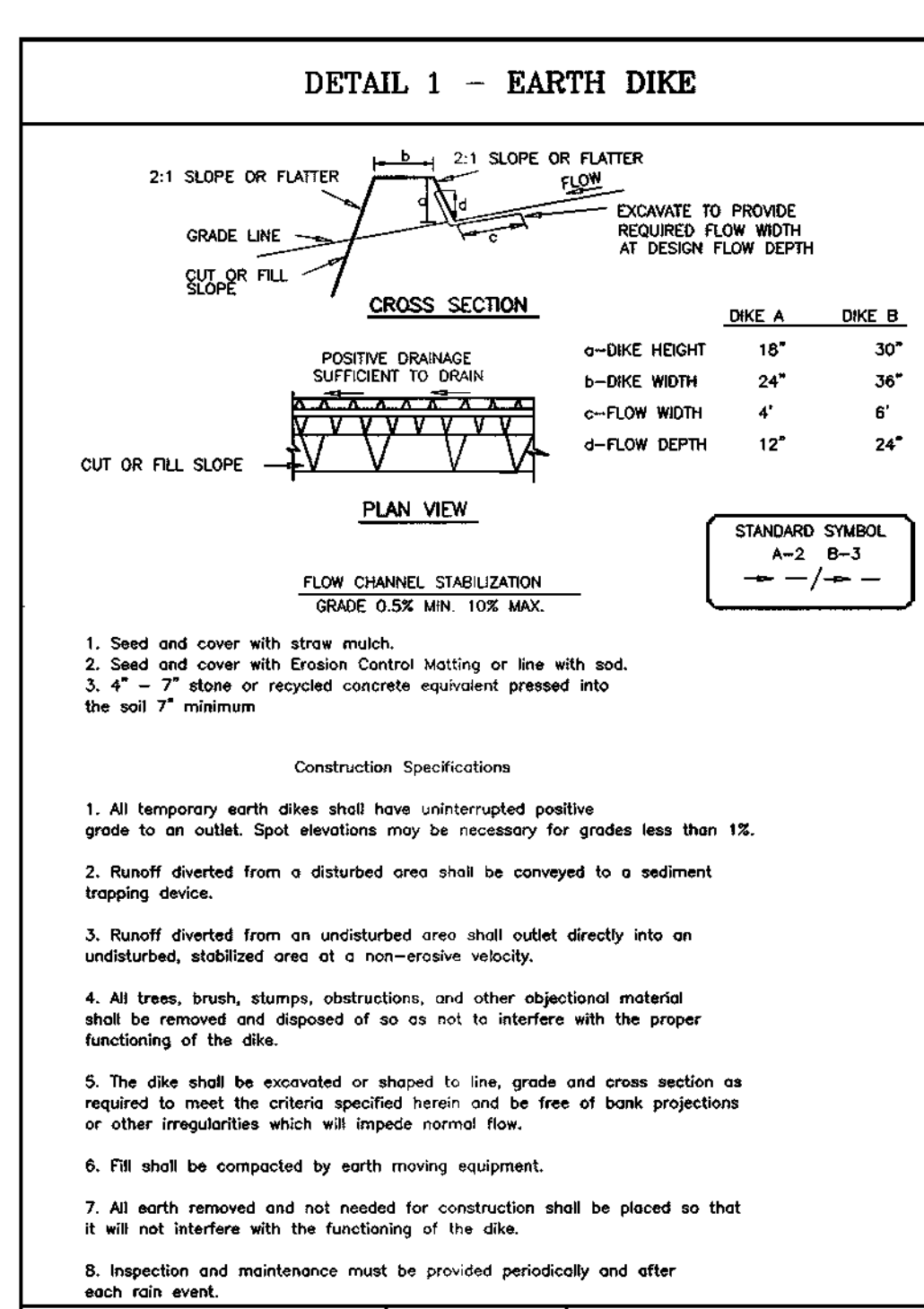
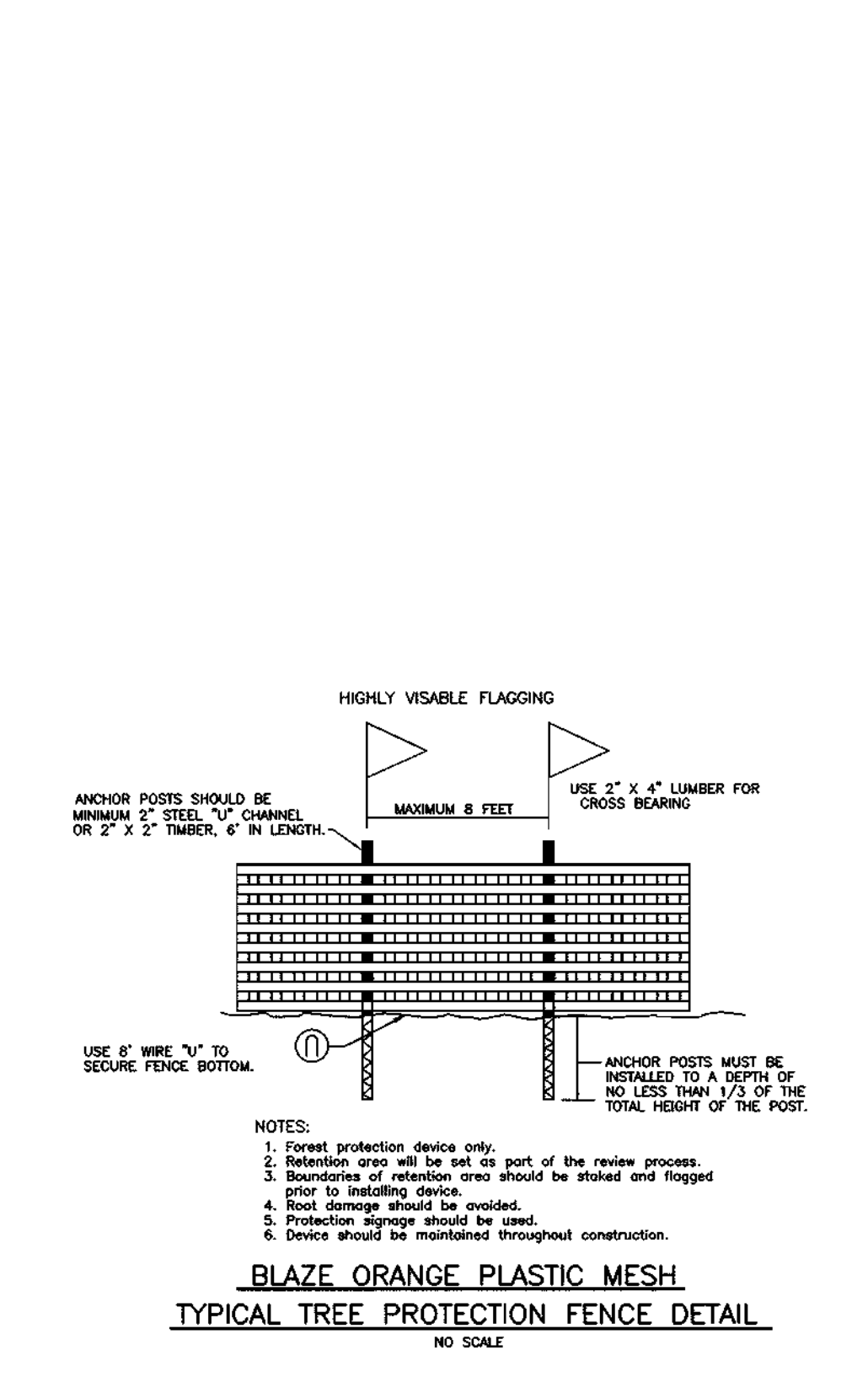
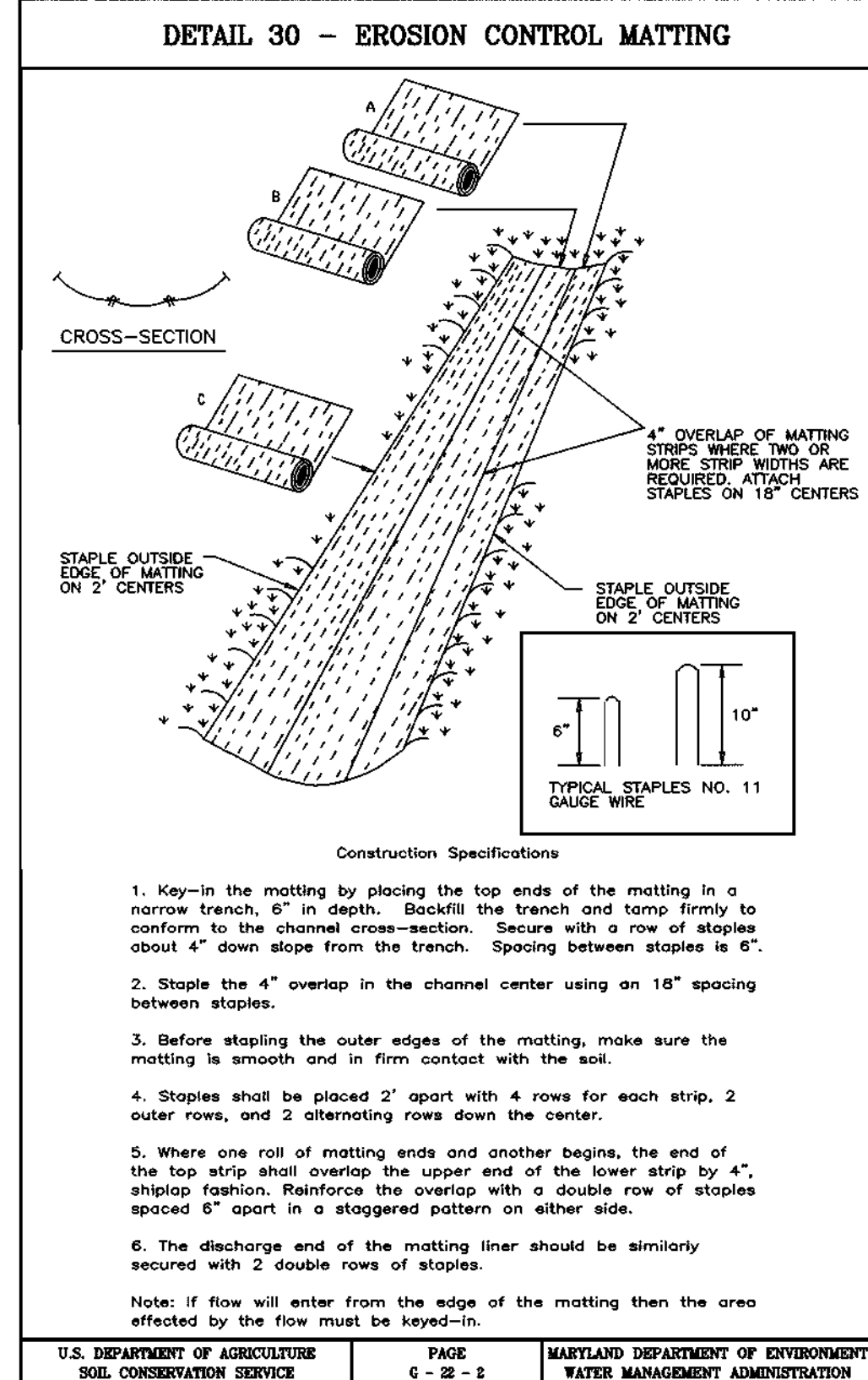
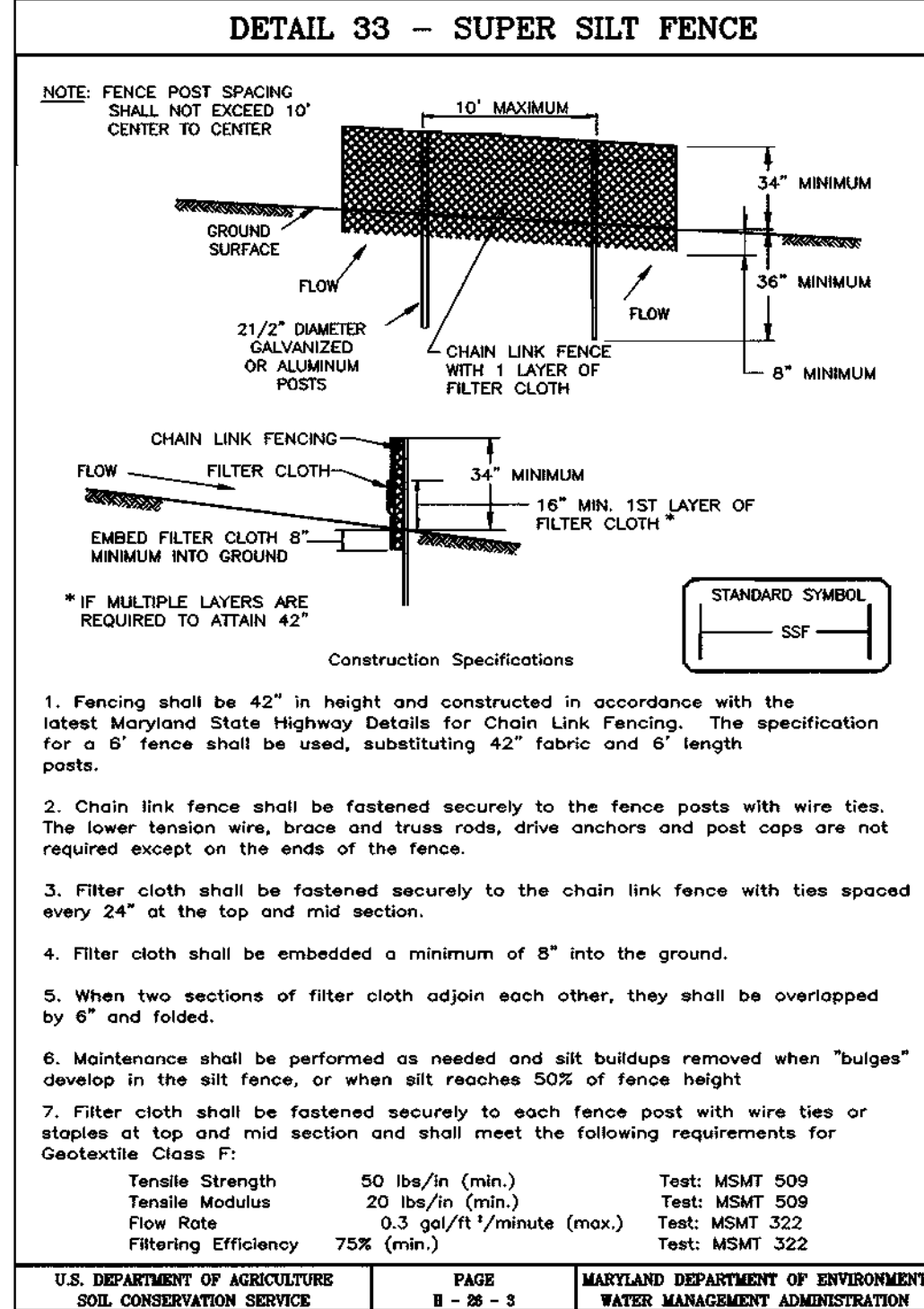
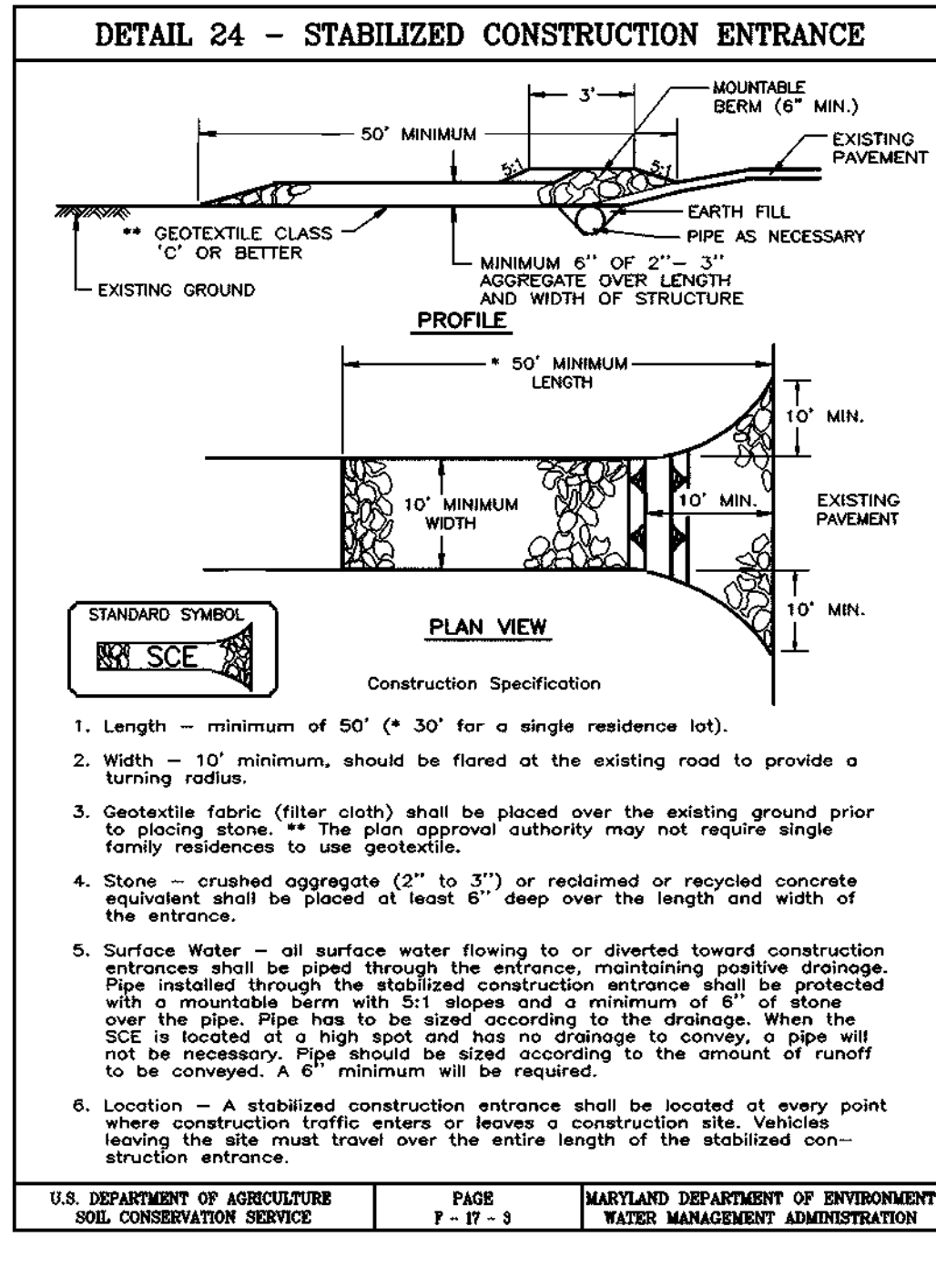
OWNER/DEVELOPER
 HAMILTON REED, LLC
 8000 MAIN STREET
 ELLICOTT, MARYLAND 21043

SUBDIVISION NAME		SECTION/AREA	LOTS/PARCELS
FLESHMAN PROPERTY		N/A	1, 3 & 4 / 205
PLAT NR	BLOCK NR	ZONE	TAX MAP NR
15447	20	R-20	31
WATER CODE		SEWER CODE	
D.03		2.155000	

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED	SCALE
BC/RMT	1" = 30'
DRAWN	DRAWING
JPH	1 OF 2
CHECKED	JOB NO.
P.A.R.	02-088
DATE	FILE NO.
1-15-03	02-088-X

FOR: HAMILTON REED, LLC
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043



PLANT SCHEDULE (FOR PERIMETER EDGE)

KEY	QUANT.	PLANT NAME	SIZE	REMARKS
AR	11	SHADE TREES ACER FRUBRUM 'RED SUNSET' Red Sunset Maple	2 1/2-3" Cal. 12-14' Ht.	B&B Heavy

Category	Adjacent to Roadways		Adjacent to Perimeter Properties					
	B	A	1	2	3	4	5	6
LANDSCAPE TYPE	B	A						
PERIMETER NUMBER	1	2	3	4	5	6		
Linear Feet of Roadway Frontage/Perimeter	184.61'	155.91'	230.11'	197.00'	126.18'	261.54'		
Credit for Existing Vegetation	YES/164'	YES/115'	NO	YES/140'	NO	YES/95'		
Number of Plants Required								
Shade Trees	0	1	4	1	2	3		
Evergreen Trees	0	0	0	0	0	0		
Number of Plants Provided								
Shade Trees	0	1	4	1	2	3		
Evergreen trees	0	0	0	0	0	0		

SURETY REQUIRED = \$3,300.00

APPROVED: DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Date: 9/20/03

APPROVED: DEPARTMENT OF LAND DEVELOPMENT
 Chief, Division of Land Development
 Date: 10/1/03

Reviewed for HOWARD S.C.D.
 and meets Technical Requirements
 Signature: Jim Meyer
 Date: 9/25/03
 U.S. Natural Resource Conservation Service

THIS DOCUMENT PLAN IS APPROVED
 FOR SOIL EROSION AND SEDIMENT
 CONTROL BY THE HOWARD SOIL
 CONSERVATION DISTRICT.
 Signature: John R. Whitton
 Date: 9/25/03
 Howard S.C.D.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature: Stephen F. Forney
 Date: 9-17-03
 NAME: STEPHEN F. FORNEY

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

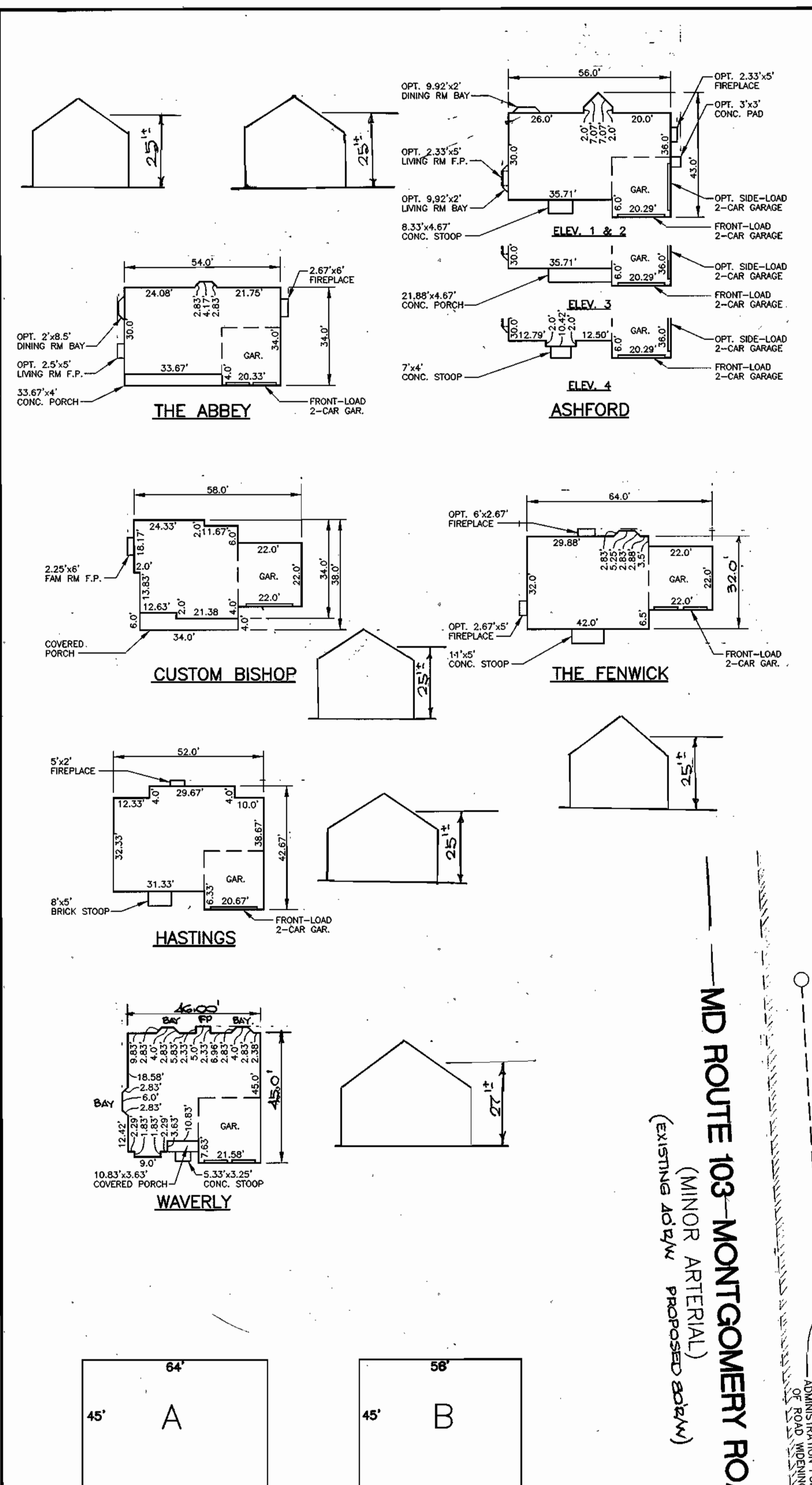
Signature: G. Nelson Clark
 Date: 9-17-03
 G. NELSON CLARK

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY • COLUMBIA, MD 21045 • (410) 381-7500 BALT. • (301) 621-8100 WASH.

DESIGNED PAC	LANDSCAPE PLAN SEDIMENT CONTROL DETAILS	SCALE
DRAWN ZAH/CRH2		DRAWING 2 OF 2
CHECKED DAR	FLESHMAN PROPERTY	JOB NO. 02-088
DATE 9-17-03		FILE NO. 02-088-X

SECTION 31 PARCEL 205
 FIRST (1ST) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

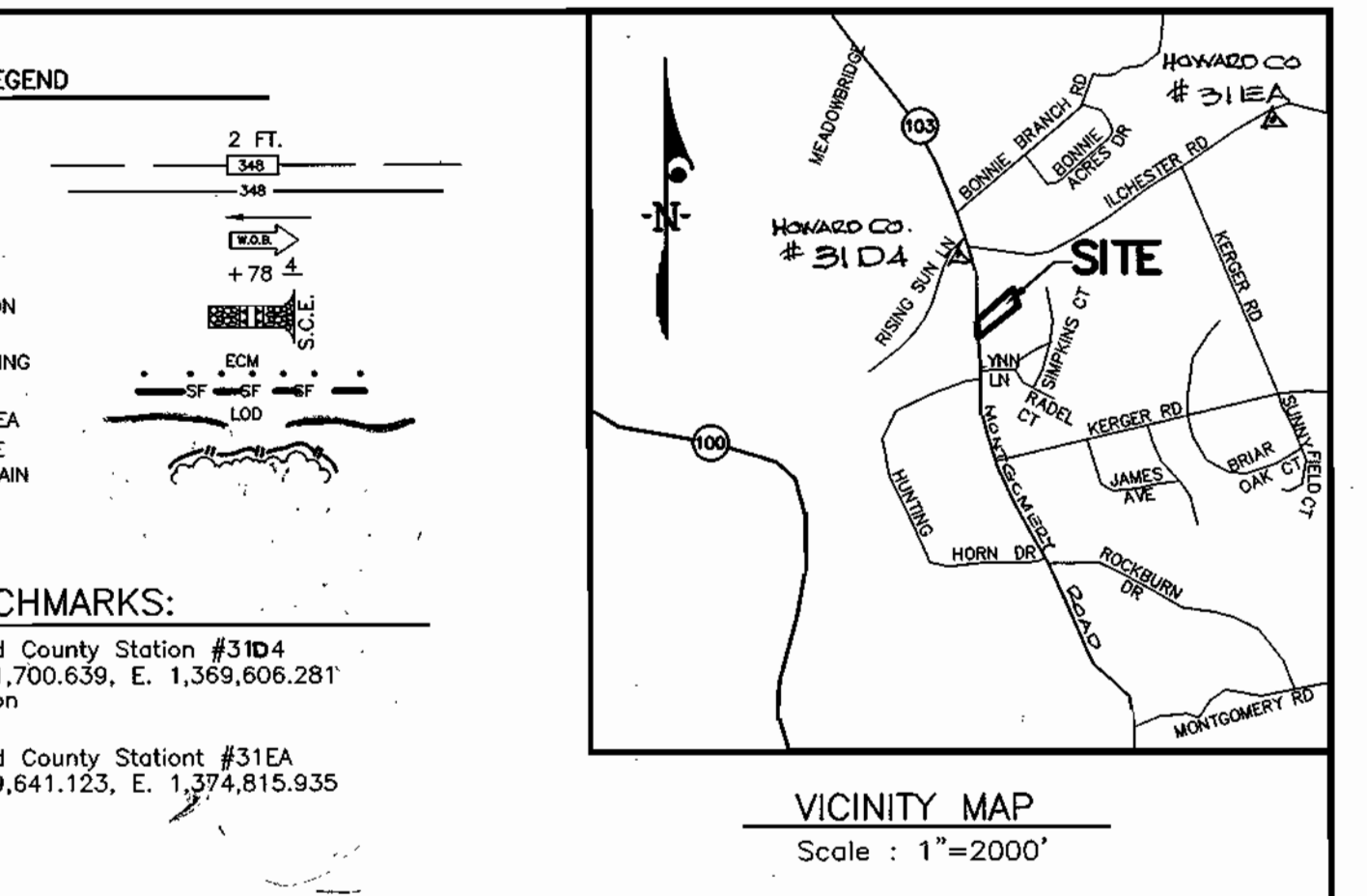
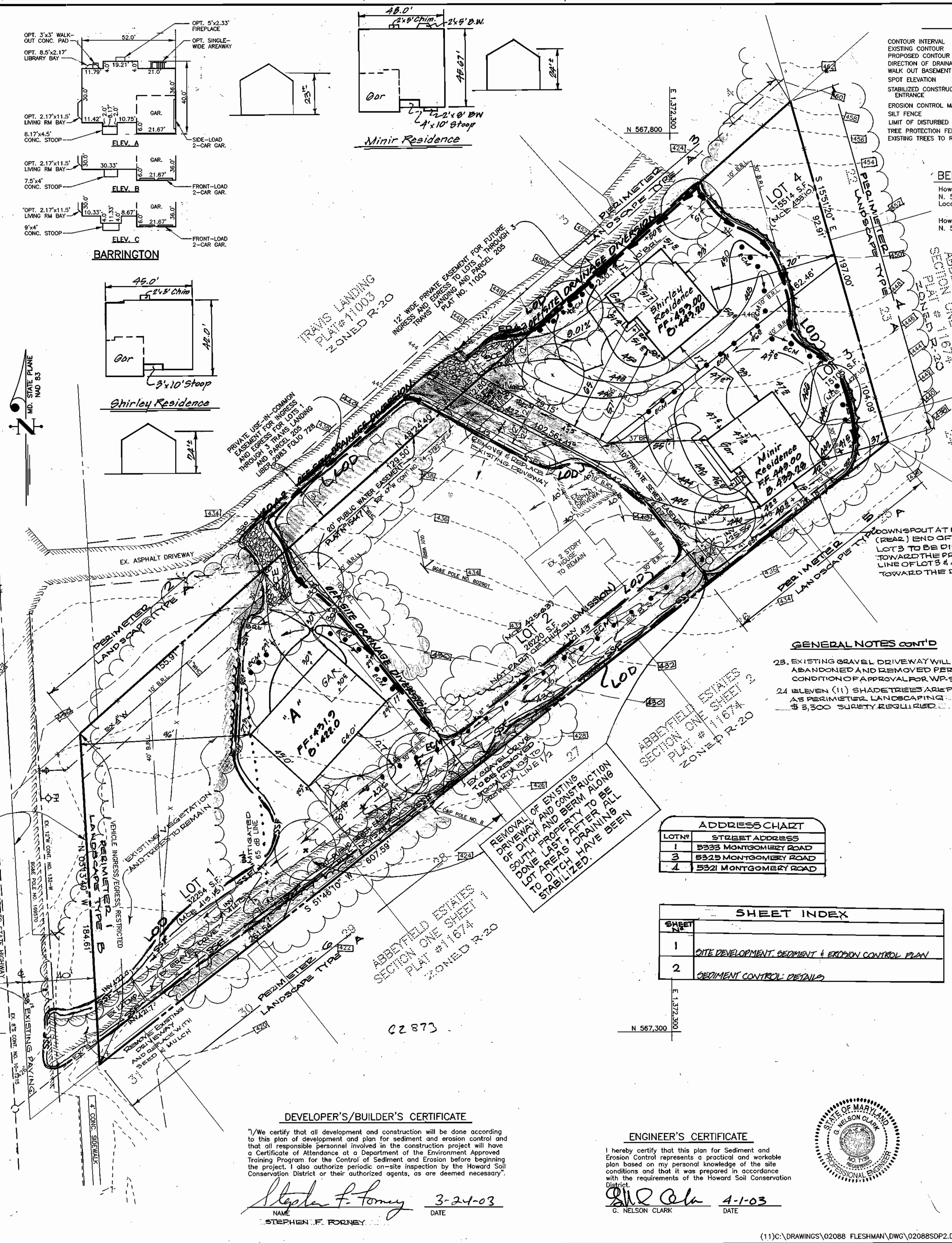
FOR: HAMILTON REED, LLC
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043



No.	Revision	Date
1	Rev. Use Type & grad Lots 3 & 4 only, add use models by Fisher, Collins & Cortes, Inc.	10/31/09
2		
3		
4		
5		
6		
7		
8		
9		
10		

APPROVED: DEPARTMENT OF PLANNING & ZONING	DATE: 9/30/03
Chief, Development Engineering Division	
Chief, Division of Land Development	DATE: 10/6/03
Director	DATE: 10/1/03

Reviewed for: HOWARD S.C.D.	S.C.D.
and meets Technical Requirements for Soil Erosion and Sediment Control by the HOWARD SOIL CONSERVATION DISTRICT.	
John W. Miller 9/23/03	Signature Date
U.S. Natural Resources Conservation Service	
John P. Robinson 9/25/03	Signature Date
Howard S.C.D.	



- BENCHMARKS:**
Howard County Station #3104
N. 571,700.639, E. 1,369,606.281
Location
Howard County Station #310A
N. 569,841.123, E. 1,374,815.935
Location
- GENERAL NOTES:**
- Subject property is zoned: R-20 per the 10/6/93 Comprehensive Zoning Plan.
 - The total area included in this submission is: 62,073.56 (the limit of disturbed area proposed for Lots 3 & 4) = 62,073.56.
 - The total number of lots included in this submission is: 3.
 - Improvement to property: Single Family Detached.
 - Department of Planning and Zoning reference file numbers: F-99-192, WP-99-126.
 - Utilities shown as existing are taken from approved Water and Sewer Plans Contract 14-3792-D, 10-215 & 132-W.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was field run by Clark, Finefrock and Sackett on Nov., 2002.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 3104 & 310A.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least 5 days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with Section 128 of the Ho. Co. zoning regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
 - The minimum setbacks for structures shall be as shown on Plat 15447, Use-in-common easement through the adjacent Travis Landing subdivision, Plat #11003, recorded NEVLS, 1993.
 - Forest Conservation requirements have been met by payment of fee-in-lieu in the amount of \$7,841 per F-99-192.
 - Open Space requirement has been met by payment of fee-in-lieu in the amount of \$4,500 per F-99-192.
 - There are no 100 year floodplains or wetlands on the site.
 - Driveway shall be constructed prior to issuance of a building permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
A) Width - 14 feet
B) Surface - 6 inches of compacted crusher run base with tar and chip coating.
C) Geometry - Maximum 15% grade, maximum 10% grade change and minimum of 45 foot turning radius.
D) Structures (culverts/bridges) - Capable of supporting 25 gross tons (H25 Loading).
E) Drainage Elements - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
F) Structure clearances - Minimum 12 feet.
G) Maintenance - Sufficient to insure all weather use.
 - As a consequence of its submission on March 27, 2002, this SOP is subject to the 5th Edition of the Subdivision and Land Development Regulations.
 - EXISTING VEGETATION ADJACENT TO MONTGOMERY RIGHT OF WAY TO BE MAINTAINED IN ORDER TO PROVIDE A VISUAL BUFFER FROM THE TRAFFIC ON MD STATE 103.
- SPECIAL NOTES:**
This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this S.D.P. are not to be used for construction. For this construction, see approved Road Construction Plans and/or approved Water and Sewer Plans Contract # 14-3792-D.

- GENERAL NOTES CONT'D**
- EXISTING GRAVEL DRIVEWAY WILL BE ABANDONED AND REMOVED PER A CONDITION OF APPROVAL FOR WP-99-126.
 - ELEVEN (11) SHADE TREES ARE PROPOSED AS PERIMETER LANDSCAPING. \$3,300 SURETY REQUIRED.

ADDRESS CHART

LOT#	STREET ADDRESS
1	5933 MONTGOMERY ROAD
3	5925 MONTGOMERY ROAD
4	5921 MONTGOMERY ROAD

SHEET INDEX

SHEET NO.	DESCRIPTION
1	SITE DEVELOPMENT, SEDIMENT & EROSION CONTROL PLAN
2	SEDIMENT CONTROL DETAILS

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Stephen F. Forney 3-24-03
NAME DATE
STEPHEN F. FORNEY

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

G. Nelson Clark 4-1-03
NAME DATE
G. NELSON CLARK

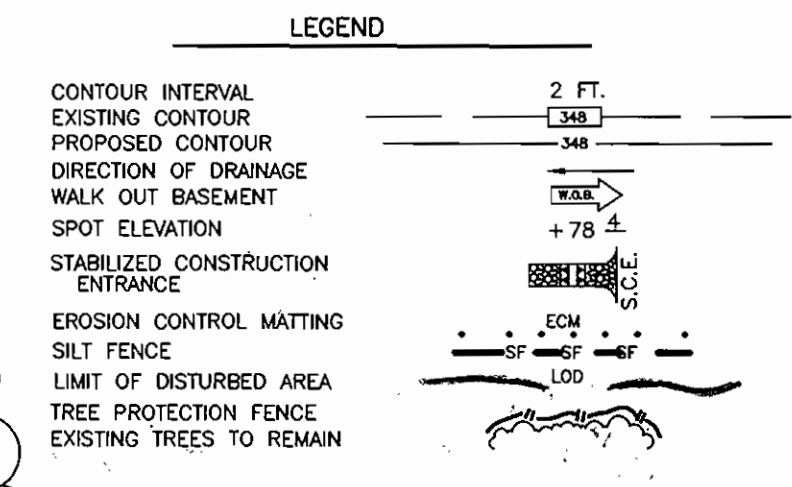
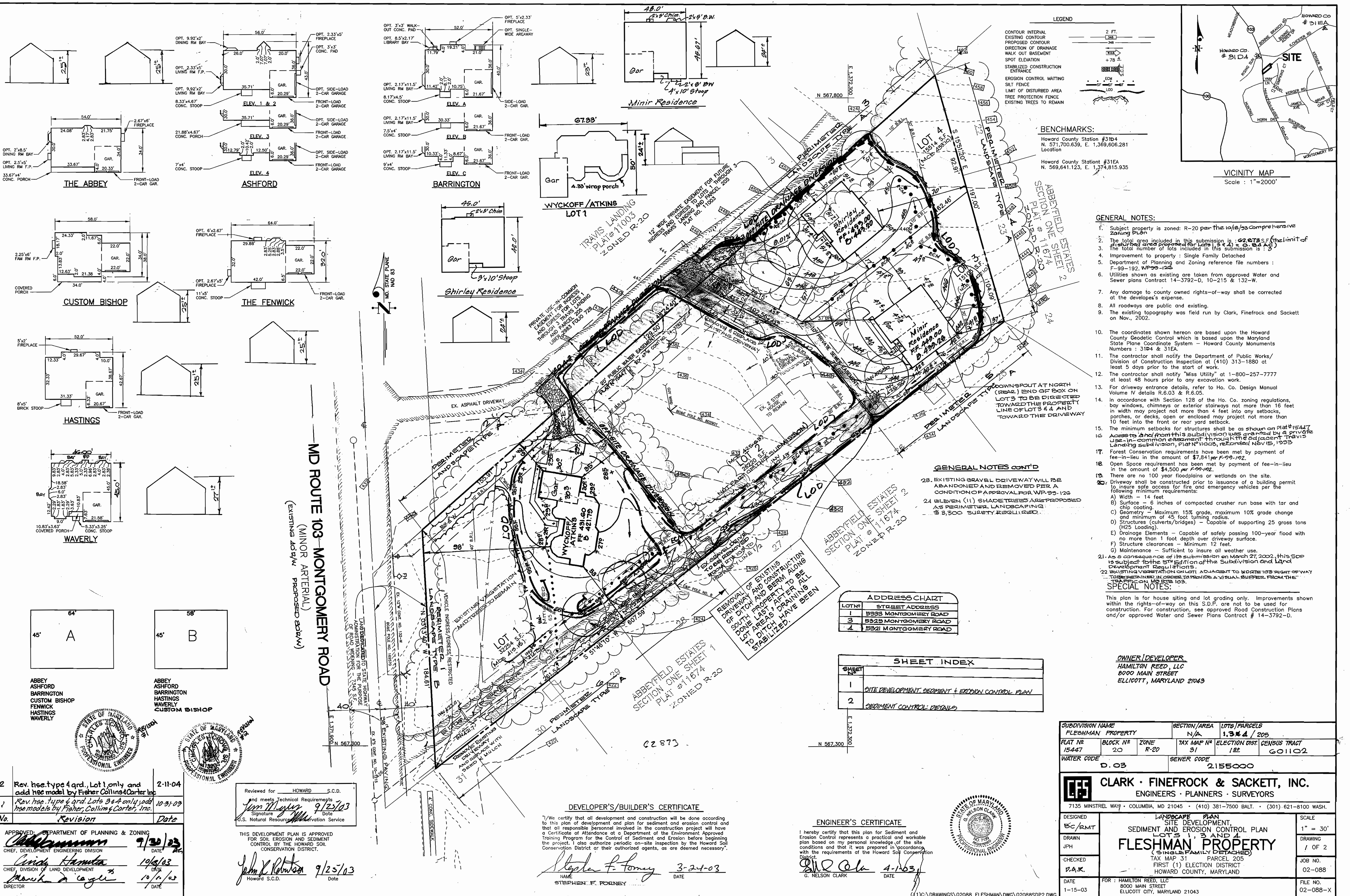
SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
FLESHMAN PROPERTY	N/A	1, 3 & 4 / 205
PLAT NO. 15447	BLOCK NO. 20	ZONE R-20
TAX MAP NO. 31	ELECTION DIST. 1B2	CENSUS TRACT 601102
WATER CODE D.03	SEWER CODE 2155000	

CLARK · FINEFROCK & SACKETT, INC.
ENGINEERS · PLANNERS · SURVEYORS

7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED: BC/RMT	LANDSCAPE PLAN	SCALE: 1" = 30'
DRAWN: JPH	SITE DEVELOPMENT, SEDIMENT AND EROSION CONTROL PLAN	DRAWING: 1 OF 2
CHECKED: D.A.K.	FLESHMAN PROPERTY (SINGLE FAMILY DETACHED)	JOB NO.: 02-088
DATE: 1-15-03	TAX MAP: 31 PARCEL: 205 FIRST (1) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	FILE NO.: 02-088-X

FOR: HAMILTON REED, LLC
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043



BENCHMARKS:
 Howard County Station #3104
 N. 571,700.639, E. 1,369,606.281
 Location
 Howard County Station #31EA
 N. 569,641.123, E. 1,374,815.935

VICINITY MAP
 Scale: 1"=2000'

GENERAL NOTES:

- Subject property is zoned: R-20 per the 10/18/93 Comprehensive Zoning Plan.
- The total area included in this submission is 0.2625± acres (limit of disturbed area proposed for Lots 1, 3 & 4 is 0.34± acres).
- The total number of lots included in this submission is: 5.
- Improvement to property: Single Family Detached.
- Department of Planning and Zoning reference file numbers: F-93-192, WP99-126.
- Utilities shown as existing are taken from approved Water and Sewer Plans Contract 14-3792-D, 10-215 & 132-W.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was field run by Clark, Finefrock and Sackett on Nov., 2002.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 3104 & 31EA.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least 5 days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
- In accordance with Section 128 of the Ho. Co. zoning regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
- The minimum setbacks for structures shall be as shown on Plat # 15447.
- Access to and from this subdivision was granted by a private Use-in-common easement through the adjacent Travis Landing subdivision, Plat # 11003, recorded Nov. 15, 1995.
- Forest Conservation requirements have been met by payment of fee-in-lieu in the amount of \$7,841 per F-99-102.
- Open Space requirement has been met by payment of fee-in-lieu in the amount of \$4,500 per F-99-102.
- There are no 100 year floodplains or wetlands on the site.
- Driveway shall be constructed prior to issuance of a building permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width - 14 feet
 - Surface - 6 inches of compacted crusher run base with tar and chip coating
 - Geometry - Maximum 15% grade, maximum 10% grade change and minimum of 45 foot turning radius.
 - Structures (culverts/bridges) - Capable of supporting 25 gross tons (H25 Loading).
 - Drainage Elements - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances - Minimum 12 feet.
 - Maintenance - Sufficient to insure all weather use.
- As a consequence of its submission on March 27, 2002, this SOP is subject to the 5th Edition of the Subdivision and Land Development Regulations.
- EXISTING VEGETATION ON LOT 1 ADJACENT TO MONTGOMERY ROAD TO BE MAINTAINED IN ORDER TO PROVIDE A VISUAL BUFFER FROM THE TRAFFIC ON MD ROUTE 103.

GENERAL NOTES CONT'D

- EXISTING GRAVEL DRIVEWAY WILL BE ABANDONED AND REMOVED PER A CONDITION OF APPROVAL FOR WP-99-126
- BLEVEN (1) SHADE TREES ARE PROPOSED AS PERIMETER LANDSCAPING. \$3,300 SURETY REQUIRED.

ADDRESS CHART

LOT#	STREET ADDRESS
1	5323 MONTGOMERY ROAD
3	5325 MONTGOMERY ROAD
4	5321 MONTGOMERY ROAD

SHEET INDEX

SHEET NO.	DESCRIPTION
1	SITE DEVELOPMENT, SEDIMENT & EROSION CONTROL PLAN
2	SEDIMENT CONTROL DETAILS

OWNER/DEVELOPER
 HAMILTON REED, LLC
 8000 MAIN STREET
 ELLICOTT, MARYLAND 21043

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCELS
FLESHMAN PROPERTY	N/A	1, 3 & 4 / 205
PLAT NO. 15447	BLOCK NO. 20	ZONE R-20
TAX MAP NO. 31	ELECTION DIST. 18E	CENSUS TRACT G01102
WATER CODE D.03	SEWER CODE 2.155000	

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED E.C.R.M.T.	LANDSCAPE PLAN SITE DEVELOPMENT, SEDIMENT AND EROSION CONTROL PLAN LOTS 1, 3 AND 4 FLESHMAN PROPERTY (SINGLE FAMILY DETACHED) TAX MAP 31 PARCEL 205 FIRST (1) ELECTION DISTRICT HOWARD COUNTY, MARYLAND	SCALE 1" = 30' DRAWING 1 OF 2 JOB NO. 02-088 FILE NO. 02-088-X
DRAWN J.P.H.		
CHECKED P.A.K.		
DATE 1-15-03	FOR: HAMILTON REED, LLC 8000 MAIN STREET ELLICOTT CITY, MARYLAND 21043	

No.	Revision	Date
2	Rev. hse. type 4 and, Lot 1 only and add hse model by Fisher Collins & Carter Inc.	2-11-04
1	Rev. hse. type 4 and, Lots 3 & 4 only add hse models by Fisher, Collins & Carter, Inc.	10-31-03

APPROVED: DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/30/03

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 10/6/03

DIRECTOR
 DATE: 11/11/03

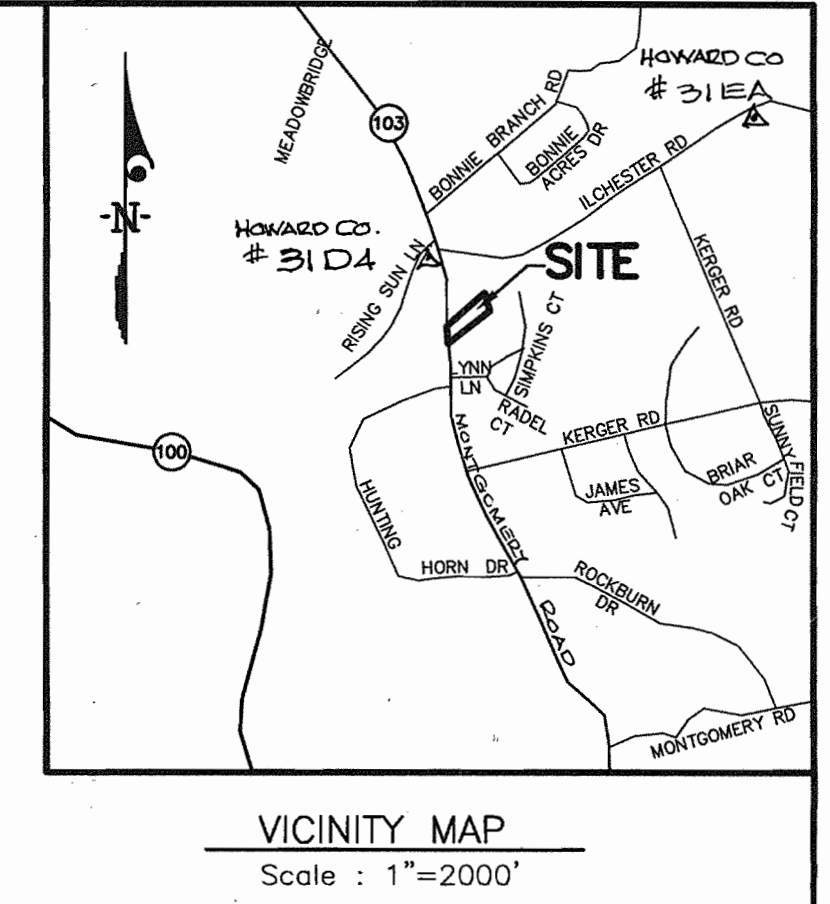
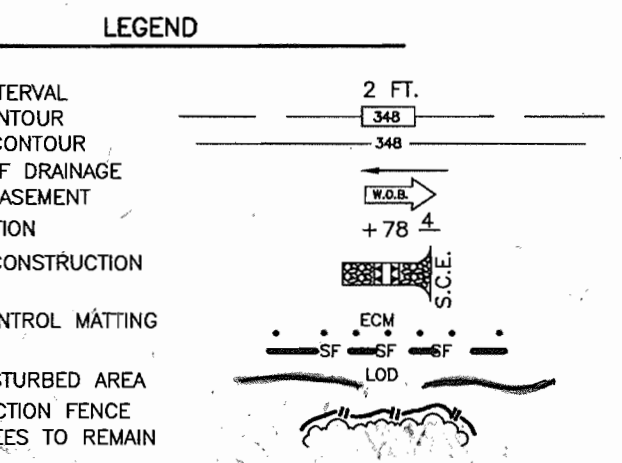
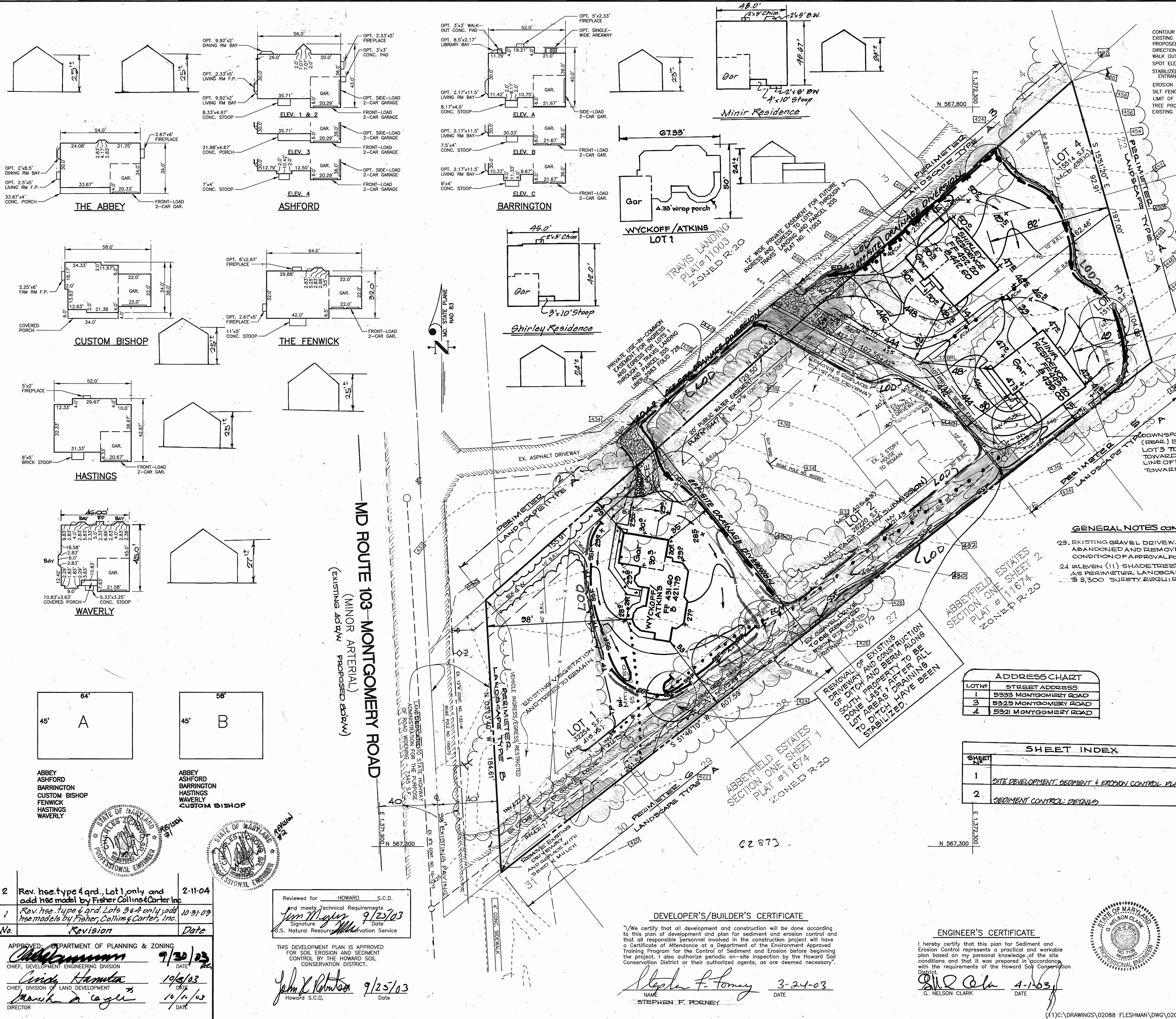
Reviewed for HOWARD S.C.D. and meets Technical Requirements
 Signature: *John M. Taylor* Date: 9/23/03
 U.S. Natural Resources Conservation Service

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John K. Roberts* Date: 9/25/03
 Howard S.C.D. Date

DEVELOPER'S/BUILDER'S CERTIFICATE
 I, We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
 Signature: *Stephen F. Forney* Date: 3-24-03
 STEPHEN F. FORNEY

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *G. Nelson Clark* Date: 4-16-03
 G. NELSON CLARK





BENCHMARKS:
 Howard County Station #31D4
 N. 571,700.639, E. 1,369,606.281
 Location
 Howard County Station #31EA
 N. 569,641.123, E. 1,374,815.935

- GENERAL NOTES:**
- Subject property is zoned: R-20 per the 10/18/03 comprehensive zoning plan.
 - The total area included in this submission is: 62,873 sq. ft. (the limit of a saturated area proposed for Lots 1, 3 & 4 is 32,416 sq. ft.)
 - The total number of lots included in this submission is: 3.
 - Improvement to property: Single Family Detached.
 - Department of Planning and Zoning reference file numbers: F-99-192, W-99-125.
 - Utilities shown as existing are taken from approved Water and Sewer plans Contract 14-3792-D, 10-215 & 132-W.
 - Any damage to county owned rights-of-way shall be corrected at the developer's expense.
 - All roadways are public and existing.
 - The existing topography was field run by Clark, Finerock and Sackett on Nov., 2002.
 - The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers.
 - The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least 5 days prior to the start of work.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
 - For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
 - In accordance with Section 128 of the Ho. Co. zoning regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
 - The minimum setbacks for structures shall be as shown on Plat #15447.
 - Access to and from this subdivision was granted by a private use-in-common easement through the adjacent Travis Landing subdivision, Plat #11002, recorded Nov. 15, 1993.
 - Forest Conservation requirements have been met by payment of fee-in-lieu in the amount of \$7,841 per F-99-192.
 - Open Space requirement has been met by payment of fee-in-lieu in the amount of \$4,500 per F-99-192.
 - There are no 100 year floodplains or wetlands on the site.
 - Driveway shall be constructed prior to issuance of a building permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width - 14 feet
 - Surface - 6 inches of compacted crusher run base with tar and chip coating.
 - Geometry - Maximum 15% grade, maximum 10% grade cross and minimum of 45 foot turning radius.
 - Structures (culverts/bridges) - Capable of supporting 25 gross tons (H25 Loading).
 - Drainage Elements - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances - Minimum 12 feet.
 - Maintenance - Sufficient to insure all weather use.
 - As a consequence of its submission on March 27, 2002, this SDP is subject to the 15th revision of the Subdivision and Land Development Regulations.
 - Existing vegetation on Lot 1 adjacent to MD Route 103 right of way to be retained in order to provide a visual buffer from the traffic on MD Route 103.

GENERAL NOTES CONT'D

- EXISTING GRAVEL DRIVEWAY WILL BE ABANDONED AND REMOVED PER A CONDITION OF APPROVAL FOR WP-99-126.
- ELEVEN (11) SHADE TREES ARE PROPOSED AS PERIMETER LANDSCAPING. \$3,300 SURETY REQUIRED.

ADDRESS CHART

LOT#	STREET ADDRESS
1	5933 MONTGOMERY ROAD
3	5925 MONTGOMERY ROAD
4	5921 MONTGOMERY ROAD

SHEET INDEX

SHEET	DESCRIPTION
1	SITE DEVELOPMENT, SEDIMENT & EROSION CONTROL PLAN
2	SEDIMENT CONTROL DETAILS

OWNER/DEVELOPER
 HAMILTON REED, LLC
 8000 MAIN STREET
 ELLICOTT, MARYLAND 21043

SUBDIVISION NAME		SECTION/AREA	LOTS/PARCELS
FLESHMAN PROPERTY		N/A	1,3 & 4 / 205
PLAT #	BLOCK #	ZONE	TAX MAP #
15447	20	R-20	31
WATER CODE		SEWER CODE	
D. 03		2155000	

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED	BC/RMT	SCALE	1" = 30'
DRAWN	JPH	DRAWING	1 OF 2
CHECKED	P.A.K.	JOB NO.	02-088
DATE	1-15-03	FILE NO.	02-088-X

FLESHMAN PROPERTY
 (SINGLE FAMILY DETACHED)
 TAX MAP 31 PARCEL 205
 FIRST (1) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FOR: HAMILTON REED, LLC
 8000 MAIN STREET
 ELLICOTT CITY, MARYLAND 21043

APPROVED DEPARTMENT OF PLANNING & ZONING

2 Rev. use type 4 qrd., Lot 1 only and add use model by Fisher Collins & Carter Inc. 2-11-04
 1 Rev. use type 4 qrd. Lots 3 & 4 only add use models by Fisher Collins & Carter, Inc. 10/31/03
 No. Revision Date

APPROVED: *John M. Hamata* 9/30/03
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
Conrad Hamata 10/6/03
 CHIEF, DIVISION OF LAND DEVELOPMENT
Mark A. Cagle 10/16/03
 DIRECTOR

Reviewed for HOWARD S.C.D. and meets Technical Requirements and meets U.S. Natural Resources Conservation Service. Signature: *John M. Hamata* 9/25/03 Date: 9/25/03

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. Signature: *John K. Robinson* 9/25/03 Date: 9/25/03

DEVELOPER'S/BUILDER'S CERTIFICATE

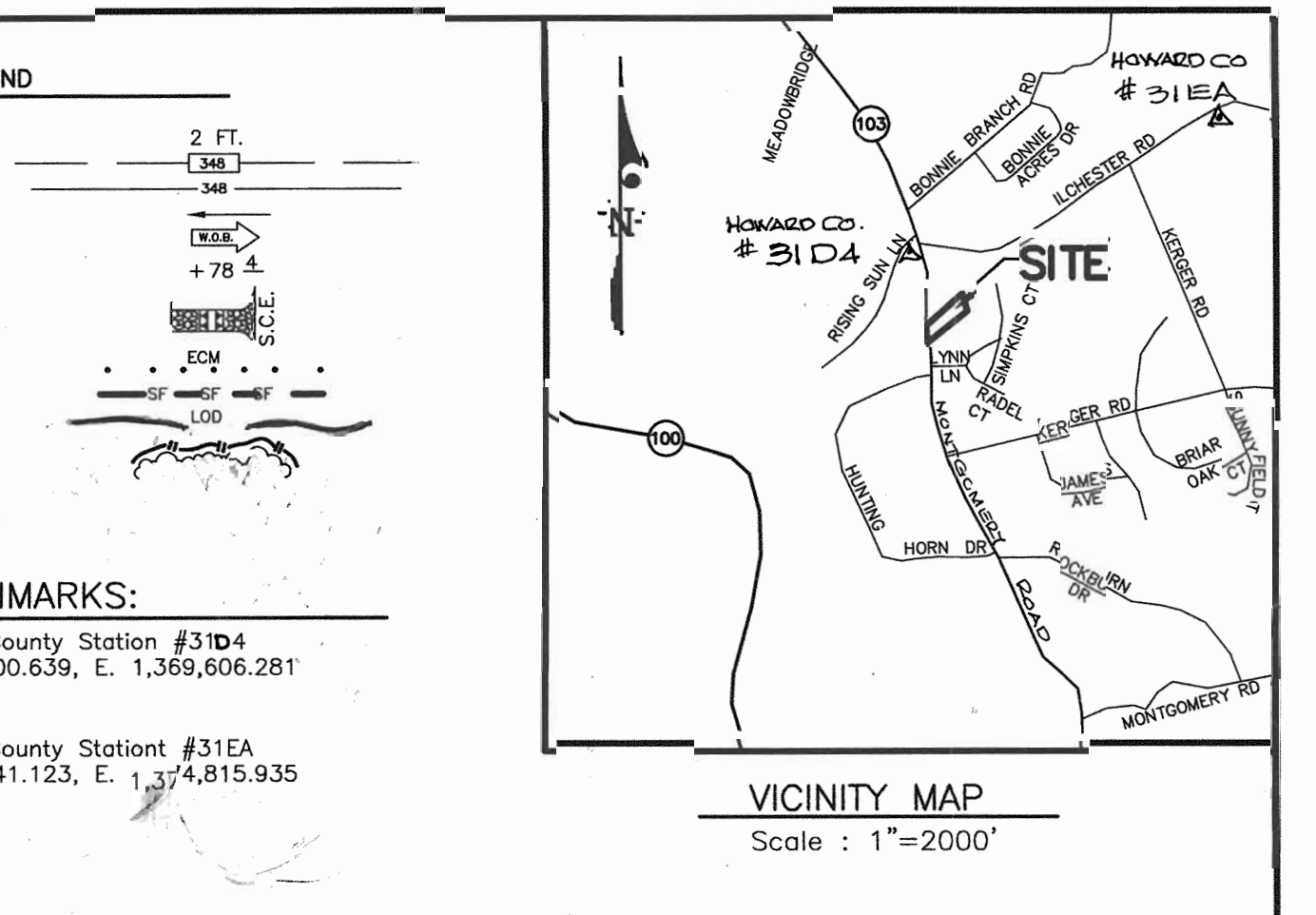
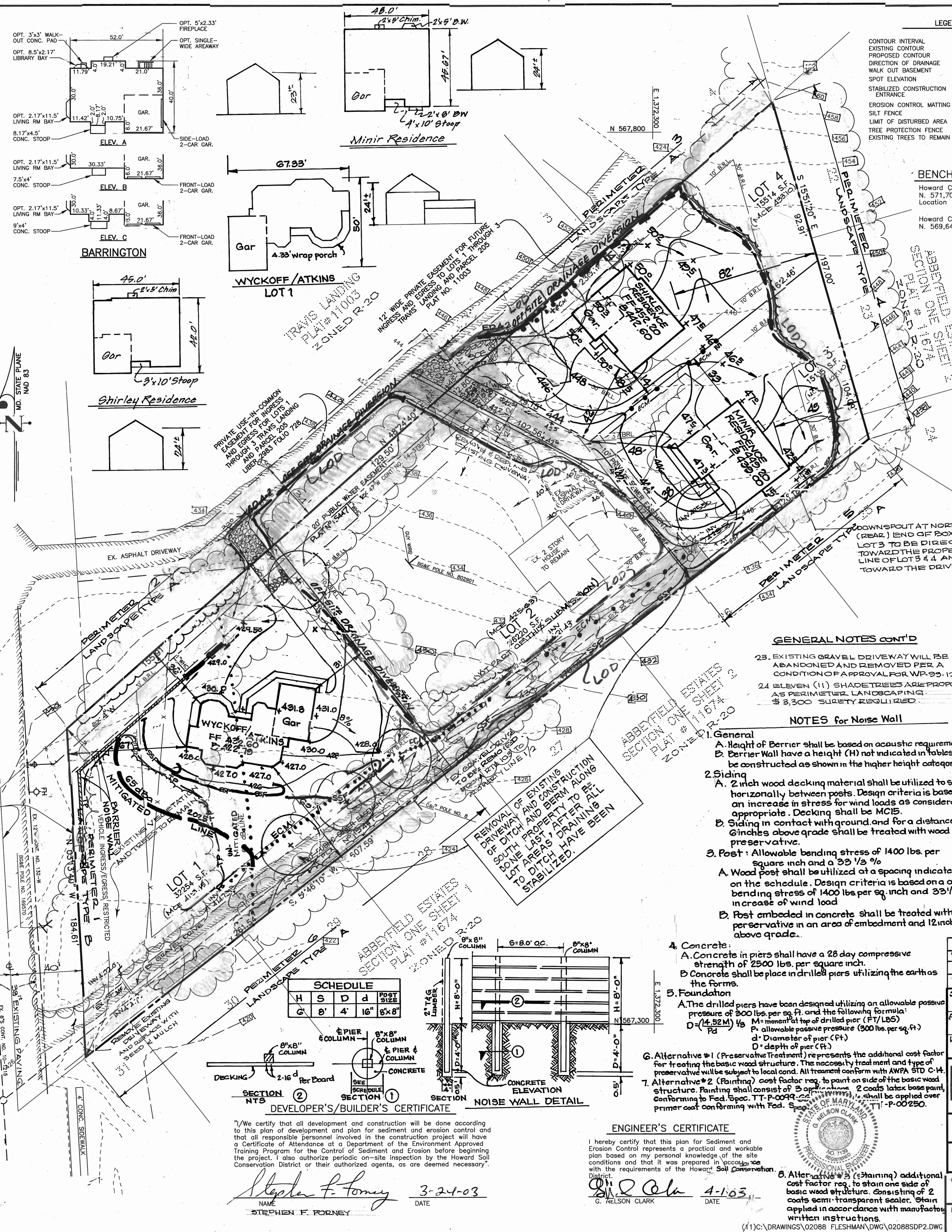
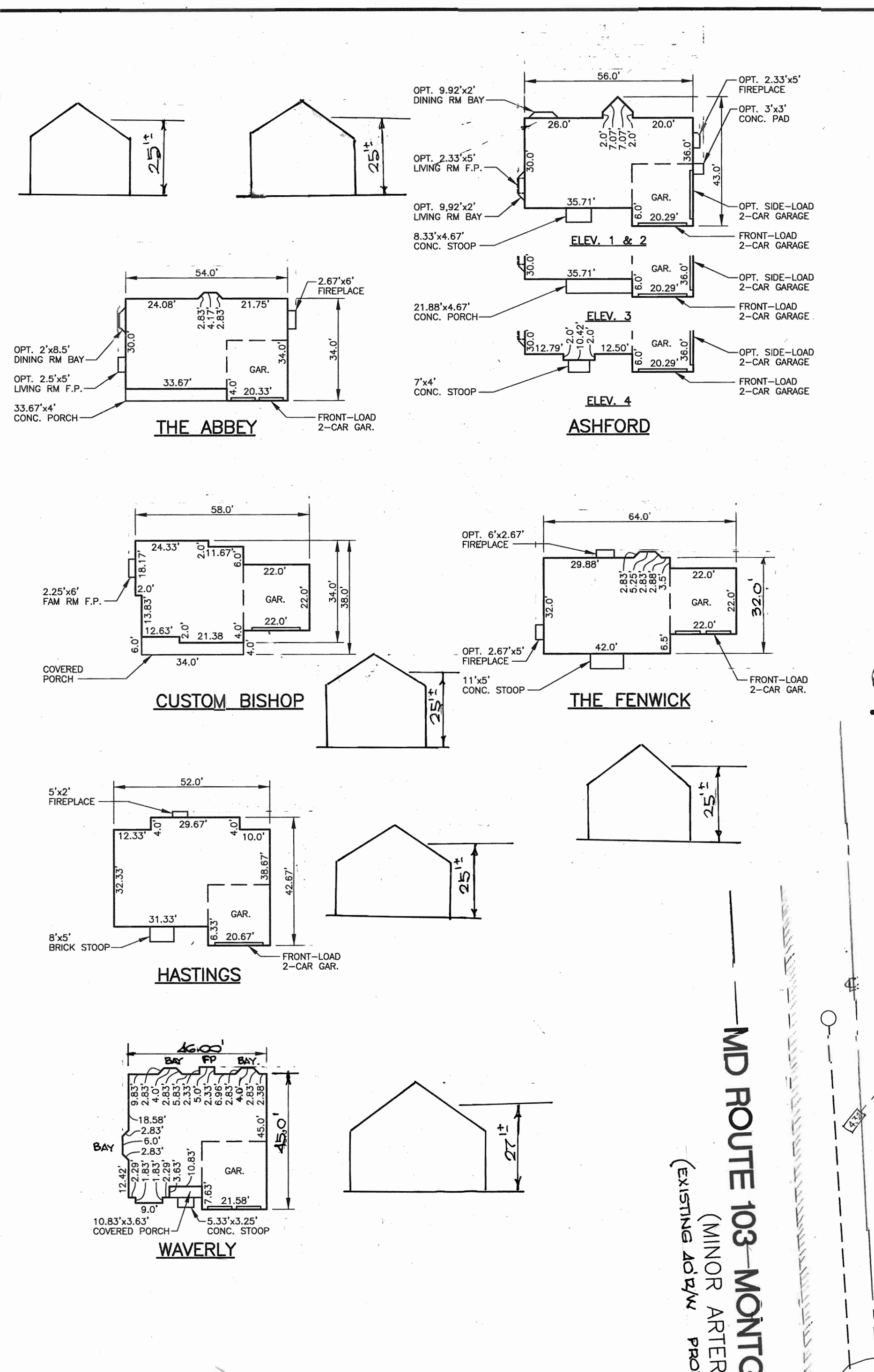
"I/we certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

Signature: *Stephen F. Forney* 3-24-03
 NAME: STEPHEN F. FORNEY DATE: 3-24-03

ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: *G. Nelson Clark* 4-1-03
 NAME: G. NELSON CLARK DATE: 4-1-03



GENERAL NOTES:

- Subject property is zoned: R-20 per the 10/8/03 Comprehensive Zoning Plan.
- The total area included in this submission is: 62,273.5 sq. ft. (the limit of a detached single family lot is 10,000 sq. ft.)
- The total number of lots included in this submission is: 3.
- Improvement to property: Single Family Detached.
- Department of Planning and Zoning reference file numbers: F-99-192, WP-99-126.
- Utilities shown as existing are taken from approved Water and Sewer plans Contract 14-3792-D, 10-215 & 132-W.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was field run by Clark, Finefrock and Sackett on Nov., 2002.
- The coordinate shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 31A & 31EA.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least 5 days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
- In accordance with Section 128 of the Ho. Co. zoning regulations, bay windows, porches or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
- The minimum setbacks for structures shall be as shown on Plat # 15447.
- Access to and from this subdivision was granted by a private use-in-common easement through the adjacent Travis Landed Subdivision, Plat # 11003, recorded NOV 15, 1993.
- Forest Conservation requirements have been met by payment of fee-in-lieu in the amount of \$7,841 per F-99-192.
- Open Space requirement has been met by payment of fee-in-lieu in the amount of \$4,500 per F-99-192.
- There are no 100 year floodplains or wetlands on the site.
- Driveway shall be constructed prior to issuance of a building permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width - 12 feet
 - Surface - 6 inches of compacted crusher run base with tar and chip coating
 - Geometry - Maximum 15% grade, maximum 10% grade change and minimum of 45 foot turning radius.
 - Structures (culverts/bridges) - Capable of supporting 25 gross tons (425,000 lbs.)
 - Drainage - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances - Minimum 12 feet.
 - Maintenance - Sufficient to insure all weather use.
- As a consequence of its submission on March 27, 2002, this SOP is subject to the jurisdiction of the Subdivision and Land Development Regulations.
- Existing vegetation on Lot 1 adjacent to Montgomery Road right-of-way shall be preserved to provide a visual buffer from the road to the site.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the right-of-way on this S.D.P. are not to be used for construction. For construction, see approved Road Construction Plans and/or approved Water and Sewer Plans Contract # 14-3792-D.

MD ROUTE 103 MONTGOMERY ROAD
(EXISTING ARTERIAL PROPOSED BOWW)

REVISIONS

No.	Revision	Date
3	Lot 1, rev house, add new noise wall details, Noise Wall, detail 4 notes by FCC, Inc.	1-6-02
2	Rev. hse. type 4 and Lot 1 only and add hse. model by Fisher Collins & Carter, Inc.	2-11-04
1	Rev. hse. type 4 and Lot 3 & 4 only, add hse. models by Fisher Collins & Carter, Inc.	10-31-03

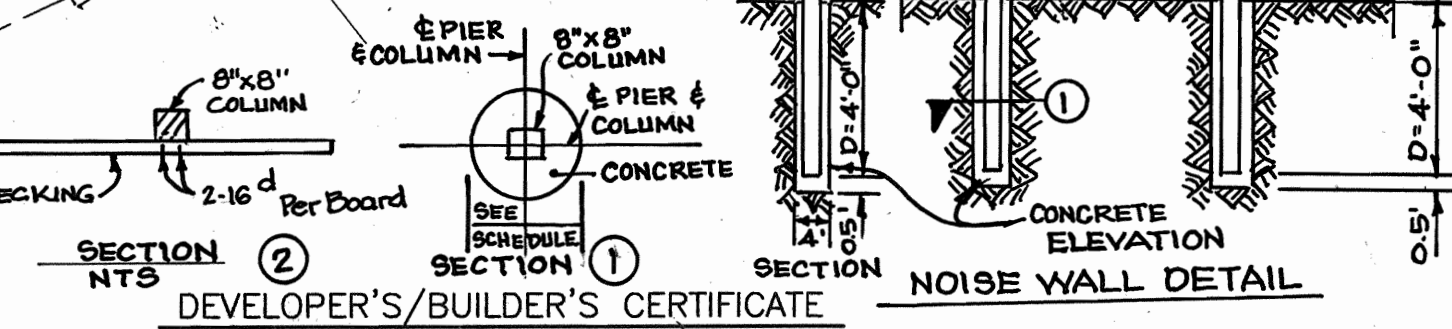
APPROVED: DEPARTMENT OF PLANNING & ZONING
 9/23/03
 Chief, Subdivision Engineering Division
 Chief, Division Land Development
 Director

REVIEWED: HOWARD S.C.D.
 and meets Technical Requirements
 Signature: *John M. Taylor* 9/23/03
 Date: 9/23/03
 U.S. Natural Resources Conservation Service

APPROVED: THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John K. Robinson* 9/25/03
 Date: 9/25/03
 Howard S.C.D.

SCHEDULE

H	S	D	d	POST
6"	8"	4"	16"	6x8"



ENGINEER'S CERTIFICATE

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: *Stephen F. Rodney* 3-24-03
 NAME: STEPHEN F. RODNEY DATE: 3-24-03

GENERAL NOTES CONT'D

- EXISTING GRAVEL DRIVEWAY WILL BE ABANDONED AND REMOVED PER A CONDITION OF APPROVAL FOR WP-99-126
- SEVEN (7) SHADE TREES ARE PROPOSED AS PERIMETER LANDSCAPING @ \$3,500 SURETY REQUIRED.

NOTES for Noise Wall

- General**
 - Height of Barrier shall be based on acoustic requirements.
 - Barrier Wall have a height (H) not indicated in tables shall be constructed as shown in the higher height category.
- Siding**
 - 2 inch wood decking material shall be utilized to span horizontally between posts. Design criteria is based on an increase in stress for wind loads as considered appropriate. Decking shall be MCIS.
 - Siding in contact with ground and for a distance of 6 inches above grade shall be treated with wood preservative.
- Post**: Allowable bending stress of 1400 lbs. per square inch and a 33 1/2 %
 - Wood post shall be utilized at a spacing indicated on the schedule. Design criteria is based on an allowable bending stress of 1400 lbs. per sq. inch and 33 1/2 % increase of wind load.
 - Post embedded in concrete shall be treated with a wood preservative in an area of embedment and 12 inches above grade.
- Concrete**:
 - Concrete in piers shall have a 28 day compressive strength of 2500 lbs. per square inch.
 - Concrete shall be placed in drilled piers utilizing the earth as the forms.
- Foundation**
 - The drilled piers have been designed utilizing an allowable passive pressure of 300 lbs. per sq. ft. and the following formulas:
 $D = (4.82M) / P_a$
 P_a = allowable passive pressure (300 lbs. per sq. ft.)
 D = diameter of pier (ft.)
 P = depth of pier (ft.)
- Alternative #1 (Preservative Treatment)** represents the additional cost factor for treating the basic wood structure. The necessary treatment and type of preservative will be subject to local code. All treatment conform with AWPA STD C-14.
- Alternative #2 (Painting)** cost factor req. to paint on side of the basic wood structure. Painting shall consist of 3 applications, 2 coats latex base paint, conforming to Fed. Spec. T-T-P-0094, and 1 coat of primer, shall be applied over primer coat conforming with Fed. Spec. T-T-P-00250.

ADDRESS CHART

LOT NO.	STREET ADDRESS
1	5993 MONTGOMERY ROAD
2	5925 MONTGOMERY ROAD
4	5921 MONTGOMERY ROAD

OWNER/DEVELOPER
 HAMILTON REED, LLC
 8000 MAIN STREET
 ELLICOTT, MARYLAND 21043

SHEET INDEX

SHEET	DESCRIPTION
1	SITE DEVELOPMENT SED./EROSION CONTROL PLAN
2	SEDIMENT CONTROL DETAILS

SUBDIVISION NAME: FLESHMAN PROPERTY
SECTION/AREA: N/A
LOTS/PARCELS: 1, 3 & 4, 205

PLAT NO.	BLOCK NO.	ZONE	TAX MAP NO.	ELECTION DIST.	CENSUS TRACT
15447	20	R-20	31	1st	601102

WATER CODE: D.03 **SEWER CODE**: 2155000

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

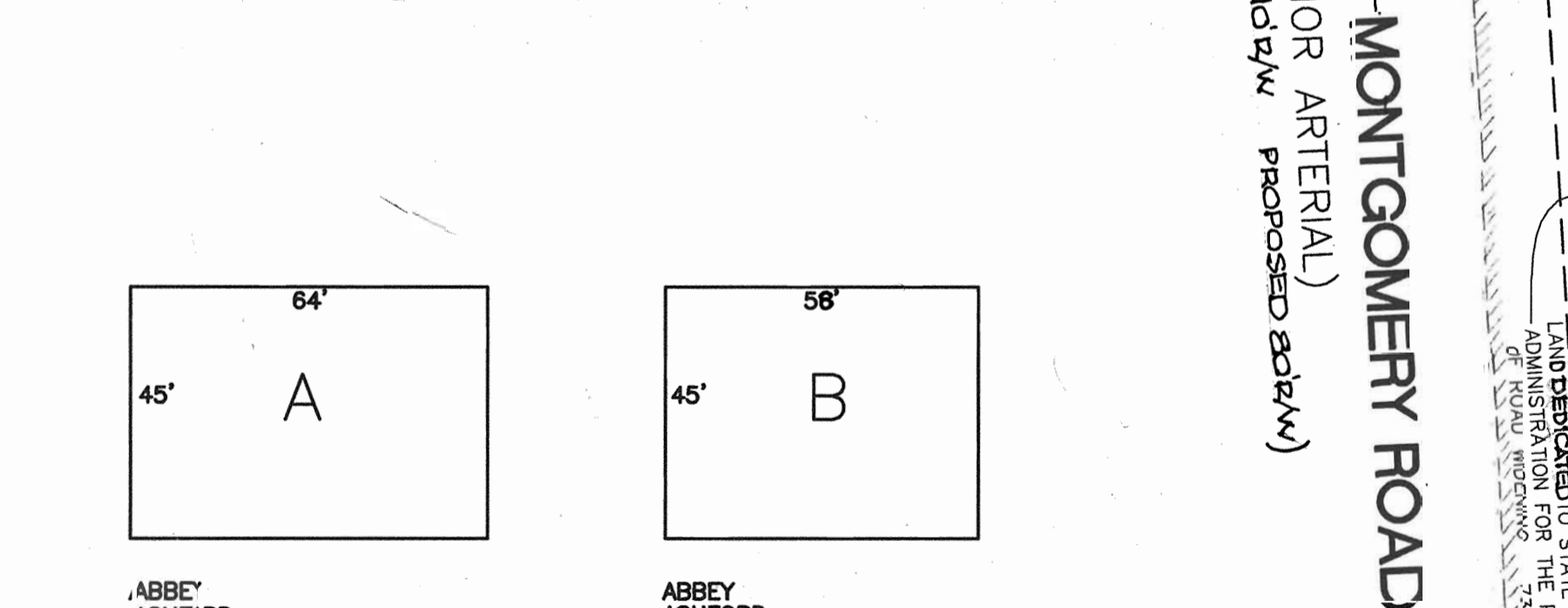
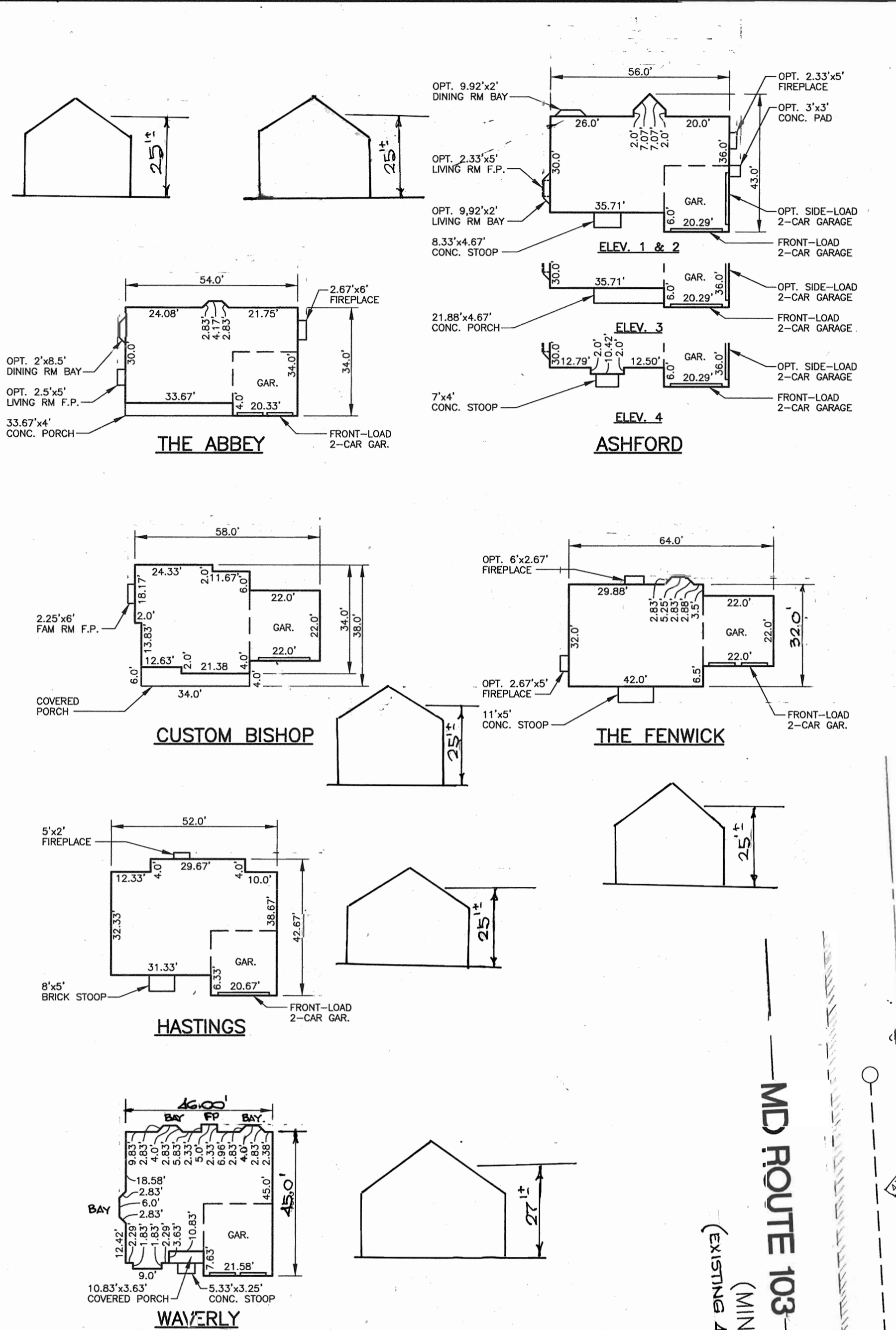
DESIGNER: JCR
SCALE: 1" = 30'

DRAWN: JPH
DRAWING: SDP-03-133

CHECKED: D.A.K.
(SINGLE FAMILY DETACHED)
FLESHMAN PROPERTY
 TAX MAP 31 PARCEL 205
 FIRST (1) ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

DATE: 11-15-03
JOB NO.: 02-088
FILE NO.: 02-088-X

10/25/03 09:00 AM 10/25/03 09:00 AM 10/25/03 09:00 AM 10/25/03 09:00 AM 10/25/03 09:00 AM



APPROVED DEPARTMENT OF PLANNING & ZONING

9/30/03

APPROVED

9/25/03

REVISIONS:

No.	Revision	Date
3	Lot 1, rev house, add new foundation, add noise wall, wall detail & notes by FCC, Inc.	1-6-05
2	Rev. use type 4 qrd., Lot 1 only and add use model by Fisher Collins & Carter Inc.	2-11-04
1	Rev. use type 4 qrd. Lots 3 & 4 only, add use models by Fisher Collins & Carter, Inc.	10/31/03

APPROVED

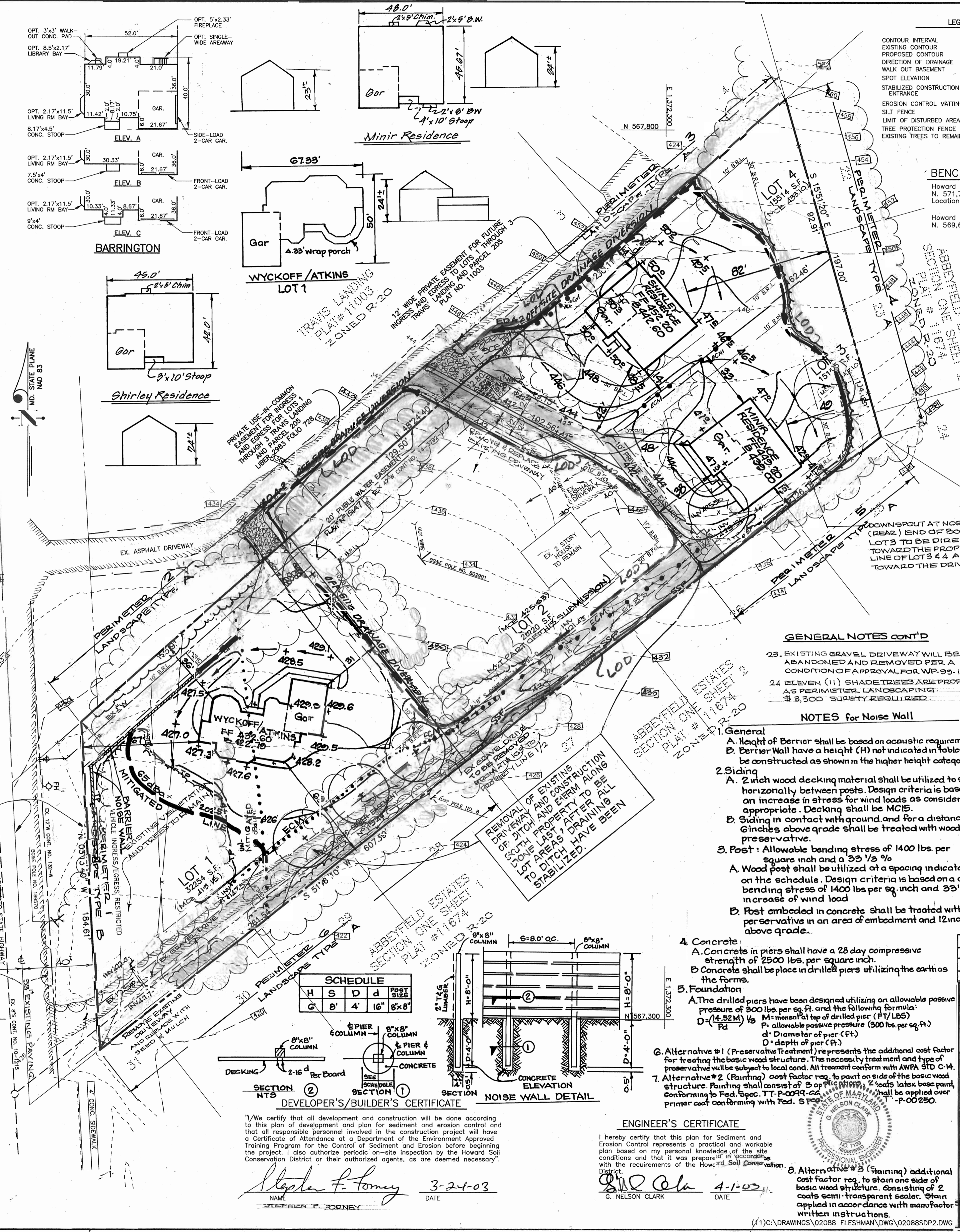
9/30/03

APPROVED

9/25/03

APPROVED

9/25/03



LEGEND

- CONTOUR INTERVAL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF DRAINAGE
- WALK OUT BASEMENT
- SPOT ELEVATION
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING
- SILT FENCE
- LIMIT OF DISTURBED AREA
- TREE PROTECTION FENCE
- EXISTING TREES TO REMAIN

BENCHMARKS:

Howard County Station #3104
N. 571,700.639, E. 1,369,606.281
Location

Howard County Station #31EA
N. 569,641.123, E. 1,374,815.935

VICINITY MAP
Scale: 1"=2000'

GENERAL NOTES:

- Subject property is zoned: R-20 per the 10/8/93 comprehensive zoning plan.
- The total area included in this submission is: 62,875 S.F. (the limit of the site).
- The total number of lots included in this submission is: 3.
- Improvement to property: Single Family Detached.
- Department of Planning and Zoning reference file numbers: F-99-192, WP99-126.
- Utilities shown as existing are taken from approved Water and Sewer plans Contract 14-3792-D, 10-215 & 132-W.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- All roadways are public and existing.
- The existing topography was field run by Clark, Finefrock and Sackett on Nov., 2002.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System - Howard County Monuments Numbers: 31B4 & 31EA.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least 5 days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.03 & R.6.05.
- In accordance with Section 128 of the Ho. Co. zoning regulations, any windows, chimneys or exterior stairways not more than 15 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
- The minimum setbacks for structures shall be as shown on Plat #15447.
- Access to and from this subdivision was granted by a private use-in-common easement through the adjacent Travis Landing subdivision, plat #11005, recorded Nov 15, 1995.
- Forest Conservation requirements have been met by payment of fee-in-lieu in the amount of \$7.84 per F-99-102.
- Open Space requirement has been met by payment of fee-in-lieu in the amount of \$4,500 per F-99-102.
- There are no 100 year floodplains or wetlands on the site.
- Driveway shall be constructed prior to issuance of a building permit to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width - 14 feet
 - Surface - 6 inches of compacted crusher run base with tar and chip coating
 - Geometry - Maximum 15% grade, maximum 10% grade change and minimum of 45 foot turning radius.
 - Structures (culverts/bridges) - Capable of supporting 25 gross tons (H25 Loading).
 - Drainage Elements - Capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface.
 - Structure clearances - Minimum 12 feet
 - Maintenance - Sufficient to insure all weather use.
- As a consequence of its submission on March 27, 2002, this SDP is subject to the 5th Edition of the Subdivision and Land Development Regulations.
- Vegetation on lot 1 adjacent to Montg. Co. right of way shall be maintained in order to provide a visual buffer from the road to the site.

SPECIAL NOTES:

This plan is for house siting and lot grading only. Improvements shown within the rights-of-way on this SDP are not to be used for construction. For construction, see approved Road Construction Plans and/or approved Water and Sewer Plans Contract # 14-3792-D.

ADDRESS CHART

LOT NO.	STREET ADDRESS
1	5323 MONTGOMERY ROAD
2	5325 MONTGOMERY ROAD
3	5321 MONTGOMERY ROAD

OWNER/DEVELOPER:
HAMILTON REED, LLC
8000 MAIN STREET
ELLICOTT, MARYLAND 21043

SHEET INDEX

SHEET NO.	DESCRIPTION
1	SITE DEVELOPMENT SED./EROSION CONTROL PLAN
2	ACCOMMODATION CONTROL DETAILS

REVISIONS:

DATE	DESCRIPTION
1-6-05	Lot 1, rev house, add new foundation, add noise wall, wall detail & notes by FCC, Inc.
2-11-04	Rev. use type 4 qrd., Lot 1 only and add use model by Fisher Collins & Carter Inc.
10/31/03	Rev. use type 4 qrd. Lots 3 & 4 only, add use models by Fisher Collins & Carter, Inc.

CLARK, FINEFROCK & SACKETT, INC.
ENGINEERS · PLANNERS · SURVEYORS
7135 MISTEL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

DESIGNED: EC/RMT
DRAWN: JPH
CHECKED: P.A.R.
DATE: 1-15-03

FOR: HAMILTON REED, LLC
8000 MAIN STREET
ELLICOTT CITY, MARYLAND 21043

SCALE: 1" = 30'
DRAWING: 1 OF 2
JOB NO.: 02-088
FILE NO.: 02-088-X

ENGINEER'S CERTIFICATE:

I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard County Code, District.

STEPHEN F. TORNEY
DATE: 3-24-03

G. NELSON CLARK
DATE: 4-1-03

NOISE WALL DETAIL:

SECTION 1: 2x16 LAMBER, 2-16" PER BOARD, DECKING

SECTION 2: 8"x8" COLUMN, 8"x8" COLUMN & PIER COLUMN, CONCRETE

SECTION 3: 8"x8" COLUMN, 8"x8" COLUMN & PIER COLUMN, CONCRETE

DEVELOPER'S/BUILDER'S CERTIFICATE:

"I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary."

STEPHEN F. TORNEY
DATE: 3-24-03