

GENERAL NOTES cont'd

- 23. The subject property is zoned R-20 per the 10/18/93 comprehensive zoning plan.
- 24. No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers and forest conservation easement areas.
- 25. Open space requirements: (Satisfied under F-03-84)
 - a.) Minimum open space required: (30% of gross area for 14,000 sq.ft. lots) 3,123.4 ac. x 30% = 0.9370 ac. or 40,816.59 sq.ft.
 - b.) Open space provided: 0.9843 ac. ± or 42,876,108.0 sq. ft.
- 26. The extension of public water and sewer was done by a red-line revision to Contract # 24-3879-D, approved and completed on October 14, 2003.

SITE ANALYSIS DATA CHART

- a. Total project area: 1.50 Acres ±
- b. Area of plan submission: 1.50 Acres ±
- c. Limit of disturbed area: 1.45 Acres ±
- d. Present zoning: "R-20" per 10/18/93 Comprehensive Zoning Plan.
- e. Proposed uses for site: structures: single family detached
- f. Floor space on each level of building(s) per use: See house templates this sheet
- g. Total number of units allowed: 4
- h. Total number of units proposed: 4
- i. Proposed building coverage of site: 0.24 acres; 16.0% of gross lot area
- j. Howard County file references: F-03-84; S-01-27; WP-01-132; P-02-16; Contr. #24-3879-D; Contr. #24-2718-S

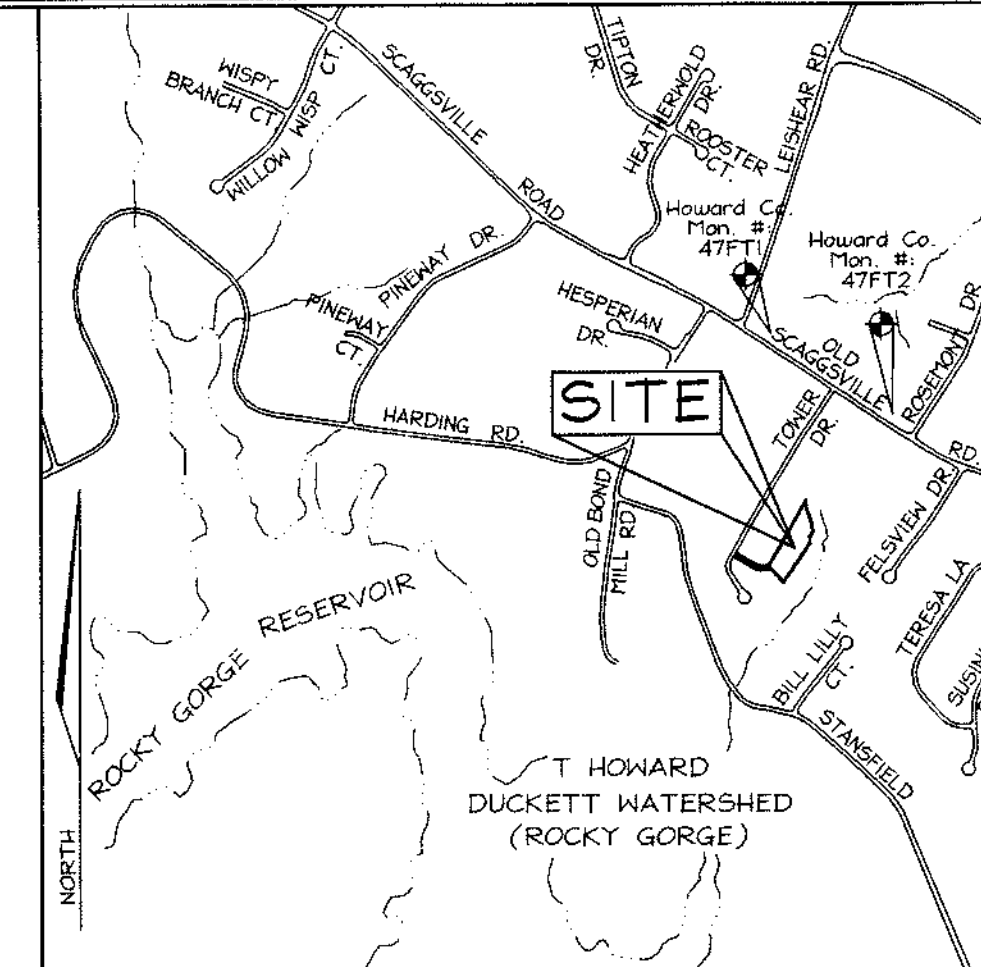
LEGEND

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Existing Trees to Remain
- Stone Trench Level Spreader
- Forest Conservation Easement Signage Per F-03-84

SHEET INDEX	
DESCRIPTION	SHEET No.
Site Development Plan	1 of 3
Sediment and Erosion Control and Landscape Plan	2 of 3
Sediment Erosion Control and Miscellaneous Details	3 of 3

BENCHMARKS

Sta. 47FT1	N 635143.322 (ft.)	E 1,346,960.276 (ft.)	Elev. 404.040 (ft.)
	N 163,112.009 (m)	E 410,554.3131 (m)	Elev. 123.1516 (m)
Sta. 47FT2	N 634,509.424 (ft.)	E 1,347,851.039 (ft.)	Elev. 401.100 (ft.)
	N 162,918.7983 (m)	E 410,825.8184 (m)	Elev. 122.2555 (m)



VICINITY MAP
SCALE: 1"=1200'

GENERAL NOTES

1. Property is within the Metropolitan District.
2. Public water and sewer will be used within this site.
3. The Contractor shall notify the following utility companies or agencies at least five(5) working days before starting work shown on these plans:
 - Verizon 1,800,743,0033/410,224,9210
 - AT&T 1,800,252,1133
 - BGE (Contractor Services) 410,531,553,939
 - BGE (Underground Damage Control) 410,850,4620
 - Miss Utility 410,767,9068
 - Colonial Pipeline Company 1,800,257,7777
 - Howard County, Dept. of Public Works, Bureau of Utilities 410,795,1330
 - Howard County Health Department 410,313,4900
 - Howard County Health Department 410,313,2640
4. The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
5. The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
6. The lots shown herein comply with the minimum ownership, width and lot area as required by the Maryland State Department of the Environment.
7. On-site topography based on a Field Run Topographic Survey prepared by C.B. Miller Associates in November, 2001 with two foot contours. Off-site topography based on Howard County 1993 Aerial Topographic Surveys with five foot contours.
8. There are no floodplains, historic structures, or cemeteries on-site.
9. This project is in conformance with the latest Howard County Standards unless waivers have been approved.
10. The coordinates shown herein are based upon the Howard County Geodetic Control which is based on the Maryland State Plane Coordinate system. Howard County monument numbers 46FT1 and 47FT2 were used for this project.
11. In accordance with section 12B of the Howard County Zoning Regulations, bay windows, chimneys, or exterior stairways not more than 16 feet in width may project not more than 10 feet into the front or rear yard setback.
 - A) Windows-12 feet (14' serving more than one residence).
 - B) Surface-6 inches of compacted crusher run base with 1 1/2" Min. tar and chip coating.
 - C) Geometry-max. 10% grade, max. 10% grade change, and 45 foot turning radius.
 - D) Structures (bridges/culverts)-capable of supporting 25 gross tons (H25-loading).
 - E) Drainage elements-capable of safely passing 100 year flood with no more than one foot depth over driveway surface.
 - F) Structure clearance-minimum 12 feet.
 - G) Maintenance-sufficient to insure all weather use.
13. Forest conservation obligations have been addressed under F-03-84. This plan complies with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation by Retention of 0.28 Ac. ± of forest and Reforestation of 0.61 Ac. ± on open space lot 5 and Offsite Retention of 0.44 Ac. ± of forest on Open Space Lot 3, The Hillside at Rocky Gorge V, F-03-79.
14. For flag or pipe stem lots, refuse collection, snow removal and road maintenance to be provided at the junction of flag or pipe stem and the road r/w and not onto the flag or pipe stem driveway.
15. All Sewer House Connections to be a minimum of 2.0% and a maximum of 5.0%. If no slope is shown, 2.0% may be assumed.
16. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. Financial surety for the required 22 shade trees in the amount of \$6,600.00 shall be posted with the builder's grading permit application for these lots.
17. There are no wetlands on site. Wetlands evaluation prepared by Exploration Research, Inc. in November, 2001.
18. Stormwater Management for the subject property to be provided as follows:
 1. This site is exempt from providing channel protection (CPV).
 2. Water quality and recharge for this site is provided by the sheet flow to buffer credit and a grass swale along the use-in-common access driveway. For Additional Information, See F-03-84.
19. The property is subject to a design manual waiver from Figure 2.17 in Design Manual Volume III, waiving the requirement to perform an 85th percentile speed study. The waiver was approved on February 26, 2002.
20. The Planning Director approved waiver petition WP-01-132 on July 3, 2001. The waiver from section 16.121(a) (1) to create open space lot no. 5 without the minimum required frontage on a public road was subject to the following:
 - a) Dedication of the open space to the Department of Recreation and Parks.
 - b) Provide access to the open space via the 24' use-in-common easement.
21. This subdivision is subject to the fifth edition of the Howard County Subdivision and Land Development regulations and the new zoning regulations as amended by council bill 50-2001.
22. For Level Spreader detail, See Sheet 3.

Continued this sheet

OWNER/DEVELOPER
CORNERSTONE HOMES
9691 Norfolk Avenue
Lanai, Maryland 20723
(410) 792-2567

SITE DEVELOPMENT PLAN
THE HILLSIDE AT ROCKY GORGE II
LOTS 1 THRU 4

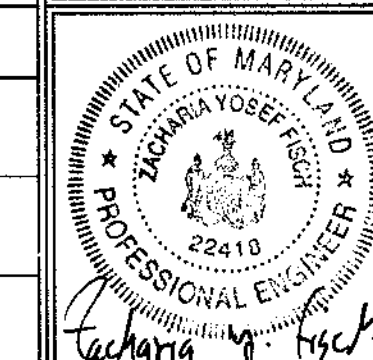
TAX MAP 46, GRID 18 PARCEL 326
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ADDRESS CHART

LOTS	STREET
1	10610 Stream Edge Drive
2	10614 Stream Edge Drive
3	10618 Stream Edge Drive
4	10622 Stream Edge Drive

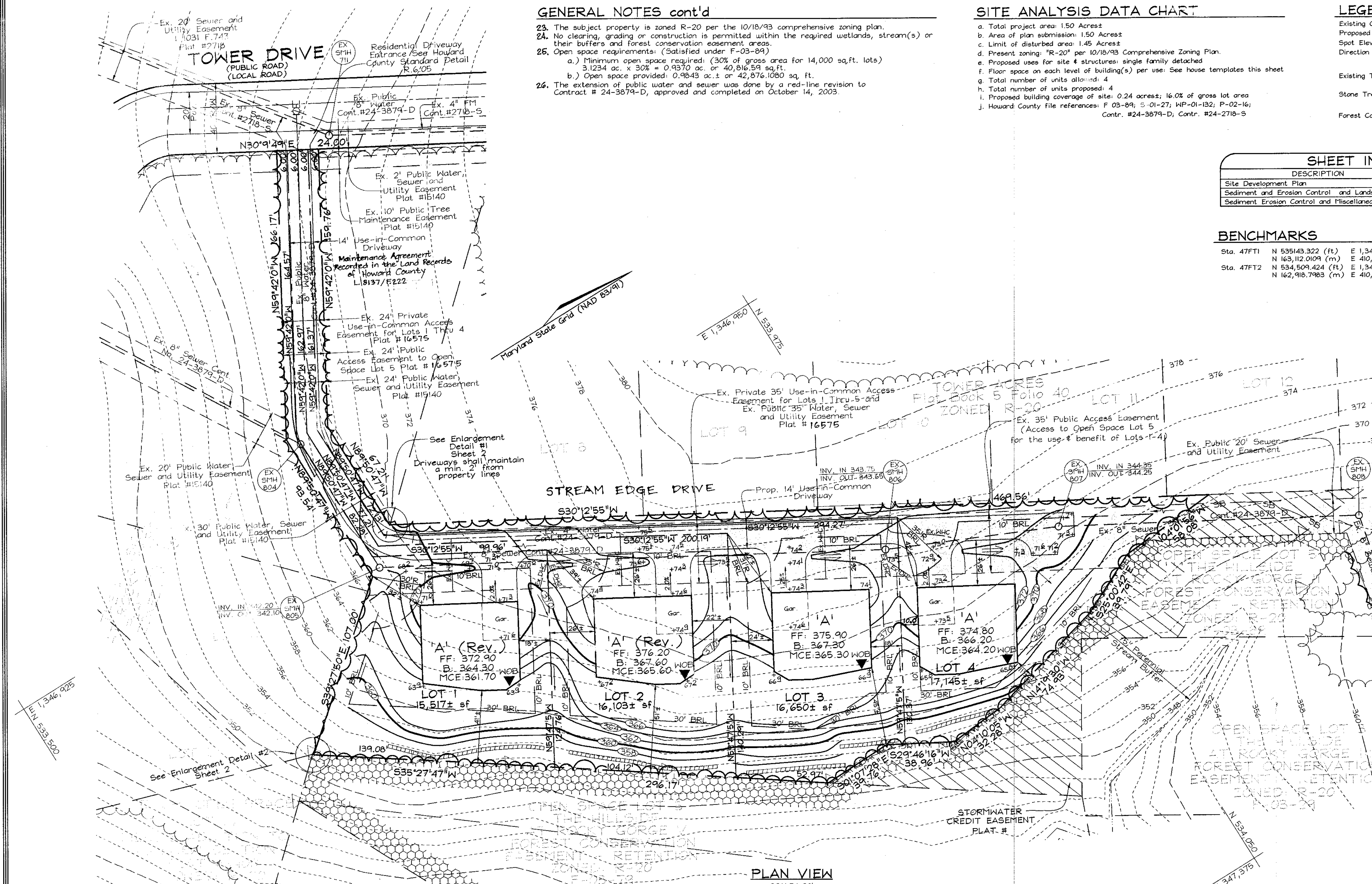
PERMIT INFORMATION CHART

Subdivision Name:	The Hillside at Rocky Gorge II		Section/Area	N/A	Lot/Parcel No.	1-4	
Plot #	18	Zoning	R-20	Elect. District	6th	Census Tract	6068.02
Water Code	E-19	Sewer Code	7450000				

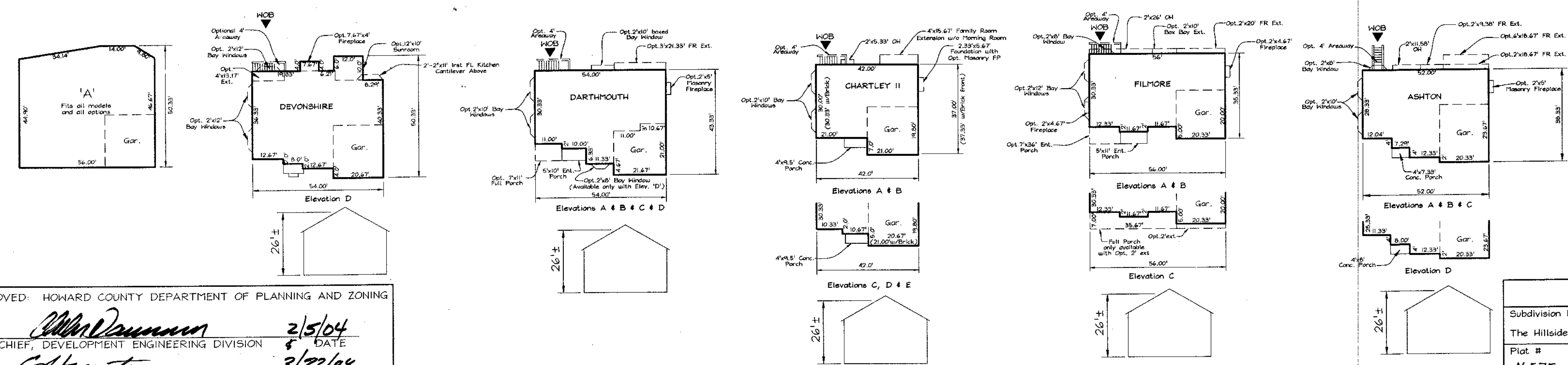


FSH Associates
Engineers Planners Surveyors
8318 Forrest Street, Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: FSHAssociates@tsc.com

DESIGN BY: FS
DRAWN BY: GS
CHECKED BY: ZYF
SCALE: As Shown
DATE: Dec. 31, 2003
H.O. No.: 3050
SHEET No.: 1 OF 3

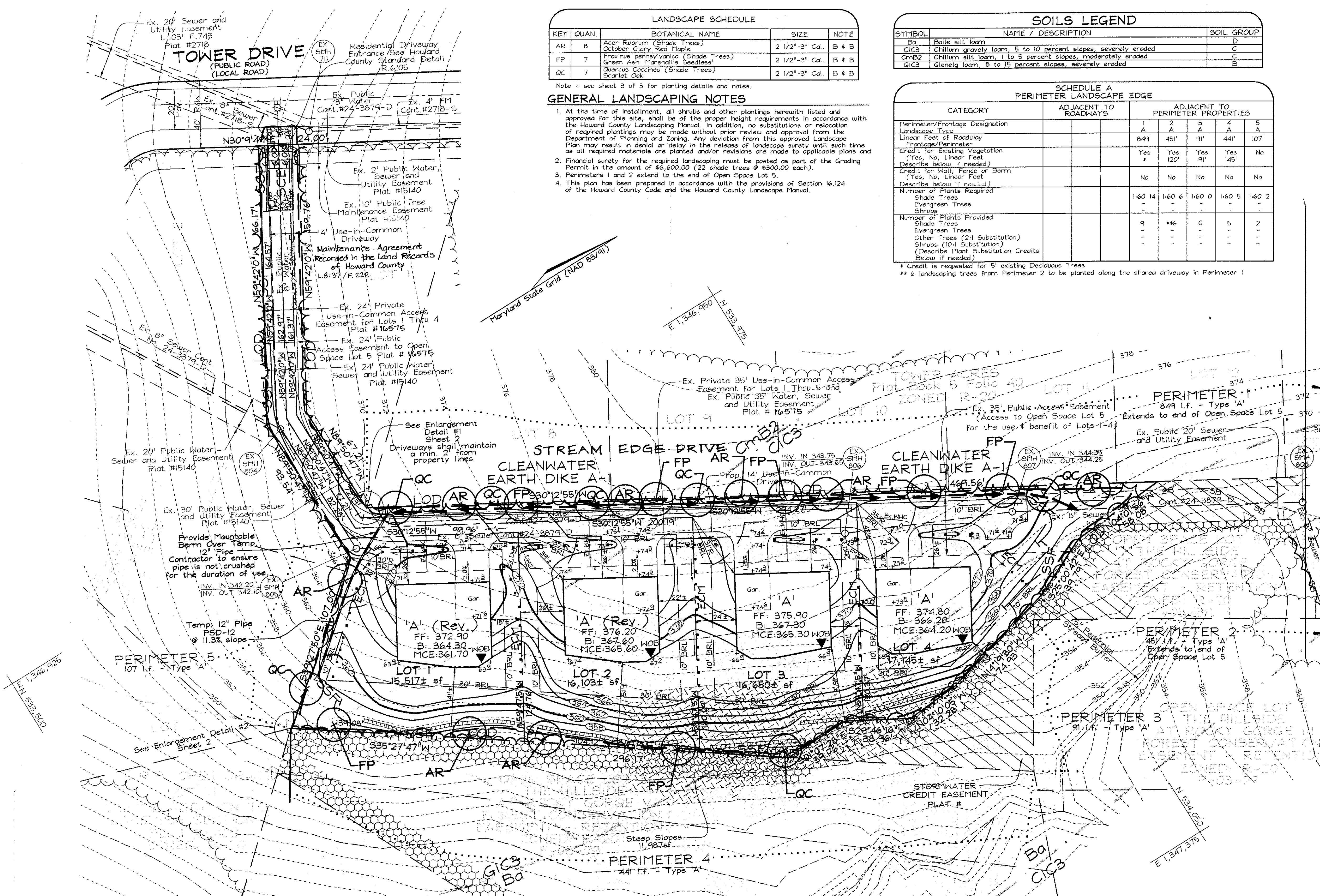


PLAN VIEW
SCALE: 1"=30'



HOUSE TEMPLATES
SCALE: 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John Dammann 2/5/04 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION
David L. Galt 2/22/04 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT
2/23/04 DATE



LANDSCAPE SCHEDULE

KEY	QUAN	BOTANICAL NAME	SIZE	NOTE
AR	8	Acer Rubrum (Shade Trees)	2 1/2"-3" Cal.	B & B
FP	7	Fraxinus pennsylvanica (Shade Trees)	2 1/2"-3" Cal.	B & B
QC	7	Quercus Coccinea (Shade Trees)	2 1/2"-3" Cal.	B & B

Note - see sheet 3 of 3 for planting details and notes.

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	SOIL GROUP
Ba	Baile silt loam	D
C1C3	Chillum gravelly loam, 5 to 10 percent slopes, severely eroded	C
CmB2	Chillum silt loam, 1 to 5 percent slopes, moderately eroded	C
G1C3	Glenelg loam, 8 to 15 percent slopes, severely eroded	B

- ### GENERAL LANDSCAPING NOTES
- At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height requirements in accordance with the Howard County Landscaping Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and as all required for the required landscaping must be posted as part of the Grading Permit in the amount of \$6,600.00 (22 shade trees @ \$300.00 each).
 - Perimeters 1 and 2 extend to the end of Open Space Lot 5.
 - This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.

SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES				
		1	2	3	4	5
Perimeter/Frontage Designation						
Linear Feet of Roadway		849'	451'	91'	441'	107'
Frontage/Perimeter						
Credit for Existing Vegetation (Yes, No, Linear Feet)		Yes	Yes	Yes	Yes	No
Describe below if needed		120'	91'	145'		
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)		No	No	No	No	No
Describe below if needed						
Number of Plants Required						
Shade Trees		160	14	160	6	160
Evergreen Trees		-	-	-	-	-
Shrubs		-	-	-	-	-
Number of Plants Provided						
Shade Trees		9	166	0	5	2
Evergreen Trees		-	-	-	-	-
Other Trees (2:1 Substitution)		-	-	-	-	-
Shrubs (10:1 Substitution)		-	-	-	-	-
Describe Plant Substitution Credits Below if needed						

* Credit is requested for 5' existing Deciduous Trees
 ** 6 landscaping trees from Perimeter 2 to be planted along the shared driveway in Perimeter 1

LEGEND

Stabilized Construction Entrance

Super Silt Fence

Limit of Disturbance

Erosion Control Matting

Earth Dike

Landscape Perimeter

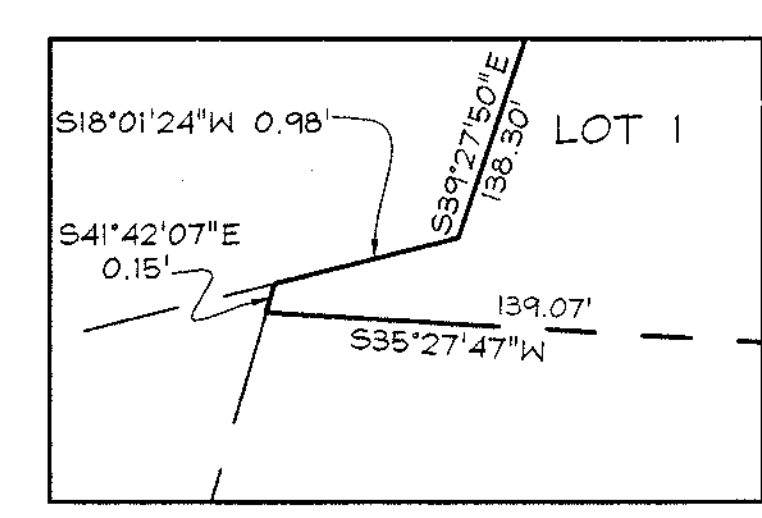
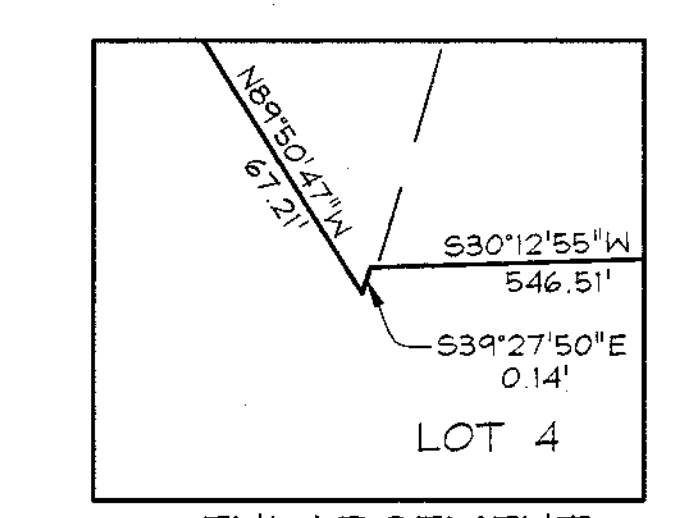
Proposed Landscape Tree

15% to 24.9% slopes

25% or greater slopes

Stone Trench Level Spreader

Forest Conservation Easement Signage



PLAN VIEW
SCALE: 1"=30'

DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

R. D. B. 12/31/03
SIGNATURE OF DEVELOPER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John R. Robertson 2/2/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

John R. Robertson 2/2/04
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John R. Robertson 2/2/04
DIRECTOR DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

R. D. B. 12/31/03
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

John R. Robertson 2/2/04
HOWARD SCD DATE

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Zacharia Y. Fisch 12/31/03
SIGNATURE OF ENGINEER DATE

ZACHARIA Y. FISCH

SEDIMENT AND EROSION CONTROL AND LANDSCAPE PLAN

THE HILLSIDE AT ROCKY GORGE II

LOTS 1 THRU 4

TAX MAP 46, GRID 18
6TH ELECTION DISTRICT

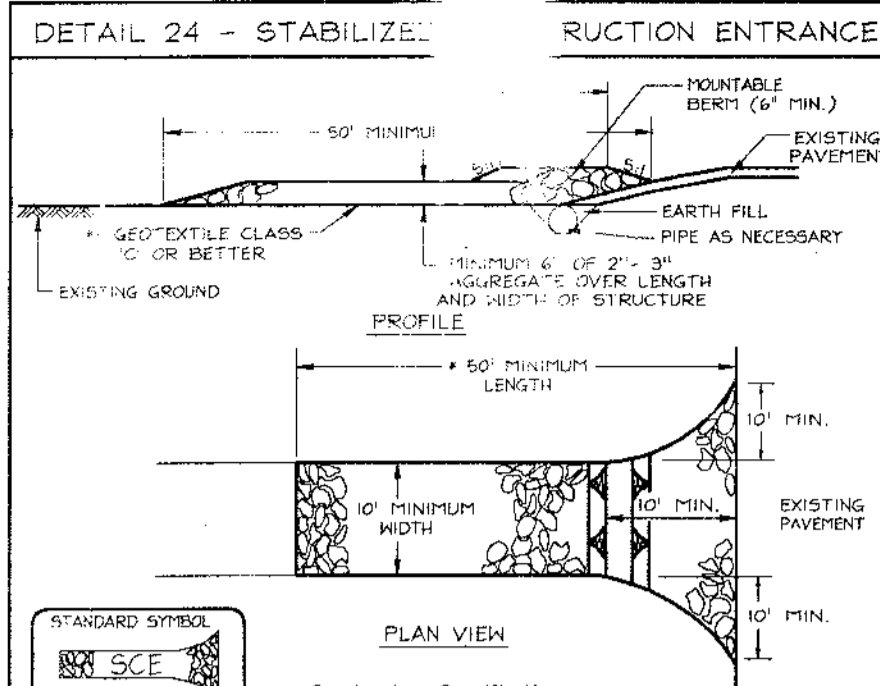
FARCEL 326
HOWARD COUNTY, MARYLAND

DESIGN BY: *PS*
DRAWN BY: *GS*
CHECKED BY: *ZYF*
SCALE: *As Shown*
DATE: *Dec 31, 2003*
H.O. No.: *3050*
SHEET No. *2* OF *3*

FSH Associates
Engineers Planners Surveyors
8318 Forrest Street Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: FSHAssociates@cs.com

Zacharia Y. Fisch

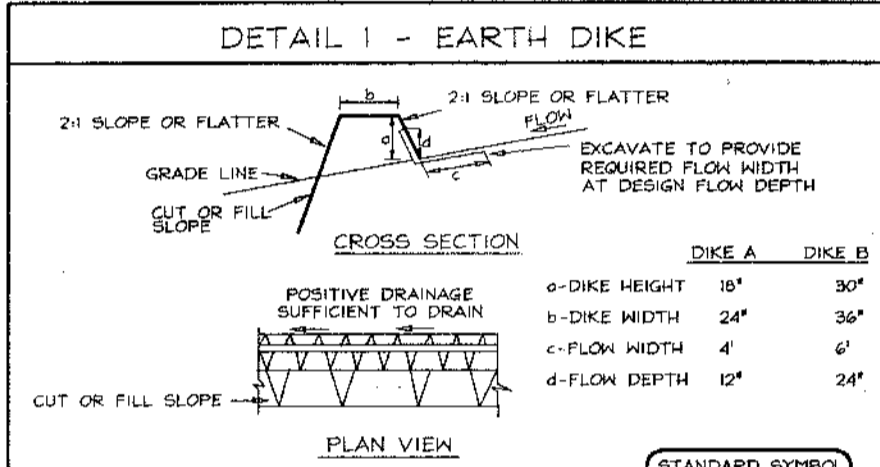
OWNER/DEVELOPER
CORNERSTONE HOMES
1691 Norfolk Avenue
Laurel, Maryland 20723
(410) 742-2667



Construction Specifications

- Length - minimum of 50' (+30' for a single radius).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. If the plan approval authority may not require single family residences to use geotextile.
- Stone - should be approximately (2" to 3") or reclaimed or recycled concrete aggregate shall be placed at least 6" deep over the length and width of the entrance.
- Surface - shall be all surface area flowing to or diverted toward construction entrance shall be graded to the entrance, maintaining positive drainage. The material through the stabilization entrance shall be protected with a mountable berm with 3:1 slopes and a minimum of 6" of slope over the top. There has to be a seal according to the drainage when the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be placed at the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilization construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

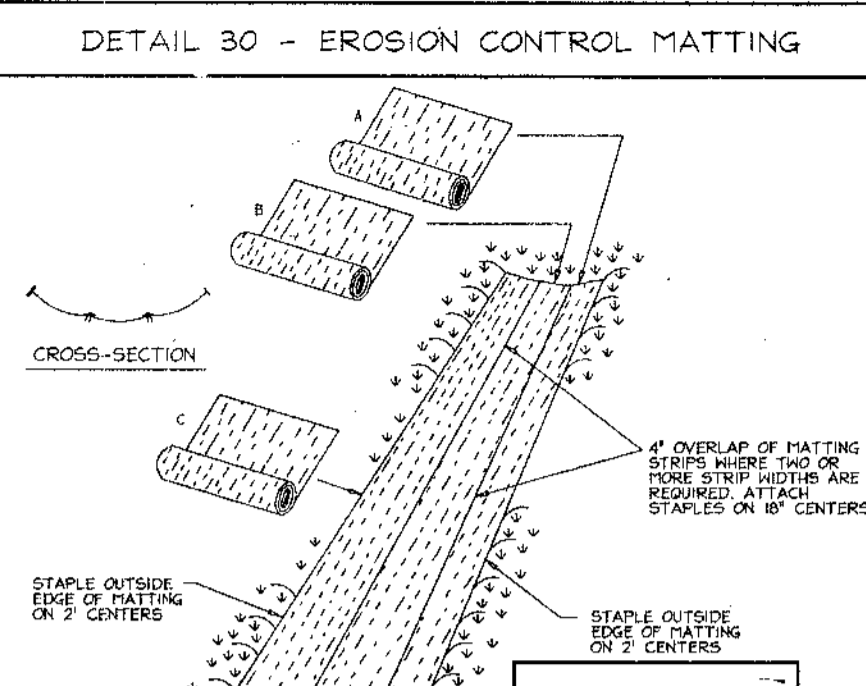
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 11-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



Construction Specifications

- All temporary earth dikes shall have unimpaired positive grade to an outlet. Spot elevations may be necessary for grades less than 1:1.
- Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
- Runoff diverted from an undisturbed area shall collect directly into an undisturbed, stabilized area at a non-erosive velocity.
- All trees, brush, stumps, obstructions, and other obstructions shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
- The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
- Fill shall be compacted by earth moving equipment.
- All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
- Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 11-6 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



Construction Specifications

- Key-in the matting by placing the top ends of the matting in a narrow trench, 4" in depth. Backfill the trench and tamping to conform to the channel cross-section. Secure with a row of staples above 4" down slope from the trench. Spacing between staples is 4'.
- Staple the 4" overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- where one end of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4', overlap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting line should be securely secured with 2 double rows of staples.
- Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.
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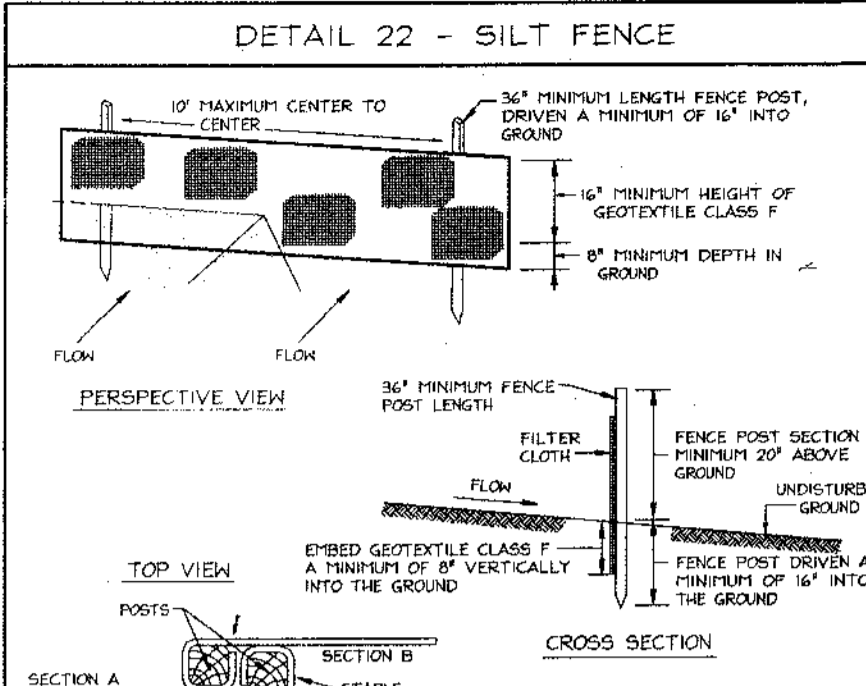
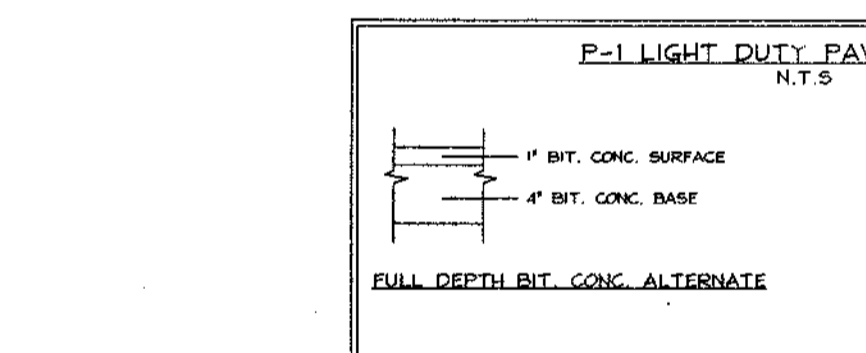
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 11-7 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



Construction Specifications

- Fence posts shall be a minimum of 36" long, driven 18" minimum into the ground. Posts shall be 1 1/2" x 1 1/2" (minimum) oak or 2" x 2" (minimum) pressure treated wood. Posts shall be spaced 24' on center.
- Geotextile fabric shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 - Tensile Strength 50 lbs/in (min.) Test: MSHT 509
 - Tensile Modulus 20 lbs/in (min.) Test: MSHT 509
 - Flow Rate 0.3 gal/in (max.) Test: MSHT 322
 - Filtering Efficiency 75% (min.) Test: MSHT 322
- Where ends of geotextile fabric come together, they shall be overlapped.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reaches 50% of the fabric height.
- Note: The discharge end of the matting line should be securely secured with 2 double rows of staples.
- Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 11-8 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Design for Chain Link Fencing. The specification for a 42" fence shall be used, substituting 42" fabric and 6" length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brack and cross rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 10" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and all buildings removed within "booms" develop in the silt fabric, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
 - Tensile Strength 50 lbs/in (min.) Test: MSHT 509
 - Tensile Modulus 20 lbs/in (min.) Test: MSHT 509
 - Flow Rate 0.3 gal/in (max.) Test: MSHT 322
 - Filtering Efficiency 75% (min.) Test: MSHT 322
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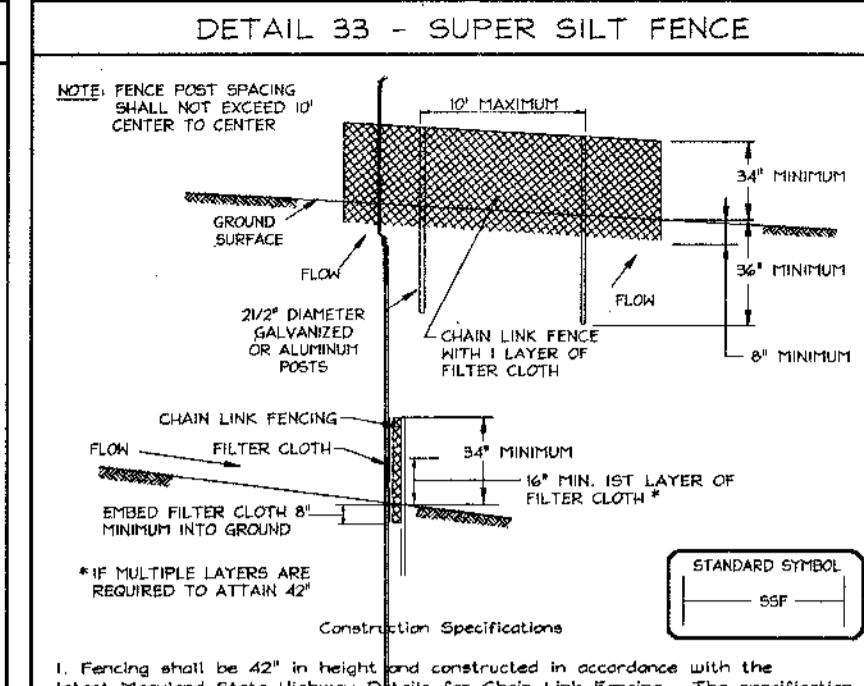
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 11-8 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



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- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
 - Tensile Strength 50 lbs/in (min.) Test: MSHT 509
 - Tensile Modulus 20 lbs/in (min.) Test: MSHT 509
 - Flow Rate 0.3 gal/in (max.) Test: MSHT 322
 - Filtering Efficiency 75% (min.) Test: MSHT 322
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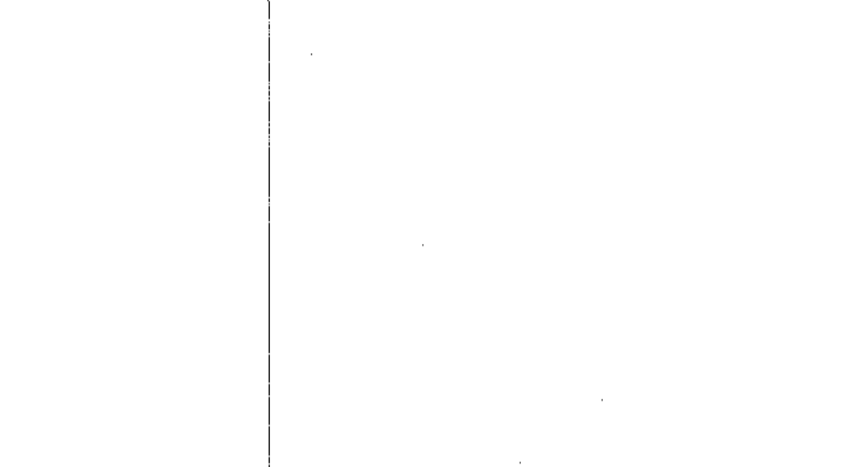
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 11-8 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



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- Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.

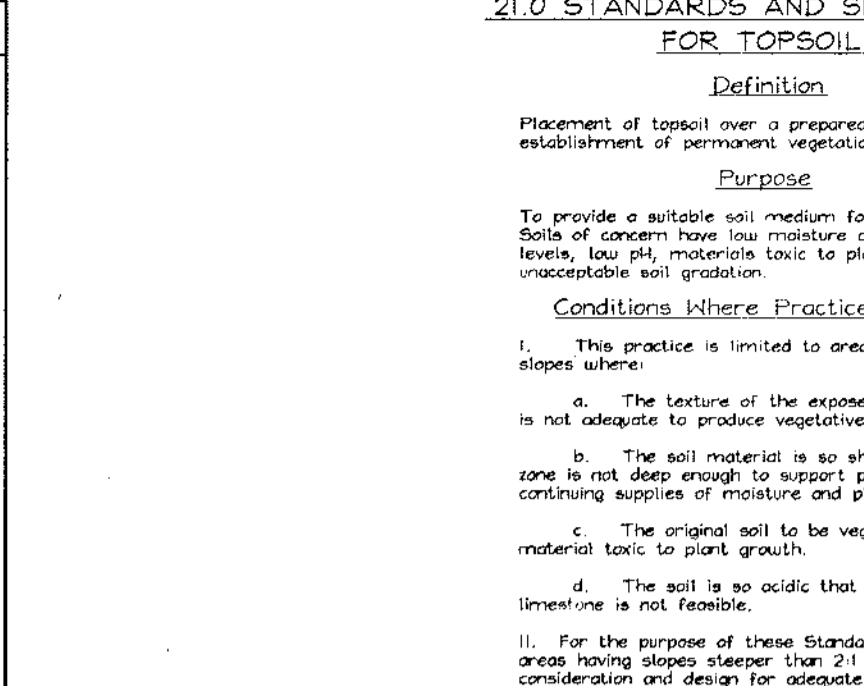
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE # 11-8 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



Construction Specifications

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- Install Stabilized Construction Entrance, Temporary Storm Drain, Silt Fence, and Super Silt Fence. (1 week)
- Clear, grub, and rough grade site.
- Construct use-in-common drive and begin house construction. (2 weeks)
- Complete house construction, fine grade site, and install Erosion Control Matting. (2 months)
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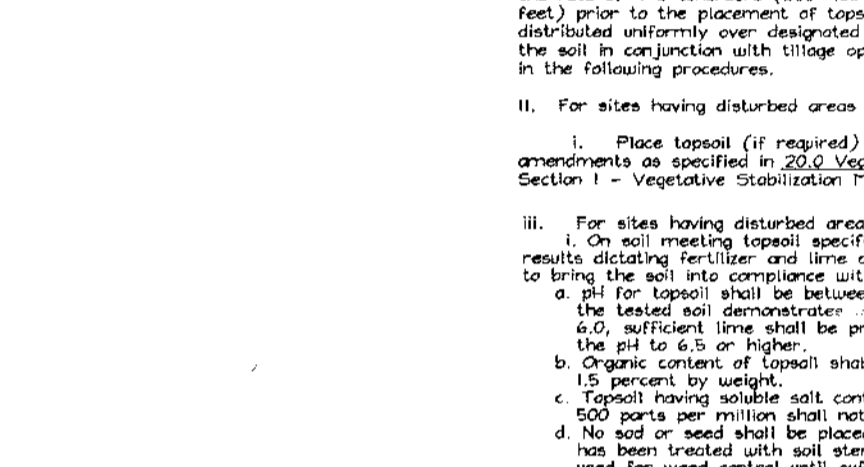
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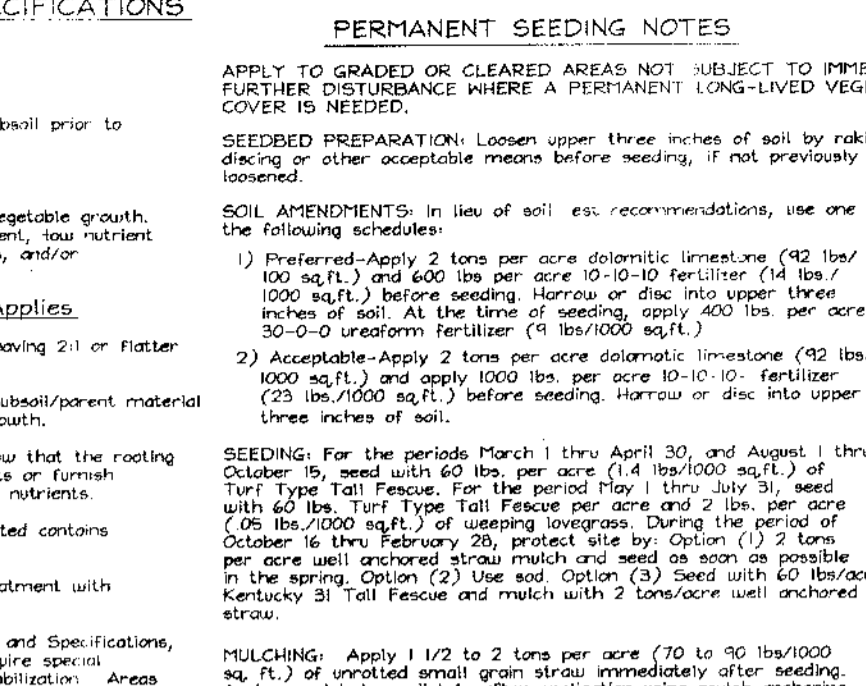
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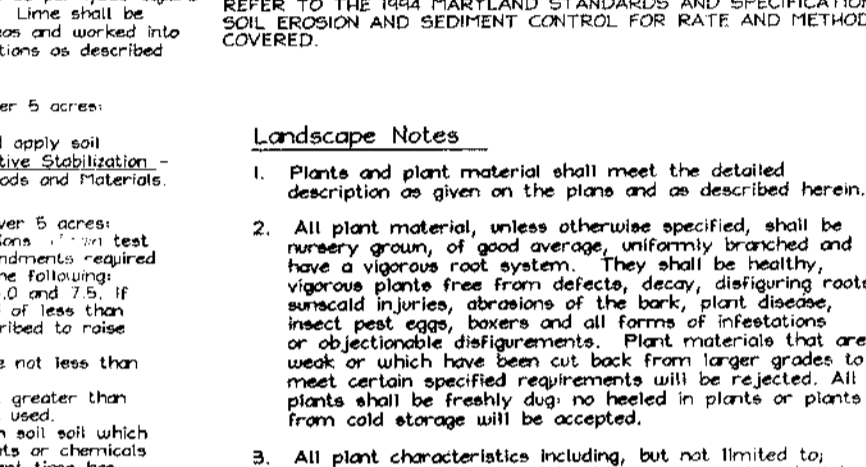
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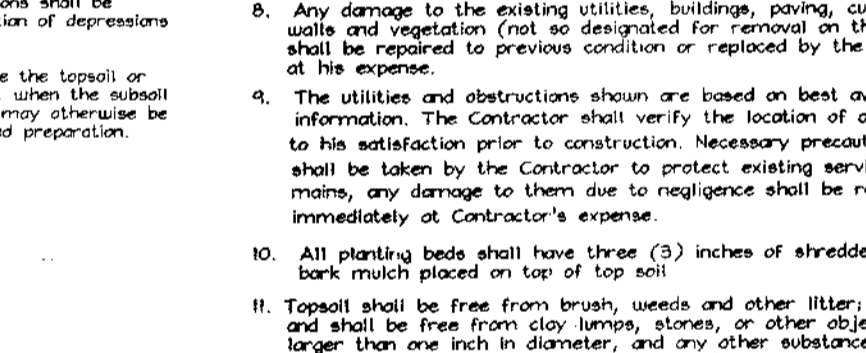
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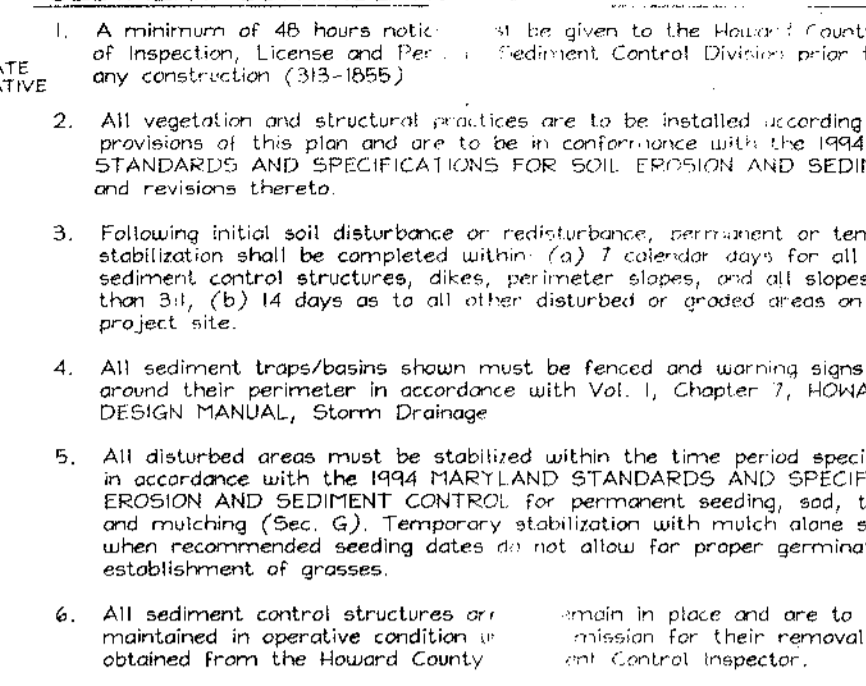
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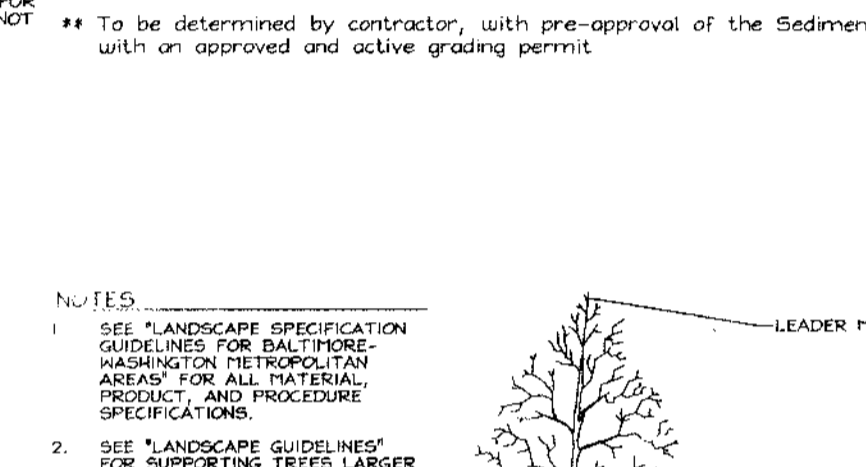
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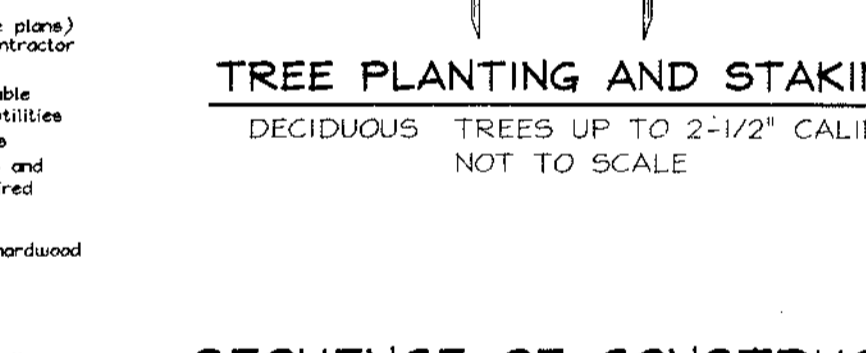
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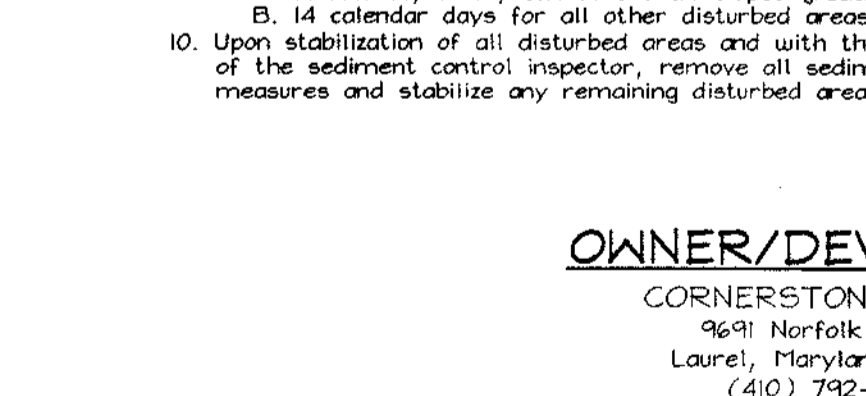
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21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, or are unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 21" or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with lime is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these Specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silty loam, sandy clay loam, loamy sand, or silty sand. Other soils may be used if approved by the appropriate approval authority. Regardless of soil type, topsoil shall contain less than 1% volume of silt and shall contain less than 5% by volume of gravel, cobbles, stones, slag, coarse fragments, gravel, clasts, trash, or other materials larger than 1/2" and 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, dogwood, junipers, mistletoe, poison ivy, etc. If the soil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 1.0 to 2.0 tons per acre (100 to 200 lbs per 1000 sq ft) prior to the placement of topsoil. Lime shall be distributed uniformly over designated area and worked into the soil in conjunction with tillage operations as described in the following practices.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 22.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting topsoil specifications, the results of soil testing shall be maintained, and the soil shall be amended with the following:
 - pH for topsoil shall be between 6.0 and 7.5; if the tested soil demonstrates - all or less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.0 or higher.
 - Organic content of topsoil shall be not less than 1% percent, by volume. Topsoil with less than 1% organic content shall not be used.
 - Topsoil having soluble salt content greater than 1000 parts per million shall not be used.
 - No soil shall be placed on soil which has been treated with salt sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxicity.
 - Place topsoil (if required) and apply soil amendments as specified in 22.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS DESIRED.

SEEDING PREPARATION Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs per acre 30-0-0 urea fertilizer (5 lbs/1000 sq ft).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

SEEDING For the period March 1 thru April 30 and August 1 thru October 31, seed with 60 lbs per acre (14 lbs/1000 sq ft) of Type Tall Fescue, for the period May 1 thru June 30, seed with 60 lbs per acre (14 lbs/1000 sq ft) of Type Tall Fescue, for the period July 1 thru August 31, seed with 60 lbs per acre (14 lbs/1000 sq ft) of Type Tall Fescue. For the period September 1 thru October 31, seed with 60 lbs per acre (14 lbs/1000 sq ft) of Type Tall Fescue. For the period November 1 thru December 31, seed with 60 lbs per acre (14 lbs/1000 sq ft) of Type Tall Fescue.

MULCHING Apply 1 1/2 to 2 tons per acre (70 to 100 lbs/1000 sq ft) of unrotted small gran straw immediately after seeding. Another mulch immediately after seeding using mulch, anchoring tool or 200 gallons per acre (6 gal/1000 sq ft) of emulsified asphalt on flat areas. For slopes greater than 2:1, use 300 gallons per acre (6 gal/1000 sq ft) for anchoring.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS DESIRED.

SEEDING PREPARATION Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

SEEDING For periods March 1 thru April 30 and from August 1 thru November 31, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru June 30, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period July 1 thru August 31, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period September 1 thru October 31, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period November 1 thru December 31, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft).

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REFER TO THE H&M H&M STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHOD NOT COVERED.

Landscape Notes

1. Plants and plant material shall meet the detailed description as given on the plans and as described herein.
2. All plant material, unless otherwise specified, shall be nursery grown, of good genetic uniformly branched and have a vigorous root system. They shall be healthy, vigorous

GENERAL NOTES cont'd

- 23. The subject property is zoned R-20 per the 10/18/93 comprehensive zoning plan.
- 24. No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers and forest conservation easement areas.
- 25. Open space requirements: (Satisfied under F-03-89)
 - a.) Minimum open space required: (30% of gross area for 14,000 sq.ft. lots) 3,123.4 ac. x 30% = 0.9370 ac. or 40,816.54 sq.ft.
 - b.) Open space provided: 0.9843 ac.± or 42,876,108.0 sq. ft.
- 26. The extension of public water and sewer was done by a red-line revision to Contract # 24-3879-D, approved and completed on October 14, 2003.

SITE ANALYSIS DATA CHART

- a. Total project area: 1.50 Acres±
- b. Area of plan submission: 1.50 Acres±
- c. Limit of disturbed area: 1.45 Acres±
- d. Present zoning: "R-20" per 10/18/93 Comprehensive Zoning Plan.
- e. Proposed uses for site & structures: single family detached
- f. Floor space on each level of building(s) per use: See house templates this sheet
- g. Total number of units allowed: 4
- h. Total number of units proposed: 4
- i. Proposed building coverage of site: 0.24 acres±; 16.0% of gross lot area
- j. Howard County file references: F 03-89; S-01-27; WP-01-132; P-02-16; Contr. #24-3879-D; Contr. #24-2718-S

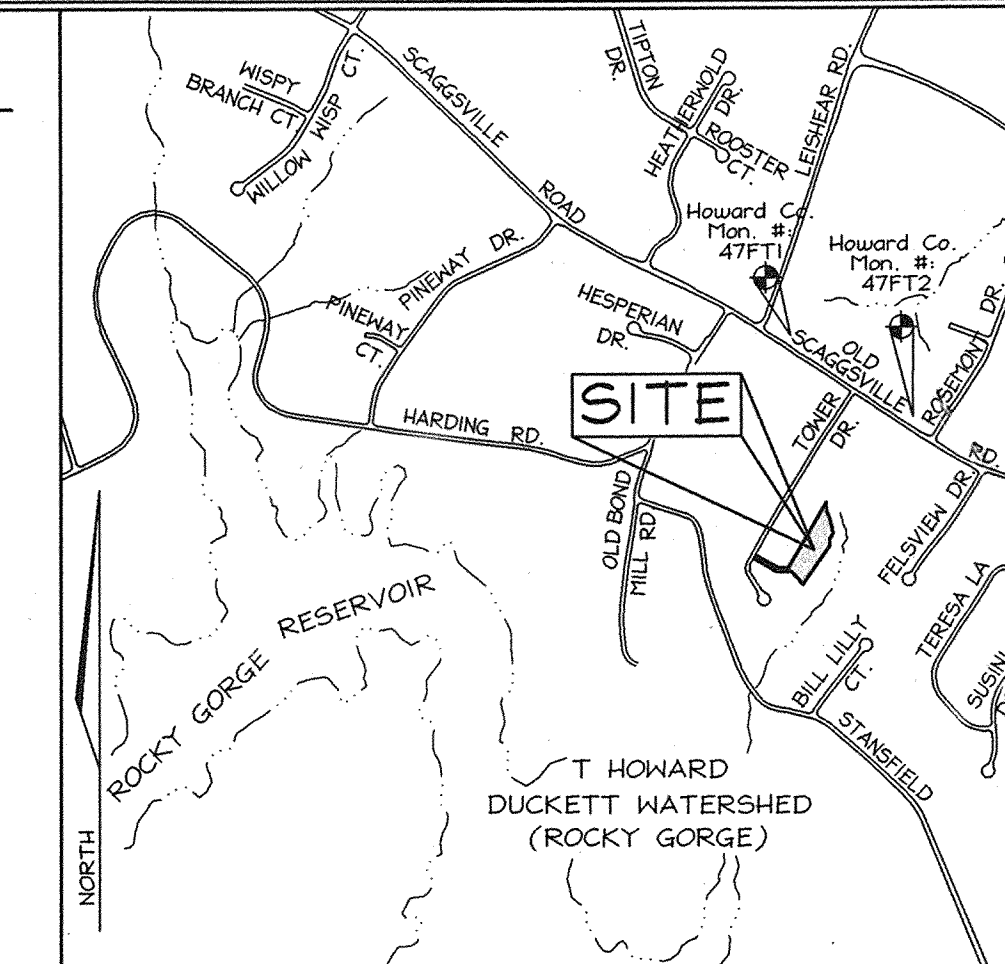
LEGEND

- Existing Contour
- Proposed Contour
- Spot Elevation
- Direction of Flow
- Existing Trees to Remain
- Stone Trench Level Spreader
- Forest Conservation Easement Signage Per F-03-089

SHEET INDEX	
DESCRIPTION	SHEET No.
Site Development Plan	1 of 3
Sediment and Erosion Control and Landscape Plan	2 of 3
Sediment Erosion Control and Miscellaneous Details	3 of 3

BENCHMARKS

Sta. 47FT1	N 535143.322 (ft)	E 1,346,960.276 (ft)	Elev. 404.040 (ft)
	N 163,112.009 (m)	E 410,554.3131 (m)	Elev. 123.1516 (m)
Sta. 47FT2	N 534,509.424 (ft)	E 1,347,851.039 (ft)	Elev. 401.100 (ft)
	N 162,918.7983 (m)	E 410,825.8184 (m)	Elev. 122.2555 (m)



VICINITY MAP
SCALE: 1"=1200'

GENERAL NOTES

1. Property is within the Metropolitan District.
2. Public water and sewer will be used within this site.
3. The Contractor shall notify the following utility companies or agencies at least five(5) working days before starting work shown on these plans:
 - Verizon: 1.800.743.0033/410.224.9210
 - AT&T: 1.800.252.1133
 - State Highway Administration: 410.531.5533
 - BGE(Contractor Services): 410.850.4620
 - BGE(Underground Damage Control): 410.787.9068
 - Miss Utility: 1.800.257.7777
 - Colonial Pipeline Company: 410.785.1300
 - Howard County, Dept. of Public Works, Bureau of Utilities: 410.313.4900
 - Howard County Health Department: 410.313.2640
4. The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
5. The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
6. The lots shown hereon comply with the minimum ownership, width and lot area as required by the Maryland State Department of the Environment.
7. On-site topography based on a Field Run Topographic Survey prepared by C.B. Miller & Associates in November, 2001 with two foot contours. Off-site topography based on Howard County 1993 Aerial Topographic Surveys with five foot contours.
8. There are no floodplains, historic structures, or cemeteries on-site.
9. This project is in conformance with the latest Howard County Standards unless waivers have been approved.
10. The coordinates shown hereon are based upon the Howard County Geodetic Control which is based on the Maryland State Plane Coordinate system. Howard County monument numbers 46FT1 and 47FT2 were used for this project.
11. In accordance with section 12B of the Howard County Zoning Regulations, bay windows, chimneys, or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks. Porches, or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
12. Driveway(s) shall be provided prior to issuance of a use and occupancy permit for any new dwelling to insure safe access for fire and emergency vehicles per the following (minimum) requirements:
 - A) Width-12 feet (14' serving more than one residence).
 - B) Surface-4 inches of compacted crusher run base with 1 1/2" Min. tar and chip coating.
 - C) Geometry-max. 15% grade, max. 10% grade change, and 45 foot turning radius.
 - D) Structures (bridges/culverts)-capable of supporting 25 gross tons (H25-loading).
 - E) Drainage elements-capable of safely passing 100 year flood with no more than one foot depth over driveway surface.
 - F) Structure clearance-minimum 12 feet.
 - G) Maintenance-sufficient to insure all weather use.
13. Forest conservation obligations have been addressed under F-03-89. This plan complies with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation by Retention of 0.28 Ac.± of forest and Reforestation of 0.61 Ac.± on open space lot 5 and Offsite Retention of 0.44 Ac.± of forest on Open Space Lot 3, The Hillside at Rocky Gorge V, F-03-79.
14. For flag or pipe stem lots, refuse collection, snow removal and road maintenance to be provided at the junction of flag or pipe stem and the r/w and not onto the flag or pipe stem driveway.
15. All Sewer House Connections to be a minimum of 2.0% and a maximum of 5.0%. If no slope is shown, 2.0% may be assumed.
16. This plan has been prepared in accordance with the provisions of Section 16.12A of the Howard County Code and the Landscape Manual. Financial surty for the required 22 shade trees in the amount of \$6,600.00 shall be posted with the builder's grading permit application for these lots.
17. There are no wetlands on site. Wetlands evaluation prepared by Exploration Research, Inc. in November, 2001.
18. Stormwater Management for the subject property to be provided as follows:
 1. This site is exempt from providing channel protection (CPV).
 2. Water quality and recharge for this site is provided by the sheet flow to buffer credit and a grass swale along the use-in-common access driveway.
 For Additional Information, See F-03-89.
19. The property is subject to a design manual waiver from figure 2.17 in Design Manual Volume III, waiving the requirement to perform an 85th percentile speed study. The waiver was approved on February 26, 2002.
20. The Planning Director approved waiver petition WP-01-132 on July 3, 2001. The waiver from section 16.121.e.(1) to create open space lot no. 5 without the minimum required frontage on a public road was subject to the following:
 - a.) Dedication of the open space to the Department of Recreation and Parks.
 - b.) Provide access to the open space via the 24' use-in-common easement.
21. This subdivision is subject to the fifth edition of the Howard County Subdivision and Land Development regulations and the new zoning regulations as amended by council bill 50-2001.
22. For Level Spreader detail, See Sheet 3.

OWNER/DEVELOPER
CORNERSTONE HOMES
9691 Norfolk Avenue
Laurel, Maryland 20723
(410) 792-2567

SITE DEVELOPMENT PLAN
THE HILLSIDE AT ROCKY GORGE II
LOTS 1 THRU 4

TAX MAP 46, GRID 18
6TH ELECTION DISTRICT

PARCEL 326
HOWARD COUNTY, MARYLAND

ADDRESS CHART

LOTS	STREET
1	10610 Stream Edge Drive
2	10614 Stream Edge Drive
3	10618 Stream Edge Drive
4	10622 Stream Edge Drive

PERMIT INFORMATION CHART

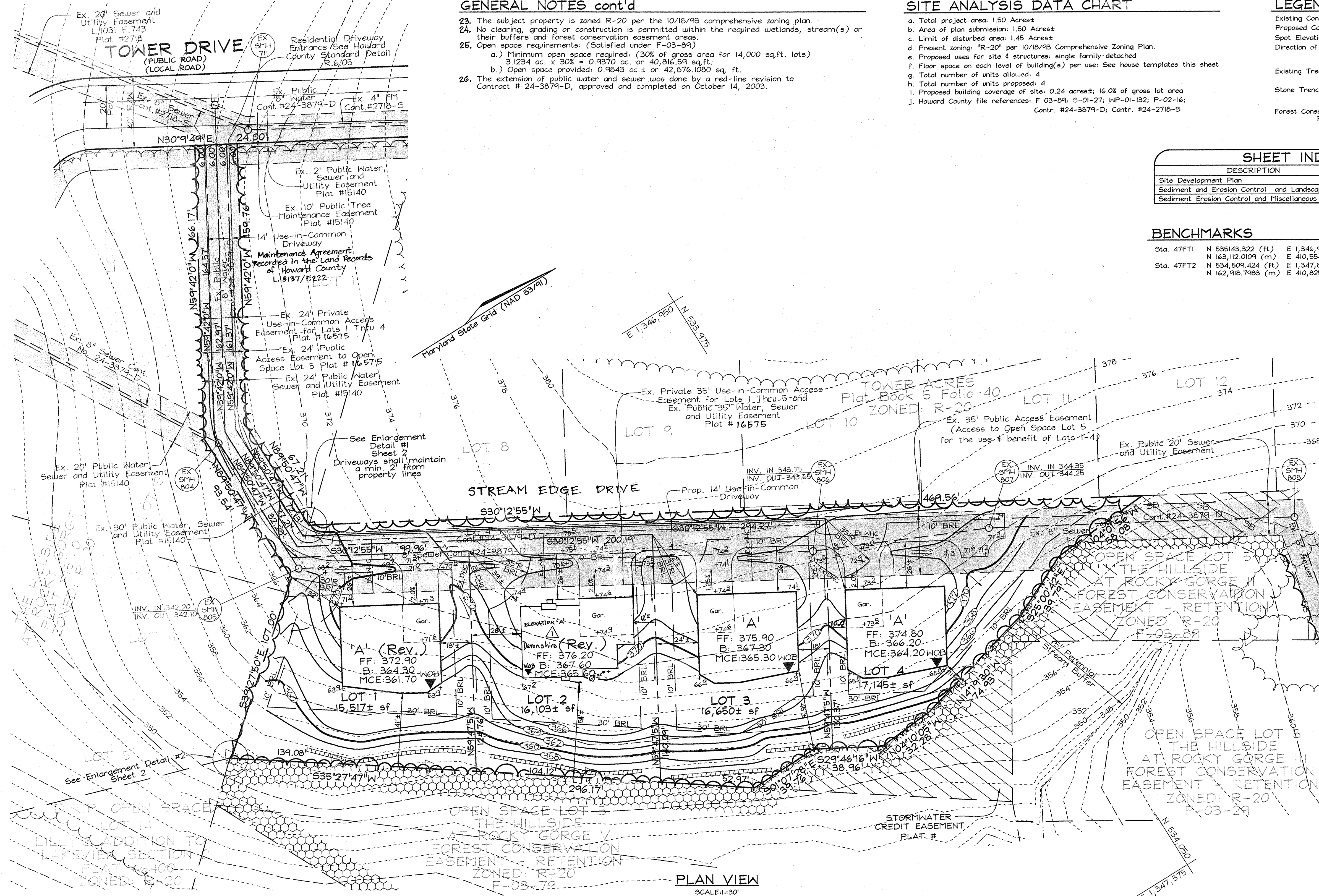
Subdivision Name:	Section/Area	Lot/Parcel No.			
The Hillside at Rocky Gorge II	N/A	1-4			
Plot #	Grid	Zoning	Tax Map No.	Elect. District	Census Tract
16575	18	R-20	46	6th	6068.02
Water Code	Sewer Code		7450000		
E-19					



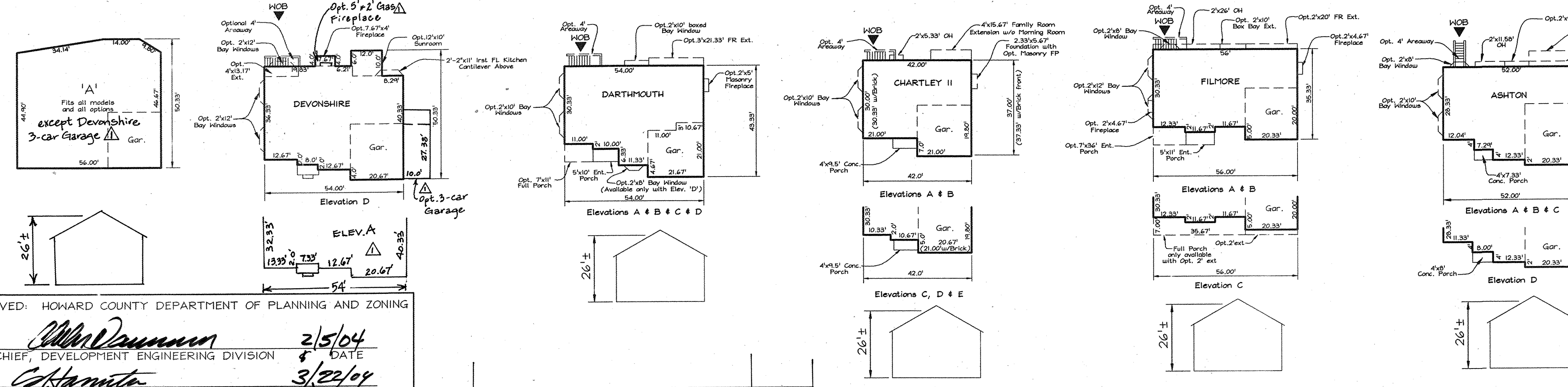
FSH Associates
Engineers Planners Surveyors
8318 Forest Street, Ellicott City, MD 21043
Tel: 410-750-2251 Fax: 410-750-7350
E-mail: FSHAssociates@cs.com

DESIGN BY: PS
DRAWN BY: GS
CHECKED BY: ZYF
SCALE: As Shown
DATE: Dec. 31, 2003
W.O. No.: 3050
SHEET No. 1 OF 3

SDP-03-13'



PLAN VIEW
SCALE: 1"=30'



HOUSE TEMPLATES
SCALE: 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 2/5/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 3/22/04
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
[Signature] 2/6/04
DIRECTOR DATE

No.	Description	Date
1	Add Devonshire (Rev.) to Lot 2	08-04-04
2	Add Devonshire Elevation 'A' Detail (3-car garage)	F.S.H.A.

GENERAL NOTES cont'd

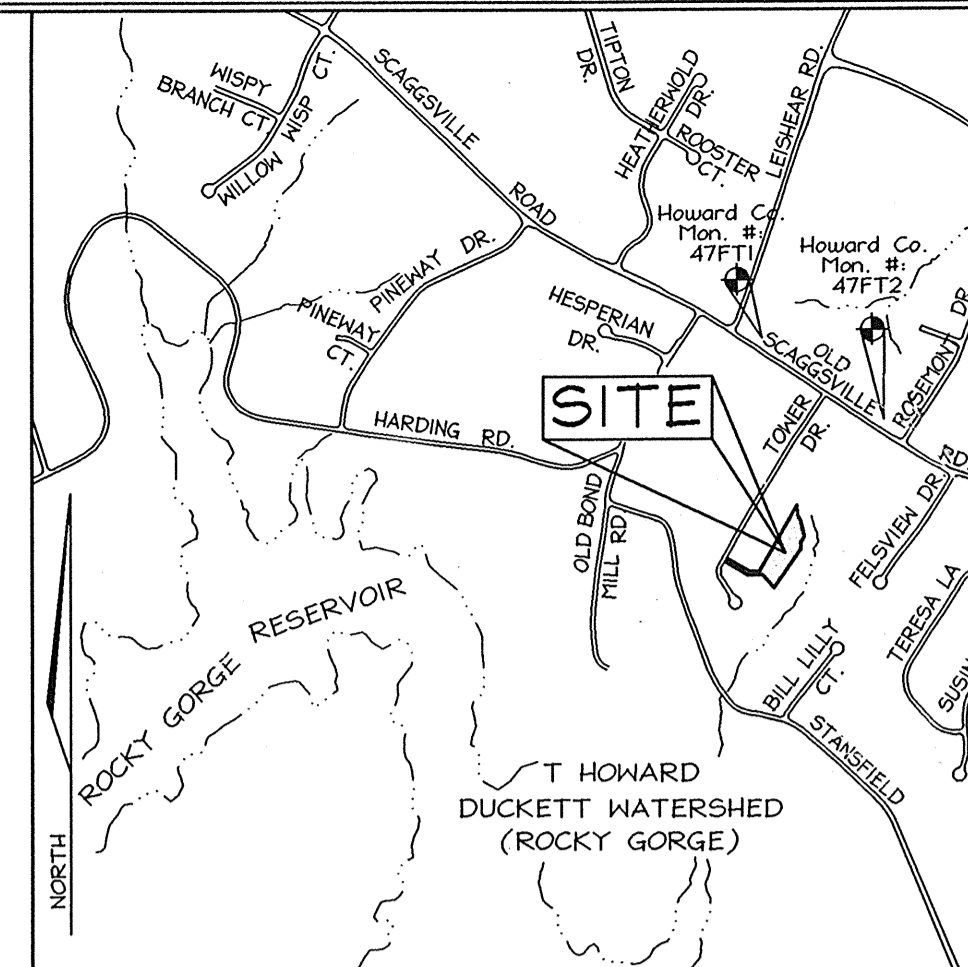
- 23. The subject property is zoned R-20 per the 10/18/93 comprehensive zoning plan.
- 24. No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers and forest conservation easement areas.
- 25. Open space requirements: (Satisfied under F-03-89)
 - a.) Minimum open space required: (30% of gross area for 14,000 sq. ft. lots) 3,1234 ac. x 30% = 0.9370 ac. or 40,816.59 sq. ft.
 - b.) Open space provided: 0.9843 ac. ± or 42,876.1080 sq. ft.
- 26. The extension of public water and sewer was done by a red-line revision to Contract # 24-3874-D, approved and completed on October 14, 2003.

SITE ANALYSIS DATA CHART

- a. Total project area: 1.50 Acres±
- b. Area of plan submission: 1.45 Acres±
- c. Limit of disturbed area: 1.45 Acres±
- d. Present zoning: "R-20" per 10/18/93 Comprehensive Zoning Plan.
- e. Proposed uses for site & structures: single family detached
- f. Floor space on each level of building(s) per use: See house templates this sheet
- g. Total number of units allowed: 4
- h. Total number of units proposed: 4
- i. Proposed building coverage of site: 0.24 acres; 16.0% of gross lot area
- j. Howard County file references: F 03-89; S-01-27; WP-01-132; P-02-16; Contr. #24-3874-D; Contr. #24-2718-S

LEGEND

- Existing Contour: --- 382
- Proposed Contour: --- +82.53
- Spot Elevation: ○
- Direction of Flow: →
- Existing Trees to Remain: [Tree Symbol]
- Stone Trench Level Spreader: [Hatched Symbol]
- Forest Conservation Easement Signage: △
- Per F-03-089



VICINITY MAP
SCALE: 1"=1200'

SHEET INDEX	
DESCRIPTION	SHEET No.
Site Development Plan	1 of 3
Sediment and Erosion Control and Landscape Plan	2 of 3
Sediment, Erosion Control and Miscellaneous Details	3 of 3

BENCHMARKS

Sta. 47FT1	N 595'43.22 (ft)	E 1,346,960.276 (ft)	Elev. 404.040 (ft)
	N 163,112.009 (m)	E 410,554.9131 (m)	Elev. 123.1516 (m)
Sta. 47FT2	N 534,509.424 (ft)	E 1,347,851.039 (ft)	Elev. 401.100 (ft)
	N 162,918.7983 (m)	E 410,825.8184 (m)	Elev. 122.2555 (m)

GENERAL NOTES

1. Property is within the Metropolitan District.
2. Public water and sewer will be used within this site.
3. The Contractor shall notify the following utility companies or agencies at least five (5) working days before starting work shown on these plans:
 - Verizon: 1.800.743.0033/410.224.9210
 - AT&T: 1.800.252.1133
 - State Highway Administration: 410.531.5533
 - BGE (Contractor Services): 410.800.4620
 - BGE (Underground Damage Control): 410.787.4068
 - Miss Utility: 1.800.257.7777
 - Colonial Pipeline Company: 410.785.1390
 - Howard County, Dept. of Public Works, Bureau of Utilities: 410.313.4900
 - Howard County Health Department: 410.313.2640
4. The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
5. The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1880 at least five (5) working days prior the start of work.
6. The lots shown herein comply with the minimum ownership, width and lot area as required by the Maryland State Department of the Environment.
7. On-site topography based on a Field Run Topographic Survey prepared by C.B. Miller Associates in November, 2001 with two foot contours. Off-site topography based on Howard County 1993 Aerial Topographic Surveys with five foot contours.
8. There are no floodplains, historic structures, or cemeteries on-site.
9. This project is in conformance with the latest Howard County Standards unless waivers have been approved.
10. The coordinates shown herein are based upon the Howard County Geodetic Control which is based on the Maryland State Plane Coordinate system. Howard County monument numbers 46FT1 and 47FT2 were used for this project.
11. In accordance with section 12B of the Howard County Zoning Regulations, bay windows, chimneys, or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks. Porches, decks, open or enclosed may project not more than 10 feet into front or rear yard setbacks.
12. Driveway(s) shall be provided prior to issuance of a use and occupancy permit for any new dwelling to insure safe access for fire and emergency vehicles per the following (minimum) requirements:
 - A) Width-12 feet (not serving more than one residence).
 - B) Surface-6 inches of compacted crusher run base with 1 1/2" Min. tar and chip coating.
 - C) Geometry-max. 15% grade, max. 10% grade change, and 45 foot turning radius.
 - D) Structures (bridges/culverts)-capable of supporting 25 gross tons (H25-loading).
 - E) Drainage elements-capable of safely passing 100 year flood with no more than one foot depth over driveway surface.
 - F) Structure clearances-minimum 12 feet.
 - G) Maintenance-sufficient to insure all weather use.
13. Forest conservation obligations have been addressed under F-03-89. This plan complies with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation by Retention of 0.28 Ac.± of forest and Reforestation of 0.61 Ac.± on open space lot 5 and Offsite Retention of 0.44 Ac.± of forest on Open Space Lot 3, The Hillside at Rocky Gorge V, F-03-79.
14. For flag or pipe stem lots, refuse collection, snow removal and road maintenance to be provided at the junction of flag or pipe stem and the road r/w and not onto the flag or pipe stem driveway.
15. All Sewer House Connections to be a minimum of 2.0% and a maximum of 5.0%. If no slope is shown, 2.0% may be assumed.
16. This plan has been prepared in accordance with the provisions of Section 16.12A of the Howard County Code and the Landscape Manual. Financial security for the required 22 shade trees in the amount of \$6,600.00 shall be posted with the builder's grading permit application for these lots.
17. There are no wetlands on site. Wetlands evaluation prepared by Exploration Research, Inc. in November, 2001.
18. Stormwater Management for the subject property to be provided as follows:
 1. This site is exempt from providing channel protection (CPV).
 2. Water quality and recharge for this site is provided by the sheet flow to buffer credit and a grass swale along the use-in-common access driveway.
 For Additional Information, See F-03-89.
19. The property is subject to a design manual waiver from Figure 2.17 in Design Manual Volume III, waiving the requirement to perform an 85th percentile speed study. The waiver was approved on February 26, 2002.
20. The Planning Director approved waiver petition WP-01-132 on July 3, 2001. The waiver from section 16.12i.e.(1) to create open space lot no. 5 without the minimum required frontage on a public road was subject to the following:
 - a). Dedication of the open space to the Department of Recreation and Parks.
 - b). Provide access to the open space via the 24' use-in-common easement.
21. This subdivision is subject to the fifth edition of the Howard County Subdivision and Land Development regulations and the new zoning regulations as amended by council bill 50-2001.
22. For Level Spreader detail, See Sheet 3.

OWNER/DEVELOPER
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1491 Norfolk Avenue
Laurel, Maryland 20723
(410) 792-2567

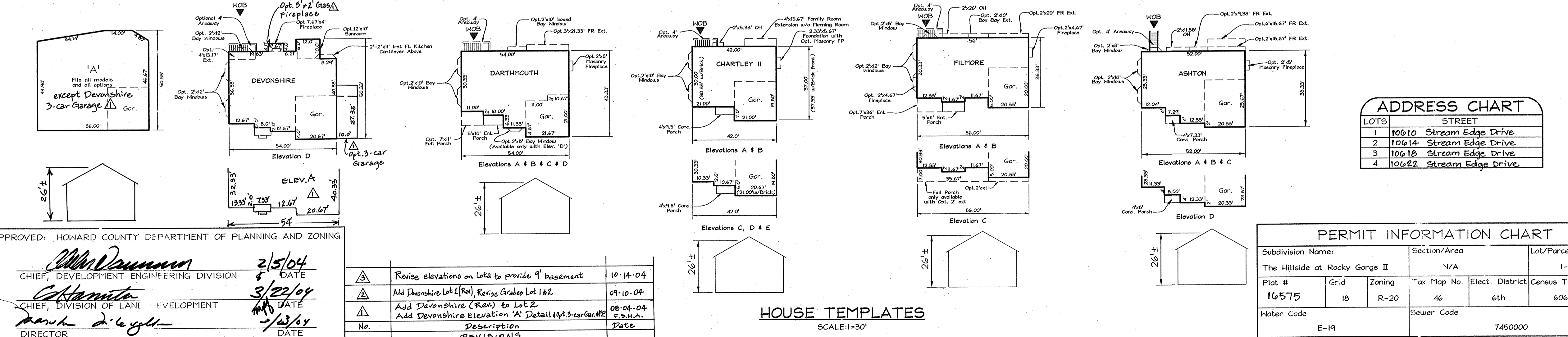
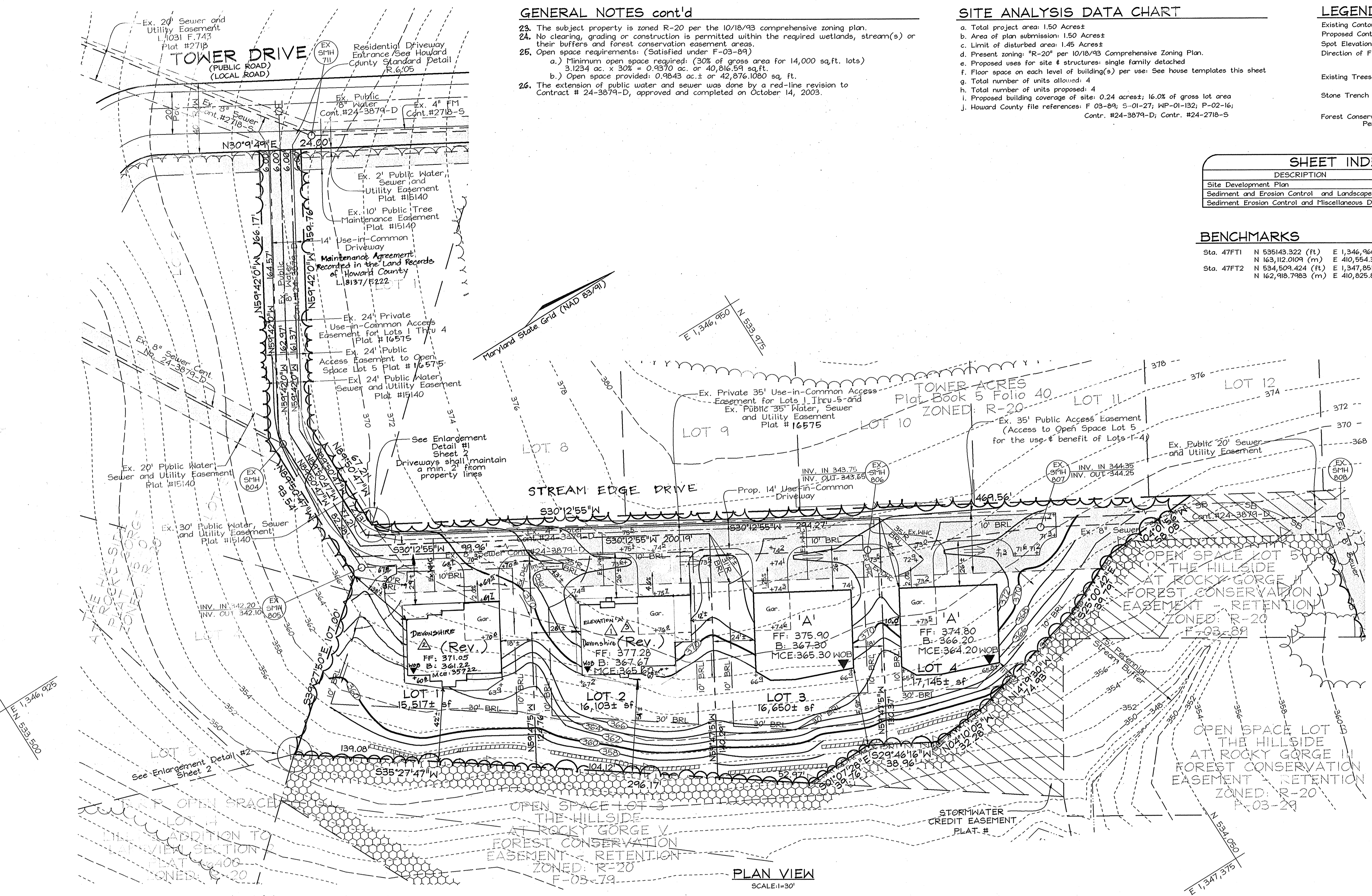
SITE DEVELOPMENT PLAN
THE HILLSIDE AT ROCKY GORGE II
LOTS 1 THRU 4
TAX MAP 46, GRID 1B
6TH ELECTION DISTRICT
PARCEL 326
HOWARD COUNTY, MARYLAND

FSH Associates
Engineers Planners Surveyors
8318 Forrest Street, Ellicott City, MD 21113
Tel: 410-750-2251 Fax: 410-50-7350
E-mail: FSHAssociates@cs.com

DESIGN BY: FSH
DRAWN BY: GS
CHECKED BY: ZTF
SCALE: As Shown
DATE: Dec. 31, 2003
W.O. No.: 3050
SHEET No. 1 of 3

ADDRESS CHART	
LOTS	STREET
1	10610 Stream Edge Drive
2	10614 Stream Edge Drive
3	10618 Stream Edge Drive
4	10622 Stream Edge Drive

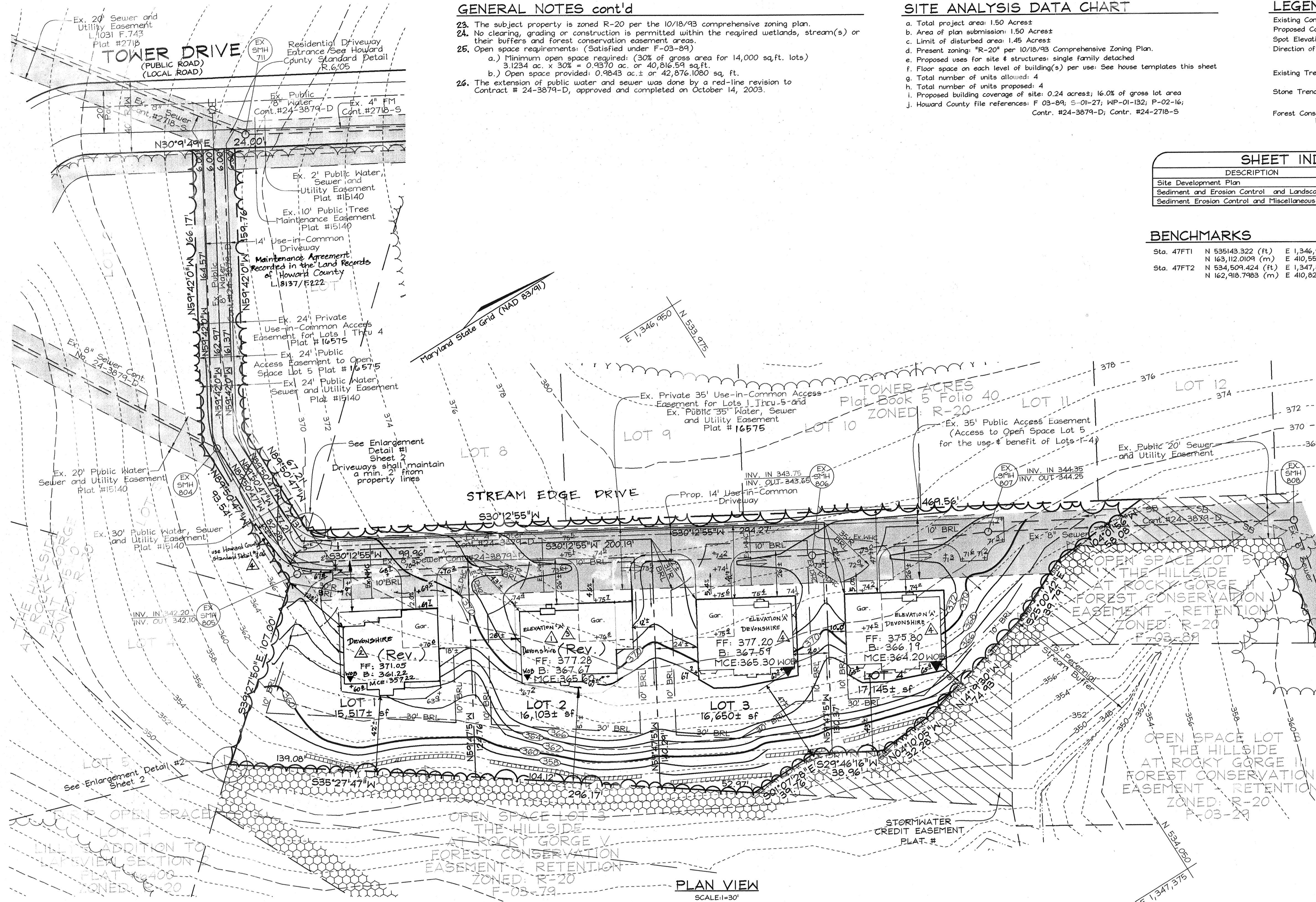
PERMIT INFORMATION CHART					
Subdivision Name:	Section/Area	Lot/Parcel No.			
The Hillside at Rocky Gorge II	N/A	1-4			
Plot #	Grid	Zoning	Tax Map No.	Elect. District	Census Tract
10675	1B	R-20	46	6th	6068.02
Water Code	Sewer Code		7450000		
E-19					



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 2/5/04
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3/22/04
 [Signature]
 DIRECTOR
 DATE: 2/23/04

No.	Description	Date
△	Revise elevations on lots to provide 9' basement	10-14-04
△	Add Devonshire Lot 1 (Rev), Revise Grades Lot 1 & 2	09-10-04
△	Add Devonshire (Rev) to Lot 2	08-04-04
△	Add Devonshire Elevation 'A' Detail for 3-car garage	F.S.H.A.

HOUSE TEMPLATES
SCALE: 1"=30'



GENERAL NOTES cont'd

23. The subject property is zoned R-20 per the 10/18/93 comprehensive zoning plan.
24. No clearing, grading or construction is permitted within the required wetlands, stream(s) or their buffers and forest conservation easement areas.
25. Open space requirements: (Satisfied under F-03-89)
 - a.) Minimum open space required: (30% of gross area for 14,000 sq.ft. lots) 3.1234 ac. x 30% = 0.9370 ac. or 40,816.54 sq.ft.
 - b.) Open space provided: 0.9843 ac.± or 42,876.1060 sq. ft.
26. The extension of public water and sewer was done by a red-line revision to Contract # 24-3879-D, approved and completed on October 14, 2003.

SITE ANALYSIS DATA CHART

- a. Total project area: 1.50 Acres
- b. Area of plan submission: 1.50 Acres
- c. Limit of disturbed area: 1.45 Acres
- d. Present zoning: "R-20" per 10/18/93 Comprehensive Zoning Plan.
- e. Proposed uses for site: 4 structures: single family detached
- f. Floor space on each level of building(s) per use: See house templates this sheet
- g. Total number of units allowed: 4
- h. Total number of units proposed: 4
- i. Proposed building coverage of site: 0.24 acres; 16.0% of gross lot area
- j. Howard County file references: F 03-89; S-01-27; WP-01-132; P-02-16; Contr. #24-3879-D; Contr. #24-2718-S

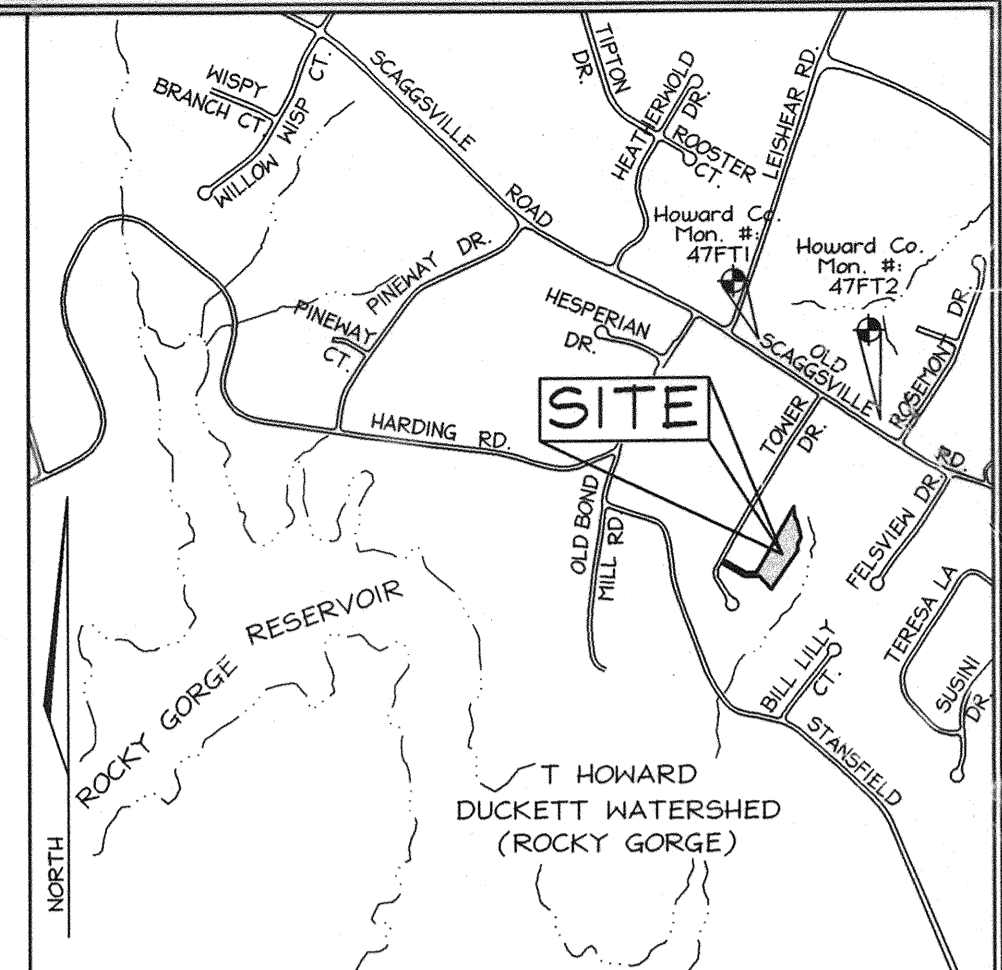
LEGEND

- Existing Contour: ---382
- Proposed Contour: ---+82.53
- Spot Elevation: (Symbol)
- Direction of Flow: (Symbol)
- Existing Trees to Remain: (Symbol)
- Stone Trench Level Spreader: (Symbol)
- Forest Conservation Easement Signage Per F-03-089: (Symbol)

SHEET INDEX	
DESCRIPTION	SHEET No.
Site Development Plan	1 of 3
Sediment and Erosion Control and Landscape Plan	2 of 3
Sediment Erosion Control and Miscellaneous Details	3 of 3

BENCHMARKS

Sta. 47FT1	N 595.43.322 (ft)	E 1,346,960.276 (ft)	Elev. 404.040 (ft)
	N 163,112.009 (m)	E 410,554.313 (m)	Elev. 123.1516 (m)
Sta. 47FT2	N 534,509.424 (ft)	E 1,347,851.039 (ft)	Elev. 401.100 (ft)
	N 162,918.7983 (m)	E 410,825.8184 (m)	Elev. 122.2555 (m)



VICINITY MAP
SCALE: 1"=1200'

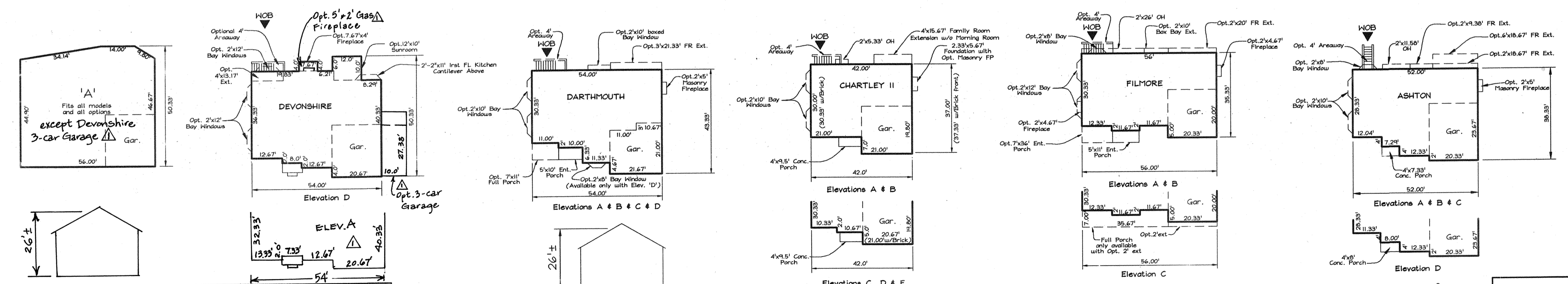
GENERAL NOTES

1. Property is within the Metropolitan District.
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3. The Contractor shall notify the following utility companies or agencies at least five (5) working days before starting work shown on these plans:

Verizon	1,800.743.0033/410.224.9210
AT&T	1,800.252.1133
State Highway Administration	410.531.5533
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11. In accordance with section 12B of the Howard County Zoning Regulations, bay windows, chimneys, or exterior stairways not more than 16 feet in width may project not more than 4 feet into the front or rear yard setback.
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 - A) Width-12 feet (14' serving more than one residence).
 - B) Surface-6 inches of compacted crusher run base with 1 1/2" Min. tar and chip coating.
 - C) Geometry-max. 15% grade, max. 10% grade change, and 45 foot turning radius.
 - D) Structures (bridges/culverts)-capable of supporting 25 gross tons (H25-loading).
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PLAN VIEW

SCALE: 1"=30'



ADDRESS CHART

LOTS	STREET
1	10610 Stream Edge Drive
2	10614 Stream Edge Drive
3	10618 Stream Edge Drive
4	10622 Stream Edge Drive

PERMIT INFORMATION CHART

Subdivision Name:	The Hillside at Rocky Gorge II	Section/Area:	VA	Lot/Parcel No.:	1-4
Plat #:	16575	Grid:	18	Zoning:	R-20
Water Code:	E-19	Map No.:	46	Elect. District:	6th
Sewer Code:	7450000	Census Tract:	6068.02		

OWNER/DEVELOPER

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969 Norfolk Avenue
Laurel, Maryland 20723
(410) 792-2567

SITE DEVELOPMENT PLAN
THE HILLSIDE AT ROCKY GORGE II
LOTS 1 THRU 4

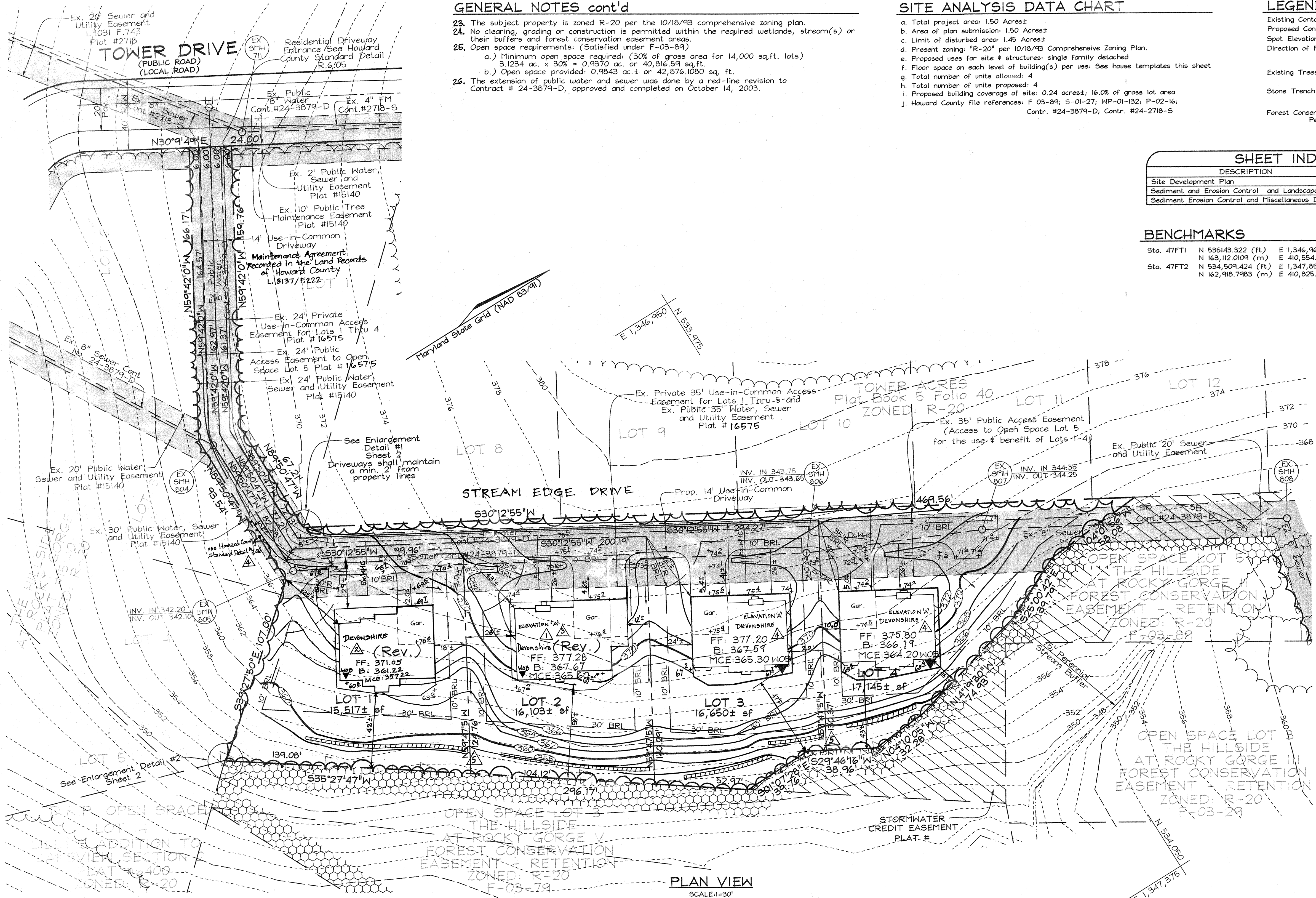
TAX MAP 46, GRID 18
6TH ELECTION DISTRICT
PARCEL 326
HOWARD COUNTY, MARYLAND

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John Dammann 2/5/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION
John Dammann 3/22/04
CHIEF, DIVISION OF LAND DEVELOPMENT
John Dammann 2/6/04
DIRECTOR

No.	Description	Date
1	Add Devonshire with 1' basement to Lots 3 and 4, Revise Grades, and Add Guardrail near EX. 5MB805	10-26-04
2	Revise elevations on Lots to provide 9' basement	10-14-04
3	Add Devonshire Lot 1 (Rev), Revise Grades Lot 1 & 2	09-10-04
4	Add Devonshire (Rev) to Lot 2	08-04-04
5	Add Devonshire Elevation 'A' Detail 1 (3-car garage)	P.S.H.A.

HOUSE TEMPLATES

SCALE: 1"=30'



GENERAL NOTES cont'd

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- h. Total number of units proposed: 4
- i. Proposed building coverage of site: 0.24 acres; 16.0% of gross lot area
- j. Howard County file references: F-03-89; S-01-27; WP-01-132; P-02-16; Contr. #24-3879-D; Contr. #24-2718-5

LEGEND

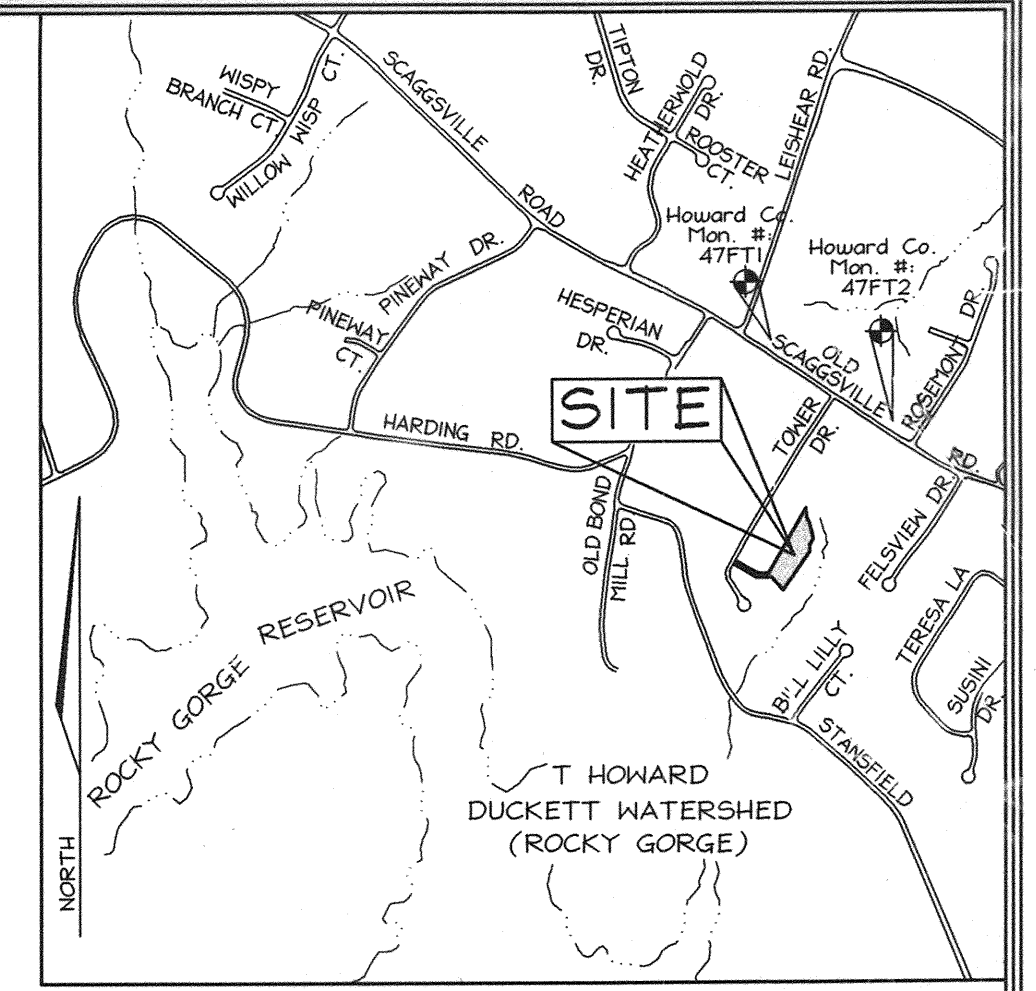
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- Spot Elevation: (Symbol)
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SHEET INDEX

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BENCHMARKS

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	N 163112.009 (m)	E 410554.331 (m)	Elev. 123.156 (m)
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GENERAL NOTES

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- The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1800 at least five (5) working days prior the start of work.
- The lots shown herein comply with the minimum ownership, width and lot area as required by the Maryland State Department of the Environment.
- On-site topography based on a Field Run Topographic Survey prepared by C.B. Miller & Associates in November, 2001 with two foot contours. Off-site topography based on Howard County 1993 Aerial Topographic Surveys with five foot contours.
- There are no floodplains, historic structures, or cemeteries on-site.
- This project is in conformance with the latest Howard County Standards unless waivers have been approved.
- The coordinates shown herein are based upon the Howard County Geodetic Control which is based on the Maryland State Plane Coordinate system. Howard County monument numbers 46FT1 and 47FT2 were used for this project.
- In accordance with section 12B of the Howard County Zoning Regulations, bay windows, chimneys, or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks. Porches, or decks, open or enclosed may project not more than 10 feet into any setbacks or rear yard setback.
- Driveway(s) shall be provided prior to issuance of a use and occupancy permit for any new dwelling to insure safe access for fire and emergency vehicles per the following (minimum) requirements:
 - A) Width-12 feet (11 feet serving more than one residence).
 - B) Surface-6 inches of compacted crusher run base with 1 1/2" Min. tar and chip coating.
 - C) Geometry-max. 15% grade, max. 10% grade change, and 45 foot turning radius.
 - D) Structures (bridges/culverts)-capable of supporting 25 gross tons (H25-loading).
 - E) Drainage elements-capable of safely passing 100 year flood with no more than one foot depth over driveway surface.
 - F) Structure clearance-minimum 12 feet.
 - G) Maintenance-sufficient to insure all weather use.
- Forest conservation obligations have been addressed under F-03-89. This plan complies with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation by Retention of 0.28 Ac.± of forest and Reforestation of 0.61 Ac.± on open space lot 5 and Offsite Retention of 0.44 Ac.± of forest on Open Space Lot 3, The Hillside at Rocky Gorge II, F-03-79.
- For flag or pipe stem lots, refuse collection, snow removal and road maintenance to be provided at the junction of flag or pipe stem and the road r/w and not into the flag or pipe stem driveway.
- All Sewer House Connections to be a minimum of 2.0% and a maximum of 5.0%. 1' no slope is shown, 2.0% may be assumed.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. Financial surety for the required 22 grade trees in the amount of \$6,000.00 shall be posted with the builder's grading permit application for these lots.
- There are no wetlands on site. Wetlands evaluation prepared by Exploration Research, Inc. in November, 2001.
- Stormwater Management for the subject property to be provided as follows:
 - This site is exempt from providing channel protection (CPV).
 - Water quality and recharge for this site is provided by the sheet flow to buffer credit and a grass swale along the use-in-common access driveway.
 For Additional Information, See F-03-89.
- The property is subject to a design manual waiver from figure 2.17 in Design Manual Volume III, waiving the requirement to perform an 85th percentile speed study. The waiver was approved on February 26, 2002.
- The Planning Director approved waiver petition WP-01-1R7 on July 3, 2001. The waiver from section 16.121(e)(1) to create open space lot no. 5 without the minimum required frontage on a public road was subject to the following:
 - Dedication of the open space to the Department of Recreation and Parks.
 - Provide access to the open space via the 24' use-in-common easement.
- This subdivision is subject to the fifth edition of the Howard County Subdivision and Land Development regulations and the new zoning regulations as amended by council bill 50-2001.
- For Level Spreader detail, See Sheet 3.

PLAN VIEW

SCALE: 1"=30'

ADDRESS CHART

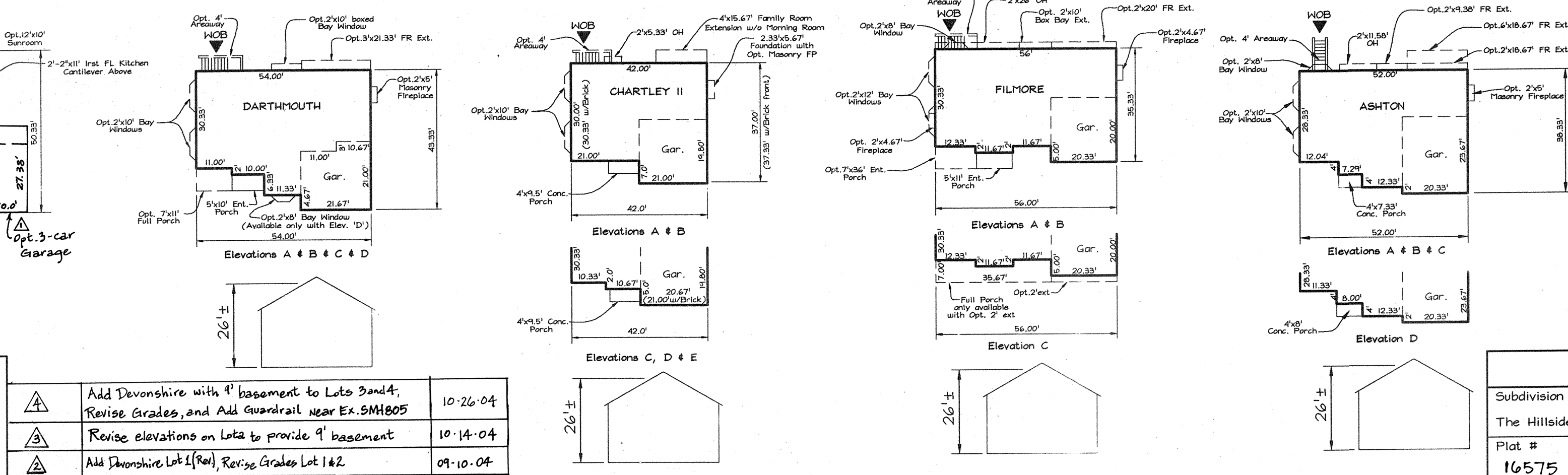
LOTS	STREET
1	10610 Stream Edge Drive
2	10614 Stream Edge Drive
3	10618 Stream Edge Drive
4	10622 Stream Edge Drive

PERMIT INFORMATION CHART

Subdivision Name:	The Hillside at Rocky Gorge II	Sec. w/ Area:	1/4	Lot/Parcel No.:	1-4
Plot #:	16575	Grid:	18	Zoning:	R-20
Water Code:	E-19	San. Insp. No.:	6th	Elect. District:	6068.02
Fire Code:	7450000	Census Tract:			

HOUSE TEMPLATES

SCALE: 1"=30'



REVISIONS

No.	Description	Date
1	Add Devonshire with 4' basement to Lots 3 and 4, Revise Grades, and Add Guardrail near EX. SMH805	10-26-04
2	Revise elevations on Lots to provide 4' basement	10-14-04
3	Add Devonshire Lot 1 (Rev.) Revise Grades Lot 1&2	09-10-04
4	Add Devonshire (Rev.) to Lot 2	08-04-04
5	Add Devonshire Elevation 'A' Detail (4x3-car garage)	05-04-04

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John Dammann 2/5/04
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE

John Dammann 3/22/04
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE

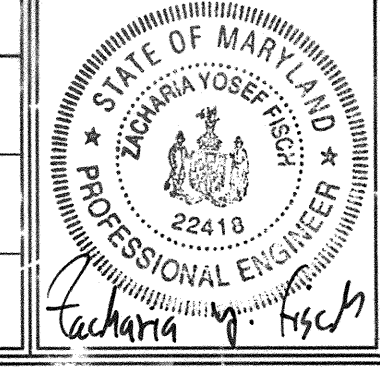
Mark D. Lyell 1/23/04
 DIRECTOR
 DATE

OWNER/DEVELOPER
 CORNERSTONE HOMES
 9691 Norfolk Avenue
 Laurel, Maryland 20723
 (410) 792-2567

SITE DEVELOPMENT PLAN
 THE HILLSIDE AT ROCKY GORGE II
 LOTS 1 THRU 4

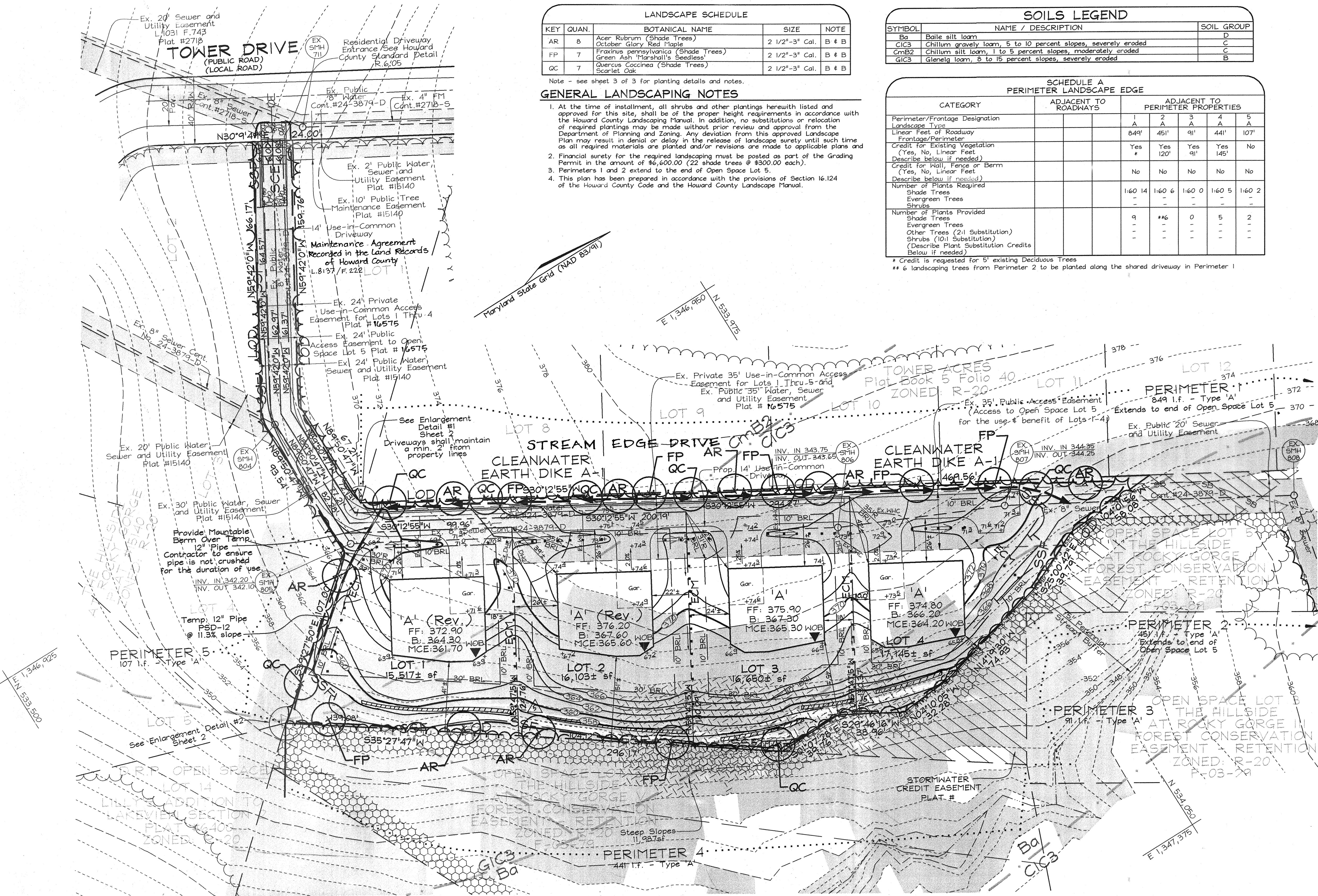
T/X MAP #6, GRID 18
 6TH ELECTION DISTRICT

PARCEL 326
 HOWARD COUNTY, MARYLAND



FSH Associates
 Engineers Planners Surveyors
 8318 Forest Street, Elliott City, MD 21113
 Tel: 410-750-2251 Fax: 410-791-3500
 E-mail: FSHAssociates@cs.com

DESIGN BY: PS
 DRAWN BY: GS
 CHECKED BY: ZYF
 SCALE: As Shown
 DATE: Dec. 31, 2003
 W.O. No.: 3050
 SHEET No.: 1 OF 3



LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	NOTE
AR	8	Acer Rubrum (Shade Trees)	2 1/2"-3" Cal.	B # B
OC	7	Fraxinus pennsylvanica (Shade Trees)	2 1/2"-3" Cal.	B # B
QC	7	Quercus Coccinea (Shade Trees)	2 1/2"-3" Cal.	B # B

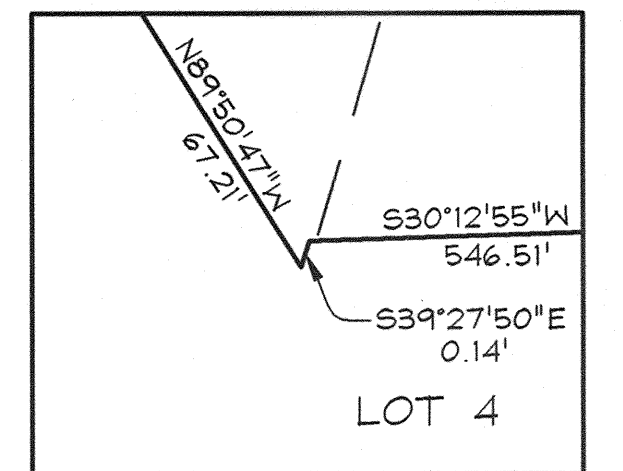
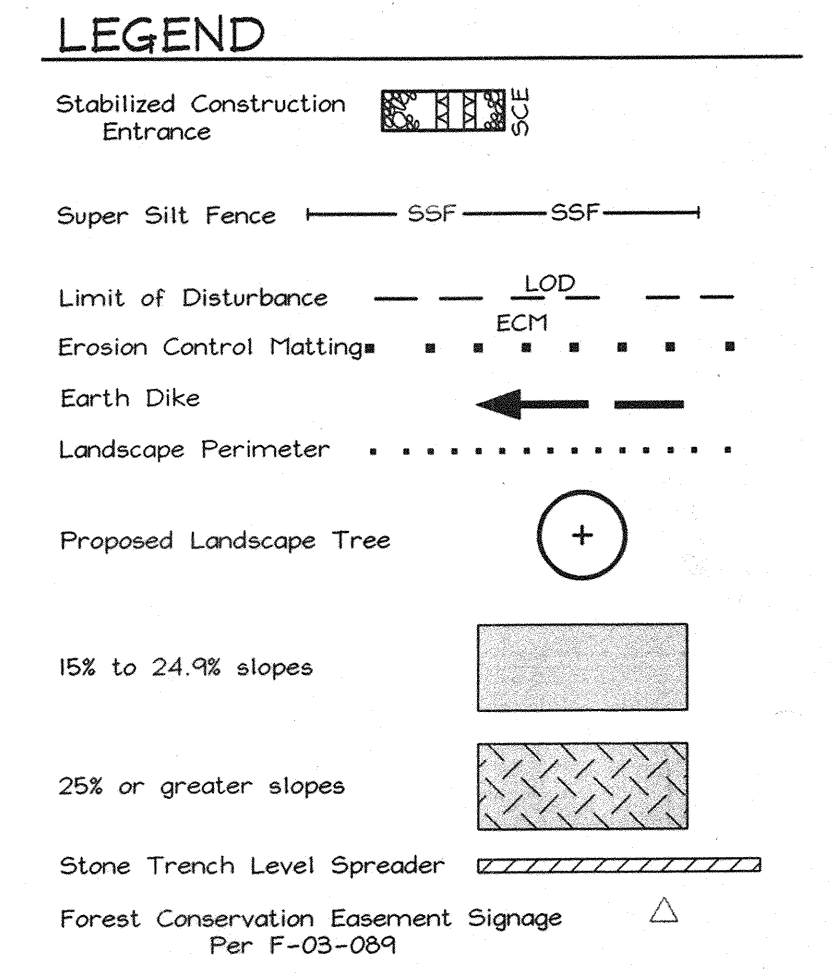
GENERAL LANDSCAPING NOTES

- At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height requirements in accordance with the Howard County Landscaping Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and
- Financial surety for the required landscaping must be posted as part of the Grading Permit in the amount of \$6,600.00 (22 shade trees @ \$300.00 each).
- Perimeters 1 and 2 extend to the end of Open Space Lot 5.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Howard County Landscape Manual.

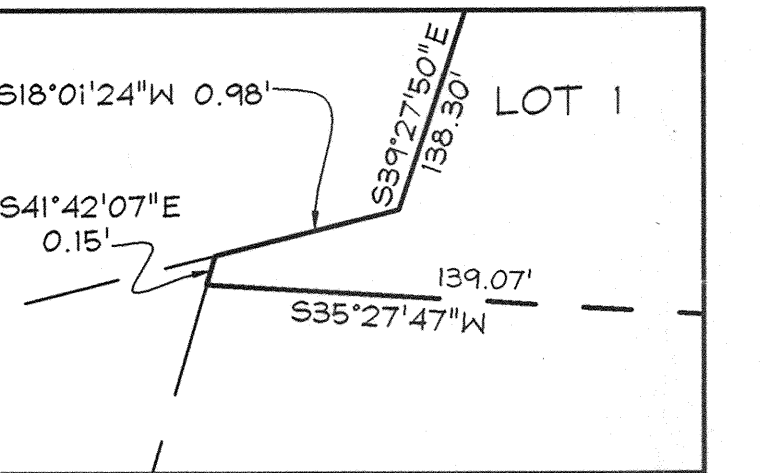
SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	SOIL GROUP
Ba	Baile silt loam	D
CIC3	Chillum gravelly loam, 5 to 10 percent slopes, severely eroded	C
GmB2	Chillum silt loam, 1 to 5 percent slopes, moderately eroded	C
GIC3	Gleniel loam, 8 to 15 percent slopes, severely eroded	B

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES				
		1	2	3	4	5
Perimeter/Frontage Designation						
Linear Feet of Roadway		849'	451'	91'	441'	107'
Credit for Existing Vegetation (Yes, No, Linear Feet)		Yes	Yes	Yes	Yes	No
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)		No	No	No	No	No
Number of Plants Required		1160	14	1160	0	1160
Number of Plants Provided		9	**6	0	5	2

* Credit is requested for 5' existing Deciduous Trees
 ** 6 landscaping trees from Perimeter 2 to be planted along the shared driveway in Perimeter 1



ENLARGEMENT DETAIL #1
SCALE: 1"=1'



ENLARGEMENT DETAIL #2
SCALE: 1"=1'

PLAN VIEW
SCALE: 1"=30'

DEVELOPER'S BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

R. D. B. 12/31/03
SIGNATURE OF DEVELOPER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John R. Robertson 2/5/04
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
John R. Robertson 2/2/04
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Dave D'Agostino 2/2/04
DIRECTOR DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

R. D. B. 12/31/03
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
John R. Robertson 2/2/04
USDA - NATURAL RESOURCES CONSERVATION SERVICE DATE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John R. Robertson 2/2/04
HOWARD SCD DATE

ENGINEERS CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

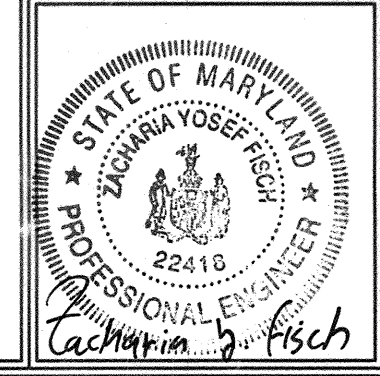
Zacharia Y. Fisch 12/31/03
SIGNATURE OF ENGINEER DATE
 ZACHARIA Y. FISCH

No.	REVISION	DATE
1	Revise Grades and Location of Level Spreaders	04-08-05

OWNER/DEVELOPER
 CORNERSTONE HOMES
 9691 Norfolk Avenue
 Laurel, Maryland 20723
 (410) 792-2567

SEDIMENT AND EROSION CONTROL AND LANDSCAPE PLAN
THE HILLSIDE AT ROCKY GORGE II
 LOTS 1 THRU 4

TAX MAP 46, GRID 18
 6TH ELECTION DISTRICT
 PARCEL 326
 HOWARD COUNTY, MARYLAND



FSH Associates
 Engineers Planners Surveyors
 6316 Forrest Street, Ellicott City, MD 21043
 Tel: 410-750-2251 Fax: 410-750-7356
 E-mail: FSHAssociates@cs.com

DESIGN BY: PS
 DRAWN BY: GS
 CHECKED BY: ZYF
 SCALE: As Shown
 DATE: Dec. 31, 2003
 W.O. No.: 3050
 SHEET No. 2 OF 3