

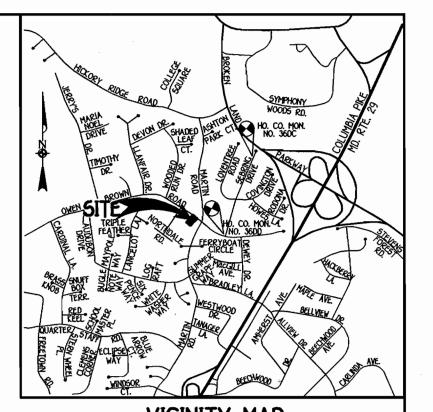
DATE

REVISION

BENCH MARKS

HO. CO. MON. 36DC ELEV 381.109 N. 559,590.576 E. 1,350,404.591 LOC. NORTH OF INTERSECTION OF OWEN BROWN RD. & SEBRING DR. on sebring dr.

HO. CO. MON. 36DD ELEV. 393.162 N. 558,056.573 E. 1,349,892.314 LOC. NEAR INTERSECTION OF OWEN BROWN RD. & SEBRING DR.



VICINITY MAP SCALE: 1" = 2000'

GENERAL NOTES

- 1. SUBJECT PROPERTY ZONED R-20 PER 10/18/93 COMPREHENSIVE ZONING PLAN.
- TOTAL AREA OF SITE: 0.4601 ACRES TOTAL NUMBER OF LOTS SUBMITTED: 1 SFD
- 4. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1880
- AT LEAST 24 HOURS PRIOR TO THE START OF WORK. 5. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS
- PRIOR TO ANY EXCAVATION WORK. 6. THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: W CONT. •C-435, 5 CONT. •20-0974,
- F-80-14, F-92-36 & WP 92-48.
- 7. THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT FEBRUARY, 2003 BY FISHER, COLLINS & CARTER, INC.
- 8. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
- HOWARD COUNTY MONUMENT 36DC N 559590.576 E 1350404.591 HOWARD COUNTY MONUMENT 36DD N 558056.573 E 1349892.314
- 9. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDER'S/ DEVELOPER'S EXPENSE.
- 10. CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- 11. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLAND OR STREAM BUFFERS. UNLESS, APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD
- COUNTY, MARYLAND.
- 12. HOWARD COUNTY STANDARD DRIVEWAY DETAIL R-6.06. 13. SITE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS.
- 14. THIS SDP IS SUBJECT TO THE 5th EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. 15. IN ACCORDANCE WITH SECTION 128(AXI) OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS,
- CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
- 16. THERE ARE NO WETLANDS, STREAM BUFFERS OR FLOOPLAINS ON THIS LOT.
- 17 DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
- A) WIDTH 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE); B) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING; C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MIN. 45 FOOT TURNING RADIUS; D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING); E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT
- DEPTH OVER DRIVEWAY; F) STRUCTURE CLEARANCES - MINIMUM 12 FEET;
- G) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE;
- 18 THE LANDSCAPE OBLIGATION HAS BEEN ADDRESSED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY LANDSCAPE MANUAL. CREDIT IS BEING TAKEN FOR EXISTING TREES/VEGETATION; THEREFORE, NO LANDSCAPE SURETY IS REQUIRED.
- 15 THIS SITE DEVELOPMENT PLAN IS SUBJECT TO WP 92-48 REQUIRING A WAIVER FROM SECTION 16.115(c)(x) AND 16.113(f)(7) TO ALLOW DIRECT ACCESS ONTO OWEN BROWN ROAD FOR LOTS 3 AND 4.
- 20 PRIVATE USE-IN-COMMON ACCESS EASEMENT ACROSS LOT 4 FOR BENEFIT OF LOTS 3 AND 4 RECORDED IN LIBER 2569, FOLIO 657.
- 21. THIS PLAN IS EXEMPT FROM FOREST CONSERVATION WITH SECTION 16.1202(bX)Xi) OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL SINCE THIS DEVELOPMENT IS ON LAND WHICH IS LESS THAN 40,000 SQUARE FEET.
- 22 WATER QUALITY VOLUME AND GROUNDWATER RECHARGE FOR THIS PROJECT ARE PROVIDED BY ROOFTOP AND NON-ROOFTOP DISCONNECT CREDIT. THESE NON-STRUCTURAL METHODS ARE DESIGNED PER THE 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES 1 AND II. SINCE THE RATE OF RUNOFF FOR THE 1 YEAR STORM IS LESS THAN 2.0 CFS, CHANNEL PROTECTION VOLUME IS NOT REQUIRED.

LEGEND DESCRIPTION ----- EXISTING CONTOUR 2' INTERVAL PROPOSED WALKOUT EROSION CONTROL MATTING

5/20/03 Date

6056.02

5TH

SEWER CODE

5324400

C-435 W

SITE DEVELOPMENT & SEDIMENT/EROSION CONTROL PLAN

SINGLE FAMILY DETACHED

LUTHER E. JUSTIS & SIN HWA JUSTIS

LOT 4

TAX MAP No: 36 PARCEL: 458 GRID: 13 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: 1"= 30' DATE: FEBRUARY, 2003

SHEET 1 OF 2

SDP 03-113

20.0 STANDARDS AND SPECIFICATIONS VEGETATIVE STABILIZATION

DEFINITION Using vegetation as cover for barren soil to protect it from forces that cause erosion

PURPOSE

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and run-off to downstream areas, and improving wildlife habitat and visual resources. CONDITIONS WHERE PRACTICE APPLIES

This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is divided into Temporary Seeding, to quickly establish vegetative cover for short duration O(up to one year), and Permanent Seeding, for long term vegetative cover. Examples of applicable areas for Temporary Seeding are temporary Soil Stockpiles, cleared areas being left idle between construction phases, earth dikes, etc. and for Permanent Seeding are lawns, dams, cut and fill slopes and other areas at final grade, former stockpile and staging areas, etc.

EFFECTS ON WATER QUALITY AND QUANTITY

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of ruroff, infiltration evaporation, transpiration, percolation, and groundwater recharge. Vegetation, over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants

will also help protect groundwater supplies by assimilating those substances present within the root zone. Sediment control devices must remain in place during grading, seedbed preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated chemicals and nutrients from washing into surface waters. SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

i. Install erosion and sediment control structures (either temporary of permanent) such as diversions grade stabilization structures, berms, waterways, or sediment control basins.

ii. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually

necessary for temporary seeding.

iii. Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed area over 5 acres.

B. Soil Amendments (Fertilizer and Lime Specifications) Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the

University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses. ii. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according

iii. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 50% total oxides (calcium oxide plus magnesium oxide). Limestone shall be ground to such fineness that at least 50% will pass through a *100 mush sieve and 90-100% will pass through a *20

mesh sieve.

iv. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means. Seedbed Preparation
i. Temporary Seeding
a. Seedbed preparation shall consist of loosening soil to a depth of 3" to 5" by means of

suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth, but left in the roughered condition. Sloped areas (greater

rolled or dragged smooth, but left in the roughered condition. Sloped areas (greater than 3:1) should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.

b. Apply fertilizer and lime as prescribed on the plans.

c. In corporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.

ii. Permanent Seeding

a. Minimum soil conditions required for permanent vegetative establishment:

1. Soil pH shall be between 6.0 and 7.0.

Soluble salts shall be less than 500 parts per million (ppm).

The soil shall contain less than 40% clay, but enough fine grained

material 030% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if lovegrass or serecia lespedezas is to be planted, then a sandy soil (30% silt plus clay) would be acceptable. Soil shall contain 1.5% minimum organic matter by weight.

Soil must contain sufficient pore space to permit adequate root penetration If these conditions cannot be met by soils on site, adding topsoil is require

in accordance with Section 21 Standard and Specification for Topsoil.

b. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of he topsoil to the surface area and to create horizontal erosion check slots to prevent topsoi to the surface area and to create horizontal erosion check slots to prevent topsoil from

sliding down a slope.

Apply soil amendments as per soil test or as included on the plans.

Mix soil amendments into the top 3-5" of topsoil by disking or other suitable means. Lawn and ready the area for seed and application. Where site conditions will not permit normal seedbed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper fhan 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. top 1-3" of soil should be loose and friable. Seedbed loosening may not be necessary on

Seed Specifications All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing by a recognized seed laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job.

Note: Seed tags shall be made available to the inspector to verify type and rate of seed used Inoculant - The inoculant for treating legume seed in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used later than the date indicated on the compainer. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep inoculant as cool as possible until used. Temperatures above 75°-80° F. can weaken bacteria and make the inoculant less effective

Methods of Seeding
i. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.

or drop seeded, or a cultipacker seeder. a. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen; maximum of 100 lbs. per acre total of soluble nitrogen; P205 (phosphorous): 200 lbs/ac; K20 (potassium): 200 lbs/ac.

Lime - use only ground agricultural limestone. (Up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.

Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

ii. Dry Seeding: This includes use of conventional drop or broadcast spreaders.

Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 265 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

iii. Drill or Cultipacker Seeding: Mechanized seeders that apply and cover seed with soil.

a. Cultipacking seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seedbed must be firm after planting.

b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

Mulch Specifications (In order of preference) Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable bright in color, and shall not be musty, moldy, caked, decayed, or excessively dusty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.

ii. Wood Cellulose Fiber Mulch (WCFM)

a. WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.

MCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniformly spread slurry. WCFM, including dye, shall contain no germination or growth inhibiting factors. WCFM materials shall be manufactured and processed in such a manner that the

and will blend with seed, fertilizer and other additives to form a homogeneous slurry he mulch material shall form a blotter-like ground cover, on application, having oisture absorption and percolation properties and shall cover and hold grass seed

in contact with, the soil without inhibiting the growth of the grass seedlings. WCFM material shall contain no elements or compounds at concentration levels that will be phytol-toxic. f. WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 1 mm., pH range of 4.0 to 8.5, ash content of 1.6% maximum and water holding capacity of 90% minimum.

Note: Only sterile straw mulch should be used in areas where one species of grass is desired.

SEQUENCE OF CONSTRUCTION I. OBTAIN GRADING PERMIT 2. INSTALL SEDIMENT AND EROSION CONTROL DEVICES AS SHOWN ON PLAN 7 DAYS 3. CLEAR AND GRUB TO LIMITS OF DISTURBANCE: 4 DAYS 2 DAYS 4. INSTALL TEMPORARY SEEDING 60 DAYS CONSTRUCT BUILDINGS 6. FINE GRADE SITE AND INSTALL PERMANENT SEEDING AND LANDSCAPE 14 DAYS 7. REMOVE SEDIMENT CONTROL DEVICES AS UPLAND AREAS ARE STABILIZED AND PERMISSION IS GRANTED BY E/S CONTROL INSPECTOR. 7 DAYS

G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.

 If grading is completed outside of the seeding season, mulch along shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.

ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1° and 2°. Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.

iii. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with water, and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.

Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard:

A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safety. It used on sloping land, this practice should be used on the contour if possible.

Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a net dry weight of 750 pounds/acre. The wood cellulose fiber shall be mixed with water and

of water.

iii. Application of liquid binders should be heavier at the edges where wind catches mulch, such as in valleys and crest of banks. The remainder of area should be appear uniform after binder application. Synthetic binders - such as Acrylic DLR (Agro-Tack), DCA-70 Petroset, Terra Tax II, Terra Tack AR or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.

iv. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

All cuts slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 15°. ii. Construction sequence (Refer to Figure 3 below):

 Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.
 Perform Phase 1 excavation, dress, and stabilize. Perform Phase 2 excavation, dress and stabilize. Overseed Phase 1 areas as

necessary.
Perform final phase excavation, dress and stabilize. Overseed previously seeded Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions int he operation of completing e operation out of the seeding season will necessitate the application of temporary stabilization

Incremental Stabilization of Embankments - Fill Slopes Embankments shall be constructed in lifts as prescribed on the plans. ii. Slopes shall be stabilized immediately when the vertical height of the multiple lifts reaches
15°, or when the grading operation ceases as prescribed in the plans.
iii. At the end of each day, temporary berms and pipe slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a configuration of the construction.

of the embankment to intercept surface runoff and convey it down the slope in a non-erosive a sediment trapping device.

Construction sequence: Refer to Figure 4 (below).

a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to divert runoff around the fill. Construct slope silt fence on low side of fill as shown in Figure 5, unless other methods shown on the plans address this area.

b. Place Phase 1 embankment, dress and stabilize.

c. Place Phase 2 embankment, dress and stabilize.

Place final phase embankment, dress and stabilize. Overseed previously seeded areas as necessary.

Once the placement of fill has begun the operation should be continuous from grubbing through the completion of and placement of topsoil (if required) grading and permanent seed and mulch. any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

PERMANENT SEEDING NOTES

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

SOIL AMENDMENTS:
APPLY TWO TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/ 1,000 SQ.FT.) AND 600 LBS. PER ACRE 0-20-20 FERTILIZES (14 LBS /1000 SOFT) BEFORE SEEDING HARROW OR DISC APPLY 400 LBS. PER ACRE 32-0-0 UREAFORM FERTILIZER (9 LBS./1,000 SQ.FT.) AND 500 LBS. PER ACRE (11.5 LBS./ 1,000 SQ.FT.) OF 10-20-20 FERTILIZER.

FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST I THROUGH OCTOBER 15, SEED WITH 100 LBS. PER ACRE (2.3 LBS./1,000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE, FOR THE PERIOD MAY 1 THROUGH JULY 31, SEED WITH 60 LBS/ACRE (L4 LBS./1,000 SQ.FT.) KENTUCKY 31 TALL FESCUE AND 2 LBS. PER ACRE (0.05 LBS./1,000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28. PROJECT SITE BY: OPTION (1) - TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OPTION (2) - USE SOO; OPTION (3) - SEED WITH 100 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH 1TH TWO TONS/ACRE WELL ANCHORED STRAW. ALL SLOPES SHOULD BE HYDROSEEDED.

MULCHING:
APPLY 1 TO 2 TONS PER ACRE (10 TO 90 LBS./1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING 200 GALLONS PER ACRE (5 GAL/1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT ACRES. ON SLOPES & FEET OR HIGHER US 340 GALLONS PER ACRE (0 GAL/1,000 SQ.FT.) FOR ANCHORIN MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS,

* FOR PUBLIC PONDS SUBSTITUTE CHEMUNG CROWNYETCH AT 15 LBS./ACRE AND KENTUCKY 31 TALL FESCUE AT 40 LBS/ACRE AS THE SEEDING REQUIRMENT. OPTIMUM SEEDING DATE FOR THIS MIXTURE IS MARCH 1 TO APRIL 30.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION:

LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY SOIL AMENDMENTS:

APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./ 1,000 SQ.FT.)

FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 17 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./ACRE OF WEEPING LOVEGRASS (.07 LBS. 1,000 SQ.FT. FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD. MULCHING:

APPLY 1 TO 2 TONS PER ACRE (70 TO 90 LBS./1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHORING TOOL OR 210 GALLONS PER ACRE (5 GAL.1,000 SQ.FT. OF EMULSIFIED ASPHALT ON FLAT ACRES ON SLOPES & FEET HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1,000 SQ.FT.) FOR REFER TO THE 1988 MARYLAND STANDARDS AND SPECIFICATION FO SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

SEDIMENT CONTROL NOTES

1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LISCENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1055).

2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED

CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.

3) FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, IS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE

4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), 50D (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER

6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT

GERMINATION AND ESTABLISHMENT OF GRASSES.

CONTROL INSPECTOR. 7) SITE ANALYSIS: TOTAL AREA OF SITE
AREA DISTURBED
AREA TO BE ROOFED OR PAVED 0.4601 ACRES 0.2191 ACRES 0.0722 ACRES AREA TO BE VEGETATIVELY STABILIZED

OFFSITE WASTE/BORROW AREA LOCATION N/A

B) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING
ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE

SAME DAY OF DISTURBANCE.

9) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION
APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE

11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGHTS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation. Conditions Where Practice Applies

1. This practice is limited to areas having 2:1 or flatter slopes where:

a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth. b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients. c. The original soil to be vegetated contains material toxic to plant growth.

d. The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-5C5 in cooperation with Maryland Agricultural Experimental Station.

11. Topsoil Specifications - Soil to be used as topsoil must meet the following:

i. Topsoil shall be a loam, sandy loam, clay loam, sitt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 11/2" in diameter.

ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnson grass, nutsedge, poison ivy, thistle, or others as specified.

iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

For sites having, disturbed areas under 5 acres:

i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization — Section 1 — Vegetative Stabilization Methods and Materials.

II. For sites having disturbed areas over 5 acres:

i. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.

b. Organic content of topsoil shall be not less than 1.5 percent by weight.

c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.

d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

ii. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

When top soiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

ii. Grades on the areas to be top soiled, which have been previously established, shall be

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from top soiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

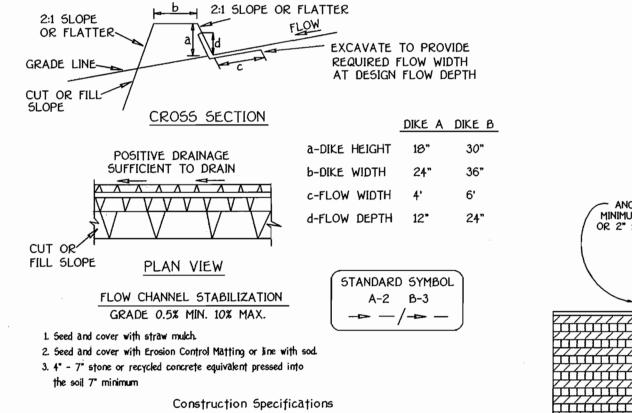
i. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

b. Composted sludge shall contain at least I percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

c. Composted sludge shall be applied at a rate of I ton/1,000 square feet iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.



1. All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1 2. Runoff diverted from a disturbed area shall be conveyed to a x.

sediment trapping device. 3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity. 4. All trees, brush, stumps, obstructions, and other objectionable

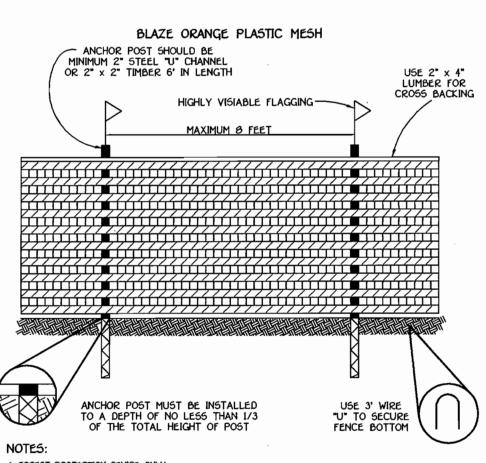
material shall be removed and disposed of so as not to interfere with the proper functioning of the dike. 5. The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede

normal flow. 6. Fill shall be compacted by earth moving equipment. 7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.

8. Inspection and maintenance must be provided periodically and after

each rain event.

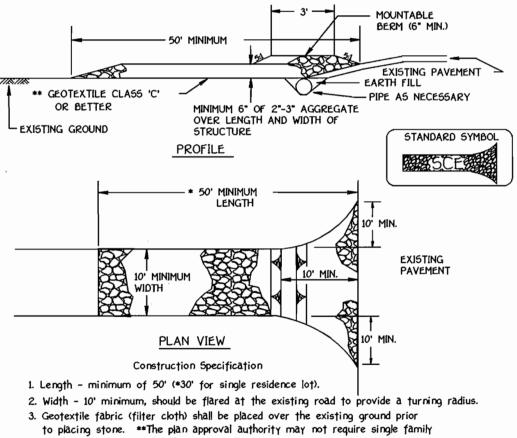
EARTH DIKE NOT TO SCALE



RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE. PROTECTIVE SIGNAGE MAY ALSO BE USED. 6. DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

> TREE PROTECTION DETAIL NOT TO SCALE

> > 5.8-03



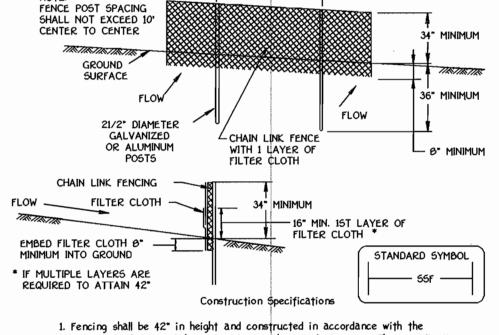
residences to use geotextile.

4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance. 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6° minimum will be required Location - A stabilized construction entrance shall be located at every point

where construction traffic enters or leaves a construction site. Vehicles leaving

the site must travel over the entire length of the stabilized construction entrance.

STABILIZED CONSTRUCTION ENTRANCE



10' MAXIMUM

latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts. 2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.

3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.

4. Filter cloth shall be embedded a minimum of 8" into the ground. 5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.

6. Maintenance shall be performed as needed and silt buildups removed when "bulges"

develop in the silt fence, or when silt reaches 50% of fence height 7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F: Tensile Strength 50 lbs/in (min.)

> Flow Rate 0.3 gal/ft /minuté (max.) Test: MSMT 322 Filtering Efficiency 75% (min.) Test: MSMT 322 Design Criteria Silt Fence Length Slope Slope Length Steepness (maximum) (maximum)

> > Unlimited

200 feet

20 lbs/in (min.)

Test: MSMT 509

Unlimited

1,500 feet

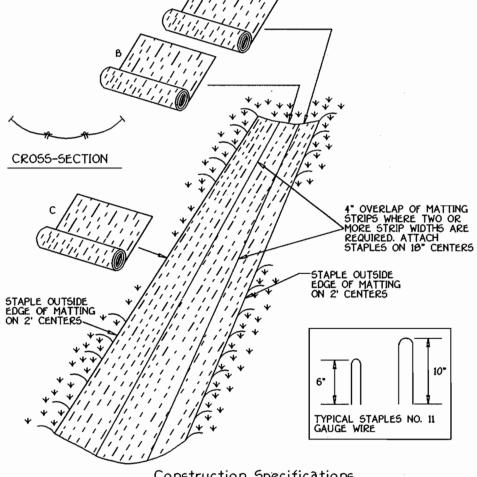
33 - 50% 3:1 - 2:1 100 feet 500 feet 50% + 2:1 + 250 feet SUPER SILT FENCE

NOT TO SCALE

0 - 10:1

10:1 - 5:1

5:1 - 3:1



Construction Specifications 1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".

2. Staple the 4" overlap in the channel center using an 10" spacing between staples. 3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil. 4. Staples shall be placed 2' apart with 4 rows for each strip, 2

outer rows, and 2 alternating rows down the center. 5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side. 6. The discharge end of the matting liner should be similarly

effected by the flow must be keyed-in. EROSION CONTROL MATTING

Note: If flow will enter from the edge of the matting then the area

NOT TO SCALE

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS FLUCOTT CITY, MARYLAND 2104 DATE



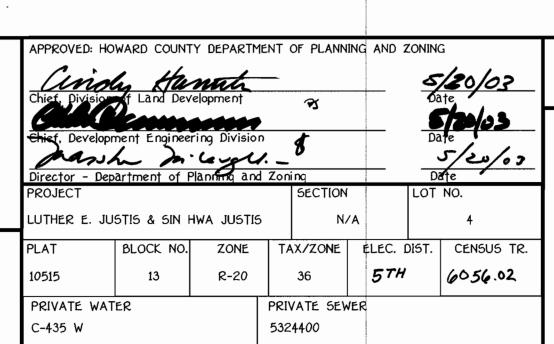
ENGINEER'S CERTIFICATE I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

5.8.03 EARL D. COLLINS gnature of Engineer DEVELOPER/BUILDER/OWNER'S CERTIFICATE "I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the

Environment Approved Training Program for the Control of Sediment and Erosion before

beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District." Signature of Developer/Buider/Owner

U.S.B.A.-Natural Resources Reviewed for HOWARD SCD and meets Technical Requirements This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT ROJECT DEVELOPER/OWNER/BUILDER 10515 10788 FOLKESTONE WAY WOODSTOCK, MARYLAND 21163 410-313-3934



Tensile Modulus

0 - 10%

10 - 20%

20 - 33%

SEDIMENT, EROSION CONTROL NOTES & DETAILS

secured with 2 double rows of staples.

SINGLE FAMILY DETACHED

LUTHER E JUSTIS & SIN HWA JUSTIS LOT 4

TAX MAP No: 36 PARCEL No: 458 GRID No: 13 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND DATE: FEBRUARY, 2003 SCALE: AS SHOWN

SHEET 2 OF 2

SDP 03-113



