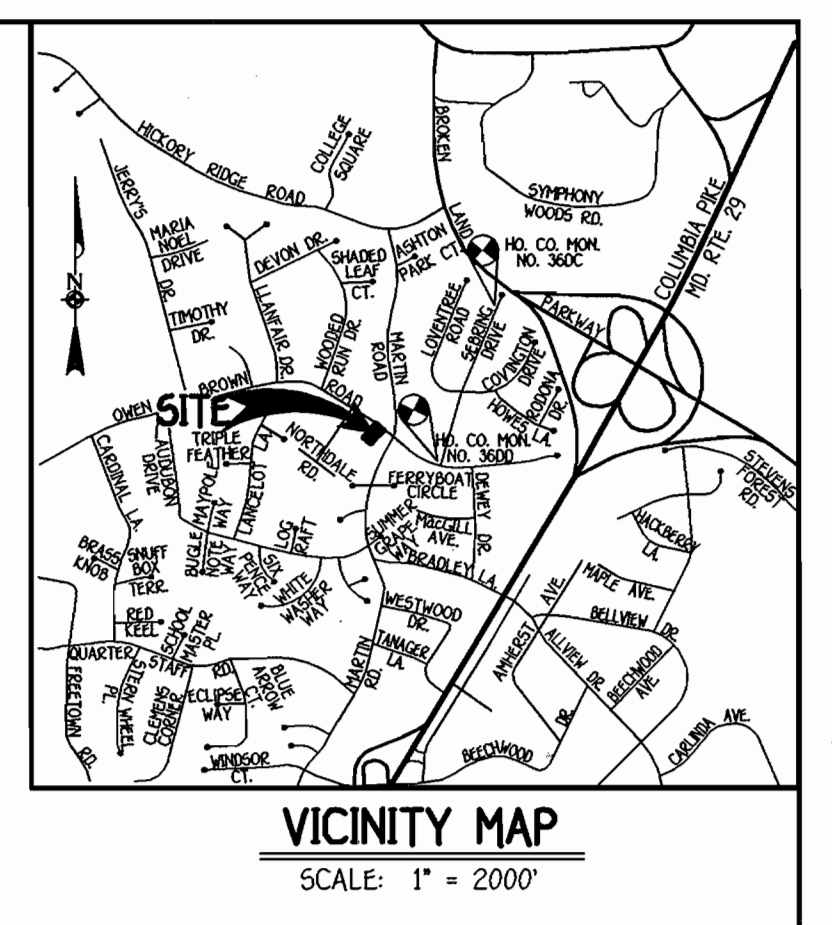


SCHEDULE A PERIMETER LANDSCAPE EDGE												
LOT NO.	PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF PERIMETER	CREDIT FOR EXISTING VEGETATION	REMAINING	SHADE TREES	EVERGREEN TREES	TOTAL TREES	SHADE TREES	EVERGREEN TREES	TOTAL TREES
4	P-1	ADJACENT TO ROADWAY	B	112.00'	N/A	N/A	0	0	0	0	0	0
	P-2	ADJACENT TO PERIMETER PROPERTY	A	192.83'	YES, 100%	0	0	0	0	0	0	0
	P-3	ADJACENT TO PERIMETER PROPERTY	A	100.93'	YES, 100%	0	0	0	0	0	0	0
	P-4	ADJACENT TO PERIMETER PROPERTY	A	196.24'	YES, 70'	126.24'	2	0	2	2	0	2*

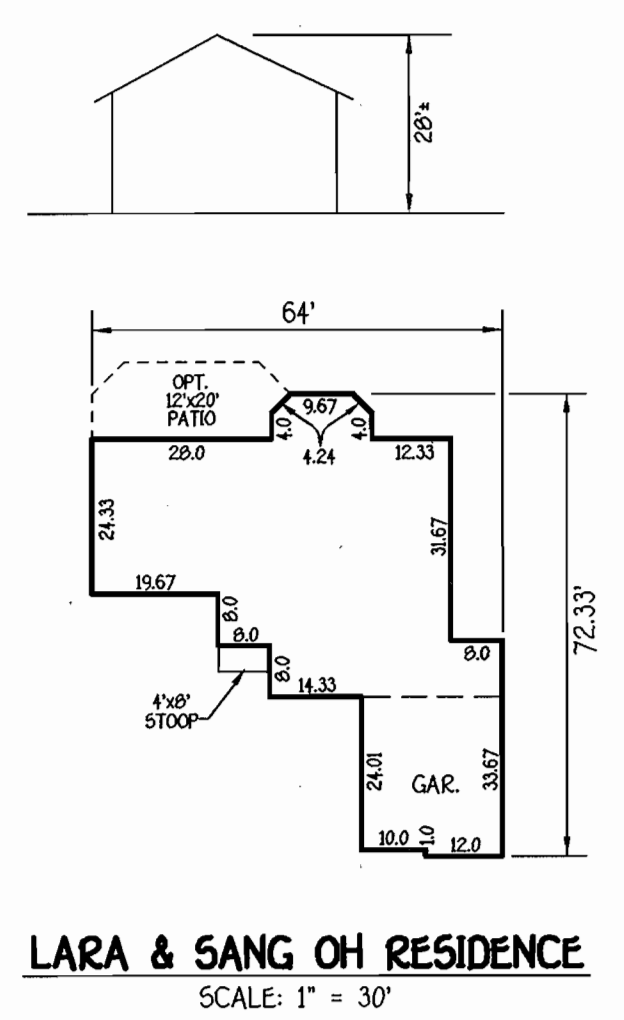
\* CREDIT IS TAKEN FOR 2 EXISTING SHADE TREES TO REMAIN ALONG PERIMETER 4

**BENCH MARKS**  
 HD. CO. MON. 3600 ELEV. 381.09  
 N. 559,550.776  
 E. 1350,404.591  
 LOC. NORTH OF INTERSECTION OF OWEN BROWN RD. & SEBRING DR. ON SEBRING DR.  
 HD. CO. MON. 3600 ELEV. 393.162  
 N. 558,058.573  
 E. 1349,992.314  
 LOC. NEAR INTERSECTION OF OWEN BROWN RD. & SEBRING DR.



**GENERAL NOTES**

- SUBJECT PROPERTY ZONED R-20 PER 10/18/93 COMPREHENSIVE ZONING PLAN.
- TOTAL AREA OF SITE: 0.4601 ACRES
- TOTAL NUMBER OF LOTS SUBMITTED: 1 SFD
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1800 AT LEAST 24 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: W CONT. \*C-435, S CONT. \*20-0974, F-80-14, F-92-36 & WP 92-48.
- THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT FEBRUARY, 2003 BY FISHER, COLLINS & CARTER, INC.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.  
 HOWARD COUNTY MONUMENT 3600 N 559550.576 E 1350404.591  
 HOWARD COUNTY MONUMENT 3600 N 558058.573 E 1349992.314
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDER'S/DEVELOPER'S EXPENSE.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLAND OR STREAM BUFFERS UNLESS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY, MARYLAND.
- HOWARD COUNTY STANDARD DRIVEWAY DETAIL R-6.06.
- SITE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS.
- THIS SFP IS SUBJECT TO THE 5th EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- IN ACCORDANCE WITH SECTION 12B(8)(D) OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
- THERE ARE NO WETLANDS, STREAM BUFFERS OR FLOODPLAINS ON THIS LOT.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:  
 A) WIDTH - 12 FEET (4 FEET SERVING MORE THAN ONE RESIDENCE);  
 B) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING;  
 C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MIN. 45 FOOT TURNING RADIUS;  
 D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H2S-LOADING);  
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY;  
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET;  
 G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THE LANDSCAPE OBLIGATION HAS BEEN ADDRESSED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY LANDSCAPE MANUAL. CREDIT IS BEING TAKEN FOR EXISTING TREES/VEGETATION; THEREFORE, NO LANDSCAPE SURETY IS REQUIRED.
- THIS SITE DEVELOPMENT PLAN IS SUBJECT TO WP 92-48 REQUIRING A WAIVER FROM SECTION 16.115(C)(4) AND 16.115(F)(7) TO ALLOW DIRECT ACCESS ONTO OWEN BROWN ROAD FOR LOTS 3 AND 4.
- PRIVATE USE-IN-COMMON ACCESS EASEMENT ACROSS LOT 4 FOR BENEFIT OF LOTS 3 AND 4 RECORDED IN LIBER 2569, FOLIO 657.
- THIS PLAN IS EXEMPT FROM FOREST CONSERVATION WITH SECTION 16.1202(B)(6)(K) OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL SINCE THIS DEVELOPMENT IS ON LAND WHICH IS LESS THAN 40,000 SQUARE FEET.
- WATER QUALITY VOLUME AND GROUNDWATER RECHARGE FOR THIS PROJECT ARE PROVIDED BY ROOFTOP AND NON-ROOFTOP DISCONNECT CREDIT. THESE NON-STRUCTURAL METHODS ARE DESIGNED PER THE 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES 1 AND II. SINCE THE RATE OF RUNOFF FOR THE 1 YEAR STORM IS LESS THAN 2.0 CFS, CHANNEL PROTECTION VOLUME IS NOT REQUIRED.



ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
4	10315 OWEN BROWN ROAD

INDEX CHART	
SHEET	DESCRIPTION
SHEET 1	SITE DEVELOPMENT PLAN & SEDIMENT/EROSION CONTROL PLAN
SHEET 2	SEDIMENT/EROSION CONTROL NOTES & DETAILS

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
+362.5	SPOT ELEVATION
-SF-SF	SILT FENCE
-SSF-SSF	SUPER SILT FENCE
---	PROPOSED WALKOUT
ECM	EROSION CONTROL MATTING
LOD	LIMIT OF DISTURBANCE

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THIS PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SANG OH  
 DATE: 5-12-03

**ENGINEER'S CERTIFICATE**

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: EARL D. COLLINS  
 Date: 5-8-03

**DEVELOPER/BUILDER/OWNER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer/Builder/Owner: SANG OH  
 Date: 5-8-03

Reviewed for HOWARD SCD and meets Technical Requirements.  
 Jim Meyer, 5/19/03  
 Conservation Service  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
 John K. Robert, 5/19/03  
 Howard SCD

**DEVELOPER/OWNER/BUILDER**

SANG OH  
 10708 FOLKESTONE WAY  
 WOODSTOCK, MARYLAND 21163  
 410-313-3934

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
Cristy Hannah, 5/20/03 Chief, Division of Development		5/20/03 Date		5/20/03 Date	
Mark A. Leight, 5/20/03 Director - Department of Planning and Zoning		5/20/03 Date		5/20/03 Date	
PROJECT: LUTHER E. JUSTIS & SIN HWA JUSTIS	SECTION: N/A	LOTS NO. 4			
PLAT: 10515	BLOCK NO. 13	ZONE: R-20	TAX/ZONE: 36	ELEC. DIST.: 5TH	CENSUS TR.: 6056.02
WATER CODE: C-435 W		SEWER CODE: 5324400			

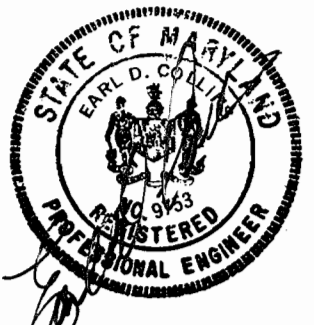
**SITE DEVELOPMENT & SEDIMENT/EROSION CONTROL PLAN**

**SINGLE FAMILY DETACHED**  
**LUTHER E. JUSTIS & SIN HWA JUSTIS**  
 LOT 4  
 TAX MAP No: 36 PARCEL: 458 GRID: 13  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1"= 30' DATE: FEBRUARY, 2003  
 SHEET 1 OF 2

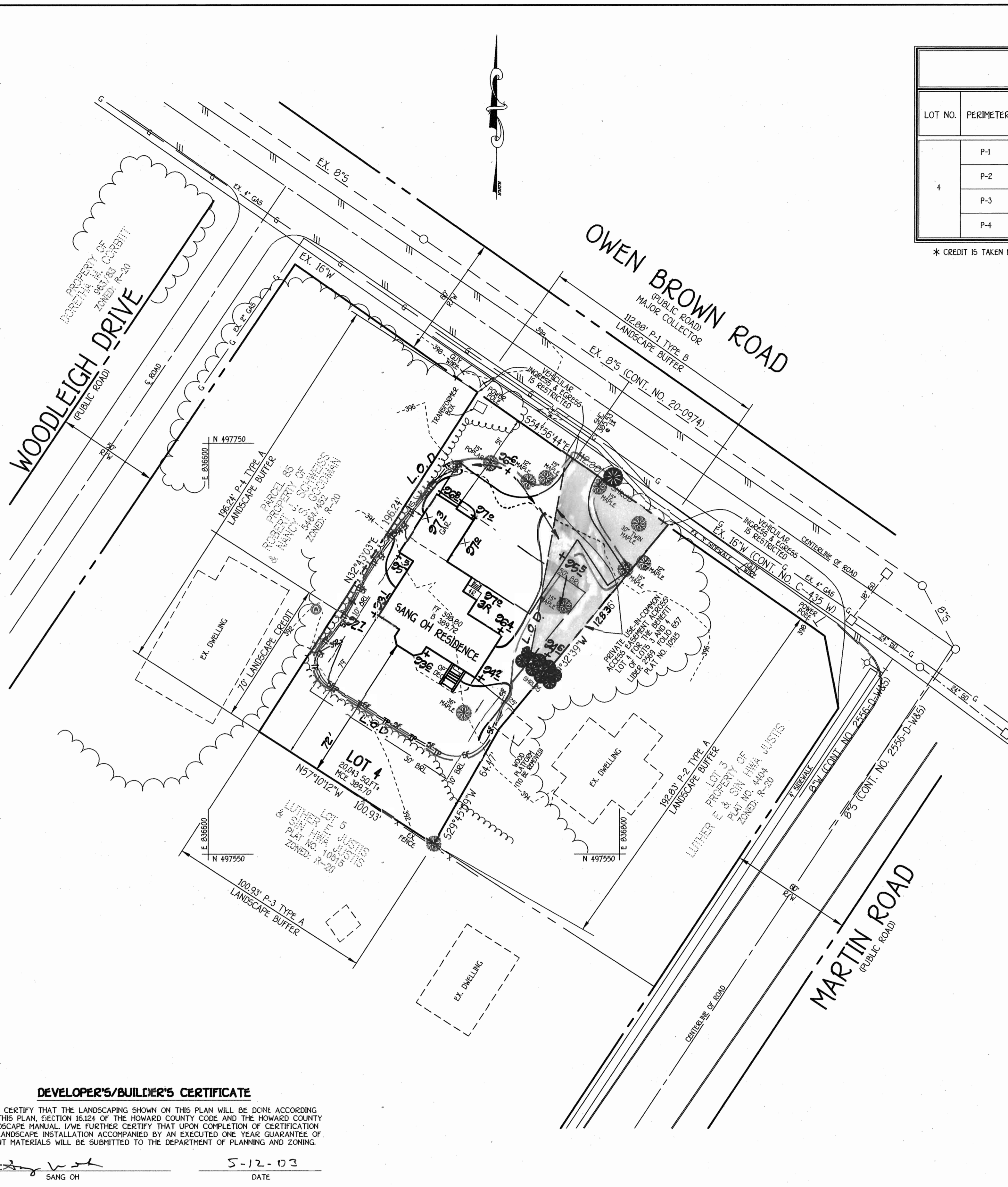
SDP 03-113

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**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELKLOTT CITY, MARYLAND 21042  
 410-461-2000

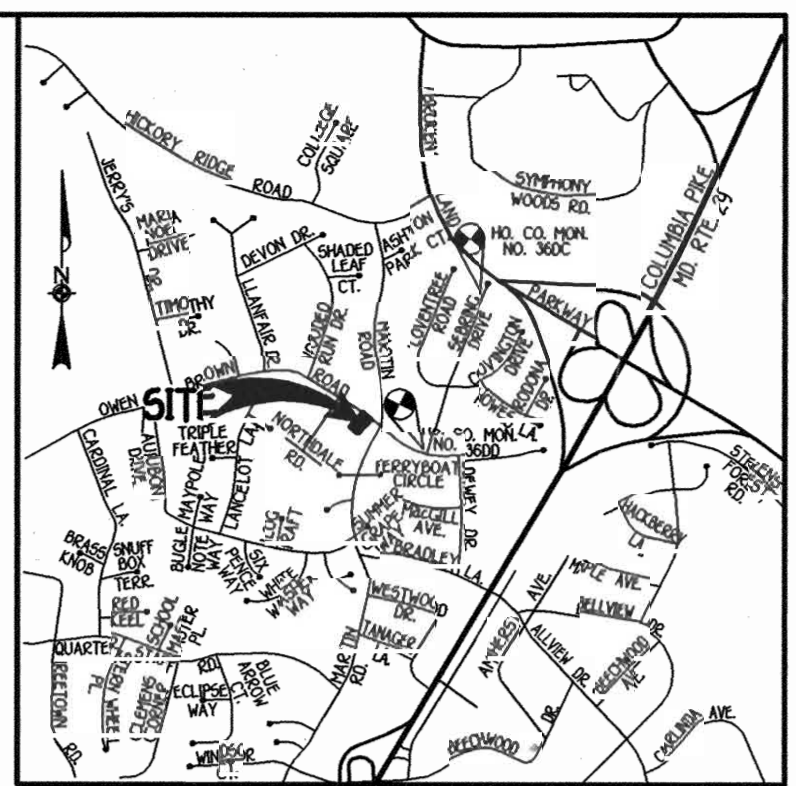






SCHEDULE A PERIMETER LANDSCAPE EDGE												
LOT NO.	PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF PERIMETER	CREDIT FOR EXISTING VEGETATION	REMAINING	SHADE TREES	EVERGREEN TREES	TOTAL TREES	SHADE TREES	EVERGREEN TREES	TOTAL TREES
4	P-1	ADJACENT TO ROADWAY	B	112.88'	N/A	N/A	0	0	0	0	0	0
	P-2	ADJACENT TO PERIMETER PROPERTY	A	192.83'	YES, 100%	0	0	0	0	0	0	0
	P-3	ADJACENT TO PERIMETER PROPERTY	A	100.93'	YES, 100%	0	0	0	0	0	0	0
	P-4	ADJACENT TO PERIMETER PROPERTY	A	196.24'	YES, 70%	126.24'	2	0	2	2	0	2*

\* CREDIT IS TAKEN FOR 2 EXISTING SHADE TREES TO REMAIN ALONG PERIMETER 4



VICINITY MAP  
SCALE: 1" = 200'

**BENCH MARKS**  
 HO. CO. MON. 3600 ELEV. 3911.09  
 N. 559,590.576  
 E. 1350,494.591  
 LOC. NORTH INTERSECTION OF OWEN BROWN RD. & SEBRING DR. ON SEBRING DR.  
 HO. CO. MON. 3600 ELEV. 3931.62  
 N. 559,056.573  
 E. 1,349,892.314  
 LOC. NEAR INTERSECTION OF OWEN BROWN RD. & SEBRING DR.

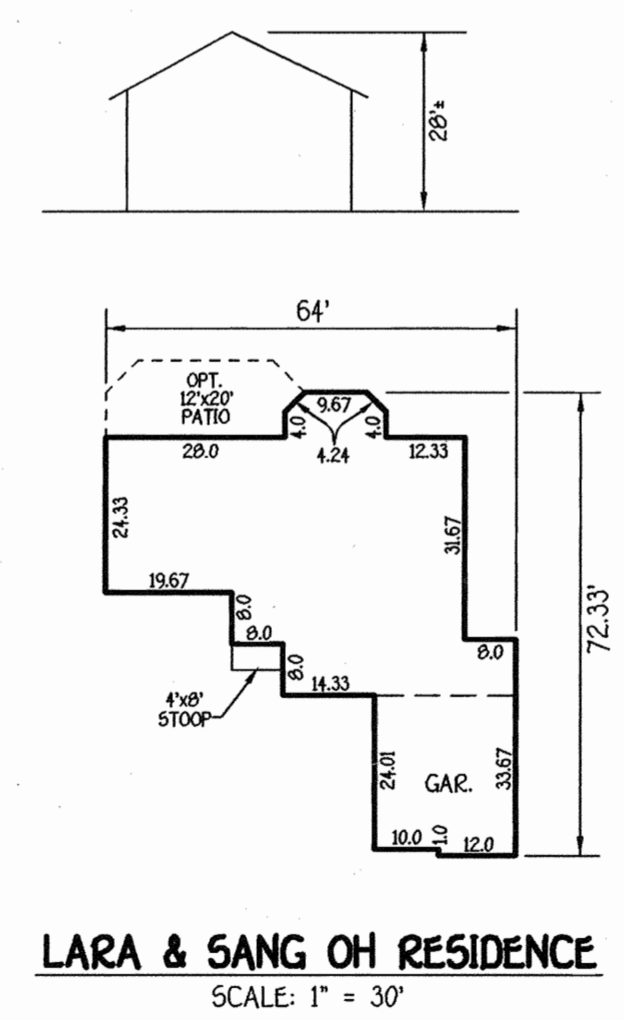
**GENERAL NOTES**

- SUBJECT PROPERTY ZONED R-20 PER 10/18/93 COMPREHENSIVE ZONING PLAN.
- TOTAL AREA OF SITE: 0.881 ACRES.
- TOTAL NUMBER OF LOTS SUBMITTED: 1 SFD
- THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION INSPECTION DIVISION AT (410)313-1080 AT LEAST 24 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: W CONT. \*C-435, 5 CONT. \*20-0974, F-80-14, F-92-36 & WP 92-48.
- THIS PLAN IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT FEBRUARY, 2003 BY FISHER, COLLINS & CARTER, INC.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS. HOWARD COUNTY MONUMENT 3600 N 559056.573 E 1350494.591 HOWARD COUNTY MONUMENT 3600 N 559056.573 E 1349892.314
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDER'S/ DEVELOPER'S EXPENSE.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLAND OR STREAM BUFFERS, UNLESS, APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY, MARYLAND.
- HOWARD COUNTY STANDARD DRIVEWAY DETAIL P-606.
- SITE DEVELOPMENT PLAN FOR SINGLE FAMILY DETACHED UNITS.
- THIS SDP IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- IN ACCORDANCE WITH SECTION 128XAND OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
- THERE ARE NO WETLANDS, STREAM BUFFERS OR FLOODPLAINS ON THIS LOT.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:  
 A) WIDTH - 12 FEET (4 FEET SERVING MORE THAN ONE RESIDENCE).  
 B) SURFACE - SIX (6) INCHES OF COMPACTED CROUCHER RUN BASE WITH TAR AND CHIP COATING.  
 C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 100' GRADE CHANGE AND MIN. 45 FOOT TURNING RADIUS.  
 D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (R25-LOADING).  
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY.  
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET.  
 G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THE LANDSCAPE OBLIGATION HAS BEEN ADDRESSED IN ACCORDANCE WITH SECTION 16124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE HOWARD COUNTY LANDSCAPE MANUAL. CREDIT IS BEING TAKEN FOR EXISTING TREES/VEGETATION. THEREFORE, NO LANDSCAPE SURETY IS REQUIRED.
- THIS SITE DEVELOPMENT PLAN IS SUBJECT TO WP 92-48 REQUIRING A WAIVER FROM SECTION 1615C(K4) AND 1615X(F7) TO ALLOW DIRECT ACCESS ONTO OWEN BROWN ROAD FOR LOTS 3 AND 4.
- PRIVATE USE-IN-COMMON ACCESS EASEMENT ACROSS LOT 4 FOR BENEFIT OF LOTS 3 AND 4 RECORDED IN LIBER 2569, FOLIO 657.
- THIS PLAN IS EXEMPT FROM FOREST CONSERVATION WITH SECTION 161202(B)(6) OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL 5106. THIS DEVELOPMENT IS ON LAND WHICH IS LESS THAN 40,000 SQUARE FEET.
- WATER QUALITY VOLUME AND GROUNDWATER RECHARGE FOR THIS PROJECT ARE PROVIDED BY ROOFTOP AND NON-ROOFTOP DISCONNECT CREDIT. THESE NON-STRUCTURAL METHODS ARE DESIGNED PER THE 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES I AND II. SINCE THE RATE OF RUNOFF FOR THE 1 YEAR STORM IS LESS THAN 2.0 CFS, CHANNEL PROTECTION VOLUME IS NOT REQUIRED.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THIS PLAN, SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*SANG OH*  
 SANG OH  
 5-12-03  
 DATE



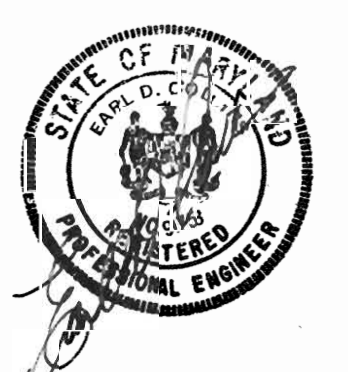
LARA & SANG OH RESIDENCE  
SCALE: 1" = 30'

LOT NUMBER	STREET ADDRESS
4	10315 OWEN BROWN ROAD

SHEET	DESCRIPTION
SHEET 1	SITE DEVELOPMENT PLAN & SEDIMENT/ EROSION CONTROL PLAN
SHEET 2	SEDIMENT/ EROSION CONTROL NOTES & DETAILS

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
+362.5	SPOT ELEVATION
-SF - SF-	SILT FENCE
-S6F - S6F-	SUPER SILT FENCE
WALK	PROPOSED WALKOUT
ECH	EROSION CONTROL MATTING
LOD	LIMIT OF DISTURBANCE

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 1972 BALTIMORE NATIONAL FREE  
 ELLICOTT CITY, MARYLAND 21114  
 410 481 - 2955



**ENGINEER'S CERTIFICATE**  
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."  
*Earl D. Collins*  
 EARL D. COLLINS  
 5-8-03  
 Signature of Engineer Date

**DEVELOPER/BUILDER/OWNER'S CERTIFICATE**  
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."  
*SANG OH*  
 SANG OH  
 5-8-03  
 Signature of Developer/Builder/Owner Date

Reviewed for HOWARD SCD and meets Technical Requirements.  
*John W. Taylor* 5/19/03  
 Director - Natural Resources Conservation Service Date  
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
*John W. Taylor* 5/19/03  
 Director - Howard SCD Date

**DEVELOPER/OWNER/BUILDER**  
 SANG OH  
 10789 FOLKSTONE WAY  
 WOODSTOCK, MARYLAND 21163  
 410-313-3334

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Cindy Hanab* 5/20/03  
 Chief, Division of Planning and Development Date  
*Mark A. Lepp* 5/20/03  
 Chief, Development Engineering Division Date  
 Director - Department of Planning and Zoning  
 PROJECT: LUTHER E. JUSTIS & SIN HWA JUSTIS SECTION: N/A LOTS NO.: 4  
 PLAT: 10515 BLOCK NO.: 13 ZONE: R-20 TAX/ZONE: 36 ELEC. DIST.: 5TH CENSUS TR.: 6056.02  
 WATER CODE: C-435 W SEWER CODE: 5324400

**SITE DEVELOPMENT & SEDIMENT/EROSION CONTROL PLAN**  
 SINGLE FAMILY DETACHED  
**LUTHER E. JUSTIS & SIN HWA JUSTIS**  
 LOT 4  
 TAX MAP No: 36 PARCEL: 45B GRID: 13  
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: FEBRUARY, 2003  
 SHEET 1 OF 2

SDP 03-113