

SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS... 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL... 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES... 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL... 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL... 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR... 7. SITE ANALYSIS: TOTAL AREA OF SITE (THIS SUBMISSION) 0.21 ACRES... 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE... 9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR... 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS... 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

PERMANENT SEEDBED PREPARATIONS

- SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED. SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES: 1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING... 2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING... MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING... MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDBED PREPARATIONS

- APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED THROUGH A SHORT-TERM SEEDING. SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED. SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT). SEEDING: FOR PERIOD MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT)... MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING... REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT. Donald Mason 4/6/03

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT. Brian D. Boy 4/2/03

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS. Jim M... 4/9/03

USDA - NATURAL RESOURCES CONSERVATION SERVICE. This development plan is approved for soil erosion and sediment control by the Howard County Conservation District. John R... 4/9/03

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division. 4/16/03

Chief, Department of Planning and Zoning. 4/16/03

Chief, Division of Land Development. 4/16/03

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TOPSOIL SPECIFICATIONS

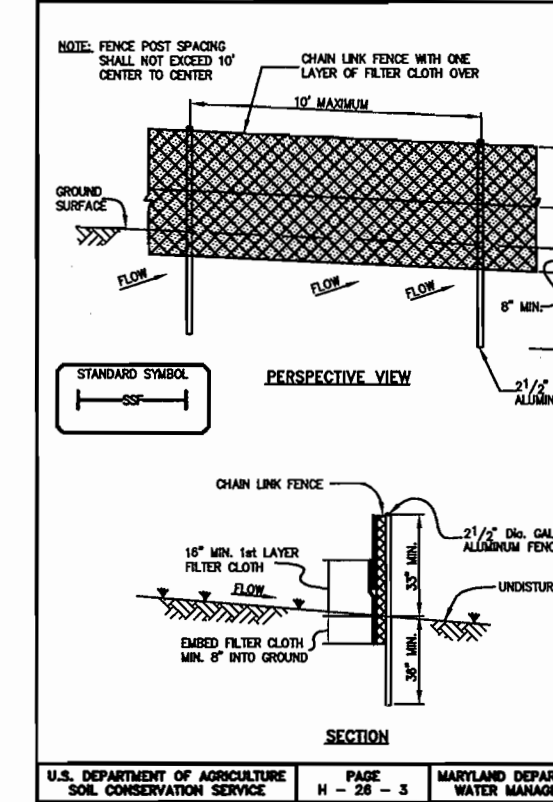
- I. Topsoil salvaged from the existing site may be used provided that it meets that standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station. II. Topsoil Specifications - Soil to be used as topsoil must meet the following: 1. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority... 2. Topsoil must be free of plants or plant parts such as Bermuda grass, quack grass, johnson grass, nutgrass, hairy vetch, wild radish, or others as specified... 3. Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil... III. For sites having disturbed areas over 5 acres: 1. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials... IV. For sites having disturbed areas over 5 acres: 1. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following: a. pH for topsoil shall be between 6.0 and 7.5... b. Organic content or topsoil shall be not less than 1.5 percent by weight... c. Topsoil having soluble salt content greater than 500 parts per million shall not be used... d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control... V. Topsoil Application 1. When topsoiling, maintain needed erosion and sediment control practices such as diversion structures, stabilization structures, earth ditches, slope silt fence and sediment traps and basins... 2. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation... 3. Topsoil shall be uniformly distributed in a 4" - 6" layer and lightly compacted to a minimum thickness of 3". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and slope... 4. Topsoil shall be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation... VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below: 1. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas over 5 acres shall conform to the following requirements: a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.08... b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium, and have a pH of 7.0 to 8.0... c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet... 2. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

- References: Guidelines Specifications, Soil Preparation and Sodding, MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1975.

SEQUENCE OF CONSTRUCTION

- NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF CONSTRUCTION DAY 1 1.) OBTAIN GRADING PERMIT. DAY 2 2.) INSTALL SEDIMENT CONTROLS THAT ARE NOTED TO BE INSTALLED UNDER THIS SDP. DAY 3-4 3.) EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDBED NOTES. DAY 5-30 4.) CONSTRUCT HOUSE, BACKFILL AND CONSTRUCT DRIVEWAY. DAY 31-32 5.) FINAL GRADE AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDBED NOTES AND FLUSH STORM DRAIN SYSTEM. DAY 33 6.) WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS. - - - INDICATES SINGLE HOUSE CONSTRUCTION. NOTE: 1. SEDIMENT CONTROL LOCATION AND IMPLEMENTATION SHOWN ON THESE PLANS IS SUBJECT TO REVISION IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR. 2. EROSION CONTROL MATTING SHALL BE PLACED IN AREAS WHERE DEEMED NECESSARY UNTIL VEGETATION IS ESTABLISHED OR SOLID SOD SHOULD BE USED.

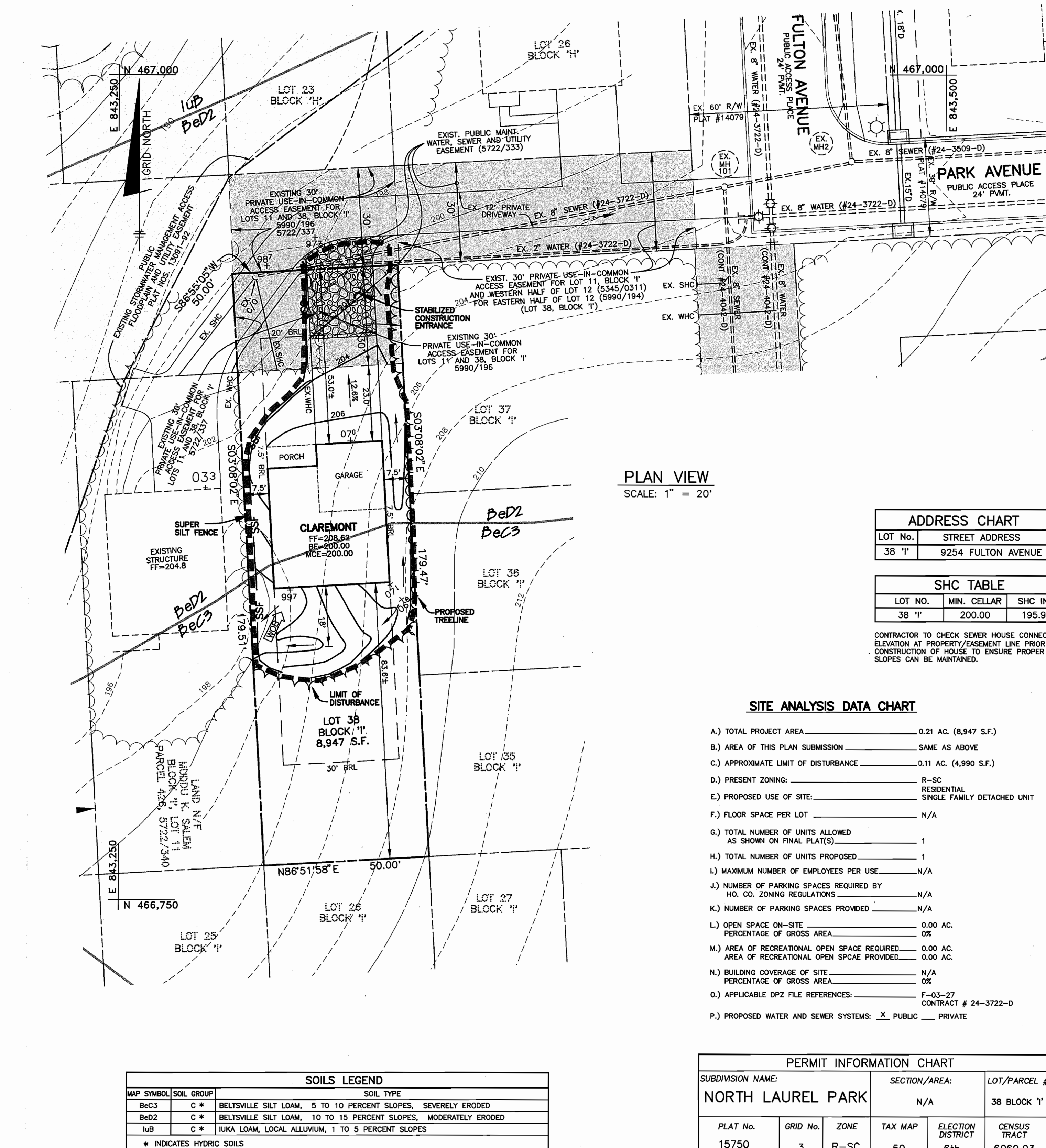
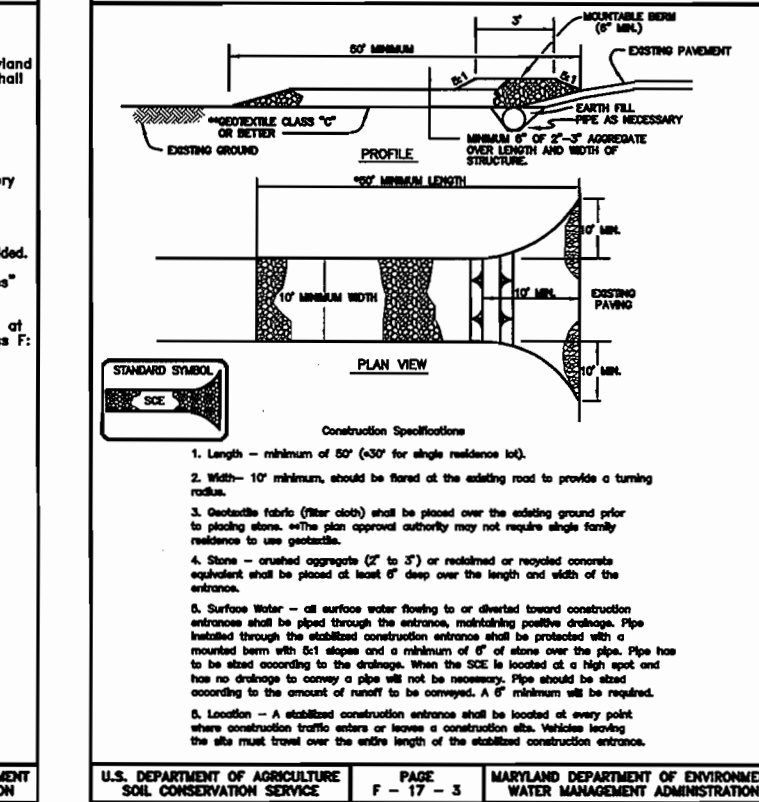
DETAIL 33 - SUPER SILT FENCE



SUPER SILT FENCE

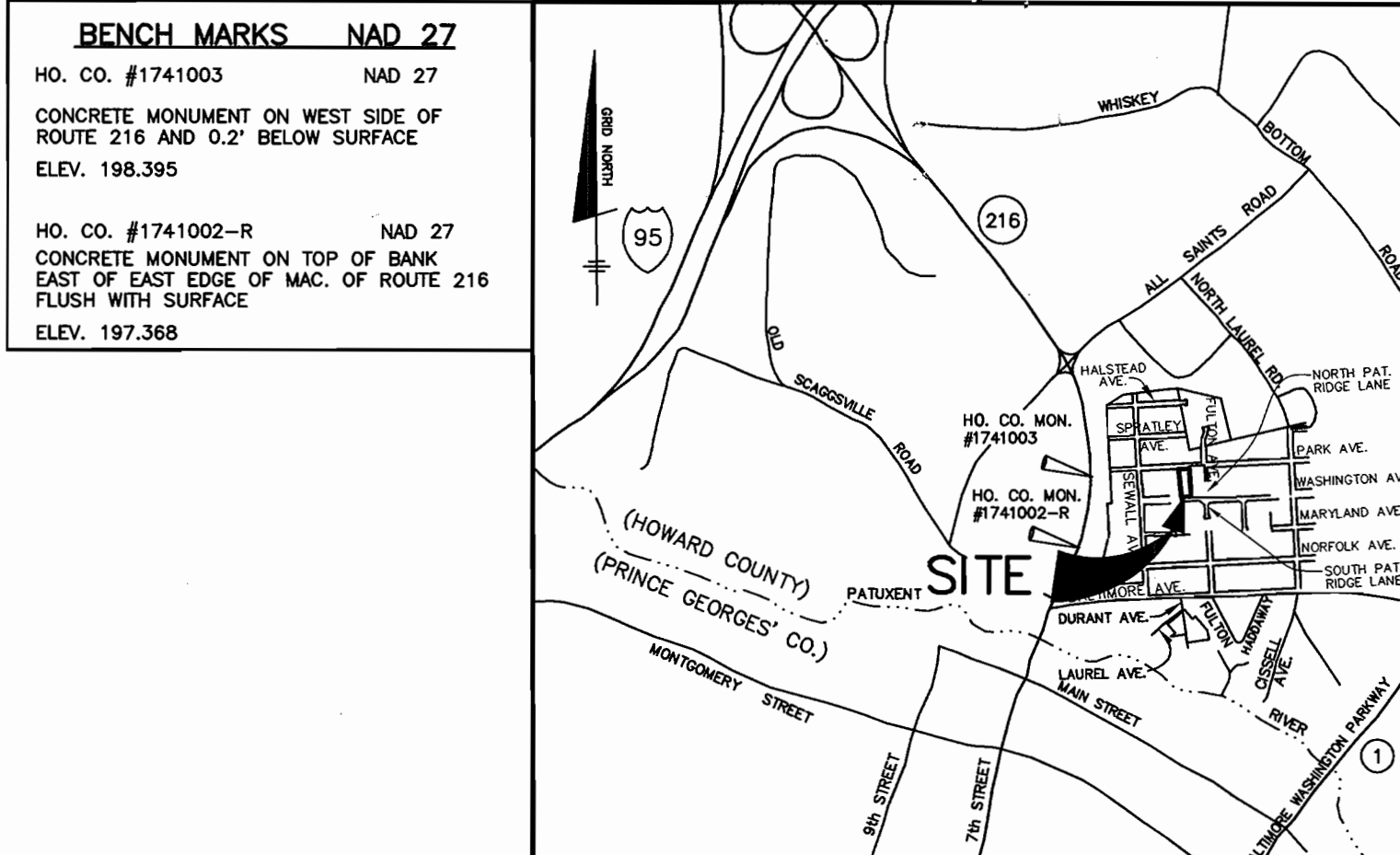
Table with 4 columns: Slope, Slope Steepness, Slope Length (Maximum), and Silt Fence Length (Minimum). It lists specifications for slopes from 0-10% to 50%+.

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



SOILS LEGEND table with columns for MAP SYMBOL, SOIL GROUP, and SOIL TYPE. It lists soil types like BELTSVILLE SILT LOAM and LUKE LOAM.

PERMIT INFORMATION CHART table with columns for SUBDIVISION NAME, SECTION/AREA, LOT/PARCEL #, PLAT No., GRID No., ZONE, TAX MAP, ELECTION DISTRICT, and CENSUS TRACT.



GENERAL NOTES 1. THE SUBJECT PROPERTY IS ZONED R-SC PER THE 10-18-93 COMPREHENSIVE ZONING PLAN. 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK. 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK. 4. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN AERIAL TOPOGRAPHY SURVEY BY WINGS, INC. DATED MARCH, 1995. CONTOUR INTERVAL IS 2 FEET. 5. HORIZONTAL AND VERTICAL DATUM ARE NAD '27 - MONUMENTS 1741003 and 1741002-R. 6. EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM CAD DRAWINGS (#24-3722-D) AND FIELD SURVEY LOCATIONS. IF NECESSARY, CONTRACTOR SHALL ADJUST ANY OR ALL STRUCTURE TOP ELEVATIONS TO MATCH SDP GRADES. 7. STORMWATER MANAGEMENT IS NOT REQUIRED FOR THIS LOT AS WE ARE DISTURBING LESS THAN 5000 S.F. 8. THERE ARE NO WETLANDS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS, STEEP SLOPES OR 100-YEAR FLOODPLAIN LOCATED WITHIN THIS LIMIT OF SUBMISSION. 9. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK. 10. [W] INDICATES WALKOUT BASEMENT. 11. PREVIOUS HOWARD COUNTY FILE NUMBERS: F-03-27 12. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED. 13. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE. 14. BRL INDICATES BUILDING RESTRICTION LINE. 15. FOR DRIVEWAY ENTRANCE DETAIL SEE HOWARD COUNTY STANDARD DETAILS R-6.03 & R-6.05. 16. DRIVEWAY SLOPES SHOWN ARE AVERAGE. THE SLOPE AT THE OUTSIDE EDGES COULD BE FLATTER OR STEEPER DEPENDING ON GRADE OF ROADWAY. 17. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A RESIDENTIAL OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS: a) WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE); b) SURFACE - 6" OF COMPACT CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN); c) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM 45' TURNING RADIUS; d) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H2S LOADING); e) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOODPLAIN WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY; f) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE. 18. THIS PLAN CONFORMS WITH THE 5th EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR A BUILDING PERMIT TO INITIATE CONSTRUCTION ON THIS LOT WITHIN ONE YEAR OF SIGNATURE APPROVAL OF THIS SITE DEVELOPMENT PLAN. 19. THIS LOT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION PER SECTION 16.1202(b)(1)(iii) OF THE SUBDIVISION REGULATIONS. 20. THIS LOT IS EXEMPT FROM LANDSCAPING REQUIREMENTS IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MARKER AS THIS LOT IS NOT ADJACENT TO A ROAD AND IS INTERNAL TO AN EXISTING SUBDIVISION.

ADDRESS CHART table with columns for LOT No. and STREET ADDRESS. Shows 38 '1' at 9254 FULTON AVENUE.

SHC TABLE table with columns for LOT No., MIN. CELLAR, and SHC INV. Shows 38 '1' with 200.00 and 195.90.

CONTRACTOR TO CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY/EASEMENT LINE PRIOR TO CONSTRUCTION OF HOUSE TO ENSURE PROPER SLOPES CAN BE MAINTAINED.

SITE ANALYSIS DATA CHART table with columns for item and value. Includes total project area, area of submission, approximate limit of disturbance, etc.

OWNER/DEVELOPER/BUILDER: CORNERSTONE HOMES, INC. 9691 NORFOLK AVENUE LAUREL, MARYLAND 20723 410-792-2565

PROJECT: NORTH LAUREL PARK LOT 38 BLOCK '1'

LOCATION: TAX MAP: 50, GRID: 3 PARCEL: P/O 426 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT PLAN F-03-27

DATE: APRIL, 2003 PROJECT NO. 1320

SCALE: AS SHOWN SHEET 1 OF 1

DESIGN: DBT DRAFT: DBT/EDD CHECK: DAM

4/16/03