

GENERAL NOTES

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- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - MISS UTILITY: 1-800-257-7777
 - BELL ATLANTIC TELEPHONE CO.: 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
 - AT&T CABLE LOCATION DIVISION: 393-3553
 - B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
 - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 - STATE HIGHWAY ADMINISTRATION: 531-5533
- THE SUBJECT PROPERTY IS ZONED R-ED AS PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- SITE ANALYSIS:
 - AREA OF SITE: 15.211 AC. (662,591 SF)
 - NET TRACT AREA: 7.83 AC
 - AREA OF PLAN SUBMISSION: 5.892 AC. (256,656 SF)
 - TOTAL NUMBER OF BUILDABLE LOTS: 15
 - PRESENT ZONING: R-ED
 - 100 YEAR FLOODPLAIN OUTSIDE STEEP SLOPES: 0.03 AC
 - 25% STEEP SLOPE AREA: -7.35 ACRES
 - LIMIT OF DISTURBANCE: 3.59 AC.± (156,408 SF)
 - PROPOSED USE OF SITE: SINGLE FAMILY DWELLING
 - TOTAL UNITS ALLOWED: 7.83 ac. x 2 = 15 UNITS
 - TOTAL UNITS PROPOSED: 15
- PROJECT BACKGROUND:
 - LOCATION: TAX MAP: 25 PARCEL: 3 BLOCK: 1 & 2
 - ZONING: R-ED
 - THE WOODS OF PARK PLACE
 - DEED REFERENCE: LIBER 1313 FOLIO 336
 - DPZ REFERENCE: PB-344 (APP. 1/24/01), S-00-10, P-02-02, F-02-154, WP-02-57 (2/26/02)
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- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- WETLANDS AND STREAMS SHOWN ON-SITE ARE BASED ON FIELD INVESTIGATION PREPARED BY WILDMAN ENVIRONMENTAL SERVICES AND AERIAL PHOTOGRAMMETRIC, DATED FEBRUARY 2000.
- FLOODPLAIN SHOWN ON-SITE IS BASED ON PLAT NO. 10817.
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 - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
 - H) ALL DRIVEWAY APRONS TO BE PER HOWARD COUNTY STANDARD DETAIL NO'S R-6.05 & R-6.01 UNLESS OTHERWISE NOTED.
- THE REQUIRED LANDSCAPING PER PB-344 (APPLICANTS EXHIBIT NO. 11 1/24/01) AND THE HOWARD COUNTY LANDSCAPE MANUAL DEPICTED ON S-00-10, P-02-02 AND F-02-154 SHALL BE PROVIDED AS SHOWN. PERMITTED LANDSCAPING AND STREET TREES SHALL BE PROVIDED AS APPROVED ON THE FINAL ROAD CONSTRUCTION PLAN F-02-154. THE LANDSCAPE SURETY FOR THE 3 SHADE TREES AND 4 EVERGREEN TREES REQUIRED FOR THE SIDE YARD OF LOT 1 WILL BE PROVIDED WITH THE BUILDER'S GRADING PERMIT APPLICATION AND ALL OTHER LANDSCAPE SURETY WILL BE PROVIDED WITH THE DEVELOPER'S AGREEMENT UNDER F-02-154. LOT 1 LANDSCAPE SURETY IS \$1500.00.
- FOREST CONSERVATION OBLIGATIONS OF 5.32 ACRES OF RETENTION (NO REQUIRED REFORESTATION) AS REQUIRED IN SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION HAVE BEEN FULFILLED BY THE ESTABLISHMENT OF A SURETY AGREEMENT AND FOREST CONSERVATION EASEMENTS AS SHOWN ON F-02-154.
- OPEN SPACE REQUIREMENTS FOR THIS SUBDIVISION HAVE BEEN PROVIDED UNDER F-02-154.
- STORM WATER MANAGEMENT (2-YR AND 10-YR) FOR THIS DEVELOPMENT HAS BEEN PROVIDED UNDER F-02-154. THE EXTENDED DETENTION FACILITY LOCATED ON OPEN SPACE LOT 16 WILL PROVIDE WATER QUALITY. THE FACILITY IS HAZARD CLASS 'A' AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
- APFO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED FEBRUARY 14, 2000 AND APPROVED JANUARY 24, 2001.
- TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO ENVIRONMENTAL AREA.
- A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
- CHURCH ROAD AND PARK DRIVE ARE SCENIC ROADS.
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 26, 2002 (WP-02-57) TO WAIVE SECTION 16.134(d)(1)(i) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW A PUBLIC ROAD WITHOUT A SIDEWALK.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 7, 2002 TO WAIVE SECTION 2.3.2.B OF THE DESIGN MANUAL VOLUME III, TO ALLOW A TEE-TURNAROUND ON A PERMANENT NON-THROUGH STREET.
- THE SUBJECT PROPERTY IS LOCATED IN THE ELLICOTT CITY HISTORIC DISTRICT.
- ALL PROPOSED STRUCTURES AND DEVELOPMENT ARE REQUIRED TO OBTAIN APPROVAL FROM THE HISTORIC DISTRICT COMMISSION (HDC) AND SITE DEVELOPMENT PLAN APPROVAL BY THE HOWARD COUNTY PLANNING BOARD PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS.
- THIS PLAN AND PROJECT ARE GRANDFATHERED TO THE FOURTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE PROPOSED ROUTE FOR THE SEWER LINE CONNECTION AND THE LOCATION FOR THE SWM FACILITY HAVE BEEN DETERMINED A NECESSARY DISTURBANCE OF THE 25% OR GREATER STEEP SLOPES BY DPZ IN ACCORDANCE WITH SECTION 16.116(c) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ON JANUARY 24, 2001, THE HOWARD COUNTY PLANNING BOARD APPROVED A SKETCH PLAN FOR 15 SINGLE FAMILY DETACHED RESIDENTIAL AND 2 OPEN SPACE LOTS FOR THE SUBJECT PROPERTY IN ACCORDANCE WITH SECTION 107.E OF THE HOWARD COUNTY ZONING REGULATION.
- WATER & SEWER EASEMENT REFERENCES ARE UNDER CONTRACT NUMBER 14-4030-D
- FOREST CONSERVATION EASEMENTS CAN BE REFERENCED FROM PLAT F-02-154.
- OPEN SPACE FOR LOT 5 CAN BE REFERENCED FROM PLAT NUMBER 10817.

SITE DEVELOPMENT PLAN

THE WOODS OF PARK PLACE

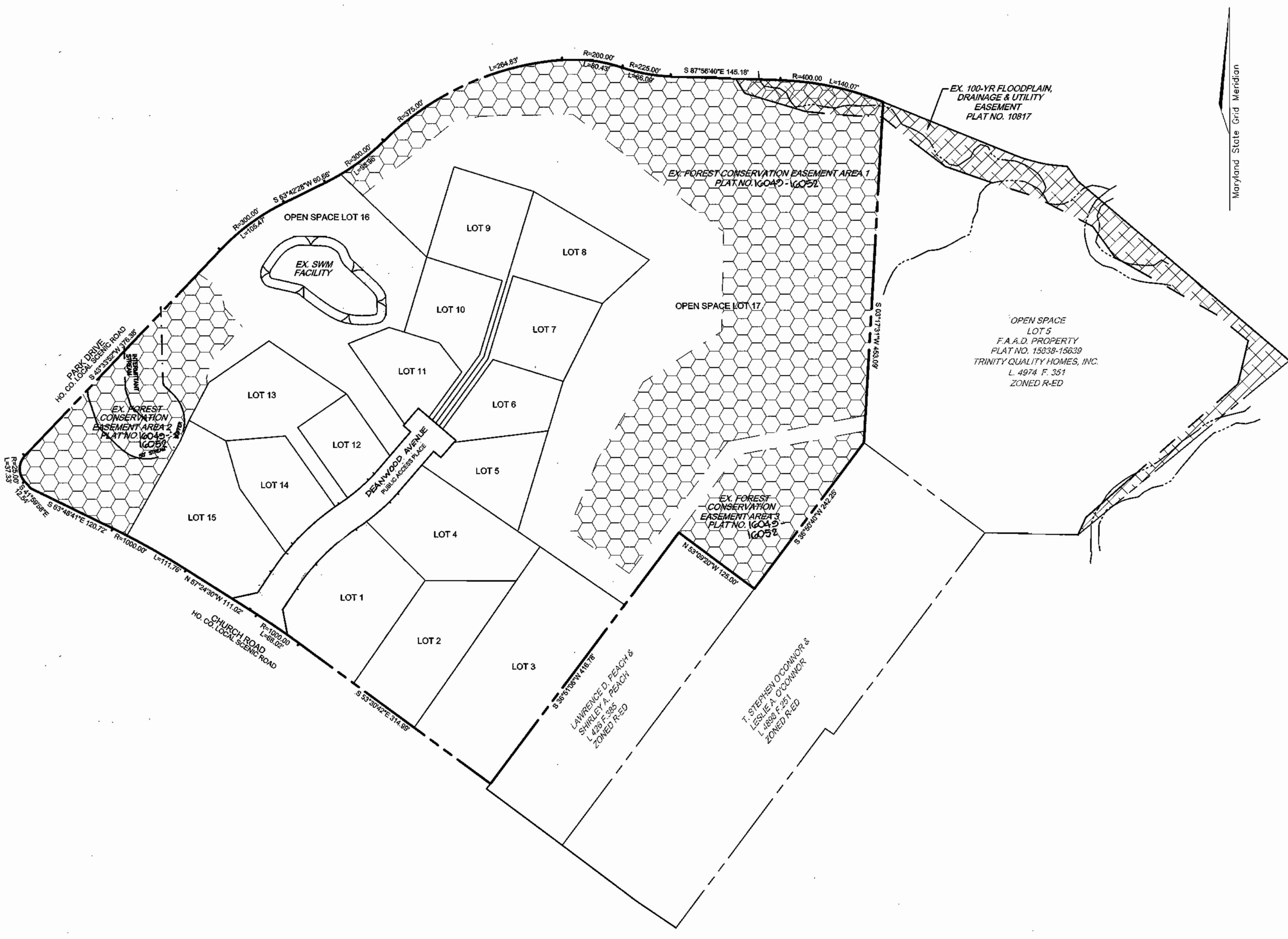
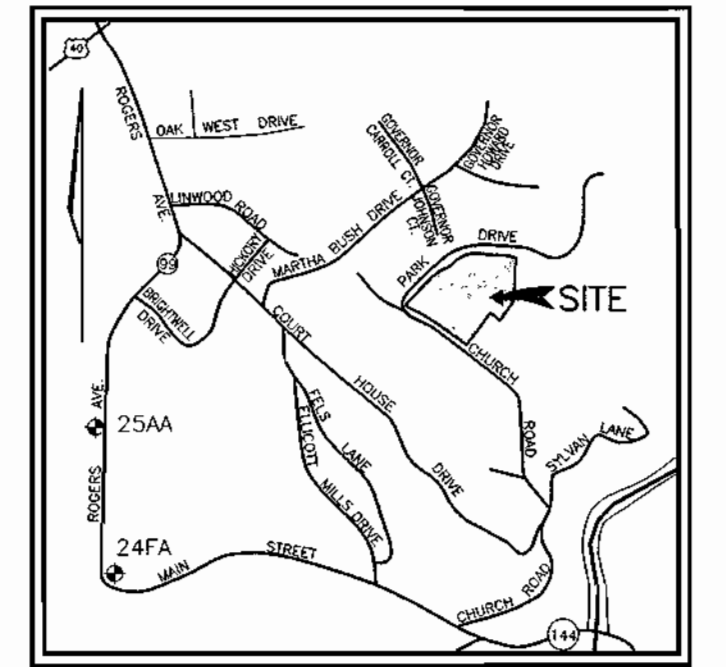
LOTS 1-15

HOWARD COUNTY, MARYLAND

BENCHMARKS

BENCHMARK NO. 1: COUNTY CONTROL #24FA
N. 583,751.410, E. 1,366,091.943
ELEV. = 263.701'

BENCHMARK NO. 2: COUNTY CONTROL #25AA
N. 585,307.185, E. 1,366,071.024
ELEV. = 308.447'



SEWER CONNECTION TABULATION

LOT NO	TYPE	ELEVATION @ MAN	ELEVATION @ R/W OR PUBLIC EASEMENT	M.C.E.
1	D.H.C. @ 5%	341.29	349.00	357.80
2	S.H.C.	344.67	344.91	353.10
3	S.H.C.	344.67	344.91	353.10
4	S.H.C. @ 5%	340.36	341.91	350.00
5	S.H.C.	334.48	335.05	341.60
6	S.H.C.	334.94	335.41	339.60
7	S.H.C.	335.64	336.02	340.50
8	S.H.C.	336.45	336.87	341.10
9	S.H.C.	336.45	336.77	339.80
10	S.H.C.	335.64	335.85	340.50
11	S.H.C.	335.94	335.07	341.60
12	D.H.C. @ 5%	340.41	343.50	351.10
13	S.H.C.	340.78	341.04	348.10
14	D.H.C. @ 5%	341.29	346.00	354.17
15	S.H.C.	341.08	342.05	347.50

ADDRESS CHART

LOT #	STREET ADDRESS	LOT #	STREET ADDRESS
1	5402 DEANWOOD AVE.	9	3429 DEANWOOD AVE.
2	3515 CHURCH ROAD	10	3425 DEANWOOD AVE.
3	3519 CHURCH ROAD	11	3421 DEANWOOD AVE.
4	3414 DEANWOOD AVE.	12	3415 DEANWOOD AVE.
5	3418 DEANWOOD AVE.	13	3411 DEANWOOD AVE.
6	3422 DEANWOOD AVE.	14	3407 DEANWOOD AVE.
7	3426 DEANWOOD AVE.	15	3403 DEANWOOD AVE.
8	3430 DEANWOOD AVE.		

PERMIT INFORMATION CHART

PROJECT NAME	SECTION/AREA	PARCEL NUMBER			
THE WOODS OF PARK PLACE	N/A	3			
PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELECT. DIST.	CENSUS TR.
16049-16052	1 & 2	R-ED	25	2ND	6029
WATER CODE:	F-01	SEWER CODE:	1450000		

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 3
SITE DEVELOPMENT PLAN	2 OF 3
SEDIMENT AND EROSION CONTROL DETAILS	3 OF 3

NO.	REVISION	DATE

COVER SHEET
THE WOODS OF PARK PLACE
NEW SINGLE FAMILY DETACHED DWELLINGS
LOTS 1-15

TAX MAP 25 BLOCKS 1 & 2 PARCEL '3'
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
REF.: PB-344 (APP. 1/24/01), S-00-10, P-02-02,
F-02-154, WP-02-57 (2/26/02)

OWNER/DEVELOPER
BUILDER
TRINITY QUALITY HOMES, INC.
3675 PARK AVE. SUITE 301
ELLICOTT CITY, MARYLAND 21043
(410) 480-0023

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHV
DRAWN BY: CMH, ELW
CHECKED BY: RHV
DATE: JANUARY 2003
SCALE: AS SHOWN
W.O. NO.: 2019143.0

1 SHEET OF 3

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: MAY 1, 2003

LOCATION MAP
SCALE: 1" = 100'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kathleen J. ... 9/9/03
Chief, Division of Land Development Date

... 9/9/03
Chief, Development Engineering Division Date

... 9/9/03
Director Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Robert H. Vogel 8/11/03
Signature of Engineer Date
Robert H. Vogel

DEVELOPER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Michael P. Paul 08-07-03
Signature of Developer (print name below signature) Date
MICHAEL PAUL

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Myers 9/9/03
MSDA-Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/9/03
Howard SCD Date

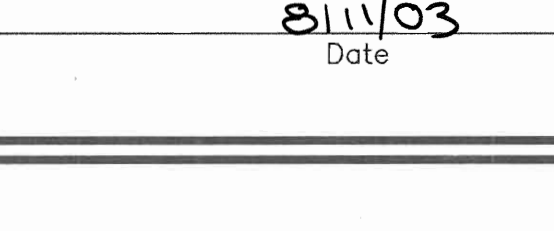
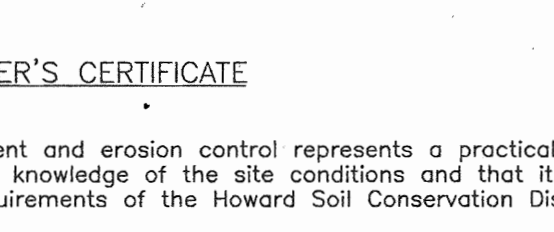
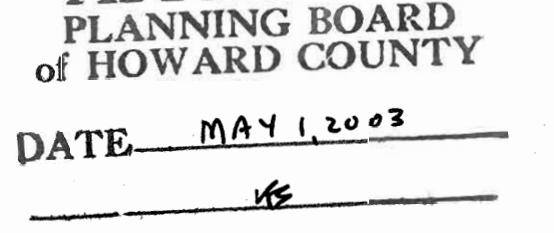
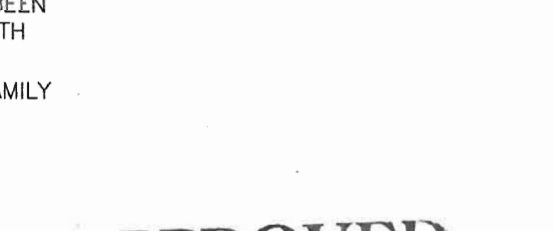
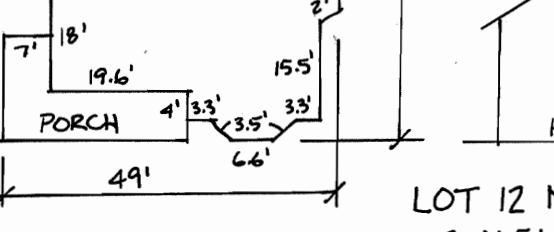
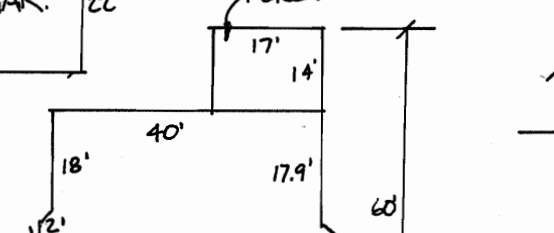
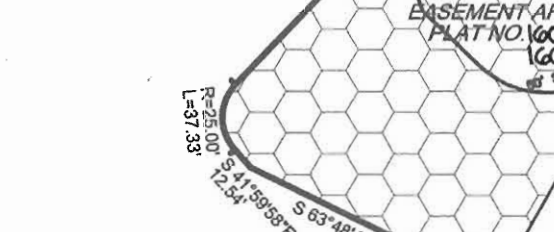
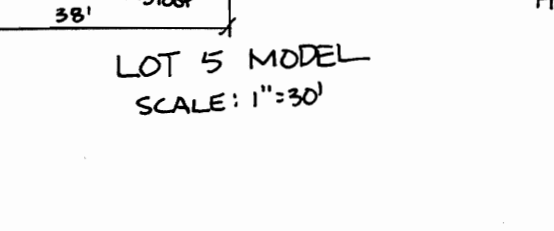
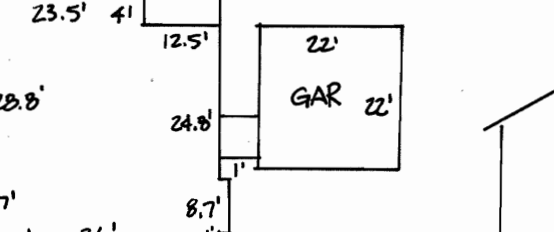
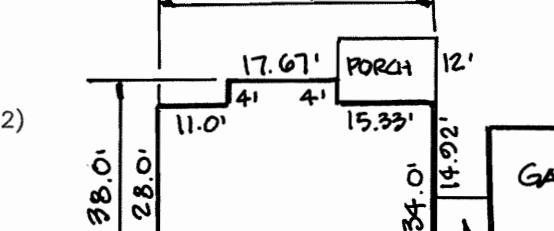
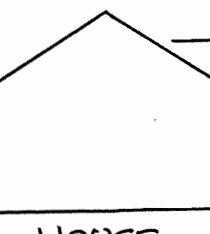
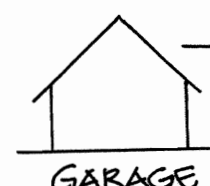
DEVELOPER'S BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING."

Michael P. Paul 08-07-03
OWNER'S NAME DATE

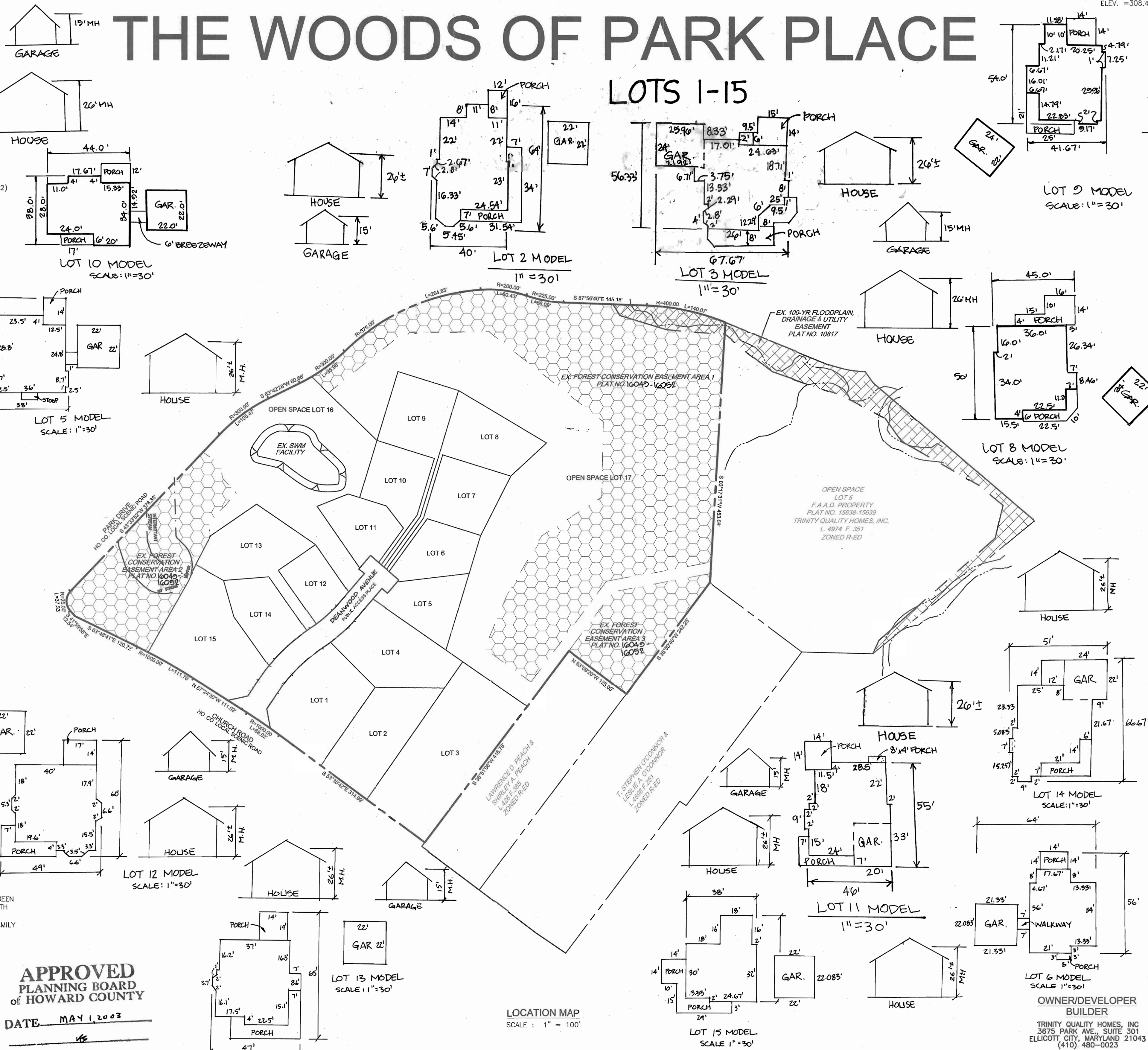
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 - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
 - H) DRIVEWAY APRONS TO BE PER HOWARD COUNTY STANDARD DETAIL NO'S R-6.05 & R-6.01 UNLESS OTHERWISE NOTED
- THE REQUIRED LANDSCAPING PER PB-344 (APPLICANTS EXHIBIT NO. 11 1/24/01) AND THE HOWARD COUNTY LANDSCAPE MANUAL DEPICTED ON S-00-10, P-02-02 AND F-02-154 SHALL BE PROVIDED AS SHOWN. PERIMETER LANDSCAPING AND STREET TREES SHALL BE PROVIDED AS APPROVED ON THE FINAL ROAD CONSTRUCTION PLAN F-02-154. THE LANDSCAPE SURETY FOR THE 3 SHADE TREES AND 4 EVERGREEN TREES REQUIRED FOR THE SIDE YARD OF LOT 1 WILL BE PROVIDED WITH THE BUILDER'S GRADING PERMIT APPLICATION AND ALL OTHER LANDSCAPE SURETY WILL BE PROVIDED WITH THE DEVELOPER'S AGREEMENT UNDER F-02-154. LOT 1 LANDSCAPE SURETY IS \$1000.00.
- FOREST CONSERVATION OBLIGATIONS OF 5.32 ACRES OF RETENTION (NO REQUIRED REFORESTATION) AS REQUIRED IN SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION HAVE BEEN FULFILLED BY THE ESTABLISHMENT OF A SURETY AGREEMENT AND FOREST CONSERVATION EASEMENTS AS SHOWN ON F-02-154.
- OPEN SPACE REQUIREMENTS FOR THIS SUBDIVISION HAVE BEEN PROVIDED UNDER F-02-154.
- STORM WATER MANAGEMENT (2-YR AND 10-YR) FOR THIS DEVELOPMENT HAS BEEN PROVIDED UNDER F-02-154. THE EXTENDED DETENTION FACILITY LOCATED ON OPEN SPACE LOT 16 WILL PROVIDE WATER QUALITY. THE FACILITY IS HAZARD CLASS "A" AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
- APFO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED FEBRUARY 14, 2000 AND APPROVED JANUARY 24, 2001.
- TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO ENVIRONMENTAL AREA.
- A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
- CHURCH ROAD AND PARK DRIVE ARE SCENIC ROADS.
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 26, 2002 (WP-02-57) TO WAIVE SECTION 16.134(b)(1)(c) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW A PUBLIC ROAD WITHOUT A SIDEWALK.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 7, 2002 TO WAIVE SECTION 2.3.2.B OF THE DESIGN MANUAL, VOLUME III, TO ALLOW A TEE-TURNAROUND ON A PERMANENT NON-THROUGH STREET.
- THE SUBJECT PROPERTY IS LOCATED IN THE ELLICOTT CITY HISTORIC DISTRICT.
- ALL PROPOSED STRUCTURES AND DEVELOPMENT ARE REQUIRED TO OBTAIN APPROVAL FROM THE HISTORIC DISTRICT COMMISSION (HDC) AND SITE DEVELOPMENT PLAN APPROVAL BY THE HOWARD COUNTY PLANNING BOARD PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS.
- THIS PLAN AND PROJECT ARE GRANDFATHERED TO THE FOURTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE PROPOSED ROUTE FOR THE SEWER LINE CONNECTION AND THE LOCATION FOR THE SWM FACILITY HAVE BEEN DETERMINED A NECESSARY DISTURBANCE OF THE 25% OR GREATER STEEP SLOPES BY DPZ IN ACCORDANCE WITH SECTION 16.116(c) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ON JANUARY 24, 2001, THE HOWARD COUNTY PLANNING BOARD APPROVED A SKETCH PLAN FOR 15 SINGLE FAMILY DETACHED RESIDENTIAL AND 2 OPEN SPACE LOTS FOR THE SUBJECT PROPERTY IN ACCORDANCE WITH SECTION 107.E OF THE HOWARD COUNTY ZONING REGULATION.
- WATER & SEWER EASEMENT REFERENCES ARE UNDER CONTRACT NUMBER 14-4030-D FOREST CONSERVATION EASEMENTS CAN BE REFERENCED FROM PLAT F-02-154.
- OPEN SPACE FOR LOT 5 CAN BE REFERENCED FROM PLAT NUMBER 10817.



SITE DEVELOPMENT PLAN THE WOODS OF PARK PLACE

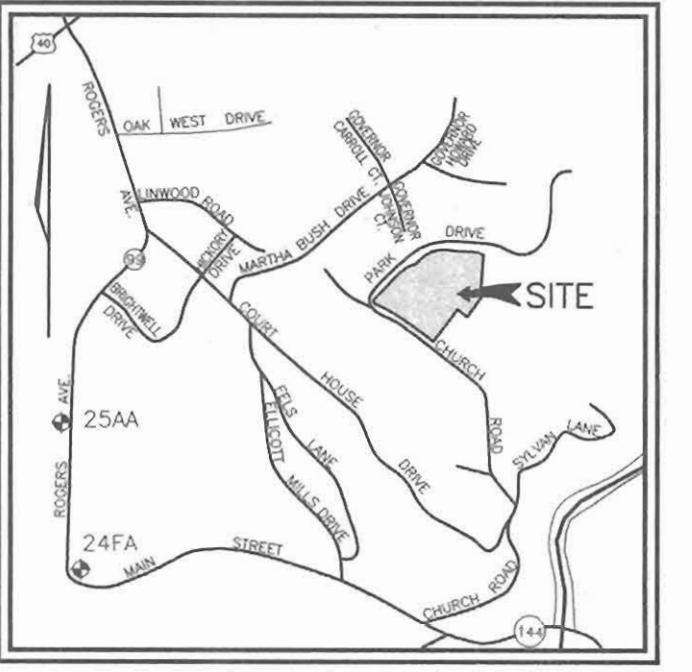
LOTS 1-15



BENCHMARKS

BENCHMARK NO. 1: COUNTY CONTROL #24FA
N. 583,751.410, E. 1,366,091.943
ELEV. = 263.701'

BENCHMARK NO. 2: COUNTY CONTROL #25AA
N. 585,307.185, E. 1,366,071.024
ELEV. = 308.447'



SEWER CONNECTION TABULATION

LOT NO	TYPE	ELEVATION @ MAIN	ELEVATION @ R/W OR PUBLIC GASMAIN	M.C.E.
1	D.H.C. @ 5%	341.29	349.00	357.80
2	S.H.C.	344.67	344.91	353.10
3	S.H.C.	344.67	344.91	353.10
4	S.H.C. @ 5%	340.36	341.91	350.00
5	S.H.C.	334.48	335.05	341.60
6	S.H.C.	334.94	335.41	339.60
7	S.H.C.	335.64	336.02	340.50
8	S.H.C.	336.45	336.87	341.10
9	S.H.C.	336.45	336.77	339.80
10	S.H.C.	335.64	335.85	340.50
11	S.H.C.	334.94	335.07	341.60
12	D.H.C. @ 5%	340.41	343.50	351.10
13	S.H.C.	340.78	341.04	348.10
14	D.H.C. @ 5%	341.29	348.00	354.17
15	S.H.C.	341.08	342.05	347.50

ADDRESS CHART

LOT #	STREET ADDRESS	LOT #	STREET ADDRESS
1	3402 DEANWOOD AVE.	9	3424 DEANWOOD AVE.
2	3515 CHURCH ROAD	10	3425 DEANWOOD AVE.
3	3519 CHURCH ROAD	11	3421 DEANWOOD AVE.
4	3414 DEANWOOD AVE.	12	3415 DEANWOOD AVE.
5	3418 DEANWOOD AVE.	13	3411 DEANWOOD AVE.
6	3422 DEANWOOD AVE.	14	3407 DEANWOOD AVE.
7	3426 DEANWOOD AVE.	15	3403 DEANWOOD AVE.
8	3430 DEANWOOD AVE.		

PERMIT INFORMATION CHART

PROJECT NAME	SECTION/AREA	PARCEL NUMBER
THE WOODS OF PARK PLACE	N/A	3
PLAT REF. 16049-16092	BLOCK NO. 1 & 2	ZONE R-ED
TAX MAP 25	ELECT. DIST. 2ND	CENSUS TR. 6029
WATER CODE: F-01	SEWER CODE: 1450000	

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 3
SITE DEVELOPMENT PLAN	2 OF 3
SEDIMENT AND EROSION CONTROL DETAILS	3 OF 3

REVISIONS

NO.	REVISION	DATE
1	IN ACCORDANCE WITH HDC APPROVAL DATED 10-13-04	
2	REVISE HOUSE MODELS LOTS 2, 3 & 11	10-11-04
3	IN ACCORDANCE WITH HDC APPROVAL DATED 8-6-04	
4	ADD HOUSE MODELS LOTS 2, 9 & 10	08-28-04
1	REVISE HOUSE MODELS AND LOT GRADING FOR LOTS 5, 6, 12, 13, 14 & 15 IN ACCORDANCE WITH THE HDC APPROVAL DATED JULY 2004	7-9-04

COVER SHEET
THE WOODS OF PARK PLACE
NEW SINGLE FAMILY DETACHED DWELLINGS
LOTS 1-15

TAX MAP 25 BLOCKS 1 & 2 PARCEL '3'
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
REF.: PB-344 (APP. 1/24/01), S-00-10, P-02-02,
F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-8226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHV
DRAWN BY: CMH, ELW
CHECKED BY: RHV
DATE: JANUARY 2003
SCALE: AS SHOWN
W.O. NO.: 2019143.0

1 SHEET OF 3

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kathleen... 9-9-03
Chief, Division of Planning and Zoning

Robert H. Vogel 9/9/03
Chief, Development Engineering Division

Robert H. Vogel 9/9/03
Director

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Robert H. Vogel 8/11/03
Signature of Engineer
Robert H. Vogel

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We authorize periodic on-site inspection by the Howard Soil Conservation District."

Michael P. Pearl 08-07-03
Signature of Developer (print name below signature)
MICHAEL PEARL

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Meyer 9/9/03
ASDA-Natural Resource Conservation Service

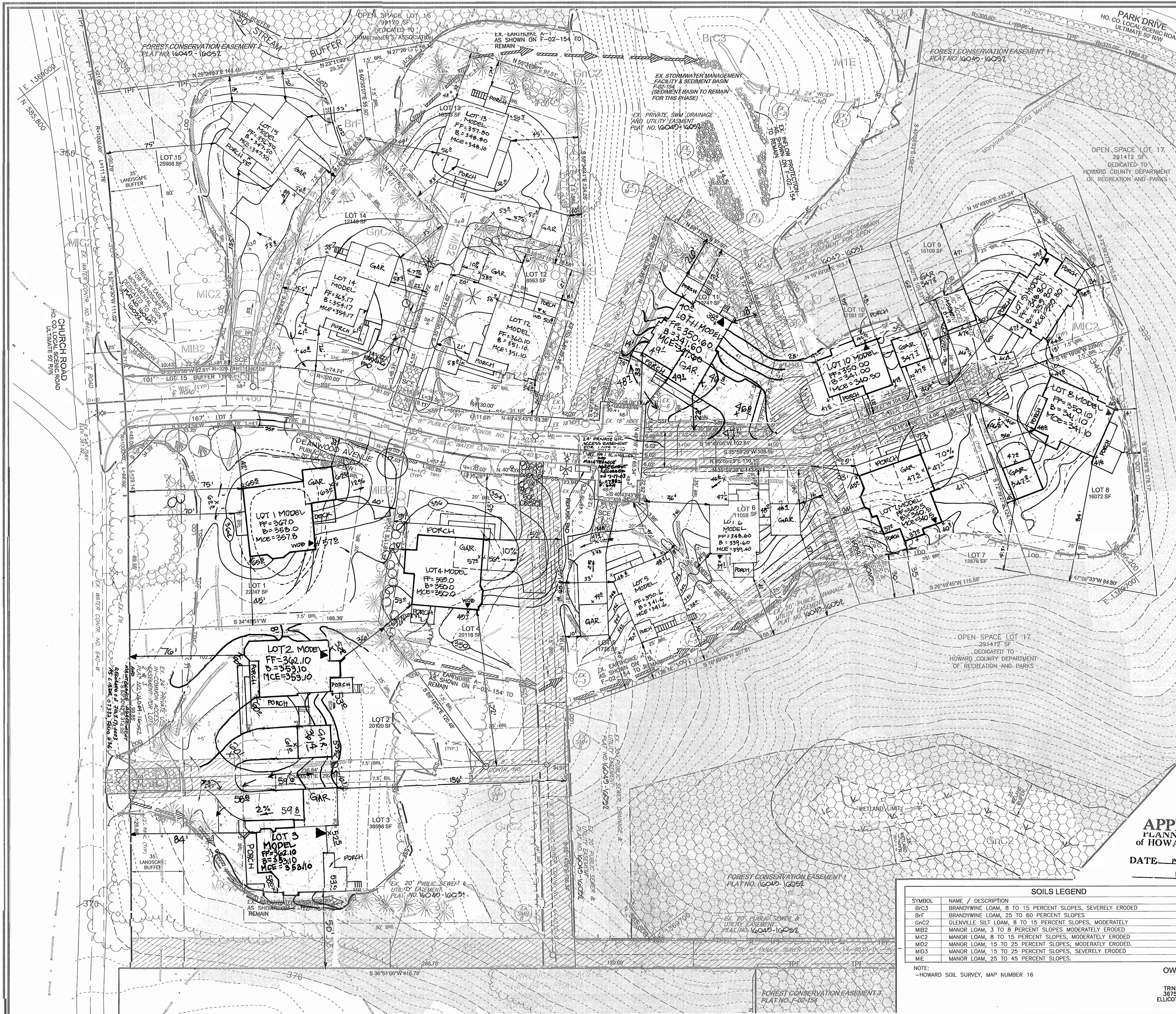
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John K. Robertson 9/9/03
Howard SCD

DEVELOPER'S BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING."

Michael P. Pearl 08-07-03
OWNER'S NAME DATE



LEGEND

EXISTING CONTOUR	PROPOSED CONTOUR	STABILIZED CONSTRUCTION ENTRANCE
SPOT ELEVATION	SPOT ELEVATION	EX. STREET TREE AS PER F-02-154
DIRECTION OF FLOW		EX. SHADE TREE AS PER F-02
EXISTING TREES TO REMAIN		EX. EVERGREEN AS PER F-02-154
LIGHT POLES		EX. SHRUB AS PER F-02-154
WALK OUT BASEMENT		EX. FCE AS PER F-02-154
SOILS LINE		EX. TREE PROTECTION FENCE AS PER F-02-154
MODERATE SLOPES 15-24.9%		PROPOSED SHADE TREE
STEEP SLOPES 25% OR GREATER		PROPOSED EVERGREEN
EX. SILT FENCE AS PER F-02-154		
EX. SUPER SILT FENCE AS PER F-02-154		
PROP. SUPER SILT FENCE AS PER F-02-154		
EX. LIMIT OF DISTURBANCE AS PER F-02-154		
PROP. EROSION CONTROL MATTING AS PER F-02-154		
EX. EROSION CONTROL MATTING AS SHOWN ON F-02-154 TO REMAIN		
EX. EARTHDIKE AS SHOWN ON F-02-154 TO REMAIN		

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Karl Blumhagen 9/9/03
 Chief, Division of Land Development Date

Robert H. Vogel 9/9/03
 Chief, Development Engineering Division Date

Mark A. Gagliardi 9/9/03
 Director Date

ENGINEER'S CERTIFICATE

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Robert H. Vogel 9/11/03
 Signature of Engineer Date

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Michael P. Fran 08-07-03
 Signature of Developer (print name below signature) Date

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Meyer 9/4/03
 USA-Natural Resource Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/4/03
 Howard SCD Date

NO.	REVISION	DATE
1	IN ACCORDANCE WITH HDC APPROVAL DATED 10-13-04	
2	REVISE HOUSE MODELS & GRADING LOTS 2, 3 & 11	10-11-04
3	IN ACCORDANCE WITH HDC APPROVAL DATED 8.6.04	
4	REVISE HOUSE MODEL LOTS 8, 9 & 10	12-22-04
5	REVISE HOUSE MODELS LOTS 6, 14, 15, 5, 13 & 12	7.9.04
6	REVISE HOUSE MODELS LOTS 2, 3, 4, 7, 11 IN ACCORDANCE WITH THE HDC APPROVAL DATED 5/2/04	6.30.04

SITE DEVELOPMENT PLAN
THE WOODS OF PARK PLACE
 NEW SINGLE FAMILY DETACHED DWELLINGS
 LOTS 1-15

TAX MAP 25 BLOCKS 1 & 2 Parcel 3'
 2ND ELECTION DISTRICT HOWARD COUNTY MARYLAND
 REF.: PB-344 (APP. 1/24/01), S-00-10, F-02-02
 F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.
 7125 Riverwood Drive Columbia, Maryland 21046
 Phone: 410-290-9550 Fax: 410-720-6226
 Bel Air, Maryland Columbia, Maryland

DESIGN BY: RHV
 DRAWN BY: CMH, ELW
 CHECKED BY: RHV
 DATE: JANUARY 2003
 SCALE: 1"=30'
 W.O. NO.: 2019143.0

2 SHEET OF 3

SOILS LEGEND

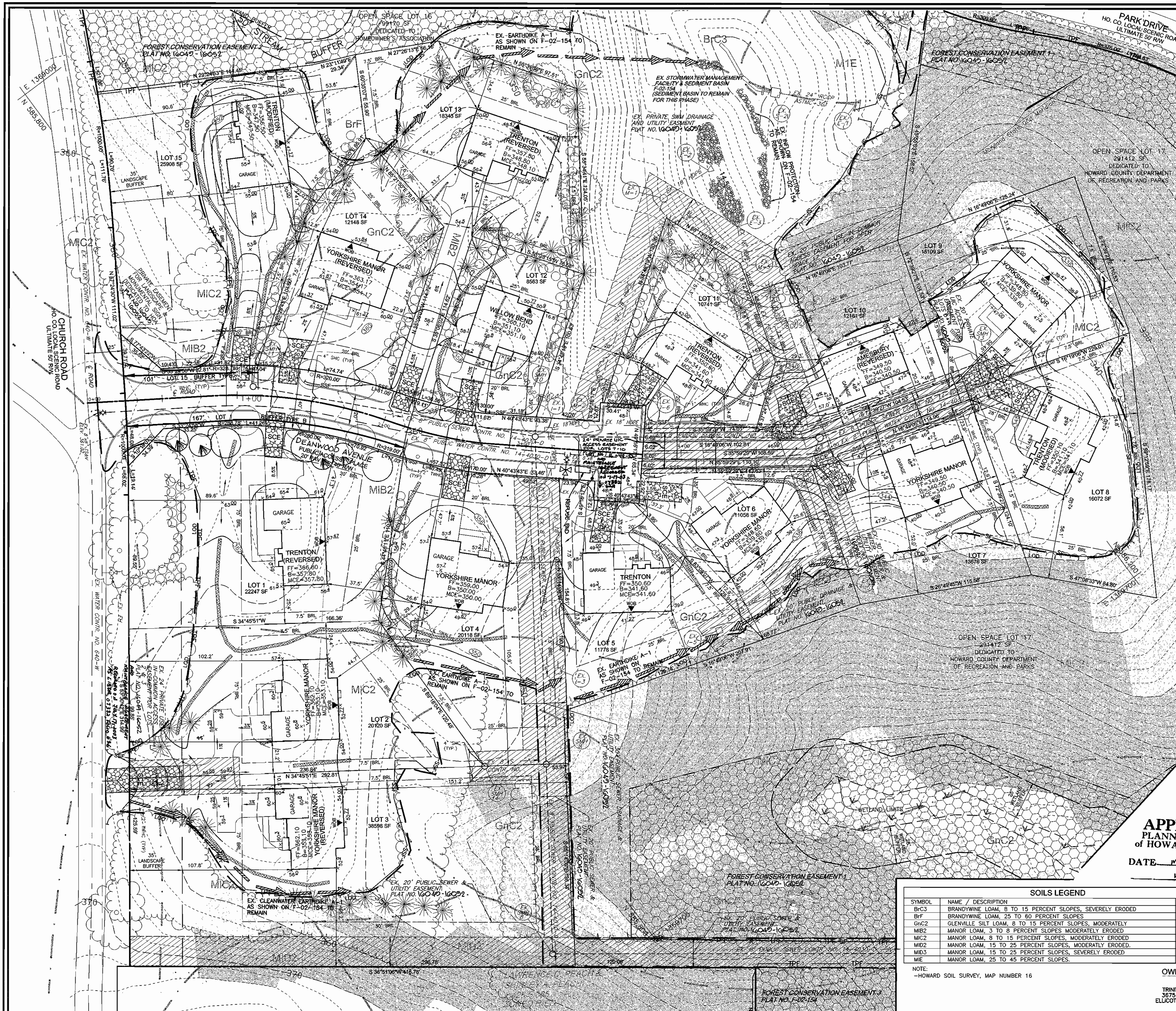
SYMBOL	NAME / DESCRIPTION	TYPE	K-VALUE
B/C3	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED	C	.24
B/F	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES	C	.24
G/C2	GLENNVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	.37
M/B2	MANOR LOAM, 3 TO 8 PERCENT SLOPES MODERATELY ERODED	B	.37
M/C2	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	.37
M/D2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B	.37
M/I3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B	.37
M/E	MANOR LOAM, 25 TO 45 PERCENT SLOPES	B	.37

NOTE: -HOWARD SOIL SURVEY, MAP NUMBER 16

OWNER/DEVELOPER BUILDER
 TRINITY QUALITY HOMES INC
 5675 PARK AVE., SUITE 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE MAY 1, 2003



LEGEND

EXISTING CONTOUR	---382---	STABILIZED CONSTRUCTION ENTRANCE	[Symbol]
PROPOSED CONTOUR	---382---	EX. STREET TREE AS PER F-02-154	[Symbol]
SPOT ELEVATION	+32.53	EX. SHADE TREE AS PER F-02-154	[Symbol]
DIRECTION OF FLOW	[Symbol]	EX. EVERGREEN AS PER F-02-154	[Symbol]
EXISTING TREES TO REMAIN	[Symbol]	EX. SHRUB AS PER F-02-154	[Symbol]
LIGHT POLES	[Symbol]	EX. FCE AS PER F-02-154	[Symbol]
WALK OUT BASEMENT	[Symbol]	EX. TREE PROTECTION FENCE AS PER F-02-154	[Symbol]
SOILS LINE	[Symbol]	PROPOSED SHADE TREE	[Symbol]
MODERATE SLOPES 15-24.9%	[Symbol]	PROPOSED EVERGREEN	[Symbol]
STEEP SLOPES 25% OR GREATER	[Symbol]		
EX. SILT FENCE AS PER F-02-154	[Symbol]		
EX. SUPER SILT FENCE AS PER F-02-154	[Symbol]		
EX. PROP. SUPER SILT FENCE AS PER F-02-154	[Symbol]		
EX. LIMIT OF DISTURBANCE AS PER F-02-154	[Symbol]		
EX. EARTHDIKE AS SHOWN ON F-02-154 TO REMAIN	[Symbol]		

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Karl B. ... 9-9-03
 Chief, Division of Land Development Date

... 9/9/03
 Chief, Development Engineering Division Date

... 9/9/03
 Director Date

ENGINEER'S CERTIFICATE

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Robert H. Vogel 9/11/03
 Signature of Engineer Date
 Robert H. Vogel

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Michael P. ... 08-07-03
 Signature of Developer (print name below signature) Date
 MICHAEL PEARL

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Meyer 9/4/03
 USCA-Natural Resource Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/4/03
 Howard SCD Date

NO.	REVISION	DATE

APPROVED
PLANNING BOARD
 OF HOWARD COUNTY

DATE: MAY 1, 2003

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE	K-VALUE
Brc3	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED	C	.24
Bf	BRANDYWINE LOAM, 25 TO 50 PERCENT SLOPES	C	.24
Gnc2	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C	.32
MIB2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B	.37
MIC2	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	.37
MD2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B	.37
MD3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B	.37
MIE	MANOR LOAM, 25 TO 45 PERCENT SLOPES	B	.37

NOTE:
 -HOWARD SOIL SURVEY, MAP NUMBER 16

OWNER/DEVELOPER
BUILDER
 TRINITY QUALITY HOMES INC
 3675 PARK AVE., SUITE 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023

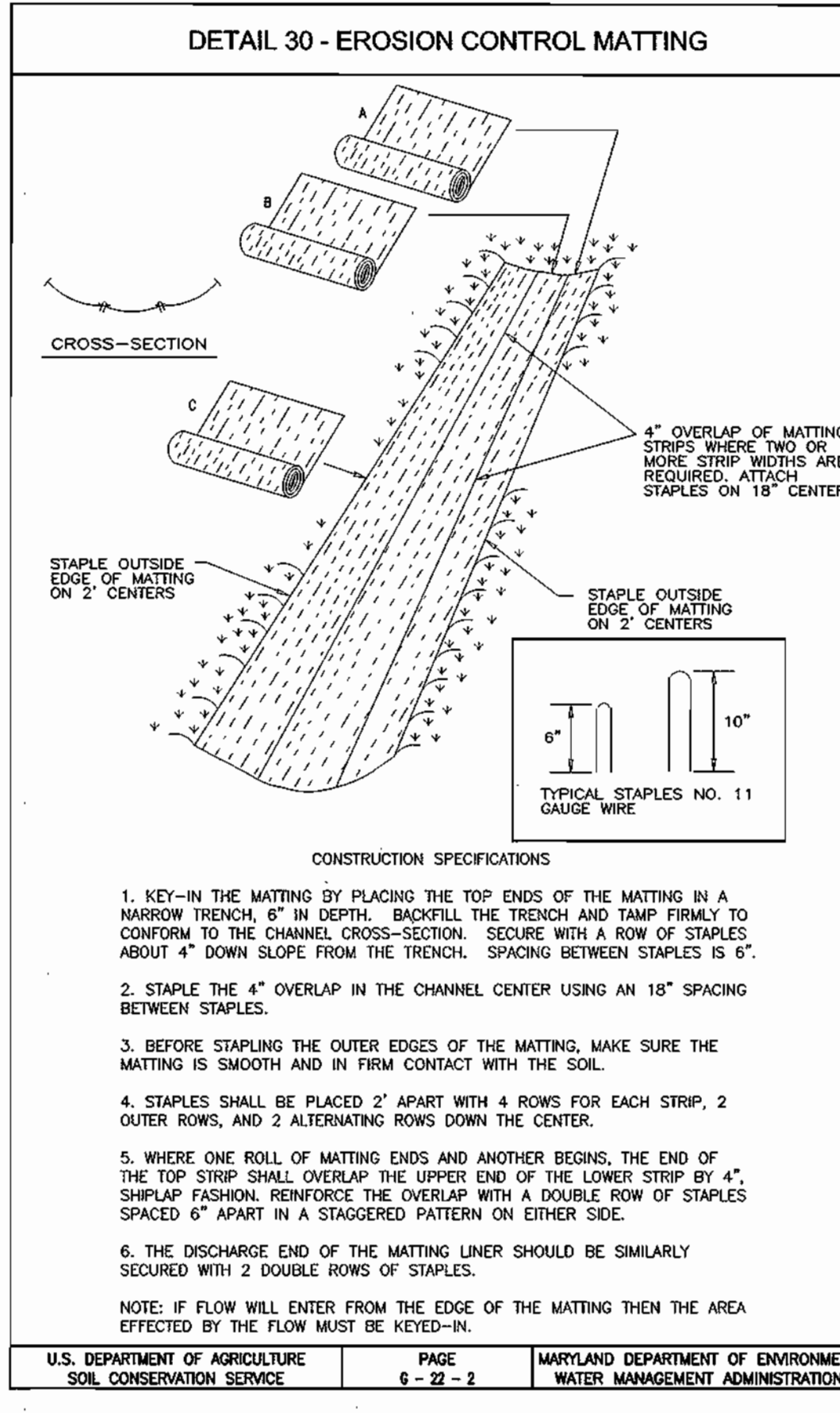
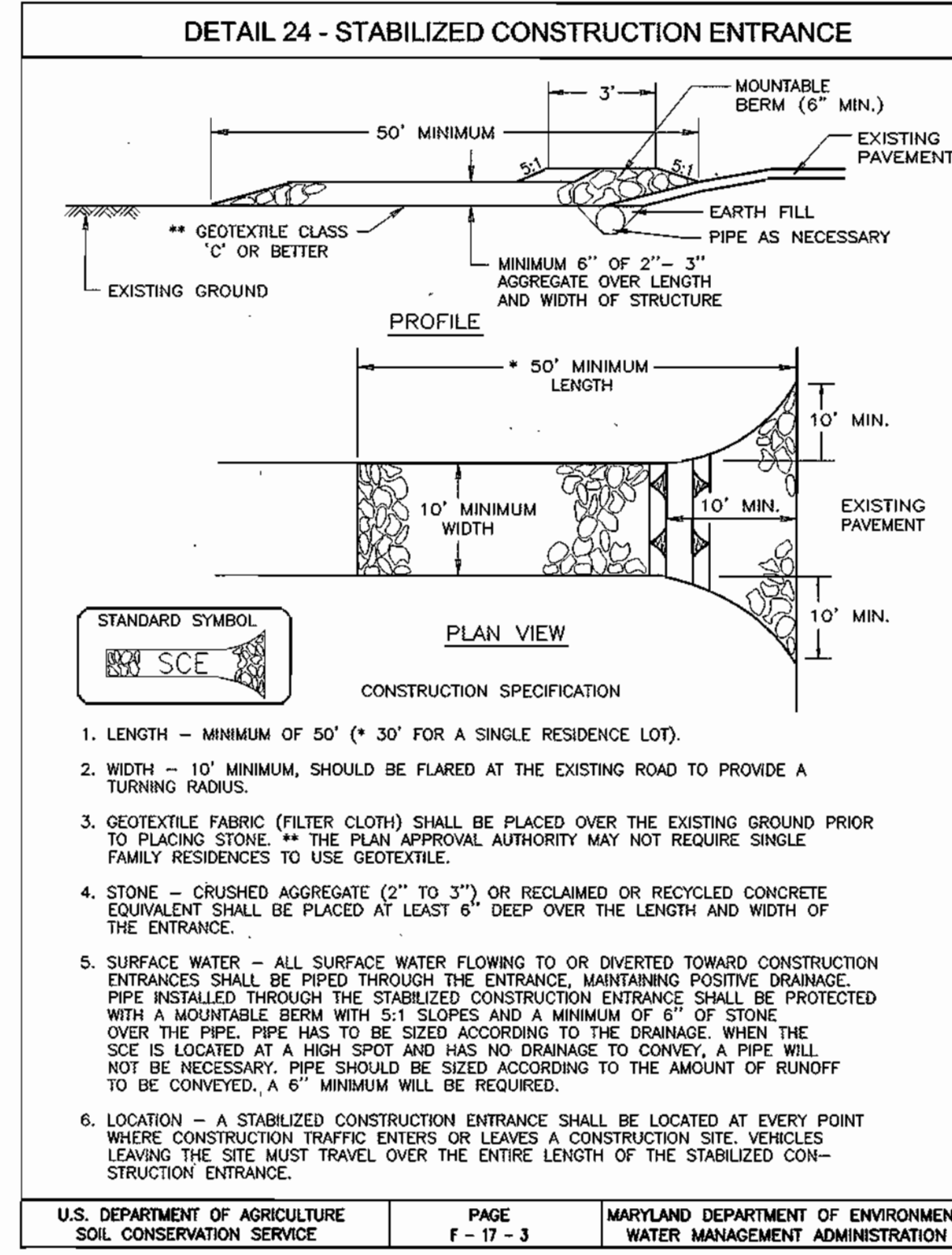
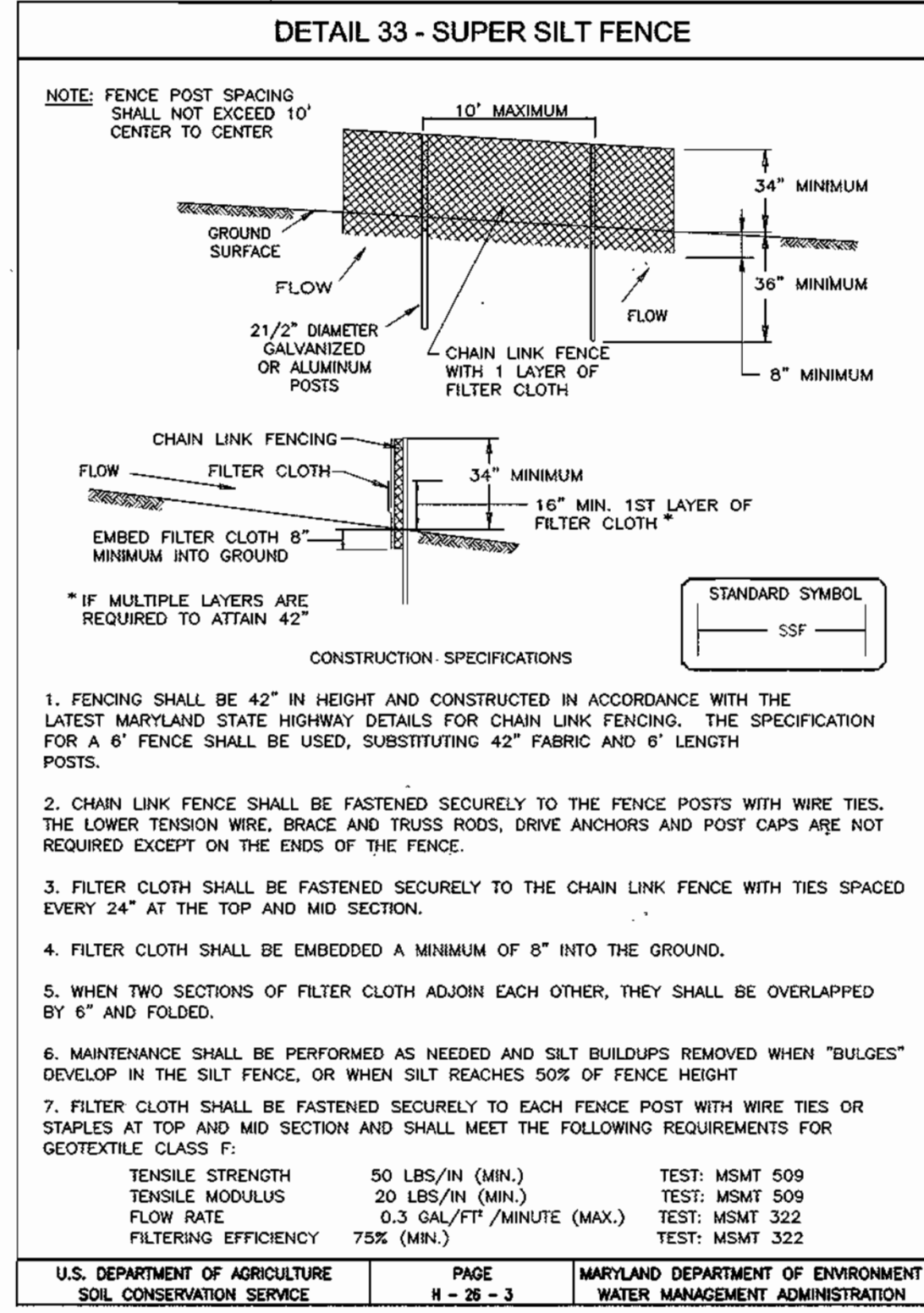
SITE DEVELOPMENT PLAN
THE WOODS OF PARK PLACE
 NEW SINGLE FAMILY DETACHED DWELLINGS
 LOTS 1-15

TAX MAP 25 BLOCKS 1 & 2 PARCEL '3'
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 REF.: PB-344 (APP. 1/24/01), S-00-10, P-02-02,
 F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
 DRAWN BY: CMH, ELW
 CHECKED BY: RHW
 DATE: JANUARY 2003
 SCALE: 1"=30'
 W.O. NO.: 2019143.0

2 SHEET OF 3



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRICULTURIST OR A SOIL SCIENTIST APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 AND 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSED.

SOIL AMENDMENTS: IN LEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED-APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL AT THE TIME OF SEEDING. APPLY 400 LBS PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ.FT.)
- ACCEPTABLE-APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND APPLY 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (14 LBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.5 LBS/1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) OF FULL SPREAD ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

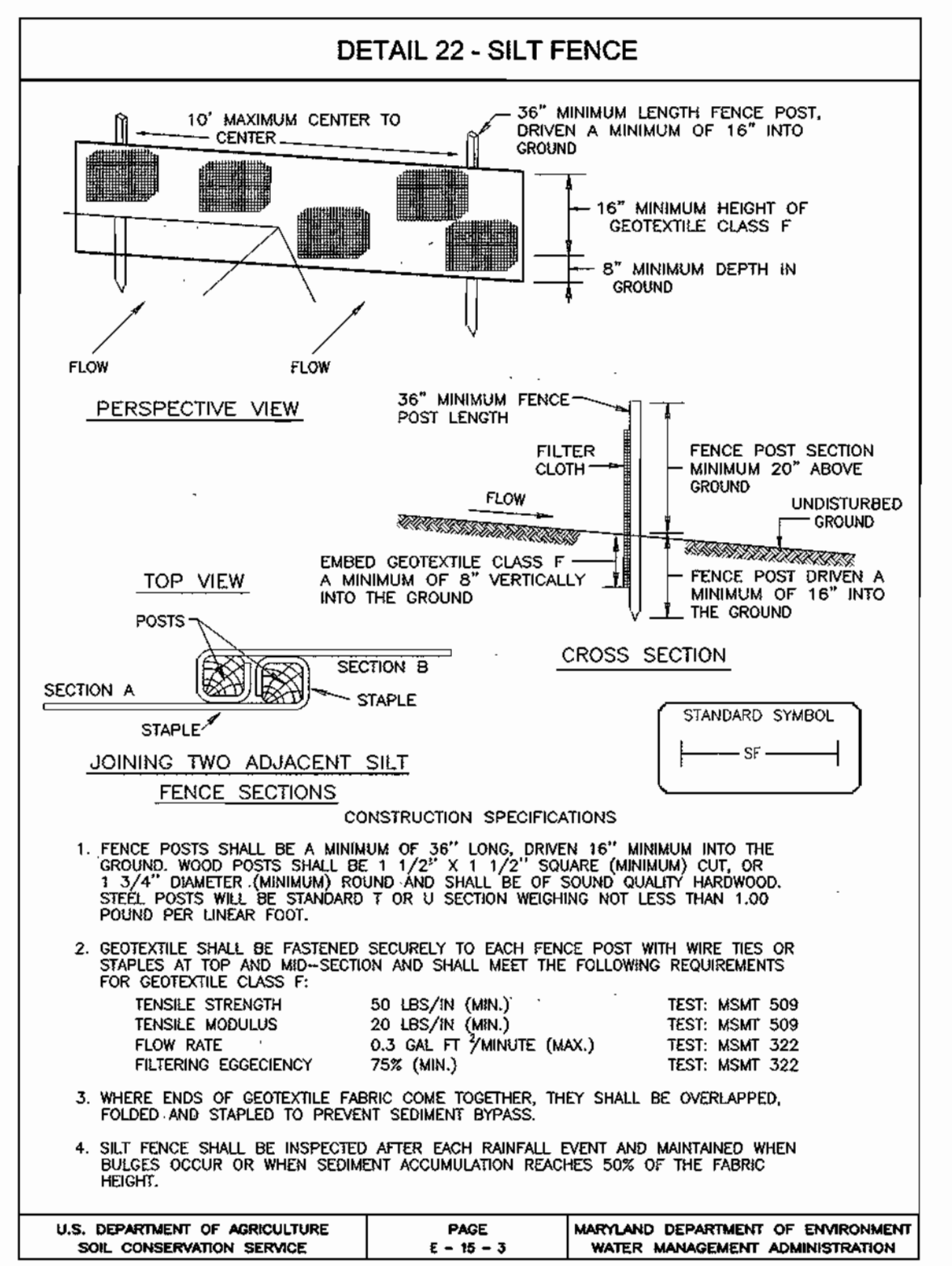
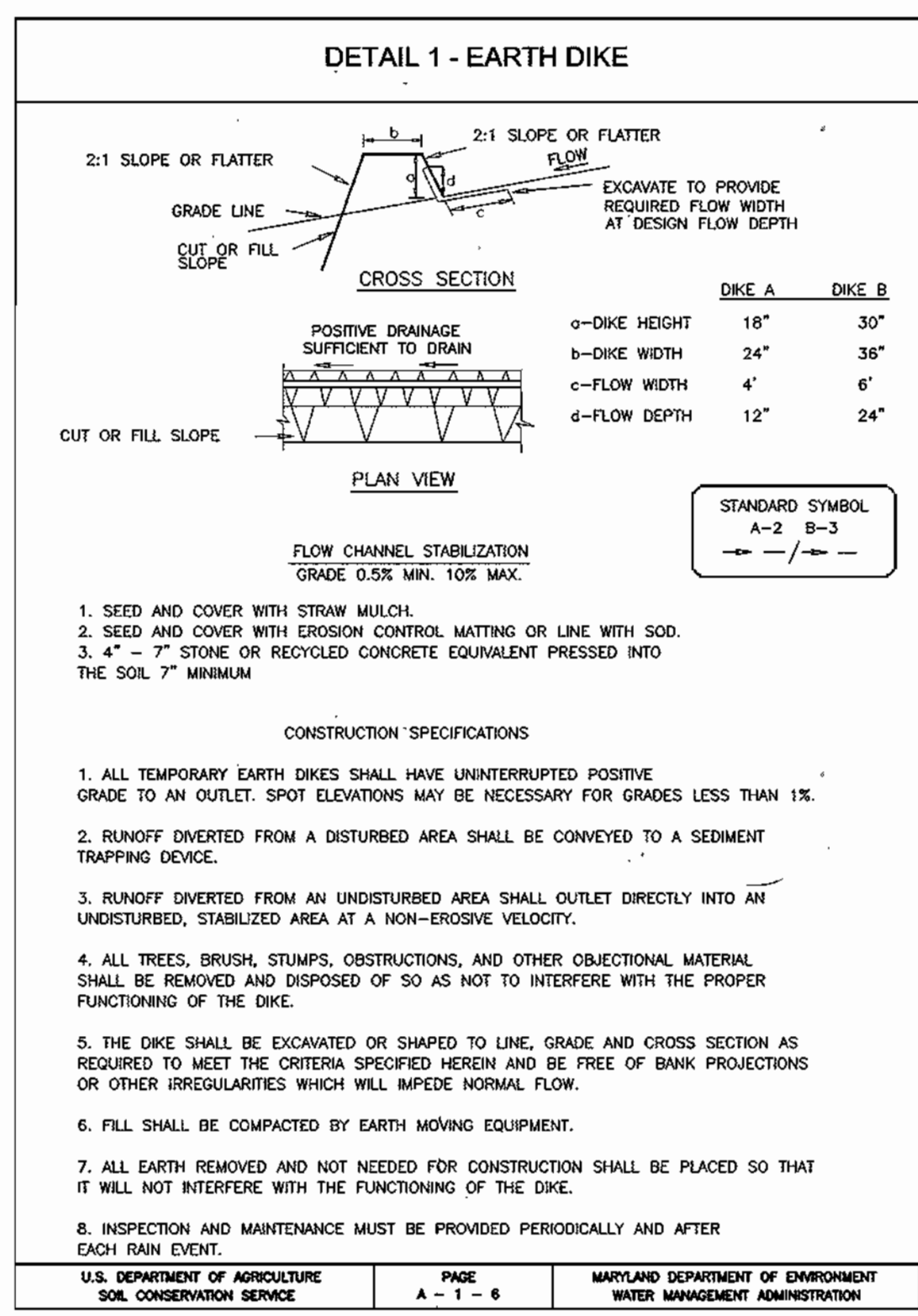
SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSED.

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 TONS PER ACRE WEEPING LOVEGRASS (0.7 LBS/1000 SQ.FT.). FOR THE PERIOD NOVEMBER 1 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) OF FULL SPREAD ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FOR RATE AND METHODS NOT COVERED.

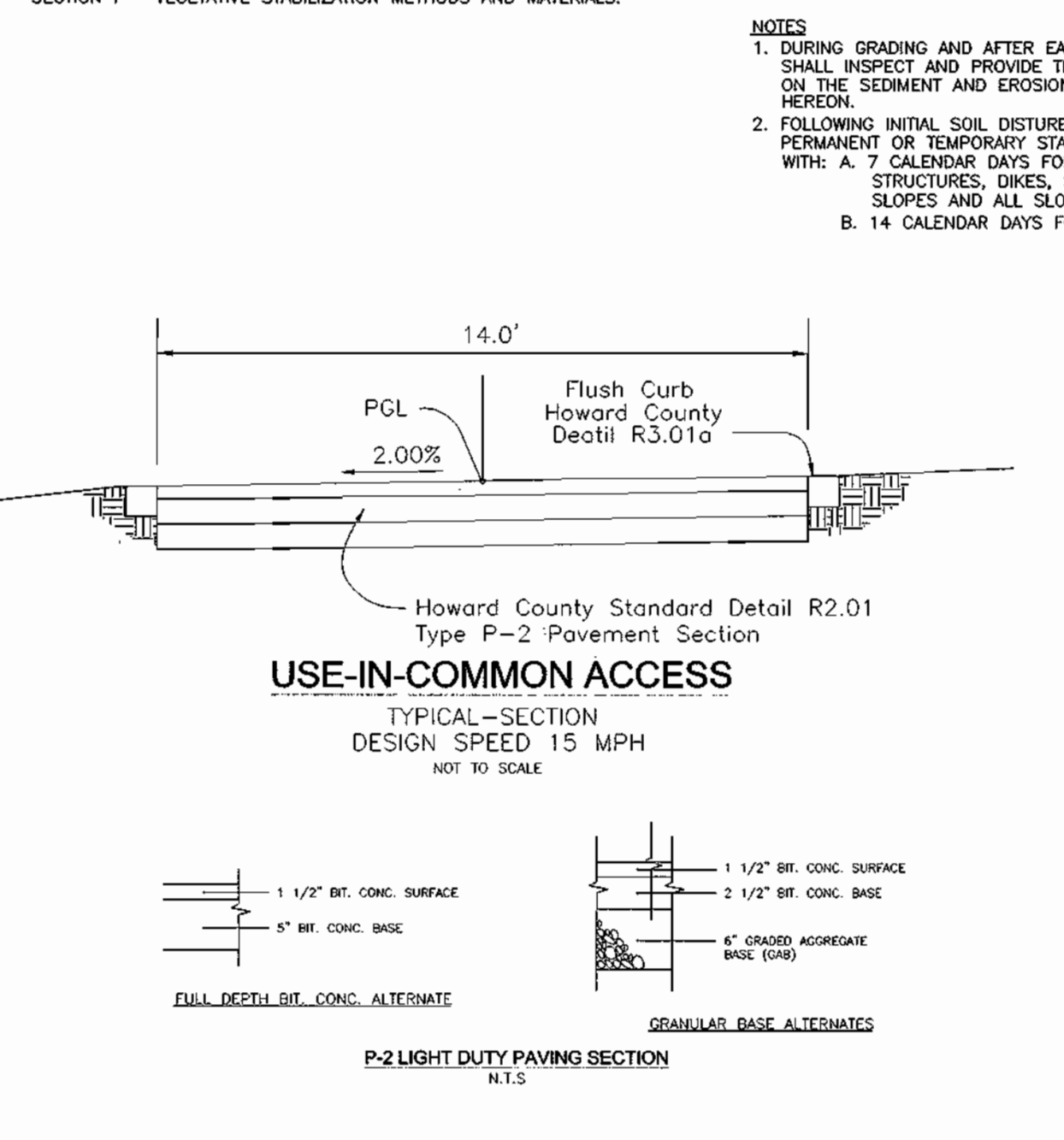


SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (31-195).
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN (4) CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA	15.21 ACRES
AREA DISTURBED	3.99 ACRES
AREA TO BE ROOFED OR PAVED	1.10 ACRES
AREA TO BE VEGETATIVELY STABILIZED	2.48 ACRES
TOTAL CUT	CY
TOTAL FILL	CY
OFFSITE WASTE/BORROW AREA LOCATION	
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

* TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT



SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO OTHER AREAS
Perimeter/Frontage Designation	1	15
Landscaping Type	B	B
Linear Feet of Roadway Frontage/Perimeter	197 LF	101 LF
Linear Feet of Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	25	101 LF
Height for Wall, Fence or Berm (Yes, No, Linear Feet Describe below if needed)	No	No
Number of Plants Required	1:50 3.44	-
Evergreen Trees + Shrubs	1:40 4.30	-
Number of Plants Provided		
Shade Trees	3	-
Evergreen Trees	4	-
Other Trees (2:1 Substitution)	-	-
Shrubs (10:1 Substitution)	-	-
Describe Plant Substitution Credits Below if needed		

* Existing Woods to Remain

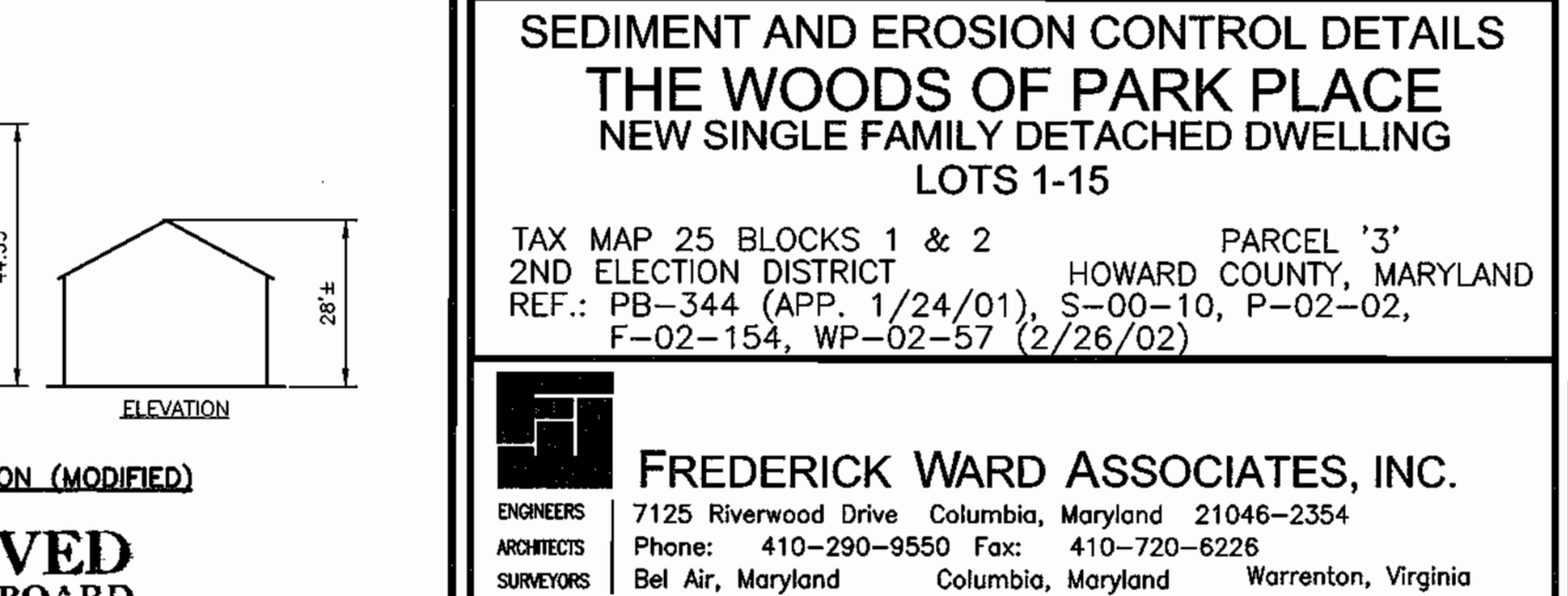
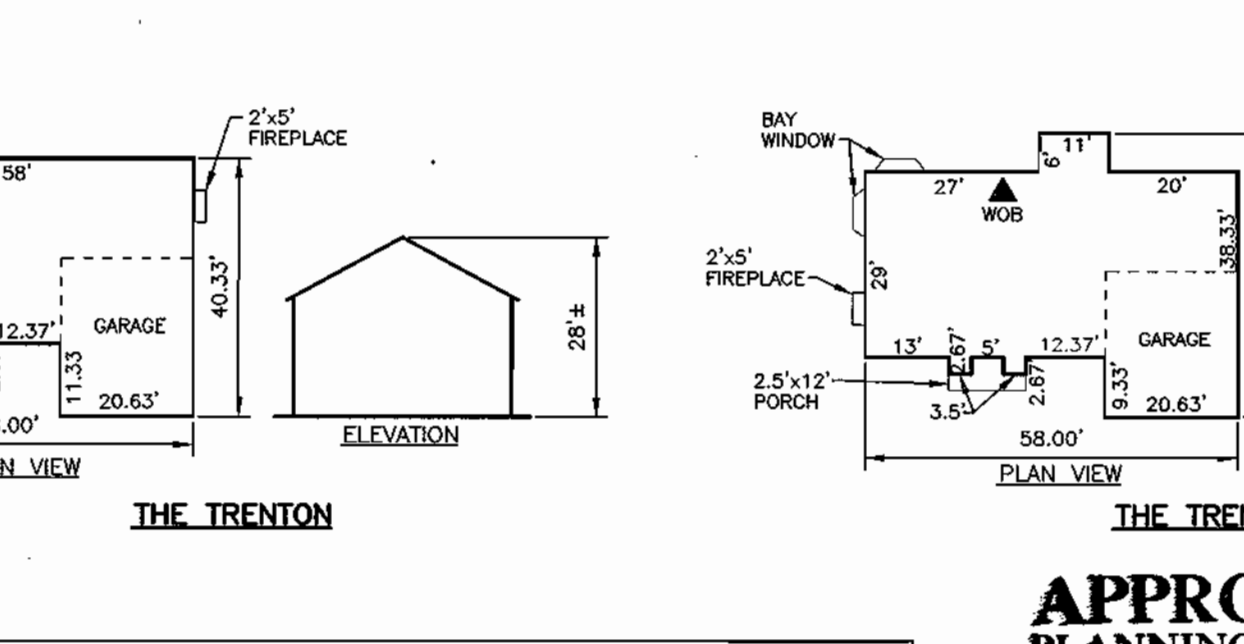
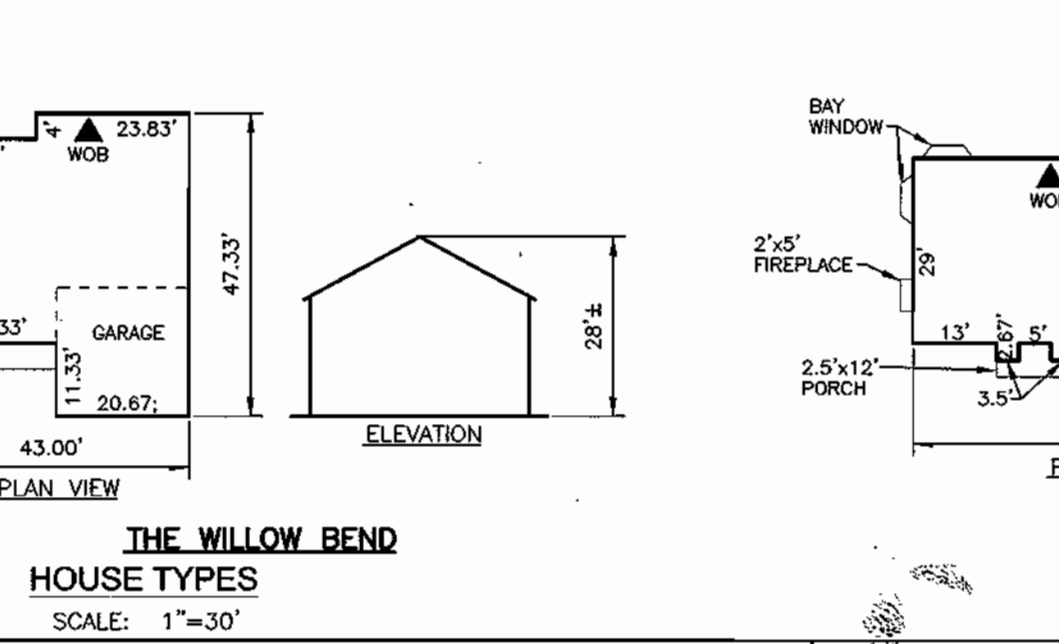
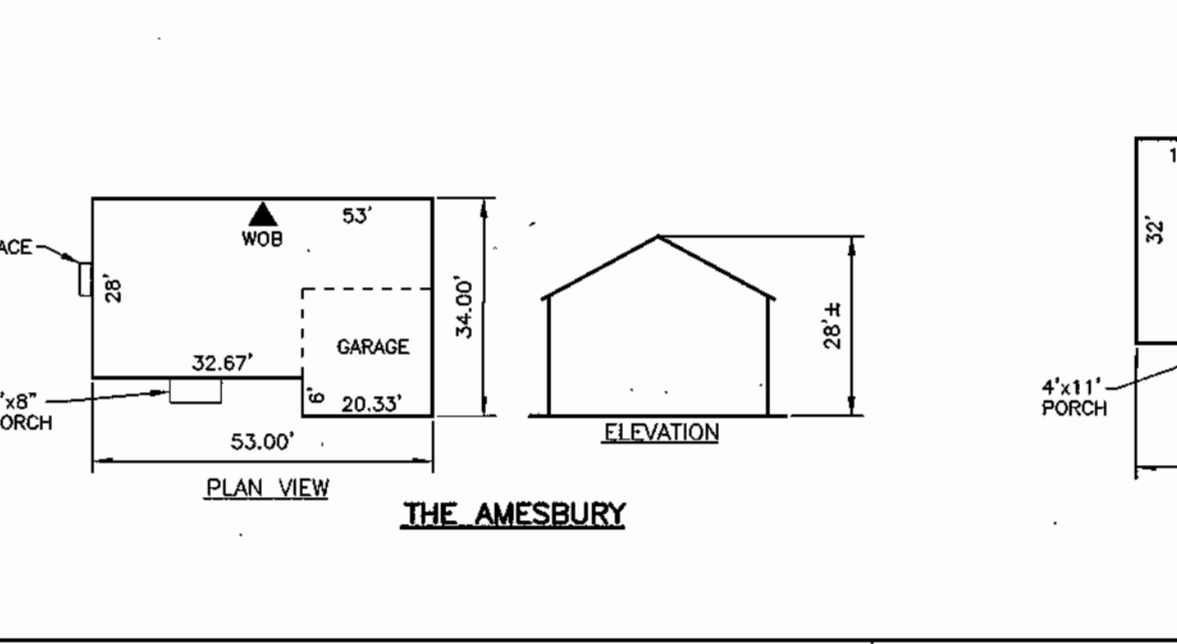
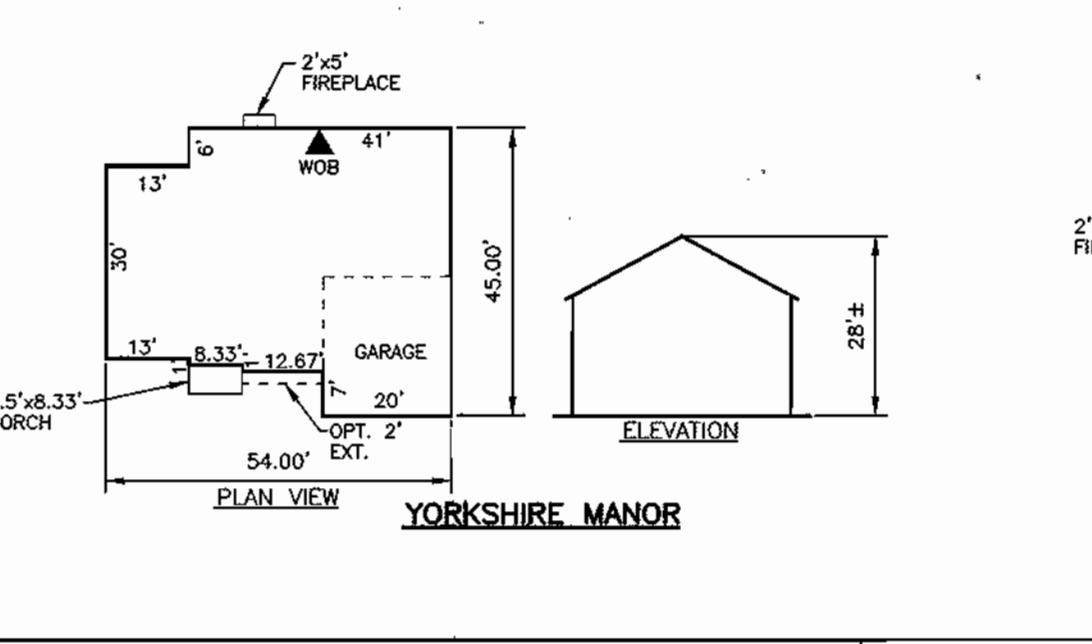
LANDSCAPE SCHEDULE

KEY	QUAN	BOTANICAL NAME	SIZE	REMARKS
PA	3	Fraxinus americana, Autumn Purple	2 1/2" - 3"	Col. B & B
PA	4	Picea canadensis, Norway Spruce	7' - 9' Ht.	B & B

1. ALL PLANT MATERIALS SHALL BE FULLY AND WELL FORMED AND SYMMETRICAL. CONFORM TO THE MOST CURRENT AM SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
 2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DOING.
 3. HOLE LOCATION OF PLANT MATERIAL MAY VARY TO WATER TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE CHANNELS.
 4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO DOING. IF PLAN OFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

GENERAL NOTES

- Financial landscape surety for the 3 shade trees and 4 evergreen trees required for the side yard of lot 1 will be provided with the builder's grading permit application and all other landscape surety will be provided with the developer's agreement under final plan, F-02-154, LOT 1 LANDSCAPE SURETY 15 \$1500.00.



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Karl Schuchman 9/9/03
 Chief, Division of Land Development Date

Cal Damann 9/16/03
 Chief, Development Engineering Division Date

Frank A. Vogel 9/16/03
 Director Date

ENGINEER'S CERTIFICATE

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Robert H. Vogel 9/11/03
 Signature of Engineer Date
 Robert H. Vogel

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Michael Pearl 08-07-03
 Signature of Developer (print name below signature) Date
 MICHAEL PEARL

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Meyer 9/14/03
 USDA-Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/14/03
 Howard SCD Date

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE MAY 1, 2003

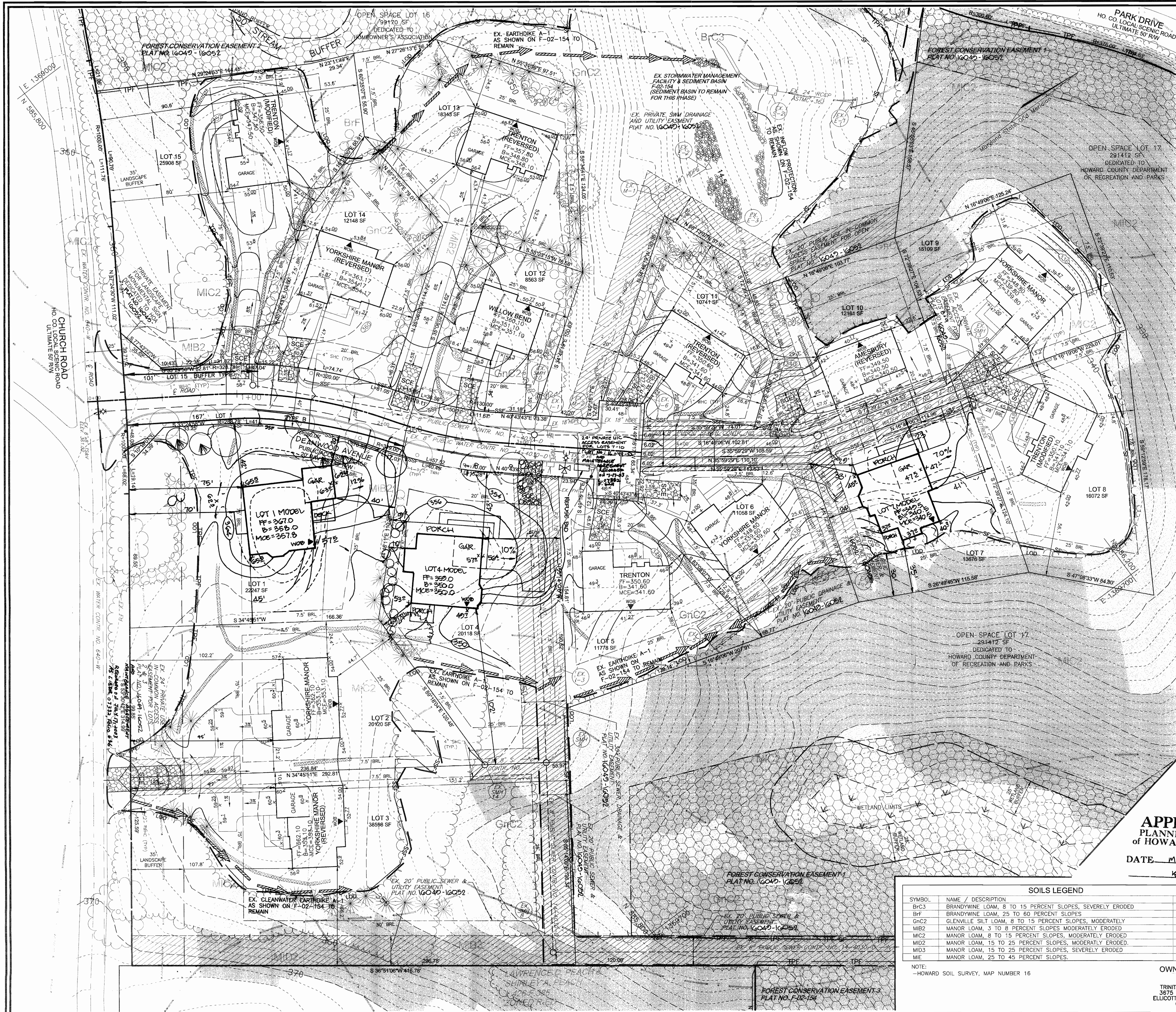
OWNER/DEVELOPER BUILDER

TRINITY QUALITY HOMES, INC.
 3875 PARK AVE., SUITE 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023

FREDERICK WARD ASSOCIATES, INC.
 7125 Riverwood Drive Columbia, Maryland 21046-2354
 Phone: 410-290-9550 Fax: 410-720-6226
 Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
 DRAWN BY: CMH, ELW
 CHECKED BY: RHW
 DATE: JANUARY 2003
 SCALE: AS SHOWN
 W.O. NO.: 2019143.0

3 SHEET OF 3



LEGEND

EXISTING CONTOUR	— 382 —	STABILIZED CONSTRUCTION ENTRANCE	SCE
PROPOSED CONTOUR	— 425.5 —	EX. STREET TREE AS PER F-02-154	(Symbol)
SPOT ELEVATION	425.5	EX. SHADE TREE AS PER F-02-154	(Symbol)
DIRECTION OF FLOW	(Arrow)	EX. EVERGREEN AS PER F-02-154	(Symbol)
EXISTING TREES TO REMAIN	(Symbol)	EX. SHRUB AS PER F-02-154	(Symbol)
LIGHT POLES	(Symbol)	EX. FCE AS PER F-02-154	(Symbol)
WALK OUT BASEMENT	(Symbol)	EX. TREE PROTECTION FENCE AS PER F-02-154	(Symbol)
SOILS LINE	(Symbol)	PROPOSED SHADE TREE	(Symbol)
MODERATE SLOPES 15-24.9%	(Symbol)	PROPOSED EVERGREEN	(Symbol)
STEEP SLOPES 25% OR GREATER	(Symbol)		
EX. SILT FENCE AS PER F-02-154	— SF — SF —		
EX. SUPER SILT FENCE AS PER F-02-154	— SSF — SSF —		
PROP. SUPER SILT FENCE AS PER F-02-154	— SSF — SSF —		
EX. LIMIT OF DISTURBANCE AS PER F-02-154	— LOD —		
PROP. EROSION CONTROL MATTING AS SHOWN ON F-02-154 TO REMAIN	(Symbol)		
EX. EROSION CONTROL MATTING AS SHOWN ON F-02-154 TO REMAIN	(Symbol)		
EX. EARTHDIKE AS SHOWN ON F-02-154 TO REMAIN	(Symbol)		

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Karl Blumhagen 9-9-03
 Chief, Division of Land Development Date

Robert H. Vogel 9/9/03
 Chief, Development Engineering Division Date

March 2. Vogel 9/9/03
 Director Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Robert H. Vogel 9/1/03
 Signature of Engineer Date

DEVELOPER'S CERTIFICATE

"We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Michael P. Paul 08-07-03
 Signature of Developer (print name below signature) Date

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Myers 9/4/03
 USA - Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/4/03
 Howard SCD Date

NO.	REVISION	DATE
1	REVISE HOUSE MODEL LOT 1 AND LOTS 1, 4 & 11 IN ACCORDANCE WITH THE LDC APPROVAL DATED 9/27/04	6.30.04

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: MAY 1, 2003

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE	K-VALUE
Brc3	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED	C	.24
Bf	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES	C	.24
Gnc2	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C	.32
Mb2	MANOR LOAM, 3 TO 8 PERCENT SLOPES MODERATELY ERODED	B	.37
Mic2	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	.37
Mid2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B	.37
Mid3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B	.37
Mie	MANOR LOAM, 25 TO 45 PERCENT SLOPES	B	.37

FREDERICK WARD ASSOCIATES, INC.

ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
 DRAWN BY: CMH, ELW
 CHECKED BY: RHW
 DATE: JANUARY 2003
 SCALE: 1"=30'
 W.O. NO.: 2019143.0

2 SHEET OF 3

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
MISS UTILITY: 1-800-257-7777
BELL ATLANTIC TELEPHONE CO.: 725-9776
HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
AT&T CABLE LOCATION DIVISION: 393-3553
B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
STATE HIGHWAY ADMINISTRATION: 531-5533
- THE SUBJECT PROPERTY IS ZONED R-ED AS PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- SITE ANALYSIS:
AREA OF SITE: 15.211 AC. (662,591 SF)
NET TRACT AREA: 7.83 AC.
AREA OF PLAN SUBMISSION: 5.892 AC. (256,656 SF)
TOTAL NUMBER OF BUILDABLE LOTS: 15
PRESENT ZONING: R-ED
100 YEAR FLOODPLAIN OUTSIDE STEEP SLOPES: 0.03 AC
25% STEEP SLOPE AREA: 7.35 ACRES
LIMIT OF DISTURBANCE: 3.59 AC.± (156,408 SF)
PROPOSED USE OF SITE: SINGLE FAMILY DWELLING
TOTAL UNITS ALLOWED: 7.83 ac. x 2 = 15 UNITS
TOTAL UNITS PROPOSED: 15
- PROJECT BACKGROUND:
LOCATION: TAX MAP: 25 PARCEL: 3 BLOCK: 1 & 2
ZONING: R-ED
THE WOODS OF PARK PLACE
DEED REFERENCE: LIBER 1313 FOLIO 336
DPZ REFERENCE: PB-344 (APP. 1/24/01), S-00-10, P-02-02, F-02-154, WP-02-57 (2/26/02)
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT OF WAY INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENT NO'S. 24FA AND 25AA.
- EXISTING TOPOGRAPHY IS BASED ON AERIAL PHOTOGRAMMETRIC PREPARED BY POTOMAC AERIAL SURVEYS, INC. WITH FIELD VERIFIED SPOT ELEVATIONS PREPARED BY VOGEL AND ASSOCIATES, DATED OCTOBER 1990 ROAD CONSTRUCTION PLAN F-02-154.
- THE BOUNDARY IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PREPARED BY VOGEL AND ASSOCIATES ON OR ABOUT OCTOBER 1999.
- ACCESS TO WATER HAS BEEN PROVIDED UNDER CONTRACT NO. 640-W. ACCESS TO SEWER HAS BEEN PROVIDED UNDER CONTRACT NO. 13-005.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENTS.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- WETLANDS AND STREAMS SHOWN ON-SITE ARE BASED ON FIELD INVESTIGATION PREPARED BY WILDMAN ENVIRONMENTAL SERVICES AND AERIAL PHOTOGRAMMETRIC, DATED FEBRUARY 2000.
- FLOODPLAIN SHOWN ON-SITE IS BASED ON PLAT NO. 10817.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENT OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
D) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
E) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
F) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
G) STRUCTURE CLEARANCES - MINIMUM 12 FEET
H) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- ALL DRIVEWAY APRONS TO BE PER HOWARD COUNTY STANDARD DETAIL NO'S R-6.05 & R-6.01 UNLESS OTHERWISE NOTED.
- THE REQUIRED LANDSCAPING PER PB-344 (APPLICANTS EXHIBIT NO. 11 1/24/01) AND THE HOWARD COUNTY LANDSCAPE MANUAL DEPICTED ON S-00-10, P-02-02 AND F-02-154 SHALL BE PROVIDED AS SHOWN. PERIMETER LANDSCAPING AND STREET TREES SHALL BE PROVIDED AS APPROVED ON THE FINAL ROAD CONSTRUCTION PLAN F-02-154. THE LANDSCAPE SURETY FOR THE 3 SHADE TREES AND 4 EVERGREEN TREES REQUIRED FOR THE SIDE YARD OF LOT 1 WILL BE PROVIDED WITH THE BUILDER'S GRADING PERMIT APPLICATION AND ALL OTHER LANDSCAPE SURETY WILL BE PROVIDED WITH THE DEVELOPER'S AGREEMENT UNDER F-02-154. LOT 1 LANDSCAPE SURETY IS \$10,000.00.
- FOREST CONSERVATION OBLIGATIONS OF 5.32 ACRES OF RETENTION (NO REQUIRED REFORESTATION) AS REQUIRED IN SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION HAVE BEEN FULFILLED BY THE ESTABLISHMENT OF A SURETY AGREEMENT AND FOREST CONSERVATION EASEMENTS AS SHOWN ON F-02-154.
- OPEN SPACE REQUIREMENTS FOR THIS SUBDIVISION HAVE BEEN PROVIDED UNDER F-02-154.
- STORM WATER MANAGEMENT (2-YR AND 10-YR) FOR THIS DEVELOPMENT HAS BEEN PROVIDED UNDER F-02-154. THE EXTENDED DETENTION FACILITY LOCATED ON OPEN SPACE LOT 16 WILL PROVIDE WATER QUALITY. THE FACILITY IS HAZARD CLASS 'A' AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
- APPO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED FEBRUARY 14, 2000 AND APPROVED JANUARY 24, 2001.
- TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO ENVIRONMENTAL AREA.
- A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
- CHURCH ROAD AND PARK DRIVE ARE SCENIC ROADS.
- FOR FLAG OR PIPE REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 26, 2002 (WP-02-57) TO WAIVE SECTION 16.134(b)(1)(i) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW A PUBLIC ROAD WITHOUT A SIDEWALK.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 7, 2002 TO WAIVE SECTION 2.3.2.B OF THE DESIGN MANUAL, VOLUME III, TO ALLOW A TEE-TURNAROUND ON A PERMANENT NON-THROUGH STREET.
- THE SUBJECT PROPERTY IS LOCATED IN THE ELLICOTT CITY HISTORIC DISTRICT.
- ALL PROPOSED STRUCTURES AND DEVELOPMENT ARE REQUIRED TO OBTAIN APPROVAL FROM THE HISTORIC DISTRICT COMMISSION (HDC) AND SITE DEVELOPMENT PLAN APPROVAL BY THE HOWARD COUNTY PLANNING BOARD PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS.
- THIS PLAN AND PROJECT ARE GRANDFATHERED TO THE FOURTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE PROPOSED ROUTE FOR THE SEWER LINE CONNECTION AND THE LOCATION FOR THE SWM FACILITY HAVE BEEN DETERMINED A NECESSARY DISTURBANCE OF THE 25% OR GREATER STEEP SLOPES BY DPZ IN ACCORDANCE WITH SECTION 16.116(c) OF THE HOWARD COUNTY ZONING REGULATIONS.
- ON JANUARY 24, 2001, THE HOWARD COUNTY PLANNING BOARD APPROVED A SKETCH PLAN FOR 15 SINGLE FAMILY DETACHED RESIDENTIAL AND 2 OPEN SPACE LOTS FOR THE SUBJECT PROPERTY IN ACCORDANCE WITH SECTION 107.E OF THE HOWARD COUNTY ZONING REGULATION.
- WATER & SEWER EASEMENT REFERENCES ARE UNDER CONTRACT NUMBER 14-4030-D FOREST CONSERVATION EASEMENTS CAN BE REFERENCED FROM PLAT F-02-154. OPEN SPACE FOR LOT 5 CAN BE REFERENCED FROM PLAT NUMBER 10817.

SITE DEVELOPMENT PLAN

THE WOODS OF PARK PLACE

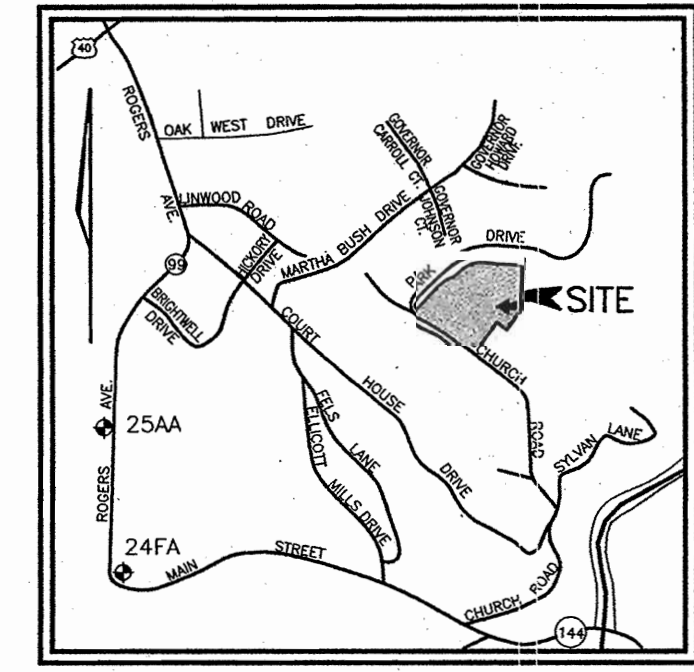
LOTS 1-15

HOWARD COUNTY, MARYLAND

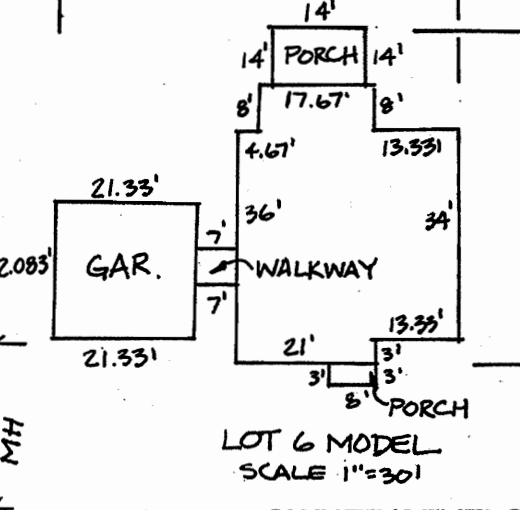
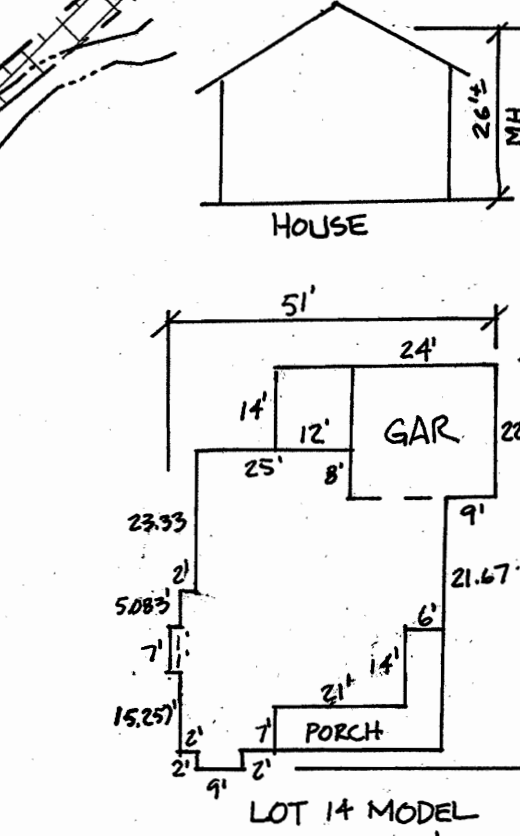
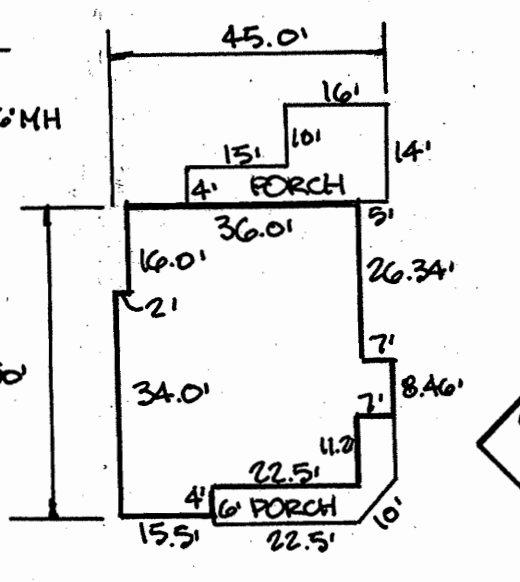
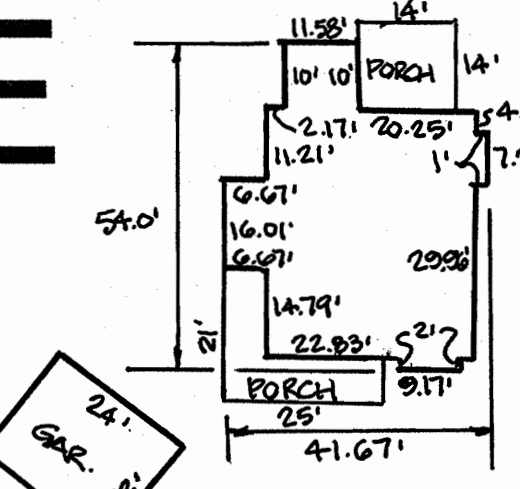
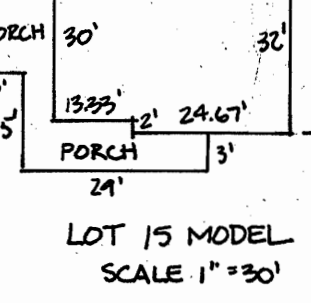
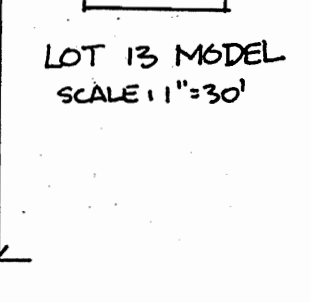
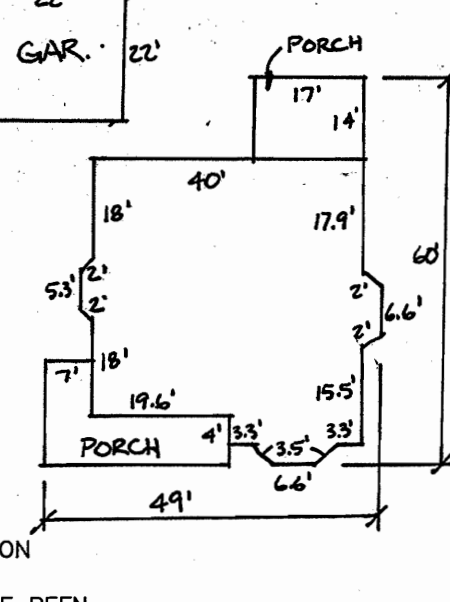
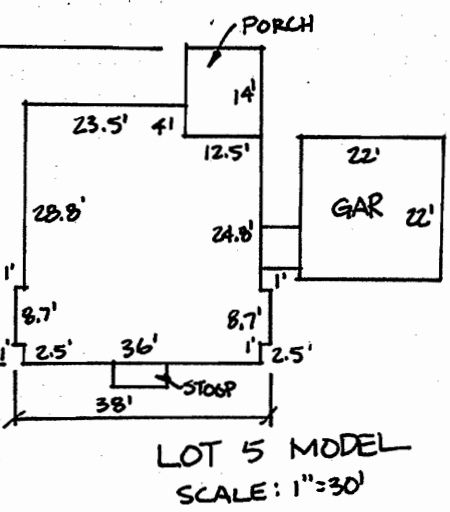
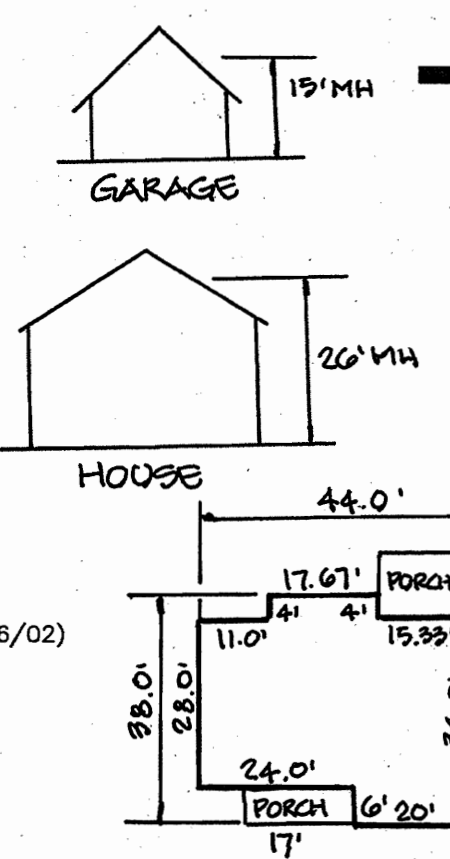
BENCHMARKS

BENCHMARK NO. 1: COUNTY CONTROL #24FA
N. 583,751.410, E. 1,366,091.943
ELEV. = 263.701'

BENCHMARK NO. 2: COUNTY CONTROL #25AA
N. 585,307.185, E. 1,366,071.024
ELEV. = 308.447'



VICINITY MAP
SCALE: 1" = 2000'



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: MAY 1, 2003

LOCATION MAP
SCALE: 1" = 100'

LOT NO	TYPE	ELEVATION @ MAN	ELEVATION @ R/W OR PUBLIC EASEMENT	M.C.E.
1	D.H.C. @ 5'	341.29	349.00	357.80
2	S.H.C.	344.67	344.91	353.10
3	S.H.C.	344.67	344.91	353.10
4	S.H.C. @ 5'	340.36	341.91	350.00
5	S.H.C.	334.48	335.05	341.60
6	S.H.C.	334.94	335.41	339.60
7	S.H.C.	335.64	336.02	340.50
8	S.H.C.	336.45	336.77	341.10
9	S.H.C.	336.45	336.77	339.80
10	S.H.C.	335.64	335.85	340.50
11	S.H.C.	334.94	335.07	341.60
12	D.H.C. @ 5'	340.41	343.50	351.10
13	S.H.C.	340.78	341.04	348.10
14	D.H.C. @ 5'	341.29	348.00	354.17
15	S.H.C.	341.08	342.05	347.50

LOT #	STREET ADDRESS	LOT #	STREET ADDRESS
1	3402 DEANWOOD AVE.	9	3429 DEANWOOD AVE.
2	3515 CHURCH ROAD	10	3425 DEANWOOD AVE.
3	3519 CHURCH ROAD	11	3421 DEANWOOD AVE.
4	3414 DEANWOOD AVE.	12	3415 DEANWOOD AVE.
5	3418 DEANWOOD AVE.	13	3411 DEANWOOD AVE.
6	3422 DEANWOOD AVE.	14	3407 DEANWOOD AVE.
7	3426 DEANWOOD AVE.	15	3403 DEANWOOD AVE.
8	3430 DEANWOOD AVE.		

PROJECT NAME	SECTION/AREA	PARCEL NUMBER
THE WOODS OF PARK PLACE	N/A	3
PLAT REF. 16049-16092	BLOCK NO. 1 & 2	ZONE R-ED
TAX MAP 25	ELECT. DIST. 2ND	CENSUS TR. 6029
WATER CODE: F-01	SEWER CODE: 1450000	

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 3
SITE DEVELOPMENT PLAN	2 OF 3
SEDIMENT AND EROSION CONTROL DETAILS	3 OF 3

NO.	REVISION	DATE
3	IN ACCORDANCE WITH HDC APPROVAL DATED 2/6/04	
1	ADD HOUSE MODELS LOTS 8, 9 & 10	12.22.04
1	REVISE HOUSE MODELS AND LOT GRADING FOR LOTS 5, 6, 12, 13, 14 & 15 IN ACCORDANCE WITH THE HDC APPROVAL DATED JULY 2004.	7.9.04

COVER SHEET
THE WOODS OF PARK PLACE
NEW SINGLE FAMILY DETACHED DWELLINGS
LOTS 1-15

TAX MAP 25 BLOCKS 1 & 2 PARCEL '3'
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
REF.: PB-344 (APP. 1/24/01), S-00-10, P-02-02,
F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.
7125 Riverwood Drive Columbia, Maryland 21046-2354
Phone: 410-290-9550 Fax: 410-720-6226
Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development
Date: 9/9/03
Date: 9/16/03
Date: 7/2/03

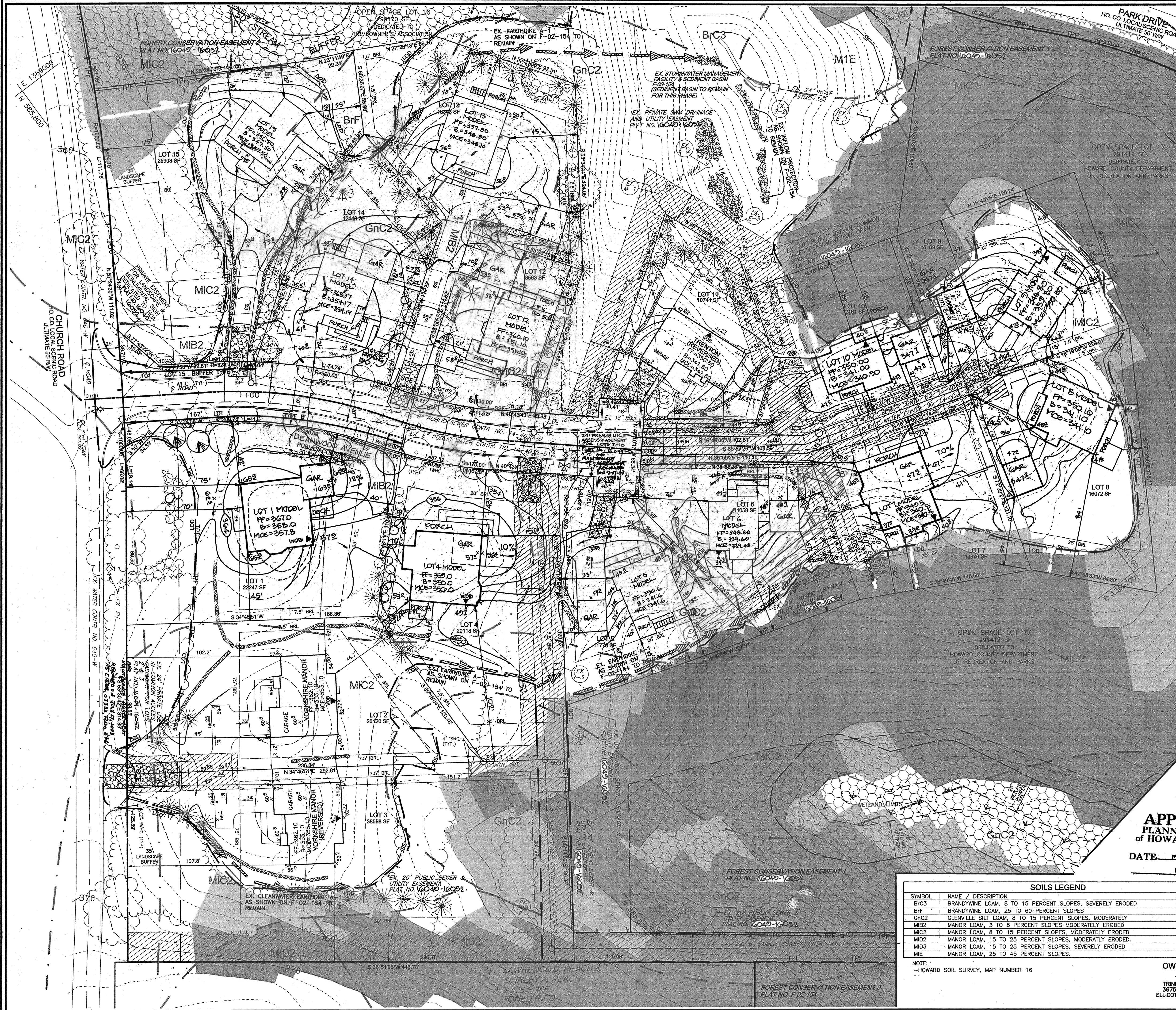
ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature of Engineer: Robert H. Vogel
Date: 8/11/03

DEVELOPER'S CERTIFICATE
I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer: MICHAEL PEARL
Date: 08-07-03

Reviewed for HOWARD SCD and meets Technical Requirements
Signature: Jim Murray
Date: 9/9/03
Signature: John R. Robertson
Date: 9/16/03

DEVELOPER'S BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
Signature: Michael Pearl
Date: 08-22-03

DESIGN BY: RHW
DRAWN BY: CMH, ELW
CHECKED BY: RHW
DATE: JANUARY 2003
SCALE: AS SHOWN
W.O. NO.: 2019143.0
1 SHEET OF 3



LEGEND

EXISTING CONTOUR	---382---	STABILIZED CONSTRUCTION ENTRANCE	[Symbol]
PROPOSED CONTOUR	---82---	EX. STREET TREE AS PER F-02-154	[Symbol]
SPOT ELEVATION	+82.53	EX. SHADE TREE AS PER F-02	[Symbol]
DIRECTION OF FLOW	→	EX. EVERGREEN AS PER F-02-154	[Symbol]
EXISTING TREES TO REMAIN	[Symbol]	EX. SHRUB AS PER F-02-154	[Symbol]
LIGHT POLES	Overhead WOB	EX. FCE AS PER F-02-154	[Symbol]
WALK OUT BASEMENT	WOB	EX. TREE PROTECTION FENCE AS PER F-02-154	[Symbol]
SOILS LINE	KcB2 NeB2	PROPOSED SHADE TREE	[Symbol]
MODERATE SLOPES 15-24.9%	[Symbol]	PROPOSED EVERGREEN	[Symbol]
STEEP SLOPES 25% OR GREATER	[Symbol]		
EX. SILT FENCE AS PER F-02-154	---SF---SF---		
EX. SUPER SILT FENCE AS PER F-02-154	---SSF---SSF---		
PROP. SUPER SILT FENCE	---SSF---SSF---		
EX. LIMIT OF DISTUR. MCE AS PER F-02-154	---LGD---		
PROP. EROSION CONTROL MATTING	[Symbol]		
EX. EROSION CONTROL MATTING AS SHOWN ON F-02-154 TO REMAIN	[Symbol]		
EX. EARTHDIKE AS SHOWN ON F-02-154 TO REMAIN	---ED-1---		

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kat Barbrook 9/9/03
 Chief, Division of Land Development Date
Robert H. Vogel 9/4/03
 Chief, Development Engineering Division Date
Mark A. Gagliardi 9/4/03
 Director Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Robert H. Vogel 9/1/03
 Signature of Engineer Date
 Robert H. Vogel

DEVELOPER'S CERTIFICATE

"We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Michael Pearl 08-07-03
 Signature of Developer (print name below signature) Date
 MICHAEL PEARL

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Meyer 9/4/03
 USA-Natural Resource Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/4/03
 Howard SCD Date

NO.	REVISION	DATE
1	IN ACCORDANCE WITH HCD APPROVAL DATED 8.6.04	12.22.04
2	REVISE HOUSE MODELS LOTS 6, 9 & 10	7.9.04
1	REVISE HOUSE MODELS LOTS 1, 4, 11, 12 & 13 IN ACCORDANCE WITH THE HCD APPROVAL DATED 8/26/02	6.30.04

**SITE DEVELOPMENT PLAN
 THE WOODS OF PARK PLACE
 NEW SINGLE FAMILY DETACHED DWELLINGS
 LOTS 1-15**

TAX MAP 25 BLOCKS 1 & 2 Parcel 3
 2ND ELECTION DISTRICT HOWARD COUNTY MARYLAND
 REF.: PB-344 (APP. 1/24/01), S-00-10, F-02-02
 F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHV
 DRAWN BY: CMH, ELW
 CHECKED BY: RHV
 DATE: JANUARY 2003
 SCALE: 1"=30'
 W.O. NO.: 2019143.0
 2 SHEET OF 3

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: MAY 1, 2003

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE	K-VALUE
BrC3	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED	C	.24
BrF	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES	C	.24
GnC2	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C	.32
MIB2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B	.37
MIC2	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	.37
MID2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B	.37
MID3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B	.37
MIE	MANOR LOAM, 25 TO 45 PERCENT SLOPES	B	.37

NOTE:
 -HOWARD SOIL SURVEY, MAP NUMBER 16

**OWNER/DEVELOPER
 BUILDER**
 TRINITY QUALITY HOMES INC
 3875 PARK AVE., SUITE 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023



LEGEND

EXISTING CONTOUR	— 382	STABILIZED CONSTRUCTION ENTRANCE	[Symbol]
PROPOSED CONTOUR	— 482.53	EX. STREET TREE AS PER F-02-154	[Symbol]
SPOT ELEVATION	182.53	EX. SHADE TREE AS PER F-02	[Symbol]
DIRECTION OF FLOW	→	EX. EVERGREEN AS PER F-02-154	[Symbol]
EXISTING TREES TO REMAIN	[Symbol]	EX. SHRUB AS PER F-02-154	[Symbol]
LIGHT POLES	[Symbol]	EX. FCE AS PER F-02-154	[Symbol]
WALK OUT BASEMENT	[Symbol]	EX. TREE PROTECTION FENCE AS PER F-02-154	[Symbol]
SOILS LINE	[Symbol]	PROPOSED SHADE TREE	[Symbol]
MODERATE SLOPES 15-24.9%	[Symbol]	EX. EARTHDIKE AS SHOWN ON F-02-154 TO REMAIN	[Symbol]
STEEP SLOPES 25% OR GREATER	[Symbol]	PROPOSED EVERGREEN	[Symbol]
EX. SILT FENCE AS PER F-02-154	[Symbol]		
EX. SUPER SILT FENCE AS PER F-02-154	[Symbol]		
PROP. SUPER SILT FENCE AS PER F-02-154	[Symbol]		
EX. LIMIT OF DISTUR. AS PER F-02-154	[Symbol]		
PROP. EROSION CONTROL MATTING AS SHOWN ON F-02-154 TO REMAIN	[Symbol]		

5 ADD DECK & CHANGE GARAGE SIZE ON LOT B 5-12-05

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Karl Blawie / *John C. H.* 9-9-03
 Chief, Division of Land Development Date

John C. H. 9/9/03
 Chief, Department Engineering Division Date

March 2. G. G. L. 9/9/03
 Director Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Robert H. Vogel 9/1/03
 Signature of Engineer Date

DEVELOPER'S CERTIFICATE

"We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Michael P. Paul 08-07-03
 Signature of Developer (print name below signature) Date

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Myers 9/4/03
 USDA-Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/4/03
 Howard SCD Date

1	IN ACCORDANCE WITH HDC APPROVAL DATED 10-13-04	10-11-04
2	REVISE HOUSE MODELS & GRADING LOTS 2, 3 & 11	
3	IN ACCORDANCE WITH HDC APPROVAL DATED 8.6.04	
4	REVISE HOUSE MODEL LOTS 8, 9 & 10	12.22.04
5	REVISE HOUSE MODELS LOTS 6, 14, 15, 5, 13 & 12	7.9.04
6	REVISE HOUSE MODELS & LOT GRADING LOTS 1, 4 & 11 IN ACCORDANCE WITH THE HDC APPROVAL DATED 2/27/04	6.30.04
NO.	REVISION	DATE

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY

DATE MAY 1, 2003

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE	K-VALUE
Brc3	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED	C	.24
Brc	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES	C	.24
Gnc2	GLENVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C	.32
MIB2	MANOR LOAM, 3 TO 8 PERCENT SLOPES MODERATELY ERODED	B	.37
MIC2	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	.37
MID2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B	.37
MIB3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B	.37
MIE	MANOR LOAM, 25 TO 45 PERCENT SLOPES	B	.37

NOTE: —HOWARD SOIL SURVEY, MAP NUMBER 16

OWNER/DEVELOPER BUILDER

TRINITY QUALITY HOMES INC
 3875 PARK AVE., SUITE 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023

SITE DEVELOPMENT PLAN
THE WOODS OF PARK PLACE
 NEW SINGLE FAMILY DETACHED DWELLINGS
 LOTS 1-15

TAX MAP 25 BLOCKS 1 & 2 PARCEL 3
 2ND ELECTION DISTRICT HOWARD COUNTY MARYLAND
 REF.: PB-344 (APP. 1/24/01), S-00-10, P-02-02
 F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.

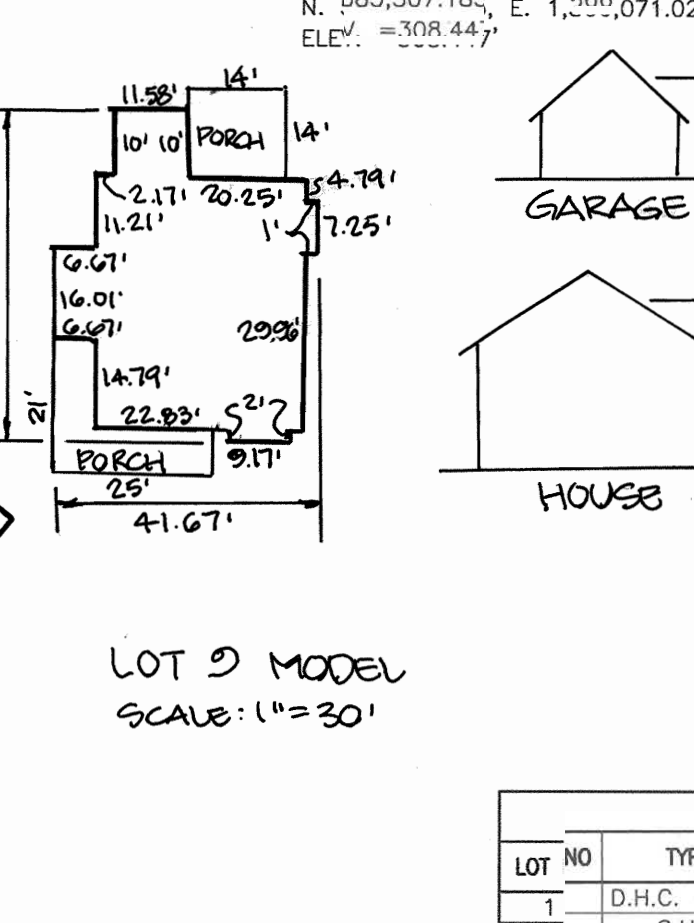
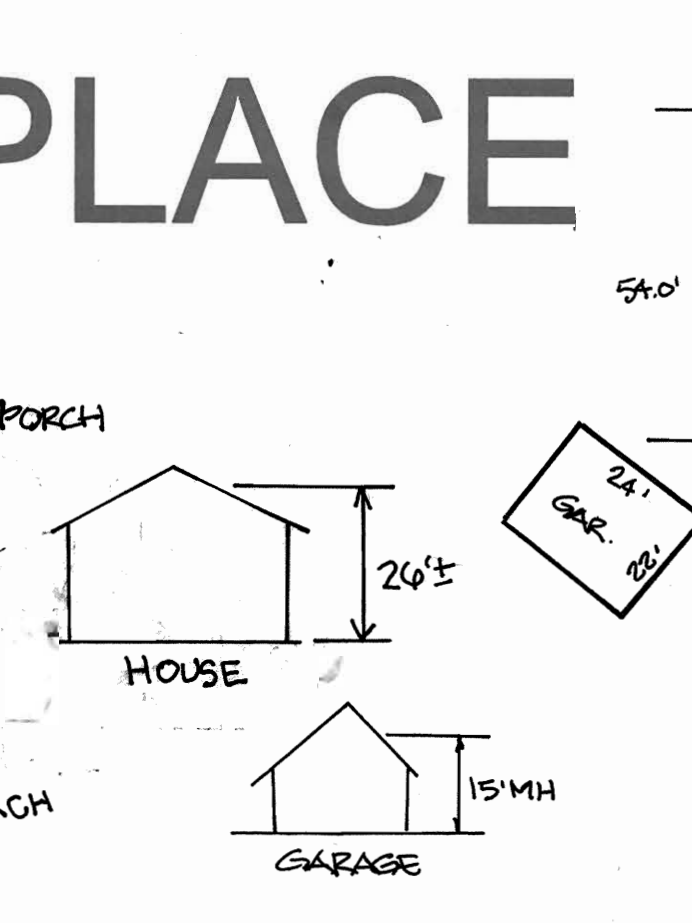
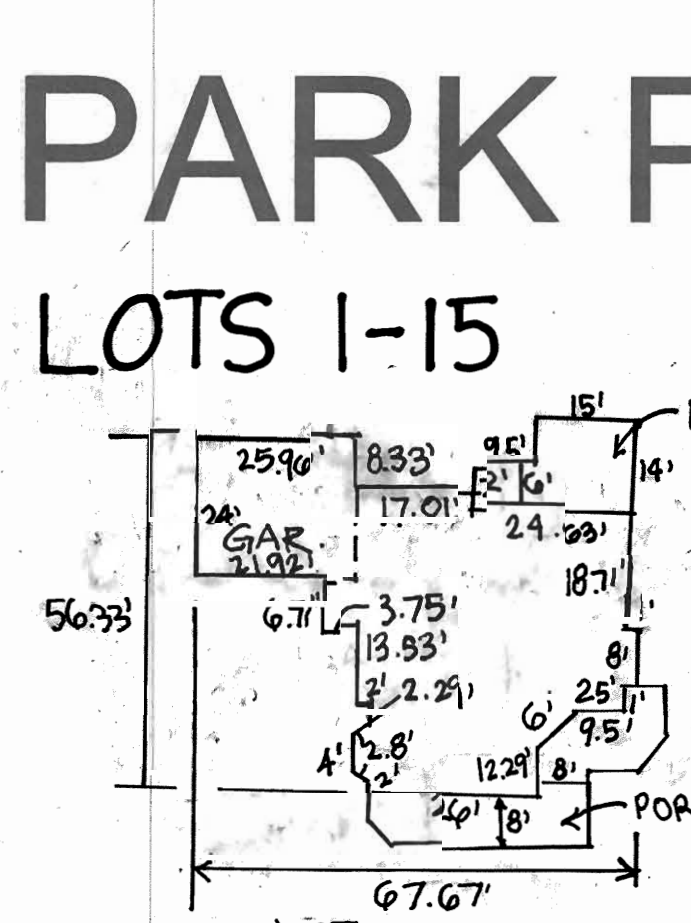
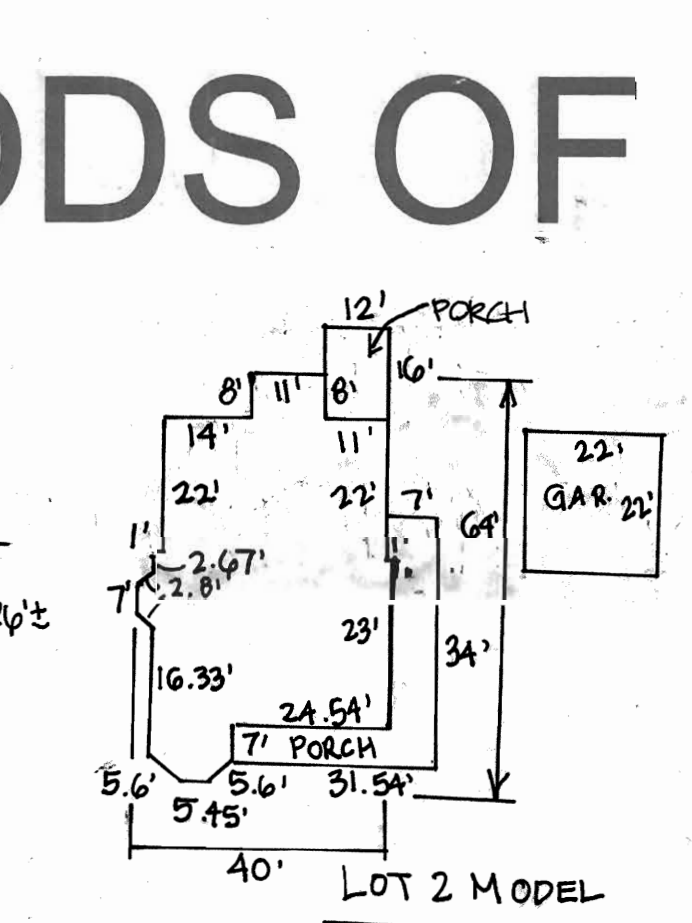
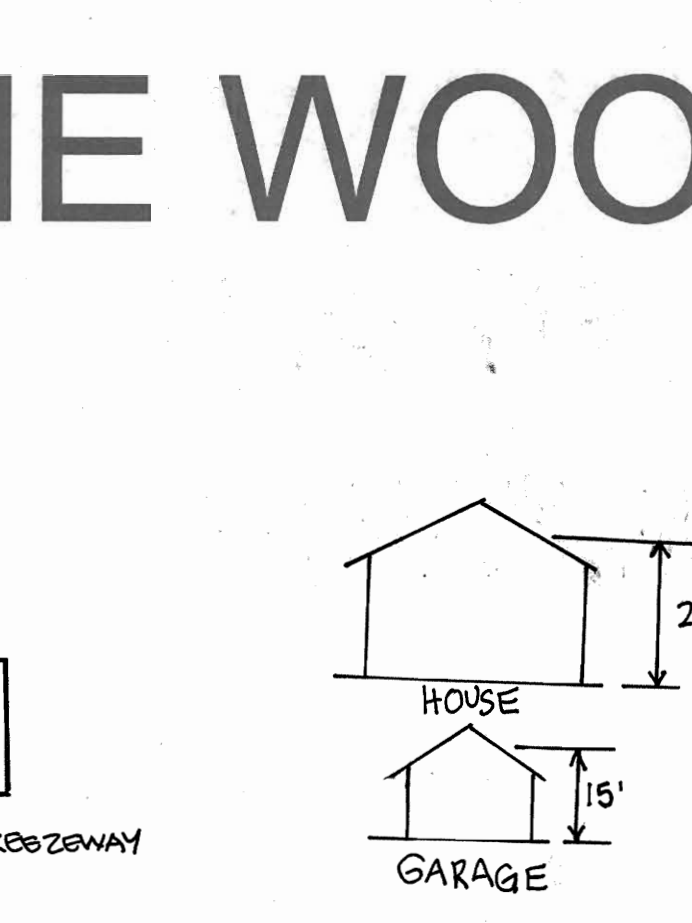
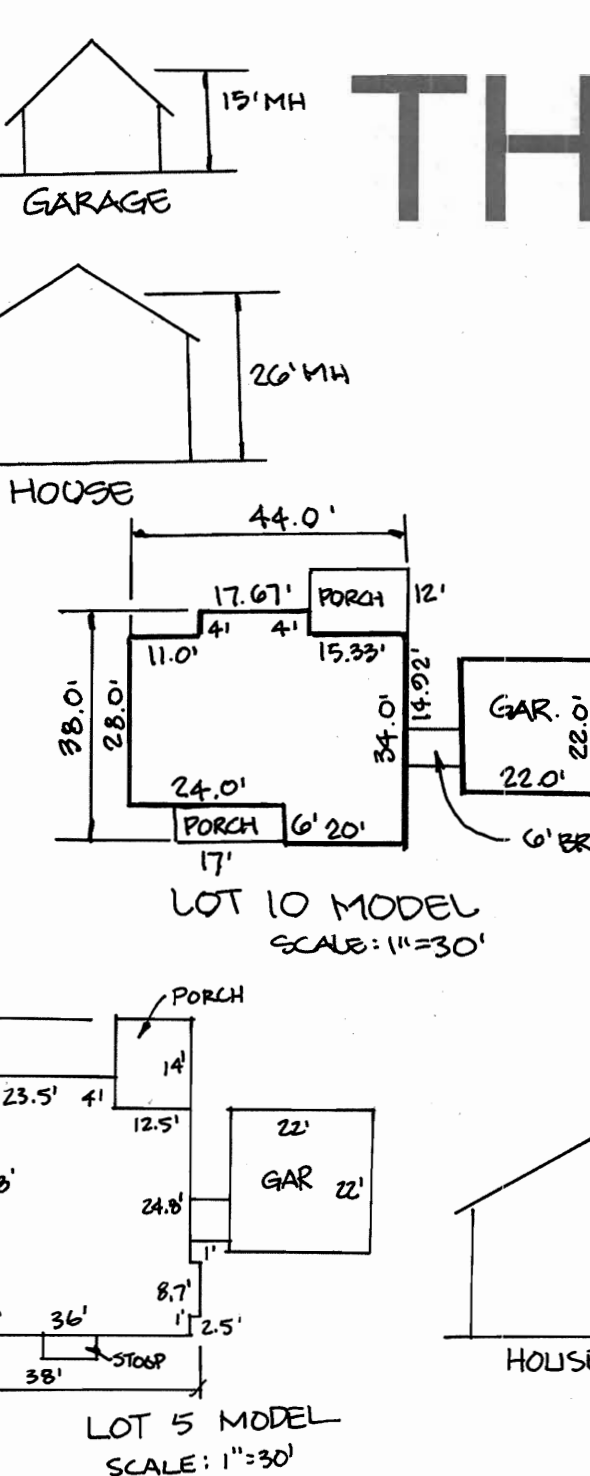
ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21286
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Washington, Virginia

DESIGN BY: RHV
 DRAWN BY: CMH, ELW
 CHECKED BY: RHV
 DATE: JANUARY 2003
 SCALE: 1"=30'
 W.O. NO.: 2019143.0

2 SHEET OF 3

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - MISS UTILITY: 1-800-257-7777
 - BELL ATLANTIC TELEPHONE CO.: 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES: 313-2286
 - AT&T CABLE LOCATION DIVISION: 393-3553
 - B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
 - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-6220
 - STATE HIGHWAY ADMINISTRATION: 331-5523
- THE SUBJECT PROPERTY IS ZONED R-ED AS PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- SITE ANALYSIS:
 - AREA OF SITE: 15,211 AC. (682,591 SF)
 - NET TRACT AREA: 7.83 AC
 - AREA OF PLAN SUBMISSION: 5,892 AC. (256,656 SF)
 - TOTAL NUMBER OF BUILDABLE LOTS: 15
 - PRESSENT ZONING: R-ED
 - 100 YEAR FLOODPLAIN OUTSIDE STEEP SLOPES: 0.03 AC
 - 25% STEEP SLOPE AREA: 7.35 ACRES
 - LIMIT OF DISTURBANCE: 3.59 AC. (156,408 SF)
 - PROPOSED USE OF SITE: SINGLE FAMILY DWELLING
 - TOTAL UNITS ALLOWED: 7.83 ac. x 2 = 15 UNITS
 - TOTAL UNITS PROPOSED: 15
- PROJECT BACKGROUND:
 - LOCATION: TAX MAP: 25 PARCEL: 3 BLOCK: 1 & 2
 - ZONING: R-ED
 - THE WOODS OF PARK PLACE
 - DEED REFERENCE: LIBER 1313 FOLIO 336
 - DPZ REFERENCE: PB-344 (APP. 1/24/01), S-00-10, P-02-02, F-02-154, WP-02-57 (2/26/02)
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT OF WAY INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENT NO'S. 24FA AND 25AA.
- EXISTING TOPOGRAPHY IS BASED ON AERIAL PHOTOGRAMMETRIC PREPARED BY P.O.J.M.M. AERIAL SURVEYS, INC. WITH FINISHED ELEVATIONS PREPARED BY VOGEL AND ASSOCIATES DATED OCTOBER 1999, AND FINAL ROAD CONSTRUCTION PLAN F-02-154.
- THE BOUNDARY IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PREPARED BY VOGEL AND ASSOCIATES ON OR ABOUT OCTOBER 1999.
- ACCESS TO WATER HAS BEEN PROVIDED UNDER CONTRACT NO. 640-W. ACCESS TO SEWER HAS BEEN PROVIDED UNDER CONTRACT NO. 10-1305.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENTS.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- WETLANDS AND STREAMS SHOWN ON-SITE ARE BASED ON FIELD INVESTIGATION PREPARED BY WILDMAN ENVIRONMENTAL SERVICES AND AERIAL PHOTOGRAMMETRIC, DATED FEBRUARY 2000.
- FLOODPLAIN SHOWN ON-SITE IS BASED ON PLAT NO. 10817.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENT OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
 - B) SURFACE - 8 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
 - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
 - D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- ALL DRIVEWAY APPROXS TO BE PER HOWARD COUNTY STANDARD DETAIL NO'S R-6.05 & R-6.01 UNLESS OTHERWISE NOTED.
- THE REQUIRED LANDSCAPING PER PB-344 (APPLICANTS EXHIBIT NO. 11/24/01) AND THE HOWARD COUNTY LANDSCAPE MANUAL DEPICTED ON S-00-10, P-02-02 AND F-02-154 SHALL BE PROVIDED AS SHOWN. PEETER LANDSCAPING AND STREET TREES SHALL BE PROVIDED AS APPROVED ON THE FINAL ROAD CONSTRUCTION PLAN F-02-154. THE LANDSCAPE SURETY FOR THE 3 SHADE TREES AND 4 EVERGREEN TREES REQUIRED FOR THE SIDE YARD OF LOT 1 WILL BE PROVIDED WITH THE BUILDER'S GRADING PERMIT APPLICATION AND ALL OTHER LANDSCAPE SURETY WILL BE PROVIDED WITH THE DEVELOPER'S AGREEMENT UNDER F-02-154. LOT 1 LANDSCAPE SURETY IS 15000.00.
- FOREST CONSERVATION OBLIGATIONS OF 5.32 ACRES OF RETENTION (NO REQUIRED REFORESTATION) AS REQUIRED IN SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION HAVE BEEN FULFILLED BY THE ESTABLISHMENT OF A SURETY AGREEMENT AND FOREST CONSERVATION EASEMENTS AS SHOWN ON F-02-154.
- OPEN SPACE REQUIREMENTS FOR THIS SUBDIVISION HAVE BEEN PROVIDED UNDER F-02-154.
- STORM WATER MANAGEMENT (2-YR AND 10-YR) FOR THIS DEVELOPMENT HAS BEEN PROVIDED UNDER F-02-154. THE EXTENDED DETENTION FACILITY LOCATED ON OPEN SPACE LOT 16 WILL PROVIDE WATER QUALITY. THE FACILITY IS HAZARD CLASS 'A' AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
- APPO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED FEBRUARY 14, 2000 AND APPROVED JANUARY 24, 2001.
- TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO ENVIRONMENTAL AREA.
- A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
- CHURCH ROAD AND PARK DRIVE ARE SCENIC ROADS.
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 26, 2002 (WP-02-57) TO WAIVE SECTION 16.134(b)(1)(i) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW A PUBLIC ROAD WITHOUT A SIDEWALK.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 7, 2002 TO WAIVE SECTION 2.3.2.B OF THE DESIGN MANUAL, VOLUME III, TO ALLOW A TE-TURNAROUND ON A PERMANENT NON-THROUGH STREET.
- THE SUBJECT PROPERTY IS LOCATED IN THE ELLICOTT CITY HISTORIC DISTRICT.
- ALL PROPOSED STRUCTURES AND DEVELOPMENT ARE REQUIRED TO OBTAIN APPROVAL FROM THE HISTORIC DISTRICT COMMISSION (HDC) AND SITE DEVELOPMENT PLAN APPROVAL BY THE HOWARD COUNTY PLANNING BOARD PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS.
- THIS PLAN AND PROJECT ARE GRANDFATHERED TO THE FOURTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE PROPOSED ROUTE FOR THE SEWER LINE CONNECTION AND THE LOCATION FOR THE SWM FACILITY HAVE BEEN DETERMINED A NECESSARY DISTURBANCE OF THE 25% OR GREATER SLOPES BY UPZ IN ACCORDANCE WITH SECTION 16.116(c) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ON JANUARY 24, 2001, THE HOWARD COUNTY PLANNING BOARD APPROVED A SKETCH PLAN FOR 15 SINGLE FAMILY DETACHED RESIDENTIAL AND 2 OPEN SPACE LOTS FOR THE SUBJECT PROPERTY IN ACCORDANCE WITH SECTION 107.E OF THE HOWARD COUNTY ZONING REGULATION.
- WATER & SEWER EASEMENT REFERENCES ARE UNDER CONTRACT NUMBER 14-4030-D
- FOREST CONSERVATION EASEMENTS CAN BE REFERENCED FROM PLAT F-02-154.
- OPEN SPACE LOT 5 CAN BE REFERENCED FROM PLAT NUMBER 10817.



APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: MAY 1, 2003

LOT 10 MODEL
SCALE: 1"=30'

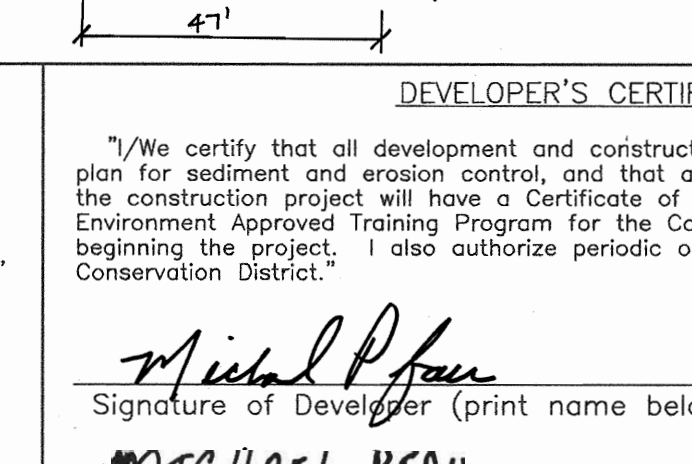
LOT 2 MODEL
SCALE: 1"=30'

LOT 3 MODEL
SCALE: 1"=30'

LOT 8 MODEL
SCALE: 1"=30'

LOT 1 MODEL
SCALE: 1"=30'

LOT 15 MODEL
SCALE: 1"=30'

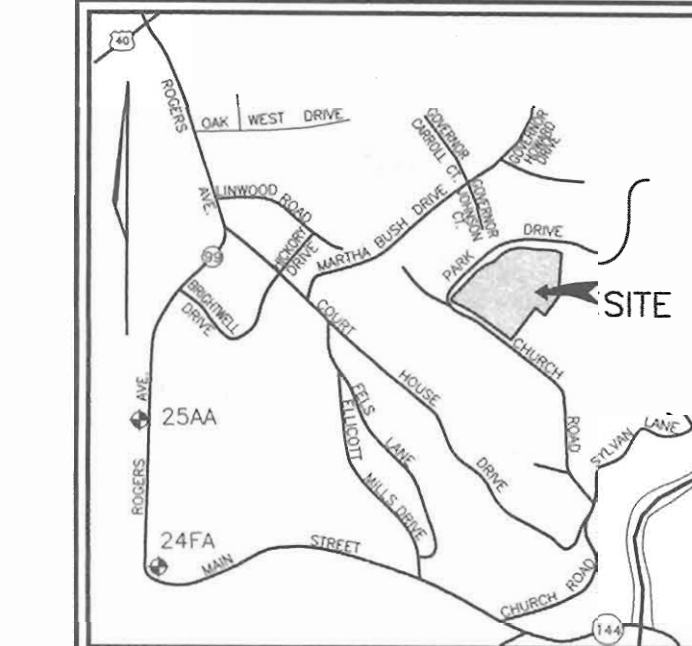


LOCATION MAP
SCALE: 1" = 100'

SITE DEVELOPMENT PLAN THE WOODS OF PARK PLACE

LOTS 1-15

BENCHMARKS
BENCHMARK NO. 1: COUNTY CONTROL #24FA
N. 583,751.410, E. 1,366,051.943
ELEV. = 263.701'
BENCHMARK NO. 2: COUNTY CONTROL #25AA
N. 685,307.185, E. 1,366,071.024
ELEV. = 263.447'



VICINITY MAP
SCALE: 1" = 2000'

SEWER CONNECTION TABULATION

LOT NO	TYPE	ELEVATION @ MAIN	ELEVATION @ R/W OR PUBLIC EASEMENT	M.G.E.
1	D.H.C. @ 5%	341.29	349.00	357.80
2	S.H.C.	344.67	344.91	353.10
3	S.H.S.	344.67	344.91	353.10
4	S.H.C. @ 5%	340.36	341.91	350.00
5	S.H.C.	334.54	335.05	341.60
6	S.H.C.	335.64	336.02	340.50
7	S.H.C.	336.45	336.87	341.10
8	S.H.C.	336.32	336.77	340.90
9	S.H.C.	335.64	335.85	340.50
10	S.H.C.	334.94	335.07	341.60
11	D.H.C. @ 5%	340.41	343.50	351.10
12	S.H.C.	340.78	341.00	348.10
13	S.H.C. @ 5%	341.29	346.04	354.10
14	D.H.C. @ 5%	341.00	342.05	347.10
15	S.H.C.	341.00	342.05	347.10

ADDRESS CHART

LOT #	STREET ADDRESS	LOT #	STREET ADDRESS
1	3402 DEANWOOD AVE.	9	3429 DEANWOOD AVE.
2	3515 CHURCH ROAD	10	3425 DEANWOOD AVE.
3	3519 CHURCH ROAD	11	3421 DEANWOOD AVE.
4	3414 DEANWOOD AVE.	12	3415 DEANWOOD AVE.
5	3410 DEANWOOD AVE.	13	3411 DEANWOOD AVE.
6	3422 DEANWOOD AVE.	14	3407 DEANWOOD AVE.
7	3426 DEANWOOD AVE.	15	3403 DEANWOOD AVE.
8	3430 DEANWOOD AVE.		

PERMIT INFORMATION CHART

PROJECT NAME	SECTION/AREA	PARCEL NUMBER
THE WOODS OF PARK PLACE	N/A	3 LOTS
PLAT REF.	BLOCK NO.	ZONE
F-02-154	1 & 2	R-ED
WATER CODE:	ELECT. DIS.	CENSUS TR.
F-01	2ND	6029
	SEWER CODE:	1450000

SHEET INDEX

NO.	DESCRIPTION	SHEET NO.
COVER SHEET		1 OF 3
SITE DEVELOPMENT PLAN		2 OF 3
SEEDMENT AND EROSION CONTROL - DETAILS		3 OF 3

REVISIONS

NO.	REVISION	DATE
5	ADD DECK & CHANGE GARAGE SIZE ON LOT 10	5-12-03
4	IN ACCORDANCE WITH HDC APPROVAL DATED 10-13-04 REVISE HOUSE MODELS LOTS 2, 3 & 11	10-11-04
3	IN ACCORDANCE WITH HDC APPROVAL DATED 8/6/04 ADD HOUSE MODELS LOTS 8, 9 & 10	8-22-04
1	REVISE HOUSE MODELS AND LOT GRADING FOR LOTS 5, 6, 12, 13, 14 & 15 IN ACCORDANCE WITH THE HDC APPROVAL DATED 4/1/04	7-6-04

COVER SHEET
THE WOODS OF PARK PLACE
NEW SINGLE FAMILY DETACHED DWELLINGS
LOTS 1-15
TAX MAP 25 BLOCKS 1 & 2 PARCEL '3'
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
REF.: PB-344 (APP. 1/24/01), S-00-10, P-02-02,
F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.
ENGINEERS: 7125 Riverwood Drive Columbia, Maryland 21046-2354
ARCHITECTS: Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS: Bel Air, Maryland Columbia, Maryland warrenton, virginia

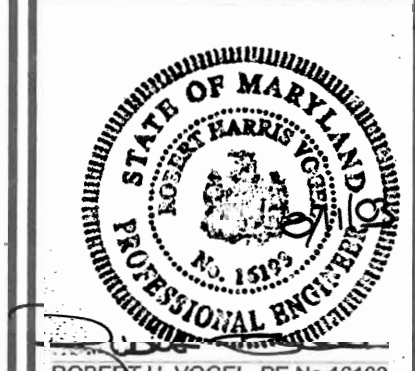
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Kathleen L. Pugh 9/9/03
Chief, Division of Land Development Date
Robert H. Vojech 9/9/03
Chief, Development Engineering Division Date
Dorinda A. Taylor 9/9/03
Director Date

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Robert H. Vojech 8/11/03
Signature of Engineer Date
Robert H. Vojech

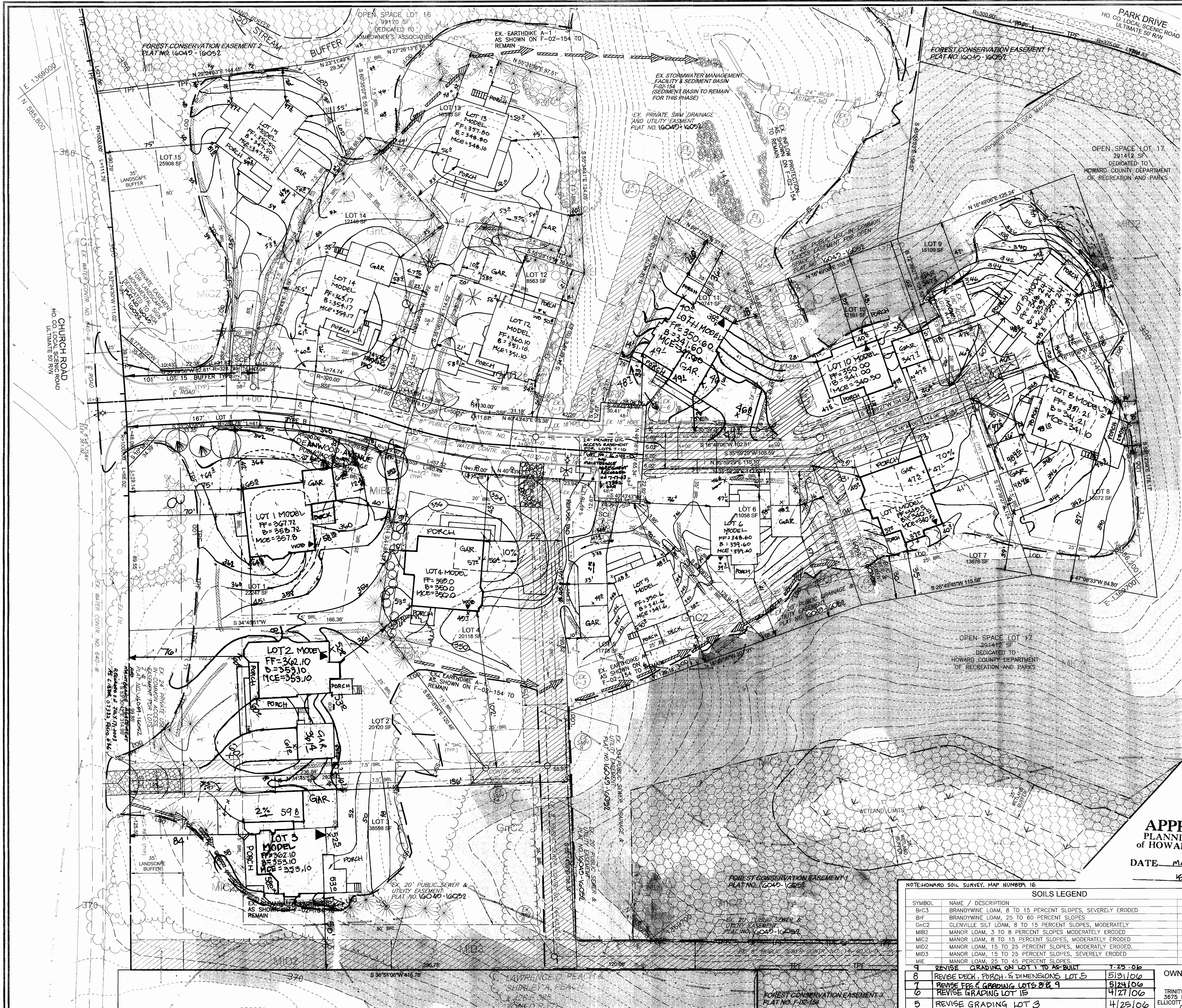
DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Michael P. Paul 08-07-03
Signature of Developer (print name below signature) Date
MICHAEL PAUL

Reviewed for HOWARD SCD and meets Technical Requirements
Jim Myers 9/4/03
MSDA-Natural Resource Conservation Service Date
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
John R. Robertson 9/4/03
Howard SCD Date

DEVELOPER'S BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN, WHICH IS BEING DONE TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY LANDSCAPE MANUAL, I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXCLUDED 10-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
Michael P. Paul 08-07-03
OWNER/DEVELOPER/ BUILDER DATE



DESIGN BY: RHW
DRAWN BY: CWH, ELW
CHECKED BY: SHV
DATE: JANUARY 2003
SCALE: AS SHOWN
W.O. NO.: 2019143.0
1 SHEET OF 3



LEGEND

EXISTING CONTOUR	STABILIZED CONSTRUCTION ENTRANCE
PROPOSED CONTOUR	EX. STREET TREE AS PER F-02-154
SPOT ELEVATION	EX. SHADE TREE AS PER F-02
DIRECTION OF FLOW	EX. EVERGREEN AS PER F-02-154
EXISTING TREES TO REMAIN	EX. SHRUB AS PER F-02-154
LIGHT POLES	EX. FCE AS PER F-02-154
WALK OUT BASEMENT	EX. TREE PROTECTION FENCE AS PER F-02-154
SOILS LINE	PROPOSED SHADE TREE
MODERATE SLOPES 15-24.9%	
STEEP SLOPES 25% OR GREATER	
EX. SILV. FENCE AS PER F-02-154	
EX. SUPER SILT FENCE AS PER F-02-154	
PROP. SUPER SILT FENCE	
EX. LIMIT OF DISTUR. *MCE AS PER F-02-154	
PROP. EROSION CONTROL MATTING AS SHOWN ON F-02-154 TO REMAIN	
EX. EROSION CONTROL MATTING AS SHOWN ON F-02-154 TO REMAIN	
EX. EARTHDIKE AS SHOWN ON F-02-154 TO REMAIN	
	PROPOSED EVERGREEN

5	ADD DECK & CHANGE GARAGE SIZE ON LOT B	5-12-05
6	REVISE GARAGE SIZE AND ADDED ROOF	1-13-06

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Karl Blawie 9-9-03
Chief, Division of Land Development Date

Robert H. Vogel 9/1/03
Chief, Development Engineering Division Date

March 2. Vogel 9/5/03
Director Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Robert H. Vogel 9/1/03
Signature of Engineer Date

DEVELOPER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Michael P. Paul 08-07-03
Signature of Developer (print name below signature) Date

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Meyer 9/1/03
USDA-Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/1/03
Howard SCD Date

1	IN ACCORDANCE WITH HDC APPROVAL DATED 10-13-04	10-11-04
2	REVISE HOUSE MODELS & GRADING LOTS 2, 3 & 11	
3	IN ACCORDANCE WITH HDC APPROVAL DATED 8-6-04	
4	REVISE HOUSE MODEL LOTS 8, 9 & 10	12-22-04
5	REVISE HOUSE MODELS LOTS 6, 14, 15, 5, 13 & 12	7-9-04
6	REVISE HOUSE MODELS & LOT GRADING LOTS 1, 4 & 11 IN ACCORDANCE WITH THE HDC APPROVAL DATED 9/27/04	6-30-04

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: MAY 1, 2003

NOTE: HOWARD SOIL SURVEY, MAP NUMBER 16

SYMBOL	NAME / DESCRIPTION	TYPE	K-VALUE
B-C3	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED	C	.24
B-F	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES	C	.24
GNC2	GLENNVILLE SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	.37
MIB2	MANOR LOAM, 3 TO 8 PERCENT SLOPES MODERATELY ERODED	B	.37
MIC2	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	.37
MID2	MANOR LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B	.37
MID3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B	.37
ME	MANOR LOAM, 25 TO 45 PERCENT SLOPES	B	.37

1	REVISE GRADING ON LOT 1 TO AS-BUILT	1-25-06
2	REVISE DECK, PORCH & DIMENSIONS LOT 5	5/31/06
3	REVISE FCE & GRADING LOTS 8 & 9	5/24/06
4	REVISE GRADING LOT 15	4/27/06
5	REVISE GRADING LOT 3	4/25/06

OWNER/DEVELOPER
BUILDER
TRINITY QUALITY HOMES INC
3675 PARK AVE., SUITE 301
ELLCOTT CITY, MARYLAND 21043
(410) 480-0023

SITE DEVELOPMENT PLAN
THE WOODS OF PARK PLACE
NEW SINGLE FAMILY DETACHED DWELLINGS
LOTS 1-15

TAX MAP 25 BLOCKS 1 & 2 Parcel '3'
2ND ELECTION DISTRICT HOWARD COUNTY MARYLAND
REF.: PB-344 (APP. 1/24/01), S-00-10, P-02-02
F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.

ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21244
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHW
DRAWN BY: CMH, ELW
CHECKED BY: RHW
DATE: JANUARY 2003
SCALE: 1"=30'
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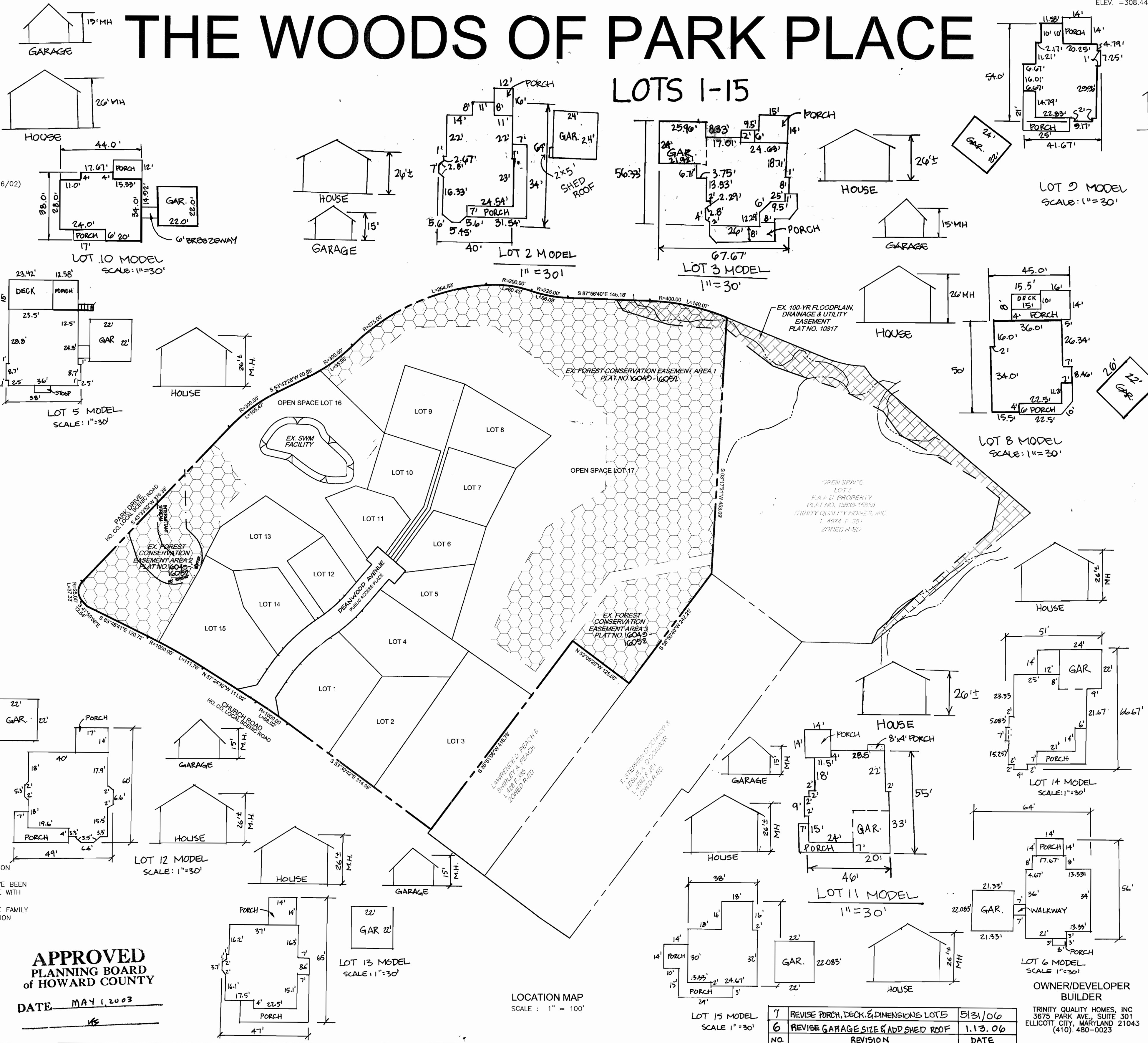
2 SHEET OF 3

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - MISS UTILITY
 - BELL ATLANTIC TELEPHONE CO. 1-800-257-7777
 - HOWARD COUNTY BUREAU OF UTILITIES: 725-0976
 - AT&T CABLE LOCATION DIVISION: 313-2368
 - B.G.A.E. CO. CONTRACTOR SERVICES: 393-3553
 - B.G.A.E. CO. UNDERGROUND DAMAGE CONTROL: 850-4620
 - STATE HIGHWAY ADMINISTRATION: 787-4620
 - STATE HIGHWAY ADMINISTRATION: 531-5533
- THE SUBJECT PROPERTY IS ZONED R-ED AS PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- SITE ANALYSIS:
 - AREA OF SITE: 15.211 AC. (662,591 SF)
 - NET TRACT AREA: 7.83 AC
 - AREA OF PLAN SUBMISSION: 5.892 AC. (256,656 SF)
 - TOTAL NUMBER OF BUILDABLE LOTS: 15
 - PRESENT ZONING: R-ED
 - 100 YEAR FLOODPLAIN OUTSIDE STEEP SLOPES: 0.03 AC
 - 25% STEEP SLOPE AREA: ~7.35 ACRES
 - LIMIT OF DISTURBANCE: 3.59 AC. ± (156,408 SF)
 - PROPOSED USE OF SITE: SINGLE FAMILY DWELLING
 - TOTAL UNITS ALLOWED: 7.83 ac. x 2 = 15 UNITS
 - TOTAL UNITS PROPOSED: 15
- PROJECT BACKGROUND:
 - LOCATION: TAX MAP: 25 PARCEL: 3 BLOCK: 1 & 2
 - ZONING: R-ED
 - THE WOODS OF PARK PLACE
 - DEED REFERENCE: LIBER 1313 FOLIO 336
 - DPZ REFERENCE: PB-344 (APP. 1/24/01), S-00-10, P-02-02, F-02-154, WP-02-57 (2/26/02)
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT OF WAY INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENT NO'S. 24FA AND 25AA.
- EXISTING TOPOGRAPHY IS BASED ON AERIAL PHOTOGRAMMETRIC PREPARED BY POTOMAC AERIAL SURVEYS, INC. WITH FIELD VERIFIED ELEVATIONS PREPARED BY VOGEL AND ASSOCIATES, DATED OCTOBER 1999, AND FINAL ROAD CONSTRUCTION PLAN F-02-154.
- THE BOUNDARY IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PREPARED BY VOGEL AND ASSOCIATES ON OR ABOUT OCTOBER 1999.
- ACCESS TO WATER HAS BEEN PROVIDED UNDER CONTRACT NO. 640-W. ACCESS TO SEWER HAS BEEN PROVIDED UNDER CONTRACT NO. 10-1305.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENTS.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- WETLANDS AND STREAMS SHOWN ON-SITE ARE BASED ON FIELD INVESTIGATION PREPARED BY WILDMAN ENVIRONMENTAL SERVICES AND AERIAL PHOTOGRAMMETRIC, DATED FEBRUARY 2000.
- FLOODPLAIN SHOWN ON-SITE IS BASED ON PLAT NO. 10817.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
 - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
 - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
 - D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- ALL DRIVEWAY APRONS TO BE PER HOWARD COUNTY STANDARD DETAIL NO'S R-6.05 & R-6.01 UNLESS OTHERWISE NOTED.
- THE REQUIRED LANDSCAPING PER PB-344 (APPLICANTS EXHIBIT NO. 11 1/24/01) AND THE HOWARD COUNTY LANDSCAPE MANUAL DEPICED ON S-00-10, P-02-02 AND F-02-154 SHALL BE PROVIDED AS SHOWN. PERIMETER LANDSCAPING AND STREET TREES SHALL BE PROVIDED AS APPROVED ON THE FINAL ROAD CONSTRUCTION PLAN F-02-154. THE LANDSCAPE SURETY FOR THE 3 SHADE TREES AND 4 EVERGREEN TREES REQUIRED FOR THE SIDE YARD OF LOT 1 WILL BE PROVIDED WITH THE BUILDER'S GRADING PERMIT APPLICATION AND ALL OTHER LANDSCAPE SURETY WILL BE PROVIDED WITH THE DEVELOPER'S AGREEMENT UNDER F-02-154. LOT 1 LANDSCAPE SURETY IS \$1500.00.
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- OPEN SPACE REQUIREMENTS FOR THIS SUBDIVISION HAVE BEEN PROVIDED UNDER F-02-154. STORM WATER MANAGEMENT (2-YR AND 10-YR) FOR THIS DEVELOPMENT HAS BEEN PROVIDED UNDER F-02-154. THE EXTENDED DETENTION FACILITY LOCATED ON OPEN SPACE LOT 16 WILL PROVIDE WATER QUALITY. THE FACILITY IS HAZARD CLASS 'A' AND WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
- HAZARD TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED FEBRUARY 14, 2000 AND APPROVED JANUARY 24, 2001.
- TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO ENVIRONMENTAL AREA.
- A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
- CHURCH ROAD AND PARK DRIVE ARE SCENIC ROADS.
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE JUNCTION OF THE PIPE STEM DRIVEWAY.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 26, 2002 (WP-02-57) TO WAIVE SECTION 16.134(b)(1) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW A PUBLIC ROAD WITHOUT A SIDEWALK.
- A WAIVER HAS BEEN SUBMITTED AND APPROVED ON FEBRUARY 7, 2002 TO WAIVE SECTION 2.3.2.B OF THE DESIGN MANUAL, VOLUME II, TO ALLOW A TEE-TURNAROUND ON A PERMANENT NON-THROUGH STREET.
- THE SUBJECT PROPERTY IS LOCATED IN THE ELLICOTT CITY HISTORIC DISTRICT.
- ALL PROPOSED STRUCTURES AND DEVELOPMENT ARE REQUIRED TO OBTAIN APPROVAL FROM THE HISTORIC DISTRICT COMMISSION (HDC) AND SITE DEVELOPMENT PLAN APPROVAL BY THE HOWARD COUNTY PLANNING BOARD PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS.
- THIS PLAN AND PROJECT ARE GRANDFATHERED TO THE FOURTH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE PROPOSED ROUTE FOR THE SEWER LINE CONNECTION AND THE LOCATION FOR THE SWM FACILITY HAVE BEEN DETERMINED A NECESSARY DISTURBANCE OF THE 25% OR GREATER STEEP SLOPES BY DPZ IN ACCORDANCE WITH SECTION 16.116(c) OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ON JANUARY 24, 2001, THE HOWARD COUNTY PLANNING BOARD APPROVED A SKETCH PLAN FOR 15 SINGLE FAMILY DETACHED RESIDENTIAL AND 2 OPEN SPACE LOTS FOR THE SUBJECT PROPERTY IN ACCORDANCE WITH SECTION 107.E OF THE HOWARD COUNTY ZONING REGULATION.
- WATER & SEWER EASEMENT REFERENCES ARE UNDER CONTRACT NUMBER 14-4030-D
- FOREST CONSERVATION EASEMENTS CAN BE REFERENCED FROM PLAT F-02-154.
- OPEN SPACE FOR LOT 5 CAN BE REFERENCED FROM PLAT NUMBER 10817.

SITE DEVELOPMENT PLAN

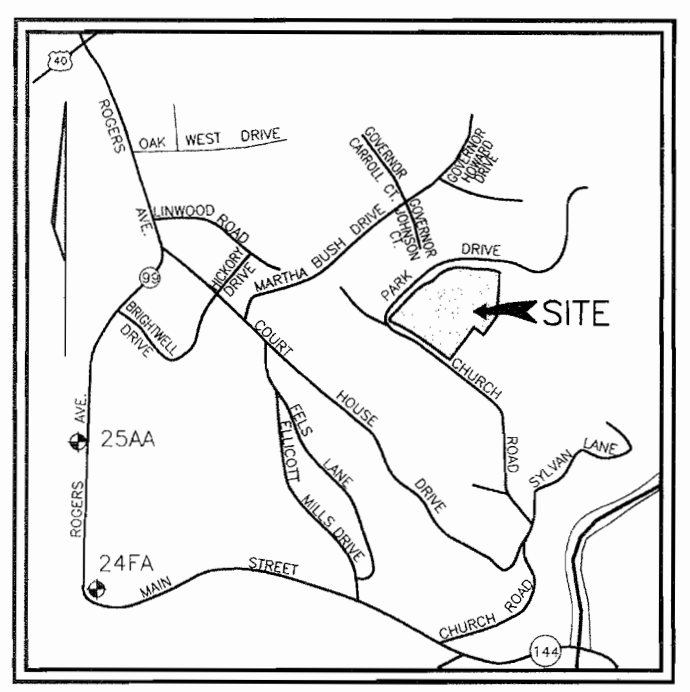
THE WOODS OF PARK PLACE



BENCHMARKS

BENCHMARK NO. 1: COUNTY CONTROL #24FA
N. 583,751.410, E. 1,366,091.943
ELEV. = 263.701

BENCHMARK NO. 2: COUNTY CONTROL #25AA
N. 585,307.185, E. 1,366,071.024
ELEV. = 308.447



SEWER CONNECTION TABULATION

LOT NO	TYPE	ELEVATION @ MAN	ELEVATION @ R/W OR PUBLIC EASEMENT	M.C.E.
1	D.H.C. @ 5%	341.29	349.00	357.80
2	S.H.C.	344.67	344.91	353.10
3	S.H.C.	344.67	344.91	353.10
4	S.H.C. @ 5%	340.36	341.91	350.00
5	S.H.C.	334.48	335.05	341.60
6	S.H.C.	334.94	335.41	339.60
7	S.H.C.	335.64	336.02	340.50
8	S.H.C.	336.45	336.87	341.10
9	S.H.C.	336.45	336.77	339.80
10	S.H.C.	335.64	335.85	340.50
11	S.H.C.	334.94	335.07	341.60
12	D.H.C. @ 5%	340.41	343.50	351.10
13	S.H.C.	340.78	341.04	348.10
14	D.H.C. @ 5%	341.29	346.00	354.17
15	S.H.C.	341.08	342.05	347.50

ADDRESS CHART

LOT #	STREET ADDRESS	LOT #	STREET ADDRESS
1	3402 DEANWOOD AVE.	9	3429 DEANWOOD AVE.
2	3515 CHURCH ROAD	10	3425 DEANWOOD AVE.
3	3519 CHURCH ROAD	11	3421 DEANWOOD AVE.
4	3414 DEANWOOD AVE.	12	3415 DEANWOOD AVE.
5	3418 DEANWOOD AVE.	13	3411 DEANWOOD AVE.
6	3422 DEANWOOD AVE.	14	3407 DEANWOOD AVE.
7	3426 DEANWOOD AVE.	15	3403 DEANWOOD AVE.
8	3430 DEANWOOD AVE.		

PERMIT INFORMATION CHART

PROJECT NAME	SECTION/AREA	PARCEL NUMBER
THE WOODS OF PARK PLACE	N/A	3 LOTS
PLAT REF. 10409-10409L	BLOCK NO. 1 & 2	ZONE R-ED
	TAX MAP 25	ELECT. DIST. 2ND
		CENSUS TR. 6029
WATER CODE: F-01		SEWER CODE: 1450000

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 3
SITE DEVELOPMENT PLAN	2 OF 3
SEDIMENT AND EROSION CONTROL DETAILS	3 OF 3

REVISIONS

NO.	REVISION	DATE
5	ADD DECK & CHANGE GARAGE SIZE ON LOT 8	05-12-05
4	IN ACCORDANCE WITH HDC APPROVAL DATED 10-13-04 REVISE HOUSE MODELS LOTS 2, 3 & 11	10-11-04
3	IN ACCORDANCE WITH HDC APPROVAL DATED 8-6-04 REVISE HOUSE MODELS LOTS 8, 9 & 10	08-22-04
1	REVISE HOUSE MODELS AND LOT GRADING FOR LOTS 5, 6, 12, 13, 14 & 15 IN ACCORDANCE WITH THE HDC APPROVAL DATED JULY 2004	7-9-04

COVER SHEET
THE WOODS OF PARK PLACE
 NEW SINGLE FAMILY DETACHED DWELLINGS
 LOTS 1-15

TAX MAP 25 BLOCKS 1 & 2 PARCEL '3'
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 REF.: PB-344 (APP. 1/24/01), S-00-10, P-02-02,
 F-02-154, WP-02-57 (2/26/02)

FREDERICK WARD ASSOCIATES, INC.
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kurt Heine 9/9/03
 Chief, Division of Land Development Date

Robert H. Vogel 9/9/03
 Chief, Development Engineering Division Date

Debra M. Legett 9/9/03
 Director Date

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Robert H. Vogel 8/11/03
 Signature of Engineer Date
 Robert H. Vogel

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Michael P. Paul 08-07-03
 Signature of Developer (print name below signature) Date
 MICHAEL PAUL

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Myers 9/9/03
 USDA-Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/14/03
 Howard SCD Date

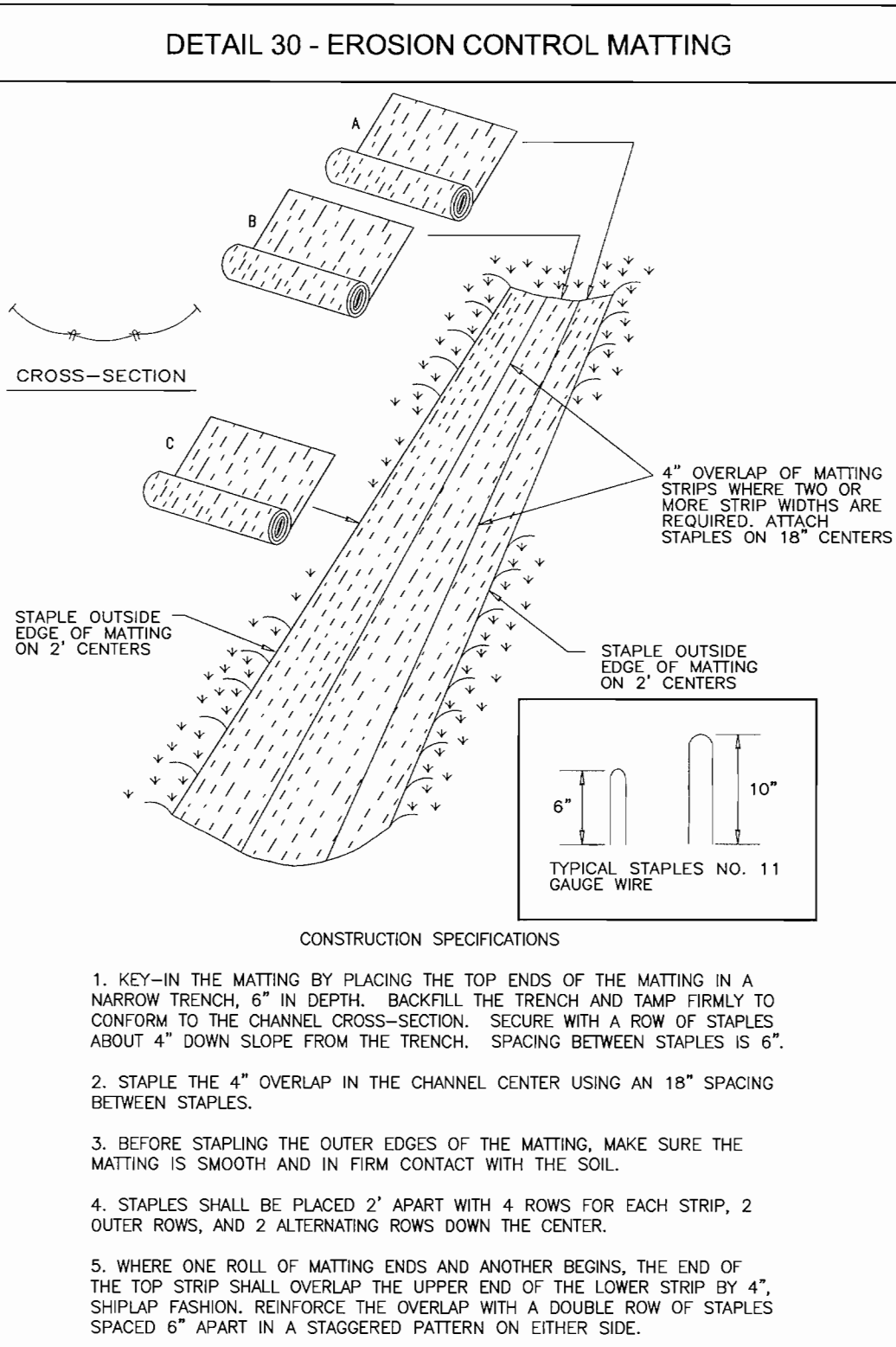
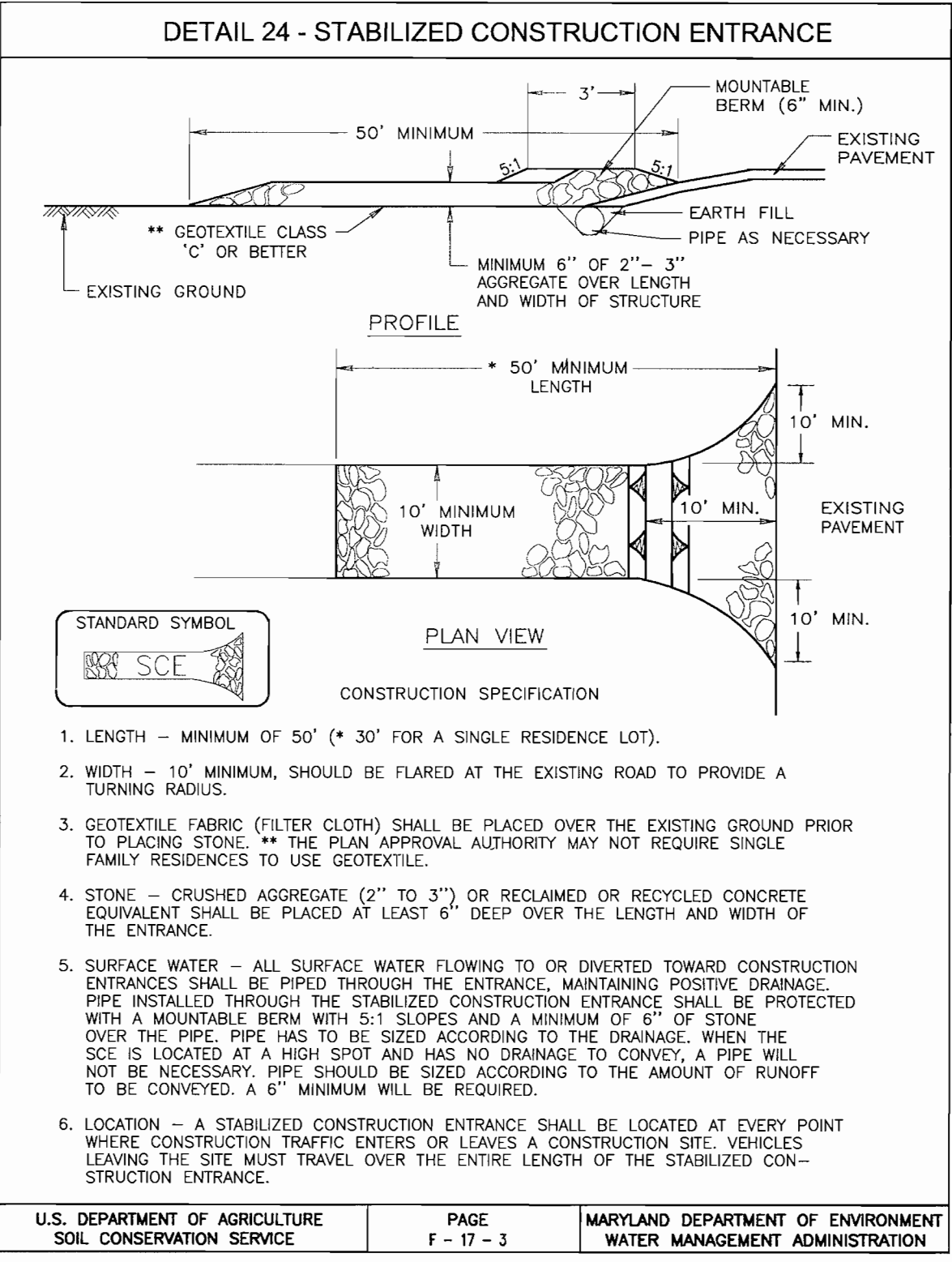
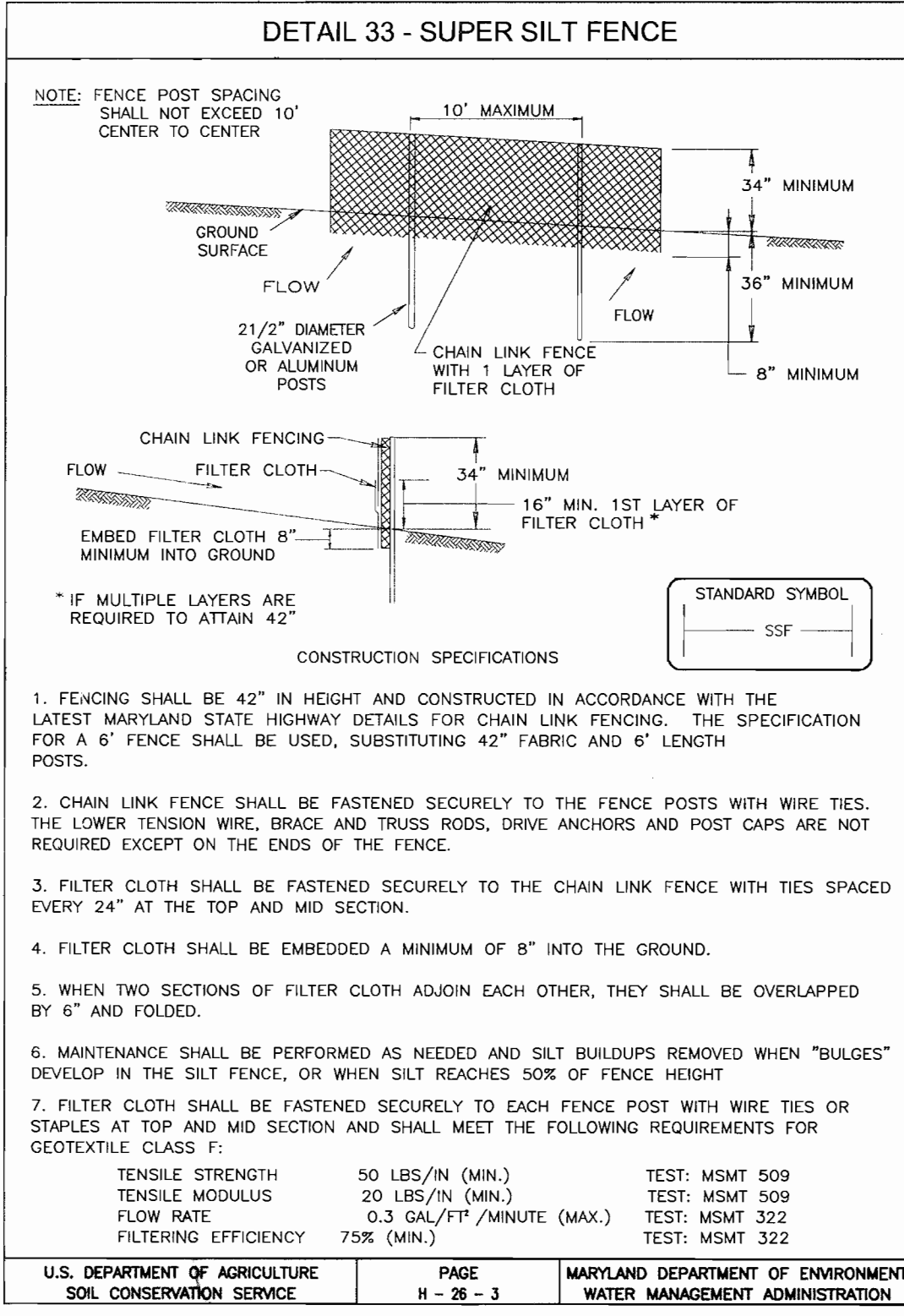
DEVELOPER'S BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING."

Michael P. Paul 08-07-03
 OWNER'S NAME DATE

DESIGN BY: RHW
 DRAWN BY: CMH, ELW
 CHECKED BY: RHW
 DATE: JANUARY 2003
 SCALE: AS SHOWN
 W.O. NO.: 2019143.0

1 SHEET OF 3



21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS AND DESIGN FOR ADEQUATE STABILIZATION. TOPSOIL SALVAGED FOR A GIVEN SITE TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SGS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

- TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 AND 1/2" IN DIAMETER.
- TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERBERIS GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES - I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
D. NO 500 OR SEED SHALL BE PLACED ON SOIL SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNLESS SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS IN 20.0 VEGETATIVE STABILIZATION SECTION - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION, CONSTRUCTION DIKES, SUPER SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.
- TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES. 1 DAY
- INSTALL SILT FENCE AND SUPER SILT FENCE. 2 DAYS
- INSTALL EARTH DIKES. 1 DAY
- AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED AND TREE PROTECTION FENCE HAS BEEN MAINTAINED, ROUGH GRADE SITE AND INITIAL EROSION CONTROL MATTING. 5 DAYS
- CONSTRUCT HOUSES. 4 MONTHS
- FINAL LOT GRADE TO BE IN SUBSTANTIAL CONFORMANCE WITH SITE DEVELOPMENT PLAN. 2 DAYS
- IN INSPECTOR APPROVAL STABILIZE ANY REMAINING DISTURBED AREAS WITH INTERIOR LANDSCAPING AND STREET TREES. 1 WEEK

DURATION

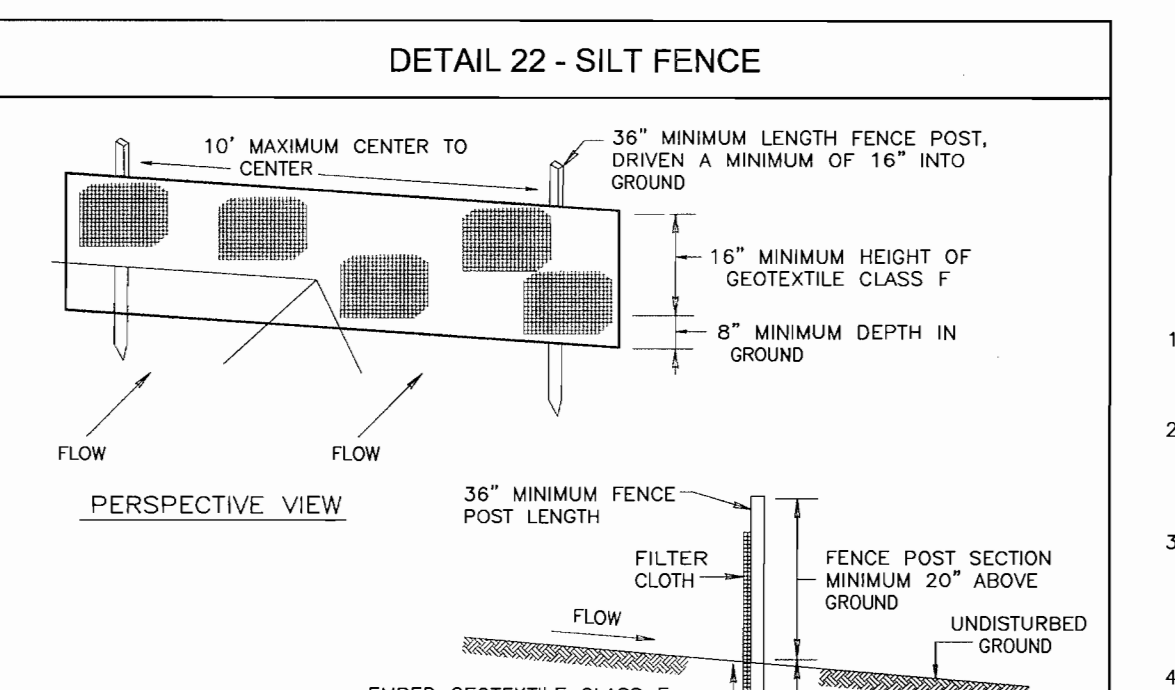
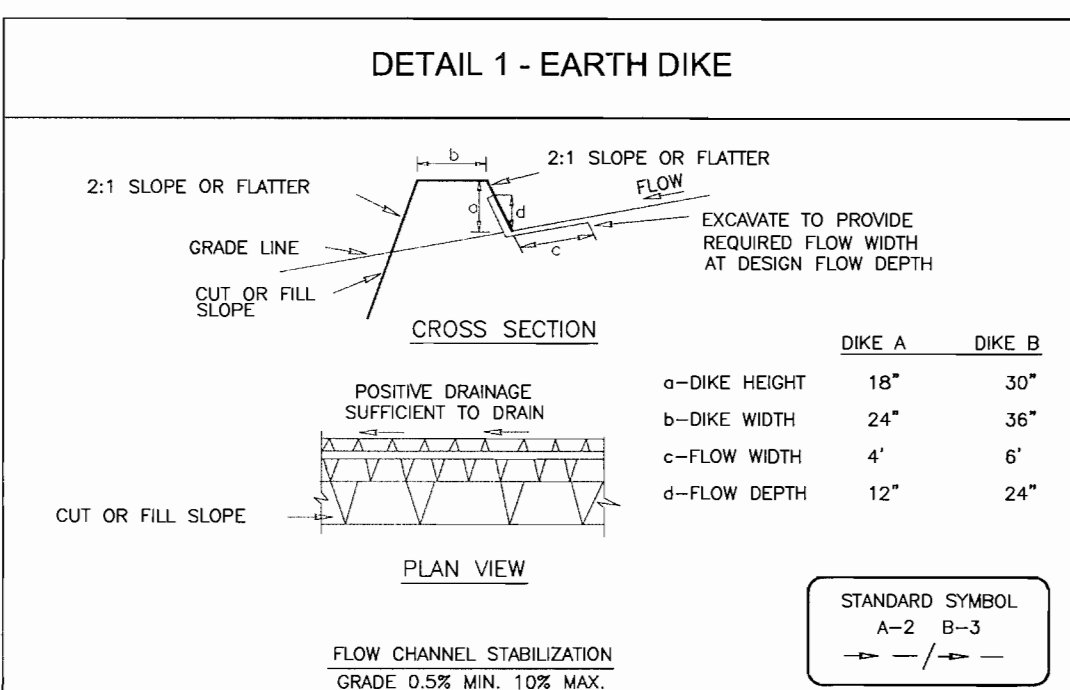
PERMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO OTHER AREAS
Perimeter/Frontage Designation	1	15
Linear Foot of Roadway	8	8
Frontage/Perimeter	197 LF	101 LF
Credit for Existing Vegetation (Yes, No, Linear Feet)	25	Yes 101 LF
Describe below if needed		
Number of Plants Required	No	No
Shade Trees	1:50	3:44
Evergreen Trees	1:40	4:30
Shrubs	-	-
Number of Plants Provided		
Shade Trees	3	-
Evergreen Trees	4	-
Other Trees (2:1 Substitution)	-	-
Shrubs (10:1 Substitution)	-	-
Describe Plant Substitution Credits Below if needed		

* Existing Woods to Remain

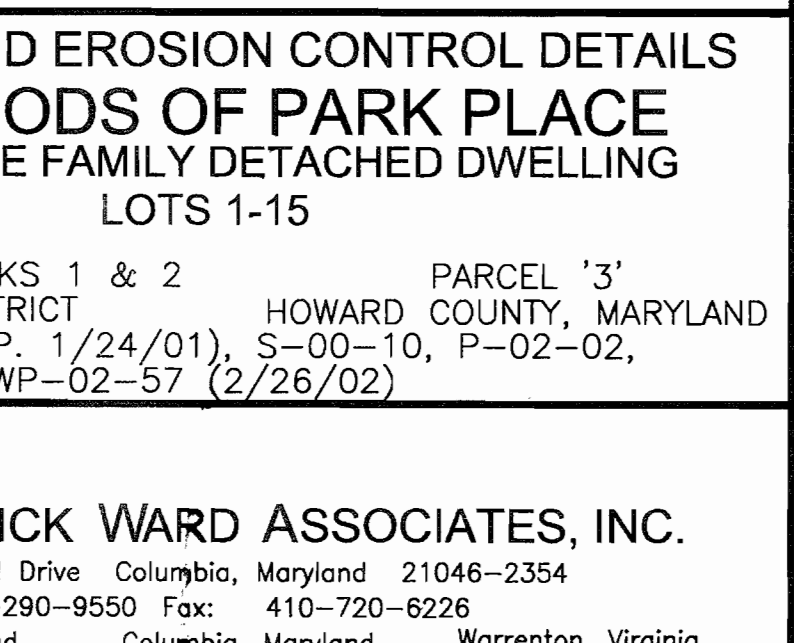
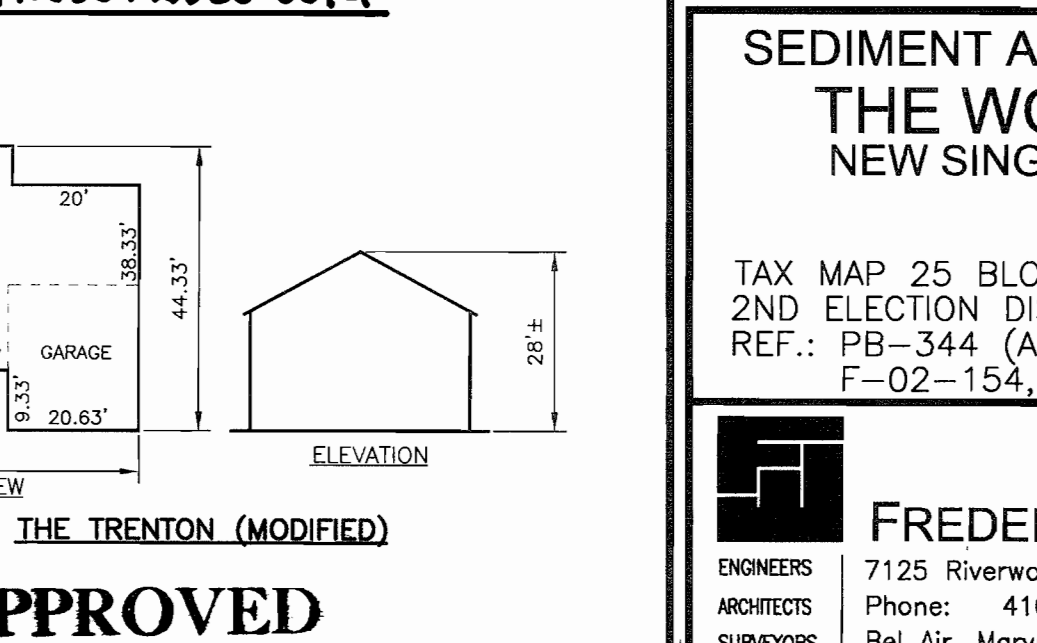
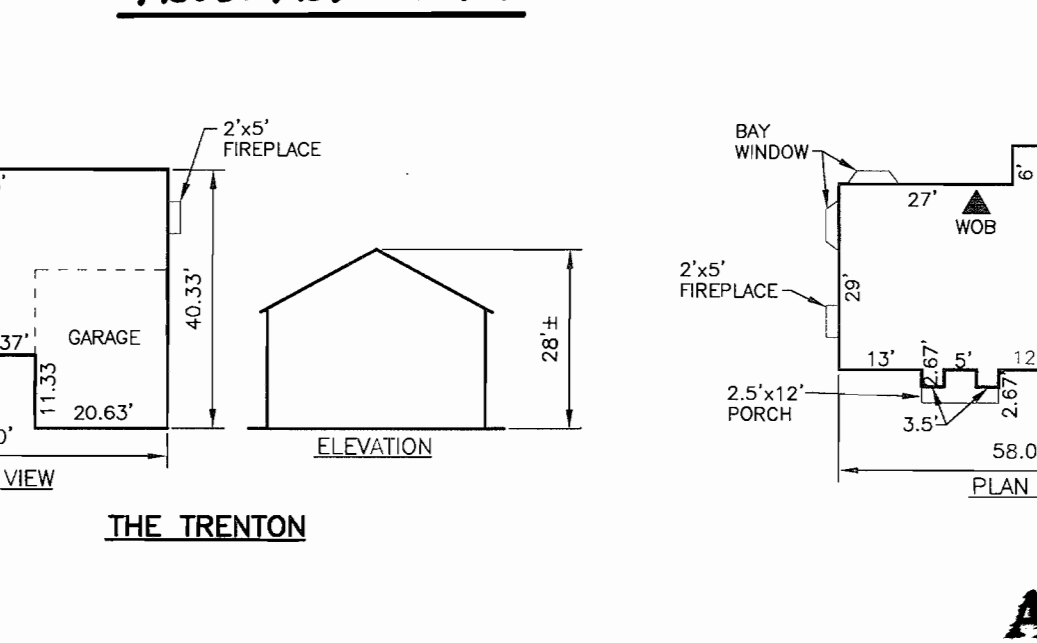
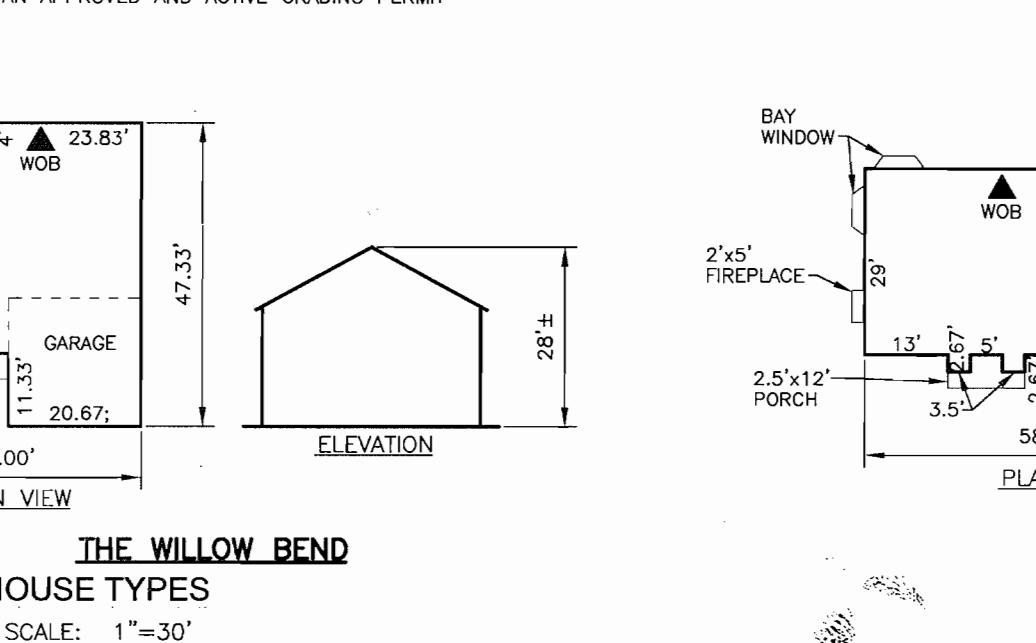
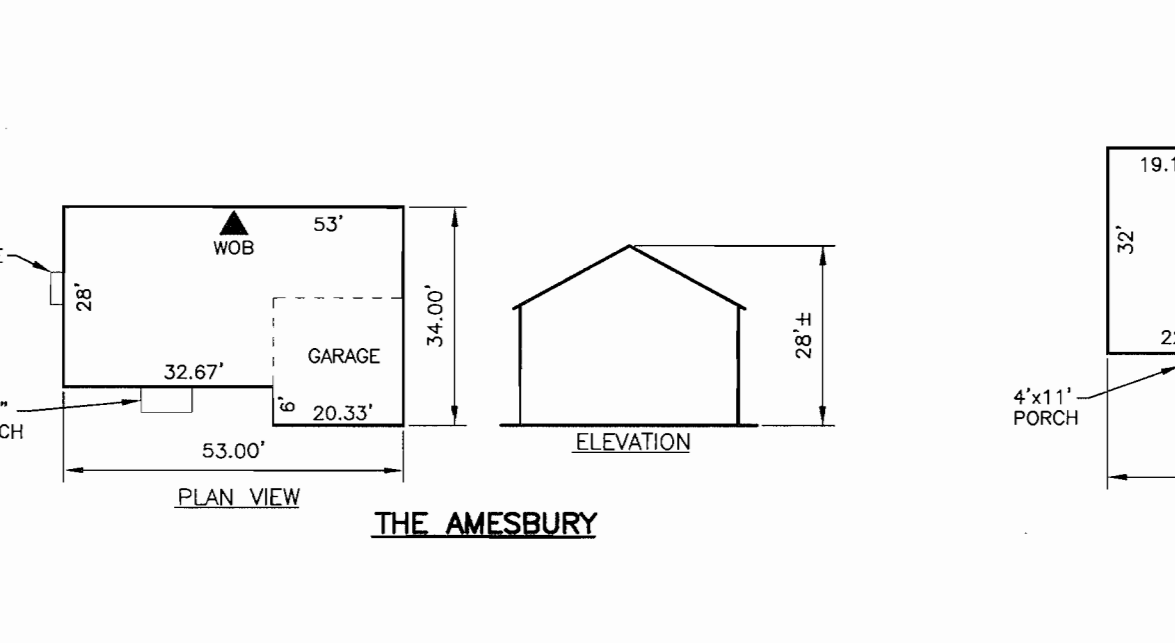
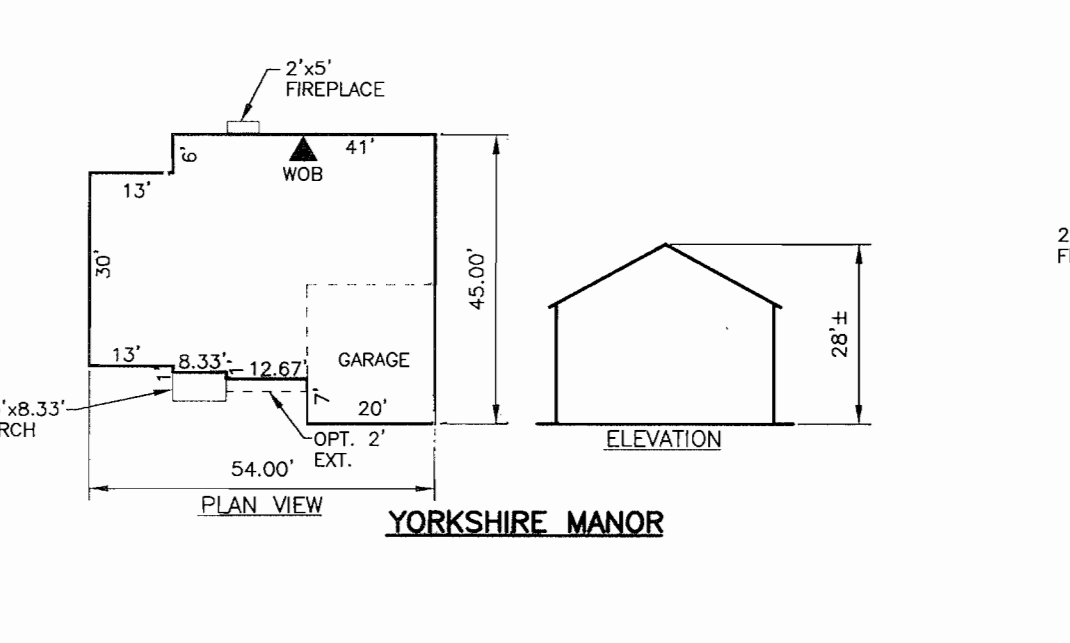
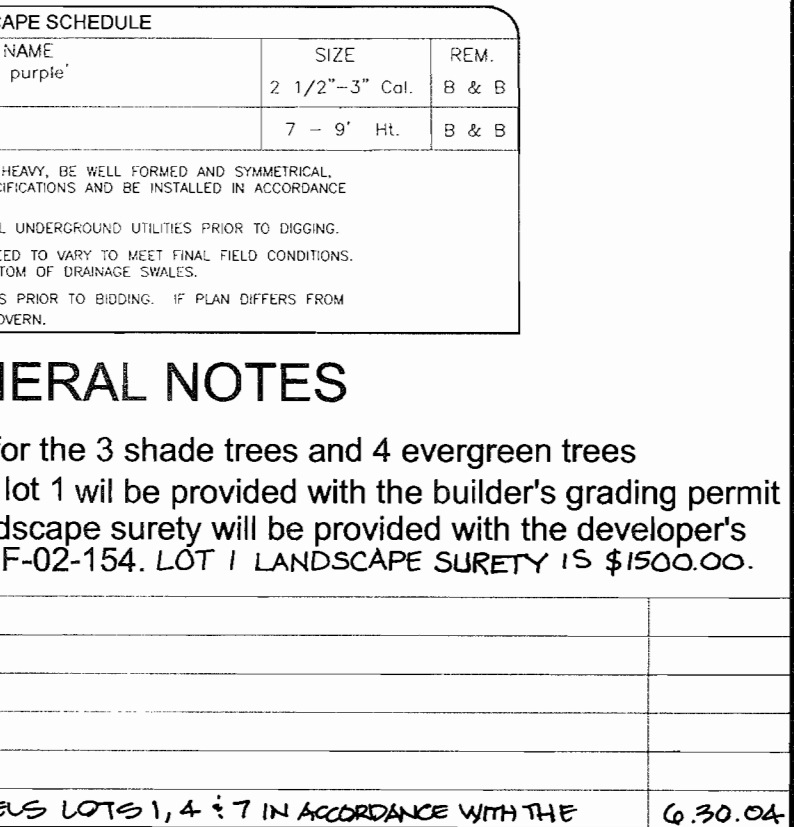
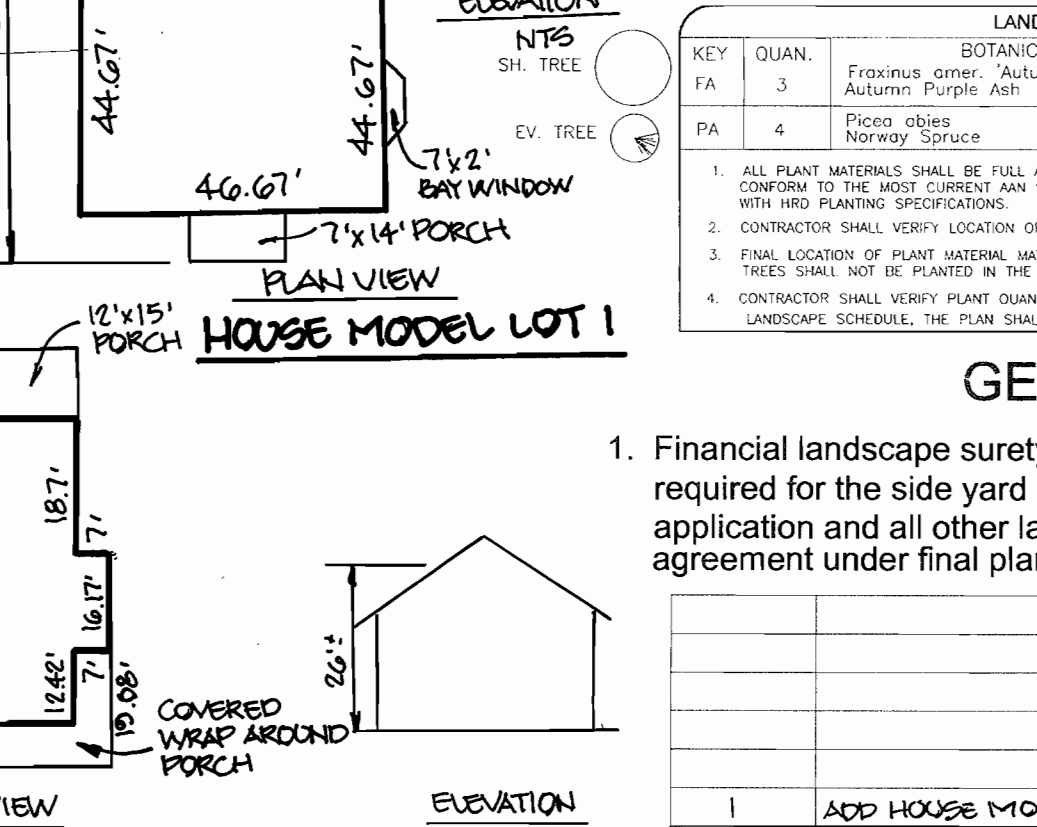
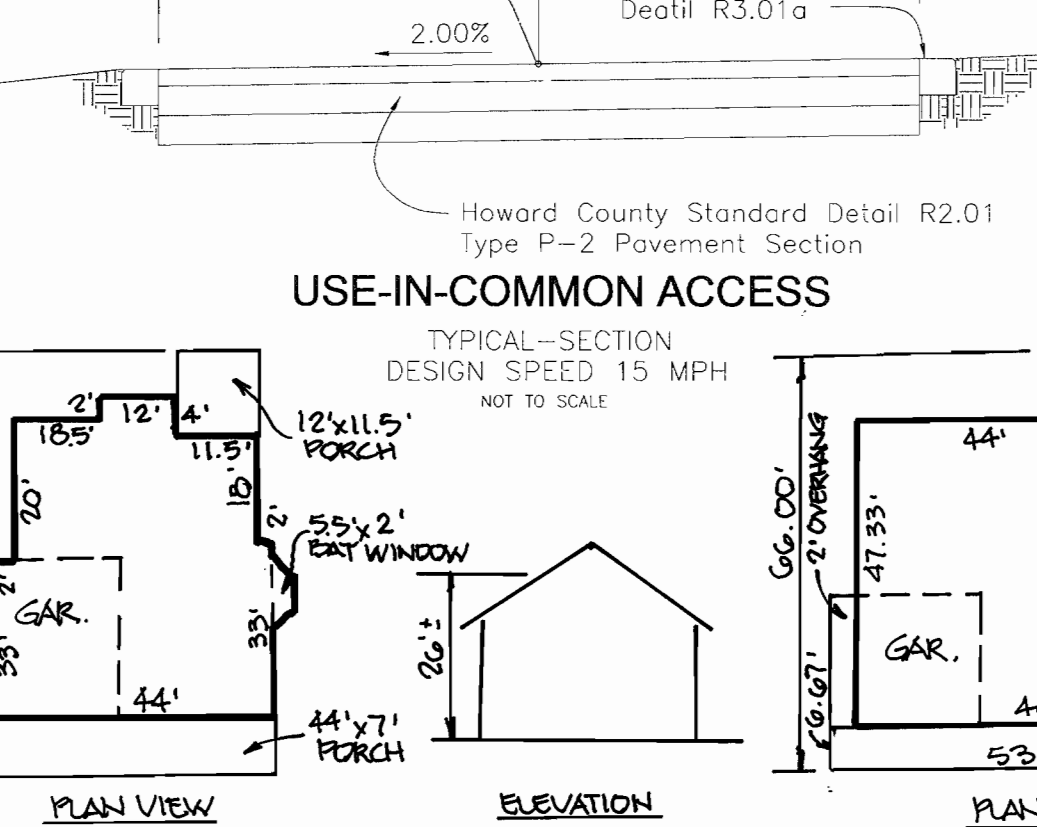
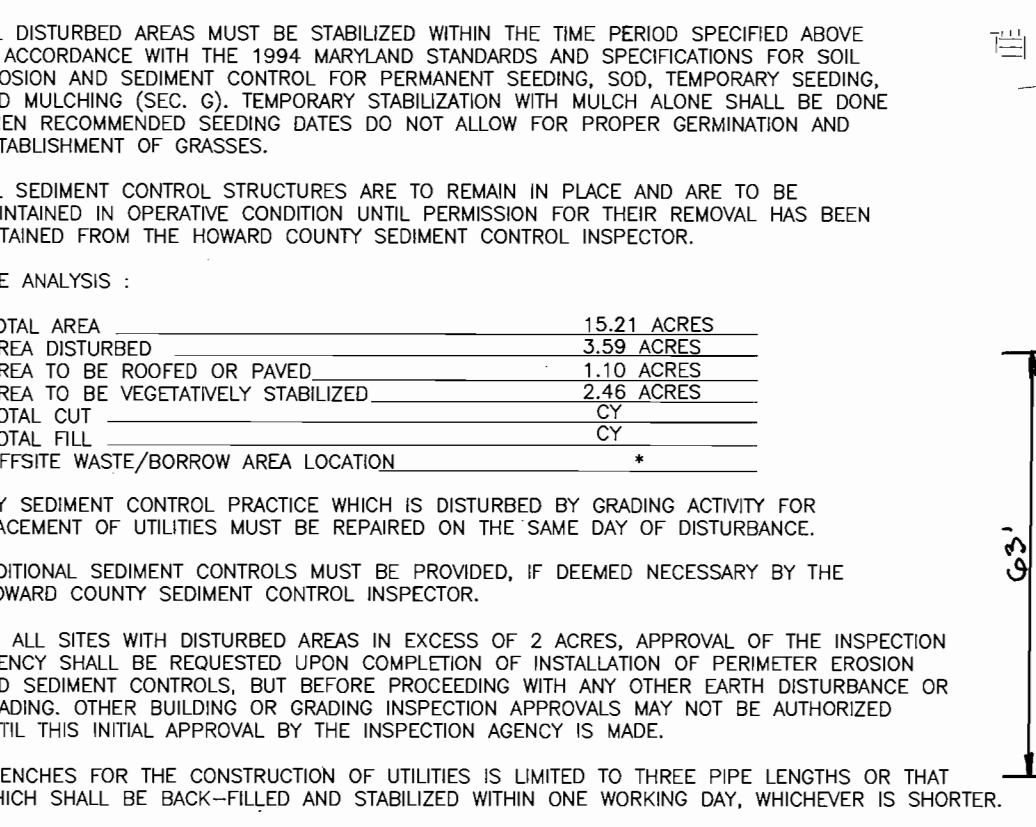
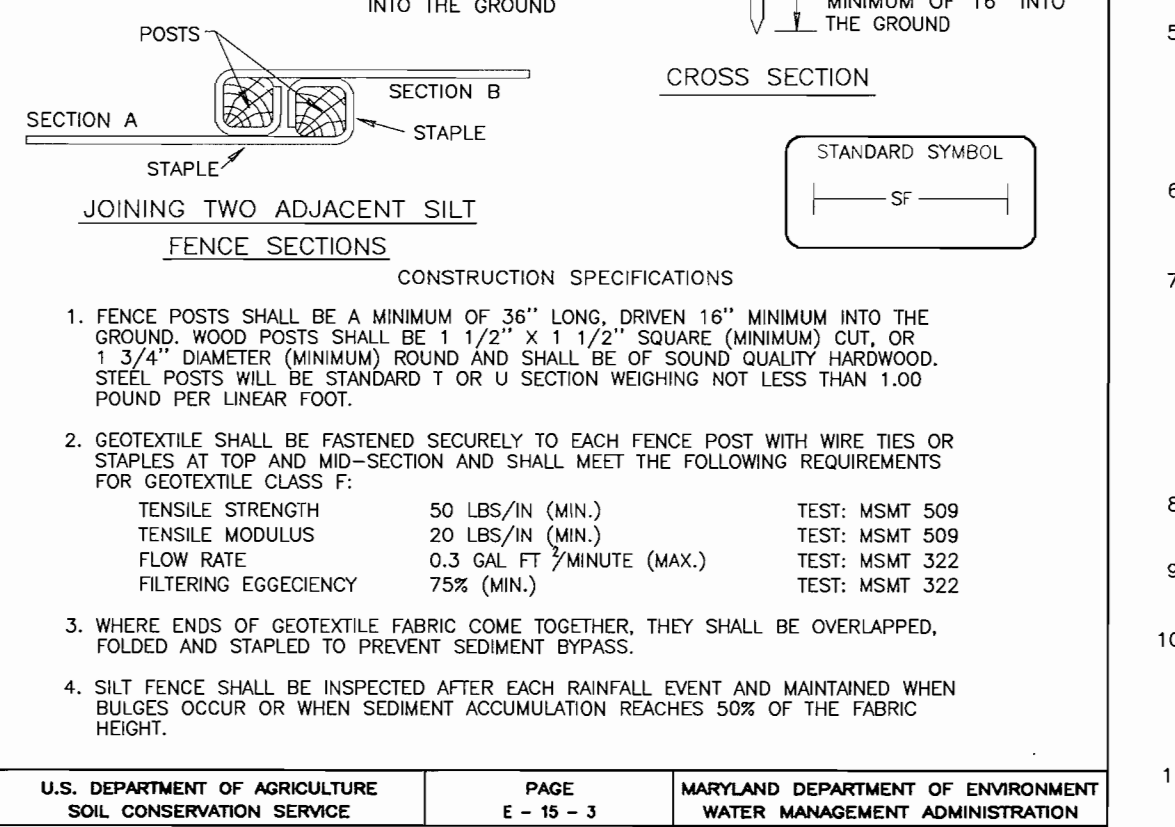
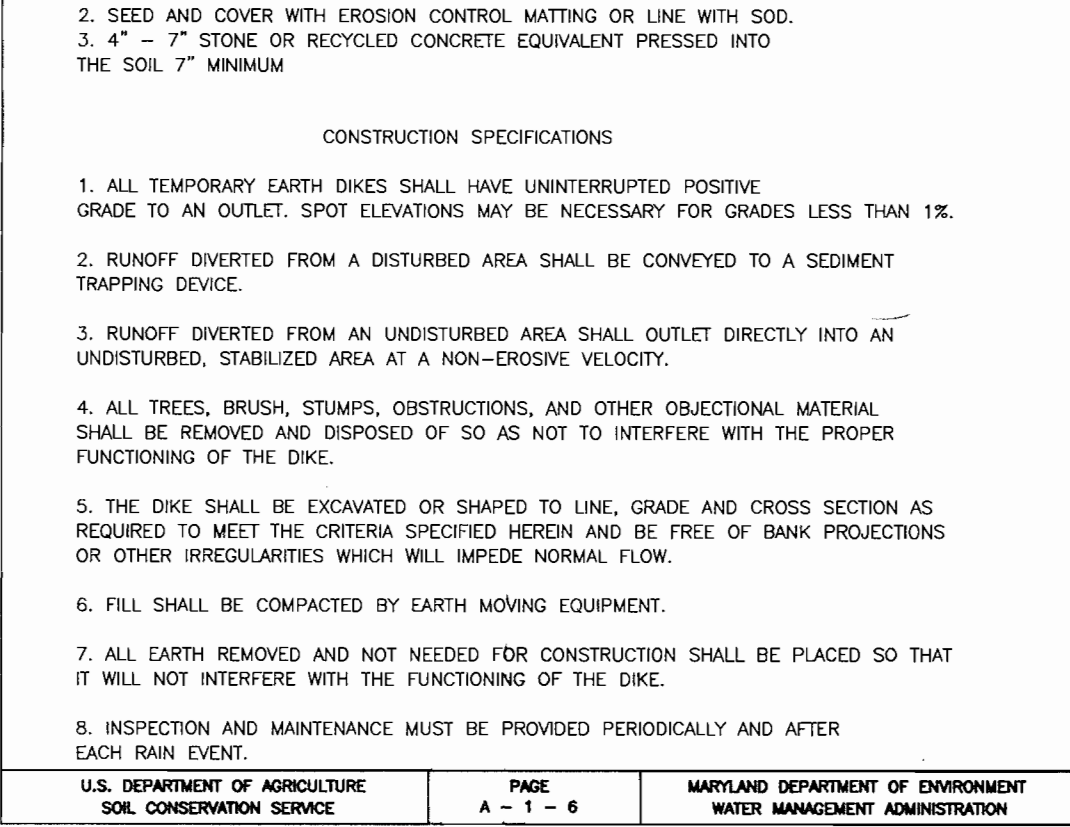
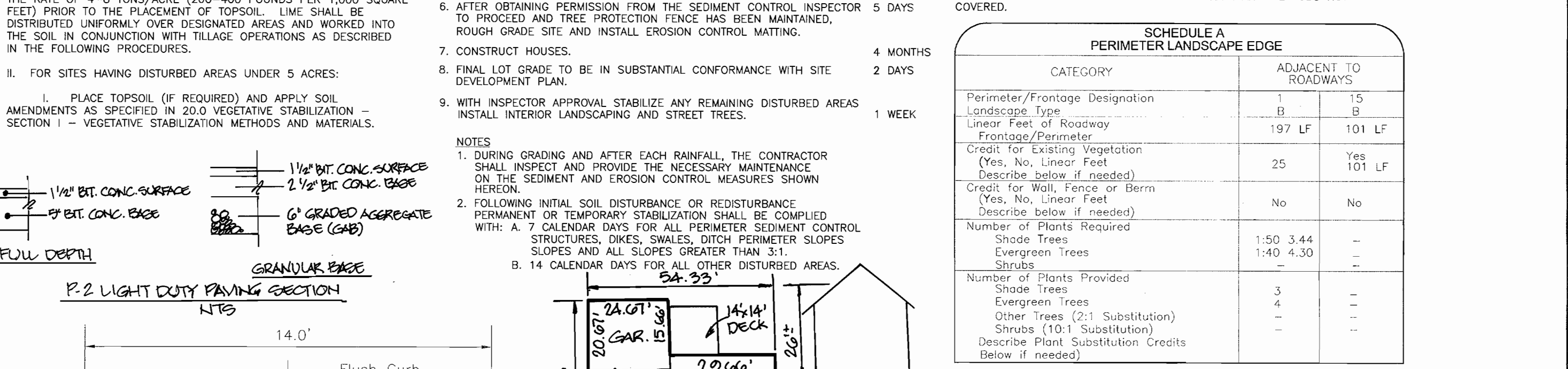
GENERAL NOTES

- Financial landscape surety for the 3 shade trees and 4 evergreen trees required for the side yard of lot 1 will be provided with the builder's grading permit application and all other landscape surety will be provided with the developer's agreement under final plan, F-02-154. LOT 1 LANDSCAPE SURETY IS \$150,000.



SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOIL TEMPORARY SEEDING, AND MULCHING (SEC. O). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
TOTAL AREA 15.21 ACRES
AREA DISTURBED 3.59 ACRES
AREA TO BE ROOFED OR PAVED 1.19 ACRES
AREA TO BE VEGETATIVELY STABILIZED 2.48 ACRES
TOTAL CUT 0.00 CU
TOTAL FILL 0.00 CU
OFFSITE WASTE/BORROW AREA LOCATION *
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Karl DeLuca /fa ch 9-9-03
Chief, Division of Land Development Date

John Damman 9/9/03
Chief, Development Engineering Division Date

Marsha A. Leggett 2/1/04
Director Date

ENGINEER'S CERTIFICATE

I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Robert H. Vogel 0/11/03
Signature of Engineer Date
Robert H. Vogel

DEVELOPER'S CERTIFICATE

I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will be trained and certified at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Michael Pfaau 08-07-03
Signature of Developer (print name below signature) Date
MICHAEL PFAAU

Reviewed for HOWARD SCD and meets Technical Requirements

Jim Maguire 9/14/03
USDA-Natural Resource Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson 9/14/03
Howard SCD Date

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: MAY 1, 2003

OWNER/DEVELOPER BUILDER

TRINITY QUALITY HOMES, INC.
3675 PARK AVE. SUITE 301
ELICOTT CITY, MARYLAND 21043
(410) 480-0023

DESIGN BY: RHV
DRAWN BY: CMH, ELW
CHECKED BY: RHV
DATE: JANUARY 2003
SCALE: AS SHOWN
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