

- 1) FRONT JOGS - ALWAYS A 2' OR 4' OFFSET.
- 2) AVALONS ARE ALWAYS END UNITS, AND FULTONS ARE ALWAYS INTERIOR UNITS.
- 3) CONFIGURATION OF BUILDINGS IS AS PER THE SDP.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: MARCH 6, 2003



LEGEND	
Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
+ 624	Spot Elevation
-SF - SF	Silt Fence
FF	First Floor Elevation
BC	Basement Elevation
---	Proposed Walkout
---	Earth Dike
-X-X-	Tree Protection
---	Existing Tree Line
L.O.D.	Limit of Disturbance
---	Existing Street Tree Per F01-14 And SDP 02-111
---	Reverse Curb

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
ELKTON CITY, MARYLAND 21828
410.461.2200

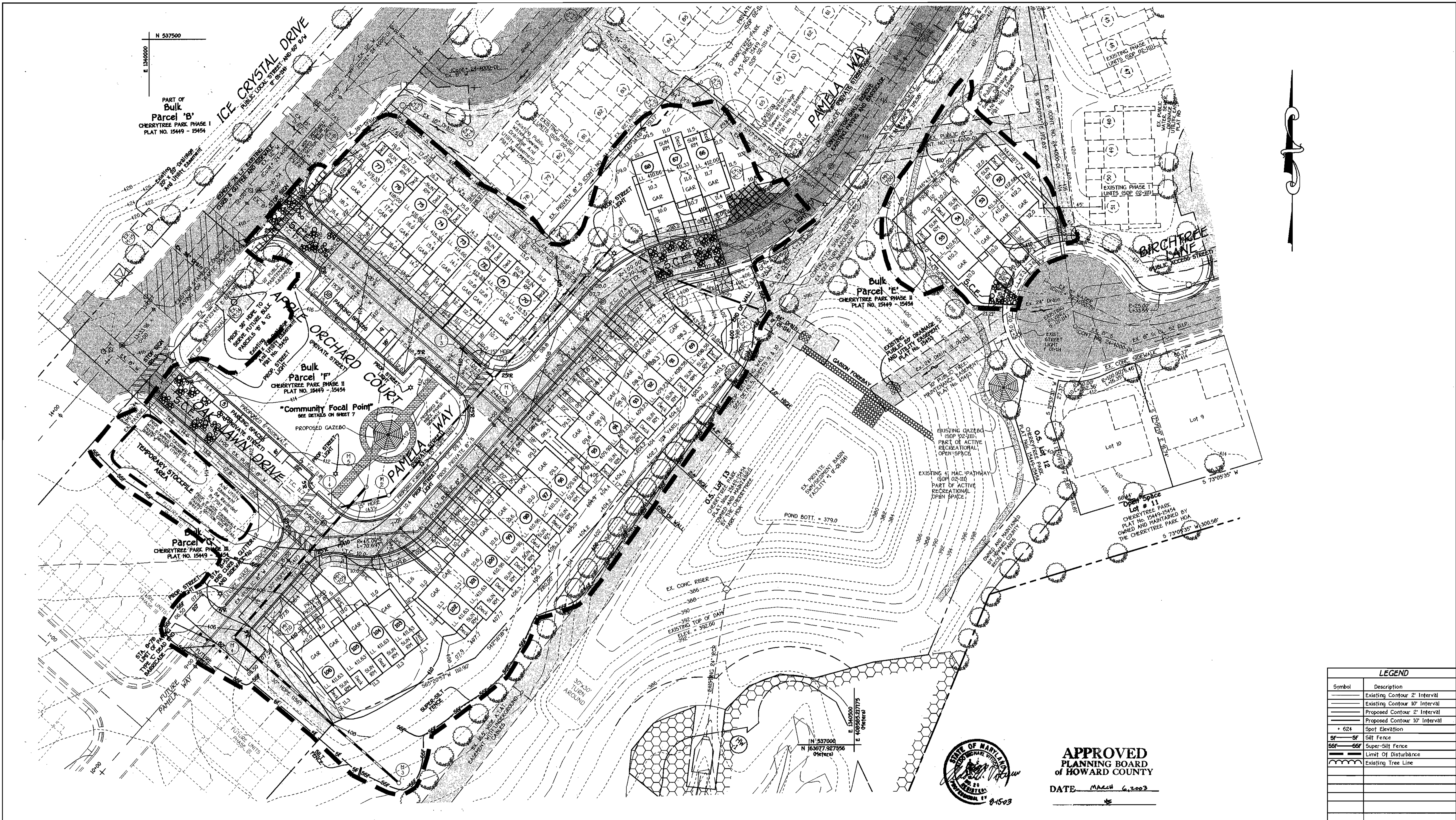
NO.	REVISION	DATE

ENGINEER'S CERTIFICATE
I, the undersigned, a duly licensed Professional Engineer, certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature: *Philip F. Barber* Date: 8-15-03
DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature: *Philip F. Barber* Date: 7/27/03
BY: U.S. HOME
MR. PHILIP F. BARBER, DIVISION PRESIDENT

Reviewed for HOWARD SCD and meets Technical Requirements.
Signature: *John M. ...* Date: 9/4/03
Signature: *John K. ...* Date: 9/4/03
OWNER
CHERRYTREE II LLC
WINCHESTER HOMES, INC.
SUITE 200
BETHESDA, MARYLAND 20817
C/O MR. MIKE CONLEY
DEVELOPER
CHERRYTREE II LLC
C/O U.S. HOME
SUITE 300
10230 NEW HAMPSHIRE AVENUE
SILVER SPRING, MARYLAND 20903
C/O MR. PHILIP F. BARBER, DIVISION PRESIDENT

APPROVED DEPARTMENT OF PLANNING AND ZONING
Signature: *Karl ...* Date: 9-11-03
Signature: *John ...* Date: 9/10/03
Signature: *John ...* Date: 9/12/03
PROJECT
CHERRYTREE PARK
SECTION/AREA
PHASE 2
LOT NO.
UNITS 52-55, 66-77, AND 91-102
PLAT NO.
15449 - 15454
BLOCK NO.
4
ZONE
MXD-6
TAX
46
ELEC. DIST.
6TH
CENSUS TR.
6068.02
WATER CODE
E1B
SEWER CODE
7602000

SITE DEVELOPMENT PLAN
CHERRYTREE PARK PHASE 2
BULK PARCELS 'E' AND 'F'
(UNITS 52-55, 66-77 AND 91-102) (SINGLE FAMILY ATTACHED CONDOMINIUMS)
ZONED: MXD-6
TAX MAP No: 46 PARCEL: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: APRIL 10, 2003
SHEET 2 OF 10 SDP 03-52



LEGEND	
Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
• 624	Spot Elevation
—SF—	Silt Fence
—SF—	Super-Silt Fence
---	Limit Of Disturbance
---	Existing Tree Line



APPROVED
PLANNING BOARD
of HOWARD COUNTY
 DATE: MARCH 6, 2003

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK • 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 410.481.3295

NO.	REVISION	DATE

ENGINEER'S CERTIFICATE
 I certify that the erosion and sediment control represents a practical and workable plan based on the knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: [Signature] Date: 8-15-03
DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (Print name below signature): Philip F. Barber Date: 7/27/03
 BY: U.S. HOME
 MR. PHILIP F. BARBER, DIVISION PRESIDENT

Reviewed for HOWARD SCD and meets Technical Requirements.
 Signature: [Signature] Date: 9/4/03
 U.S. Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: [Signature] Date: 9/4/03
 HOWARD SCD

OWNER
 CHERRYTREE II LLC
 WINCHESTER HOMES, INC.
 SUITE 800
 6905 ROCKLEDGE ROAD
 BETHESDA, MARYLAND 20817
 C/O MR. HIRZ CONLEY

DEVELOPER
 CHERRYTREE II LLC
 C/O U S HOME
 SUITE 800
 10230 NEW HAMPSHIRE AVENUE
 SILVER SPRING MARYLAND 20903
 C/O MR. PHILIP F. BARBER, DIVISION PRESIDENT

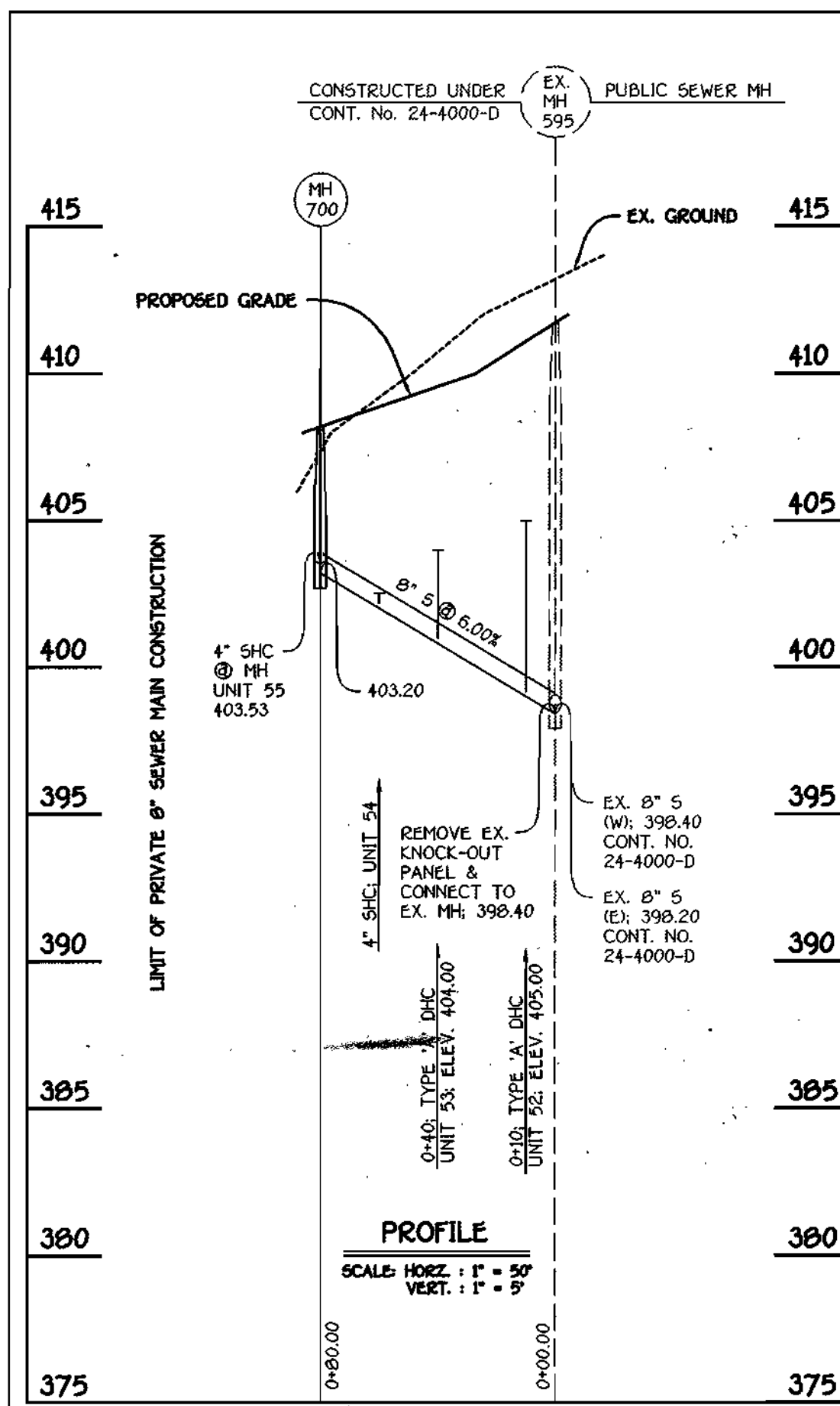
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Signature: [Signature] Date: 9/10/03
 Chief, Division of Land Development
 Signature: [Signature] Date: 9/10/03
 Chief, Development Engineering Division
 Signature: [Signature] Date: 9/10/03
 Director - Department of Planning and Zoning

PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK	PHASE 2	UNITS 52-55, 66-77, AND 91-106

PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15449 - 15454	4	MXD-6	46	6TH	6068.02

WATER CODE: E10
 SEWER CODE: 7602000

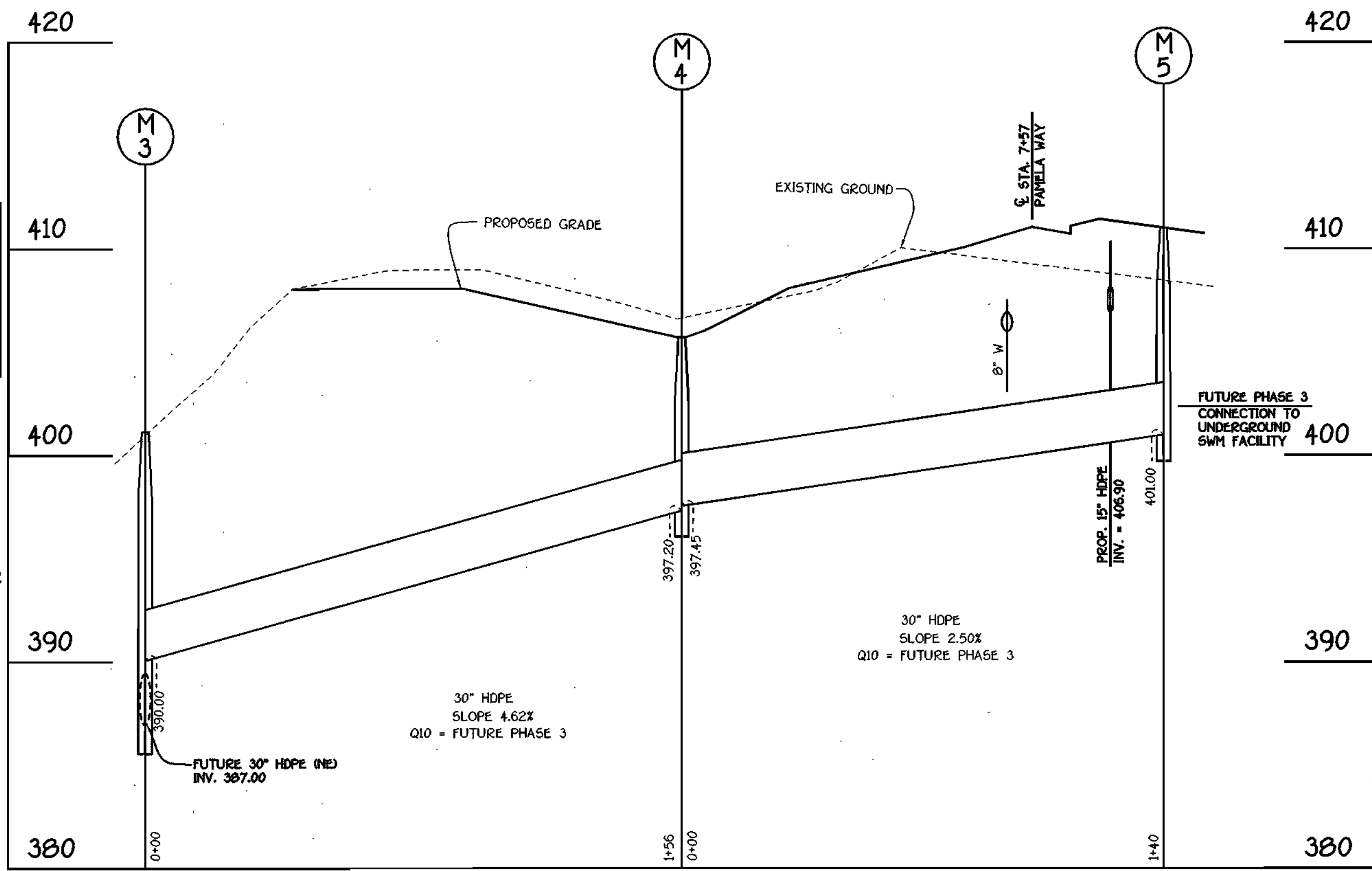
SEDIMENT AND EROSION CONTROL PLAN
CHERRYTREE PARK
PHASE 2
BULK PARCELS 'E' AND 'F'
 (UNITS 52-55, 66-77 AND 91-106) (SINGLE FAMILY ATTACHED CONDOMINIUMS)
 ZONED: MXD-6
 TAX MAP No: 46 PARCEL: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1"=30' DATE: APRIL 10, 2003
 SHEET 3 OF 10 **SDP 03-52**



NO.		NORTHING	EASTING	RIM ELEVATION
700	COLLECTOR SEWER MAIN*	537378.48	1340534.38	408.20
705	COLLECTOR SEWER MAIN*	537113.76	134042.54	410.60
710	COLLECTOR SEWER MAIN*	537086.65	1340106.62	409.90

UNIT	M.C.E.	UNIT	M.C.E.
52	409.08	91	405.90
53	408.12	92	406.04
54	408.25	93	406.10
55	407.65	94	406.16
56*	404.30	95	406.30
57*	404.80	96	406.33
58*	404.70	97	406.45
59**	405.30	98	406.55
70	405.67	99	406.69
71**	407.98	100	406.79
72**	408.28	101	406.85
73**	409.14	102	406.94
74**	414.10	103	406.61
75**	415.10	104	405.96
76**	416.10	105	407.10
77**	417.60	106	407.29

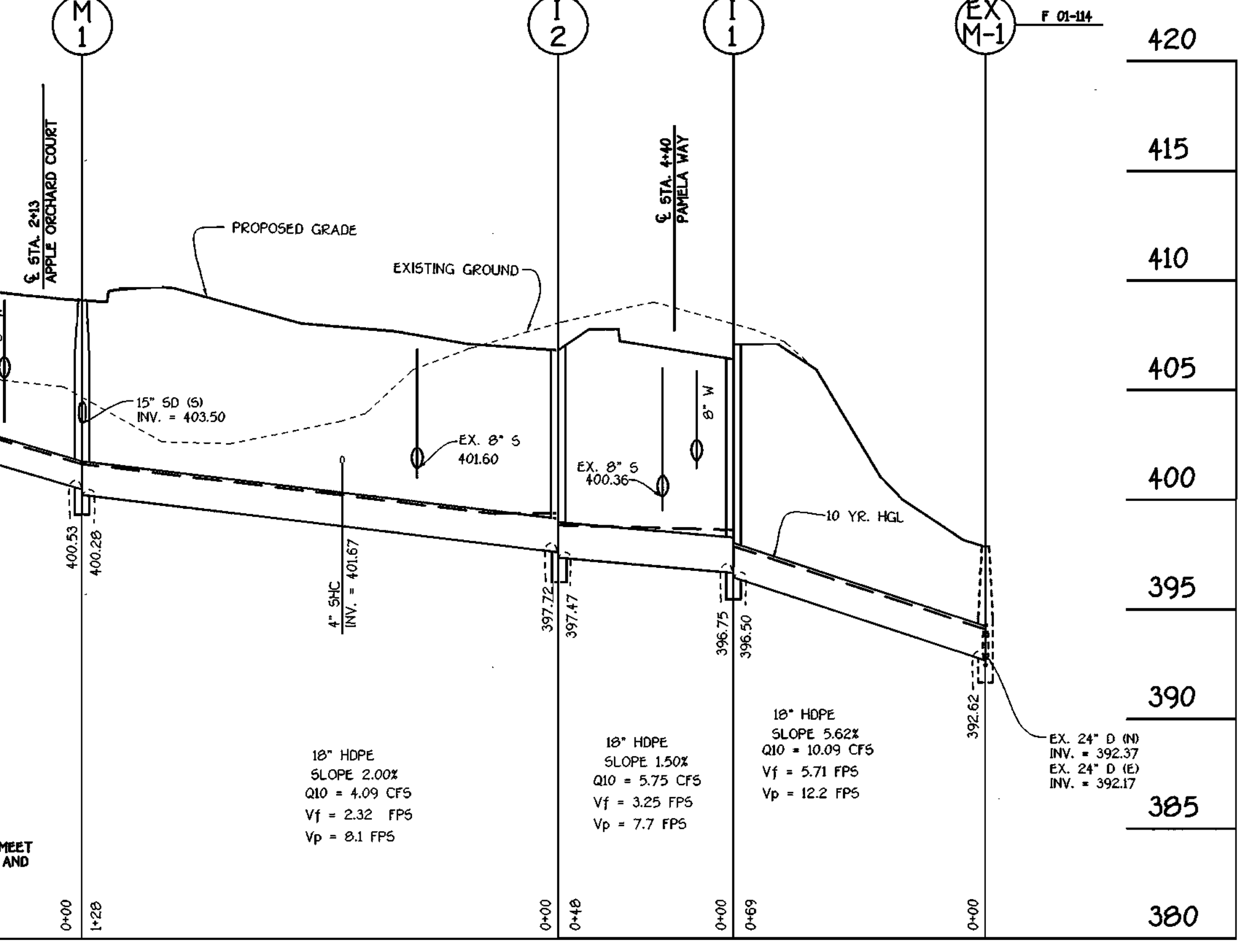
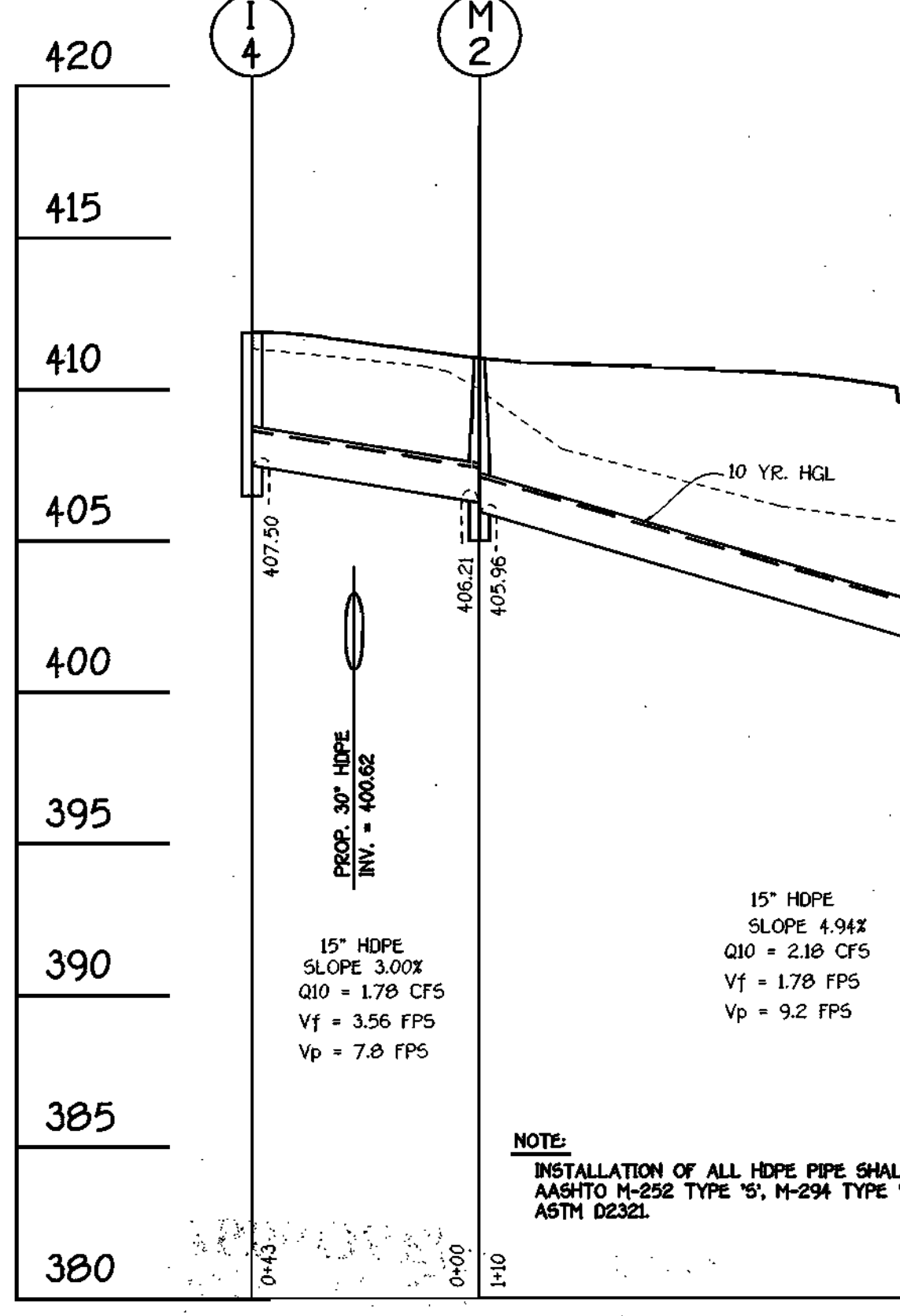
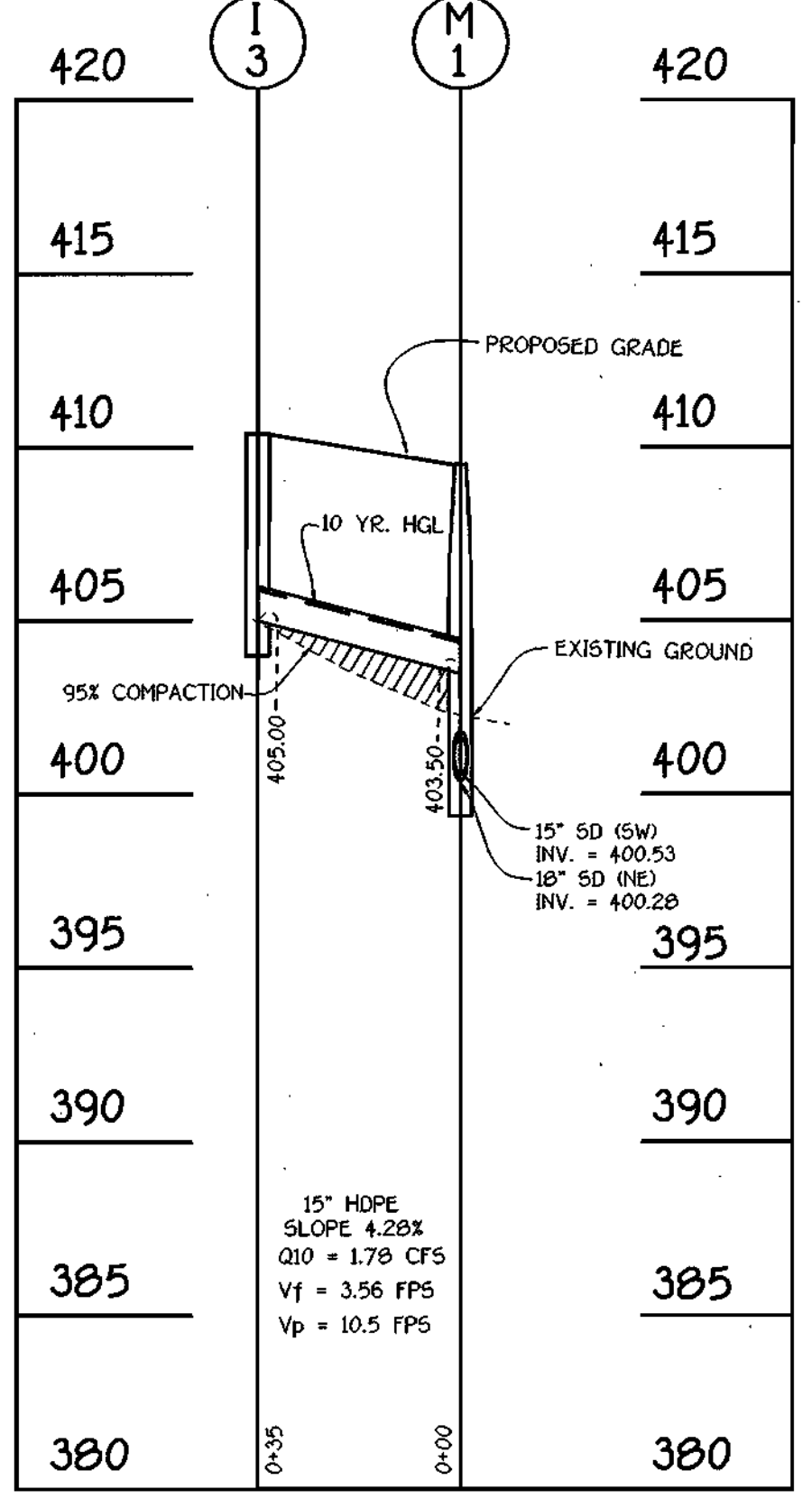
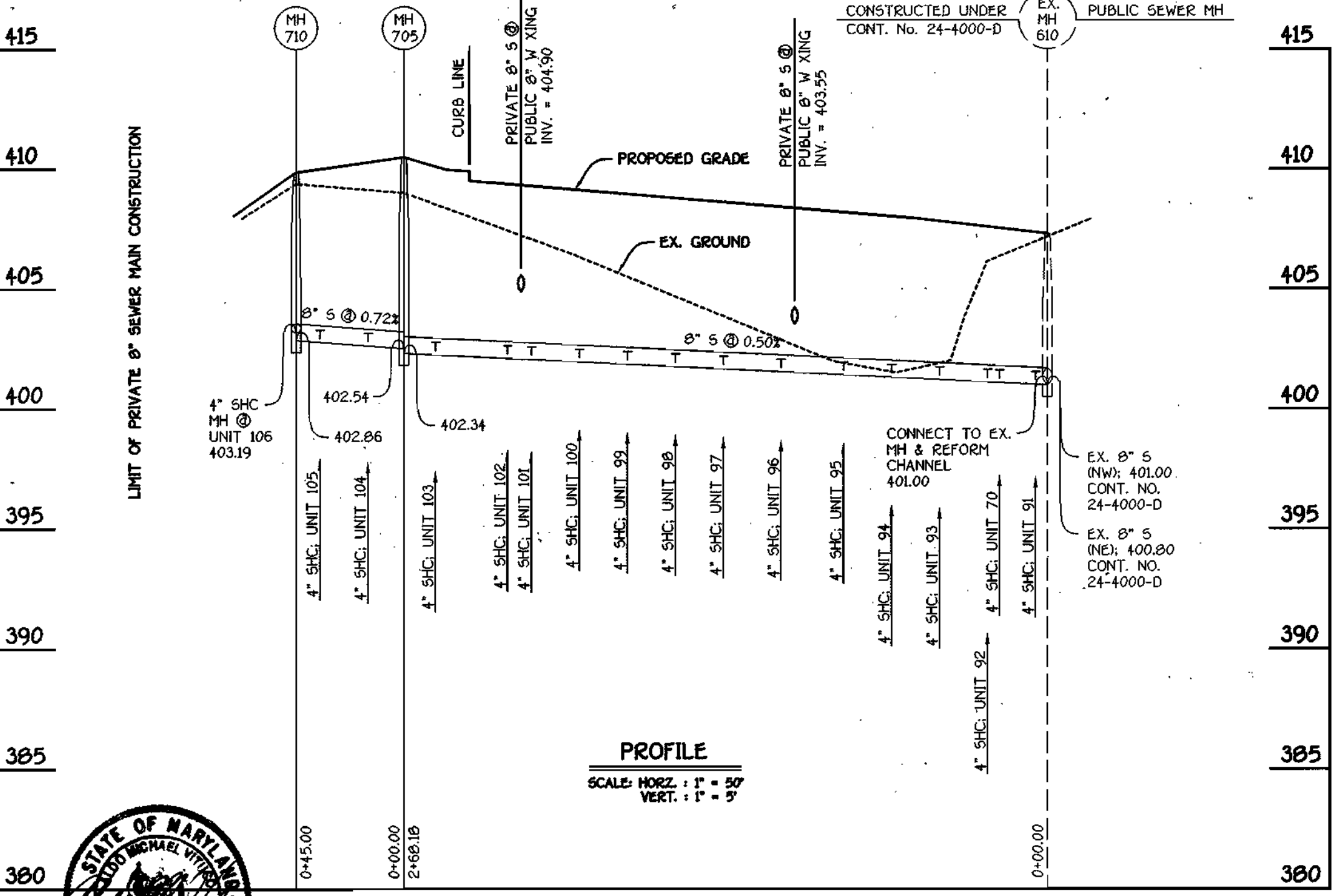
NOTE: * UNITS PROVIDED WITH PUBLIC SEWER HOUSE CONNECTIONS UNDER PUBLIC WATER & SEWER CONTRACT # 24-4000-D
 ** UNITS PROVIDED WITH PUBLIC SEWER HOUSE CONNECTIONS UNDER PUBLIC WATER & SEWER CONTRACT # 24-4089-D



STRUCTURE No.	TOP ELEV.	INV. IN	INV. OUT	ROAD NAME	ROAD STATION	OFFSET	TYPE	REMARKS
I-1	407.33	396.75	396.50	PAMELA WAY	4+28	12' LT	A-10	SD-4.41
I-2	406.80	397.72	397.47	PAMELA WAY	4+53	27' RT		SD-4.14
I-3	409.95	-	405.00	APPLE ORCHARD DRIVE	1+73	12' LT	WR	SD-4.38
I-4	410.32	-	406.00	OAK LAWN DRIVE	1+88	12' LT	WR	SD-4.38
M-1	409.5	403.50	400.28	PAMELA WAY	5+52	46' RT	STD. PRECAST MANHOLE	MD-384.01
M-2	411.00	406.21	405.96	PAMELA WAY	4+37	22' RT	STD. PRECAST MANHOLE	MD-384.01
M-3	400.50	390.00	FUTURE	N 536.973.27 E 1340.177.09	-	-	STD. PRECAST MANHOLE	MD-384.01
M-4	405.65	397.45	397.20	N 537.076.43 E 1340.080.06	-	-	STD. PRECAST MANHOLE	MD-384.01
M-5	411.00	FUTURE	401.00	N 537.182.95 E 1340.153.96	-	-	STD. PRECAST MANHOLE	MD-384.01

8" SEWER: UNITS 52 THRU 55

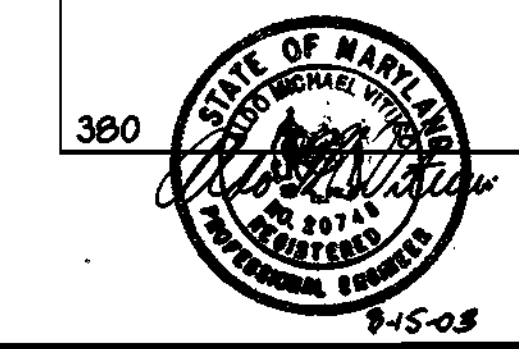
STORM DRAIN PROFILE (PRIVATE)



STORM DRAIN PROFILE (PRIVATE)

STORM DRAIN PROFILE (PRIVATE)

8" SEWER: UNITS 70 & 91 THRU 106



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELKTON CITY, MARYLAND 20622
 410.468.3200

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: MARCH 6, 2003

ENGINEER'S CERTIFICATE
 I certify that the erosion and sediment control represents a practical and workable plan based on the best professional knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: Philip F. Barber Date: 3/5/03
 DEVELOPER'S CERTIFICATE
 I/We certify that the development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (Print name below signature) Date: Philip F. Barber 7/29/03
 MR. PHILIP F. BARBER, DIVISION PRESIDENT

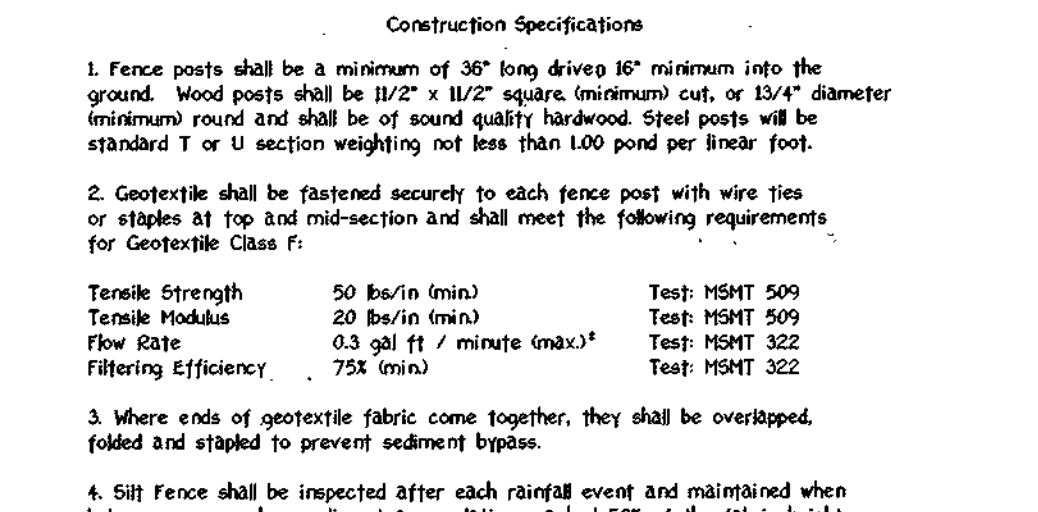
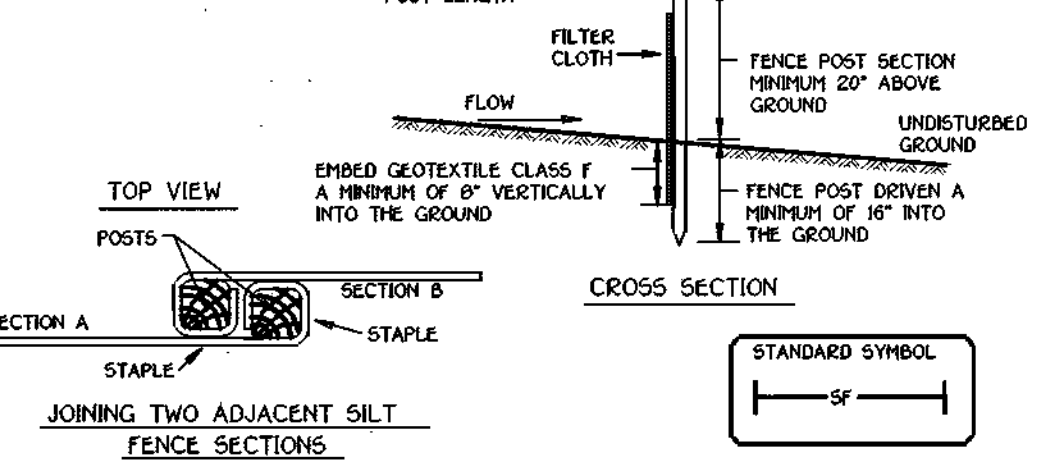
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Date: 9/10/03
 Chief, Development Engineering Division
 Date: 9/12/03
 Director - Department of Planning and Zoning
 Date: 9/12/03
 PROJECT: CHERRYTREE PARK SECTION/AREA: PHASE 2 LOT NO.: UNITS 52-55, 66-77, AND 91-106
 OWNER: CHERRYTREE II LLC WINCHESTER HOMES, INC. SUITE 300 6905 ROCKLEDGE ROAD BETHESDA, MARYLAND 20817 C/O MR. MIKE CONLEY
 DEVELOPER: CHERRYTREE II LLC C/O U S HOME SUITE 300 10230 NEW HAMPSHIRE AVENUE SILVER SPRING MARYLAND 20903 C/O MR. PHILIP F. BARBER, DIVISION PRESIDENT

PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15449 - 15454	4	MXD-6	46	6TH	6068.02
16101 - 16103					
WATER CODE: E18			SEWER CODE: 7602000		

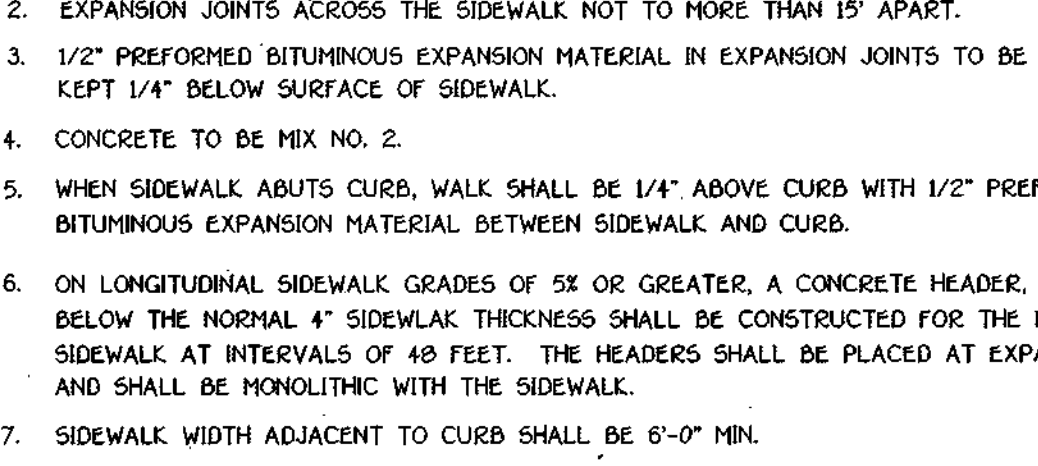
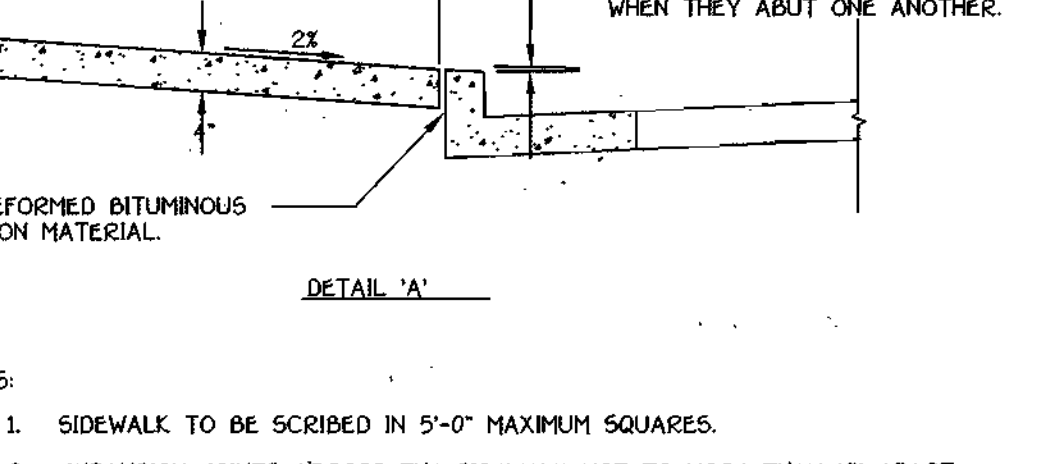
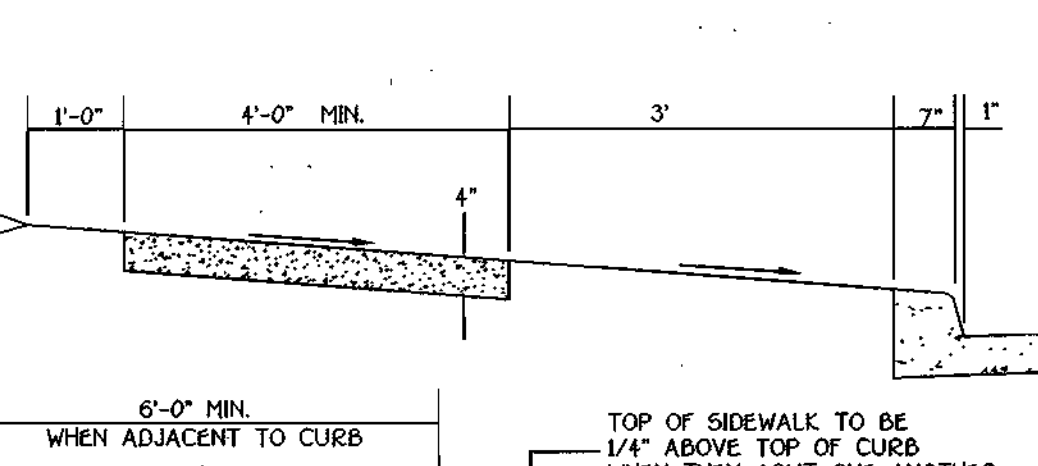
PRIVATE SEWER AND STORM DRAIN PROFILES
 CHERRYTREE PARK
 PHASE 2
 BULK PARCELS 'E' AND 'F'
 (UNITS 52-55, 66-77 AND 91-106) (SINGLE FAMILY ATTACHED CONDOMINIUMS)
 ZONED: MXD-6
 TAX MAP No: 46 PARCEL: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: A5 SHOWN DATE: APRIL 10, 2003
 SHEET 4 OF 10 SDF 03-52

VEGETATIVE STABILIZATION DEFINITION

Using vegetation as cover for barren soil to protect it from forces that cause erosion. Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil...



Construction Specifications for Silt Fence: 1. Length - minimum of 50' x 30' for single residence lot. 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.

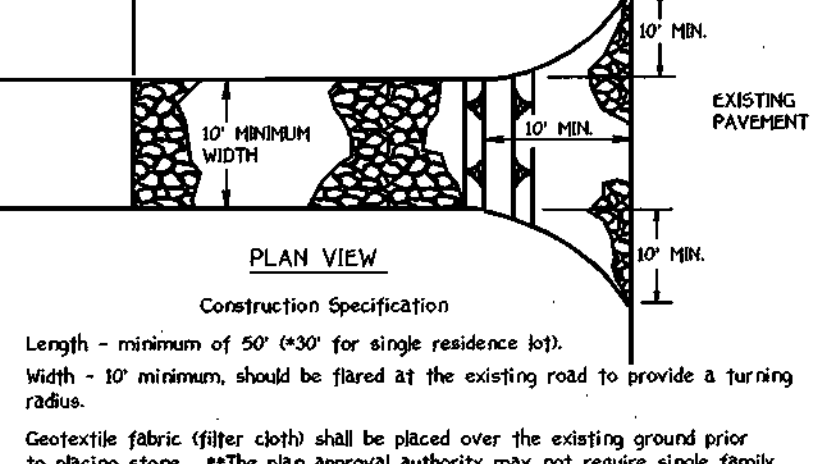
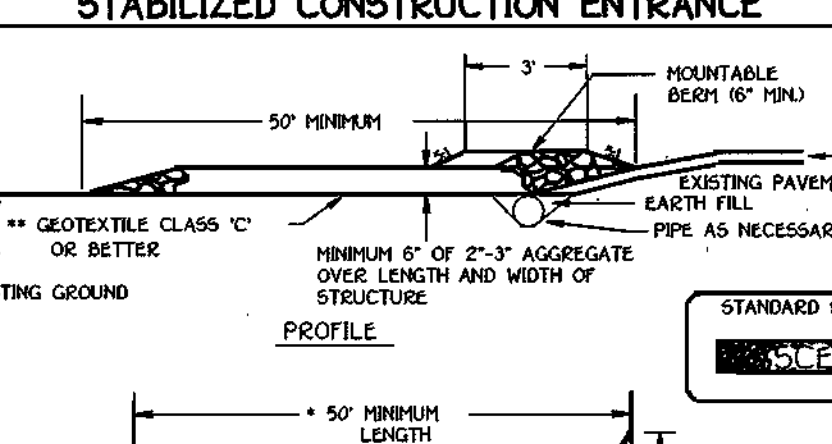


Construction Specifications for Concrete Sidewalk: 1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES. 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.

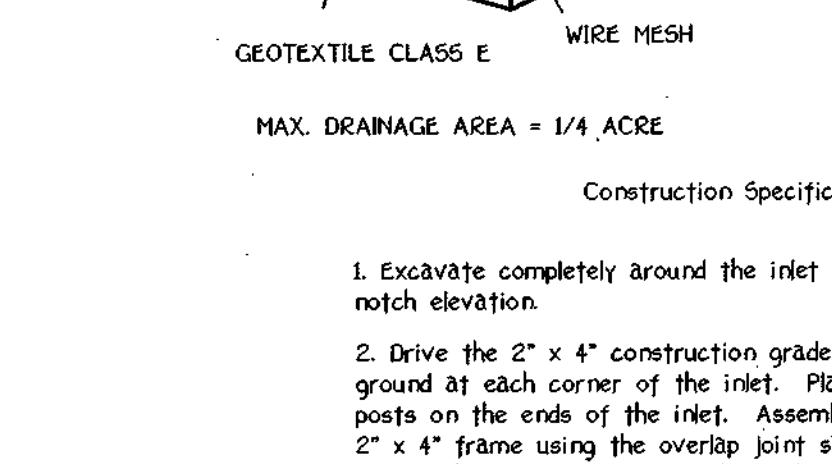
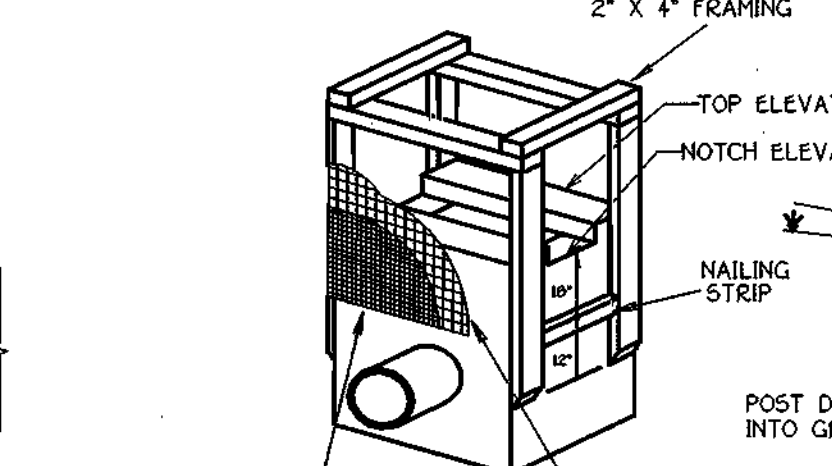
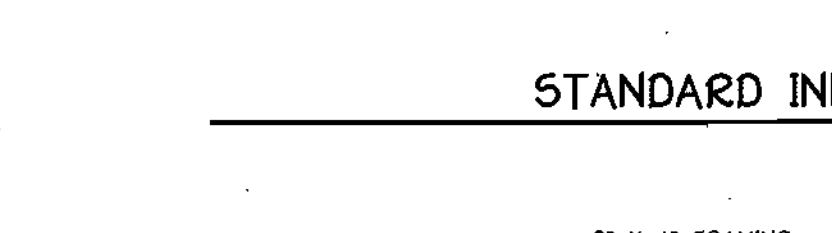
Construction Specifications for Standard Inlet Protection: 1. Excavate completely around the inlet to a depth of 10" below the notch elevation. 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet.

Construction Specifications for Textured Concrete Paving Section: 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.

STABILIZED CONSTRUCTION ENTRANCE



Construction Specifications for Stabilized Construction Entrance: 1. Length - minimum of 50' x 30' for single residence lot. 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.



Construction Specifications for Concrete Sidewalk: 1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES. 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.

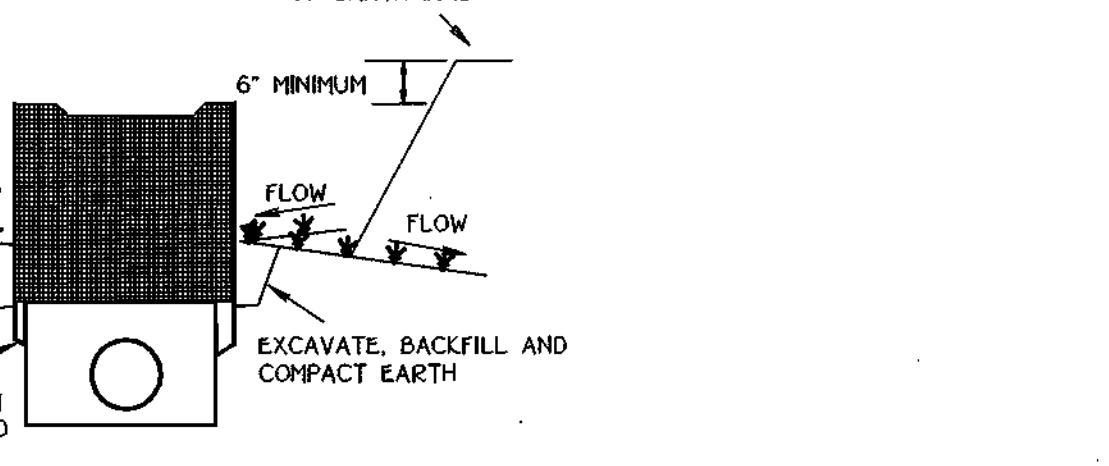
Construction Specifications for Standard Inlet Protection: 1. Excavate completely around the inlet to a depth of 10" below the notch elevation. 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet.

Construction Specifications for Textured Concrete Paving Section: 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.

SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (315-1655).
- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.

Table with 2 columns: SITE ANALYSIS and TOTAL AREA OF ROOFED AREA DISTURBED. Values include 41078 ACRES, 292 ACRES, 197 ACRES, 1.05 ACRES, 5000 CUYDVS, 5000 CUYDVS, 5000 CUYDVS, 1/4 CUYDVS.



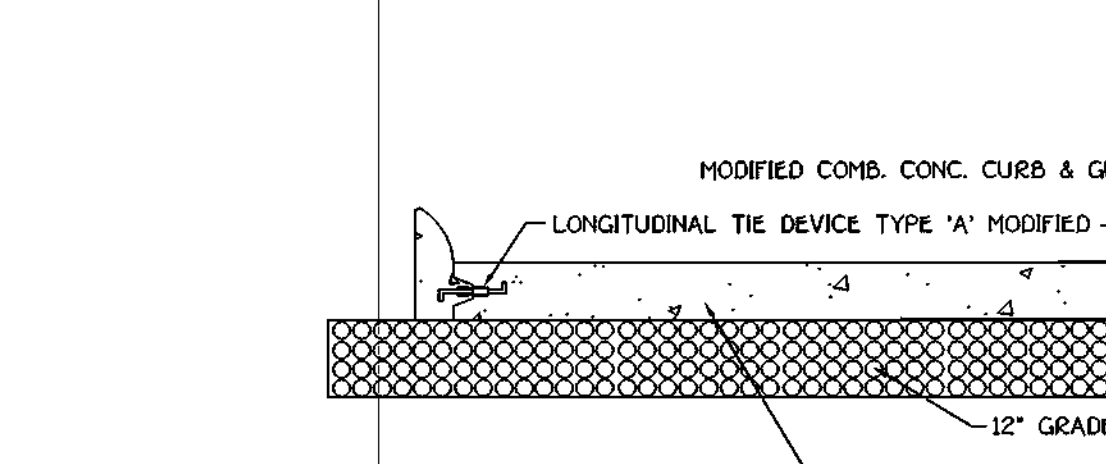
Construction Specifications for Concrete Sidewalk: 1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES. 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.

Construction Specifications for Standard Inlet Protection: 1. Excavate completely around the inlet to a depth of 10" below the notch elevation. 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet.

Construction Specifications for Textured Concrete Paving Section: 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMITS. (2 WEEKS)
- 2. NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION DIVISION AT 410-313-8770 AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR DE-INTERSTABILIZATION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

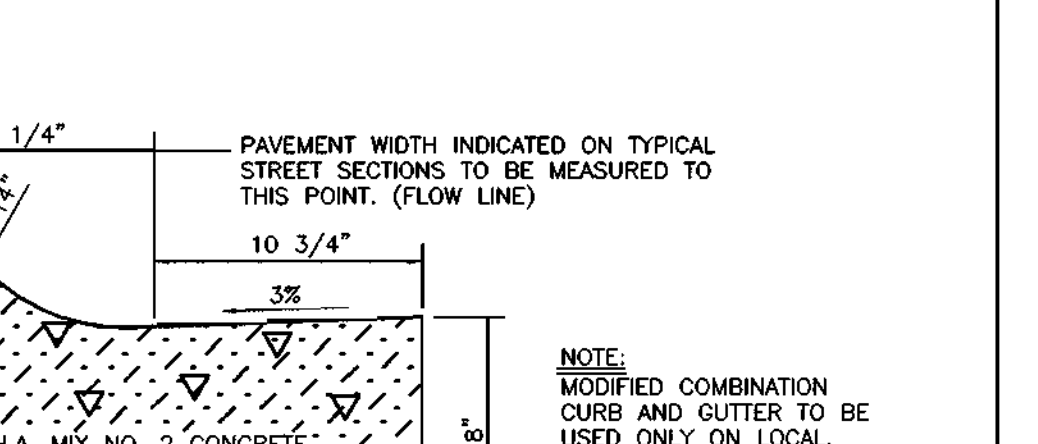


Construction Specifications for Concrete Sidewalk: 1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES. 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.

Construction Specifications for Standard Inlet Protection: 1. Excavate completely around the inlet to a depth of 10" below the notch elevation. 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet.

Construction Specifications for Textured Concrete Paving Section: 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.

MODIFIED COMBINATION CURB AND GUTTER



Construction Specifications for Modified Combination Curb and Gutter: 1. Length - minimum of 50' x 30' for single residence lot. 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.



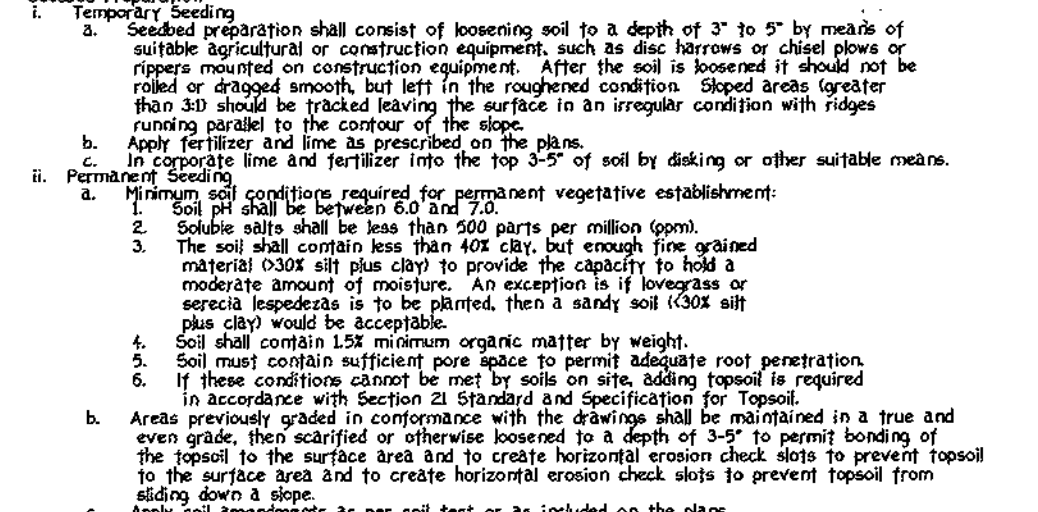
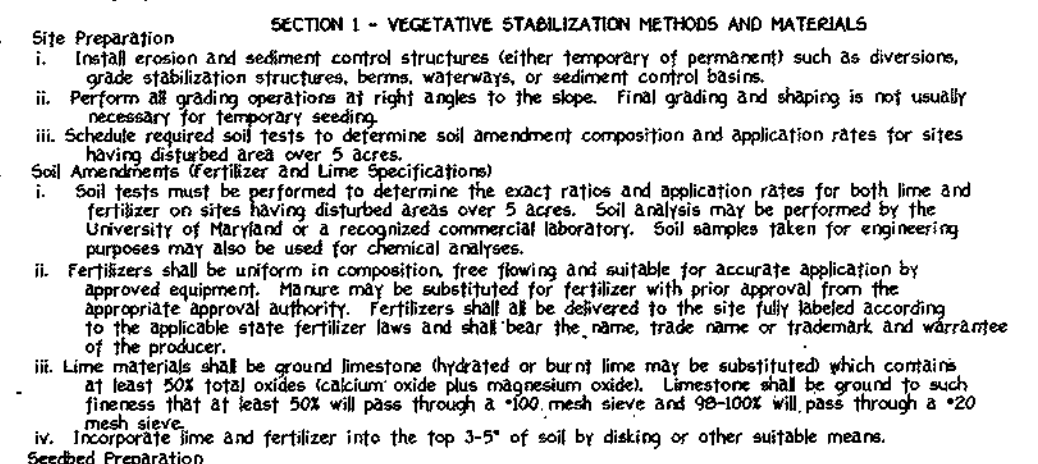
Construction Specifications for Concrete Sidewalk: 1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES. 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.

Construction Specifications for Standard Inlet Protection: 1. Excavate completely around the inlet to a depth of 10" below the notch elevation. 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet.

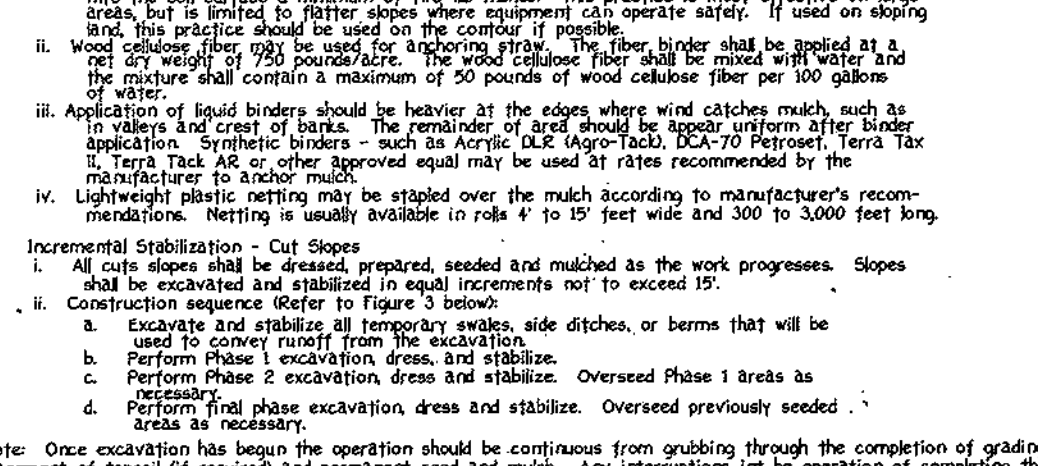
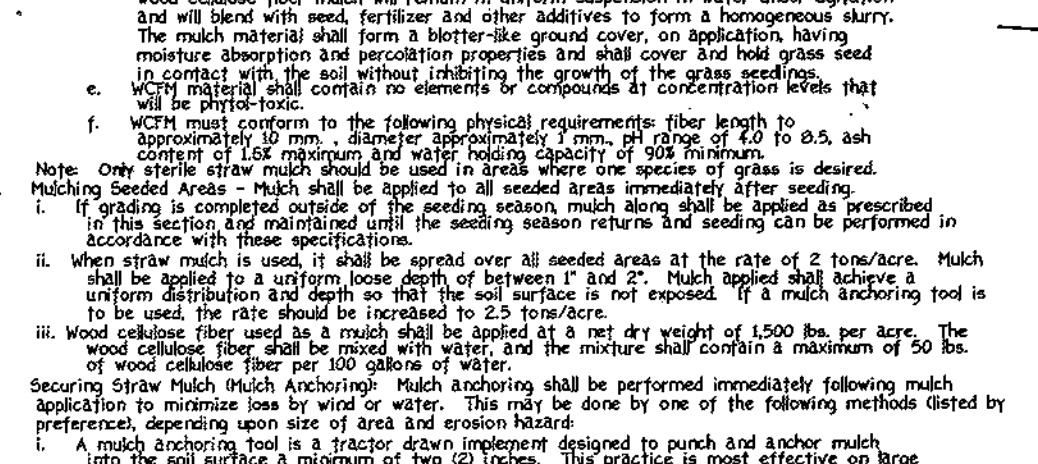
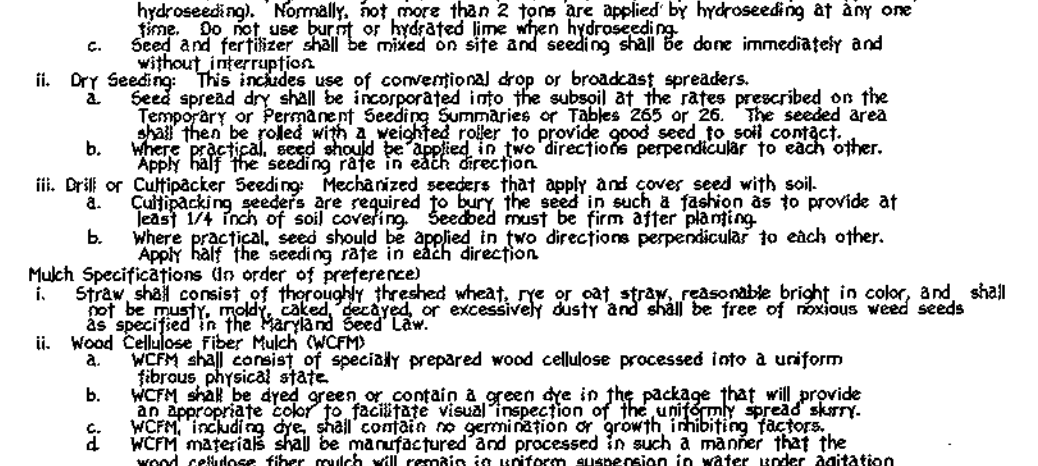
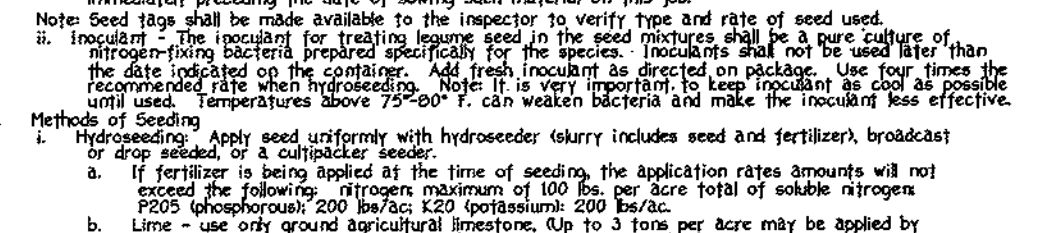
Construction Specifications for Textured Concrete Paving Section: 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.

Construction Specifications for Modified Combination Curb and Gutter: 1. Length - minimum of 50' x 30' for single residence lot. 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.

Using vegetation as cover for barren soil to protect it from forces that cause erosion. Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil...



Construction Specifications for Silt Fence: 1. Length - minimum of 50' x 30' for single residence lot. 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.



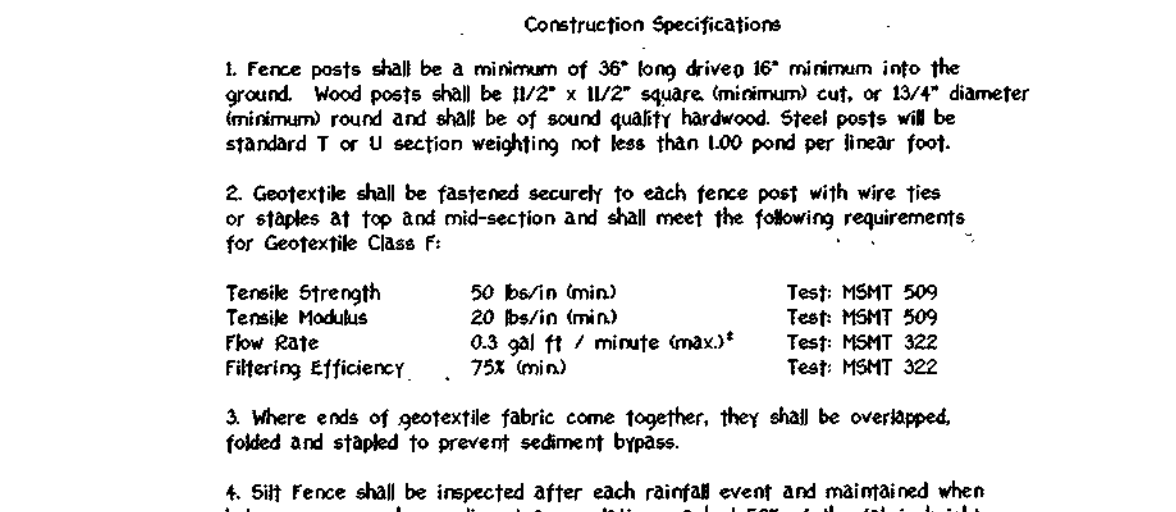
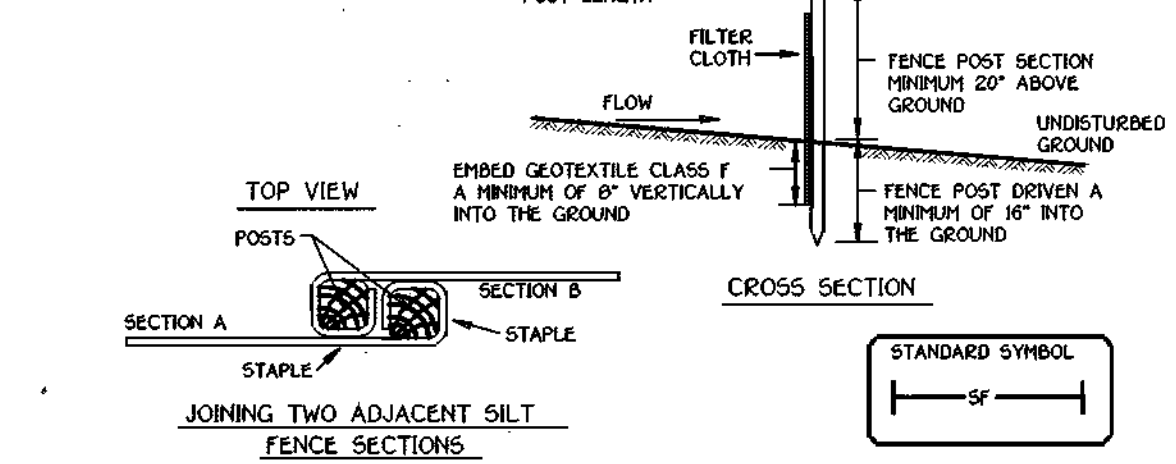
Construction Specifications for Concrete Sidewalk: 1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES. 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.

Construction Specifications for Standard Inlet Protection: 1. Excavate completely around the inlet to a depth of 10" below the notch elevation. 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet.

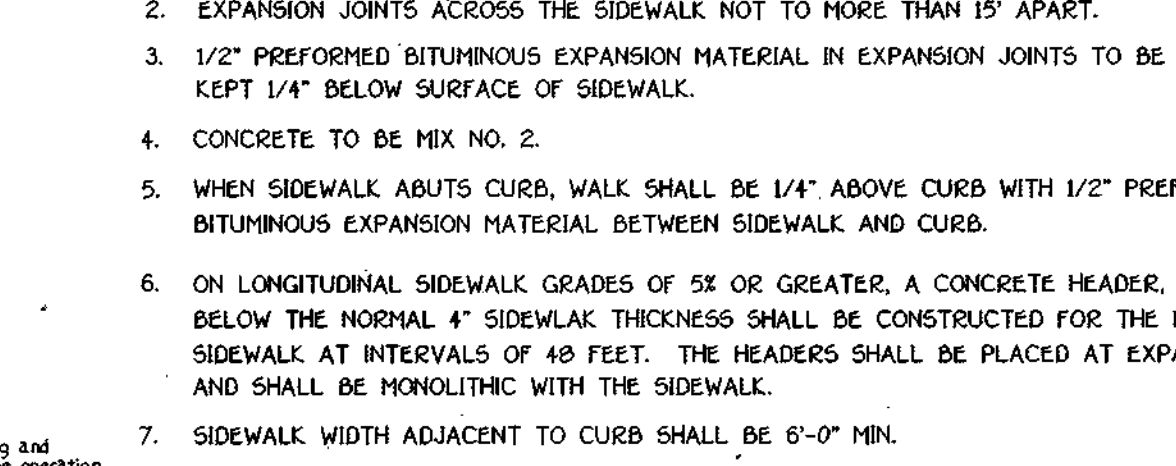
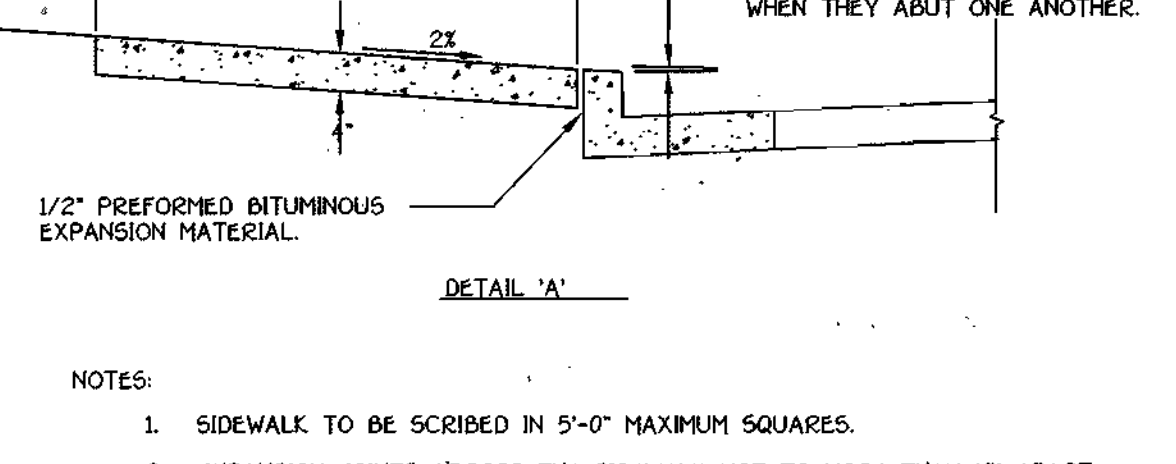
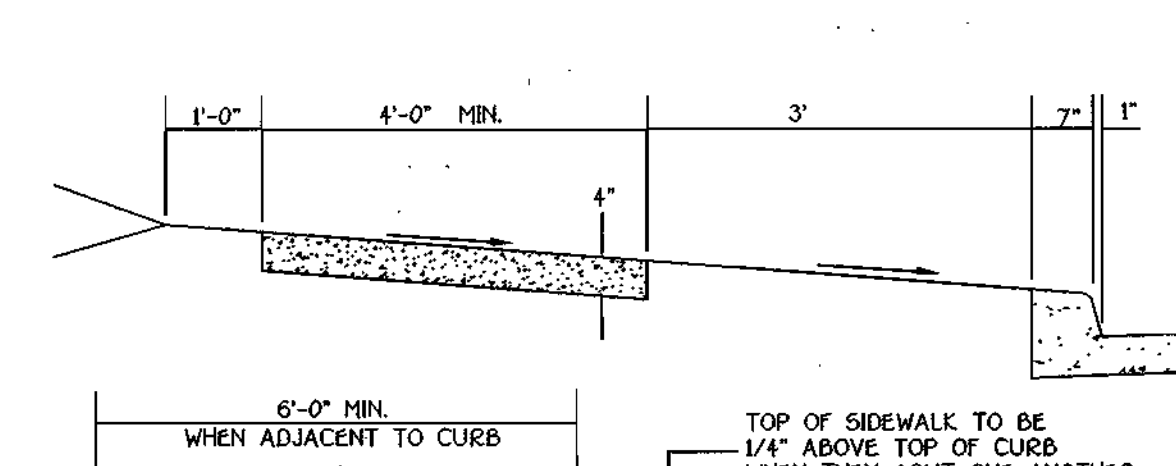
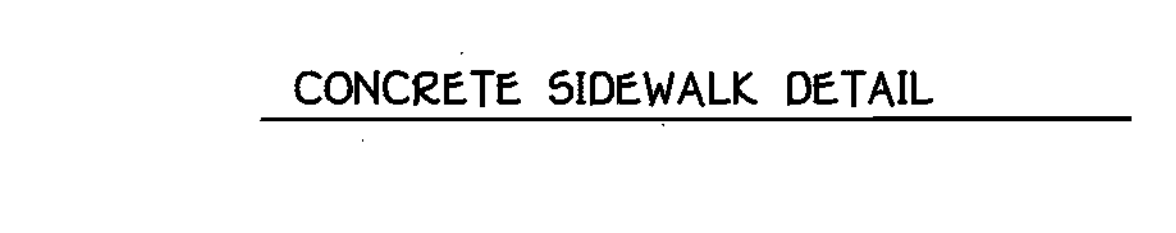
Construction Specifications for Textured Concrete Paving Section: 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.

VEGETATIVE STABILIZATION DEFINITION

Using vegetation as cover for barren soil to protect it from forces that cause erosion. Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil...



Construction Specifications for Silt Fence: 1. Length - minimum of 50' x 30' for single residence lot. 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.



Construction Specifications for Concrete Sidewalk: 1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES. 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.

Construction Specifications for Standard Inlet Protection: 1. Excavate completely around the inlet to a depth of 10" below the notch elevation. 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet.

Construction Specifications for Textured Concrete Paving Section: 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD SPECIFICATION AND DETAILS FOR CONSTRUCTION.

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS. CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE, CLUETT, MARYLAND 21042. (410) 461-2055

STATE OF MARYLAND PROFESSIONAL ENGINEER'S CERTIFICATE. I certify that the design and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

APPROVED PLANNING BOARD OF HOWARD COUNTY. DATE: MARCH 6, 2003. ROADWAY INFORMATION CHART table with columns: ROAD NAME, CLASSIFICATION, DESIGN SPEED, ZONING, SECTION LIMITS, PAVING SECTION.

ENGINEER'S CERTIFICATE. I certify that the design and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

APPROVED DEPARTMENT OF PLANNING AND ZONING. ROADWAY INFORMATION CHART table with columns: ROAD NAME, CLASSIFICATION, DESIGN SPEED, ZONING, SECTION LIMITS, PAVING SECTION.

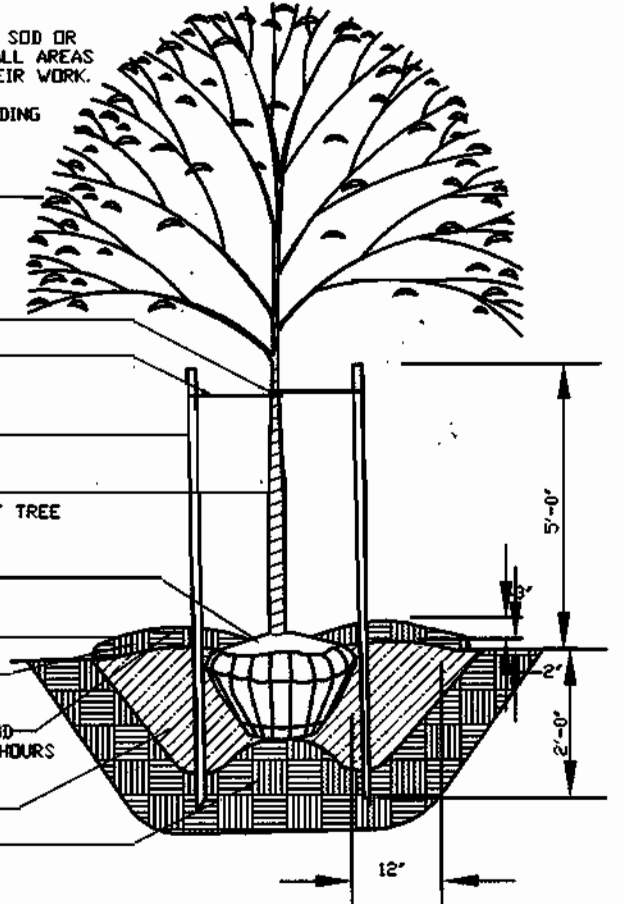
TYPICAL ROADWAY SECTION, SEDIMENT CONTROL NOTES AND DETAILS. CHERRYTREE PARK PHASE 2 BULK PARCELS 'E' AND 'F'. TAX MAP No: 46 PARCEL: 156. SCALE: A5 SHOWN DATE: APRIL 10, 2003. SHEET 5 OF 10 SDP 03-52

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	32 SFA
NUMBER OF TREES REQUIRED (1:10 SFA: 1:3 DU APTS)	32
NUMBER OF SHADE TREES PROVIDED	26
SHADE TREES	26
OTHER TREES (2:1 SUBSTITUTION)	12

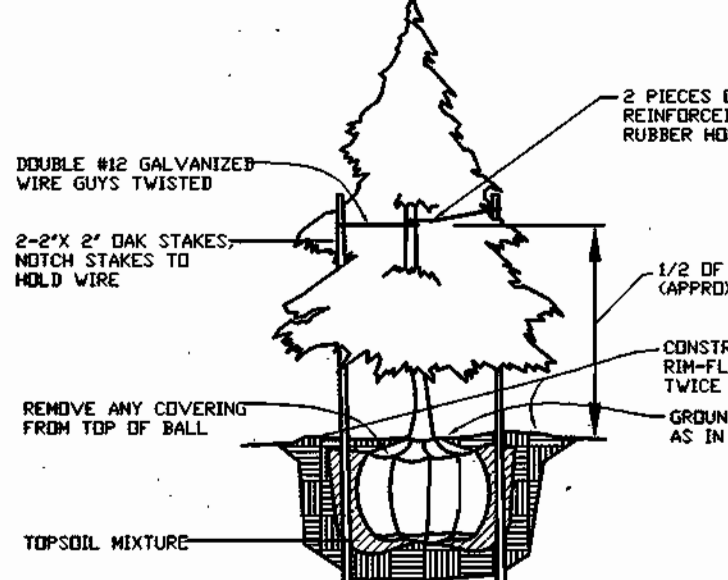
NOTE: SEE SHEET 7 FOR PLANT LIST AND SURETY AMOUNTS ASSOCIATED WITH SCHEDULES 'B' & 'C'.

AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

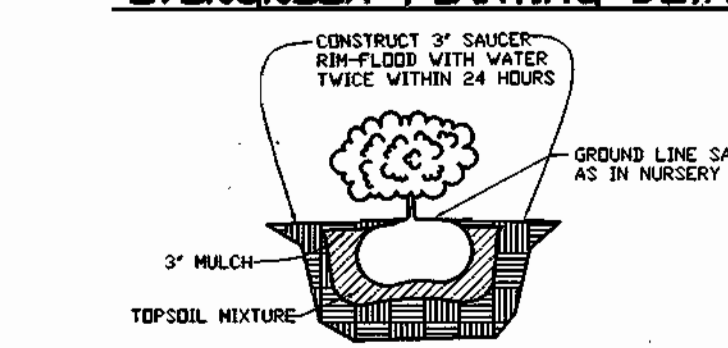
NOTE: CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRIP MULCH ON ALL AREAS DISTURBED AS A RESULT OF THEIR WORK. SPRAY WITH WILT-PROOF ACCORDING TO MANUFACTURER'S STANDARDS.



TREE PLANTING DETAIL
PLANTING SPECIFICATIONS



EVERGREEN PLANTING DETAIL



SHRUB PLANTING DETAIL

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestation or objectionable infestations. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with defective leaders will not be accepted. All plants shall be freshly dug; no heat-damaged plants from cold storage will be accepted.

Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area" (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all agenda.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope.

Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure, Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material, Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

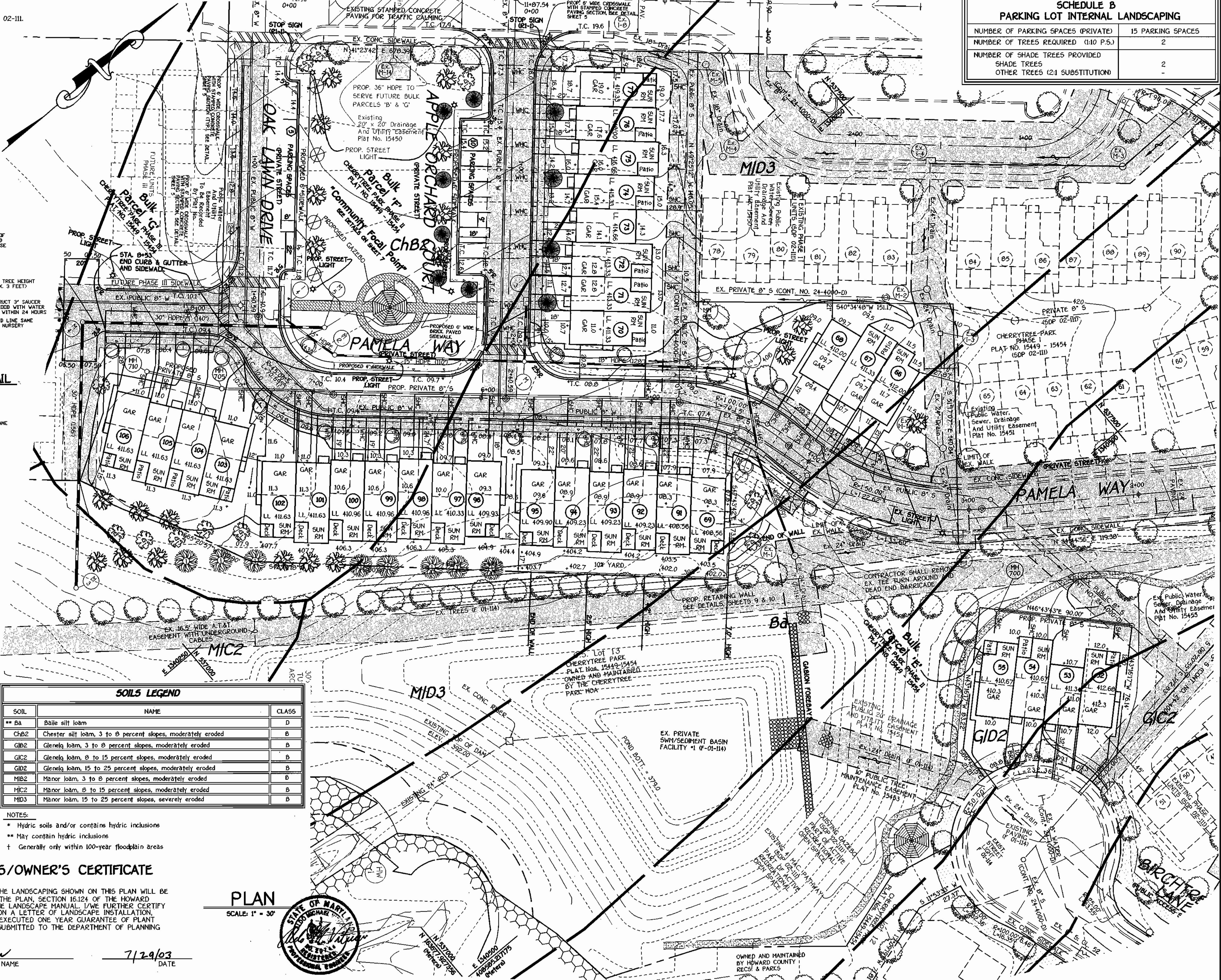
All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded.

This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.

STREET TREE SCHEDULE				
SYMBOL	QUANTITY	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
○	20	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	2 1/2"-3" CAL.	LOCATED ALONG PAMELA WAY
●	10	PLATANUS OCCIDENTALIS BLOODGOOD LONDON PLANETREE	2 1/2"-3" CAL.	LOCATED ALONG APPLE ORCHARD COURT
⊗	4	FRAXINUS AMERICANA 'AUTUMN PURPLE' WHITE ASH	2 1/2"-3" CAL.	LOCATED ALONG OAK LAWN DRIVE

NOTE: SEE SURETY NOTE BELOW PLANT LIST ON SHEET 7.

STREET TREE SUMMARY:
PAMELA WAY STA. 3+90 TO 7+65 = 375 L.F. / 40 FT. PER TREE x 2 SIDES = 20 STREET TREES REQUIRED
APPLE ORCHARD COURT STA. 0+30 TO 2+20 = 190 L.F. / 40 FT. PER TREE x 2 SIDES = 10 STREET TREES REQUIRED
OAK LAWN COURT STA. 0+30 TO 1+00 = 150 L.F. / 40 FT. PER TREE x 1 SIDE ONLY = 4 STREET TREES ON NORTH SIDE (SOUTH SIDE TO BE PLANTED IN PHASE 3)
TOTAL NUMBER OF STREET TREES REQUIRED = 34 TREES
TOTAL NUMBER OF STREET TREES PROVIDED = 34 TREES



SOILS LEGEND		
SOIL	NAME	CLASS
** Ba	Baile silt loam	D
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded	B
GbB2	Glenns loam, 3 to 8 percent slopes, moderately eroded	B
GcC2	Glenns loam, 8 to 15 percent slopes, moderately eroded	B
GdD2	Glenns loam, 15 to 25 percent slopes, moderately eroded	B
MbB2	Manor loam, 3 to 8 percent slopes, moderately eroded	B
McC2	Manor loam, 8 to 15 percent slopes, moderately eroded	B
MdD2	Manor loam, 15 to 25 percent slopes, severely eroded	B

NOTES:
* Hydric soils and/or contains hydric inclusions
** May contain hydric inclusions
† Generally only within 100-year floodplain areas

DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Philip F. Barber
DEVELOPER'S/OWNER'S NAME

7/29/03
DATE

FISHER, COLLINS & CARTER, INC.
ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 8672 BALTIMORE NATIONAL FREE
BLADENBORO, MARYLAND 20612
4101 481 - 2200

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 7/29/03

ENGINEER'S CERTIFICATE

I certify that the erosion and sediment control represents a practical and workable plan based on knowledge of the site conditions and that it was prepared in accordance with the "Natural Resource Conservation Districts of the Howard Soil Conservation District."

John K. Robertson
7/15/03
DATE

DEVELOPER'S CERTIFICATE

I/WE certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Philip F. Barber
7/29/03
DATE

Reviewed for HOWARD SCD and meets Technical Requirements.

Jim Meyer 7/14/03
John K. Robertson 7/14/03

OWNER
CHERRYTREE II LLC
WINCHESTER HOMES, INC.
SUITE 800
6905 ROCKLEDGE ROAD
BETHESDA, MARYLAND 20817
C/O MR. MIKE CONLEY

DEVELOPER
CHERRYTREE II LLC
SUITE 300
10230 NEW HANOVER AVENUE
SILVER SPRING, MARYLAND 20903
C/O MR. PHILIP F. BARBER, DIVISION PRESIDENT

APPROVED DEPARTMENT OF PLANNING AND ZONING

John K. Robertson 7-11-03
Philip F. Barber 7/14/03

PROJECT
CHERRYTREE PARK

SECTION/AREA
PHASE 2

LOT NO.
UNITS 52-55, 66-77, AND 91-106

PLAT NO.
15449 - 15454
16101 - 16109

BLOCK NO.
4

ZONE
MXD-6

TAX
46

ELEC. DIST.
6TH

CENSUS TR.
6068.02

WATER CODE
E10

SEWER CODE
7602000

LANDSCAPE PLAN AND SOILS MAP

CHERRYTREE PARK PHASE 2

BULK PARCELS 'E' AND 'F'

(UNITS 52-55, 66-77 AND 91-106) (SINGLE FAMILY ATTACHED CONDOMINIUMS)

ZONED: MXD-6

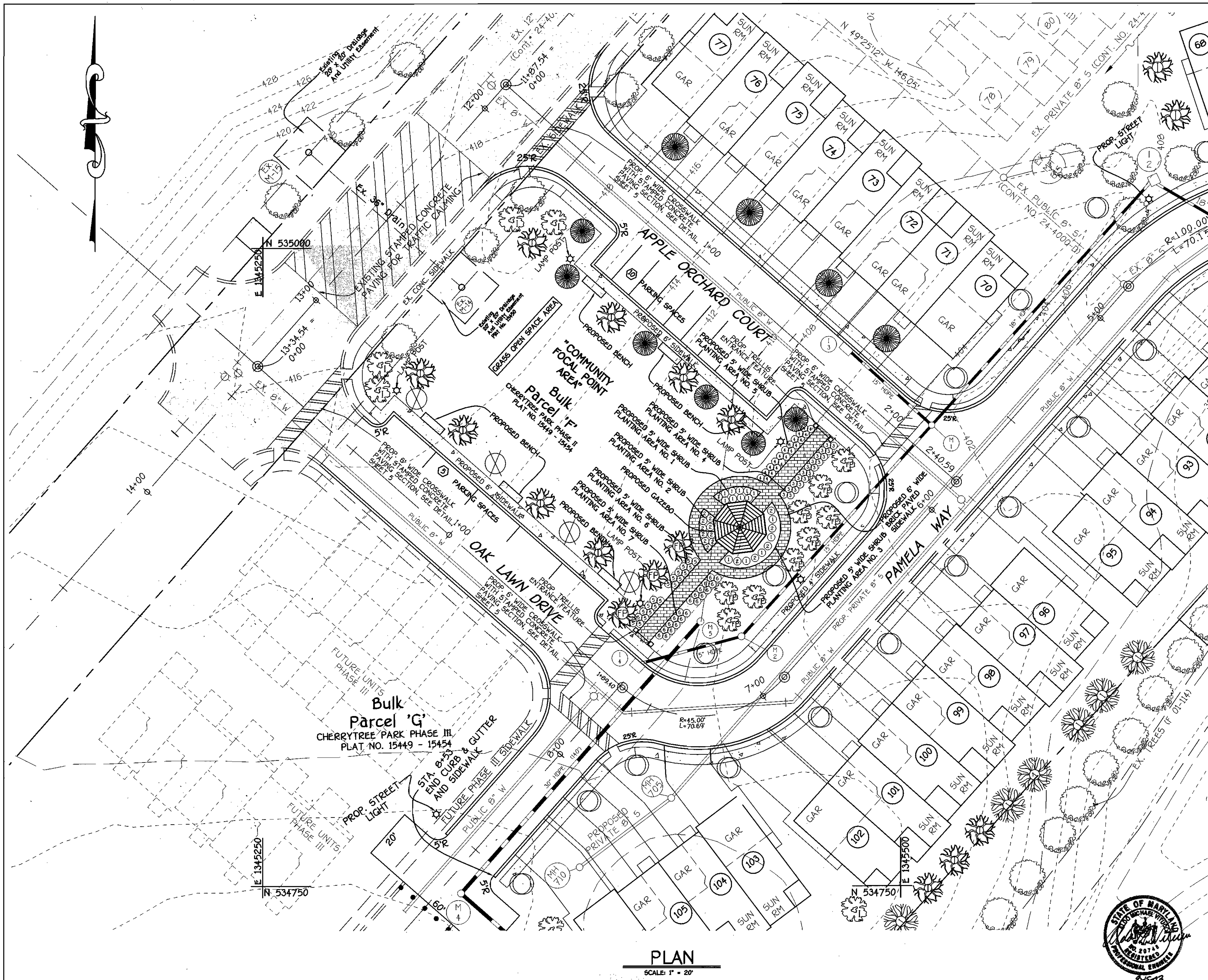
TAX MAP No: 46 PARCEL: 156

SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SCALE: 1"=30' DATE: APRIL 10, 2003

SHEET 6 OF 10 SDP 03-52

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES (PRIVATE)	15 PARKING SPACES
NUMBER OF TREES REQUIRED (1:10 P.S.)	2
NUMBER OF SHADE TREES PROVIDED	2
SHADE TREES	2
OTHER TREES (2:1 SUBSTITUTION)	-



FOCAL POINT PLANTING LIST			
QTY.	KEY	NAME	SIZE
15	①	TAXUS BACCATA 'REPANDENS' / SPREADING ENGLISH YEW	18"-24" sp.
15	②	TAXUS MEDIA 'DENSIFORMIS' / DENSIFORMIS YEW	2-1/2'-3' ht.
20	③	LLEX x CRENATA 'COMPACTA' / COMPACTA JAPANESE HOLLY	2-1/2'-3' ht.
20	④	PYRACANTHA COCCINEA 'LOWBOY' / LOWBOY FIRETHORN	18"-24" sp.
20	⑤	VIBURNUM CARLESII / KOREAN SPICE VIBURNUM	2-1/2'-3' ht.
20	⑥	LLEX VERTICILLATA / WINTERBERRY	3'-4' ht.
9	⑦	CORNUS FLORIDA 'RUBRA' / RED FLOWERING DOGWOOD	8' - 10' HT.
3	⑧	ACER PLATANOIDES 'EMERALD QUEEN' (EMERALD QUEEN NORWAY MAPLE)	2-1/2'-3" CALIPER

PLANT LIST (FOR SCHEDULES B & C)			
QTY.	KEY	NAME	SIZE
12	⑨	CORNUS FLORIDA 'RUBRA' / RED FLOWERING DOGWOOD	8' - 10' HT.
20	⑩	ACER PLATANOIDES 'EMERALD QUEEN' (EMERALD QUEEN NORWAY MAPLE)	2-1/2'-3" CALIPER
8	⑪	QUERCUS PALYSTRIS 'SOVEREIGN' (SOVEREIGN PIN OAK)	2-1/2'-3" CALIPER

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE 34 REQUIRED PHASE II STREET TREES WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$10,200.00 FINANCIAL SURETY FOR THE PHASE II REQUIRED LANDSCAPE TREES WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$15,000.00 FOR THE 40 TREES REQUIRED FOR SCHEDULES 'B' & 'C'. 12 TREES AND 110 SHRUBS FOR THE FOCAL POINT AREA. TOTAL LANDSCAPING SURETY AMOUNT WILL BE \$25,200.00.

PLAN
SCALE: 1" = 20'

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: March 6, 2003

⊙ DENOTES EXISTING TREE AS APPROVED PER F-01-114 & SDP 02-111.

AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIC NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
410.461.2992

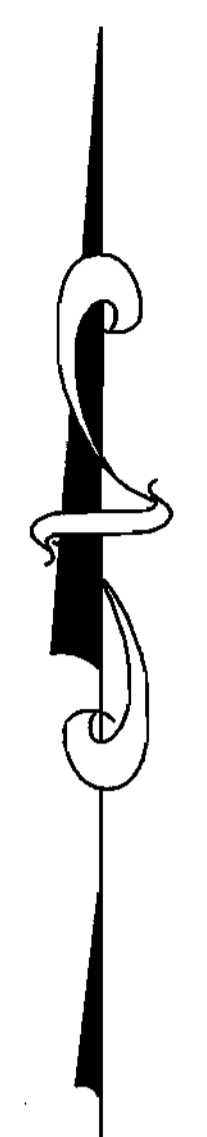
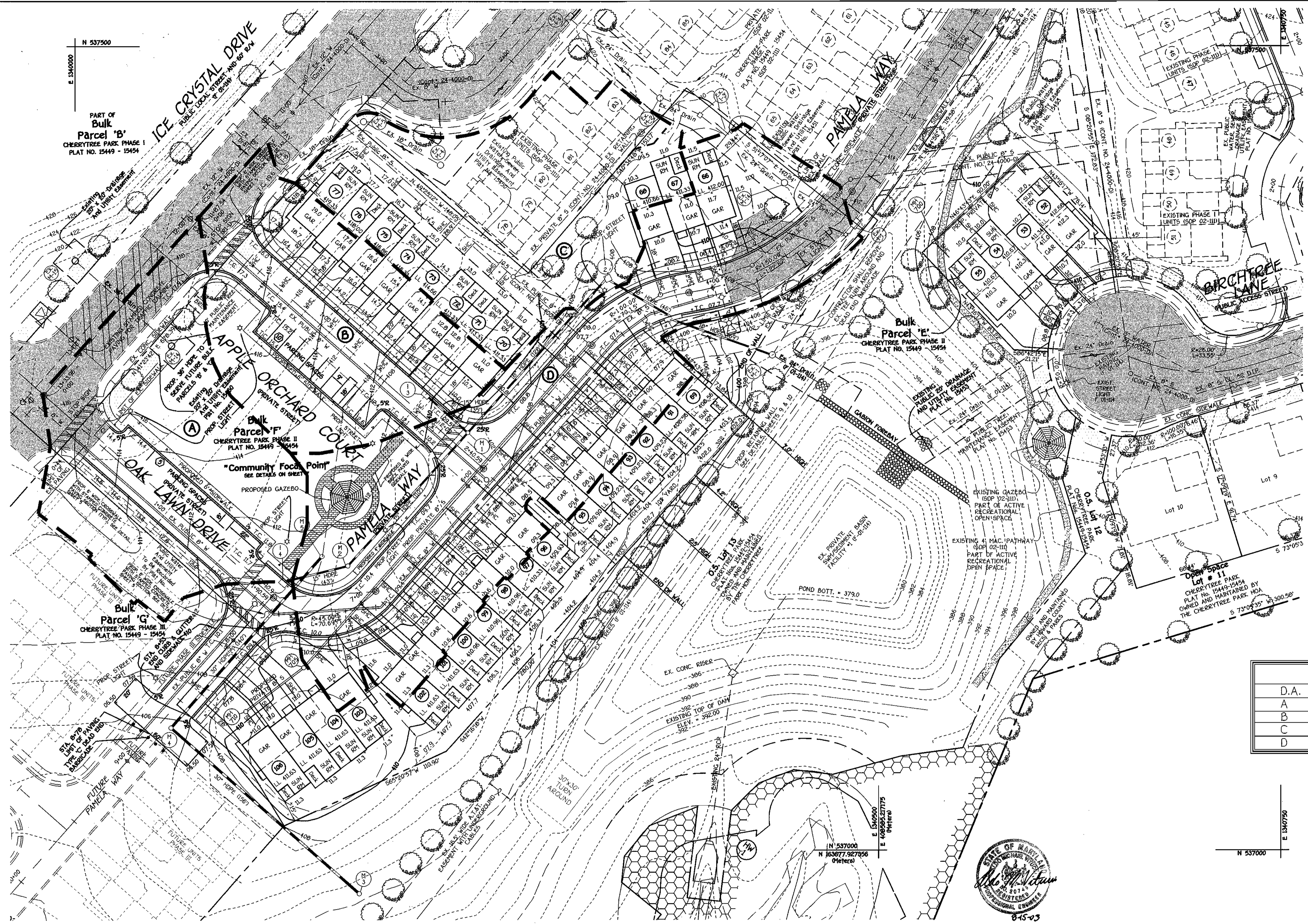
NO.	REVISION	DATE

ENGINEER'S CERTIFICATE
I certify that the design and sediment control represents a practical and workable plan based on my knowledge of the site conditions and that it was prepared in accordance with the provisions of the Howard Soil Conservation District.
Signature: [Signature] Date: 2/15/03
DEVELOPER'S CERTIFICATE
I/we certify that the development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer (Print name below signature): Philip F. Barber Date: 7/29/03
BY: U.S. HOME
MR. PHILIP F. BARBER, DIVISION PRESIDENT

Reviewed for HOWARD SCD and meets Technical Requirements.
U.S.D.A.-Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard SCD Date: [Signature]
OWNER
CHERRYTREE II LLC
WINCHESTER HOMES, INC.
SUITE 900
6905 ROCKLEDGE ROAD
BETHESDA, MARYLAND 20817
C/O MR. MIKE CONLEY
DEVELOPER
CHERRYTREE II LLC
C/O U.S. HOME
SUITE 900
10230 NEW HAMPSHIRE AVENUE
SILVER SPRING MARYLAND 20903
C/O MR. PHILIP F. BARBER, DIVISION PRESIDENT

APPROVED DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development: [Signature] Date: 9-11-03
Chief, Development Engineering Division: [Signature] Date: 9/10/03
Director - Department of Planning and Zoning: [Signature] Date: 7/14/03
PROJECT: CHERRYTREE PARK SECTION/AREA: PHASE 2 LOT NO.: UNITS 92-95, 66-77, AND 91-106
PLAT NO.: 15449 - 15454 BLOCK NO.: 4 ZONE: MXD-6 TAX: 46 ELEC. DIST.: 6TH CENSUS TR.: 6068.02
WATER CODE: E10 SEWER CODE: 7602000

FOCAL POINT LANDSCAPING PLAN
CHERRYTREE PARK
PHASE 2
BULK PARCELS 'E' AND 'F'
(UNITS 52-55, 66-77 AND 91-106) (SINGLE FAMILY ATTACHED CONDOMINIUMS)
ZONED: MXD-6
TAX MAP No: 46 PARCEL: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1"=20' DATE: APRIL 10, 2003
SHEET 7 OF 10 SDP 03-52



DRAINAGE AREA DATA			
D.A.	ACREAGE	'C" FACTOR	T.C. (MIN)
A	0.54	0.62	10
B	0.48	0.69	10
C	0.56	0.55	10
D	0.95	0.78	10

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE MARCH 6, 2003
 KS



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 DALTRIDGE NATIONAL FREE
 ELICOTT CITY, MARYLAND 21042
 410.482.3295

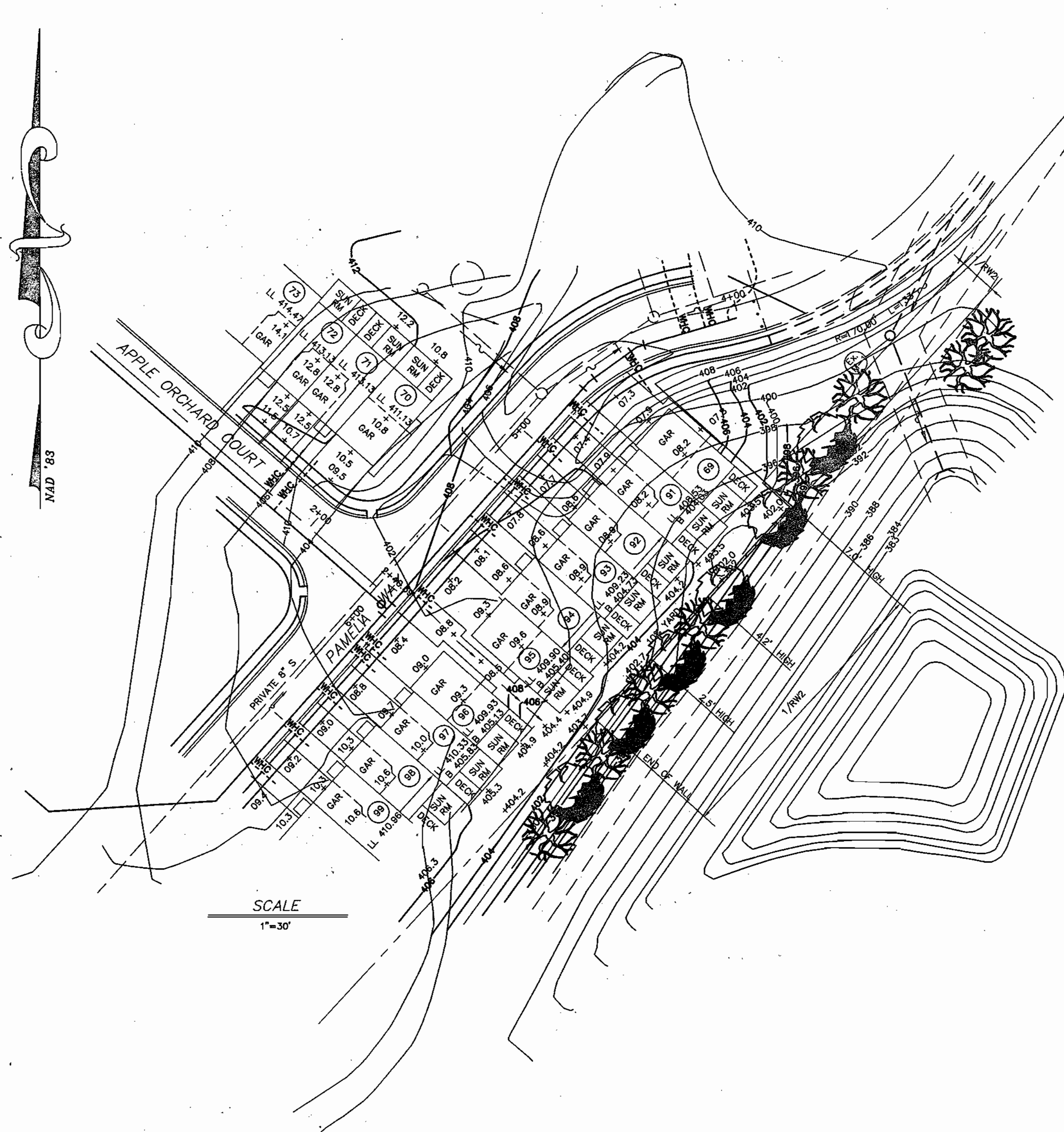
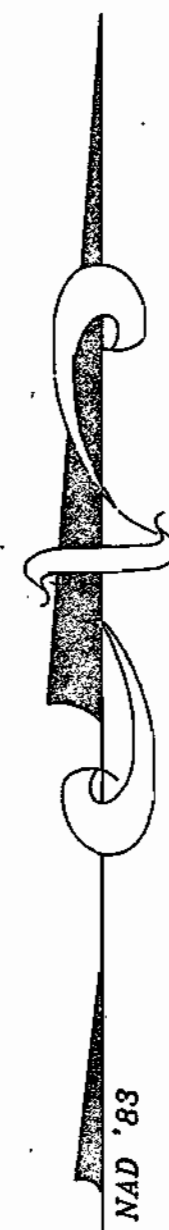
NO.	REVISION	DATE

ENGINEER'S CERTIFICATE
 "I certify that the erosion and sediment control represents a practical and workable plan based on the drainage area and soil conditions of the site and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature: *Philip F. Barber* Date: 8/15/03
DEVELOPER'S CERTIFICATE
 "We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature: *Philip F. Barber* Date: 7/29/03
 BY: U.S. HOME
 MR. PHILIP F. BARBER, DIVISION PRESIDENT

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service Date: _____
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *JMM* Date: _____
 HOWARD SCD
OWNER
 CHERRYTREE II LLC
 WINCHESTER HOMES, INC.
 SUITE 200
 6905 ROCKLEDGE ROAD
 BETHESDA, MARYLAND 20817
 C/O MR. HIRE CONLEY
DEVELOPER
 CHERRYTREE II LLC
 C/O U S HOME
 SUITE 200
 10230 NEW HAMPSHIRE AVENUE
 SILVER SPRING MARYLAND 20903
 C/O MR. PHILIP F. BARBER, DIVISION PRESIDENT

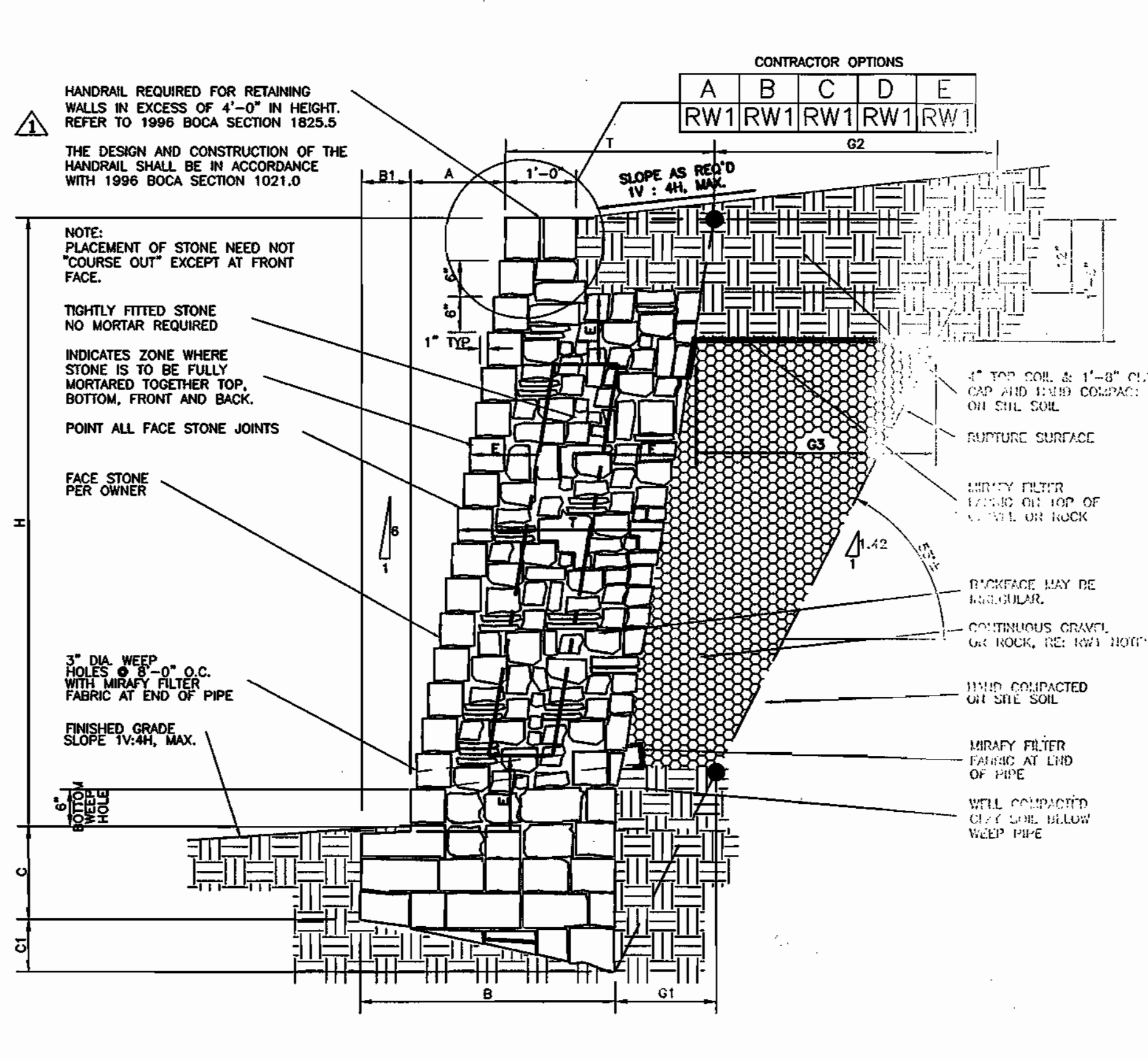
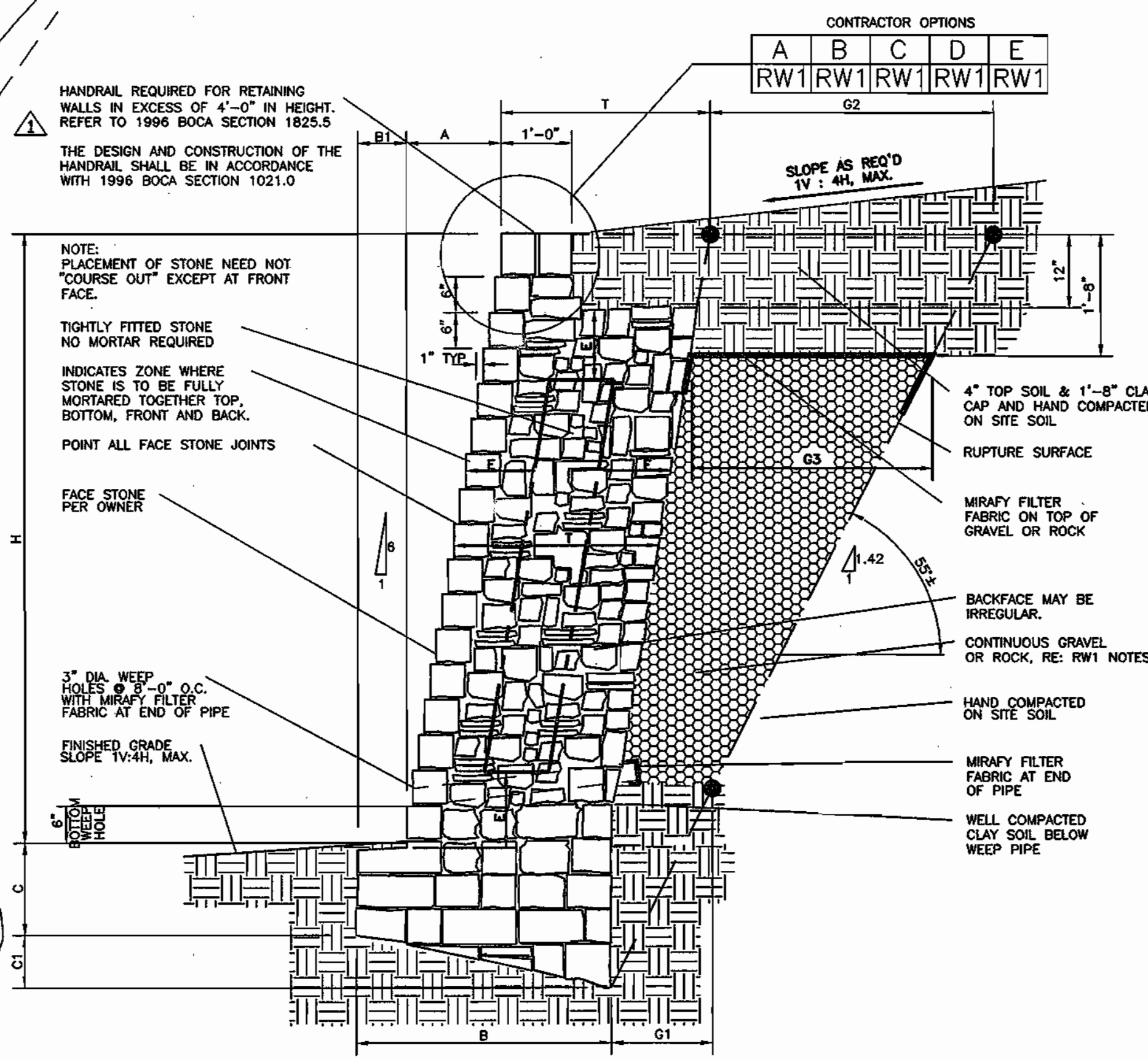
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Planning and Development: *Kat Redwood* Date: 9-11-03
 Chief, Development Engineering Division: *John Dwyer* Date: 9/10/03
 Director - Department of Planning and Zoning: *John Dwyer* Date: 9/10/03
 PROJECT: CHERRYTREE PARK SECTION/AREA: PHASE 2 LOT NO.: UNITS 52-55, 66-77, AND 91-106
 PLAT NO.: 15449 - 15454 BLOCK NO.: 4 ZONE: MXD-6 TAX: 46 ELEC. DIST.: 6TH CENSUS TR.: 6056.02
 WATER CODE: E10 SEWER CODE: 7602000

DRAINAGE AREA MAP
CHERRYTREE PARK
PHASE 2
BULK PARCELS 'E' AND 'F'
 (UNITS 52-55, 66-77 AND 91-106) (SINGLE FAMILY ATTACHED CONDOMINIUMS)
 ZONED: MXD-6
 TAX MAP No: 46 PARCEL: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1"=30' DATE: APRIL 10, 2003
 SHEET 8 OF 10 SDP 03-52



SCALE
1"=30'

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE MARCH 6, 2003
KS



MASONRY WALL SCHEDULE
1.00 1/4" - BEARING CAPACITY (STEEP SLOPES UNDESIGNED BASES OR COMPACTED AND TESTED SOILS - SEE GENERAL NOTES SHEET 017)

WALL HEIGHT H (ft)	BATTER A	BASE B (ft)	TOE B1 (ft)	WALL THICKNESS T (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	VOLUME STONE (cu ft)	WALL WEIGHT (k/ft)	BEARING CAPACITY (k/ft)
2'-0"	0'-4"	2'-0"	1'-2"	0'-10"	2'-6"	0'-4"	0'-4"	0'-4"	0'-4"	0'-4"	0'-4"	7.2	0.4	1500 pcf
3'-0"	0'-4"	2'-4"	1'-2"	1'-2"	2'-6"	0'-5"	0'-5"	0'-5"	0'-5"	0'-5"	0'-5"	9.7	2.3	1500 pcf
4'-0"	0'-4"	2'-10"	1'-8"	1'-4"	2'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	12.8	5.5	1500 pcf
5'-0"	0'-10"	3'-7"	2'-0"	1'-7"	2'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	18.3	9.8	1500 pcf
6'-0"	1'-0"	4'-2"	2'-0"	2'-0"	2'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	24.8	14.4	1500 pcf
7'-0"	1'-2"	4'-8"	2'-0"	2'-0"	2'-6"	0'-10"	0'-11"	0'-11"	0'-11"	0'-11"	0'-11"	31.8	19.5	1500 pcf
8'-0"	1'-4"	5'-2"	2'-0"	2'-0"	2'-6"	0'-11"	1'-1"	1'-1"	1'-1"	1'-1"	1'-1"	39.7	25.2	1500 pcf
9'-0"	1'-8"	5'-11"	2'-4"	2'-4"	2'-6"	0'-11"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	48.0	31.5	1500 pcf
10'-0"	1'-8"	6'-4"	2'-4"	4'-0"	3'-0"	1'-0"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	56.5	39.5	1500 pcf
11'-0"	1'-10"	6'-10"	2'-4"	4'-0"	3'-0"	1'-2"	1'-6"	1'-6"	1'-6"	1'-6"	1'-6"	70.6	48.9	1500 pcf
12'-0"	2'-0"	7'-4"	2'-4"	3'-0"	3'-0"	1'-3"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	82.7	54.8	1800 pcf
13'-0"	2'-2"	7'-10"	2'-4"	3'-0"	3'-0"	1'-4"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	95.2	64.7	1700 pcf
14'-0"	2'-4"	8'-3"	2'-4"	3'-0"	3'-0"	1'-8"	1'-11"	1'-11"	1'-11"	1'-11"	1'-11"	107.9	73.8	1800 pcf
15'-0"	2'-6"	8'-8"	2'-4"	3'-0"	3'-0"	1'-8"	2'-1"	2'-1"	2'-1"	2'-1"	2'-1"	121.4	83.4	2000 pcf

MASONRY WALL SCHEDULE
1.00 3/4" - BEARING CAPACITY (STEEP SLOPES UNDESIGNED BASES OR COMPACTED AND TESTED SOILS - SEE GENERAL NOTES SHEET 017)

WALL HEIGHT H (ft)	BATTER A	BASE B (ft)	TOE B1 (ft)	WALL THICKNESS T (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	VOLUME STONE (cu ft)	WALL WEIGHT (k/ft)	BEARING CAPACITY (k/ft)
2'-0"	0'-4"	1'-8"	0'-8"	1'-3"	2'-6"	0'-4"	0'-4"	0'-4"	0'-4"	0'-4"	0'-4"	6.8	0.6	1500 pcf
3'-0"	0'-4"	2'-2"	0'-10"	1'-4"	2'-6"	0'-5"	0'-5"	0'-5"	0'-5"	0'-5"	0'-5"	9.6	2.3	1500 pcf
4'-0"	0'-4"	2'-8"	1'-0"	1'-8"	2'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	0'-6"	12.3	3.9	1500 pcf
5'-0"	0'-10"	3'-0"	1'-3"	1'-8"	2'-6"	0'-7"	0'-7"	0'-7"	0'-7"	0'-7"	0'-7"	17.9	9.7	1500 pcf
6'-0"	1'-0"	3'-7"	1'-3"	2'-3"	2'-6"	0'-8"	0'-8"	0'-8"	0'-8"	0'-8"	0'-8"	23.0	14.1	1500 pcf
7'-0"	1'-2"	3'-11"	1'-3"	2'-8"	2'-6"	0'-9"	0'-11"	0'-11"	0'-11"	0'-11"	0'-11"	28.1	15.1	1500 pcf
8'-0"	1'-4"	4'-1"	1'-3"	3'-1"	2'-6"	0'-10"	1'-1"	1'-1"	1'-1"	1'-1"	1'-1"	33.0	24.8	1500 pcf
9'-0"	1'-8"	4'-8"	1'-8"	3'-8"	2'-6"	0'-11"	1'-2"	1'-2"	1'-2"	1'-2"	1'-2"	40.0	31.5	1500 pcf
10'-0"	1'-8"	5'-1"	1'-8"	4'-0"	3'-0"	1'-0"	1'-4"	1'-4"	1'-4"	1'-4"	1'-4"	48.0	37.5	1500 pcf
11'-0"	1'-10"	5'-2"	1'-10"	4'-4"	3'-0"	1'-1"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	54.8	44.8	1500 pcf
12'-0"	2'-0"	5'-7"	1'-10"	4'-8"	3'-0"	1'-2"	1'-7"	1'-7"	1'-7"	1'-7"	1'-7"	64.7	52.5	1500 pcf
13'-0"	2'-2"	6'-0"	1'-10"	5'-2"	3'-0"	1'-3"	1'-8"	1'-8"	1'-8"	1'-8"	1'-8"	73.8	60.7	1500 pcf
14'-0"	2'-4"	6'-7"	2'-0"	5'-7"	3'-0"	1'-4"	1'-10"	1'-10"	1'-10"	1'-10"	1'-10"	83.4	69.7	1500 pcf
15'-0"	2'-6"	7'-11"	2'-0"	6'-11"	3'-0"	1'-8"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	111.1	79.5	1500 pcf

MASONRY WALL SCHEDULE
1.00 1/4" - BEARING CAPACITY (STEEP SLOPES UNDESIGNED BASES OR COMPACTED AND TESTED SOILS - SEE GENERAL NOTES SHEET 017)

WALL HEIGHT H (ft)	BATTER A (ft)	BASE B (ft)	TOE B1 (ft)	WALL THICKNESS T (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	VOLUME STONE (cu ft)	WALL WEIGHT (k/ft)	BEARING CAPACITY (k/ft)
61	10.16	60.96	35.58	25.40	76.20	10.76	76.20	76.20	76.20	76.20	76.20	76.20	0.20	0.01
91	15.24	71.12	35.58	35.58	76.20	12.54	76.20	111.85	90.52	0.27	0.08	76.80	1.28	0.08
122	20.32	86.36	46.72	40.64	76.20	15.23	76.20	128.92	105.34	0.36	0.16	76.80	1.34	0.16
152	25.40	108.22	60.96	48.28	83.82	18.28	16.08	89.90	154.51	0.52	0.28	76.80	1.52	0.28
183	30.48	127.00	80.96	66.04	83.82	22.39	22.01	99.11	175.11	0.70	0.41	76.80	1.70	0.41
213	35.56	142.24	80.96	81.28	83.82	25.09	27.09	91.00	191.38	0.90	0.55	76.80	1.90	0.55
244	40.64	157.48	80.96	96.52	83.82	27.77	32.17	92.89	209.86	1.12	0.71	76.80	2.12	0.71
274	45.72	180.34	71.12	108.22	83.82	31.80	36.41	95.73	228.86	1.38	0.89	76.80	2.38	0.89
305	50.80	193.04	71.12	121.92	91.44	34.04	40.84	102.87	252.21	1.69	1.12	76.80	2.69	1.12
335	55.88	206.28	71.12	137.16	91.44	36.73	45.72	104.57	270.49	2.00	1.33	76.80	2.90	1.33
366	60.96	223.52	71.12	152.40	91.44	39.41	50.80	106.46	288.77	2.34	1.56	76.80	3.14	1.56
396	66.04	238.76	71.12	168.40	91.44	42.10	54.19	111.83	310.82	2.70	1.83	76.80	3.40	1.83
427	71.12	251.46	76.20	175.28	96.52	44.34	58.42	113.51	328.58	3.05	2.09	80.4	3.65	2.09
457	76.20	284.16	76.20	187.96	96.52	46.59	62.65	115.08	346.95	3.44	2.36	82.2	3.92	2.36

MASONRY WALL SCHEDULE
1.00 3/4" - BEARING CAPACITY (STEEP SLOPES UNDESIGNED BASES OR COMPACTED AND TESTED SOILS - SEE GENERAL NOTES SHEET 017)

WALL HEIGHT H (ft)	BATTER A (ft)	BASE B (ft)	TOE B1 (ft)	WALL THICKNESS T (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	BASE DEPTH (ft)	VOLUME STONE (cu ft)	WALL WEIGHT (k/ft)	BEARING CAPACITY (k/ft)
61	10.16	53.34	15.24	36.10	76.20	0.41	76.20	74.80	63.05	75.45	0.20	0.01	76.80	0.20
91	15.24	68.04	25.40	40.84	76.20	11.84	76.20	76.17	111.02	90.01	0.37	0.08	76.80	0.37
122	20.32	84.20	30.48	45.72	76.20	13.44	76.20	77.43	128.96	104.32	0.53	0.12	76.80	0.53
152	25.40	91.44	38.10	53.34	83.82	16.12	17.76	84.89	152.31	123.49	0.42	0.27	76.80	0.42
183	30.48	106.08	38.10	60.96	83.82	18.81	22.86	86.56	170.59	138.31	0.65	0.40	76.80	0.65
213	35.56	118.36	38.10	68.48	83.82	21.05	27.09	88.16	188.55	152.67	0.82	0.51	76.80	0.82
244	40.64	136.70	45.72	93.88	83.82	24.83	31.23	90.89	207.45	168.20	1.09	0.70	76.80	1.09
274	45.72	152.40	45.72	106.68	83.82	28.87	35.58	92.25	225.42	182.77	1.27	0.87	76.80	1.27
305	50.80	167.84	45.72	121.92	83.82	32.56	40.84	94.15	243.99	197.59	1.55	1.09	76.80	1.55
335	55.88	187.96	45.72	137.16	83.82	35.14	44.83	96.88	262.40	212.82	1.83	1.27	76.80	1.83
366	60.96	200.66	45.72	144.78	83.82	35.38	48.28	98.25	280.59	227.48	2.13	1.49	76.80	2.13
396	66.04	218.76	45.72	157.48	83.82	37.82	52.49	99.83	298.52	242.04	2.45	1.73	76.80	2.45
427	71.12	231.46	60.96	170.18	83.82	40.76	56.73	102.04	317.12	257.12	2.82	1.97	80.4	2.82
457	76.20	241.30	60.96	180.34	83.82	42.55	60.11	103.30	334.78	271.43	3.15	2.23	82.2	3.15

1
RW2

TYPICAL RETAINING WALL SECTION
SLOPE SOILS AT THE BOTTOM AND TOP OF THE WALL 1V : 4H (14 deg), MAX.

NOTE: THE RETAINING WALL DESIGN SHOWN ON THESE DRAWINGS HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF AND CONSTRUCTION BY:

METROPLEX RETAINING WALLS OF VIRGINIA, INC.
201 LUDLOW ST. SW
LEESBURG, VIRGINIA
(703) 771-1991

NOTE: THE GEO-TECHNICAL ENGINEER SHALL VERIFY THE ALLOWABLE BEARING CAPACITY OF THE SOILS AT THE TIME OF BASE EXCAVATION FOR THE RETAINING WALLS AND RECOMMEND THE USE OF THE APPROPRIATE RETAINING WALL SCHEDULE.

NOTE: THE HOMEOWNERS ASSOCIATION (HOA) IS RESPONSIBLE FOR THE MAINTENANCE OF THE RETAINING WALL.



FALKOFSKE ENGINEERING, INC.

1414 WEST RANDOL MILL ROAD SUITE # 201
BETHESDA, MARYLAND 20814
(817) 261-8300

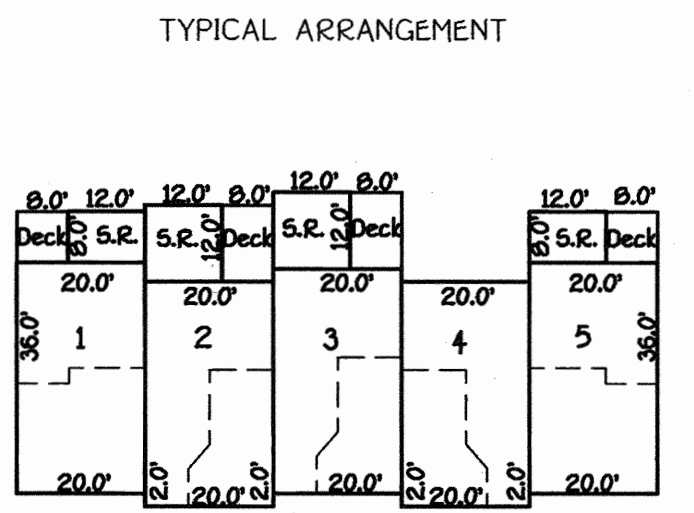
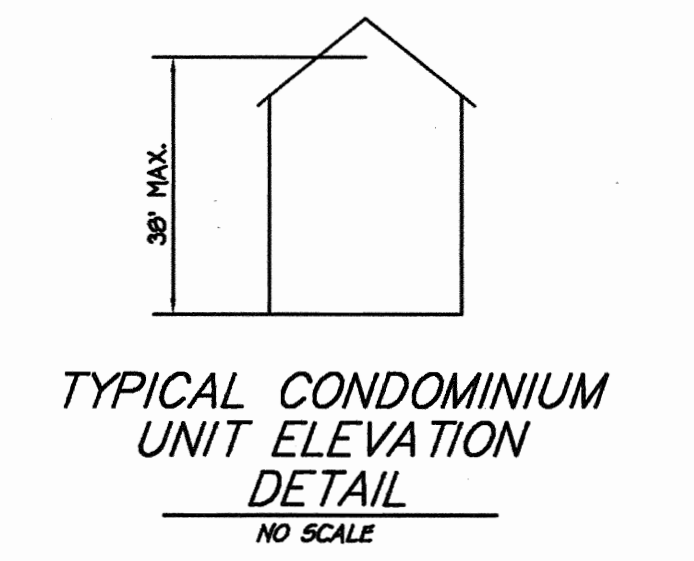
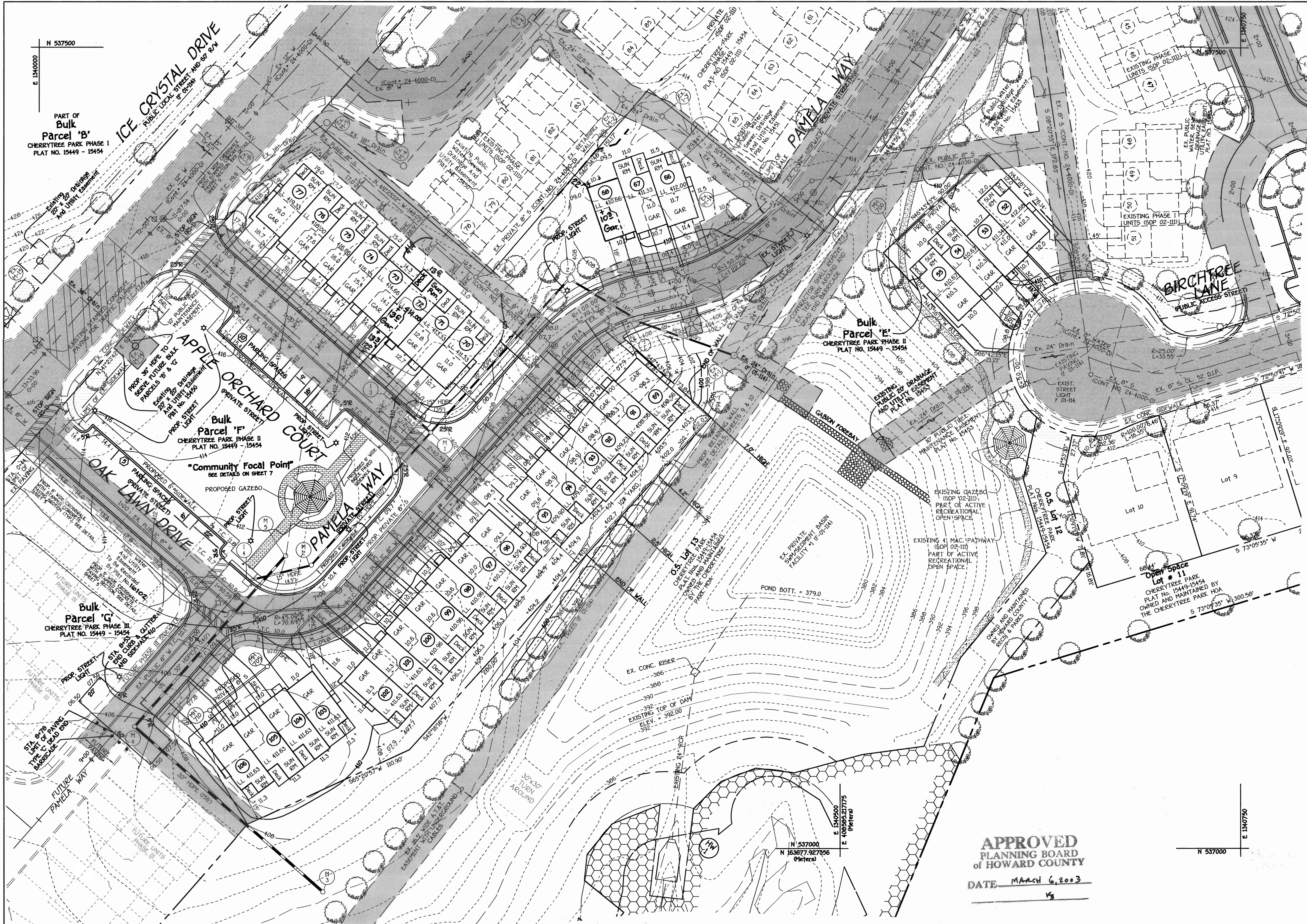
ARLINGTON, TEXAS 76012
FAX: (817) 261-0800

JOB NUMBER: 443.02
SCALE: SEE ABOVE
DATE: 10-09-02
PAGE: RW2
DESIGNED BY: KJJ
DRAWN BY: KJJ
APPROVED BY: T.J.F.
REVISED DATE: 5-9-2003

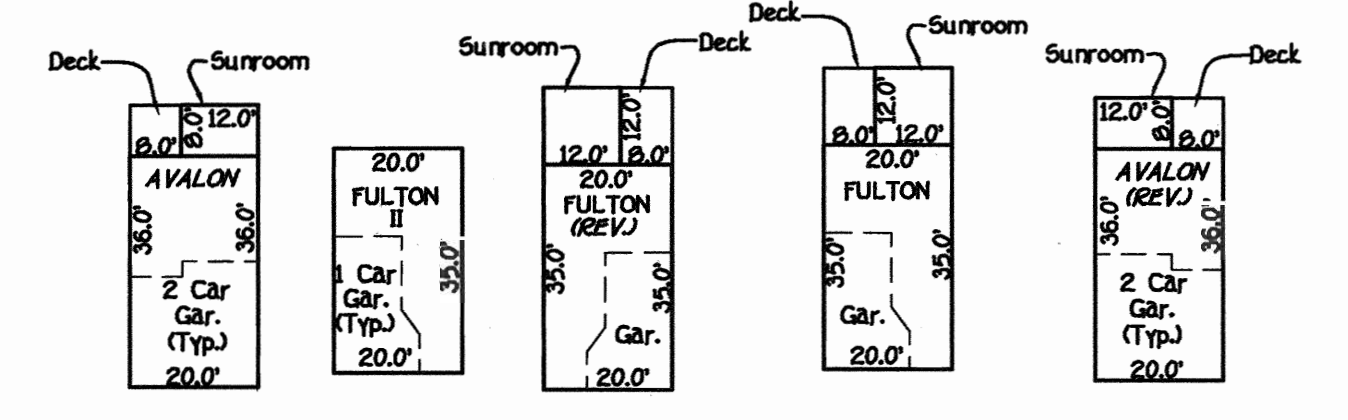
RETAINING WALL CONSTRUCTION DETAIL AND SITE PLAN
CHERRYTREE PARK PHASE II LOTS 69, 91 THRU 95 HOWARD COUNTY, MARYLAND

10 of 10

SDP-03-52



INDIVIDUAL UNIT DIMENSIONS



- 1) FRONT JOGS - ALWAYS A 2' OR 4' OFFSET.
- 2) AVALONS ARE ALWAYS END UNITS, AND FULTONS ARE ALWAYS INTERIOR UNITS.
- 3) CONFIGURATION OF BUILDINGS IS AS PER THE SDP.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE March 6, 2003



LEGEND	
Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
• 624	Spot Elevation
-SF-SF-	Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
WALK	Proposed Walkout
---	Earth Dike
-X-X-	Tree Protection
---	Existing Tree Line
L.O.D.	Limit Of Disturbance
---	Existing Street Tree Per F01-114 And SDP 02-111
---	Reverse Curb

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 20626
(410) 461-2255

NO.	REVISION	DATE
1	Revise Units lot 6B and 7E	5-21-04

ENGINEER'S CERTIFICATE
I, the undersigned, a duly Licensed Professional Engineer in the State of Maryland, for erosion and sediment control represents a practical and workable plan for the proposed project. My knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature: Philip F. Barber Date: 9-15-03
DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer (Print name below signature): Philip F. Barber Date: 7/27/03
Signature of Developer (Print name below signature): CHERRYTREE II LLC
By: U.S. HOME
MR. PHILIP F. BARBER, DIVISION PRESIDENT

Reviewed for HOWARD SCD and meets Technical Requirements.
Signature: John M. ... Date: 9/14/03
U.S.A.-Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Signature: John C. ... Date: 9/14/03
Howard SCD

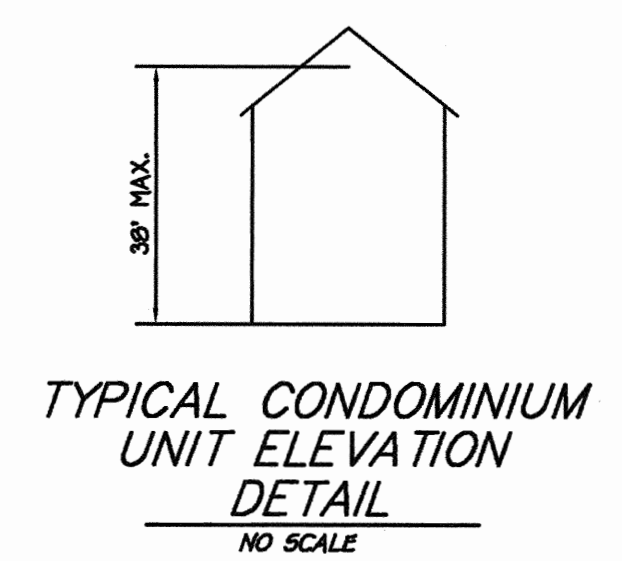
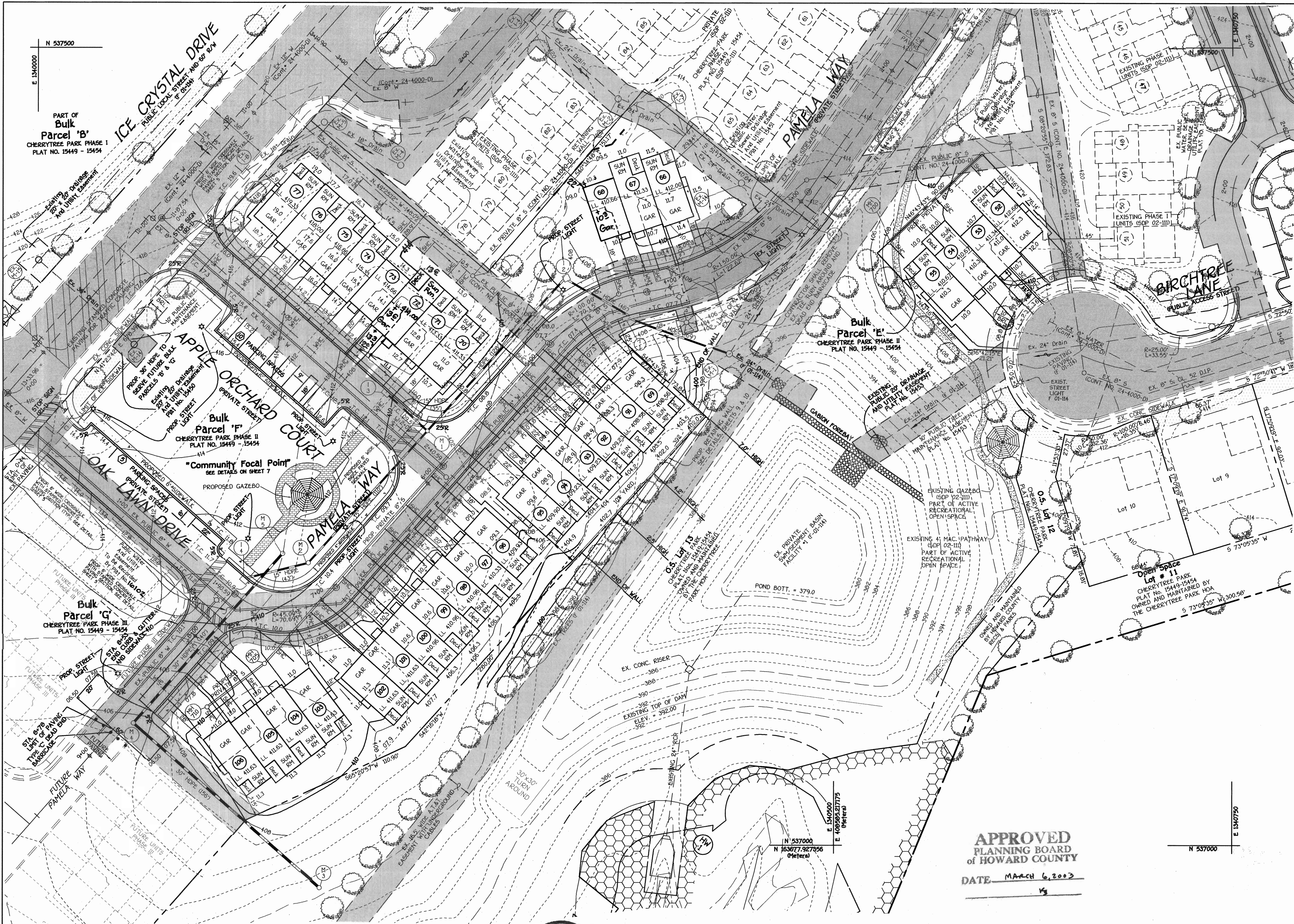
OWNER
CHERRYTREE II LLC
WINCHESTER HOMES, INC.
SUITE 800
6905 ROCKLEDGE ROAD
BETHESDA, MARYLAND 20817
C/O MR. MIKE CONLEY

DEVELOPER
CHERRYTREE II LLC
C/O U S HOME
SUITE 300
10230 NEW HAMPSHIRE AVENUE
SILVER SPRING MARYLAND 20903
C/O MR. PHILIP F. BARBER, DIVISION PRESIDENT

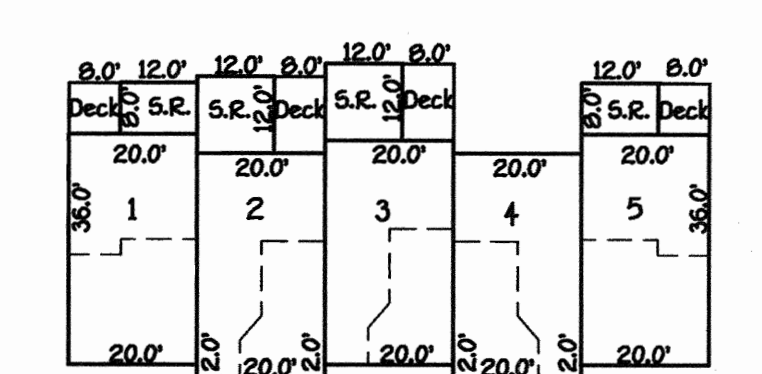
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: Kate ... Date: 9-11-03
Chief, Division of Land Development
Signature: ... Date: 9/16/03
Chief, Development Engineering Division
Signature: ... Date: 9/12/03
Director - Department of Planning and Zoning

PROJECT: CHERRYTREE PARK
SECTION/AREA: PHASE 2
LOT NO.: UNITS 52-55, 66-77, AND 91-106
ZONED: MXD-6
TAX MAP NO: 46 PARCEL: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: APRIL 10, 2003
SHEET 2 OF 10 SDP 03-52

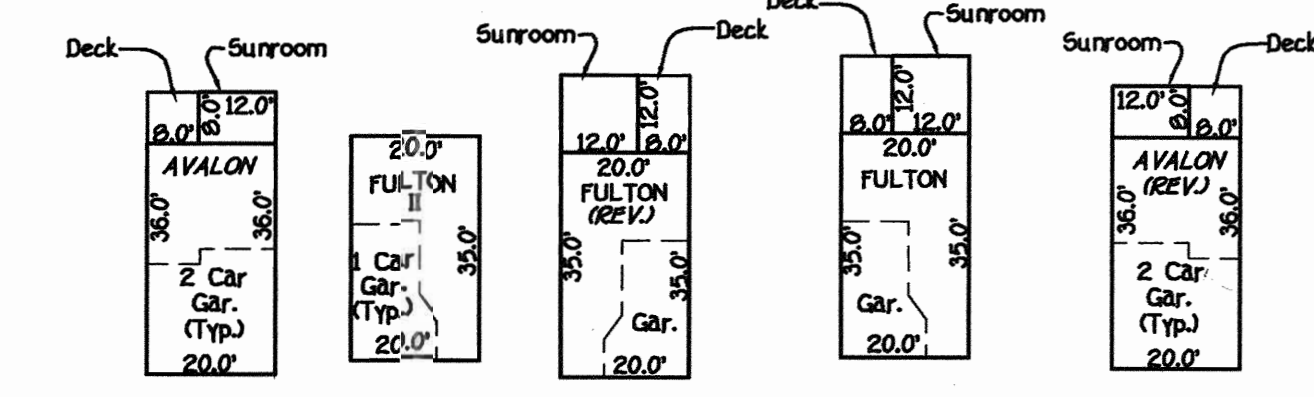
SITE DEVELOPMENT PLAN
CHERRYTREE PARK
PHASE 2
BULK PARCELS 'E' AND 'F'
UNITS 52-55, 66-77 AND 91-106 (SINGLE FAMILY ATTACHED CONDOMINIUMS)
ZONED: MXD-6
TAX MAP NO: 46 PARCEL: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: APRIL 10, 2003
SHEET 2 OF 10 SDP 03-52



TYPICAL ARRANGEMENT



INDIVIDUAL UNIT DIMENSIONS



- 1) FRONT JOGS - ALWAYS A 2' OR 4' OFFSET.
- 2) AVALONS ARE ALWAYS END UNITS, AND FULTONS ARE ALWAYS INTERIOR UNITS.
- 3) CONFIGURATION OF BUILDINGS IS AS PER THE SDP.

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: MARCH 6, 2003



LEGEND	
Symbol	Description
---	Existing Contour 2' Interval
---	Existing Contour 10' Interval
---	Proposed Contour 2' Interval
---	Proposed Contour 10' Interval
+ 624	Spot Elevation
-SF-SF-	Silt Fence
FF	First Floor Elevation
BE	Basement Elevation
Proposed Walkout	Proposed Walkout
Earth Dike	Earth Dike
-X-X-	Tree Protection
Existing Tree Line	Existing Tree Line
L.O.D.	Limit Of Disturbance
Existing Street Tree Per F01-114 And SDP 02-111	Existing Street Tree Per F01-114 And SDP 02-111
Reverse Curb	Reverse Curb

FISHER, COLLINS & CARTER, INC.
CIVIL, ENGINEERING, CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21114
410.481.2055

NO.	REVISION	DATE
2	Rev. 9rd. behind lots 26-102	10-22-04
1	Revise Units 1st-6B and 72	5-21-04

ENGINEER'S CERTIFICATE
"I, the undersigned, a duly licensed Professional Engineer in the State of Maryland, hereby certify that this plan for erosion and sediment control represents a practical and workable plan and that I have acquired the knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature: Philip F. Barber
Date: 8-15-03
DEVELOPER'S CERTIFICATE
"We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature: Philip F. Barber
Date: 7/29/03

Reviewed for HOWARD SCD and meets Technical Requirements.
Signature: John M. Moore
Date: 7/14/03
Signature: John C. Robinson
Date: 9/14/03
OWNER
CHERRYTREE II LLC
WINCHESTER HOMES, INC.
SUITE 800
6905 ROCKLEDGE ROAD
BETHESDA, MARYLAND 20817
C/O MR. HICE CONLEY
DEVELOPER
CHERRYTREE II LLC
C/O U S HOME
SUITE 300
10230 NEW HAMPSHIRE AVENUE
SILVER SPRING MARYLAND 20903
C/O MR. PHILIP F. BARBER, DIVISION PRESIDENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: Karl Stenlund
Date: 9-4-03
Signature: Mark D. ...
Date: 7/21/03
PROJECT
CHERRYTREE PARK
SECTION/AREA
PHASE 2
LOT NO.
UNITS 52-55, 66-77, AND 91-106
PLAT NO.
15449 - 15454
16101 - 16103
BLOCK NO.
4
ZONE
MXD-6
TAX
46
ELEC. DIST.
6TH
CENSUS TR.
6066.02
WATER CODE
E10
SEWER CODE
7602000

SITE DEVELOPMENT PLAN
CHERRYTREE PARK PHASE 2
BULK PARCELS 'E' AND 'F'
(UNITS 52-55, 66-77 AND 91-106) (SINGLE FAMILY ATTACHED CONDOMINIUMS)
ZONED: MXD-6
TAX MAP No: 46 PARCEL: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: APRIL 10, 2003
SHEET 2 OF 10 **SDP 03-52**