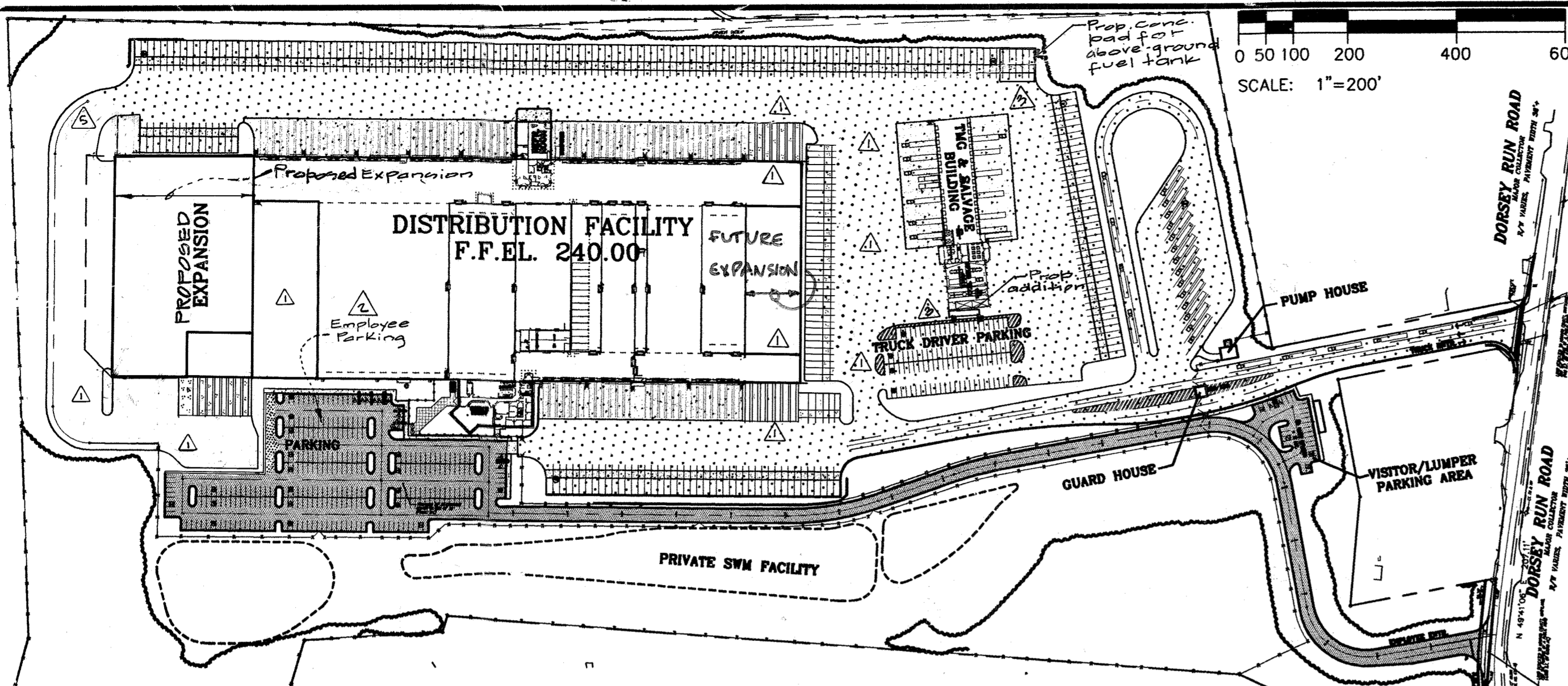


NORTH



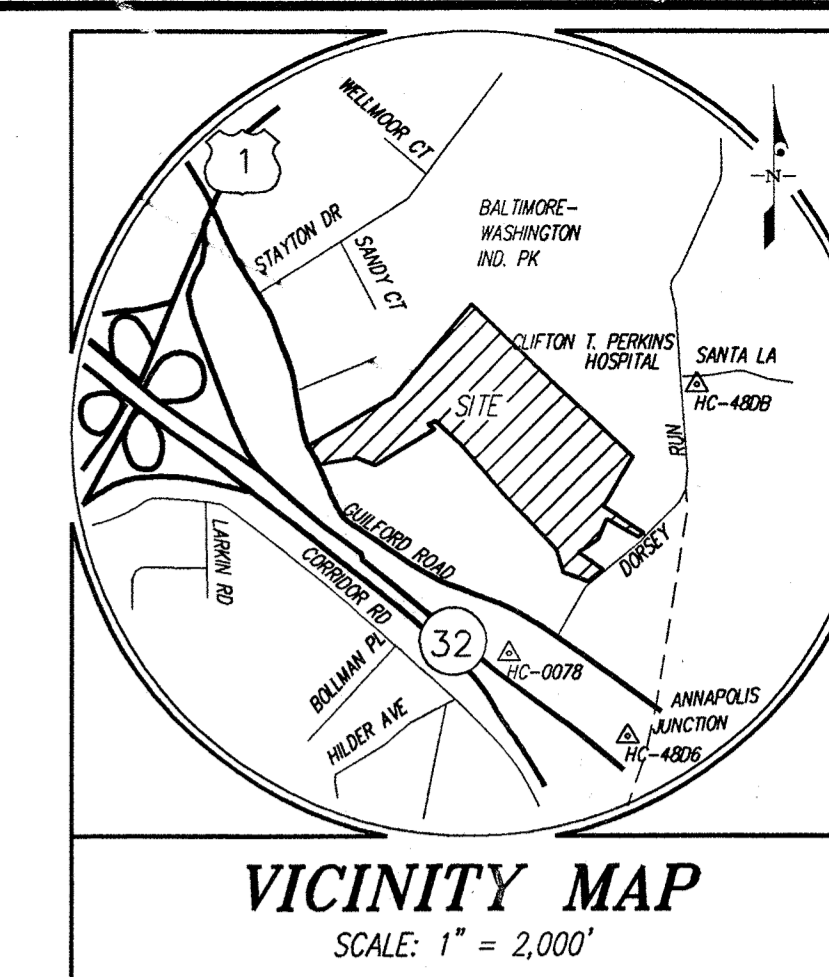
SCALE: 1"=200'

ABBREVIATIONS

Table of abbreviations for construction elements like AC, AGGR, ASPH, BC, BM, BE, BLDG, etc.

LEGEND

Legend symbols for existing and proposed features like BUILDING, BUSH / TREE, CHAIN LINK FENCE, etc.



VICINITY MAP SCALE: 1" = 2,000'

Table titled 'BUILDINGS AREAS' listing areas like 'STORAGE AREAS: MAIN BUILDING', 'SUPPORT AREAS', and 'GRAND TOTAL' with square footages.

GENERAL NOTES:

- List of 25 general notes regarding construction standards, zoning, and site requirements.

Professional certification statement by Michael Logan, Professional Engineer, dated 3-5-13.

Note regarding truck driver automobile parking area and landscaping requirements.

SITE ANALYSIS DATA CHART:

Table with 2 columns: Category (TOTAL PROJECT AREA, AREA OF PLAN SUBMISSION, etc.) and Value (73.66 ACRES, etc.).

PROPOSED PARKING SUMMARY:

Table listing parking types and spaces: TRUCK DRIVER PARKING (170 SPACES), EMPLOYEE PARKING (274 SPACES), etc.

TOTAL EMPLOYEE/VISITOR PARKING: 469 SPACES

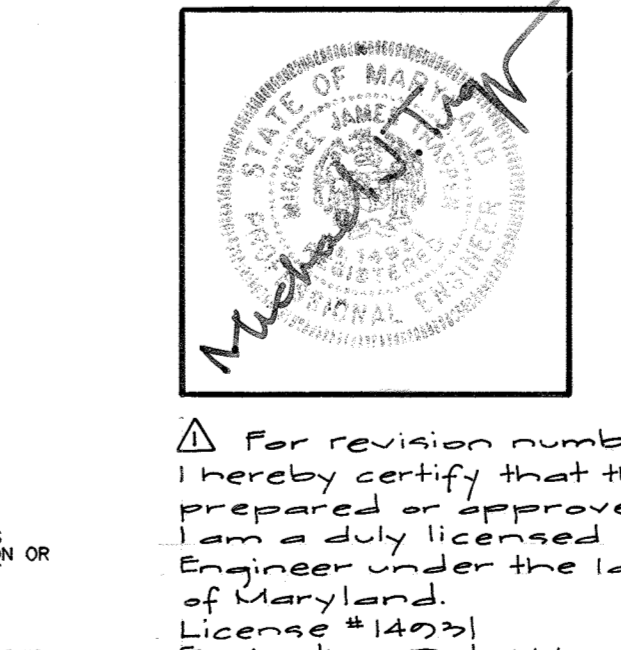
NOTE: BUILDING HEIGHT = 50' MAXIMUM PER ZONING REGULATIONS SEC. 14.0.D.1.A

LETTER OF ALTERNATE COMPLIANCE SUMMARY APPROVED ON DECEMBER 13, 2002. Text detailing compliance with various codes and standards.

Approval section with signatures and dates for Chief, Development Engineering Division and Chief, Division of Land Development.

ADDRESS CHART and PERMIT INFORMATION CHART tables with columns for lot/parcel, street address, and permit details.

GENERAL RELATED FILES and SECTION AND DETAIL IDENTIFICATION tables listing file names and section details.



For revision number 1 by g.w. I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License # 17285 Expiration Date: May 21, 2010.

The Facility Group logo and contact information: FACILITY DESIGN GROUP INC. ARCHITECTS & ENGINEERS, 2233 LAKE PARK DRIVE, SMYRNA, GEORGIA 30080.

Professional Engineer seal for Michael Logan, State of Maryland, License # 17285.

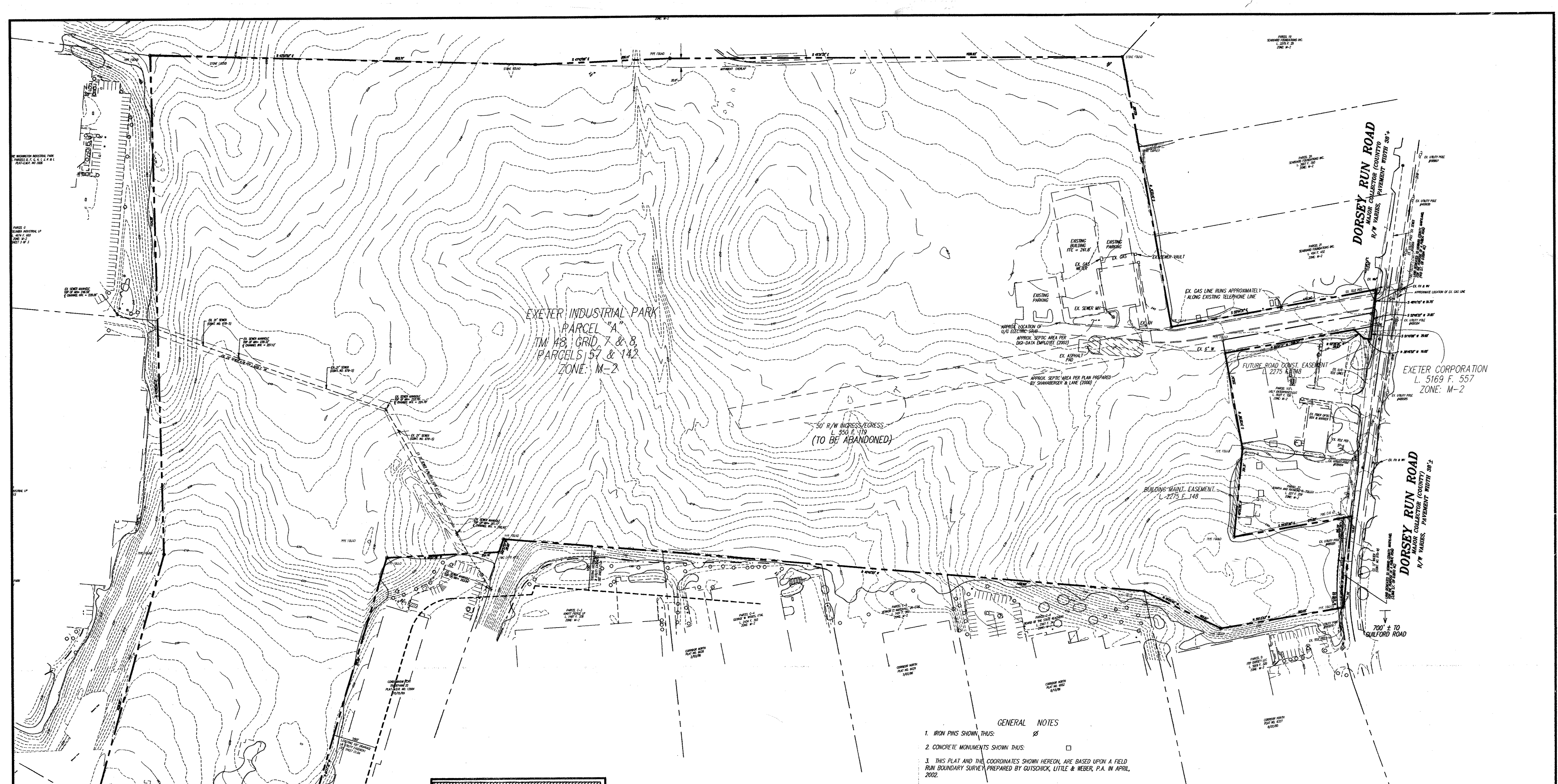
Table with columns: MARK, DATE, BY, MGR, RELEASE, listing revision dates and initials.

PREPARED FOR: GIANT DISTRIBUTION CENTER EXETER INDUSTRIAL PARK (PARCEL A), 6300 SHERIFF ROAD, LANDOVER, MARYLAND 20785.

DRAWING TITLE: COVER SHEET, HOWARD COUNTY ELECTION DISTRICT No. 6, HOWARD COUNTY, MARYLAND.

Summary table with columns: SCALE (1"=200'), ZONING (M-2), PROJECT NO (02027), SHEET NO (1 of 8), TAX MAP - GRID (48), SHEET NO (1 of 8), PROJECT NO (CO).

SDP-03-44

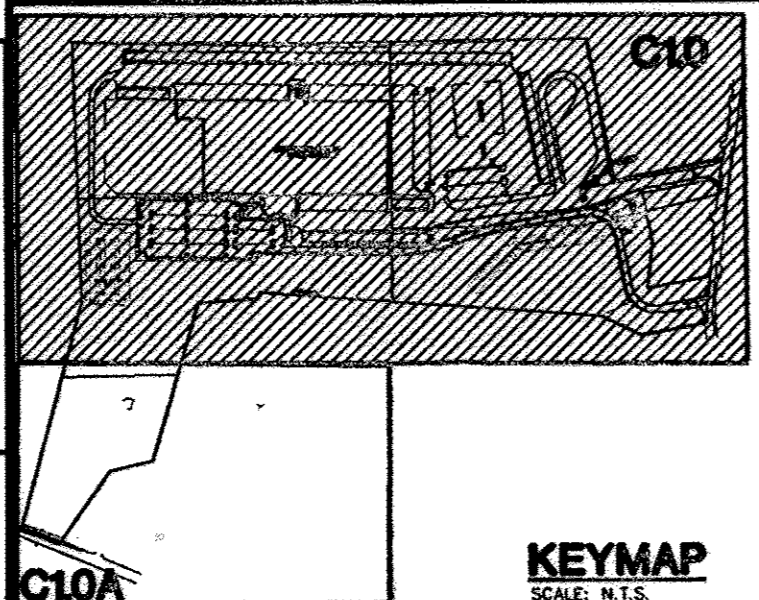


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

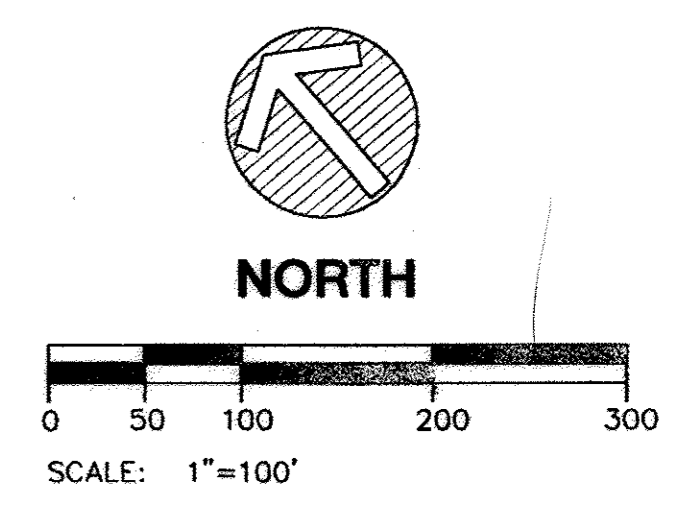
[Signature] 2/6/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date



- GENERAL NOTES**
- IRON PINS SHOWN, THUS: \emptyset
 - CONCRETE MONUMENTS SHOWN THUS: \square
 - THIS PLAT AND THE COORDINATES SHOWN HEREON, ARE BASED UPON A FIELD RUN BOUNDARY SURVEY, PREPARED BY GUTSCHICK, LITTLE & WEBER, P.A. IN APRIL, 2002.
 - PROPERTY IS ZONED M-2 PER THE 10-18-93 COMPREHENSIVE ZONING PLAN.
 - SEE DEPARTMENT OF PLANNING & ZONING FILE NUMBERS: S-02-17 & WP-02-130(*).
 - COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS No. 0076, 480B AND No. 4806.
 - AREAS SHOWN ARE TO BE TAKEN AS MORE OR LESS.
 - THIS SUBDIVISION IS SUBJECT TO SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC SEWER SERVICE HAS BEEN GRANTED UNDER THE TERMS AND PROVISIONS THEREOF EFFECTIVE 02/10/03 WHICH DATE DEVELOPER'S AGREEMENT No. 04-022-0 WAS FILED AND ACCEPTED.
 - STORMWATER MANAGEMENT FACILITY (WET POND) IS BEING PROVIDED ON SITE. THE FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER.



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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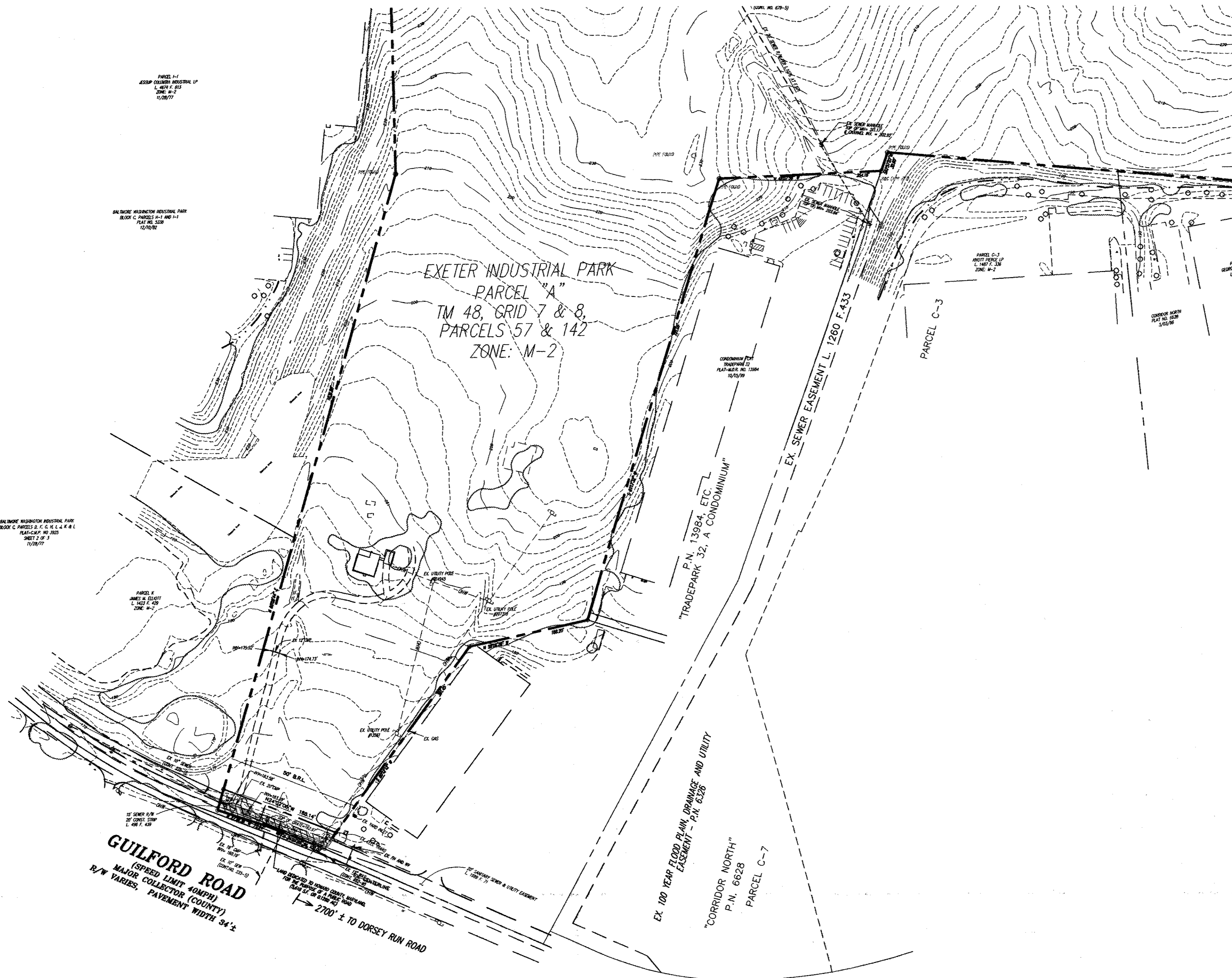
MARK	DATE	BY	MGR	RELEASE
	4.21.04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
EXISTING CONDITIONS PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=100'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 2 of 86
		C10

SOFT COPY: C:\PROJECTS\02027\Engineer\Work\Sheet\2027C10.dwg
 USER: NAME: J. GARDNER
 DATE: 12-18-03
 TIME: 12:38:59



HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
SURVEY DIVISION
 6300 Sheriff Road
 Columbia, MD 21046
 Phone Number: (410) 312-4100
 Email: emered@go.howard.org

GEODETIC SURVEY CONTROL: 0078*

General Information
 Horizontal Order: 1st. Also Known as: 480B
 Vertical Order: 2nd. County: Howard
 NSD PID Number: AR517 Year set: 1997
 General Location: End of Ramp E. RT-32/WBL to Dorsey Run Rd

Howard County Coordinates:
 Northing: 162515.546 mts. 532530.247 ft. Latitude: 39° 07' 43.380" N
 Easting: 417566.569 mts. 1370023.787 ft. Longitude: 76° 47' 40.272" W
 Elevation: 69.602 mts. 228.317 ft. Ellipsoid ht: 37.0654 mts
 Scale Factor: 0.999995943 Convergence: 00° 07' 44.2"

Other Datum:
 NAVD83 Elev: 69.602 mts.
 NAD27 N: 414614.4 ft.
 NAD27 E: 818265.4 ft.

BACKSIGHT STATIONS:
 Station Distance (ft) Azimuth
 480B 2035.974 299° 47' 35.0"
 480A 1443.34 134° 27' 58.5"
 N/A N/A

NOTES:
 1. Unless otherwise stated, all Howard County survey control consists of a stamped brass or aluminum disc set on top of a 3" deep column of concrete. Usually the discs are set 1" or 2" below terrain surface, and have a piece of iron to facilitate magnetic detection.
 2. The System of Coordinates Used by Howard County is based on the following Datum and projection:
 Horizontal: Maryland NAD83 (Ad 1981)
 Vertical: NAVD1983
 3. All = U.S. Survey Feet
 Last Adjustment: 10/2001
 Last Recovery: 09/2001
 Last sketch revision: 2000

0078
 Old: "48GB" (97)

GEODETIC SURVEY CONTROL: 48DB*

General Information
 Horizontal Order: 1st. Also Known as: 3/4" Iron Rd.
 Vertical Order: 2nd. County: Howard
 NSD PID Number: N/A Year set: 1991
 General Location: Dorsey Run Rd by C.T. Peddie Hospital

Howard County Coordinates:
 Northing: 163548.599 mts. 536575.695 ft. Latitude: 39° 07' 23.366" N
 Easting: 417883.603 mts. 1371903.81 ft. Longitude: 76° 47' 35.308" W
 Elevation: 79.811 mts. 261.939 ft. Ellipsoid ht: 40.434 mts
 Scale Factor: 0.999995946 Convergence: 00° 07' 47.4"

Other Datum:
 NAVD83 Elev: 72.738 mts.
 NAD27 N: 415262.9 ft.
 NAD27 E: 858587.3 ft.

BACKSIGHT STATIONS:
 Station Distance (ft) Azimuth
 NONE NONE
 N/A N/A
 N/A N/A

NOTES:
 1. Unless otherwise stated, all Howard County survey control consists of a stamped brass or aluminum disc set on top of a 3" deep column of concrete. Usually the discs are set 1" or 2" below terrain surface, and have a piece of iron to facilitate magnetic detection.
 2. The System of Coordinates Used by Howard County is based on the following Datum and projection:
 Horizontal: Maryland NAD83 (Ad 1981)
 Vertical: NAVD1983
 3. All = U.S. Survey Feet
 Last Adjustment: 03/2002
 Last Recovery: 03/2002
 Last sketch revision: 1992

48DB (97)

GEODETIC SURVEY CONTROL: 48D6*

General Information
 Horizontal Order: 1st. Also Known as: 1943016*
 Vertical Order: 2nd. County: Howard
 NSD PID Number: N/A Year set: 08/1986
 General Location: RT-32 0.4mi West of Dorsey Run Rd Bridge

Howard County Coordinates:
 Northing: 162623.887 mts. 535541.869 ft. Latitude: 39° 07' 53.427" N
 Easting: 417228.4217 mts. 1368926.91 ft. Longitude: 76° 48' 00.666" W
 Elevation: 69.721 mts. 228.743 ft. Ellipsoid ht: 37.159 mts
 Scale Factor: 0.999997979 Convergence: 00° 07' 30.2"

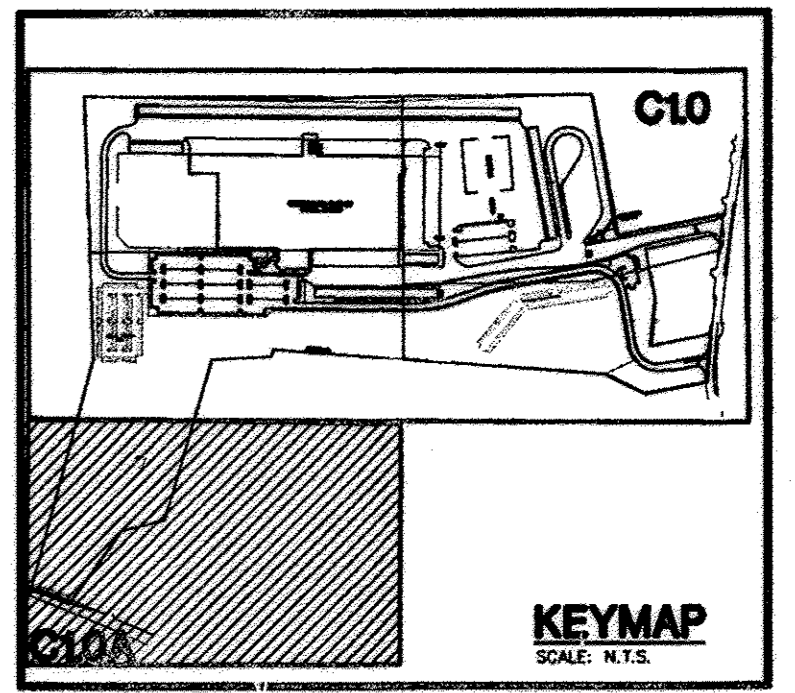
Other Datum:
 NAVD83 Elev: 69.498 mts.
 NAD27 N: 412953.1 ft.
 NAD27 E: 856498.3 ft.

BACKSIGHT STATIONS:
 Station Distance (ft) Azimuth
 472A 4028.749 307° 19' 54.6"
 0078 2035.974 119° 47' 35.0"
 N/A N/A

NOTES:
 1. Unless otherwise stated, all Howard County survey control consists of a stamped brass or aluminum disc set on top of a 3" deep column of concrete. Usually the discs are set 1" or 2" below terrain surface, and have a piece of iron to facilitate magnetic detection.
 2. The System of Coordinates Used by Howard County is based on the following Datum and projection:
 Horizontal: Maryland NAD83 (Ad 1981)
 Vertical: NAVD1983
 3. All = U.S. Survey Feet
 Last Adjustment: 03/2002
 Last Recovery: 03/2002
 Last sketch revision: 1992

48D6
 Old: "1943016" (89)
 CONC. MON.

- GENERAL NOTES**
- IRON PINS SHOWN THUS:
 - CONCRETE MONUMENTS SHOWN THUS:
 - THIS PLAT AND THE COORDINATES SHOWN HEREON, ARE BASED UPON A FIELD RUN BOUNDARY SURVEY PREPARED BY GUTSCHICK, LITTLE & WEBER, P.A. IN APRIL, 2002.
 - PROPERTY IS ZONED M-2 PER THE 10-18-93 COMPREHENSIVE ZONING PLAN.
 - SEE DEPARTMENT OF PLANNING & ZONING FILE NUMBERS: S-02-17 & WP-02-130(*).
 - COORDINATES BASED ON NAD '83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS No. 0078, 480B AND No. 4806.
 - AREAS SHOWN ARE TO BE TAKEN AS MORE OR LESS.
 - THIS SUBDIVISION IS SUBJECT TO SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC SEWER SERVICE HAS BEEN GRANTED UNDER THE TERMS AND PROVISIONS THEREOF EFFECTIVE 02/10/03 ON WHICH DATE DEVELOPER'S AGREEMENT No. 24-4093-0 WAS FILED AND ACCEPTED.
 - STORMWATER MANAGEMENT FACILITY (WET POND) IS BEING PROVIDED ON SITE. THE FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

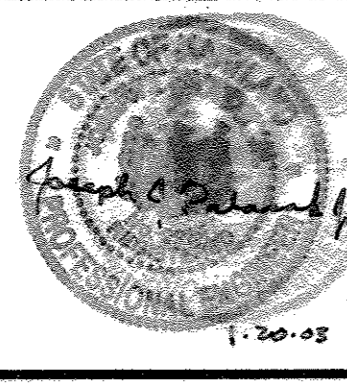
[Signature] 2/6/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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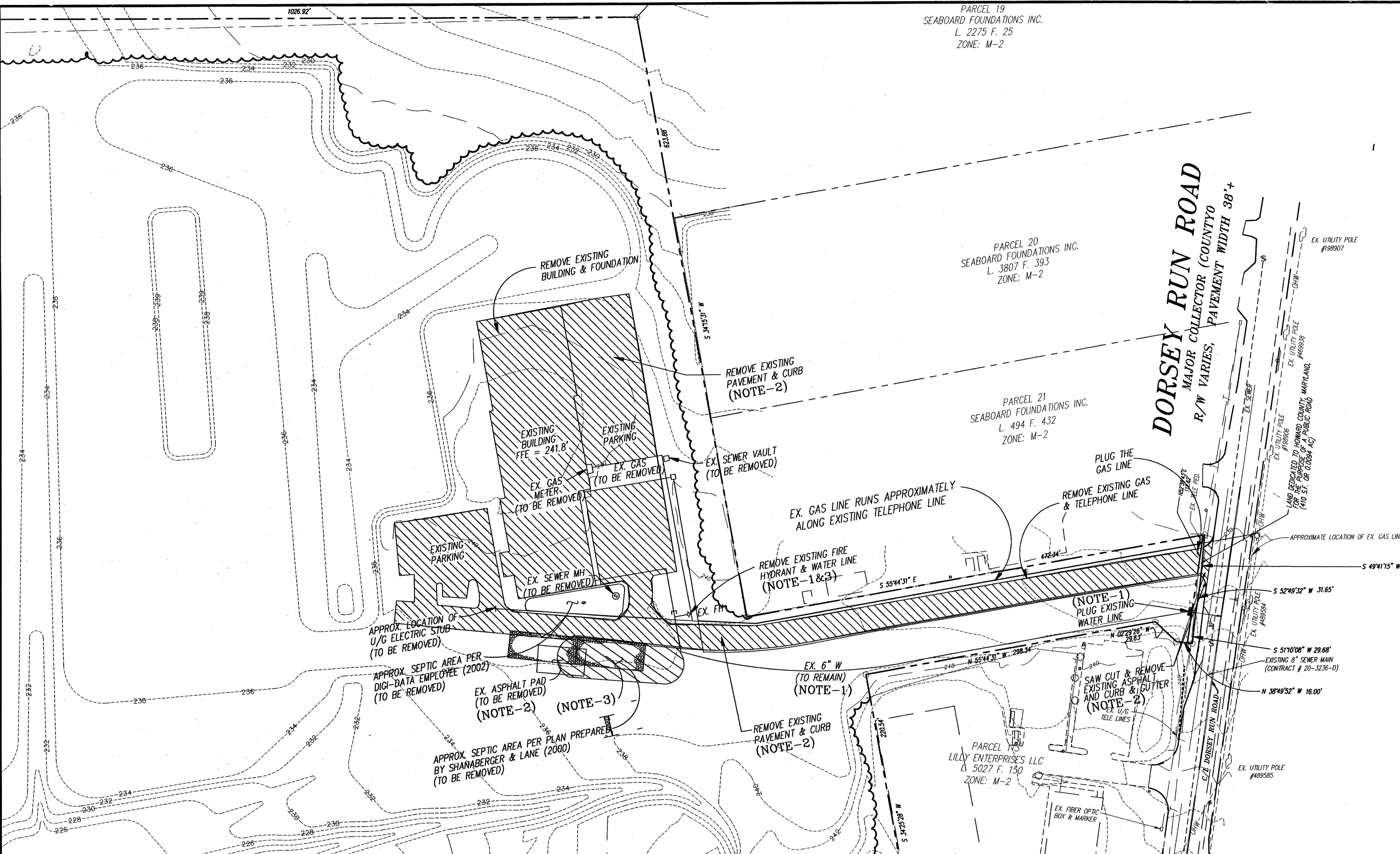


MARK	DATE	BY	MGR	RELEASE
4-21-04				AG BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILDFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
EXISTING CONDITIONS PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=100'
 ZONING: M-2
 PROJECT NO. 02027
 SDP MG 3 of 86
 TAX MAP - GRID 48
 SHEET NO. C10A



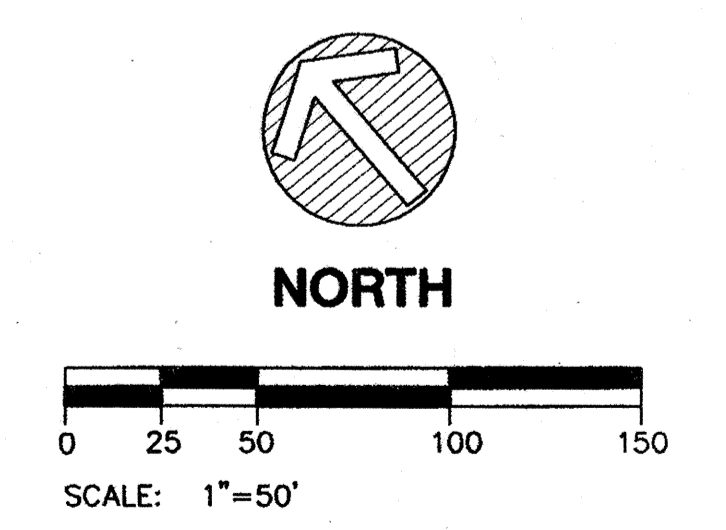
- NOTES:**
- EXISTING 6" WATER LINE AND FIRE HYDRANT AT S.W. CORNER OF EXISTING PARKING TO REMAIN ON SERVICE UNTIL NEW 10" PUBLIC WATER MAIN HAS BEEN CONSTRUCTED AND SERVICE ESTABLISHED TO THE NEW FACILITY. AT THAT TIME THE 6" WATER LINE TO BE ABANDONED IN PLACE AND PLUGGED AT BOTH ENDS.
 - EXISTING BUILDING AND PORTIONS OF PARKING TO BE REMOVED AS DIRECTED BY THE BUILDER. THE EXISTING PAVED ACCESS ROAD FROM DORSEY RUN ROAD TO REMAIN IN SERVICE TO SERVE AS THE CONSTRUCTION ENTRANCE. THIS ROAD SHALL REMAIN IN SERVICE UNTIL SUCH TIME WHEN THE MAJORITY OF UTILITY WORK HAS BEEN COMPLETED AND CONTRACTOR IS READY TO START STABILIZATION OF PAVED AREAS AND PREPARATION OF FINAL PAVEMENT. AT THAT TIME REMOVE THE REMAINING EXISTING PAVED ROAD AND CONSTRUCT THE NEW TRUCK ENTRANCE. COORDINATE WITH BUILDER ON TIMING.
 - DURING CONSTRUCTION, PLACE CONSTRUCTION ENTRANCE GRAVEL PAD AND DIRECT ALL TRUCK TRAFFIC OVER IT BEFORE LEAVING SITE. USE SAME PAD AS WASH STATION TO GET MUD OFF OUTBOUND TRUCKS. EXISTING FIRE HYDRANT TO SERVE AS SOURCE OF WASH DOWN DURING CONSTRUCTION.
 - EXISTING GRADES PER WP-02-130 MASS GRADING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chris Dammann 2/6/03
 Chief, Development Engineering Division Date

John Harnett 2/6/03
 Chief, Division of Land Development Date

Dee M. Leagle 2/6/03
 Director Date



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
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 FAX # (770) 437-3939

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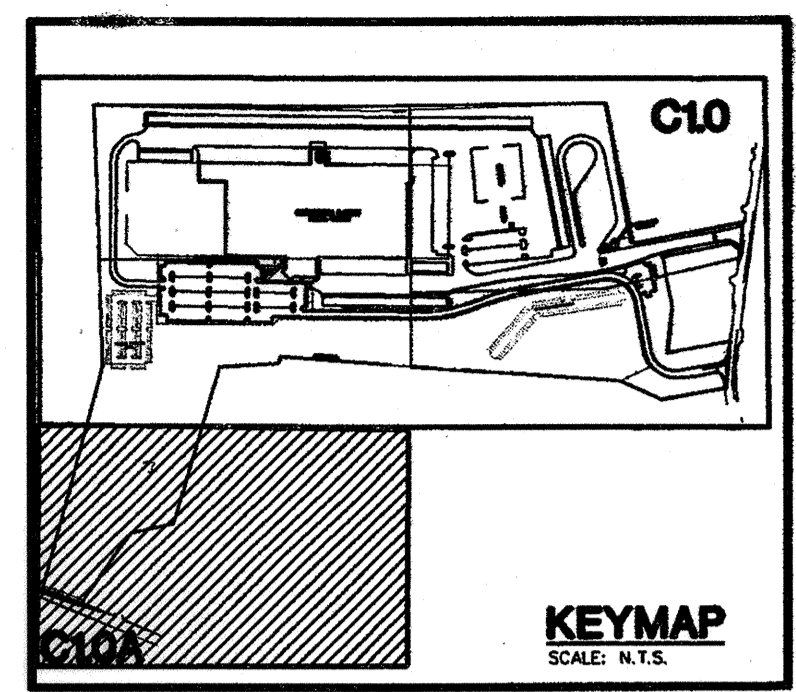
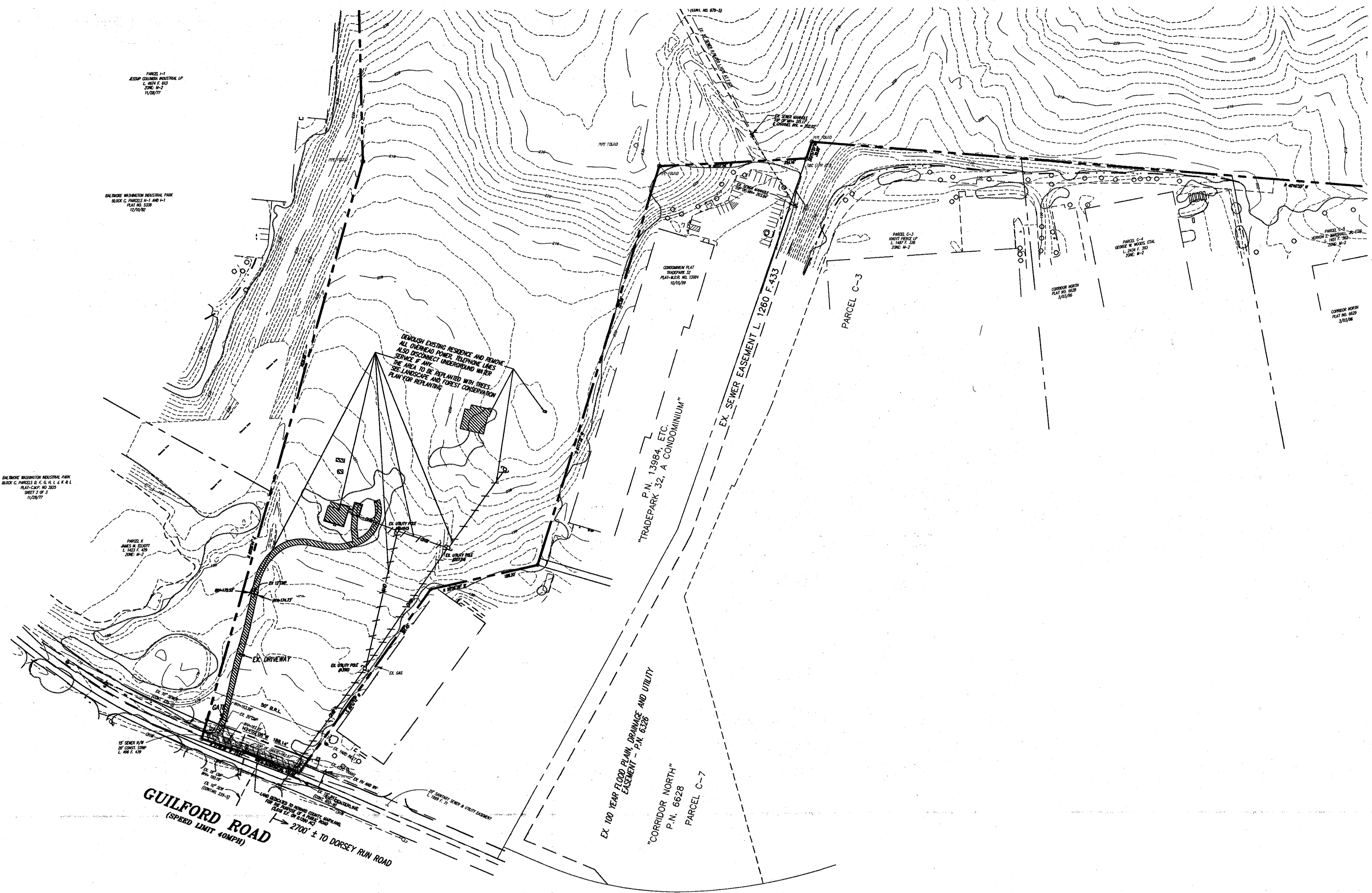


MARK	DATE	BY	MGR	RELEASE
4-21-04		AS BUILT		

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GULFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
DEMOLITION PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 4 of 86 C12

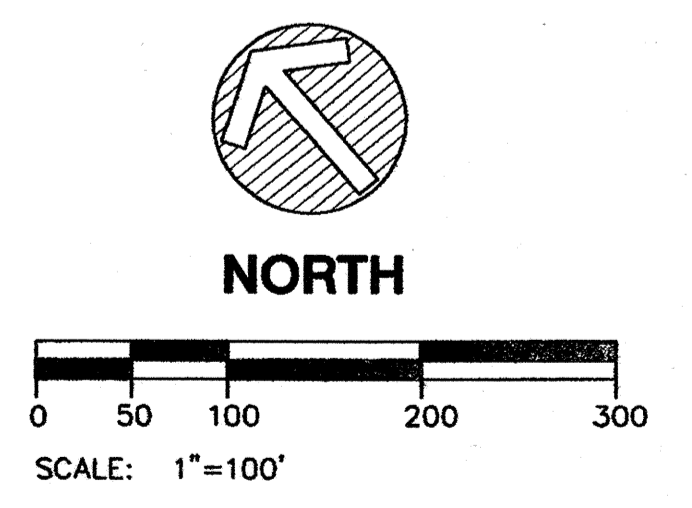


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard Currie 2/6/03
 Chief, Development Engineering Division Date

John A. Langley 2/6/03
 Chief, Division of Land Development Date

John A. Langley 2/6/03
 Director Date



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
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 FAX # (770) 437-3939

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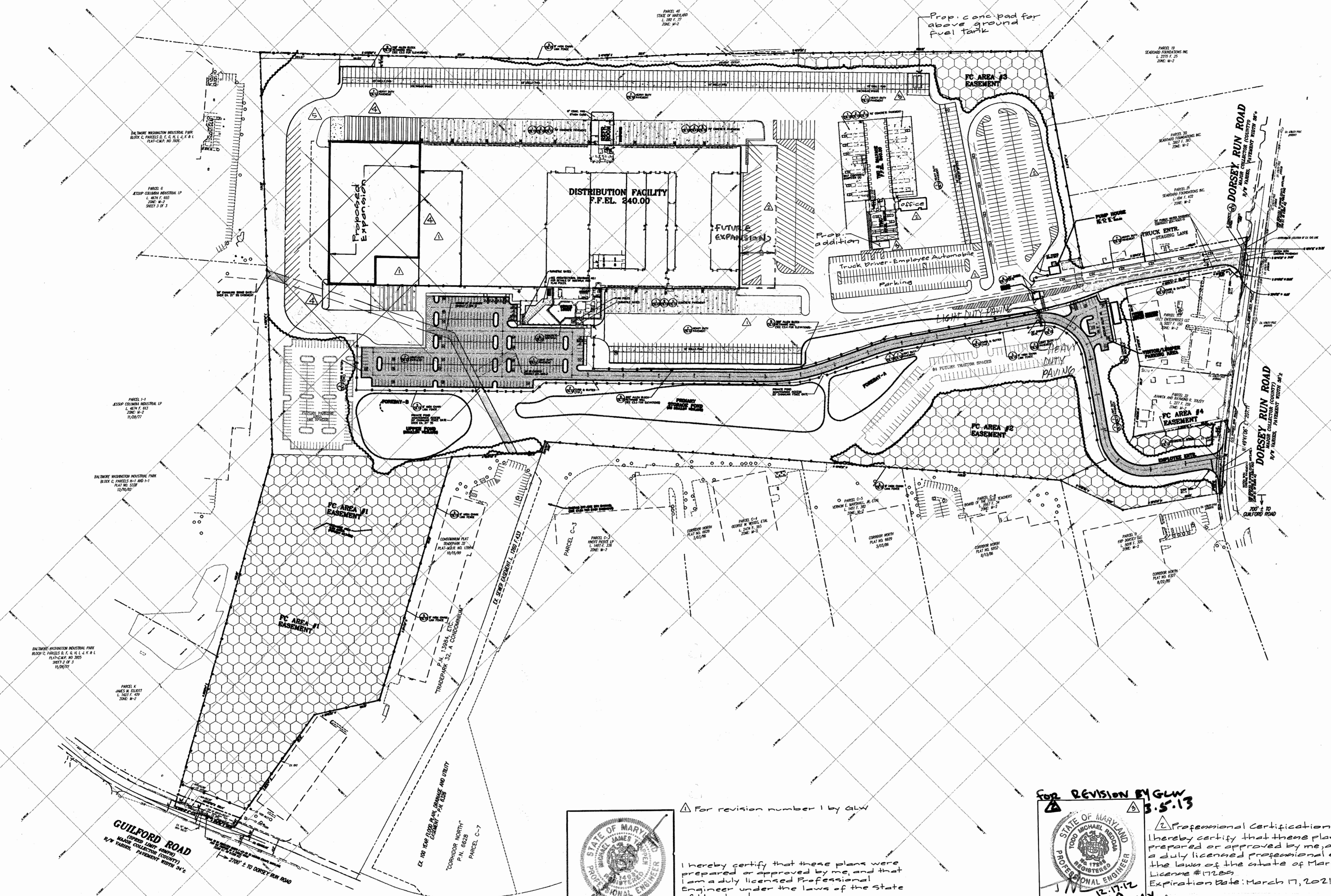
MARK	DATE	BY	MGR	RELEASE
	4-21-02			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
DEMOLITION PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=100'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 5 of 86 C12A

DRAWING: E:\Projects\02027\Engineer\plan\demolition\0202712A.dwg
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 TIME: 1:52:39



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

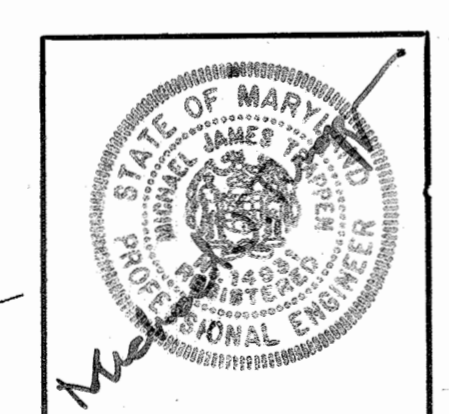
[Signature] 2/6/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date

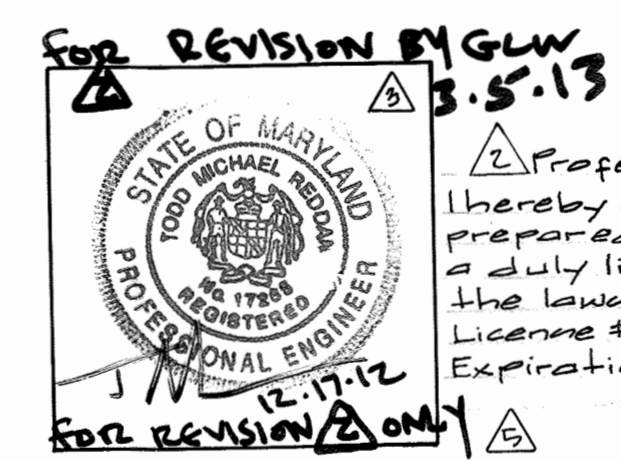
SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION MANUAL.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO THE STRUCTURAL PLANS FOR THE COLUMN GRID LAYOUT AND INFORMATION REQUIRED TO LAYOUT THE BUILDING WITHIN THE FOUNDATIONS.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR STAIR DETAILS AND BOLLARD PROTECTION OF THE STAIRS. REFER TO THESE DRAWINGS FOR BOLLARD DETAILS.
- THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
- REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED.
- PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
- CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSI.
- HANDICAP RAMPS AND PARKING STALLS SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
- THIS SITE HAS NO RECORD OF SUBSURFACE MINES OR OTHER GEOLOGIC FEATURES OF THIS NATURE.
- NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION.
- CERTAIN EXISTING WATER AND SEWER LINES, GAS LINES, TELEPHONE CABLES, CULVERTS, CROSS DRAINS, ETC. ARE SHOWN ON THE DRAWINGS ACCORDING TO THE BEST INFORMATION AVAILABLE. THE DRAWINGS INDICATE THE PIPE LINES AND OTHER STRUCTURES TO BE INSTALLED OVER, UNDER OR AROUND UNDERGROUND UTILITIES OR OBSTRUCTIONS THAT ARE KNOWN TO EXIST. WHERE THESE OR UNFORSEEN UNDERGROUND UTILITIES ARE ENCOUNTERED, THE LOCATION AND ALIGNMENT MAY BE CHANGED, UPON WRITTEN APPROVAL OF THE ENGINEER, TO AVOID INTERFERENCE. BEFORE THE PROPOSED UNDERGROUND STRUCTURES ARE INSTALLED, THE CONTRACTOR SHALL LOCATE WATER, SEWER AND OTHER UTILITY SERVICES TO AVOID INTERFERENCE WITH SUCH SERVICES OR TO DETERMINE WHETHER SERVICES SHOULD BE RELOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPAIR ANY DAMAGE DONE TO UTILITIES OR PIPE LINES RESULTING FROM THE WORK OF LOCATING SERVICES OR RESULTING FROM THE CONSTRUCTION OPERATION.
- CONTRACTOR SHALL NOTIFY THE UTILITIES PROTECTION CENTER AT LEAST THREE WORKING DAYS PRIOR TO BEGINNING OF EXCAVATION.
- ALL DISTURBED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL EROSION AND SEDIMENT CONTROLS TO BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION AND DETENTION FACILITIES ARE CONSTRUCTED.
- SILT BARRIERS TO BE PLACED AS SHOWN AND/OR AS DIRECTED BY PROJECT ENGINEER.
- NOTIFY INSPECTOR 24 HOURS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENTATION CONTROLS, AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING.
- CUT AND FILL SLOPES NOT TO EXCEED 2:1 (2' HORIZ.).
- ALL MATERIAL WHICH IS DEMOLISHED ON SITE SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER AS DETERMINED BY THE LOCAL MUNICIPALITY.



For revision number 1 by GLW

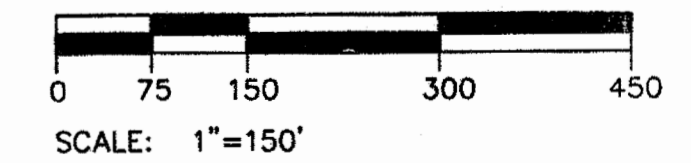
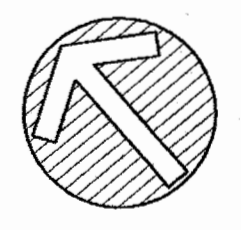
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License # 14231 Expiration Date: May 21, 2010



FOR REVISION BY GLW 3.5.13

Professional Certification

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License # 17288 Expiration Date: March 17, 2021.



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
△	5-7-2010	KLP		Rev. loading area NW corner of warehouse
△	10-12-19	GT		Warehouse Expansion (952170P)
△	7-4-19	GT		Build addition: Fuel tank pad, prep truck driver parking, tractor staging & tractor staging area
△	2/7/2012	KLP		add dock & cooler expansion; rev parking
△	4-21-04			AS BUILT

PREPARED FOR:

**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**

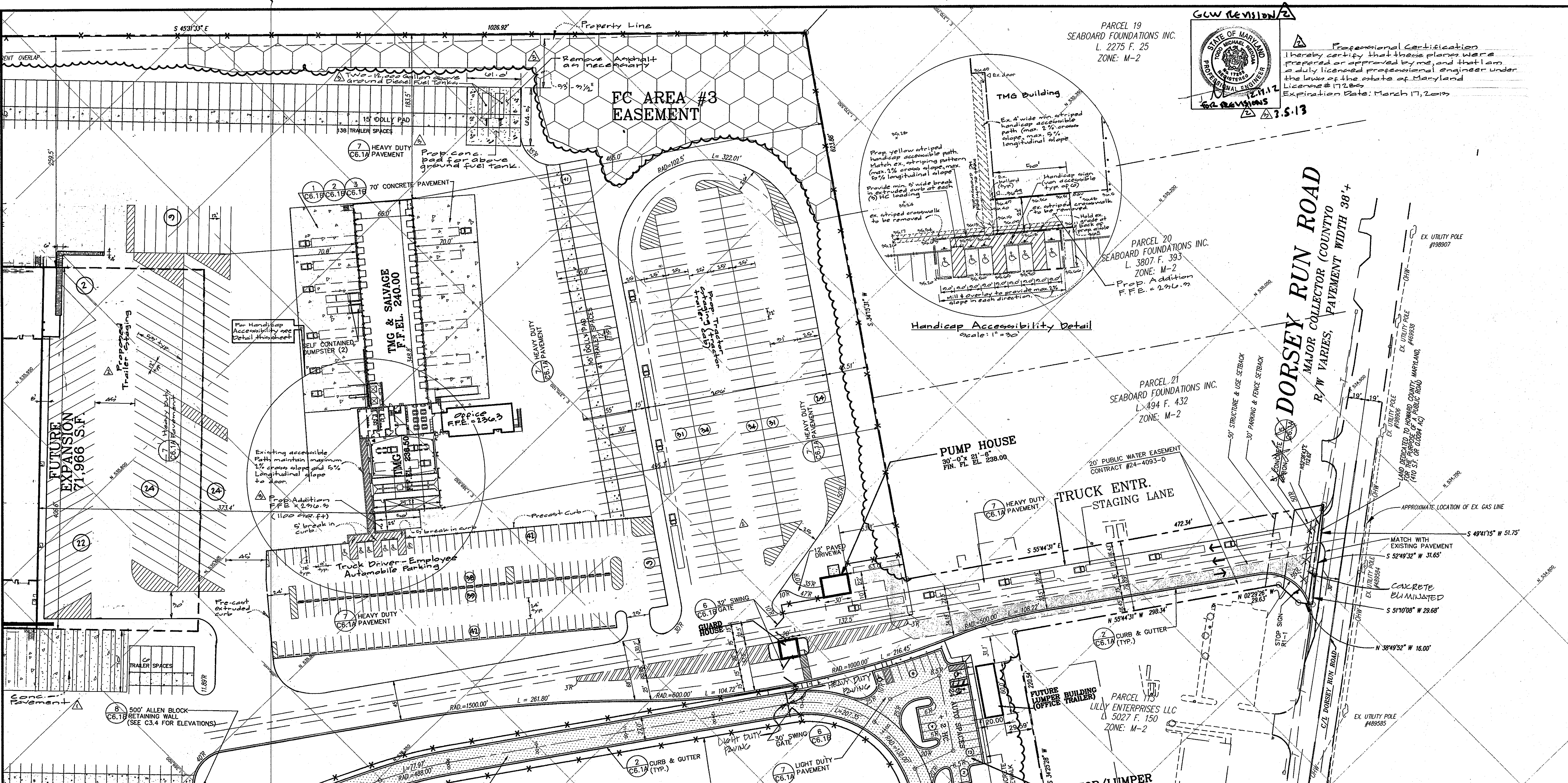
6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:

OVERALL SITE PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE: 1"=150'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 6 of 86 C20



STATE OF MARYLAND
 PROFESSIONAL ENGINEER
 JAMES M. WILSON
 LICENSE # 17285
 EXPIRATION DATE: MARCH 17, 2019
 62 REVISIONS
 3.5.13

Professional Certification
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License # 17285 Expiration Date: March 17, 2019

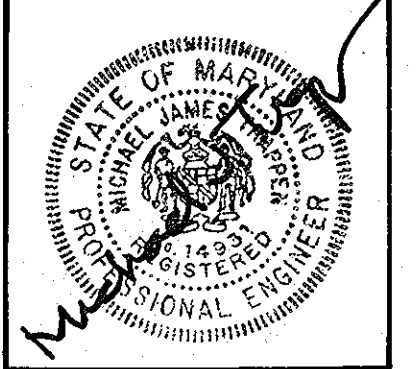
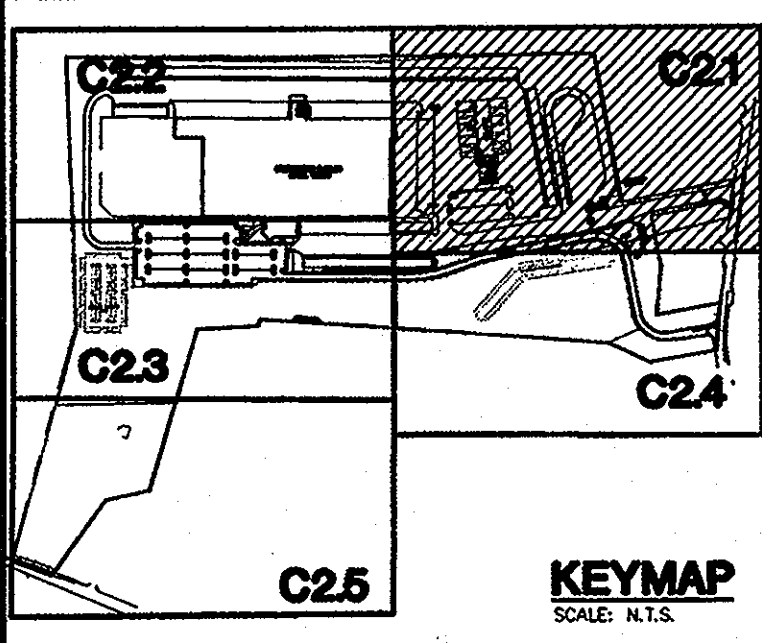
Handicap Accessibility Detail
 Scale: 1" = 30'

LEGEND:
 [Pattern] — LIGHT DUTY PAVEMENT
 [Pattern] — HEAVY DUTY PAVEMENT
 [Pattern] — CONCRETE PAVEMENT



0 25 50 100 150
 SCALE: 1" = 50'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director



For Revision Number 1 by GLW
 I hereby certify that these plans were prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the state of Maryland, license No. 17285, expiration date May 21, 2008.

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
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 SMYRNA, GEORGIA 30080
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 FAX: # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
Δ	7/4/10	ST		Build additions & Fuel tank Pad
Δ	11-17-2011	KP		Rev. truck driver parking, trailer staging & trailer staging area.
Δ	4-28-08	WJ		Add back cooler expansion Res. Parking
Δ	4-21-04			As BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
SITE PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

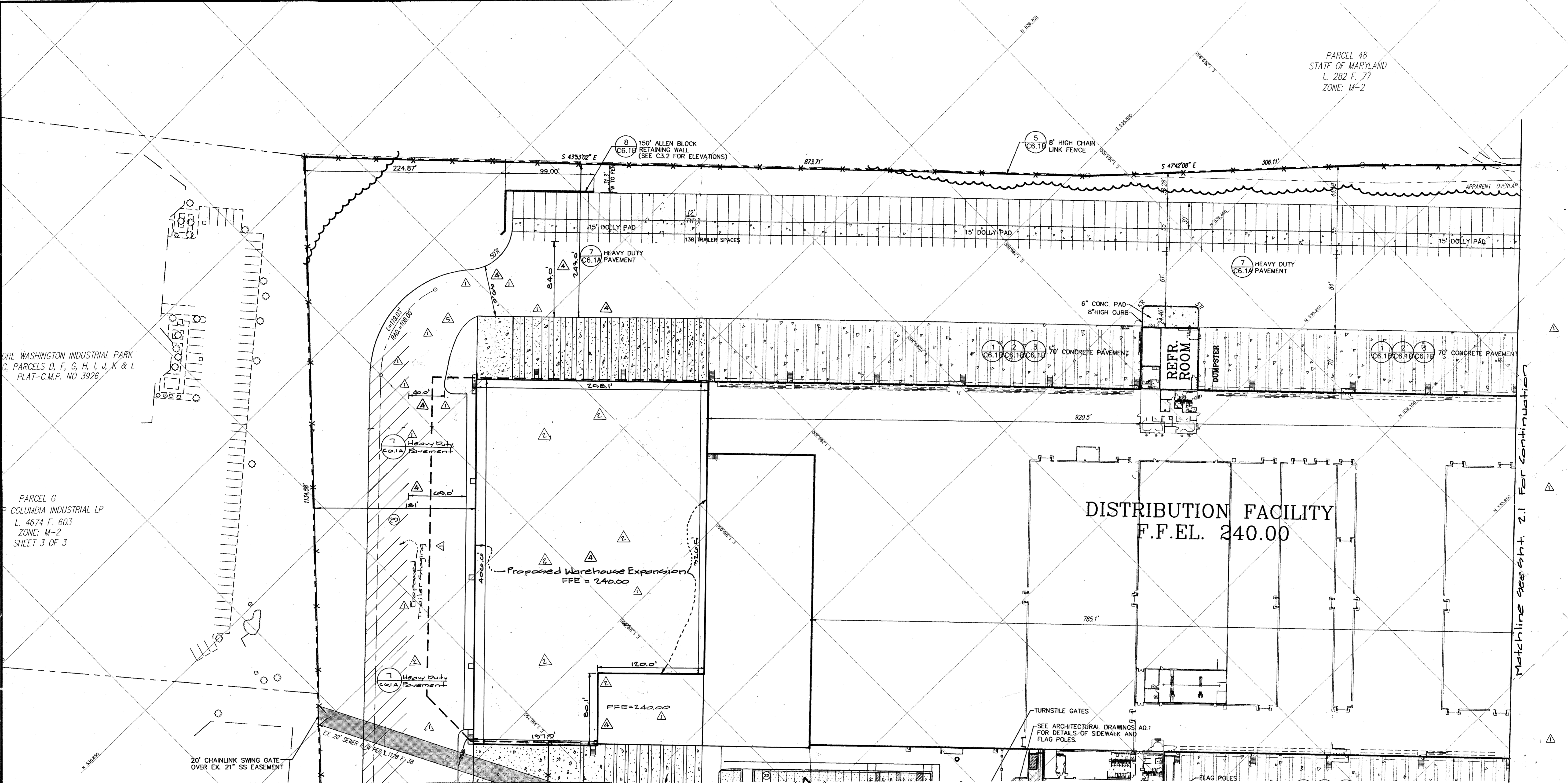
SCALE: 1" = 50'
 ZONING: M-2
 PROJECT NO. 02027
 DATE:
 TAX MAP - GRID 48
 SHEET NO. 8 of 86
C21

SDP-03-44

PARCEL 48
STATE OF MARYLAND
L. 282 F. 77
ZONE: M-2

ORE WASHINGTON INDUSTRIAL PARK
C, PARCELS D, F, G, H, I, J, K & L
PLAT-C.M.P. NO 3926

PARCEL G
COLUMBIA INDUSTRIAL LP
L. 4674 F. 603
ZONE: M-2
SHEET 3 OF 3



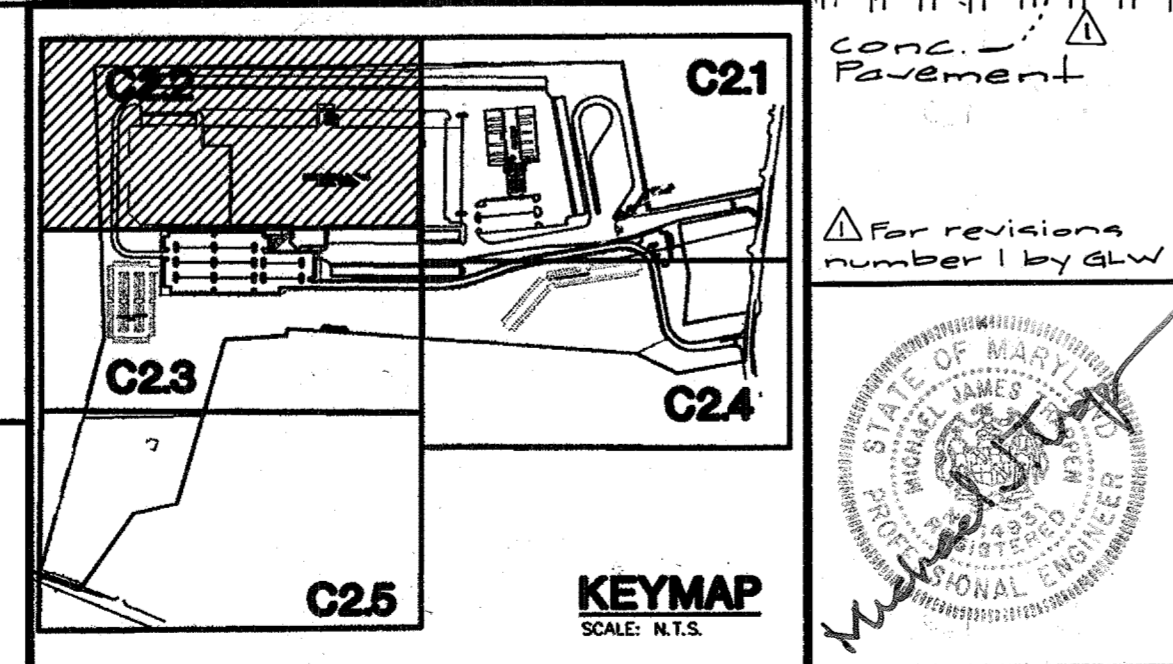
Matchline see sht. 2.1 For continuation

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard 2/6/02
Chief, Development Engineering Division Date

Hammet 2/6/02
Chief, Division of Land Development Date

Boyle 2/6/02
Director Date



GLW REVISION

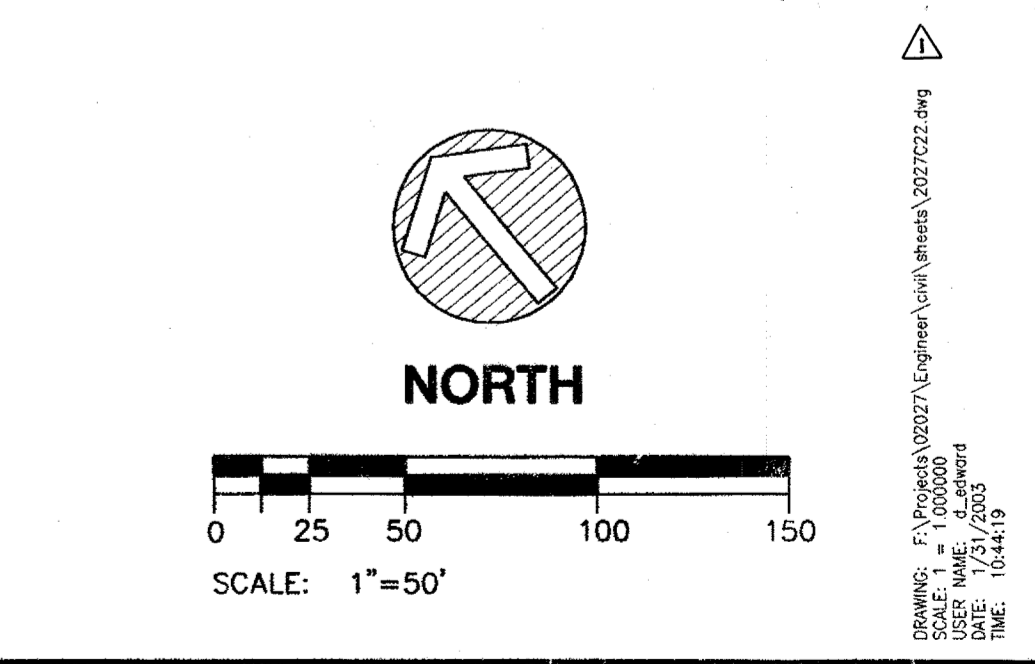
Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License #17285, Expiration Date: March 17, 2010

12.17.12 FOR REVISIONS

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the state of Maryland, License #14021, Expiration Date: May 21, 2010

LEGEND:

- LIGHT DUTY PAVEMENT
- HEAVY DUTY PAVEMENT
- CONCRETE PAVEMENT



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FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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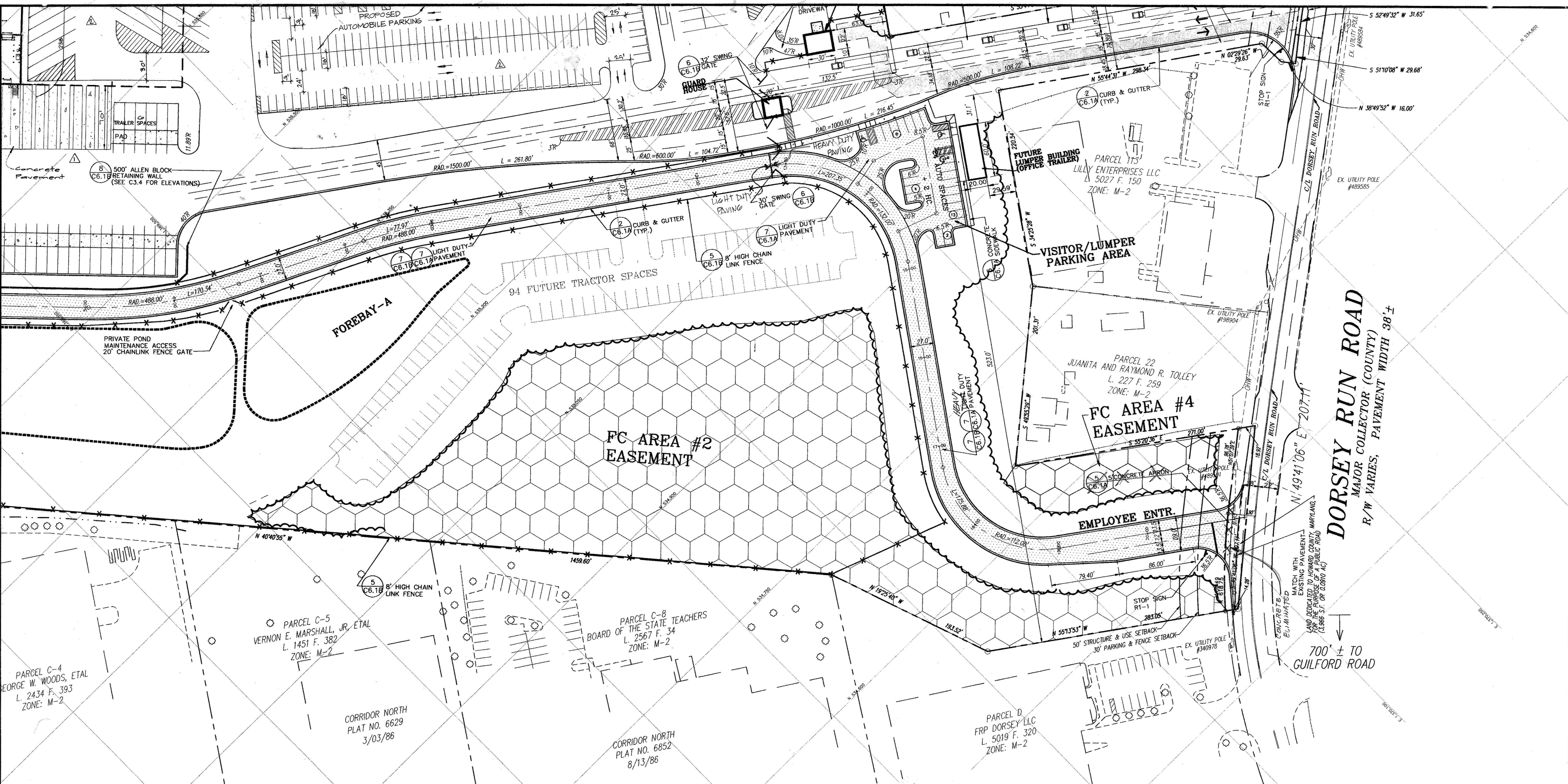
MARK	DATE	BY	MGR	RELEASE
Δ	5/7/2010	WLP		Rev. loading area NW corner warehouse
Δ	10/16/10	WLP		Warehouse Expansion (075, 1716F)
Δ	12/17/12	WLP	TMR	add Trailer staging
Δ	4/23/05	WLP		add dock cooler expansion, rev. parking
Δ	4-21-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
SITE PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 9 of 84 C2.2

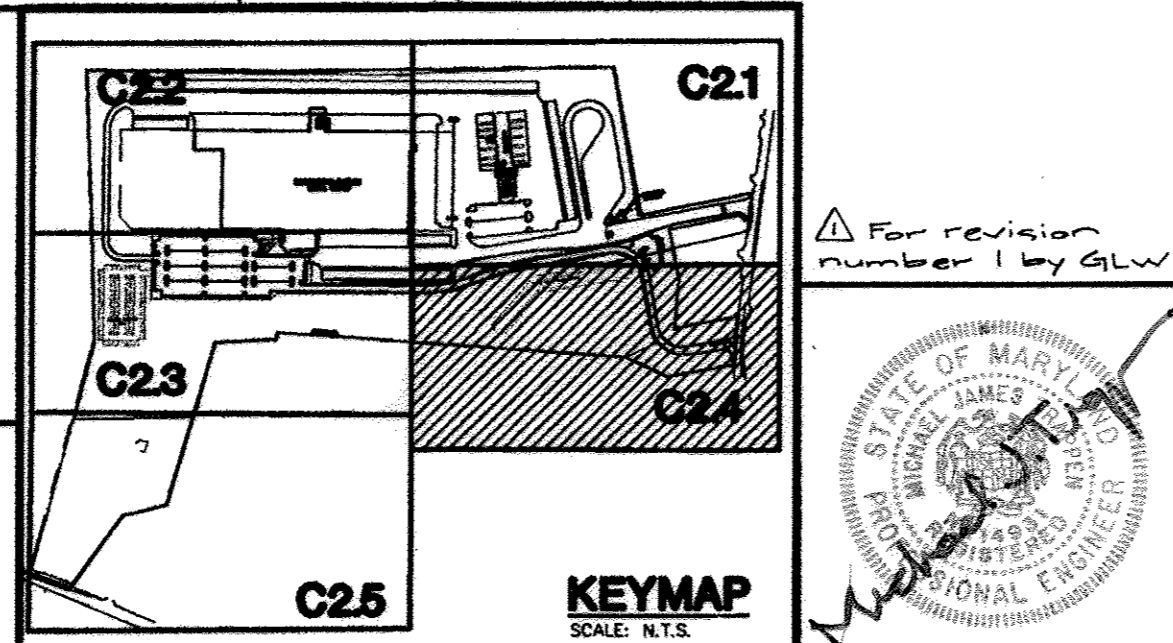


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Michael Damann 2/6/13
 Chief, Development Engineering Division Date

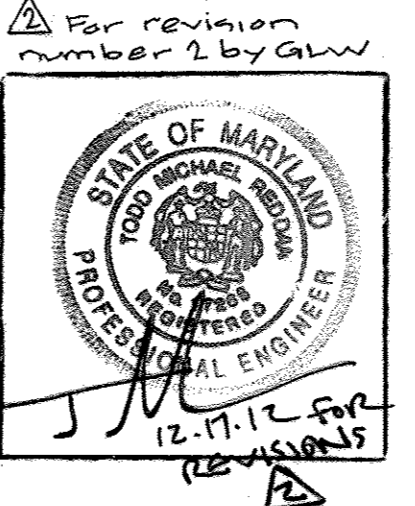
Robert... 2/6/13
 Chief, Division of Land Development Date

M.S. ... 2/6/13
 Director Date

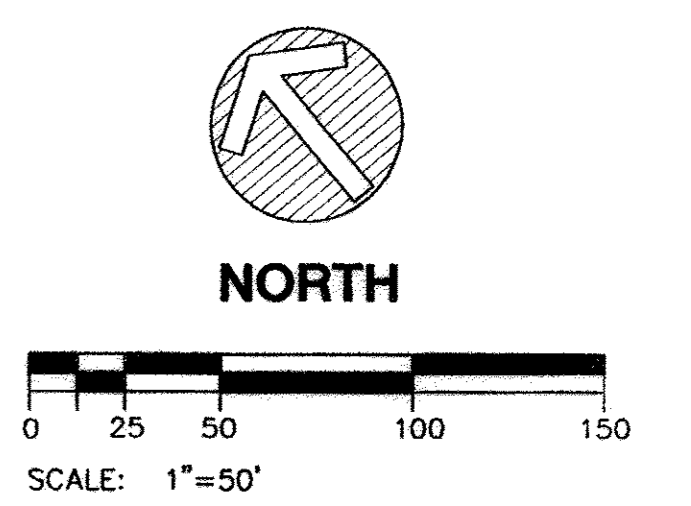


I hereby certify that these plans were prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License # 17285, Expiration Date: March 17, 2013.

[Signature] 12-17-12
 PROFESSIONAL ENGINEER

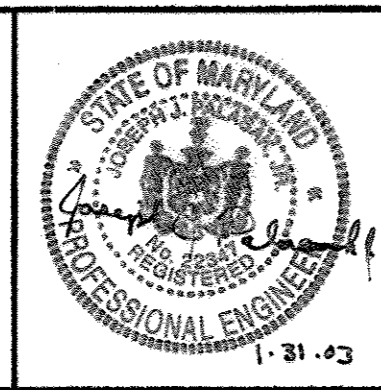


- LEGEND:**
- LIGHT DUTY PAVEMENT
 - HEAVY DUTY PAVEMENT
 - CONCRETE PAVEMENT



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MARK	DATE	BY	MGR	RELEASE
12-17-12	gt			REV. TRUCK DRIVER PARKING, TRAILER STAGING - TRACTOR STAGING AREA
4/23/13				
4-21-14				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
SITE PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 11 of 86 C24

BALTIMORE WASHINGTON INDUSTRIAL PARK
 BLOCK C, PARCELS D, F, G, H, I, J, K & L
 PLAT-C.M.P. NO 3925
 SHEET 2 OF 3
 11/28/77

PARCEL K
 JAMES M. ELLIOTT
 L. 1423 F. 429
 ZONE: M-2

FC AREA #1
 EASEMENT

5
 C6.1B
 8' HIGH CHAIN
 LINK FENCE

"TRADEPARK P.N. 13984, ETC.
 PARCELS 32, A CONDOMINIUM"

EX. 100 YEAR FLOOD PLAIN, DRAINAGE AND UTILITY
 EASEMENT - P.N. 6326

"CORRIDOR NORTH"
 P.N. 6628
 PARCEL C-7

GUILFORD ROAD
 (SPEED LIMIT 40MPH)
 MAJOR COLLECTOR (COUNTY)
 R/W VARIES, PAVEMENT WIDTH 34'±

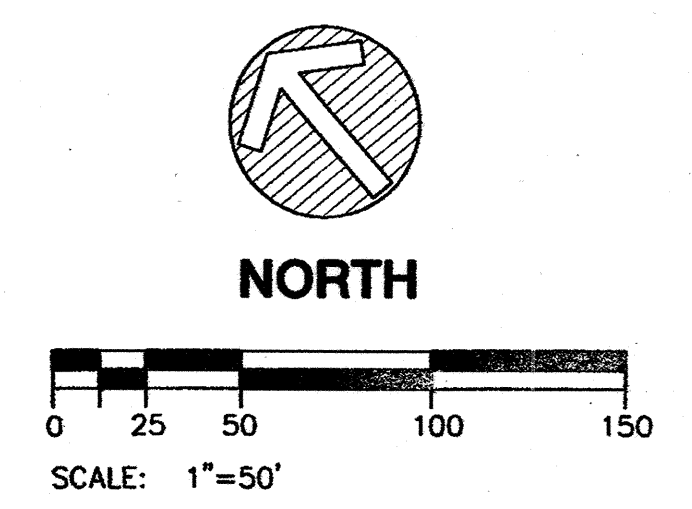
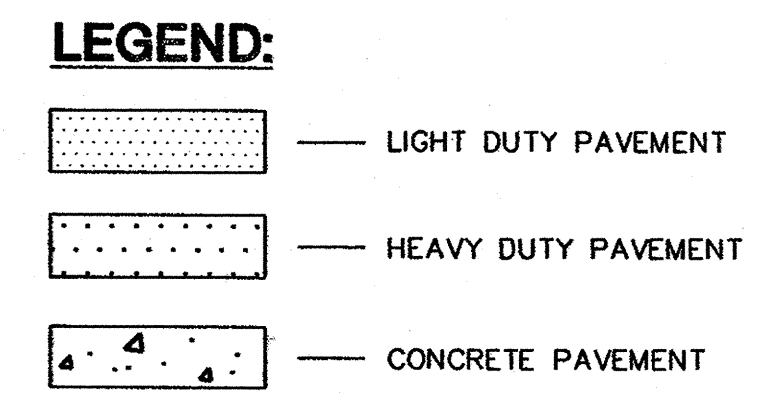
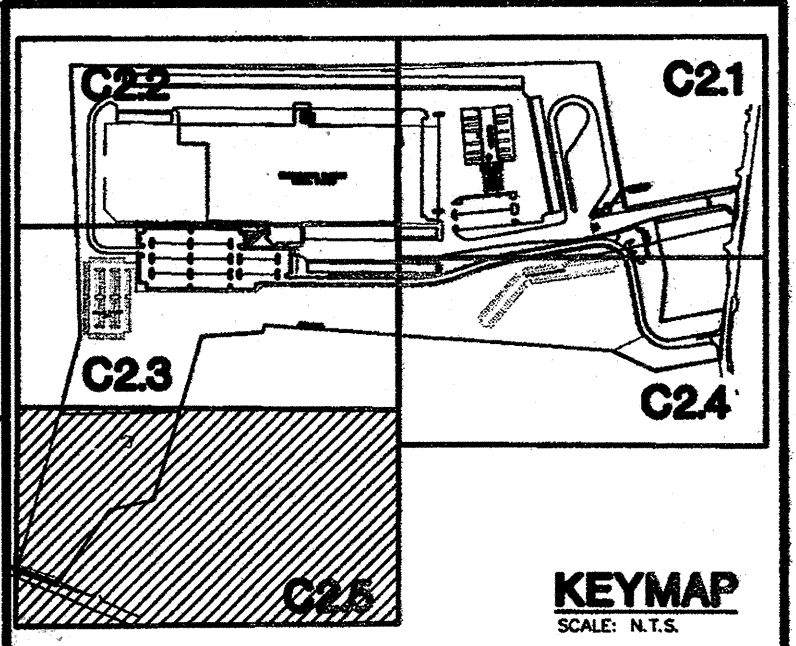
LAND TO BE DEDICATED UNDER F-03-40 TO HOWARD COUNTY, MARYLAND,
 FOR THE PURPOSE OF A PUBLIC ROAD
 (5,616 S.F. OR 0.1290 AC)
 2700' ± TO DORSEY RUN ROAD

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark D. Williams 2/6/03
 Chief, Development Engineering Division Date

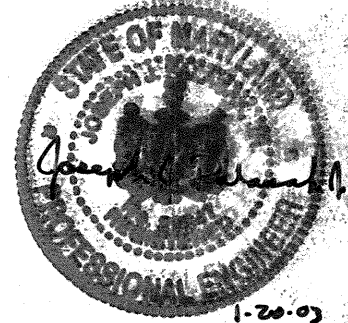
C. Hamer 2/6/03
 Chief, Division of Land Development Date

P.J. Dr. Leigh 2/6/03
 Director Date



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 ARCHITECTS & ENGINEERS
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MARK	DATE	BY	MGR	RELEASE
42104				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
SITE PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 12 of 86 C25

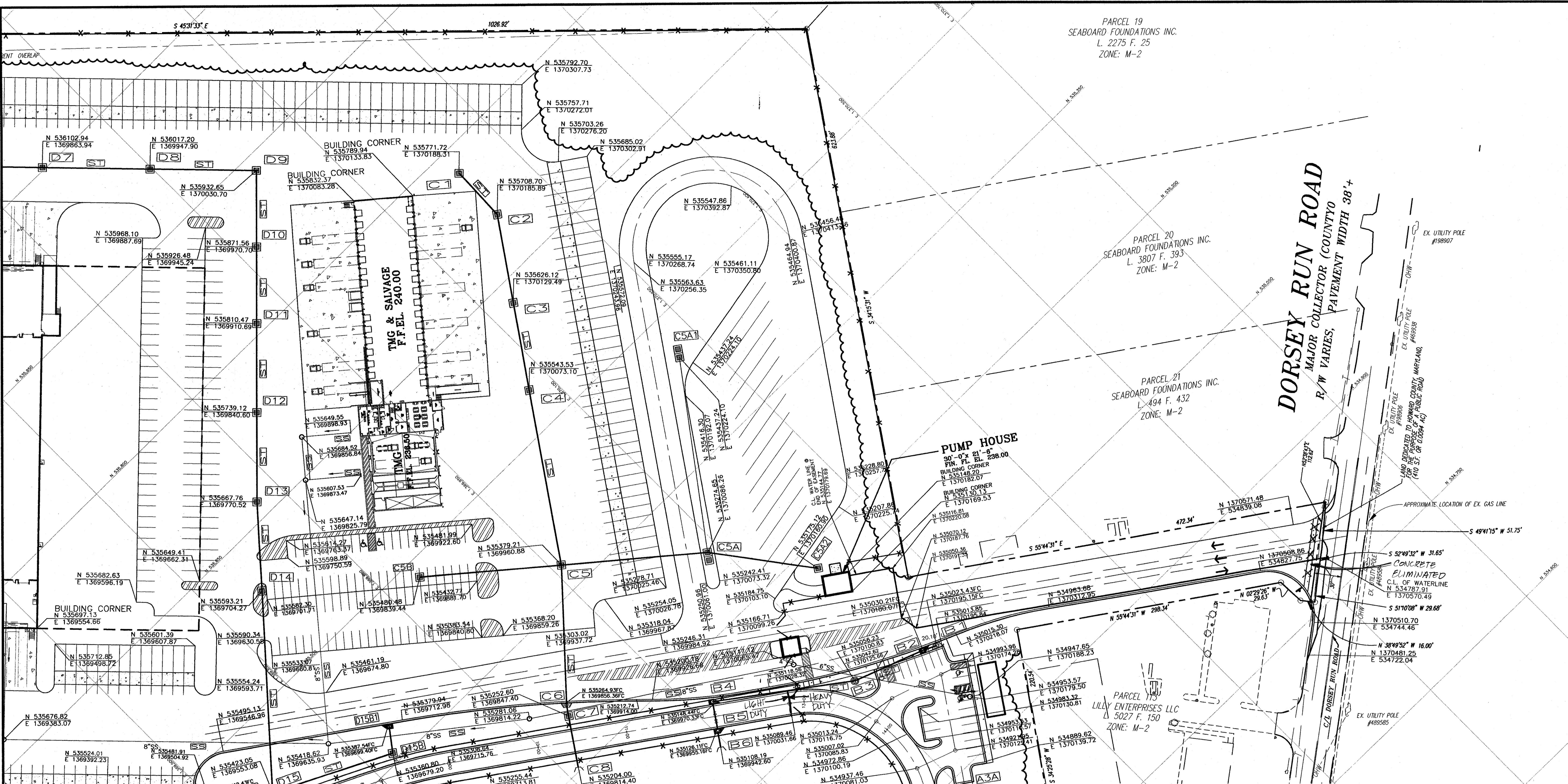
PARCEL 19
SEABOARD FOUNDATIONS INC.
L. 2275 F. 25
ZONE: M-2

PARCEL 20
SEABOARD FOUNDATIONS INC.
L. 3807 F. 393
ZONE: M-2

PARCEL 21
SEABOARD FOUNDATIONS INC.
L. 494 F. 432
ZONE: M-2

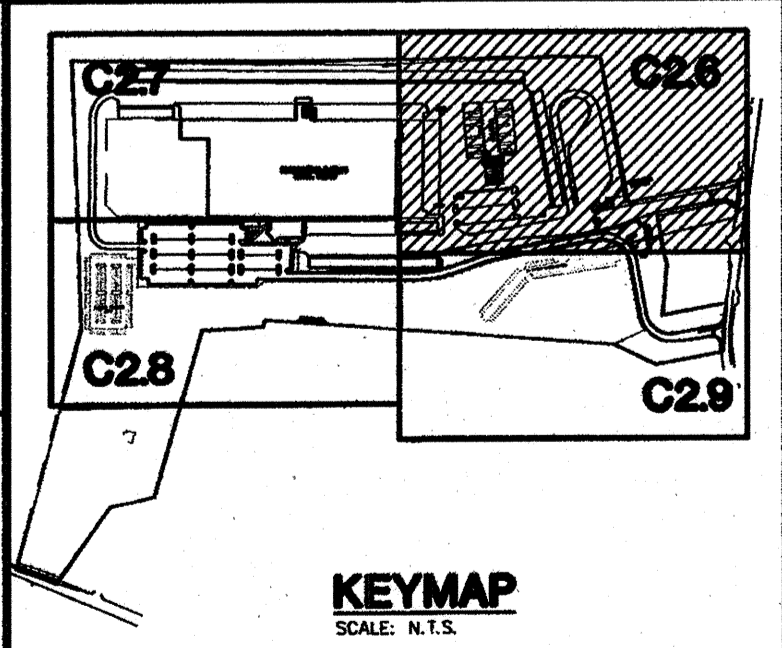
PARCEL 175
LILLY ENTERPRISES LLC
L. 5027 F. 150
ZONE: M-2

DORSEY RUN ROAD
MAJOR COLLECTOR (COUNTY)
R/W VARIES, PAVEMENT WIDTH 38'-4"

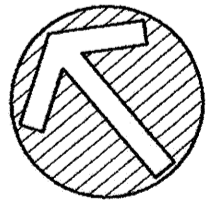


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division *[Signature]* 2/6/03
 Chief, Division of Land Development *[Signature]* 2/6/03
 Director *[Signature]* 2/6/03



LEGEND:
FC — FACE OF CURB



SCALE: 1"=50'
0 25 50 100 150

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FAX: # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
4-21-04				AS-BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
STAKING PLAN
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

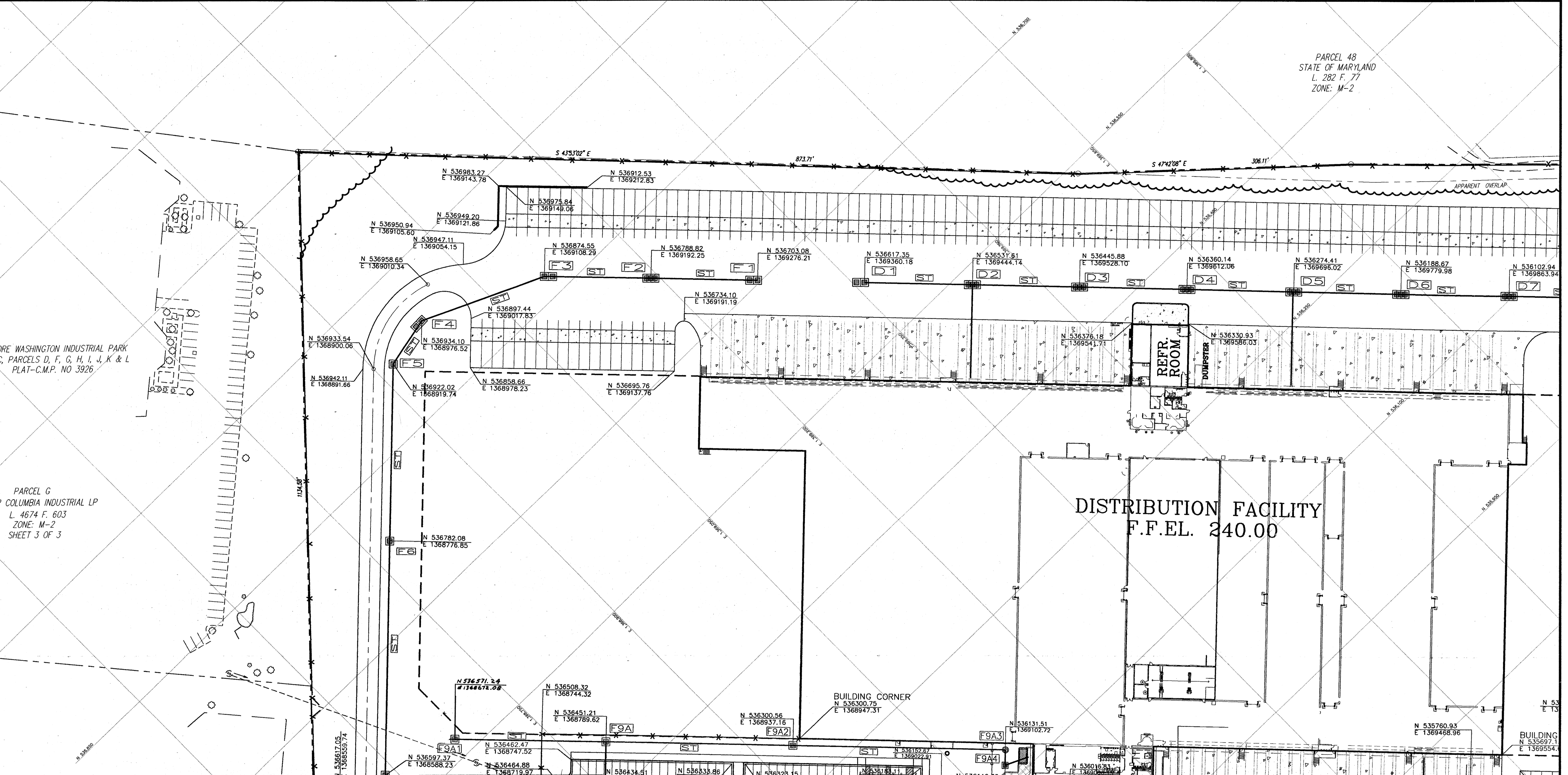
SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO. 13 of 86
	48	C26

SDP-03-44

PARCEL 48
STATE OF MARYLAND
L. 282 F. 77
ZONE: M-2

ORE WASHINGTON INDUSTRIAL PARK
C, PARCELS D, F, G, H, I, J, K & L
PLAT-C.M.P. NO 3926

PARCEL G
COLUMBIA INDUSTRIAL LP
L. 4674 F. 603
ZONE: M-2
SHEET 3 OF 3

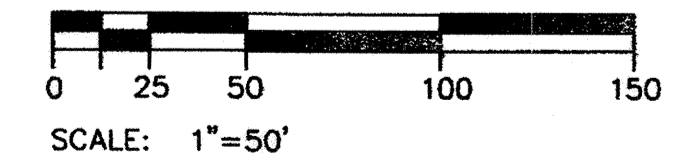
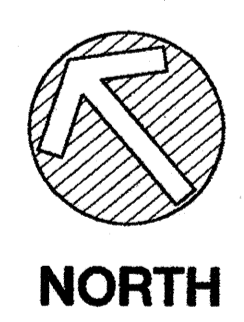
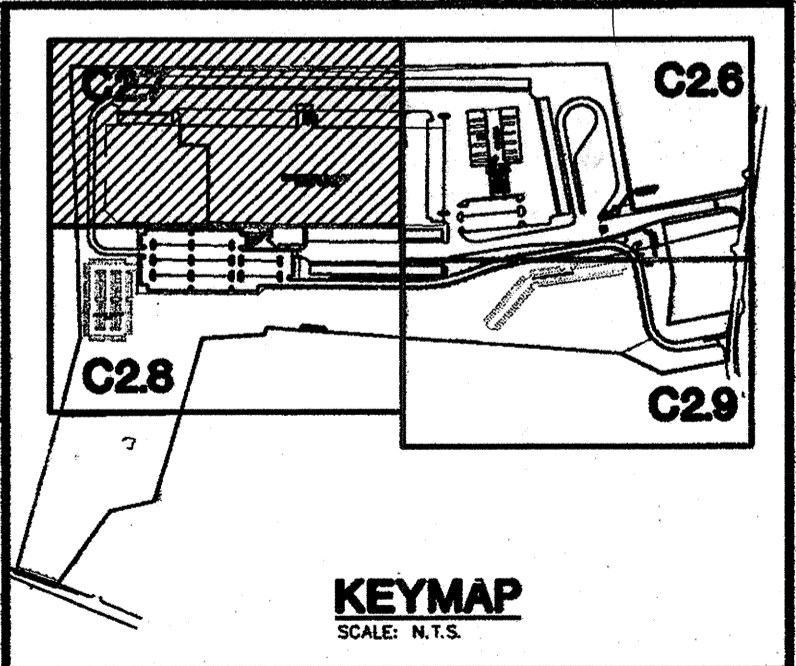


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/05
Chief, Development Engineering Division Date

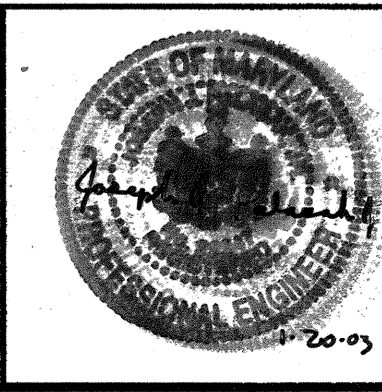
[Signature] 2/6/05
Chief, Division of Land Development Date

[Signature] 2/4/05
Director Date



THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
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FAX # (770) 437-3939

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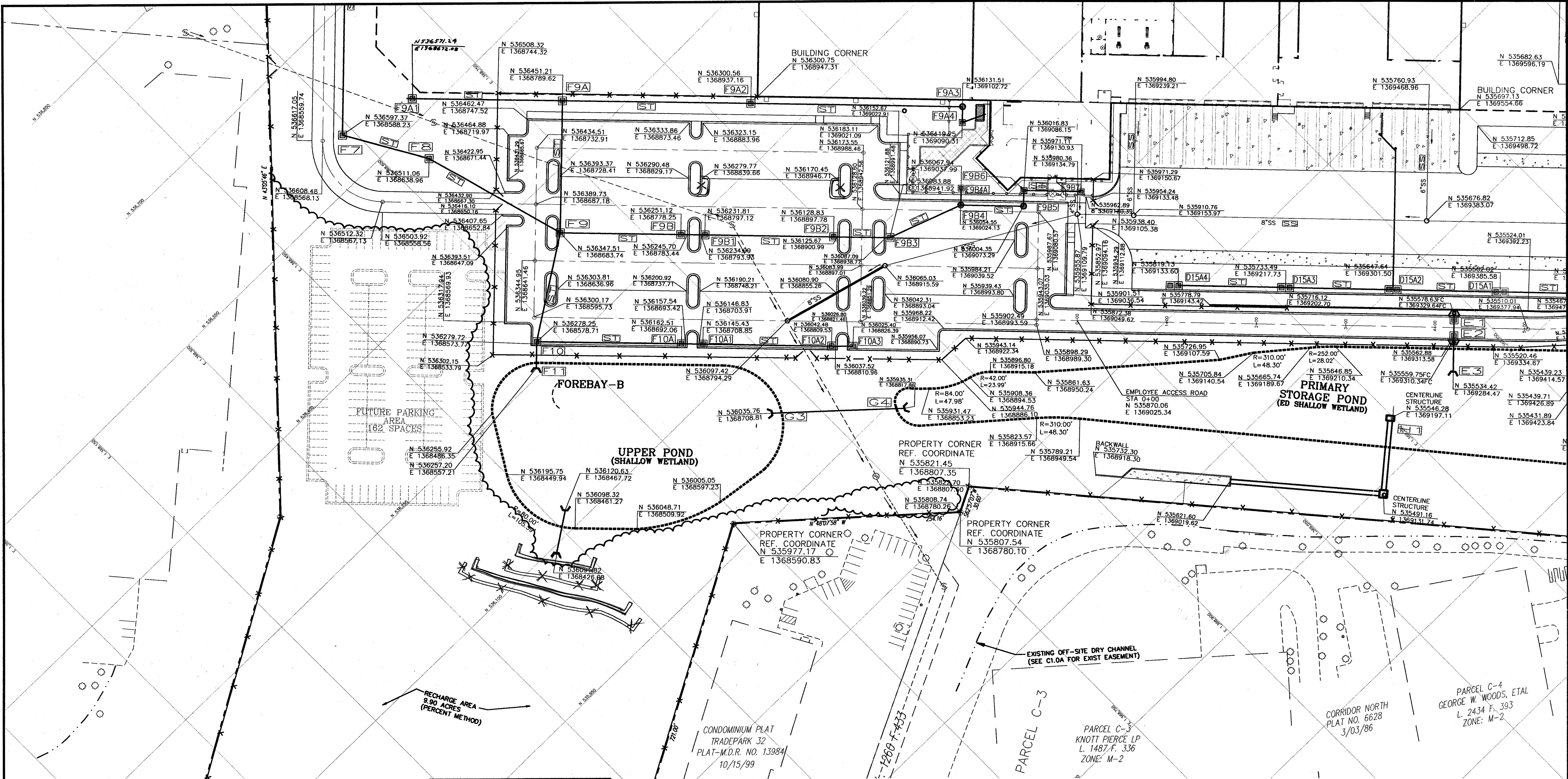
MARK	DATE	BY	MGR	RELEASE
	8-21-04	AS BUILT		

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
STAKING PLAN
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 14 of 86 C27

SDP-03-44

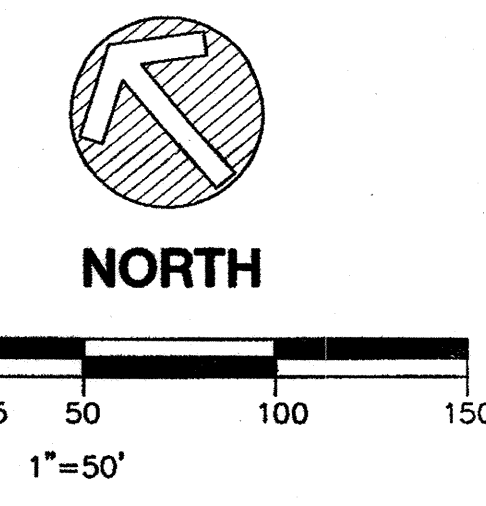
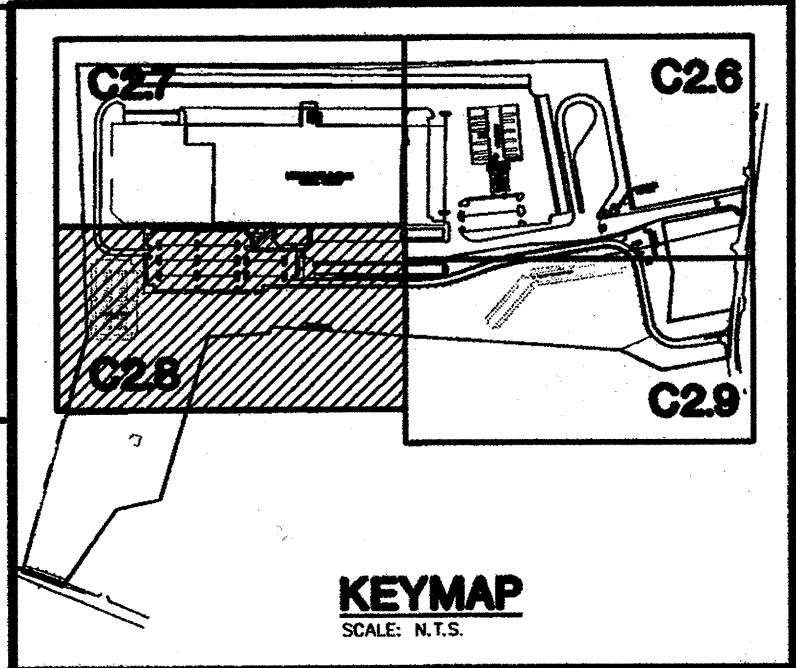


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE: # (800) 525-2463
 FAX: # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
4-21-04				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**

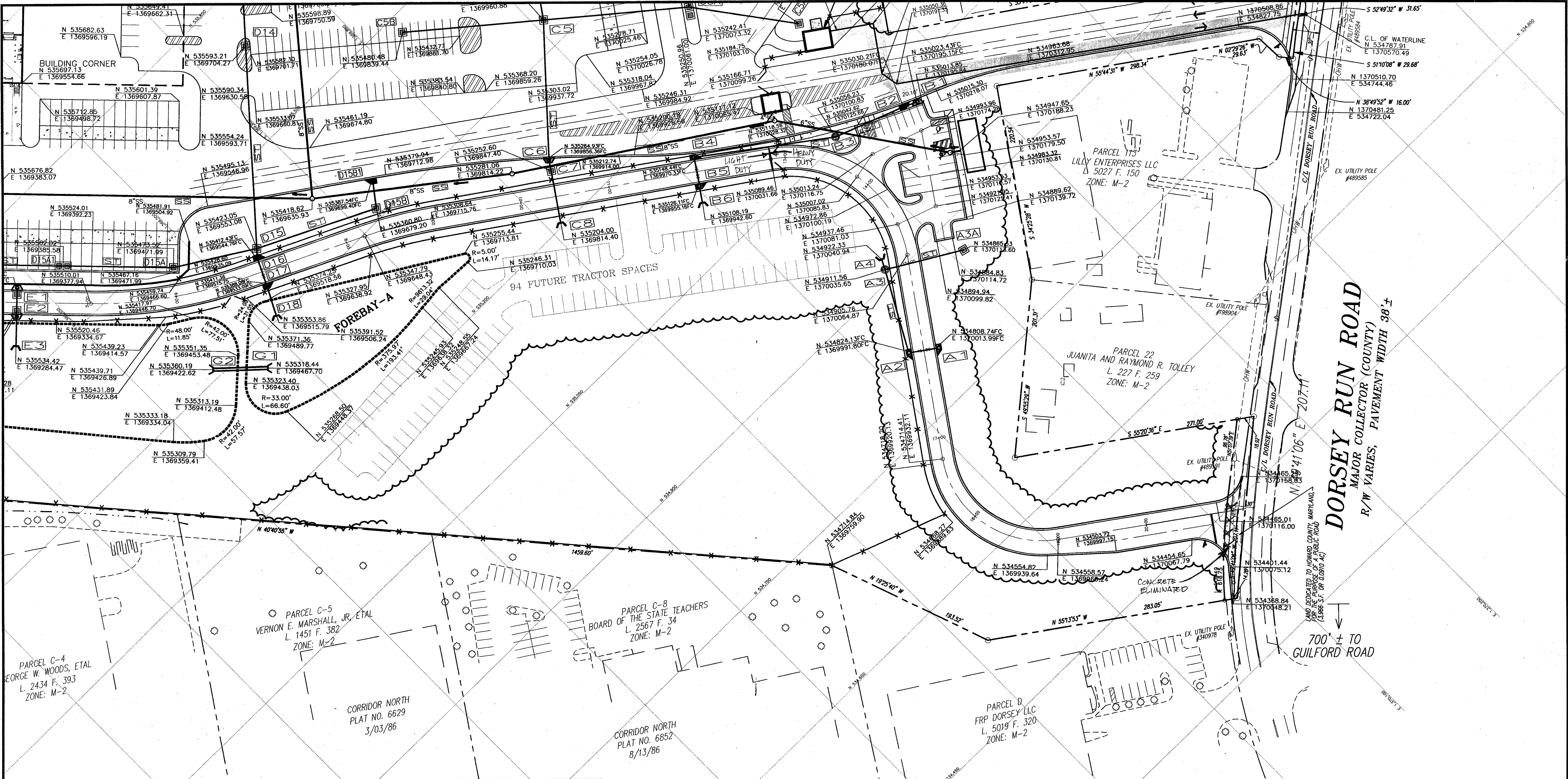
6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
STAKING PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 15 of 86
		C28

SDP-03-44

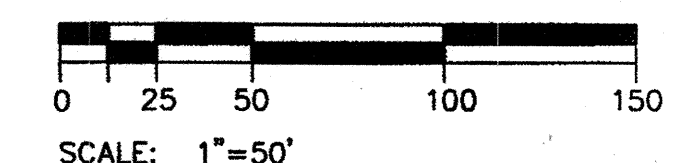
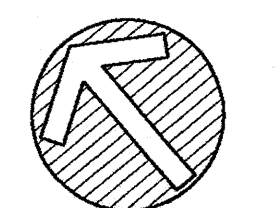
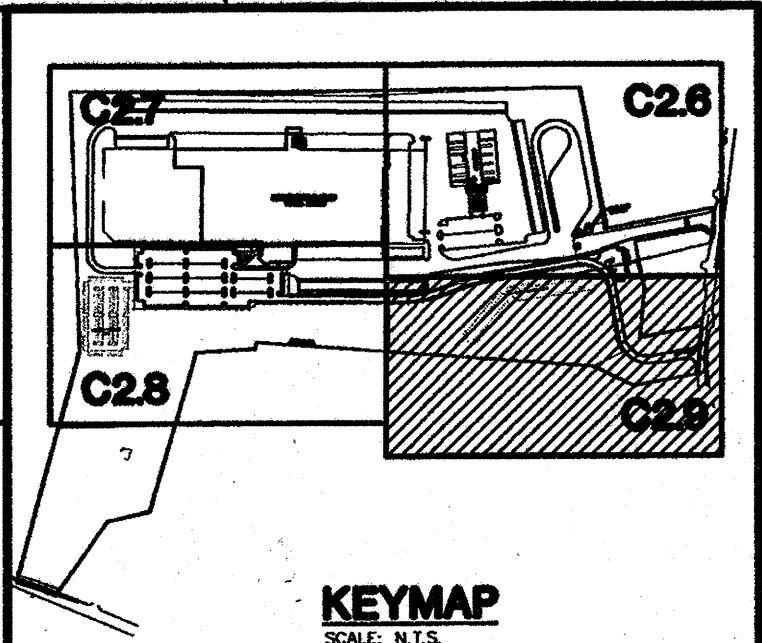


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
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 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
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MARK	DATE	BY	MGR	RELEASE
1-21-02				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
STAKING PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 16 of 86
		C29

PARCEL 19
SEABOARD FOUNDATIONS INC.
L. 2275 F. 25
ZONE: M-2

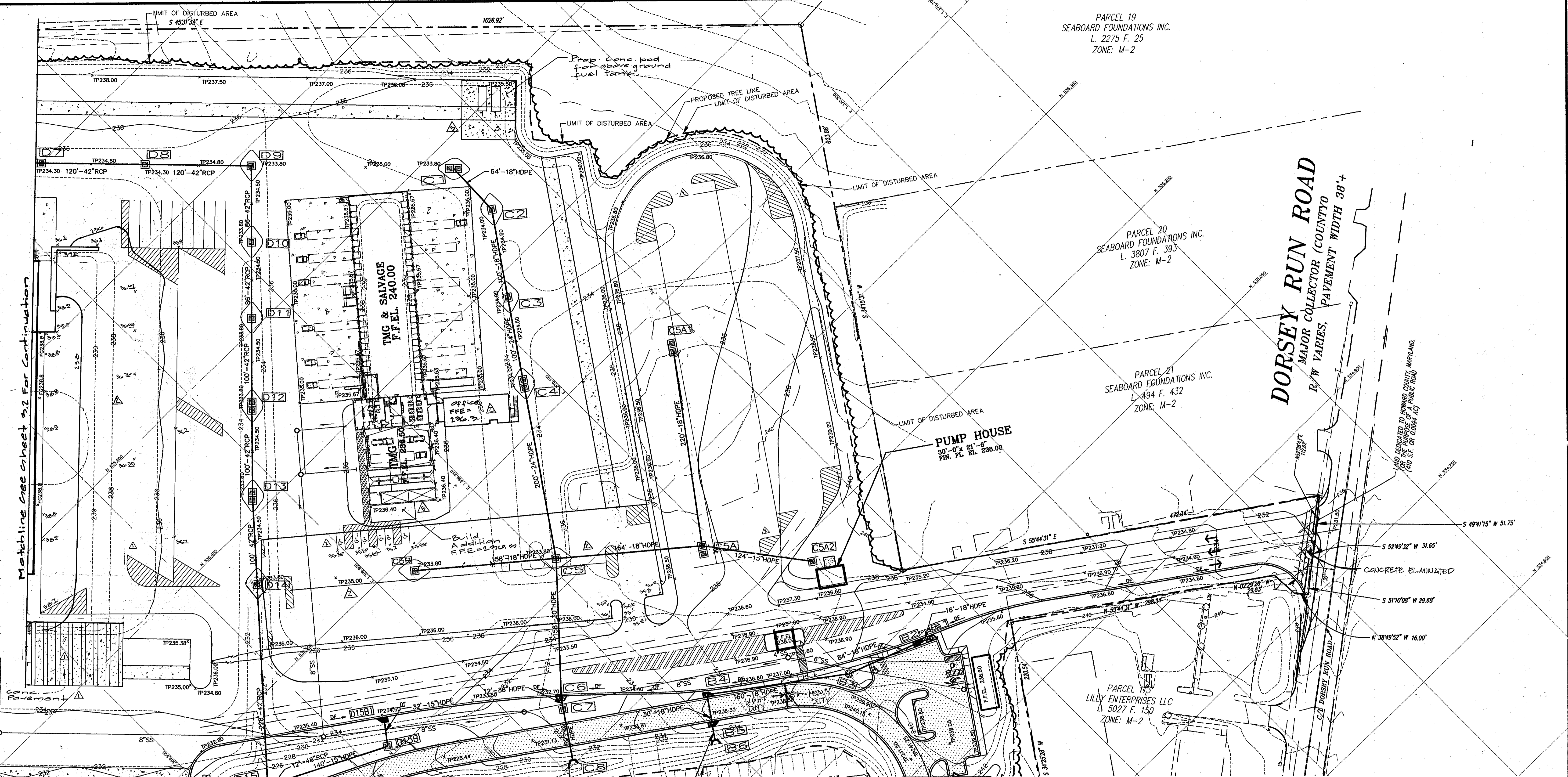
PARCEL 20
SEABOARD FOUNDATIONS INC.
L. 3807 F. 39.3
ZONE: M-2

PARCEL 21
SEABOARD FOUNDATIONS INC.
L. 494 F. 4.32
ZONE: M-2

PARCEL 17
LILLY ENTERPRISES LLC
L. 5027 F. 150
ZONE: M-2

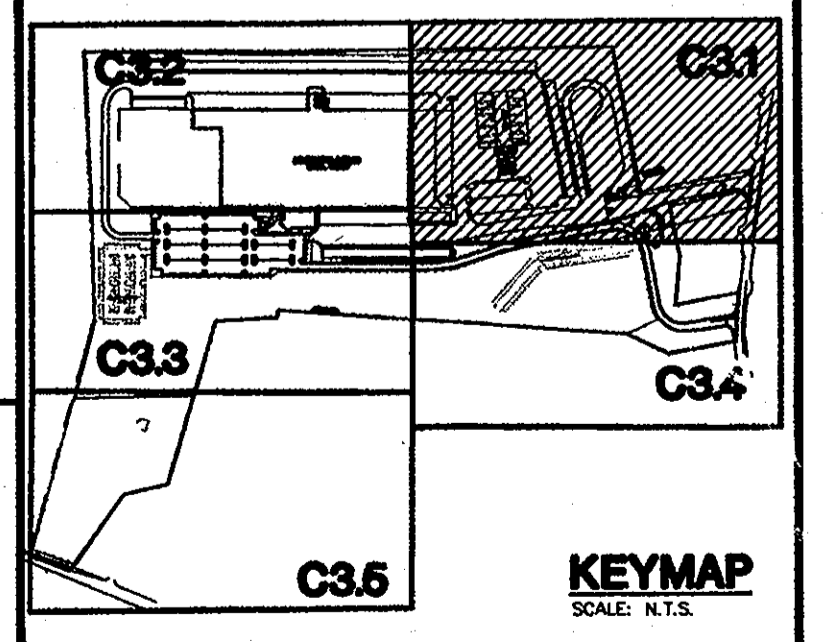
DORSEY RUN ROAD
MAJOR COLLECTOR (COUNTY)
R/W VARIES, PAVEMENT WIDTH 38'-4"

Matchline see sheet 9.2 for continuation

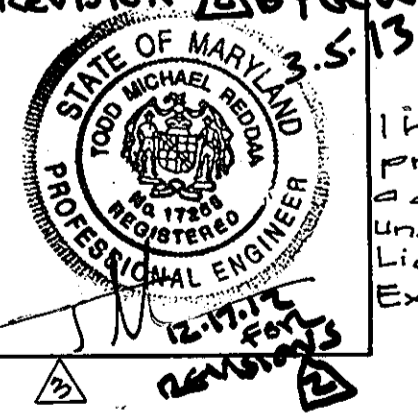
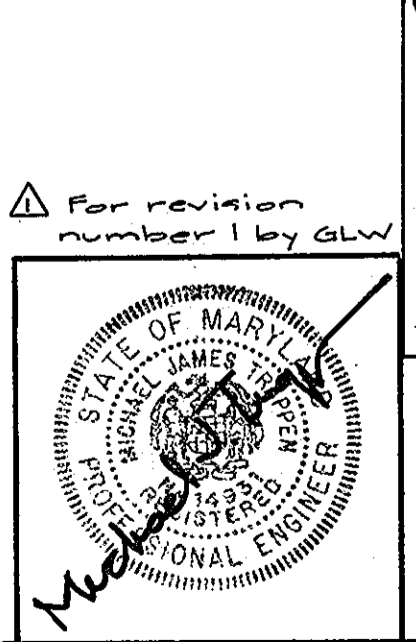


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division *[Signature]* 2/6/03
 Chief, Division of Land Development *[Signature]* 2/6/03
 Director *[Signature]* 2/6/03



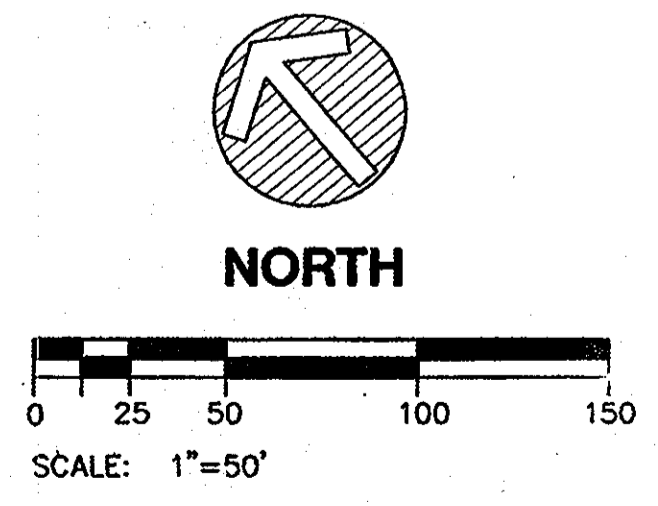
LEGEND:
DF DRAINAGE FLOW



I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the state of Maryland, License #14931, Expiration Date: May 21, 2010.

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the state of Maryland, License #17285, Expiration Date: March 17, 2019.

- NOTES:
- FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
 - FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.



THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
△	9/1/02	gt		Build addition i Fuel tank pad
△	11/17/02	kje		rev truck parking, trailer staging & tractor staging
△	4/28/06	waj		add deck & cooler expansion, rev parking
	4-21-04			As Built

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GULFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
GRADING PLAN
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

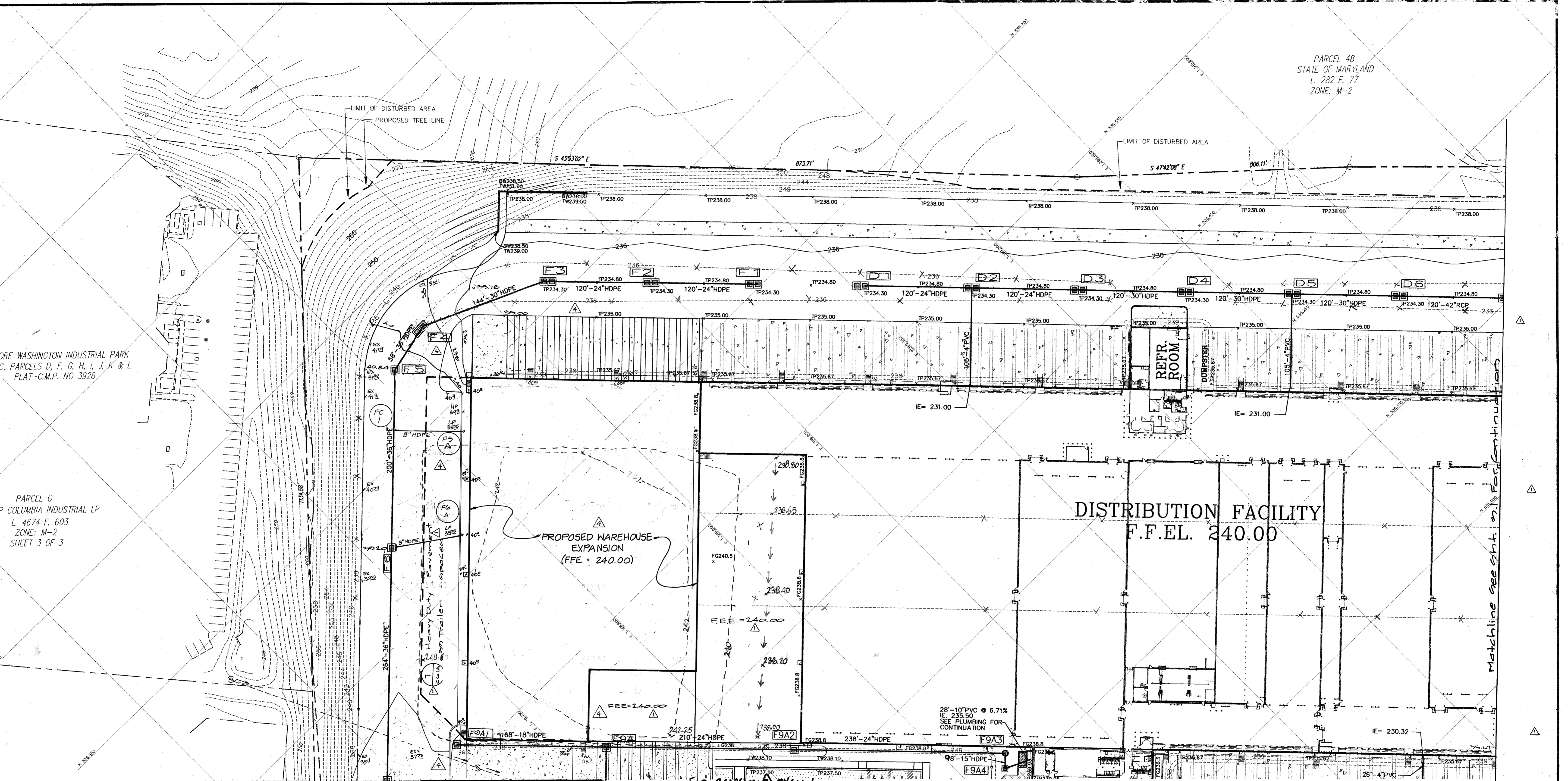
SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO. 18 of 86
	48	C3.1

SDP-03-44

PARCEL 48
STATE OF MARYLAND
L. 282 F. 77
ZONE: M-2

ORE WASHINGTON INDUSTRIAL PARK
C, PARCELS D, F, G, H, I, J, K & L
PLAT-C.M.P. NO 3926

PARCEL G
COLUMBIA INDUSTRIAL LP
L. 4674 F. 603
ZONE: M-2
SHEET 3 OF 3

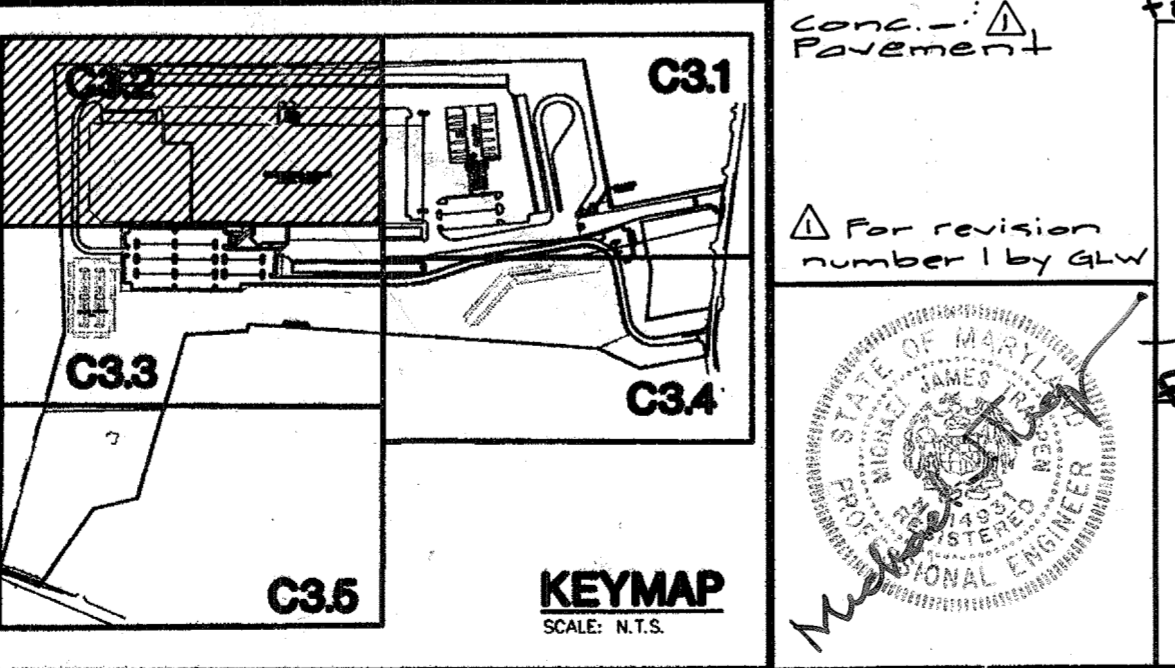


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Michael J. Vogel 2/6/03
Chief, Development Engineering Division Date

Michael J. Vogel 2/6/03
Chief, Division of Land Development Date

Michael J. Vogel 2/6/03
Director Date



STATE OF MARYLAND
MICHAEL J. VOGEL
Professional Engineer
License # 17285
Expiration Date: March 17, 2019

Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.

STATE OF MARYLAND
MICHAEL J. VOGEL
Professional Engineer
License # 14731
Expiration Date: May 21, 2010

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the state of Maryland.

NOTES:
1. FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
2. FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.

SCALE: 1"=50'

NORTH

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

MARK	DATE	BY	MGR	RELEASE
△	5/17/00	KLP		Rev. loading area at NW corner of Warehouse
△	10/10/00	KLP		WAREHOUSE EXPANSION (19277 SP)
△	12/17/02	KLP		rev. truck parking, trailer staging & tractor staging
△	4/25/03	WJ		add deck cooler expansion, rev. parking
△	4-21-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
GRADING PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'

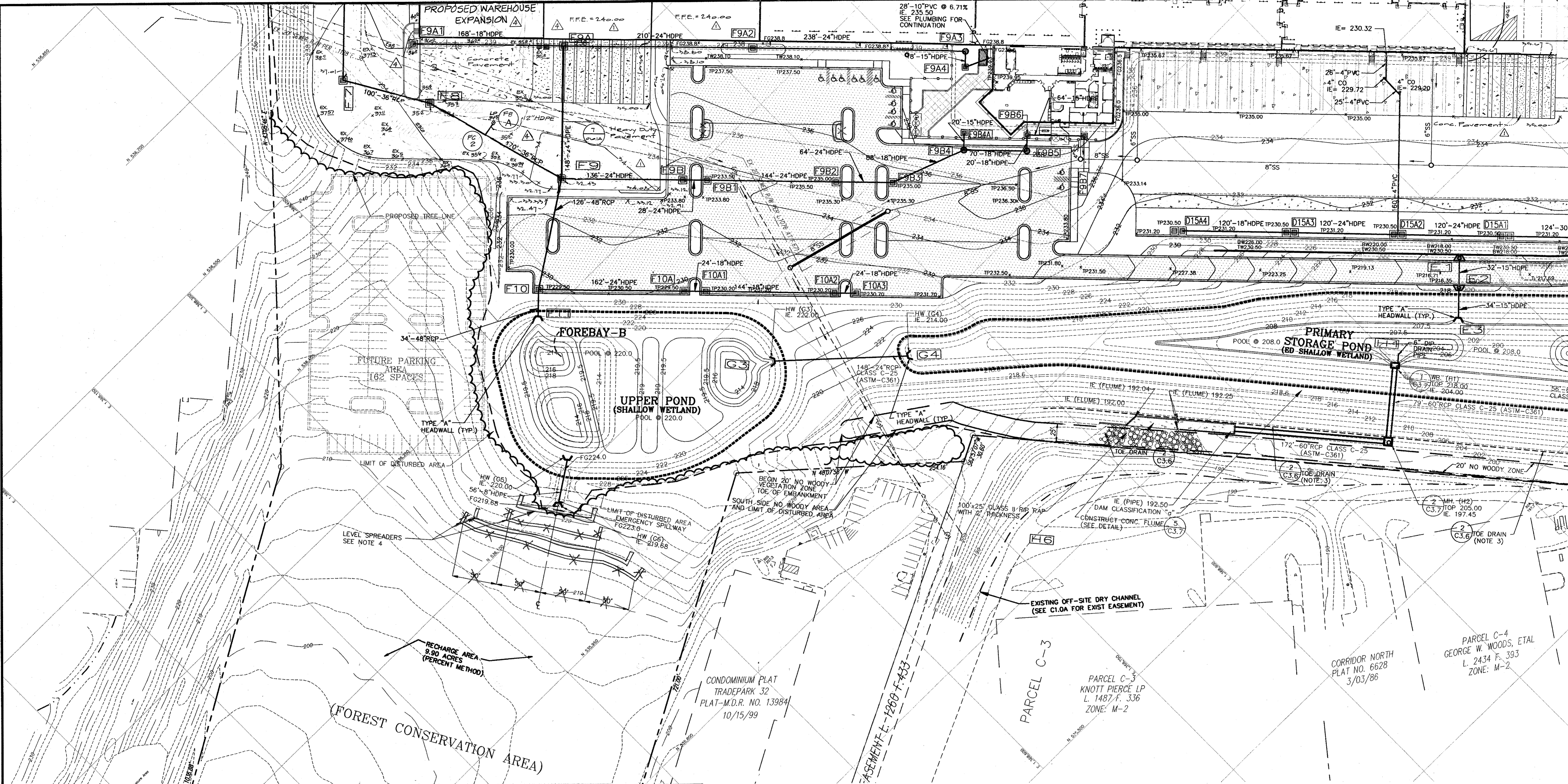
ZONING: M-2

PROJECT NO. 02027

TAX MAP - GRID 48

SHEET NO. 19 of 86

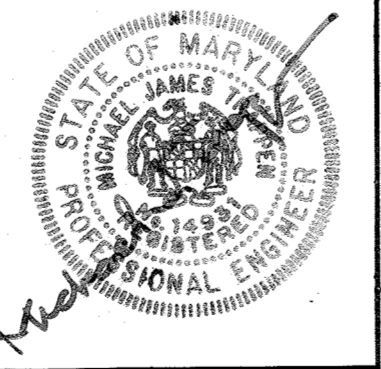
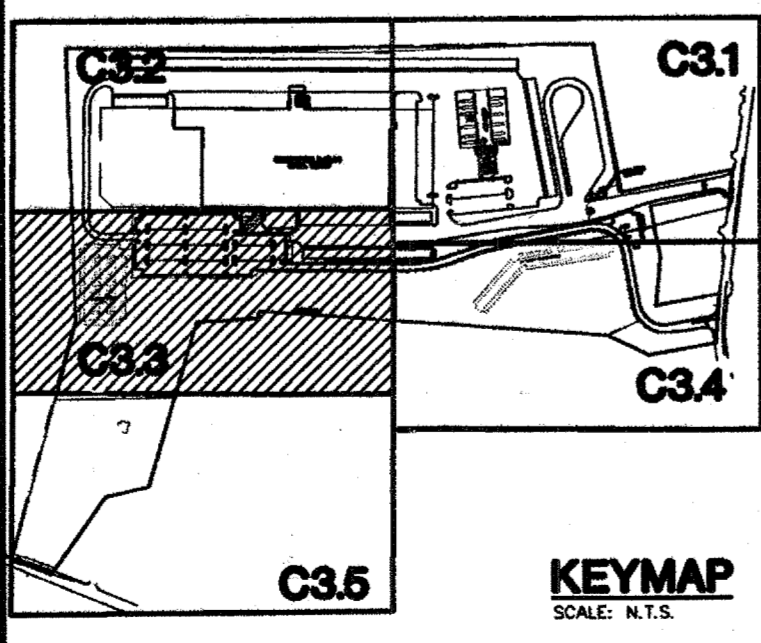
C3.2



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Michael Dammann
Chief, Development Engineering Division
Date: 2/6/13

John S. DeLoach
Chief, Division of Land Development
Director
Date: 2/6/13

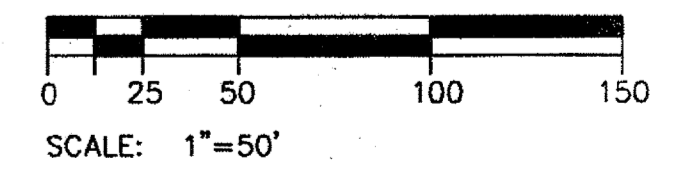
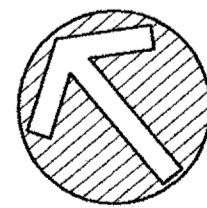


For revision number 1 by gww I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License # 17325 Expiration Date: March 17, 2013

12.17.12
For revisions by GWW

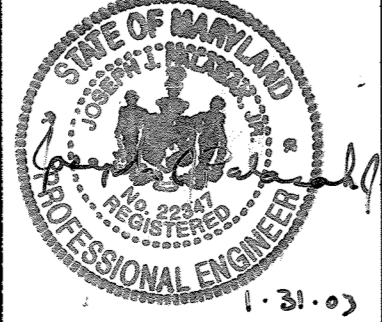
Professional Certification
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License # 17325 Expiration Date: March 17, 2013

- NOTES:
- FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
 - FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.
 - FOR DETAILS OF POND SEE SHEET C3.6.
 - PLACE TWO STONE GABION BASKET LEVEL SPREADER TERRACES AT LEVEL CONTOUR LINES WITH ENDS TURNED UPHILL 2' VERTICALLY. LOCATE UPPER TERRACE ALONG CONTOUR 218 & LOWER TERRACE ALONG CONTOUR 214. GABION BASKETS TO BE 2' IN HEIGHT AND SECURELY PLACED IN FIRM GROUND. GABION BASKET COMPOSITION TO BE A BLENDED MIX OF 1" TO 4" STONE. SEE PROFILES & DETAIL ON SHEET C8.5.



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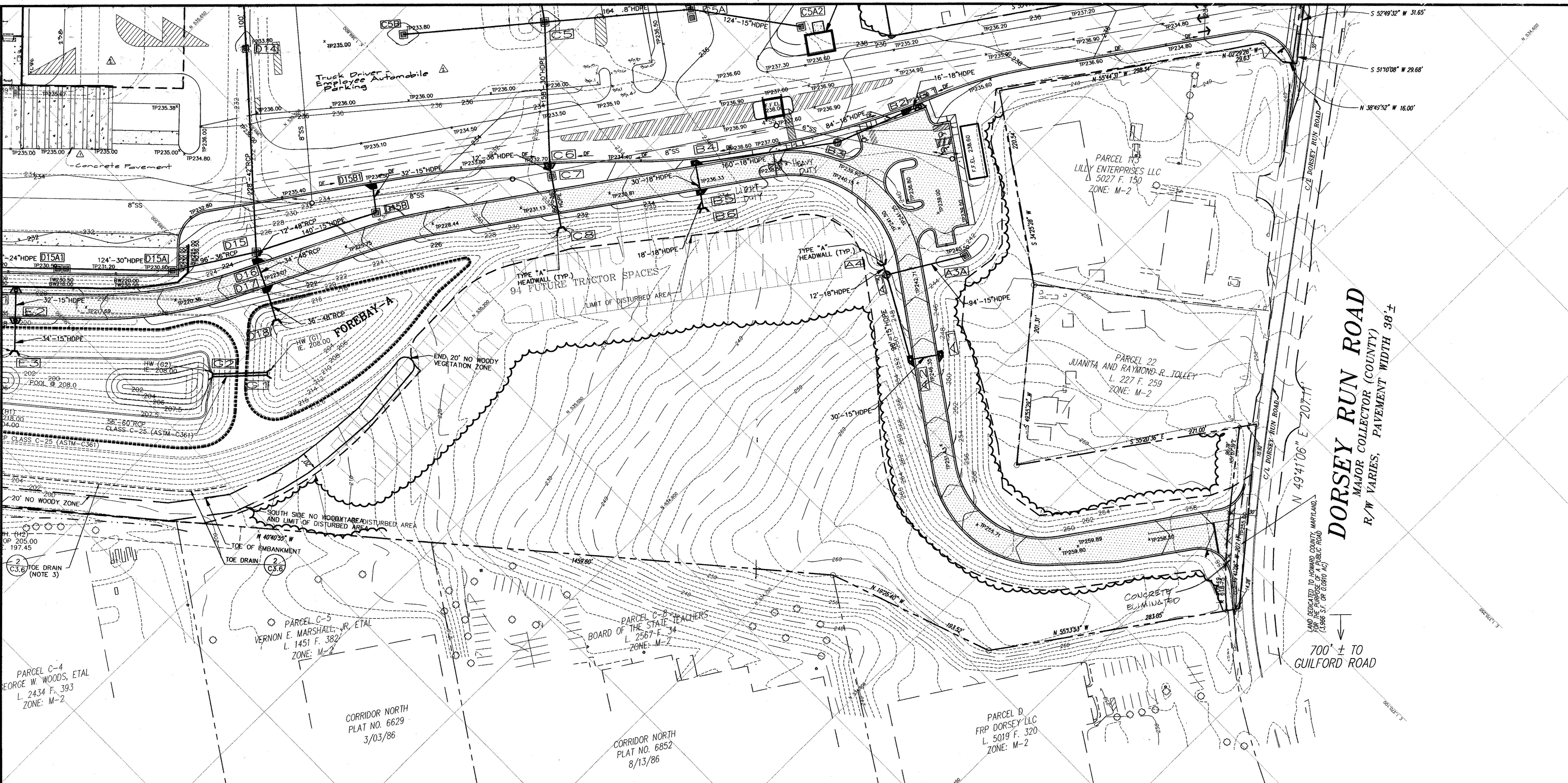


MARK	DATE	BY	MGR	RELEASE
Δ	10/10/2010	BJ	TMR	WAREHOUSE EXPANSION (95,217 SF)
Δ	11/17/2010	klp		rev. trailer staging
Δ	4/28/05	dev		add dock cooler expansion; rev. parking
Δ	4-21-04			As BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
GRADING PLAN
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

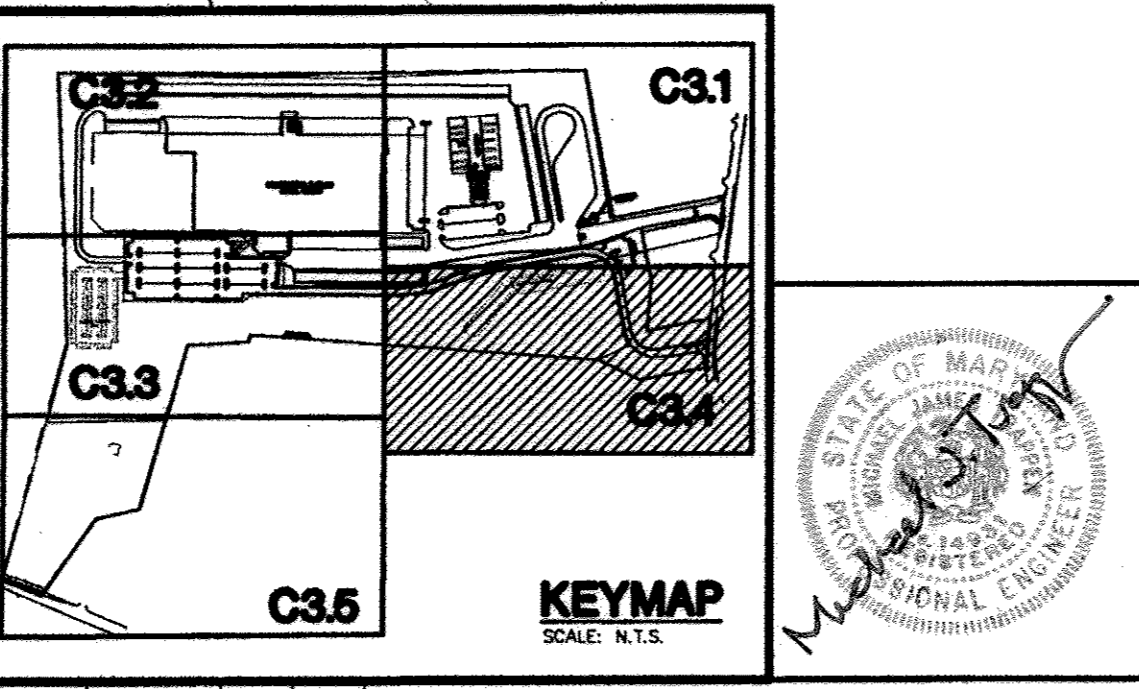
SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 20 of 86
		C3.3



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

2/6/05
 2/6/05
 2/6/05



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE No. 17185
 EXPIRATION DATE: March 17, 2012

NOTES:
 1. FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
 2. FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.

SCALE: 1"=50'

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 ARCHITECTS & ENGINEERS
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 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

MARK	DATE	BY	MGR	RELEASE
△	3/17/02	klp		rev. truck driver parking, trailer staging & tractor staging area
△	4/18/02	klp		add dock and loader expansion, rev. parking
△	4-21-02			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
GRADING PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 21 of 86
		C34

SDP-03-44

BALTIMORE WASHINGTON INDUSTRIAL PARK
 BLOCK C, PARCELS D, F, G, H, I, J, K & L
 PLAT-C.M.P. NO 3925
 SHEET 2 OF 3
 11/28/77

PARCEL K
 JAMES M. ELLIOTT
 L. 1423 F. 429
 ZONE: M-2

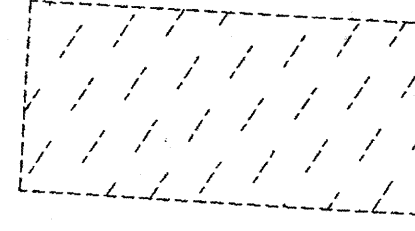
GUILFORD ROAD
 (SPEED LIMIT 40MPH)
 MAJOR COLLECTOR (COUNTY)
 R/W VARIES, PAVEMENT WIDTH

FC AREA #1
 EASEMENT

CONSERVATION AREA

"TRADEPARK 32, A CONDOMINIUM"
 P.N. 13984, ETC.

LEGEND:

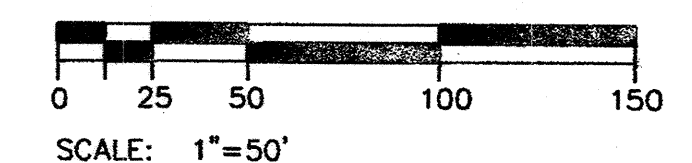
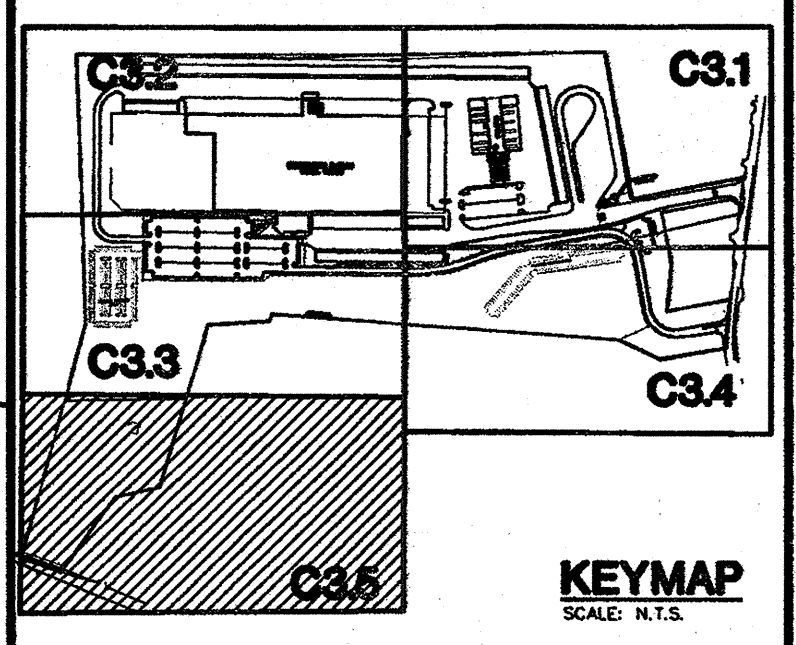


STEEP SLOPE AREA
 (15% TO 25% SLOPE)

EX. 100 YEAR FLOOD PLAIN, DRAINAGE AND UTILITY
 EASEMENT - P.N. 6326

ORRIDOR NORTH"
 P.N. 6628
 PARCEL C-7

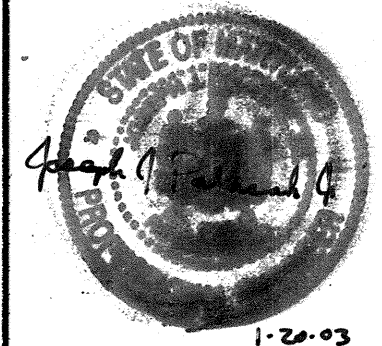
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director



NOTES:
 1. FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
 2. FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
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 SMYRNA, GEORGIA 30080
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MARK	DATE	BY	MGR	RELEASE
	4.21.04			AS BUILT

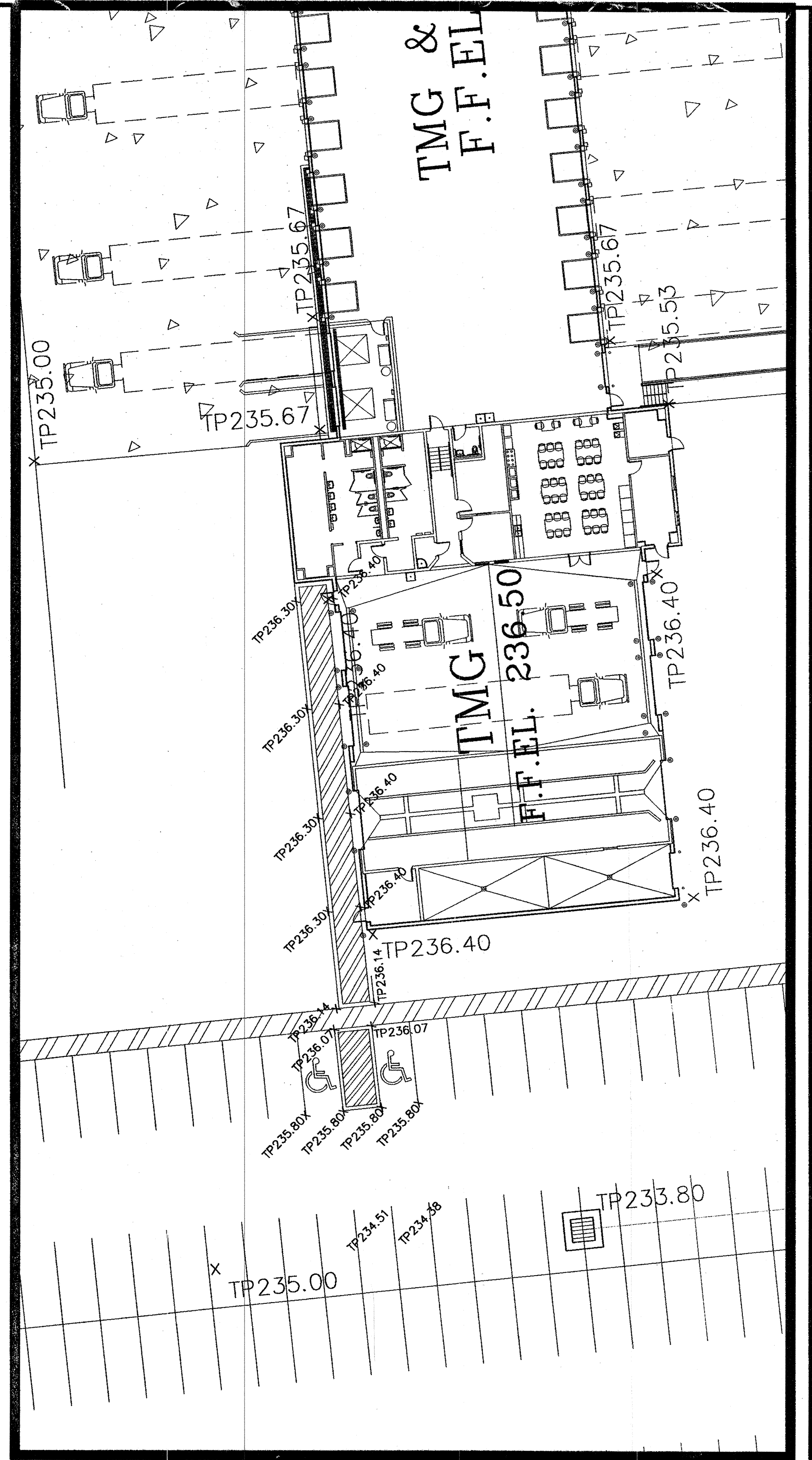
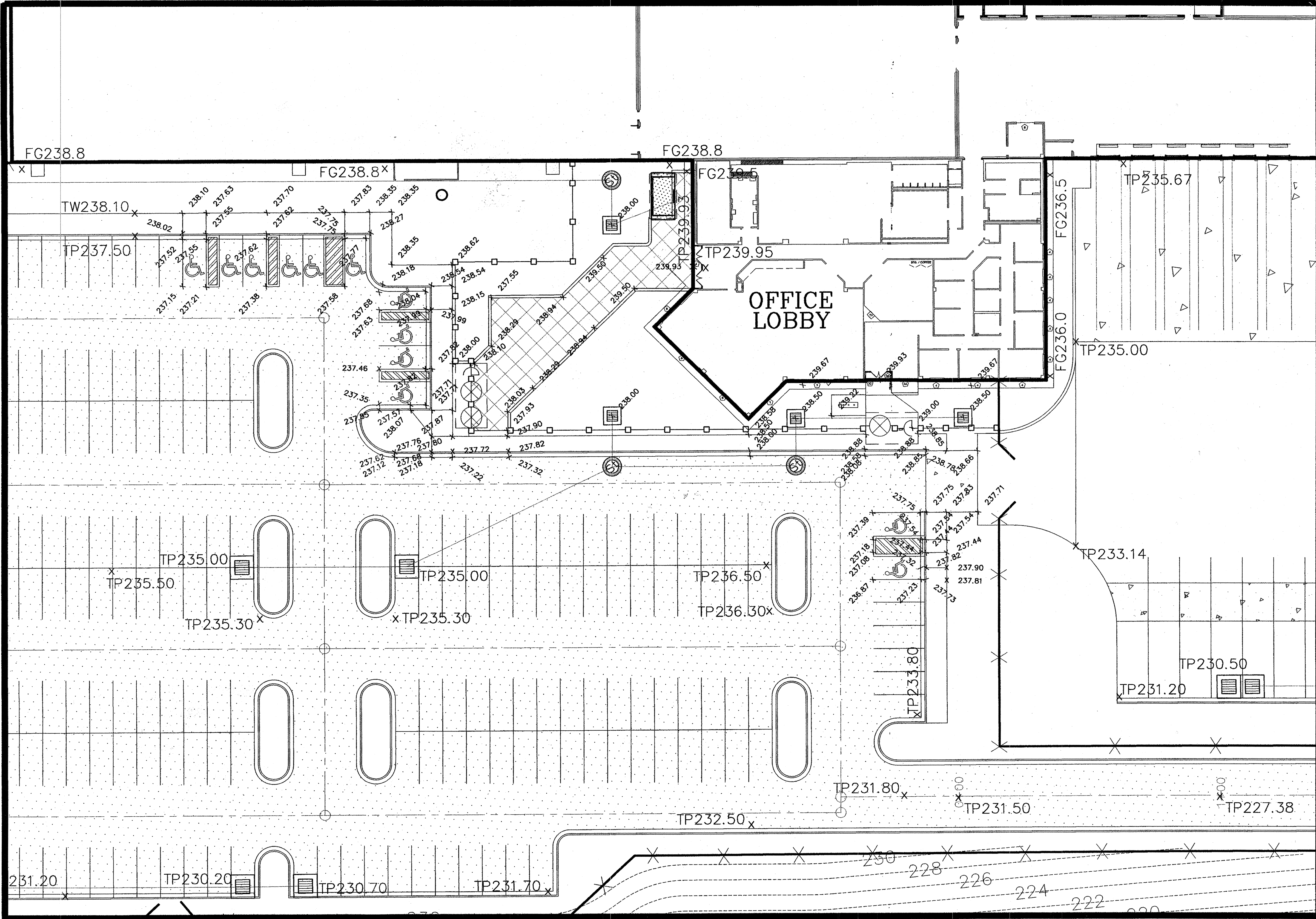
PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
GRADING PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND


SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 22 of 86 C3.5


DRAWING: F:\Projects\02027\Map\Drawings\02027_C3.5.dwg
 USER: NAME
 DATE: 12/20/03

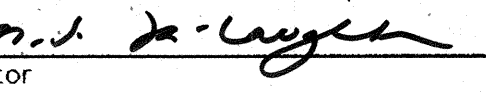
SDP-03-44



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

 2/6/02
 Chief, Development Engineering Division Date

 2/6/02
 Chief, Division of Land Development Date

 2/6/01
 Director Date

MARK	DATE	BY	MGR	RELEASE
	4-7-04			AS BUILT

PREPARED FOR:

**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**

6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GULFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:

**ENLARGED GRADING PLAN
OFFICE & TMG AREA**

HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE: 1"=20'

ZONING: M-2

PROJECT NO. 02027

DATE:

TAX MAP - GRID 48

SHEET NO. 23 of 86

C3.5A

SDP

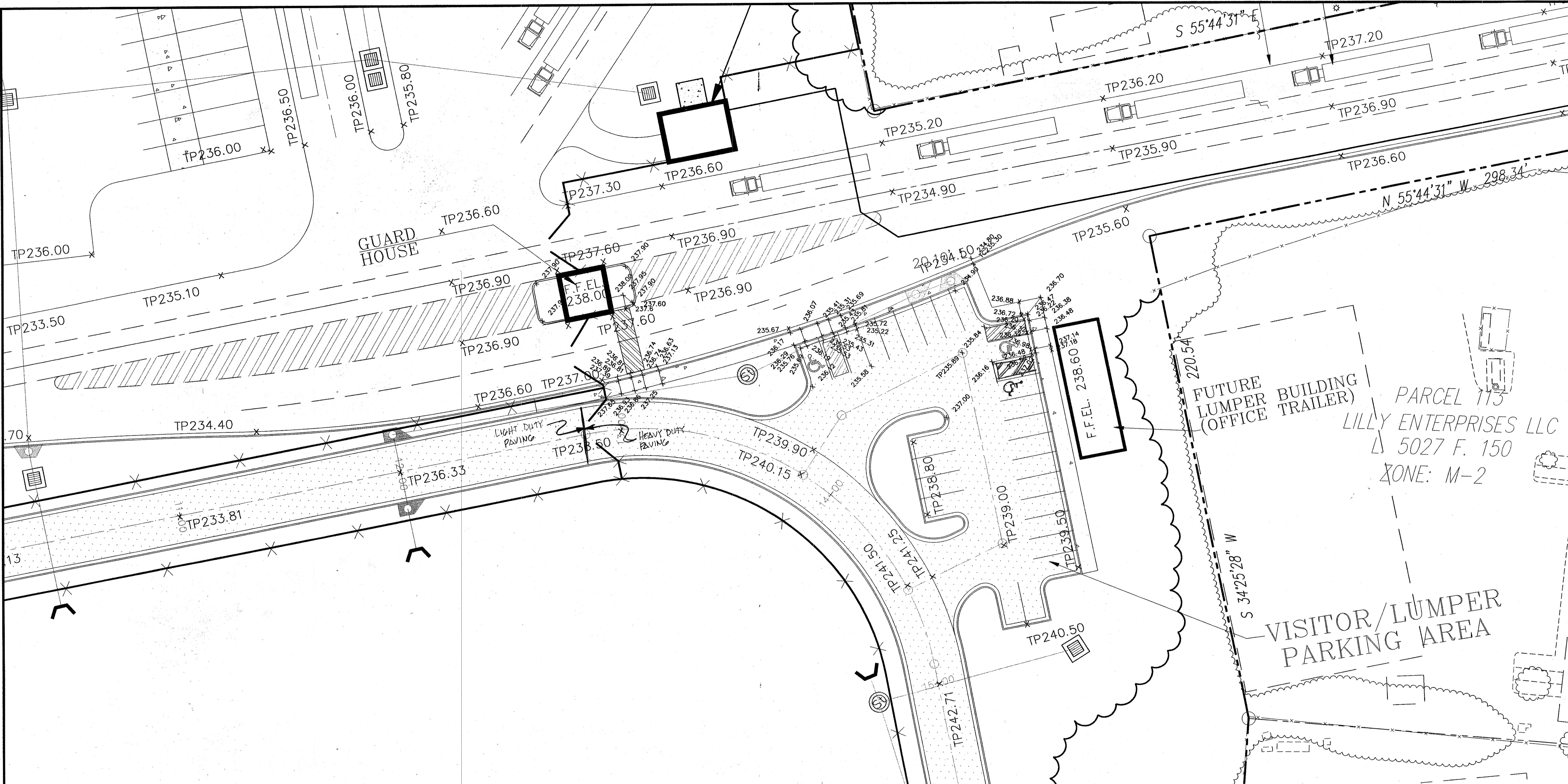
THE FACILITY GROUP

FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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STATE OF MARYLAND
JOSHUA T. BUCKNER
PROFESSIONAL ENGINEER
1-31-03

SDP-03-44



PARCEL 113
 LILLY ENTERPRISES LLC
 5027 F. 150
 ZONE: M-2

VISITOR/LUMPER
 PARKING AREA

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/13
 Chief, Development Engineering Division Date

[Signature] 2/6/13
 Chief, Division of Land Development Date

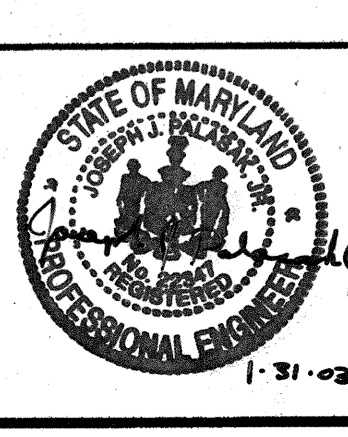
[Signature] 2/6/13
 Director Date



SCALE: 1"=20'

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
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 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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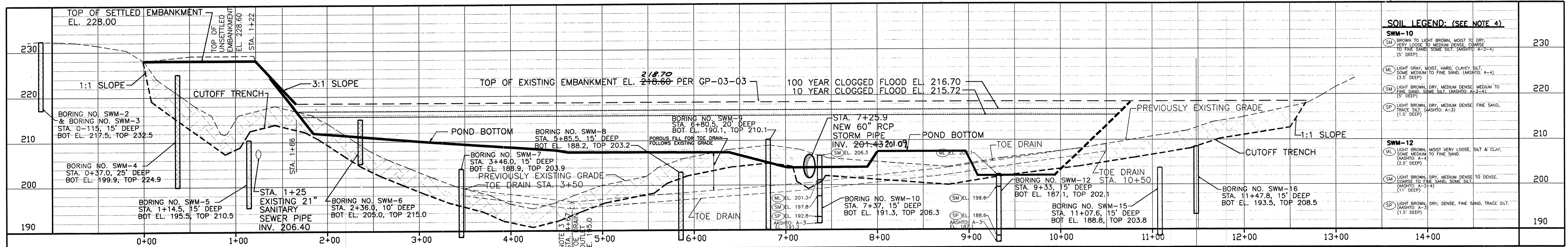
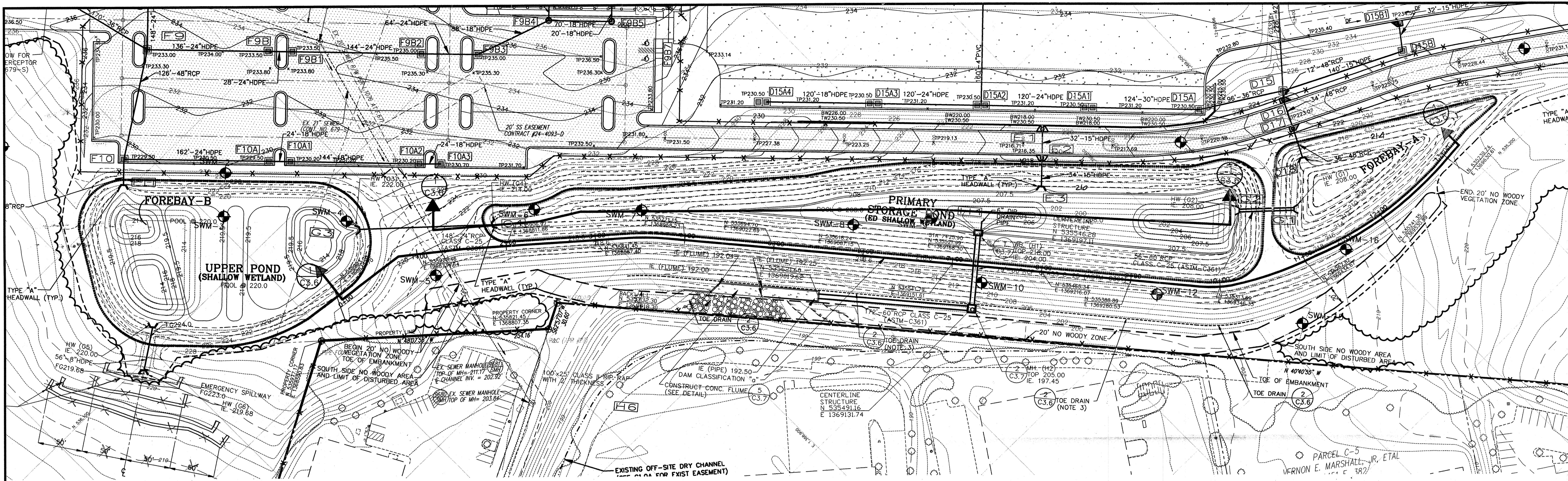


MARK	DATE	BY	MGR	RELEASE
	4.21.04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
**ENLARGED GRADING PLAN
 GUARD HOUSE AREA**
 HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE: 1"=20'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 24 of 86 C3.5B



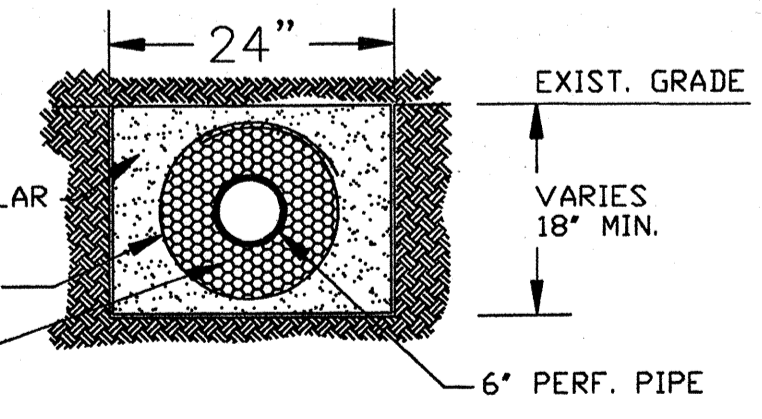
SOIL LEGEND: (SEE NOTE 4)

SM-10	BROWN TO LIGHT BROWN, MOST TO VERY LOOSE TO MEDIUM DENSE, CHANGE TO FINE SAND, SOME SILT. (ASHTO: A-2-4) (3' DEEP)	230
ML	LIGHT GRAY, MOIST, HARD, CLAYEY SILT, SOME MEDIUM TO FINE SAND. (ASHTO: A-4) (3.5' DEEP)	220
SM	LIGHT BROWN, DRY, MEDIUM DENSE MEDIUM TO FINE SAND, SOME SILT. (ASHTO: A-2-4) (5' DEEP)	210
SP	LIGHT BROWN, DRY, MEDIUM DENSE FINE SAND, TRACE SILT. (ASHTO: A-3) (1.5' DEEP)	200
SM-12	LIGHT BROWN, MOST VERY LOOSE, SILT & CLAY, SOME MEDIUM TO FINE SAND.	200
SM	LIGHT BROWN, DRY, MEDIUM DENSE TO DENSE, CHANGE TO FINE SAND, SOME SILT. (ASHTO: A-2-4) (1' DEEP)	200
SP	LIGHT BROWN, DRY, DENSE, FINE SAND, TRACE SILT. (ASHTO: A-3) (1.5' DEEP)	190

1 EXISTING PROFILE ALONG CENTER LINE OF DAM PER GP-03-03

SCALE: 1"=10' (V)
1"=50' (H)

- NOTES:**
- CUTOFF TRENCH SOILS SHALL MEET USCS CLASSIFICATION CL (LOW PLASTICITY CLAY), CH (HIGH PLASTICITY CLAY), SC (CLAYEY SAND), OR GC (CLAYEY GRAVEL).
 - EMBANKMENT CORE SOILS SHALL MEET REFERENCED CLASSIFICATIONS LISTED IN NOTE #1.
 - PLACE TOE DRAIN UNDER CONTOUR LINE 208 WITH TOP AT EXISTING GRADE WITH LOW POINT CENTERED ON CONCRETE CHANNEL OPENING AT ELEVATION 195. PROVIDE 6" PVC EMBEDDED IN CONCRETE CHANNEL RETAINING WALL AT ELEVATION 195 FOR TOE DRAIN DRAINAGE EXIT TIE IN. TERMINATE TOE DRAIN AT EXISTING ELEVATION 204 EACH END. MAINTAIN POSITIVE SLOPE FROM LOW POINT TO EACH END AND TO ENSURE DRAIN PASSES UNINTERRUPTED UNDER 60" RCP. PROVIDE 1.0% MINIMUM SLOPE. THE CONTRACTOR SHALL INSTALL ADDITIONAL DRAINAGE BLANKETS AND TOE DRAINS AT THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER.
 - GEOTECHNICAL INFORMATION SHOWN IN THESE DRAWINGS ARE PRESENTED FOR INFORMATIONAL PURPOSES ONLY AND ARE TAKEN FROM THE REPORT OF SUBSURFACE GEOTECHNICAL EXPLORATION BY GEO-TECHNOLOGY ASSOCIATES, INC. DATED JUNE 10, 2002 WITH ADDENDUMS. ANY DISCREPANCY OR DEVIATION REGARDING THE GEOTECHNICAL INFORMATION SHOWN IN THE DRAWINGS SHALL BE RESOLVED USING THE GEOTECHNICAL REPORTS DATED JUNE 10, 2002 AND ADDENDUMS. LOSS OF BORING INFORMATION TAKEN FROM THE REPORT FOR SWM # 10 & 12 ARE SHOWN ON SHEET C6.3B FOR ADDITIONAL INFORMATION.



2 TOE DRAIN
NTS

By the Engineer:
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."
Signature of Engineer: *Joseph DeBenedictis* Date: 2/28/03
Print name below signature: **JOE DEBENEDETTIS**

By the Developer:
"I/we certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."
Signature of Developer: *Daniel F. Currie* Date: 2/24/03
Print name below signature: **DANIEL F. CURRIE**

USDA Natural Resources Conservation Service
These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chris Drayman 2/16/03
Chief, Development Engineering Division Date

John W. Taylor 2/16/03
Chief, Division of Land Development Date

John W. Taylor 2/14/03
Director Date

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
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FAX # (770) 437-3939

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PREPARED FOR:

**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GULFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DATE: 2-24-03
BY: MGR
RELEASE: AS BUILT

DRAWING TITLE:

**STORAGE POND GRADING,
DRAINAGE & DETAILS**

HOWARD COUNTY ELECTION DISTRICT No. 6

SCALE: 1"=50'

ZONING: M-2

PROJECT NO.: 02027

TAX MAP - GRID: 48

SHEET NO. 25 OF 86

SDP

C3.6

SEDIMENT CONTROL & POND CONSTRUCTION

By the Developer:

"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer Date
 Print name below signature
 Dan E. Currie 2/1/03

By the Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

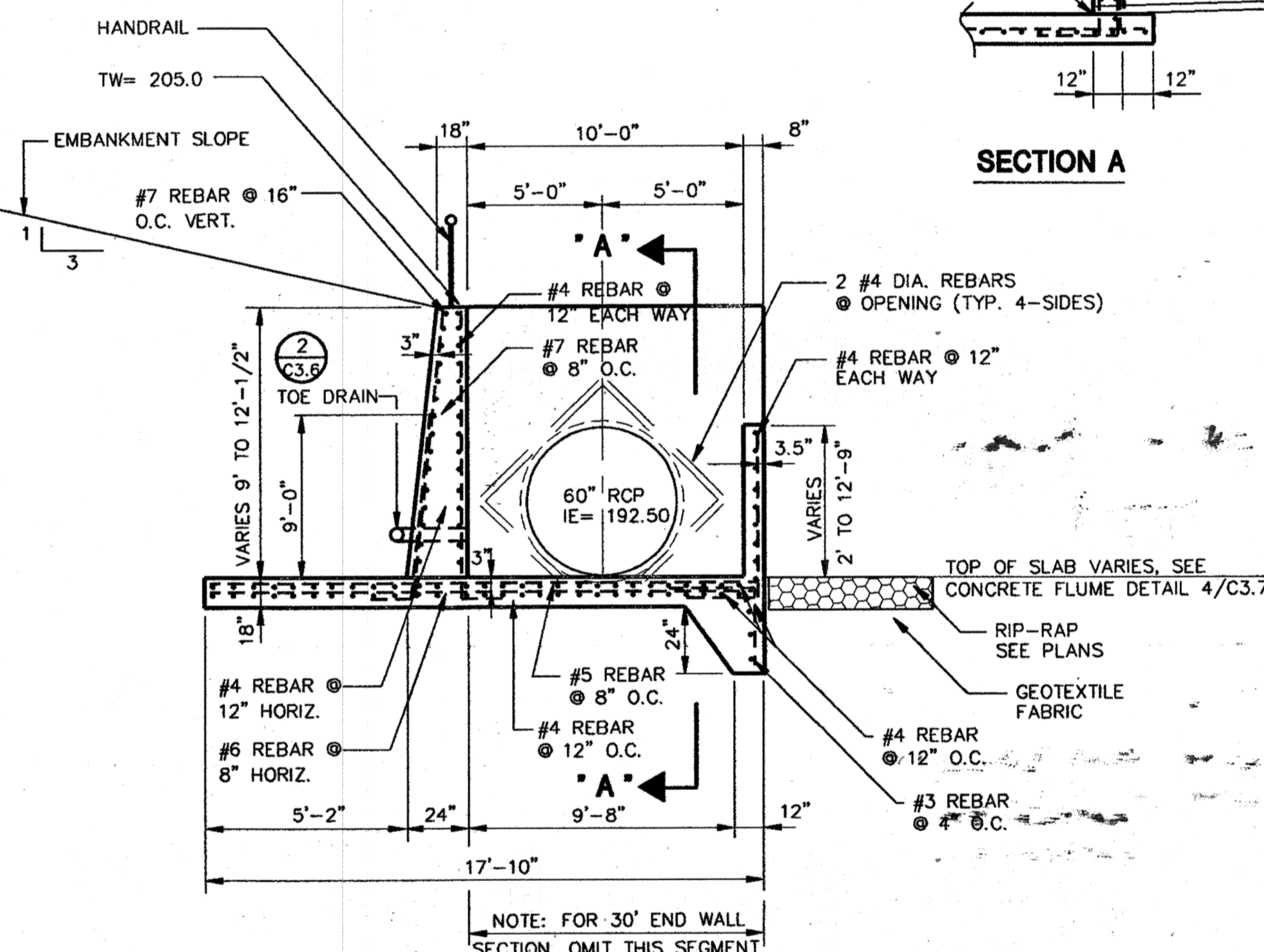
Signature of Engineer Date
 Print name below signature
 Joseph Paluszak 2/1/03

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

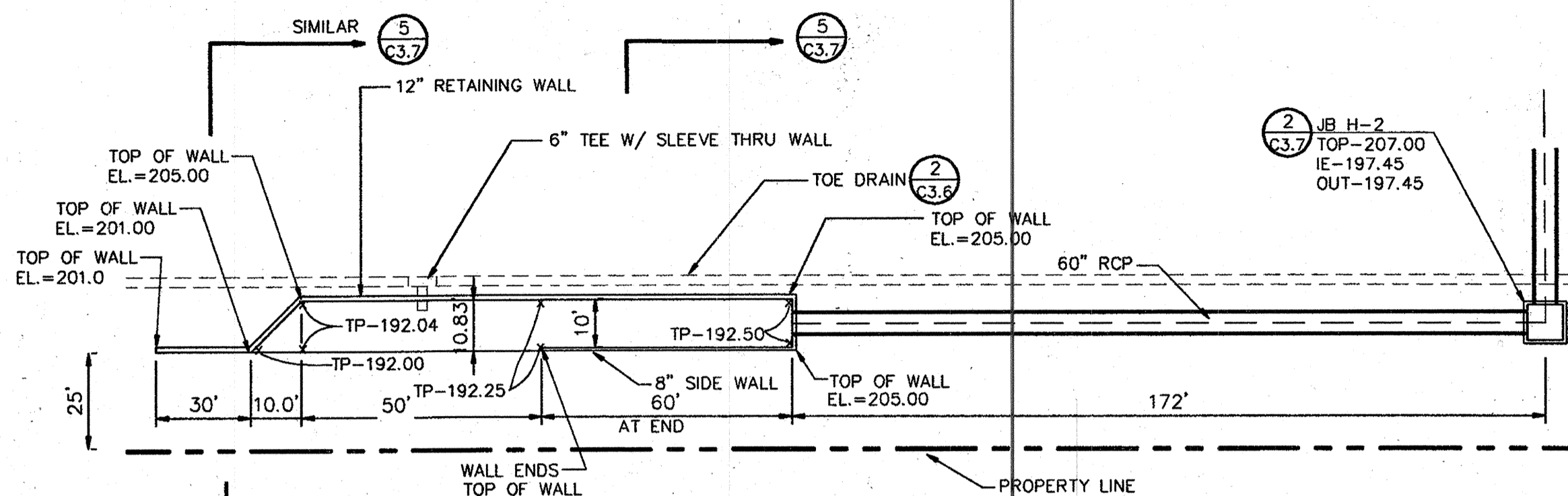
Signature of Engineer Date
 Print name below signature
 Joseph Paluszak 2/1/03

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

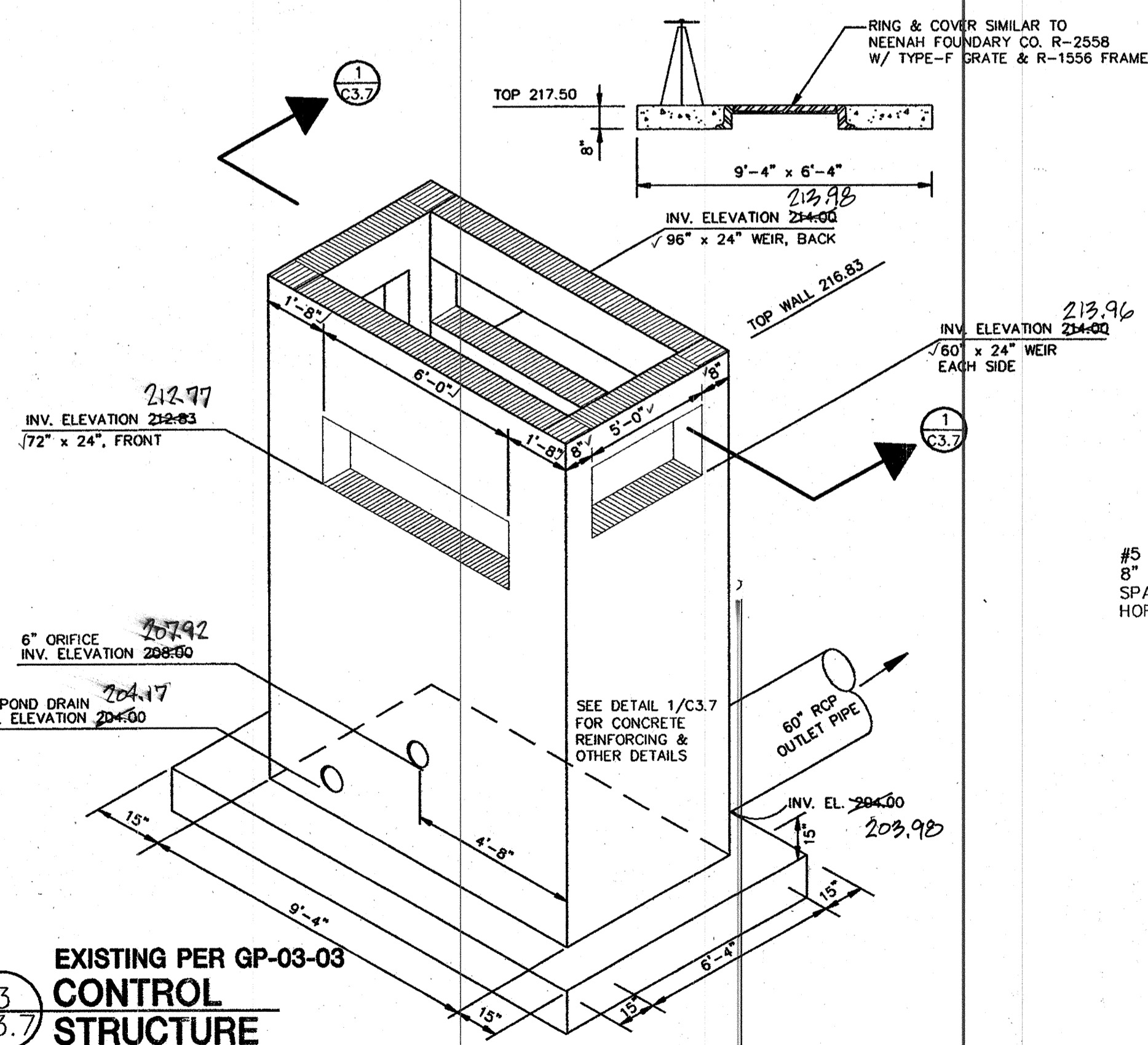
Signature of Engineer Date
 Print name below signature
 Joseph Paluszak 2/1/03



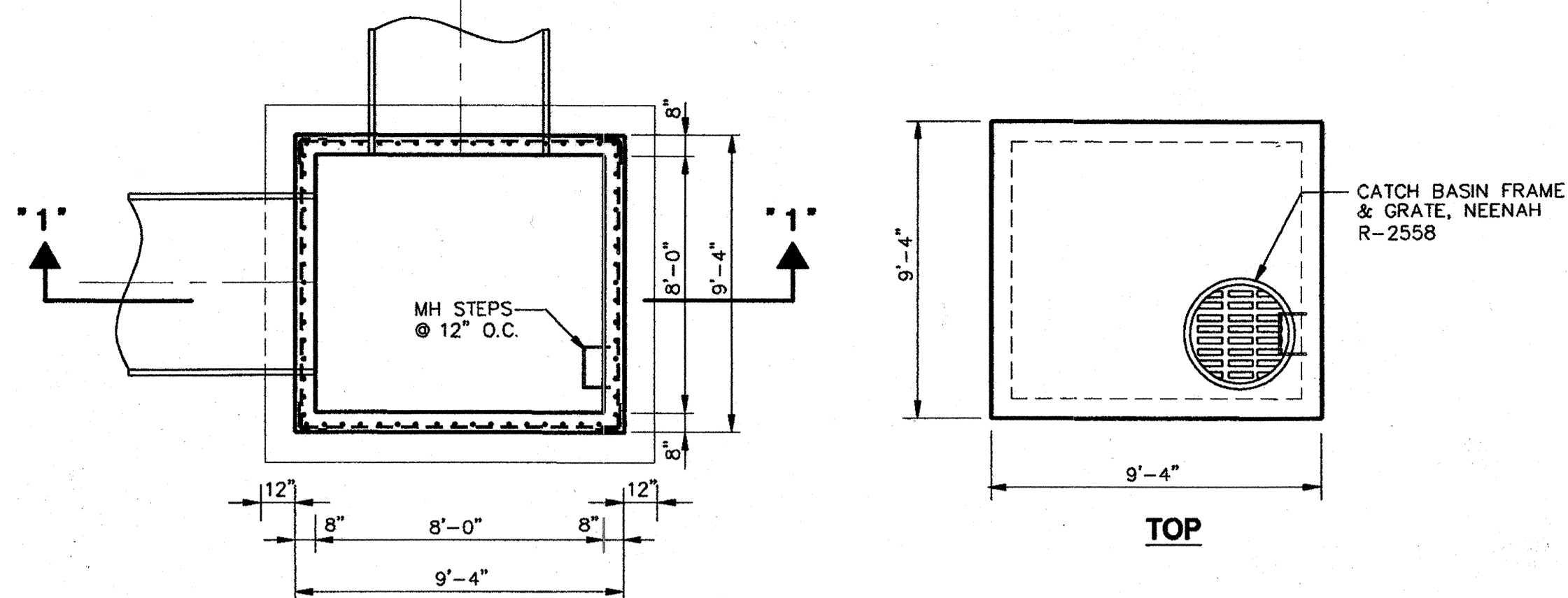
5
 C3.7
 EXISTING PER GP-03-03
 CONCRETE FLUME SECTION
 SCALE: N.T.S.



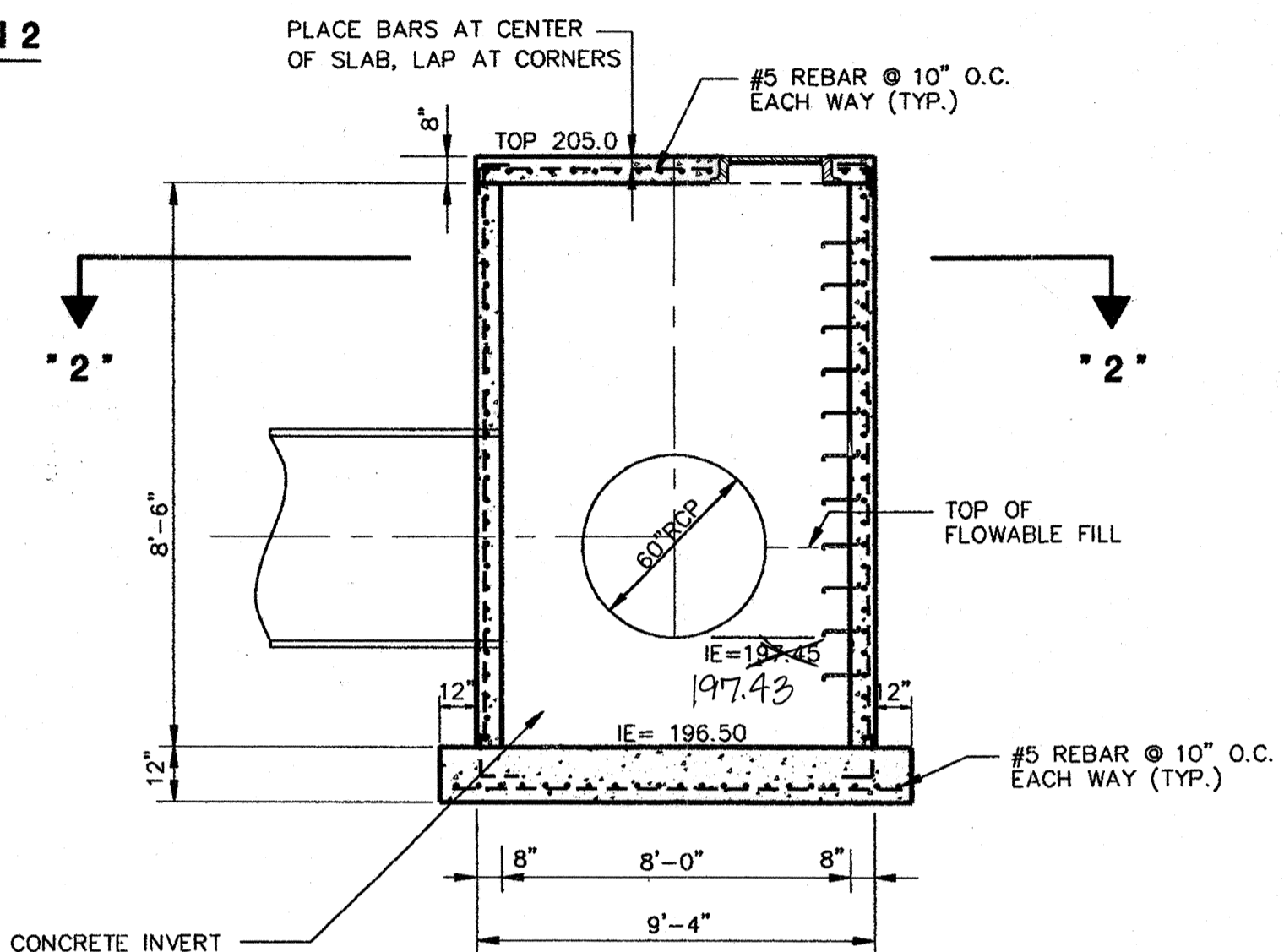
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 EXISTING PER GP-03-03
 CONCRETE FLUME DETAIL
 SCALE: N.T.S.



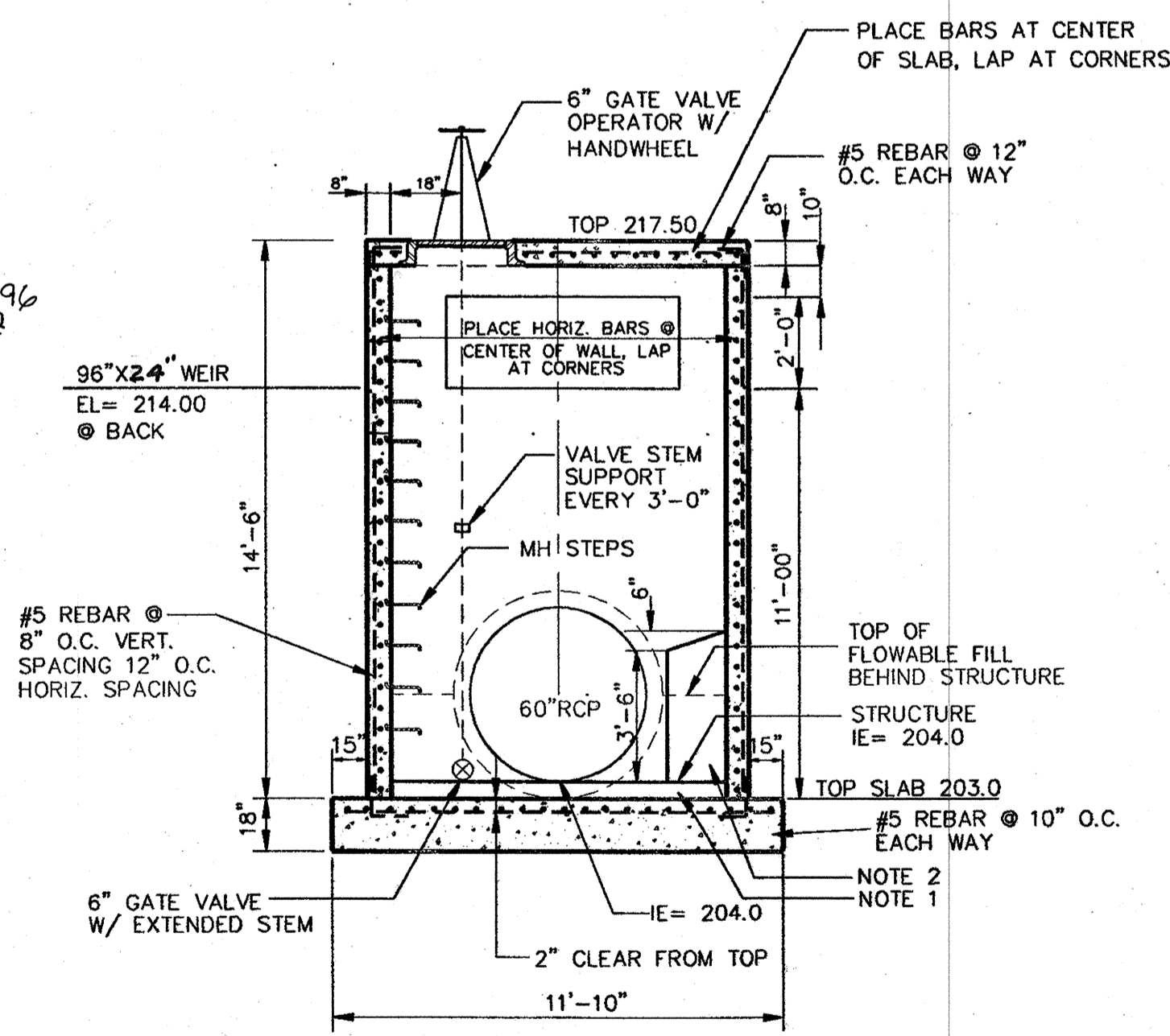
3
 C3.7
 EXISTING PER GP-03-03
 CONTROL STRUCTURE
 SCALE: N.T.S.



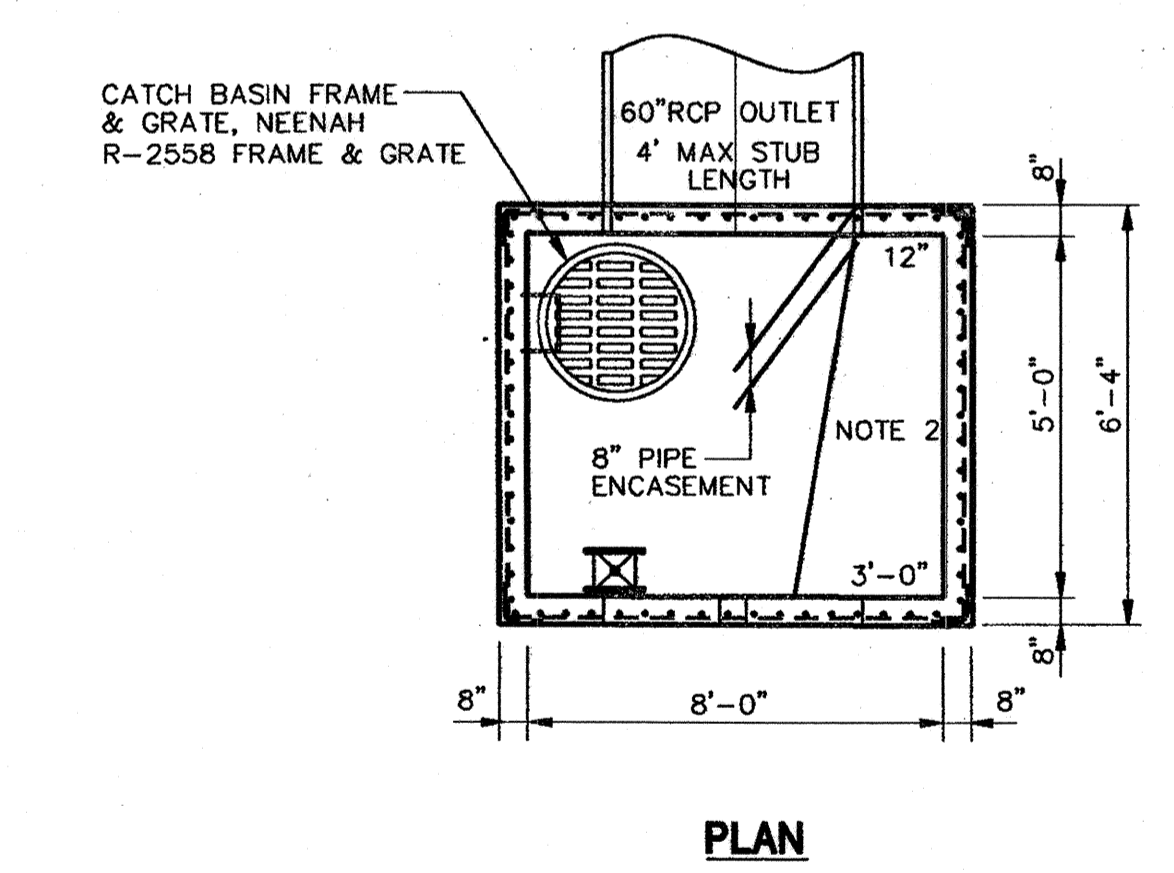
SECTION 2



2
 C3.7
 EXISTING PER GP-03-03
 JUNCTION BOX H-2
 SCALE: N.T.S.



FRONT ELEVATION



PLAN

NEW NOTES:
 1. PLACE 12" OF CONCRETE IN BOTTOM OF STRUCTURE. TAKE CARE TO WORK CONCRETE AT 6" VALVE TO MAINTAIN CLEARANCE FOR VALVE MAINTENANCE.
 2. PLACE CONCRETE 3'-0" WIDE AT FRONT INSIDE FACE OF STRUCTURE, 12" WIDE AT BACK INSIDE FACE OF STRUCTURE, 3'-6" IN HEIGHT ALONG LEFT SIDE AND 4'-0" IN HEIGHT ALONG RIGHT SIDE.

1
 C3.7
 EXISTING PER GP-03-03
 CONTROL STRUCTURE H-1
 SCALE: N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division Date: 2/6/03
 Chief, Division of Land Development Date: 2/6/03
 Director Date: 2/1/03

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 2233 LAKE PARK DRIVE
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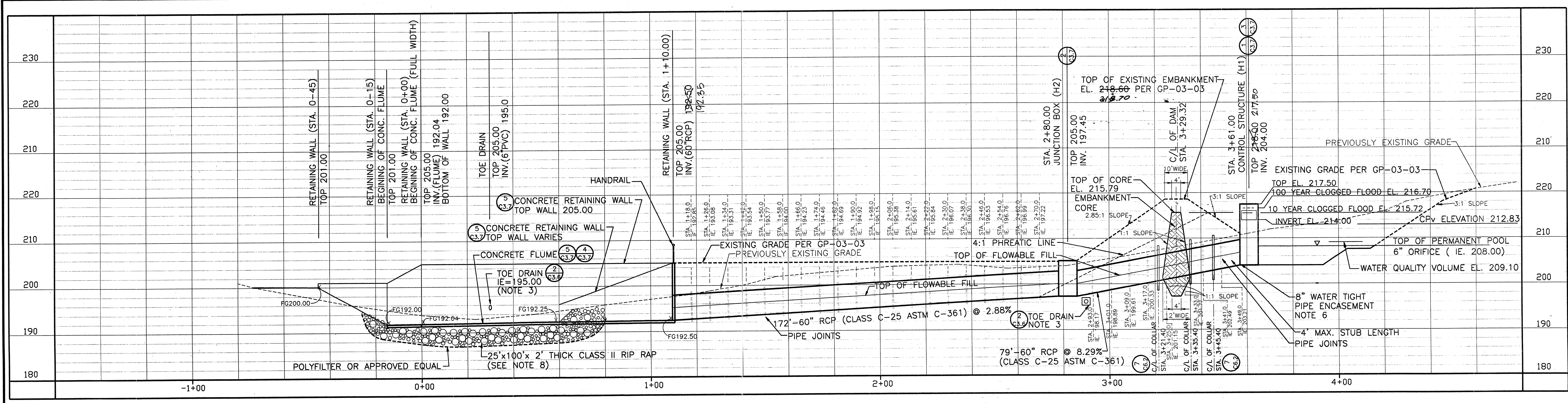
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MARK	DATE	BY	MGR	RELEASE
4-21-04				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
STORAGE POND DETAILS
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO.
	48	26 of 86



1 PROFILE ALONG PRINCIPAL SPILLWAY
SCALE: 1"=10' (V)
1"=20' (H)

- NOTES:
- CUTOFF TRENCH SOILS SHALL MEET USCS CLASSIFICATION CL (LOW PLASTICITY CLAY), CH (HIGH PLASTICITY CLAY), SC (CLAYEY SAND), OR GC (CLAYEY GRAVEL).
 - EMBANKMENT CORE SOILS SHALL MEET REFERENCED CLASSIFICATIONS LISTED IN NOTE #1.
 - PLACE TOE DRAIN UNDER CONTOUR LINE 206 WITH TOP AT EXISTING GRADE WITH LOW POINT CENTERED ON CONCRETE CHANNEL OPENING AT ELEVATION 195. PROVIDE 6" PVC EMBEDDED IN CONCRETE CHANNEL RETAINING WALL AT ELEVATION 195 FOR TOE DRAIN DRAINAGE EXIT TIE IN. TERMINATE TOE DRAIN AT EXISTING ELEVATION 204 EACH END. MAINTAIN POSITIVE SLOPE FROM LOW POINT TO EACH END AND TO ENSURE DRAIN PASSES UNINTERRUPTED UNDER 60" RCP. THE CONTRACTOR SHALL INSTALL ADDITIONAL DRAINAGE BLANKETS AND TOE DRAINS AT THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER.
 - PLACE ANTI-SEEP COLLARS TO INCREASE SEEPAGE LENGTH ALONG THE PHREATIC LINE OF THE 60" RCP BY 11.25'. (75' X .15 = 11.25') COLLAR PROJECTION OF 2' WITH 9" WIDTH = 4.75' SEEPAGE LENGTH OF EACH COLLAR SO 3 COLLARS ARE REQUIRED. (3 X 4.75 = 14.25') THE MINIMUM COLLAR PROJECTION SHALL BE 2.0'. MAXIMUM COLLAR SPACING SHALL BE 14 TIMES THE PROJECTION ABOVE THE PIPE AND THE MINIMUM COLLAR SPACING SHALL BE 5 TIMES THE PROJECTION. THE COLLARS SHALL BE PLACED A MINIMUM OF 2.0' FROM PIPE JOINTS. SEE PROFILE ABOVE FOR COLLAR LOCATIONS. SEE SHEET C6.2 FOR COLLAR DETAILS.
 - 60" RCP TO BE BACKFILLED WITH FLOWABLE FILL IN ACCORDANCE WITH POND "MD-378" SPECIFICATIONS, SEE SHEET C3.9.
 - 60" RCP TO BE FLUSH WITH INSIDE FACE OF CONTROL STRUCTURE TO PROVIDE 8" ENCASUREMENT. ENCASUREMENT TO BE WATER TIGHT.
 - FILL ALL EXTERIOR 60" RCP BARREL JOINTS WITH MASTIC GROUT SEALER. SEE DETAIL 7A ON SHEET C6.2.
 - EXTEND RIP RAP AT EACH END OF CONCRETE FLUME OPENING SUCH THAT ROCK ROLLS UP EXISTING GRADE TO FORM A CHANNEL WITH ONE FOOT MINIMUM DEPTH. FLAT PORTION OF ROCK TO BE AT 192.0 ELEVATION BETWEEN FLUME AND PROPERTY LINE. WIDTH OF ROCK AT PROPERTY LINE AT 192.0 ELEVATION TO BE 100'.

SEDIMENT CONTROL & POND CONSTRUCTION

By the Developer:

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer Date
Print name below signature
DANIEL E. CURRIE 2/6/05

By the Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Signature of Engineer Date
Print name below signature
JOE PALANCA 1-20-05

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

USDA Natural Resources Date
Conservation Service
Jim August 05 2/4/05

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

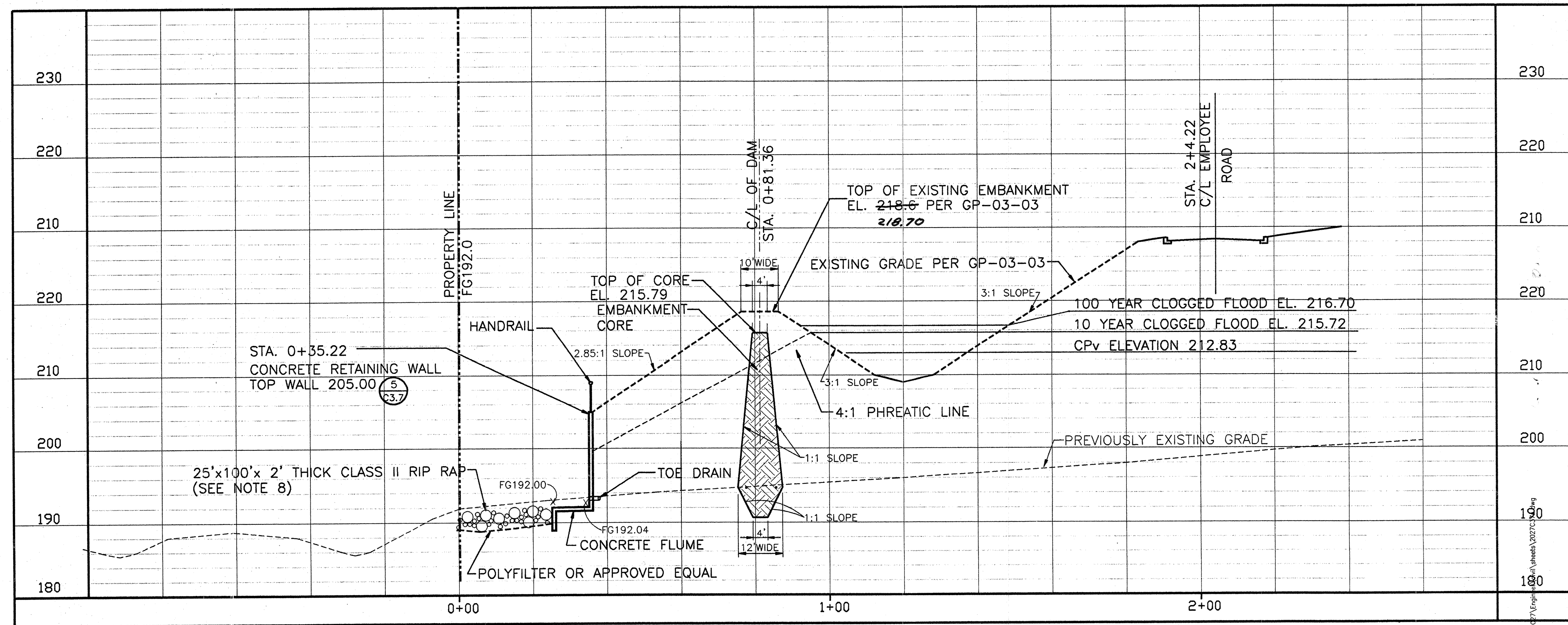
Howard Soil Conservation District Date
2/4/05

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division Date 2/6/05

Chief, Division of Land Development Date 2/6/05

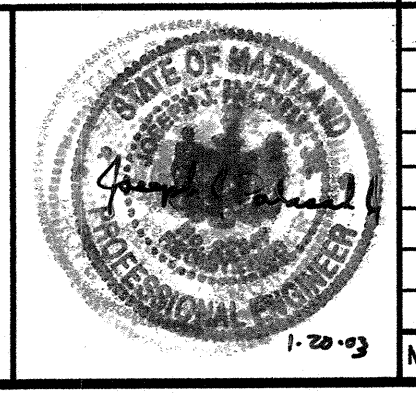
Director Date 2/6/05



2 CROSS SECTION ALONG EXISTING LOW AREA
SCALE: 1"=10' (V)
1"=20' (H)

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ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
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MARK	DATE	BY	MGR	RELEASE
4-21-04				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
STORAGE POND DETAILS
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'
DATE:

ZONING: M-2
TAX MAP - GRID: 48

PROJECT NO. 02027
SHEET NO. 27 of 86
SDP MG
C3.7A

SUPPORTING DATA AND DOCUMENTATION

Field Data and Survey Notes

The following is a list of the minimum data needed:

- 1. Profile along centerline of structure.
2. Profile along centerline of principal spillway.
3. Profile along centerline of emergency spillway.
4. Survey of storage area to develop topography and storage volumes.
5. Soil investigation logs and notes.

Design Data

Record on appropriate engineering paper. The following is a list of the minimum required design data:

- 1. Determine pond class and list appropriate spillway design criteria, including map.
2. Determine peak runoff from the contributing area for the design storms selected, including topo map.
3. Develop a stage-storage/discharge curve for the site.
4. Determine the pipe spillway by storm routing using the procedure in the SWM Pond Design Manual, Chapter 11, EFH; Chapter 6, TR-55; or TR-20.
5. Design emergency spillway using EFH 11-61.
6. Drawings should show the following as a minimum: profile along centerline of dam; profile along centerline of emergency spillway; cross section through dam at principal spillway; cross section through emergency spillway; plan view; and construction details & notes and soil logs.

- 7. Compute earth fill (if needed).
8. Special design feature details; watering, fire hydrants, fish management, irrigation, outfall stabilization, etc.; structural details with design loadings, if applicable, should be shown on the drawings.
9. Complete data required on MD-ENG-14.
10. Record seeding plan on drawings or MD-CONS-10.
11. A written Operation and Maintenance Plan.

Construction Check Data/As-built

Record on survey note paper, SCS-ENG-28. Survey data for ponds will be plotted in red. All construction inspection visits shall be recorded on the CPA-6 or appropriate documentation paper. The documentation shall include the date, who performed the inspection, specifics as to what was inspected, all alternatives discussed, and decisions made and by whom. The following is a list of the minimum data needed for As-Built:

- 1. A profile of the top of the dam.
2. A cross-section of the emergency spillway at the control section.
3. A profile along the centerline of the emergency spillway.
4. A profile along the centerline of the principal spillway extending at least 100 feet downstream of the fill.
5. The elevation of the principal spillway crest.
6. The elevation of the principal spillway conduit invert (inlet and outlet).
7. The diameter, length, thickness and type of material for the riser.
8. The diameter, length, and type of material for the conduit.

- 9. The size and type of anti-vortex and trash rack device and its elevations in relation to the principal spillway crest.
10. The number, size and location of the anti-seep collars.
11. The diameter and size of any low stage orifices or drain pipes.
12. Show the length, width, and depth of contours of the pool area so that design volume can be verified.
13. Notes and measurements to show that any special design features were met.
14. Statement on seeding and fencing.
15. Notes on site clean up and disposal.
16. Sign and date check notes to include statement that practice meets or exceeds plans and specifications.

OPERATION AND MAINTENANCE

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.

APPENDIX A

DAM INSPECTION CHECKLIST

To help the dam owner perform periodic safety inspections of the structure, a checklist is provided. Each item of the checklist should be completed. Repair is required when obvious problems are observed. Monitoring is recommended if there is potential for a problem to occur in the future. Investigation is necessary if the reason for the observed problem is not obvious.

A brief description should be made of any noted irregularities, needed maintenance, or problems. Abbreviations and short descriptions are recommended. Space at the bottom of the form should be used for any items not listed.

The following chart may be used as a guide by the dam owner in determining the frequency of inspections for the dam. Each program is dependant on the particular condition of the dam. The Dam Safety Division is available to assist owners in tailoring a program for their facility.

Table with columns for DAM OWNER, DATE WEATHER INSPECTED BY, POOL LEVEL, and a grid for inspection items (CREST, UPSTREAM SLOPE, DOWNSTREAM SLOPE, DRAINAGE-SEEPAGE CONTROL) with sub-items like Erosion, Cracks, and Seepage.

INSPECTION CHECKLIST - PAGE 2. Includes sections for ABUTMENT CONTACTS, INLET STRUCTURE, and TRASH RACKS with various inspection criteria.

INSPECTION CHECKLIST - PAGE 3. Includes sections for PRINCIPAL SPILLWAY PIPE, STILLING BASIN/POOL, EMERGENCY SPILLWAY, and RESERVOIR with various inspection criteria.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division Date: 2/16/03
Chief, Division of Land Development Date: 2/6/03
Director Date: 2/4/03

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080

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Table with columns: MARK, DATE, BY, MGR, RELEASE. Includes handwritten entries like 'AS BUILT'.

PREPARED FOR:

GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785

DRAWING TITLE:

STORAGE POND
CONSTRUCTION SPECIFICATIONS

SCALE:

N.T.S.

ZONING:

M-2

PROJECT NO.

02027

DATE:

TAX MAP - GRID

48

SHEET NO. 28 of 86

C3.8

HOWARD COUNTY ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SDP-03-44

CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 25-foot radius around the inlet structure shall be cleared.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

Earth Fill

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment, and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer.

Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8 inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with this equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out.

When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a minimum of 2% moisture content. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Cut Off Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, roll

ers, or hand tampers to assure maximum density and minimum permeability.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 313 as modified. The mixture shall have a 100-200 psi, 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity of 2,000 ohm-cm. Material shall be placed such that a minimum of 6" (measured perpendicular to the outside of the pipe) of flowable fill shall be under (feeding), over and, on the sides of the pipe. It only needs to extend up to the spring line for rigid conduits. Average slump of the fill shall be 7" to assure flowability of the material. Adequate measures shall be taken (sand

bags, etc.) to prevent floating the pipe. When using flowable fill, all metal pipes shall be bituminous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Backfill material outside the structural backfill (flowable fill) zone shall be of the type and quality conforming to that specified for the core of the embankment or other embankment materials.

Pipe Conduits

All pipes shall be circular in cross section.

Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:

- 1. Materials - (Polymer Coated steel pipe) - Steel pipes with polymeric coatings shall have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with watertight coupling bands or flanges.

Materials - (Aluminum Coated Steel Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Aluminum Coated Steel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Aluminum surfaces that are to be in contact with concrete shall be painted

with one coat of zinc chromate primer or two coats of asphalt.

Materials - (Aluminum Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211 with watertight coupling bands or flanges. Aluminum Pipe, when used with flowable fill or when soil and/or water conditions warrant for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The pH of the surrounding soils shall be between 4 and 9.

- 2. Coupling bands, anti-seep collars, end sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thickness.

- 3. Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be re-rolled an adequate number of corrugations to accommodate the bandwidth. The following type connections are acceptable for pipes less than 24 inches in diameter: Flanges on both ends of the pipe with a circular 3/8 inch closed cell neoprene gasket, pre-punched to the flange bolt circle, sandwiched between adjacent flanges; a 12-inch wide standard lap type band with 12-inch wide by 3/8-inch thick closed cell circular neoprene gasket; and a 12-inch wide hugger type band with o-ring gaskets having a minimum diameter

of 1/2 inch greater than the corrugated depth. Pipes 24 inches in diameter and larger shall be connected by a 24 inch long annular corrugated band using a minimum of 4 (four) rods and lugs, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed with 12 inches on the end of each pipe. Flanged joints with 3/8 inch closed cell gaskets the full width of the flange is also acceptable.

Helically corrugated pipe shall have either continuously welded seams or have lock seams with internal caulking or a neoprene bead.

- 4. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

- 5. Backfilling shall conform to "Structure Backfill".

- 6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe:

- 1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-361.

- 2. Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding / cradle for their entire length. This bedding / cradle shall consist of high slump concrete placed under the pipe and up the sides of the pipe at least 50% of its outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is not needed for structural reasons, flowable fill may be used as described in the "Structure Backfill" section of this standard. Gravel bedding is not permitted.

Concrete

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, Mix No. 3.

Rock Riprap

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311.

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09, Class C.

Care of Water during Construction

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory per-

10. Stormwater Management Considerations

a. Pond Construction

The project plans, indicate that several stormwater management (SWM) ponds are planned to be constructed on the east side of the proposed parking lots. The plans indicate that the ponds are to be created by a combination of excavations and fills for the basin and embankments. Based on the test boring information, it is likely that these excavations can be accomplished by conventional excavation techniques. Groundwater was observed in several of the test borings performed in the vicinity of the northeastern SWM facilities. As such, it is likely that excavations in this area will encounter groundwater. If groundwater is encountered, then GTA recommends that temporary dewatering be implemented to facilitate excavation and construction. Due to the presence of granular soils and the potential for groundwater, water seepage along the proposed cut slopes may be encountered for the proposed SWM ponds, particularly in the northeastern portion of the site. If such conditions are encountered, installation of drainage blankets and toe drains, per the Site Grading section of this report, may be required to prevent long-term instability of the slopes. The decision to include drainage blankets and toe drains should be made in the field based on actual conditions encountered during construction.

GTA understands that the Soil Conservation Service of Maryland (SCS), Specification 378 (MD 378) governs design and construction of SWM ponds. MD 378 specifies that soils for use in cutoff trench construction meet USCS Classification CL (low plasticity clay), CH (high plasticity clay), SC (clayey sand), or GC (clayey gravel). Furthermore, GTA recommends that similar materials be used for backfill adjacent to the cutoff structure. The use of the fine-grained or plastic material adjacent to the pipe should decrease the potential for "piping" or soil failures.

The majority of the on-site soils encountered in the pond area and over most of the site are classified as USCS SM, SC, and SP (silty/clayey sands). However, layers of more fine-grained, plastic soils (CL) were encountered in several borings. These more clayey materials are considered suitable for cutoff trench construction. The CL materials were generally encountered several feet below existing ground surface, in relatively thin strata. Careful excavation and segregation of clayey soils will be required to reuse them for cutoff trench construction. If adequate amounts of these materials are not available from on-site, the import of suitable soils may be required for cutoff trench construction.

MD 378 specifies that all of the referenced classifications suitable for cutoff trench construction are suitable for embankment construction as well. Furthermore, it is GTA's opinion that select USCS ML soils, low plasticity silt, are also suitable for embankment construction. GTA recommends that the embankment be constructed of the most plastic soils available.

Fills for cutoff trench and embankment construction should be constructed in eight-inch loose lifts, and compacted to within 95 percent of the maximum dry density in accordance with the Standard Proctor, ASTM D-698. Fills around the outfall works should be placed in 4-inch lifts and compacted to the same standard with hand equipment. Compactive effort should be monitored with a place density testing as performed by a qualified representative under the direction of a professional engineer.

Pond MD-378-18

formance of all construction operations. During the placing and compacting of material in required excavations, the water level at the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

Stabilization

All borrow areas shall be graded to provide proper drainage and left in a slightly embankment. All exposed surfaces of the embankment, spillway, spoil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resources Conservation Service Standards and Specifications for Critical Area Planting (MD-342) or as shown on the accompanying drawings.

Erosion and Sediment Control

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

Appendix B.1.1 Supplemental Specifications (Non-378)

This is only a partial listing of available geotextiles based on information provided by the manufacturers to the 1997 Specifier's Guide dated December 1996. It is the responsibility of the engineer to verify the adequacy of the material, as there are changes in the manufacturing process and the type of fabric used, which may affect the continued acceptance.

- 6. A rule of thumb to determine when an excavated pond may need to be considered an embankment pond is as follows:
• Provide calculation of 10H + 20 feet = L, where H equals height from pond bottom to top of dam. If the projection of L, downstream in a horizontal line from the upstream toe of slope is below existing ground, the pond can be considered an excavated pond. In addition, the existing ground slope, downstream of the toe, must be less than 10%.
7. The design engineer and geotechnical engineer should make the determination that the settlement of the pond will not cause excessive joint extension. For further information on joint extension analysis, see NRCs Publication TR-18.
8. Fill placement shall not exceed a maximum 8-inch. Each lift shall be continuous for the entire length of the embankment.
9. The embankment fill shall not be placed higher than the centerline of the principal spillway until after the principal spillway has been installed. If the embankment needs to be excavated to install the principal spillway, the side slope shall be no less than 2:1.
10. The side slopes of a cut to repair a dam, install a principal spillway for an excavated pond, or other repair work, shall be no less than 2:1.

Appendix B.1.1. Supplemental Pond Specifications (Non-378)

Supplemental Stormwater Pond and Wetland Specifications (Non-378)

These notes and specifications are in addition to the MD-378 Specifications. If there is any question as to their applicability, the MD-378 Specifications supercede.

- 1. It is preferred to use the same material in the embankment as is being installed for the core trench. If this is not possible because the appropriate material is not available, a dam core with a shell may be used. The cross-section of the stormwater facility should show the limits of the dam core (up to the 10-year water surface elevation) as well as the acceptable materials for the shell. The shape of the dam core and the material to be used in the shell should be provided by the geotechnical engineer.
2. If the compaction tests for site improvements is using a Modified Proctor (AASHTO T-180), then to maintain on-site consistency, the Modified Proctor may be used in lieu of a Standard Proctor (AASHTO T-99). The minimum required density using the Modified Proctor test method shall be at least 92% of maximum dry density with a moisture content of ±2% of the optimum. The minimum required density using the Standard Proctor test method shall be at least 95% of the maximum dry density with a moisture content of ±2% of the optimum.
3. For all stormwater management facilities, a geotechnical engineer or their representative must be present to verify compaction in accordance with the selected test method. This information needs to be provided in a report to the design engineer, so that certification of the construction of the facility, in accordance with MD-378 specifications, can be made.
4. A 4-inch layer of topsoil shall be placed on all disturbed areas of the dam embankment. Seeding, liming, fertilizing, mulching, etc. shall be in accordance with Maryland Soil Conservation Service MD-342 or the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control "Permanent Seeding," Section in Chapter 20. The purpose of the topsoil is to establish a good growth of grass which is not always possible with some of the materials that may be placed for the embankment fill.
5. Geotextile placed beneath rip-rap shall be Class "C" geotextile or better (see Section 24.0, Material Specifications, 1994 Standards and Specifications for Soil Erosion and Sediment Control (MDE, 1994). Some acceptable geotextiles that meet the Class "C" criteria include:

- Amoco 4552
GEOLON N70
WEBTEC N07
Carthage FX-70S
Mirafi 180-N

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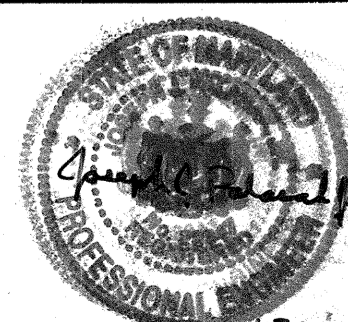


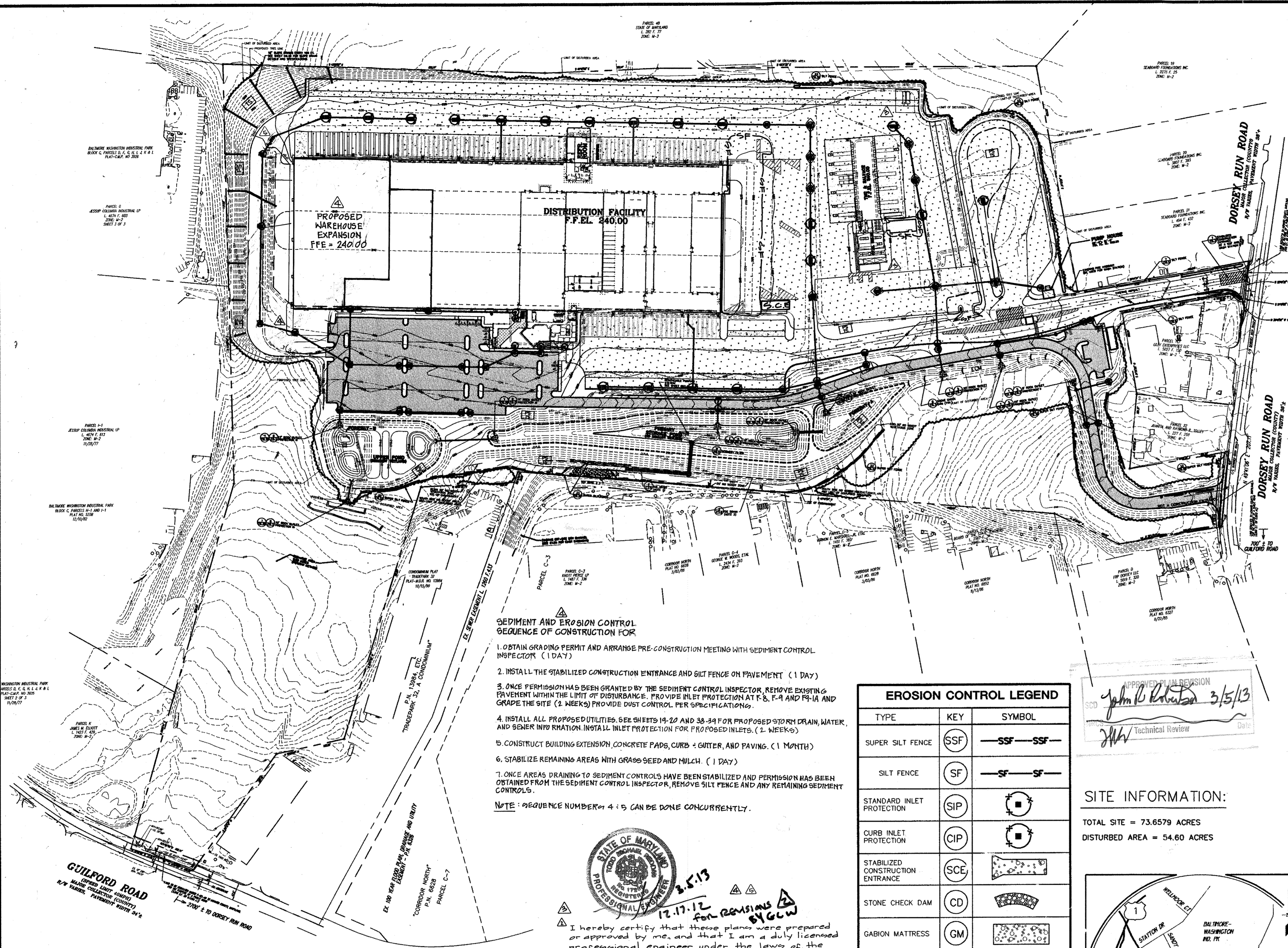
Table with columns: MARK, DATE, BY, MGR, RELEASE. Includes handwritten entries: 4-21-04, ASP/MLT

GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

STORAGE POND
CONSTRUCTION SPECIFICATIONS
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

Table with columns: SCALE, ZONING, PROJECT NO., DATE, TAX MAP - GRID, SHEET NO. Includes values: N.T.S., M-2, 02027, 48, 29 of 86, C3.9

SDP-03-44



SEDIMENT CONTROL & POND CONSTRUCTION

By the Developer:

"I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer Date
 Daniel F. Curran 12/10/12

By the Engineer:
 "I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion."

Signature of Engineer Date
 Bob Paladino 12-11-12

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

USDA Natural Resources Date
 Conservation Services 2/8/03

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
 Howard Soil Conservation District Date 2/8/03

APPROVED PLAN REVISION
 John B. Robertson 12/18/12
 Technical Review Date

STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction. (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance, re-disturbance, permanent or temporary stabilization shall be completed within a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and slopes steeper than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment basins shown must be fenced and warning signs posted around their perimeter in accordance with 101, Chapter 2 of the HOWARD COUNTY DESIGN MANUAL - Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding and mulching (Sec. C). Temporary stabilization with mulch alone shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 Total Area of Site = 73.6579 Acres
 Area Disturbed = 54.60 Acres
 Area to be rooted or paved = 38.0 Acres
 Area to be vegetatively stabilized = 16.4 Acres
 Area of remaining forest = 19.29 Acres
 Total Cu. Yds. = 290,000 Cu. Yds.
 Total Fill = 290,000 Cu. Yds.
 Offsite waste/borrow area location: NA
 SEE SHEET 46 FOR SITE ANALYSIS FOR REVISION 12/18/12
 Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until the initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

Permanent Seeding Notes

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-term vegetative cover is needed.
 Seeded Preparation: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
 1. Preferred - Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (1 1/2 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 urea-form fertilizer (9 lbs/1000 sq. ft.).
 2. Acceptable - Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (13 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding - For the periods March 1 - April 30, and August 1 - October 15, seed with 60 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 - July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs/acre (.05 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16 - February 28, protect site by: Option 1 - 2 tons per acre of well anchored straw mulch and seed as soon as possible in February; Option 2 - Use sod; Option 3 - Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.
 Maintenance - Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be re-disturbed where a short term vegetative cover is needed.
 Seeded preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendment - Apply 600 lbs/acre 10-10-10 fertilizer (1 1/2 lbs/1000 sq. ft.)
 Seeding - For periods March 1 - April 30 and from August 15 - October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq. ft.). For the period May 1 - August 14, seed with 3 lbs/acre of weeping lovegrass (.07 lbs/1000 sq. ft.). For the period November 16 - February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching - Apply 1-1/2 to 2 tons/acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.) for anchoring.
 Refer to the 1994 MARYLAND STANDARD AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

- SEDIMENT AND EROSION CONTROL SEQUENCE OF CONSTRUCTION FOR**
- OBTAIN GRADING PERMIT AND ARRANGE PRE-CONSTRUCTION MEETING WITH SEDIMENT CONTROL INSPECTOR (1 DAY)
 - INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE ON PAVEMENT (1 DAY)
 - ONCE PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, REMOVE EXISTING PAVEMENT WITHIN THE LIMIT OF DISTURBANCE. PROVIDE INLET PROTECTION AT F-8, F-9 AND F-1A AND GRAPE THE SITE (2 WEEKS) PROVIDE DUST CONTROL PER SPECIFICATIONS.
 - INSTALL ALL PROPOSED UTILITIES. SEE SHEETS 19-20 AND 38-39 FOR PROPOSED STORM DRAIN, WATER, AND SEWER INFILTRATION. INSTALL INLET PROTECTION FOR PROPOSED INLETS. (2 WEEKS)
 - CONSTRUCT BUILDING EXTENSION CONCRETE PADS, CURB & GUTTER, AND PAVING. (1 MONTH)
 - STABILIZE REMAINING AREAS WITH GRASS SEED AND MULCH. (1 DAY)
 - ONCE AREAS DRAINING TO SEDIMENT CONTROLS HAVE BEEN STABILIZED AND PERMISSION HAS BEEN OBTAINED FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE SILT FENCE AND ANY REMAINING SEDIMENT CONTROLS.
- NOTE: SEQUENCE NUMBER 4 & 5 CAN BE DONE CONCURRENTLY.

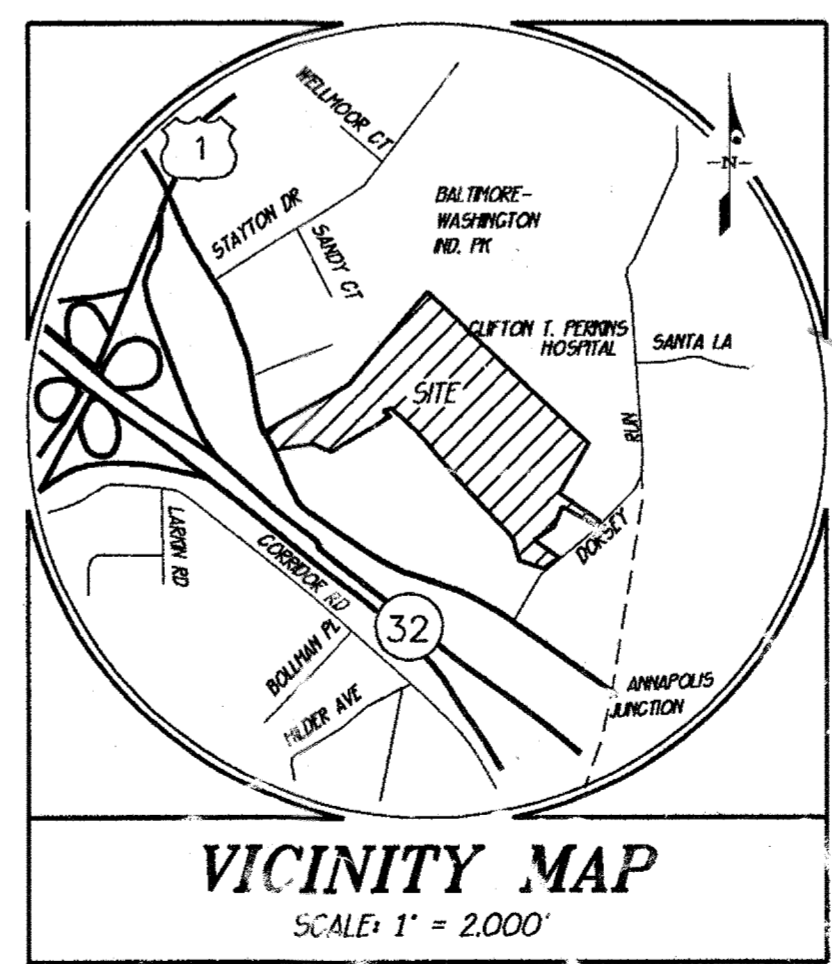
EROSION CONTROL LEGEND

TYPE	KEY	SYMBOL
SUPER SILT FENCE	SSF	SSF - SSF - SSF -
SILT FENCE	SF	SF - SF - SF -
STANDARD INLET PROTECTION	SIP	⊙
CURB INLET PROTECTION	CIP	⊙
STABILIZED CONSTRUCTION ENTRANCE	SCE	▨
STONE CHECK DAM	CD	▨
GABION MATTRESS	GM	▨
ROCK OUTLET PROTECTION (TYPES 2&3)		▨
LIMITS OF CONSTRUCTION	LOD	---
EROSION CONTROL MATTING	ECM	▨
TEMPORARY SEEDING	TS	▨
PERMANENT SEEDING	PS	▨
EARTH DIKE		B-2

APPROVED PLAN REVISION
 John B. Robertson 3/5/13
 Technical Review Date

SITE INFORMATION:

TOTAL SITE = 73.6579 ACRES
 DISTURBED AREA = 54.60 ACRES



- Sediment and Erosion Control Sequence of Construction for**
- Obtain grading permit and arrange pre-construction meeting with sediment control inspector (1 day)
 - Install the stabilized construction entrance and silt fence/super silt fence. (1 day)
 - Once permission has been granted by the sediment control inspector, grade the site. (2 weeks) Provide dust control per specifications.
 - Construct building extension concrete pads, curb & gutter and paving. (1 month)
 - Stabilize remaining areas with grass seed and mulch. (1 week)
 - Once areas draining to sediment controls have been stabilized and permission has been obtained from the sediment control inspector, remove silt fence.
 - Remove any remaining sediment controls and stabilize any remaining disturbed areas.

- Sequence of Construction**
- Obtain Site Development Permit.
 - Maintain sediment controls of GP-03-03. 32 weeks
 - Upon permission from the inspector, complete rough grading and perform fine grading. 28 weeks
 - Place temporary seeding. 20 weeks
 - Install storm drains. 16 weeks
 - Install sanitary sewer. 12 weeks
 - Install utilities. 16 weeks
 - Place site pavement base and asphalt. 32 weeks
 - Upon permission from the inspector, remove temporary slope drains. 1 week
 - Perform final site stabilization. 1 week
 - Place permanent landscape and wetland plantings. 12 weeks
 - Upon permission from the inspector, remove sediment basin. 1 week

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division Date 2/6/03
 Chief, Division of Land Development Date 2/6/03
 Director Date 2/6/03

STATE OF MARYLAND PROFESSIONAL ENGINEER
 12-17-12 FOR REVISIONS BY G.W.
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License #17286
 Expiration Date: March 17, 2021.

NOTE: 1. "ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO (SEE STANDARD SEDIMENT CONTROL NOTE #2). 2. UPON COMPLETION OF CONSTRUCTION OF POND EMBANKMENT AND REMOVAL OF SUPER SILT FENCE, PLACE EROSION CONTROL MATTING ALONG TOE OF EMBANKMENT SLOPE. 3. CURL ALL ENDS OF SF AND SSF UPHILL BY 2.0 FT IN ELEVATION.

THE FACILITY GROUP
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 FAX # (770) 437-3939

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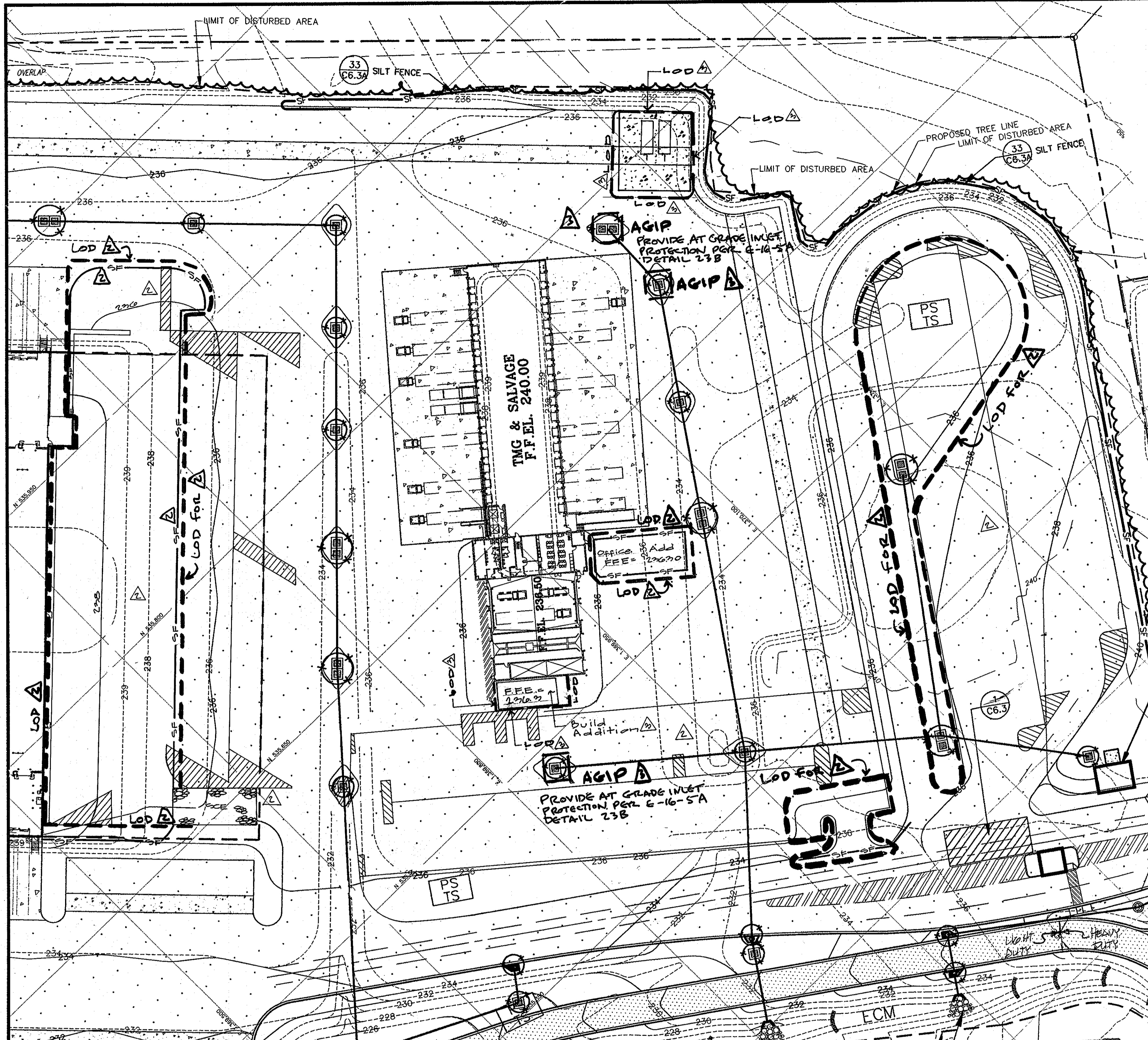
MARK	DATE	BY	MGR	RELEASE
Δ	5/7/2010	KLP		Rev. leading area at NW corner warehouse
Δ	10/7/11	gt		Warehouse Expansion (96,477 sq. ft.)
Δ	9/2/12	gt		Build addition - Fuel tank pad
Δ	12-17-2012	KLP		Rev. truck driver parking trailer staging & re-arranging existing added S.C.C.
Δ	4/2/104			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANUVIER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
**OVERALL
 EROSION CONTROL PLAN**
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=150'
 ZONING: M-2
 PROJECT NO. 02027
 DATE: TAX MAP - GRID 48
 SHEET NO. 30 of 86
C4.0

SDP-03-44



EROSION CONTROL LEGEND		
TYPE	KEY	SYMBOL
SUPER SILT FENCE	SSF	---SSF---SSF---
SILT FENCE	SF	-SF-SF-
STANDARD INLET PROTECTION	SIP	⊙
CURB INLET PROTECTION	CIP	⊙
STABILIZED CONSTRUCTION ENTRANCE	SCE	▨
STONE CHECK DAM	CD	▨
GABION MATTRESS	GM	▨
ROCK OUTLET PROTECTION (TYPES 2&3)		▨
LIMITS OF CONSTRUCTION	LOD	---
EROSION CONTROL MATTING	ECM	▨
TEMPORARY SEEDING	TS	▨
PERMANENT SEEDING	PS	▨
EARTH DIKE		B-2

DORSEY RUN ROAD
 MAJOR COLLECTOR (COUNTY)
 R/W VARIES, PAVEMENT WIDTH 38'-4"

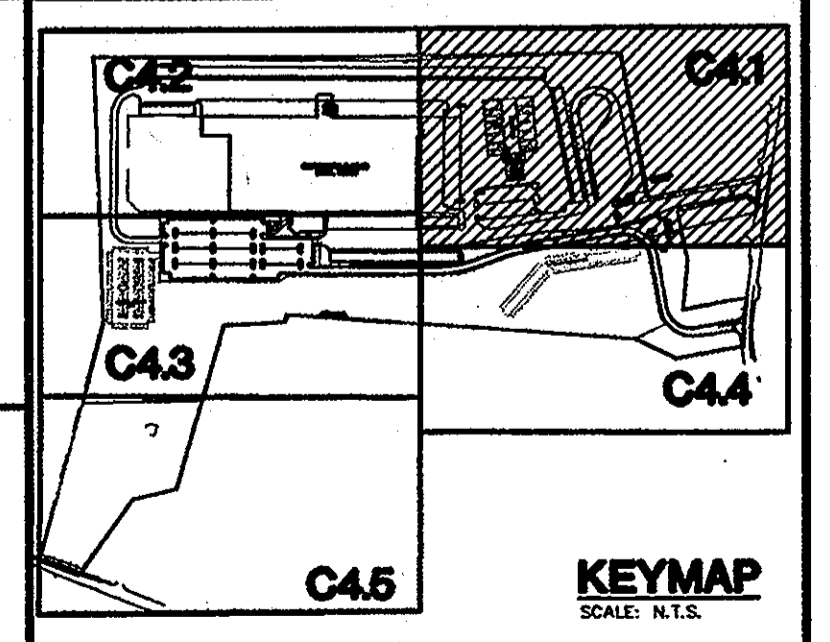
SEDIMENT CONTROL & POND CONSTRUCTION
 By the Developer:
 I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
 Signature of Developer Date 12/10/12
 Print name below signature W. E. Currie

By the Engineer:
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.
 Signature of Engineer Date 12/18/12
 Print name below signature J. M. A. ONLY

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
 USDA Natural Resources Conservation Service
 Signature of Engineer Date 2/4/03
 Print name below signature J. M. A. ONLY
 Signature of Engineer Date 2/4/03
 Print name below signature J. M. A. ONLY

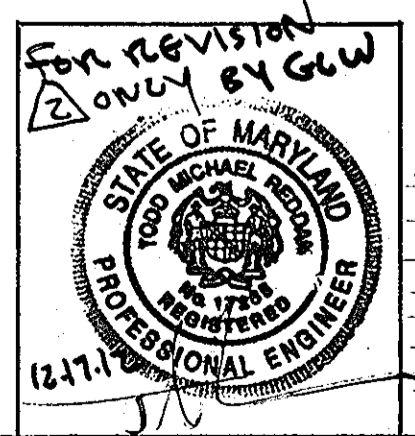
APPROVED PLAN REVISION
 SCD John R. Roberts 12/18/12
 Technical Review Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division Date 2/6/03
 Chief, Division of Land Development Date 2/6/03
 Director Date 2/4/03

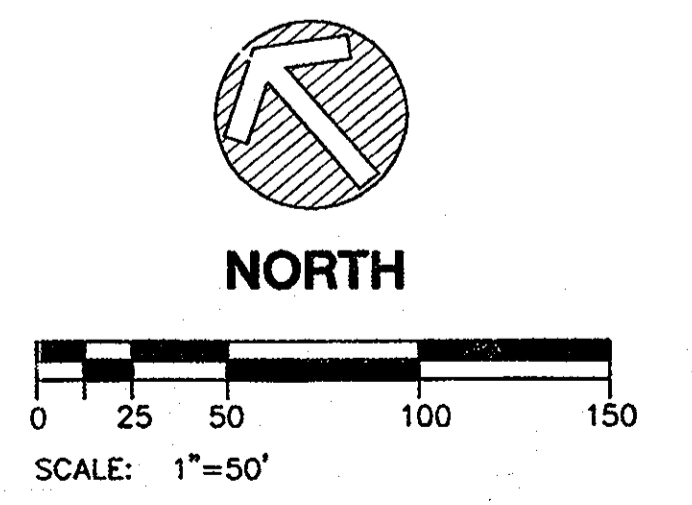


LEGEND:
 STEEP SLOPE AREA (15% TO 25% SLOPE)

NOTE:
 1. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO (SEE STANDARD SEDIMENT CONTROL NOTE #2). 2. UPON COMPLETION OF CONSTRUCTION OF POND EMBANKMENT AND REMOVAL OF SUPER SILT FENCE, PLACE EROSION CONTROL MATTING ALONG TOE OF EMBANKMENT SLOPE. 3. CURB ALL ENDS OF SF AND SSF UPHILL BY 2.0 FT IN ELEVATION.



I hereby certify that these plans were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the state of Maryland. License # 17285. Expiration Date: March 17, 2013.



THE FACILITY GROUP
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 ARCHITECTS & ENGINEERS
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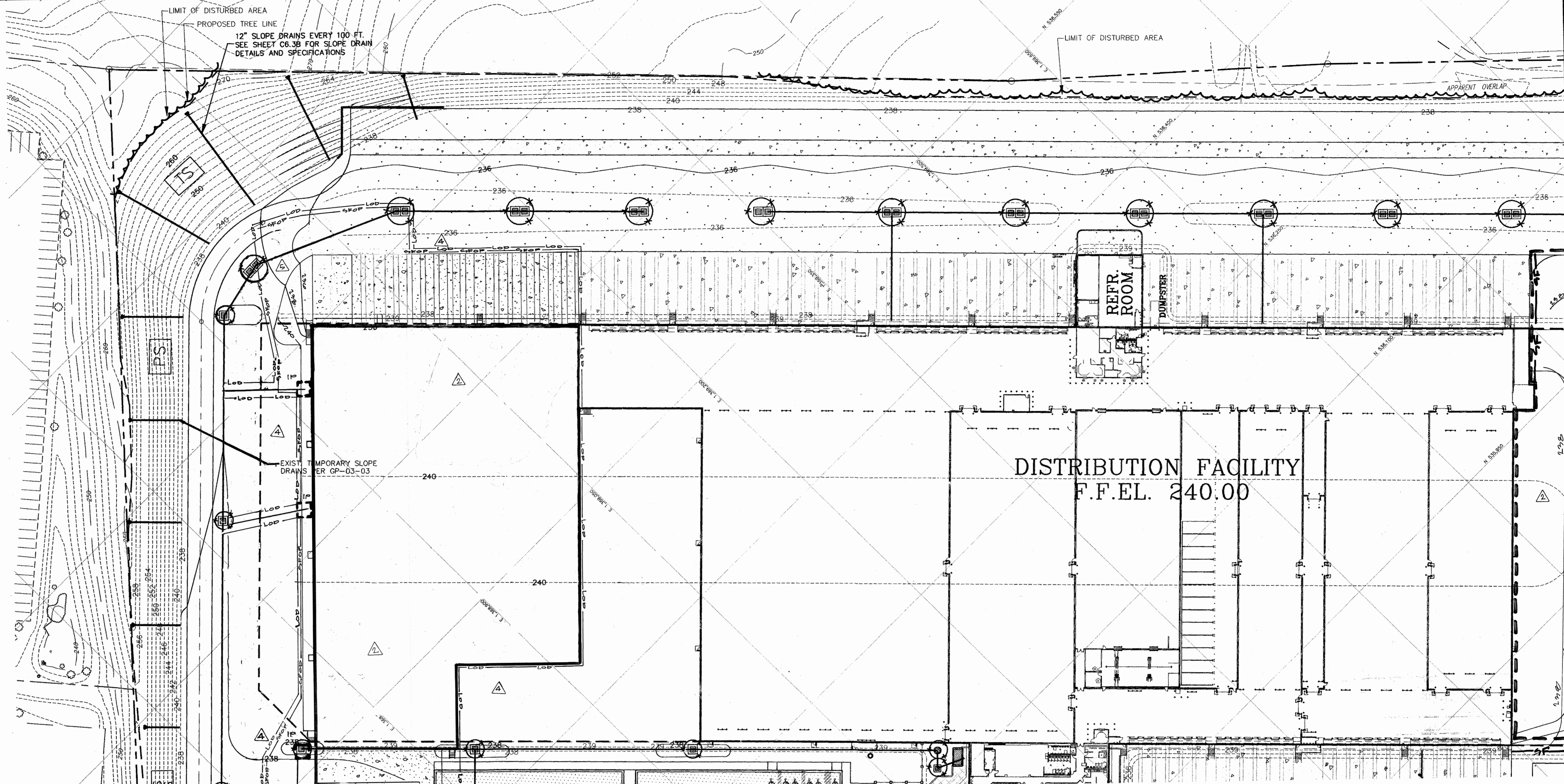
MARK	DATE	BY	MGR	RELEASE
△	7/24/10	gt		Build addition Fuel tank pad.
△	12/11/12	Wes		rev. truck driver parking trailer & tractor staging area
△	2/21/03			As Built

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
EROSION CONTROL PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO. 31 of 86
06/20/02	48	C4.1

EROSION CONTROL LEGEND		
TYPE	KEY	SYMBOL
SUPER SILT FENCE	(SSF)	—SS—SS—
SILT FENCE	(SF)	—S—S—
STANDARD INLET PROTECTION	(SIP)	⊙
CURB INLET PROTECTION	(CIP)	⊙
STABILIZED CONSTRUCTION ENTRANCE	(SCE)	▨
STONE CHECK DAM	(CD)	▨
GABION MATTRESS	(GM)	▨
ROCK OUTLET PROTECTION (TYPES 2&3)		▨
LIMITS OF CONSTRUCTION	(LOD)	---
EROSION CONTROL MATTING	(ECM)	▨
TEMPORARY SEEDING	(TS)	▨
PERMANENT SEEDING	(PS)	▨
EARTH DIKE		B-2
SILT FENCE ON PAVEMENT		—SFP—△
LIMITS OF DISTURBANCE		—LOD—△



NOTE: 1. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO (SEE STANDARD SEDIMENT CONTROL NOTE #2). 2. UPON COMPLETION OF CONSTRUCTION OF POND EMBANKMENT AND REMOVAL OF SUPER SILT FENCE, PLACE EROSION CONTROL MATTING ALONG TOE OF EMBANKMENT SLOPE. 3. CURL ALL ENDS OF SF AND SSF UPHILL BY 2.0 FT IN ELEVATION.

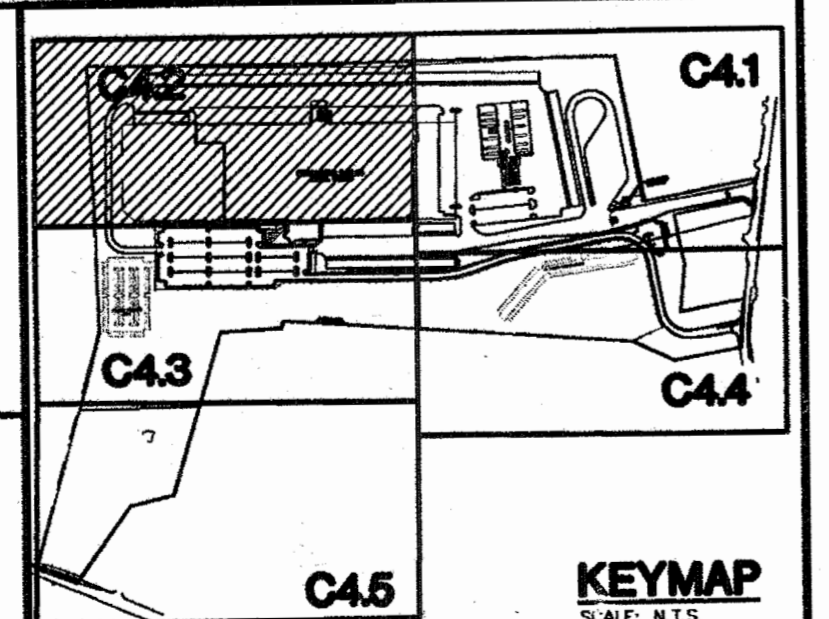
Professional Certification
I hereby certify that these plans were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the state of Maryland; License # 17285; Expiration Date: March 17, 2013.

SEDIMENT CONTROL & POND CONSTRUCTION
By the Developer:
"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."
Signature of Developer Date 12/10/12
Print name below signature DANIEL E. CURRIE
By the Engineer:
"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."
Signature of Engineer Date 12/17/12
Print name below signature JOSEPH P. REDDAN

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
Signature of Engineer Date 2/9/03
Print name below signature
These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
Signature of Engineer Date 2/6/03
Print name below signature

APPROVED PLAN REVISION
Signature of Engineer Date 12/10/12
Signature of Engineer Date
Signature of Engineer Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chief, Development Engineering Division Date 2/6/03
Chief, Division of Land Development Date 2/6/03
Director Date 2/6/03



STATE OF MARYLAND
Professional Engineer
12-17-12 REVISIONS ONLY BY GLW

LEGEND:
STEEP SLOPE AREA (15% TO 25% SLOPE)



SCALE: 1"=50'

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
△	5-7-10			Rev. loading area at NW corner of warehouse
△	10-21-10			Warehouse Expansion (05,27,5F)
△	12-18-12			Added Trailer Staging
△	4-21-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: CULFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

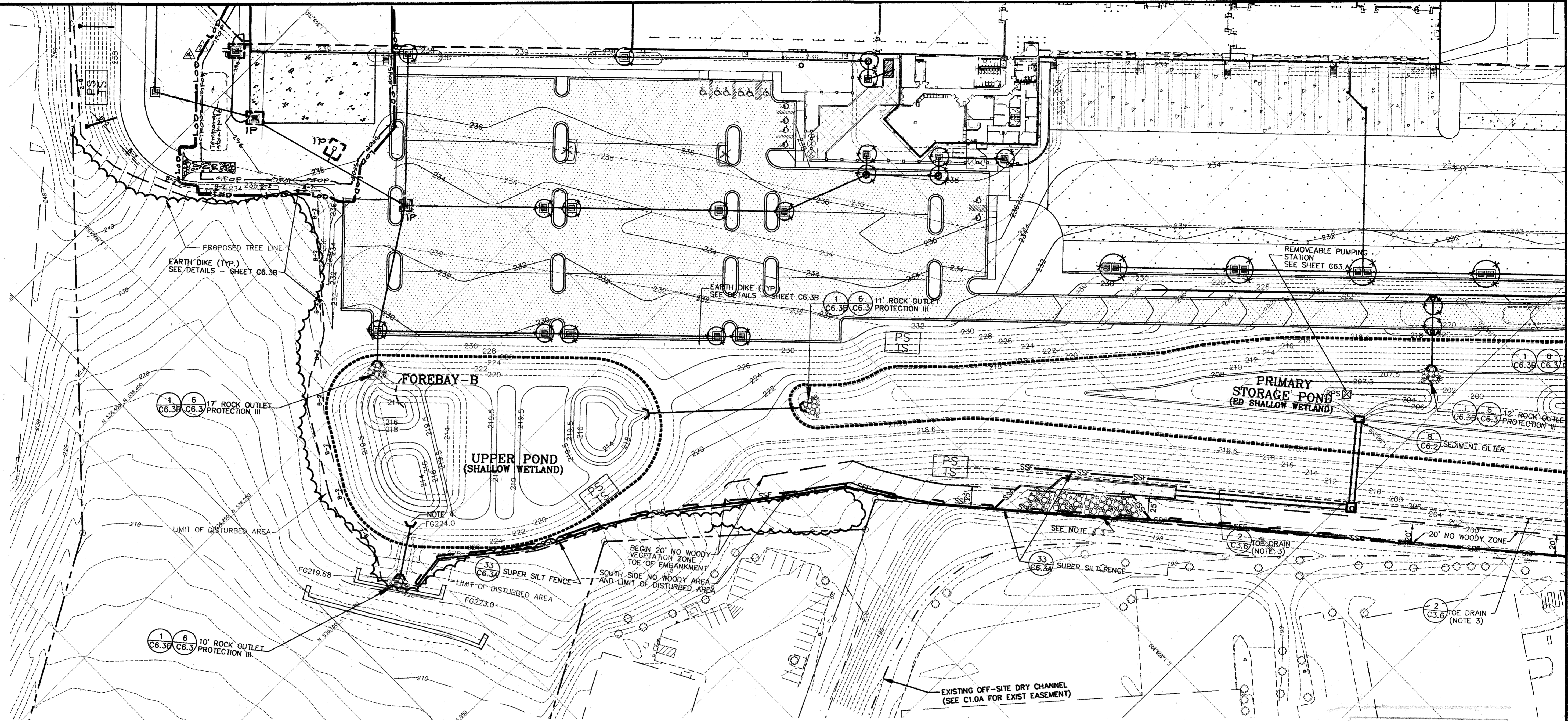
DRAWING TITLE:
EROSION CONTROL PLAN
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO.
	48	32 of 86

C4.2

SDP-03-44

EROSION CONTROL LEGEND		
TYPE	KEY	SYMBOL
SUPER SILT FENCE	SSF	—SSF—SSF—
SILT FENCE	SF	—SF—SF—
STANDARD INLET PROTECTION	SIP	⊠
CURB INLET PROTECTION	CIP	⊠
STABILIZED CONSTRUCTION ENTRANCE	SCE	▨
STONE CHECK DAM	CD	▨
GABION MATTRESS	GM	▨
ROCK OUTLET PROTECTION (TYPES 2&3)		▨
LIMITS OF CONSTRUCTION	LOD	---
EROSION CONTROL MATTING	ECM	▨
TEMPORARY SEEDING	TS	▨
PERMANENT SEEDING	PS	▨
EARTH DIKE		B-2
SILT FENCE ON PAVEMENT		—SFOF—
LIMITS OF DISTURBANCE		—LDB—
INLET PROTECTION		⊠



- NOTE:**
- "ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO (SEE STANDARD SEDIMENT CONTROL NOTE #2).
 - UPON COMPLETION OF CONSTRUCTION OF POND EMBANKMENT AND REMOVAL OF SUPER SILT FENCE, PLACE EROSION CONTROL MATTING ALONG TOE OF EMBANKMENT SLOPE.
 - CURL ALL ENDS OF SF AND SSF UPHILL BY 2.0 FT IN ELEVATION.
 - PLUG 8" PIPE UNTIL REMOVAL OF SEDIMENT BASIN.

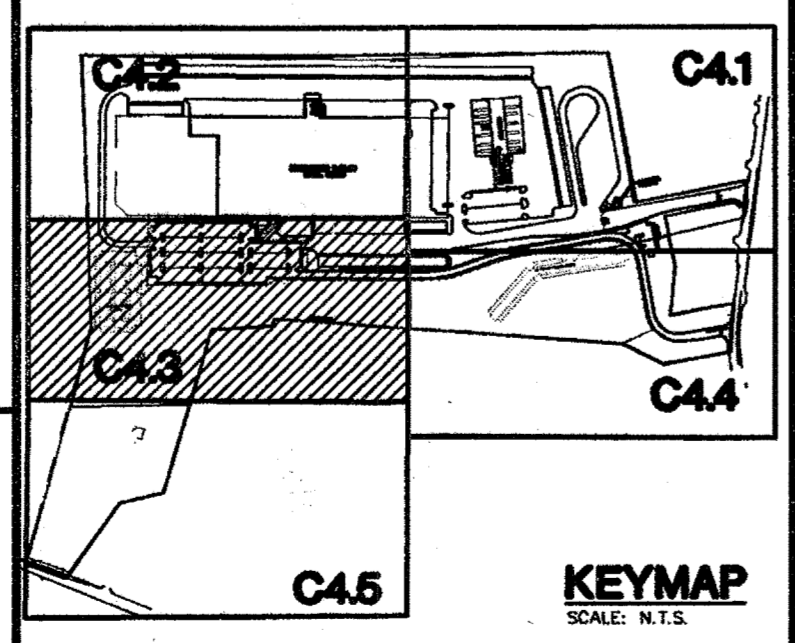
SEDIMENT CONTROL & POND CONSTRUCTION
 By the Developer:
 "I certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 day of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."
 Signature of Developer: *[Signature]* Date: *12/10/12*
 Print name below signature: *[Name]*
 By the Engineer:
 "I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion."
 Signature of Engineer: *[Signature]* Date: *12/11/12*
 Print name below signature: *[Name]*
 License # *17285* *ONLY*
 These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.
 Signature: *[Signature]* Date: *2/4/13*
 USA Natural Resources Conservation Service
 These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.
 Signature: *[Signature]* Date: *2/6/13*
 Howard Soil Conservation District

LEGEND:

STEEP SLOPE AREA (15% TO 25% SLOPE)

Professional Certification
 I hereby certify that these plans were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the state of Maryland, License #17285, Expiration Date: March 13, 2013.
[Signature] 12/17/12
For Revisions ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division: *[Signature]* Date: *2/6/13*
 Chief, Division of Land Development: *[Signature]* Date: *2/6/13*
 Director: *[Signature]* Date: *2/6/13*



SEDIMENT BASIN CALCULATIONS	
SEDIMENT STORAGE REQUIRED (SSR):	
DISTURBED AREA (AC.)	54.60 AC.
REQUIRED STORAGE PER ACRE	3600 C.F.
SSR = DISTURBED AREA x REQ. STORAGE PER ACRE	195,560 C.F.
PRE Q 1-YEAR = 24.7 CFS	
POST Q 1-YEAR = 4.9 CFS	
BASIN VOLUME = 233,480 C.F. > 195,560 C.F. = > OK	
VOL. AT DEWATERING EL. = 1800 C.F./AC. x 54.6 AC. = 98,280 C.F.	
VOL. OF BASIN AT CLEANOUT = 900 C.F./AC. x 54.6 AC. = 49,140 C.F.	
BASIN CLEANOUT ELEVATION = 207.75	
ELEVATION CORRESPONDING TO MIN. REQUIRED VOL. OF BASIN (RISER CREST EL.) = 212 FT.	
PERMANENT POOL ELEVATION = 209.10 FT.	

STATE OF MARYLAND
 PROFESSIONAL ENGINEER
[Signature] 12.17.12
For Revisions ONLY
 BY GCW



SCALE: 1"=50'
 0 25 50 100 150

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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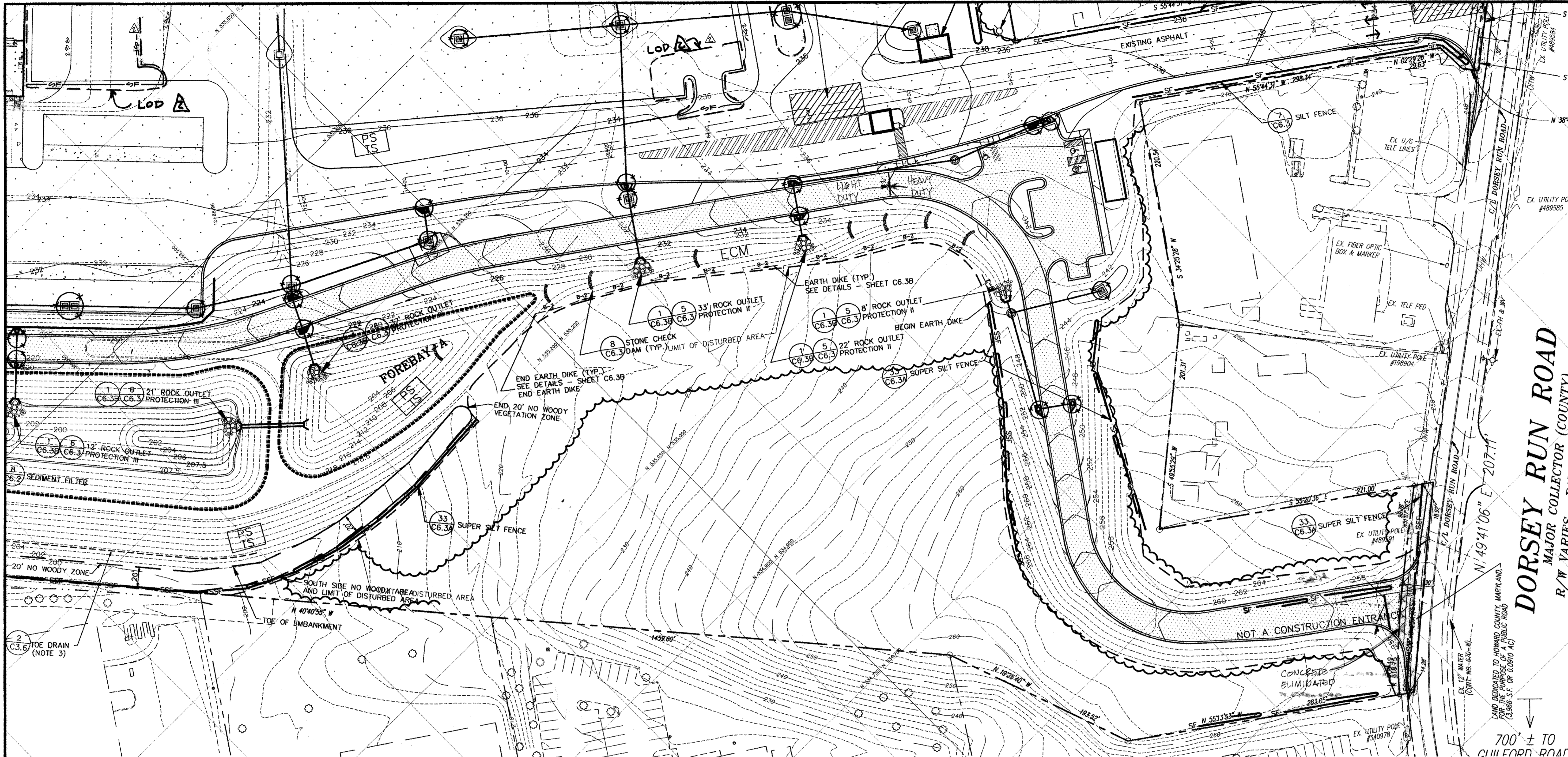
MARK	DATE	BY	MGR	RELEASE
1	12/17/12	GCW		Warehouse Expansion (MS, 2779)
2	12/17/12	GCW		rev trailer staging area
3	12/17/12	GCW		AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
EROSION CONTROL PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO.
	48	33 of 86
		C4.3

SDP-03-44



EROSION CONTROL LEGEND		
TYPE	KEY	SYMBOL
SUPER SILT FENCE	SSF	—SSF—SSF—
SILT FENCE	SF	—SF—SF—
STANDARD INLET PROTECTION	SIP	⊙
CURB INLET PROTECTION	CIP	⊙
STABILIZED CONSTRUCTION ENTRANCE	SCE	▨
STONE CHECK DAM	CD	▨
GABION MATTRESS	GM	▨
ROCK OUTLET PROTECTION (TYPES 2&3)		▨
LIMITS OF CONSTRUCTION	LOD	— — — —
EROSION CONTROL MATTING	ECM	▨
TEMPORARY SEEDING	TS	
PERMANENT SEEDING	PS	
EARTH DIKE		B-2

DORSEY RUN ROAD
 MANOR COLLECTOR (COUNTY)
 R/W VARIES

NOTE:
 1. "ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO (SEE STANDARD SEDIMENT CONTROL NOTE #2). 2. UPON COMPLETION OF CONSTRUCTION OF POND EMBANKMENT AND REMOVAL OF SUPER SILT FENCE, PLACE EROSION CONTROL MATTING ALONG TOE OF EMBANKMENT SLOPE. 3. CURL ALL ENDS OF SF AND SSF UP HILL BY 2.0 FT IN ELEVATION.

LEGEND:
STEEP SLOPE AREA (15% TO 25% SLOPE)

SEEDING CONTROL & POND CONSTRUCTION

By the Developer:
 "I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with on "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer Date: 12/10/12
 Print name below signature: [Signature]

By the Engineer:
 "I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with on "as-built" plan of the pond within 30 days of completion."

Signature of Engineer Date: 12-17-12
 Print name below signature: [Signature]

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

USDA Natural Resources Conservation Service Date: 2/4/13

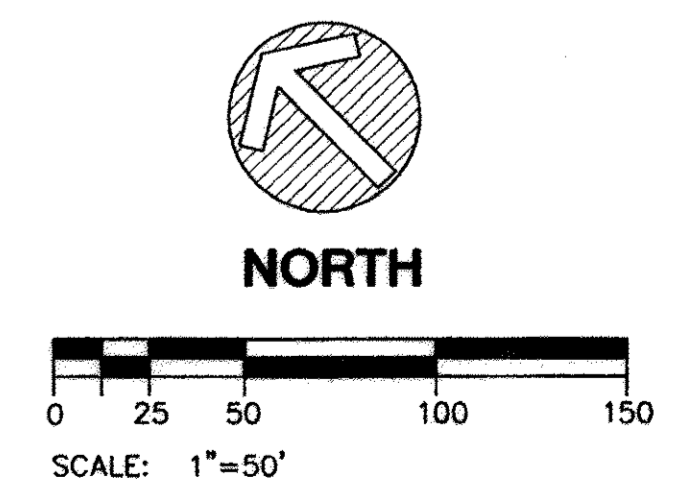
These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation District Date: 2/9/13

APPROVED PLAN REVISION
 [Signature] 12/16/12
 Technical Review [Signature] Date



Professional Certification
 I hereby certify that these plans were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License # 17285, Expiration Date: March 17, 2013.

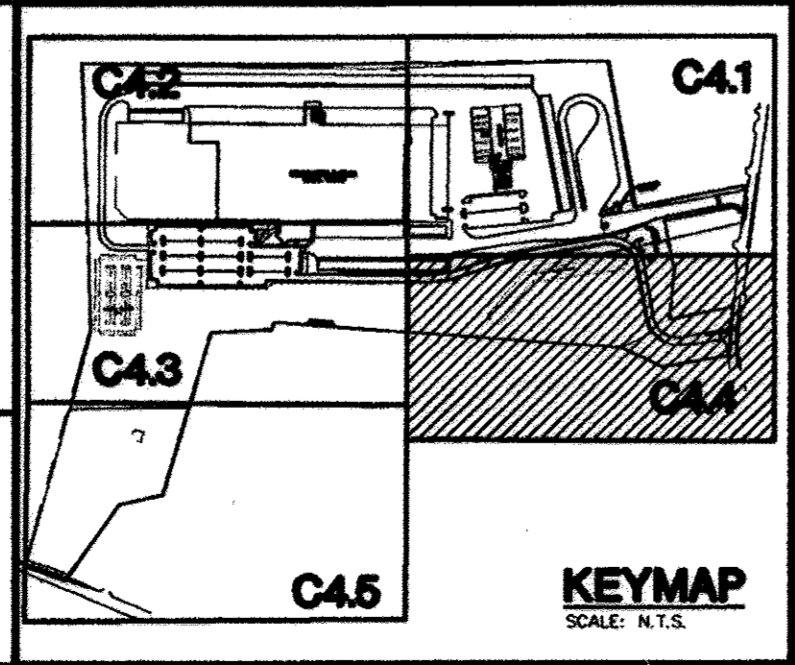


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/13
 Chief, Development Engineering Division Date

[Signature] 2/6/13
 Chief, Division of Land Development Date

[Signature] 2/6/13
 Director Date



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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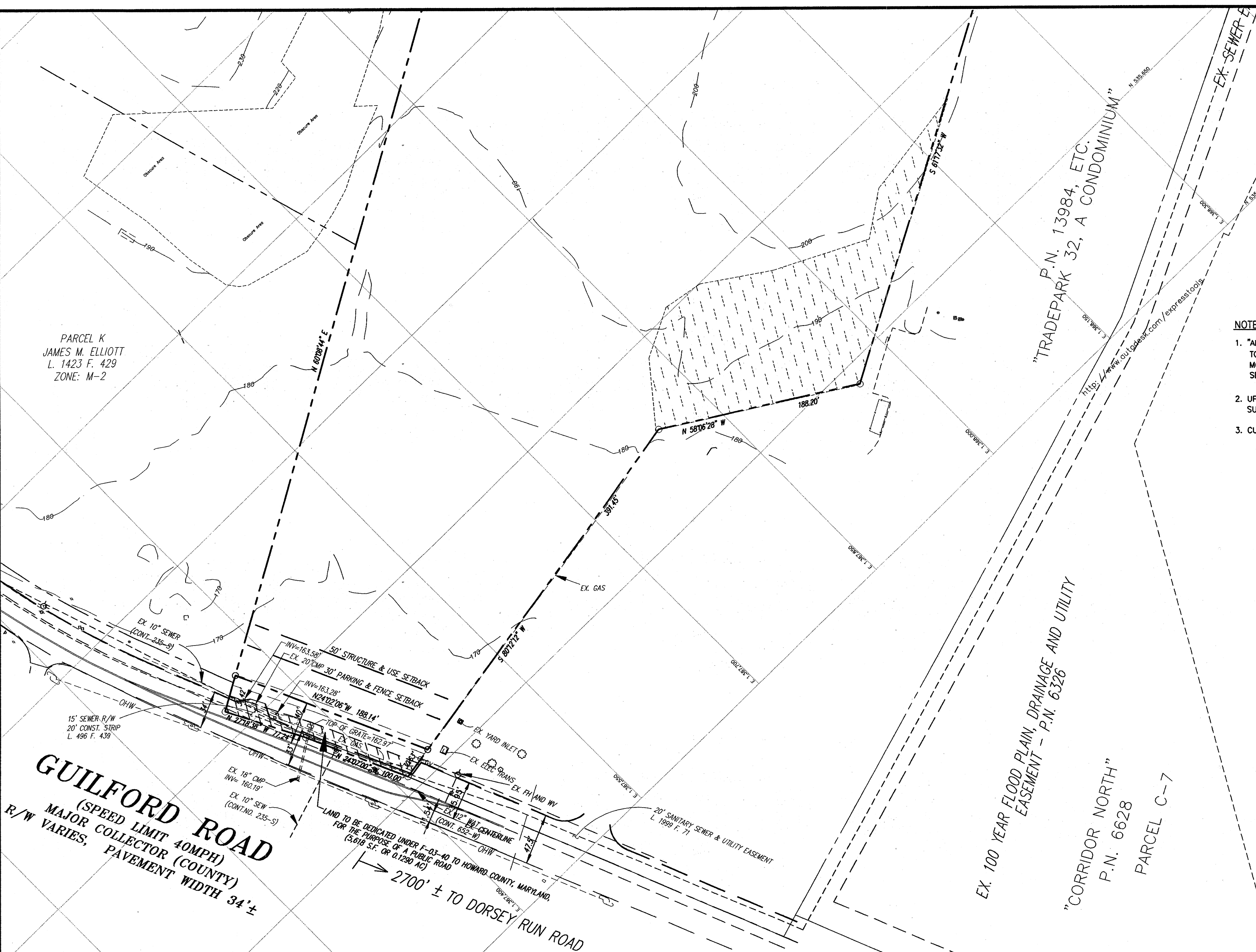
MARK	DATE	BY	MGR	RELEASE
Δ	11/17/12	kp		rev. truck driver parking, trailer staging & tractor staging areas, rev. sediment control accordingly
Δ	1-7-13	AS	BUILT	

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
EROSION CONTROL PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'
 DATE:
 ZONING: M-2
 TAX MAP - GRID: 48
 PROJECT NO.: 02027
 SHEET NO.: 34 of 86
C4.4



EROSION CONTROL LEGEND		
TYPE	KEY	SYMBOL
SUPER SILT FENCE	SSF	
SILT FENCE	SF	
STANDARD INLET PROTECTION	SIP	
CURB INLET PROTECTION	CIP	
STABILIZED CONSTRUCTION ENTRANCE	SCE	
STONE CHECK DAM	CD	
GABION MATTRESS	GM	
ROCK OUTLET PROTECTION (TYPES 2&3)		
LIMITS OF CONSTRUCTION	LOD	
EROSION CONTROL MATTING	ECM	
TEMPORARY SEEDING	TS	
PERMANENT SEEDING	PS	
EARTH DIKE		

LEGEND:

STEEP SLOPE AREA (15% TO 25% SLOPE)

- NOTE:**
- "ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO (SEE STANDARD SEDIMENT CONTROL NOTE #2).
 - UPON COMPLETION OF CONSTRUCTION OF POND EMBANKMENT AND REMOVAL OF SUPER SILT FENCE, PLACE EROSION CONTROL MATTING ALONG TOE OF EMBANKMENT SLOPE.
 - CURL ALL ENDS OF SF AND SSF UPHILL BY 2.0 FT IN ELEVATION.

SEDIMENT CONTROL & POND CONSTRUCTION

By the Developer:

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance of a Department of the Environmental Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

Signature of Developer: [Signature] Date: 2/6/03
 Print name below signature: DAN CURRIE

By the Engineer:

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an 'as-built' plan of the pond within 30 days of completion."

Signature of Engineer: [Signature] Date: 2/6/03
 Print name below signature: JOE PALASKA

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Signature: [Signature] Date: 2/6/03
 USA Natural Resources Conservation Service

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Signature: [Signature] Date: 2/6/03
 Howard Soil Conservation District

PARCEL K
 JAMES M. ELLIOTT
 L. 1423 F. 429
 ZONE: M-2

GUILFORD ROAD
 (SPEED LIMIT 40MPH)
 MAJOR COLLECTOR (COUNTY)
 R/W VARIES, PAVEMENT WIDTH 34'±

EX. 100 YEAR FLOOD PLAIN, DRAINAGE AND UTILITY EASEMENT - P.N. 6326

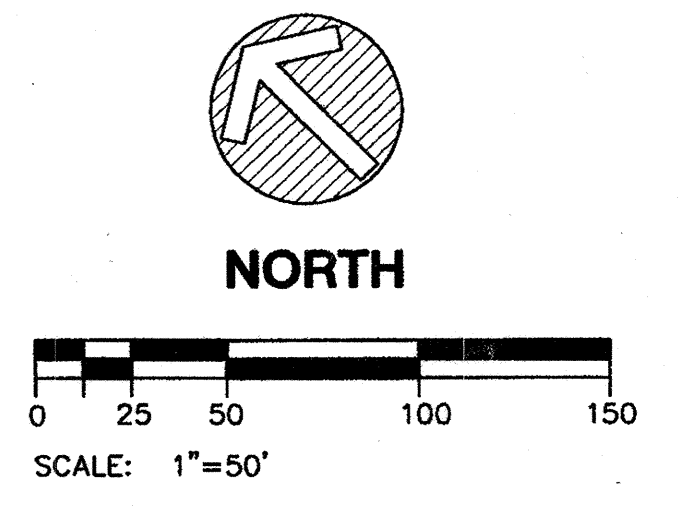
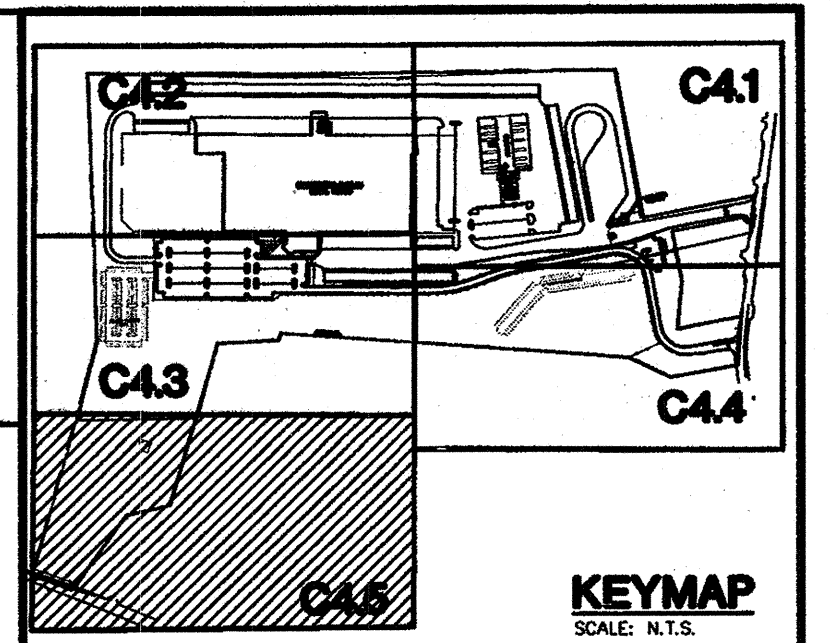
"CORRIDOR NORTH"
 P.N. 6628
 PARCEL C-7

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
 Chief, Development Engineering Division Date

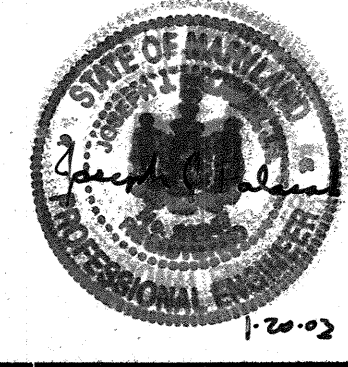
[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date



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 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
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MARK	DATE	BY	MGR	RELEASE
	4-21-04	AS BUILT		

PREPARED FOR:

**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**

6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

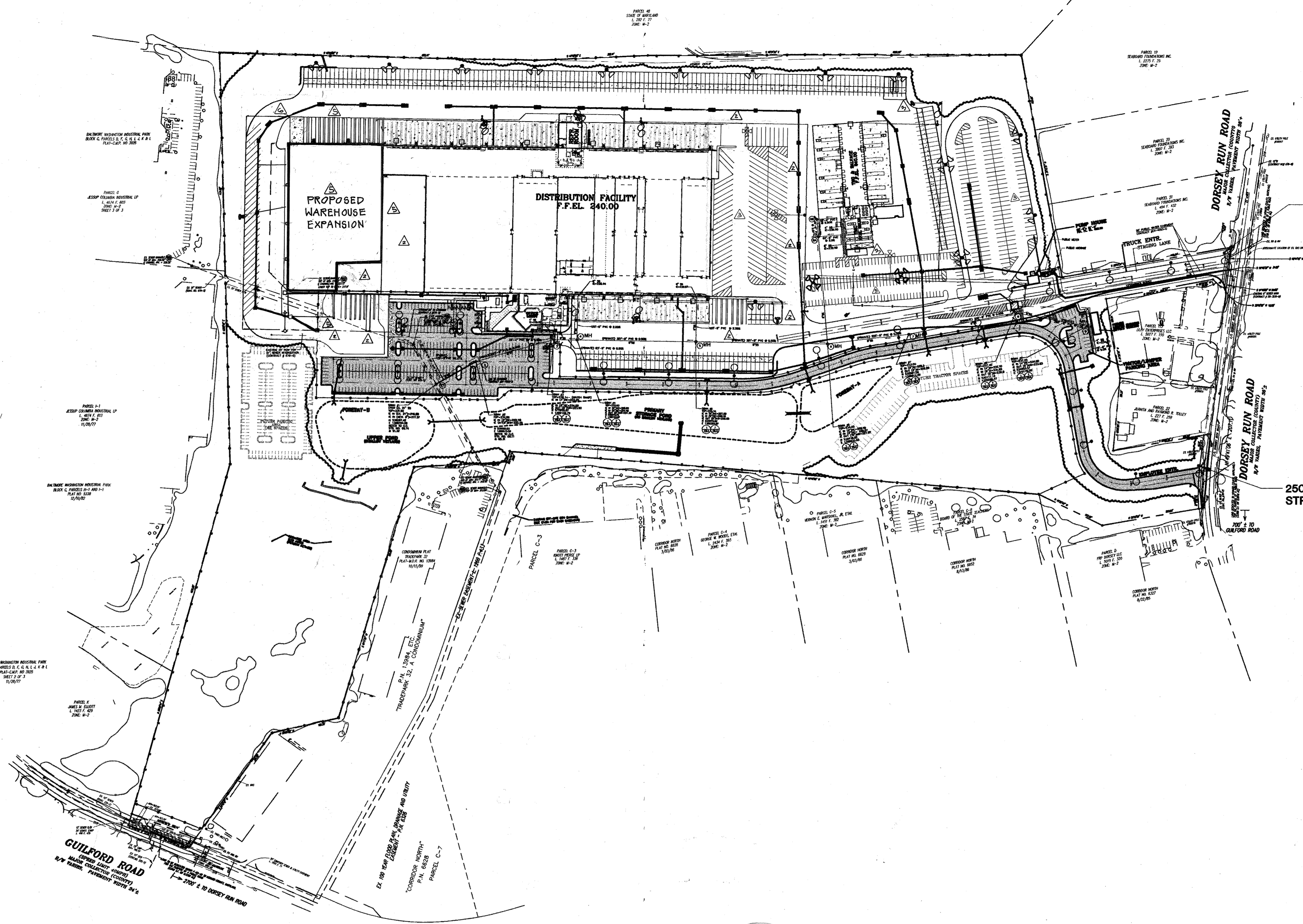
DRAWING TITLE:

EROSION CONTROL PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 35 of 86 C4.5

SDP-03-14



250 SAG STREET LIGHT

250 SAG STREET LIGHT

UTILITY NOTES

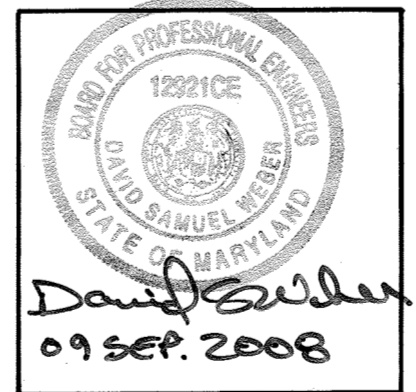
1. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. UNDERGROUND UTILITIES SHALL BE INSPECTED AND APPROVED BEFORE BACKFILLING.
4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE SEWER LINE AND OTHER UTILITIES.
5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF EXISTING INFORMATION SUPPLIED BY OWNER, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
6. CONTRACTOR SHALL CONTACT LOCAL INSPECTOR AT LEAST 24 HOURS IN ADVANCE PRIOR TO INSPECTIONS.
7. SANITARY SEWER PIPE SHALL BE AS SHOWN ON PLANS AND IN SPECIFICATIONS.
8. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
9. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" APART (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE UNLESS OTHERWISE NOTED ON PLANS).
10. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
11. SEWER SERVICES ARE TO BE INSTALLED TO WITHIN 5' FEET OF ALL BUILDINGS BY THE SITE SUBCONTRACTOR; ENDS OF LINE TO BE CAPPED AND PLACED TO SHOW LOCATION. CONNECTION TO THE BUILDING SHALL BE THE BUILDING SUBCONTRACTORS RESPONSIBILITY. SITE SUBCONTRACTOR TO COORDINATE W/ BUILDING SUBCONTRACTOR AND/OR OWNER'S REPRESENTATIVE THE SPECIFIC LOCATION OF ALL UTILITY CONNECTIONS.
12. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
13. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
14. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard 2/6/08
Chief, Development Engineering Division Date

W. J. DeLoe 2/6/08
Chief, Division of Land Development Date

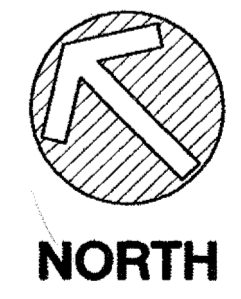
W. J. DeLoe 2/6/08
Director Date



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE No. 17285 EXPIRATION DATE: March 17, 2021.



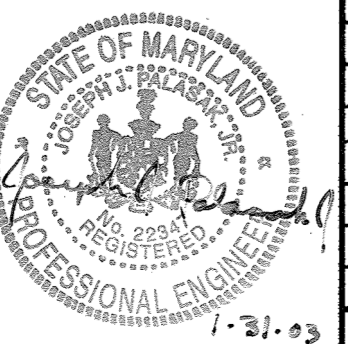
I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License Number 12921 Expiration Date: April 10, 2010



SCALE: 1"=150'

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
△	5-7-2010	kjp		Rev. leading area at NW corner of warehouse
△	10-10-11	jt		Warehouse Expansion (95,277 SF)
△	7/21/12	gt		Build addition - Fuel tank pad
△	12-17-2011	kjp		rev. truck driver parking, trailer staging & tractor staging area
△	7-20-08	wdj		Added Water Storage Corridor
△	4-21-08			As BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GIULFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
**OVERALL
UTILITY PLAN**
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 36 of 86 C5.0

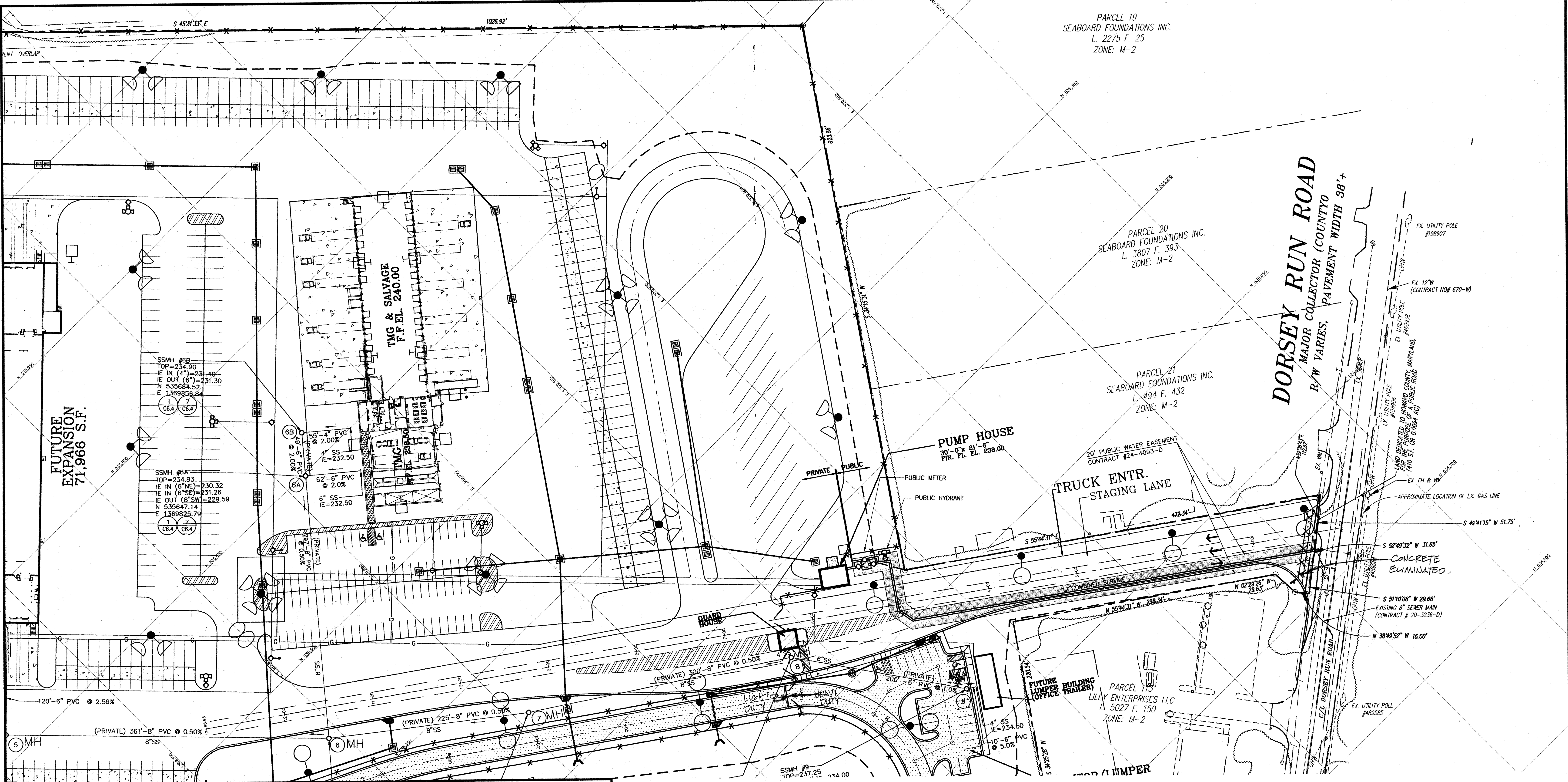
PARCEL 19
SEABOARD FOUNDATIONS INC.
L. 2275 F. 25
ZONE: M-2

PARCEL 20
SEABOARD FOUNDATIONS INC.
L. 3807 F. 393
ZONE: M-2

PARCEL 21
SEABOARD FOUNDATIONS INC.
L. 494 F. 432
ZONE: M-2

PARCEL 115
LILLY ENTERPRISES LLC
L. 5027 F. 150
ZONE: M-2

DORSEY RUN ROAD
MAJOR COLLECTOR (COUNTY)
R/W VARIES, PAVEMENT WIDTH 38'-4"

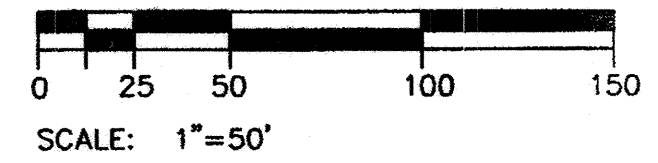
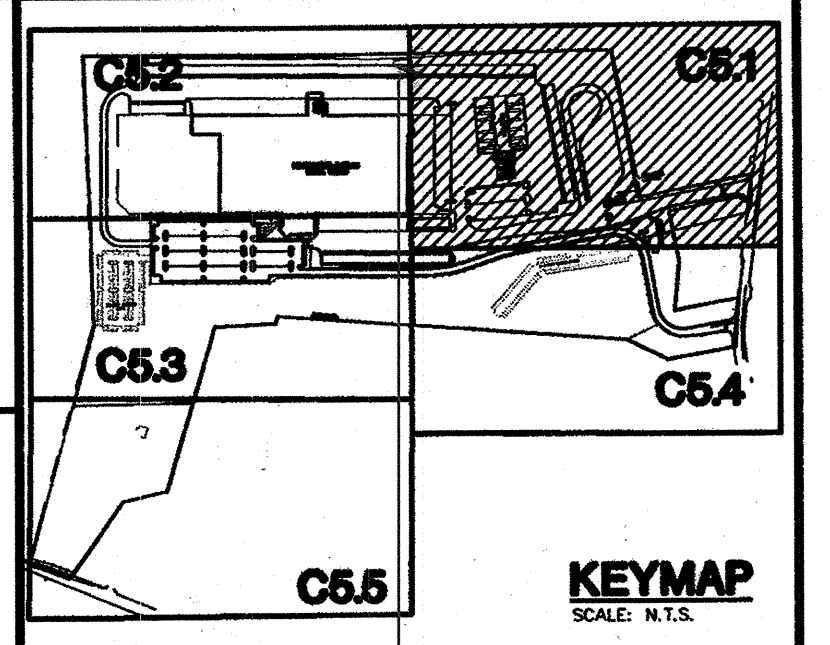


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
Chief, Development Engineering Division Date

[Signature] 2/6/03
Chief, Division of Land Development Date

[Signature] 2/4/03
Director Date



THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
1	2-7-04	AS	JULI	

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
UTILITY PLAN
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO.
	48	37 of 86

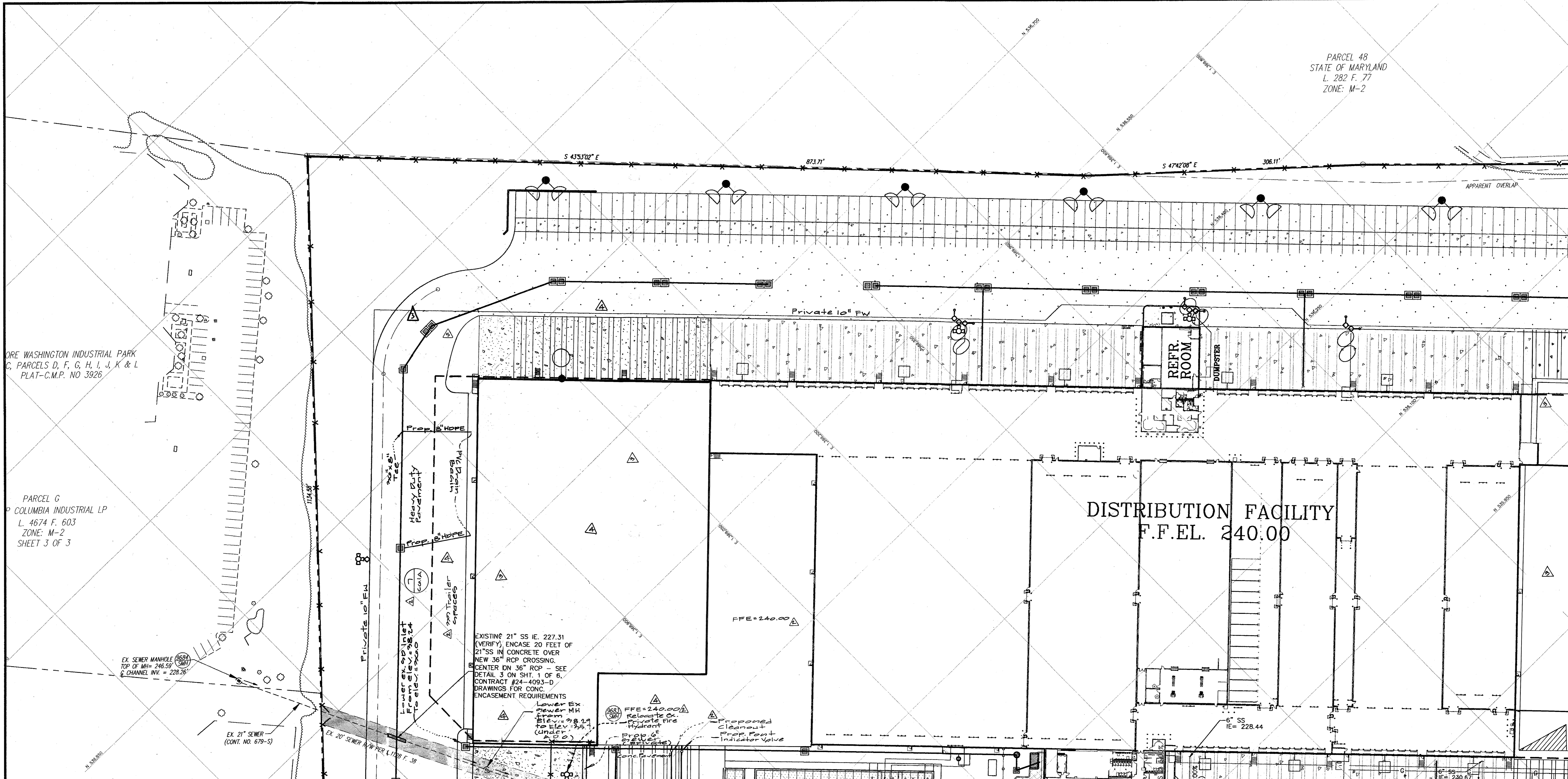
SDP
C5.1

SDP-03-44

PARCEL 48
STATE OF MARYLAND
L. 282 F. 77
ZONE: M-2

ORE WASHINGTON INDUSTRIAL PARK
C, PARCELS D, F, G, H, I, J, K & L
PLAT-C.M.P. NO 3926

PARCEL G
COLUMBIA INDUSTRIAL LP
L. 4674 F. 603
ZONE: M-2
SHEET 3 OF 3

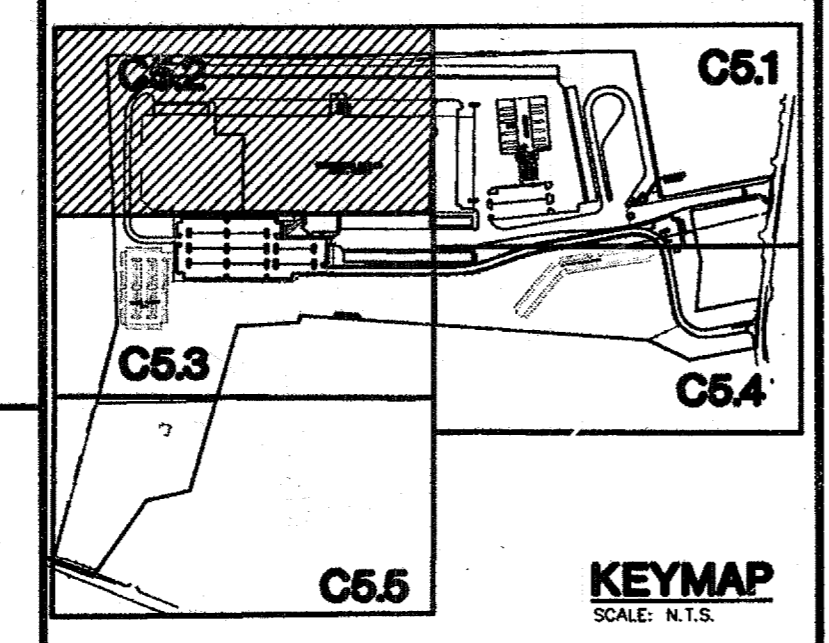


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division
Date: 2/6/08

Chief, Division of Land Development
Date: 2/6/08

Director
Date: 2/6/08



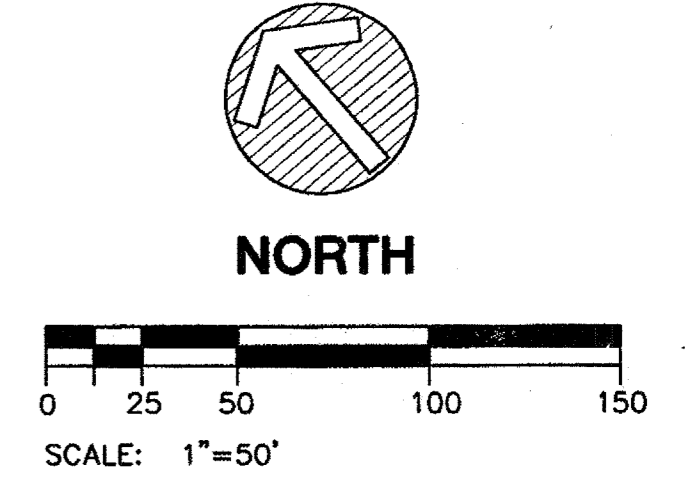
PROFESSIONAL ENGINEER
DAVID SAMUEL MAYER
09 SEP 2008

For Revision No.2 by GLW

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland
License Number: 12921
Expiration Date: April 10, 2010

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NO.: 17285
EXPIRATION DATE: March 17, 2013

STATE OF MARYLAND
PROFESSIONAL ENGINEER
12.17.12
GUN REVISION



THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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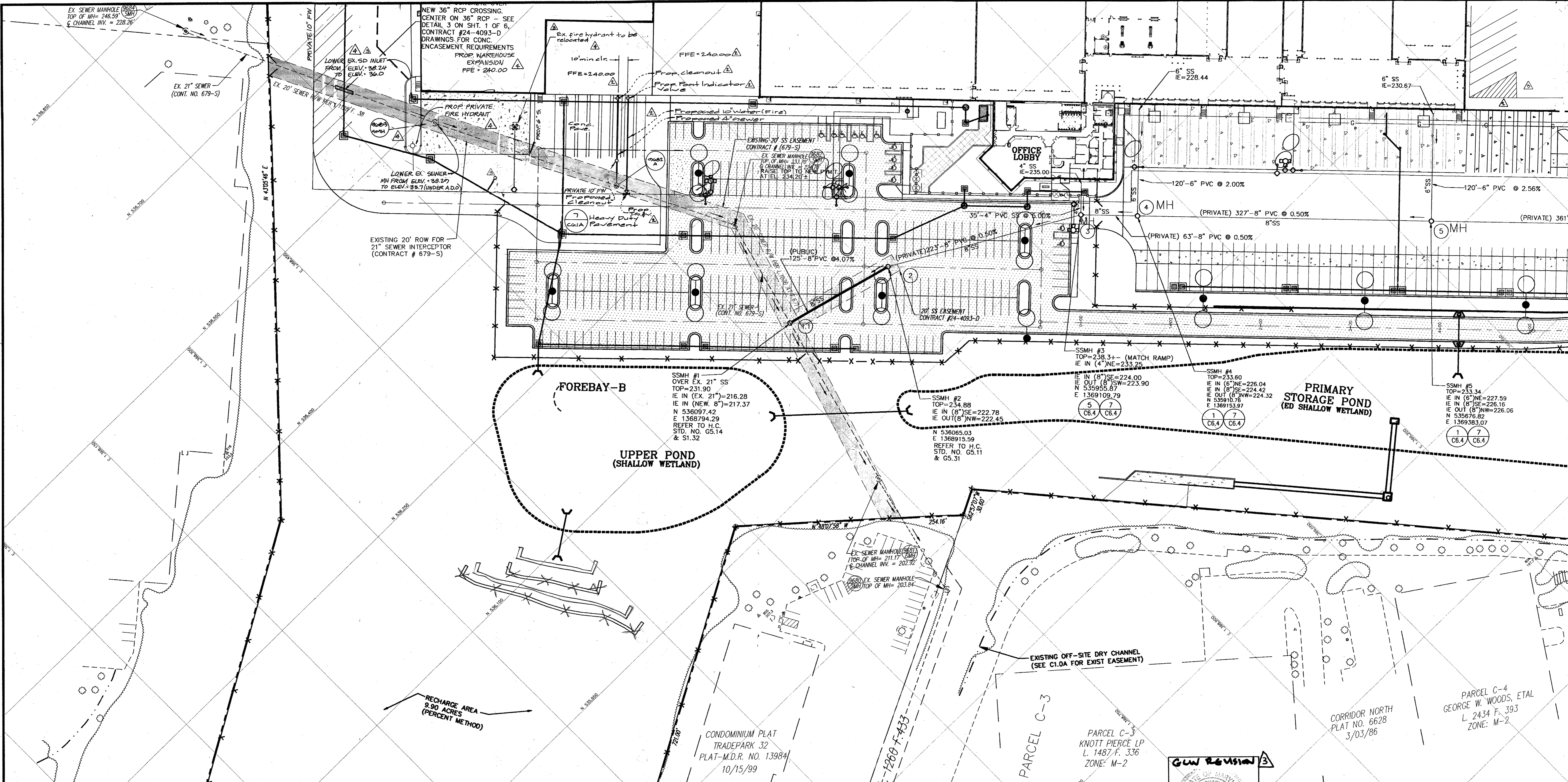
MARK	DATE	BY	MGR	RELEASE
△	5-7-10	WJP		Rev. loading area at NW corner of Warehouse
△	12-10-19	WJW		Warehouse Expansion (95,277 sq ft)
△	12/17/08	WJW		rev. truck driver parking/trailer & tractor staging area
△	12-8-08	WJW		Add New Water & Sewer Conns
△	7-21-08			AG BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DOPSEY LLC
CONTACT: DAVID CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
UTILITY PLAN
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'
DATE:
ZONING: M-2
TAX MAP - GRID: 48
PROJECT NO.: 02027
SHEET NO.: 38 of 86
SDP
C5.2

SDP-03-44

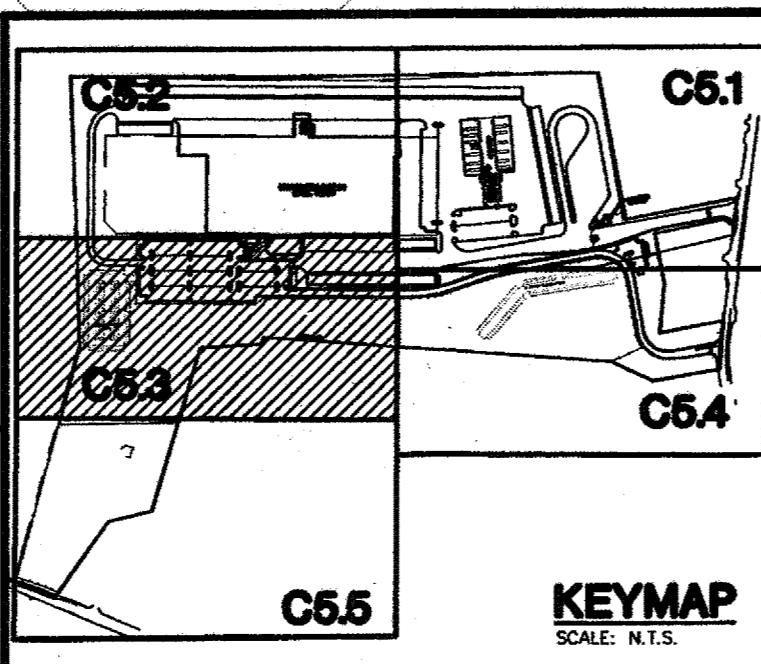


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard Currie
Chief, Development Engineering Division
Date: 2/6/03

Dan Currie
Chief, Division of Land Development
Date: 2/6/03

Dan Currie
Director
Date: 2/6/03



CONDOMINIUM PLAT
TRADEPARK 32
PLAT-M.D.R. NO. 13984
10/15/99

PARCEL C-3
KNOTT PIERCE LP
L. 1487 F. 336
ZONE: M-2

PARCEL C-4
GEORGE W. WOODS, ETAL
L. 2434 F. 393
ZONE: M-2

CORRIDOR NORTH
PLAT NO. 6628
3/03/86

STATE OF MARYLAND
PROFESSIONAL ENGINEER
David S. Bolder
09 SEP. 2008

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NO. 17125
EXPIRATION DATE: March 17, 2013

NORTH

SCALE: 1"=50'

0 25 50 100 150

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
A	10/10/2010	JKS	TKR	WAREHOUSE EXPANSION (99,277 SF)
B	11-17-2011	WJP		new truck driver parking, trailer staging & tractor staging area
C	2-8-08	WJP		Add new water & sewer lines
D	2-21-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
UTILITY PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'

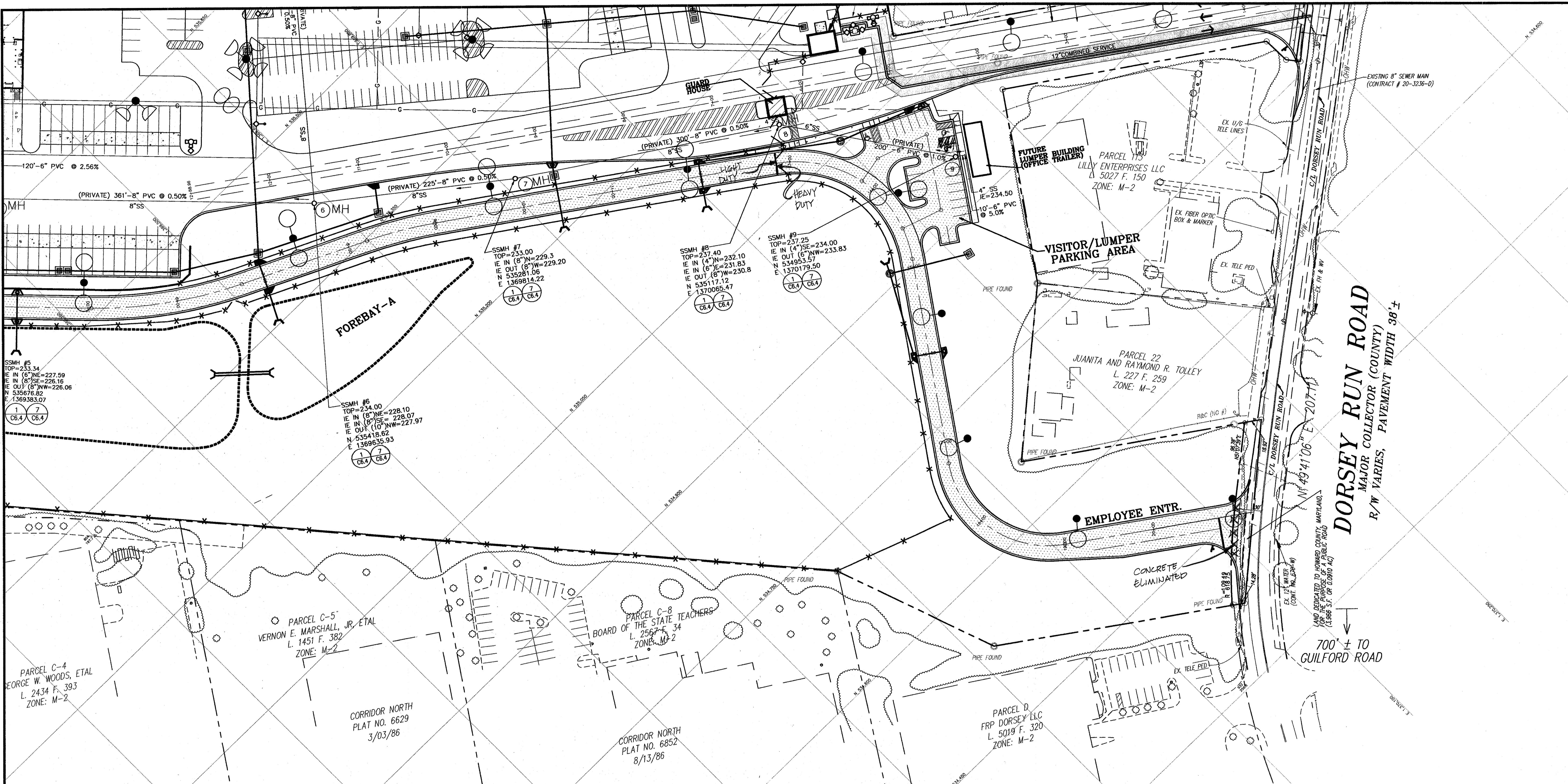
ZONING: M-2

PROJECT NO. 02027

TAX MAP - GRID 48

SHEET NO. 39 of 86

C5.3

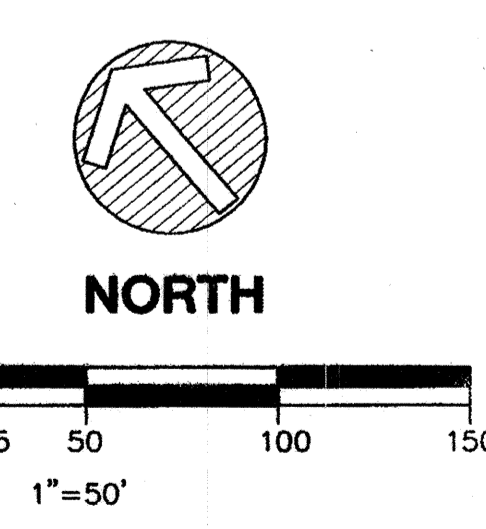
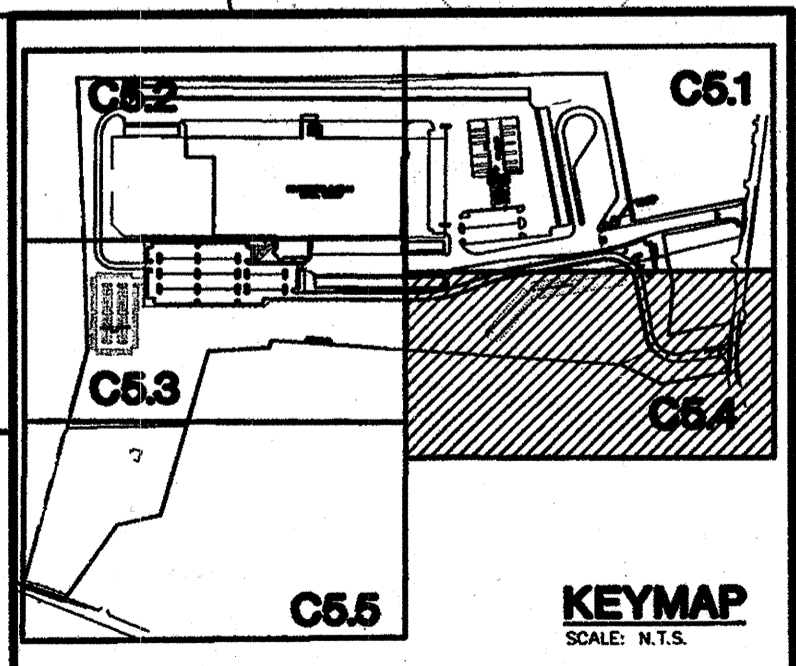


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

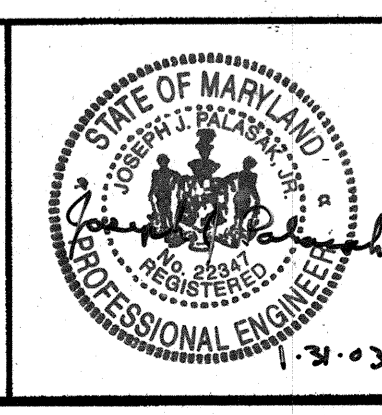
[Signature] 2/6/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939



MARK	DATE	BY	MGR	RELEASE
4-21-04				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

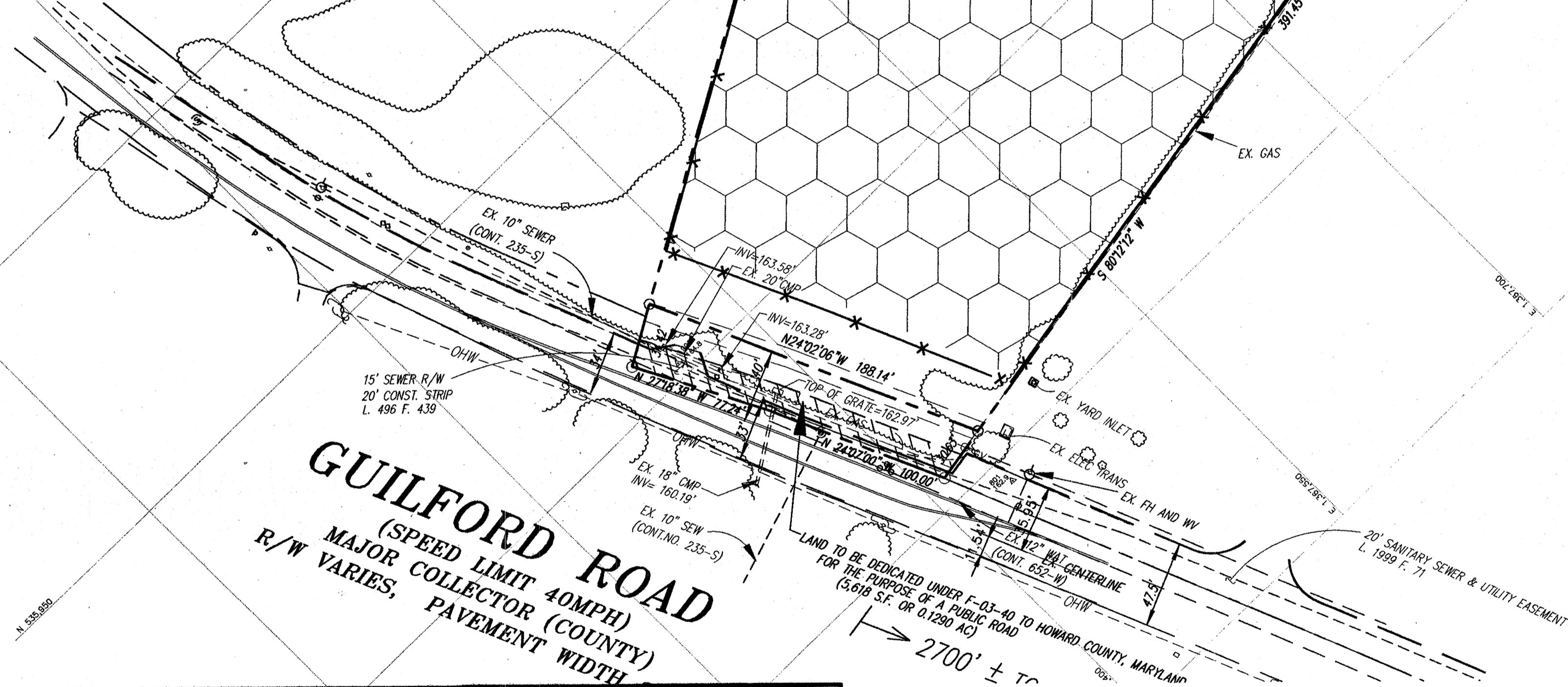
DRAWING TITLE:
UTILITY PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 40 of 86
		C5.4

SDP-03-44

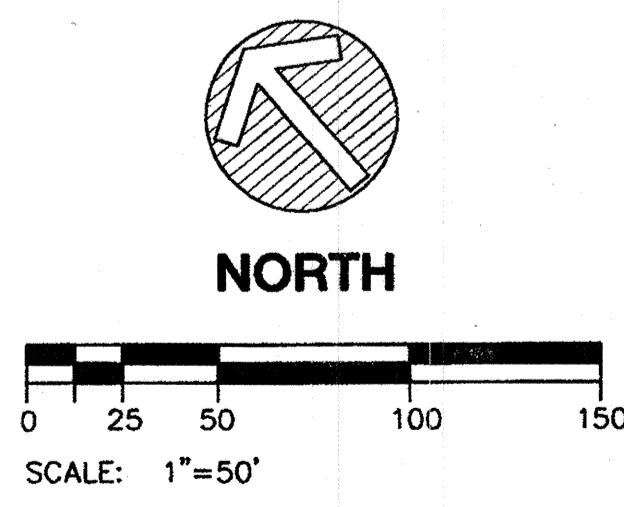
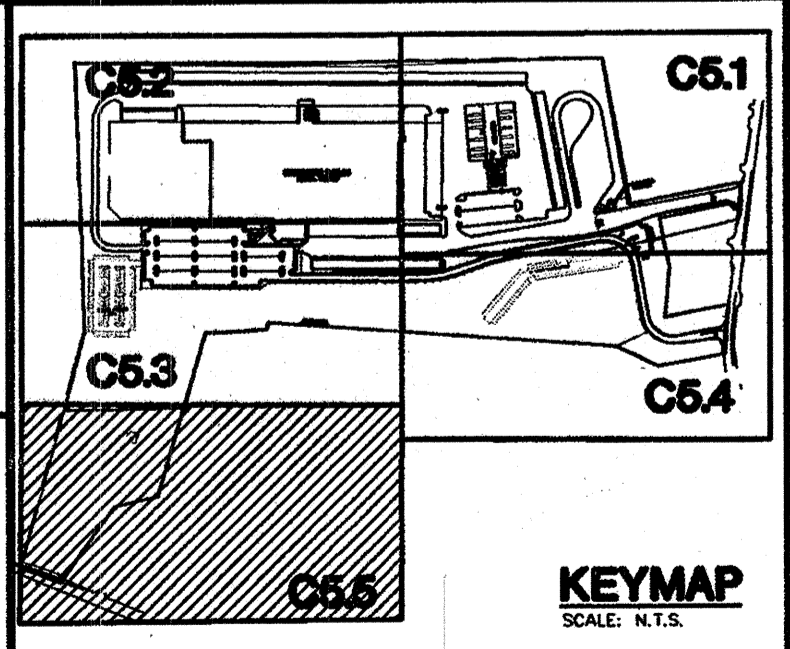
BALTIMORE WASHINGTON INDUSTRIAL PARK
 BLOCK C, PARCELS D, F, G, H, I, J, K & L
 PLAT-C.M.P. NO 3925
 SHEET 2 OF 3
 11/28/77

PARCEL K
 JAMES M. ELLIOTT
 L. 1423 F. 429
 ZONE: M-2



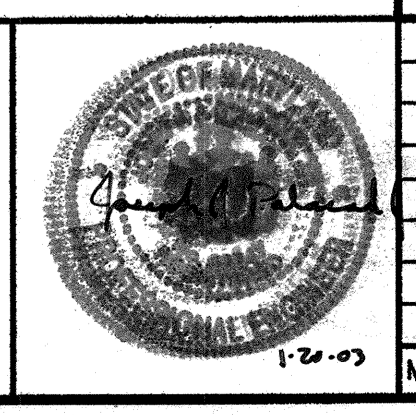
5' HIGH CHAIN LINK FENCE
 "TRADEPARK 32, A CONDOMINIUM"
 P.N. 13984, ETC.
 EX. 100 YEAR FLOOD PLAIN, DRAINAGE AND UTILITY EASEMENT - P.N. 6326
 "ORRIDER NORTH"
 P.N. 6628
 PARCEL C-7

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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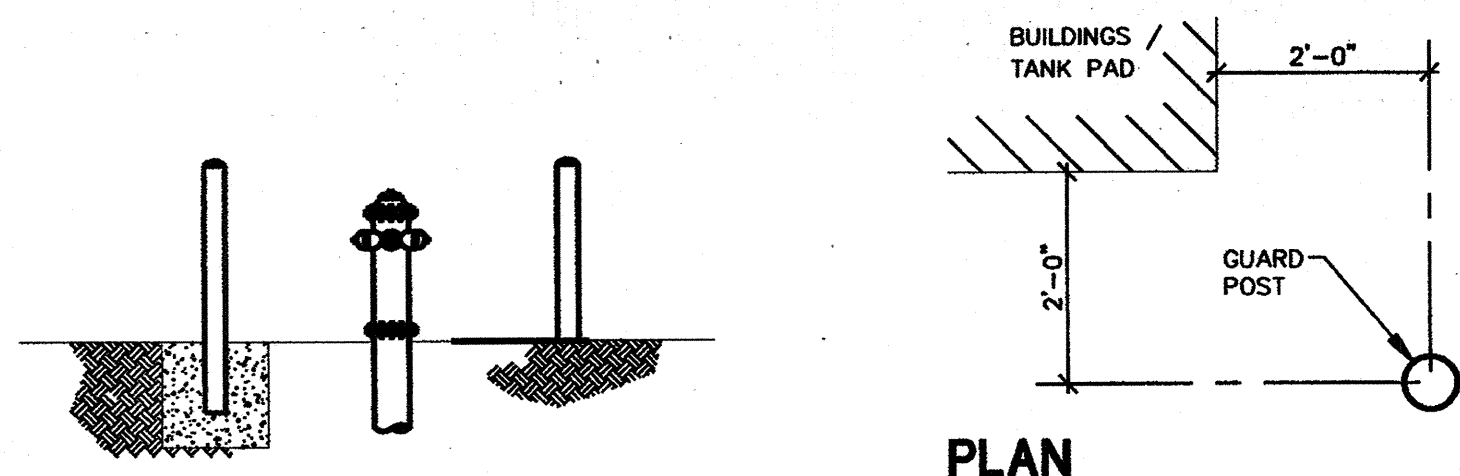
MARK	DATE	BY	MGR	RELEASE
4-21-04				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

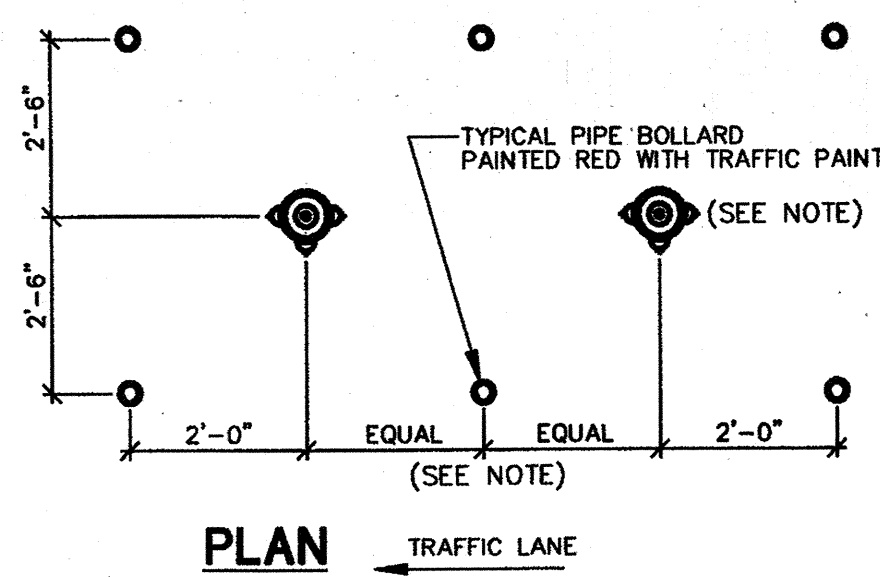
DRAWING TITLE:
UTILITY PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 41 of 86
		C5.5

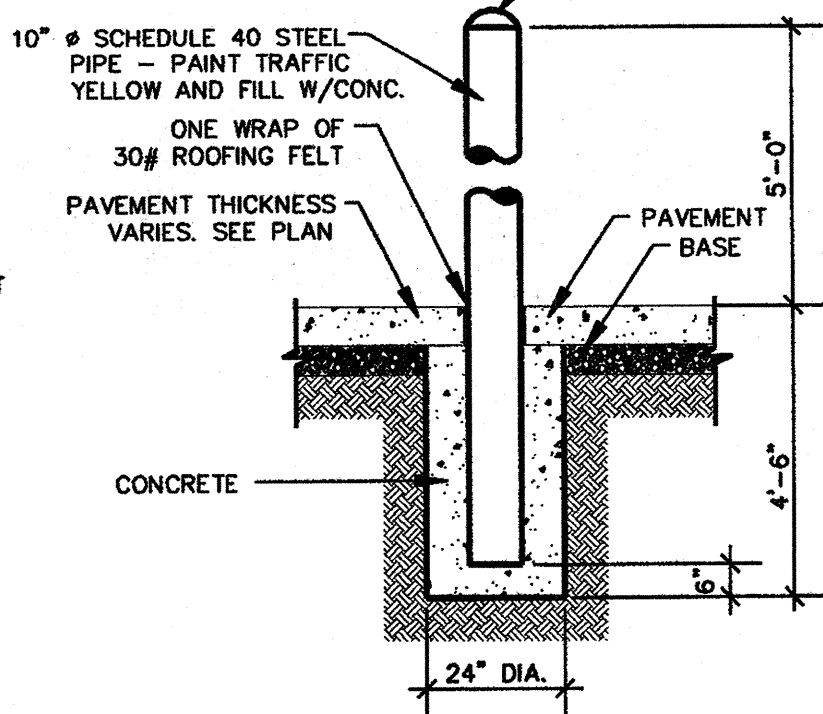
SDP-03-44



HYDRANTS AND VALVES



PLAN

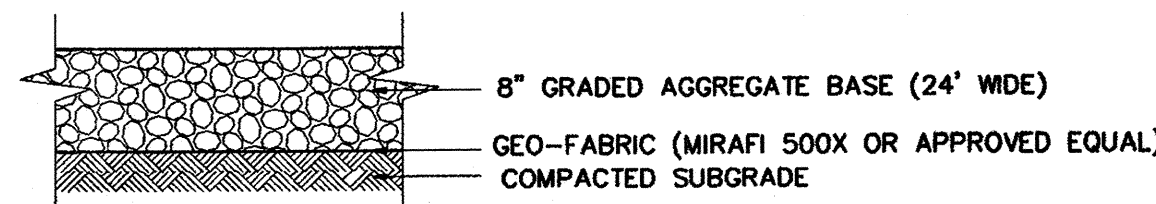


PIPE BOLLARD DETAIL

NOTE: WHEN MULTIPLE PIV'S AND/OR PIV/FH UNITS ARE USED IN CLUSTERS PROVIDE FOUR BOLLARDS PER UNIT AS SHOWN.

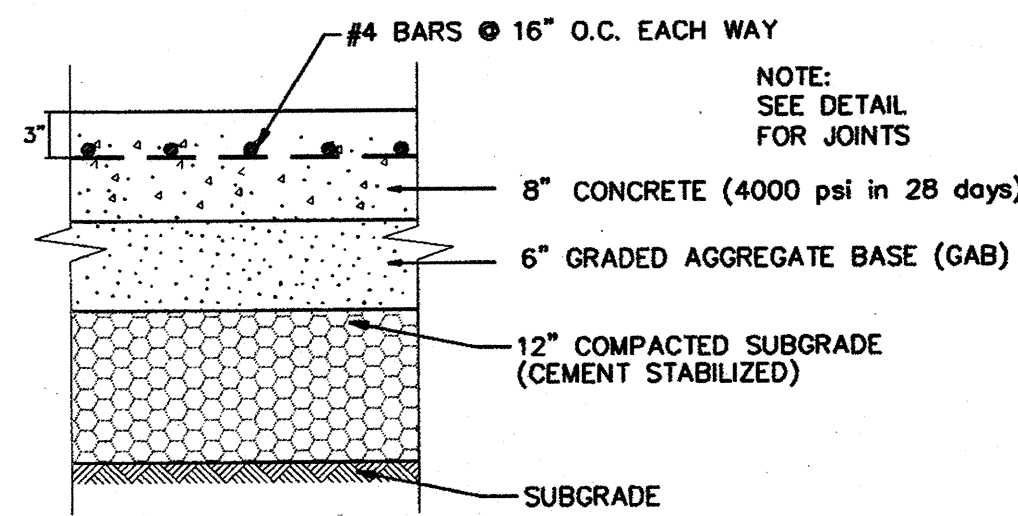
10 PIPE BOLLARD DETAIL

C6.1A SCALE: N.T.S.



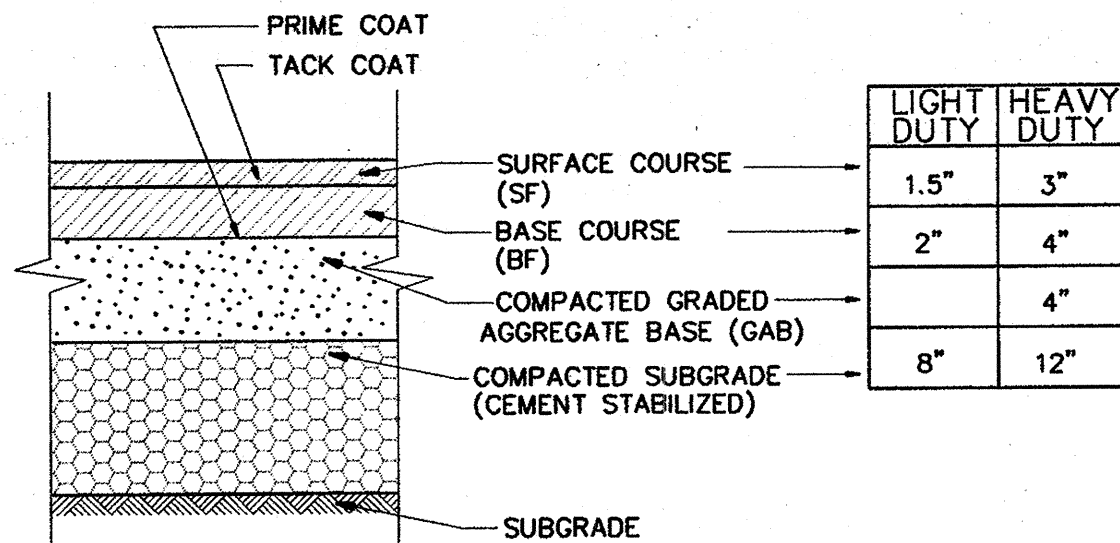
9 GRAVEL DRIVE DETAIL

C6.1A SCALE: N.T.S.



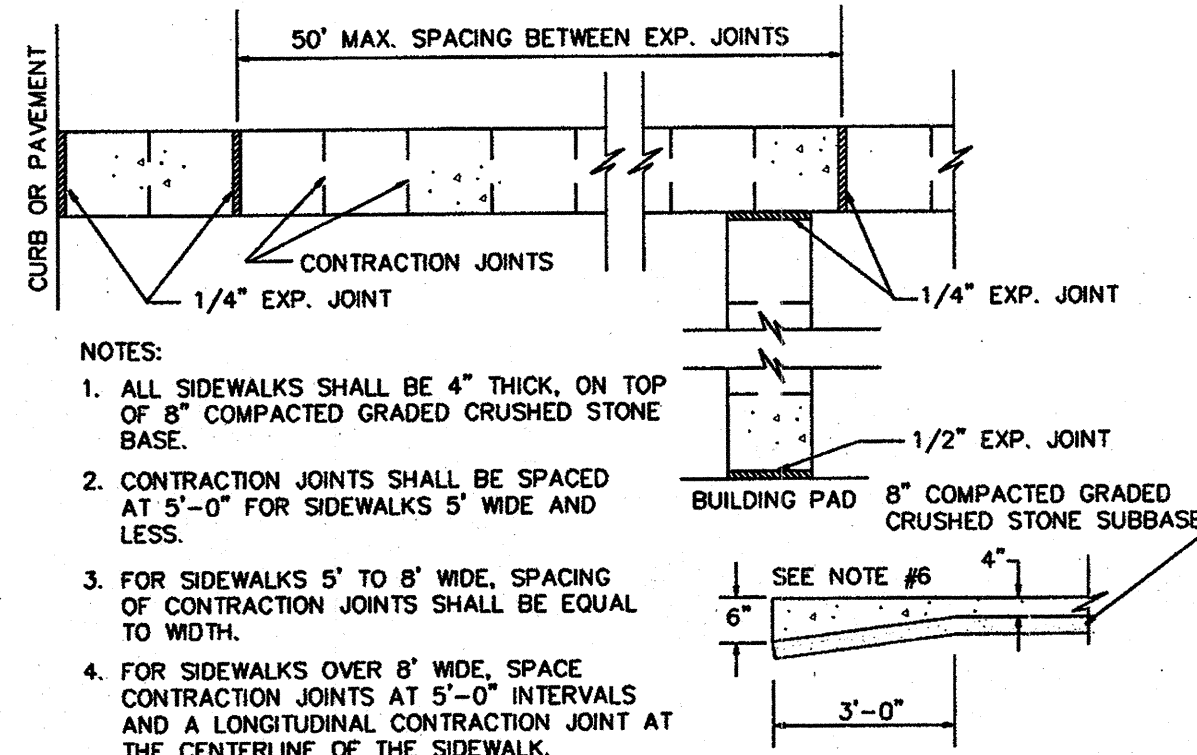
8 CONCRETE PAVEMENT DETAIL

C6.1A SCALE: N.T.S.



7 ASPHALT CEMENT PAVEMENT DETAIL

C6.1A SCALE: N.T.S.

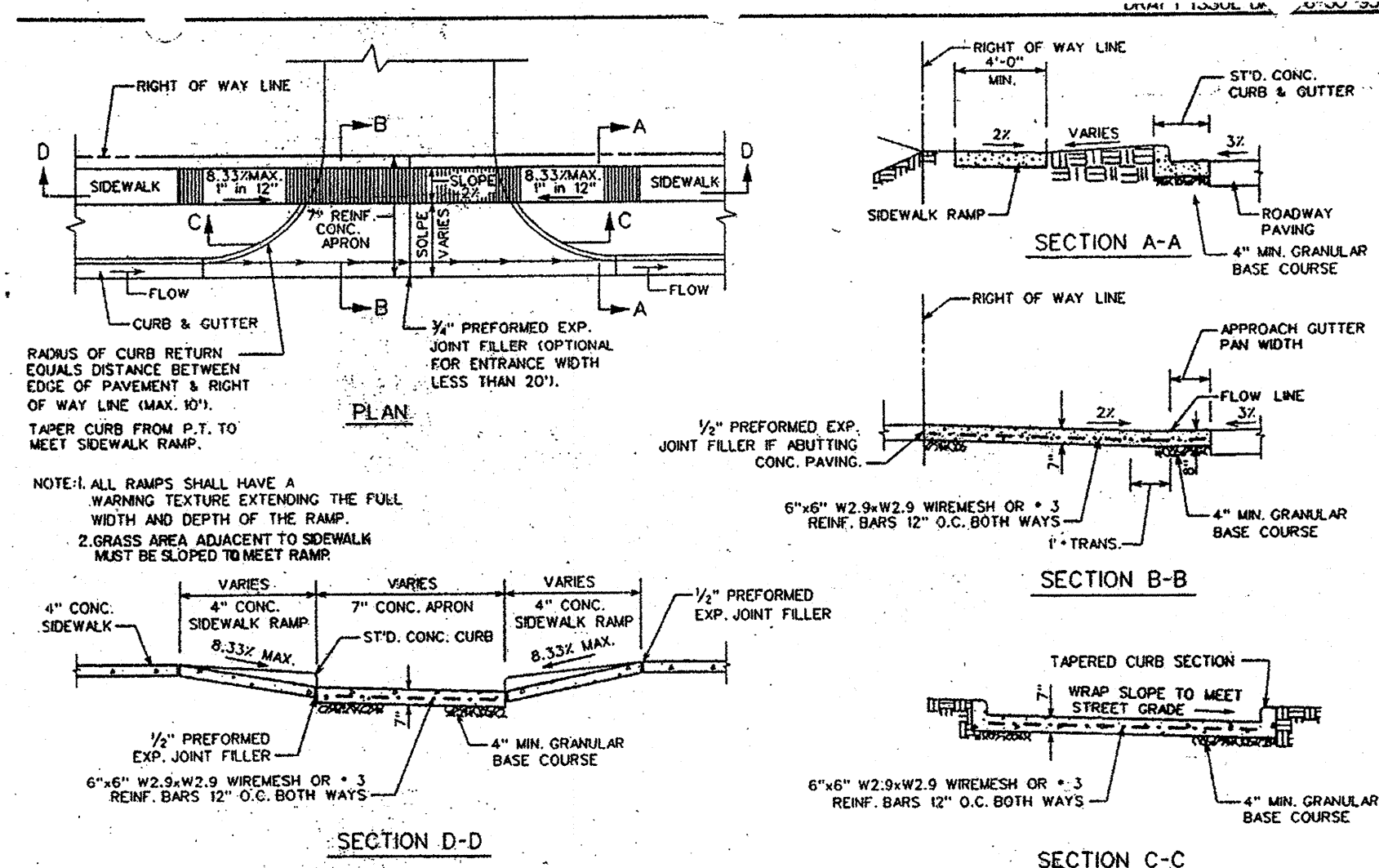


NOTES:

1. ALL SIDEWALKS SHALL BE 4" THICK, ON TOP OF 8" COMPACTED GRADED CRUSHED STONE BASE.
2. CONTRACTION JOINTS SHALL BE SPACED AT 5'-0" FOR SIDEWALKS 5' WIDE AND LESS.
3. FOR SIDEWALKS 5' TO 8' WIDE, SPACING OF CONTRACTION JOINTS SHALL BE EQUAL TO WIDTH.
4. FOR SIDEWALKS OVER 8' WIDE, SPACE CONTRACTION JOINTS AT 5'-0" INTERVALS AND A LONGITUDINAL CONTRACTION JOINT AT THE CENTERLINE OF THE SIDEWALK.
5. CONTRACTION JOINTS SHALL BE 1" DEEP AND EDGED WITH 1/8" RADIUS.
6. WHEN SIDEWALKS ABUT ROADWAY WHERE THERE IS NO CURB, THICKEN WALK TO 6" IN 3'.
7. PROVIDE 1/2" EXPANSION MATERIAL WHERE SIDEWALK ABUTS CONCRETE STRUCTURE.
8. A LAYER OF #15 FELT IS REQUIRED BETWEEN WALK AND ADJACENT PARALLELING CONCRETE CURB.

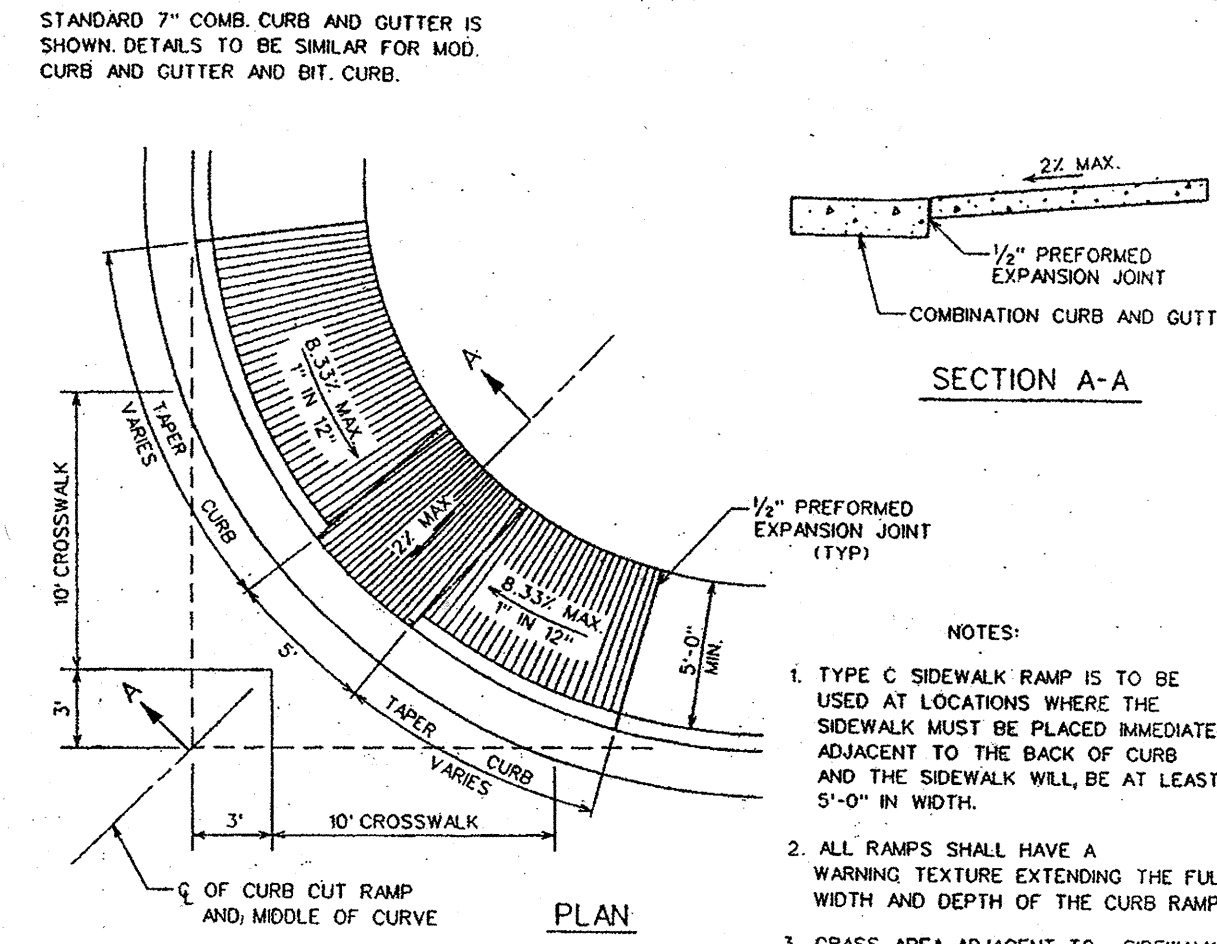
6 TYPICAL SIDEWALK DETAIL

C6.1A SCALE: N.T.S.



5 CONCRETE APRON FOR COMMERCIAL-INDUSTRIAL-APARTMENT ENTRANCE

C6.1A SCALE: N.T.S.



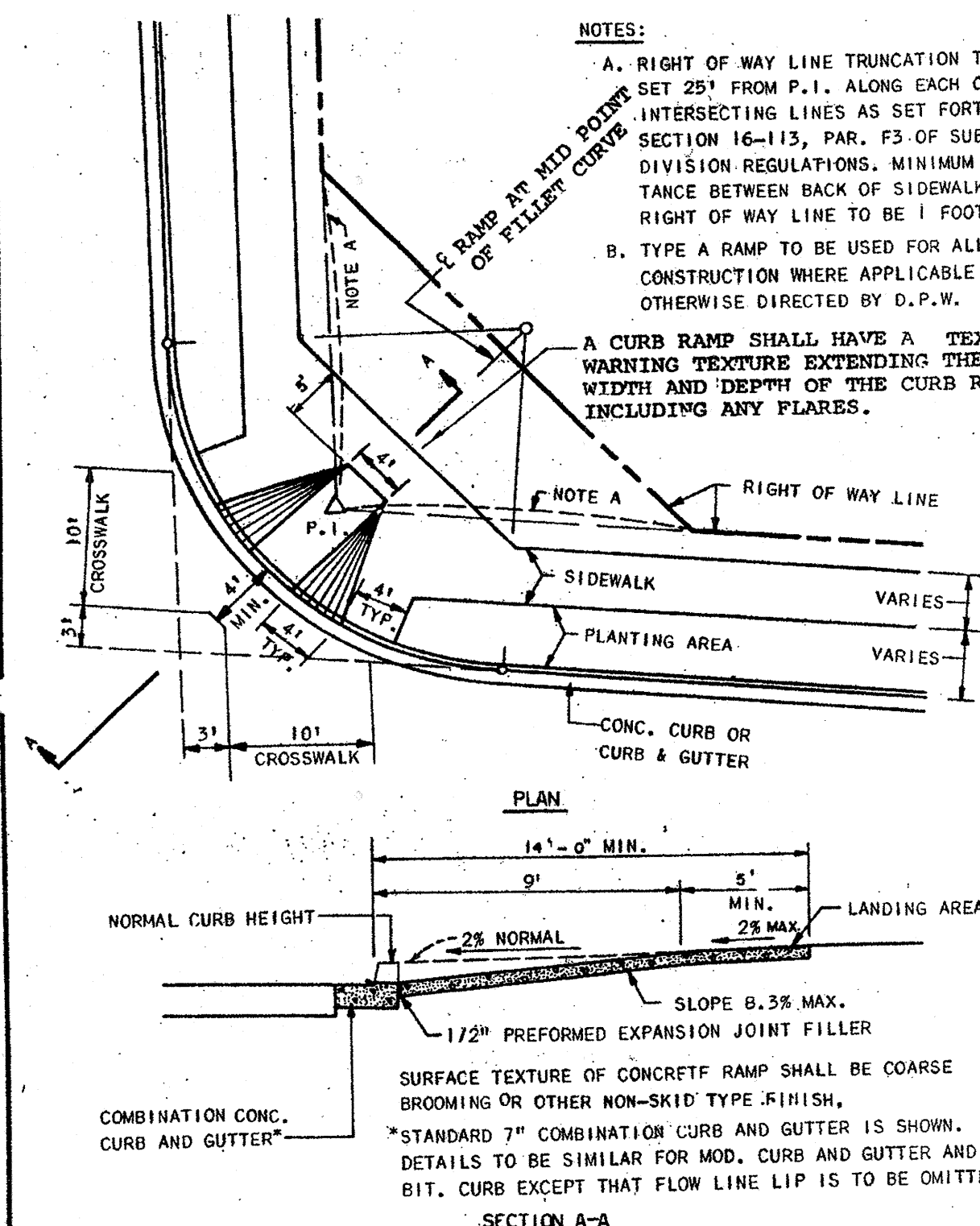
4 SIDEWALK RAMP (TYPE 'C')

C6.1A SCALE: N.T.S.

HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS
 Approved: *[Signature]* Chief - Bureau of Engineering Date: 10/26/03
 DRAWN BY: Y.P.
 CHECKED BY: W.M.H.
 NO SCALE
 R-4.01

4 SIDEWALK RAMP (TYPE 'C')

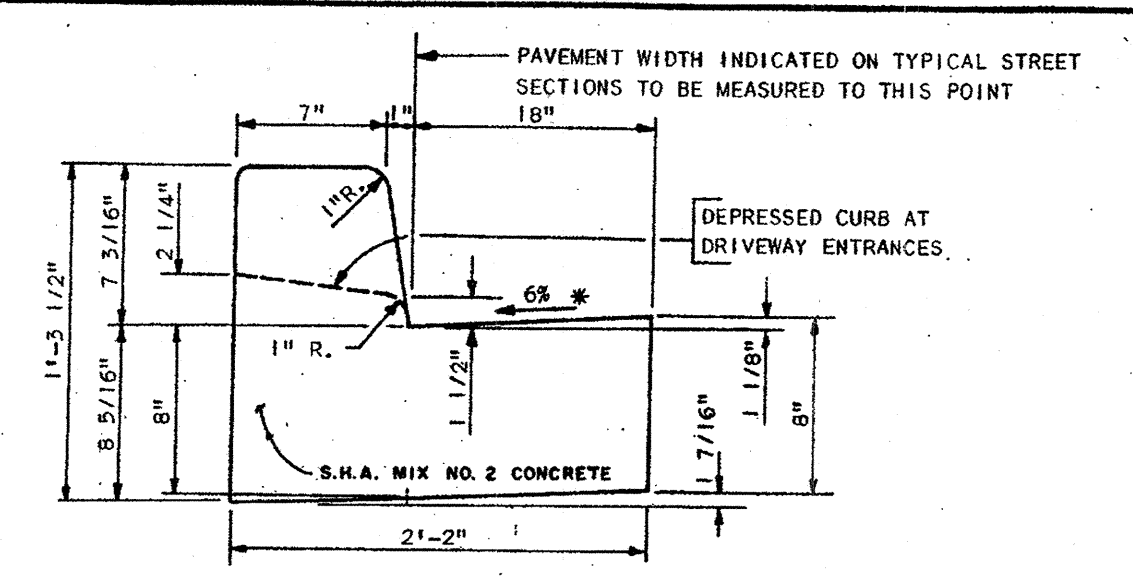
C6.1A SCALE: N.T.S.



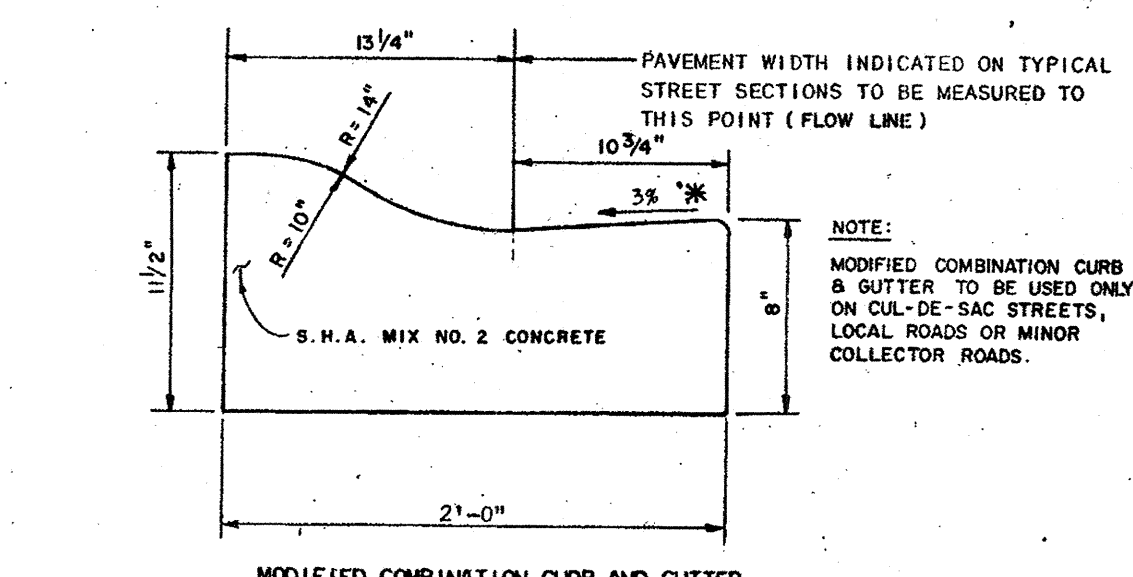
3 SIDEWALK RAMP (TYPE 'A')

C6.1A SCALE: N.T.S.

HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS
 Approved: *[Signature]* Chief - Bureau of Engineering
 DRAWN BY: Y.P.
 CHECKED BY: W.M.H.
 NO SCALE
 R-4.01



2 STANDARD 7\"/>



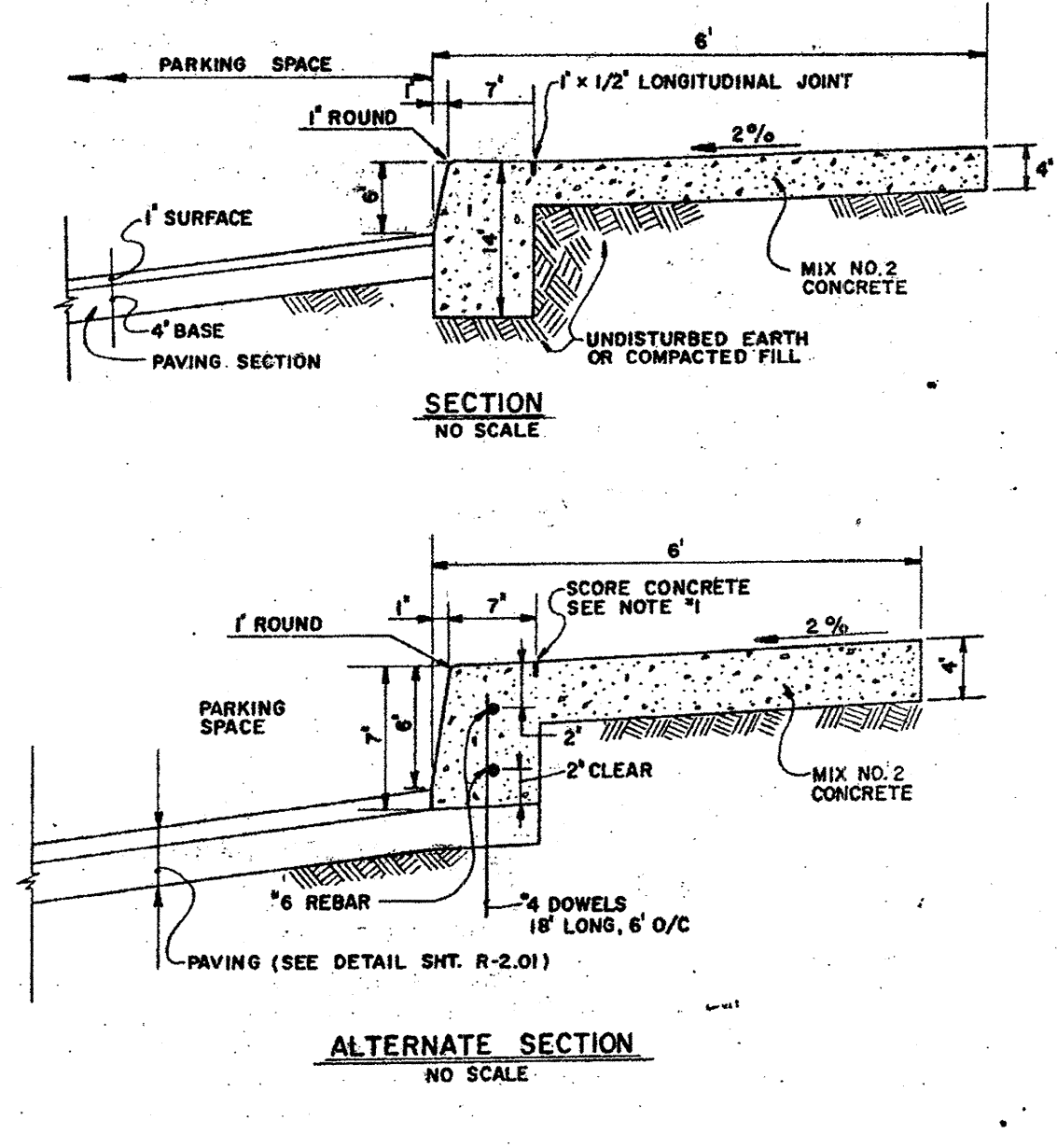
* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.

HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS
 Approved: *[Signature]* Chief - Bureau of Engineering
 DRAWN BY: W.L. BELLARD
 CHECKED BY: J.L.R.
 NO SCALE
 R-3.01

2 COMBINATION CURB & GUTTER

C6.1A SCALE: N.T.S.

NOTES:
 1. LONGITUDINAL JOINT BETWEEN SIDEWALK AND CURB SHALL BE CONTINUOUS AND TO A DEPTH OF 1/4 THE SIDEWALK THICKNESS OR 1" MAX. LATITUDINAL JOINTS SHALL RUN FROM BACK EDGE OF SIDEWALK, CONTINUOUS TO THE BOTTOM FACE OF CURB TO A DEPTH OF 1/4 AND SPACED 5' APART.
 2. PROVIDE 1/2" EXPANSION JOINTS AT 15' INTERVALS. IN LATITUDINAL JOINTS TO FULL CROSS-SECTION.



HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS
 Approved: *[Signature]* Chief - Bureau of Engineering
 DRAWN BY: W.L. BELLARD
 CHECKED BY: J.L.R.
 NO SCALE
 R-3.07

1 MONOLITHIC CURB & SIDEWALK

C6.1A SCALE: N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 2/16/03
 Chief, Development Engineering Division
[Signature] 2/6/03
 Chief, Division of Land Development
[Signature] 2/16/03
 Director

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

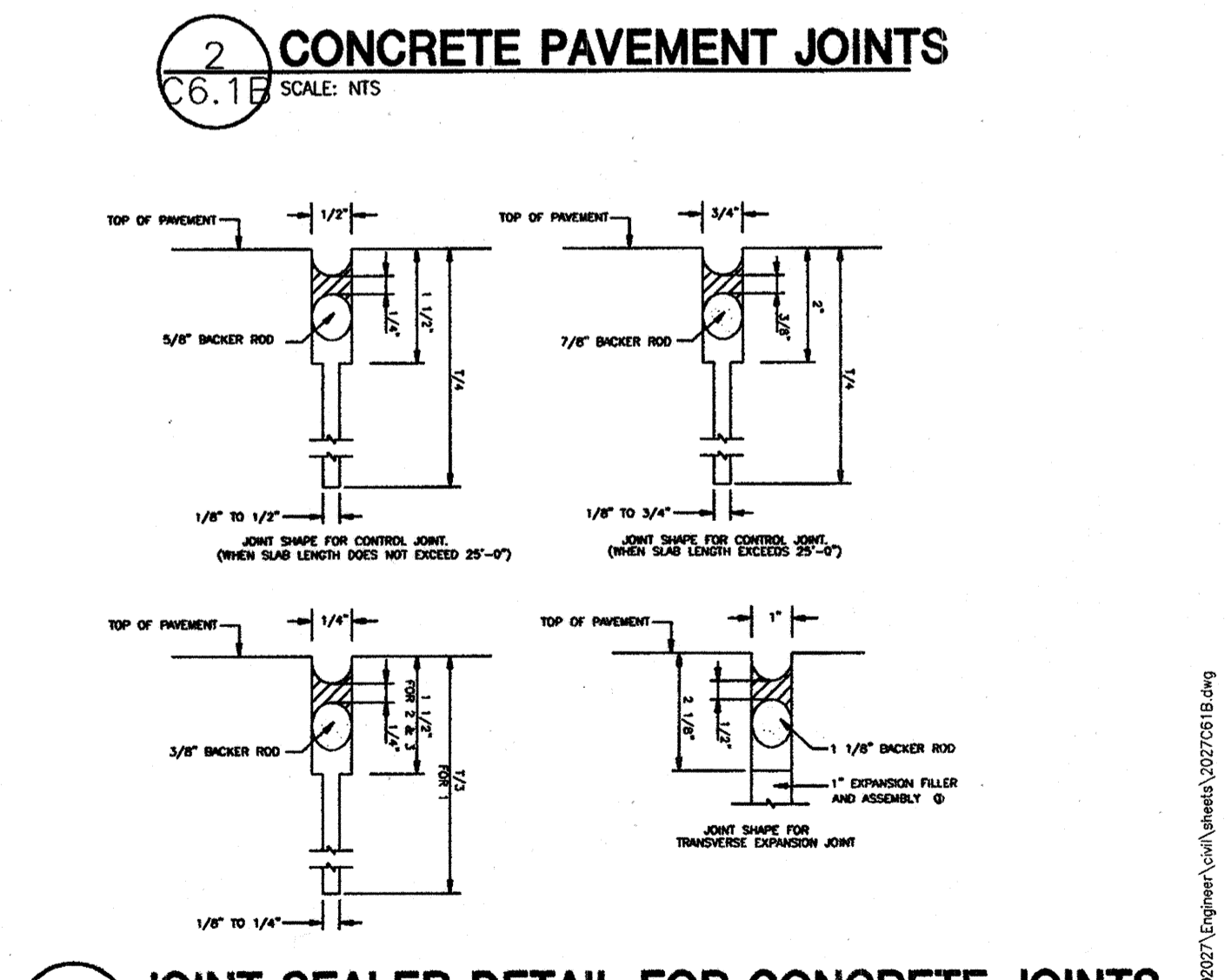
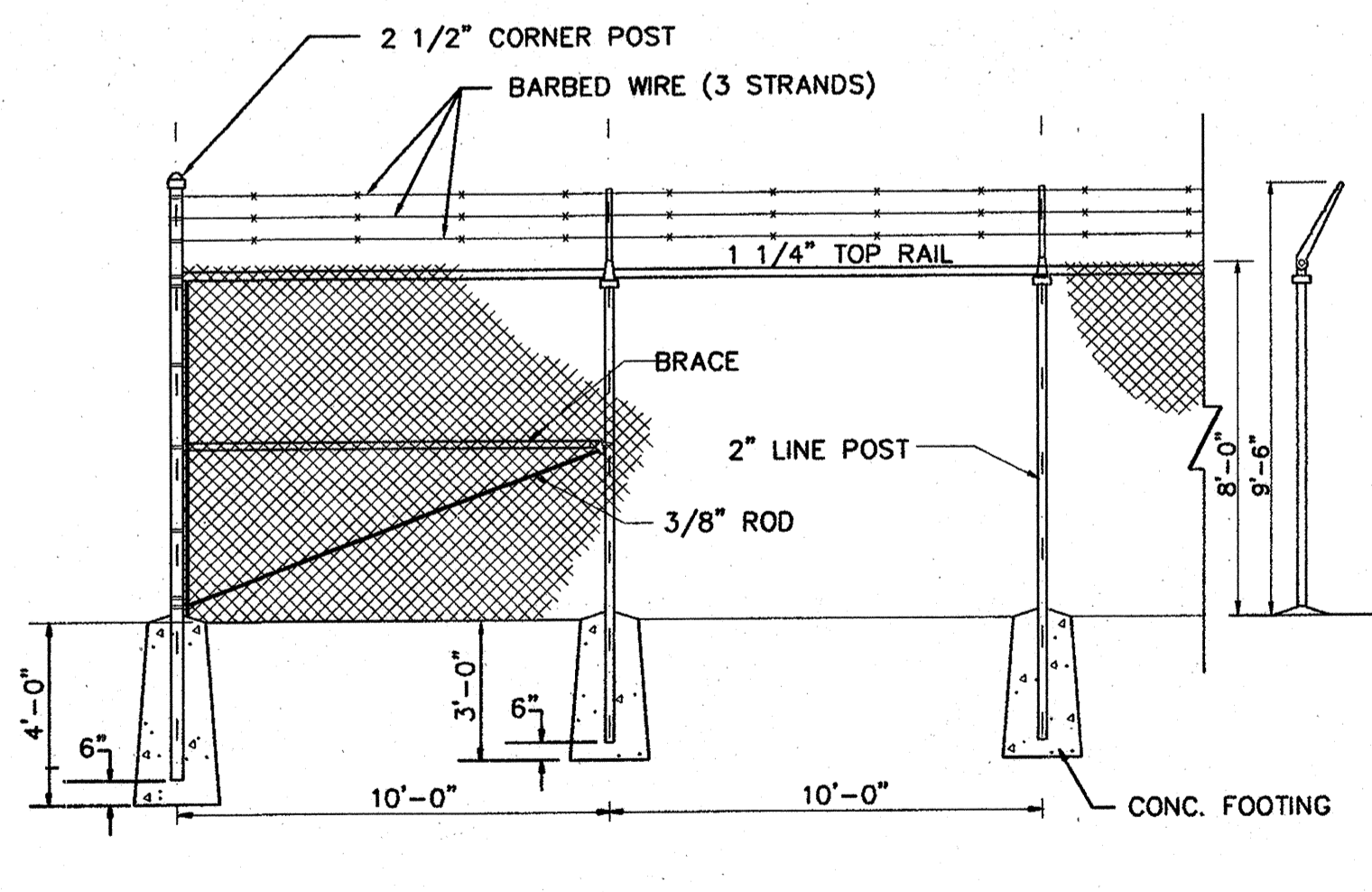
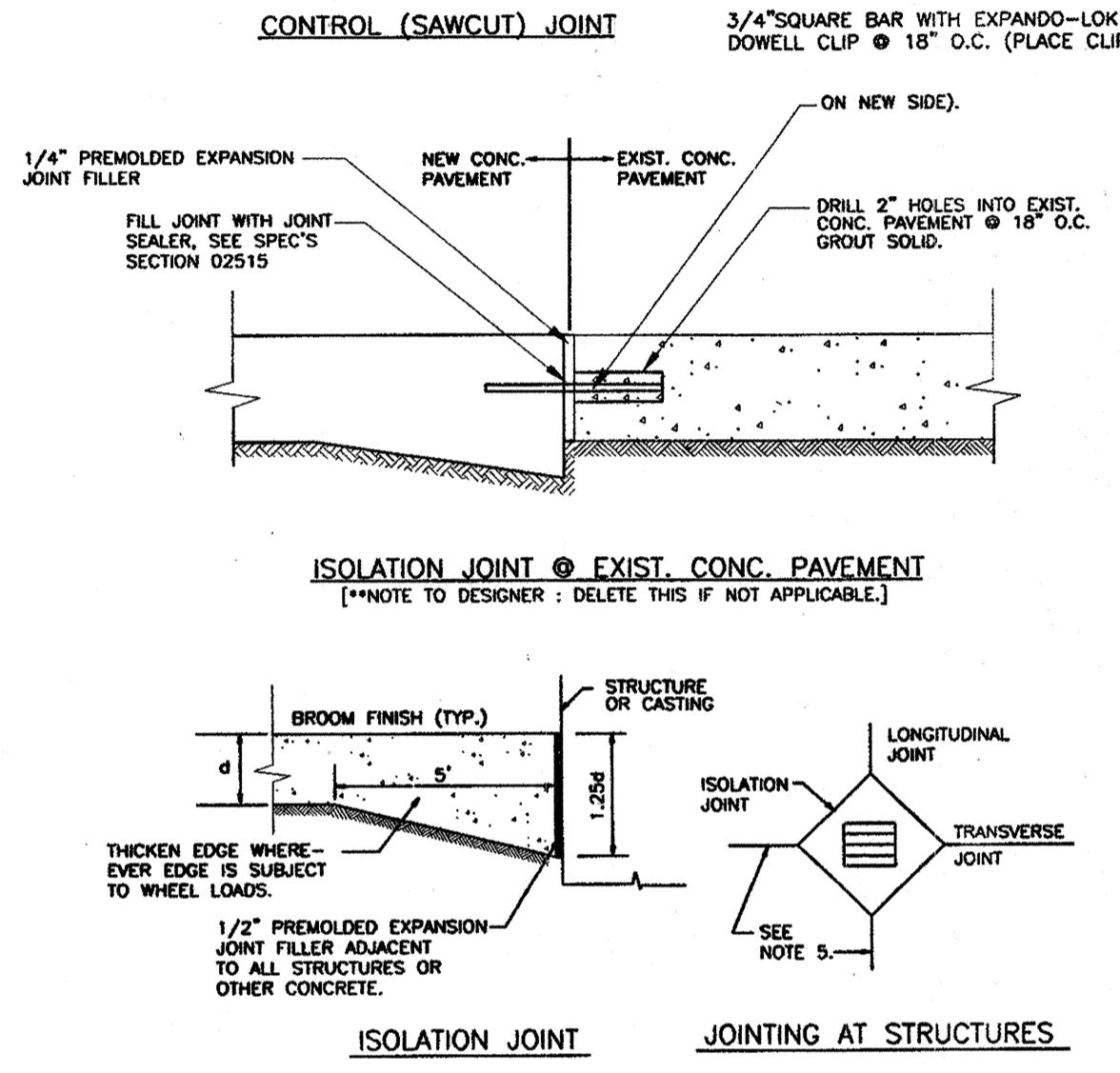
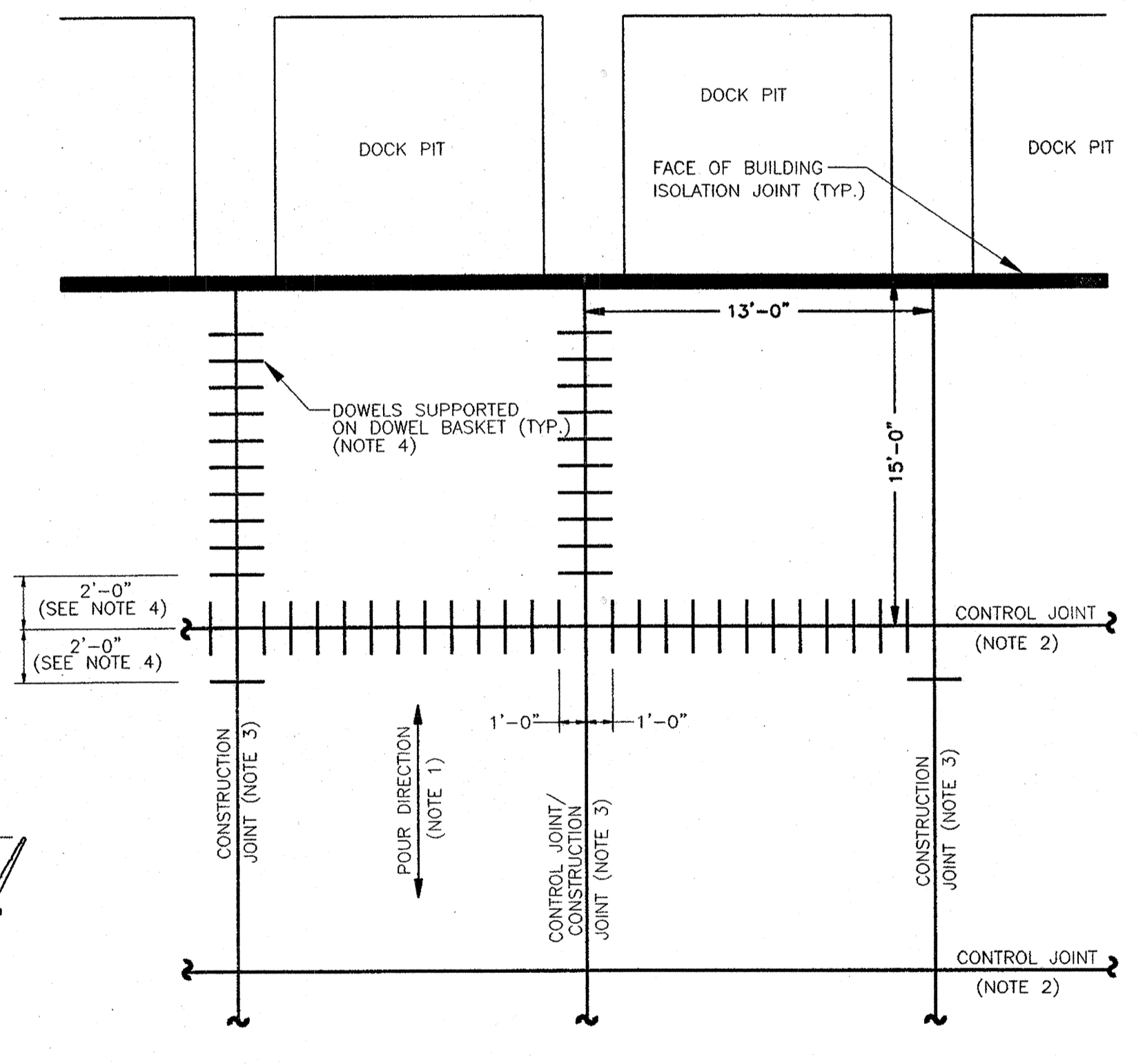
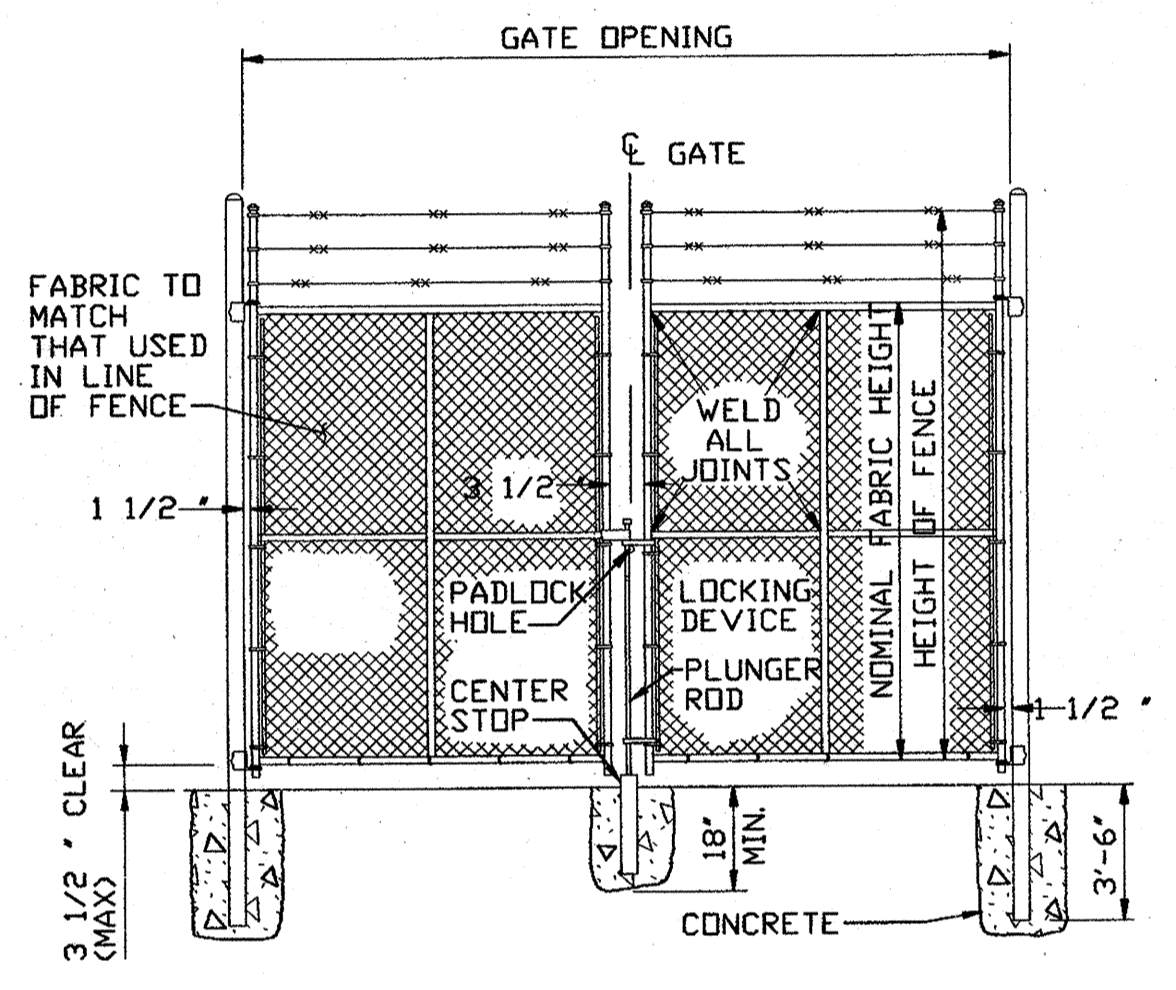
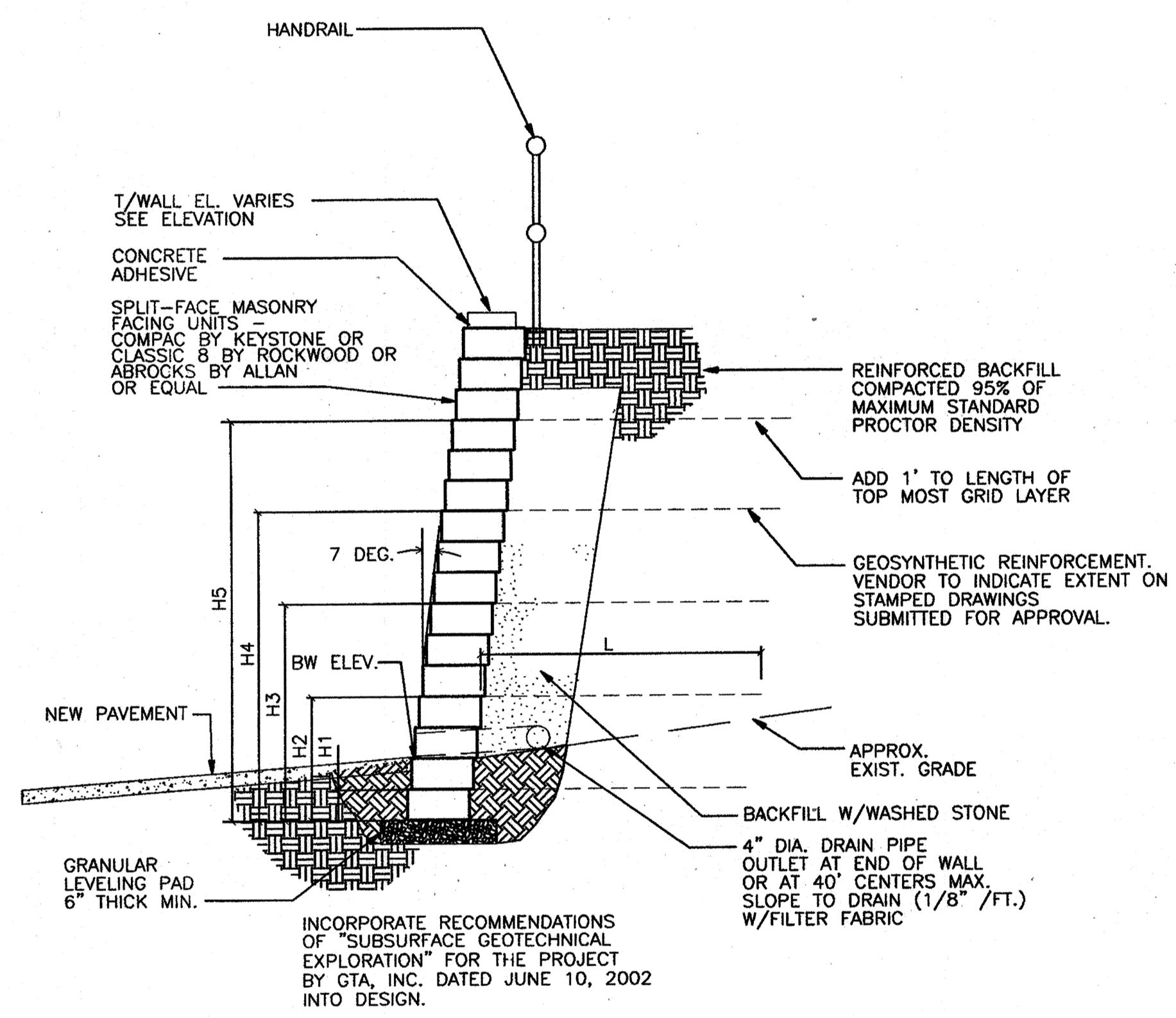
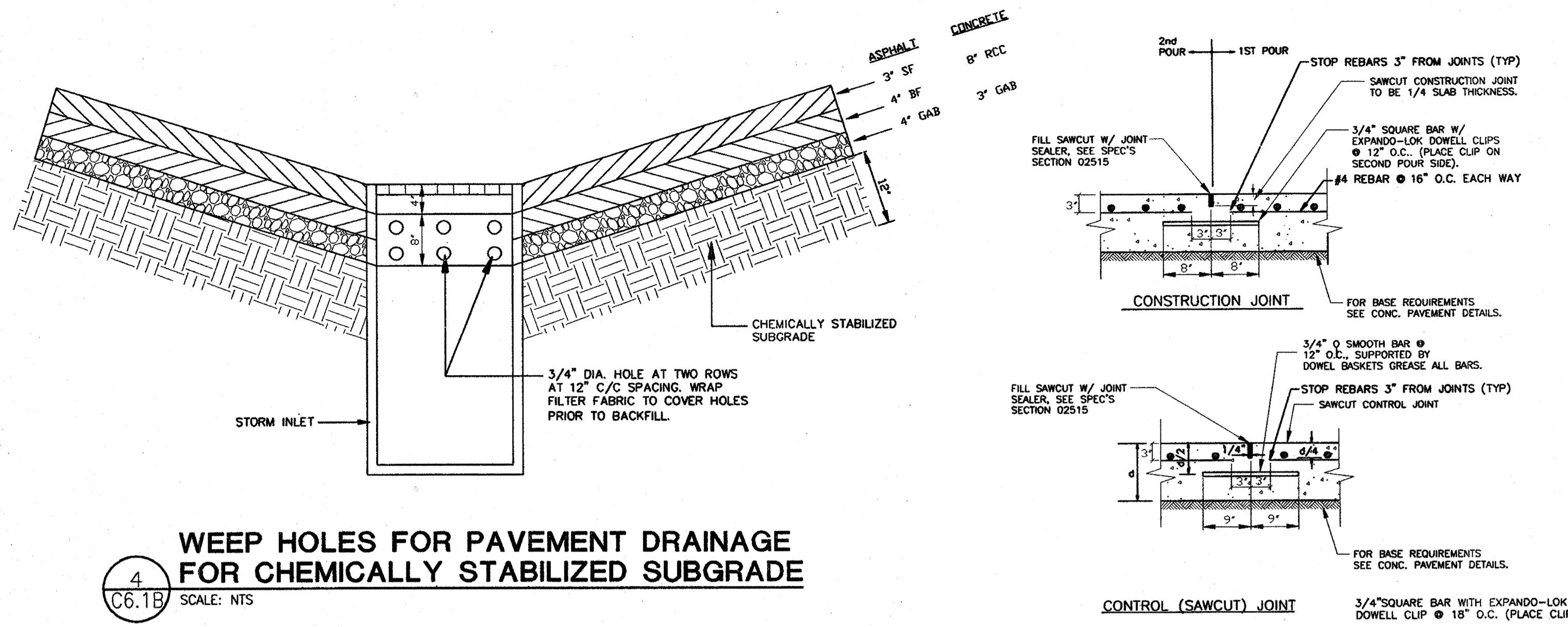
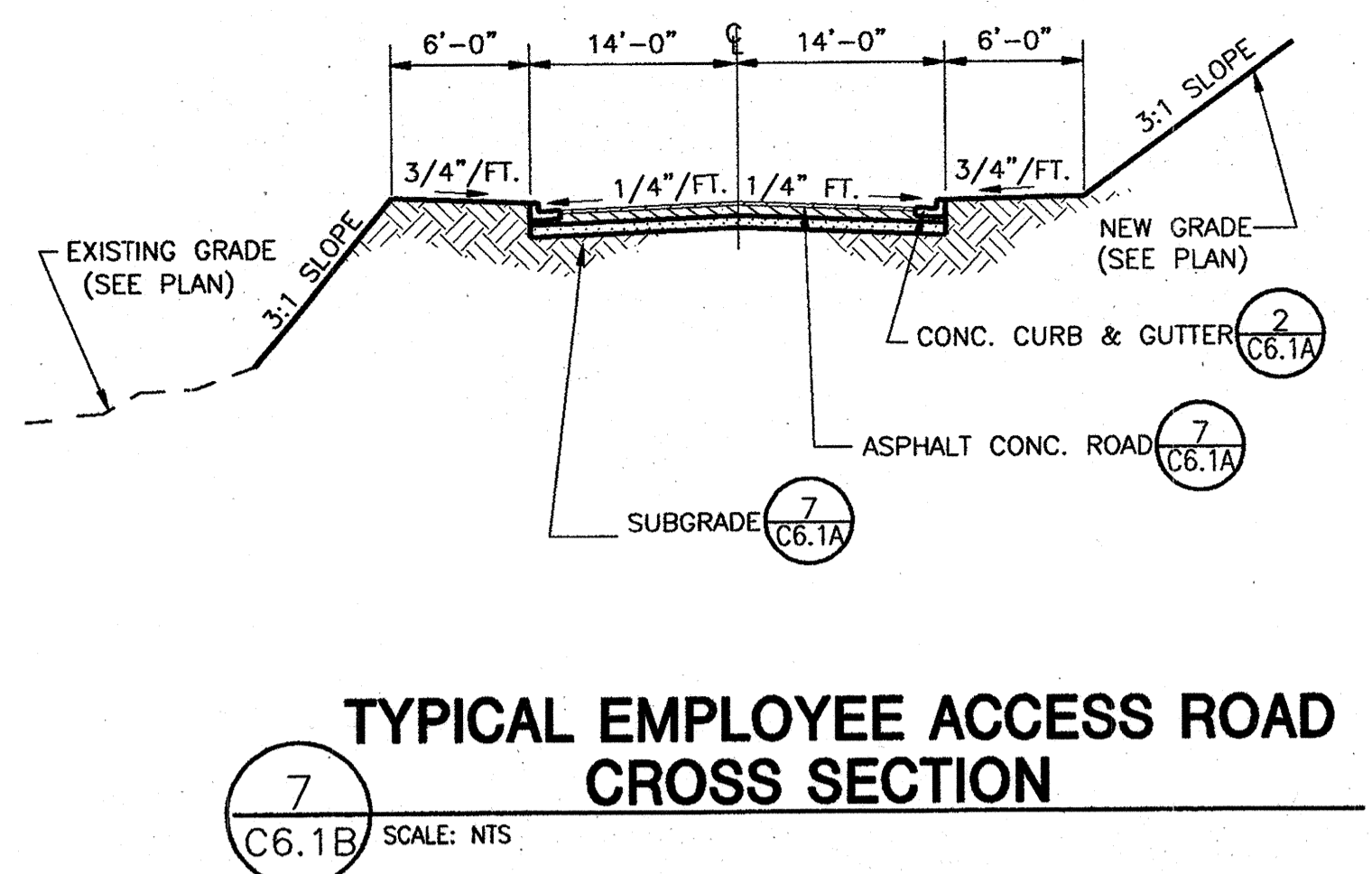
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MARK	DATE	BY	MGR	RELEASE
4-2-04		AS BUILT		

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
**SITE
 DETAIL SHEET**
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
N.T.S.	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO.
	48	42 OF 86



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/02
Chief, Development Engineering Division

[Signature] 2/6/02
Chief, Division of Land Development

[Signature] 2/6/02
Director

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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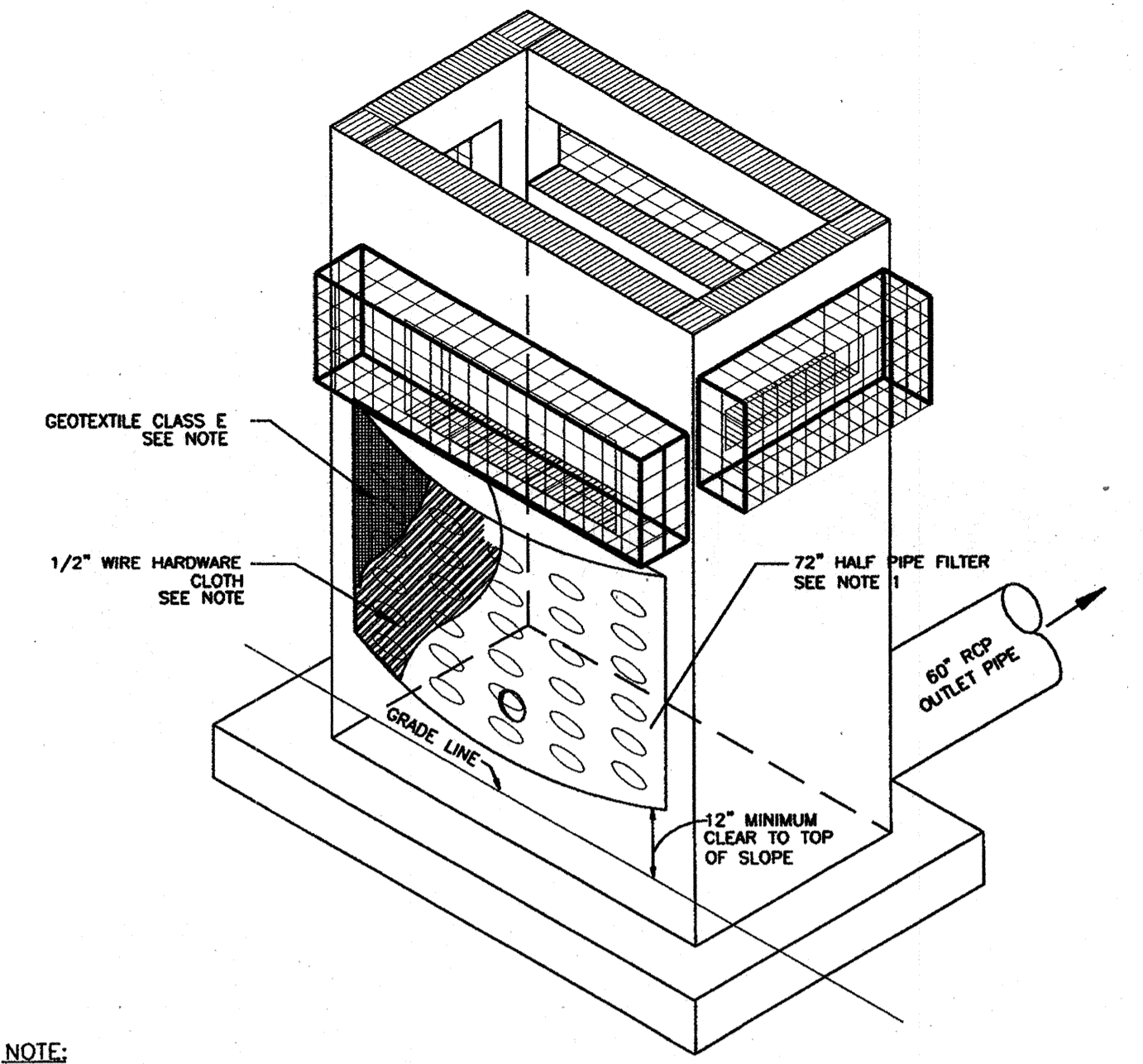


MARK	DATE	BY	MGR	RELEASE
	4-21-02			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

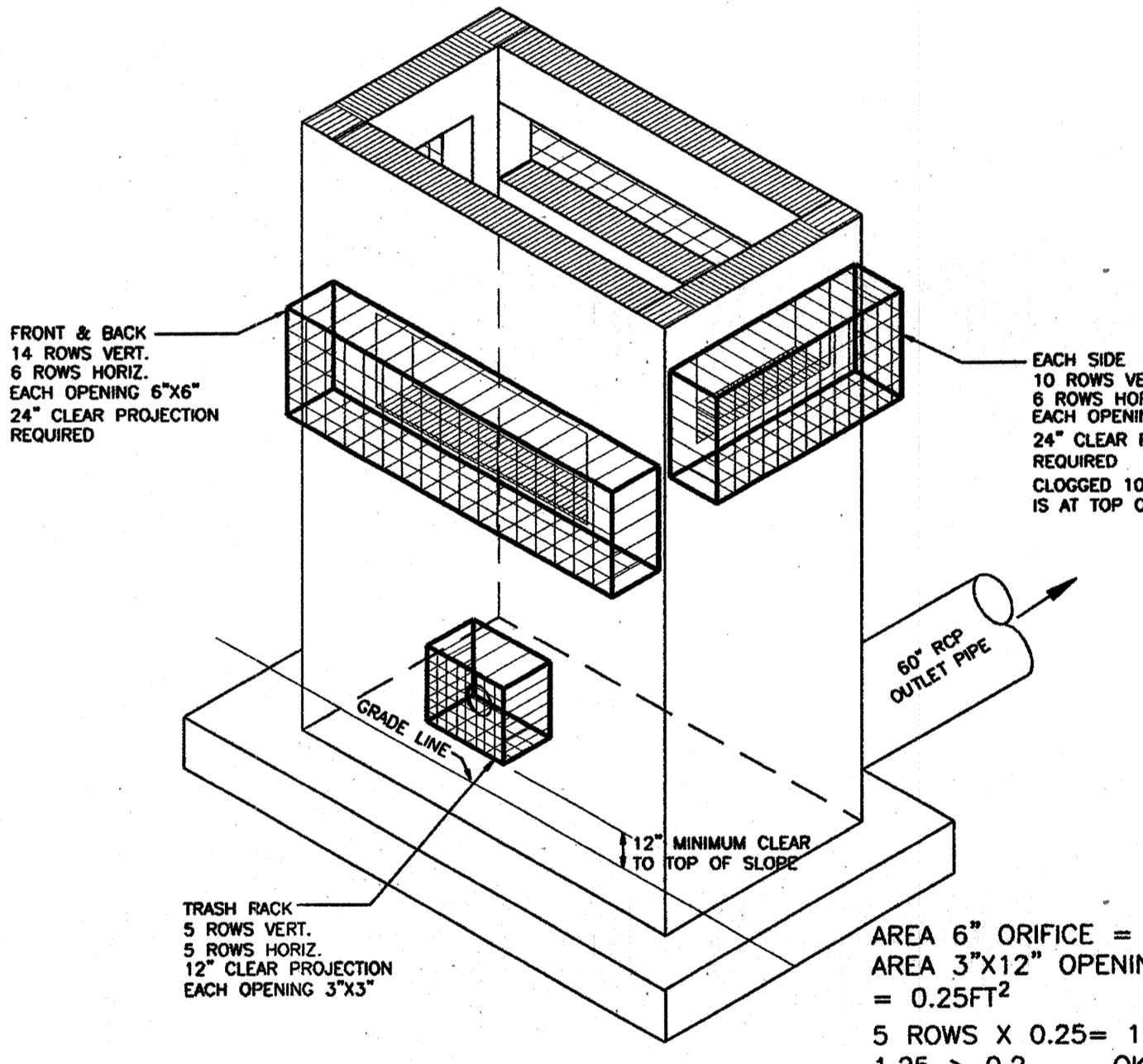
DRAWING TITLE:
**SITE
DETAIL SHEET**
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
N.T.S.	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO. 43 of 86
	48	C6.1B



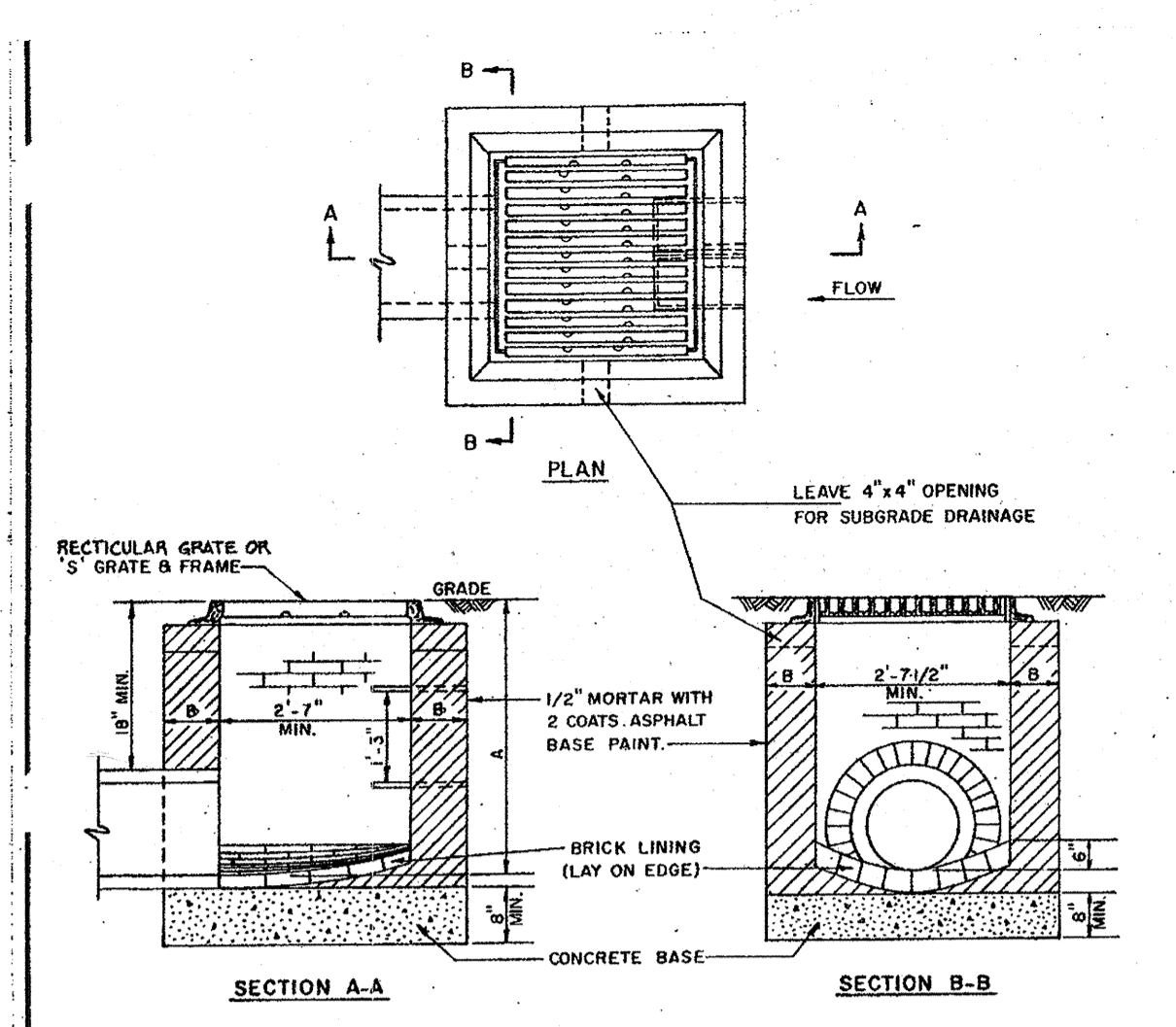
NOTE:
 1. 72" Ø HALF PIPE RISER W/ 6 ROWS OF 1/2" X 6" SLITS AND 10 SLITS EACH ROW, FOR A TOTAL OF 60 SLITS. SLITS TO CLEAR RISER EDGES BY 6". CAP TOP AND BOTTOM OF RISER. AREA OF 6" ORIFICE IS 0.277 AREA EA. SLIT. $0.0277 \times 60 \text{ SLITS} = 1.67 \text{ FT}^2$ 1.25-0.2 OK TOP OF RISER IS AT ELEVATION 212.0 AND BOTTOM OF RISER IS AT ELEVATION 207.5. SECURE 1/2" WIRE HARDWARE CLOTH WRAPPED WITH GEOTEXTILE CLASS E TO OUTSIDE FACE OF RISER. THE FABRIC SHALL EXTEND 6" ABOVE THE HIGHEST SLIT AND 6" BELOW THE LOWEST SLIT. GEOTEXTILE FABRIC SHALL BE REPLACED AS NECESSARY TO PREVENT CLOGGING. HALF PIPE RISER TO BE ATTACHED TO FACE OF CONTROL STRUCTURE WITH WATER TIGHT SEAL. BOTTOM ROW OF SLITS TO BE AT ELEVATION 209.1. TOP ROW OF SLITS TO BE AT ELEVATION 211.5.

8 SEDIMENT FILTER
 SCALE: NTS



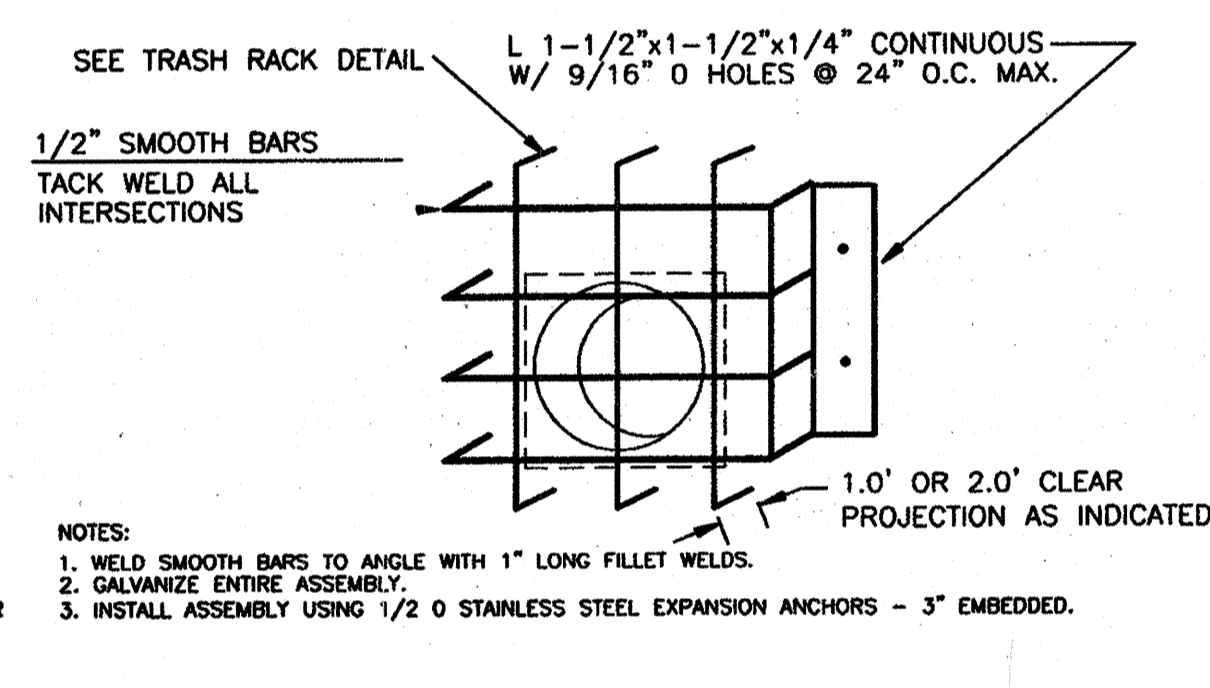
NOTE:
 1. WELD SMOOTH BARS TO ANGLE WITH 1" LONG FILLET WELDS.
 2. GALVANIZE ENTIRE ASSEMBLY.
 3. INSTALL ASSEMBLY USING 1/2" O STAINLESS STEEL EXPANSION ANCHORS - 3" EMBEDDED.

5 TRASH RACK DETAIL
 SCALE: NTS



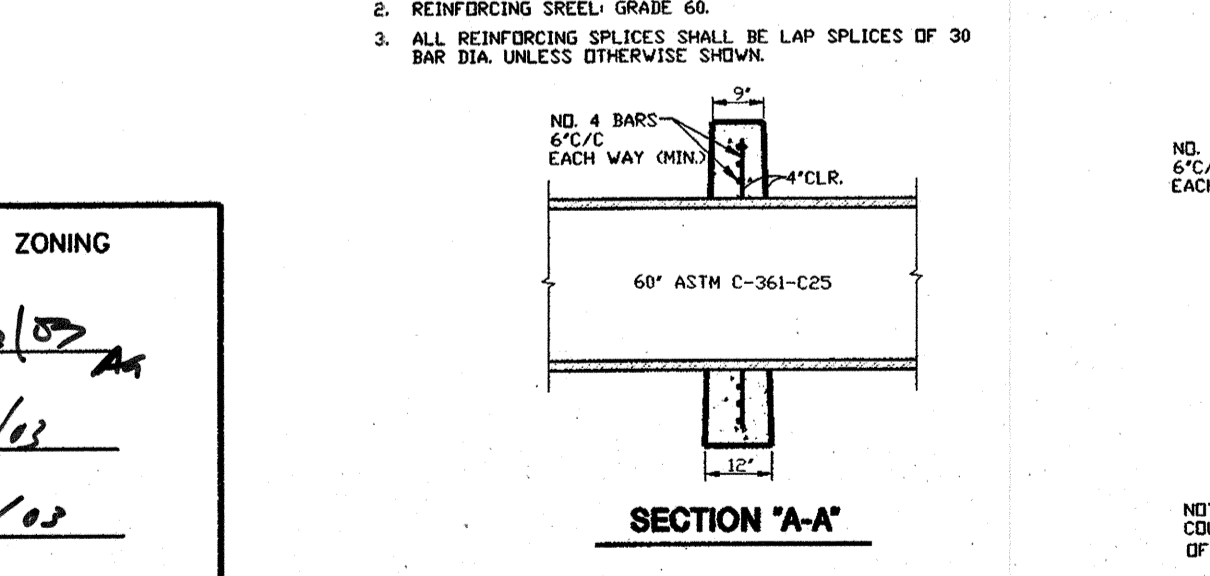
NOTES:
 1. BOTTOM SHALL BE MIX NO. 3 CONCRETE.
 2. WALLS CAN BE BRICK OR MIX NO. 3 CONCRETE.
 3. 8"Ø WHERE A IS LESS THAN 6"
 4. TOP 4" OF WALLS SHALL BE BRICK MASONRY. ADDITIONAL BRICK SHALL BE USED TO BRING THE GRADE TO EXISTING GRADE IF REQUIRED.
 5. INVERTS SHALL BE BRICK, GRADE 5M (ASTM C32)
 6. WHERE A IS 3'-6" OR GREATER STANDARD MANHOLE STEPS SHALL BE INSTALLED AS SHOWN.

9 SINGLE TYPE "S" INLET
 SCALE: NTS

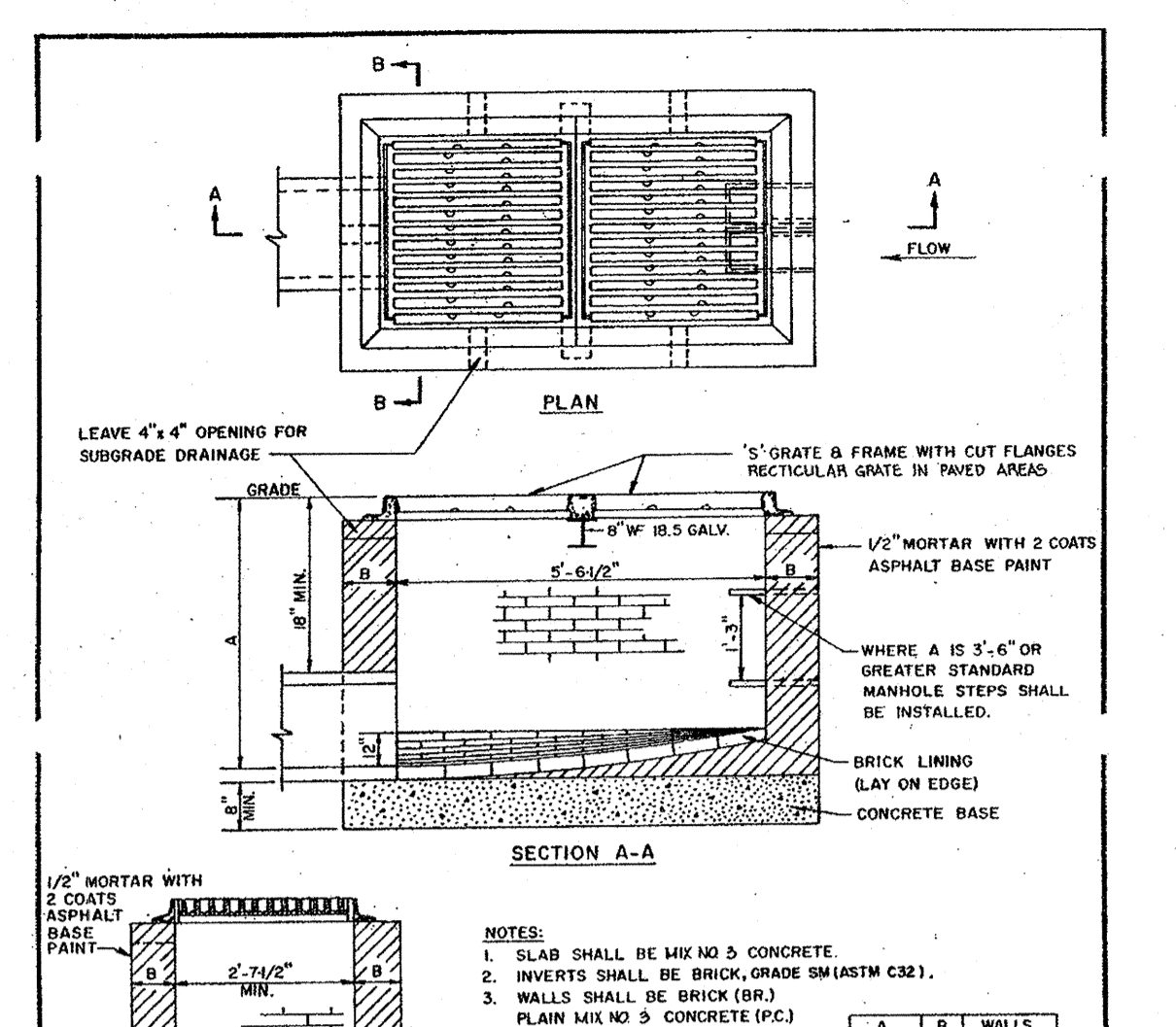


NOTE:
 1. CONCRETE SHALL BE MSHA MIX NO. 3 (FC) x 3500 PSI.
 2. REINFORCING STEEL GRADE 60.
 3. ALL REINFORCING SPLICES SHALL BE LAP SPLICES OF 30 BAR DIA UNLESS OTHERWISE SHOWN.

ANTI-SEEP COLLAR REINFORCING
 SCALE: NTS

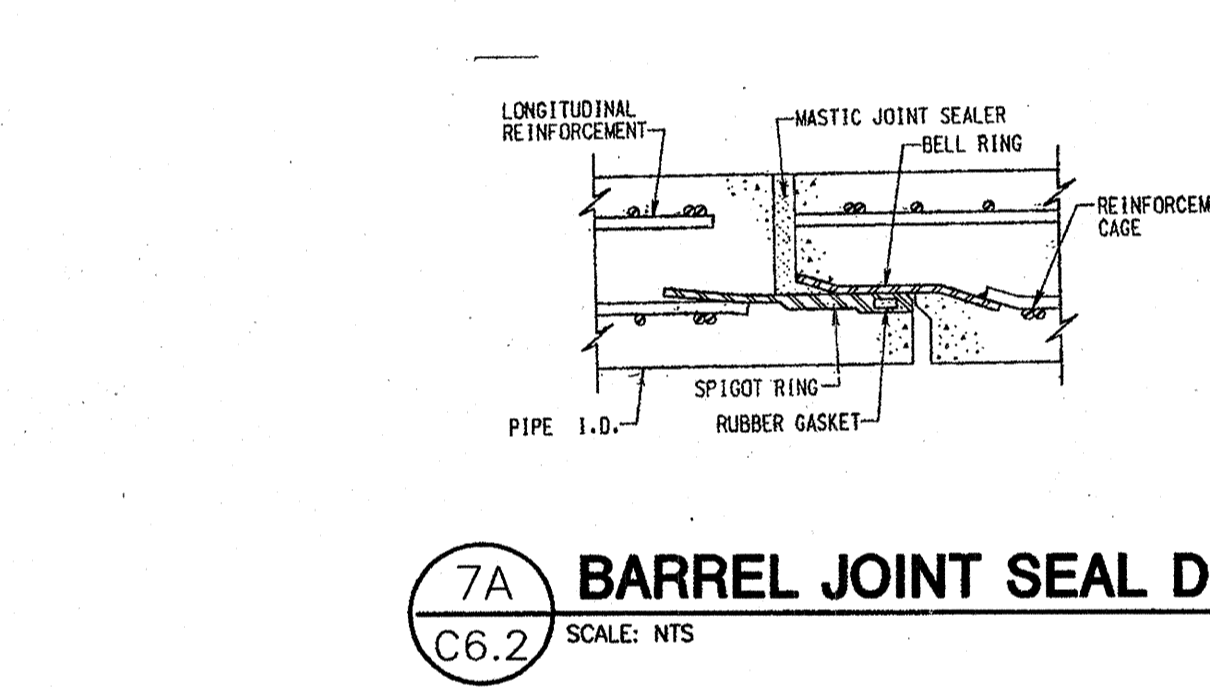


7 TYPICAL SECTION THROUGH BARREL AND ANTI-SEEP COLLAR
 SCALE: NTS

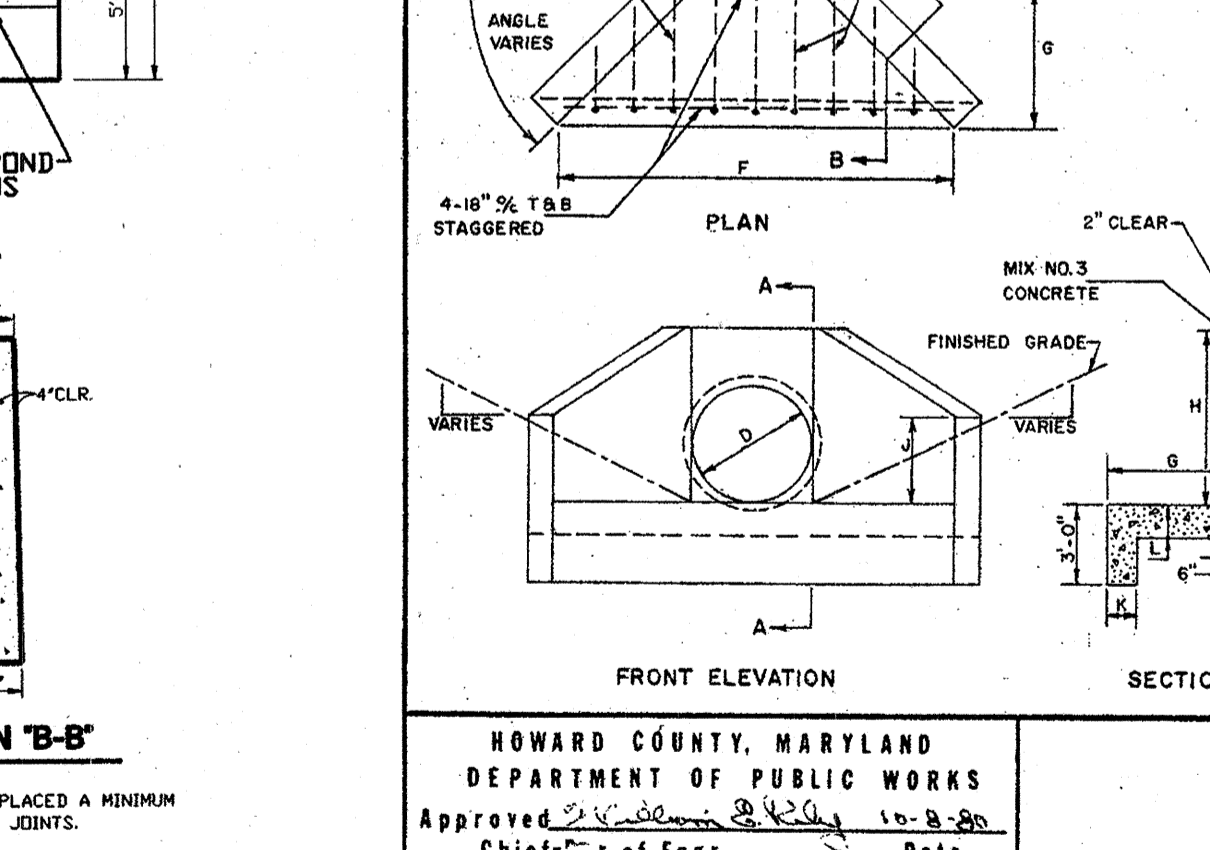


NOTES:
 1. SLAB SHALL BE MIX NO. 3 CONCRETE.
 2. INVERTS SHALL BE BRICK, GRADE 5M (ASTM C32).
 3. WALLS SHALL BE BRICK (8"Ø) PLAN MIX NO. 3 CONCRETE (FC) OR REINFORCED CONCRETE (R.C.) SEE TABLE FOR DIMENSIONS.
 4. REINFORCING #4 @ 10" E-W IN 4" OF WALLS REINFORCING CONTINUES AT CORNERS ALL LAPS 1'-4".
 5. TOP 4" OF WALLS SHALL BE BRICK MASONRY. ADDITIONAL BRICK SHALL BE USED TO BRING THE GRADE TO EXISTING GRADE IF REQUIRED.

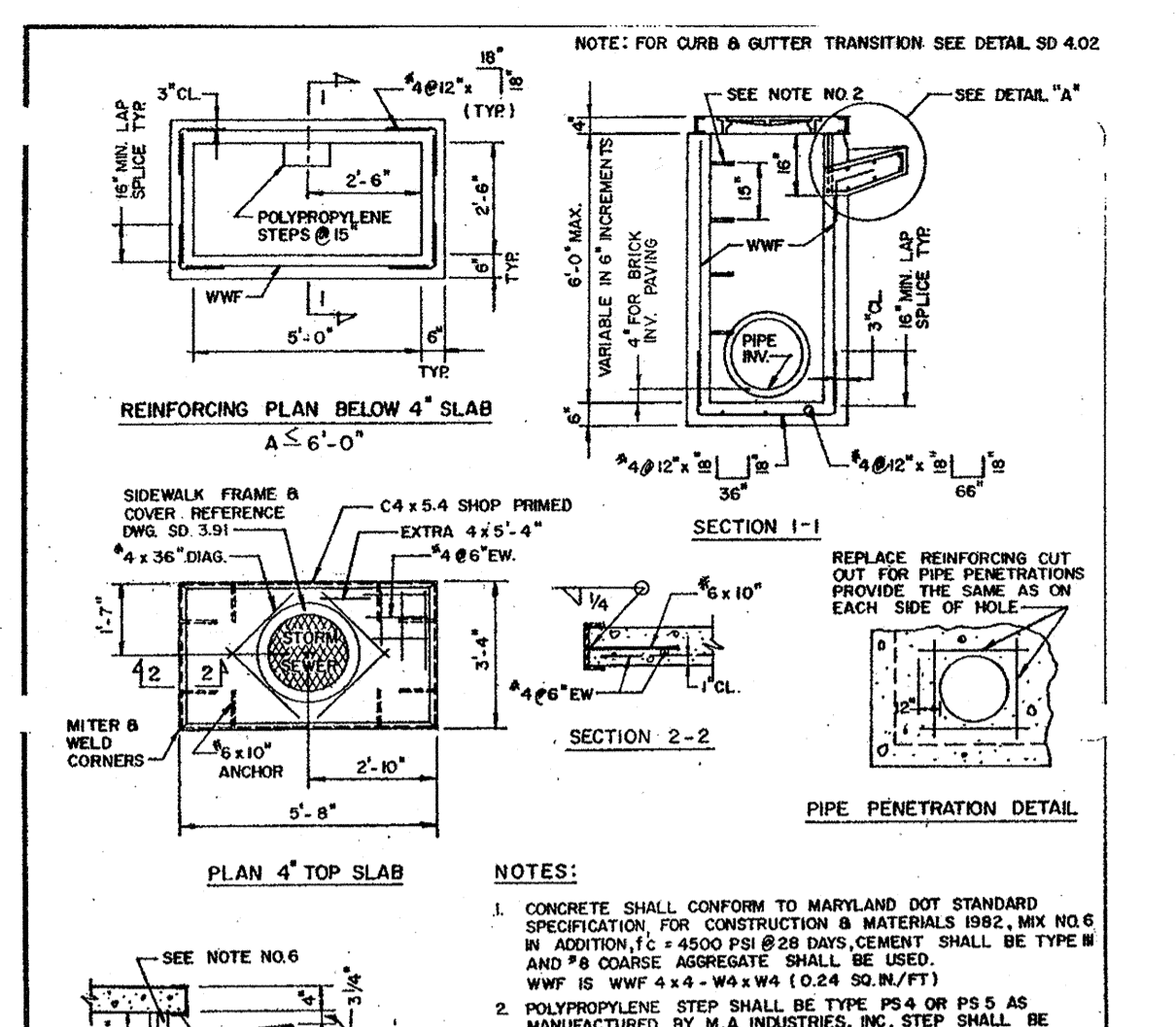
6 DOUBLE TYPE "S" INLET
 SCALE: NTS



7A BARREL JOINT SEAL DETAIL
 SCALE: NTS



3 TYPE "A" HEADWALL
 SCALE: NTS

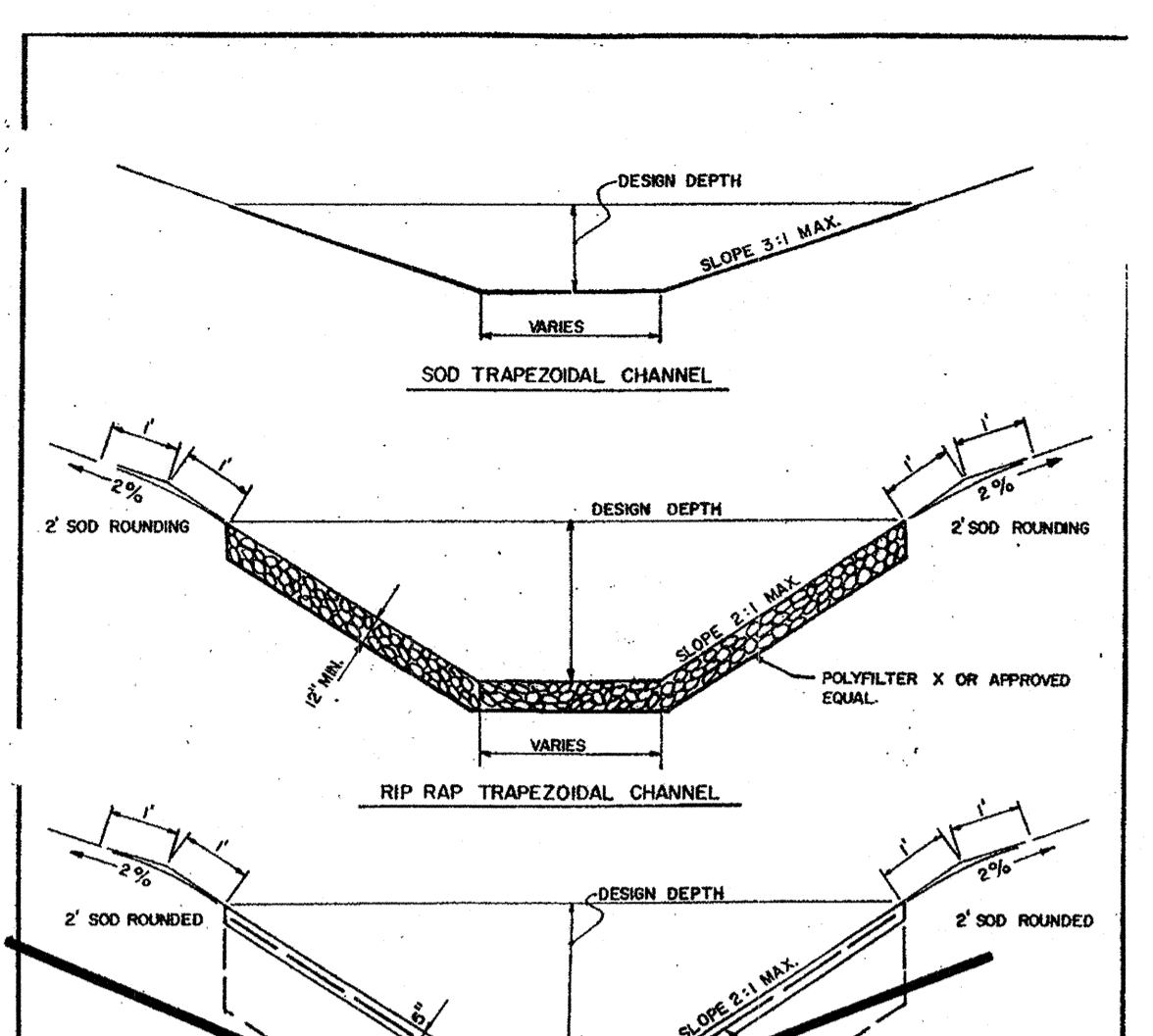


NOTES:
 1. CONCRETE SHALL CONFORM TO MARYLAND DOT STANDARD SPECIFICATION FOR CONSTRUCTION MATERIALS (S.M.) NO. 6 IN ADDITION, IT SHALL BE 4500 PSI 28 DAYS CEMENT SHALL BE TYPE I AND #4 COARSE AGGREGATE SHALL BE TYPE III W/ F IS W/ F 4x4 - W/ F 4x4 (0.54 SQ. IN/FT)
 2. POLYPROPYLENE STEP SHALL BE TYPE PS-4 OR PS-5 AS MANUFACTURED BY M.A. INDUSTRIES, INC. STEP SHALL BE INSTALLED IN LINE WHERE A IS 3'-6" (SEE 9.2.1)
 3. REFERENCE DRAWING FOR TYPE A-5 INLET IS HOWARD COUNTY STANDARD DWG. NO. SD 4.01
 4. REINFORCING SCHEDULE IS BASED ON USM METHOD AND DESIGN LOADS AS SPECIFIED IN AASHTO STANDARD SPECIFICATION FOR HIGHWAY BRIDGES, 15th EDITION, 1988 AND INTERIM SPECIFICATIONS.
 5. WEIGHTS: 4" TOP SLAB = 950# MAX. INLET BOX W/ F = 7,320# RISE W/ F = 1,300# W/ F
 6. PROVIDE 3" Ø RUST PROOF STEEL PIPE, PAINTED GRAY AT MID POINT OF THROAT, FILL WITH CONCRETE.

4 PRECAST TYPE A-5 INLET
 SCALE: NTS

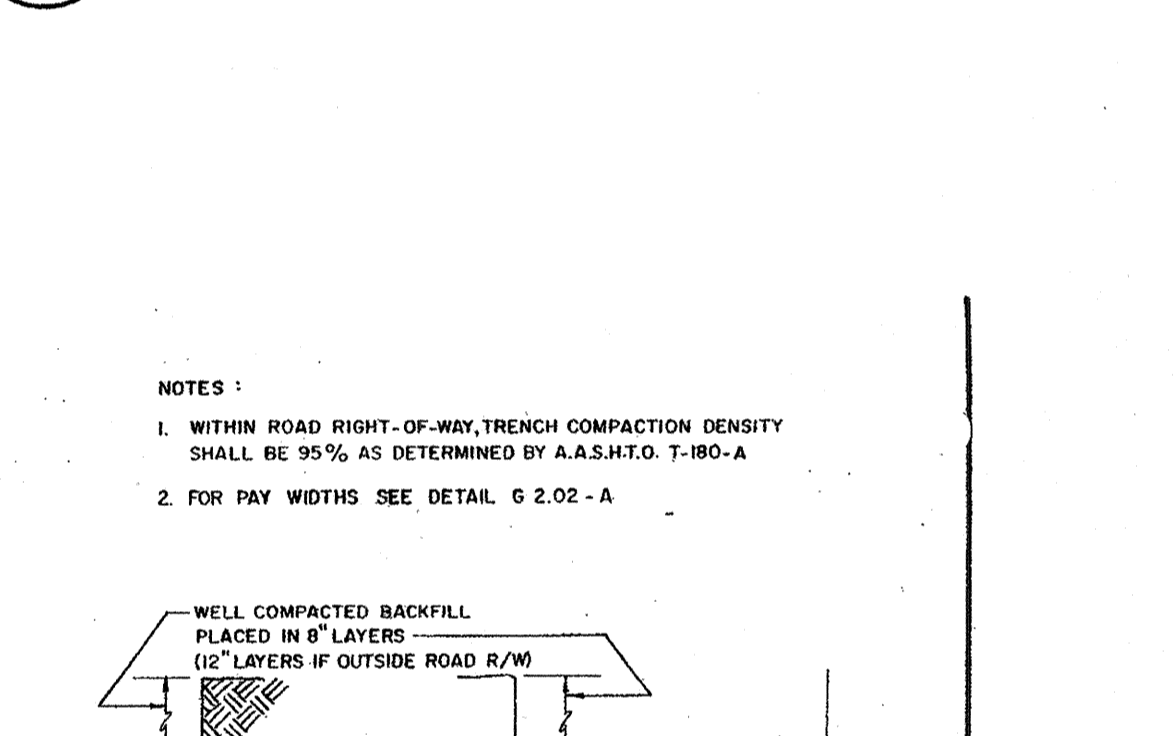


1 TRENCH BEDDING DETAIL
 SCALE: NTS

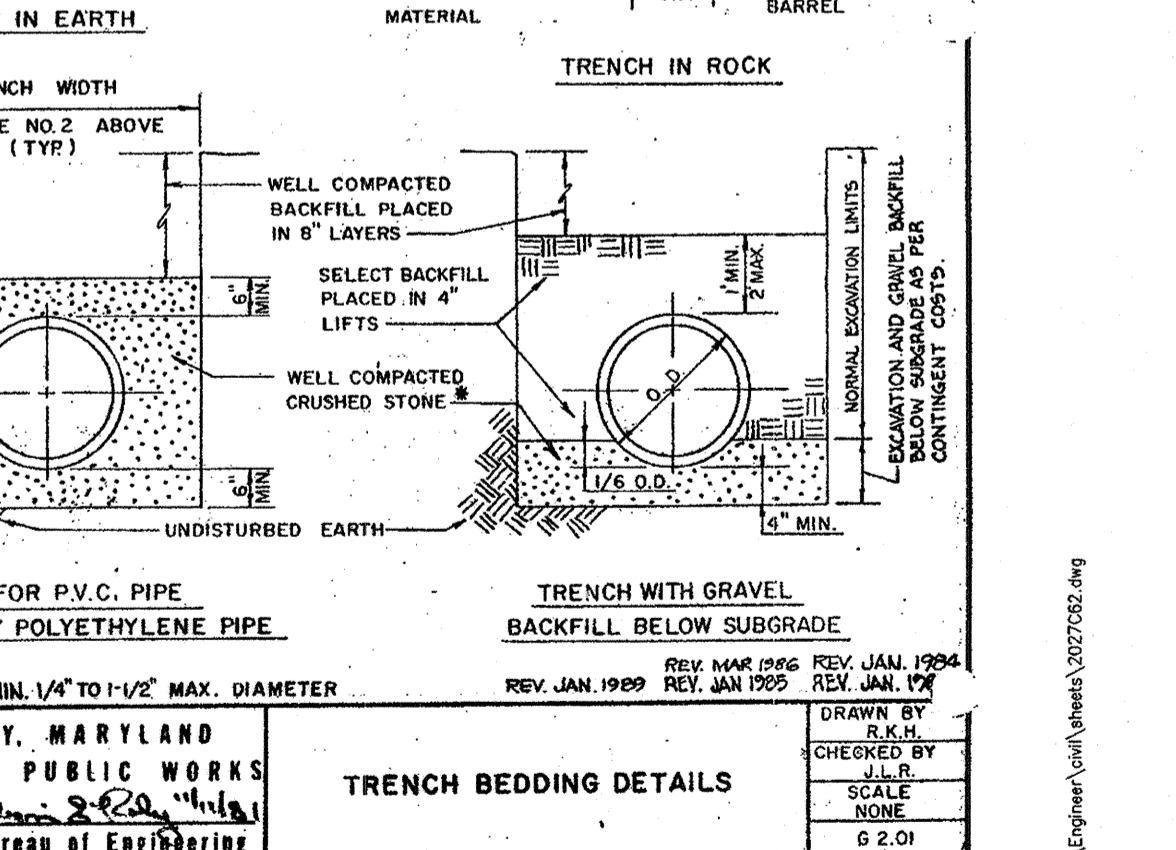


2 TRAPEZOIDAL OPEN CHANNEL
 SCALE: NTS

NOTES:
 1. WITHIN ROAD RIGHT-OF-WAY, TRENCH COMPACTION DENSITY SHALL BE 95% AS DETERMINED BY A.A.S.H.T.O. T-190-A
 2. FOR PAY WIDTHS SEE DETAIL G 2.02 - A



TRENCH IN EARTH
 SCALE: NTS



TRENCH IN ROCK
 SCALE: NTS

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

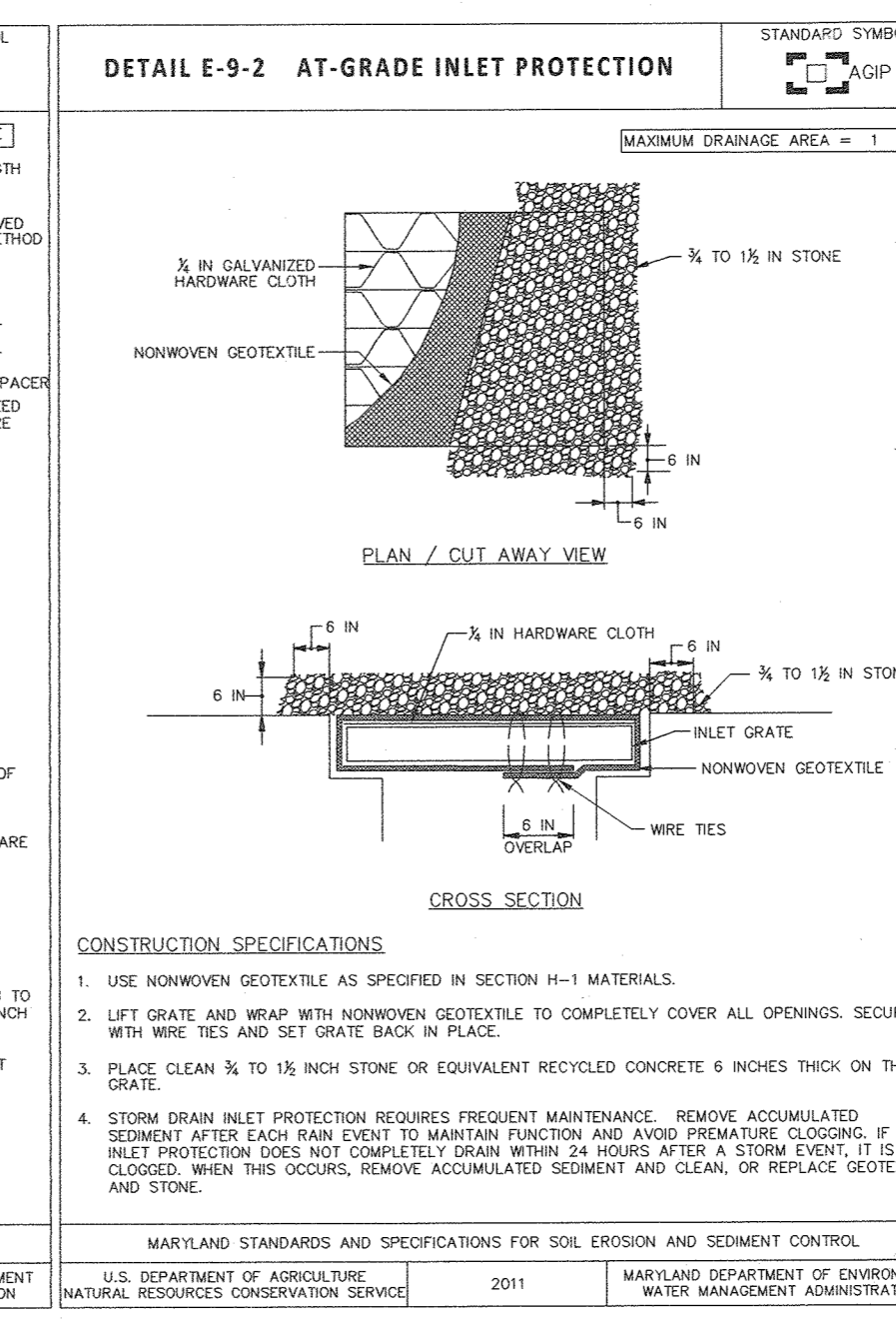
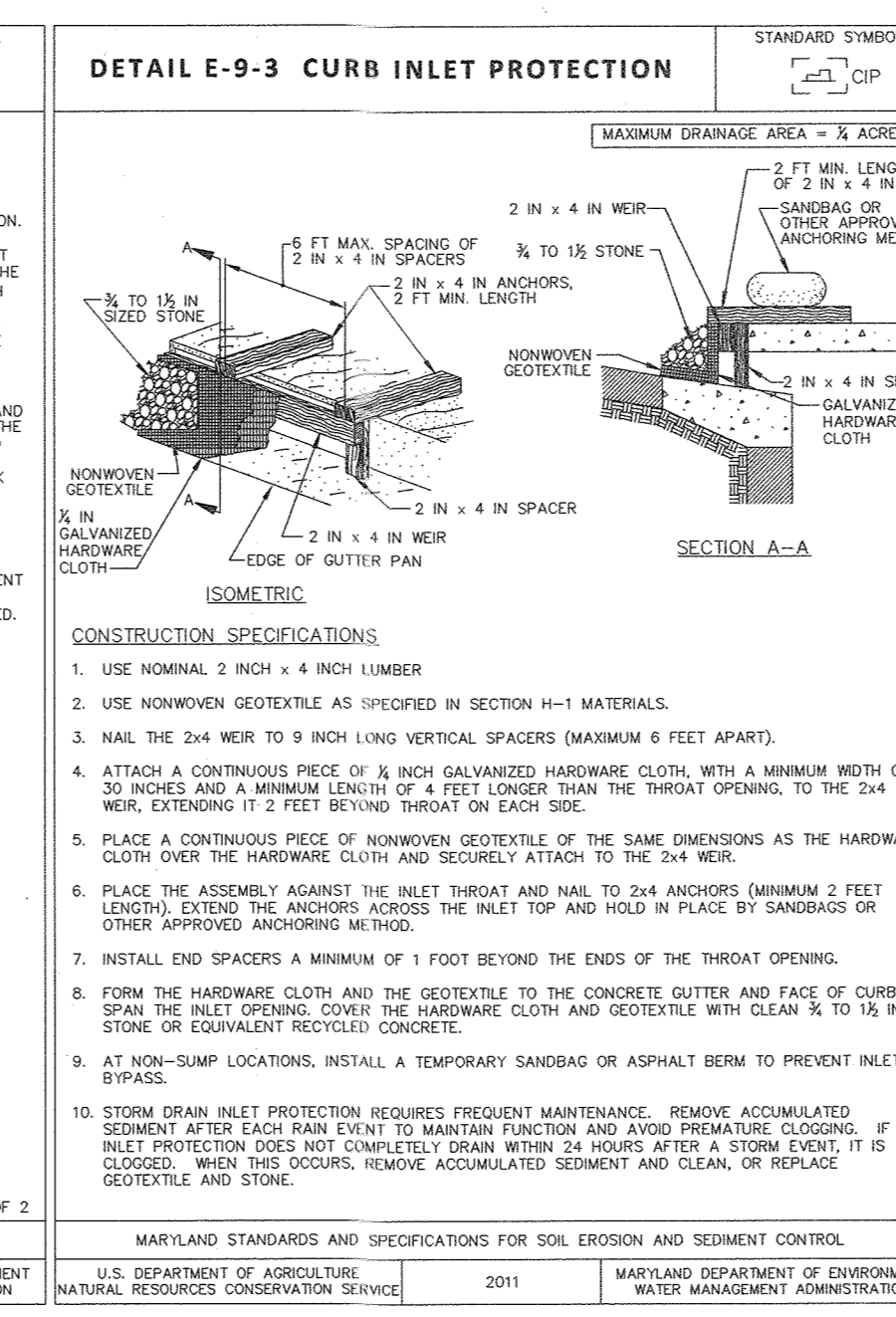
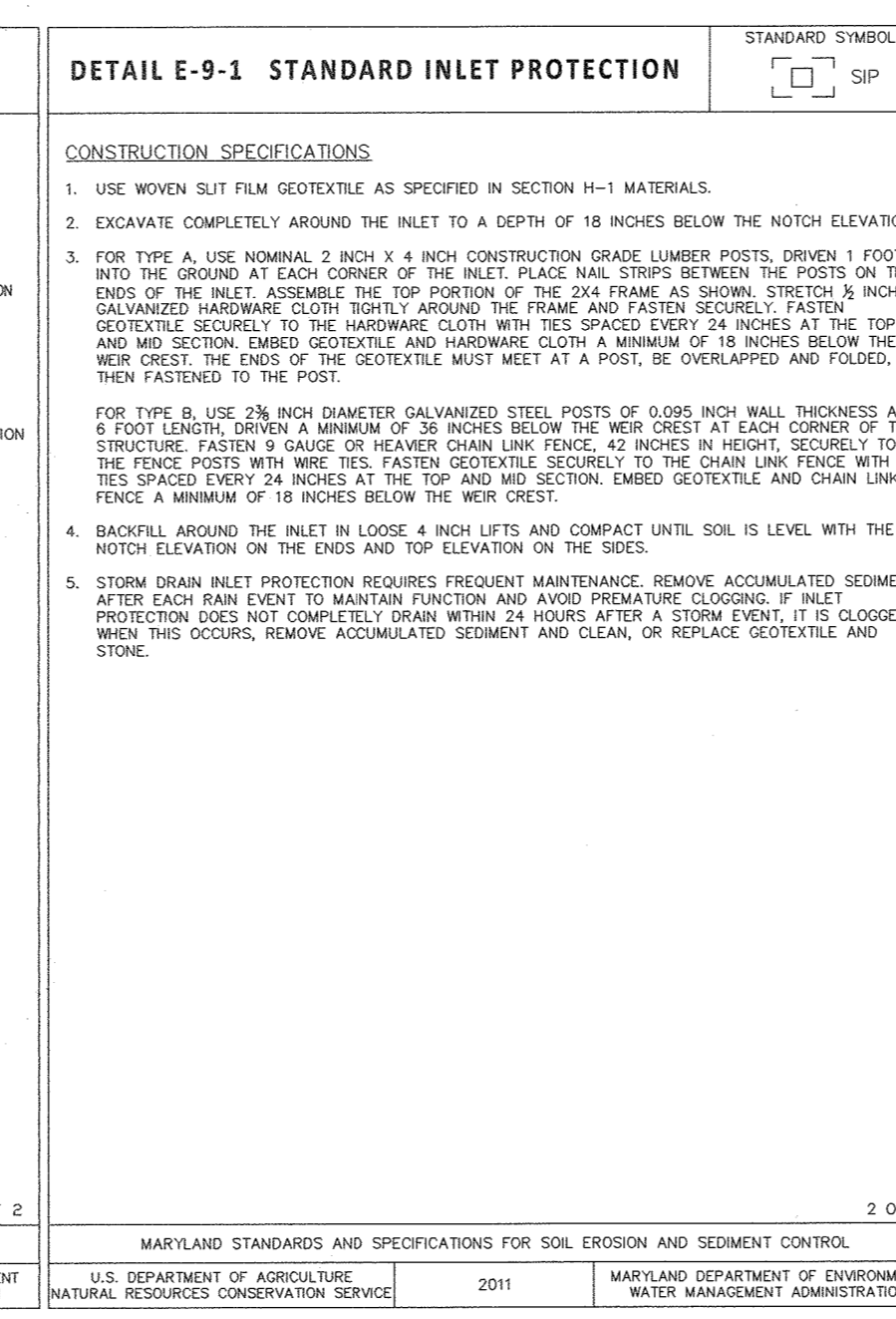
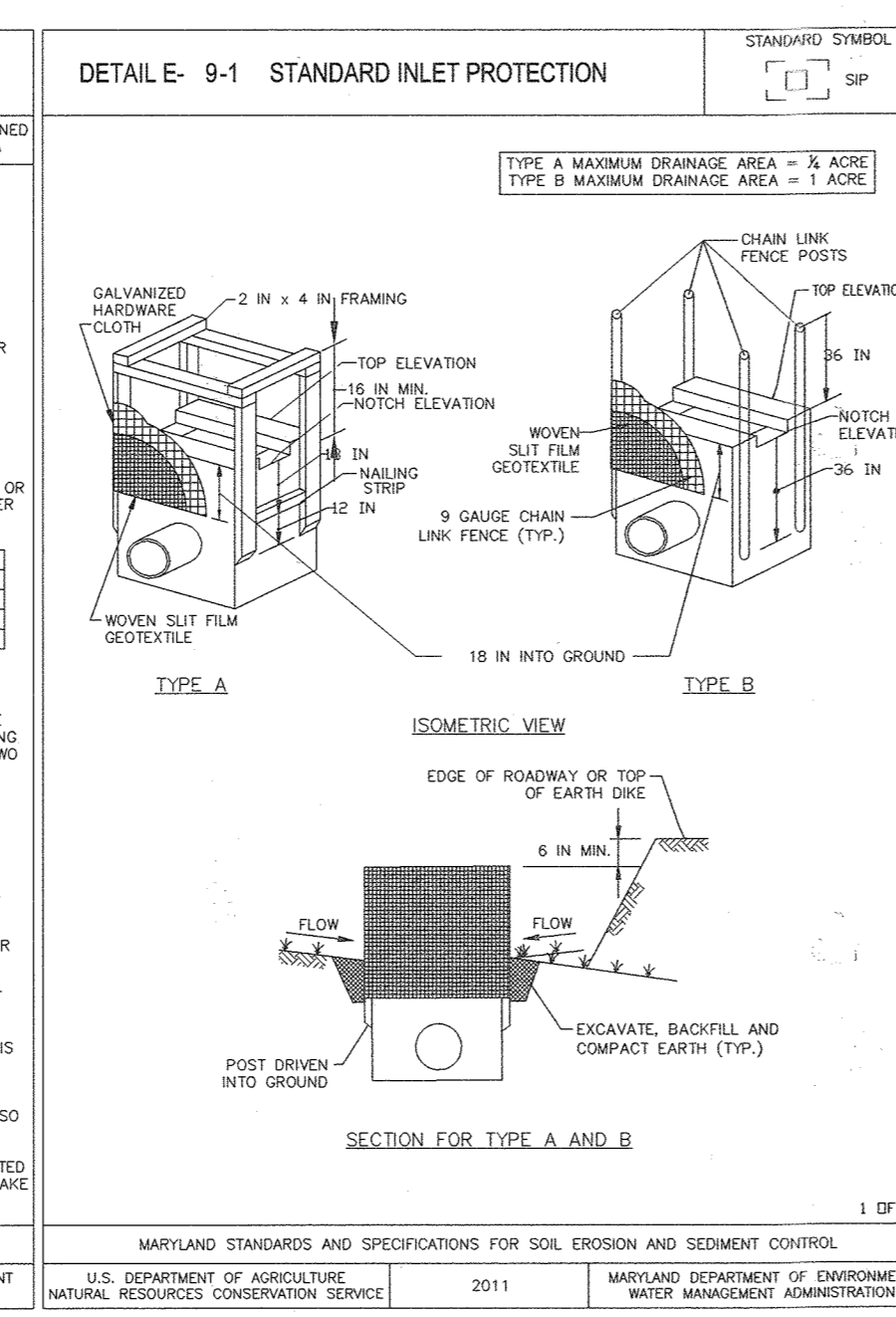
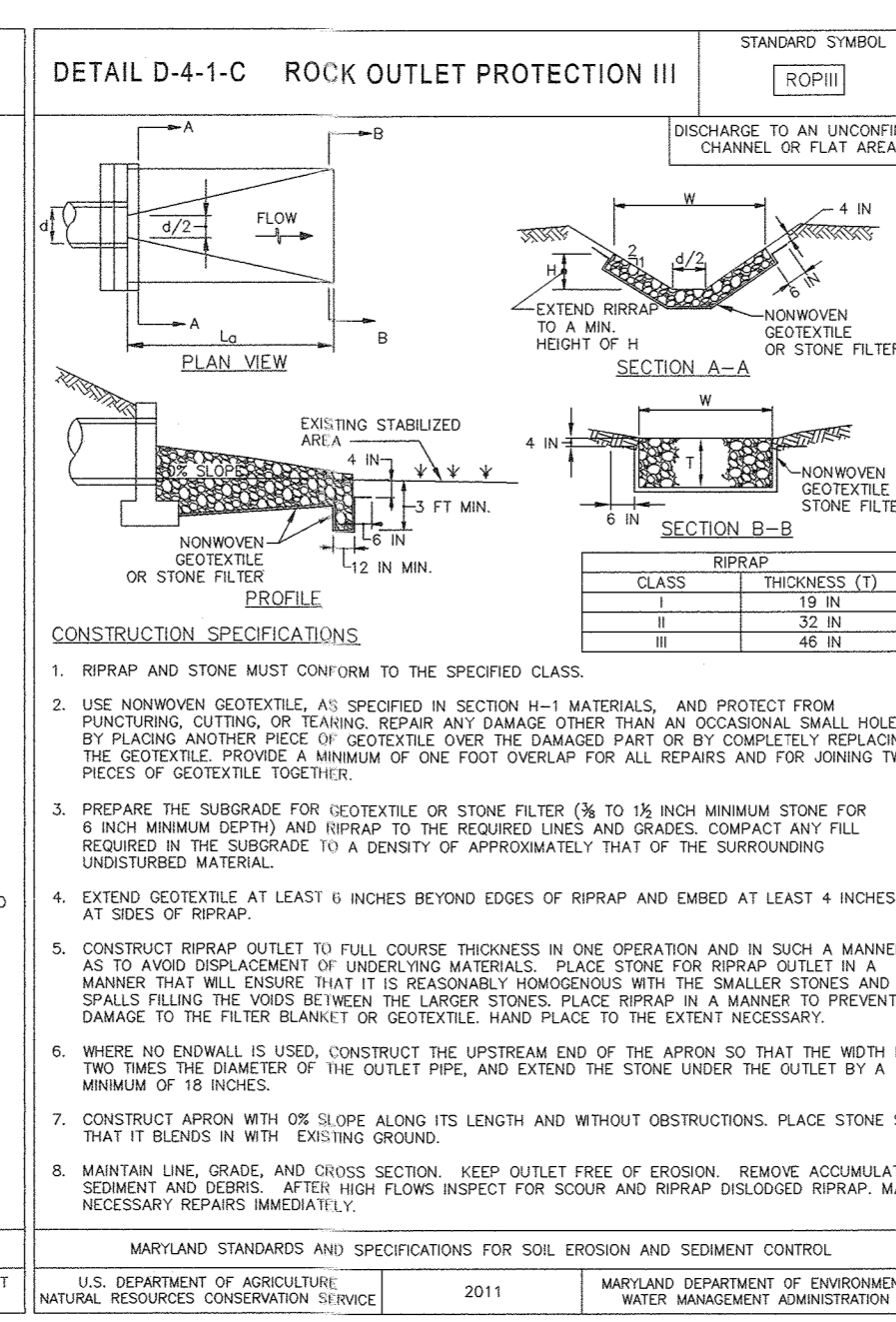
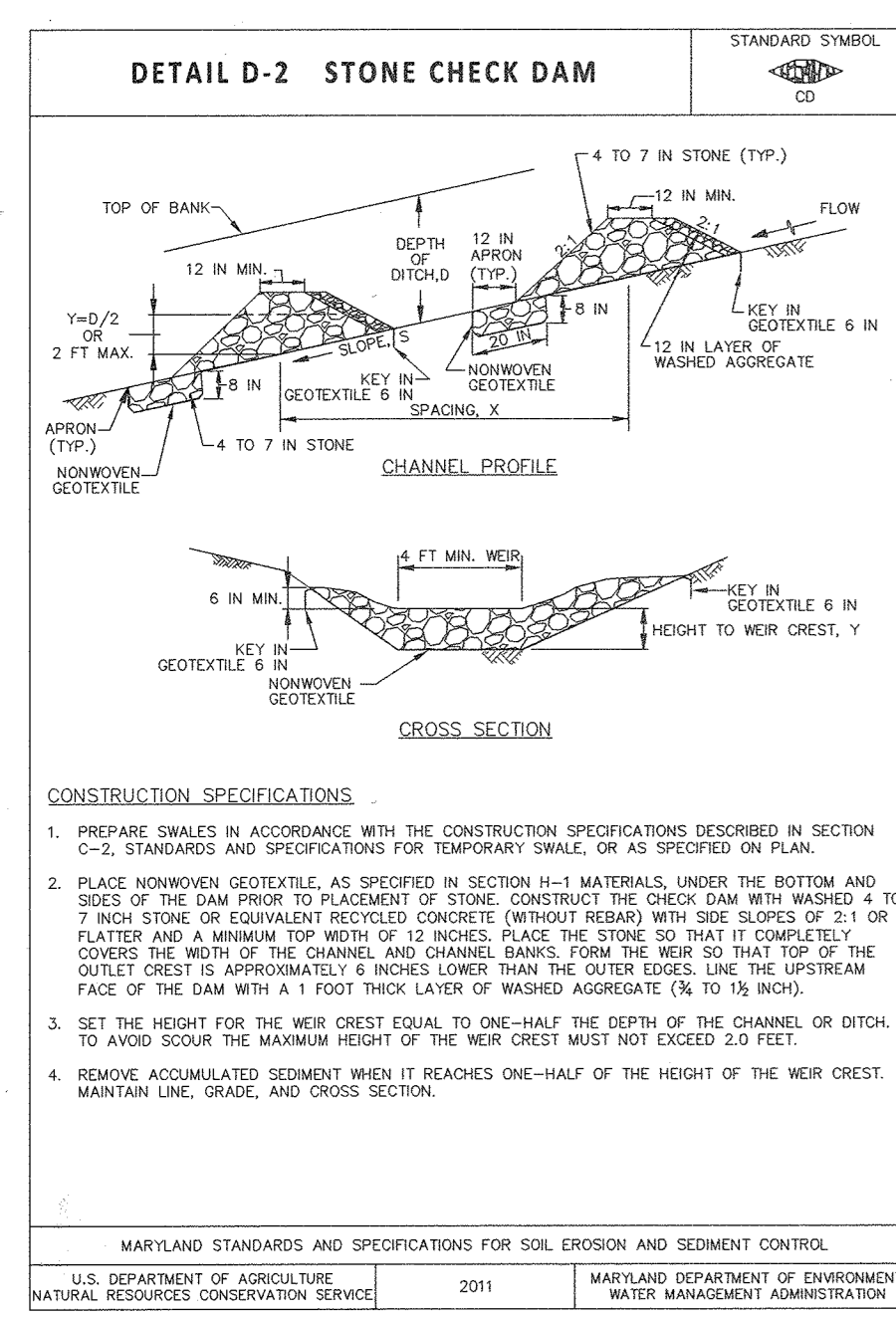
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
**GRADING & DRAINAGE
 DETAIL SHEET**
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: N.T.S.
 ZONING: M-2
 PROJECT NO: 02027
 DATE: TAX MAP - GRID 48
 SHEET NO. 44 of 86
C6.2

SDP-03-44



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

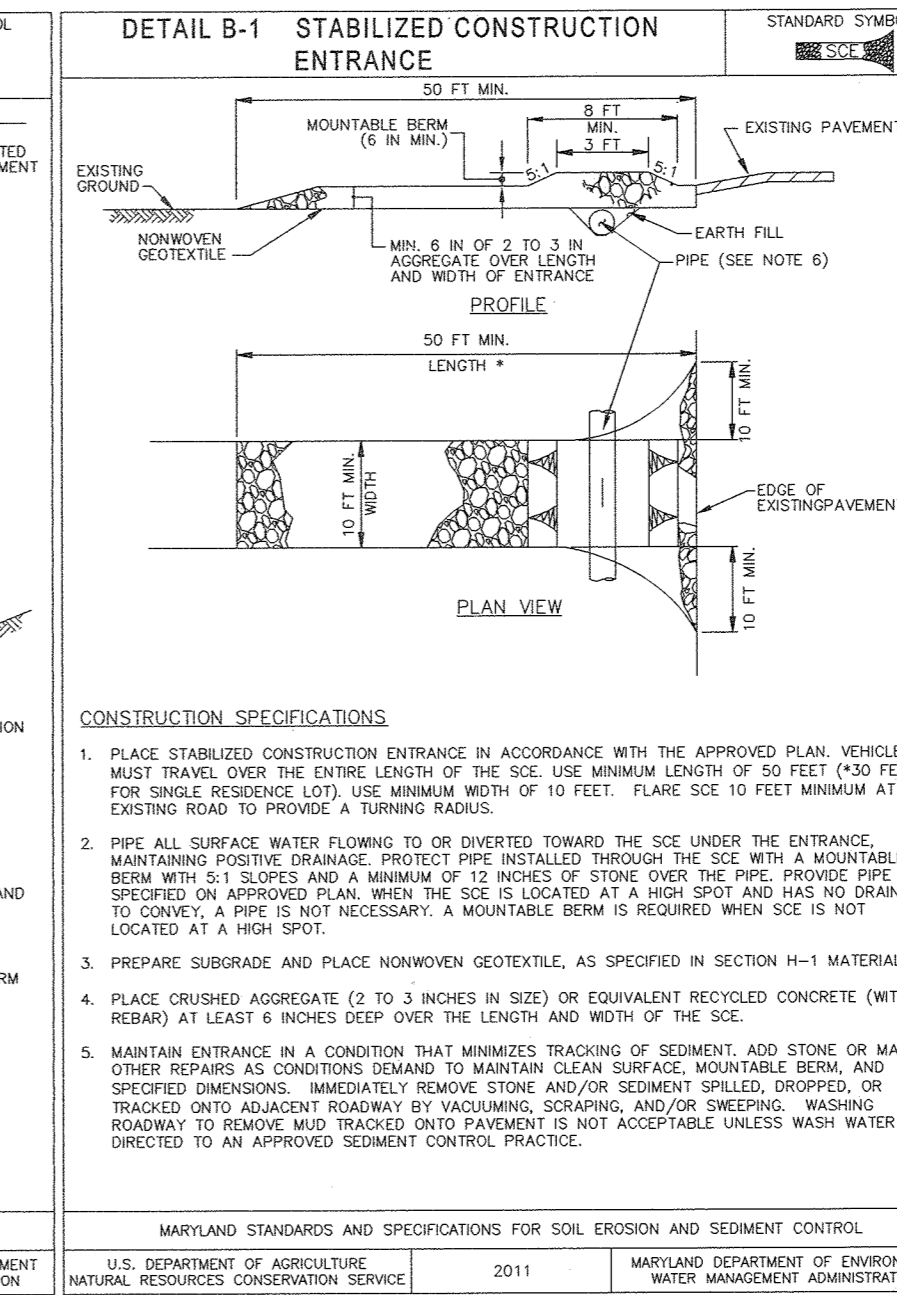
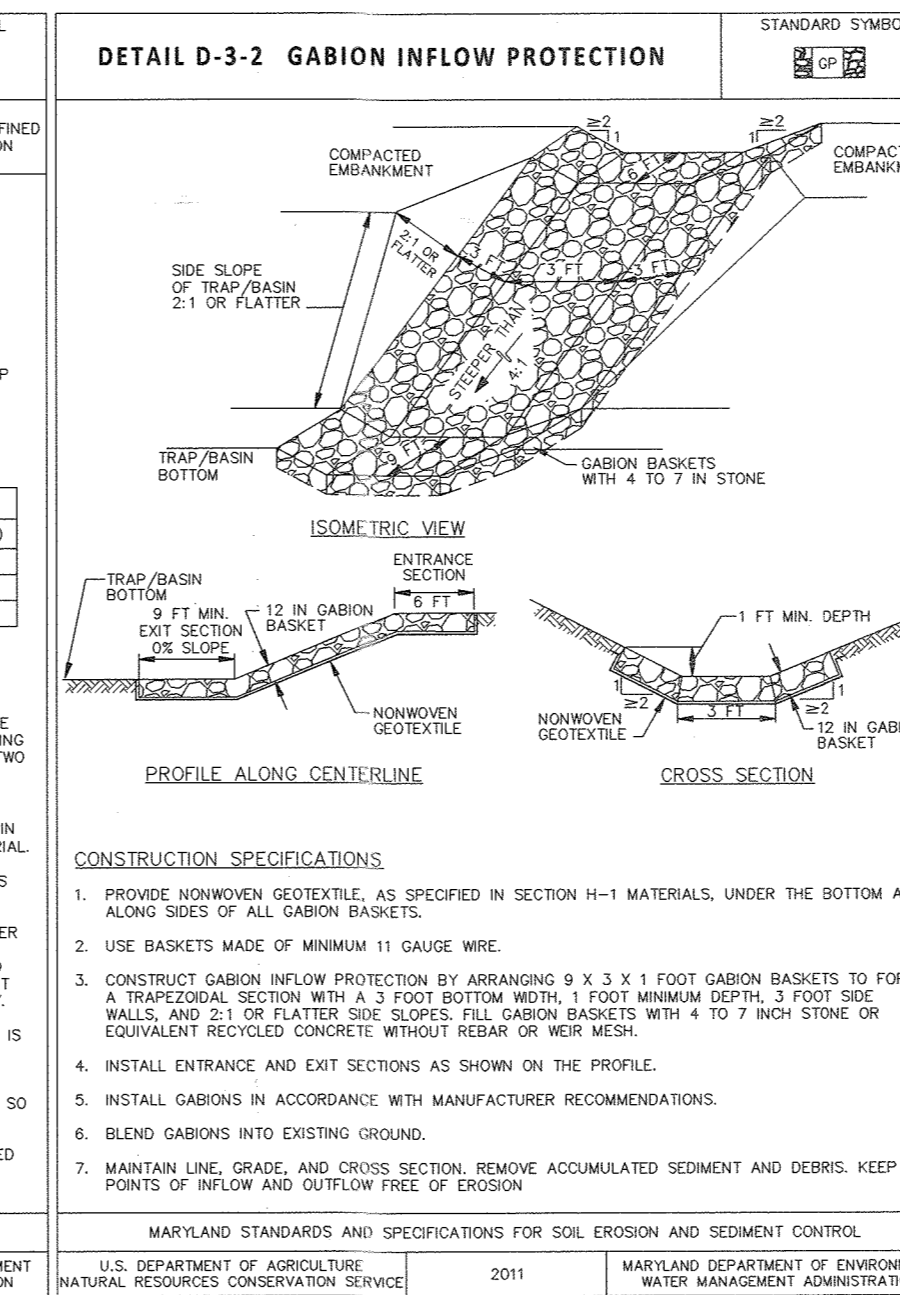
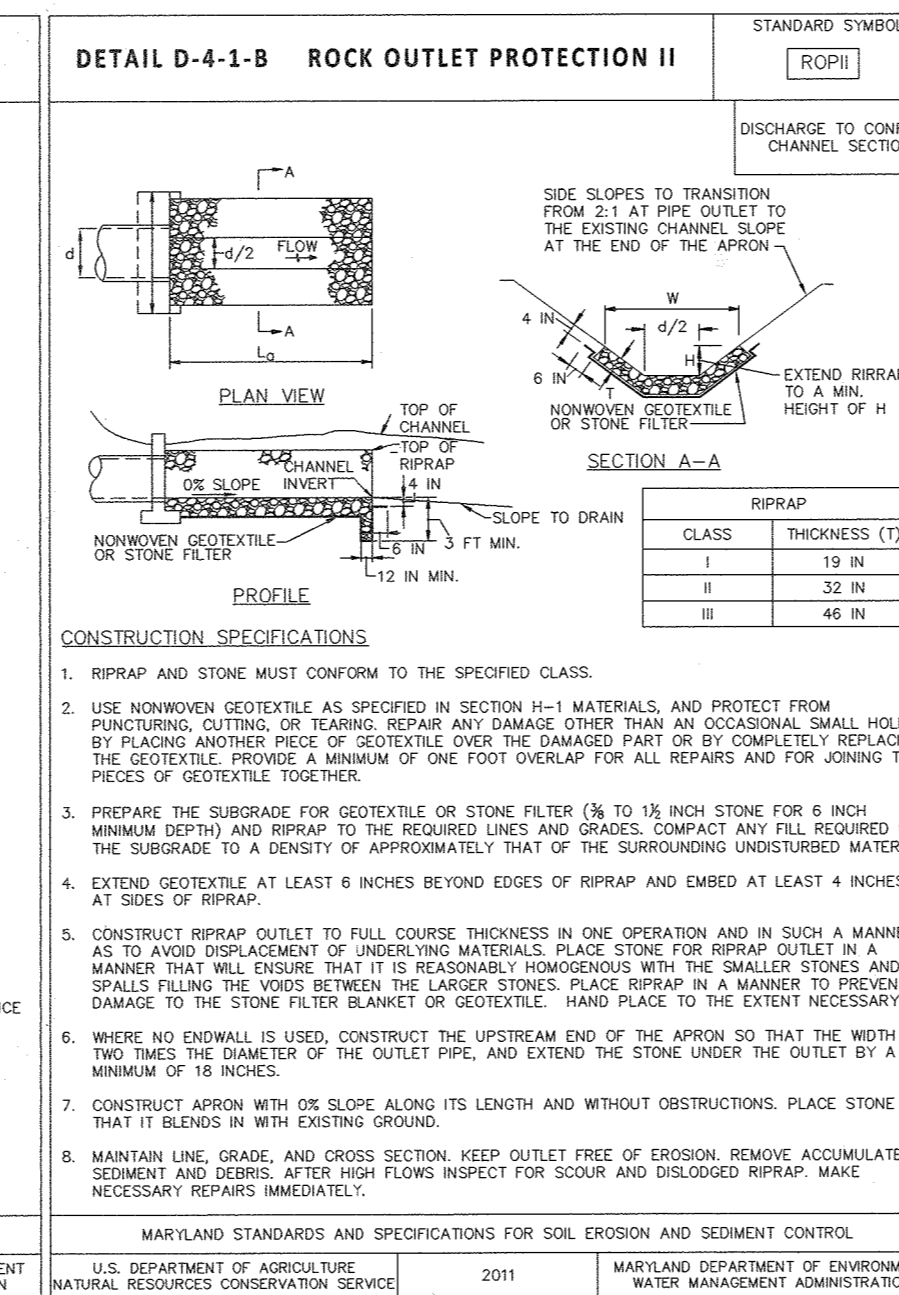
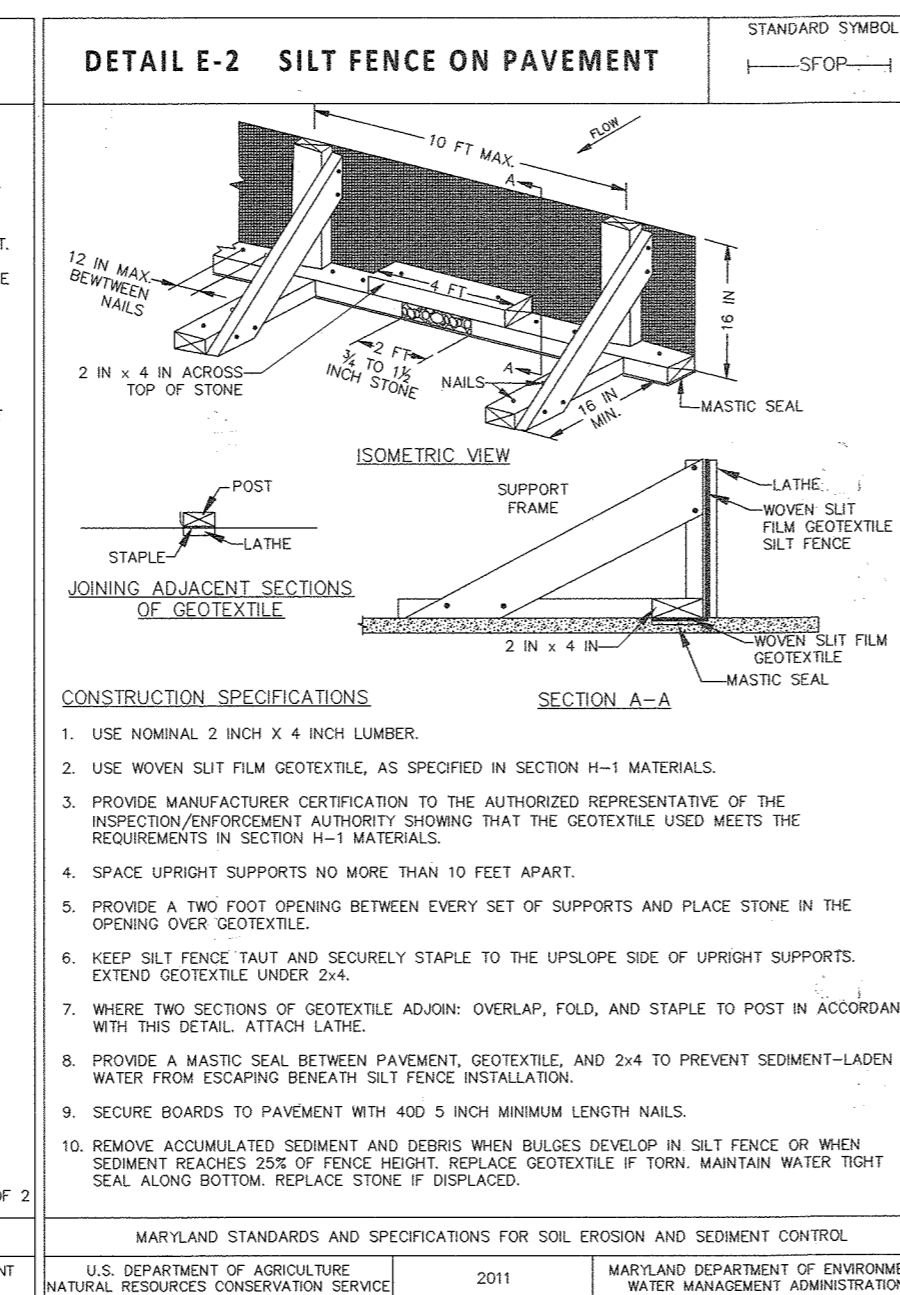
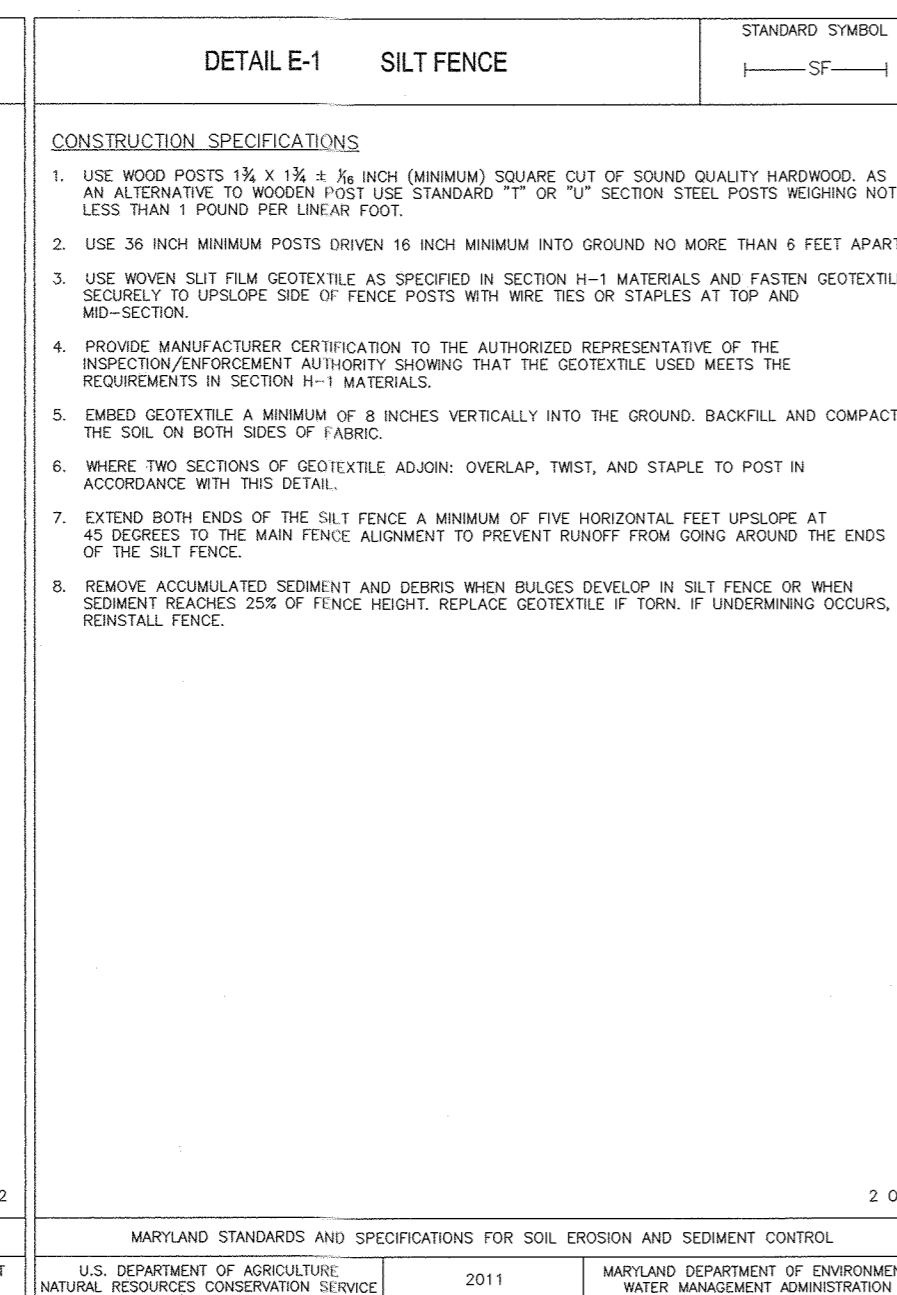
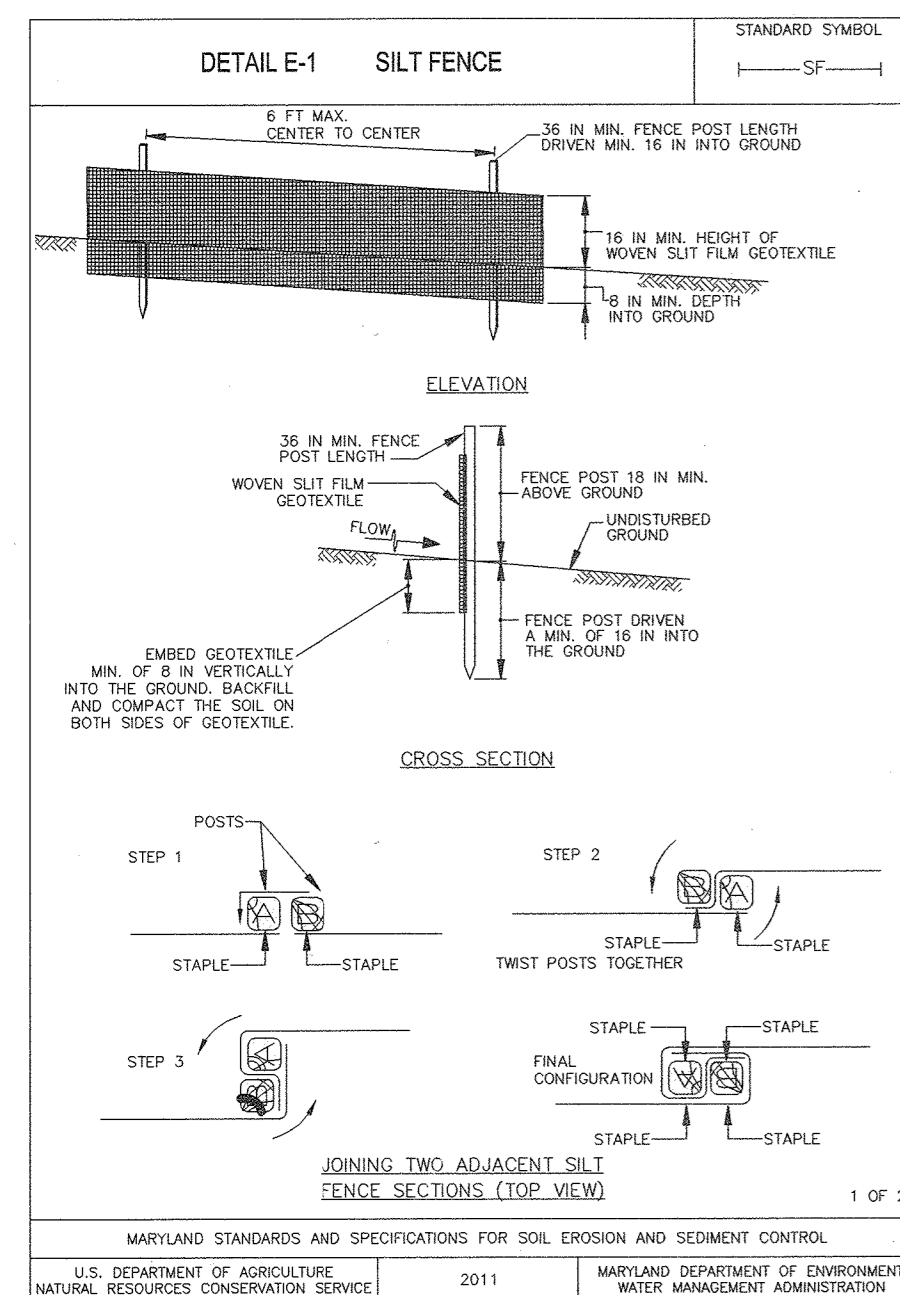
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

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U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 Chief, Bureau of Highways

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Division of Land Development

DEVELOPER/BUILDER'S CERTIFICATE
 I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.
 Signature: Shawn P. Rafferty
 Date: 10/8/19

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: Todd Reddan
 Date: 10.8.19

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: John R. Blanton
 Date: 10/15/19

PURPOSE:
 THE PURPOSE OF THIS REPLACEMENT SHEET IS TO UPDATE SEDIMENT CONTROL NOTES AND DETAILS PER THE CURRENT STANDARDS.

GLW
 PLANNING | ENGINEERING | SURVEYING
 3809 NATIONAL DRIVE | SUITE 250 | BURTONSVILLE, MD 20866 | GLWPA.COM
 PHONE: 301-421-0024 | FAX: 301-421-4186

DESIGNED BY:		PREPARED FOR:	APPLICANT:
DRAWN BY:	JRC	GIANT LANDOWNER DIVISION	1385 HANCOCK STREET, 10TH FLOOR
CHECKED BY:	TMR	ATTN: REDAS ZAKALSKIS	QUINCY, MA 02169
DATE:	10/07/2019	TEL: (617) 792-7880	
REVISION:	AS BUILT		

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, EXPIRATION DATE: MARCH 17, 2021
 Signature: Shawn P. Rafferty
 Date: 10.8.19

REVISOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, EXPIRATION DATE: MARCH 17, 2021
 Signature: Shawn P. Rafferty
 Date: 10.8.19

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

REVISED EROSION CONTROL DETAIL SHEET
EXETER INDUSTRIAL PARK
 PARCEL A
 GIANT DISTRIBUTION CENTER
 Plat Numbers 15796 - 15800

SCALE:	ZONING:	G. L. W. FILE NO.:
AS SHOWN	M-2	12060
DATE:	TAX MAP - GRID:	SHEET:
SEPT., 2019	48 - 8	45 OF 86

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION:
THE PROCESS OF PREPARING THE SOIL TO ESTABLISH ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE:
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES:
WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA:

A. SOIL PREPARATION

1. TEMPORARY STABILIZATION
 - a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR GRANDED SMOOTH BUT LEFT IN THE RECOMMENDED CONDITION. SLOPES 2:1 OR FLATTER ARE TO BE TRACKED OR DRIVEN PARALLEL TO THE CONTOUR OF THE SLOPE.
 - b. APPLY FERTILIZER AND LIMES AS PRESCRIBED ON THE PLANS.
 - c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
2. PERMANENT STABILIZATION
 - a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
 - i. SOIL PH BETWEEN 6.0 AND 7.0.
 - ii. SOULABLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
 - iii. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOESSGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WILL BE ACCEPTABLE.
 - iv. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
 - v. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
 - b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
 - c. GRADED AREAS MUST BE MAINTAINED IN A DRY AND OPEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN GRADED OR OTHERS LOOSENED TO A TYPICAL 3 TO 5 INCHES.
 - d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
 - e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE. REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE WOOD CELLULOSE PREPARATION IS NOT PERMITTED. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. READY THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRAGILE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

B. TOPSOILING

1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW pH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADE.
2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR THROUGH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
5. TOPSOIL SPECIFICATIONS/SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
 - a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY WEIGHT OF MOISTURE, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER.
 - b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR OTHER PLANTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NUT SEED, PISON VIL, THISLE, OR PLANTS AS SPECIFIED.
 - c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
6. TOPSOIL APPLICATION
 - a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
 - b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SOONER OR LATER SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SUSPENSION IN WATER UNDER Aeration AND WILL BLEND WITH THE SUBSOIL RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 - c. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
7. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
 - a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A DESIGNATED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSIS.
 - b. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANUFACTURER'S SUBSTITUTIONS MUST BE SUBMITTED FOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
 - c. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH THICKNESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #20 MESH SIEVE AND 90 TO 100 PERCENT WILL PASS THROUGH A #60 MESH SIEVE.
 - d. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

H-5 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

DEFINITION:
CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES.

PURPOSE:
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SURFACES TO REDUCE ON AND OFF-SITE DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS.

CONDITIONS WHERE PRACTICE APPLIES:
AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

CRITERIA:

1. MULCHING: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION B-4-3 SEEDING AND MULCHING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE ANCHORED TO PREVENT BLOWING.
2. VEGETATIVE COVER: SEE SECTION B-4-4 TEMPORARY STABILIZATION.
3. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING COALS TO THE SURFACE. BEAN PLOWS OR WINNADOSS DO NOT USE. CHISEL-TYPE PLOWS SHOULD NOT BE USED. SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE DESIRED EFFECT.
4. IRRIGATION: SPRINKLE SITES WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED, BUT WATER MUST NOT BE IRRIGATED TO THE POINT THAT RUNS OCCUR.
5. BARBERS: SOUL BOARD FENCES, SILT FENCES, SNOW FENCES, BURIAL FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
6. CHEMICAL TREATMENT: USE OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE PLAN REVIEW AUTHORITY.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

Chief, Bureau of Highways _____ Date _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

10-23-17
10-23-19
10-23-19

Chief, Division of Land Development _____ Date _____

Chief, Development Engineering Division _____ Date _____

GLW
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DESIGNED BY: JRC
DRAWN BY: JRC
CHECKED BY: TMR
DATE: 5/7/2019
10/07/2019
4/21/20

REVISION: 1. Rev. leading area NW corner of warehouse
2. WAREHOUSE EXPANSION (95,277 SF)

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION:
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE:
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES:
TO THE SURFACE OF ALL PERMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA:

A. SEEDING

1. SPECIFICATIONS
 - a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL. ON ANY PROJECT, REFER TO TABLE 6.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
 - b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAW.
 - c. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USE. COMPARATIVES ABOVE 75 TO 90 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
 - d. SOIL MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
2. APPLICATION
 - a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
 - i. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1. PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING RATES AS APPROVED BY THE INSPECTOR.
 - ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A WEIGHTED ROLLER TO PROMOTE GOOD SEED TO SOIL CONTACT.
 - b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
 - i. CULTIPACKER SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
 - ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
 - c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
 - i. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHORUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE.
 - ii. APPLY USE OF GROUND AGRI-CULTURAL LIMESTONE (SEC. B-4-2) TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING. NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT HYDRATED LIME WHEN HYDROSEEDING.
 - iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERMISSION.
 - iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

B. MULCHING

1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
 - a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASURABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLLY, CANED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY FERTILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
 - b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM SPREAD SLURRY. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORM SPREAD SLURRY. WCFM INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS.
 - c. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN ADDITION TO SUSPENSION IN WATER UNDER Aeration AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
 - d. WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
 - e. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF 10 TO 15 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.5 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.
2. APPLICATION
 - a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
 - b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 2 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
 - c. WOOD CELLULOSE FIBER MULCH AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. THE SUBSOIL MUST BE MOIST. WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
3. ANCHORING
 - a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:
 - i. TO A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF SOIL MUST BE ANCHORED FOLLOWING THE CONTOUR, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.
 - ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
 - iii. SYNTHETIC BINDERS SUCH AS ACRYLIC DER (AGRO-TACK), UCA-70, PETROSEAL, TERESA TACK II, TERESA MANUFACTURER, ARE APPLICABLE AT 25' MINIMUM INTERVALS, WITH LOWER ENDERS CURLED UPWARD AT 2" IN ELEVATION.
 - b. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHING STRUCTURE.
4. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
5. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE APPLICATED AT 25' MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPWARD AT 2" IN ELEVATION.
6. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUDES):
 - a. - USE I AND II MARCH 1 - JUNE 15
 - b. - USE III AND III OCTOBER 1 - APRIL 30
 - c. - USE IV MARCH 1 - MAY 31
7. A COPY OF THIS PLAN, THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THIS SITE IS ACTIVE.

DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT THE RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Signature: Shawn P. Rafferty
Date: 10/8/19

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17285

Signature: John P. Blum
Date: 10/8/19

DESIGNED BY: JRC
DRAWN BY: JRC
CHECKED BY: TMR
DATE: 5/7/2019
10/07/2019
4/21/20

REVISION: 1. Rev. leading area NW corner of warehouse
2. WAREHOUSE EXPANSION (95,277 SF)

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION:
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE:
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA:

1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-2.3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

No.	SPECIES	APPLICATION RATE (lb/oc)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-10-10)		LIME RATE
					(lb/oc)	(lb/oc)	
1	ANNUAL REGRESS	40 lb/oc	Mar. 1 to May 15	0.5 INCHES	436 lb/oc (10 lb / 1,000 sq ft)	2 tons/oc (90 lb / 1,000 sq ft)	
2	PEARL MILLET	20 lb/oc	May 16 to Oct 31	0.5 INCHES			

SEDIMENT CONTROL NOTES

1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LODG AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOURS NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:
 - a. PRIOR TO THE START OF EARTH DISTURBANCE.
 - b. UPON COMPLETION OF THE INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - c. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
 - d. PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - a. 3 CALENDAR DAYS AS TO THE SURFACE OF ALL PERMETER CONTROLS, Dikes, SNALES, DITCHES, PERMETER SLOPES, AND ALL SLOPES STEEPER THAN 2:1 TO 3:1.
 - b. 7 CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN. TEMPORARY STABILIZATION (SEC. B-4-4) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >5% OF CUT AND/OR FILL. STOCKPILES (SEC. B-4-4) IN EXCESS OF 20 FT MUST BE BENCHED WITH STABLE OUTLET, ALL CONCENTRATED FLOW, STEEP SLOPE, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6).
5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

SITE ANALYSIS:

TOTAL AREA OF SITE	78,679 AC.
AREA DISTURBED	2,607 AC.
AREA TO BE ROOFED OR PAVED	0.061 AC.
AREA TO BE VEGETATIVELY STABILIZED	0.061 AC.
AREA OF REMAINING FOREST	19.21 AC.
TOTAL CUT	0 CY
TOTAL FILL	0 CY
OFF-SITE WASTE/BORROW AREA LOCATION	NA

PERMANENT SEEDING SUMMARY

MIX NO.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)		LIME RATE	REMARKS
					(lb/oc)	(lb/oc)		
4	Deergrass (<i>Dactyloctenium</i>) • Creeping Red Fescue • Virginia Wild Rye (<i>Elymus virginicus</i>) or Canada Wild Rye (<i>Elymus canadensis</i>)	15 lb/oc 20 lb/oc 5 lb/oc	Mar. 1 to May 15 May 16 to Jun 15	1/4 - 1/2 IN.	1.0 lb/1000 sq ft (45 lb/acre)	80 lb/1000 sq ft	See notes	1 & 2
8	Tall Fescue blend of 4 • 3 cultivars (see note#3)	100 lb/oc	Mar. 1 to Oct 15 Aug. 15 to Oct 15	1/4 - 1/2 IN.	1.0 lb/1000 sq ft (45 lb/acre)	90 lb/1000 sq ft	See notes	1, 3 & 4

GENERAL SPECIFICATIONS

1. CLASS OF TURFGRASS SOIL MUST BE MARYLAND STATE CERTIFIED. SOIL LABELS MUST BE MADE AVAILABLE TO THE USER FOR EXAMINATION AND INSPECTION.
2. SOIL MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GRASS AND THAT BROKEN PAWS AND OTHER DEBRIS REMOVED FROM THE CUT. MEASUREMENT SHALL BE TAKEN AT THE POINT OF CUTTING. THE CUTTING DEPTH SHALL BE 1/2 INCH DEEPER THAN THE CUTTING DEPTH.
3. STANDARD SIZE SECTIONS OF SOIL MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
4. SOIL MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
5. SOIL MUST BE HARVESTED, STORED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOIL NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
6. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY BRIGRATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOIL.
7. LAY THE FIRST ROW OF SOIL IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY REACHED AGAINST EACH OTHER. STAGER LATERAL JOINTS TO PROMOTE UNIFORM GROWTH AND STRENGTH.
8. ENSURE THAT SOIL IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT Voids WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
9. ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, NETTING IS TO BE INSTALLED TO THE CONTOUR AND WITH STAGGERED JOINTS. ROLL AND TAMP PEG OR OTHERWISE SECURE THE SOIL TO PREVENT SLOPPAGE ON SLOPES. ENSURE SOIL CONTACT EXISTES BETWEEN SOIL ROWS AND THE UNDERLIEING SOIL SURFACE.
10. WATER THE SOIL IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOIL PAD AND SOIL SURFACE BELOW THE SOIL ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOIL WITHIN EIGHT HOURS.

5. SOIL MAINTENANCE

- a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER SOIL DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN WATER SOIL TO A DEPTH OF 4 INCHES. WATER SOIL DURING THE HEAT OF THE DAY TO PREVENT WILTING.
- b. AFTER THE FIRST WEEK, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. WATERING POSSIBLE LAY SOIL WITH LONG LINES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS TO PREVENT Voids WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- c. WATER THE SOIL IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOIL PAD AND SOIL SURFACE BELOW THE SOIL ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOIL WITHIN EIGHT HOURS.

PREPARED FOR: HANT LANDOVER DIVISION
1385 GANCOCK STREET, 10TH FLOOR
QUINCY, MA 02169
ATTN: REDAS ZAKALSKIS
TEL. (617) 792-7880

APPLICANT: klp
DATE: 5/7/2019

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17285
EXPIRATION DATE: MARCH 17, 2021

Signature: John P. Blum
Date: 10/8/19

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION:
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE:
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES:
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA:

A. SEED MIXTURES

1. GENERAL USE
 - a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE CONSTRUCTION PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURES, APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
 - c. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TEST TESTING AGENCY.
 - d. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FROM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (50 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
2. TURFGRASS MIXTURES
 - a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
 - b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURES, APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE. FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. BRIGGATE REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE. FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS/PERENNIAL RYE SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE. FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES CERTIFIED TALL FESCUE CULTIVARS TO 10 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS TO 5 PERCENT. SEEDING RATE: 8 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
 - iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE. FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY INTENSIVE MANAGED TURF AREA. MIXTURE INCLUDES CERTIFIED KENTUCKY BLUEGRASS CULTIVARS TO 10 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET.

NOTES:

1. SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRICULTURE MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND."
2. CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.
3. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES:
 - a. WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES: 5B, 6A)
 - b. CENTRAL MD: MARCH 15 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 6B)
 - c. SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)
4. TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PROVIDE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1

LOG OF BORING NO. SWM-10

Sheet 1 of 1

PROJECT: Exeter Industrial Park
 PROJECT NO: 01829
 PROJECT LOCATION: Howard County, Maryland
 DATE STARTED: May 7, 2002
 DATE COMPLETED: May 7, 2002
 DRILLING CONTRACTOR: Geo-Technology Associates, Inc.
 DRILLER: Geo-Technology Associates, Inc.
 DRILLING METHOD: HSA
 SAMPLING METHOD: Split Spoon

WATER LEVEL: Dry Dry
 DATE: 05/07/02 05/09/02
 CAVED BY: R.D. 7.8
 GROUND SURFACE ELEVATION: 286.3
 DATUM: MSL
 EQUIPMENT: CME 45
 LOGGED BY: S. Cunningham
 CHECKED BY: B.D.J.P.L.

DEPTH (ft)	USGS LOGS	DESCRIPTION	REMARKS
1 0.0 3 1-2 3	SM	Brown to light brown, moist to dry, very loose to medium dense, coarse to fine SAND, some SIL.	Topsoil: 12.0 in.
2 2.5 18 9-10-12 32	SM	AASHTO: A-2-4	Water Not Encountered While Drilling
3 5.0 18 10-15-17 32	ML	Light gray, moist, hard, Clayey SILT, some medium to fine Sand.	
4 8.5 4 7-9 18	SM	AASHTO: A-4	
5 13.5 18 8-11 19	SM	Light brown, dry, medium dense, medium to fine SAND, some SIL.	
102.8	SP	Light brown, dry, medium dense, fine SAND, trace SIL.	
109.2	SP	AASHTO: A-3 Bottom of Hole at 150.0 Feet.	

LOG OF BORING NO. SWM-10

Sheet 1 of 1

LOG OF BORING NO. SWM-12

Sheet 1 of 1

PROJECT: Exeter Industrial Park
 PROJECT NO: 01829
 PROJECT LOCATION: Howard County, Maryland
 DATE STARTED: May 2, 2002
 DATE COMPLETED: May 2, 2002
 DRILLING CONTRACTOR: Geo-Technology Associates, Inc.
 DRILLER: Geo-Technology Associates, Inc.
 DRILLING METHOD: HSA
 SAMPLING METHOD: Split Spoon

WATER LEVEL: Dry Dry
 DATE: 05/07/02 05/07/02
 CAVED BY: R.D. 7.8
 GROUND SURFACE ELEVATION: 202.1
 DATUM: MSL
 EQUIPMENT: CME 45
 LOGGED BY: S. Cunningham
 CHECKED BY: B.D.J.P.L.

DEPTH (ft)	USGS LOGS	DESCRIPTION	REMARKS
1 0.0 3 1-2 4	ML	Light brown, moist, very loose, SILT & CLAY, some medium to fine Sand.	Topsoil: 10.0 in.
2 2.5 18 5-7 14	SM	AASHTO: A-4	Water Not Encountered While Drilling
3 5.0 18 4-9 9 19	SM	AASHTO: A-2-4	
4 8.5 18 12-13-21 33	SM	Light brown, dry, dense, fine SAND, trace SIL.	
5 13.5 18 10-12 34	SP	Light brown, dry, dense, fine SAND, trace SIL.	
187.1	SP	AASHTO: A-3 Bottom of Hole at 150.0 Feet.	

LOG OF BORING NO. SWM-12

Sheet 1 of 1

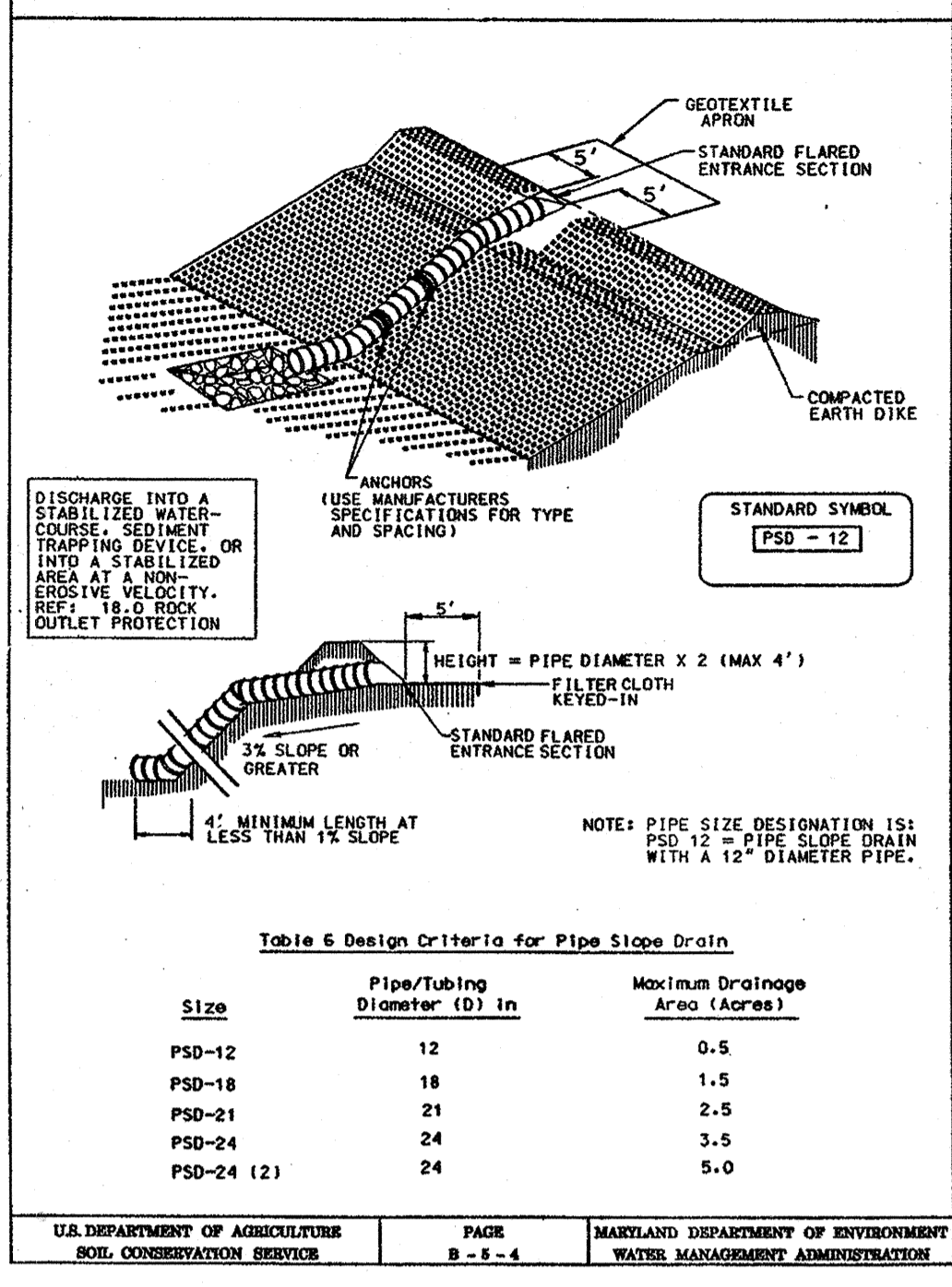
PIPE SLOPE DRAIN

Construction Specifications - Pipe Slope Drain

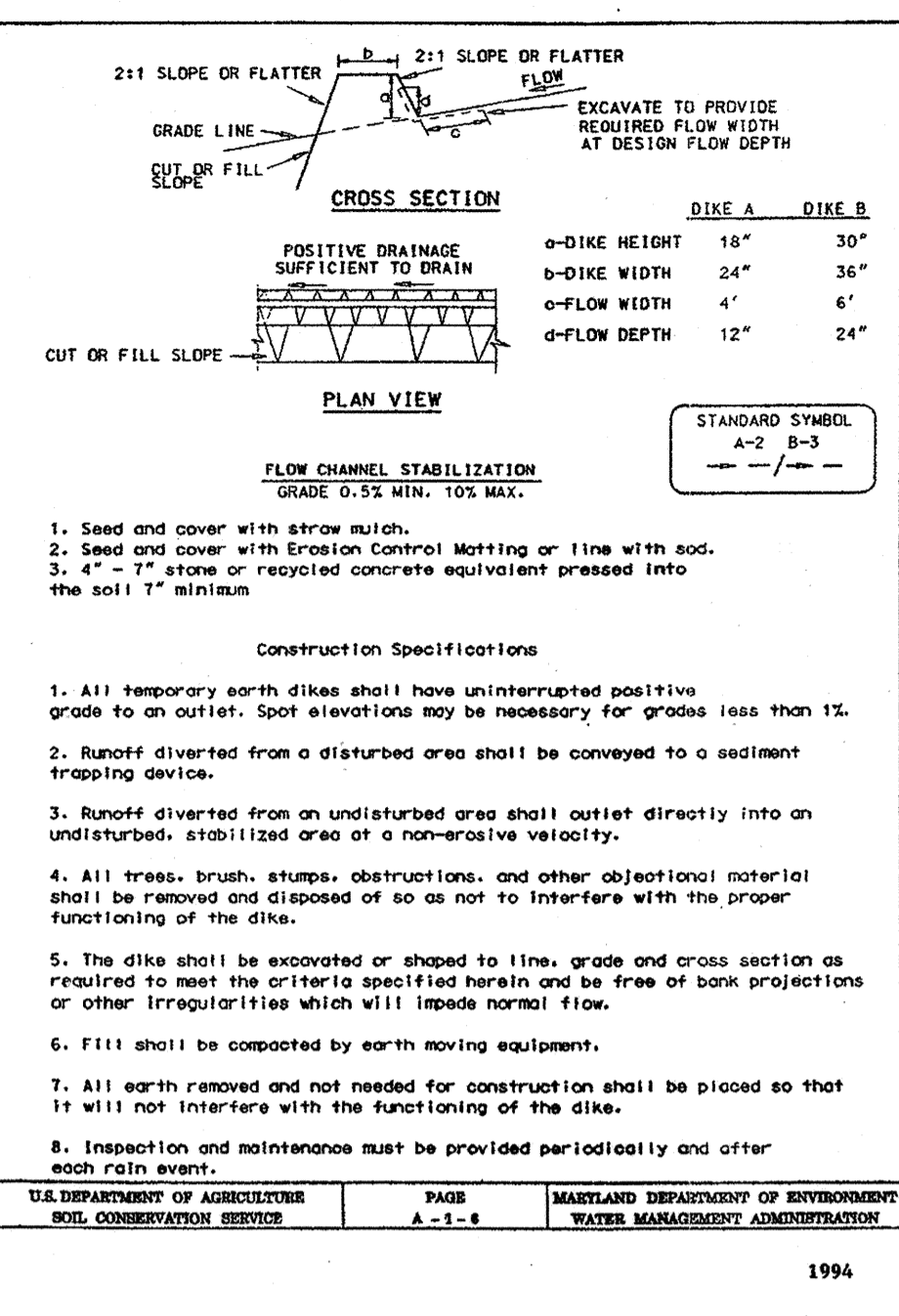
- The Pipe Slope Drain (PSD) shall have a slope of 3 percent or steeper.
- The top of the earth dike over the inlet pipe shall be at least 2 times the pipe diameter measured at the invert of the pipe.
- Flexible tubing is preferred. However, corrugated metal pipe or equivalent PVC pipe can be used. All connections shall be watertight.
- A flared end section shall be attached to the inlet end of pipe with a watertight connection. Filter cloth shall be placed under the inlet of the pipe slope drain and shall extend out 5' from the inlet. The filter cloth shall be "keyed in" on all sides.
- The Pipe Slope Drain shall be securely anchored to the slope by staking of the grommets provided. Spacing for anchors shall be as provided by manufacturer's specification. In no case shall less than two (2) anchors be provided, equally spaced along the length of pipe. These details shall be provided by pipe suppliers.
- The soil around and under the pipe and end section shall be hand tamped in 4 inch lifts to the top of the earth dike.
- All pipe connections shall be watertight.
- Whenever possible where a PSD drains an undisturbed area, it shall outlet into a sediment trap or basin. If this is not possible then the slope drain will discharge into a stable conveyance that leads to a sediment trap or basin. When discharging into a trap or basin the PSD shall discharge at the same elevation as the wet pool elevation. The discharge from the PSD must be as far away from the sediment control outlet as possible.
- When the drainage area is stabilized, the PSD shall discharge onto a stabilized area of a non-erodible velocity.
- Inspection and any required maintenance shall be performed periodically and after each rain event.
- The inlet must be kept open at all times.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE B-8-4A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

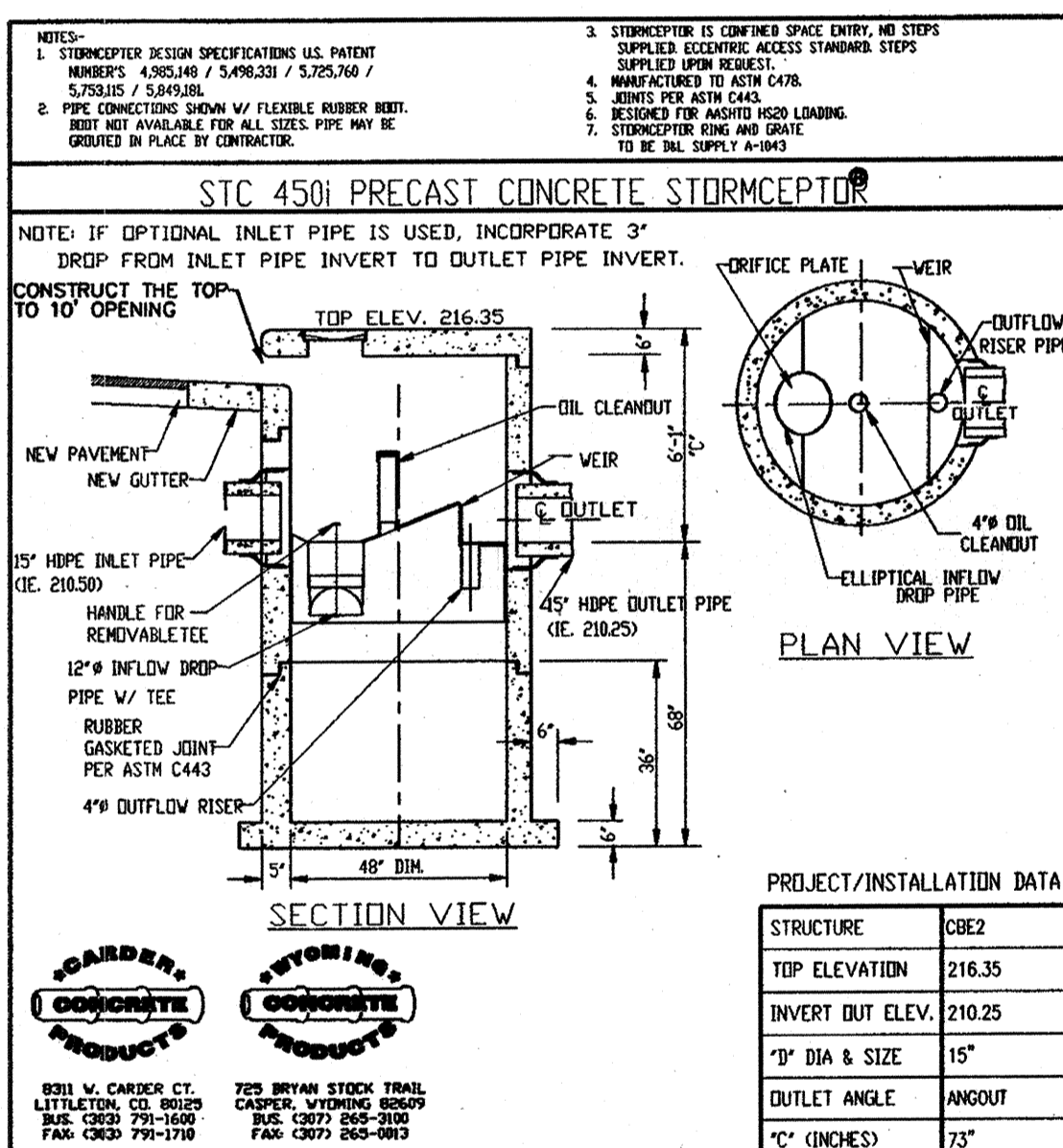
DETAIL 4 - PIPE SLOPE DRAIN



DETAIL 1 - EARTH DIKE

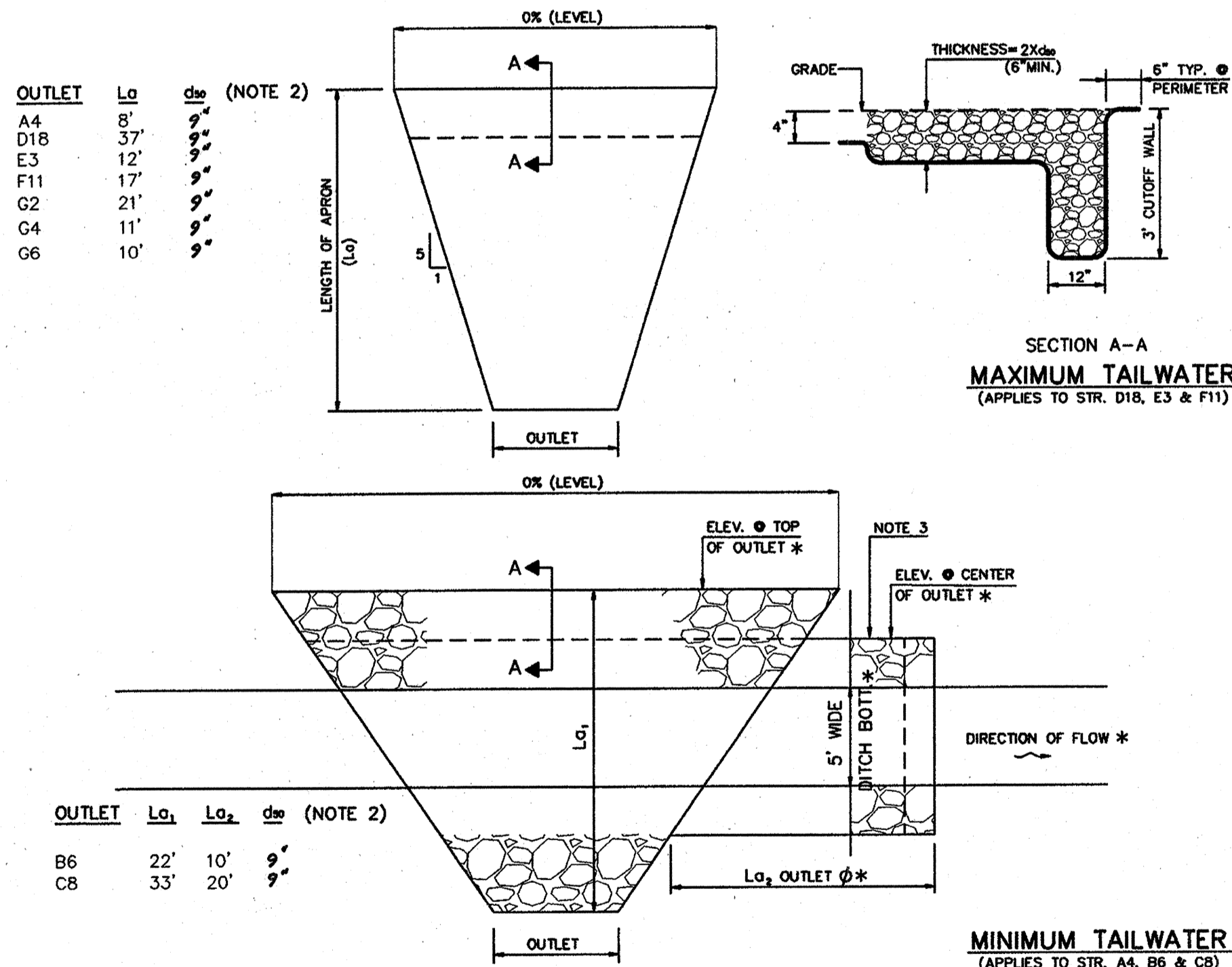


U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE A-1-1 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



2 MODIFIED STC 450i STORMCEPTOR 'E2'

SCALE: NTS

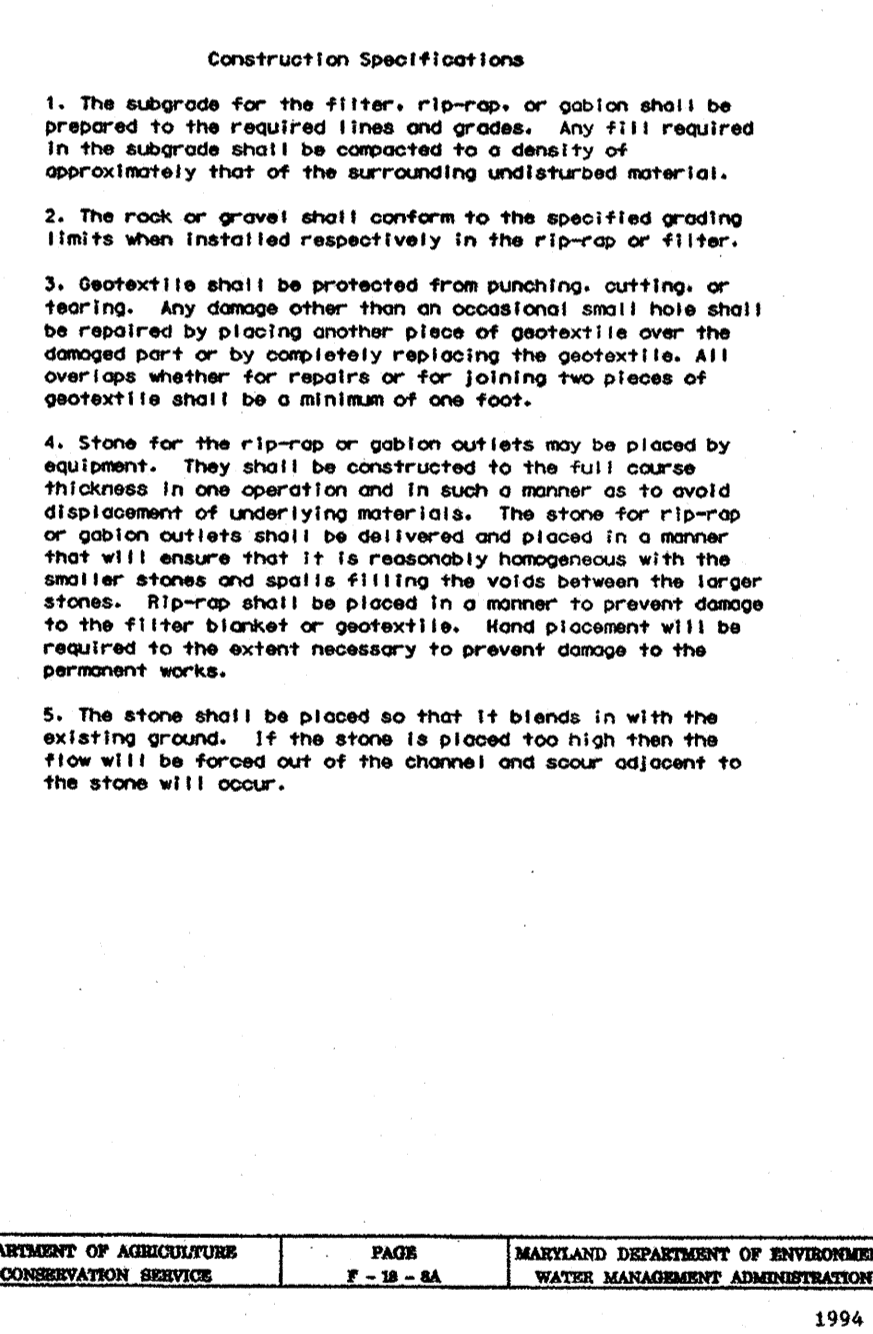


1 OUTLET PROTECTION DETAIL

SCALE: NTS

- NOTE:
- EITHER LA, OR LA2 APPLIES DEPENDING ON WHETHER PIPE DISCHARGES INTO A DITCH.
 - APPROXIMATELY 50% OF THE GRAVEL CRUSHED STONE SHALL BE GREATER & 50% SMALLER THAN TWICE THE SIZE SHOWN. 100% OF THE STONE SHALL BE SMALLER THAN TWICE THE SIZE SHOWN.
 - THOSE PIPES OUTLETTING INTO A DITCH (A4, B6, C8) STONE WILL EXTEND ACROSS THE DITCH & UP THE SLOPE TO ELEVATION OF THE TOP OF THIS OUTLET PIPE AND DOWNSTREAM AT LENGTH (Lo2) INDICATED.

ROCK OUTLET PROTECTION 1

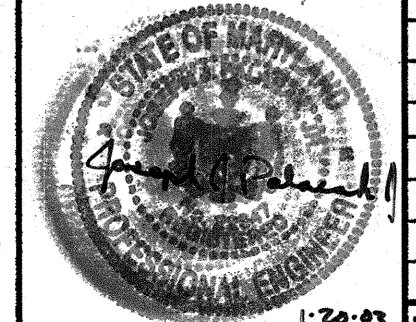


U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-18-8A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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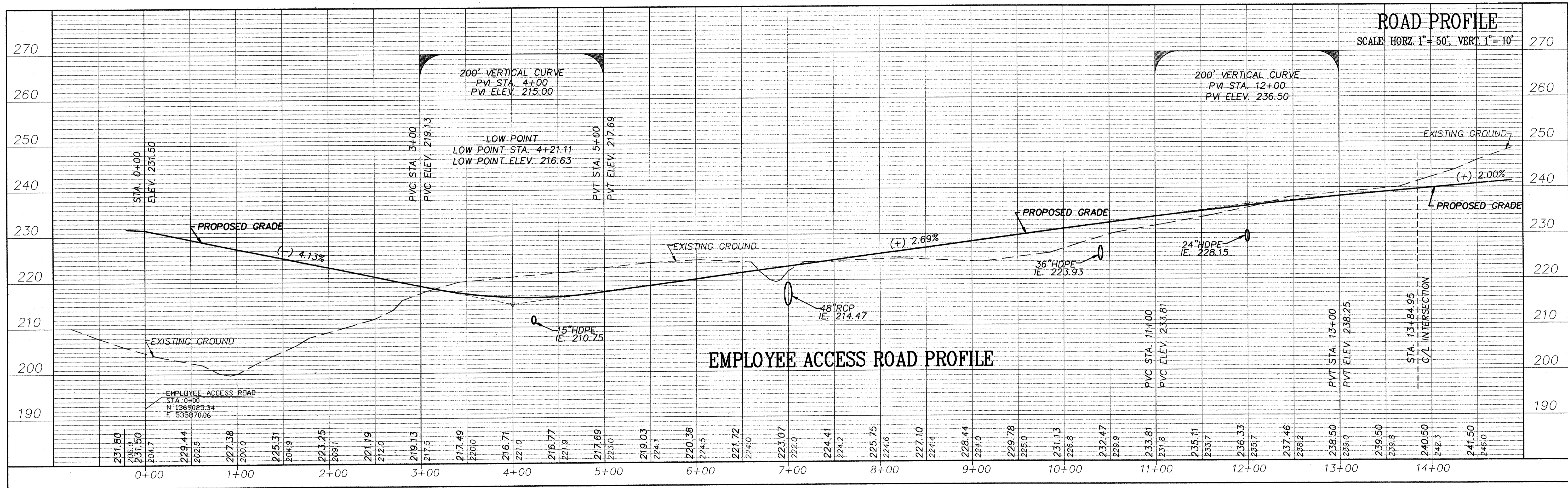
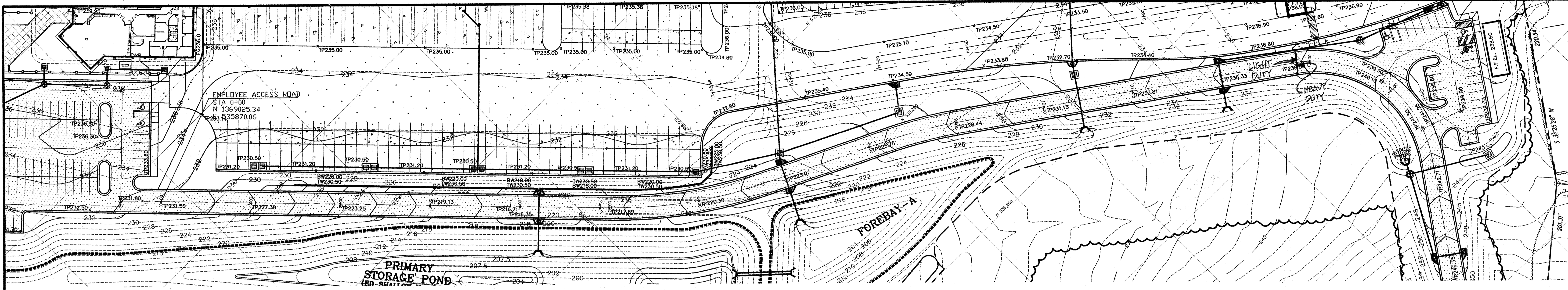
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	4-21-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
**EROSION CONTROL
 SPECIFICATIONS & DETAILS**
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
N.T.S.	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO. 47 of 86
	48	C6.3B

SDP-03-44

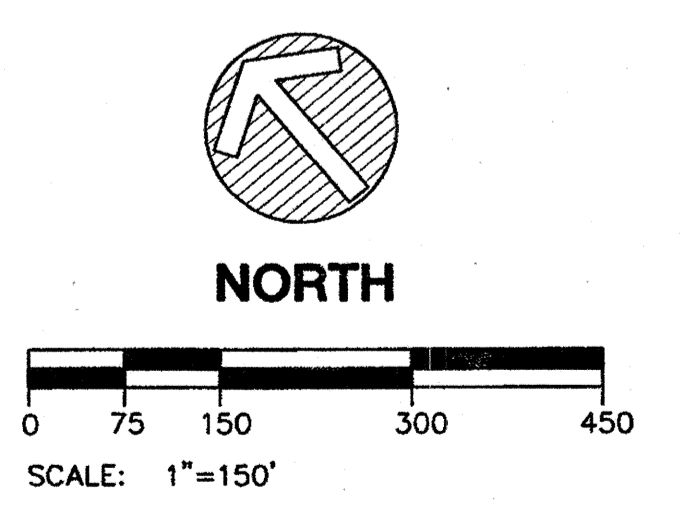


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[Signature] 2/6/05
 Chief, Development Engineering Division Date

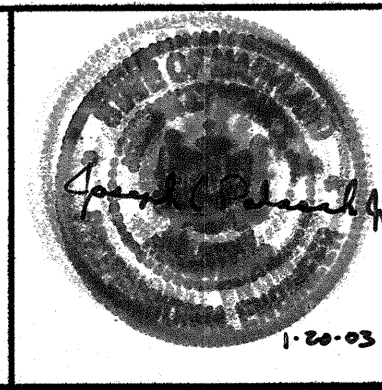
[Signature] 2/6/05
 Chief, Division of Land Development Date

[Signature] 2/6/05
 Director Date



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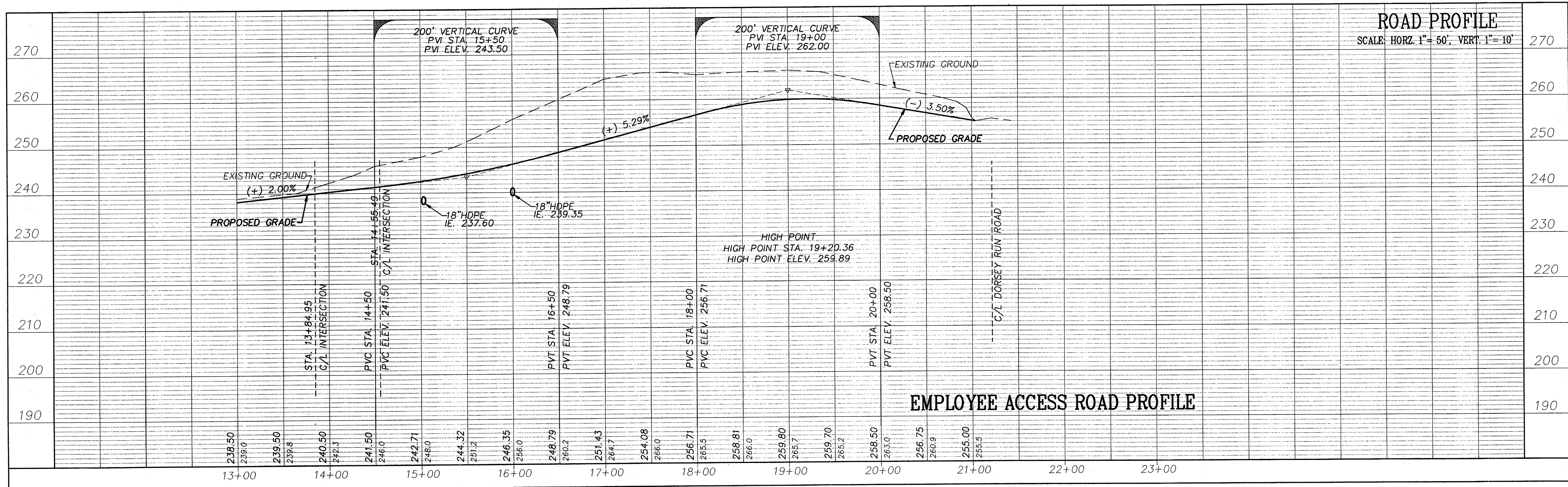
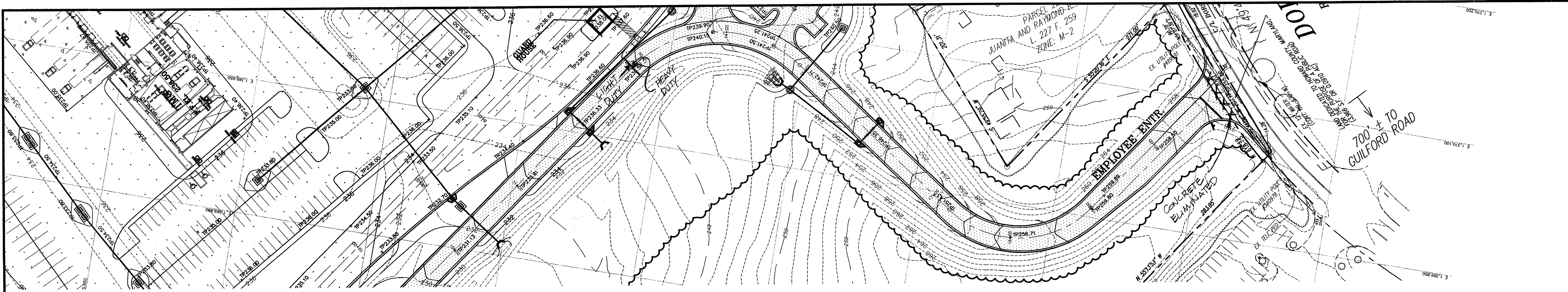
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4-21-04		AG BULLIT		

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GULFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
**EMPLOYEE ACCESS ROAD
 PROFILE**
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 49 of 86
		C7.1

SDP-03-44



ROAD PROFILE
SCALE: HORZ. 1" = 50', VERT. 1" = 10'

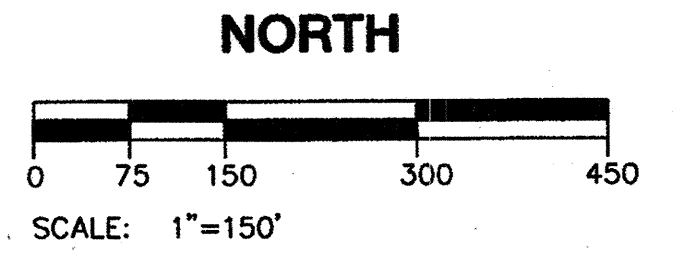
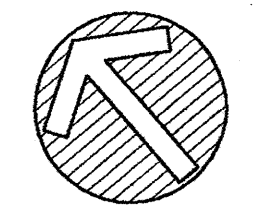
EMPLOYEE ACCESS ROAD PROFILE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/10/03
Chief, Development Engineering Division Date

[Signature] 2/6/03
Chief, Division of Land Development Date

[Signature] 2/4/03
Director Date



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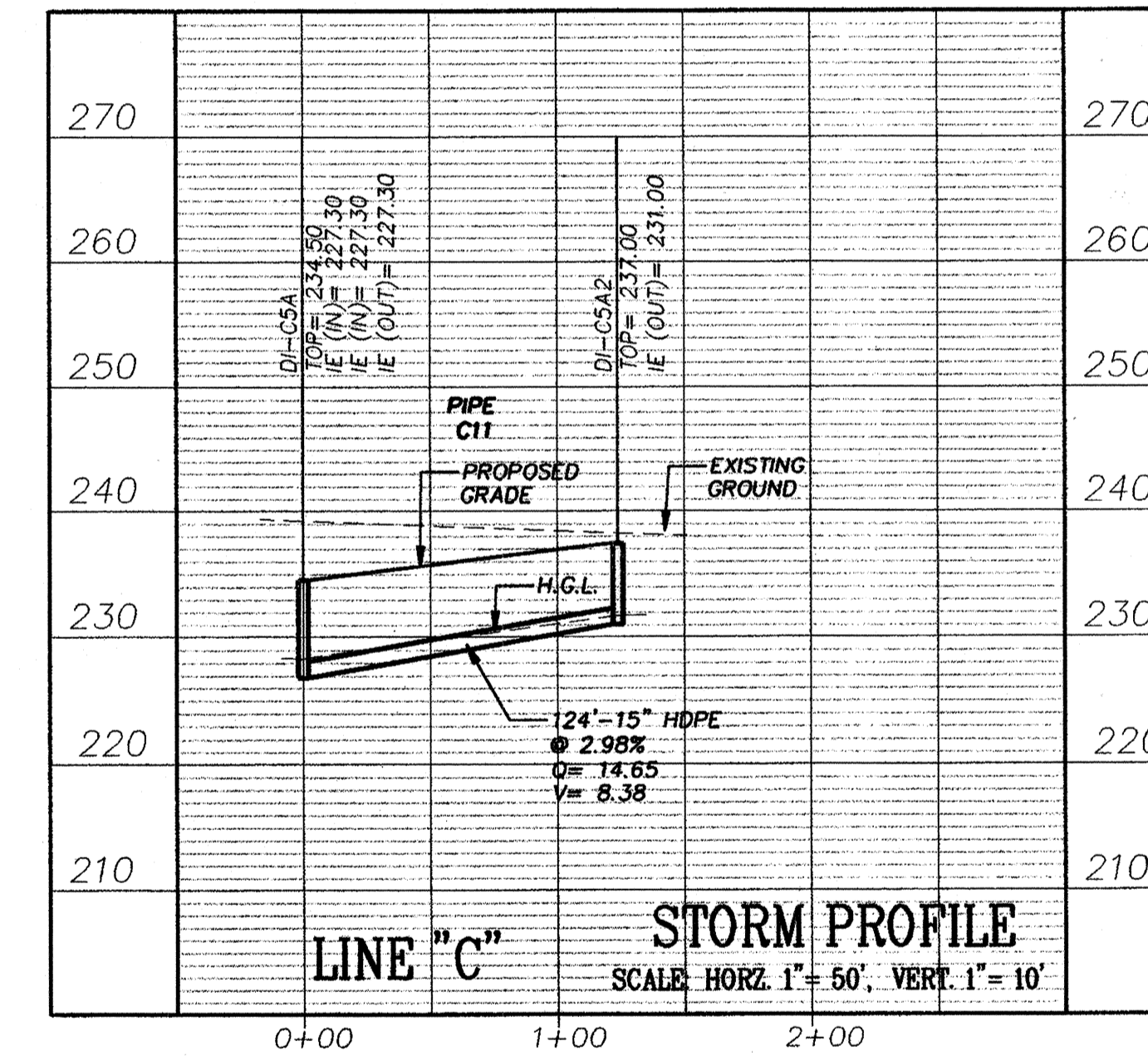
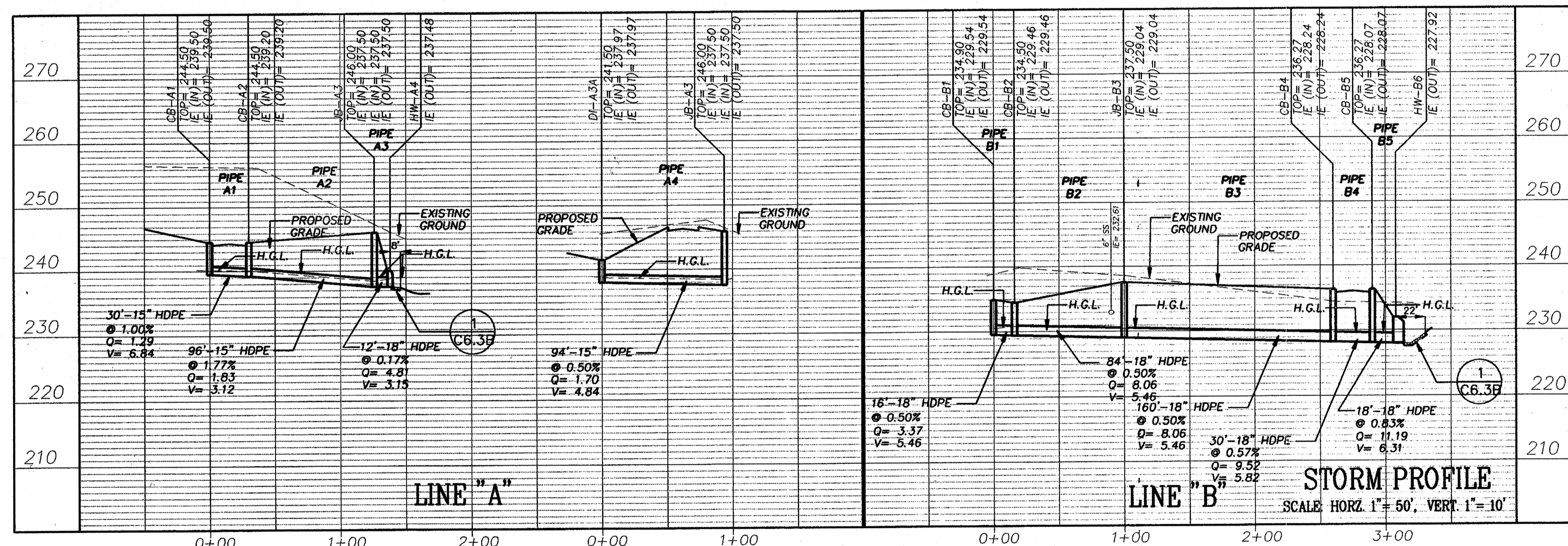
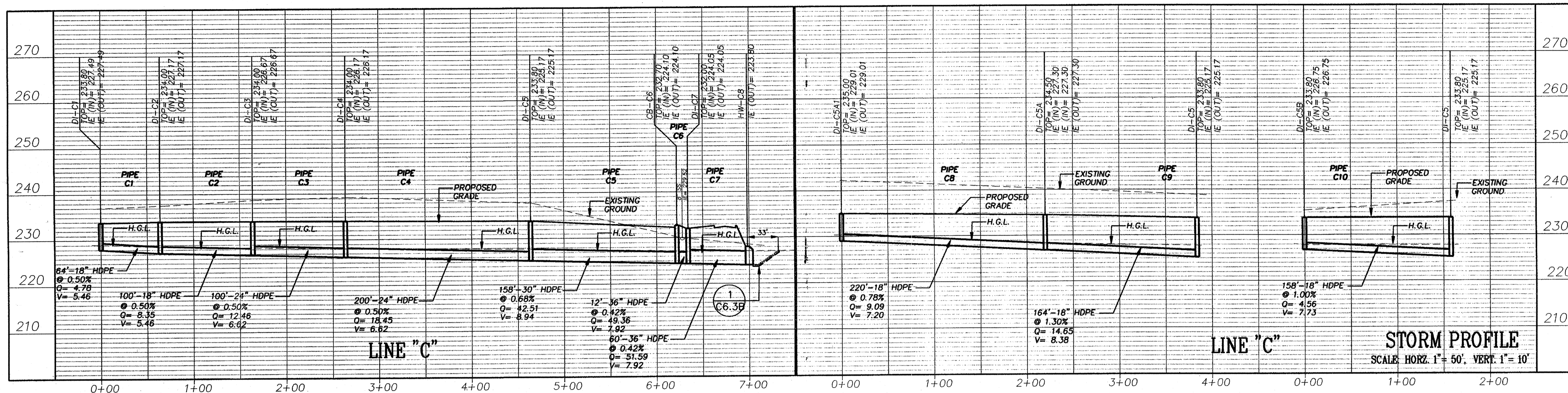
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A-21-04				AS BUILT

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**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
**EMPLOYEE ACCESS ROAD
PROFILE**
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 50 of 86 C7.2

SDP-03-44



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division Date 2/6/03
 Chief, Division of Land Development Date 2/6/03
 Director Date 2/6/03

NOTE
 Q & V (STORMWATER FLOW-CFS & VELOCITY-FT/SEC) ARE FOR 10 YEAR STORM EVENTS.

THE FACILITY GROUP
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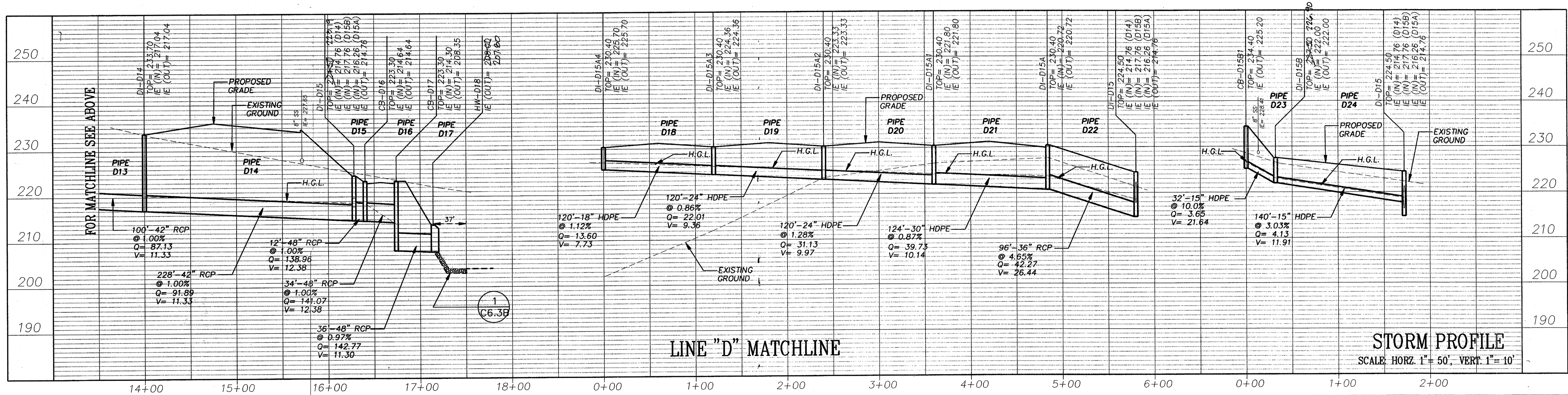
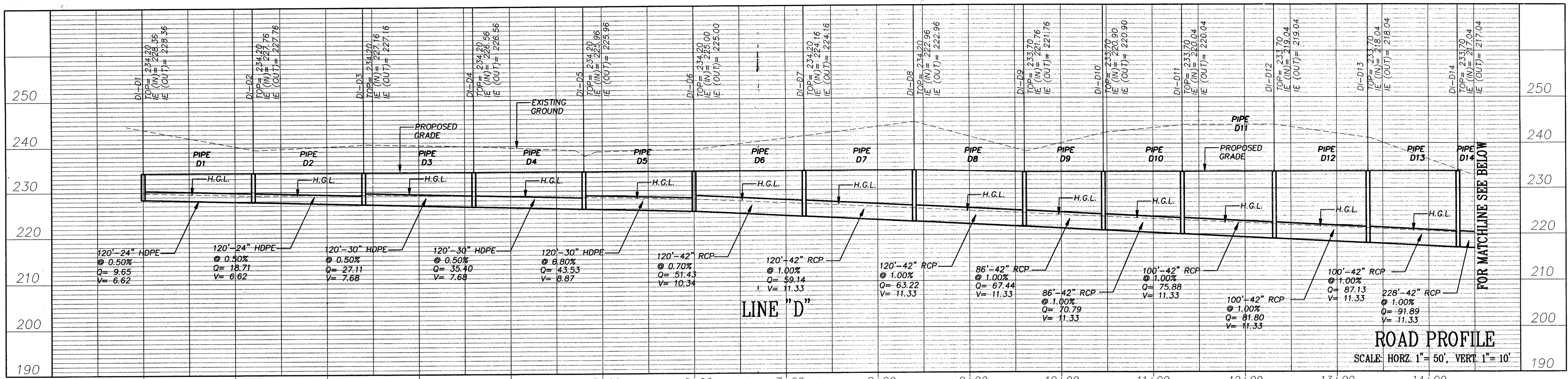
PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
STORM PROFILES
 HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE: AS_SHOWN	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 51 of 86 C81

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 User: JAC
 Time: 11:23:57

SDP-03-44



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
Chief, Development Engineering Division Date

[Signature] 2/6/03
Chief, Division of Land Development Date

[Signature] 2/6/03
Director Date

NOTE
Q & V (STORMWATER FLOW-CFS & VELOCITY-FT/SEC) ARE FOR 10 YEAR STORM EVENTS.

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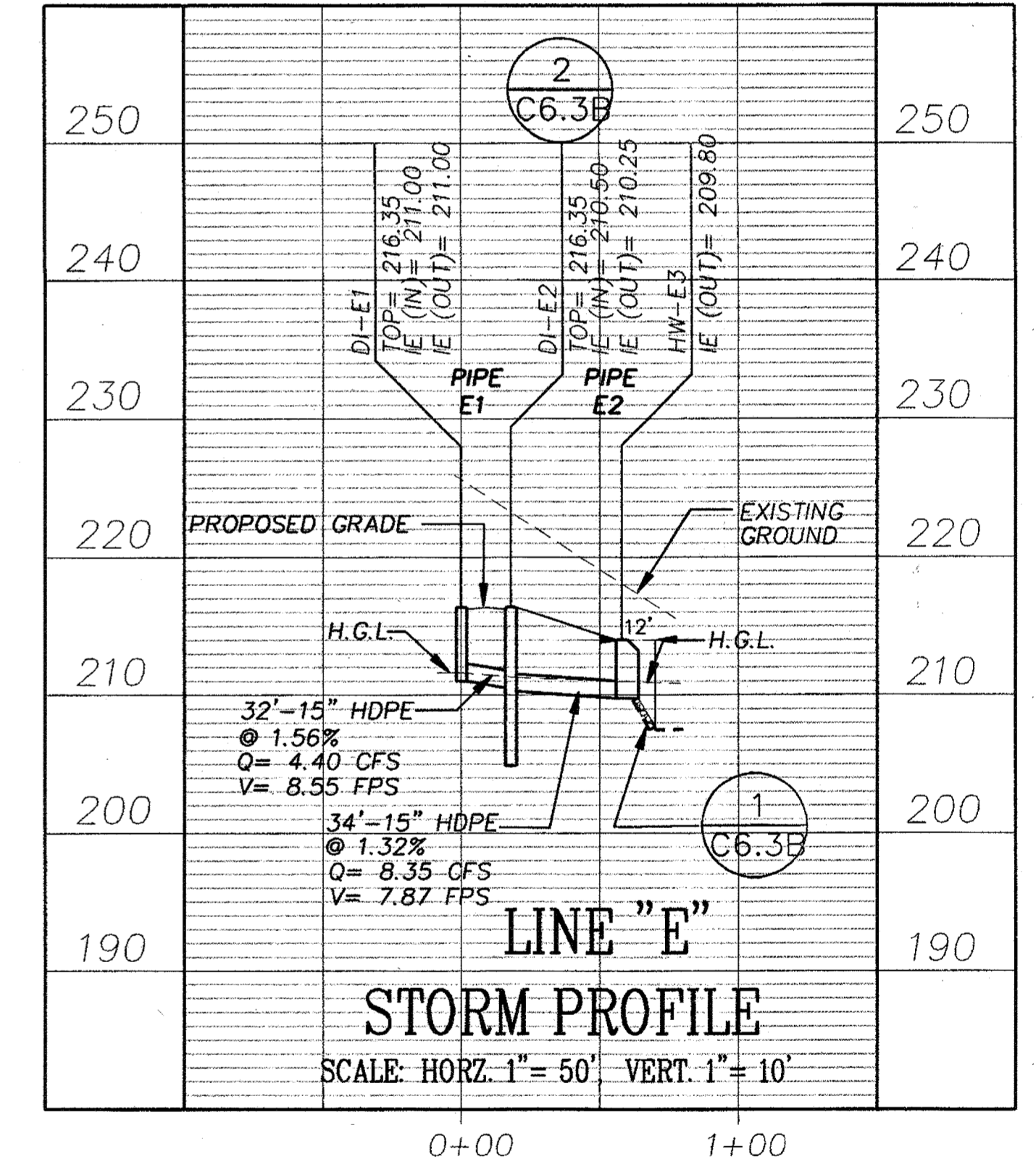
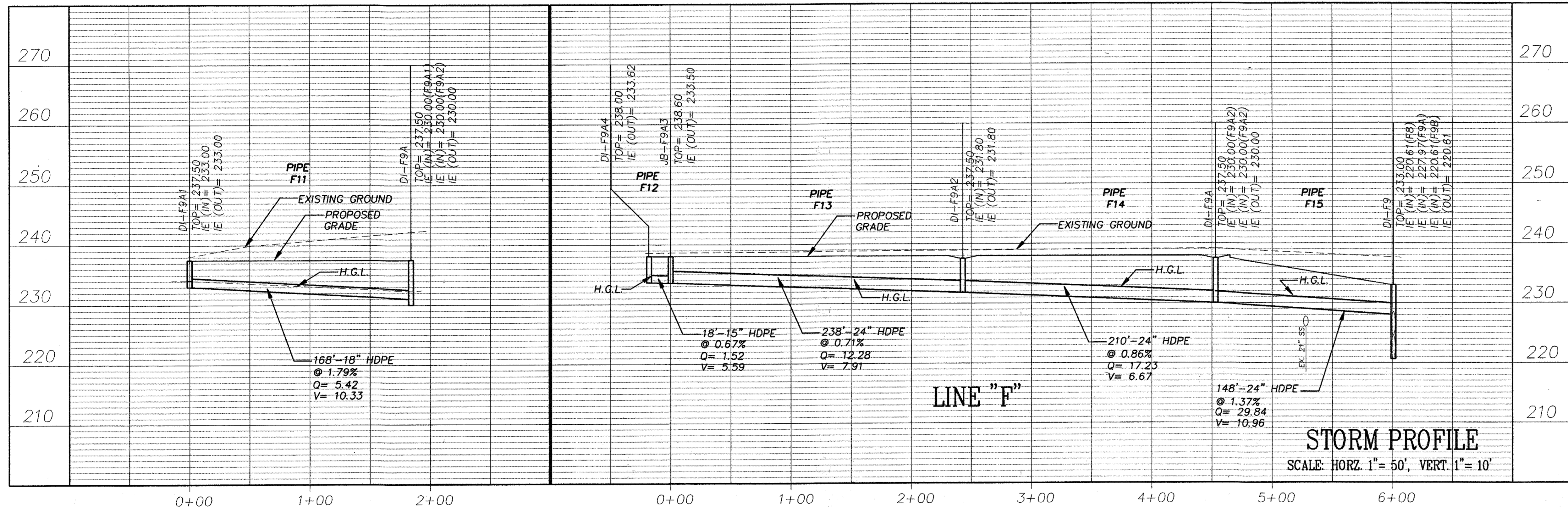
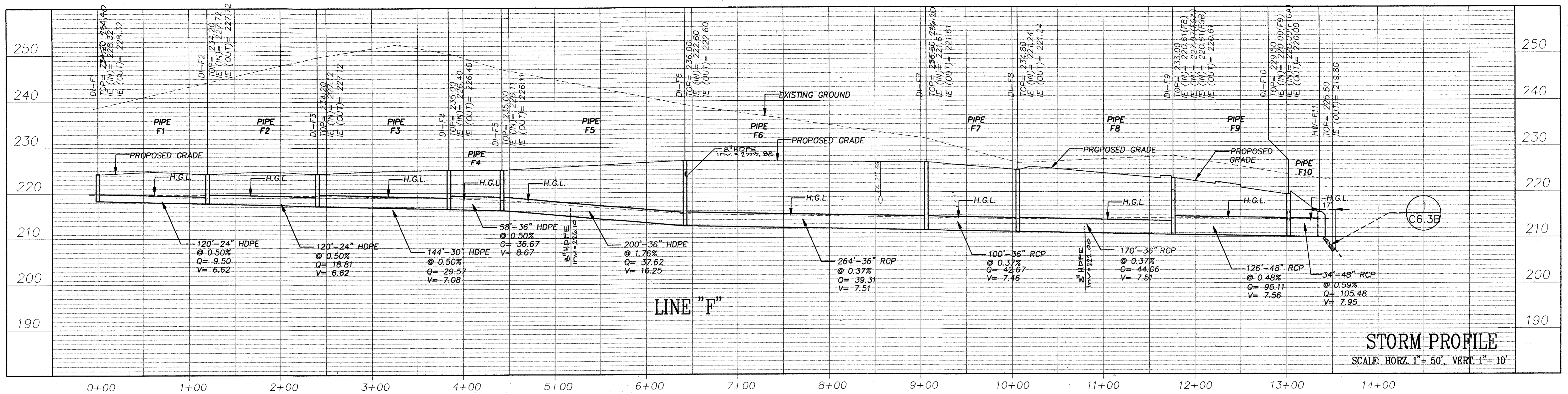
MARK DATE BY MGR RELEASE
4.21.04 AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GULFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
STORM PROFILES
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: AS_SHOWN	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 52 of 86 C8.2

DRAWING: P:\Projects\02027\Engineer\Sheet\SDP03.CAD
USER: MGC
DATE: 1/23/03
TIME: 11:23:29



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/6/03

Chief, Division of Land Development: *[Signature]* Date: 2/6/03

Director: *[Signature]* Date: 2/6/03

NOTE
Q & V (STORMWATER FLOW-CFS & VELOCITY-FT/SEC) ARE FOR 10 YEAR STORM EVENTS.

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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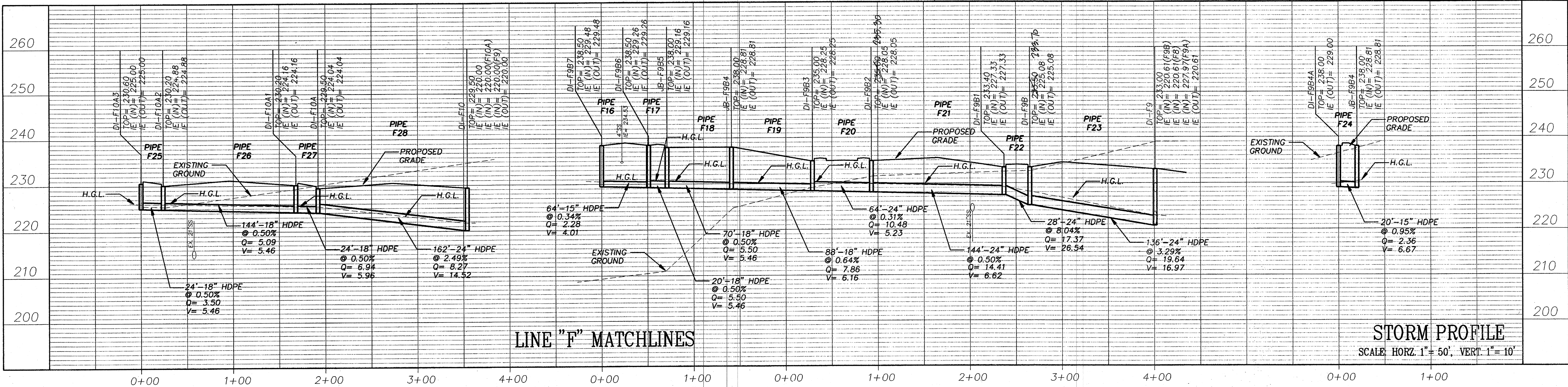
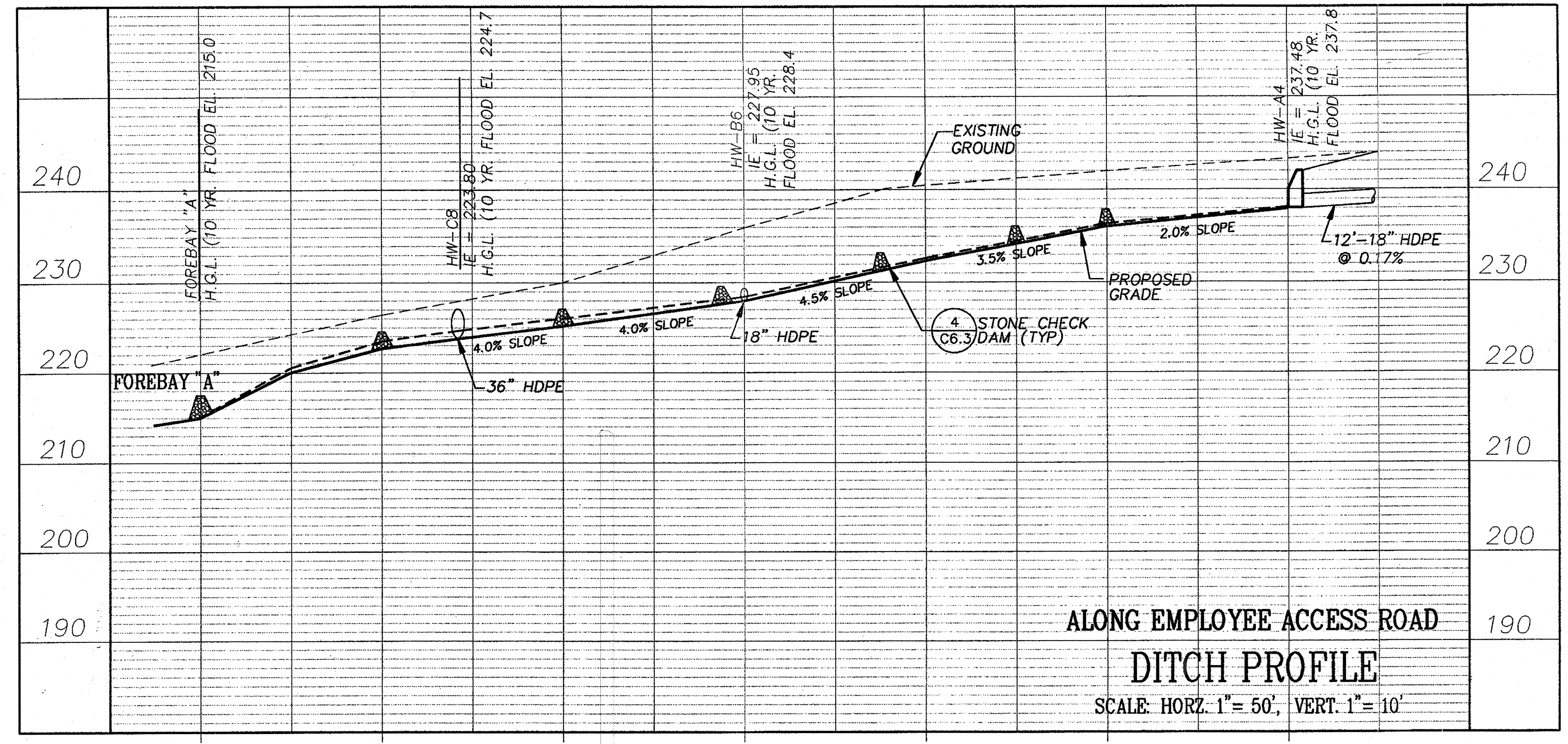
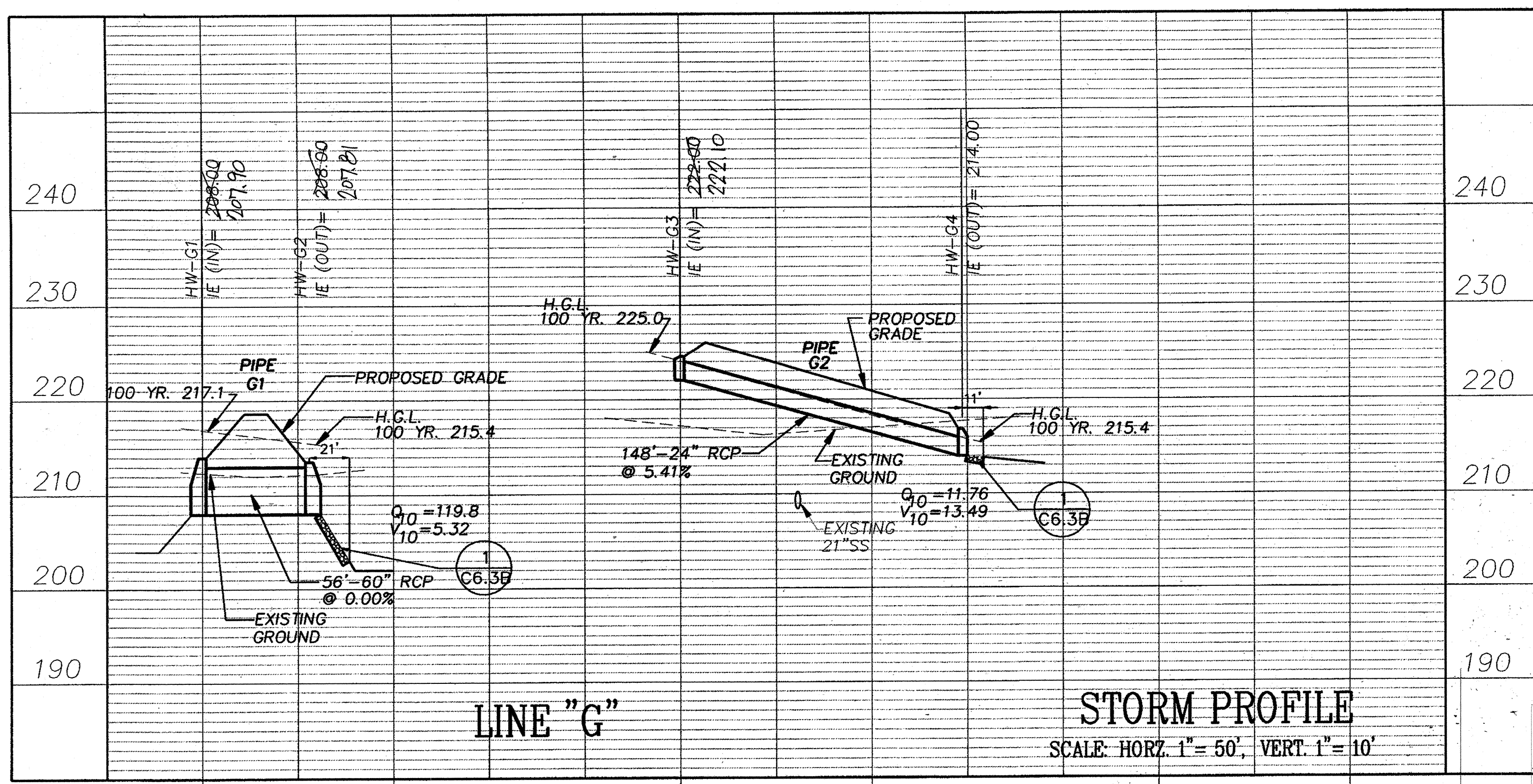
MARK	DATE	BY	MGR	RELEASE
Δ	12.12.19	3+		Warehouse Expansion (95,277 SF)
	4-21-03			As BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
STORM PROFILES
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: AS_SHOWN
ZONING: M-2
PROJECT NO. 02027
DATE: TAX MAP - GRID 48
SHEET NO. 53 of 86
C8.3

DRAWING: P:\Projects\02027\Engine\plan\sheds\02027033.DWG
SCALE: H = 1/8" = 1'-0"
DATE: 1/17/03
TIME: 14:53:14



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division: *[Signature]* 2/6/03

Chief, Division of Land Development: *[Signature]* 2/6/03

Director: *[Signature]* 2/6/03

NOTE
Q & V (STORMWATER FLOW-CFS & VELOCITY-FT/SEC) ARE FOR 10 YEAR STORM EVENTS.

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
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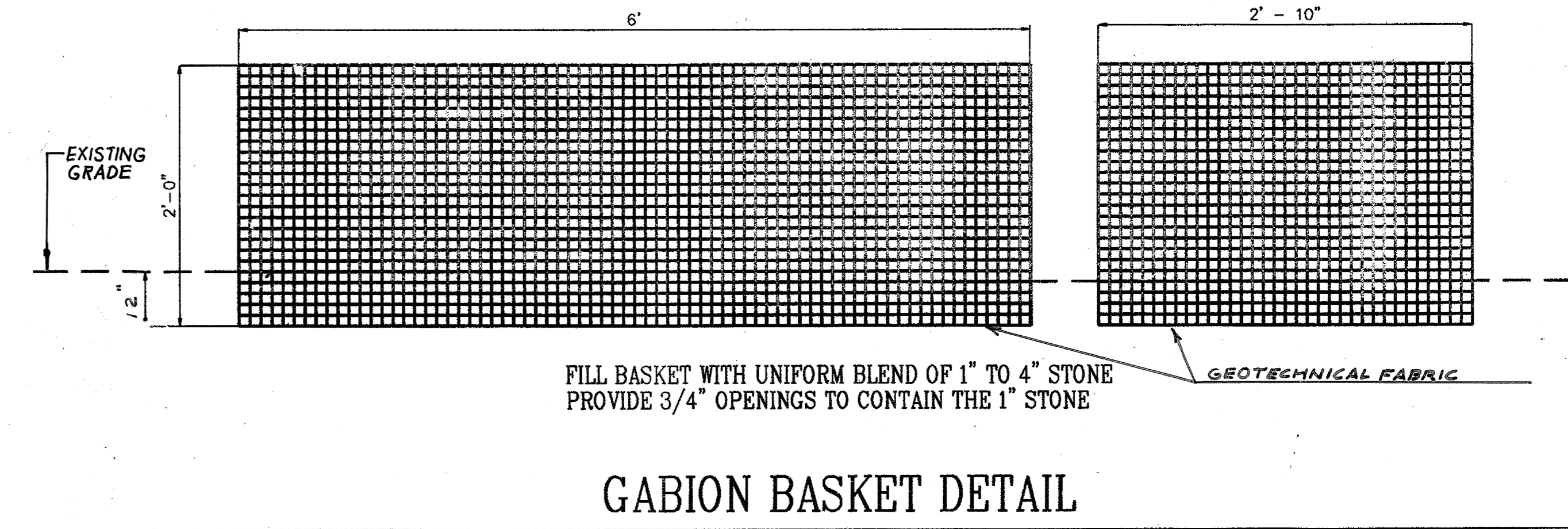
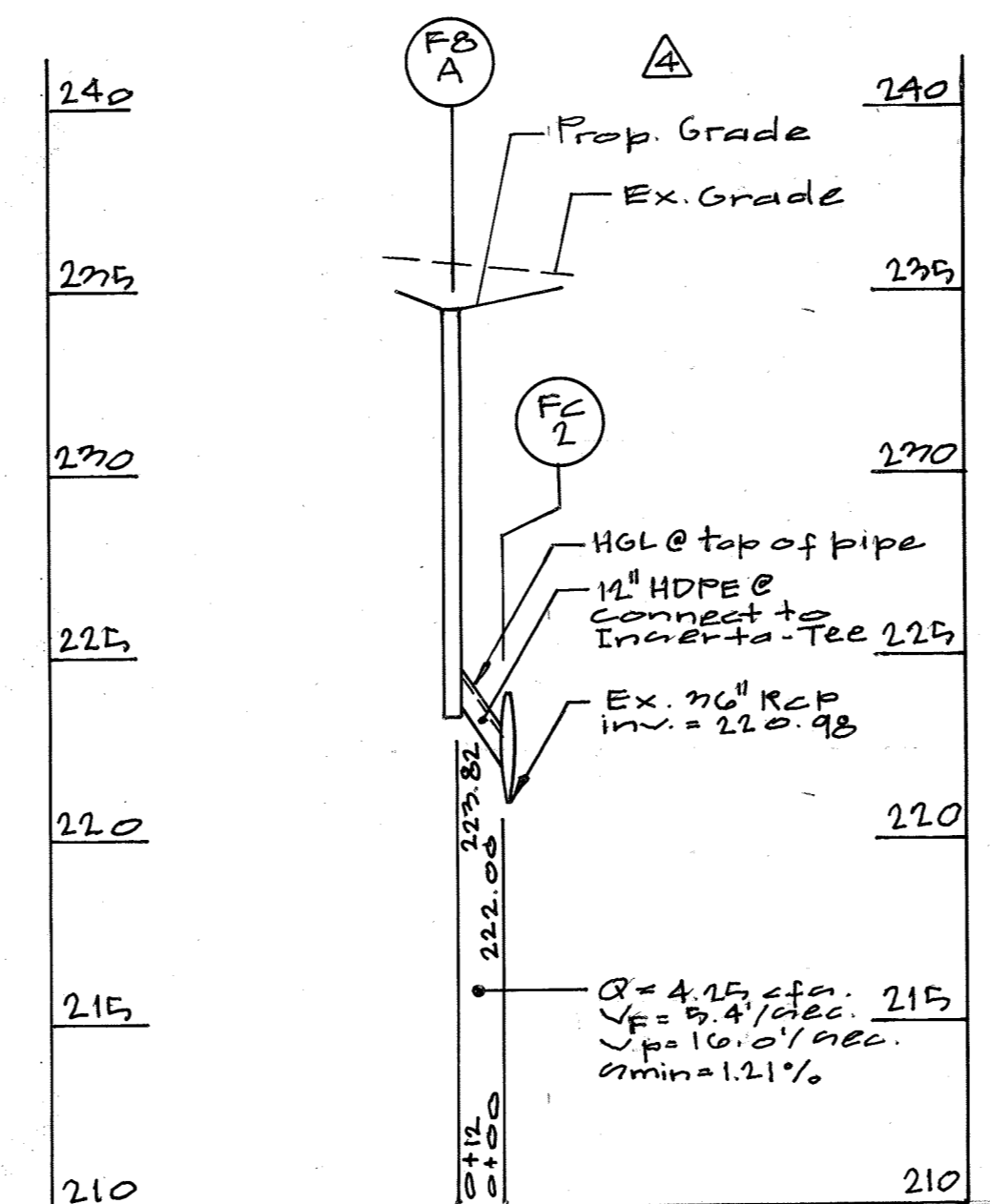
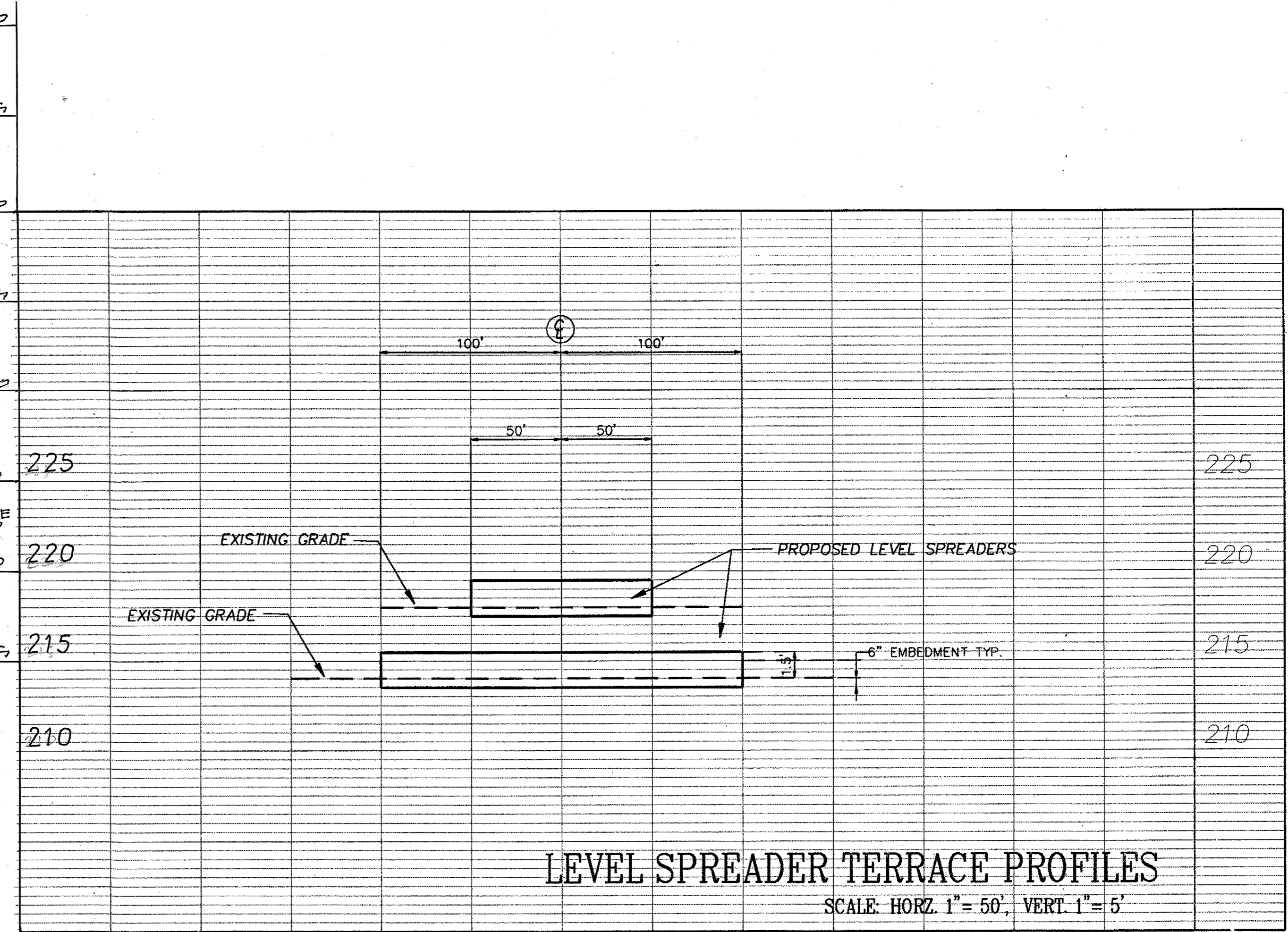
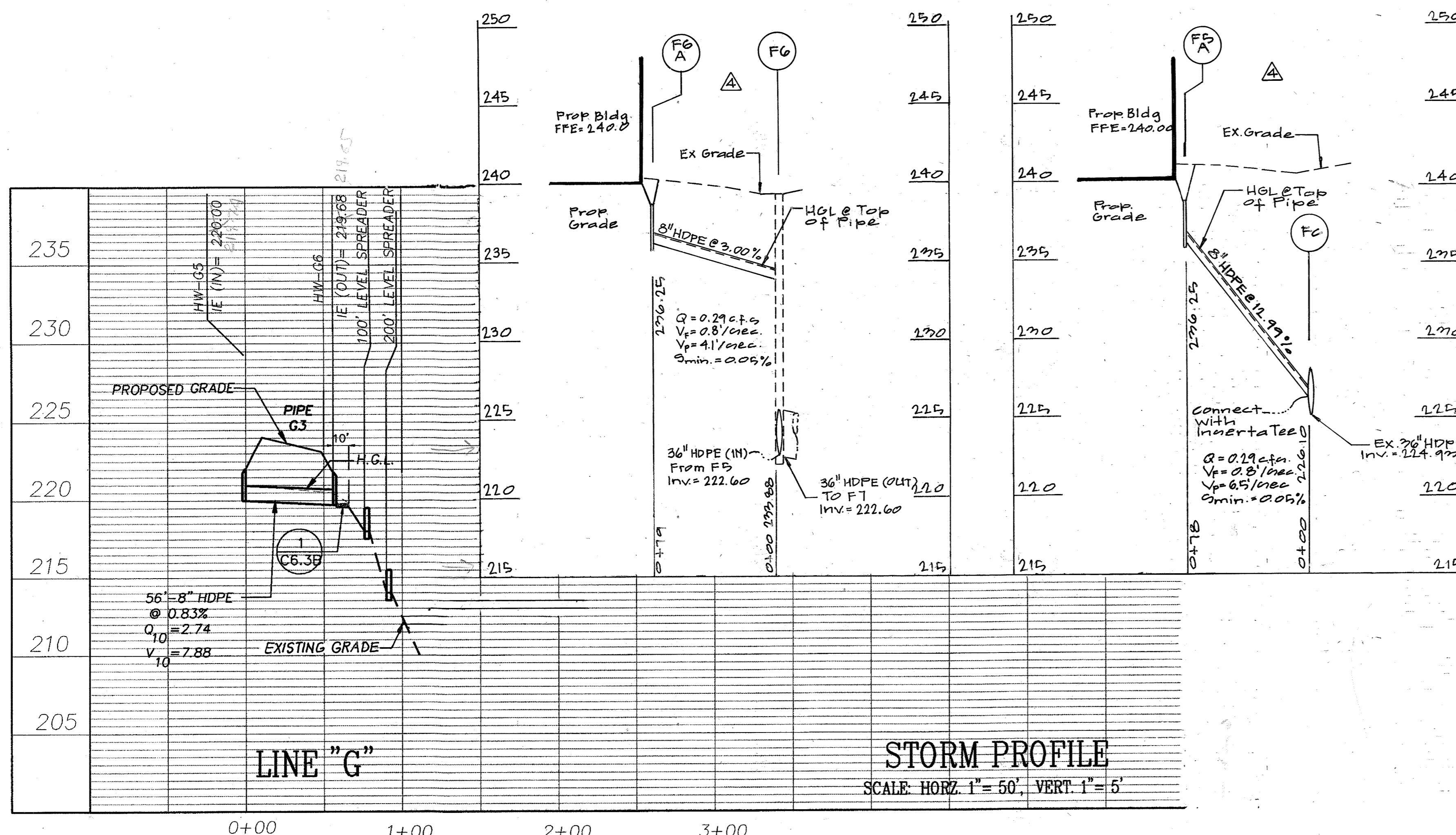
MARK	DATE	BY	MGR	RELEASE
4-21-04				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
STORM PROFILES
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: AS_SHOWN	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 54 of 86 C8.4

SCALE: 1" = 100.00'
DATE: 2/17/03
TIME: 1:55:07



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/6/13

Chief, Division of Land Development: *[Signature]* Date: 2/6/13

Director: *[Signature]* Date: 2/6/13

NOTE
Q & V (STORMWATER FLOW-CFS & VELOCITY-FT/SEC) ARE FOR 10 YEAR STORM EVENTS.

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
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SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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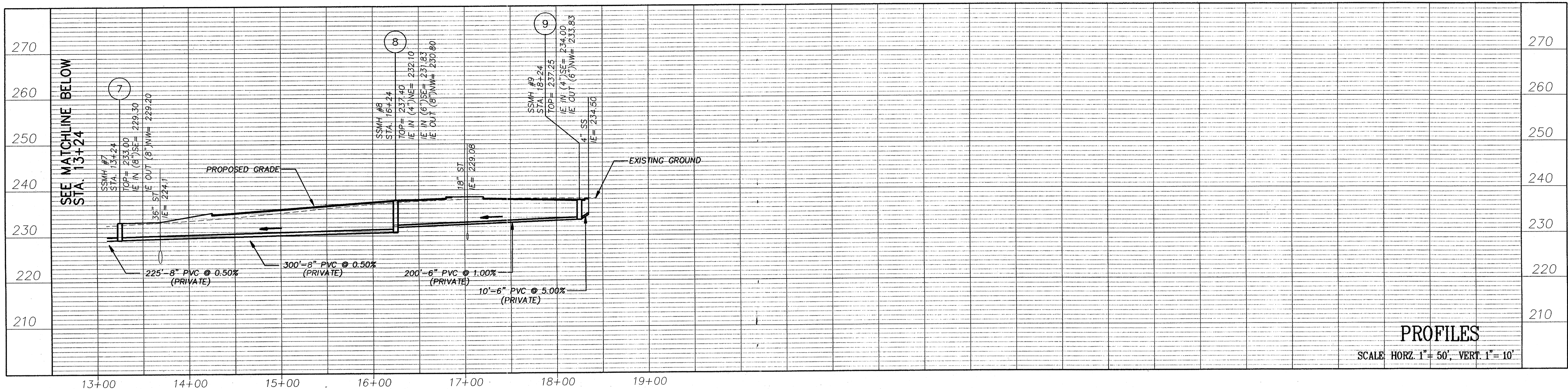


MARK	DATE	BY	MR	RELEASE
△	10.12.11	3+		Warehouse Expansion (95.276)
	4-2-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

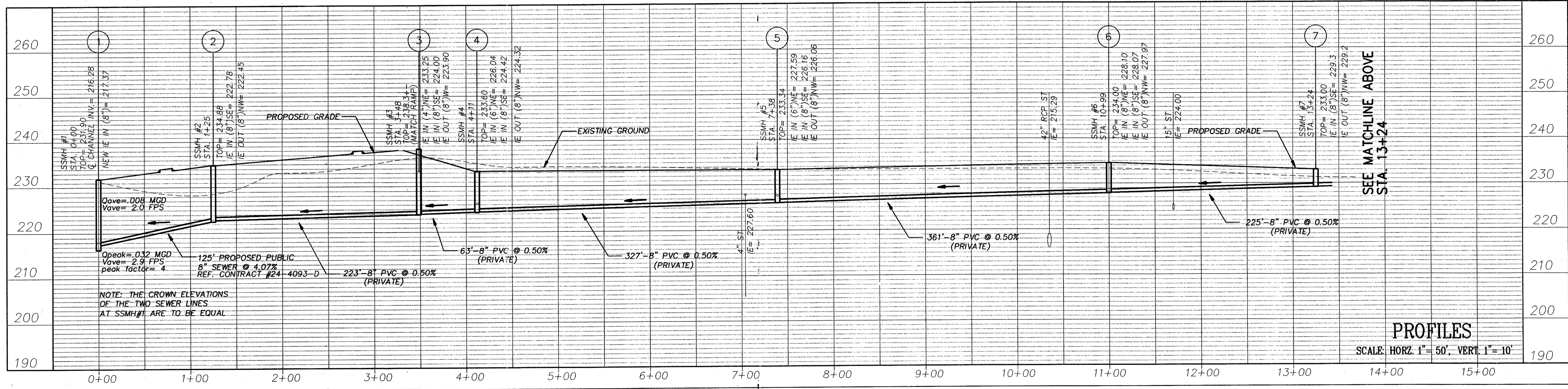
DRAWING TITLE:
STORM PROFILES
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: AS_SHOWN
ZONING: M-2
PROJECT NO.: 02027
DATE: TAX MAP - GRID 48
SHEET NO. 55 of 84
C85



PROFILES

SCALE: HORZ. 1" = 50', VERT. 1" = 10'



PROFILES

SCALE: HORZ. 1" = 50', VERT. 1" = 10'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/10/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
4-21-04		AG	BUILT	

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
**SANITARY SEWER
 PROFILES**
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: AS_SHOWN	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 56 of 86 C91

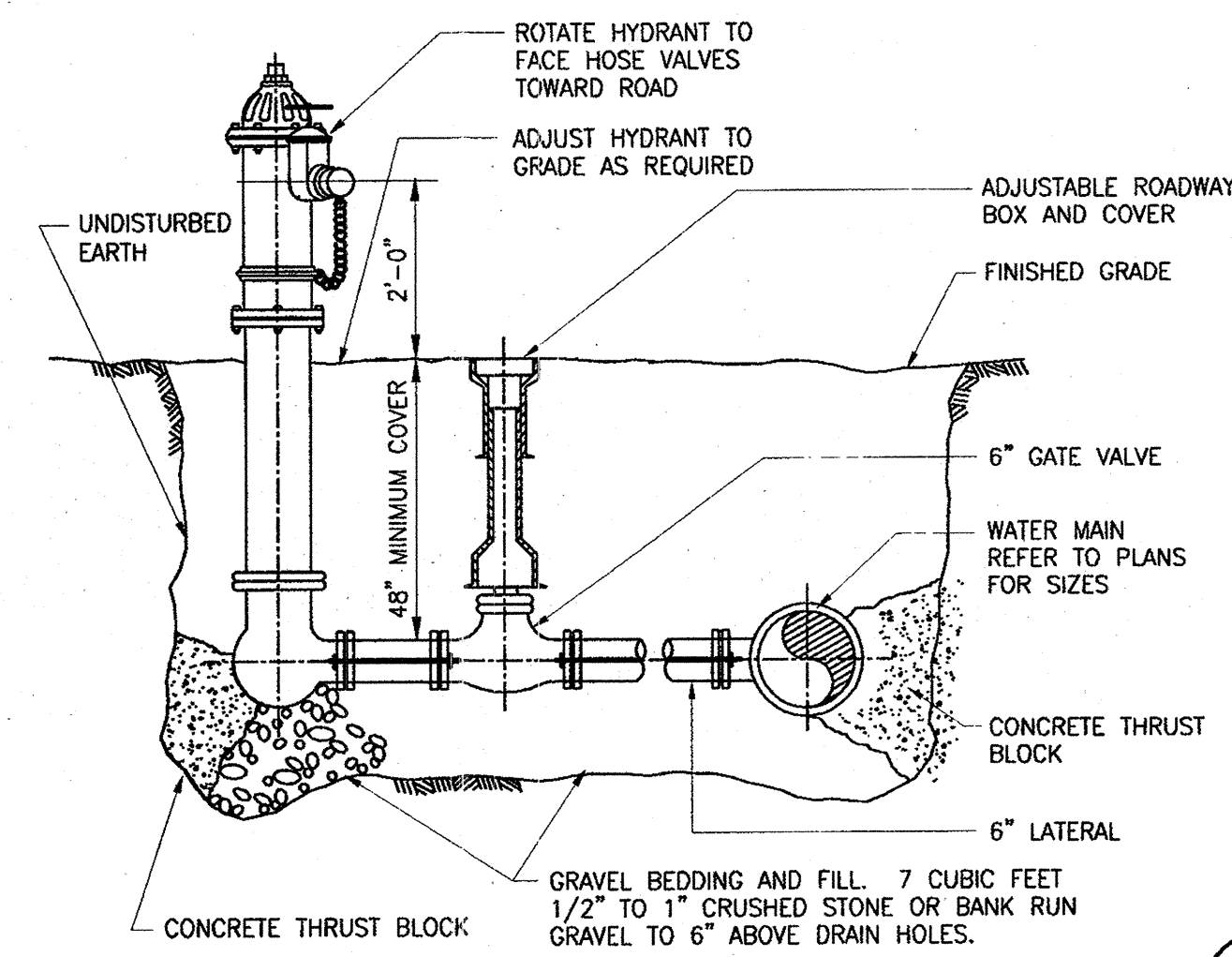
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 USER: MGC Date: 2/10/03
 TIME: 10:11:25

SITE UTILITIES LEGEND

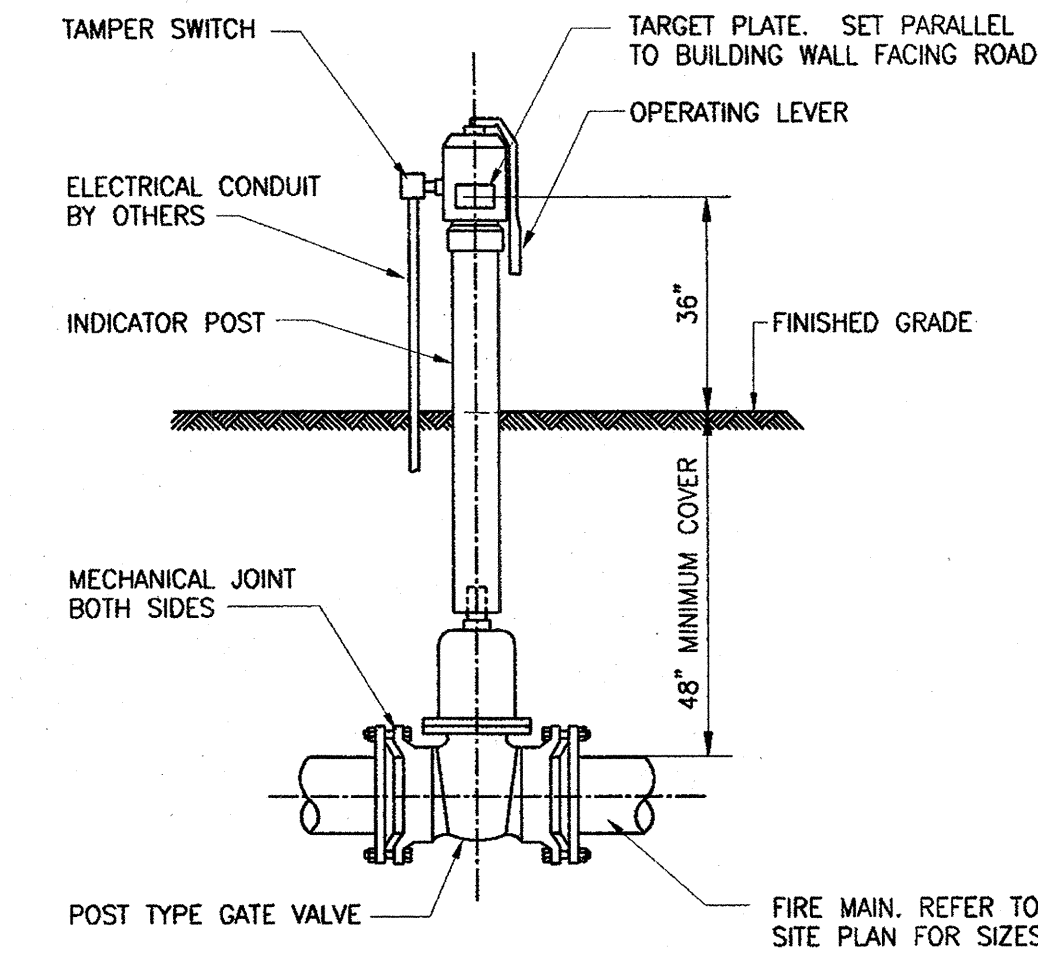
SYMBOL	ABBREVIATION	DESCRIPTION
-----		EXISTING SERVICE LINE
-----		UNDERGROUND FIRE MAIN
-----		UNDERGROUND WATER MAIN
	FW	FIRE WATER MAIN
	CW	DOMESTIC COLD WATER MAIN
⊗	RWB	VALVE IN ROADWAY BOX
⊕	PIV	POST INDICATOR AND VALVE
⊗	VB	GATE VALVE IN CONCRETE VALVE BOX
⊕	DCV-BFP	DOUBLE CHECK VALVE BFP
⊕	RPZ-BFP	REDUCED PRESSURE ZONE BFP
⊕		2-WAY WALL SIAMASE
⊕		3-WAY WALL SIAMASE
XX		HYDRAULIC NODE = 'XX'
⊕		PUBLIC HYDRANT WITH PUMPER CONN
⊕		PRIVATE HYDRANT

SITE UTILITY GENERAL NOTES

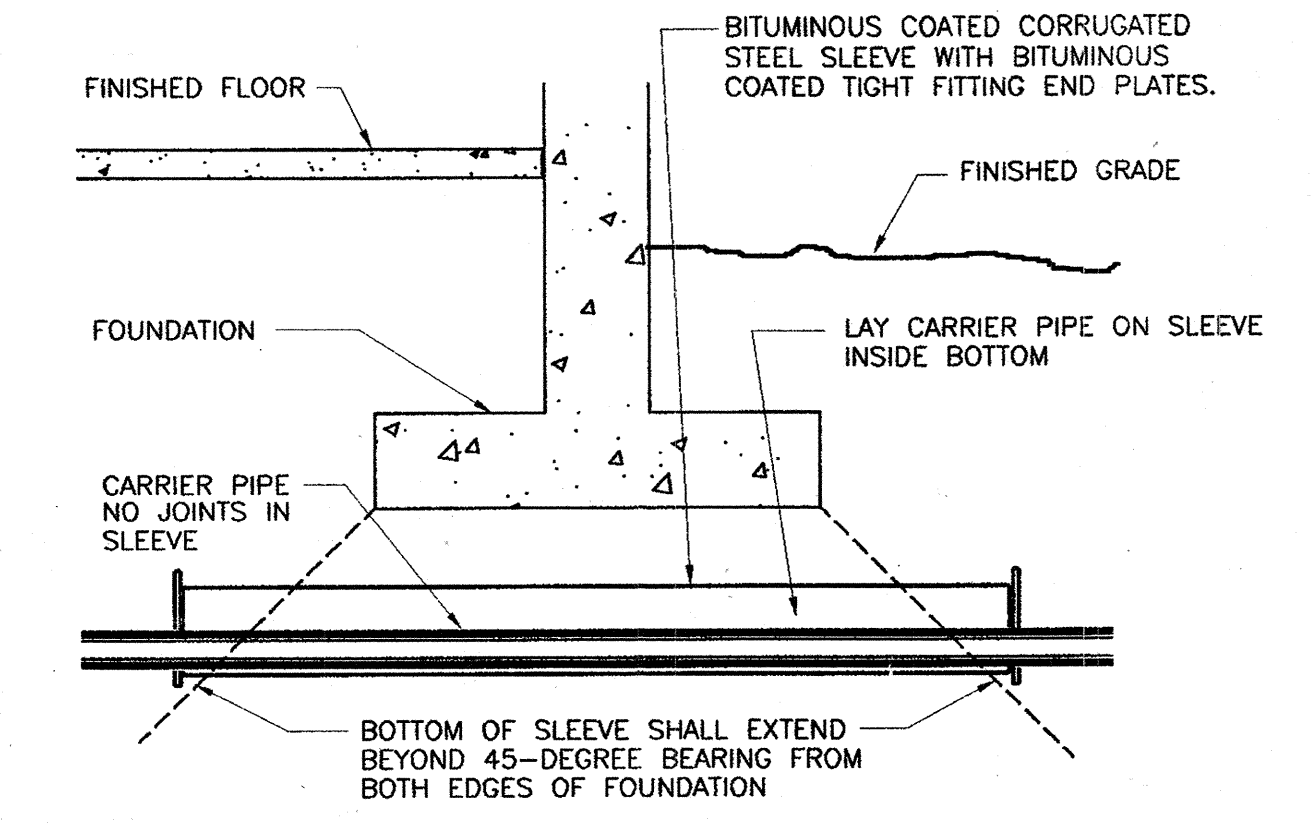
- ALL FIRE PROTECTION STUBS TO EXTERIOR AND ALL SITE DISTRIBUTION PIPING SHALL BE INSTALLED WITH 48-INCHES OF COVER OVER TOP OF PIPE, PER THE REQUIREMENTS OF NFPA-24.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES THAT PERTAIN TO THESE CONTRACT DOCUMENTS PRIOR TO PERFORMING ANY WORK. ANY DEVIATIONS FROM EXISTING INFORMATION SHOWN SHALL BE DOCUMENTED AND BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT.
- ALL WORK SHOWN ON THE DRAWINGS ARE TO BE DEMED DIAGRAMATICAL AND SHOW INTENT ONLY. DEVICE LOCATIONS SUCH AS PIV'S AND HYDRANTS SHALL BE COORDINATED WITH NEW SITE CONDITIONS AND LOCATED IN A UNIFORM MANNER.
- CONTRACTOR SHALL COORDINATE FINAL LOCATIONS OF ALL EQUIPMENT AND DEVICES WITH THE WORK OF OTHER TRADES PRIOR TO PERFORMING ANY WORK.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF NFPA AND THE REQUIREMENTS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
- ALL DEVICES BEING REMOVED FROM EXISTING PIPING SYSTEM SHALL BE REMOVED AND TURNED OVER TO THE OWNER AND/OR DISPOSED OF ACCORDING TO THE DIRECTION OF THE OWNER.
- PORTIONS OF EXISTING PIPING SYSTEM ASSOCIATED WITH THE REMOVAL OF EXISTING DEVICES SHALL BE CAPPED AND SEALED. PROVIDED WITH THRUST RESTRAINTS AND ANY DISTURBED EARTH AT PIPE MAINS OR BRANCHES SHALL BE PREPARED ACCORDING TO SPECIFICATIONS BEFORE PIPING SYSTEM IS RECOVERED.
- ALL ABANDONED PIPING SHALL BE FILLED WITH GROUT AND CAPPED AT OPEN ENDS. TYPICAL FOR ALL MAINS AND REMOVED DEVICE LOCATIONS.
- ALL UNDERGROUND FIRE PROTECTION PIPE SHALL BE CLASS 200 WITH A MINIMUM BURY DEPTH OF 48".



2 TYPICAL PRIVATE HYDRANT DETAIL
SCALE: NONE
DWG REF:

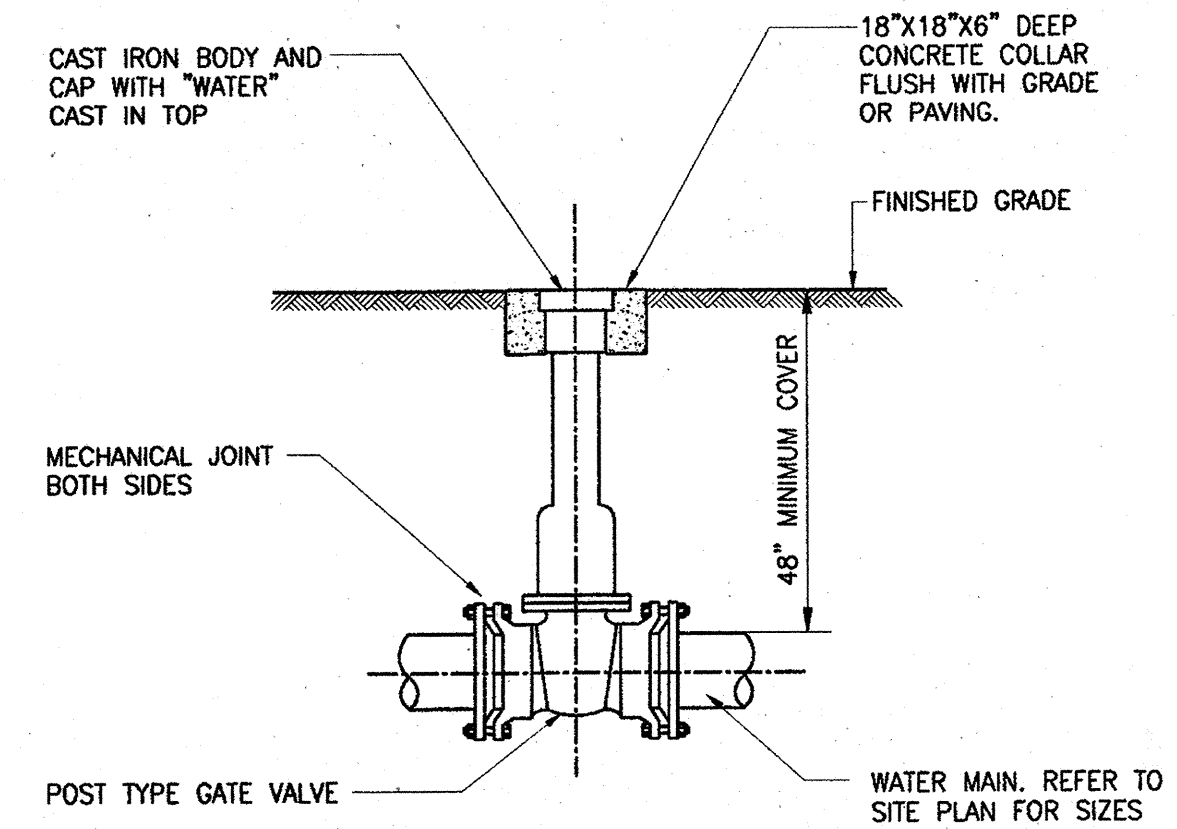


3 TYPICAL POST INDICATOR DETAIL
SCALE: NONE
DWG REF:

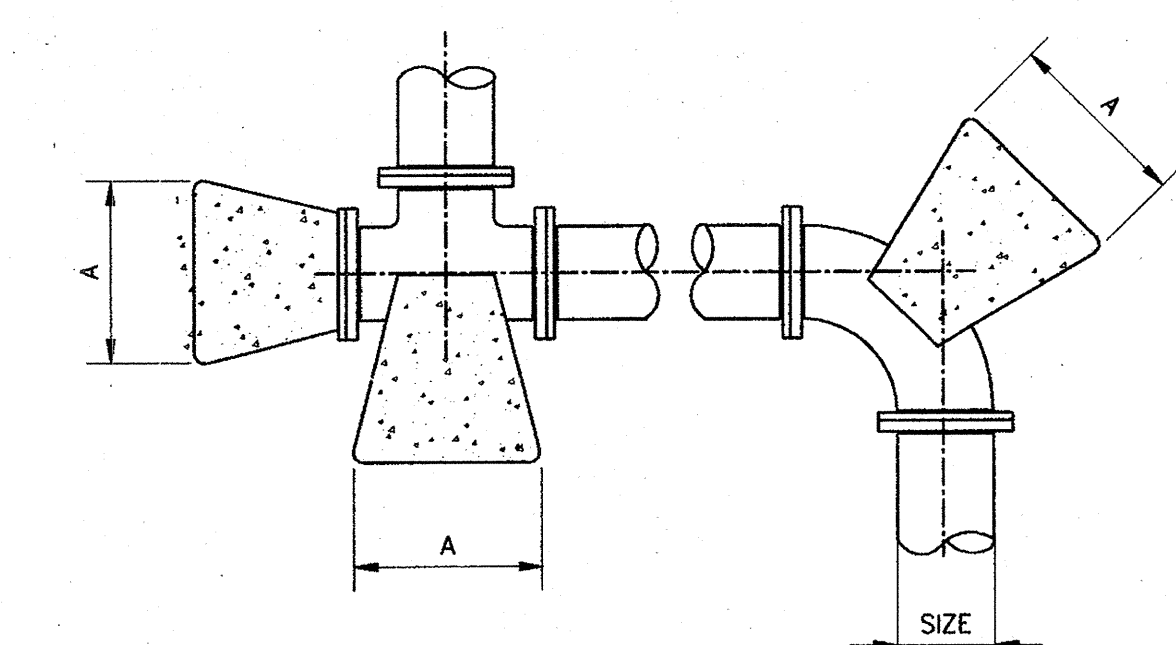


4 TYPICAL UNDERGROUND SLEEVE DETAIL
SCALE: NONE
DWG REF:

1 NOT USED
SCALE: NONE
DWG REF:



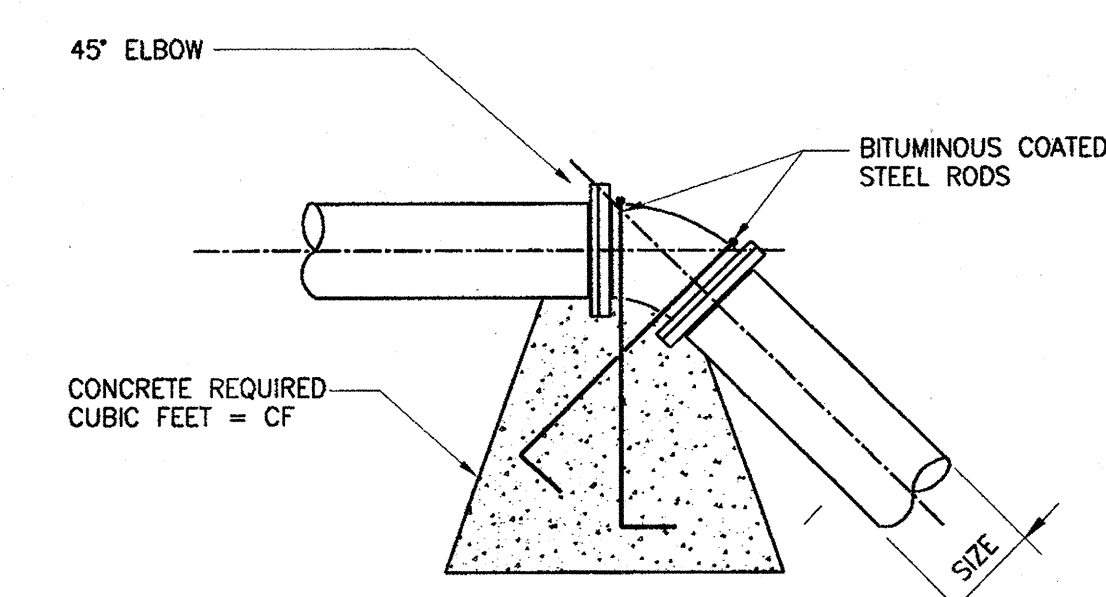
5 TYPICAL ROADWAY BOX AND VALVE DETAIL
SCALE: NONE
DWG REF:



NOTE: ALL THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
NOTE: ALL CONCRETE SHALL BE CLASS 'C', 2,000 PSI.
NOTE: ALL CONCRETE THRUST BLOCK SIZES SHALL BE BASED ON A PASSIVE SOIL RESISTANCE OF 1,500 LBS PER SQUARE FOOT AT A 4-FOOT DEPTH.

SERVICE	SIZE	PSIG	"A" DIMENSION - SQUARE				
			PLUG	TEE/90°	45°	22-1/2°	11-1/4°
DOMESTIC	12"	150	44"	53"	39"	28"	20"
DOMESTIC	6"	150	23"	28"	20"	14"	10"
DOMESTIC	4"	150	16"	19"	14"	10"	7"
FIRE	10"	200	43"	51"	38"	27"	19"
FIRE	8"	200	35"	42"	31"	22"	16"
FIRE	6"	200	27"	32"	23"	17"	12"

6 TYPICAL THRUST BLOCK DETAIL
SCALE: NONE
DWG REF:



NOTE: ALL THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
NOTE: ALL CONCRETE SHALL BE CLASS 'C', 2,000 PSI.

SERVICE	SIZE	PSIG	CUBIC FEET = CF
DOMESTIC	12"	150	105
DOMESTIC	6"	150	29
DOMESTIC	4"	150	14
FIRE	10"	200	99
FIRE	8"	200	66
FIRE	6"	200	38

7 TYPICAL ANCHOR BLOCK DETAIL
SCALE: NONE
DWG REF:

HOWARD COUNTY GENERAL NOTES

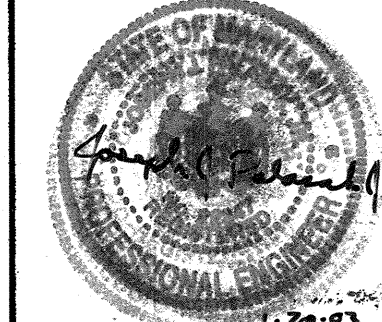
- IN CONJUNCTION WITH HYDRANT DETAILS SHOWN ON THIS SHEET, CONTRACTOR TO INSTALL HYDRANTS PER THE FOLLOWING HOWARD COUNTY DETAILS: DETAIL W1.11 "FIRE HYDRANT SETTINGS", DETAIL W1.12 "GRADING FOR FIRE HYDRANTS", AND DETAIL W2.11 "METHOD OF RESTRAINING FIRE HYDRANT AND VALVE TO MAIN".
- FOR INSTALLATION OF WATER MAINS FROM COUNTY MAIN TO PUMP HOUSE, REFER TO SPECIFICATIONS AND HOWARD COUNTY STANDARDS SECTION 909.11 "DUCTILE IRON PIPE AND FITTINGS (WATER MAINS)".
- FOR INSTALLATION OF FIRE HYDRANTS SEE SPECIFICATIONS AND HOWARD COUNTY STANDARDS SECTION 909.15.06 "FIRE HYDRANT".
- FOR CHANGES IN PIPE MATERIAL, CONTRACTOR SHALL SUBMIT IN WRITING TO THE COUNTY AND ENGINEER PER HOWARD COUNTY SECTION 1000.02 "MATERIAL SPECIFICATIONS".
- PER HOWARD COUNTY SECTION 1002.02.03 "DUCTILE IRON PIPE", PIPE, FITTINGS, AND JOINTS SHALL CONFORM TO SECTION 909.11 FOR CLASS OF PIPE AS INDICATED ON THE PLANS.
- FIRE HYDRANTS SHALL BE PAINTED WITH AN APPROVED OMAHA ORANGE PAINT ABOVE THE FINISHED GRADE LINE AND AN APPROVED RUST PREVENTATIVE PAINT BELOW FINISHED GRADE LINE.
- IN CONJUNCTION WITH THRUST BLOCK DETAILS SHOWN ON THIS SHEET, CONTRACTOR SHALL REFER TO HOWARD COUNTY BUTTRESS AND ANCHOR DETAILS W2.21, W2.22, W2.23, AND W2.24.
- CONTRACTOR TO INSTALL METER PIT WITH BY-PASS PER HOWARD COUNTY STANDARD INSTALLATION DETAIL W3.37.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division: *[Signature]* 2/6/02
 Chief, Division of Land Development: *[Signature]* 2/6/02
 Director: *[Signature]* 2/6/02

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
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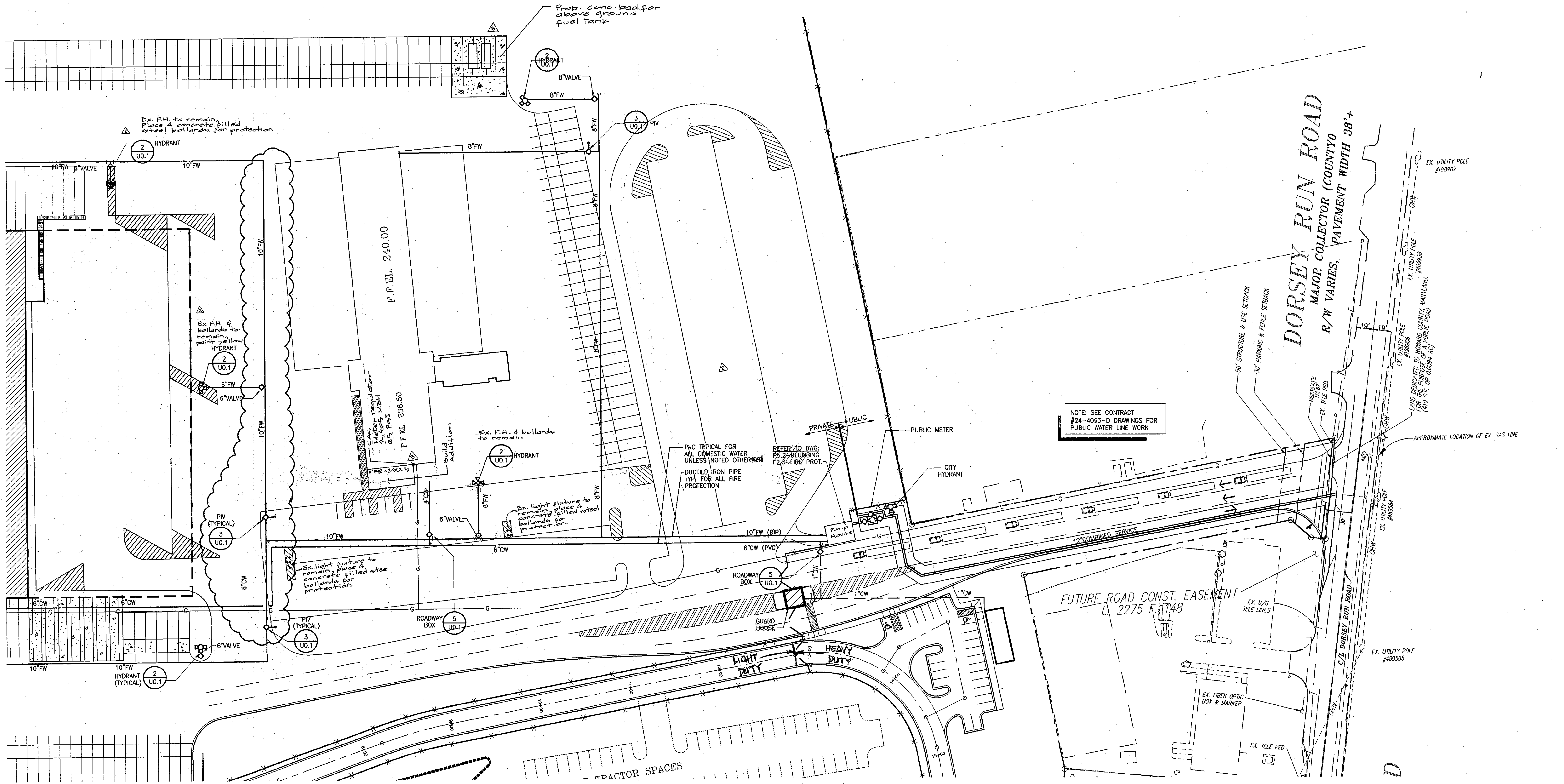


MARK	DATE	BY	MGR	RELEASE
	4-21-04	AG		BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
LEGEND AND DETAILS
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
NONE	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO.
09-16-02	48	58 of 86
		U0.1

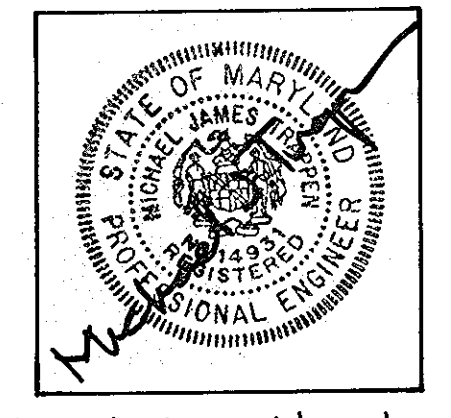


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date



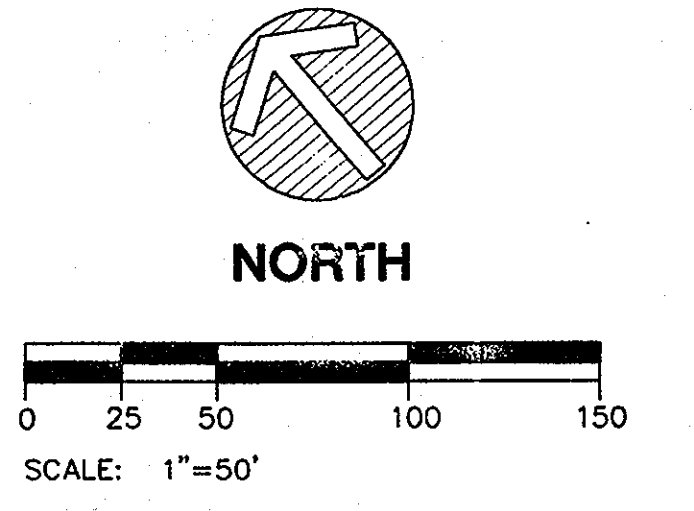
For Revision Number 1 by GLW

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, license No. 17185, expiration date May 21, 2008.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE No. 17185 EXPIRATION DATE: March 17, 2012

[Signature] 3.5.13
 12.17.12
 For GLW Revision Only



THE FACILITY GROUP

FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
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MARK	DATE	BY	MGR	RELEASE
1	7/14/02	GT		Build addition & fuel tank pad
2	11-17-2012	klp		rev. truck driver parking, tractor staging & tractor staging area
3	4-28-2014	WJ		Add back & seals expansion rev. parking
4	4-21-14			AS BUILT

PREPARED FOR:

**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**

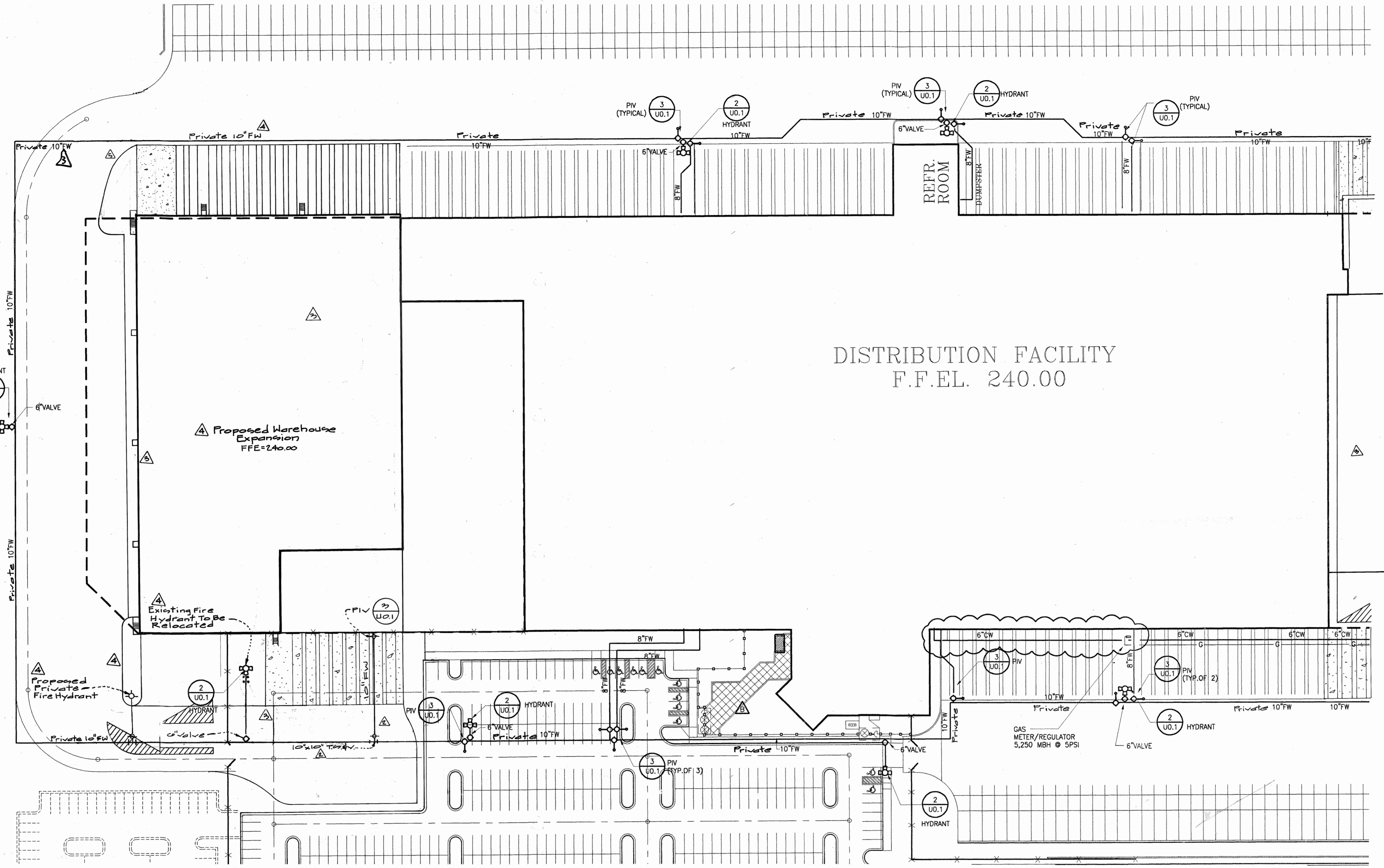
6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:

SITE UTILITIES

HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO. 59 of 86
09-16-02	48	U11



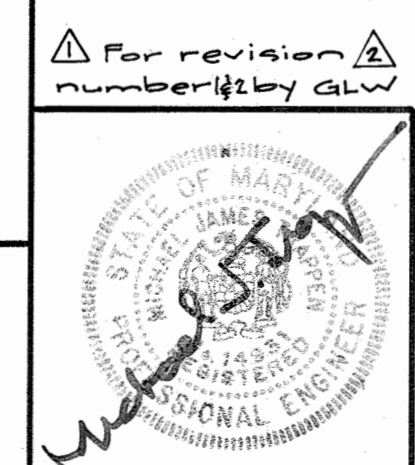
DISTRIBUTION FACILITY
F.F.E.L. 240.00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
Chief, Development Engineering Division Date

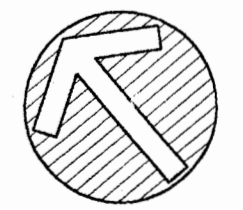
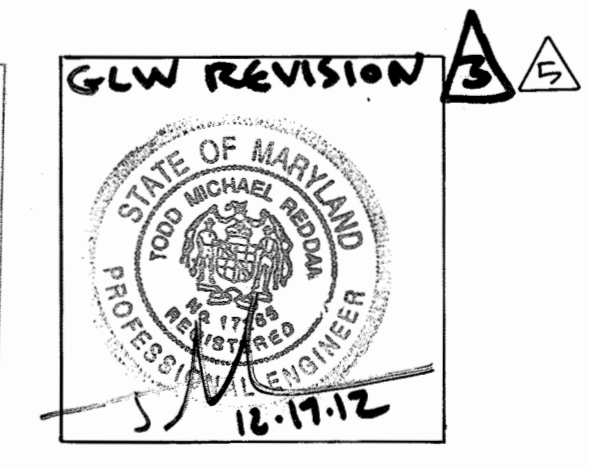
[Signature] 2/6/03
Chief, Division of Land Development Date

[Signature] 2/6/03
Director Date

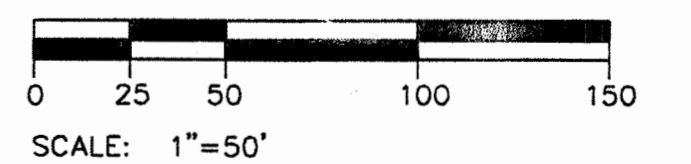


I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the state of Maryland. License # 14033. Expiration Date: May 21, 2010.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE No. 17185. EXPIRATION DATE: March 17, 2019.



NORTH



THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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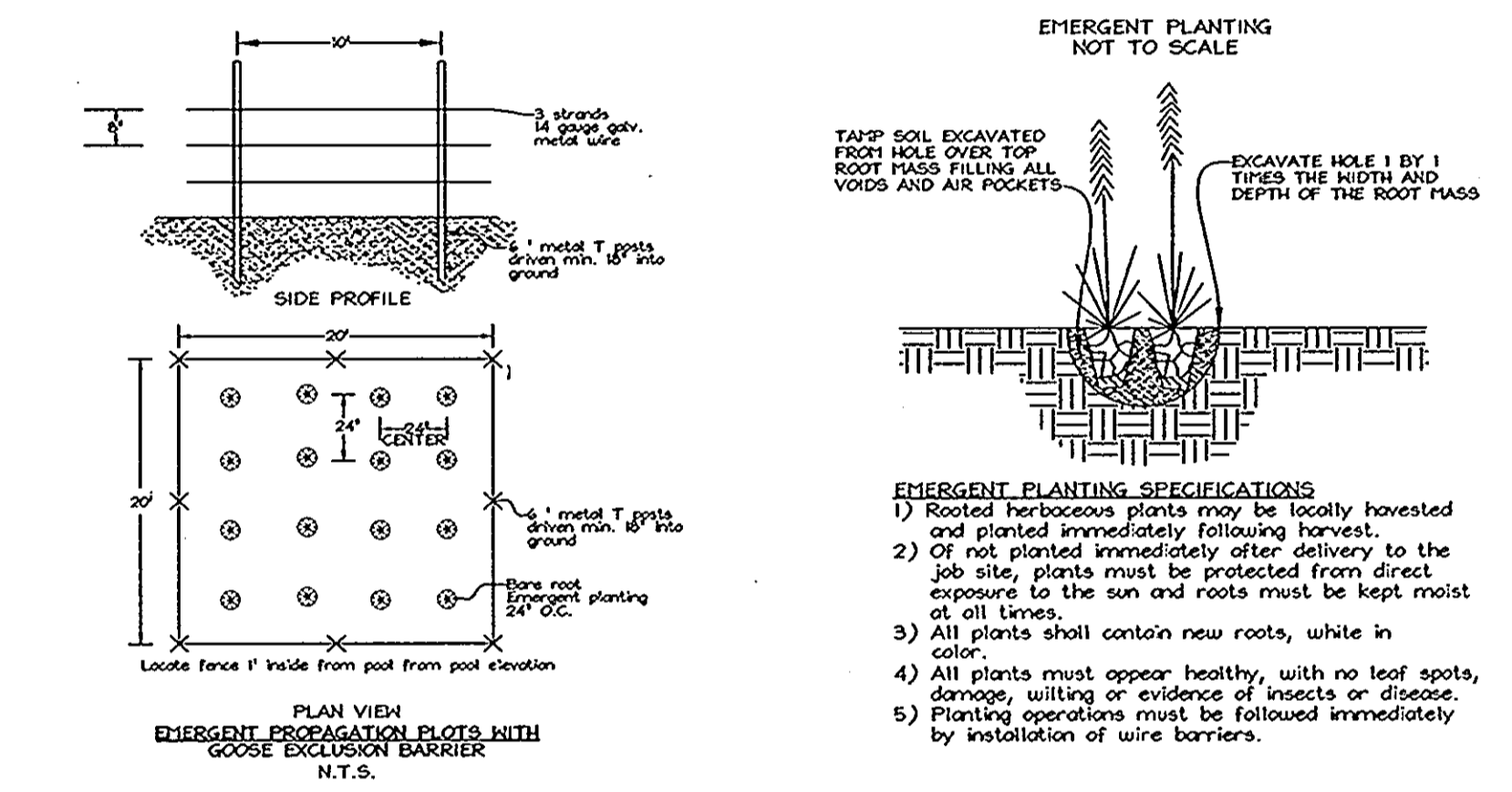
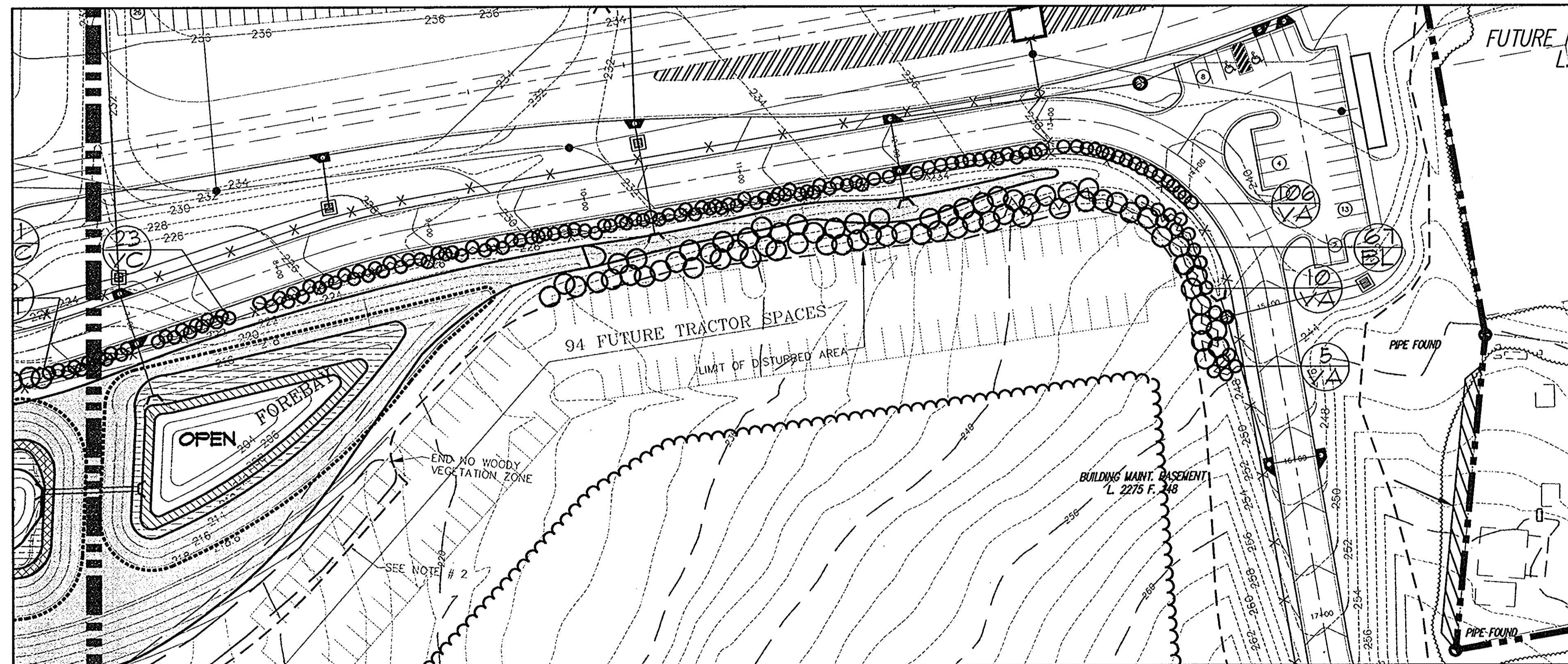
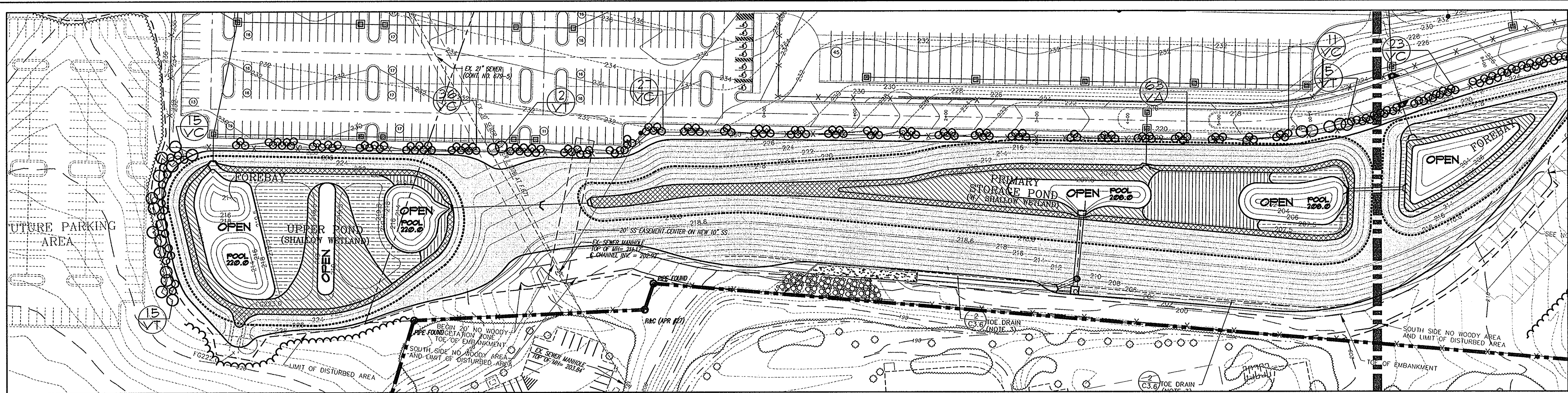


MARK	DATE	BY	MGR	RELEASE
△	5/1/02	kfp		Rev. loading area at NW corner of warehouse
△	10/10/02	waj		Warehouse Expansion (95,179 SF)
△	12/17/12	waj		rev. truck driver park, trailer & tractor staging area
△	7/8/08	waj		add New Conn.
△	4/26/08	waj		add deck cooler expansion, rev. parking
△	4/21/04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
SITE UTILITIES
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE: 09-16-02	TAX MAP - GRID 48	SHEET NO. 60 of 86 U12



- MANAGEMENT NOTES FOR SWM WETLAND AREAS**
1. All proposed activities shall adhere to the conditions, schedules and terms of the approved sediment control and erosion plan and SWM plan.
 2. After the boundaries of the wetland area have been staked and flagged and before any disturbance has taken place on-site, a preconstruction meeting of the construction site shall take place. The developer, contractor or project manager, and appropriate County Inspectors shall attend.
 3. All wetland planting areas within 25 feet of proposed construction activities shall be protected by highly visible, well anchored temporary protection devices (all fence or blaze orange plastic mesh).
 4. All protection devices shall be in place prior to any fine grading or land clearing or planting.
 5. All protection devices shall be properly maintained and shall remain in place until planting material has become established.
 6. No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
 7. Water and fertilizer as needed to plant establishment. Soil amendments may be applied by contractor after inspection to ensure plant establishment.
 8. During construction phase, monitor and correct condition of retained trees for soil compaction, root injury, flood conditions, drought conditions and other stress signs.
 9. After installation inspect plants for evidence of soil compaction, root injury, limb injury, or other stress signs and correct with proper management techniques. Inspection and evaluation shall be performed by a licensed professional in accordance with Howard County and State of Maryland Standards.
 10. Inspect for dead or dying materials which may pose safety hazard and remove.
 11. No burial or burning of discarded materials will occur onsite within the wetland areas.
 12. All temporary protection structures will be removed after construction.
 13. Following completion of construction, but prior to use, the County Inspector shall inspect the entire area.
 14. If a minimum coverage of 50% is not achieved in the planted wetland zones after the second growing season, a reinforcement planting will be required.
- NOTE: COORDINATE OUTFALL PROTECTION WITH PLANTINGS AT TIME OF CONSTRUCTION.**

PLANT SCHEDULE							
KEY	Botanical Name	Common Name	Size	10-Yr. Tree Credit (ct)	Street Trees Quantity	Canopy Trees Quantity	TOTALS
SHRUB PLANTINGS							
VA	Falbergia gardenii	Dwarf Witch Alder	18"-24" B&B				169
VT	Hammamelis Virginiana	Witch Hazel	18"-24" B&B				22
BL	Ber Loxleyana	Winterberry	18"-24" B&B				67
VC	Viburnum acerifolium	Mayleaf Viburnum	18"-24" B&B				71
EMERGENTS AND GRASS/COVER							
	Carex Typhina	Cottontail Sedge	Plug				15,785 12' o.c.
	Iris Versicolor	Blue Water Iris	Plug				19,304 12' o.c.
	Potamogeton Perfoliatus	Potamogeton	Plug				18,441 12' o.c.
	Sagittaria Arifolia	Arrowhead	Plug				7,910 Plug
	Festuca Meadus	Festuca Pratensis					16,891ay Hand or Machine

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/6/03

Chief, Division of Land Development: *[Signature]* Date: 2/6/03

Director: *[Signature]* Date: 2/6/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer: _____ Date: _____

Howard County Health Department

Bowman CONSULTING

Bowman Consulting Group, Ltd. Phone: (703) 443-2400
101 South Street, S.E. Fax: (703) 443-2425
Leesburg, Virginia 20175 www.bowmanconsulting.com

GENERAL NOTES:

1. Boundary and topography have been provided by Facility Group.
2. Landscape information is by Bowman Consultants.
3. Property is zoned M-2 and is not adjacent to any residential properties.
4. See accompanying landscape plan and forest conservation plan.

SWM WETLAND CONSTRUCTION SEQUENCE

1. Conduct a pre-construction meeting with Howard County Inspector and general contractor to review wetland construction measures and practices.
2. Construct SWM facilities and install erosion control measures.
3. Install protection fencing and signage to prevent excessive erosion and predation, as indicated on the SWM plan, as applicable.
4. Consult landscape architect to select plant materials to be used and substitutions as required.
5. Plant material and remove signage and install animal preventatives

Howard County Forest Conservation Design Manual.

SWM WATER QUALITY PROGRAM NARRATIVE

The SWM pond serving this facility covers 5.56 acres from the top of slope. Approximately 152,024 sq. ft. of meadow and local grasses will be planted to stabilize slopes and filter solids from immediate flow. The remainder of the area is planted as an emergent wetland with coverage of 61,420 sq. ft. of wetland material at the pond bottom. The emergent materials are planted to elevation regime established by Howard County and the State of Maryland and correspond as close as possible to that found in a natural system. Approximately 28,750 sq. feet of open water will augment the system at completion.

THE FACILITY GROUP

FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
	4.21.04			AS BUILT

PREPARED FOR:

GIANT DISTRIBUTION CENTER EXETER INDUSTRIAL PARK (PARCEL A)

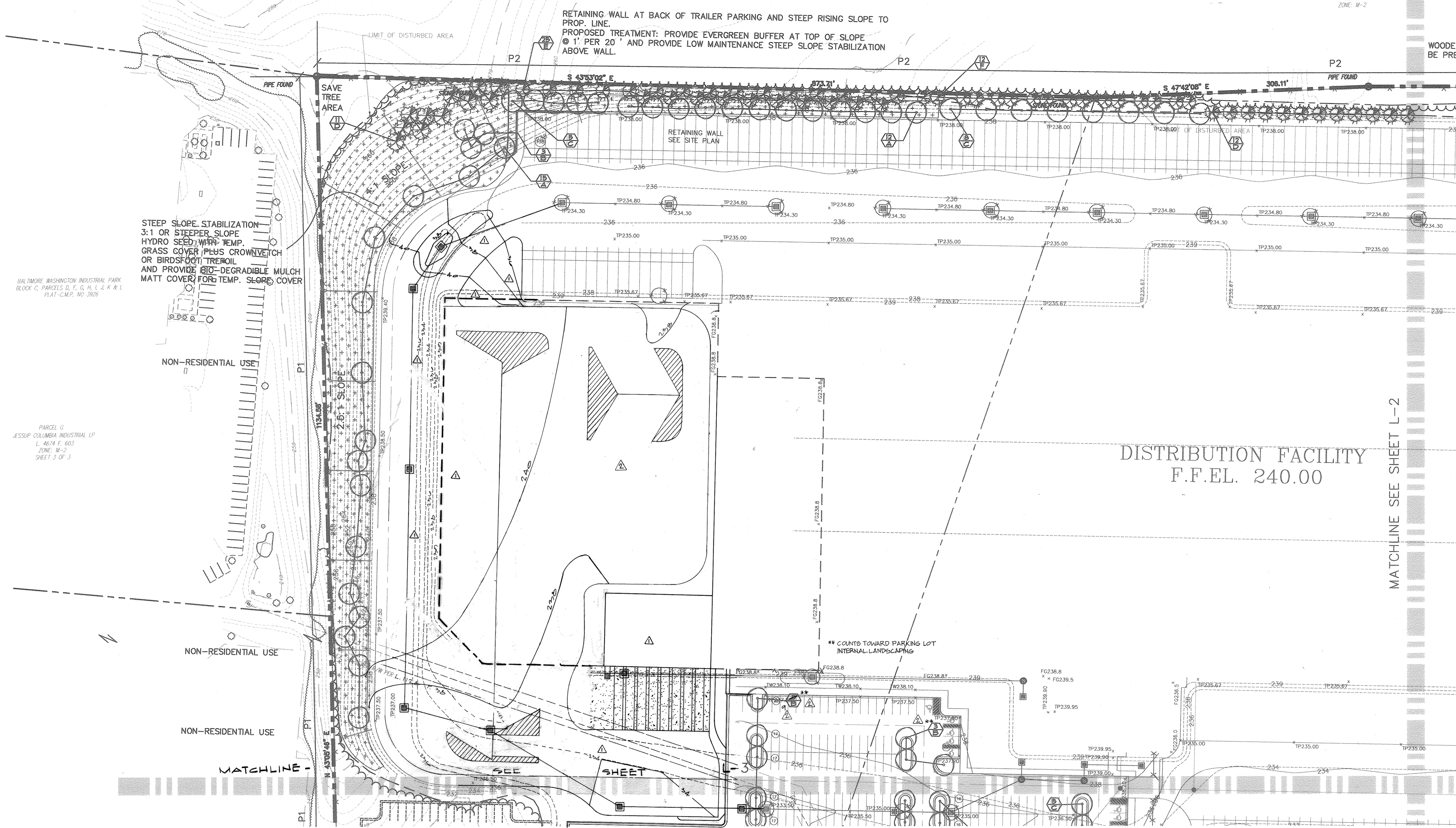
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:

STORM WATER PONDS PLANTING PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	99155
DATE:	TAX MAP - GRID	SHEET NO. 61 OF 66
09/16/02	48	SWPP



RETAINING WALL AT BACK OF TRAILER PARKING AND STEEP RISING SLOPE TO PROP. LINE.
 PROPOSED TREATMENT: PROVIDE EVERGREEN BUFFER AT TOP OF SLOPE @ 1' PER 20' AND PROVIDE LOW MAINTENANCE STEEP SLOPE STABILIZATION ABOVE WALL.

STEEL SLOPE STABILIZATION
 3:1 OR STEEPER SLOPE
 HYDRO SEED WITH TEMP.
 GRASS COVER PLUS CROWN VETCH
 OR BIRDSFOOT TREFOIL
 AND PROVIDE BIO-DEGRADABLE MULCH
 MATT COVER FOR TEMP. SLOPE COVER

DISTRIBUTION FACILITY
 F.F.E.L. 240.00

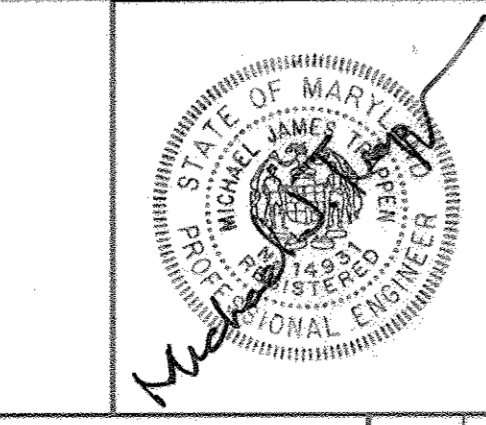
MATCHLINE SEE SHEET L-2

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard Dammann 2/6/13
 Chief, Development Engineering Division Date

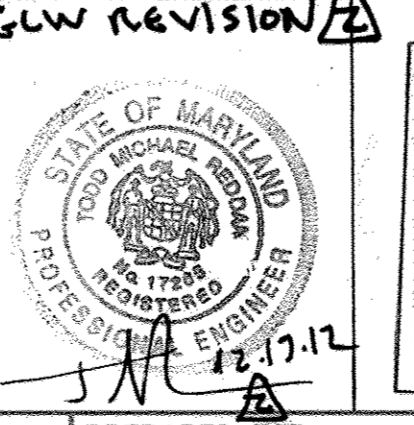
John H. Currie 2/6/13
 Chief, Division of Land Development Date

John H. Currie 2/6/13
 Director Date



For revision number 1 by GLW.

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.
 License #14231
 Expiration Date: May 21, 2010



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
 LICENSE NO.: 17285
 EXPIRATION DATE: March 17, 2013

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
12/18/12	gt			REV. TRUCK DRIVER PARKING, TRAILER STAGING, TRACTOR STAGING AREA
4/16/13	dev			add dash cooler expansion; rev parking.
4-21-04				AS BUILT

PREPARED FOR:
GIANT DISTRIBUTION CENTER EXETER INDUSTRIAL PARK (PARCEL A)
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
LANDSCAPE PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 99155
DATE: 10/07/02	TAX MAP - GRID 48	SHEET NO 62 OF 86 L 1

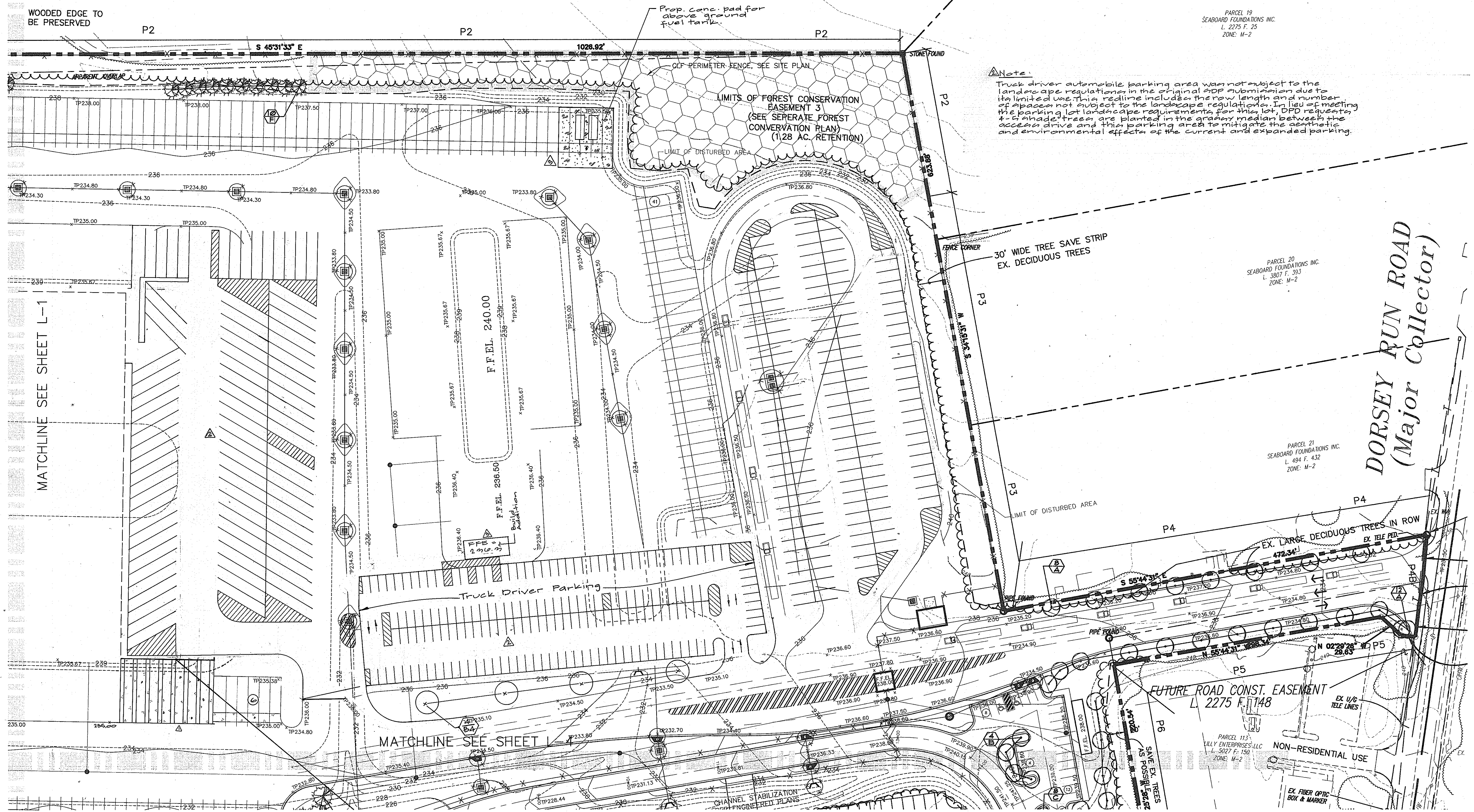
PARCEL 19
SEABOARD FOUNDATIONS INC.
L. 2275 F. 25
ZONE: M-2

PARCEL 20
SEABOARD FOUNDATIONS INC.
L. 3807 F. 393
ZONE: M-2

PARCEL 21
SEABOARD FOUNDATIONS INC.
L. 494 F. 432
ZONE: M-2

PARCEL 113
GULLY ENTERPRISES, LLC
L. 5027 F. 150
ZONE: M-2

Note:
Truck driver automobile parking area was not subject to the landscape regulations in the original DPD submission due to its limited use. This redline includes the row length and number of spaces not subject to the landscape regulations. In lieu of meeting the parking lot landscape requirements for this lot, DPD requests 4-5 shade trees are planted in the grassy median between the access drive and this parking area to mitigate the aesthetic and environmental effects of the current and expanded parking.

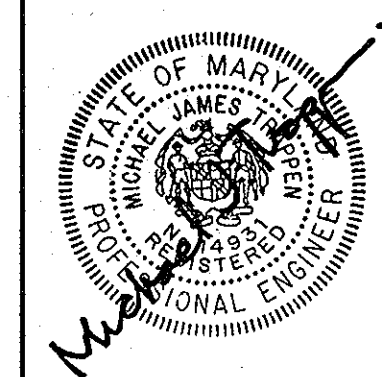


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard 2/6/02
Chief, Development Engineering Division Date

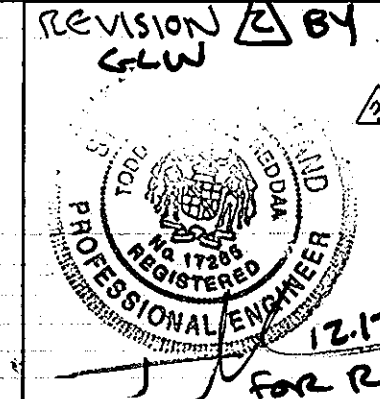
Hamill 2/6/02
Chief, Division of Land Development Date

S. Wayne 2/6/02
Director Date



For revision number 1 by glw

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License #1493. Expiration Date: May 21, 2010.

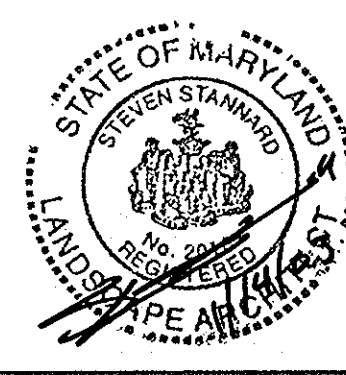


Professional Certification
I hereby certify that these plans were prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License #1725. Expiration Date: March 17, 2010.

12/1/11
FOR REVISION ONLY 3.5.13

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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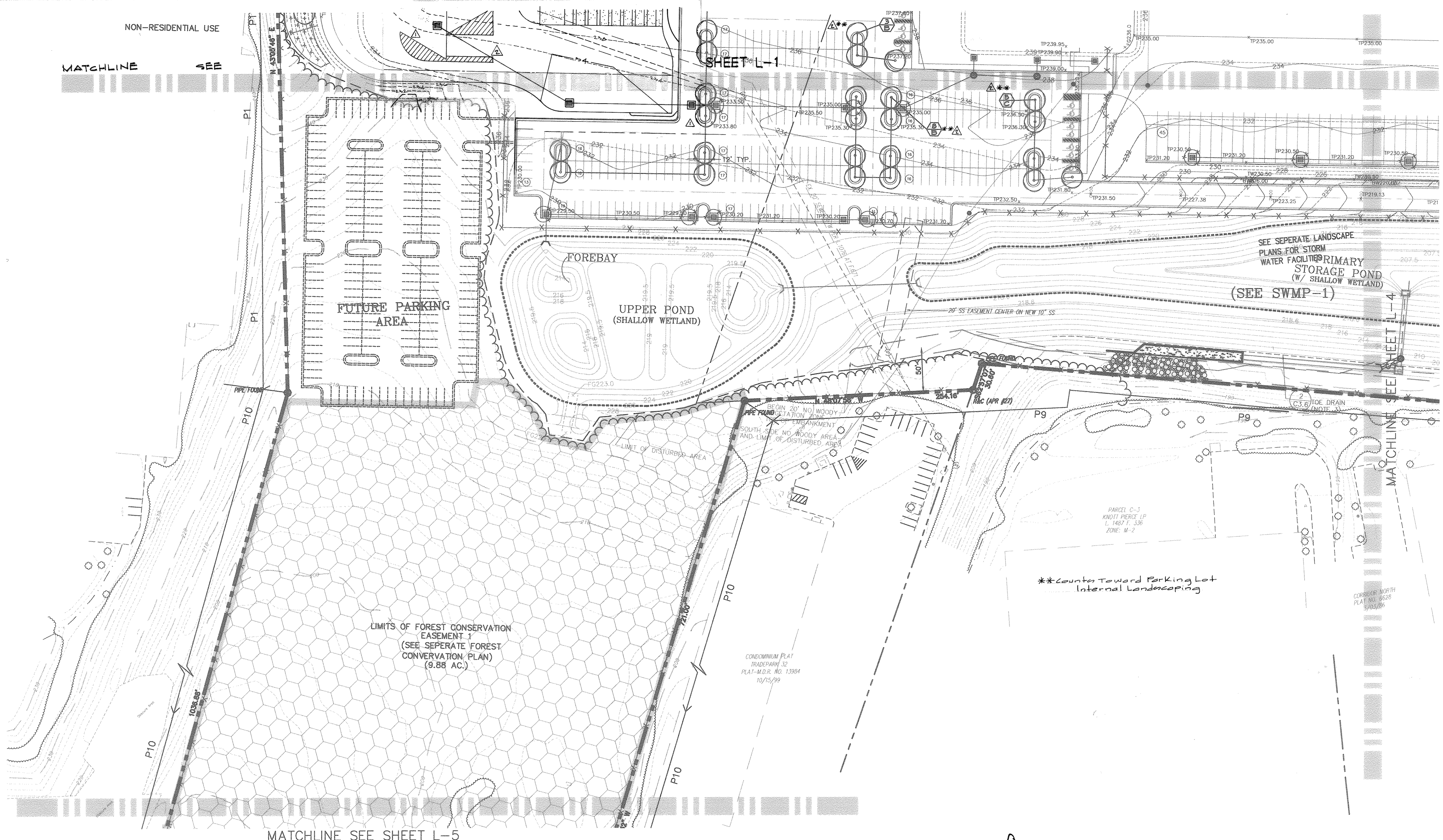


MARK	DATE	BY	MGR	RELEASE
1	2/4/02	gt		build addition + fuel tank pad.
2	10/12/02	gt		REV. TRUCK DRIVER PARKING, TRAILER STAGING + TRACTOR STAGING AREA
3	4/25/02	glw		add dock + cooler expansion, rev. parking
4	4-21-02	glw		AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE: LANDSCAPE PLAN	SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 99155
DATE: 10/07/02	TAX MAP - GRID 48	SHEET NO. 63 OF 86 L2	

HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

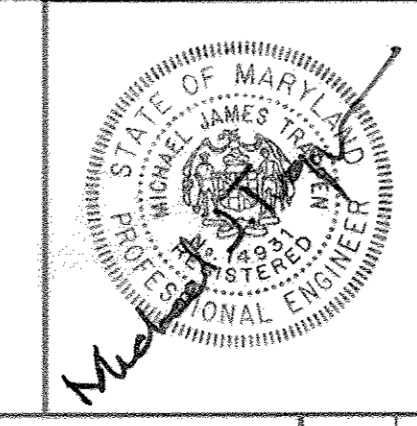


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Michael J. James 2/6/08
 Chief, Development Engineering Division Date

Robert A. Kramel 2/6/08
 Chief, Division of Land Development Date

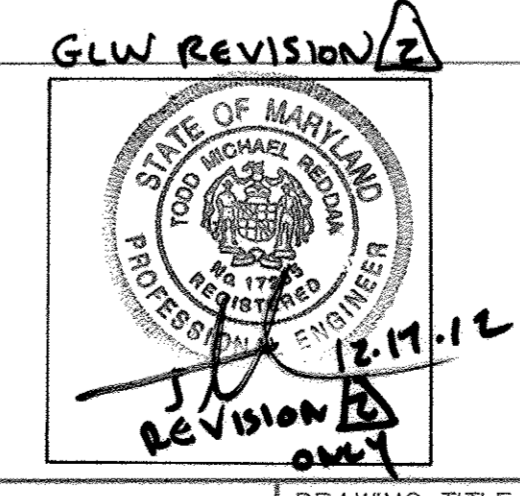
D. M. Gage 2/6/08
 Director Date



For revision number 1 by glw

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License # 14223 Expiration Date: May 21, 2010

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE No. 17285 EXPIRATION DATE: March 17, 2012



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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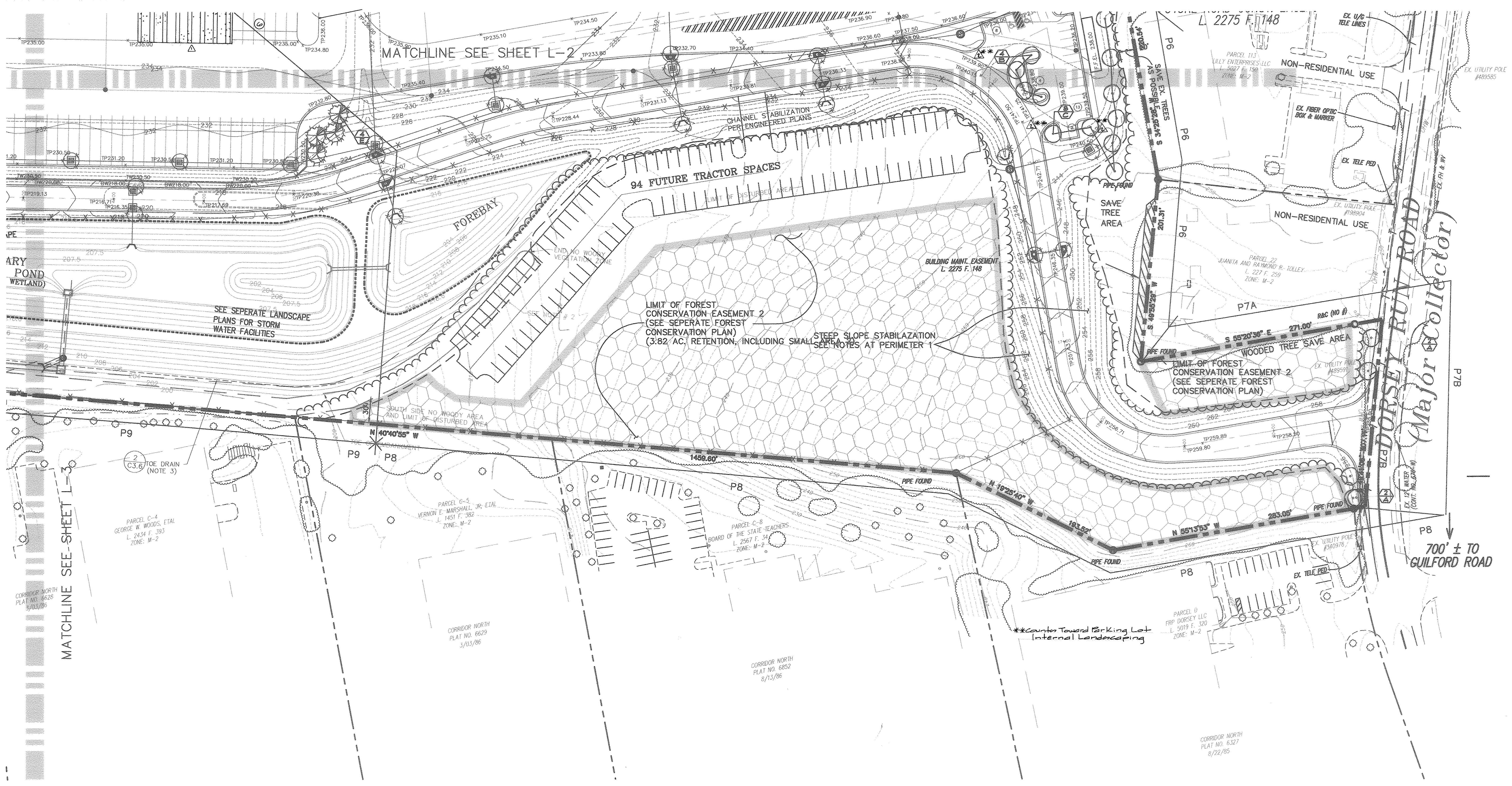
MARK	DATE	BY	MGR	RELEASE
Δ	12/07/02	Wes		rev. trailer staging
Δ	4/12/02	dev		add deck & cooler expansion, rev parking
	4-21-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
LANDSCAPE PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 99155
DATE: 10/07/02	TAX MAP - GRID 48	SHEET NO. 640F86 L3

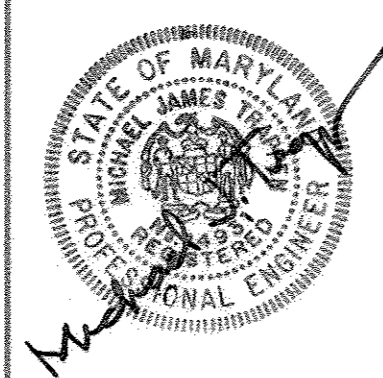


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard 2/6/03
 Chief, Development Engineering Division Date

Hamlin 4/6/03
 Chief, Division of Land Development Date

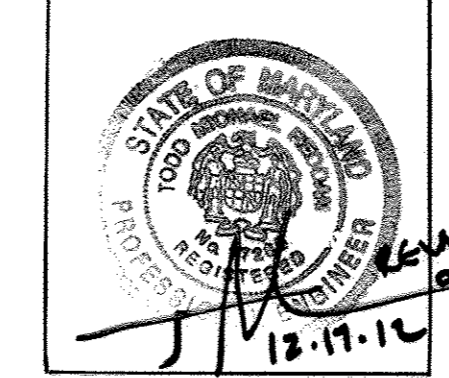
D. L. Boyd 2/6/03
 Director Date



For revision number 1 by alw

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland License No. 14293 Expiration Date: May 21, 2010

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE No. 17286 EXPIRATION DATE: March 17, 2010



THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
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MARK	DATE	BY	MGR	RELEASE
Δ	12/1/12	wmj		add parking notation
Δ	4/18/08	alw		rev. parking
Δ	4-21-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

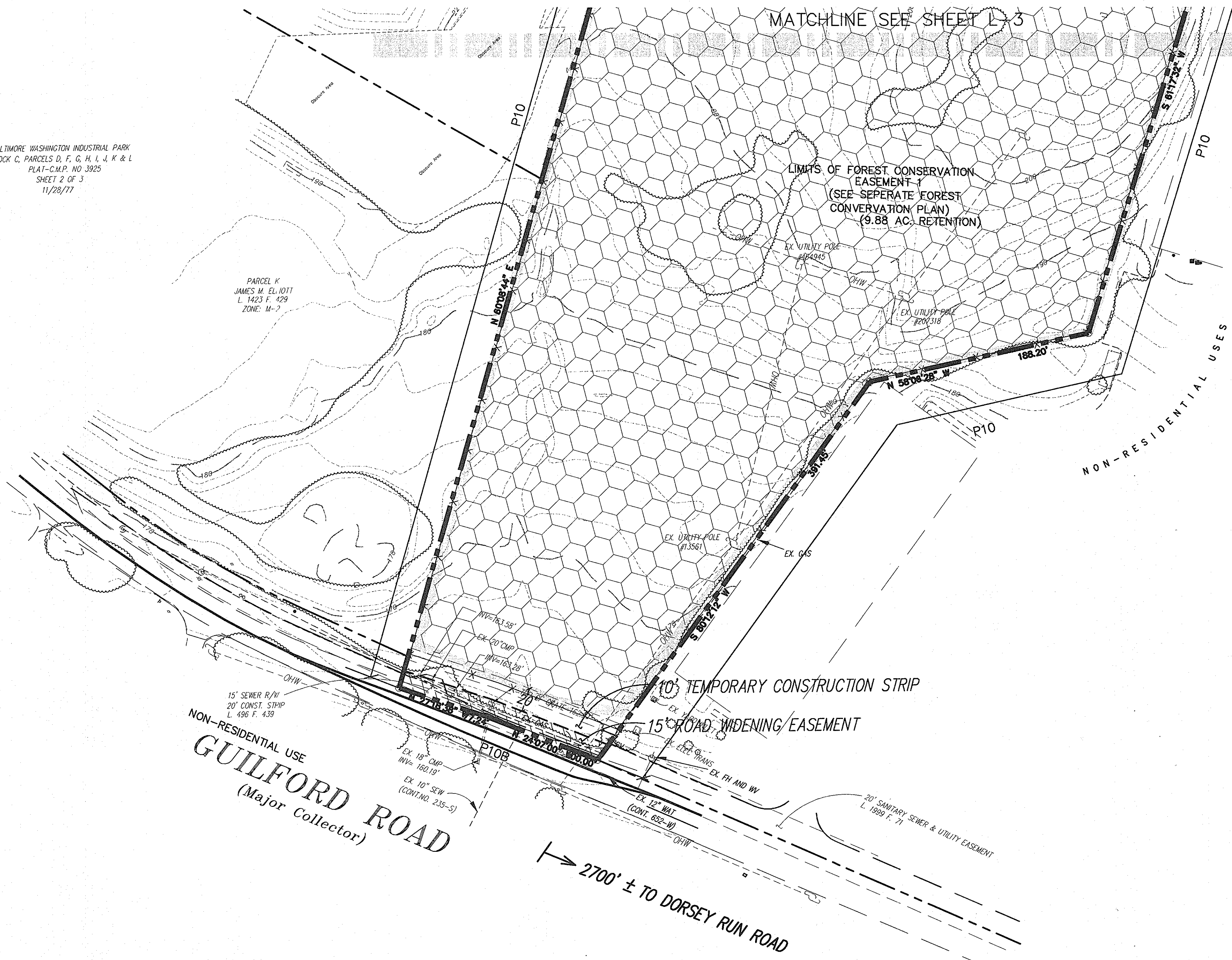
DRAWING TITLE:
LANDSCAPE PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=150'	M-2	99155
DATE:	TAX MAP - GRID	SHEET NO. 65 OF 86
10/07/02	48	L 4

SDP-03-44

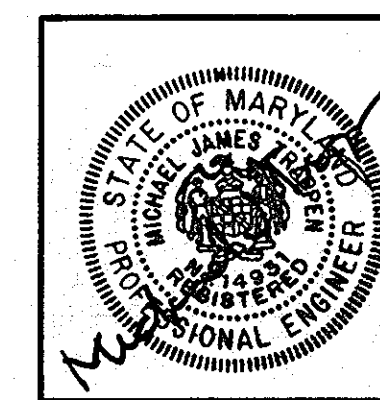
BALTIMORE WASHINGTON INDUSTRIAL PARK
 BLOCK C, PARCELS D, F, G, H, I, J, K & L
 PLAT-C.M.P. NO. 3925
 SHEET 2 OF 3
 11/28/77



SCHEDULE B PARKING LOT INTERNAL LANDSCAPING EMPLOYEE PARKING LOT	
NUMBER OF PARKING SPACES	421* Δ
NUMBER OF ISLANDS REQUIRED	24 Δ
NUMBER OF ISLANDS PROVIDED	12 @400SF += 24 Δ
NUMBER OF TREES REQUIRED	15 Δ
NUMBER OF TREES PROVIDED (SHADE TREES) marked as ** on plans	31 Δ

* Number of spaces = 286 (employee) + 170 (truck driver) + 26 (visitor) = 464

Note:
 Truck driver automobile parking area was not subject to the landscape regulations in the original DP submission due to its limited use. The realine includes the row length and number of spaces not subject to the landscape regulations. In lieu of meeting the parking lot landscape requirements for this lot, DP requires 4-5 shade trees are planted in the grass median between the access drive and this parking area to mitigate the aesthetic and environmental effects of the current and expanded parking.



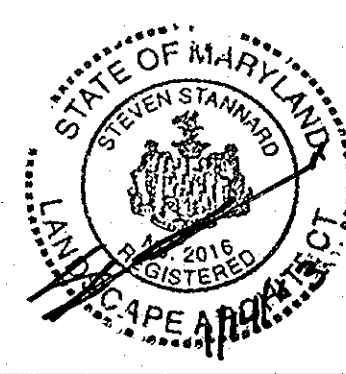
For revision number 1 by glw
 I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License # 14231 Expiration Date: May 21, 2010.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division: *[Signature]* 2/6/02
 Chief, Division of Land Development: *[Signature]* 2/6/02
 Director: *[Signature]* 2/4/02

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
 LICENSE No.: 17125
 EXPIRATION DATE: March 17, 2013
 glw revision
 12-17-12
 For Revision ONLY

THE FACILITY GROUP
 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
Δ	12/17/2011	klp		rev. sch. B to reflect new parking
Δ	4/13/09	klp		rev. sch. B to reflect rev. parking
	4-21-02			AS BUILT

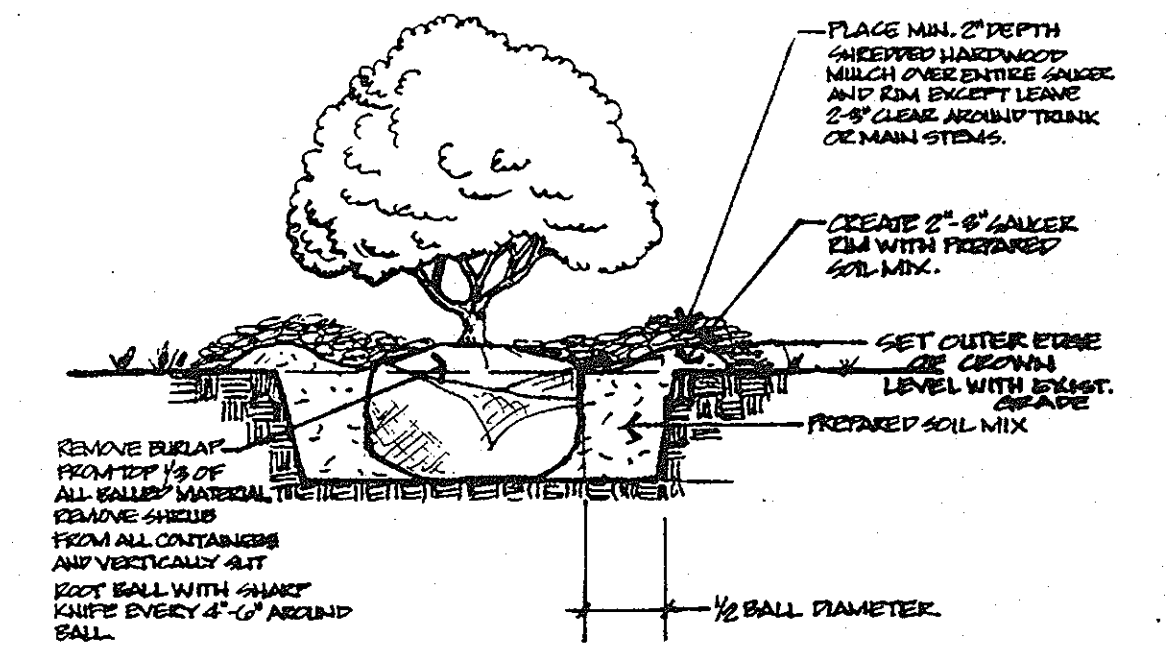
PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
LANDSCAPE PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=150'	M-2	99155
DATE:	TAX MAP - GRID	SHEET NO. 66 OF 86
10/07/02	48	L5

SDP-03-44

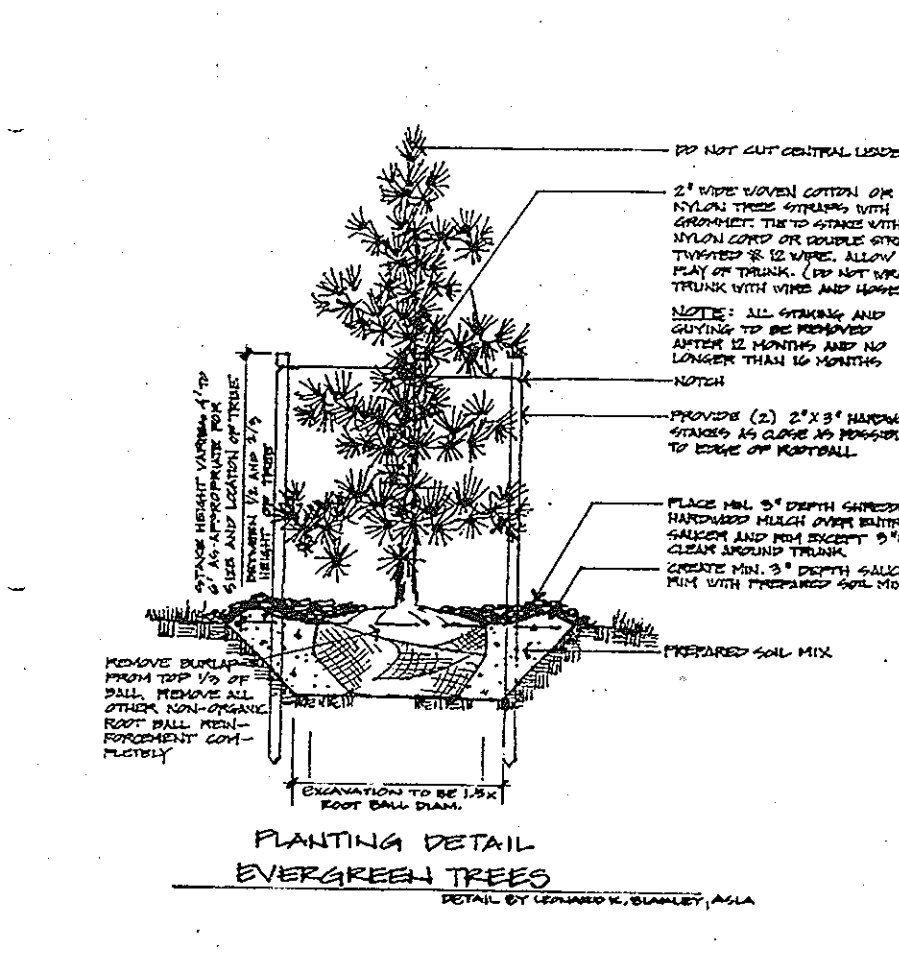
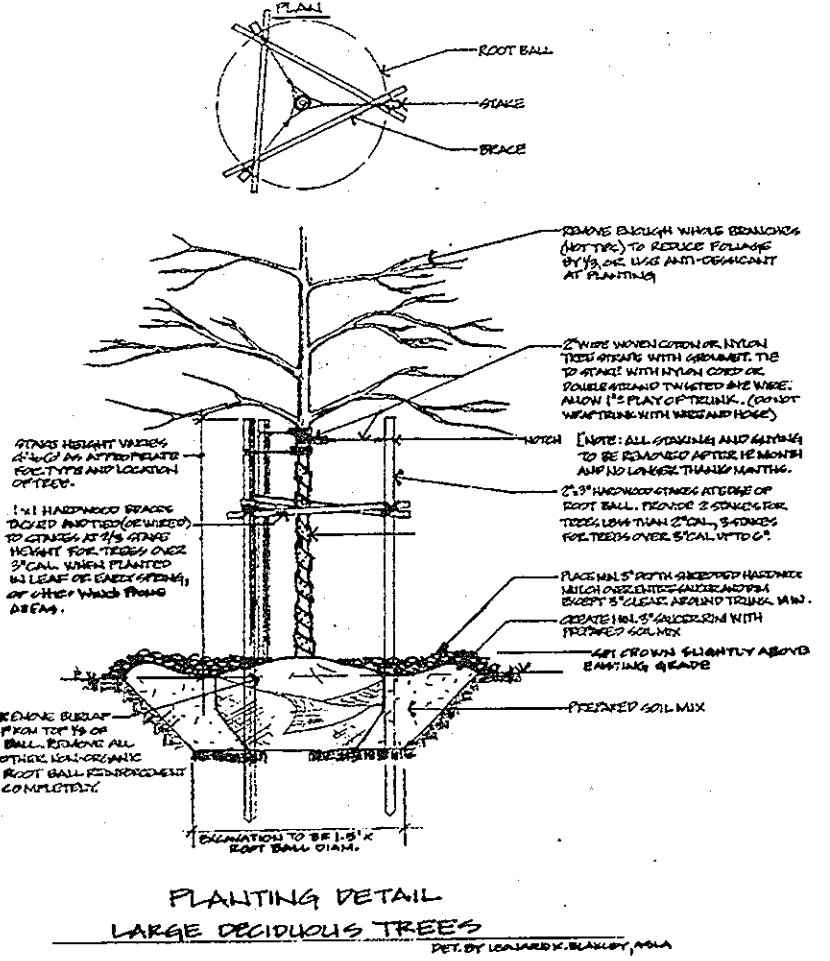
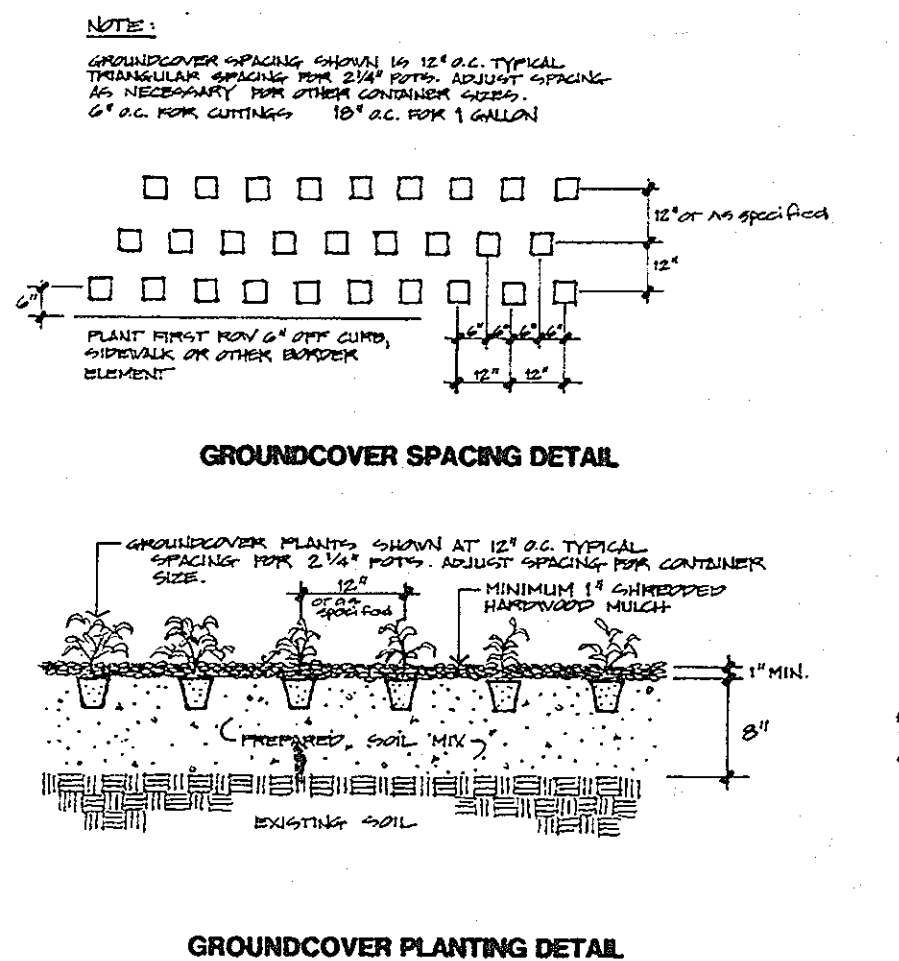
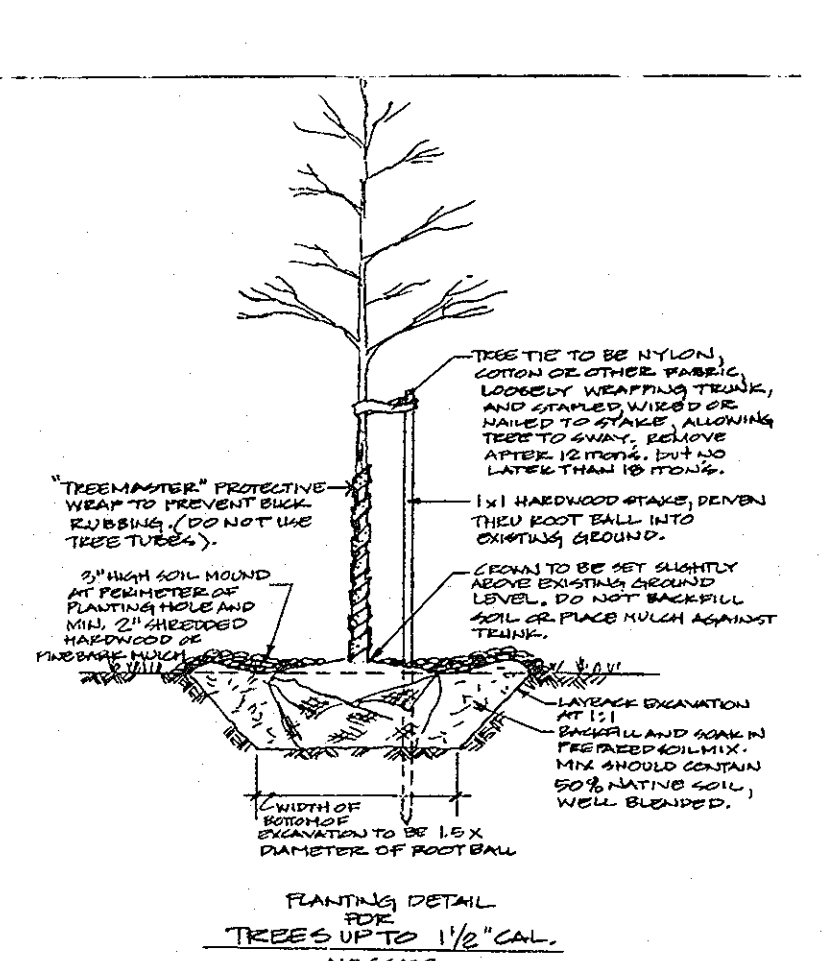
CATEGORY	PERIMETER 1	PERIMETER 2	PERIMETER 3	PERIMETER 4A	PERIMETER 4B	PERIMETER 5	PERIMETER 6	PERIMETER 7A	PERIMETER 7B	PERIMETER 8	PERIMETER 9	PERIMETER 10	PERIMETER 10B
LANDSCAPE TYPE	A	C	C	C	C	A	A	C	C	C	N/A	C	C
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	1134	2212	460	472	70' (NET 0)	340	440	271	210' (NET 130')	1122	1105	1860	180'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED	YES 330'	YES/ 780' FCA	YES/ 460'	NO	—β—	NO	YES/ 200'	YES/ 271'	130' F.C.A.	YES/ 1122' FCA	N/A	YES/ 2040' FCA	YES 180'
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) DESCRIBE BELOW IF NEEDED	NO	YES/ 100' WALL	NO	NO	—β—	NO	NO	NO	NO	NO	N/A	NO	NO
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	15	33 66 0	0 0 0	8 0 0	—β—	6 0 0	4	0	—β—	—β—	N/A	—β—	—β—
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (1:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED	15	8 96 0	—β— —β— 0	8 0 0	—β—	12 0 0	4	0	—β—	—β—	N/A	—β—	—β—
COMMENTS	EX. WOODS TO BE RETAINED		EX. WOODS TO BE RETAINED		NET PERIMETER IS PERIMETER LENGTH LESS ENTRANCE				80' CONSIDERED SITE ENTRANCE		CREDIT FOR PLANTINGS PROVIDED IN AND AROUND THE SWM FACILITY AND CHANGE IN GRADE		



SHRUB PLANTING DETAIL

PROCEDURES FOR TREE/SHRUB PLANTING

- I. PREPARING PLANTING PIT
 - A. PLANTING PIT MUST BE A MINIMUM OF 2 TIMES THE DIAMETER OF THE ROOT BALL ACROSS THE TOP.
 - B. WALLS OF TREE PIT SHALL BE SCARIFIED TO ENCOURAGE ROOT PENETRATION.
 - C. THE TREE PIT SHALL BE DEEP ENOUGH SUCH THAT ROOT FLARE/TOP OF ROOT BALL SHALL BE SET LEVEL OR SLIGHTLY ABOVE SURROUNDING GRADE. LOOSE SOIL IN THE BOTTOM OF THE PIT SHALL BE TAMPED TO PREVENT SETTLEMENT BELOW INTENDED GRADE.
 - D. SHRUBS AND TREES SHOULD NEVER BE PLANTED IN UNMOIDIFIED HEAVY CLAY SOILS. IN AREAS OF CLAY SOILS, TREE PITS SHOULD BE ENLARGED BY AT LEAST 50% AND BOTTOM OF PIT SHOULD BE SUBCAVATED AND RE-FILLED TO PROPER BOTTOM DEPTH WITH COMPACTED SOIL MIX. CONTRACTOR SHALL EVALUATE CONDITIONS IN FIELD TO AVOID TRAPPING WATER IN THE PIT WHICH MAY RESULT IN "DROWNING" OR ALTERNATELY, DRYOUT OF INSTALLED PLANT MATERIAL IN CLAY SOILS AND TAKE APPROPRIATE STEPS TO CORRECT CONDITIONS IF CONDITIONS ARE EXTENSIVE AND WHICH CONTRACTOR FEELS MAY THREATEN SURVIVAL OF PLANTS. CONTRACTOR SHALL NOTIFY THE OWNER AND/OR LANDSCAPE ARCHITECT IN ADVANCE TO DETERMINE APPROPRIATE ACTION.
 - II. MOVING AND PLACING TREE
 - A. LIFT AND MOVE PLANT BY THE ROOT BALL, NEVER BY THE TRUNK OR BRANCHES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING MACHINERY NECESSARY TO LIFT AND MOVE PLANT MATERIALS AND TO ENSURE THAT IS NOT DROPPED.
 - B. SET TREES STRAIGHT AND IN THE CENTER OF THE PIT WITH THE MOST DESIRABLE SIDE FACING TOWARD THE MOST PROMINENT VIEW (SIDEWALK, BUILDING, STREET, BUILDING, ETC.).
 - C. AVOID ORIENTATION OF LOW BRANCHED TREES, WHICH MAY RESULT IN INTERFERENCE WITH PEDESTRIAN OR VEHICULAR ACCESS.
 - D. CONTRACTOR IS RESPONSIBLE FOR ANY DROPPED PLANT MATERIAL UNDER THE TERMS OF WARRANTY AND SHALL PROCEED WITH PLANTING OF SUCH MATERIAL AT HIS OWN RISK.
 - III. ANTI-DESSICANTS
 - A. ANTI-DESSICANTS SHALL BE AN EMULSIFIABLE CONCENTRATE USED TO RETARD WATER LOSS WITHOUT INTERFERENCE WITH NORMAL PLANT TRANSPIRATION.
 - IV. BACK-FILL MIXTURE
 - A. BACKFILL SHALL CONSIST PRIMARILY OF NATIVE SOIL. HOWEVER, CONTRACTOR MAY, UPON DETERMINATION OF CONDITIONS OF EXISTING SOIL, AMEND SOIL AS APPROPRIATE TO ENCOURAGE CONTINUED HEALTH OF PROPOSED PLANT MATERIAL. SUCH AMENDMENTS MAY CONSIST OF SAND OR CYSLIM ADDED TO CLAY SOILS TO PROMOTE DRAINAGE, OR ORGANIC MATERIAL TO SANDY SOILS TO PROMOTE MOISTURE RETENTION. OTHER ADDITIVES SUCH AS "TERRASORB" OR "TURFACE" FOR SLOW RELEASE MOISTURE RETENTION OR "ORGANIC INOCULANTS" MAY BE MADE AT THE DISCRETION OF THE CONTRACTOR AND/OR OWNER. THE OWNER/DEVELOPER IS ENCOURAGED TO SALVAGE AND RETAIN NATIVE TOPSOIL OR WOODLAND HUMUS AND MAKE SAME AVAILABLE TO THE LANDSCAPE CONTRACTOR FOR AMENDMENT PURPOSES WHERE LARGE SCALE EARTH MOVING OPERATIONS ARE INVOLVED. THE CONTRACTOR IS PRIMARILY RESPONSIBLE FOR THE SURVIVAL OF PLANT MATERIAL DURING THE WARRANTY PERIOD; HOWEVER, LIMITED ADJUSTMENT OF SOILS MAY HELP TO ASSURE ADAPTABILITY OF PLANTS BEYOND THE WARRANTY PERIOD.
 - B. SOIL AMENDMENT MATERIAL SHALL BE LIMITED TO A MAX. OF 1/3 OF NATIVE SOIL BY VOLUME AND SHALL BE WELL MIXED WITH THE NATIVE SOIL. MIXING HAVE CLAYISH SOIL SHOULD BE PERFORMED WHEN REASONABLY DRY AND SOIL SHALL BE WELL FRAGMENTED PRIOR TO, OR DURING MIXING.
 - C. FERTILIZER IS TO BE ADDED DEPENDING ON THE SIZE OF THE PLANT AND THE MANUFACTURERS RECOMMENDATION ONLY AS INDICATED BY SOIL TEST RESULTS. USE TREE FERTILIZERS AS REQUIRED FOR PARTICULAR SPECIES.
 - V. TOPSOIL
 - A. TOPSOIL USED IN BACKFILL SHALL BE SANDY LOAM AND FREE OF STONES, LUMPS, ROOTS OR OTHER DEBRIS LARGER THAN 1 1/2 INCHES AND SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT HEALTH.
 - B. SOURCE TOP SOIL SHALL HAVE A PH RANGE OF 5.5 TO 6.5 WITH A MIN. ORGANIC MATTER CONTENT OF 3% (NOT WITHSTANDING AMENDMENTS).
 - C. ORGANIC MATTER
 1. ORGANIC MATTER USED IN AMENDED SOIL BACKFILL MAY BE GROUND SPAGNUM MOSS, WELL AGED AND COMPOSTED SHREDDED OR CHIPPED WOOD, COMPOSTED BARK MULCH, LEAF MOLD OR COMPOSTED SLOUGH. ALL COMPOSTED MATERIALS SHALL HAVE BEEN AGED SUFFICIENTLY TO ENSURE RELEASE OF PRIMARY NITROGEN CONTENT. MATERIAL SHOULD BE REASONABLY DRY AT MIXING TO ENSURE PROPER BLENDING.
 - VI. MULCH
 - A. MULCH SHALL BE DOUBLE SHREDDED AND COMPOSTED HARDWOOD BARK, SUCH AS "SILVABARK" OR AN APPROVED EQUIVALENT. USE OF FRESHLY SHREDDED OR SOFTWOOD MULCH WILL NOT BE PERMITTED.
 - B. MATERIAL TO BE MULCHING GRADE AND FREE OF FOREIGN OR HARMFUL MATTER.
 - C. THE USE OF HOSE AND WIRE FOR TREE BRACING IS DISCOURAGED SINCE IMPROPER INSTALLATION MAY RESULT IN "GRINDING" OF TREE OR BRANCHES AND DISCOURAGES STABILIZING ROOT GROWTH AND STRENGTHENING OF TRUNK. USE OF TALL STAKES AND WIDE TREE STRAPS IS PREFERRED AS INDICATED BY TREE PLANTING DETAIL, REGARDLESS OF METHOD USED. LOOP AT TRUNK SHOULD PLACED LOOSE SUFFICIENTLY TO ALLOW AT LEAST ONE INCH HORIZ. MOVEMENT OF THE TRUNK AT THE LOOP.
 - D. STAKING TO BE COMPLETED WITHIN 48 HOURS OF TREE PLANTING.
 - E. IF USED, REINFORCED HOSE SHALL BE CUT IN PIECES LONG ENOUGH TO COMPLETELY ENCLOSE THE TRUNK OF THE TREE. WIRE SHALL NOT DIRECTLY TOUCH THE TRUNK.
 - F. STAKES ARE TO BE HARDWOOD AND REASONABLY FREE OF KNOTS TO AVOID BREAKAGE.
 - G. WIRE SHALL BE 12 OR 14 GAUGE GALV. STEEL (OR EQUIVALENT CABLE).
 - H. HOSE SHALL BE CORDED REINFORCED RUBBER, 3/4 TO 1 INCH. IN DIA.
 - I. TREE STRAPS SHALL BE ANY COMMERCIALY AVAIL. CLOTH OR OTHER MESH MATERIAL, A MIN. OF 2" IN WIDTH AND WARRANTED TO LAST THRU THE STAKING PERIOD.
 - J. ALL GUYING AND STAKING SHALL BE REMOVED (AND MATERIALS DISPOSED OF) AFTER TWELVE MONTHS BUT NOT MORE THAN 18 MONTHS AFTER INSTALLATION. LONG DRIVEN STAKES MAY BE CUT OFF FLUSH AT THE GROUND.
 - VII. SOIL TESTING
 - A. CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL TESTING PRIOR TO LANDSCAPE INSTALLATION AND BY ACCEPTED METHODS OF THE LOCAL AGRICULTURAL SERVICE.
 - B. CONTRACTOR SHALL NOTIFY OWNER OF ANY PROBLEMS FOUND WITH INSTU SOILS SUFFICIENTLY IN ADVANCE OF PLANTING FOR OWNER OR LANDSCAPE ARCHITECT TO DISCUSS EFFECTIVE ACTION.
- NOTE: SURETY IN THE AMOUNT OF \$ 32,550, FOR 66 SHADE TREES AND 85 EVERGREENS, WILL BE INCLUDED WITH THE DEVELOPERS AGREEMENT.
- * REQUIRED LANDSCAPE QUANTITY ONLY.



KEY	TOTAL UNITS	SCIENTIFIC NAME	COMMON NAME	SIZE	COND.	SPACING	COMMENTS
A	12	ACER RUBRUM "AUTUMN FLAME"	"AUTUMN FLAME" RED MAPLE	2.5"-3" CAL.	B&B	40' O/C	
B	9	GLEDITSIA TRIACANTHOS INERMIS "SHADEMASTER"	SHADE MASTER THORNLESS HONEYLOCUST	2.5"-3" CAL.	B&B	PER PLAN	
C	24	QUERCUS PHELLOS	WILLOW OAK	2.5"-3" CAL.	B&B	40' O/C	
D	57	PICEA ABIES	NORWAY SPRUCE	7-8" HT.	B&B	20' O/C	
E	35	PINUS THUNBERGIANA	JAP BLACK PINE	7-8" HT.	B&B	20' O/C	
F	32	PICEA OMORICA	SERBIAN SPRUCE	7-8" HT.	B&B	15' O/C	

STEEP SLOPE STABILIZATION:
AREAS OF 4:1 OR STEEPER SLOPES AS INDICATED HEREON TO RECEIVE STEEP SLOPE STABILIZATION ARE TO BE HYDRO-SEEDED IN ACCORDANCE WITH SECTION G, VEGETATIVE PRACTICES OF THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", FOR PERMANENT SEEDING FOR LOW MAINTENANCE AREAS. THESE AREAS ARE TO BE SEEDED WITH MIX CONTAINING CROWNVECH, AND/OR BIRDS FOOT TREFLOE AS PERMANENT COVER PLANT. SLOPES OVER 3:1 ARE RECOMMENDED TO BE TREATED WITH AN APPROPRIATE BIO-DEGRADABLE SURFACE TACKIFIER WHICH SHALL NOT HINDER SEED GERMINATION.

NOTE: NO PERIMETER LANDSCAPING IS REQUIRED AROUND SWM POND SINCE THE POND IS NOT VISIBLE FROM THE PUBLIC ROAD, PER LANDSCAPING MANUAL.

SURETY IN THE AMOUNT OF \$32,550 WILL BE INCLUDED WITH THE DEVELOPER'S AGREEMENT.

Landscaping surety is not required for revision

GENERAL CONDITIONS

- I. SCOPE
 - A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS, PLANT LIST AND SPECIFICATIONS.
 - B. TOTAL NUMBER OF PLANTS SHALL BE AS DRAWN ON THE LANDSCAPE PLAN. IF THIS TOTAL DIFFERS FROM THE PLANT SCHEDULE, CONTRACTORS / BIDDERS SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO THE BID DATE OR PRIOR TO CLARIFICATION OR CORRECTION.
- II. STANDARDS
 - A. ALL PLANT MATERIAL WILL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONFORM IN GENERAL TO REPRESENTATIVE SPECIES.
 - B. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED BY STATE OR FEDERAL AGENCIES. ANY CERTIFICATES REQUIRED MUST BE PROVIDED TO THE OWNER OR REPRESENTATIVE UPON DELIVERY OF MATERIALS.
- III. SUBSTITUTIONS
 - A. IF A PLANT IS FOUND NOT TO BE SUITABLE OR AVAILABLE, THE LANDSCAPE CONTRACTOR IS TO NOTIFY THE OWNER OR LANDSCAPE ARCHITECT AT THE EARLIEST OPPORTUNITY.
 - B. THE OWNER OR LANDSCAPE ARCHITECT IS THEN REQUIRED TO SELECT A REASONABLE SUBSTITUTE OR TO INFORM THE CONTRACTOR (OR BIDDERS) OF THE AVAILABILITY OF THE ORIGINAL PLANT SELECTION. CONTRACTORS ARE WELCOME TO SUGGEST SUBSTITUTES BASED ON THEIR KNOWLEDGE OF MARKET AVAILABILITY.
 - C. SUBSTITUTIONS MUST BE OF THE SAME SIZE, VALUE AND QUALITY AS EXPECTED OF THE ORIGINAL PLANT.
 - D. SUBSTITUTIONS ARE TO BE MADE WITH WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT, OR WHERE APPLICABLE, BY CITY, COUNTY OR STATE OFFICIALS AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- IV. UTILITIES
 - A. THE LANDSCAPE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 72 HRS. PRIOR TO BEGINNING ANY EXCAVATION, TO LOCATE MAIN UTILITY LINES IN THE FIELD. CONTRACTOR SHALL COORDINATE WITH JOB SUPERINTENDANT AND OTHERWISE TAKE ALL REASONABLE PRECAUTIONS TO AVOID DAMAGE TO MARLINE OR OTHER ON-SITE UTILITIES IN THE COURSE OF LANDSCAPE INSTALLATION. PARTICULAR CARE SHOULD BE TAKEN IN THE VICINITY OF UNDERGROUND ELECTRIC, TELEPHONE, GAS CONDUIT AND CABLE TELEVISION LINES.

- V. DRAINAGE
 - A. IF A CONFLICT BETWEEN UTILITIES AND LANDSCAPE PLANTING IS DETERMINED, CONTRACTOR SHALL NOTIFY THE OWNER OR LANDSCAPE ARCHITECT IMMEDIATELY. ANY COST OF RELOCATING LANDSCAPE MATERIAL DUE TO LACK OF NOTIFICATION SHALL BE BORNE BY THE CONTRACTOR.
- VI. PLANTS SHALL NOT BE PLANTED IN SITUATIONS THAT SHOW OBVIOUS POOR DRAINAGE. SUCH SITUATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER AND THE SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD SOIL IN THE CONTAINER TOGETHER.
- VII. STANDARDS
 - A. BALLED AND BURLAPPED (B & B)
 1. BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH.
 2. BALL SIZES SHALL BE IN ACCORDANCE WITH A.N. SPECIFICATIONS.
 - B. CONTAINER GROWN STOCK SHALL HAVE BEEN GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD SOIL IN THE CONTAINER TOGETHER.
 - C. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED. PRUNING SHALL BE DONE PRIOR TO PLANTING OR DURING THE PLANTING OPERATION.
 - D. ALL PLANT MATERIAL TO BE TRANSPORTED WITH COVER OVER VEHICLE OR OTHERWISE TO PREVENT DESSICATION. LOCALLY TRANSPORTED MATERIAL MAY BE COVERED WITH BURLAP OR SIMILAR MATERIAL. PLANTS TO BE TRANSPORTED MORE THAN 20 MILES OR AT SPEEDS GREATER THAN 35 MPH SHOULD BE TREATED WITH ANTI-DESSICANTS PRIOR TO TRANSPORT.
 - E. ANTI-DESSICANTS SHOULD BE APPLIED TO ALL DECIDUOUS PLANT MATERIAL DUG WHILE IN FOLIAGE.
 - F. CONTAINER STOCK MAY REPLACE B&B AS LONG AS ALL OTHER CRITERIA ARE MET.
 - G. SAME SPECIES PLANT MATERIAL INTENDED TO BE PLACED IN CLUSTERS OR HEDGES SHALL BE SIMILAR IN APPEARANCE. HEDGE MATERIAL WILL BE SIMILAR IN SIZE AND SHAPE TO CREATE A UNIFORM HEDGE.
- III. INSPECTION
 - A. PLANTS MAY BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVE AT THE PLACE OF GROW FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AS TO QUALITY, SIZE AND VARIETY. THIS WILL BE AT OWNERS EXPENSE.
 - B. PLANTS DAMAGED IN HANDLING OR TRANSPORTATION MAY BE REJECTED BY THE OWNER OR OWNERS REPRESENTATIVE. CONTRACTOR SHOULD BRING ANY DAMAGED PLANT MATERIAL TO ATTENTION OF OWNER OR REP. PRIOR TO INSTALLATION OR BE RESPONSIBLE FOR POSSIBLE REPLACEMENT AT HIS COST.

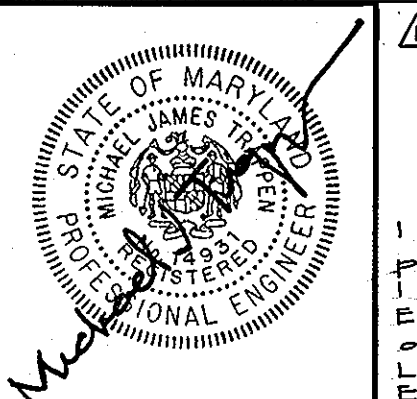
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard County Department of Planning & Zoning
Chief, Development Engineering Division
Date: 2/6/12

Howard County Department of Planning & Zoning
Chief, Division of Land Development
Date: 2/6/12

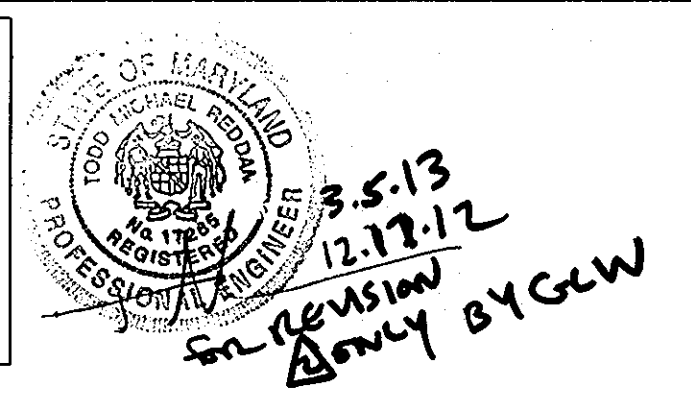
Howard County Department of Planning & Zoning
Director
Date: 2/6/12



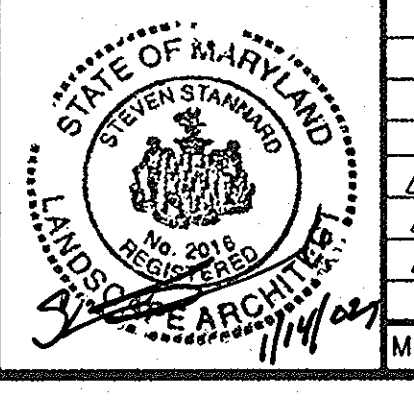
For revision number 1 by G.W.

I hereby certify that these plans were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.
License #14021
Expiration Date: May 21, 2010

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
LICENSE NO.: 17185
EXPIRATION DATE: March 17, 2010



THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
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FAX # (770) 437-3939

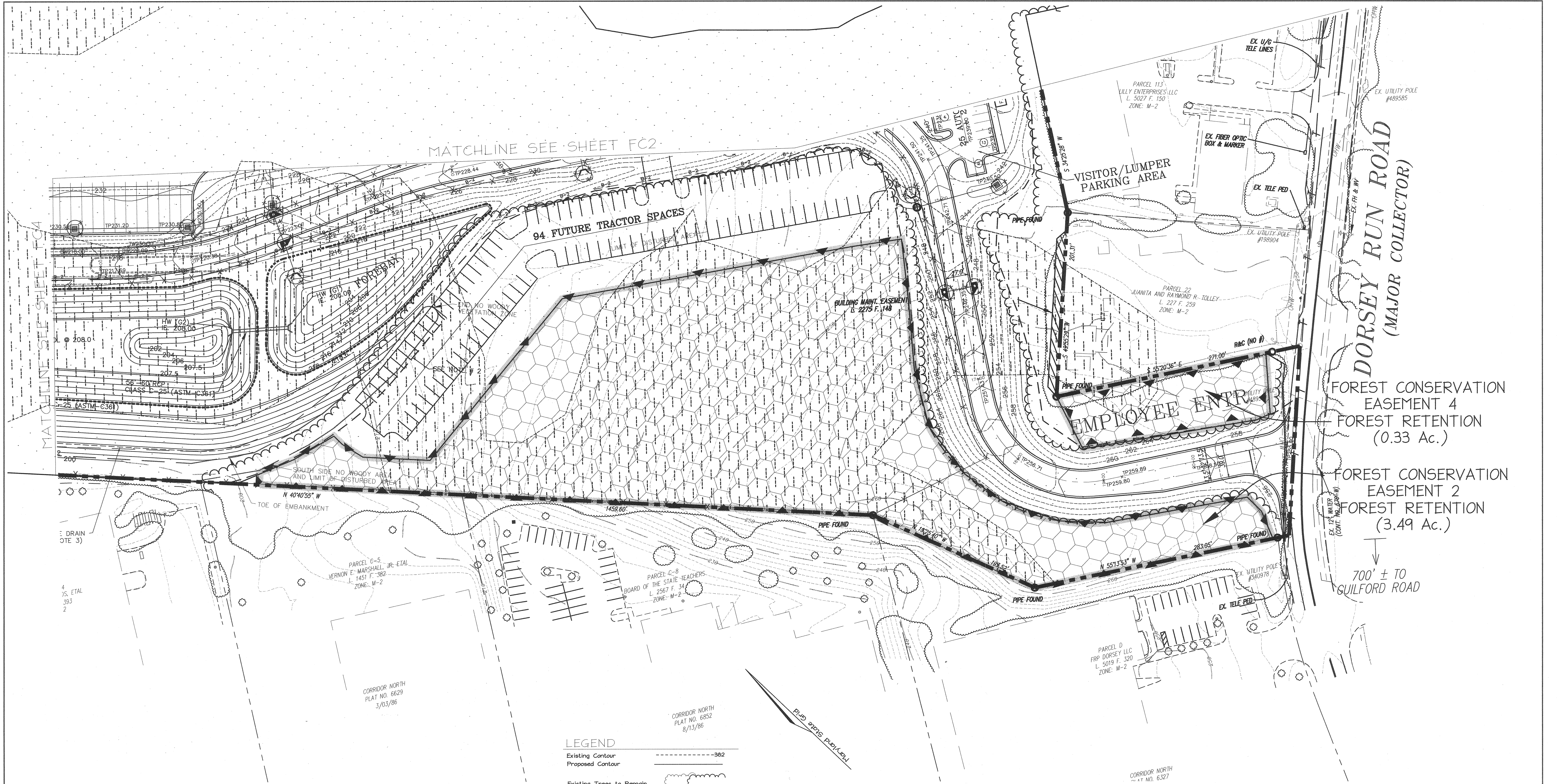


MARK	DATE	BY	RELEASE
Δ	2/4/12	gt	Building addition & fuel tank Pad
Δ	2/17/12	lp	rev. plant schedule
Δ	4/18/12	klp	rev. plant schedule
Δ	4/26/12		AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
LANDSCAPE PLAN
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

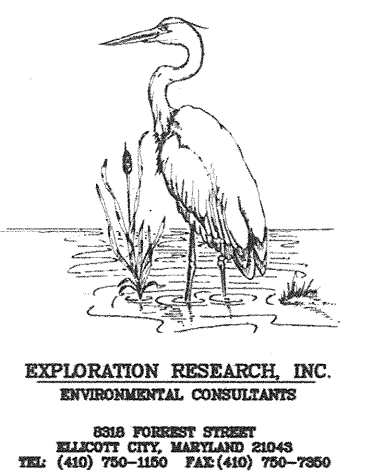
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N/A	M-2	99155
DATE:	TAX MAP - GRID	SHEET NO. OF 66
10/07/02	48	16



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

John D. ... 2/6/02
 Chief, Development Engineering Division
Cindy Hamlin 2/6/02
 Chief, Division of Land Development
D. S. ... 2/6/02
 Director

- LEGEND**
- Existing Contour -382
 - Proposed Contour
 - Existing Trees to Remain
 - Retention area
 - Clearing area
 - Slope 15% - 25%
 - Forest conservation easement
 - Forest retention sign TPF
 - Tree protection fence
 - Specimen tree ST-1



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MARK	DATE	BY	MGR	RELEASE
	4-21-04		AS	BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
FOREST CONSERVATION PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

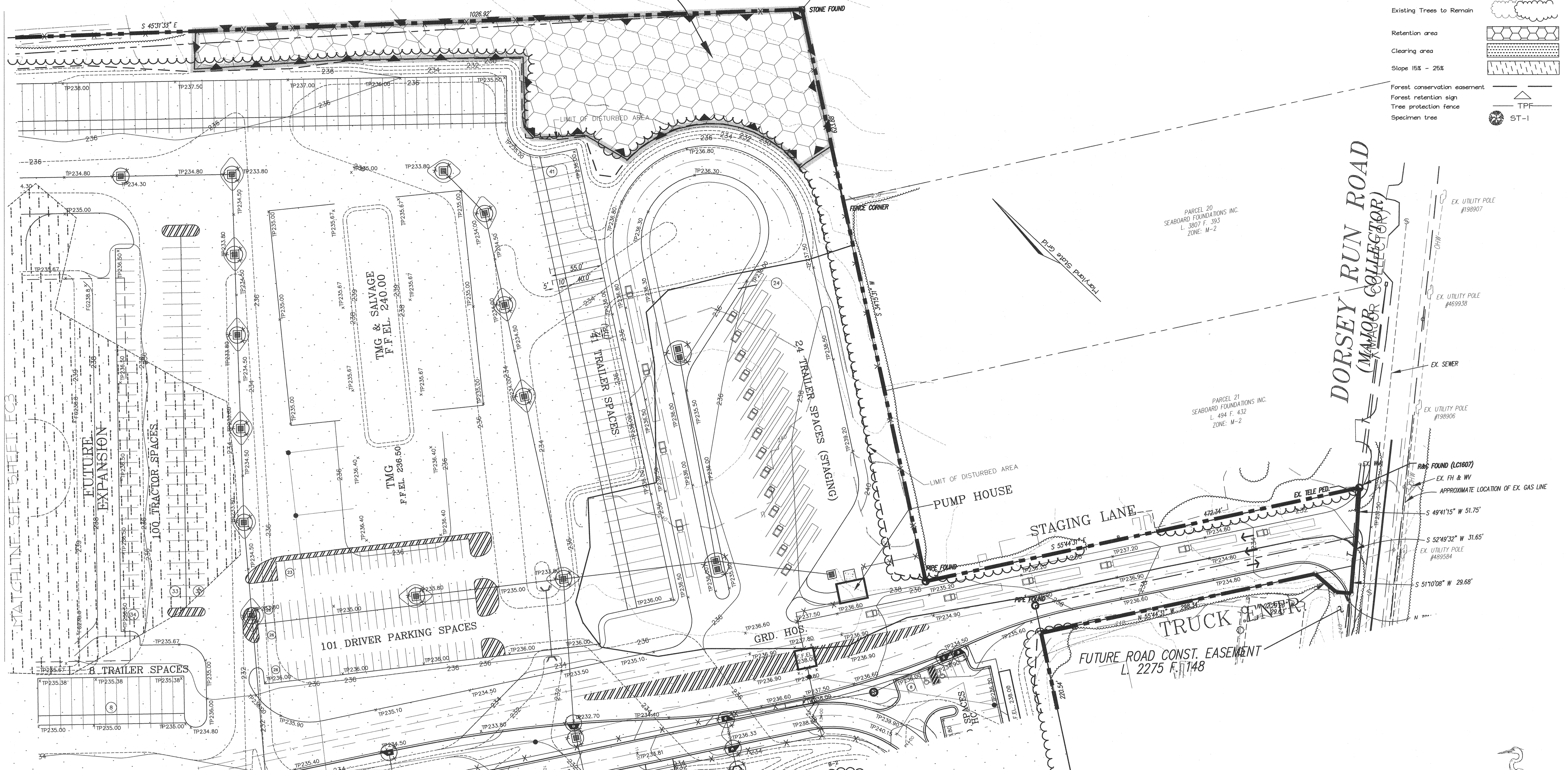
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1"=50'	M-2	99155
DATE:	TAX MAP - GRID	SHEET NO. 68 OF 86
06/20/02	48	FC1

FOREST CONSERVATION EASEMENT 3
FOREST RETENTION (1.28 Ac.)

PARCEL 19
SEABOARD FOUNDATIONS INC.
L. 2275 F. 25
ZONE: M-2

LEGEND

- Existing Contour: - - - - - 382
- Proposed Contour: - - - - -
- Existing Trees to Remain: [Symbol]
- Retention area: [Symbol]
- Clearing area: [Symbol]
- Slope 15% - 25%: [Symbol]
- Forest conservation easement: [Symbol]
- Forest retention sign: [Symbol]
- Tree protection fence: TPF
- Specimen tree: ST-1



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard Dammann 2/6/03
Chief, Development Engineering Division Date

Vinda Hamble 2/6/03
Chief, Division of Land Development Date

D.J. McLaughlin 2/6/03
Director Date

MATCHLINE SEE SHEET FCI

Bowman CONSULTING

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101 South Street, S.E.
Lynchburg, Virginia 24502

Phone: (703) 443-9400
Fax: (703) 443-9425
www.bowmanconsulting.com

EXPLORATION RESEARCH INC.
ENVIRONMENTAL CONSULTANTS

800 FOREST STREET
BLOOMSBURY CITY, WASHINGTON DC 20004
TEL: (410) 740-1160 FAX: (410) 760-1980

THE FACILITY GROUP

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MARK	DATE	BY	MGR	RELEASE
	4-21-04			AS BUILT

PREPARED FOR:

**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**

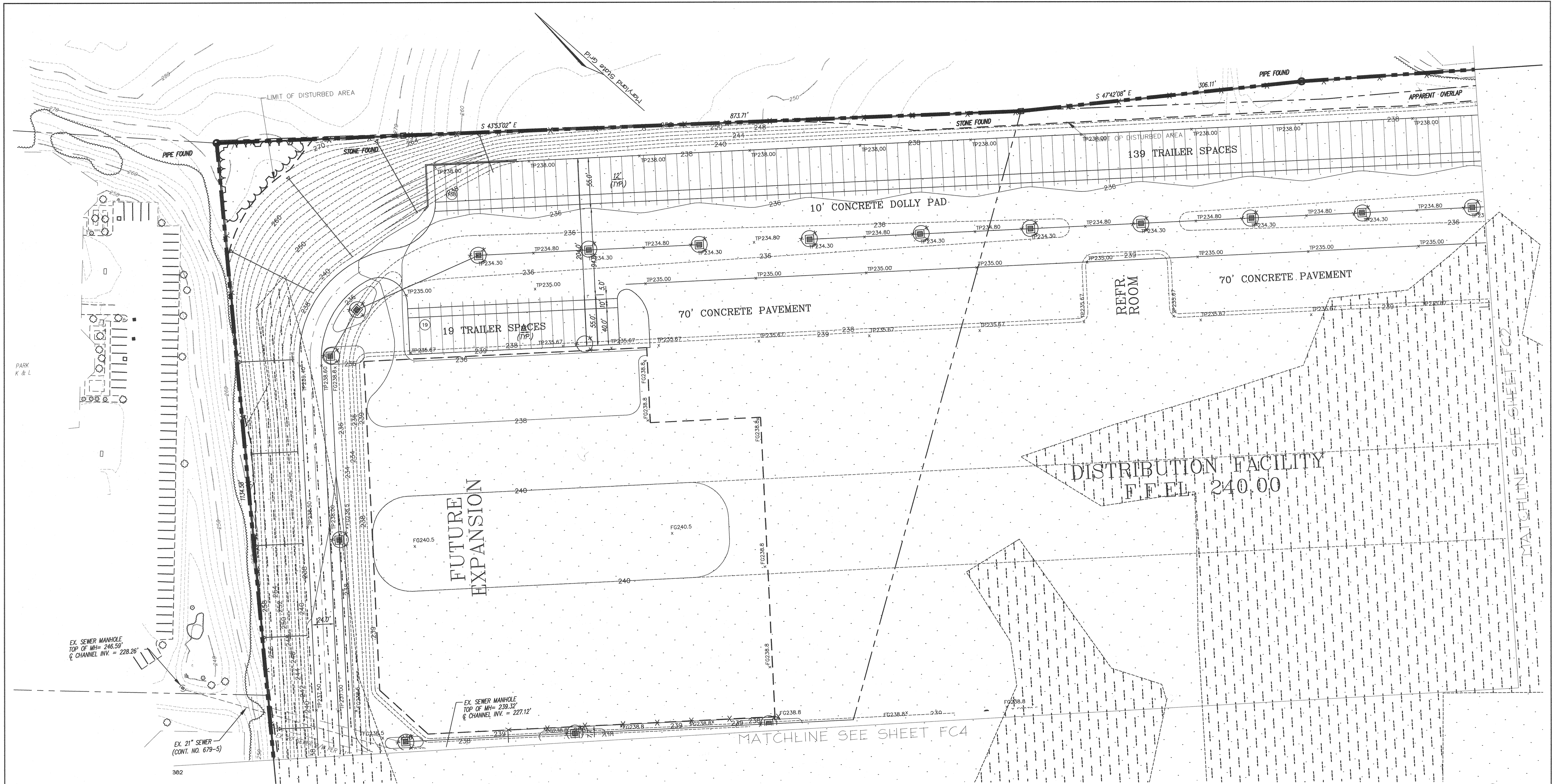
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DRAWING TITLE:

FOREST CONSERVATION PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	99155
DATE:	TAX MAP - GRID	SHEET NO
06/20/02	48	690F86 FC 2



LEGEND

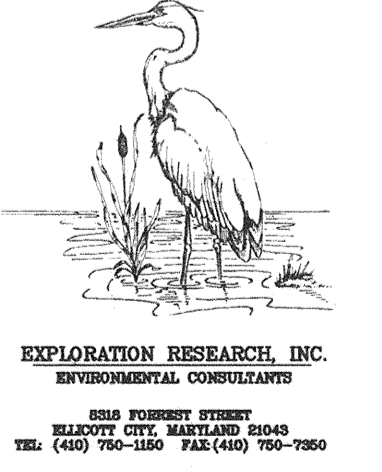
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Allen Dammann 2/6/03
 Chief, Development Engineering Division Date

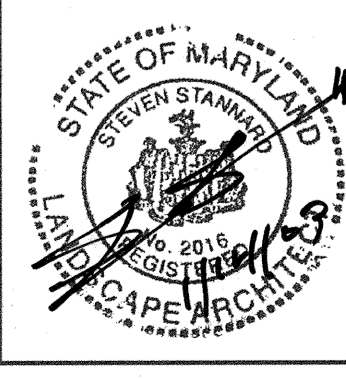
W. Hamble 2/6/03
 Chief, Division of Land Development Date

D. J. Wright 2/6/03
 Director Date



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 ARCHITECTS & ENGINEERS
 2233 LAKE PARK DRIVE
 SMYRNA, GEORGIA 30080
 TELEPHONE # (800) 525-2463
 FAX # (770) 437-3939

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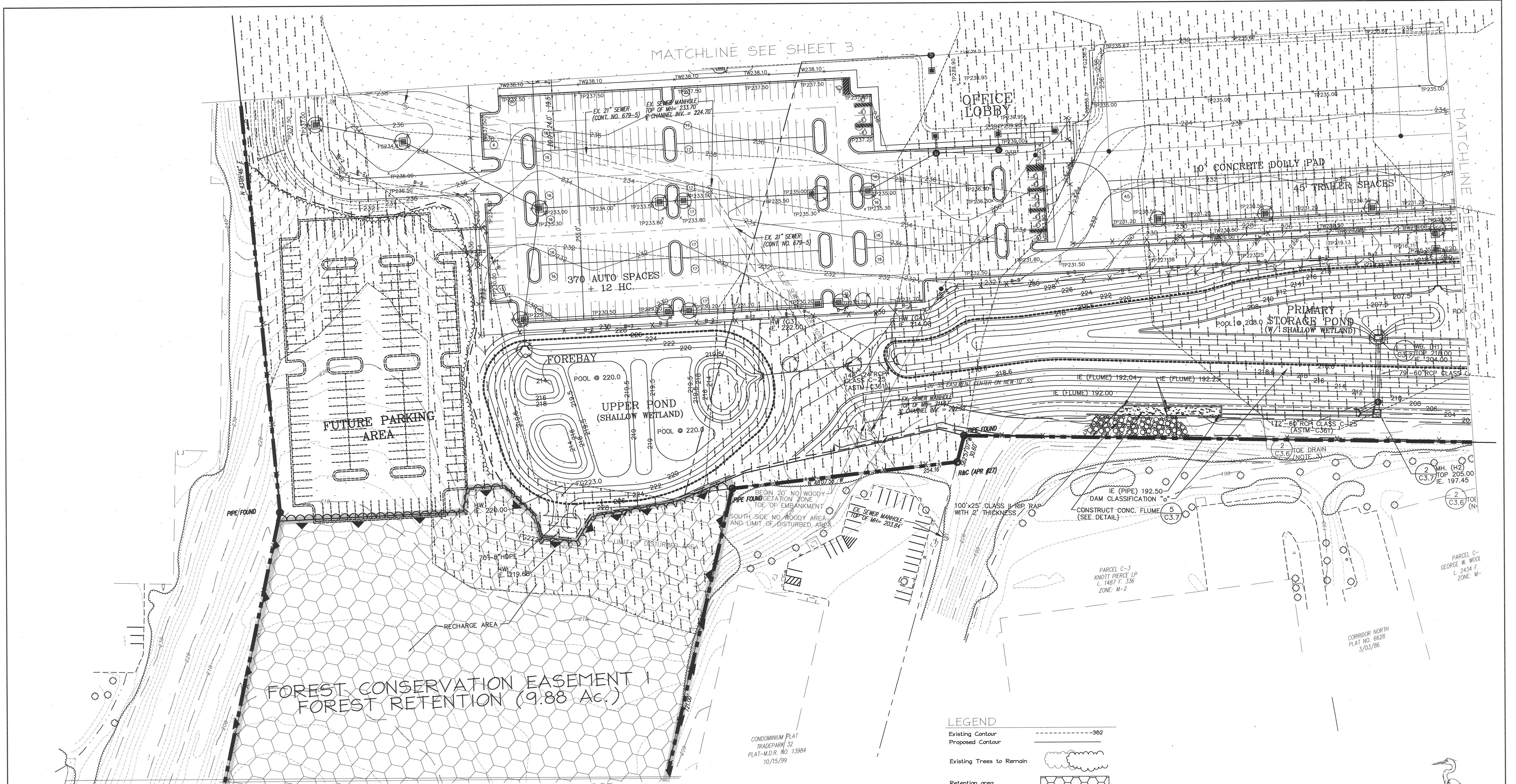
MARK	DATE	BY	MGR	RELEASE
	4-21-04		AS	ENR

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
FOREST CONSERVATION PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	99155
DATE:	TAX MAP - GRID	SHEET NO. 70 OF 86
06/20/02	48	FC 3

SDP-03-44



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
Chief, Development Engineering Division Date

[Signature] 2/6/03
Chief, Division of Land Development Date

[Signature] 2/6/03
Director Date

MATCHLINE SEE SHEET FC5

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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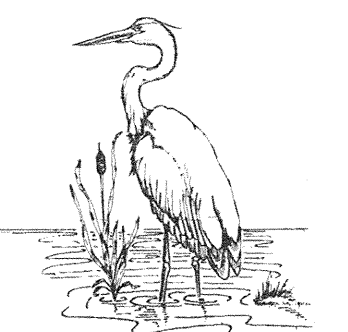
MARK DATE BY MGR RELEASE
4-21-04 AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
FOREST CONSERVATION PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 99155
DATE: 06/20/02	TAX MAP - GRID 48	SHEET NO 710F86 FC4

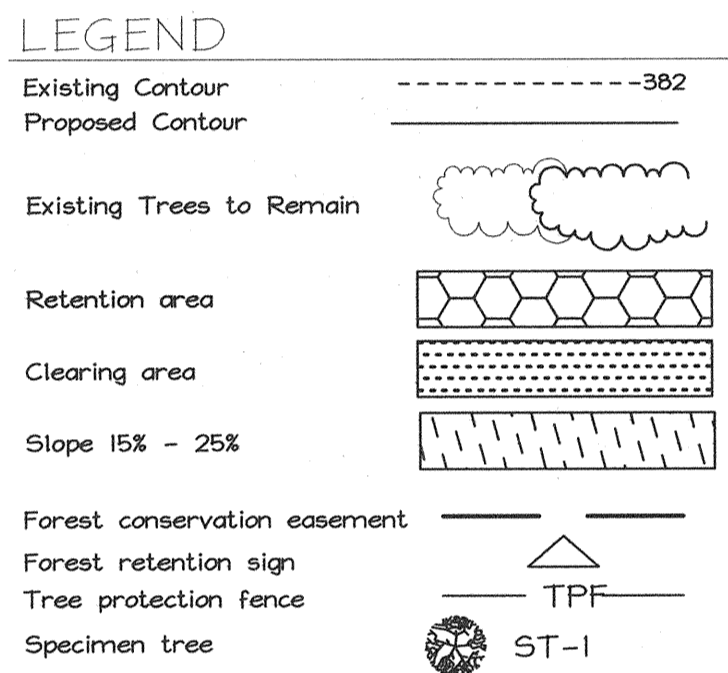
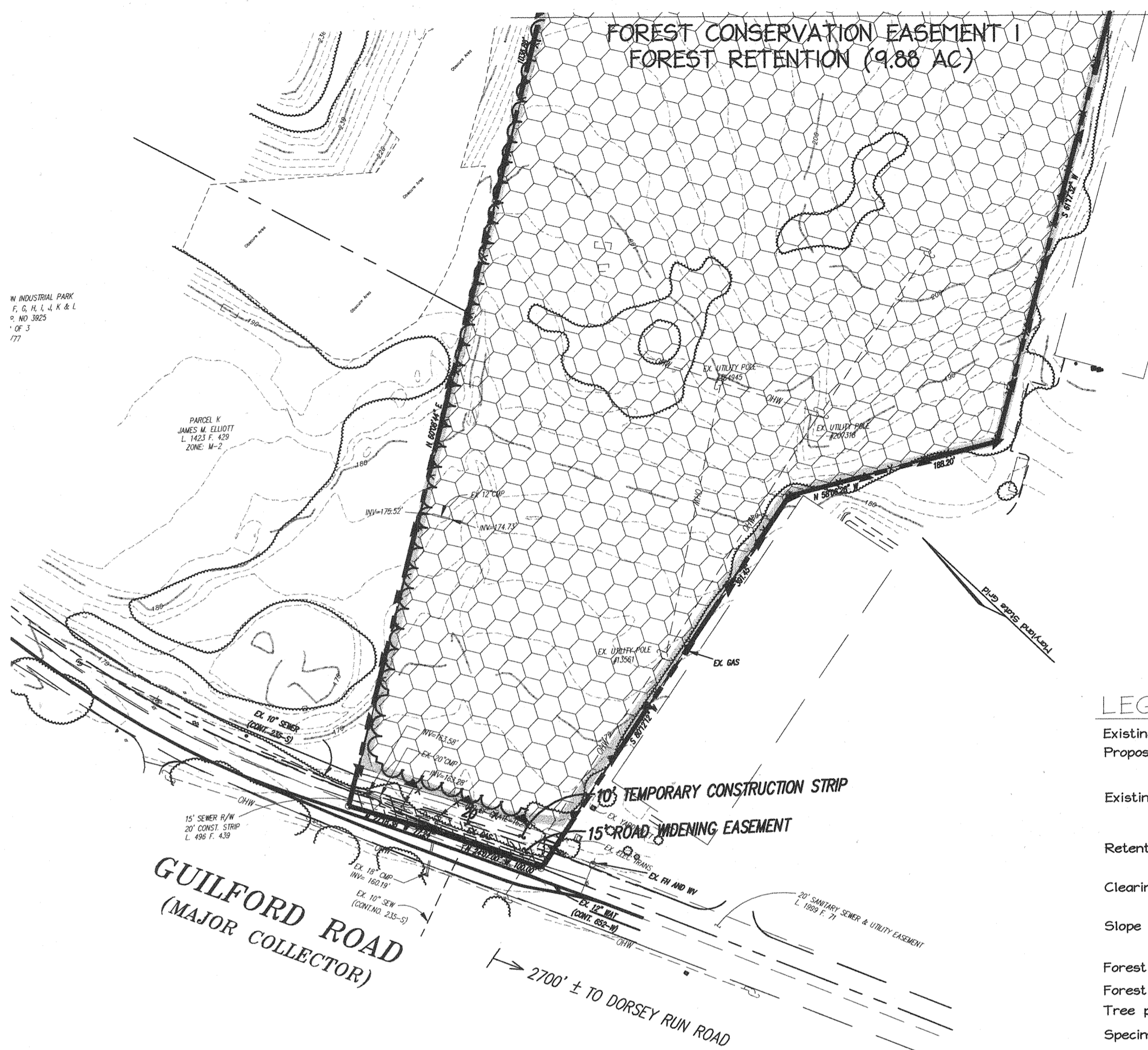


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EXPLORATION RESEARCH, INC.
ENVIRONMENTAL CONSULTANTS
505 HUNTERY STONE
SILVER CITY, MARYLAND 21154
TEL: (410) 790-1100 FAX: (410) 790-2900

SDP-03-44

MATCHLINE SEE SHEET FC4



FOREST CONSERVATION WORKSHEET

Net Tract Area	Acres
A. Total Tract Area	73.89*
B. Area Within 100 Year Floodplain	---
C. Other deductions	---
D. Net Tract Area	73.89
Zoning Use Category: COMMERCIAL/INDUSTRIAL/OFFICE	
Land Use Category	
E. Afforestation Minimum (15 % x D)	11.08
F. Conservation Threshold (15 % x D)	11.08
Existing Forest Cover	
G. Existing Forest on Net Tract Area	70.05
H. Forest Area Above Conservation Threshold	58.97
Break-even Point	
I. Forest Retention Above Threshold with no Mitigation	22.87
J. Clearing Permitted without Mitigation	47.18
Proposed Forest Clearing	
K. Forest Areas to be Cleared	55.07
L. Forest Areas to be Retained	14.98
Planting Requirements	
M. Reforestation for Clearing Above Threshold	13.77
N. Reforestation for Clearing Below the Threshold	0
P. Credit for Retention Above Conservation Threshold	3.9
Q. Total Reforestation Required	9.87
R. Total Afforestation Required	0
S. Total Reforestation and Afforestation Requirement	9.87

* Includes 0.23 acres of road dedication done with F-03-40.

FOREST CONSERVATION EASEMENT TABLE

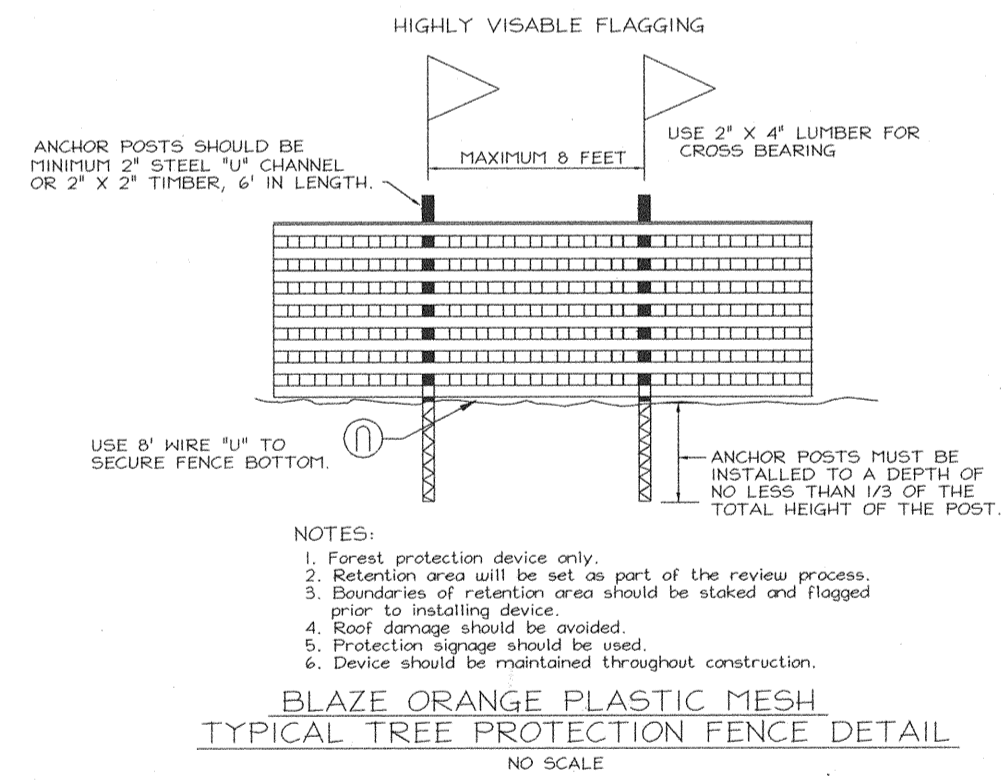
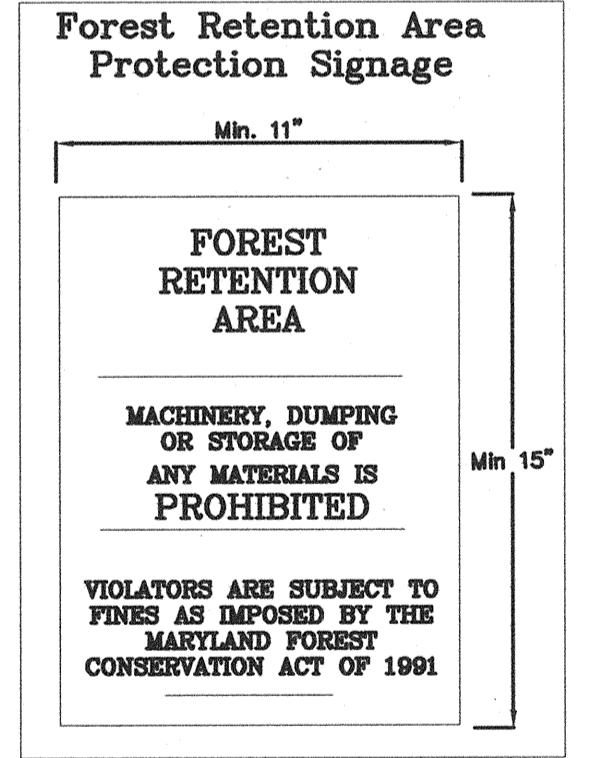
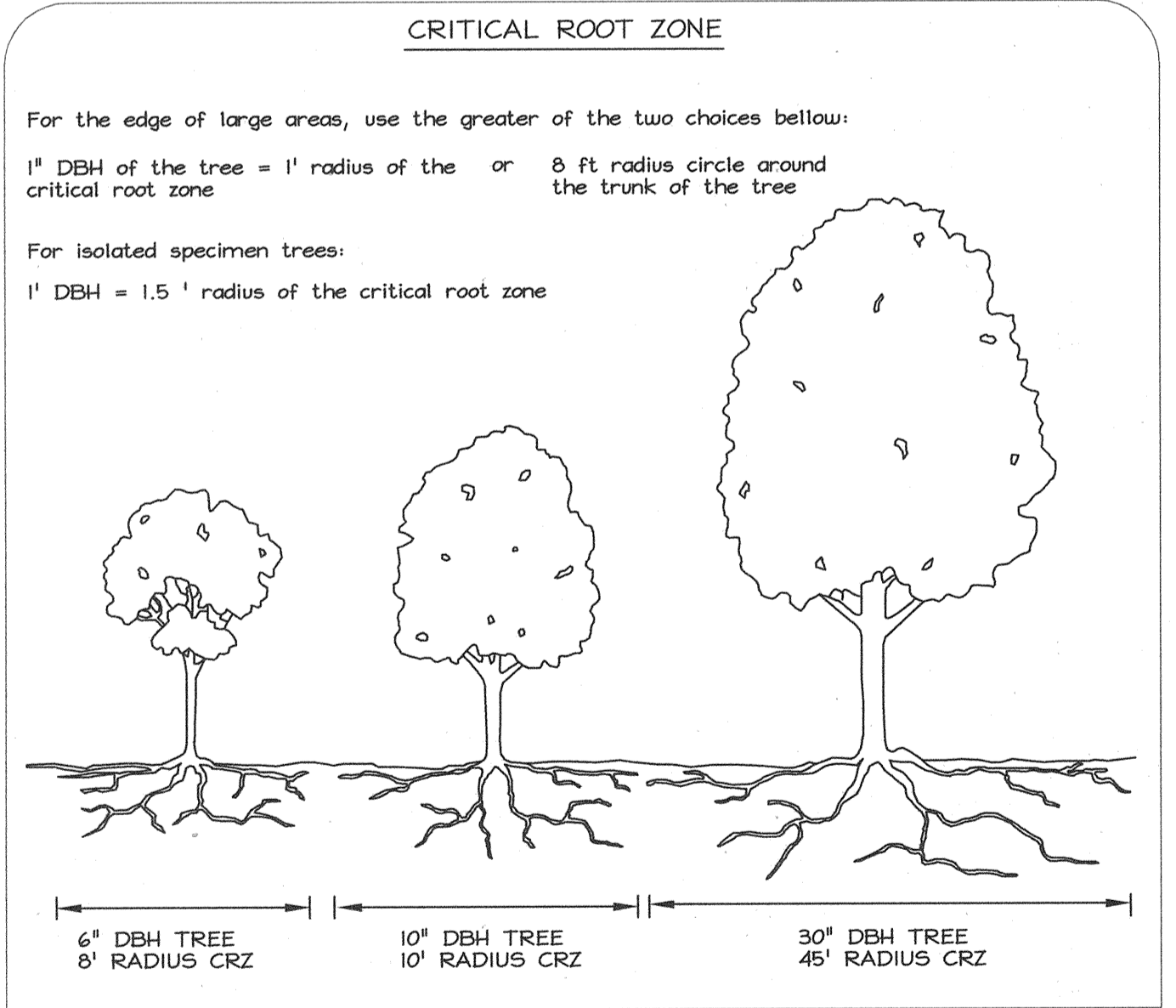
EASEMENT	TYPE	AREA (ACRES)
1	RETENTION	9.88
2	RETENTION	3.49
3	RETENTION	1.28
4	RETENTION	0.33
TOTAL		14.98

MANAGEMENT NOTES FOR FOREST RETENTION AREAS

- All proposed activities shall adhere to the conditions, schedules and terms of an approved sediment control and erosion plan.
- After the boundaries of the retention area have been staked and flagged and before any disturbance has taken place on-site, a preconstruction meeting at the construction site shall take place. The developer, contractor or project manager, and appropriate County inspectors shall attend.
- Tree protection for all retained areas:
 - All retention areas within 50 feet of proposed construction activities shall be protected by highly visible, well anchored temporary protection devices (silt fence or blaze orange plastic mesh).
 - All protection devices shall be in place prior to any grading or land clearing.
 - All protection devices shall be properly maintained and shall remain in place until construction has ceased.
 - Attachment of signs, fencing or other objects to trees is prohibited.
 - No equipment, machinery, vehicles, materials or excessive pedestrian traffic shall be allowed within protected areas.
- If the critical root zone (see detail) is affected by construction activities such as grade change, digging for foundations and roads or utility installation:
 - Prune roots with a clean cut using proper pruning equipment (see root pruning detail)
 - Water and fertilize as needed.
- During construction phase, monitor and correct condition of retained trees for: soil compaction, root injury, flood conditions, drought conditions and other stress signs.
- Post-Construction Phase
 - Inspect existing trees around the perimeter of disturbed limits for evidence of soil compaction, root injury, limb injury, or other stress signs and correct with proper management techniques such as root or limb pruning, soil aeration, fertilization, crown reduction or watering. Inspection and evaluation shall be performed by a licensed arborist.
 - Inspect for dead or dying trees or limbs which may pose safety hazard and remove.
 - No burial of discarded materials will occur onsite within the conservation areas.
 - No burning within 100 feet of wooded area.
 - All temporary forest protection structures will be removed after construction.
 - Following completion of construction, prior to use, the County inspector shall inspect the entire area.

FOREST CONSERVATION CONSTRUCTION SEQUENCE

- Conduct a pre-construction meeting with Howard County Inspector and general contractor to review forest protection measures and practices.
- Install tree protection fencing and signage where indicated on the approved forest conservation plan.
- Consult arborist to select edge trees to be saved along perimeter.
- Maintain signage and fencing throughout the grading and construction phases.
- Provide post construction monitoring and management for the two year period in accordance with Howard County Forest Conservation Design Manual.



Forest Conservation Narrative
 This Forest Conservation Plan was prepared in accordance with the Howard County Forest Conservation Manual. The net tract area is 73.89 acres, with 70.05 acres of forest. There is no 100-year flood plain, wetlands, streams, steep slope or associated buffers on site. Forest clearing on site is above the afforestation and conservation threshold. 14.98 Acres of existing forest on-site will be retained within four (4) forest conservation easements. Forest conservation easement 1 consists of 9.88 acres of retention, Forest Conservation easement 2 consists of 3.49 acres of forest retention and Forest Conservation Easement 3 consists of 1.28 acres of forest retention. Forest conservation easement 4 consists of 0.33 acres forest retention. The developer is planning for fee-in-lieu of forest planting obligations for 9.87 acres in the amount of \$214,968.60.

Soil Protection Zone Notes

- The Soil Protection Zone shall include all areas contained inside the Limit of Disturbance.
- Where possible, the Soil Protection Zone shall extend to the drip line of specimen trees. For other groups of trees, the zone shall be the drip line or 40% of the height of the tree, whichever is greater.
- No construction activity is permitted within the Soil Protection Zone.
- If soil has been compacted or grading has taken place in the vicinity of the Soil Protection Zone, root pruning shall be implemented per Root Pruning detail, shown on this plan.
- Root pruning shall occur prior to the beginning of construction.
- Where the Soil Protection Zone must encroach inside the Critical Root Zone of a tree, soil disturbance shall be mitigated with vertical mulching, radial trenching, or another method approved by the ERI Forest Conservation Professional.
- Prior to construction, the Limits of Disturbance shall be marked and the ERI Professional shall determine which trees will need preventative treatment or removal.
- Tree maintenance and removal shall be undertaken by a qualified MD Tree Expert to ensure damage to surrounding trees is minimized.
- Brush and limbs removed for construction shall be chipped and spread at the edge of the Soil Protection Zone to a depth of 6 inches. This shall occur outside the Soil Protection Zone where compaction could impact otherwise unprotected Critical Root Zone.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/6/03

Chief, Division of Land Development: *[Signature]* Date: 2/6/03

Director: *[Signature]* Date: 2/6/03



MARK	DATE	BY	MGR	RELEASE
	4-21-04		AG	BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
FOREST CONSERVATION PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 99155
DATE: 06/20/02	TAX MAP - GRID 48	SHEET NO' 72 OF 86 FC5

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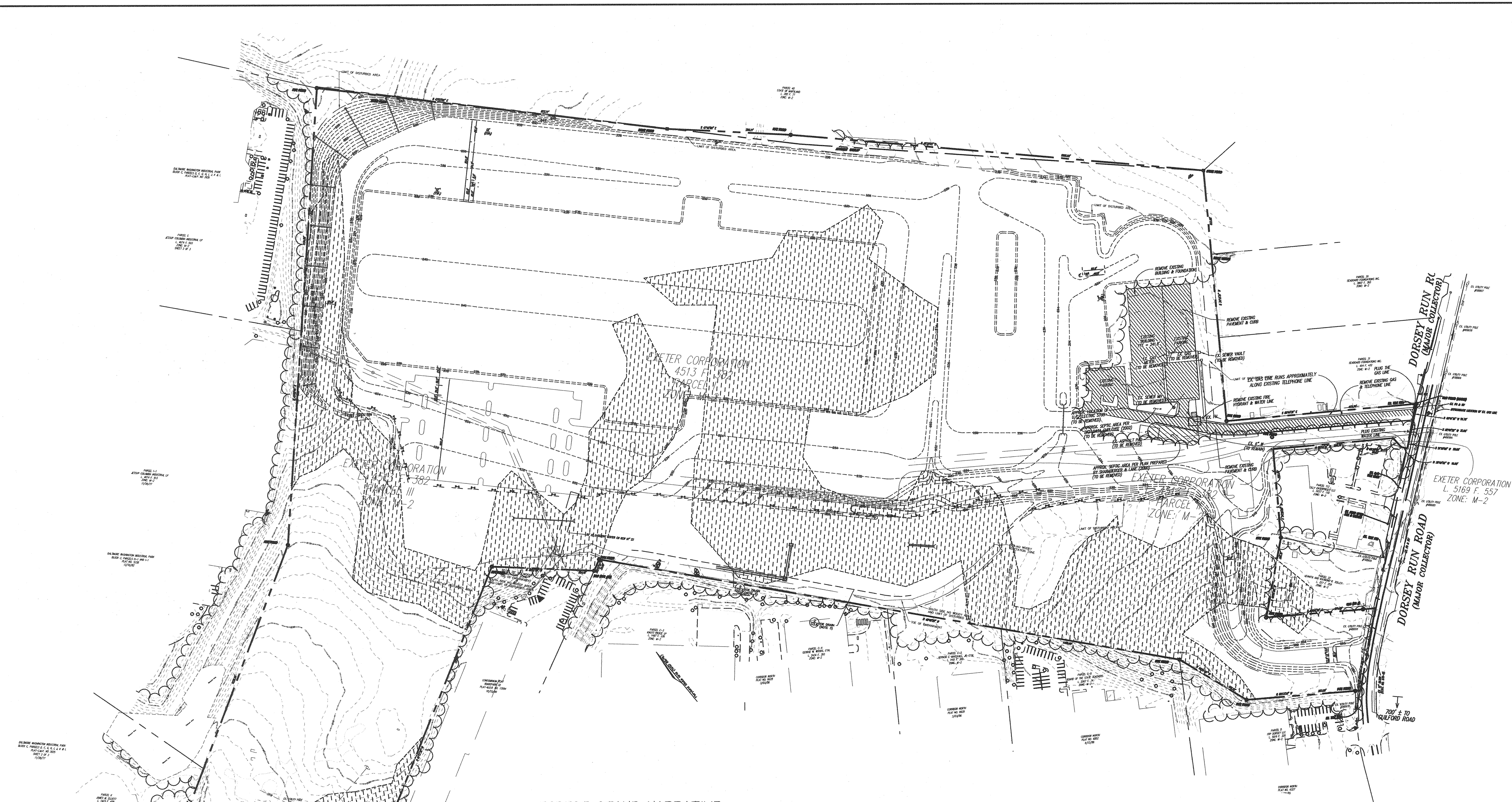
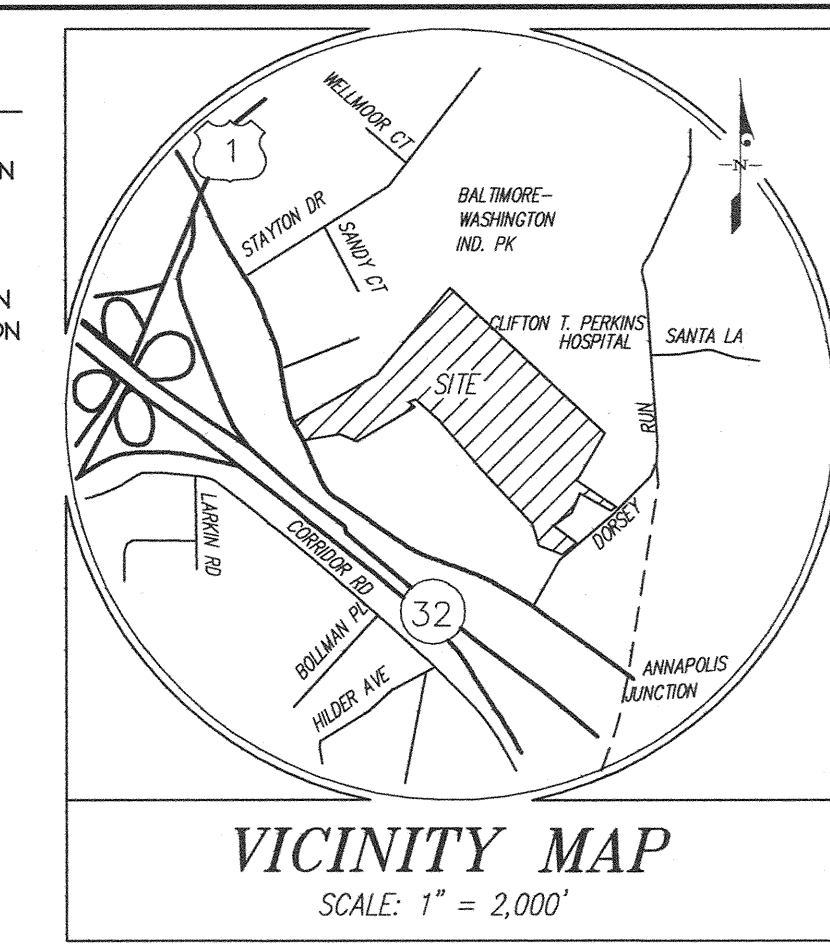
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SPECIMEN TREES

- T1. 35" PIN OAK IN POOR CONDITION
- T2. 31" TULIP POPLAR
- T3. 30" TULIP POPLAR
- T4. 30" TULIP POPLAR
- T5. 34" PIN OAK IN FAIR CONDITION
- T6. 31" PIN OAK IN GOOD CONDITION
- T7. 30" OAK
- T8. 30" OAK
- T9. 34" TULIP POPLAR
- T10. 31" CHESTNUT OAK



FOREST STAND NARRATIVE

Forest Stand F-1 covers the entire subject property except the area around the existing Digi-Data building on the northeast side of the site. Overall, the stand is a mix of upland hardwoods and pines that are clearly divided into several forest associations and reflect the changes in soil type, hydrology, and rolling topography on the site. There is 70.05 acres of exist forest on site.

Beginning at Guilford Road and moving northeast, Stand F-1 is a Red Maple/Poplar Association that is younger than other areas of the site. The stand is very dense and contains a very heavy under story growth of invasive vines, briars, multiflora rose, honey suckle, and poison ivy. This area also contains an abandoned house, other associated outbuilding in disrepair, and a drainage swall from the northern part of the property. The dominant canopy species are Red Maple, Tulip Poplar, Black Cherry, Pin Oak, and Sycamore.

Further north, at the interior corner of the site, and near the ridge, there is a single-species stand of Virginia Pine. This area has little under story due to the dense pine canopy.

The area of Forest Stand F-1 at the northern-most corner of the site is a mature Oak-Hickory Forest Association. The dominant canopy species include Red Oak, White Oak, Tulip Poplar, and American Beech. The under story is somewhat open and contains Mountain Laurel, Viburnum, and multiple Azalea species.

Moving east, there is a swale that traverses the middle site. This area contains a Tulip Poplar Forest Association. The majority of the canopy is dominated mainly Tulip Poplar, and some Red Oak. The under story is moderately open and contains spice bush and multiple viburnum species.

Moving east, to the central high point of the site, a large Pine/ Oak Forest Association exists. The dominant canopy species in this area include Virginia Pine, Pin Oak, Red Oak, and Red Maple. The under story is moderately open and contains some invasive honey suckle, spice bush, multiple hardwood seedlings.

In the southeastern area of the site, the forest stand contains a Chestnut Oak Association located on a very dry, north facing slope. The canopy is almost entirely dominated by Chestnut Oak. The mid level canopy is very open, and the under story contains a dense stand of Mountain Laurel.

The southeast corner of the site contains a small area of land that abuts Dorsey Road. This area contains a Pine/Oak Association, with a very dense under story of invasive vine, briars, multiflora rose, poison ivy.

The trees in the entire stand range in average from 4-20" D.B.H., with occasionally large caliper trees occurring. The younger and more recently disturbed areas were the Pine/Oak area in the central portion of the site, and narrow area extending down to Guilford Road. Ten specimen trees greater than 30" diameter were found. Most were located in the central portion of the site.

Generally the entire forest stand is in good health, and the forest showed few signs of stress or damage from disease or deer. There was one area of significant dumping at the southern interior corner of the property. This trash dump was made up of old car parts, clothes washing machines, tires and other machinery.

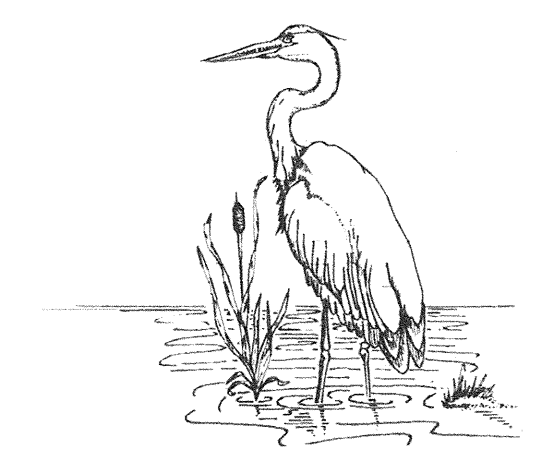
There are few if any "environmentally sensitive" areas on the site. The two drainage swales, one in the central portion of the site, and one in the narrow land bay abutting Guilford Road should be considered a moderate priority for preservation. While there were few factors that warrant priority preservation areas for the remainder of the site, preserving areas of trees that are a healthy mixed forest species could provide screening and buffering from future or existing development.

SOILS CHART

SOIL SYMBOL SERIES	SOIL NAME	DESCRIPTION	SOIL
BeB2	Beltville silt loam	1-5% slopes, moderately eroded	C
BeD2	Beltville silt loam	10-15% slopes, moderately eroded	C
Evc	Evesboro loamy sand	5-15% slopes	A
Fa	Fallington loam		B/D
Gp	Gravel Pits and quarries		D
luB	luka loam	1-15% slopes, local alluvium	C
RuC2	Rumford loamy sand	5-10% slopes, moderately eroded	B
SFB2	Sassafras gravelly sandy loam	1-5% slopes, moderately eroded	B
SFC2	Sassafras gravelly sandy loam	5-10% slopes, moderately eroded	B
SFD2	Sassafras gravelly sandy loam	10-15% slopes, moderately eroded	B
SIB2	Sassafras loam	1-5% slopes, moderately eroded	B
SIC2	Sassafras loam	5-10% slopes, moderately eroded	B
SsE	Sassafras soils,	15-40% slopes	B

LEGEND

- Existing Contour: -302
- Existing Tree Line
- Slope 15% - 25%
- Specimen tree: ST-1
- Soil Delineation line
- Forest Community Delineation line



EXPLORATION RESEARCH, INC.
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Chief, Development Engineering Division: *[Signature]* 2/6/03

Chief, Division of Land Development: *[Signature]* 2/6/03

Director: *[Signature]* 2/6/03

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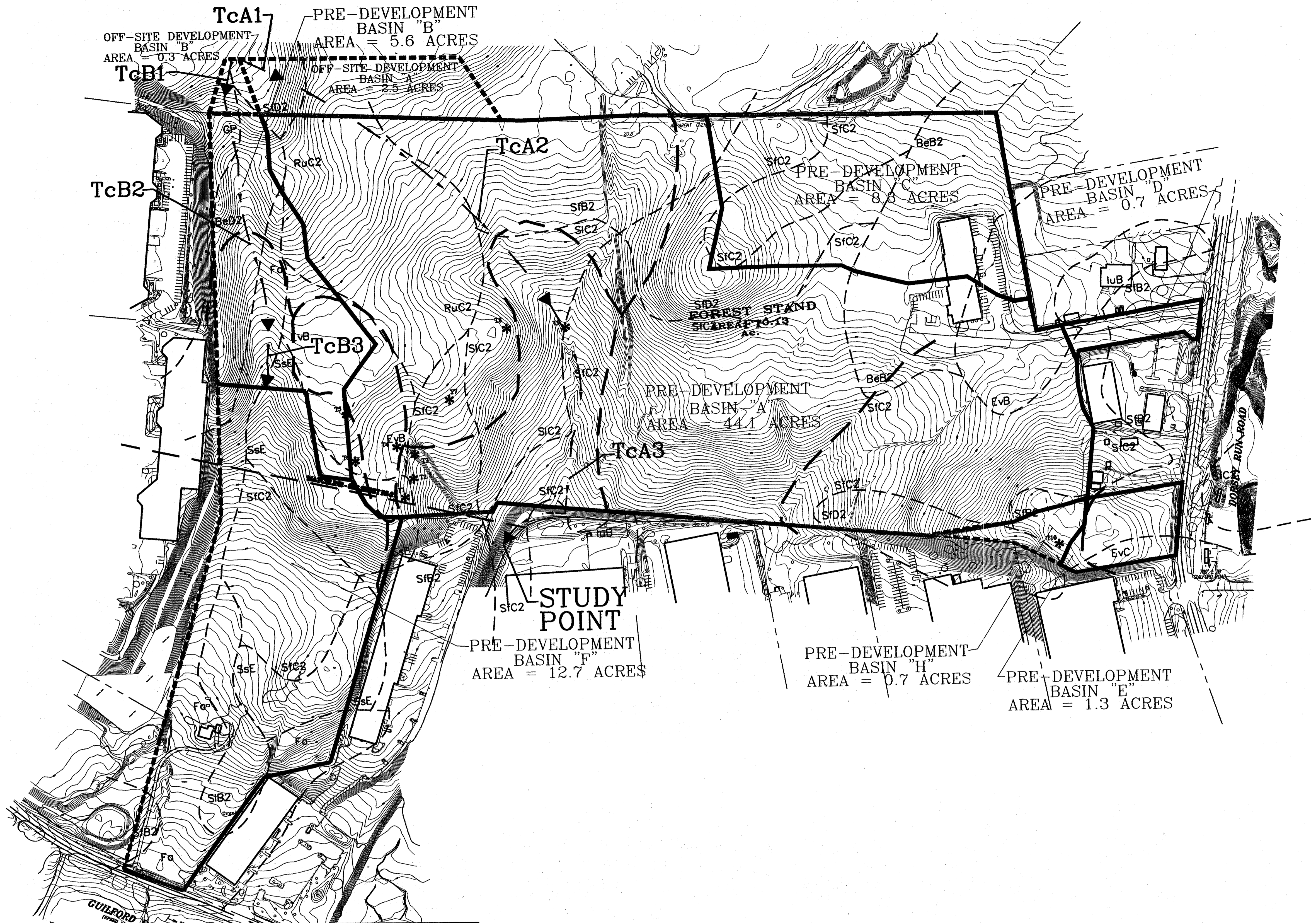
STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER
No. 13528
DAVID S. WILSON
SHAPE AREA

MARK	DATE	BY	MGR	RELEASE
	4-21-04			AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GULFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
FOREST STAND DELINEATION
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=150'	M-2	99155
DATE:	TAX MAP - GRID	SHEET NO. 73OF86
06/20/02	48	FSD



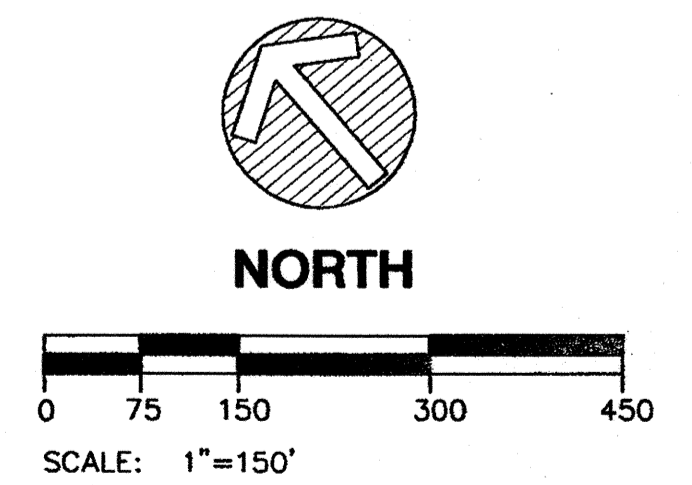
BASIN 'A'

TcA1 SHEET FLOW = 100 FT.
 TcA2 SHALLOW CONCENTRATED FLOW = 1025.00 FT.
 TcA3 CHANNEL FLOW = 800.00 FT.
 Tc = 0.20 HR.
 RcN = 69

BASIN 'B'

TcB1 SHEET FLOW = 100 FT.
 TcB2 SHALLOW CONCENTRATED FLOW = 660.00 FT.
 TcB3 CHANNEL FLOW = 150.00 FT.
 Tc = 0.09 HR.
 RcN = 68

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Chief, Development Engineering Division Date 2/6/03
 Chief, Division of Land Development Date 2/6/03
 Director Date 2/4/03
 APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS
 County Health Officer Date
 Howard County Health Department



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 FACILITY DESIGN GROUP INC.
 ARCHITECTS & ENGINEERS
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**GIANT DISTRIBUTION CENTER
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 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GUILFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
**OVERALL
 PRE-DEVELOPMENT PLAN**
 HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE: 1"=150'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID .48	SHEET NO. 74 of 86 H2.9

PARCEL 19
SEABOARD FOUNDATIONS INC.
L. 2275 F. 25
ZONE: M-2

POST-DEVELOPMENT
BASIN "C"
AREA = 1.50 ACRES

PARCEL 20
SEABOARD FOUNDATIONS INC.
L. 3807 F. 393
ZONE: M-2

PARCEL 21
SEABOARD FOUNDATIONS INC.
L. 494 F. 432
ZONE: M-2

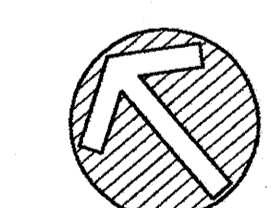
BASIN "D"
AREA = 0.5 ACRES

PARCEL 17
LILLY ENTERPRISES LLC
L. 5027 F. 150
ZONE: M-2

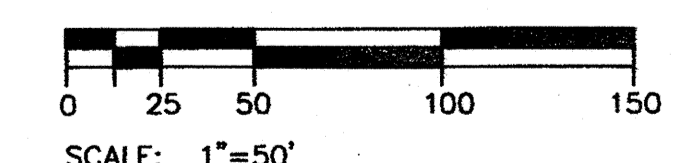
DORSEY RUN ROAD
MAJOR COLLECTOR (COUNTY)
R/W VARIES, PAVEMENT WIDTH 38'-4"

PUMP HOUSE
30'-0" x 21'-8"
FIN. FL. EL. 238.00

CONCRETE
ELIMINATED



NORTH



- NOTES:
1. FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
2. FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
Chief, Development Engineering Division Date
[Signature] 2/6/03
Chief, Division of Land Development Date
[Signature] 2/6/03
Director Date

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS

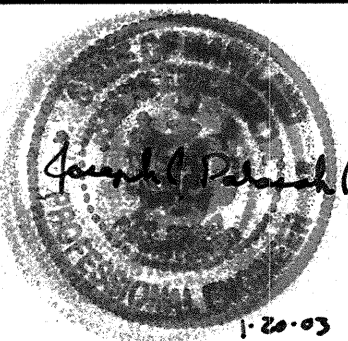
County Health Officer Date
Howard County Health Department

LEGEND:

STEEP SLOPE AREA
(15% TO 25% SLOPE)

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
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SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
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MARK	DATE	BY	MGR	RELEASE

PREPARED FOR:

**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**

6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:

POST-DEVELOPMENT PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SCALE:

1"=50'

DATE:

06/20/02

ZONING:

M-2

TAX MAP - GRID

48

PROJECT NO.

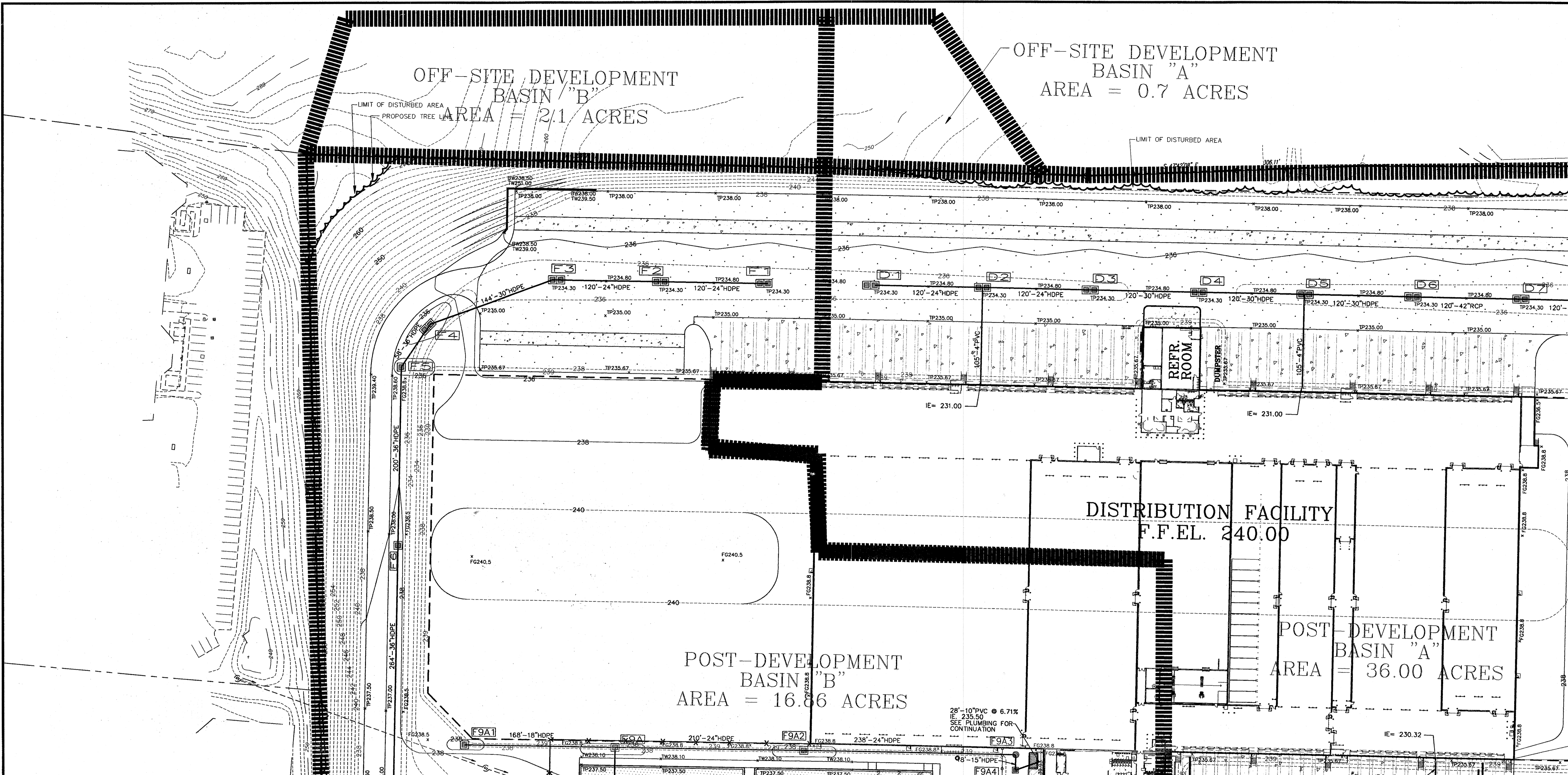
02027

SHEET NO.

76 of 86

H31

DRAWING: F:\Projects\02027\02027.dwg User: V\mshah Date: 02/16/03
USER: NAME: V\mshah Date: 02/16/03
TIME: 11:16:00



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/03
 Chief, Development Engineering Division Date

[Signature] 2/6/03
 Chief, Division of Land Development Date

[Signature] 2/6/03
 Director Date

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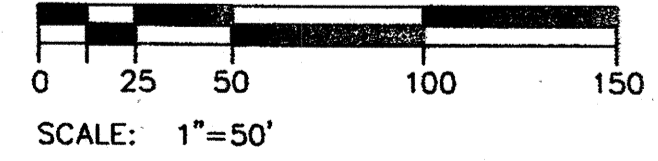
County Health Officer _____ Date _____
 Howard County Health Department

LEGEND:

STEEP SLOPE AREA (15% TO 25% SLOPE)



NOTES:
 1. FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
 2. FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.



THE FACILITY GROUP
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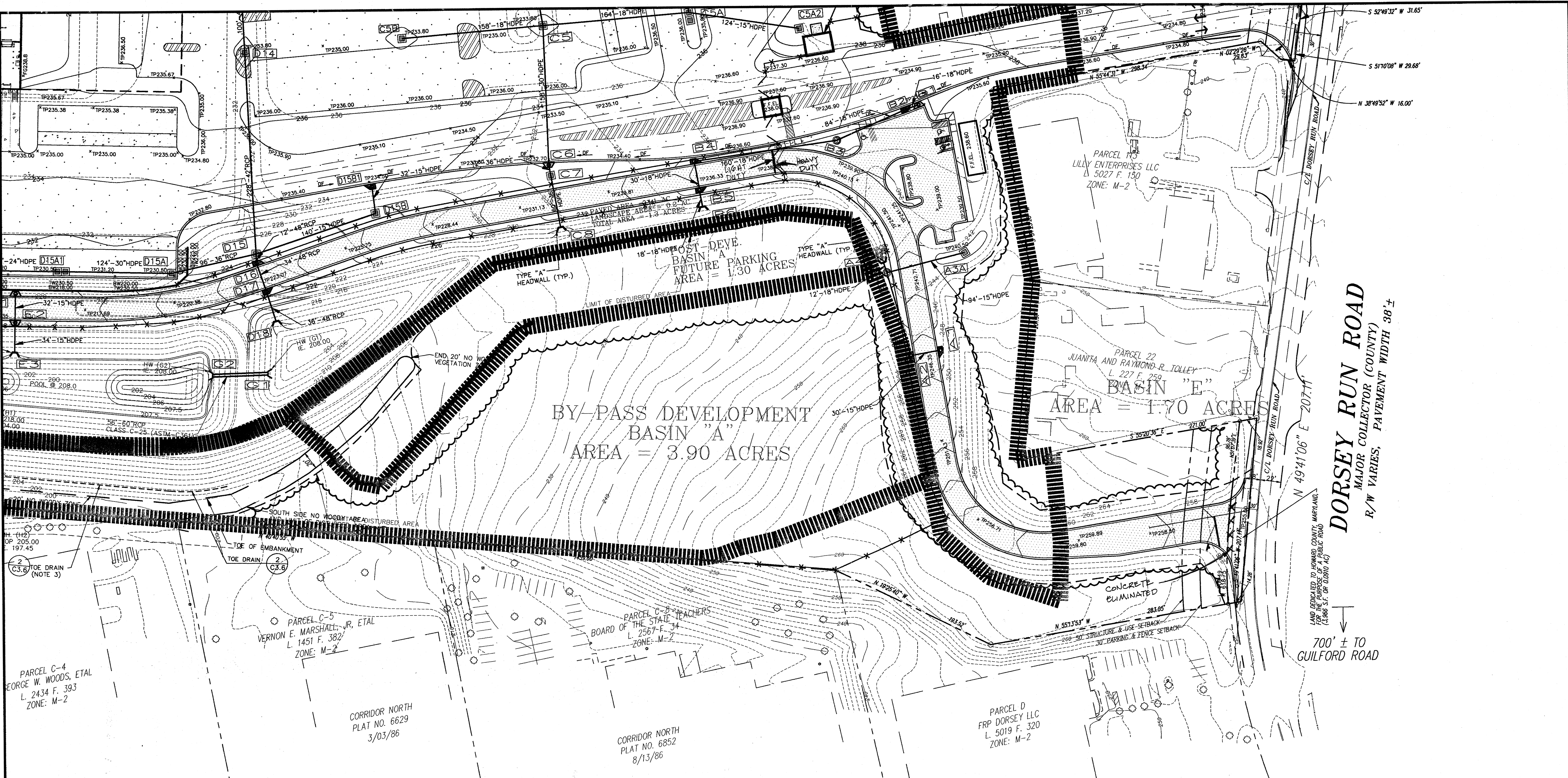
MARK	DATE	BY	MGR	RELEASE
A-2004				AS BUILT

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
 EXETER INDUSTRIAL PARK
 (PARCEL A)**
 6300 SHERIFF ROAD
 LANDOVER, MARYLAND 20785
 OWNER: GULFORD DORSEY LLC
 CONTACT: DAN CURRIE
 TELEPHONE: 301-341-8445

DRAWING TITLE:
POST-DEVELOPMENT PLAN
 HOWARD COUNTY ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE:	TAX MAP - GRID 48	SHEET NO. 77 of 86 H3.2

SDP-03-44



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/05
Chief, Development Engineering Division Date

[Signature] 2/6/05
Chief, Division of Land Development Date

[Signature] 2/6/05
Director Date

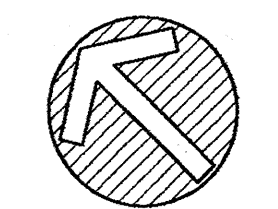
APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS

County Health Officer Date

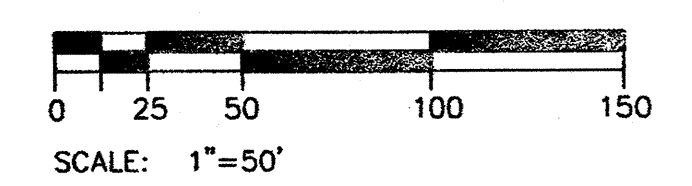
Howard County Health Department

LEGEND:

STEEP SLOPE AREA (15% TO 25% SLOPE)



NORTH



- NOTES:
- FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
 - FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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	4-21-04	AS BUILT		

PREPARED FOR:

**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**

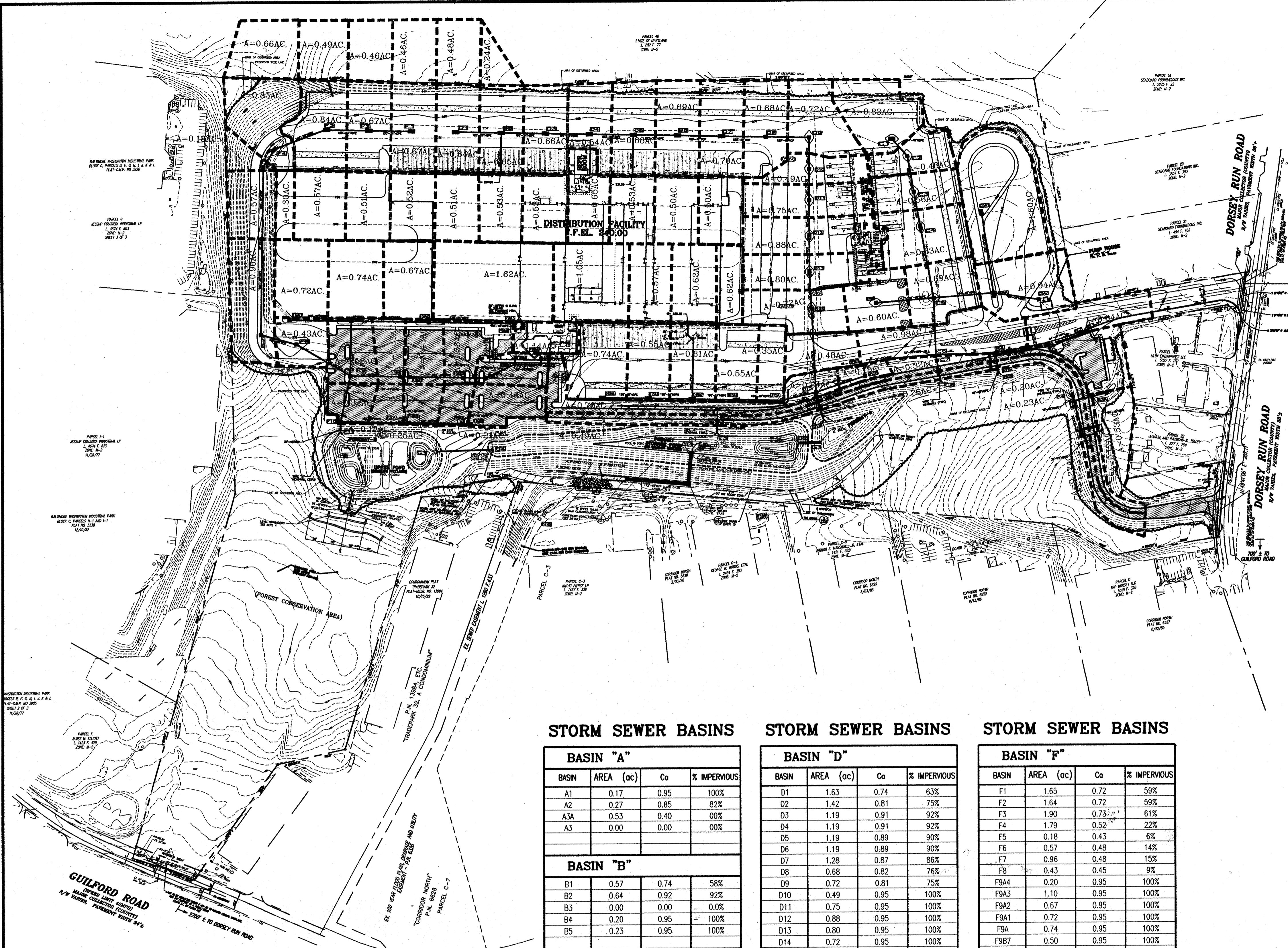
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:

POST-DEVELOPMENT PLAN

HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE:	ZONING:	PROJECT NO.
1"=50'	M-2	02027
DATE:	TAX MAP - GRID	SHEET NO. 79 of 86
	48	H3.4



STORM SEWER BASINS

BASIN "A"

BASIN	AREA (ac)	Co	% IMPERVIOUS
A1	0.17	0.95	100%
A2	0.27	0.85	82%
A3A	0.53	0.40	00%
A3	0.00	0.00	00%

BASIN "B"

BASIN	AREA (ac)	Co	% IMPERVIOUS
B1	0.57	0.74	58%
B2	0.64	0.92	92%
B3	0.00	0.00	0.0%
B4	0.20	0.95	100%
B5	0.23	0.95	100%

BASIN "C"

BASIN	AREA (ac)	Co	% IMPERVIOUS
C1	0.83	0.72	59%
C2	0.48	0.94	98%
C3	0.56	0.94	98%
C4	0.83	0.94	98%
C5A1	1.60	0.71	56%
C5A2	0.44	0.50	17%
C5A	0.50	0.95	100%
C5B	0.60	0.95	100%
C5	0.69	0.94	98%
C6	0.98	0.95	100%
C7	0.32	0.95	100%

STORM SEWER BASINS

BASIN "D"

BASIN	AREA (ac)	Co	% IMPERVIOUS
D1	1.63	0.74	63%
D2	1.42	0.81	75%
D3	1.19	0.91	92%
D4	1.19	0.91	92%
D5	1.19	0.89	90%
D6	1.19	0.89	90%
D7	1.28	0.87	86%
D8	0.68	0.82	76%
D9	0.72	0.81	75%
D10	0.49	0.95	100%
D11	0.75	0.95	100%
D12	0.88	0.95	100%
D13	0.80	0.95	100%
D14	0.72	0.95	100%
D15A4	1.79	0.95	100%
D15A3	1.12	0.95	100%
D15A2	1.23	0.95	100%
D15A1	1.17	0.95	100%
D15A	0.35	0.95	100%
D15B1	0.48	0.95	100%
D15B	0.15	0.40	00%
D15	0.24	0.40	00%
D16	0.32	0.95	100%
D17	0.26	0.95	100%

BASIN "E"

BASIN	AREA (ac)	Co	% IMPERVIOUS
E1	0.70	0.74	61%
E2	0.49	0.95	100%

STORM SEWER BASINS

BASIN "F"

BASIN	AREA (ac)	Co	% IMPERVIOUS
F1	1.65	0.72	59%
F2	1.64	0.72	59%
F3	1.90	0.73	61%
F4	1.79	0.52	22%
F5	0.18	0.43	6%
F6	0.57	0.48	14%
F7	0.96	0.48	15%
F8	0.43	0.45	9%
F9A4	0.20	0.95	100%
F9A3	1.10	0.95	100%
F9A2	0.67	0.95	100%
F9A1	0.72	0.95	100%
F9A	0.74	0.95	100%
F9B7	0.50	0.95	100%
F9B6	0.63	0.95	100%
F9B5	0.00	0.00	00%
F9B4A	0.31	0.95	100%
F9B4	0.00	0.00	00%
F9B3	0.37	0.92	95%
F9B2	0.56	0.92	95%
F9B1	0.43	0.92	95%
F9B	0.33	0.92	94%
F9	0.52	0.92	94%
F10A3	0.46	0.95	100%
F10A2	0.21	0.95	100%
F10A1	0.25	0.95	100%
F10A	0.18	0.95	100%
F10	0.32	0.95	100%

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard Currie Chief, Development Engineering Division Date: 2/6/04

Chris Harnik Chief, Division of Land Development Date: 2/6/04

Dan Currie Director Date: 2/6/04

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC (OR PRIVATE) SEWERAGE SYSTEMS

County Health Officer Date: _____
Howard County Health Department

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
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SMYRNA, GEORGIA 30080
TELEPHONE: # (800) 525-2463
FAX: # (770) 437-3939

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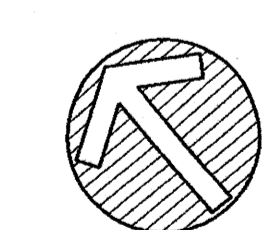
STATE OF MARYLAND
PROFESSIONAL ENGINEER
1-31-04

MARK	DATE	BY	MGR	RELEASE
4-21-04		AS	BUILT	

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
**OVERALL PIPE CALCULATION
PLAN**
HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

SCALE: 1"=150'
ZONING: M-2
PROJECT NO. 02027
SHEET NO. 80 of 86
DATE: _____
TAX MAP - GRID 48
H3.5



SCALE: 1"=150'
0 75 150 300 450

DRAWING: E:\Projects\02027\Engineer\John\02027\H3.5.dwg
USER: JAMES
DATE: 10/24/03
TIME: 10:24:27

PARCEL 19
SEABOARD FOUNDATIONS INC.
L. 2275 F. 25
ZONE: M-2

PARCEL 20
SEABOARD FOUNDATIONS INC.
L. 3807 F. 393
ZONE: M-2

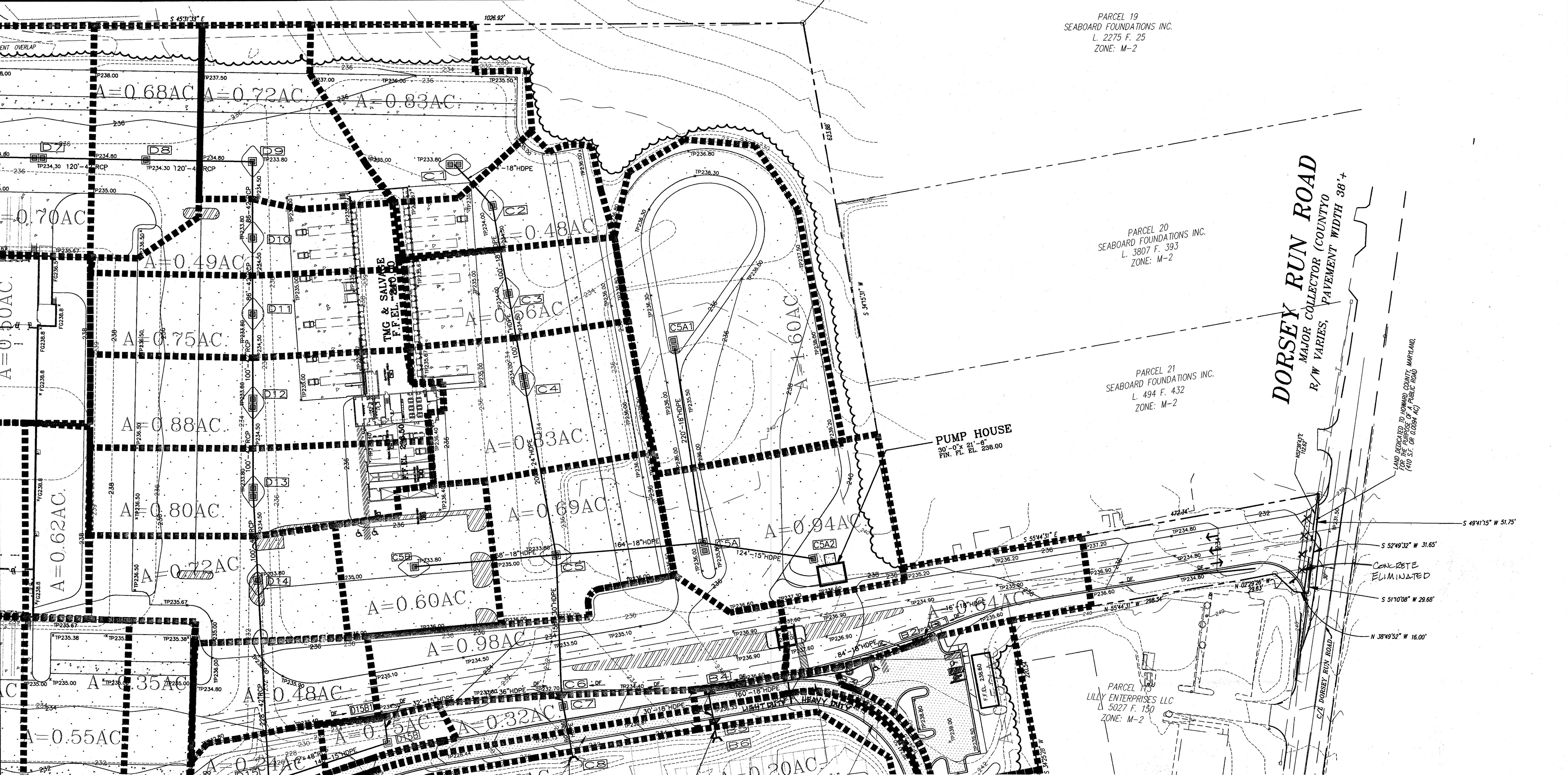
PARCEL 21
SEABOARD FOUNDATIONS INC.
L. 494 F. 432
ZONE: M-2

PARCEL 13
LILLY ENTERPRISES LLC
L. 5027 F. 150
ZONE: M-2

DORSEY RUN ROAD
MAJOR COLLECTOR (COUNTY)
R/W VARIES, PAVEMENT WIDTH 38'+

PUMP HOUSE
30'-0" x 21'-8"
FIN. PL. EL. 238.00

LAND DEDICATED TO HOWARD COUNTY, MARYLAND,
FOR THE PURPOSE OF A PUBLIC ROAD
(410 S.F. OR 0.0094 AC)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/02
Chief, Development Engineering Division Date

[Signature] 2/6/02
Chief, Division of Land Development Date

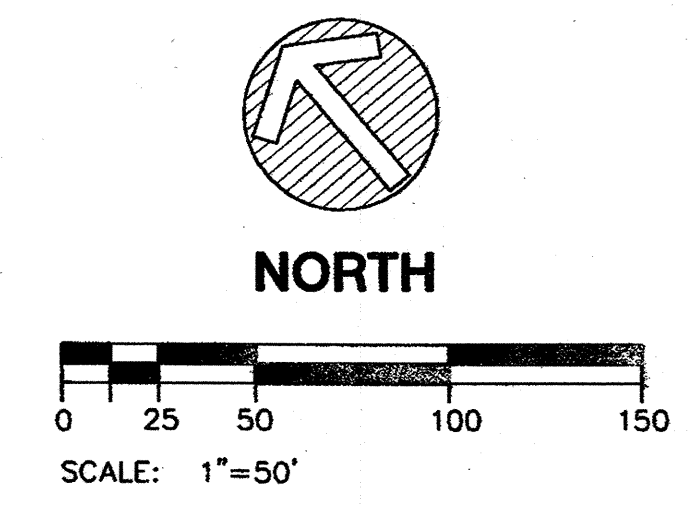
[Signature] 2/6/02
Director Date

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC
(OR PRIVATE) SEWERAGE SYSTEMS

County Health Officer Date
Howard County Health Department

LEGEND:

STEEP SLOPE AREA
(15% TO 25% SLOPE)



- NOTES:
- FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
 - FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
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TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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is prohibited.



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A-21-04		AG	BULLT	

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
PIPE CALCULATION PLAN

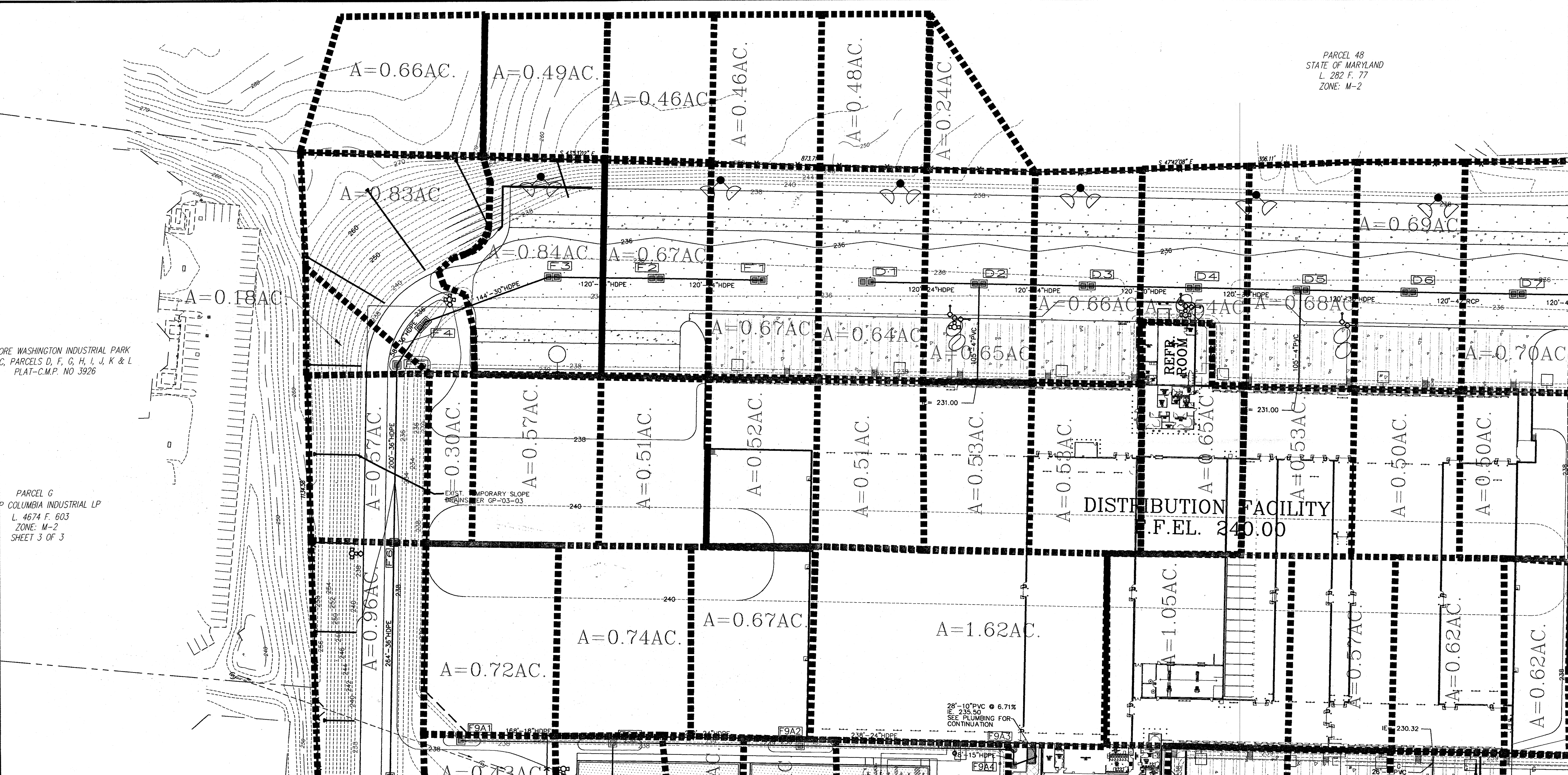
HOWARD COUNTY ELECTION DISTRICT No. 6
HOWARD COUNTY, MARYLAND

SCALE: 1"=50'	ZONING: M-2	PROJECT NO. 02027
DATE: 06/20/02	TAX MAP - GRID 48	SHEET NO. 51 of 84 H3.6

PARCEL 48
STATE OF MARYLAND
L. 282 F. 77
ZONE: M-2

ORE WASHINGTON INDUSTRIAL PARK
C, PARCELS D, F, G, H, I, J, K & L
PLAT-C.M.P. NO 3926

PARCEL G
COLUMBIA INDUSTRIAL LP
L. 4674 F. 603
ZONE: M-2
SHEET 3 OF 3



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard County Seal
Chief, Development Engineering Division 2/6/03
Date

Howard County Seal
Chief, Division of Land Development 2/6/03
Date

Howard County Seal
Director 2/6/03
Date

APPROVED: FOR PUBLIC (OR PRIVATE) WATER AND PUBLIC
(OR PRIVATE) SEWERAGE SYSTEMS

County Health Officer Date
Howard County Health Department

LEGEND:

STEEP SLOPE AREA
(15% TO 25% SLOPE)

NOTES:
1. FOR STORM STRUCTURE SCHEDULE, SEE DRAWING C3.0.
2. FOR EROSION CONTROL, SEE DRAWINGS C4.0 THRU C4.5.

SCALE: 1"=50'

PREPARED FOR:
**GIANT DISTRIBUTION CENTER
EXETER INDUSTRIAL PARK
(PARCEL A)**
6300 SHERIFF ROAD
LANDOVER, MARYLAND 20785
OWNER: GUILFORD DORSEY LLC
CONTACT: DAN CURRIE
TELEPHONE: 301-341-8445

DRAWING TITLE:
PIPE CALCULATION PLAN

SCALE: 1"=50'

ZONING: M-2

PROJECT NO. 02027

TAX MAP - GRID 48

SHEET NO. 82 of 86

H37

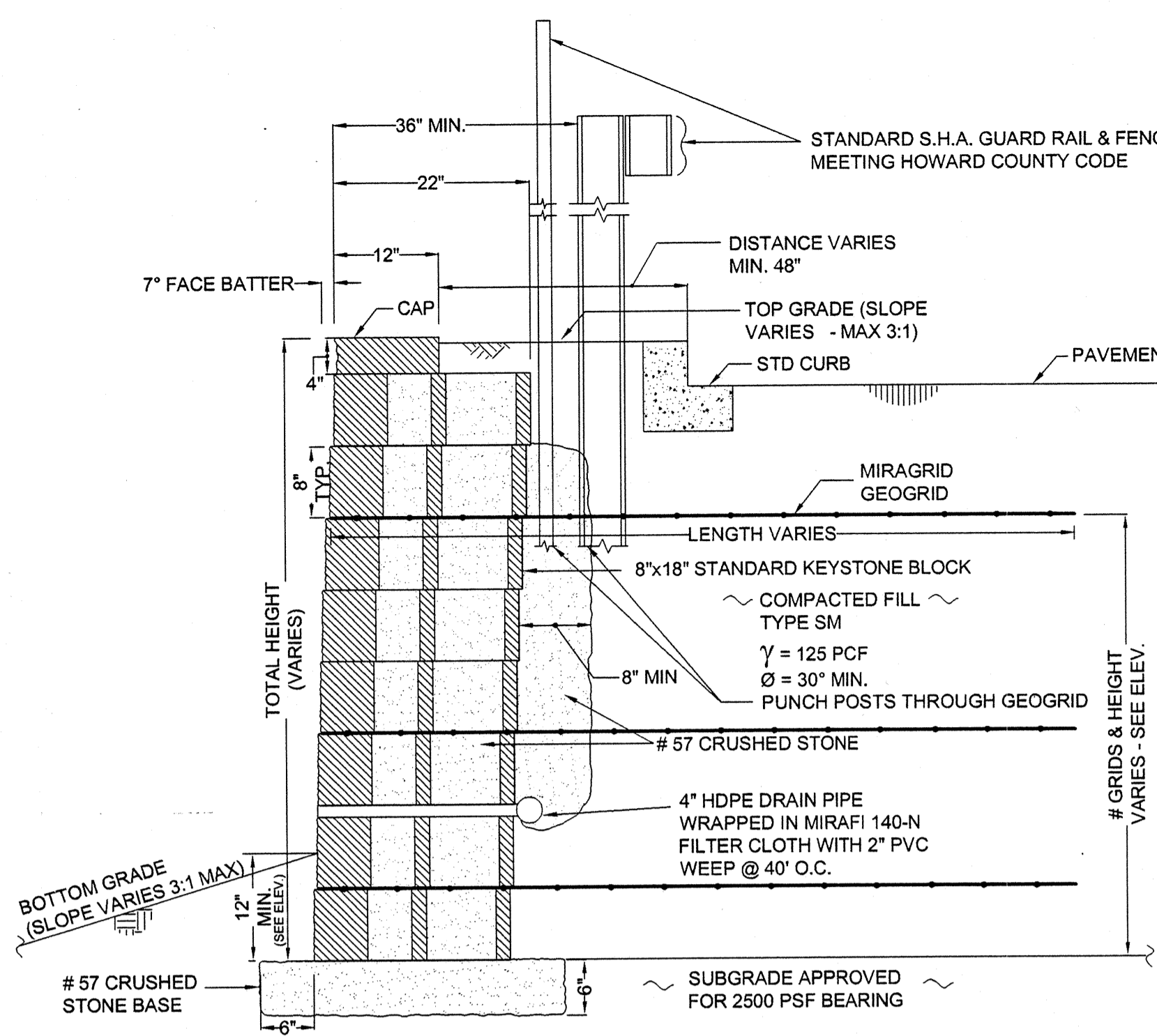
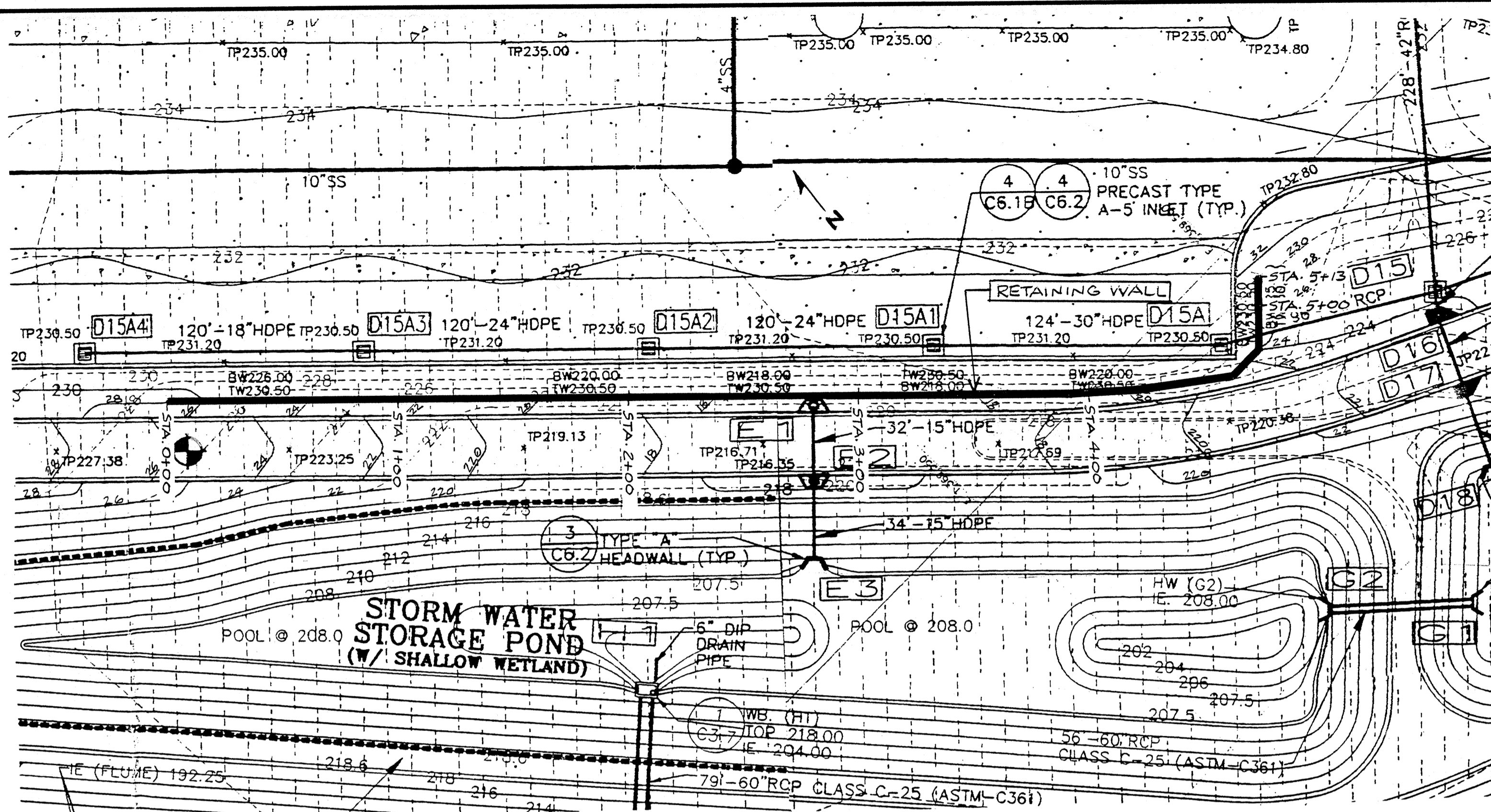
HOWARD COUNTY ELECTION DISTRICT No. 6 HOWARD COUNTY, MARYLAND

THE FACILITY GROUP
FACILITY DESIGN GROUP INC.
ARCHITECTS & ENGINEERS
2233 LAKE PARK DRIVE
SMYRNA, GEORGIA 30080
TELEPHONE # (800) 525-2463
FAX # (770) 437-3939

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MARK	DATE	BY	MGR	RELEASE
	2-2-04	AG	BUILT	

SDP-03-44



SPECIFICATIONS
KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description
A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units
A. Modular concrete units shall conform to the following architectural requirements:
1. Face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
2. Bond configuration - rums with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
3. Exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
1. Compressive strength = 3000 psi minimum; absorption = 8% maximum (8% in northern states) for standard weight aggregates.
2. Dimensional tolerance = ± 1/8" from nominal unit dimensions, not including rough split face, ± 1/16" unit height - top and bottom diameters.
3. Unit size - 8" (H) x 18" (W) x 22" (D) minimum; unit weight - 100 lbs/unit minimum for standard weight aggregate.
4. Inter-unit shear strength - 1000 plf minimum at 2 psi normal pressure.
5. Geogrid unit peak connection strength - 1000 plf minimum at 2 psi normal force.
6. Modular concrete units shall conform to the following construction requirements:
1. Vertical setback = 1/8" per course (near vertical) or 1/4" per course per the design.
2. Maximum horizontal gap between erected units shall be 1/2 inch.
3. Shear connectors shall be 1/2 inch diameter threaded rebar with polymer resin pre-encased fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units.
4. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to 100 degrees F.
5. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.02 Shear Connectors
A. Shear connectors shall be 1/2 inch diameter threaded rebar with polymer resin pre-encased fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units.
4. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to 100 degrees F.
5. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill
A. Unit drainage fill shall consist of #57 crushed stone.
B. One cubic foot, minimum, of drainage fill shall be used for every square foot of wall face. Drainage fill shall be placed within cores of, between, and behind units to meet this requirement.

2.05 Reinforced Backfill
A. Reinforced backfill shall be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the chart:

Sieve Size	Percent Passing
3/4 inch	100-75
No. 40	0-50
No. 200	0-35

Plasticity Index (PI) < 15 and Liquid Limit < 40 per ASTM D-4116.
B. Material can be site excavated soils where the above requirements can be met. Backfill material shall be placed in layers of organic soils shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement
A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.
B. Geogrid reinforcement shall be placed in accordance with the construction drawings. Geogrid reinforcement shall be placed in accordance with the construction drawings. Geogrid reinforcement shall be placed in accordance with the construction drawings. Geogrid reinforcement shall be placed in accordance with the construction drawings.

2.07 Drainage Pipe
A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1944.

PART 3: EXECUTION

3.01 Excavation
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

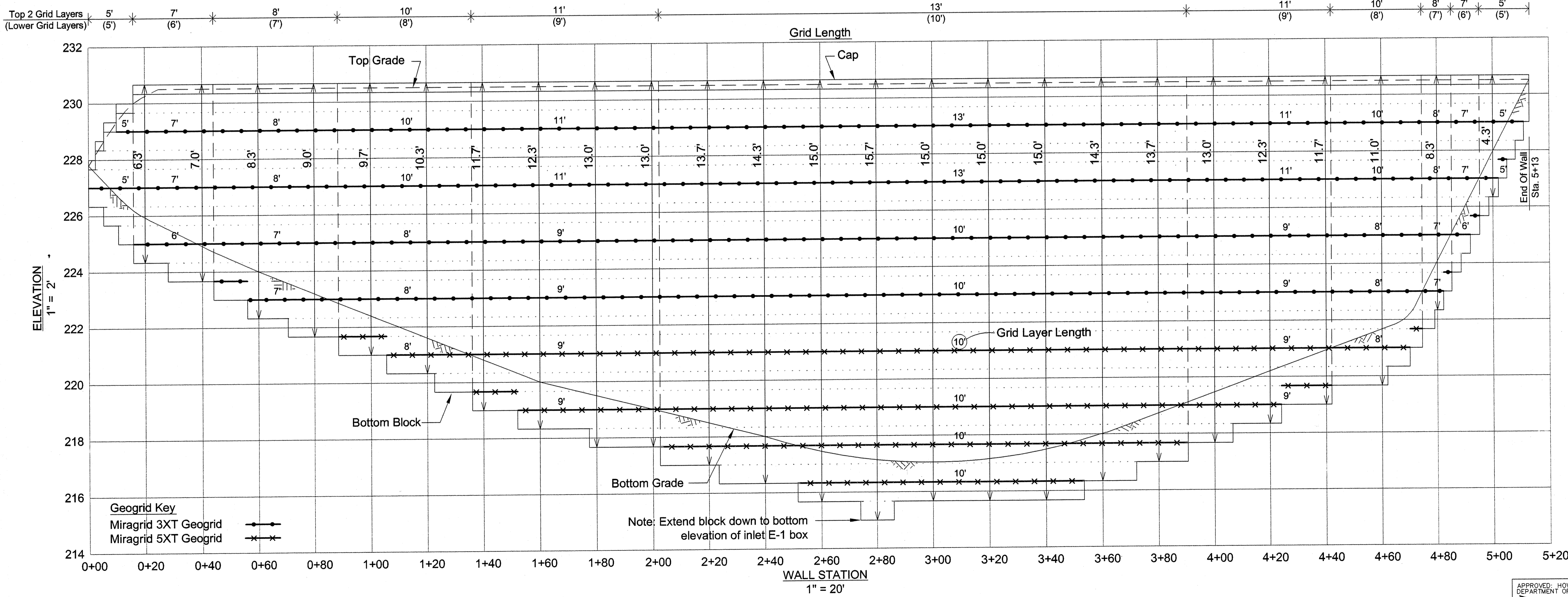
3.03 Modular Unit Installation
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and ensure that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install shearconnecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

3.04 Structural Geogrid Installation
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.
D. Geogrid reinforcements shall be continuous throughout their attachment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement
A. Reinforced backfill shall be placed and installed in layers not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
B. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The maximum density of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be +3% to -5% of optimum.
C. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum lift thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 15 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



2.08 Geogrid Soil Reinforcement
A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.
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A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and ensure that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
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D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
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C. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum lift thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 15 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.

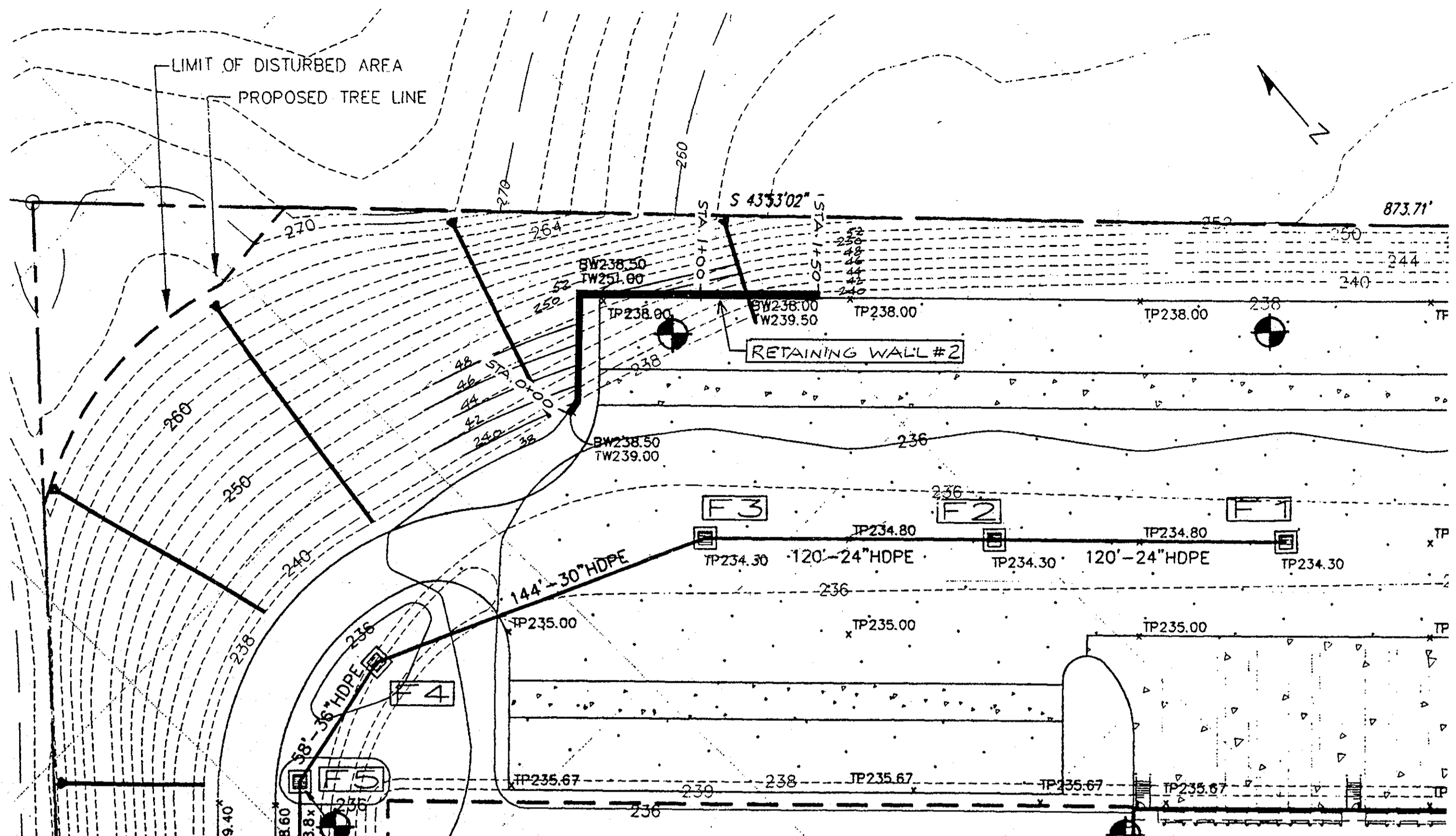
THE EXISTING FOUNDATION SOILS MUST BE EXAMINED BY THE SOILS ENGINEER TO ASSURE THE ACTUAL FOUNDATION SOIL STRENGTH MEETS OR EXCEEDS ASSUMED DESIGN STRENGTH.
THE PROPOSED CONSTRUCTION OF THE RETAINING WALL SHALL BE PERFORMED UNDER THE SUPERVISION OF A MARYLAND REGISTERED PROFESSIONAL ENGINEER.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

2/6/02
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PROFESSIONAL ENGINEER

SHEET NO. 85 OF 86



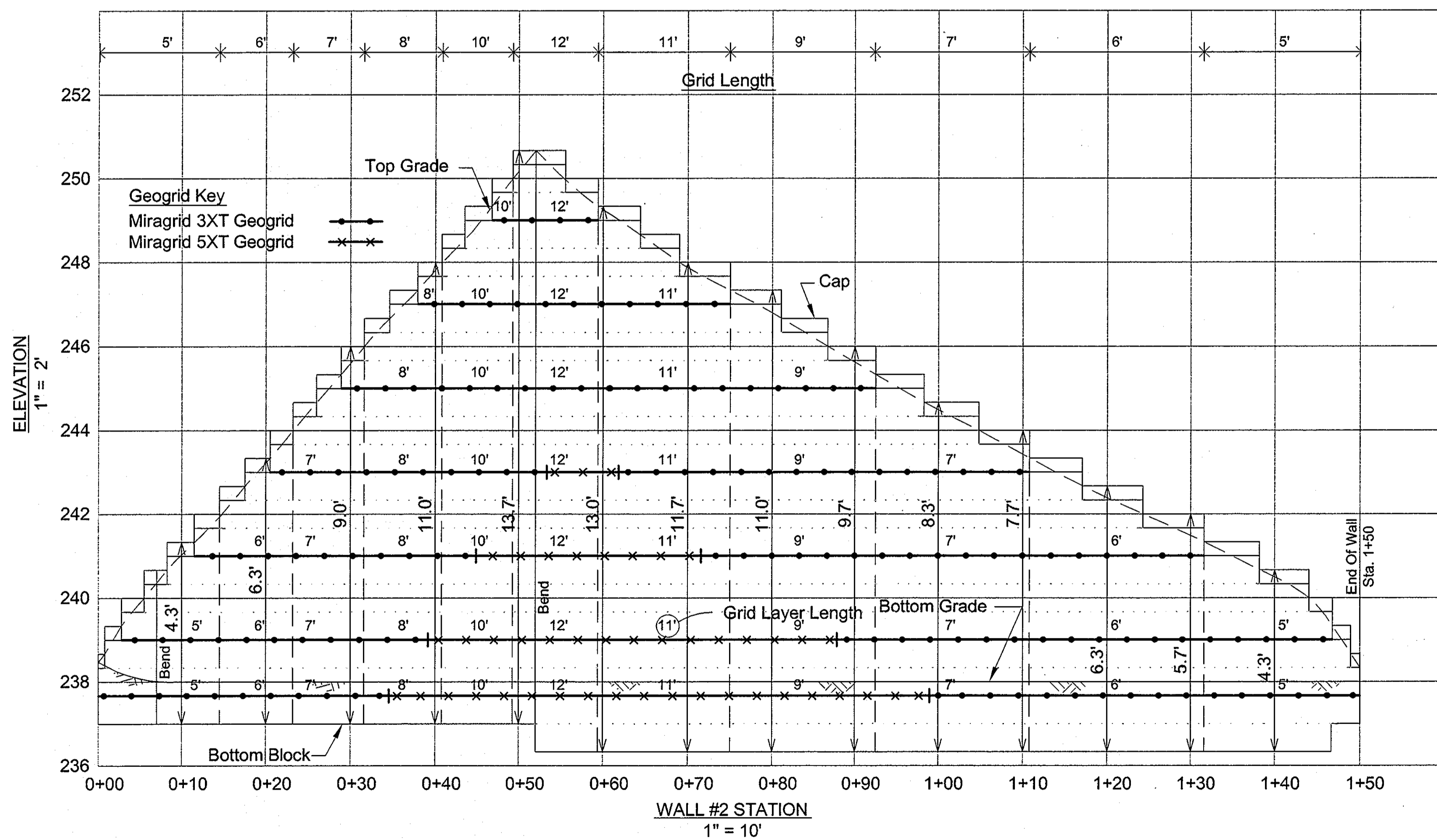
WALL LOCATION PLAN
SCALE: 1" = 40'

SPECIFICATIONS

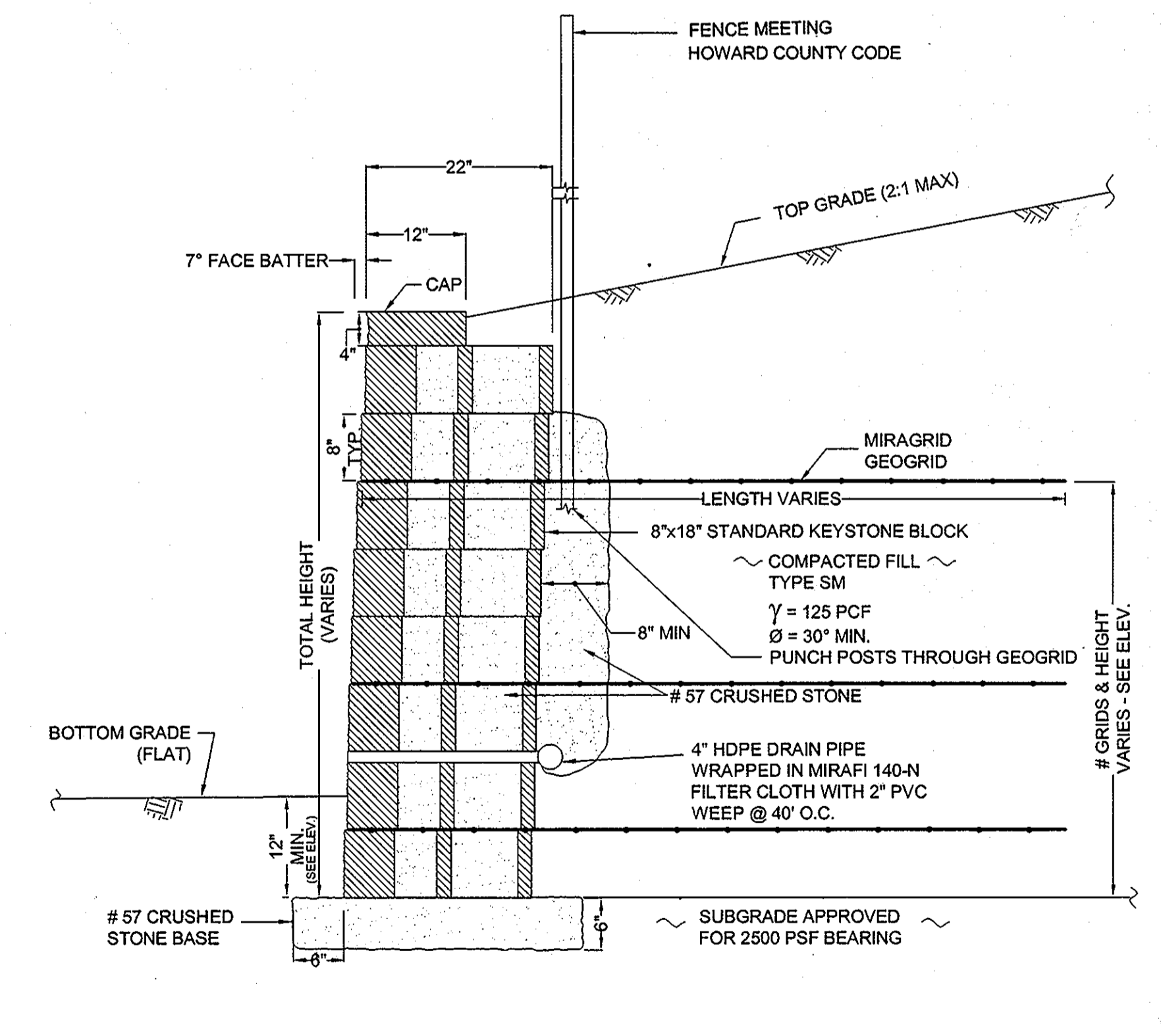
KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

- PART 1: GENERAL**
- 1.01 Description
A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.
- 1.02 Delivery, Storage and Handling
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.
- PART 2: PRODUCTS**
- 2.01 Modular Concrete Retaining Wall Units
A. Modular concrete units shall conform to the following architectural requirements:
1. Face color - concrete gray - standard manufacturer's color may be specified by the Owner.
2. Face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
3. Bond configuration - running with bonds normally located at midpoint vertically adjacent units, in both straight and curved alignments.
4. Exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
1. Compressive strength - 3000 psi minimum;
2. Absorption - 8% maximum (8% in northern states) for standard weight aggregates;
3. Dimensional tolerances - ± 1/8" from nominal unit dimensions - not including rough split face, ± 1/16" unit height - top and bottom planes;
4. Unit size - 8" (H) x 18" (V) x 22" (D) minimum;
5. Unit weight - 100 lbs/unit minimum for standard weight
- 2.02 Shear Connectors
A. Shear connectors shall be 1/2 inch diameter threaded high strength steel rods or equivalent to provide connection between vertically and horizontally adjacent units.
Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.
- 2.03 Base Leveling Pad Material
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.
- 2.04 Unit Drainage Fill
A. Unit drainage fill shall consist of #57 crushed stone base.
B. One cubic foot, minimum, of drainage fill shall be used for each square foot of wall face. Drainage fill shall be placed within cores of, between, and behind units to meet this requirement.
- 2.05 Reinforced Backfill
A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan.
- | Size | Percent Passing |
|----------|-----------------|
| 2 inch | 100% |
| 3/4 inch | 100% |
| No. 40 | 50% |
| No. 200 | 0-3% |
- Plasticity Index (PI) < 15 and Liquid Limit < 40 per ASTM D-2938.
B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.
- 2.06 Geogrid Soil Reinforcement
A. Geogrid reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.
B. Geogrid reinforcement shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
C. Reinforced backfill shall be placed, spread, and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
D. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
E. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
F. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum lift thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle treads should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
G. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
H. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.
- 2.07 Drainage Pipe
A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.
- PART 3: EXECUTION**
- 3.01 Excavation
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.
- 3.02 Base Leveling Pad
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6' in front and behind the modular wall unit.
B. Leveling pad shall be prepared to ensure full contact to the base surface of the concrete units.
- 3.03 Modular Unit Installation
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and units shall be in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install shearconnecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.
- 3.04 Structural Geogrid Installation
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.
D. Geogrid reinforcement shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.
- 3.05 Reinforced Backfill Placement
A. Reinforced backfill shall be placed, spread, and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
B. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
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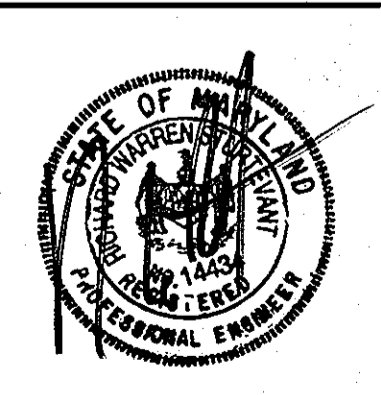
WALL ELEVATION
1" = 10'



WALL SECTION NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief of Planning and Zoning
Chief, Development Engineering Division

4/6/00
2/6/18
2/6/18



HILLIS-CARNES ENGINEERING ASSOCIATES, INC.

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(410) 880-4788
Annapolis Junction, Maryland
Fax: (410) 880-4098

JOB NUMBER:	94241-A	DESIGNED BY:	RWS
SCALE:	AS SHOWN	DRAWN BY:	AM
DATE:	11/8/02	APPROVED BY:	RMH
PAGE:	1 OF 1	REVISED DATE:	AS BUILT 4-21-04

RETAINING WALL #2 CONSTRUCTION DETAILS
GIANT DISTRIBUTION CENTER - EXETER INDUSTRIAL PARK - HOWARD COUNTY, MD

SDP-03-44

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