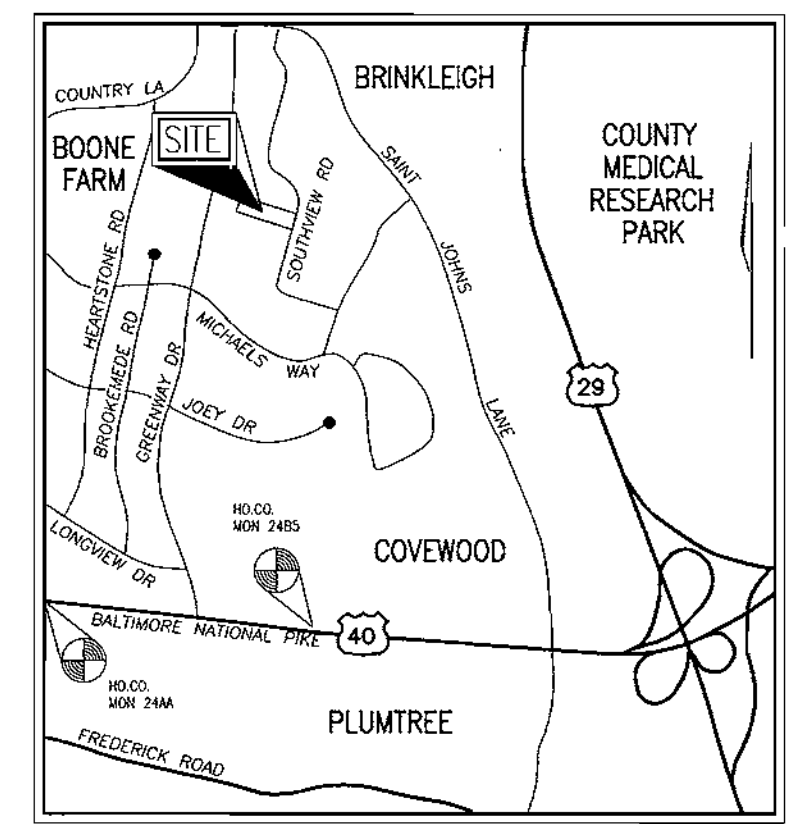
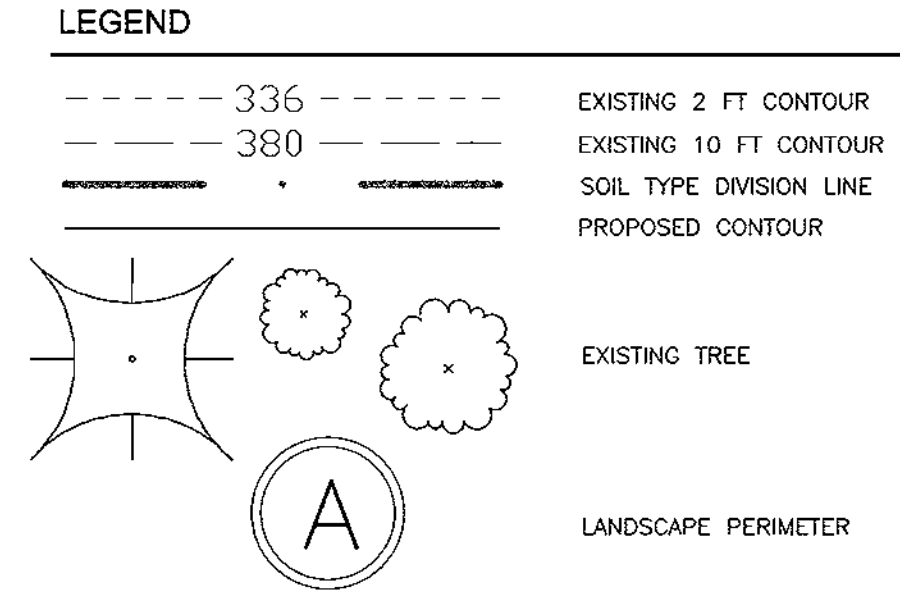


**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
  - MISS UTILITY: 1-800-257-7777
  - BELL ATLANTIC TELEPHONE CO: 725-9976
  - HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
  - AT&T CABLE LOCATION DIVISION: 393-3553
  - B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
  - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-2620
  - STATE HIGHWAY ADMINISTRATION: 531-5533
- THE SUBJECT PROPERTY IS ZONED R-20 AS PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.
- SITE ANALYSIS:
  - AREA OF SITE: 25,274.69 SF (0.58 AC)
  - AREA OF PLAN SUBMISSION: 25,274.69 SF (0.58 AC)
  - TOTAL NUMBER OF BUILDABLE LOTS/PARCELS: 1
  - TOTAL NUMBER OF CREDITED OPEN SPACE LOTS: N/A
  - TOTAL NUMBER OF NON-CREDITED OPEN SPACE LOTS: N/A
  - PRESENT ZONING: R-20
  - LIMIT OF DISTURBANCE: 12,233 SF±
  - PROPOSED USE OF SITE: SINGLE FAMILY DWELLING
- PROJECT BACKGROUND:
  - LOCATION: TAX MAP: 17 PARCEL: 562 BLOCK: 22
  - ZONING: R-20
  - SOUTHVIEW ROAD, LOT 22A
  - DEED REFERENCE: LIBER 6292 FOLIO 320
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT OF WAY INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENT NO'S. 24AA AND 24BS.
- EXISTING TOPOGRAPHY IS BASED ON A FIELD SURVEY PREPARED BY FREDERICK WARD ASSOCIATES, INC., DATED JUNE 2002.
- THE PROPERTY OUTLINE IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY FREDERICK WARD ASSOCIATES, INC., DATED FEBRUARY 2002.
- PUBLIC WATER SERVICE WILL BE GRANTED UNDER CONTRACT NO. 11-W. PUBLIC SEWER SERVICE WILL BE GRANTED UNDER CONTRACT NO. 32-S.
- THERE ARE NO STEEP SLOPES LOCATED ON THIS PROPERTY.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- WETLANDS AND STREAM SHOWN ON-SITE ARE BASED ON FIELD INVESTIGATION PREPARED BY EXPLORATION RESEARCH, INC., DATED OCTOBER 25, 2002.
- THERE IS NO 100-YR FLOODPLAIN ON SITE.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENT OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
  - A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)
  - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
  - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
  - D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
  - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
  - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
  - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- ALL DRIVEWAY APRONS TO BE PER HOWARD COUNTY STANDARD DETAIL NO.'S R-6.05 & R-6.01 UNLESS OTHERWISE NOTED.

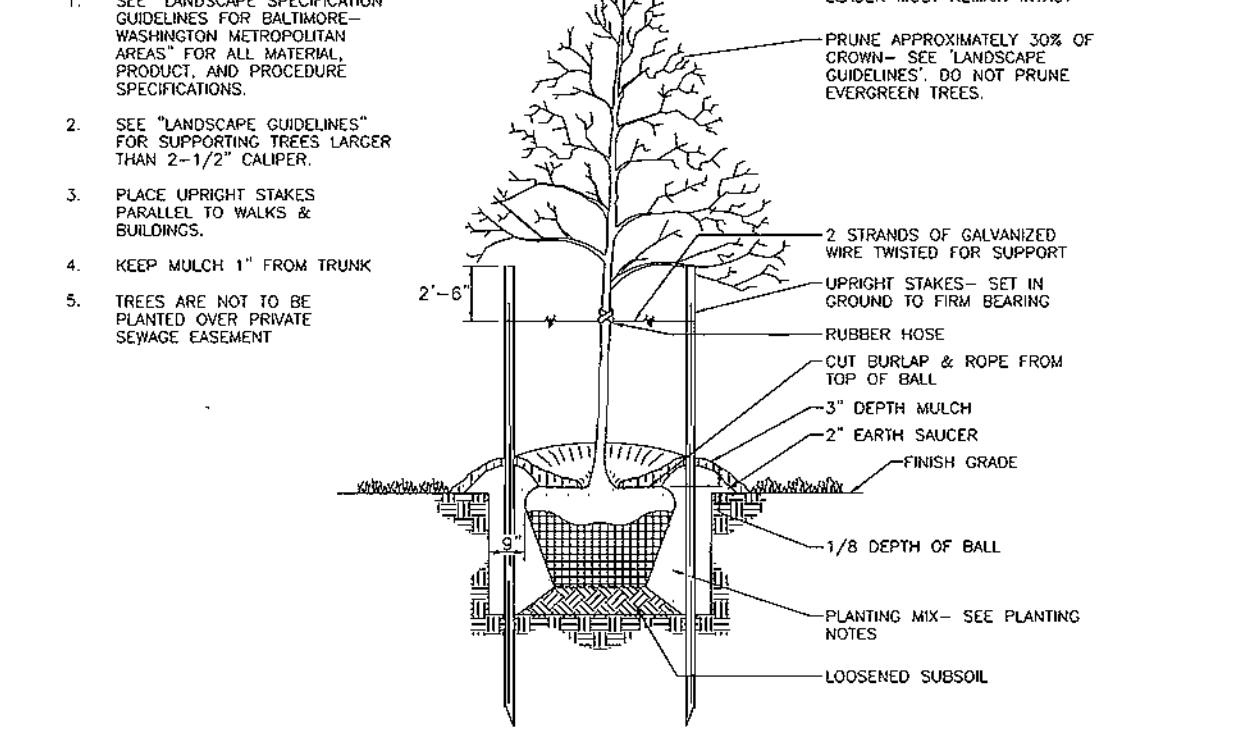
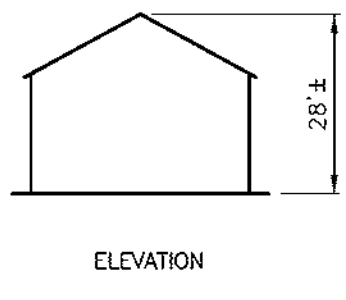
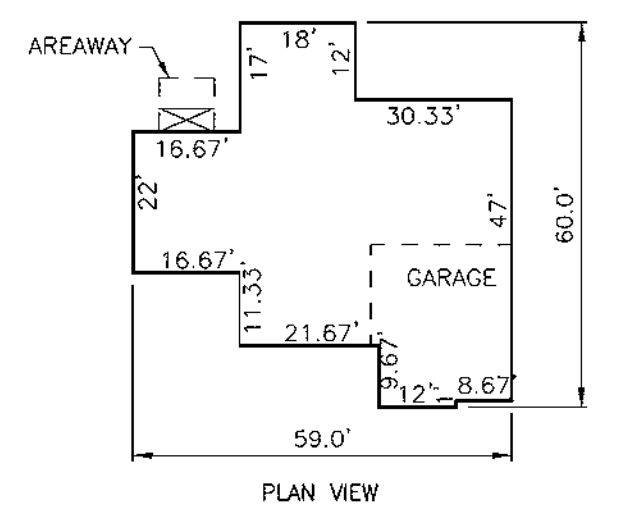
- IN ACCORDANCE WITH SECTION 16.1202(b),(2),(f) OF THE HOWARD COUNTY CODE, THIS PROJECT IS EXEMPT FROM THE FOREST CONSERVATION REQUIREMENTS OF THE HOWARD COUNTY CODE WITH THE FILING OF THE DECLARATION OF INTENT (DOI) FOR CUTTING, CLEARING OR GRADING OF FOREST RESOURCES LESS THAN 40,000 SF OF DEVELOPMENT ON AN EXISTING SINGLE LOT.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE BUILDER'S GRADING PERMIT IN THE AMOUNT OF \$1,500.00 FOR 5 SHADE TREES.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WELLS. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- NO CLEARING OR EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPED EDGE; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- STORMWATER MANAGEMENT REQUIREMENTS: W<sub>0.05</sub>=0.005 AC-FT.; Rev=0.013 AC-FT.; C<sub>pv</sub>=0.32 AC-FT. STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED BY GRASS SWALES (W<sub>0.05</sub> & Rev.). C<sub>pv</sub> IS NOT REQUIRED SINCE THE 1-YEAR STORM EVENT IS LESS THAN 2 CFS.
- THIS PLAN IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAMS OR THEIR BUFFERS.
- AN EXISTING 18" PRIVATE DRIVEWAY AND UTILITY EASEMENT TO BENEFIT LOT 22A AS PART OF PARCEL 418, IS PROVIDED OVER LOT 22. A MAINTENANCE AGREEMENT IS RECORDED IN U. 6292, F. 414.

BENCHMARKS			
NO.	NORTHING	EASTING	ELEV.
24AA	587,380.631	1,352,603.649	
24BS	589,956.260	1,356,570.811	390.965

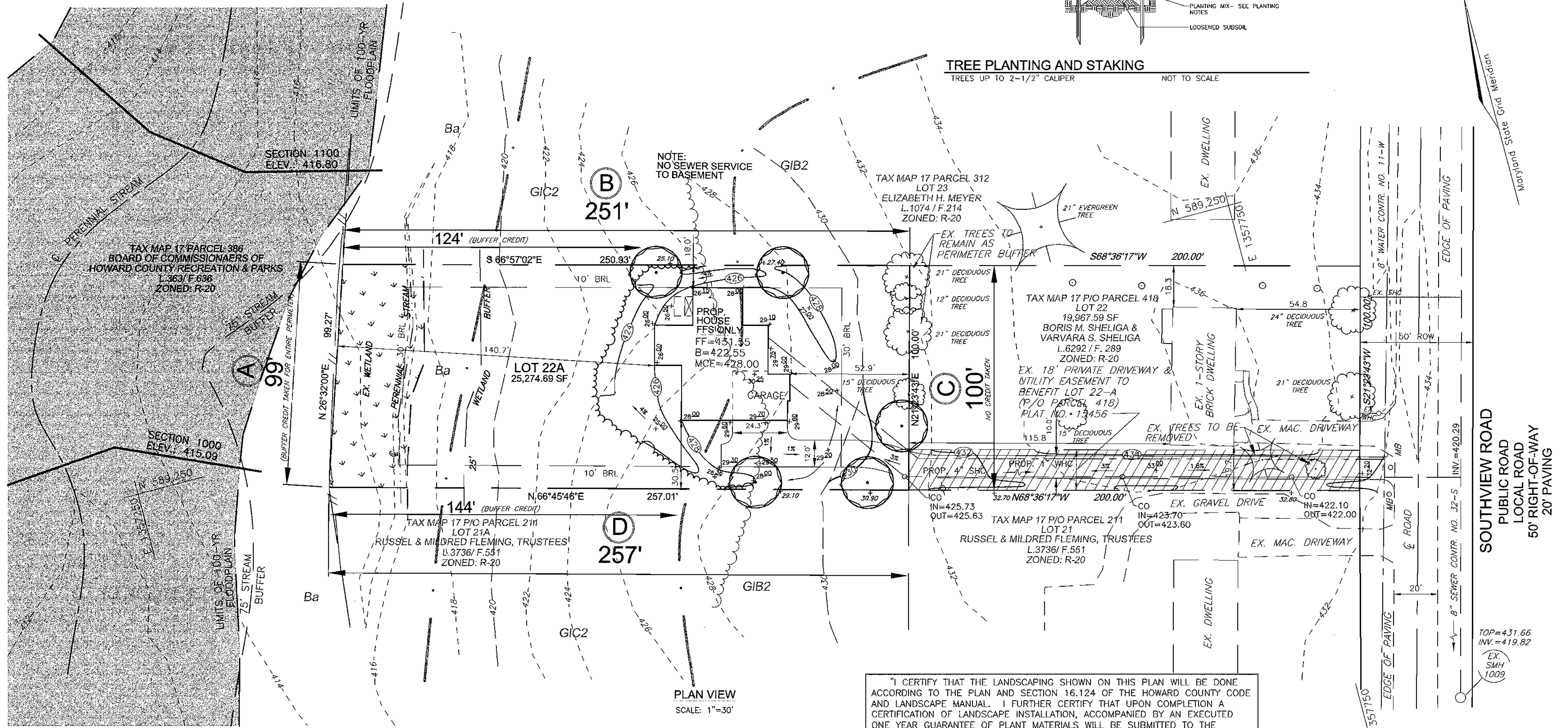


LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
(Symbol)	5	ACER RUBRUM 'BOWHALL'	2 1/2"-3" Col.	B & B AS SHOWN
(Symbol)		BOWHALL, FASTIGIATE RED MAPLE		

1. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT A&P SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LANDSCAPE SCHEDULE SPECIFICATIONS.  
 2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.  
 3. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.  
 4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.



**TREE PLANTING AND STAKING**  
TREES UP TO 2-1/2" CALIPER NOT TO SCALE



SCHEDULE A PERIMETER LANDSCAPE EDGE				
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES		
		TYPE 'A'	TYPE 'A'	TYPE 'A'
LANDSCAPE TYPE	NONE REQUIRED	99' (A)	251' (B)	100' (C)
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	0	99'	124'	257'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NA	YES* 99'	YES* 124'	NO 144'
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NA	NO	NO	NO
NUMBER OF PLANTS REQUIRED	NA	0'	127'	100'
SHADE TREES	NA	1:60 2	1:60 2	1:60 2
EVERGREEN TREES	NA	0	0	0
SHRUBS	NA	0	0	0
NUMBER OF PLANTS PROVIDED	NA	0	3**	2**
SHADE TREES	NA	0	0	0
EVERGREEN TREES	NA	0	0	0
OTHER TREES (2:1 SUBSTITUTION)	NA	0	0	0
SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	NA	0	0	0

\*CREDIT FOR EXISTING WOODS  
 \*\*ONE EXISTING TREE TO REMAIN

ADDRESS CHART	
LOT #	STREET ADDRESS
22A	3016 SOUTHVIEW ROAD

PERMIT INFORMATION CHART			
PROJECT NAME	SECTION/AREA	PARCEL NUMBER	
SOUTHVIEW ROAD	N/A	562	
DEED REF. 6292/320	BLOCK NO. 22	TAX MAP 17	ELECT. DIST. 2ND
			CENSUS TR. 6022.00
WATER CODE: H-04	SEWER CODE: 1405500		

SHEET INDEX	
DESCRIPTION	SHEET NO.
SITE DEVELOPMENT PLAN	1 OF 3
SEDIMENT AND EROSION CONTROL PLAN	2 OF 3
SEDIMENT AND EROSION CONTROL DETAILS	3 OF 3

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	TYPE
Ba	BAILEY SILT LOAM	D
GIB2	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
GIC2	GLENELG LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B

NOTE: HOWARD SOIL SURVEY, MAP NUMBERS 15 & 16

"I CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. I FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING."

*Robert H. Vogel* 3/5/2003  
SIGNATURE OF DEVELOPER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*Chris Korman* 3/24/03  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Charles Korman* 3/25/03  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Marsha A. Langley* 3/27/03  
DIRECTOR DATE

ENGINEERS CERTIFICATE  
 "I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
*Robert H. Vogel* 3/4/03  
SIGNATURE OF ENGINEER DATE

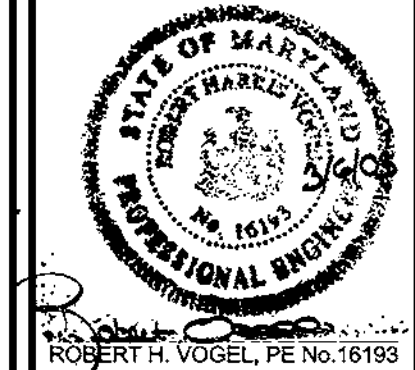
DEVELOPER'S CERTIFICATE  
 "I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
*Robert H. Vogel* 3/5/2003  
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
 USDA-NATURAL RESOURCES CONSERVATION SERVICE  
*Jim Mynlca* 3/10/03  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
*Jeffrey Selig* 3/19/03  
DATE

OWNERS  
 GREGORY M KINNEAR  
 MICHELE D. KINNEAR  
 2028 EDMONDSON AVE.  
 CATONSVILLE, MARYLAND 21228

DEVELOPERS  
 WALL PROPERTIES, LLC  
 3310 ST. JOHNS LANE  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 960-3648



DESIGN BY: CMH  
 DRAWN BY: CMH  
 CHECKED BY: RHV  
 DATE: NOVEMBER 2002  
 SCALE: AS SHOWN  
 W.O. NO.: 2024024.0

1 SHEET OF 3



**GENERAL NOTES**

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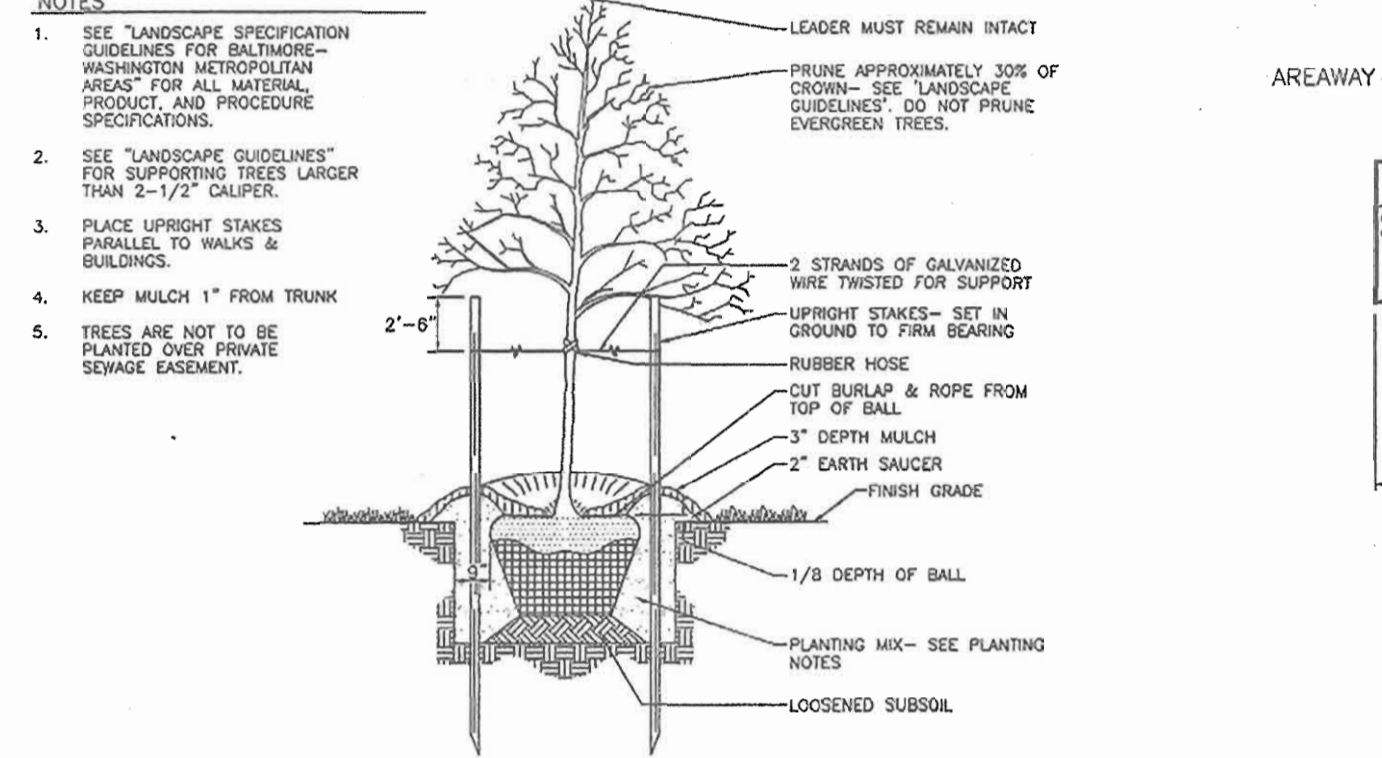
4. THE SUBJECT PROPERTY IS ZONED R-20 AS PER THE 10/18/93 COMPREHENSIVE ZONING PLAN.  
 5. SITE ANALYSIS:  
 AREA OF SITE: 25,274.69 SF (0.58 AC)  
 AREA OF PLAN SUBMISSION: 25,274.69 SF (0.58 AC)  
 TOTAL NUMBER OF BUILDABLE LOTS/PARCELS: 1  
 TOTAL NUMBER OF CREDITED OPEN SPACE LOTS: N/A  
 TOTAL NUMBER OF NON-CREDITED OPEN SPACE LOTS: N/A  
 PRESENT ZONING: R-20  
 LIMIT OF DISTURBANCE: 12,233 SF±  
 PROPOSED USE OF SITE: SINGLE FAMILY DWELLING

6. PROJECT BACKGROUND:  
 LOCATION: TAX MAP 17 PARCEL 562 BLOCK: 22  
 ZONING: R-20  
 SOUTHWIEW ROAD, LOT 22A  
 DEED REFERENCE: LIBER 6292 FOLIO 320

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
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- PUBLIC WATER SERVICE WILL BE GRANTED UNDER CONTRACT NO. 11-W. PUBLIC SEWER SERVICE WILL BE GRANTED UNDER CONTRACT NO. 32-S.
- THERE ARE NO STEEP SLOPES LOCATED ON THIS PROPERTY.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
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- THERE IS NO 100-YR FLOODPLAIN ON SITE.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENT OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
 A) WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN ONE RESIDENCE)  
 B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING  
 C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS  
 D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)  
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE  
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET  
 G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- ALL DRIVEWAY APRONS TO BE PER HOWARD COUNTY STANDARD DETAIL NO.'S R-6.05 & R-6.01 UNLESS OTHERWISE NOTED.

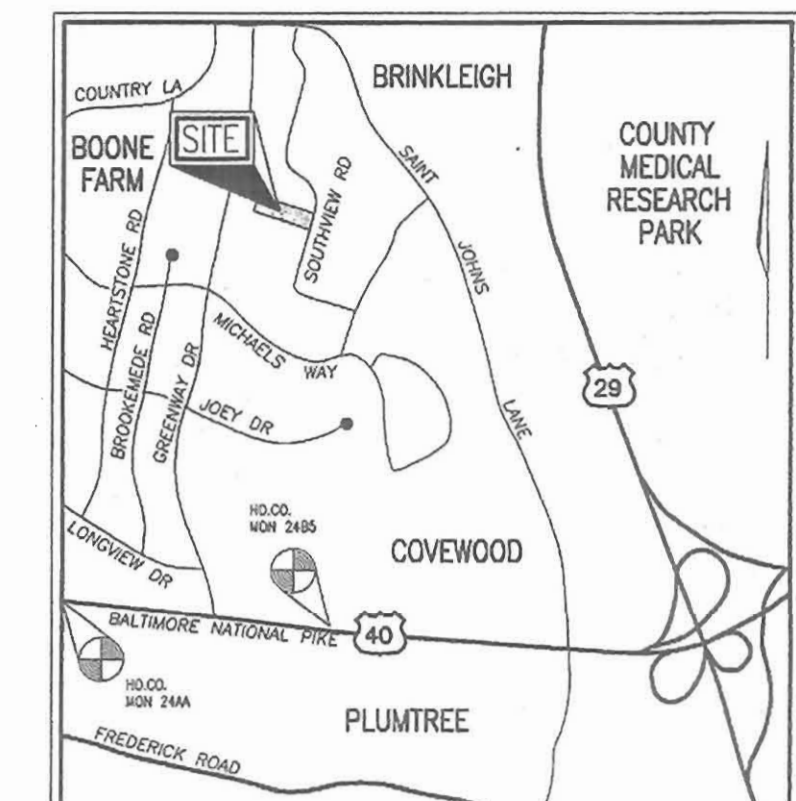
- IN ACCORDANCE WITH SECTION 16.1202.(b).(2).(i) OF THE HOWARD COUNTY CODE, THIS PROJECT IS EXEMPT FROM THE FOREST CONSERVATION REQUIREMENTS OF THE HOWARD COUNTY CODE WITH THE FILING OF THE DECLARATION OF INTENT (DOI) FOR CUTTING, CLEARING OR GRADING OF FOREST RESOURCES LESS THAN 40,000 SF OF DEVELOPMENT ON AN EXISTING SINGLE LOT.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE BUILDER'S GRADING PERMIT IN THE AMOUNT OF \$1,500.00 FOR 5 SHADE TREES.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WELLS. ALL PLANT MATERIALS SHALL BE MAINTAINED TO ENSURE IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- NO CLEARING OR EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPED EDGE; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- STORMWATER MANAGEMENT REQUIREMENTS: WQv=0.005 AC-FT.; Rev=0.013 AC-FT.; Cpv=0.32 AC-FT. STORMWATER MANAGEMENT FOR THIS SITE IS PROVIDED BY GRASS SWALES (WQv & Rev). Cpv IS NOT REQUIRED SINCE THE 1-YEAR STORM EVENT IS LESS THAN 2 CFS.
- THIS PLAN IS SUBJECT TO THE 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE WETLANDS, STREAMS OR THEIR BUFFERS.
- ALL EXISTING 18" PRIVATE DRIVEWAY AND UTILITY EASEMENT TO BENEFIT LOT 22A, A PART OF PARCEL 418, IS PROVIDED OVER LOT 22A. MAINTENANCE AGREEMENT IS RECORDED IN U.G. 6102, F.414.



BENCHMARKS			
NO.	NORTHING	EASTING	ELEV.
24AA	587,380.631	1,352,603.649	
24B5	589,956.280	1,356,570.811	390.985

LEGEND		
---	336	EXISTING 2 FT CONTOUR
---	330	EXISTING 10 FT CONTOUR
---		SOIL TYPE DIVISION LINE
---		PROPOSED CONTOUR
(X)		EXISTING TREE
(A)		LANDSCAPE PERIMETER



LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
(A)	5	ACER RUBRUM 'BOWHALL' BOWHALL FASTIGIATE RED MAPLE	2 1/2"-3" Cal.	B & B AS SHOWN

1. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LOCAL PLANTING SPECIFICATIONS.  
 2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.  
 3. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.  
 4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO DIGGING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

SCHEDULE A PERIMETER LANDSCAPE EDGE					
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES			
		TYPE 'A'	TYPE 'A'	TYPE 'A'	TYPE 'A'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	0	99' (A)	251' (B)	100' (C)	257' (D)
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NA	YES* 99'	YES* 124'	NO	YES* 144'
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NA	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	NA NA NA NA	1:50 0 0 0 0	1:50 2 0 0 0	1:50 2 0 0 0	1:50 2 0 0 0
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	NA NA NA NA	0 0 0 0	3** 0 0 0	2** 0 0 0	2 0 0 0

\*CREDIT FOR EXISTING WOODS  
 \*\*ONE EXISTING TREE TO REMAIN

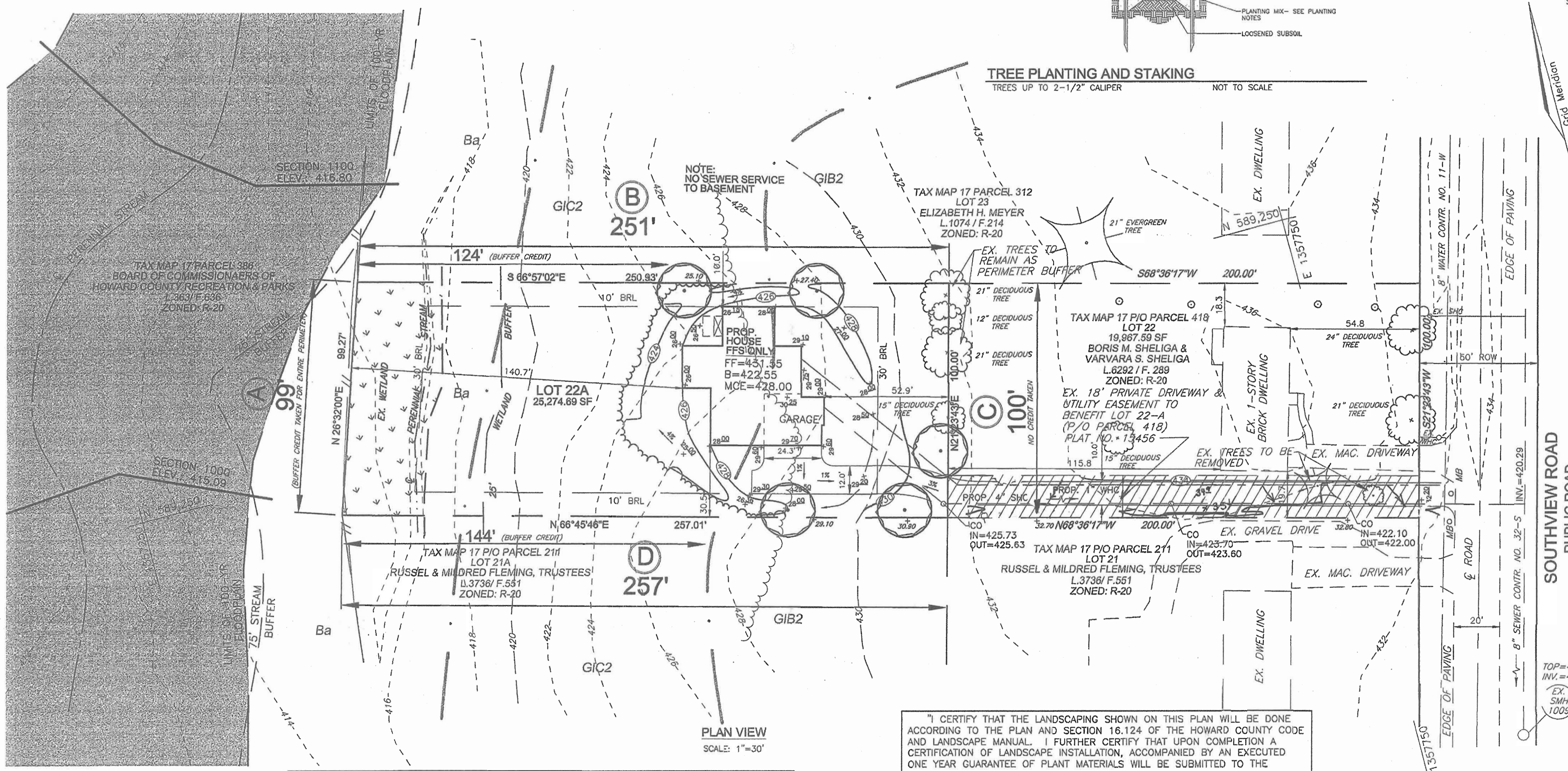
ADDRESS CHART	
LOT #	STREET ADDRESS
22A	3016 SOUTHWIEW ROAD

PERMIT INFORMATION CHART			
PROJECT NAME	SECTION/AREA	PARCEL NUMBER	
SOUTHWIEW ROAD	N/A	562	
DEED REF.	BLOCK NO.	ZONE	TAX MAP
8292/320	22	R-20	17
ELECT. DIST.	CENSUS TR.		
2ND	8022.00		
WATER CODE:	SEWER CODE:	1405500	
H-04			

SHEET INDEX	
DESCRIPTION	SHEET NO.
SITE DEVELOPMENT PLAN	1 OF 3
SEDIMENT AND EROSION CONTROL PLAN	2 OF 3
SEDIMENT AND EROSION CONTROL DETAILS	3 OF 3



SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	TYPE
Ba	BAILE SILT LOAM	D
GIB2	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
GIC2	GLENELG LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B

NOTE: HOWARD SOIL SURVEY, MAP NUMBERS 15 & 18

"I CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. I FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING."

*Robert H. Vogel* 3/5/2003  
 SIGNATURE OF DEVELOPER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*John P. ...* 3/24/03  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*...* 3/25/03  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*...* 3/27/03  
 DIRECTOR DATE

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Robert H. Vogel* 3/4/03  
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Robert H. Vogel* 3/5/2003  
 SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

*John Munk* 3/18/03  
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*John Munk* 3/18/03  
 HOWARD SCD DATE

OWNERS  
 GREGORY M KINNEAR  
 MICHELE D KINNEAR  
 2028 EDMONDSON AVE.  
 CATONSVILLE, MARYLAND 21228

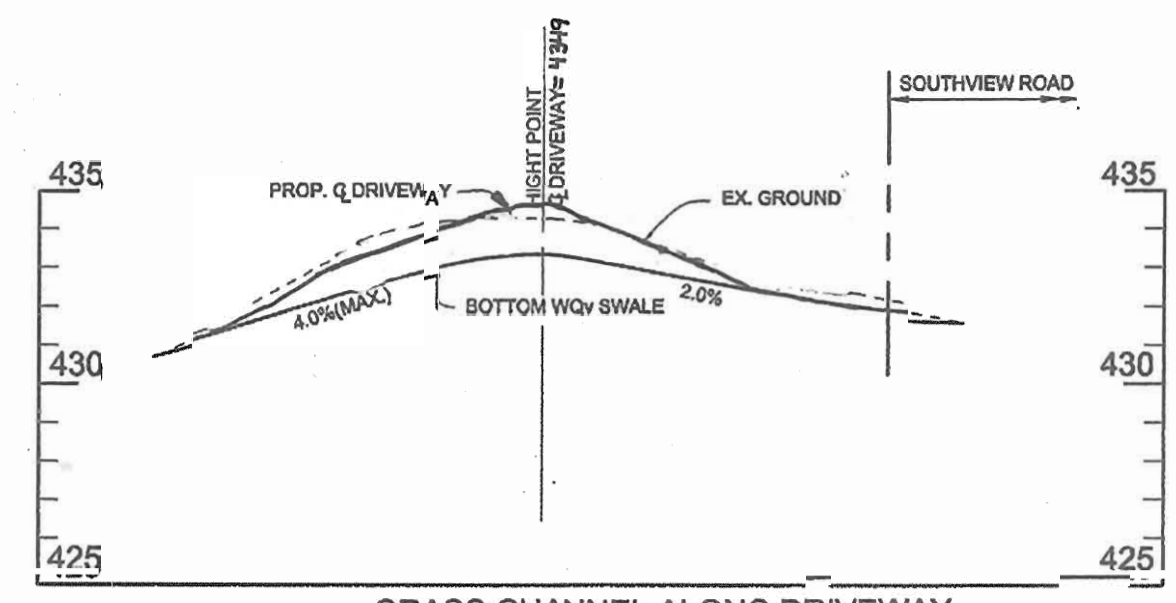
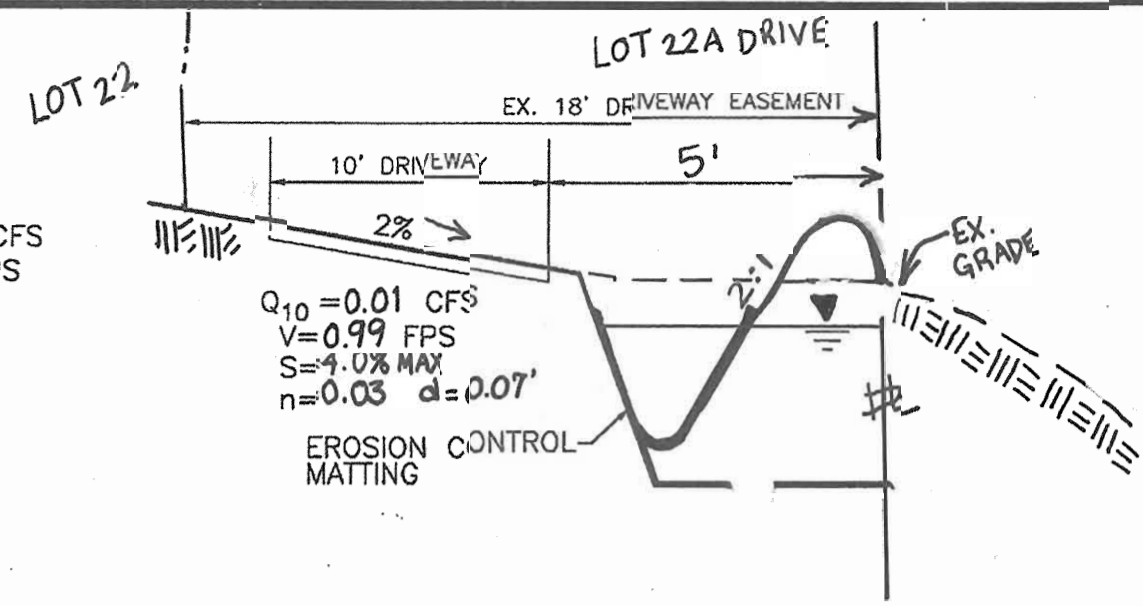
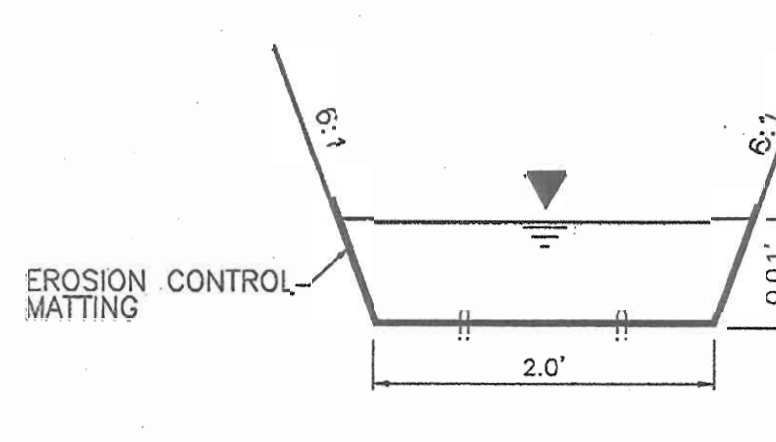
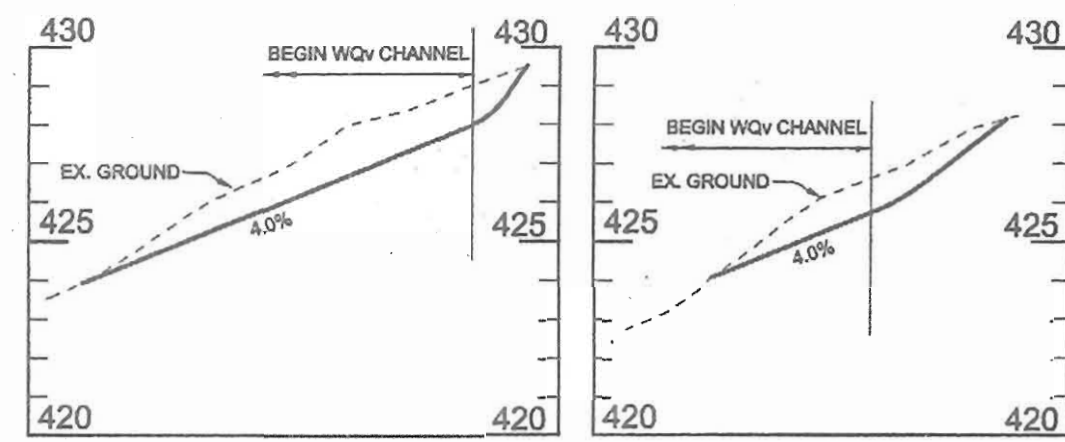
DEVELOPERS  
 VALL PROPERTIES, LLC  
 3310 ST. JOHNS LANE  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 980-3648



DESIGN BY: CMH  
 DRAWN BY: CMH  
 CHECKED BY: RHW  
 DATE: NOVEMBER 2002  
 SCALE: AS SHOWN  
 W.O. NO.: 2024024.0

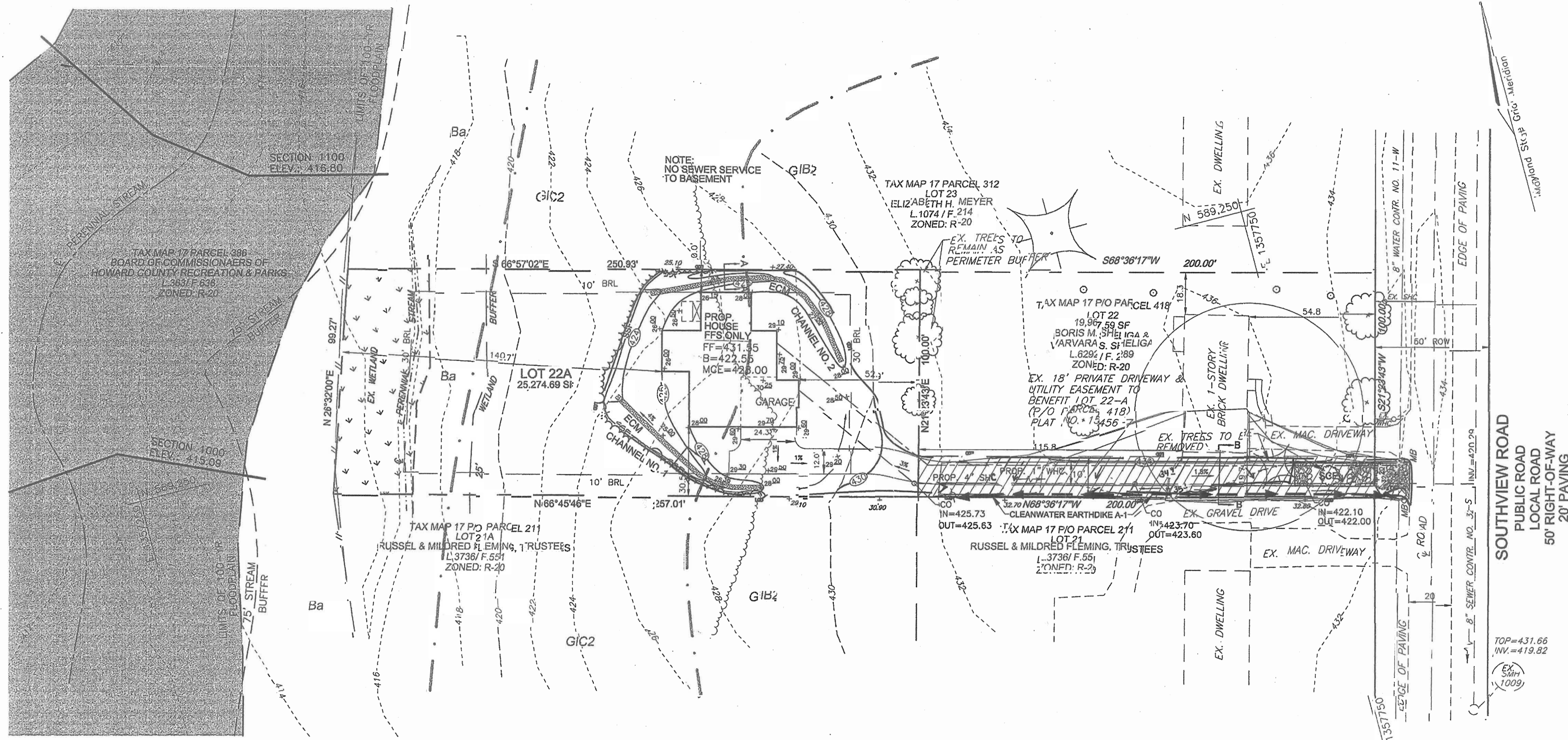
1 SHEET OF 3





**LEGEND**

---	336	EXISTING 2 FT CONTOUR
---	380	EXISTING 10 FT CONTOUR
---	---	SOIL TYPE DIVISION LINE
---	---	PROPOSED CONTOUR
---	---	LIMIT OF DISTURBANCE
---	---	SUPER SILT FENCE
---	---	EROSION CONTROL MATTING
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	EXISTING TREE



PLAN VIEW  
SCALE: 1"=30'

**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	TYPE
Ba	BAILE SILT LOAM	D
GIB2	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
GIC2	GLENELG LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B

NOTE: HOWARD SOIL SURVEY, MAP NUMBERS 15 & 16

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 3/24/03  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 3/25/03  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 3/22/03  
DIRECTOR DATE

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 3/18/03  
SIGNATURE OF ENGINEER DATE  
ROBERT H. VOSEL

**DEVELOPER'S CERTIFICATE**

"I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 3/18/03  
SIGNATURE OF DEVELOPER DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

*[Signature]* 3/18/03  
USDA-NATIONAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*[Signature]* 3/18/03  
HOWARD SCD DATE

**OWNERS**

GREGORY M KINNEAR  
MICHELE D. KINNEAR  
2028 EDMONDSON AVE.  
CATONSVILLE, MARYLAND 21228

**DEVELOPERS**

VALL PROPERTIES, LLC  
3310 ST. JOHNS LANE  
ELLCOTT CITY, MARYLAND 21042  
(410) 980-3648

NO.	REVISION	DATE
1	REVISE DRIVEWAY SIDE DITCH TO 'V' DITCH	3/19/03

**SEDIMENT AND EROSION CONTROL PLAN**  
**SOUTHVIEW ROAD**  
**LOT 22A**

TAX MAP 17 BLOCK 22 PARCEL '562'  
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
DEED REF.: L. 6292/F. 320

**FREDERICK WARD ASSOCIATES, INC.**

ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354  
ARCHITECTS Phone: 410-290-9550 Fax: 410-720-8228  
SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: CMH  
DRAWN BY: CMH  
CHECKED BY: RHV  
DATE: NOVEMBER 2002  
SCALE: AS SHOWN  
W.O. NO.: 2024024.0

2 SHEET OF 3







## 21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

**DEFINITION**  
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

**PURPOSE**  
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

### CONDITIONS WHERE PRACTICE APPLIES

I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

### CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SIS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CONCRETES, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 AND 1/2" IN DIAMETER.

II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, CRUMBLY LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

II. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

1. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:  
A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.  
B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.  
C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.  
D. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

### TOPSOIL APPLICATION

I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION.

III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

## PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED-APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./100 SQ.FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL AT THE TIME OF SEEDING. APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (8 LBS./1000 SQ.FT.)
- ACCEPTABLE-APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND APPLY 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS./1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) SEED WITH 80 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

## TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

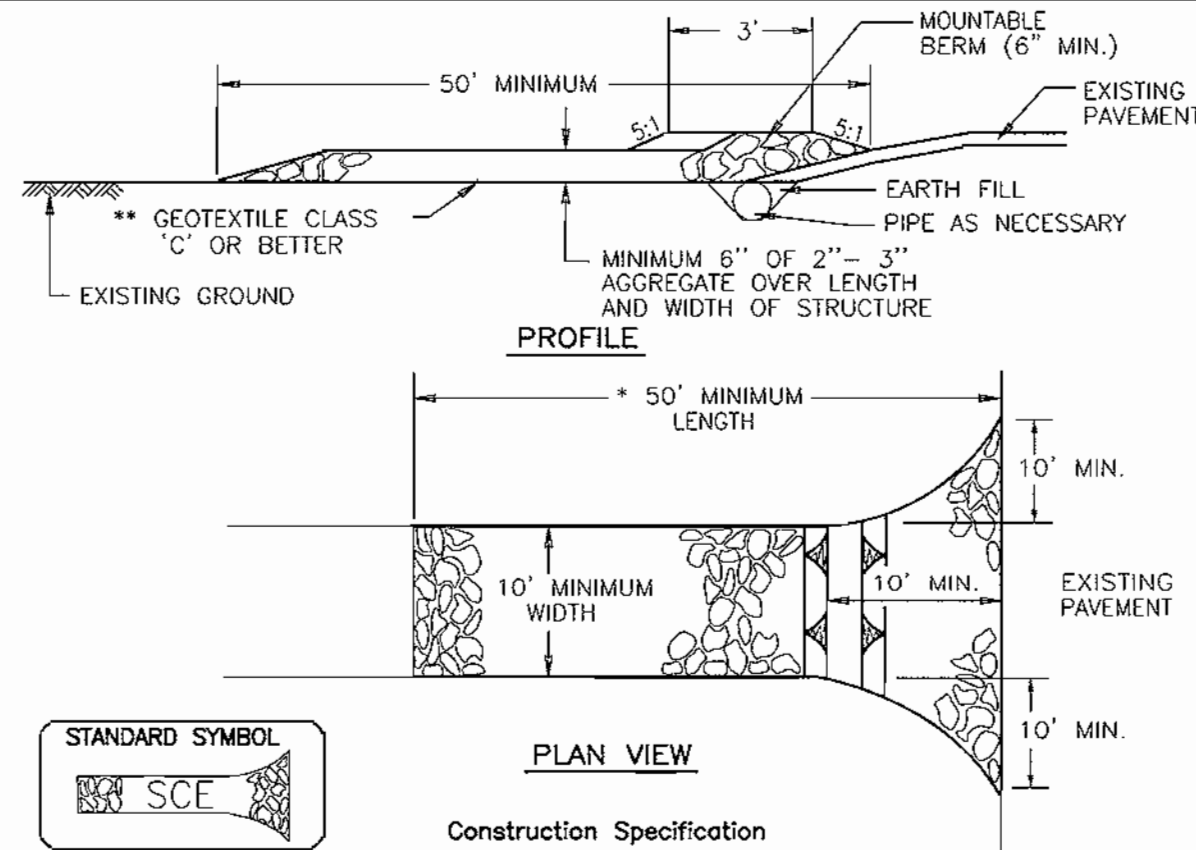
SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 1 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

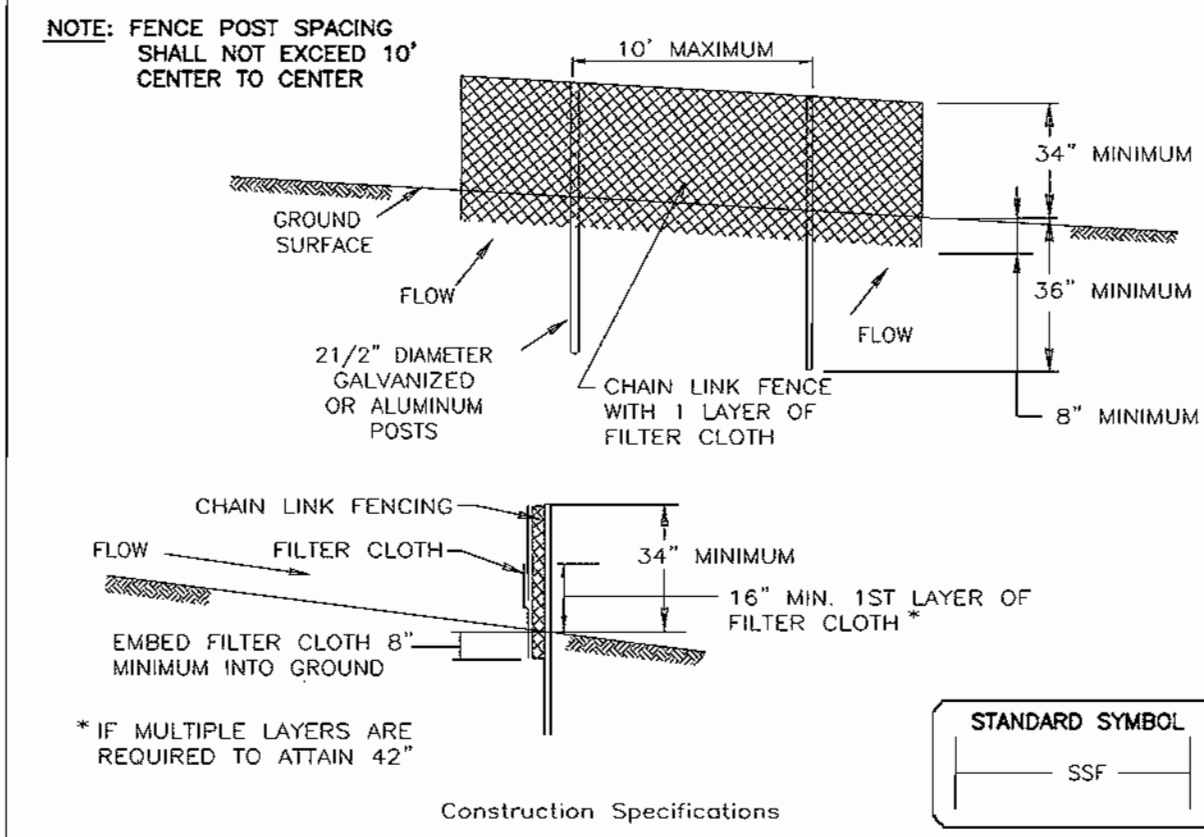
## DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- Construction Specifications**
- Length - minimum of 50' (\* 30' for a single residence lot).
  - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
  - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. \*\* The plan approval authority may not require single family residences to use geotextile.
  - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
  - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
  - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

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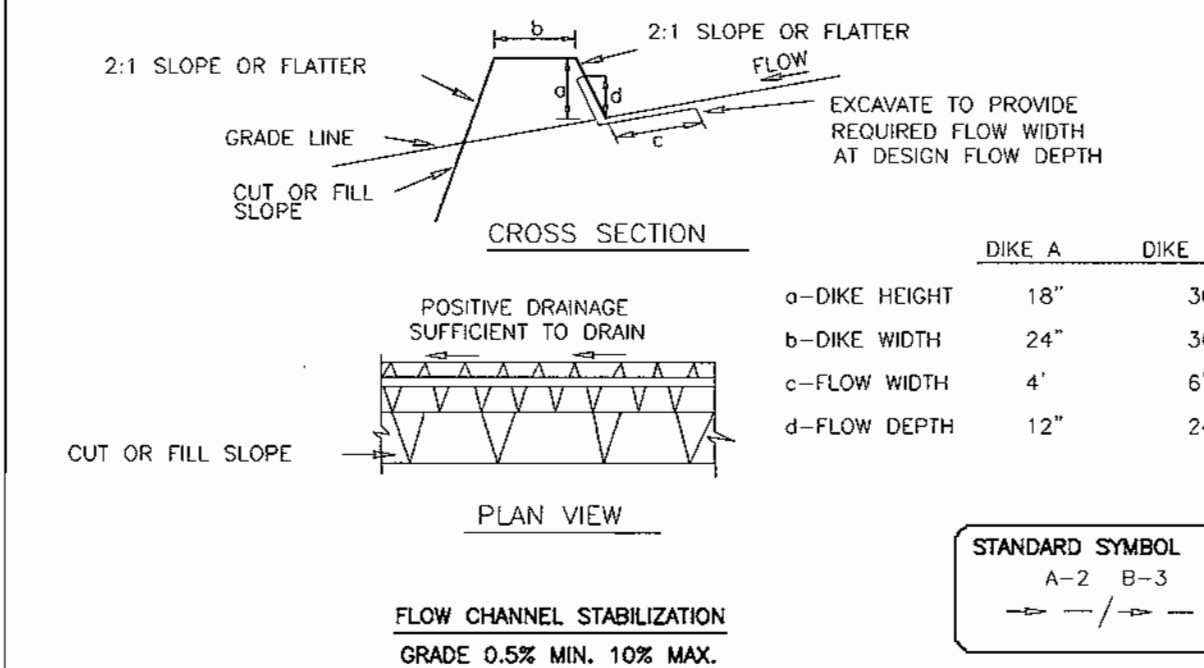
## DETAIL 33 - SUPER SILT FENCE



- Construction Specifications**
- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
  - Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
  - Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
  - Filter cloth shall be embedded a minimum of 8" into the ground.
  - When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
  - Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height
  - Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:  
Tensile Strength 50 lbs/in (min.) Test: MSMT 509  
Tensile Modulus 20 lbs/in (min.) Test: MSMT 509  
Flow Rate 0.3 gal/ft<sup>2</sup>/minute (max.) Test: MSMT 322  
Filtering Efficiency 75% (min.) Test: MSMT 322

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## DETAIL 1 - EARTH DIKE

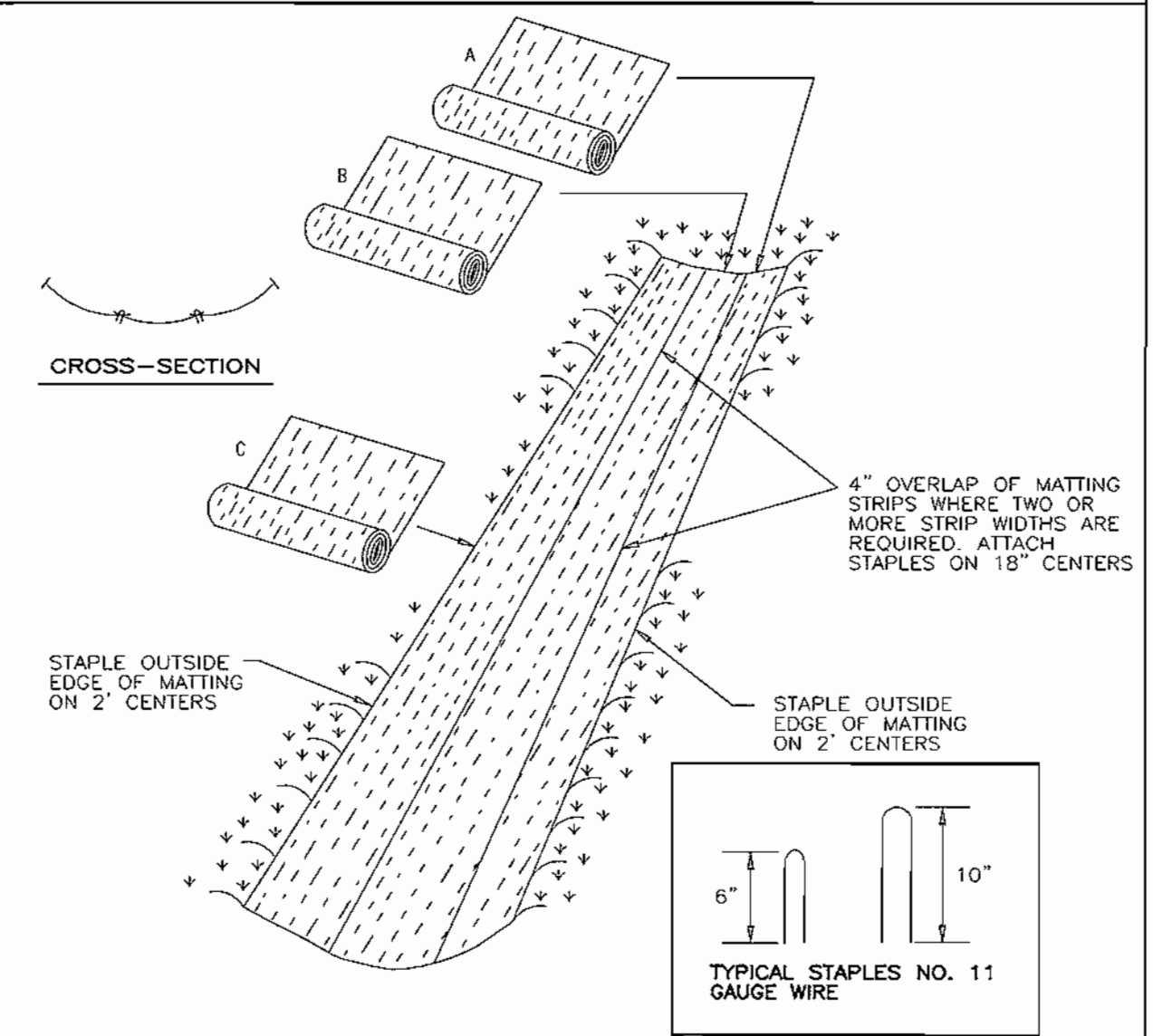


- Seed and cover with straw mulch.
- Seed and cover with Erosion Control Matting or line with sod.
- 4" - 7" stone or recycled concrete equivalent pressed into the soil 7" minimum

- Construction Specifications**
- All temporary earth dikes shall have uninterrupted positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
  - Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
  - Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erosive velocity.
  - All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike.
  - The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.
  - Fill shall be compacted by earth moving equipment.
  - All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike.
  - Inspection and maintenance must be provided periodically and after each rain event.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE A - 1 - 6	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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## DETAIL 30 - EROSION CONTROL MATTING



- Construction Specifications**
- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples on 4" down slope from the trench. Spacing between staples is 6".
  - Staple the 4" overlap in the channel center using an 18" spacing between staples.
  - Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
  - Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
  - Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
  - The discharge end of the matting liner should be similarly secured with 2 double rows of staples.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE 6 - 22 - 2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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## SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA	0.58 AC.
AREA DISTURBED	0.30 AC.
AREA TO BE ROOFED OR PAVED	0.14 AC.
AREA TO BE VEGETATIVELY STABILIZED	0.16 AC.
TOTAL CUT	1000 CY
TOTAL FILL	0 CY
OFFSITE WASTE/BORROW AREA LOCATION	*
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

\* TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
**Chief, Development Engineering Division** 3/24/03  
**Chief, Division of Land Development** 3/25/03  
**Director** 3/27/03

ENGINEERS CERTIFICATE  
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
**Signature of Engineer** 3/6/03  
 ROBERT H. VOGEL DATE

DEVELOPER'S CERTIFICATE  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
**Signature of Developer** 3/5/2003  
 DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
**Signature** 3/10/03  
 USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE  
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
**Signature** 3/10/03  
 HOWARD SCD DATE

### OWNERS

GREGORY M KINNEAR  
 MICHELE D. KINNEAR  
 2028 EDMONDSON AVE.  
 CATONSVILLE, MARYLAND 21228  
 (410) 960-3645

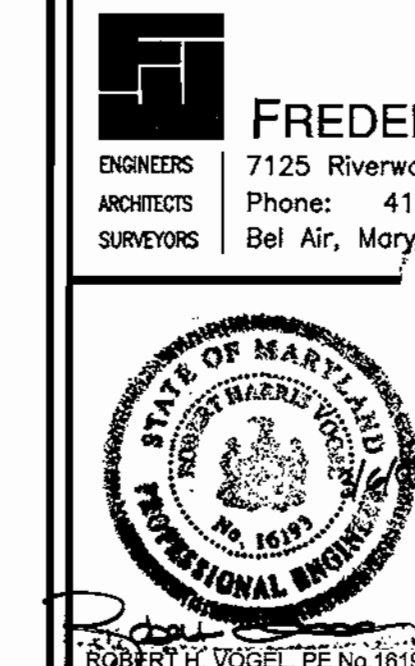
### DEVELOPERS

VALL PROPERTIES, LLC  
 3310 ST. JOHNS LANE  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 960-3648

## SEDIMENT AND EROSION CONTROL DETAILS

SOUTHVIEW ROAD  
 LOT 22A

TAX MAP 17 BLOCK 22 PARCEL \*562\*  
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 DEED REF.: L. 6292/F. 320



FREDERICK WARD ASSOCIATES, INC.  
 ENGINEERS 7125 Riverwood Drive Columbia, Maryland 21046-2354  
 ARCHITECTS Phone: 410-290-9550 Fax: 410-720-6226  
 SURVEYORS Bel Air, Maryland Columbia, Maryland Warrenton, Virginia

DESIGN BY: RHV  
 DRAWN BY: CMH  
 CHECKED BY: RHV  
 DATE: NOVEMBER 2002  
 SCALE: AS SHOWN  
 W.O. NO.: 2024024.0  
 3 SHEET OF 3