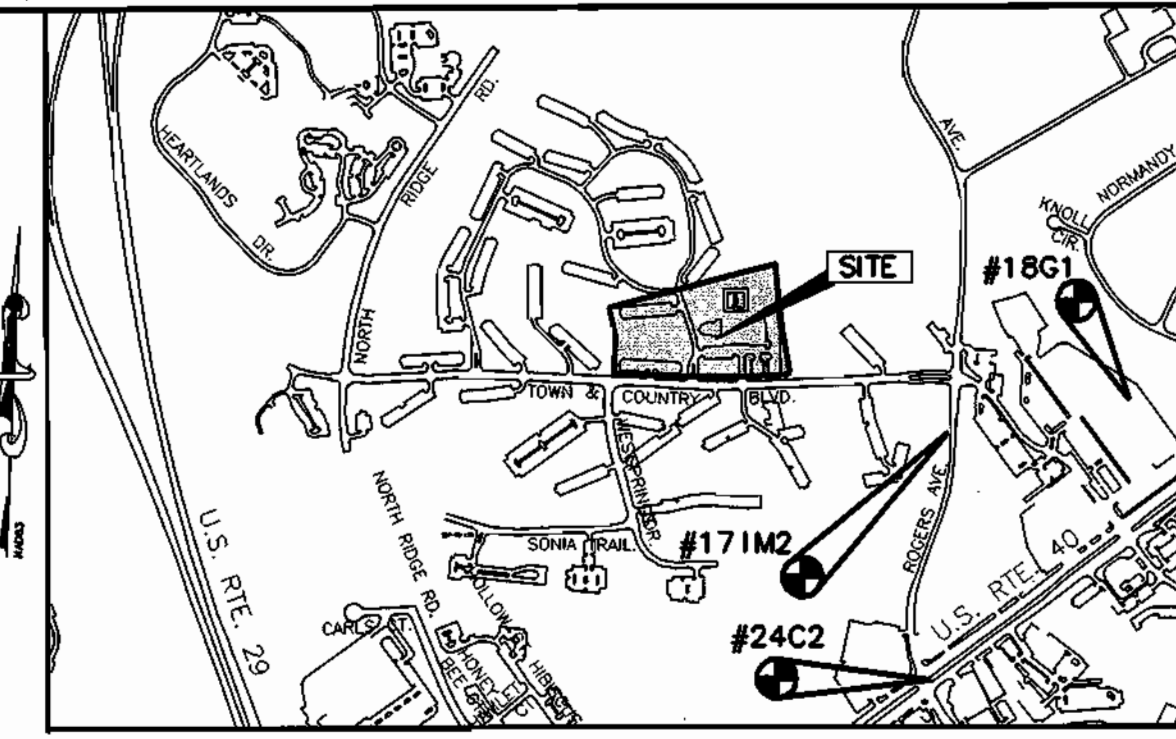


SITE DATA ANALYSIS:

- A. TOTAL PROPERTY AREA: 24.76 AC.± (1,078,545.60 S.F.)
- B. AREA OF SITE PLAN SUBMISSION: 1.58 AC.± (61,945 S.F.)
- C. LIMIT OF DISTURBED AREA: 1.58 AC.± (61,945 S.F.)
- D. PRESENT ZONING: RA-15
- E. PROPOSED USE OF SITE: CLUBHOUSE & CABANA BUILDING W/ SWIMMING POOL
- F. EXISTING USE OF SITE: SWIMMING POOL & CLUBHOUSE
- G. FLOOR SPACE OF PROPOSED BUILDINGS PER USE:
 CLUBHOUSE: 6,089 S.F. (0.139 AC.)
 CABANA: 706 S.F. (0.017 AC.)
 POOL AREA: 3,202 S.F. (0.074 AC.)
- H. NUMBER OF PARKING SPACES REQUIRED ON SITE:
 POOL AREA (MAX. 5' DEPTH): 3,202 S.F.
 MAX. OCCUPANCY: 267 PERSONS
 REQUIRED PARKING: 1 SPACE/10 PERSONS=27 SPACES
- TOTAL REQUIRED: 27 SPACES
- I. PROP. NUMBER OF PARKING SPACES PROVIDED ON SITE:
 BUILDING: 27 SPACES (INCLUDING 2 HANDICAPPED)
- J. PROP. BUILDING COVERAGE OF PROPERTY AREA:
 0.156 AC./24.76 AC. (0.63% OF PROPERTY AREA)
 PROP. PARKING COVERAGE OF PROPERTY AREA:
 0.28 AC./24.76 AC. (1.13% OF PROPERTY AREA)
 PROP. POOL COVERAGE OF PROPERTY AREA:
 0.07 AC./24.76 AC. (0.30% OF PROPERTY AREA)
- K. APPLICABLE DPZ FILE REFERENCE:
 SDP-81-14, SDP-69-18, SDP-68-03,
 F-68-51, F-69-38

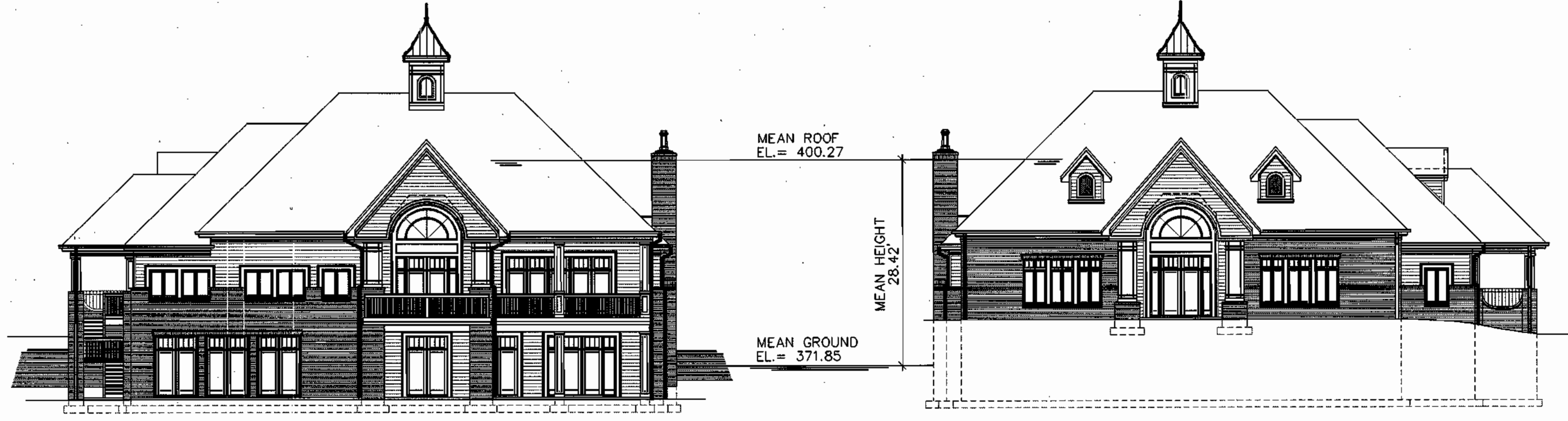
SITE DEVELOPMENT PLAN FOR NEW CLUBHOUSE AND POOL TOWN & COUNTRY WEST APARTMENTS 8730 TOWN & COUNTRY BLVD. HOWARD COUNTY, MARYLAND SDP-03-028



VICINITY MAP
SCALE: 1"=1000'

GENERAL NOTES:

1. THE TOPOGRAPHY SHOWN IS BASED UPON A FIELD RUN TOPOGRAPHIC SURVEY PERFORMED BY WHITNEY, BAILEY, COX & MAGNANI, LLC ON 8/17/02 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
2. COORDINATES AND COURSES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM, NAD 83 (1991), AS DETERMINED FROM THE FOLLOWING HOWARD COUNTY CONTROL SURVEY MONUMENTS AS PUBLISHED AS FOLLOWS:
 NGS HORIZONTAL CONTROL SURVEY MONUMENTS:
 DISK "18G1": N 589,984.951 E 1,367,750.255 CONC. MONUMENT
 DISK "24C2": N 588,648.312 E 1,366,038.195 CONC. MONUMENT
3. ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED FROM THE FOLLOWING HOWARD COUNTY SURVEY CONTROL MONUMENT, PUBLISHED AS FOLLOWS:
 BENCH MARK 171M2 (AKA 171B) NAVD88 ELEV.= 324.775(feet)
 DESCRIPTION: CHISELED BOX @ S/W WINGWALL OF BRIDGE ON ROGERS AVENUE
 100'± SOUTH OF TOWN & COUNTRY BLVD.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF THE EXISTING CONDITION INFORMATION. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF ANY WORK.
5. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COST OF REPAIR OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF ANY EXCAVATION WORK.
7. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY INVERTS AND CLEARANCES FROM NEW WORK PRIOR TO START OF ANY WORK.
8. ALL DISTURBED AREAS NOT STABILIZED WITH STRUCTURES, PAVING, AND PLANTINGS SHALL BE STABILIZED WITH FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER TO ESTABLISH AN ADEQUATE GROWTH OF VEGETATION.
9. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
10. THE TOPS OF ALL FRAMES, GRATES, AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONTRACT AND/OR DISTURBANCE SHALL BE ADJUSTED TO THE NEW GRADES.
11. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
12. NUMERICAL DIMENSIONS AND ELEVATIONS SHOWN SHALL SUPERSEDE ANY DISCREPANCY IN THE SCALING ON THE DRAWINGS.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND THE MD. STATE HWY. ADMINISTRATION.
14. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1890 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
15. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
16. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
17. ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL USE PROPERTIES AND PUBLIC ROADS. OUTDOOR LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
18. EXISTING WATER IS PUBLIC AND BASED ON CONTRACT NO. 280-W&S
19. EXISTING SEWER IS PUBLIC AND BASED ON CONTRACT NO. 150-W&S
20. THE PAVEMENT DETAILS SHOWN ON THESE PLANS REFLECT THE HOWARD COUNTY MINIMUM STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITE TESTING OF THE FINISHED SUBGRADE. THE TESTING AND GEOTECHNICAL ENGINEER SHALL BE FURNISHED BY THE OWNER. APPROVAL FROM THE COUNTY SHALL BE OBTAINED IF THE ON-SITE TESTING REQUIRES PAVEMENT DESIGN TO BE CHANGED.
21. STORM WATER MANAGEMENT IS A PRIVATE BIORETENTION WATER QUALITY FACILITY. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
22. THERE IS A FLOODPLAIN ON THIS SUBJECT PROPERTY AS SHOWN ON RECORDED PLATS F-68-51 AND F-69-38.
23. THERE ARE NO WETLANDS ON THIS SITE.
24. NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
25. FOREST CONSERVATION FOR THIS PROJECT IS EXEMPT UNDER SECTION 16.1203.b.1(iii) OF THE HOWARD COUNTY SUBDIVISION REGULATIONS. SITE GRADED PRIOR TO 12/31/92 IN ACCORDANCE WITH THE APPROVED FINAL ROAD PLAN AND SDP-68-03.
26. TRASH REMOVAL IS PROVIDED BY PRIVATE CONTRACTOR AT THE EXISTING DUMPSTERS LOCATED ON THE SITE IN THE PARKING LOT NEAR ROGERS AVENUE. SEE SITE PLAN ON THIS SHEET FOR LOCATION.



REAR ELEVATION

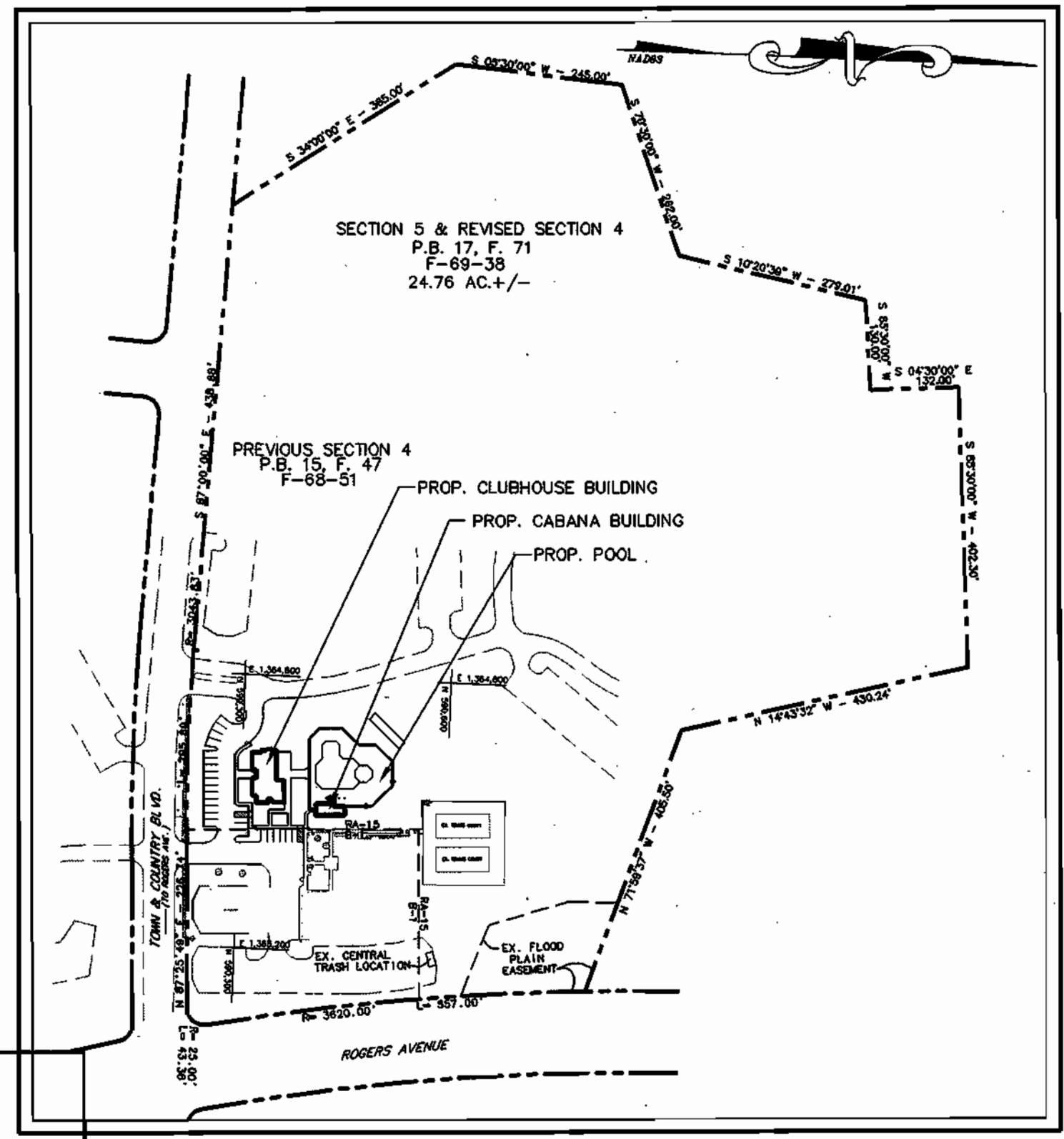
FRONT ELEVATION

PROPOSED CLUBHOUSE BUILDING
N.T.S.

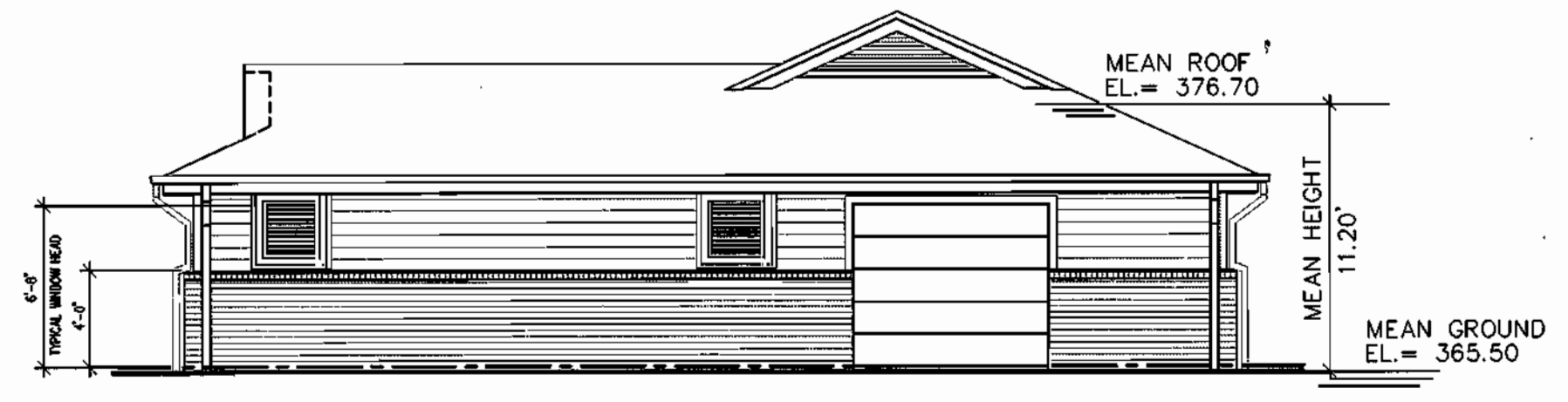
SHEET INDEX		
SHEET NO.	SET NO.	TITLE
1 OF 17	T-1	TITLE SHEET
2 OF 17	C-1	EXISTING CONDITIONS PLAN
3 OF 17	C-2	DEMOLITION PLAN
4 OF 17	C-3.1	LAYOUT PLAN
5 OF 17	C-3.2	SITE DETAILS
6 OF 17	C-4	GEOMETRY PLAN
7 OF 17	C-5.1	GRADING AND UTILITY PLAN
8 OF 17	C-5.2	STORM DRAIN PROFILES
9 OF 17	C-5.3	WATER & SEWER PROFILES
10 OF 17	C-5.4	STORM DRAIN DRAINAGE AREA MAP
11 OF 17	C-6.1	LANDSCAPE PLAN
12 OF 17	C-6.2	LANDSCAPE DETAILS
13 OF 17	C-7.1	SEDIMENT & EROSION CONTROL PLAN
14 OF 17	C-7.2	SEDIMENT & EROSION CONTROL DETAILS
15 OF 17	C-7.3	SEDIMENT & EROSION CONTROL NOTES
16 OF 17	C-8.1	STORM WATER MANAGEMENT PLAN
17 OF 17	C-8.2	STORM WATER MANAGEMENT DETAILS & NOTES

LEGEND

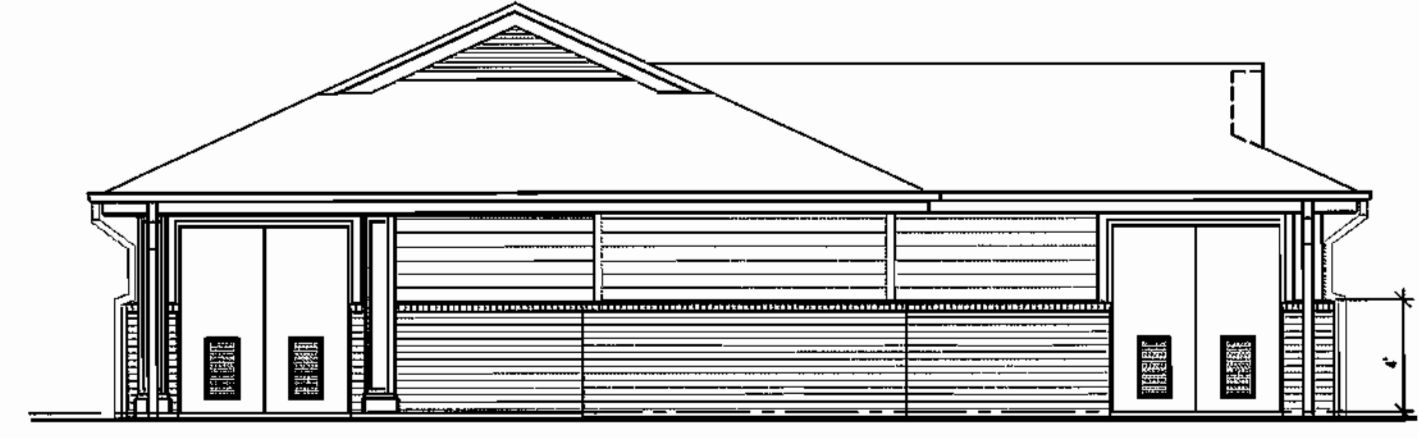
EXISTING	PROPOSED
BUILDING	EX. BLDG.
BITUMINOUS PAVING	BT. PAVING
CONCRETE SIDEWALK	CONC. SIDEWALK
CURB	CURB
STORM DRAIN	D
SANITARY	SS
WATER	W
GAS	G
STEAM	ST
ELECTRIC	E
TELEPHONE	T
ELEC./TELE DUCT	ET
VALVE	V
HYDRANT	H
MANHOLE	M
INLET	I
CONTOUR	150
FENCE	F
TREE	T
PROPERTY LINE	PL
LIMIT OF DISTURBANCE	LD
OUTDOOR LIGHT	L
SOIL BOUNDARY	SB
ZONING BOUNDARY	ZB
EASEMENT	E



SITE PLAN
SCALE 1" = 200'



REAR ELEVATION



FRONT POOLSIDE ELEVATION

PROPOSED CABANA BUILDING
N.T.S.

OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

TITLE SHEET

PROJECT TITLE: **TOWN & COUNTRY WEST
SECTION 5 & REVISED SECTION 4
IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: **Consulting Engineers**
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	T-1
GRID NO.: 24	
PARCEL NO.: T51355	

ADDRESS CHART

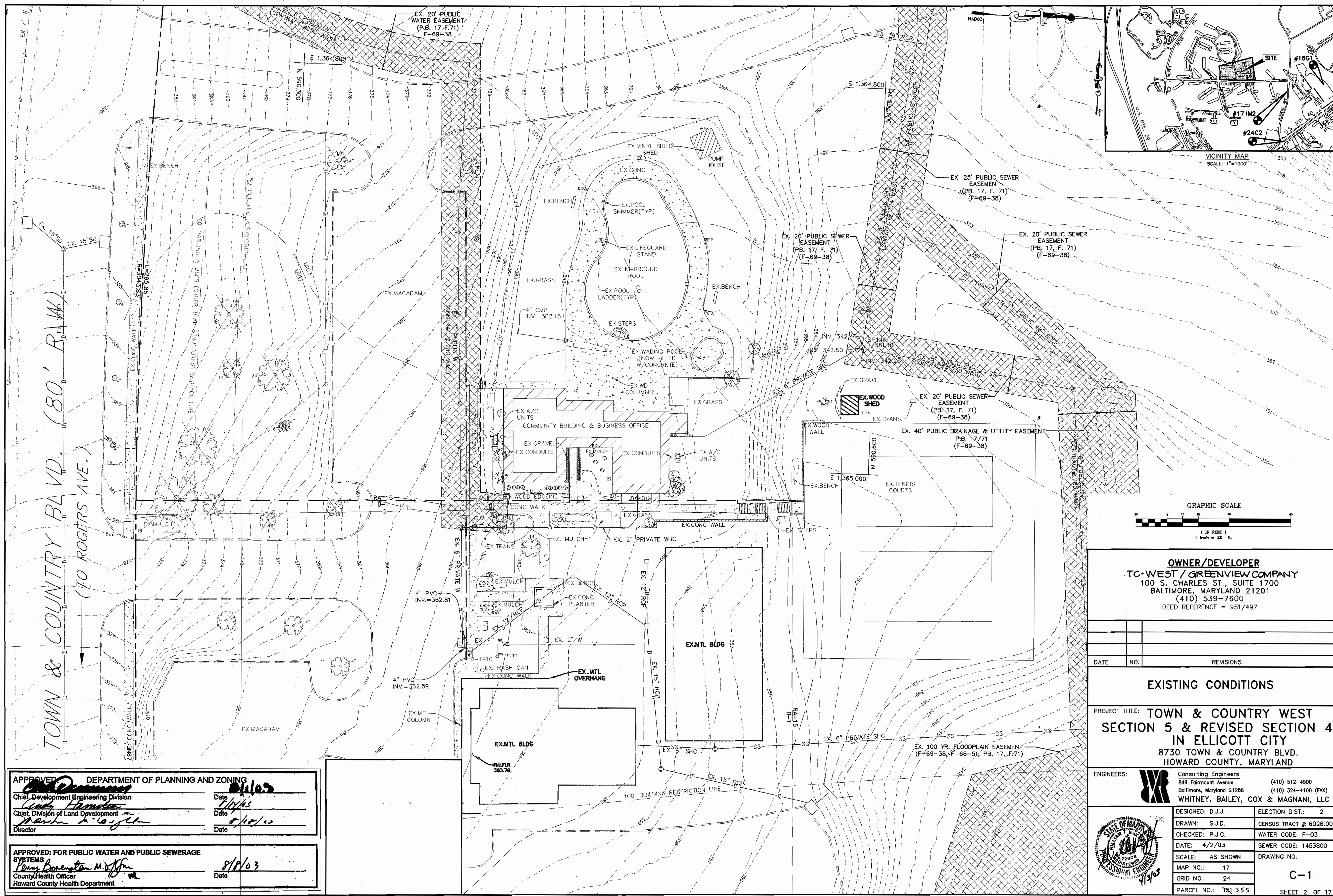
LOT/PARCEL NO.	STREET ADDRESS
POOL/CABANA	8730 TOWN & COUNTRY BLVD.
CLUBHOUSE	8732 " " " "

PERMIT INFORMATION CHART

SUBDIVISION NAME TOWN & COUNTRY WEST		SECTION/AREA SECTION 5 & REVISED SECTION 4		PARCEL/LOT NO. PARCEL 355	
PLAT NO. OR I/F PBK17, F.71	BLOCK NO. 24	ZONING RA-15	TAX MAP 17	ELECT. DIST. 2	CENSUS TRACT NO. 6026.00
WATER CODE F03			SEWER CODE 1453800		

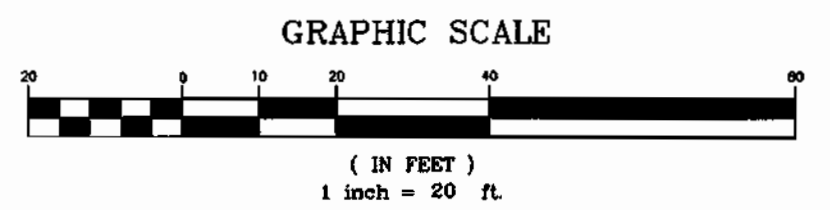
APPROVED: **DEPARTMENT OF PLANNING AND ZONING**
 Chief, Development Engineering Division Date: 8/14/03
 Chief, Division of Land Development Date: 8/14/03
 Director Date: 8/14/03

APPROVED: **FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS**
 County Health Officer Date: 8/8/03
 Howard County Health Department



TOWN & COUNTRY BLVD. (80' R.O.W.)
 (TO ROGERS AVE.)

VICINITY MAP
 SCALE: 1"=1000'




OWNER/DEVELOPER
 TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

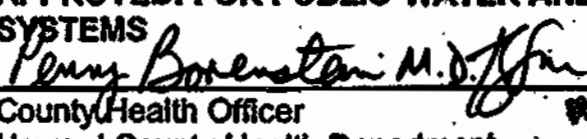
DATE	NO.	REVISIONS

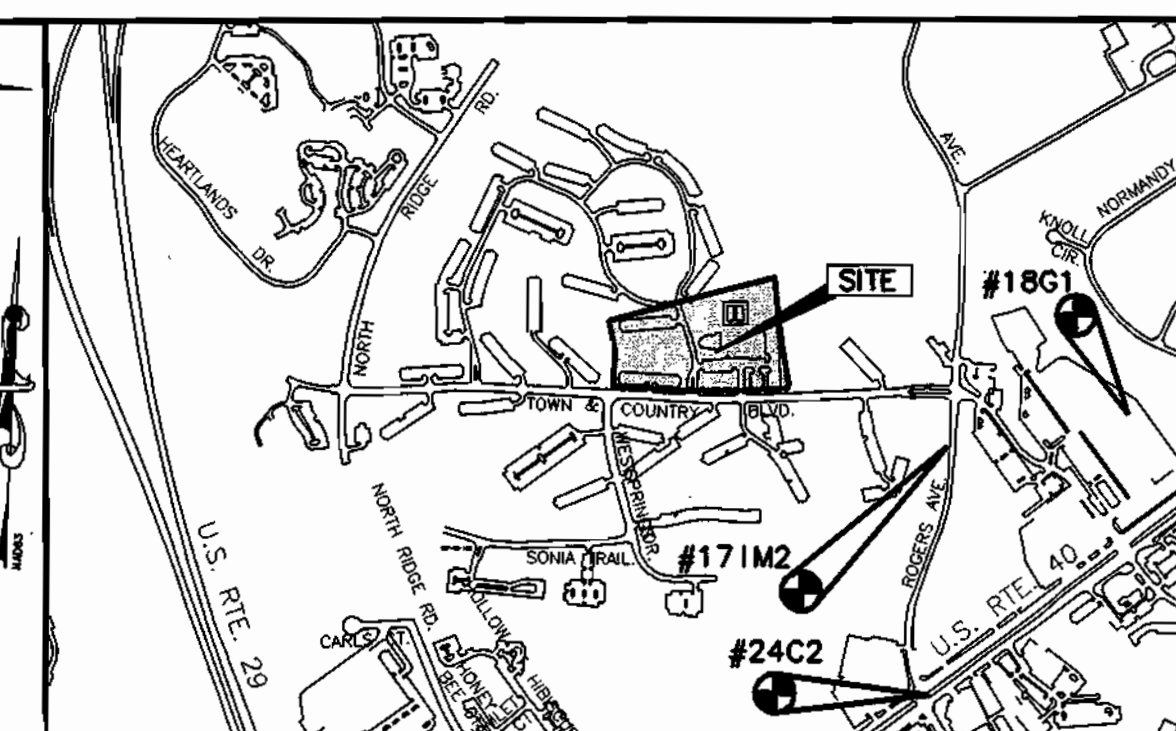
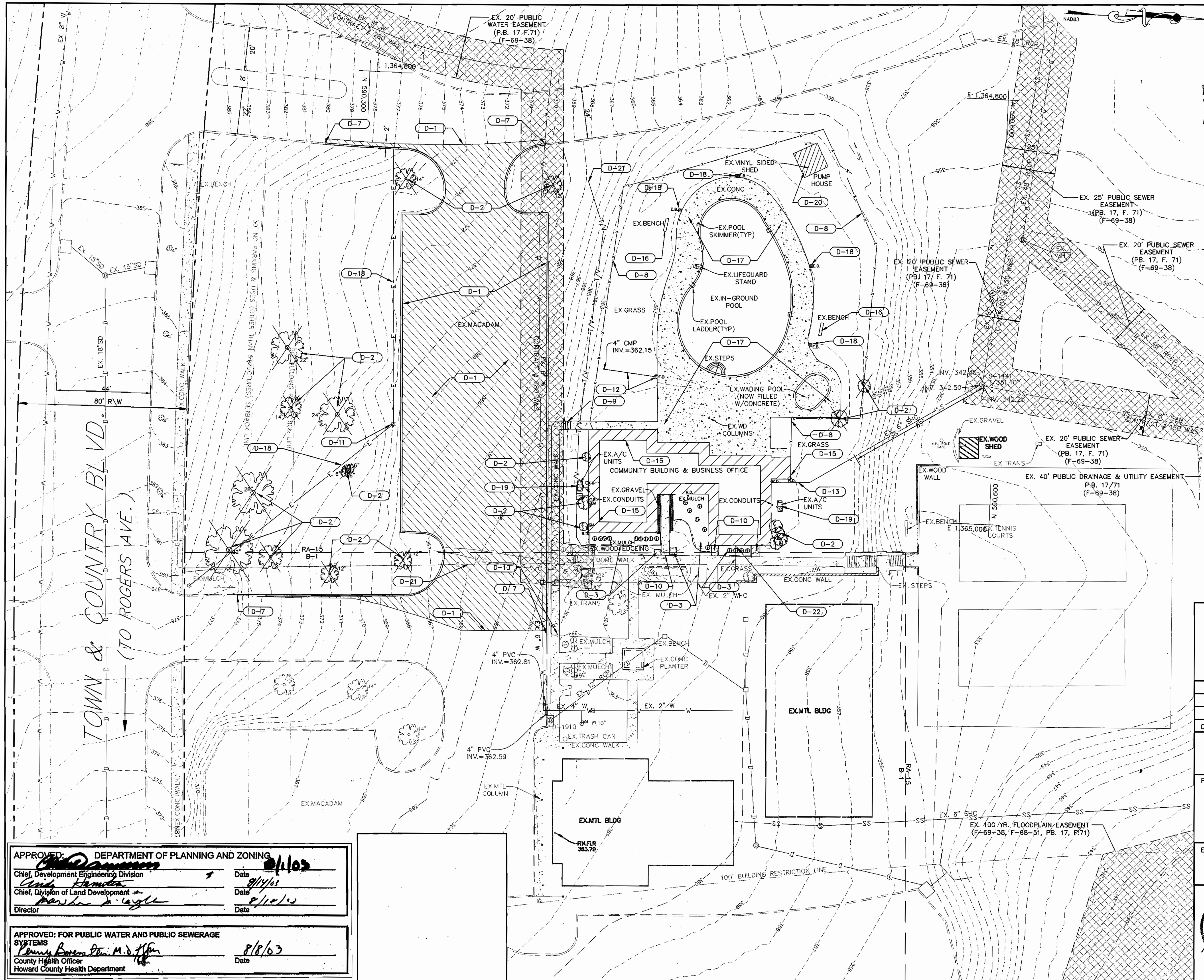
EXISTING CONDITIONS
 PROJECT TITLE: TOWN & COUNTRY WEST
 SECTION 5 & REVISED SECTION 4
 IN ELLICOTT CITY
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS:  Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

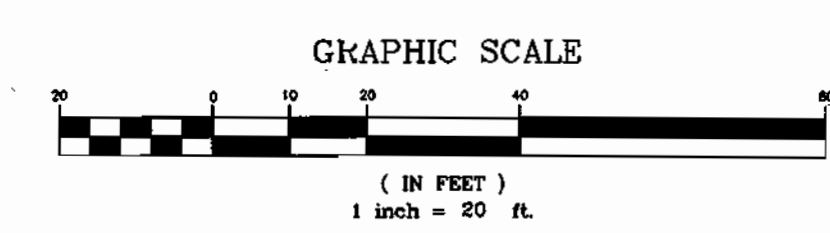
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-1
GRID NO.: 24	
PARCEL NO.: 1S1 355	SHEET 2 OF 17

APPROVED:  DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 8/1/03
 Chief, Division of Land Development Date: 8/1/03
 Director Date: 8/1/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 8/1/03
 Howard County Health Department



- DEMOLITION NOTES:**
- D-1 SAWCUT AND REMOVE EXISTING PAVING.
 - D-2 REMOVE EXISTING TREE/SHRUB.
 - D-3 REMOVE EXISTING LANDSCAPING
 - D-4 REMOVE AND SALVAGE EXISTING LIGHT POLE.
 - D-5 EXISTING POWER POLE AND WIRE TO BE RELOCATED BY POWER COMPANY.
 - D-6 REMOVE EXISTING SIGN.
 - D-7 REMOVE EXISTING CURB & GUTTER @ NEAREST JOINT
 - D-8 REMOVE EXISTING FENCE.
 - D-9 REMOVE EXISTING STEPS.
 - D-10 SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK.
 - D-11 REMOVE EXISTING LIGHT POLE AND BASE.
 - D-12 REMOVE EXISTING STORM DRAIN.
 - D-13 REMOVE EXISTING SANITARY
 - D-14 REMOVE EXISTING WATER
 - D-15 REMOVE EXISTING BUILDING AND ALL APPURTENANCES.
 - D-16 REMOVE EXISTING BENCH
 - D-17 REMOVE EXISTING POOL AND ALL APPURTENANCES
 - D-18 REMOVE EXISTING ELECTRIC (COORDINATE W/ PROP. ELEC. PLAN)
 - D-19 REMOVE EXISTING AIR CONDITIONING UNITS
 - D-20 REMOVE EXISTING PUMP HOUSE AND ALL APPURTENANCES
 - D-21 REMOVE EXISTING UNDERGROUND CABLES. COORDINATE WITH APPROPRIATE SERVICE PROVIDER PRIOR TO REMOVAL.
 - D-22 CAP EX. 2" W.H.C. 5' FROM PROP. BLDG. FACE



OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

DEMOLITION PLAN

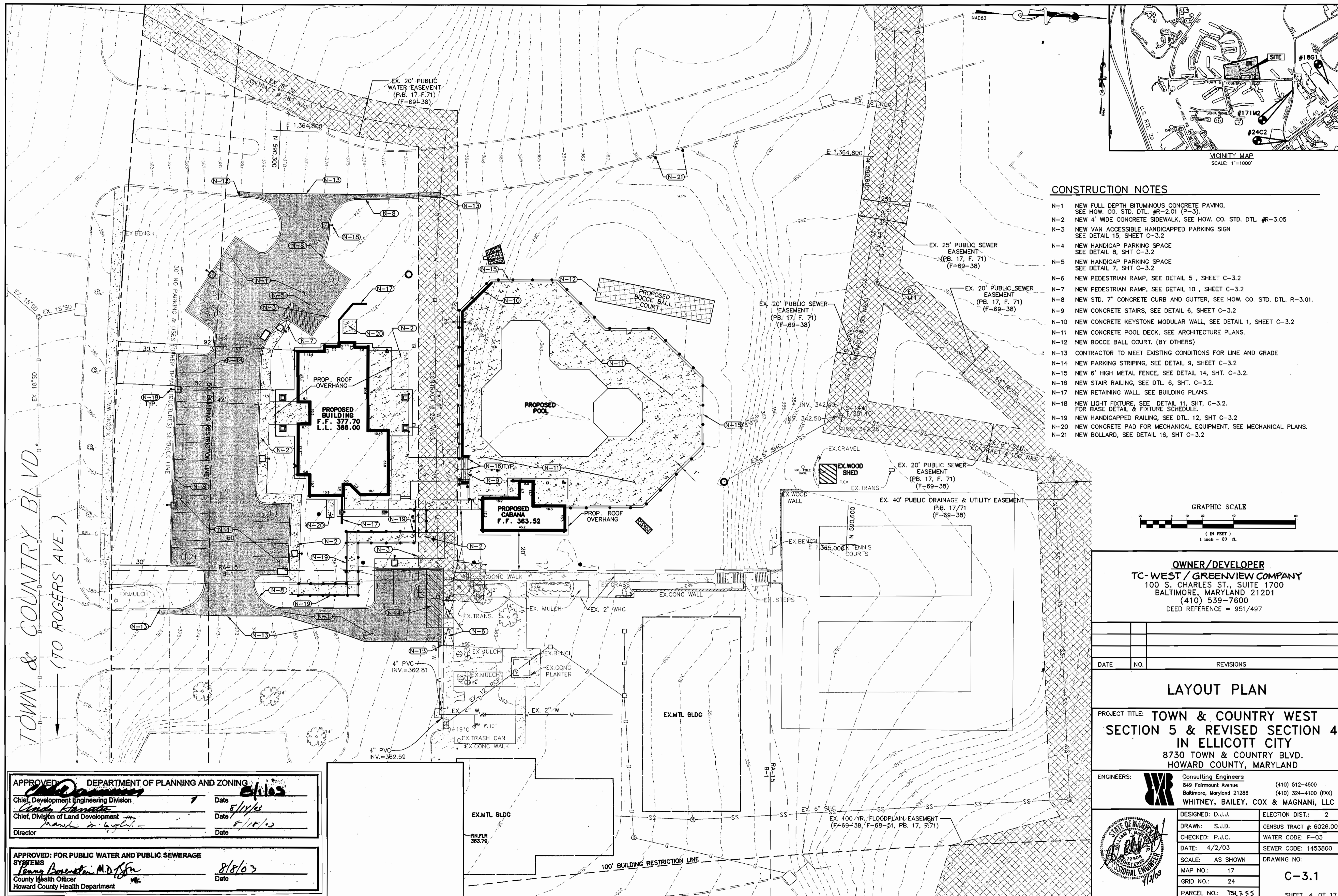
PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: **WB Consulting Engineers**
 849 Fairmount Avenue
 Baltimore, Maryland 21286
 (410) 512-4500
 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 1/16/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-2
GRID NO.: 24	
PARCEL NO.: TSI 355	SHEET 3 OF 17

APPROVED: **DEPARTMENT OF PLANNING AND ZONING**
 Chief, Development Engineering Division *[Signature]* Date **8/11/03**
 Chief, Division of Land Development *[Signature]* Date **8/14/03**
 Director *[Signature]* Date **8/12/03**

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature] Date **8/8/03**
 County Health Officer
 Howard County Health Department



CONSTRUCTION NOTES

- N-1 NEW FULL DEPTH BITUMINOUS CONCRETE PAVING, SEE HOW. CO. STD. DTL. #R-2.01 (P-3).
- N-2 NEW 4' WIDE CONCRETE SIDEWALK, SEE HOW. CO. STD. DTL. #R-3.05
- N-3 NEW VAN ACCESSIBLE HANDICAPPED PARKING SIGN SEE DETAIL 15, SHEET C-3.2
- N-4 NEW HANDICAP PARKING SPACE SEE DETAIL 8, SHT C-3.2
- N-5 NEW HANDICAP PARKING SPACE SEE DETAIL 7, SHT C-3.2
- N-6 NEW PEDESTRIAN RAMP, SEE DETAIL 5, SHEET C-3.2
- N-7 NEW PEDESTRIAN RAMP, SEE DETAIL 10, SHEET C-3.2
- N-8 NEW STD. 7" CONCRETE CURB AND GUTTER, SEE HOW. CO. STD. DTL. R-3.01.
- N-9 NEW CONCRETE STAIRS, SEE DETAIL 6, SHEET C-3.2
- N-10 NEW CONCRETE KEYSTONE MODULAR WALL, SEE DETAIL 1, SHEET C-3.2
- N-11 NEW CONCRETE POOL DECK, SEE ARCHITECTURE PLANS.
- N-12 NEW BOCCIE BALL COURT. (BY OTHERS)
- N-13 CONTRACTOR TO MEET EXISTING CONDITIONS FOR LINE AND GRADE
- N-14 NEW PARKING STRIPING, SEE DETAIL 9, SHEET C-3.2
- N-15 NEW 6' HIGH METAL FENCE, SEE DETAIL 14, SHT. C-3.2.
- N-16 NEW STAIR RAILING, SEE DTL. 6, SHT. C-3.2.
- N-17 NEW RETAINING WALL. SEE BUILDING PLANS.
- N-18 NEW LIGHT FIXTURE, SEE DETAIL 11, SHT. C-3.2. FOR BASE DETAIL & FIXTURE SCHEDULE.
- N-19 NEW HANDICAPPED RAILING, SEE DTL. 12, SHT C-3.2
- N-20 NEW CONCRETE PAD FOR MECHANICAL EQUIPMENT, SEE MECHANICAL PLANS.
- N-21 NEW BOLLARD, SEE DETAIL 16, SHT C-3.2

OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

LAYOUT PLAN
 PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

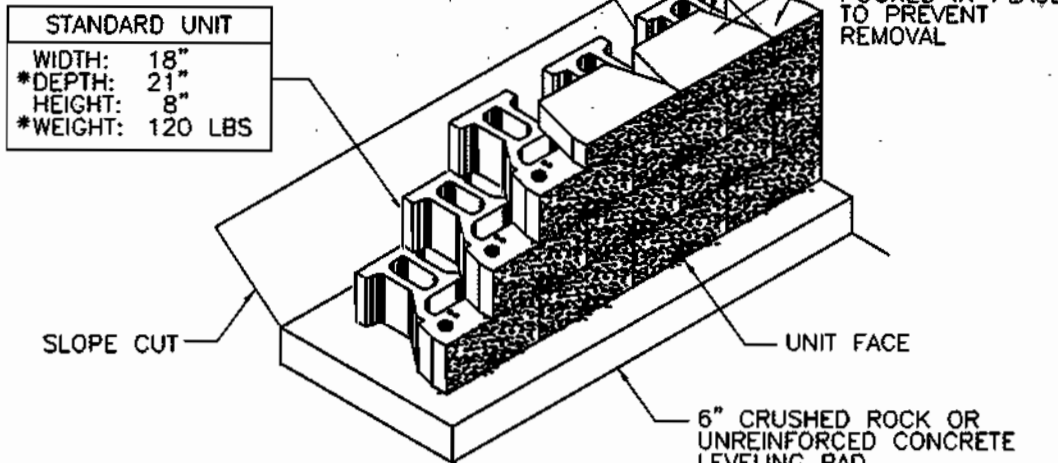
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-3.1
GRID NO.: 24	
PARCEL NO.: TSL 3 5 5	SHEET 4 OF 17

APPROVED: **DEPARTMENT OF PLANNING AND ZONING**
 Chief, Development Engineering Division Date: 8/10/03
 Chief, Division of Land Development Date: 8/10/03
 Director Date: 8/10/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer
 Howard County Health Department Date: 8/8/03

BASE LEVELING PAD NOTES:

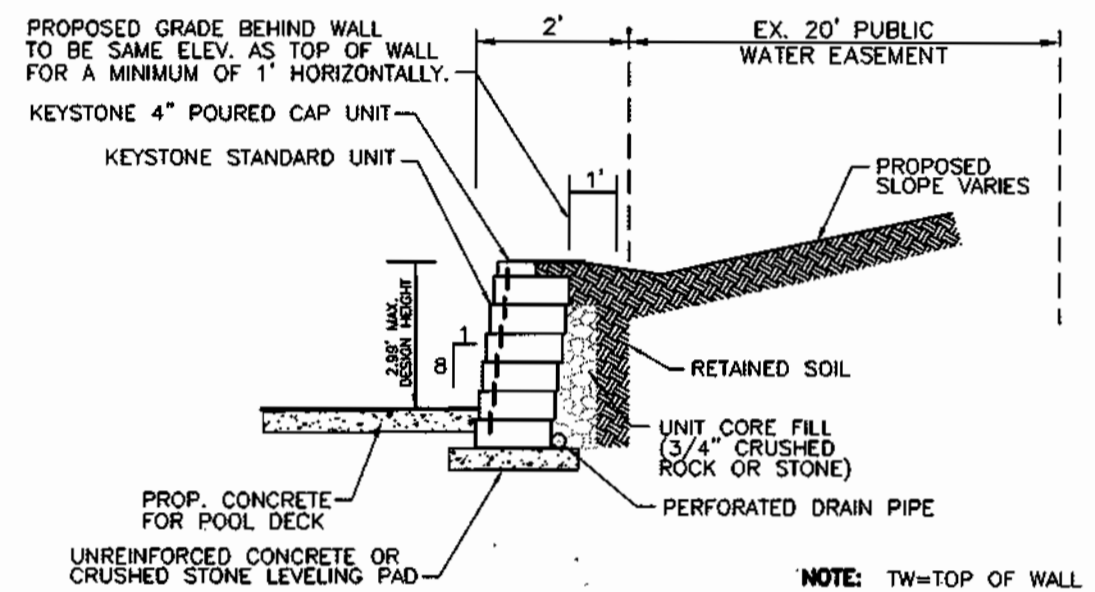
1. THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2,000 PSI UNREINFORCED CONCRETE.
2. THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.



STANDARD UNIT/BASE PAD ISOMETRIC VIEW

SCALE: NTS

NOTE: ALL CONSTRUCTION SHALL BE MINIMUM 1.0' FROM EX. EASEMENT

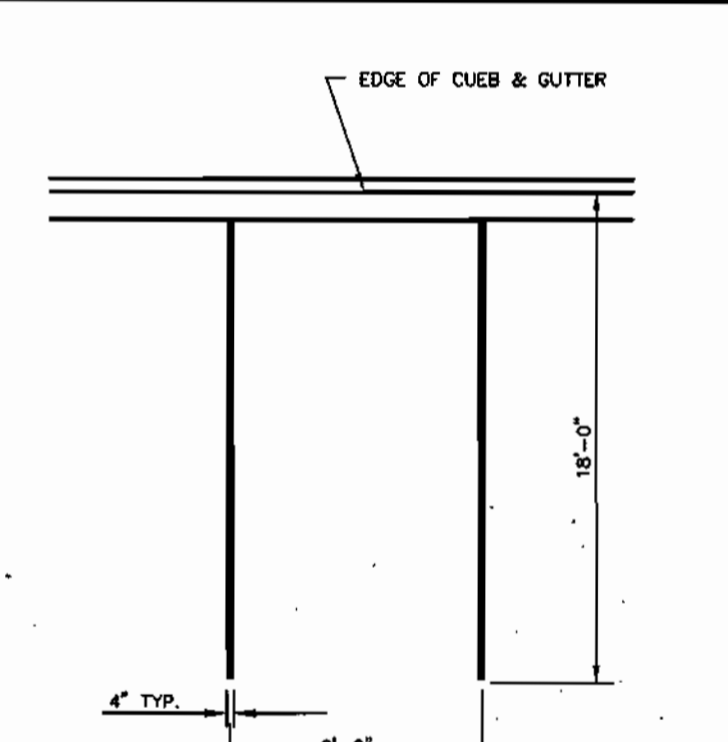


TYPICAL GRAVITY WALL SECTION

STANDARD UNIT - 1" MINIMUM SETBACK

NOT TO SCALE

1 CONCRETE KEYSTONE MODULAR WALL (OR APPROVED EQUAL)



NOTE: PAINT TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. TWO (2) COATS REQUIRED.

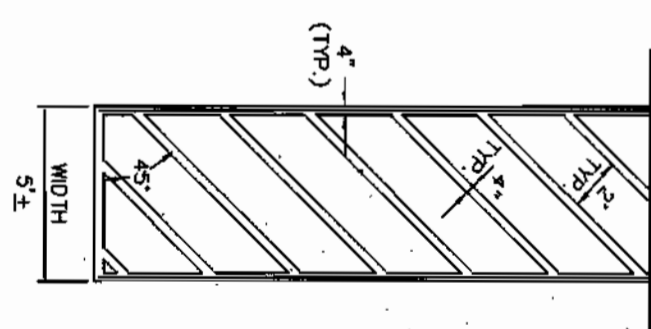
**PRIVATE

9 PARKING STRIPING PLAN

NTS

10 PEDESTRIAN RAMP

NTS



NOTE: PAINT IS TO BE WHITE TRAFFIC PAINT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. TWO (2) COATS REQUIRED.

**PRIVATE

13 CROSSWALK STRIPING PLAN

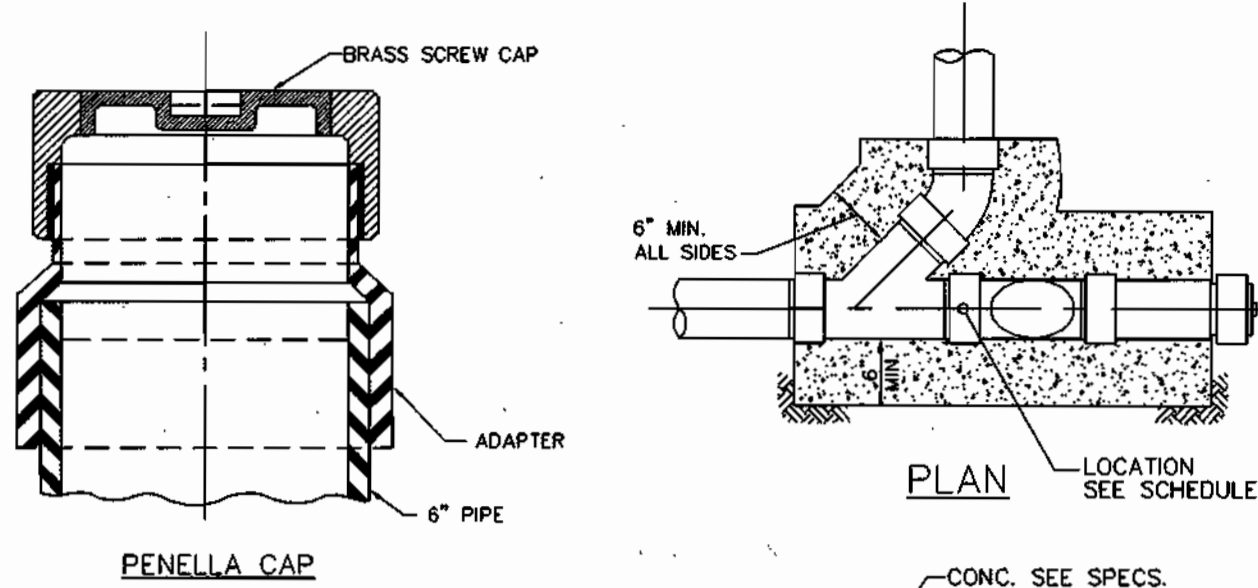
NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

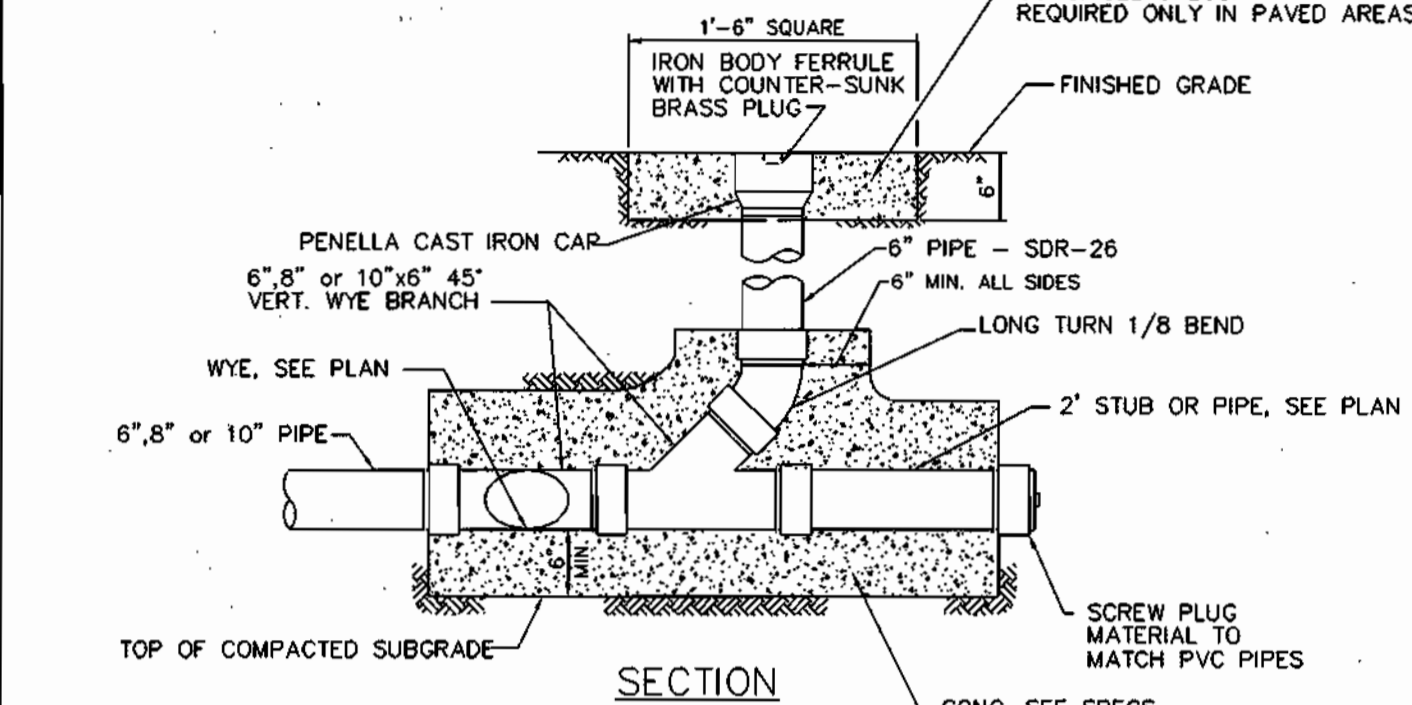
Chief, Development Engineering Division Date 8/1/03
 Chief, Division of Land Development Date 8/1/03
 Director Date 8/1/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer Date 8/8/03
 Howard County Health Department



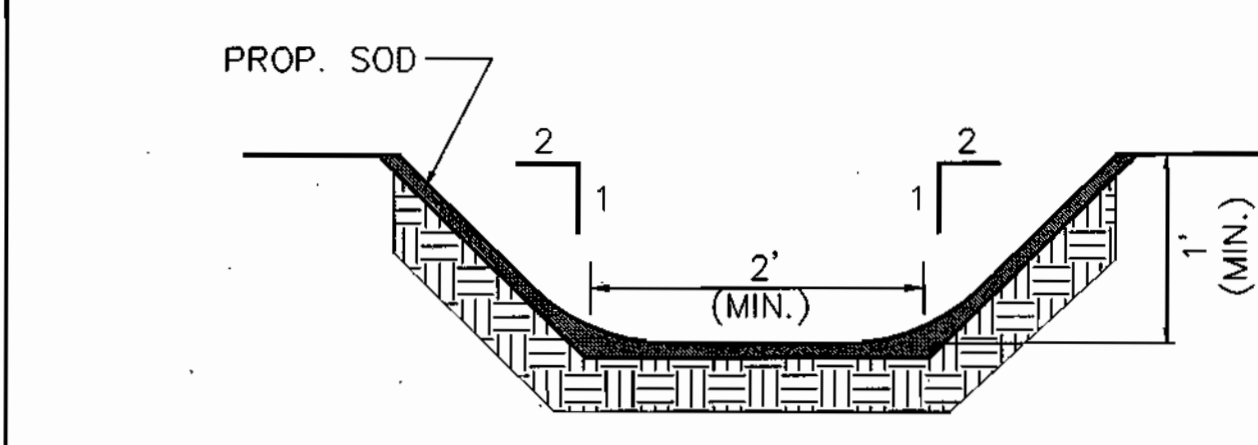
PENELLA CAP



2 STANDARD ROOF DRAIN CLEANOUT DETAIL

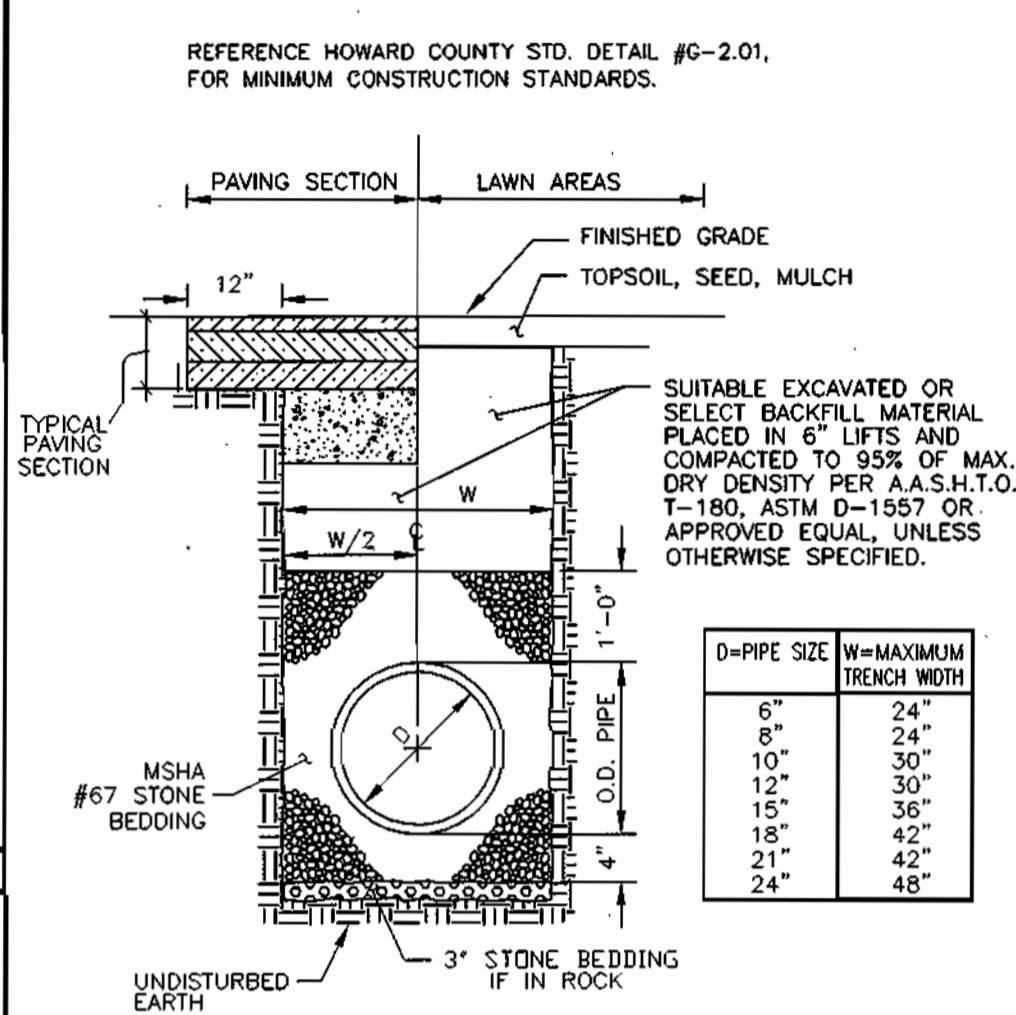
NOT TO SCALE

**PRIVATE



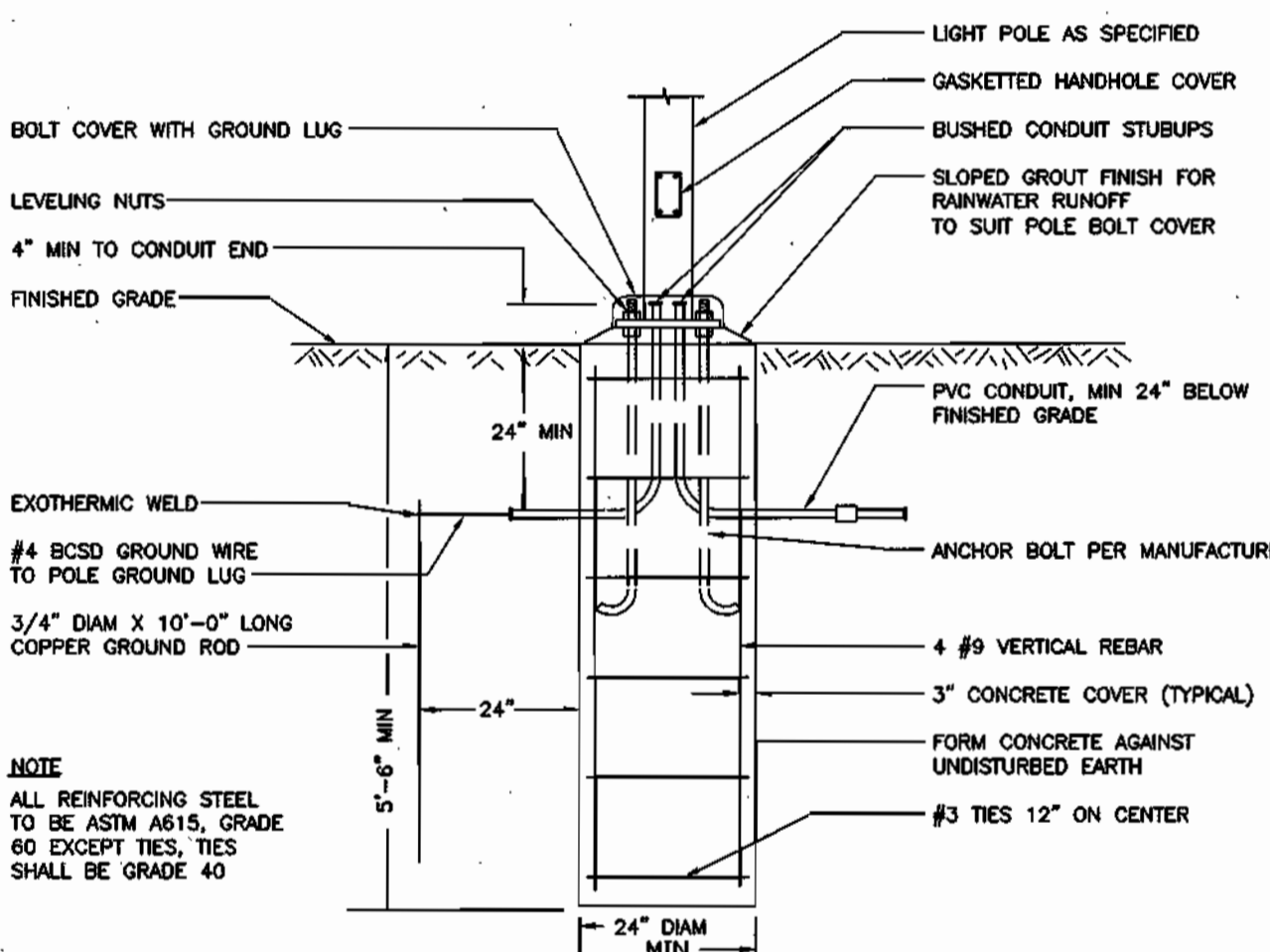
3 SODDED SWALE

NOT TO SCALE



4 HDPE BEDDING DETAIL

NOT TO SCALE



LIGHTING FIXTURE SCHEDULE						
SYMBOL	DESCRIPTION	VOLTS	LAMPS	LAMP CODE	MANUFACTURER AND CATALOG NO.	REMARKS
□	CUT-OFF DISTRIBUTION TYPE LUMINAIRE WITH RECTANGULAR SHAPED ALUMINUM HOUSING, BRONZE FINISH, FRAMED TEMPERED GLASS LENS, ALUMINUM REFLECTOR (TYPE 111 DIST.), HPI BALLAST AND MOUNTING ARM. POLE: SQUARE, ALUMINUM WITH BRONZE FINISH.	208 V.	(1) 250WATT (10 F.C.)	METAL HALIDE	GENERAL ELECTRIC DEQASHIELD #GSMT-25-MH-208-44-1-0-MC3-DB	20' HIGH

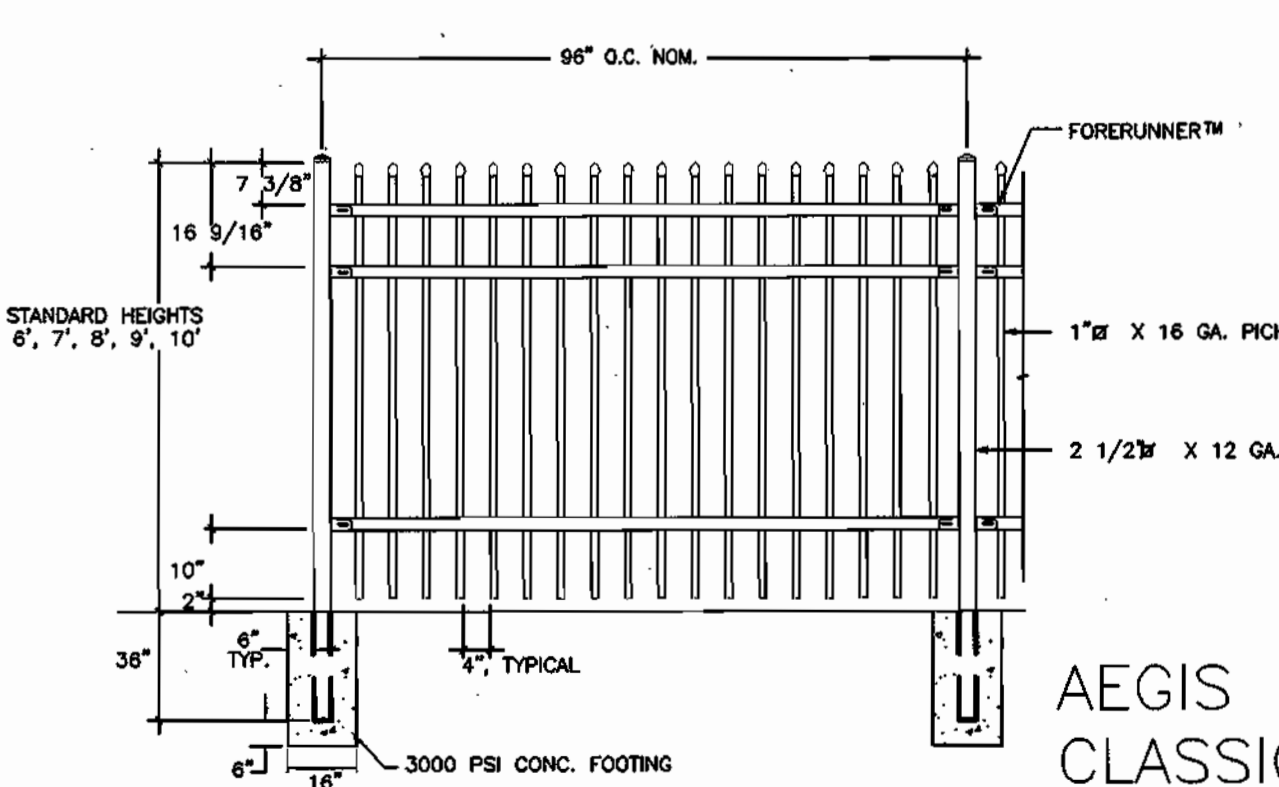
ACCEPTABLE MANUFACTURERS: GENERAL ELECTRIC, MOLDCAST, KIM, LITHONIA, GARCO

11 LIGHT POLE BASE, FOUNDATION & FIXTURE SCHEDULE

NOT TO SCALE

16 BOLLARD

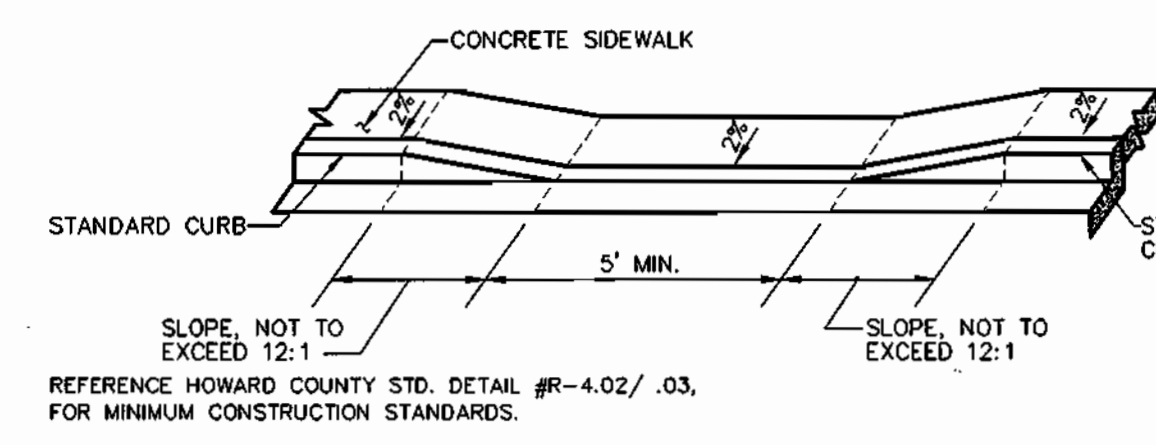
NTS



14 FENCE DETAIL

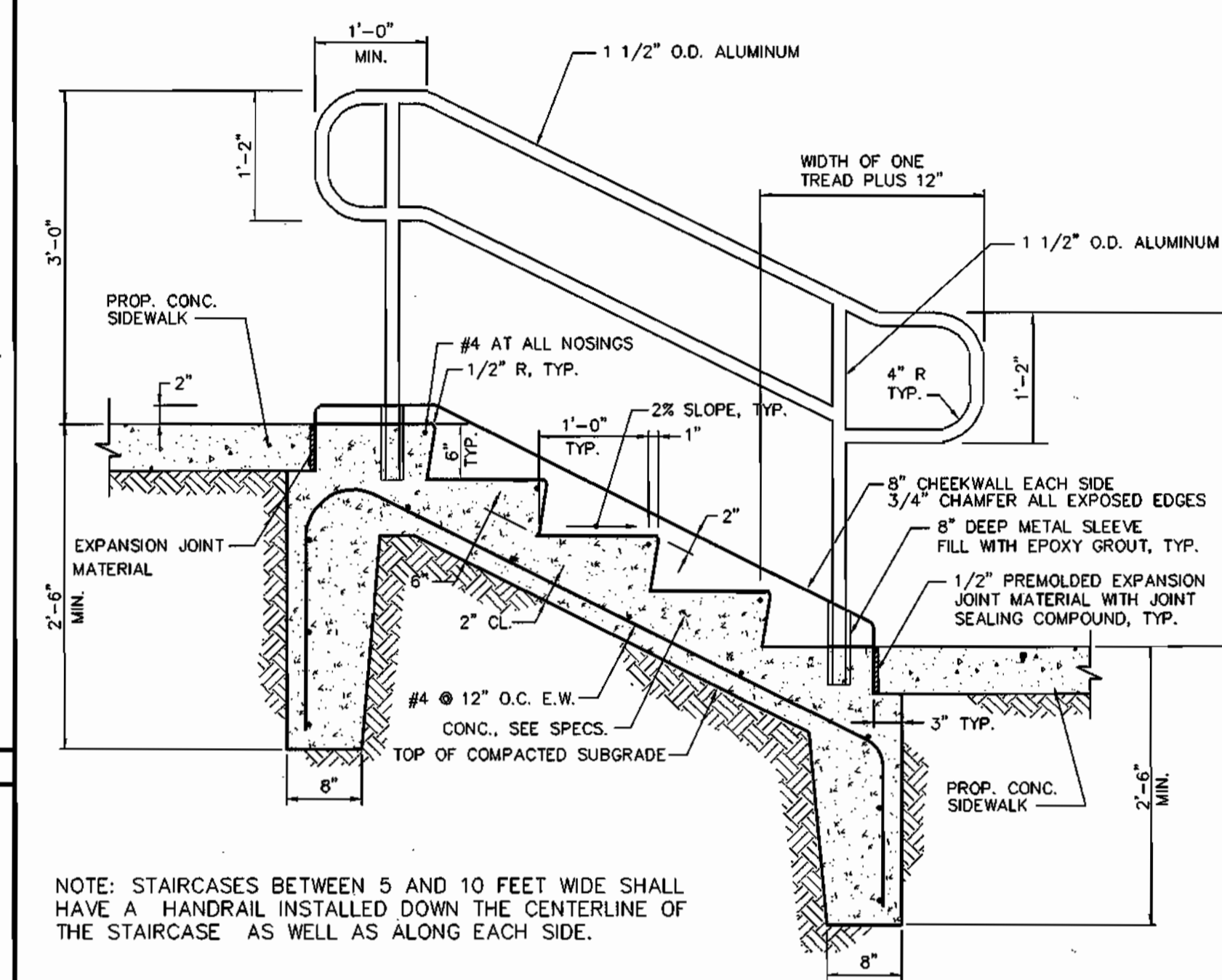
NOT TO SCALE

AEGIS II CLASSIC



5 PEDESTRIAN RAMP DETAIL

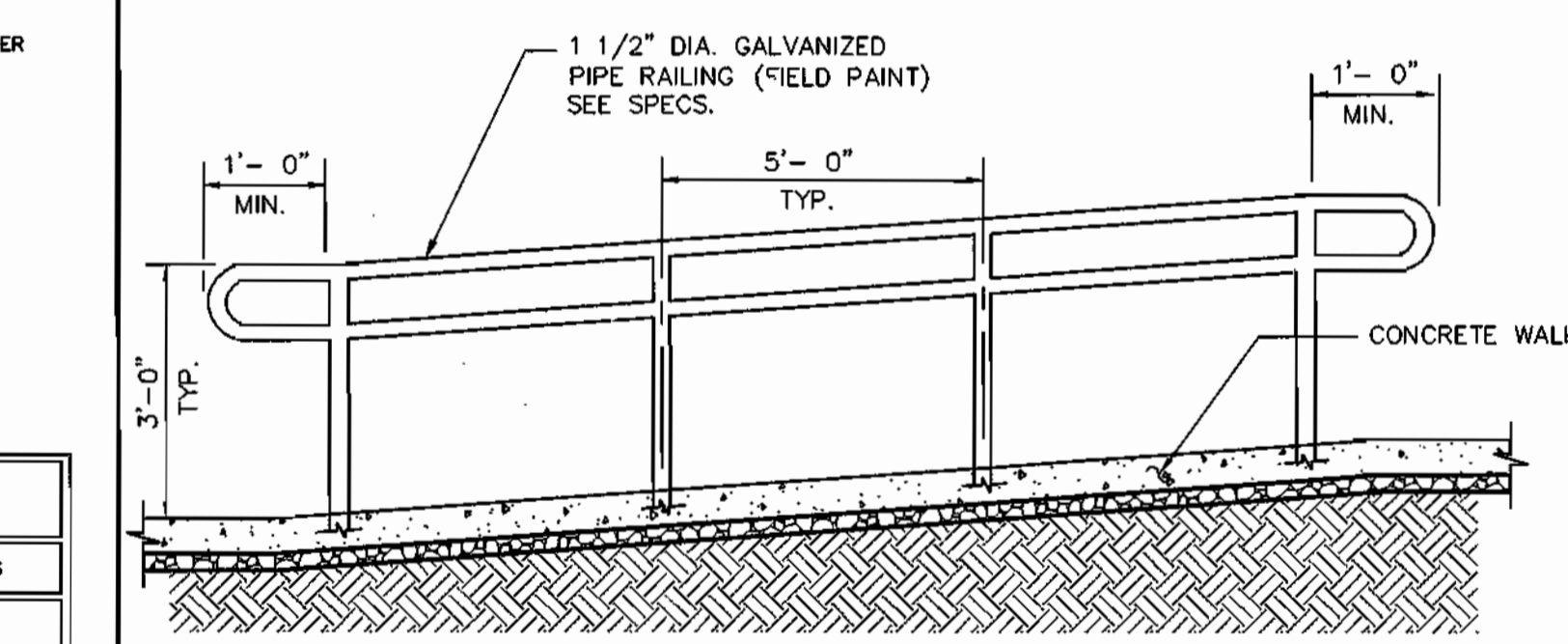
NOT TO SCALE



6 CONCRETE STEPS DETAILS

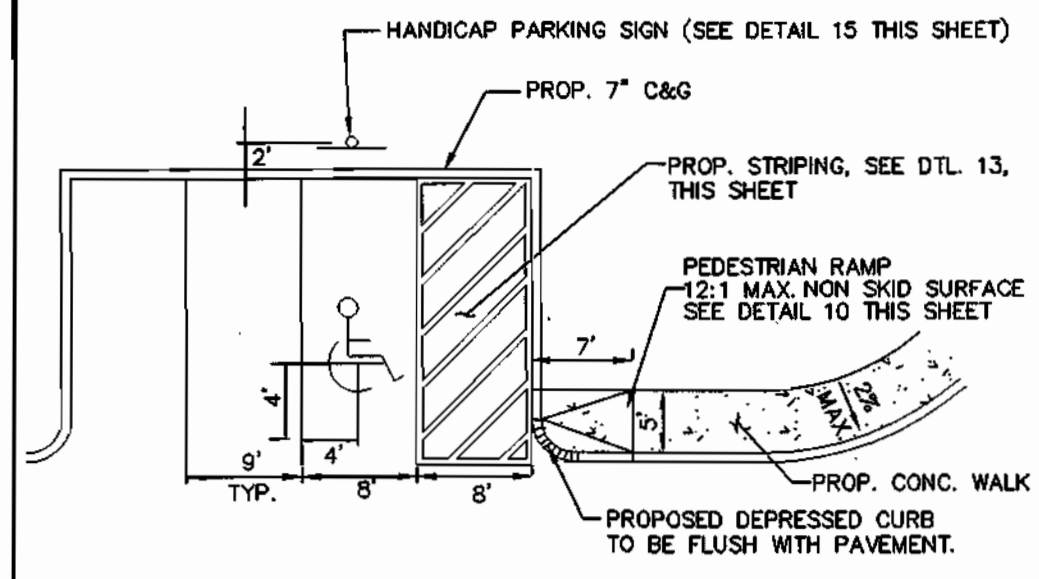
NOT TO SCALE

NOTE: STAIRCASES BETWEEN 5 AND 10 FEET WIDE SHALL HAVE A HANDRAIL INSTALLED DOWN THE CENTERLINE OF THE STAIRCASE AS WELL AS ALONG EACH SIDE.



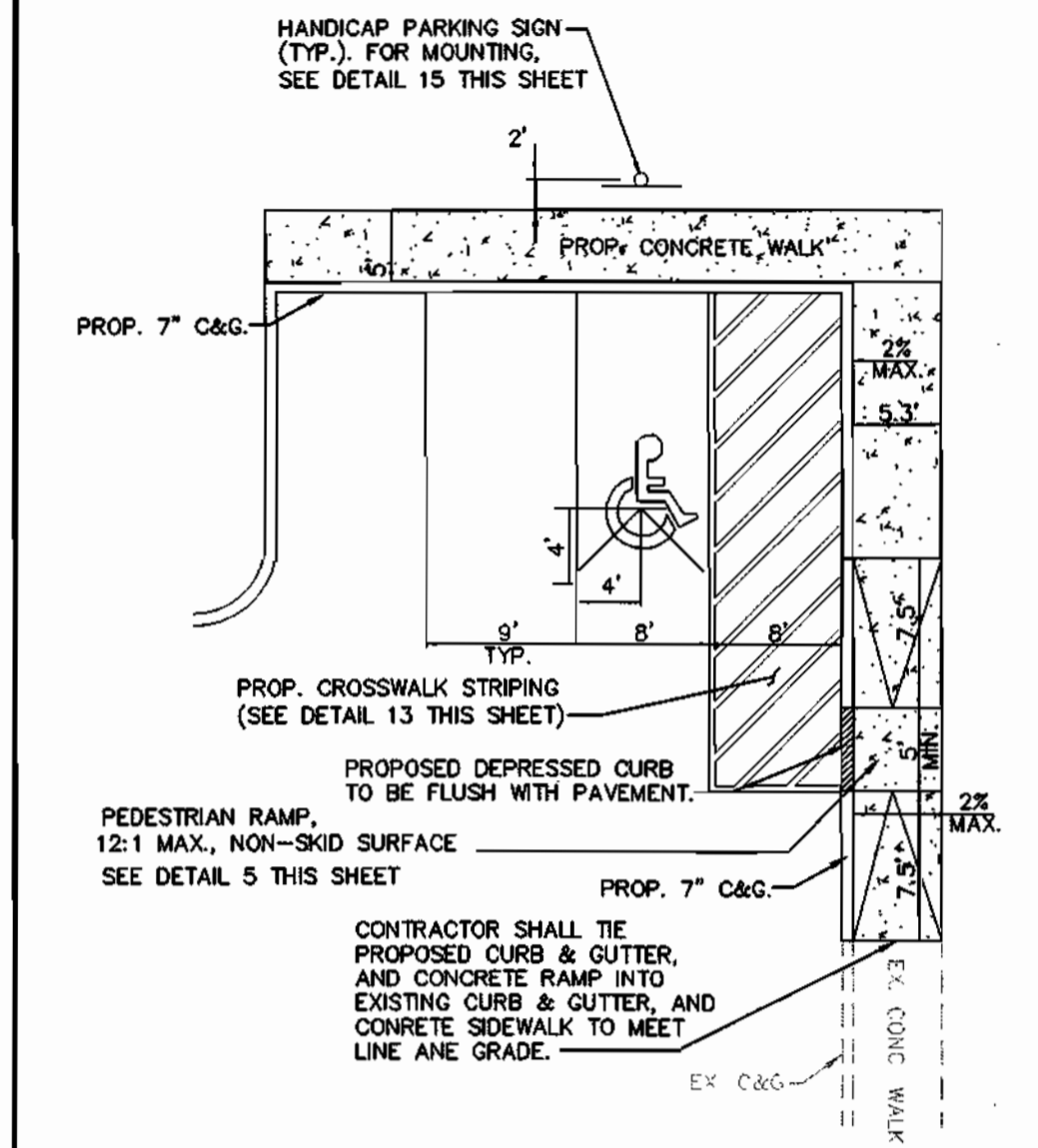
12 HANDICAP RAILING DETAIL

NOT TO SCALE



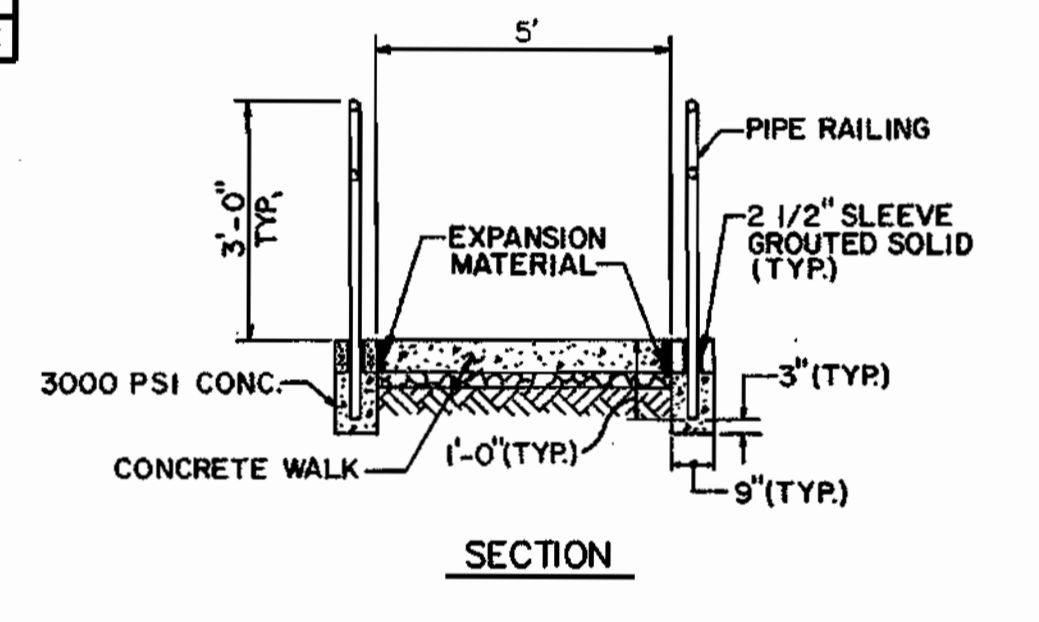
7 HANDICAP PARKING

NOT TO SCALE



8 HANDICAP PARKING

NOT TO SCALE



OWNER/DEVELOPER
 TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

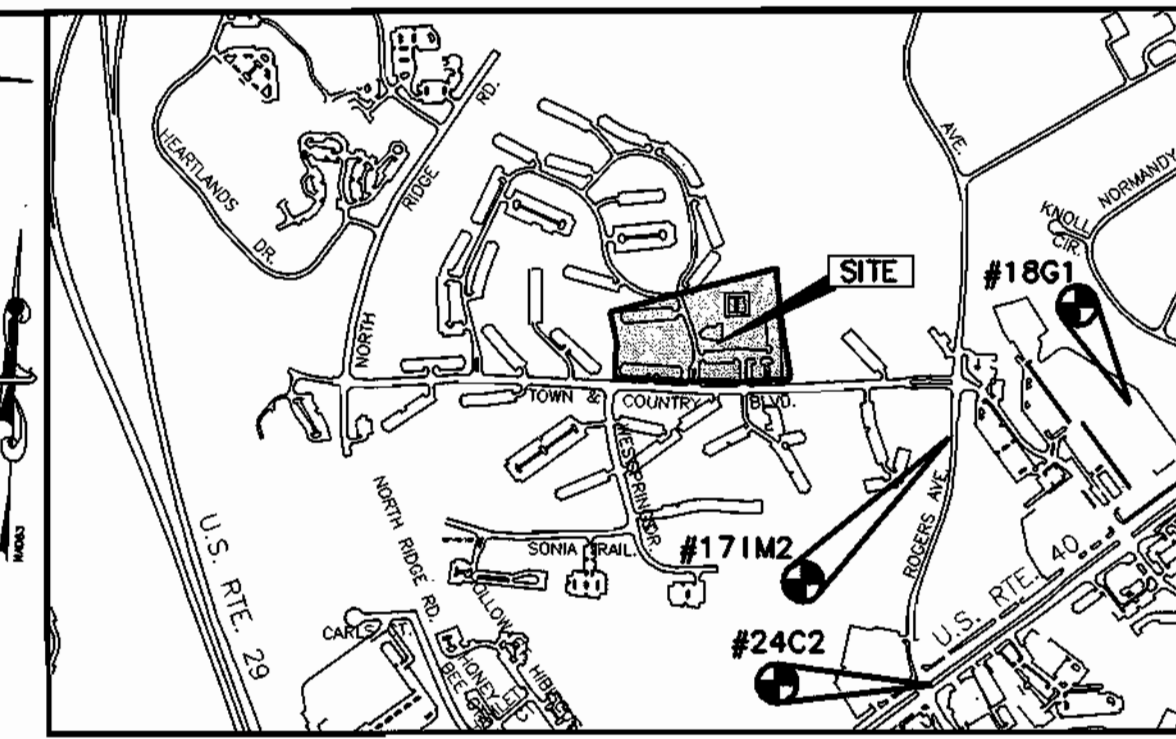
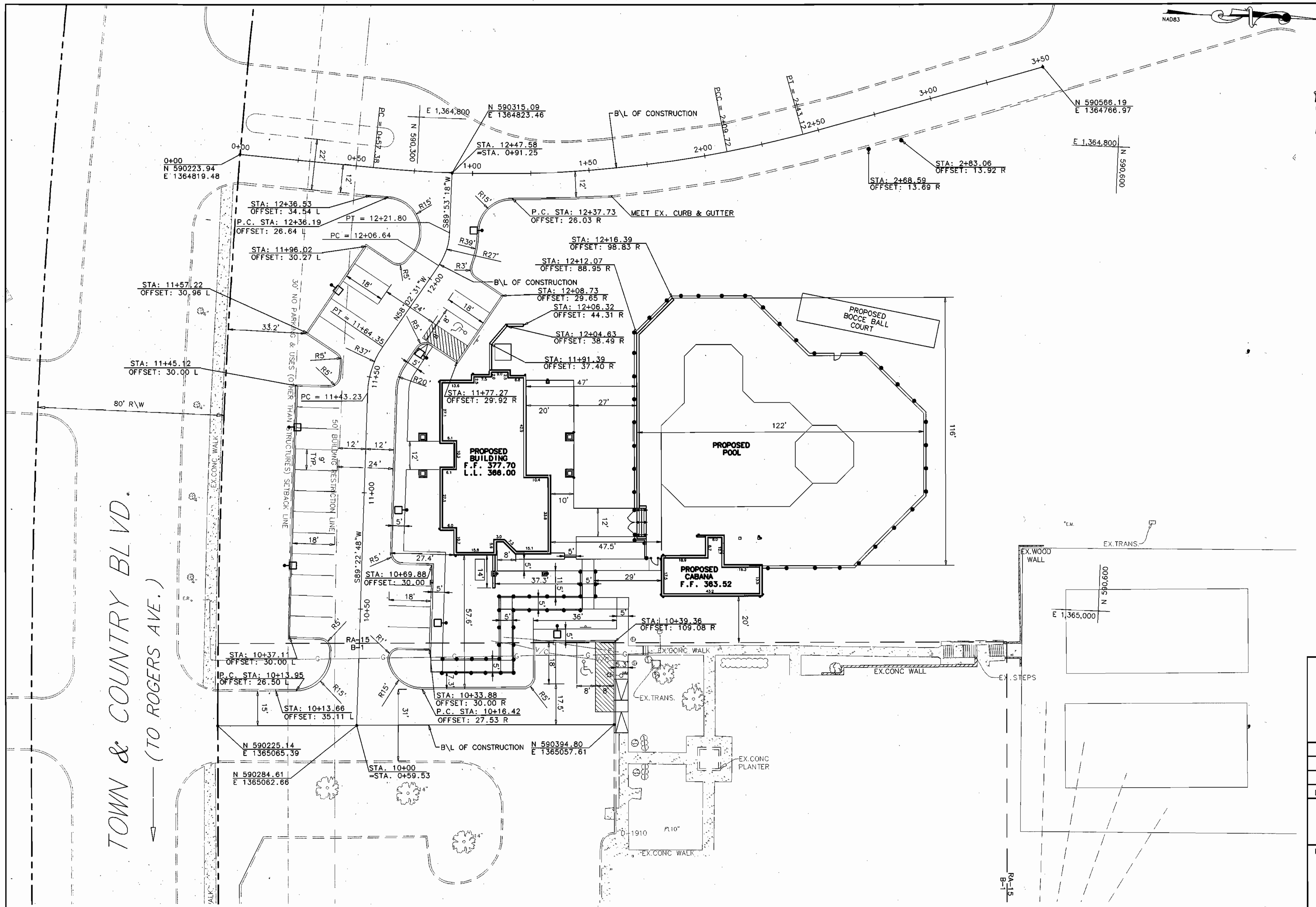
DATE	NO.	REVISIONS

SITE DETAILS

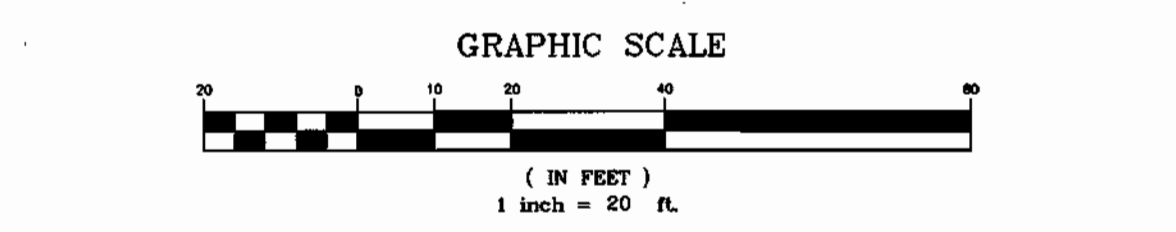
PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: **WHITNEY, BAILEY, COX & MAGNANI, LLC**
 Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO: C-3.2
MAP NO.: 17	
GRID NO.: 24	
PARCEL NO.: T31 3 5 5	SHEET 5 OF 17



VICINITY MAP
SCALE: 1"=1000'



OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

GEOMETRY PLAN
 PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-4
GRID NO.: 24	
PARCEL NO.: TSL 355	SHEET 6 OF 17

APPROVED: DEPARTMENT OF PLANNING AND ZONING

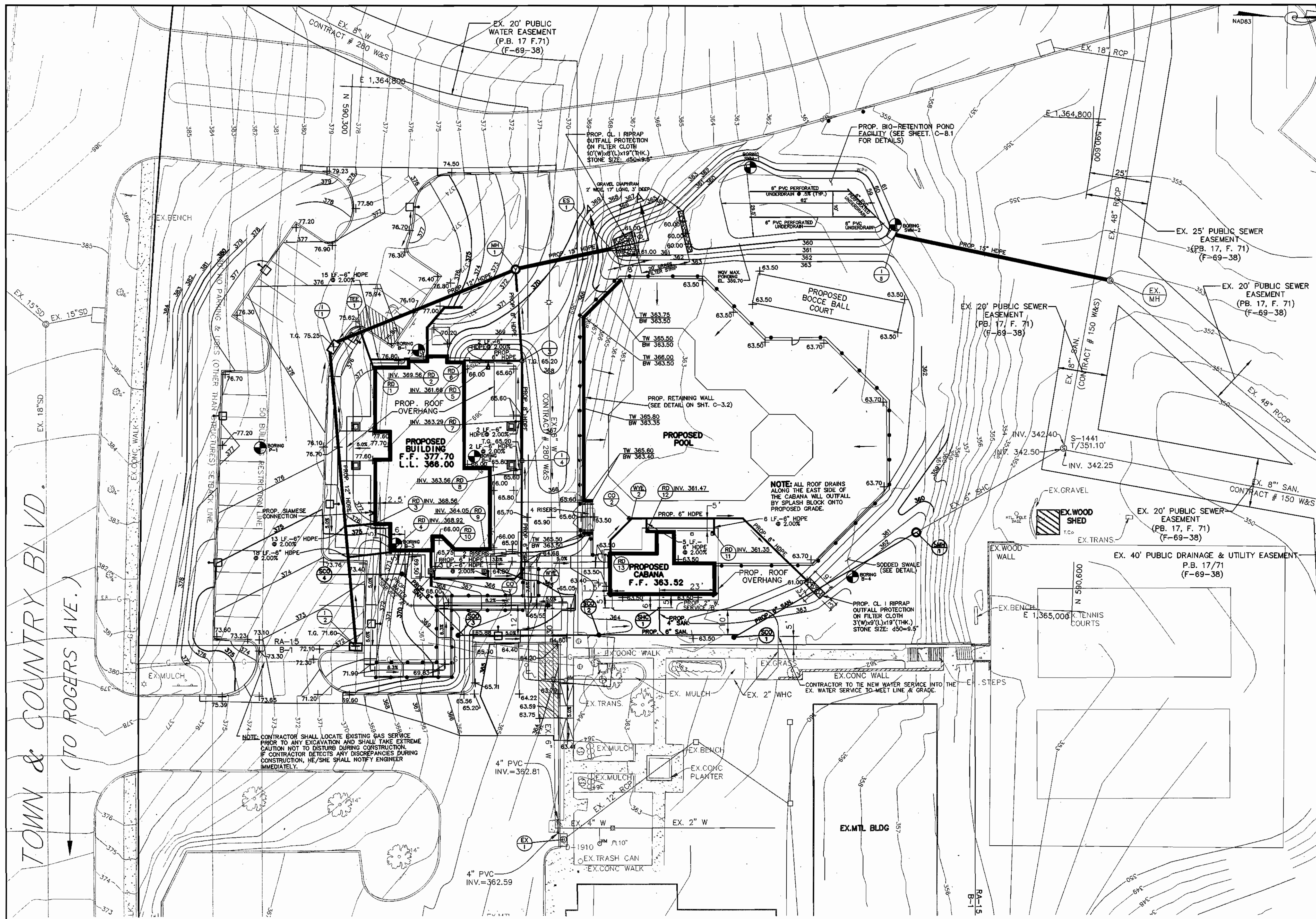
 Chief, Development Engineering Division Date: 8/14/03

 Chief, Division of Land Development Date: 8/14/03

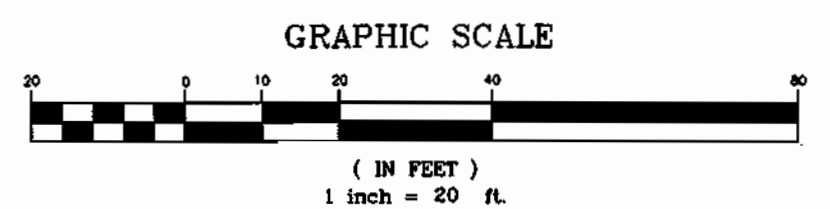
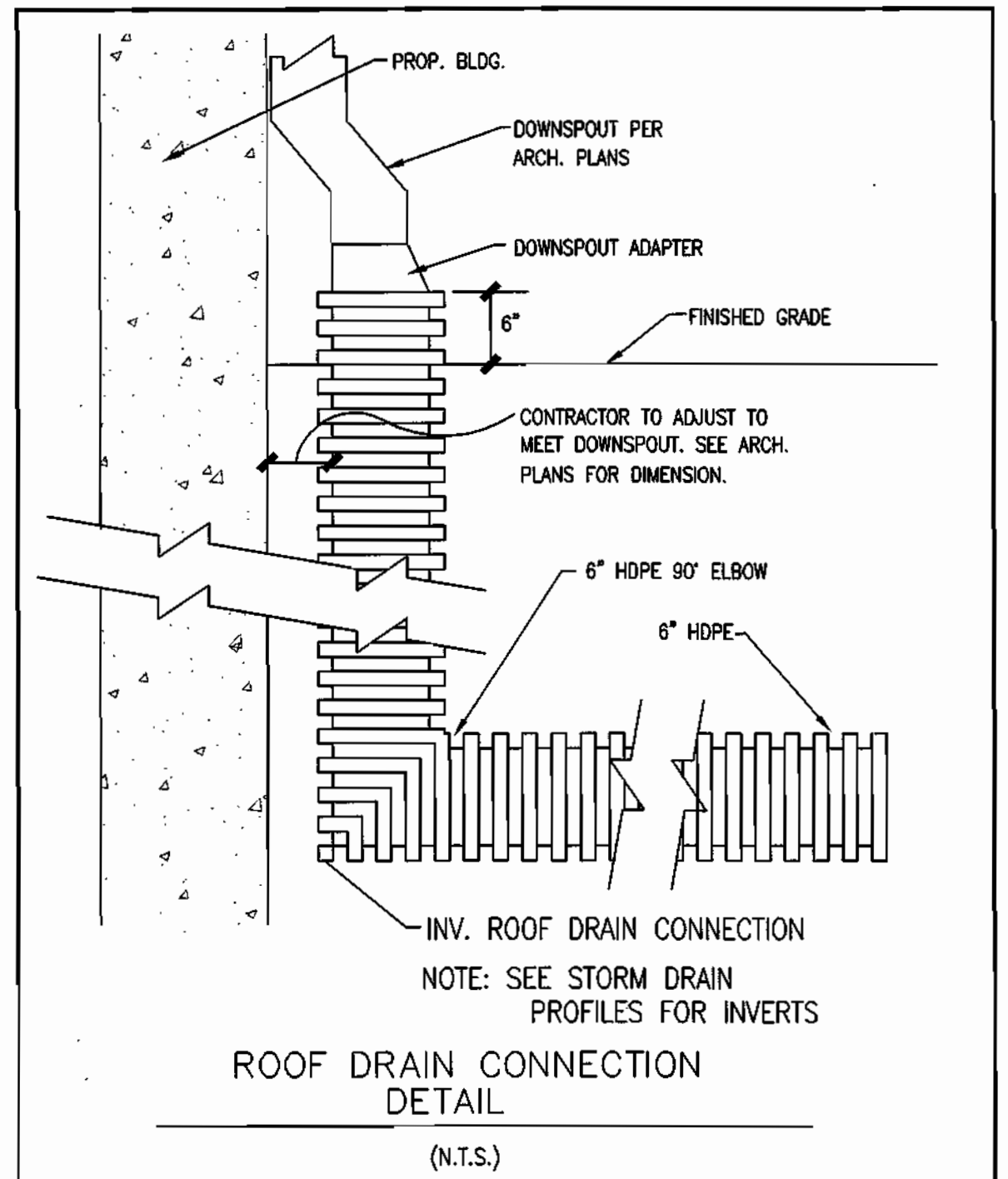
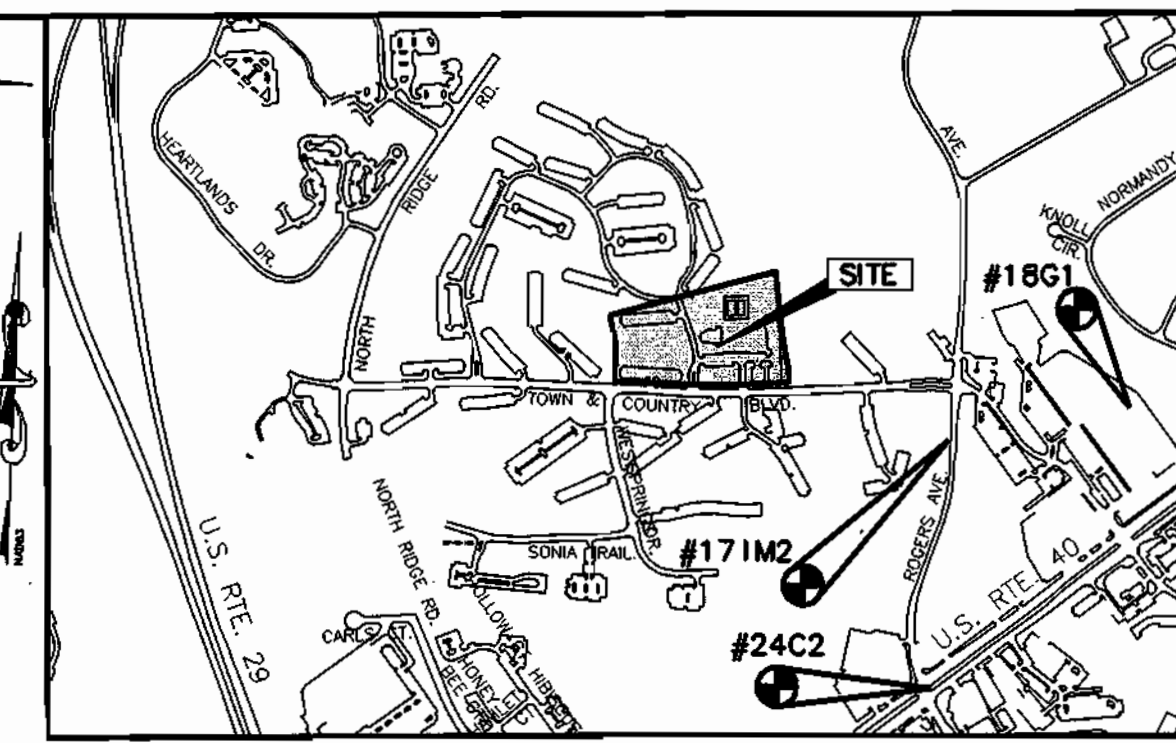
 Director Date: 8/14/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

 County Health Officer Date: 8/18/03
 Howard County Health Department



TOWN & COUNTRY BLVD.
(TO ROGERS AVE.)



PLAN
SCALE: 1"=20'

APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 8/14/03

APPROVED: *[Signature]*
Chief, Division of Land Development
Date: 8/12/03

Director

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature]
County Health Officer
Howard County Health Department
Date: 8/18/03

NO.	DESCRIPTION	COORDINATES		TOP	INVERT	
		NORTHING	EASTING		IN	OUT
MH-1	48" DIAMETER PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. 2.12	N. 590369.2973	E. 1364871.3118	372.20	362.35	361.57
I-1	DOUBLE "S" INLET WITH RETICULAR GRATES. SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 590297.1800	E. 1364805.9100	375.25	367.87	367.47
I-2	DOUBLE "S" INLET WITH RETICULAR GRATES. SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 590311.1535	E. 1364926.4654	371.60	---	368.50
I-3	YARD DRAIN WITH PEDESTRIAN GRATE. SEE DETAIL ON SHEET C-5.2	N. 590373.5146	E. 1364808.1058	365.20	362.90	362.65
I-4	YARD DRAIN WITH PEDESTRIAN GRATE. SEE DETAIL ON SHEET C-5.2	N. 590375.3158	E. 1364848.5778	365.20	363.40	363.20
ES-1	18" HDPE END SECTION	N. 590409.2016	E. 1364860.6797	---	---	361.20
SMH-1	DROP MANHOLE HOWARD CO. STD. DETAIL NO. SD 1.32	N. 590535.7853	E. 1364870.7443	361.50	355.24	355.18
SC0-1	STANDARD IN-LINE CLEANOUT HOWARD CO. STD. DETAIL NO. S 2.22	N. 590463.9341	E. 1365016.3276	363.19	356.90	356.90
SC0-2	STANDARD IN-LINE CLEANOUT HOWARD CO. STD. DETAIL NO. S 2.22	N. 590409.4088	E. 1365017.7513	364.00	358.02	358.02
SC0-3	STANDARD IN-LINE CLEANOUT HOWARD CO. STD. DETAIL NO. S 2.22	N. 590346.1961	E. 1365020.6423	368.30	359.12	359.12
SC0-4	STANDARD IN-LINE CLEANOUT HOWARD CO. STD. DETAIL NO. S 2.22	N. 590329.3273	E. 1365003.7964	370.80	359.80	359.80

TOPS OF INLETS REFER TO TOP OF GRATE

SIZE	LENGTH	TYPE
6"	297 LF.	HDPE
6"	77 LF.	HDPE
12"	202 LF.	HDPE
15"	129 LF.	HDPE
2"	73 LF.	K' COPPER
4"	61 LF.	D.I.P.
6"	252 LF.	P.V.C.

OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497

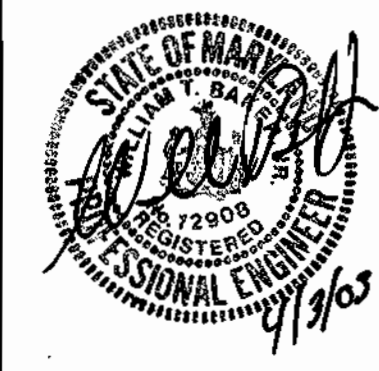
DATE	NO.	REVISIONS

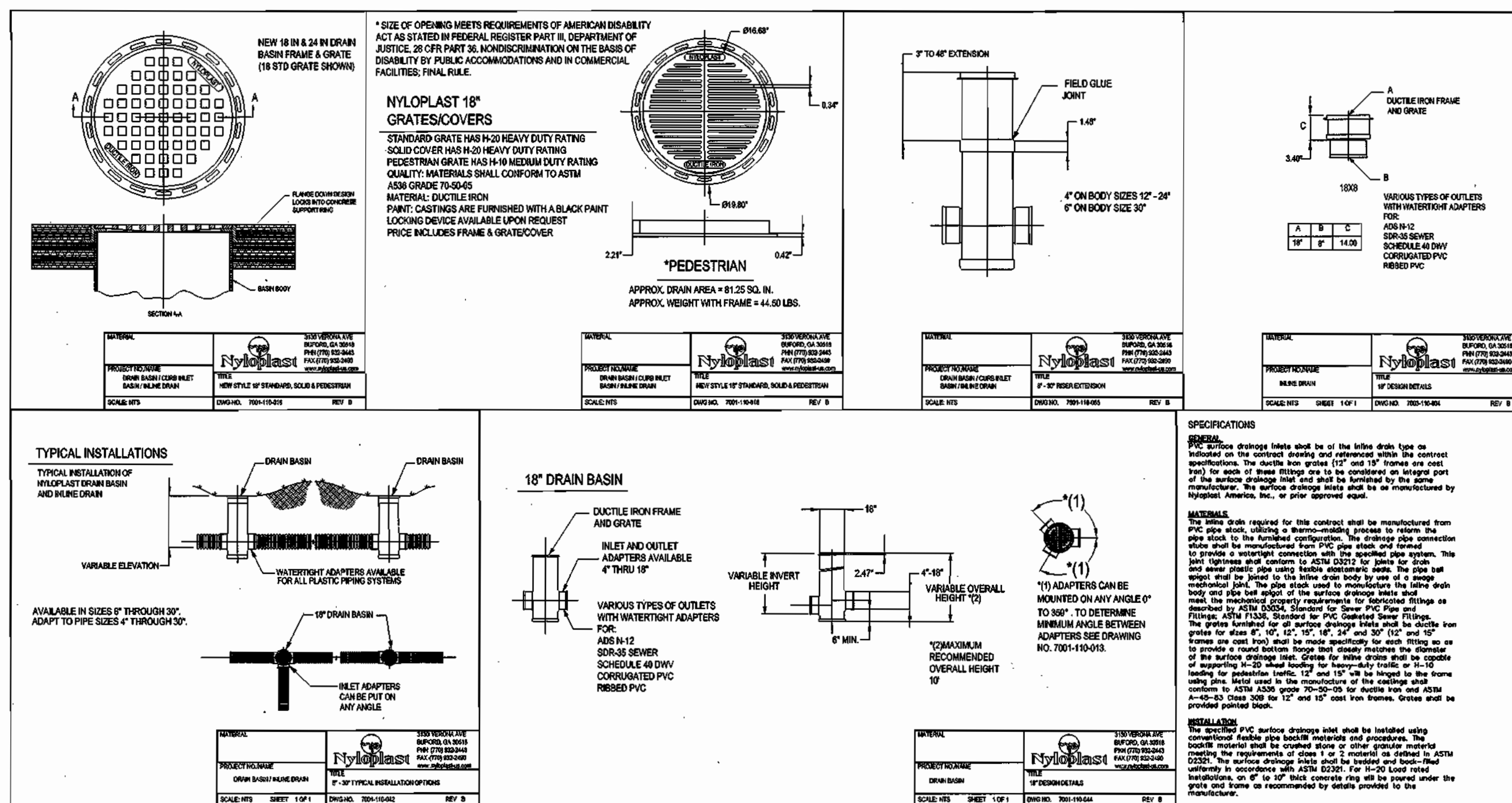
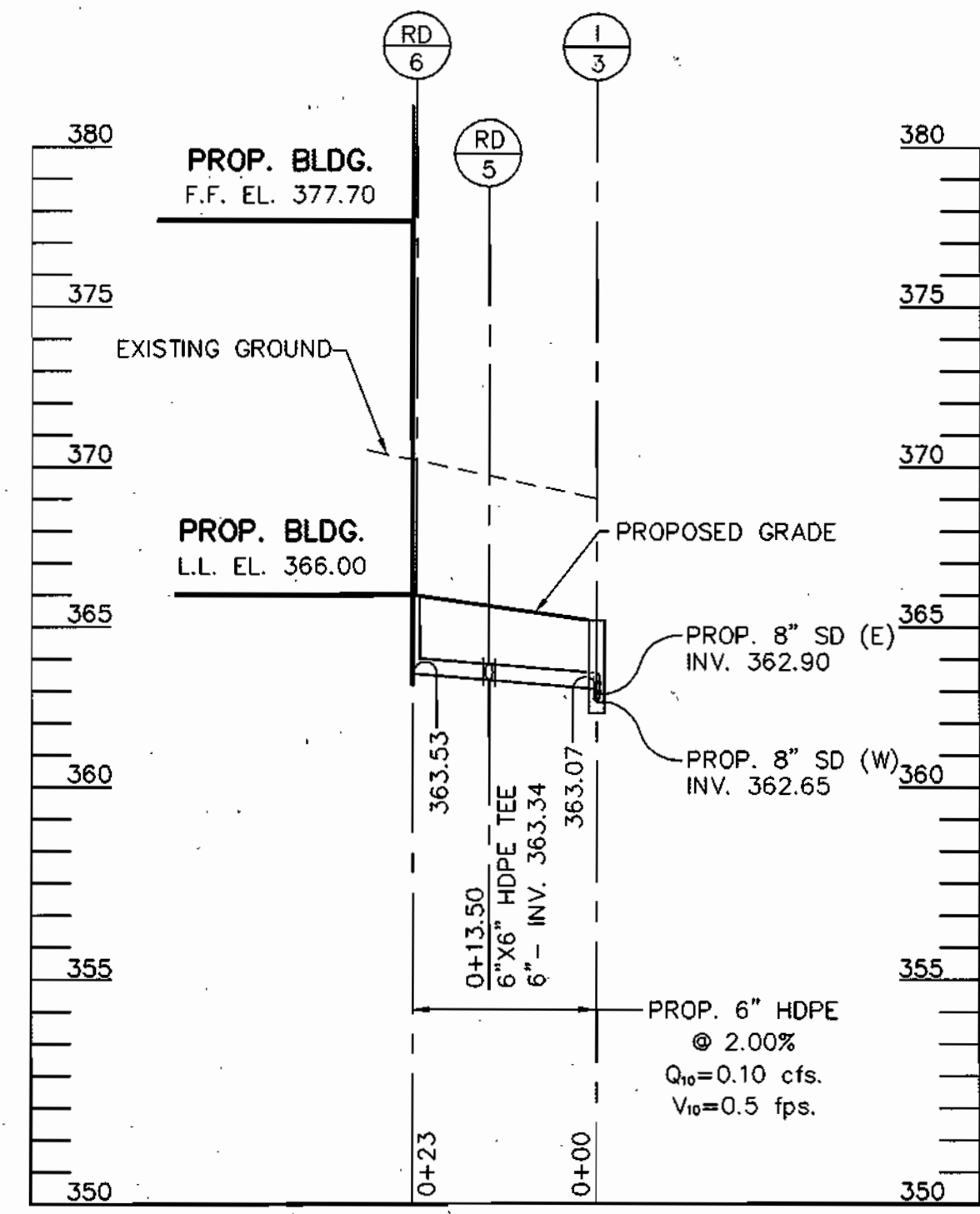
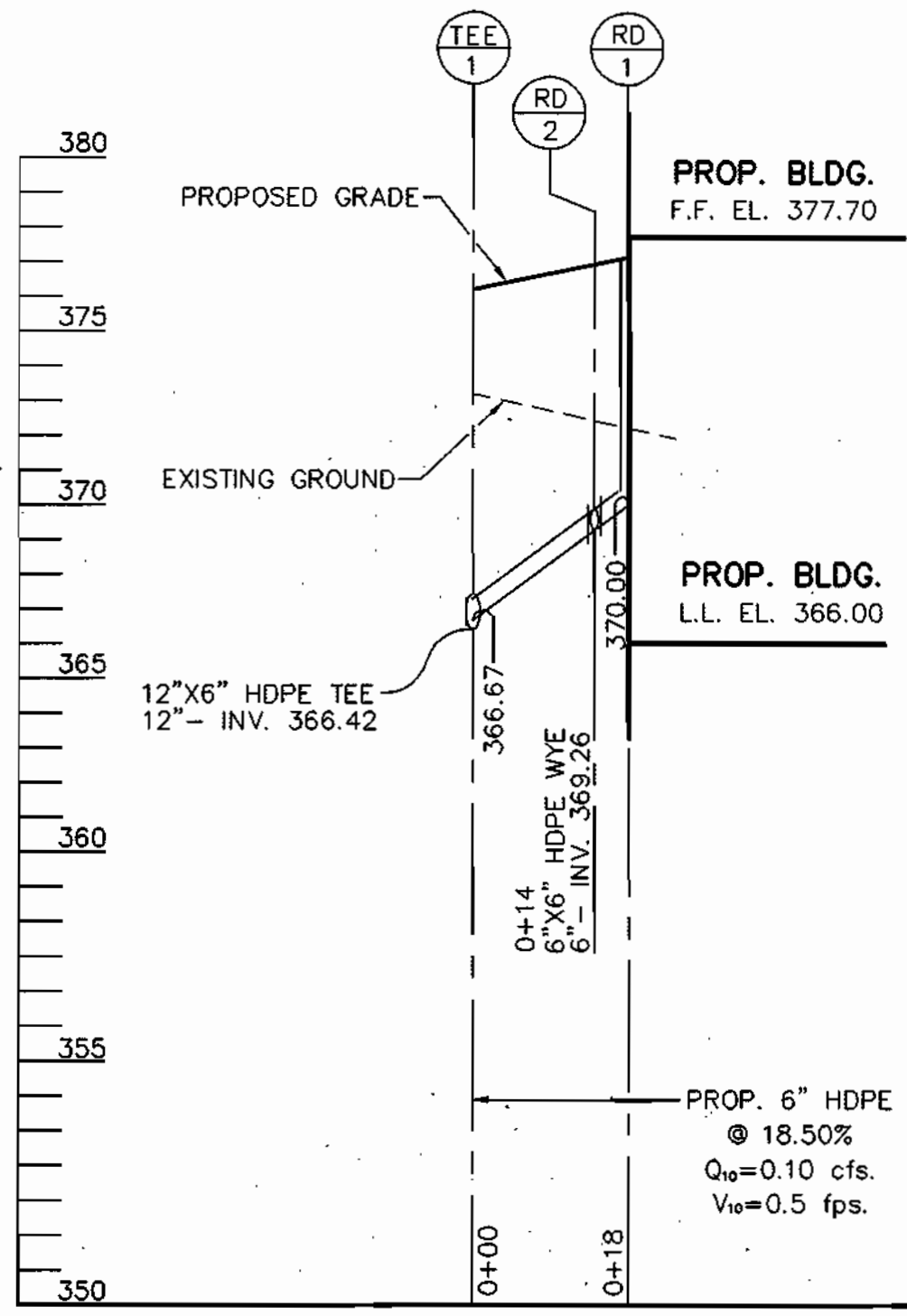
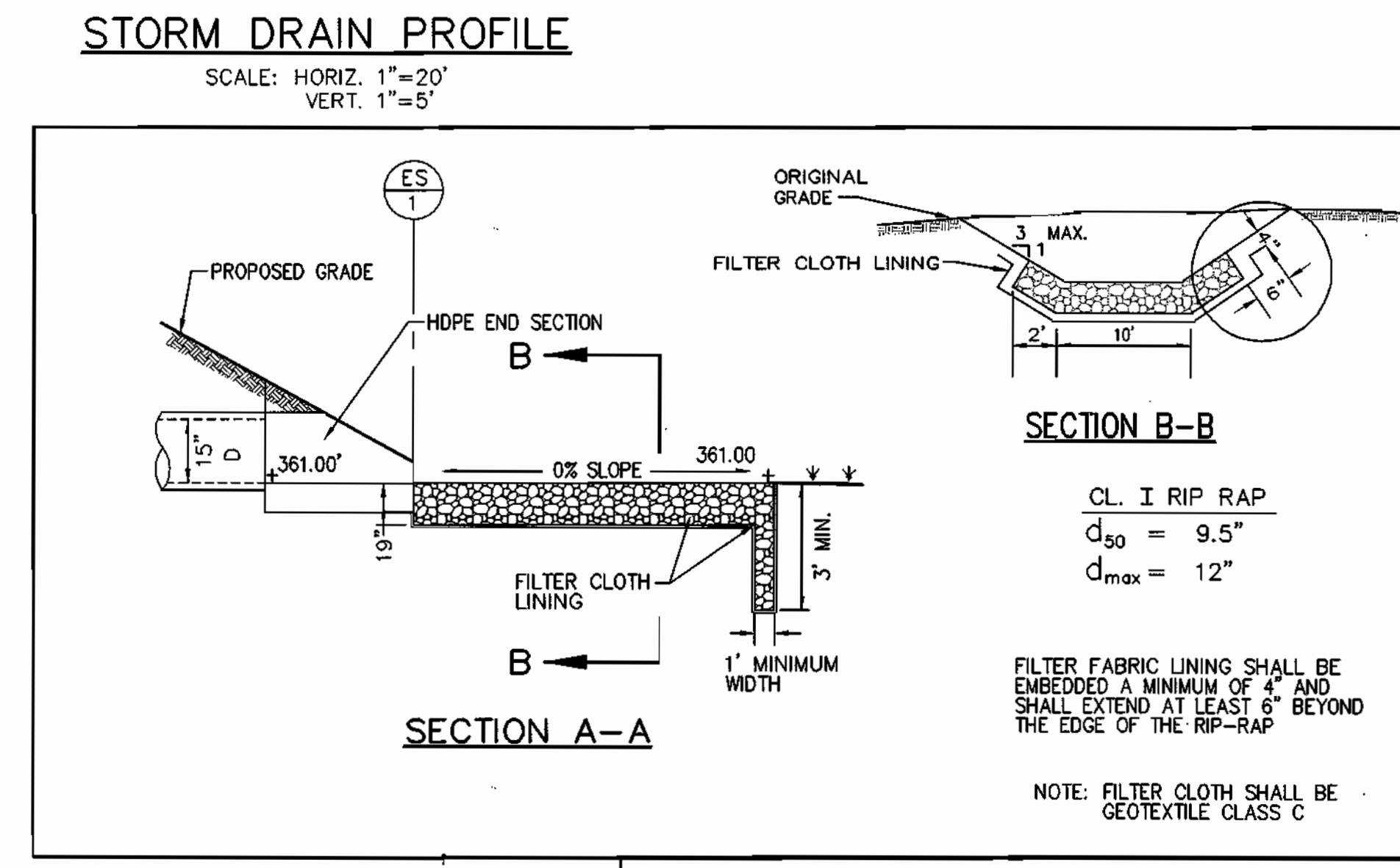
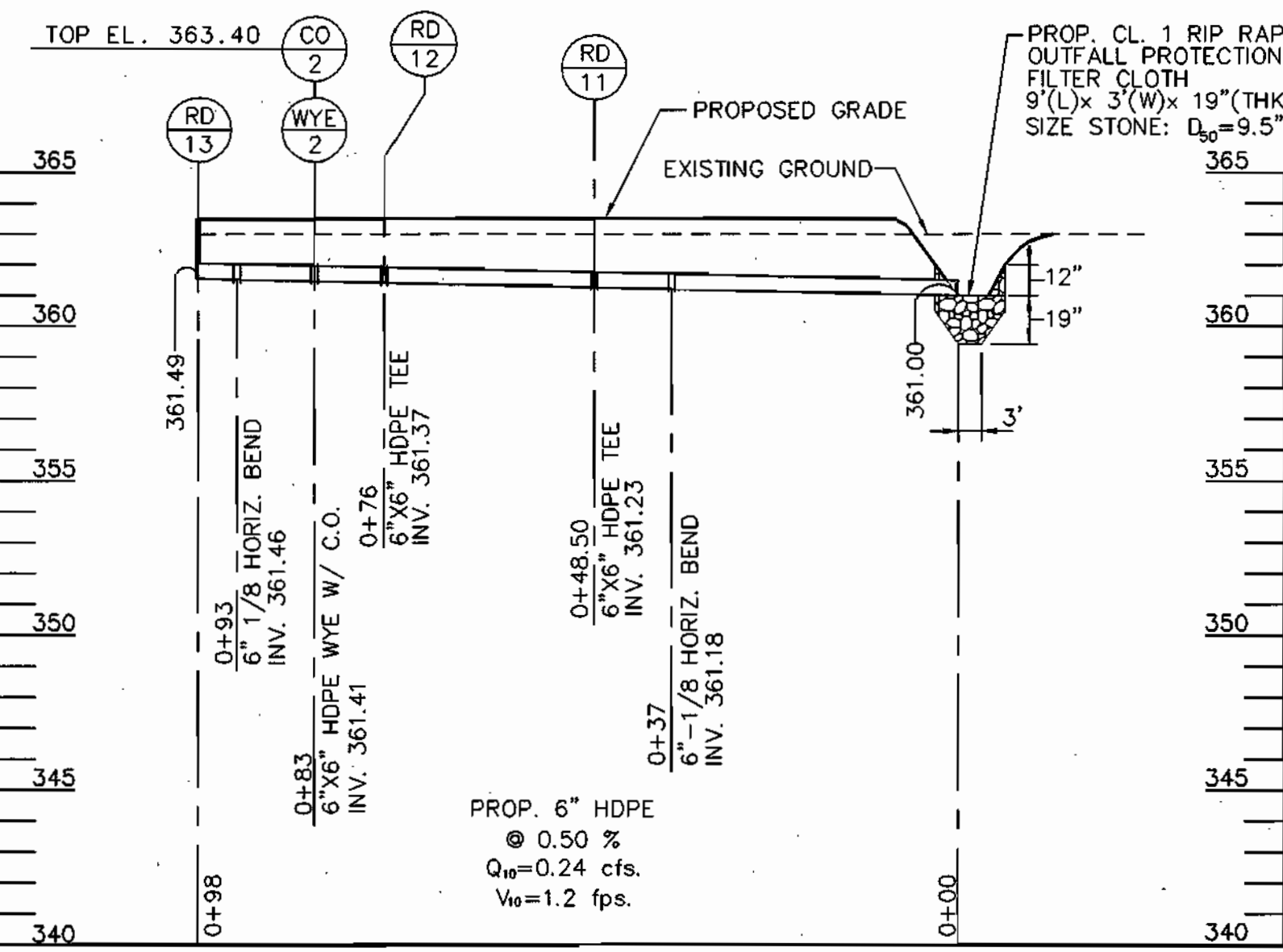
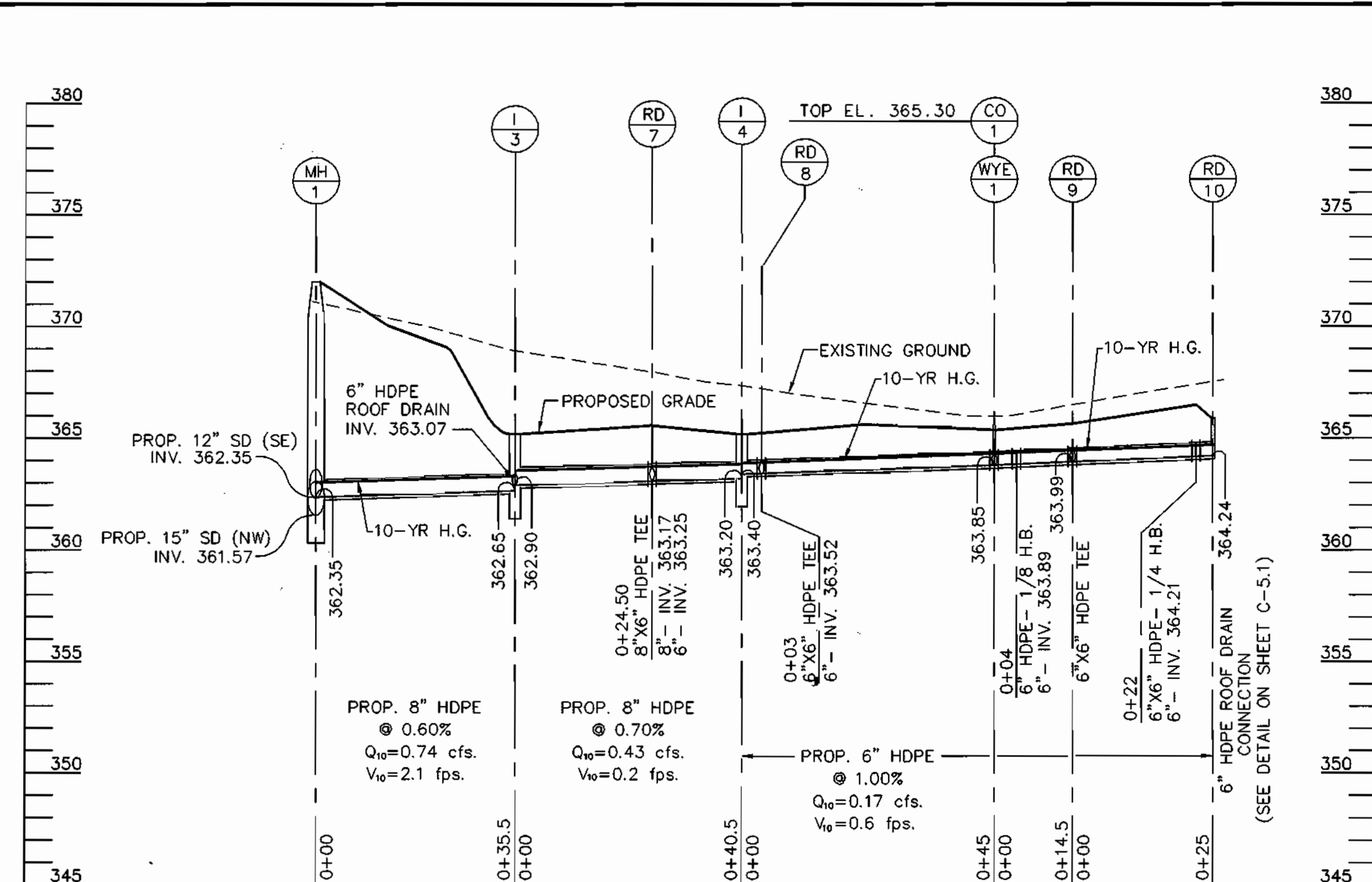
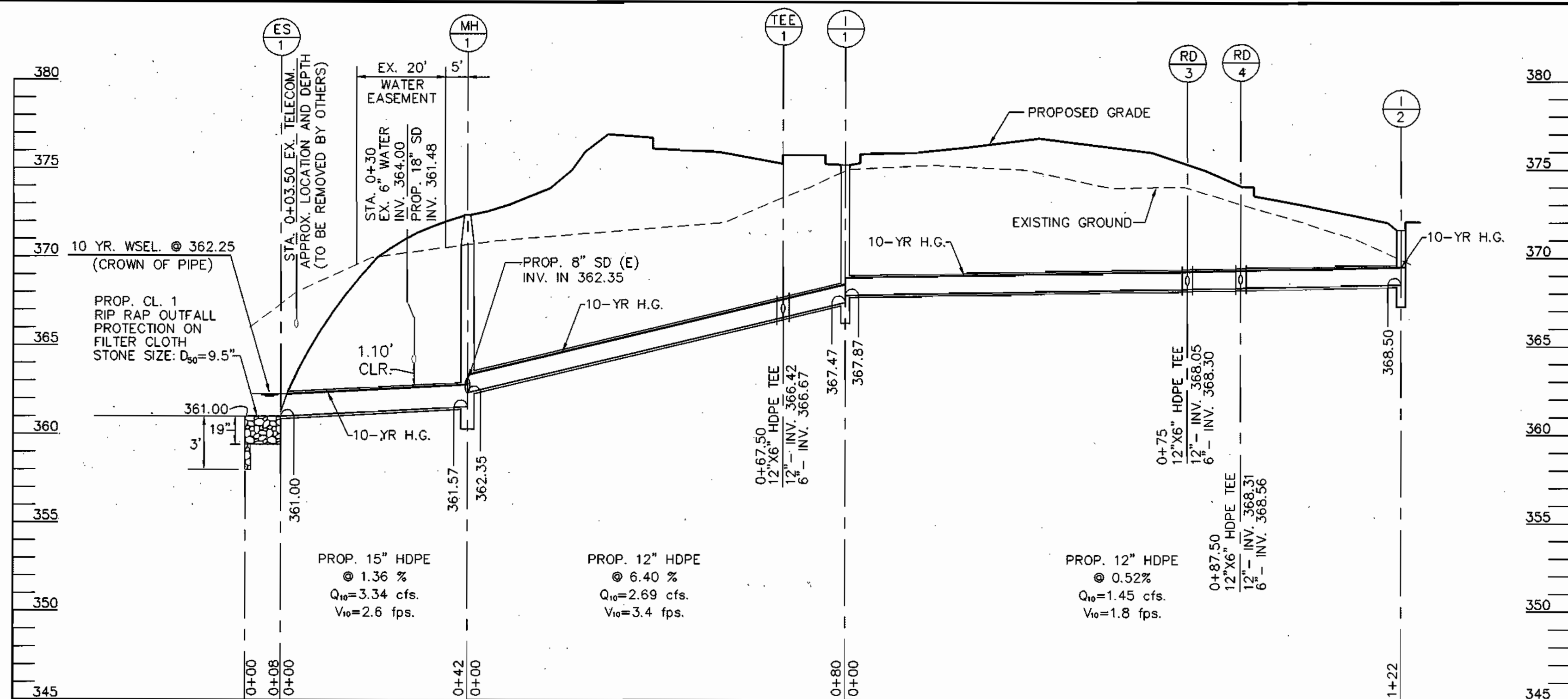
GRADING & UTILITY PLAN

PROJECT TITLE: TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY
8730 TOWN & COUNTRY BLVD.
HOWARD COUNTY, MARYLAND

ENGINEERS: *[Logo]* Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J. ELECTION DIST.: 2
DRAWN: S.J.D. CENSUS TRACT #: 6026.00
CHECKED: P.J.C. WATER CODE: F-03
DATE: 4/2/03 SEWER CODE: 1453800
SCALE: AS SHOWN DRAWING NO:
MAP NO.: 17
GRID NO.: 24
PARCEL NO.: 761355 SHEET 7 OF 17





OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

STORM DRAIN PROFILES

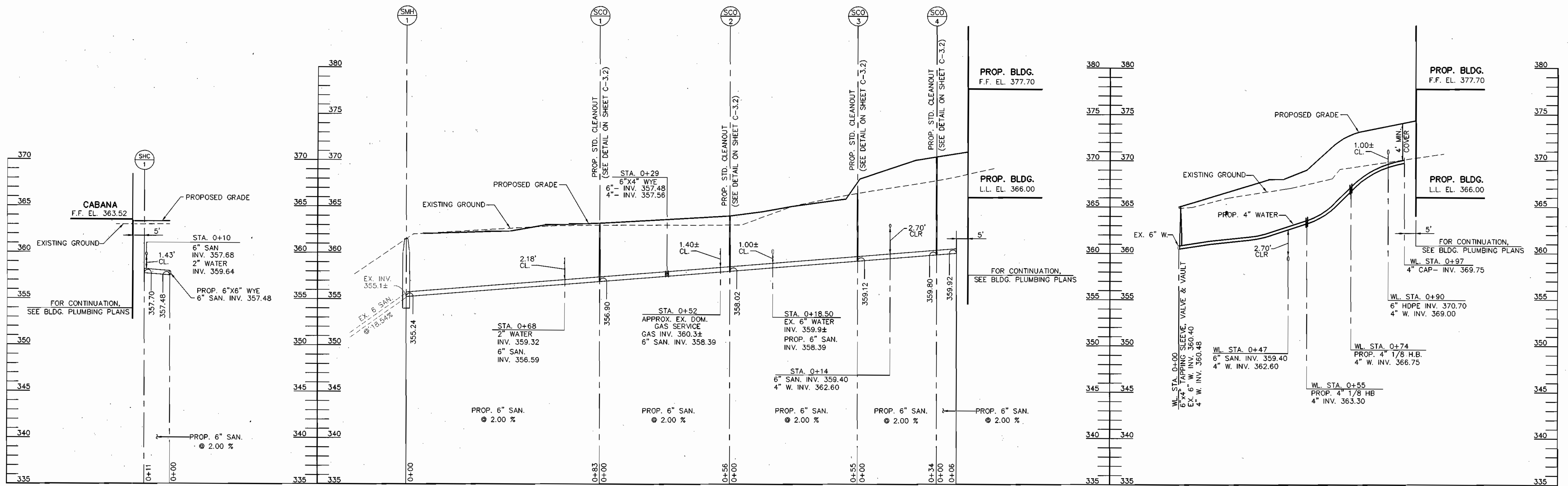
PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
8730 TOWN & COUNTRY BLVD.
HOWARD COUNTY, MARYLAND

ENGINEERS: **WHITNEY, BAILEY, COX & MAGNANI, LLC**
Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO.:
MAP NO.: 17	C-5.2
GRID NO.: 24	
PARCEL NO.: 151 355	SHEET 8 OF 17

APPROVED: **DEPARTMENT OF PLANNING AND ZONING**
Chief, Development Engineering Division Date: 5/14/03
Chief, Division of Land Development Date: 5/14/03
Director Date: 5/14/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 5/16/03
Howard County Health Department



PROPOSED CABANA
 SANITARY HOUSE CONNECTION PROFILE

SANITARY SEWER PROFILE

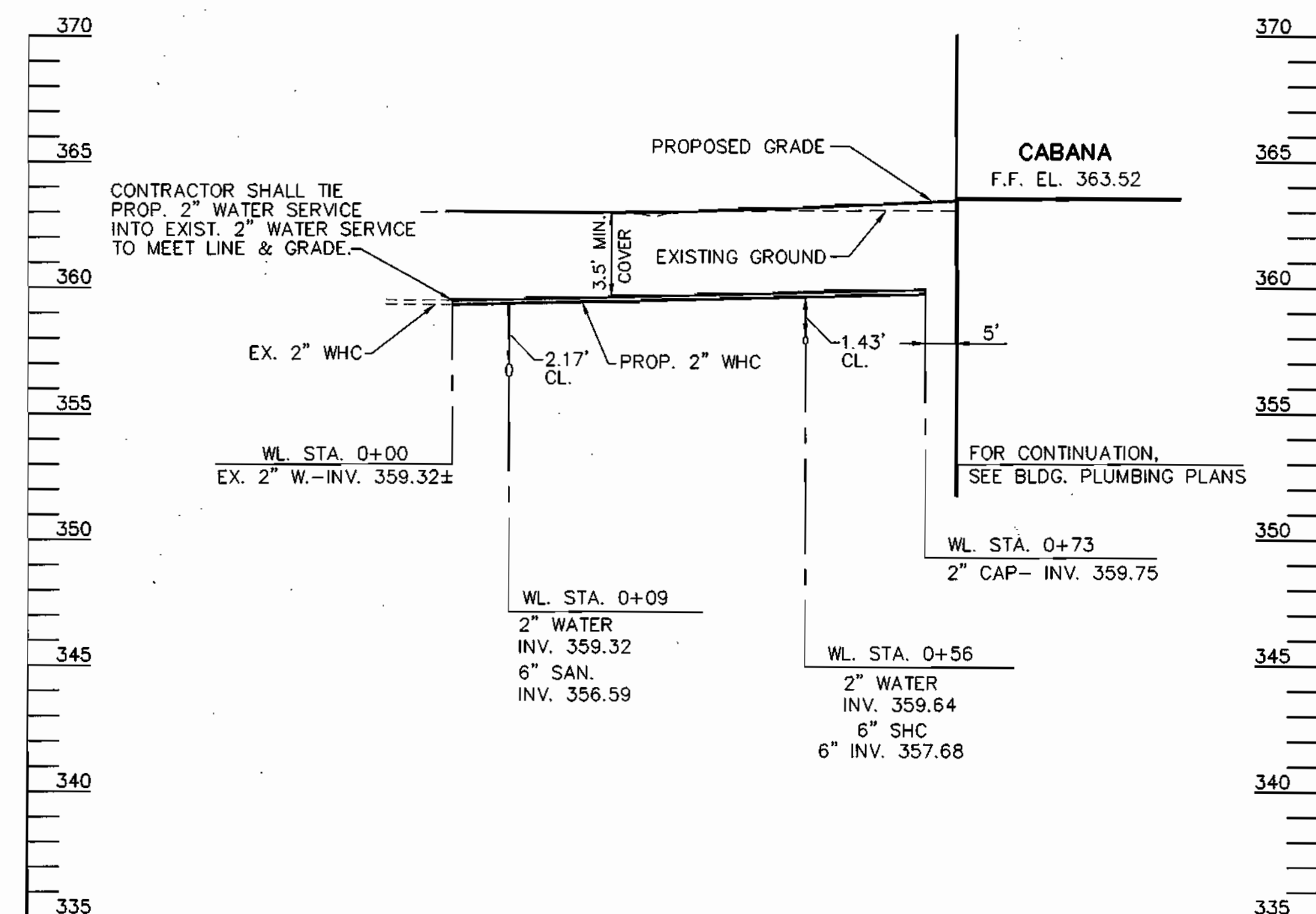
WATER LINE 'A' PROFILE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Date: 8/1/03
 Date: 8/14/03
 Date: 8/14/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department

Date: 8/18/03



WATER LINE 'B' PROFILE

OWNER/DEVELOPER
 TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

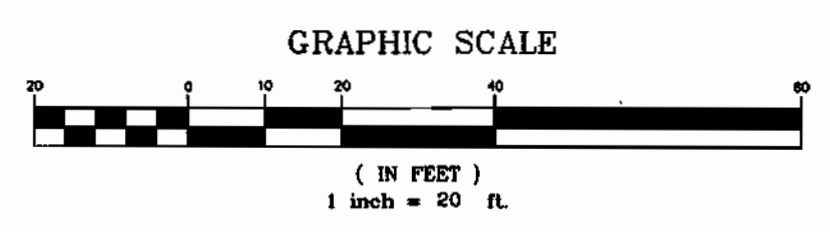
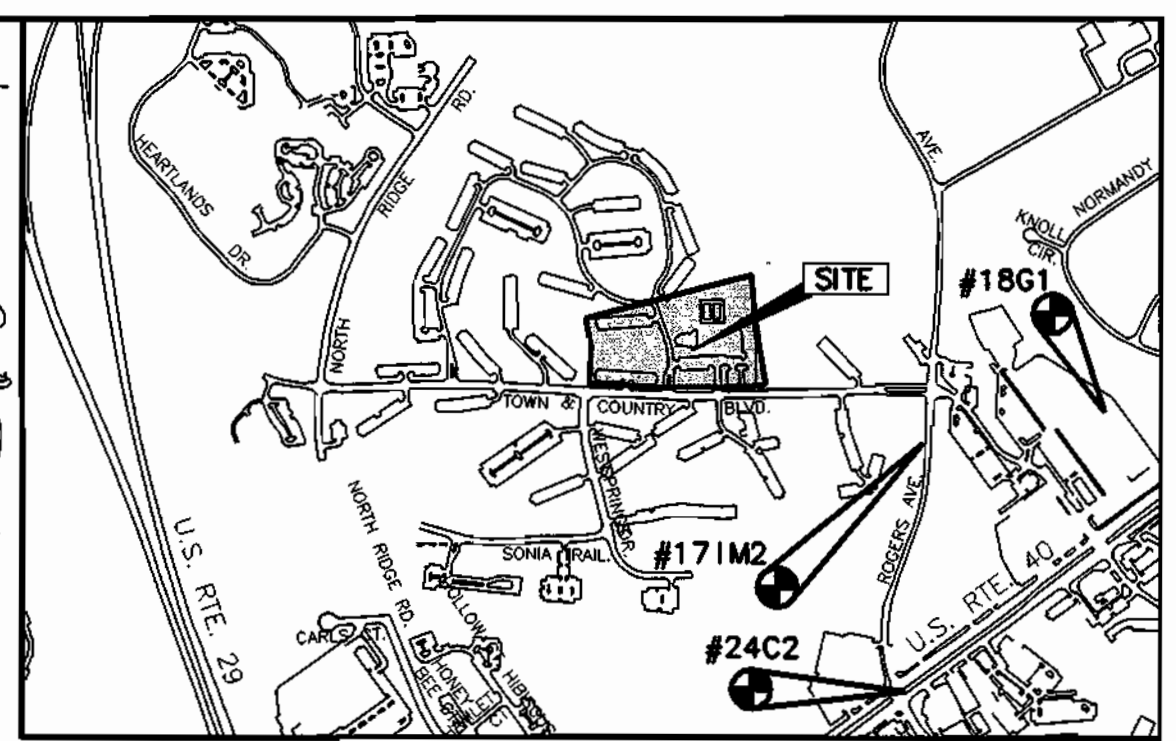
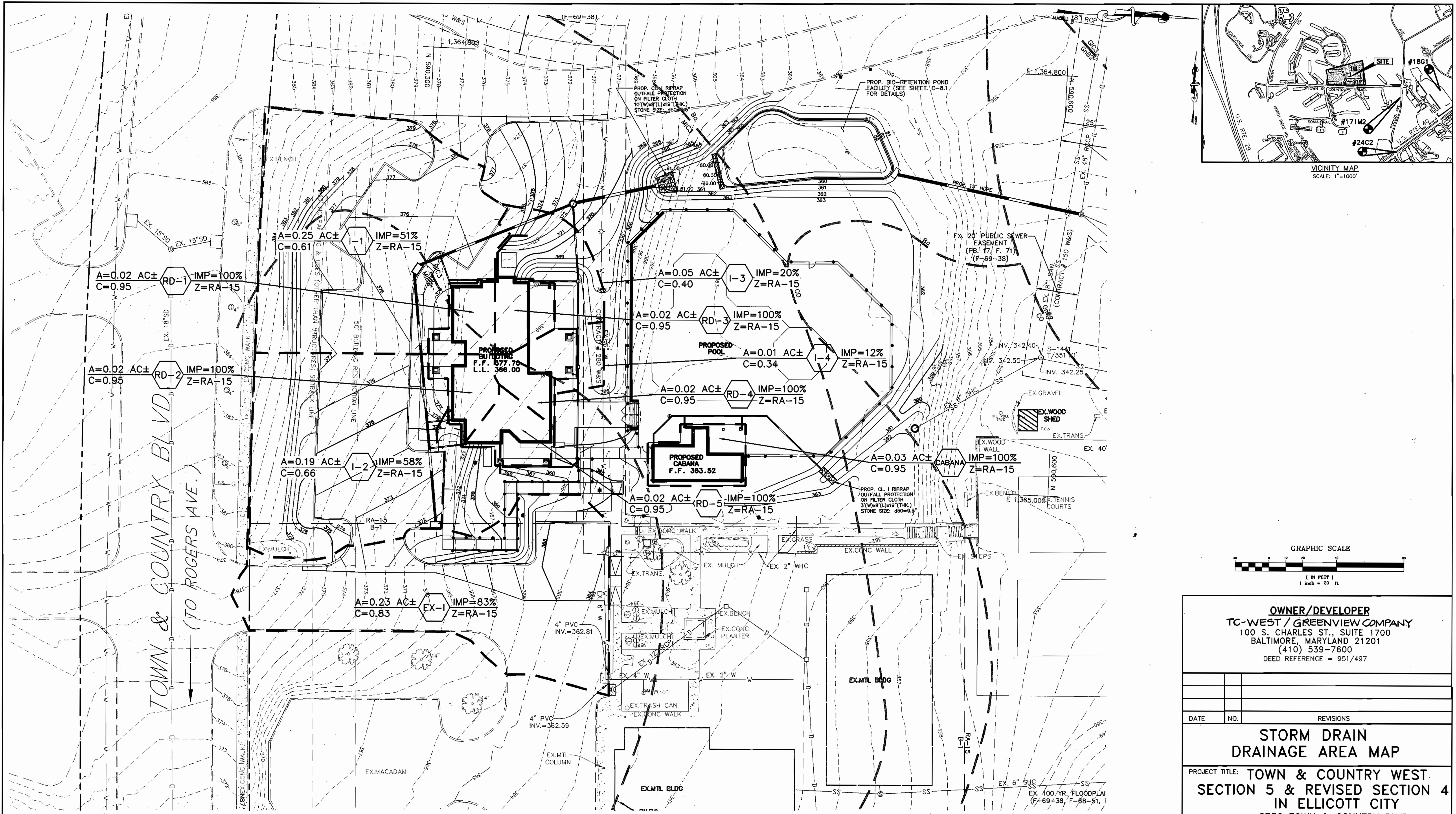
SANITARY AND WATER PROFILES

PROJECT TITLE: TOWN & COUNTRY WEST
 SECTION 5 & REVISED SECTION 4
 IN ELLICOTT CITY
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: **WHITNEY, BAILEY, COX & MAGNANI, LLC**
 Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-5.3
GRID NO.: 24	
PARCEL NO.: TSJ 355	SHEET 9 OF 17

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OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497


DATE	NO.	REVISIONS

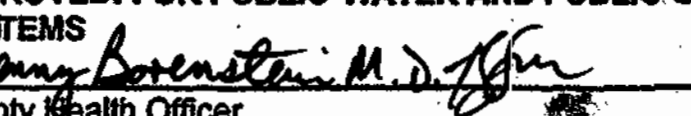
**STORM DRAIN
 DRAINAGE AREA MAP**

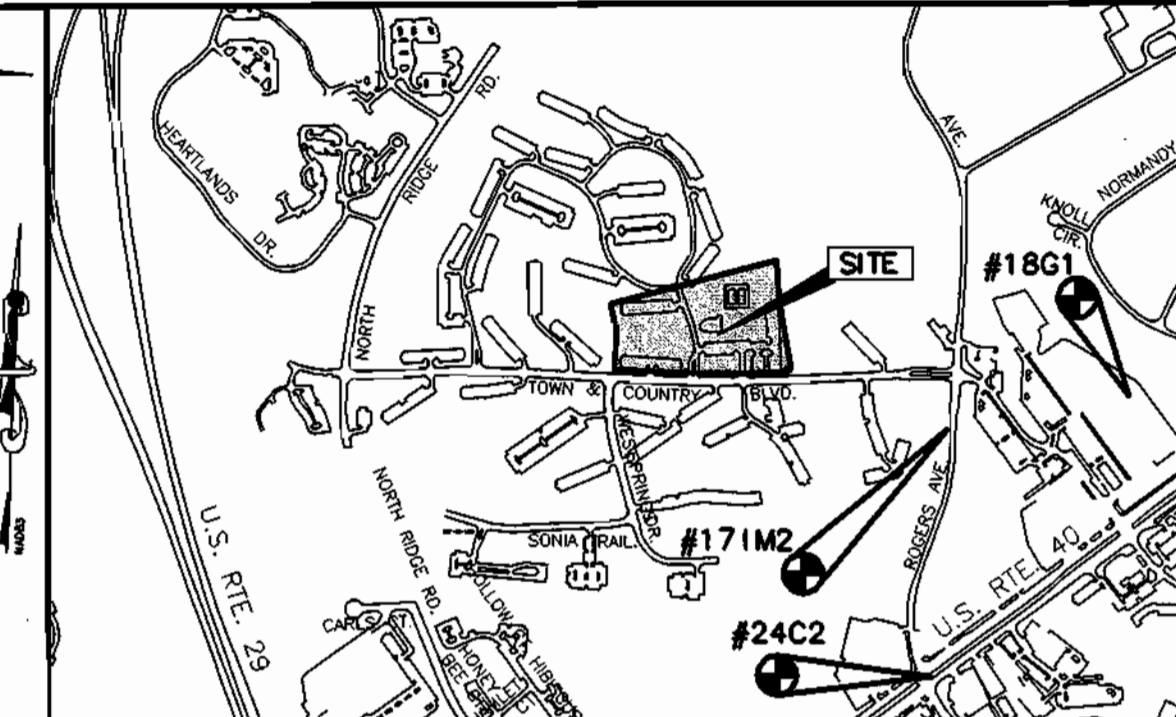
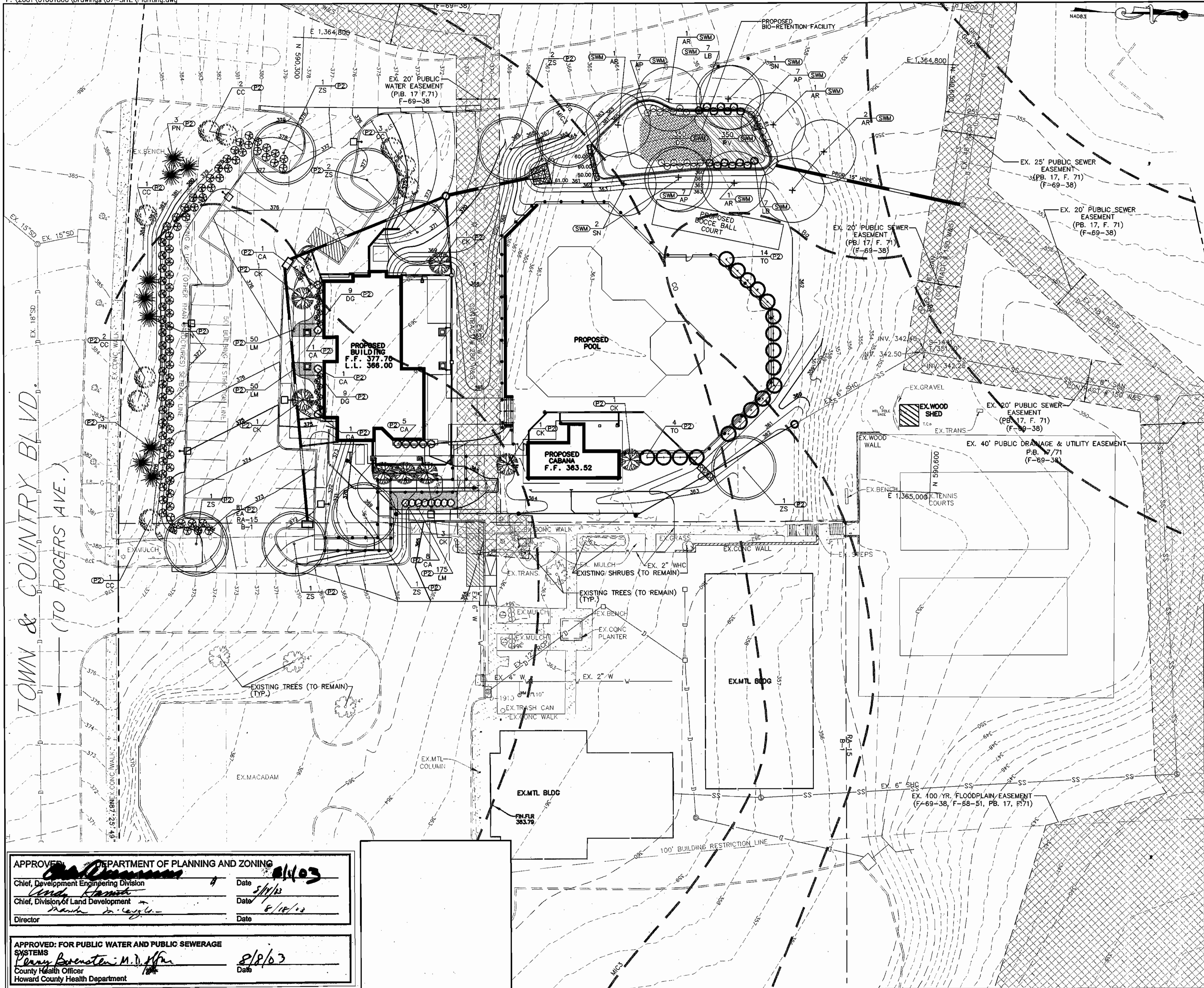
**PROJECT TITLE: TOWN & COUNTRY WEST
 SECTION 5 & REVISED SECTION 4
 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS:  Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

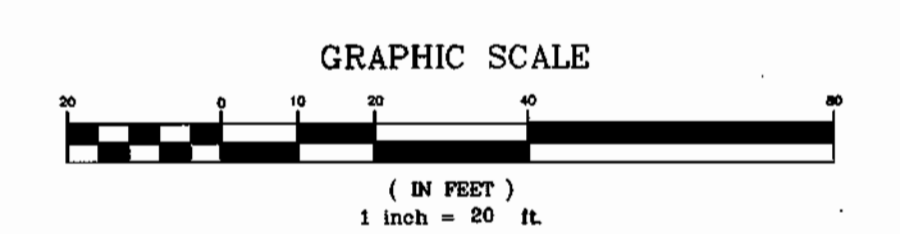
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-5.4
GRID NO.: 24	
PARCEL NO.: 751 355	SHEET 10 OF 17

APPROVED:  DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date 8/1/03
 Chief, Division of Land Development Date 8/1/03
 Director Date 8/1/03

**APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE
 SYSTEMS**

 County Health Officer Date 8/8/03
 Howard County Health Department



REFERENCE NOTES
 FOR PLANTING NOTES, DETAILS, LEGEND
 AND PLANT LIST, SEE SHEET C-6.2.



OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

LANDSCAPE PLAN

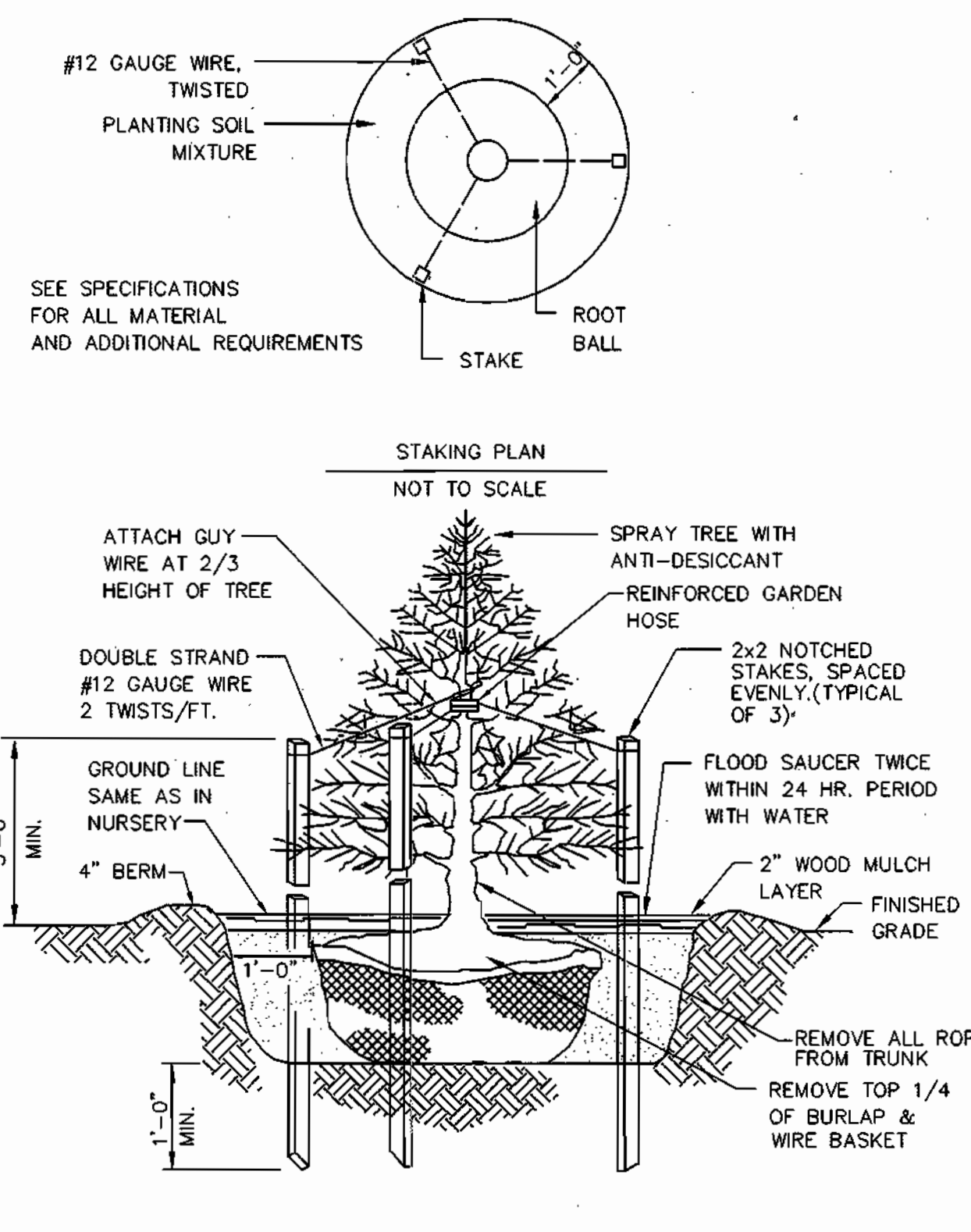
**PROJECT TITLE: TOWN & COUNTRY WEST
 SECTION 5 & REVISED SECTION 4
 IN ELLICOTT CITY
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND**

ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

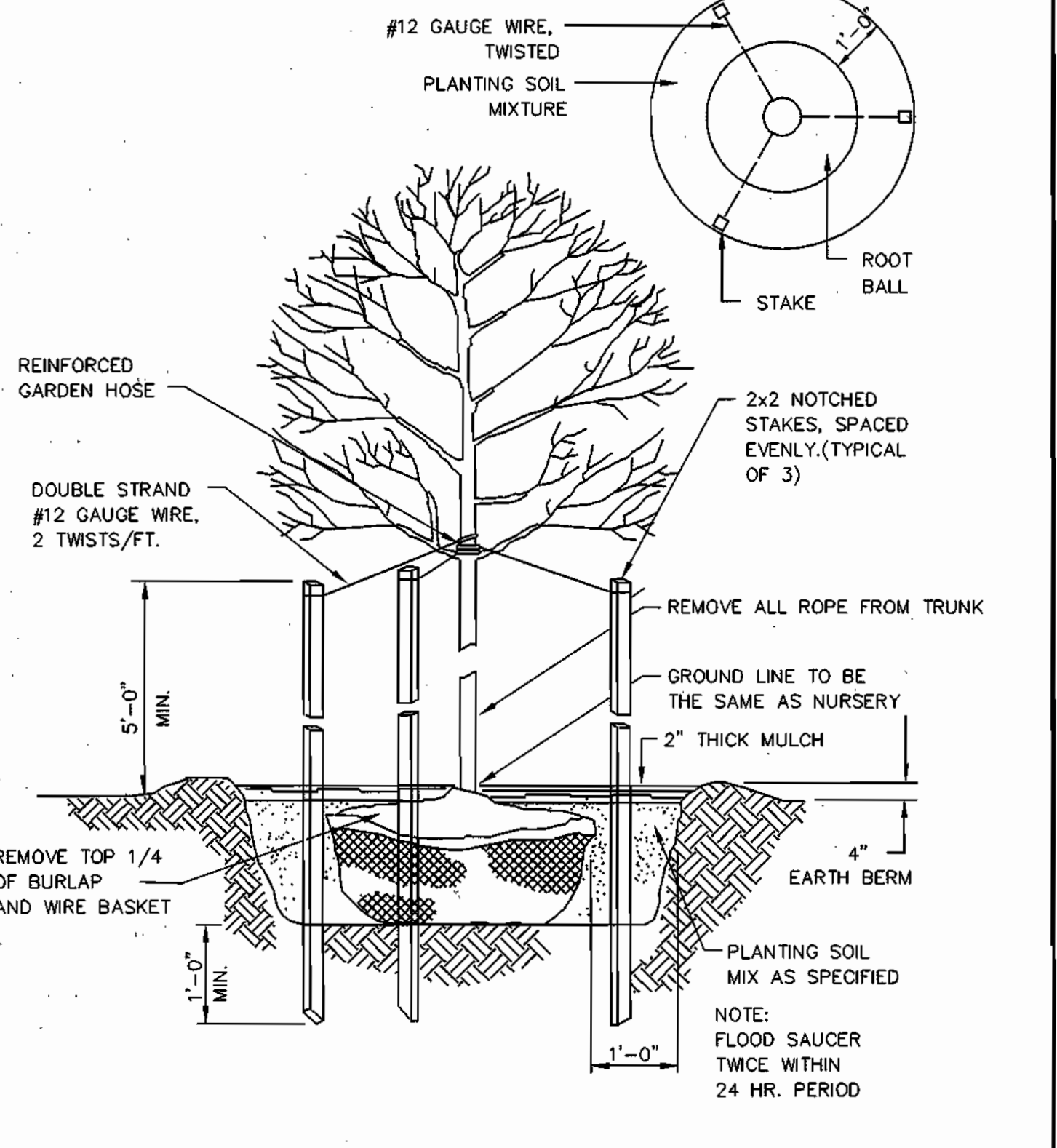
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-6.1
GRID NO.: 24	
PARCEL NO.: T34 355	SHEET 11 OF 17

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 8/1/03
 Chief, Division of Land Development Date: 5/1/03
 Director Date: 8/18/03

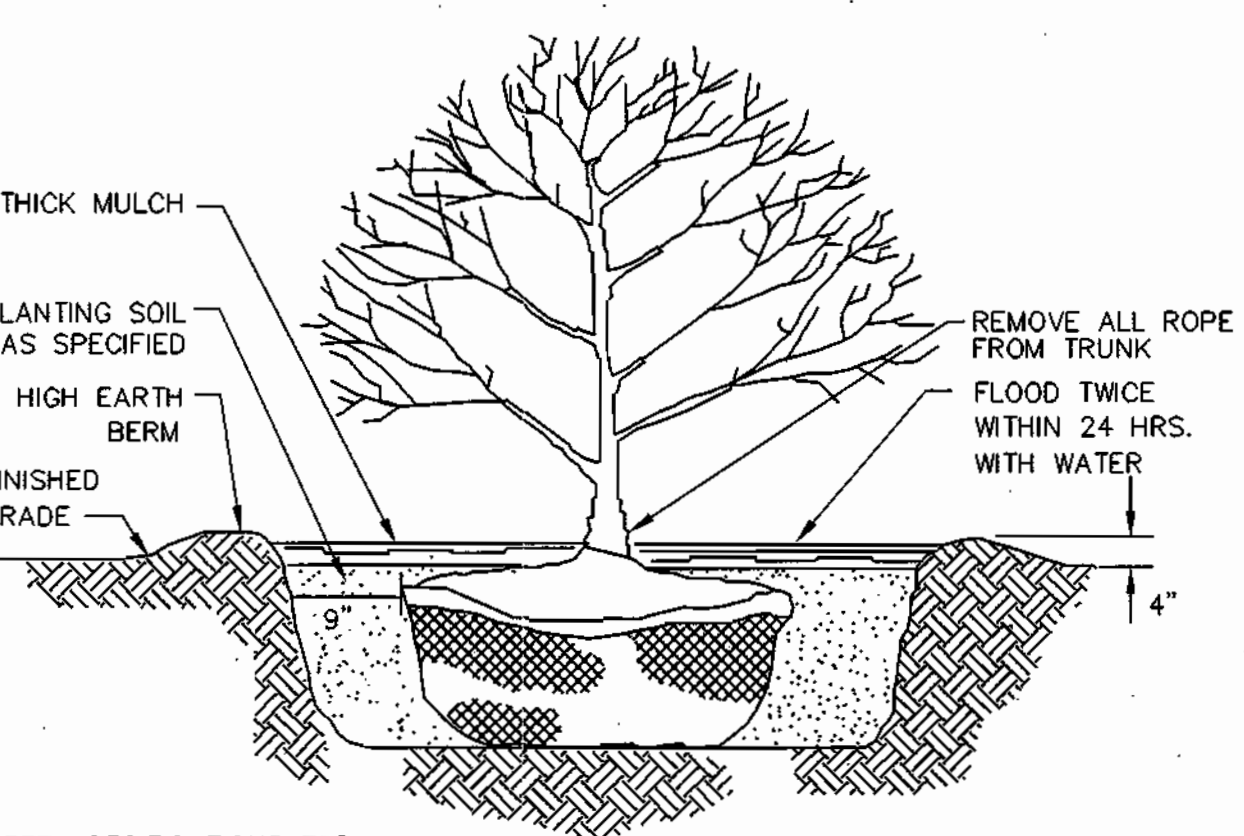
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 8/8/03
 Howard County Health Department



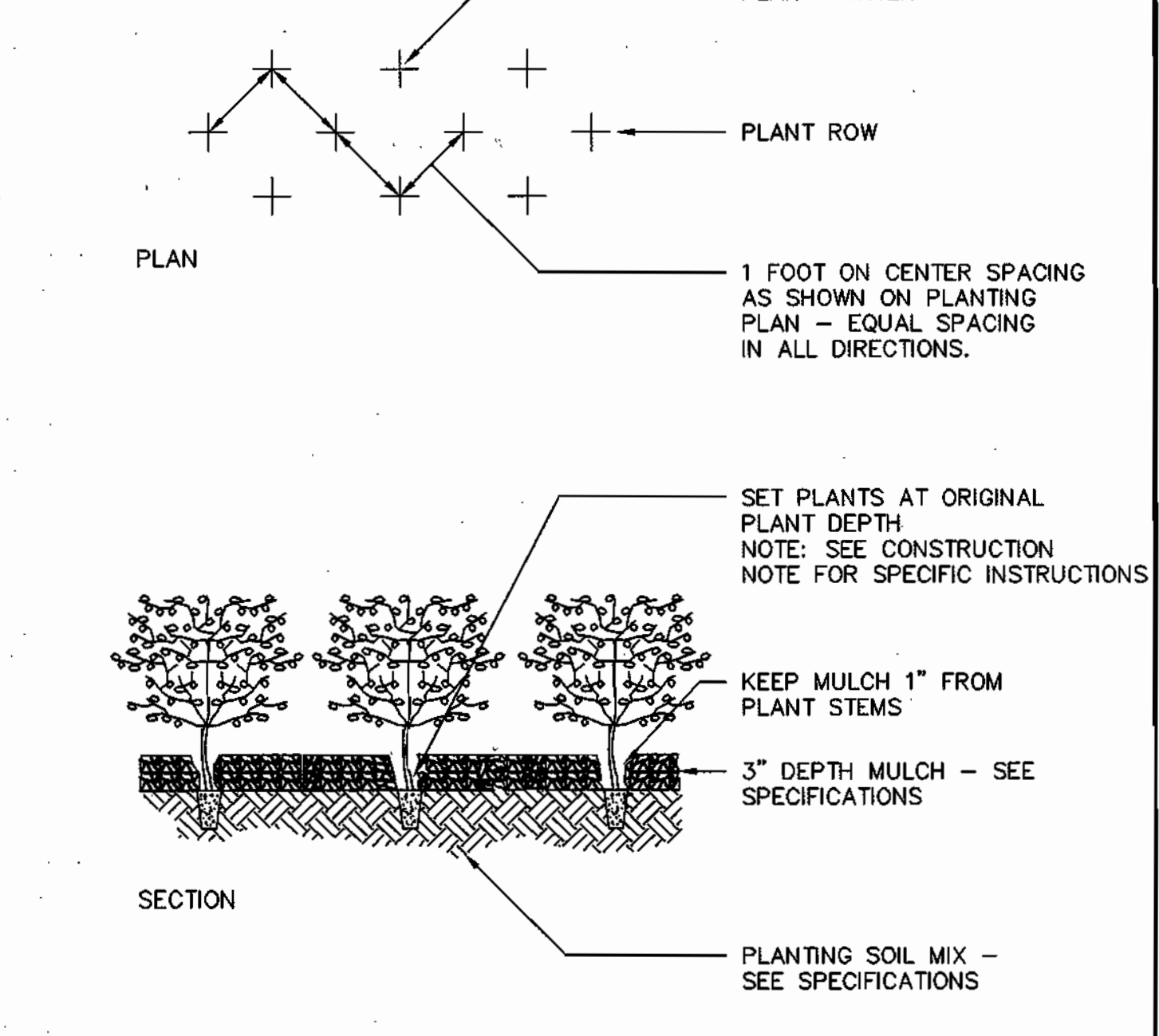
1 EVERGREEN PLANTING NOT TO SCALE



2 DECIDUOUS TREE PLANTING NOT TO SCALE



3 SHRUB PLANTING NOT TO SCALE



4 NATIVE GRASS / WILDFLOWER PLUGS NOT TO SCALE

NOTE :
 THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. At the time of plant installation, all shrubs and trees as listed and approved hereafter, shall be of proper height requirement in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocation of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from the approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the applicable plans and certification".

- LANDSCAPE NOTES**
- ALL PLANT MATERIALS SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE HOWARD COUNTY LANDSCAPE MANUAL AND AMERICAN ASSOCIATION OF NURSERYMAN, INC. STANDARDS, LATEST EDITION.
 - ALL PLANTING PROCEDURES AND SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METROPOLITAN AREA" LATEST EDITION.
 - THE CONTRACTOR SHALL CONTACT "MISS UTILITY" FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE COMPLETION DATE.
 - ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR FOLLOWING THE INSTALLATION COMPLETION DATE.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS A PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$7,260.00.

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPE PLANTING SHOWN ON THIS PLAN WILL BE DONE IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME _____ DATE _____

PLANTING LEGEND

SHRUBS	
SMALL FLOWERING TREE	
MINOR DECIDUOUS TREE	
SHADE TREE	
EVERGREEN TREE	
EXISTING TREE/TREES	

(P2) DENOTES PERIMETER AREA ASSOCIATED WITH SPECIFIC PLANTING.

INSTALLATION, SURETY AND CERTIFICATION
 Installation Plant installation must conform to the minimum standards cited in the latest edition of the "Landscape Specification Guidelines" published by the Landscape Contractors Associations.

Surety for Landscape Installation Bonding or posting of other surety for required landscaping is mandatory. The bonding for required landscaping may be added to the Developer's Agreement for road and storm drain improvements or the Developer's Agreement for the site development plan.

If no bond or Developer's Agreement is required for a project that requires a landscape plan, the grading permit agreement and surety shall be modified to incorporate surety for the landscape requirements.

Release of surety will not be granted until all landscaping shown on the approved final plan or site development plan has been completed in accordance with the approved landscape plan. Surety for landscaping shall be based on the total number of required new trees (Shade, ornamental and evergreen) or comparable elements shown on the landscape plan. The unit prices to be used for establishing surety requirements shall be approved by the County Council. In the interim, until the Council has approved such unit prices, the value of each landscape tree, for the purposes of the Developer's Agreement cost estimate, shall be one hundred dollars (\$100.00). The value of as street tree for the purpose of the Developer's Agreement cost estimate shall be two hundred dollars (\$200.00). No surety is required for existing landscaping that is credited towards landscaping requirements. The cost estimate for fencing provided to meet the landscaping requirements shall be ten dollars (\$10.00) a linear foot and the value of walls shall be twenty dollars (\$20.00) a linear foot.

Certification
 To obtain a release of surety, a professional qualified to prepare a landscape plan must submit written certification to the Department of Planning and Zoning that healthy plant materials were properly installed in accordance with the approved landscape plan and that a one year guarantee has been executed. A copy of the guarantee must be included with the certification.

If the original landscape plan prepare is not able to provide the required certification, another qualified professional may be approved by the Department of planning and Zoning to submit the required certification.

Maintenance
 The developer is responsible for the maintenance of the landscaping during the construction and is responsible for obtaining a one year guarantee that ensures the survival or replacement of all required plant materials for one year from the date on the landscape certification.

At the end of the maintenance period, it is the developer's responsibility to transfer formally the long term responsibility for the required landscaping to the owner, tenant, homeowners association, or other agent responsible for long term maintenance of the development. Maintenance responsibilities include, but are not limited to, pruning, fertilizing, watering, weeding, mowing, and other such activities necessary to the health and survival of the landscaping. The required plantings should be maintained in good condition and, whenever necessary, replaced with new plant materials to ensure continued compliance with landscape regulation. In addition to the planting, berms or other land forms, fences and walls installed as part of the landscape requirements should be permanently maintained in good condition and, whenever necessary, repaired and replaced.

To ensure public safety, plant material should not be allowed to encroach on right-of-way and easements and impede motorists' vision of vehicular traffic.

SCHEDULE A - PERIMETER LANDSCAPE EDGE

Category	Adj. to Perimeter Properties (Loading) (P1)	Parking Lot Adj. to Roadway (P2)
Landscape Type	Type C	Type E
Linear Feet of Roadway Frontage/Perimeter	400'	305'
Credit for Ex. Vegetation (Yes, No, Linear Foot) (Describe below if needed)	YES Entire length of loading perimeter is screened adequately by existing tree-line.	NO
Number of Plants Required		
Shade Trees	10 - not applicable	8
Evergreen Trees	20 - not applicable	0
Shrubs	0	77
Number of Plants Provided		
Shade Trees	0	3
Evergreen Trees	0	0
Other Trees (2:1 sub.)	0	10
Shrubs (10:1 sub.)	34 - To soften edge between paving and tree-line.	81

** NOTE: PERIMETERS TO THE NORTHEAST AND SOUTHWEST DO NOT REQUIRE SCREENING B/C THESE AREAS ARE EITHER PART OF THE SAME PARCEL OR SUBDIVISION.

** NOTE: SUBSTITUTIONS OF ACCENT TREES FOR SHADE TREES WERE REQUIRED BECAUSE OF SPACE CONSTRAINTS.

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces Proposed	27
Number of Trees Required	2
Number of Trees Provided	
Shade Trees	9
Other Trees (2:1 substitution)	44
Number of Parking Spaces Proposed	27
Number of Islands Required	2
Number of Islands Provided	3

STREET TREES REQUIRED
 THERE ARE NO STREET TREES REQUIRED FOR THIS PLAN.
 - (3) EXISTING TREES AND A FEW SHRUBS (no value) ARE BEING REMOVED.
 - NO REPLACEMENTS ARE REQUIRED (adequate existing and proposed landscaping reside in this area)

SCHEDULE D - STORMWATER MANAGEMENT AREA LANDSCAPING (SMA)

Linear Feet of Perimeter	180
Number of Trees Required	
Shade Trees	4
Evergreen Trees	5
Credit for Existing Vegetation (No, Yes and %)	NO
Credit for Other Landscaping (No, Yes and %)	YES
Number of Trees Provided	
Shade Trees	9
Evergreen Trees	0
Other Trees (2:1 substitution)	0

** NOTE: BIORETENTION PLANTING IS USED AS CREDIT FOR THE REQUIRED EVERGREEN TREES.

OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

LANDSCAPE DETAILS & NOTES

PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-6.2
GRID NO.: 24	
PARCEL NO.: NS1 355	

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE (MIN.)	ROOT	REMARKS
MAJOR	ZS	9	ZELKOVA SERRATA / JAPANESE ZELKOVA	2 1/2" - 3" CAL.	B&B
MINOR	CC	9	CERCIS CANADENSIS / REDBUD	6-8"	B&B
FLOWERING	CK	8	CORNUS KOUSA / ORIENTAL DOGWOOD	6-8"	B&B
EVERGREEN	PN	9	PINUS NIGRA / AUSTRIAN PINE	5-6"	B&B
	TO	18	THUJA OCCIDENTALIS 'NIGRA' / DARK AMERICAN ARBORVITAE	5-6"	B&B
SHRUBS	EA	81	EUONYMUS ALATUS 'COMPACTA' / DWARF WINGED EUONYMUS	24-30"	CONT.
PERENNIAL	CA	20	CALAMAGROSTIS ACUTIFLORA STRICTA / FEATHER REED GRASS	18-24"	CONT. 3' OC
	DG	18	DEUTZIA GRACILIS 'NANA' / DEUTZIA	15-18"	CONT. 2' OC
GROUNDCOVER	LM	275	LIRIOPE MUSCARI / BIG BLUE LILYTURF	1 QUART	CONT. 12" OC

BIORETENTION PLANT LIST

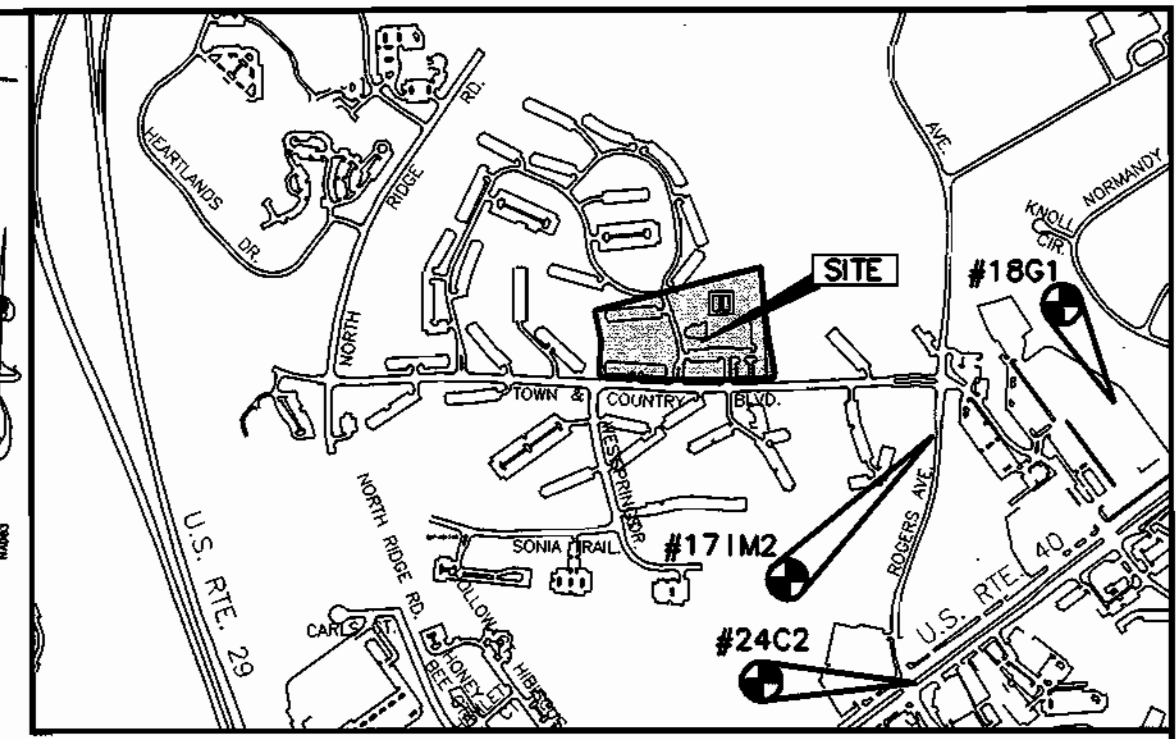
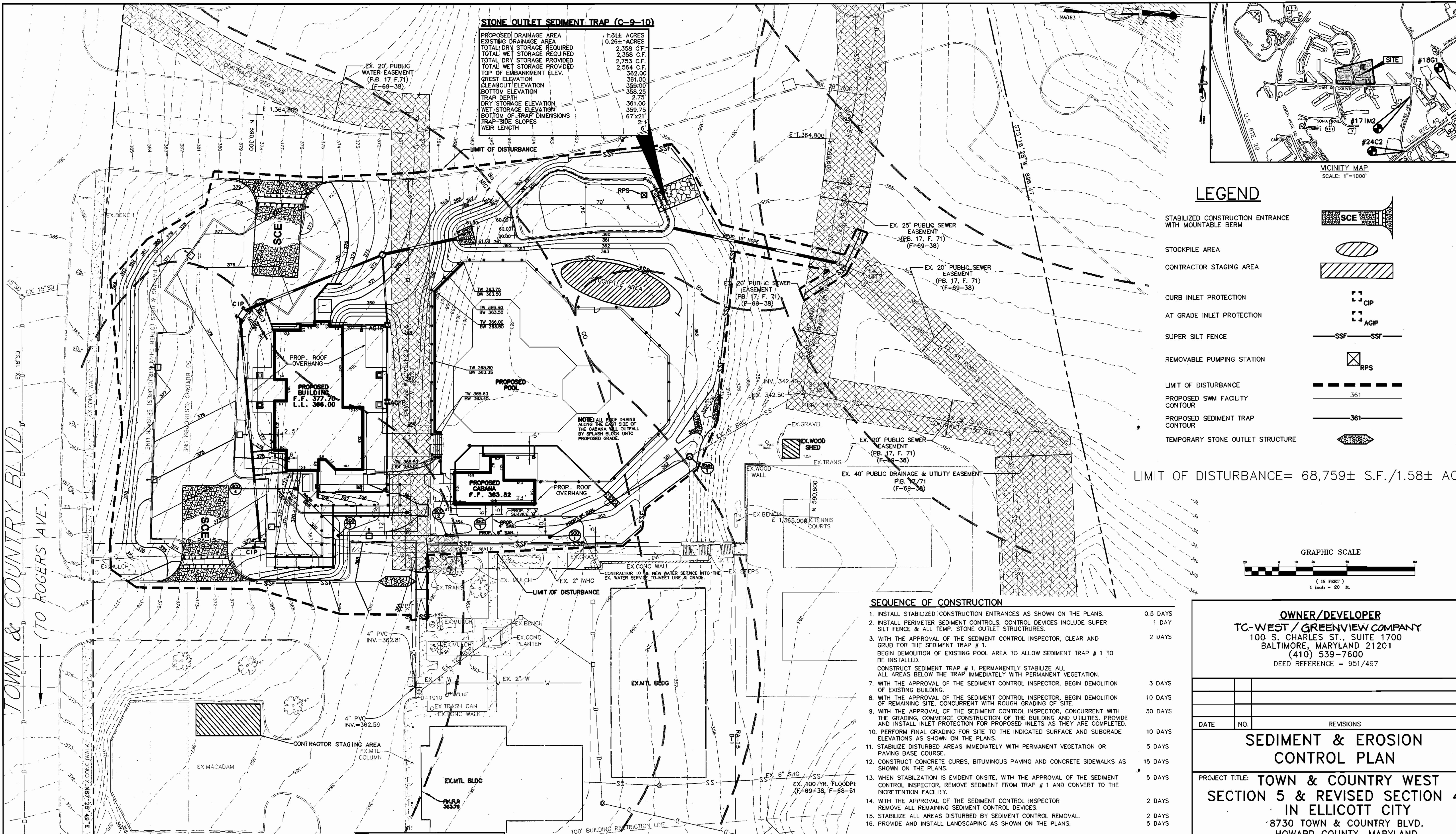
KEY	QUANTITY	BOTANICAL NAME/COMMON NAME	SIZE	ROOT	REMARKS
MAJOR	SN	3	SALIX NIGRA / BLACK WILLOW	2-2 1/2" CAL.	B&B
	AR	6	ACER RUBRUM / RED MAPLE	2-2 1/2" CAL.	B&B
SHRUBS	LB	14	LINDERA BENZOIN / SPICEBUSH	24-30"	CONT.
	AP	21	AESCLUS PARVIFLORA / BOTTLEBRUSH BUCKEYE	24-30"	CONT.
PERENNIAL	PV	350	PANICUM VIRGATUM / SWITCHGRASS	1 GAL.	CONT. 18-24" OC
	DS	350	DICHANTHELIUM SCOPARIUM / BROOM PANIC GRASS	1 GAL.	CONT. 18-24" OC

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 8/1/03
 Chief, Division of Land Development Date: 8/1/03
 Director Date: 8/1/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department Date: 8/18/03

STONE OUTLET SEDIMENT TRAP (C-9-10)

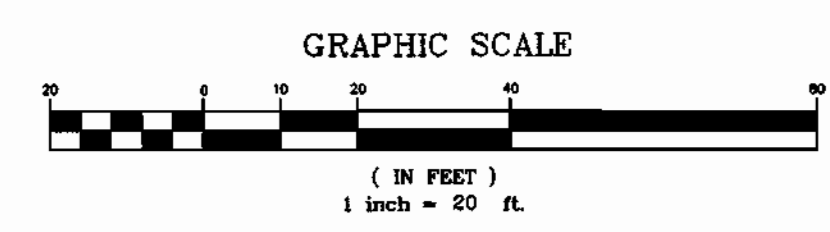
PROPOSED DRAINAGE AREA	1.31± ACRES
EXISTING DRAINAGE AREA	0.26± ACRES
TOTAL DRY STORAGE REQUIRED	2,358 C.F.
TOTAL WET STORAGE REQUIRED	2,753 C.F.
TOTAL DRY STORAGE PROVIDED	2,564 C.F.
TOTAL WET STORAGE PROVIDED	2,564 C.F.
TOP OF EMBANKMENT ELEV.	362.00
GREST ELEVATION	361.00
CLEANOUT ELEVATION	359.00
BOTTOM ELEVATION	358.25
TRAP DEPTH	2.75'
DRY STORAGE ELEVATION	361.00
WET STORAGE ELEVATION	359.75
BOTTOM OF TRAP DIMENSIONS	67'x21'
TRAP SIDE SLOPES	2:1
WEIR LENGTH	6'



LEGEND

- STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM
- STOCKPILE AREA
- CONTRACTOR STAGING AREA
- CURB INLET PROTECTION
- AT GRADE INLET PROTECTION
- SUPER SILT FENCE
- REMOVABLE PUMPING STATION
- LIMIT OF DISTURBANCE
- PROPOSED SWM FACILITY CONTOUR
- PROPOSED SEDIMENT TRAP CONTOUR
- TEMPORARY STONE OUTLET STRUCTURE

LIMIT OF DISTURBANCE = 68,759± S.F./1.58± AC.



SEQUENCE OF CONSTRUCTION

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS. 0.5 DAYS
2. INSTALL PERIMETER SEDIMENT CONTROLS. CONTROL DEVICES INCLUDE SUPER SILT FENCE & ALL TEMP. STONE OULET STRUCTURES. 1 DAY
3. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB FOR THE SEDIMENT TRAP # 1. 2 DAYS
4. BEGIN DEMOLITION OF EXISTING POOL AREA TO ALLOW SEDIMENT TRAP # 1 TO BE INSTALLED.
5. CONSTRUCT SEDIMENT TRAP # 1. PERMANENTLY STABILIZE ALL AREAS BELOW THE TRAP IMMEDIATELY WITH PERMANENT VEGETATION.
6. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, BEGIN DEMOLITION OF EXISTING BUILDING. 3 DAYS
7. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, BEGIN DEMOLITION OF REMAINING SITE, CONCURRENT WITH ROUGH GRADING OF SITE. 10 DAYS
8. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CONCURRENT WITH THE GRADING, COMMENCE CONSTRUCTION OF THE BUILDING AND UTILITIES. PROVIDE AND INSTALL INLET PROTECTION FOR PROPOSED INLETS AS THEY ARE COMPLETED. 30 DAYS
9. PERFORM FINAL GRADING FOR SITE TO THE INDICATED SURFACE AND SUBGRADE ELEVATIONS AS SHOWN ON THE PLANS. 10 DAYS
10. STABILIZE DISTURBED AREAS IMMEDIATELY WITH PERMANENT VEGETATION OR PAVING BASE COURSE. 5 DAYS
11. CONSTRUCT CONCRETE CURBS, BITUMINOUS PAVING AND CONCRETE SIDEWALKS AS SHOWN ON THE PLANS. 15 DAYS
12. WHEN STABILIZATION IS EVIDENT ONSITE, WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT FROM TRAP # 1 AND CONVERT TO THE BIORETENTION FACILITY. 5 DAYS
13. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES. 2 DAYS
14. STABILIZE ALL AREAS DISTURBED BY SEDIMENT CONTROL REMOVAL. 2 DAYS
15. PROVIDE AND INSTALL LANDSCAPING AS SHOWN ON THE PLANS. 5 DAYS

APPROVED: *[Signature]* DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 8/14/03
 Chief, Division of Land Development Date: 8/14/03
 Director Date: 8/14/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature]
 County Health Officer Date: 8/14/03
 Howard County Health Department

Reviewed for Howard SCD and meets Technical Requirements
[Signature] 7/29/03
 USA - Natural Resources Conservation Service
[Signature] 7/29/03
 Howard SCD

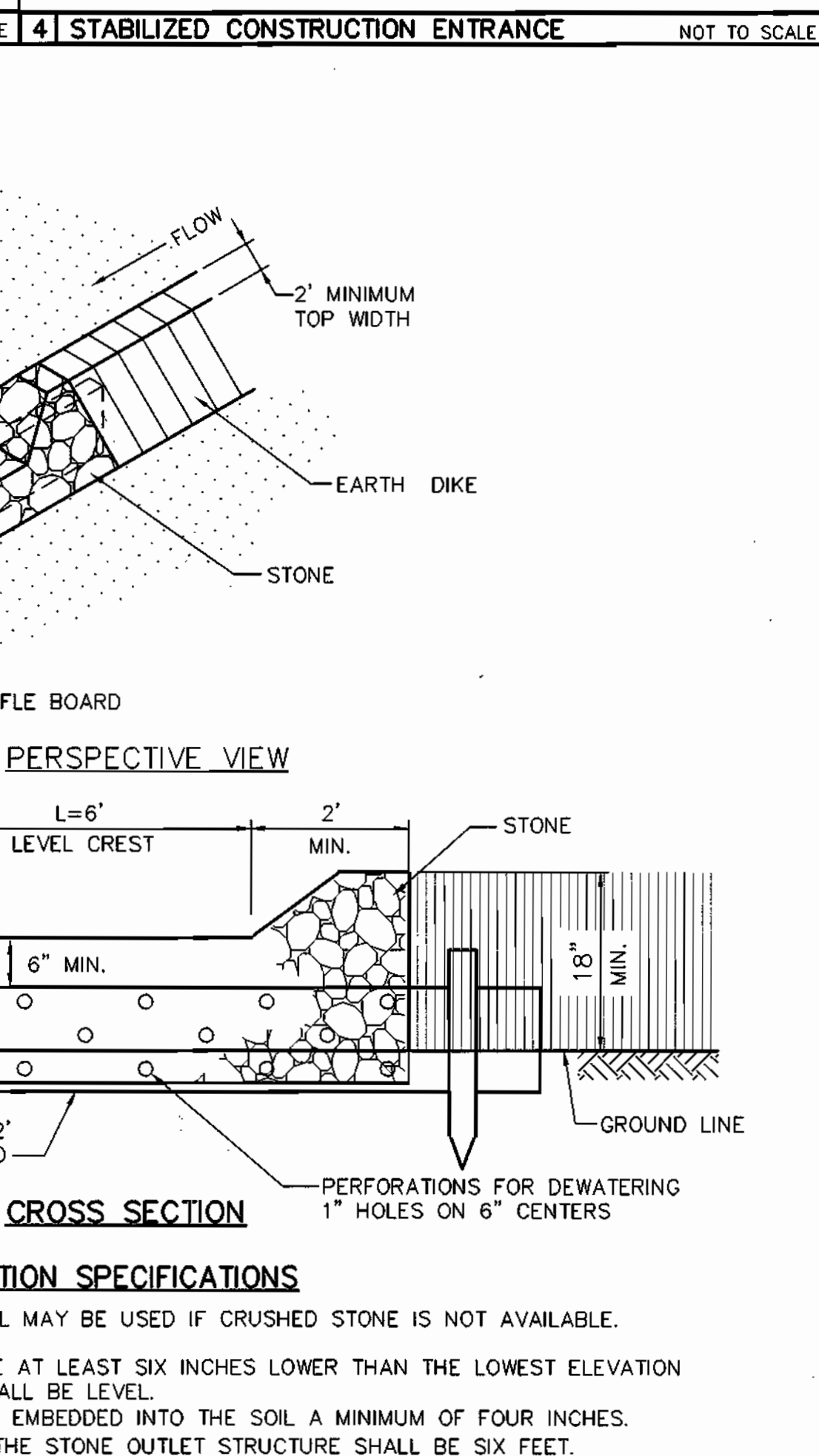
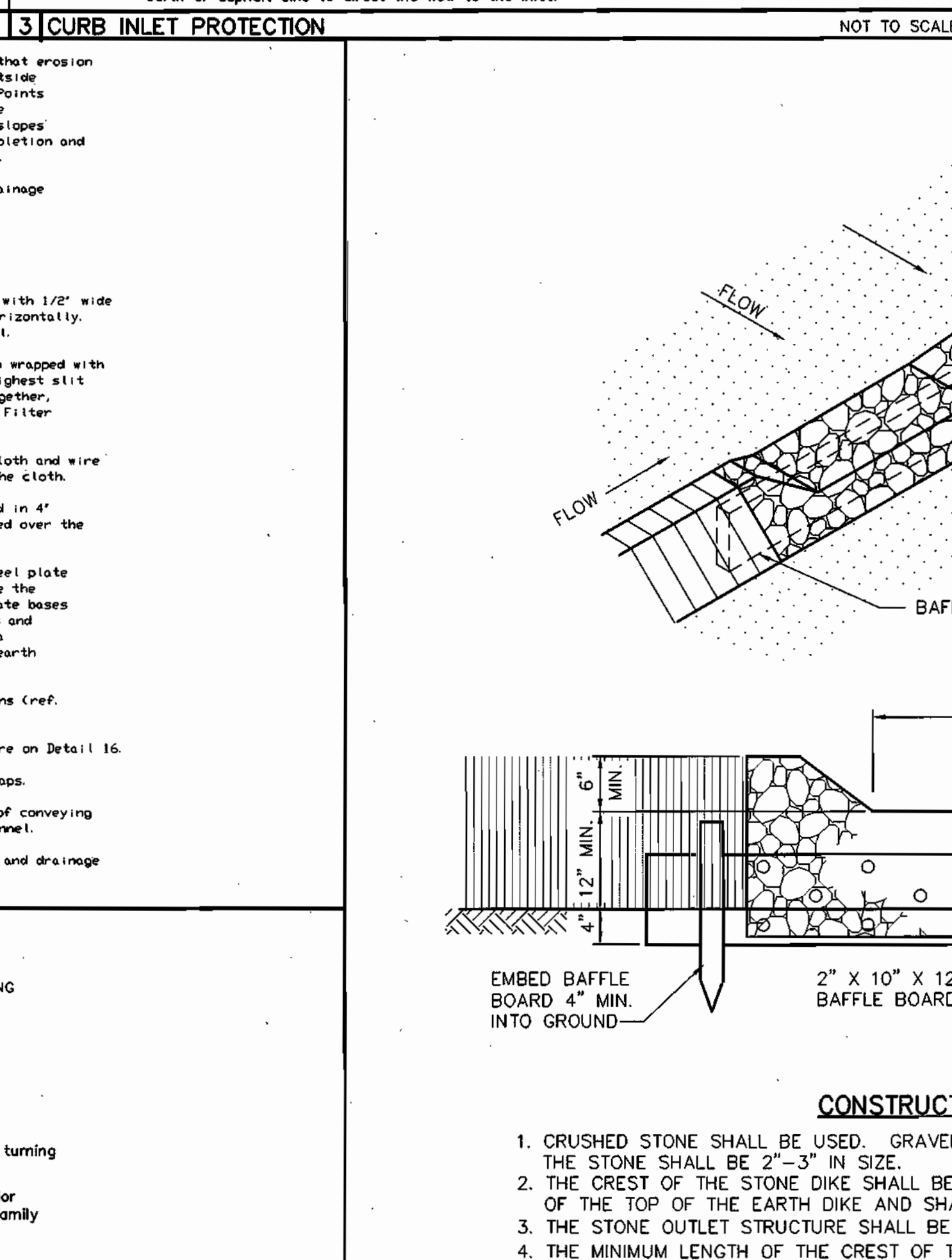
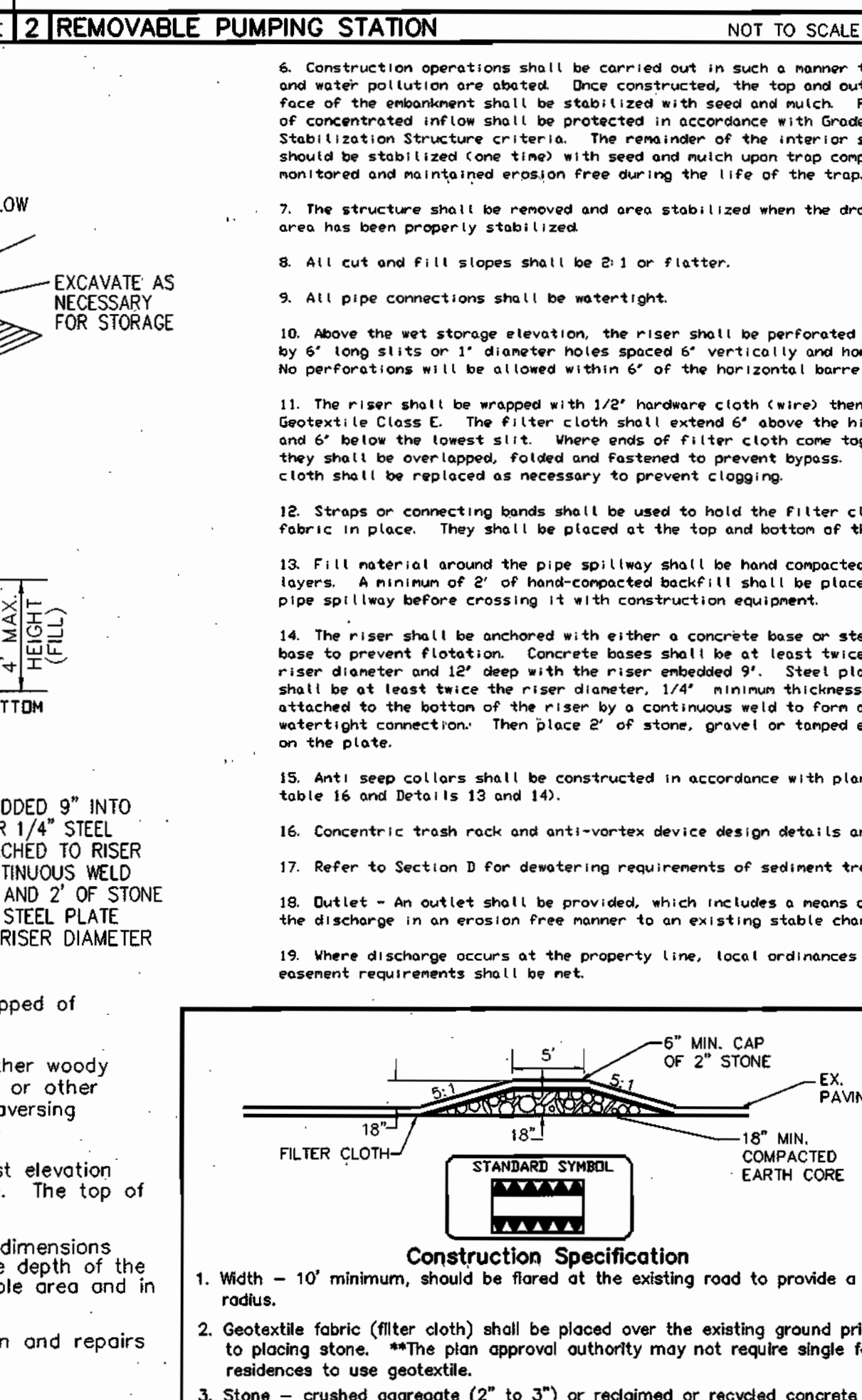
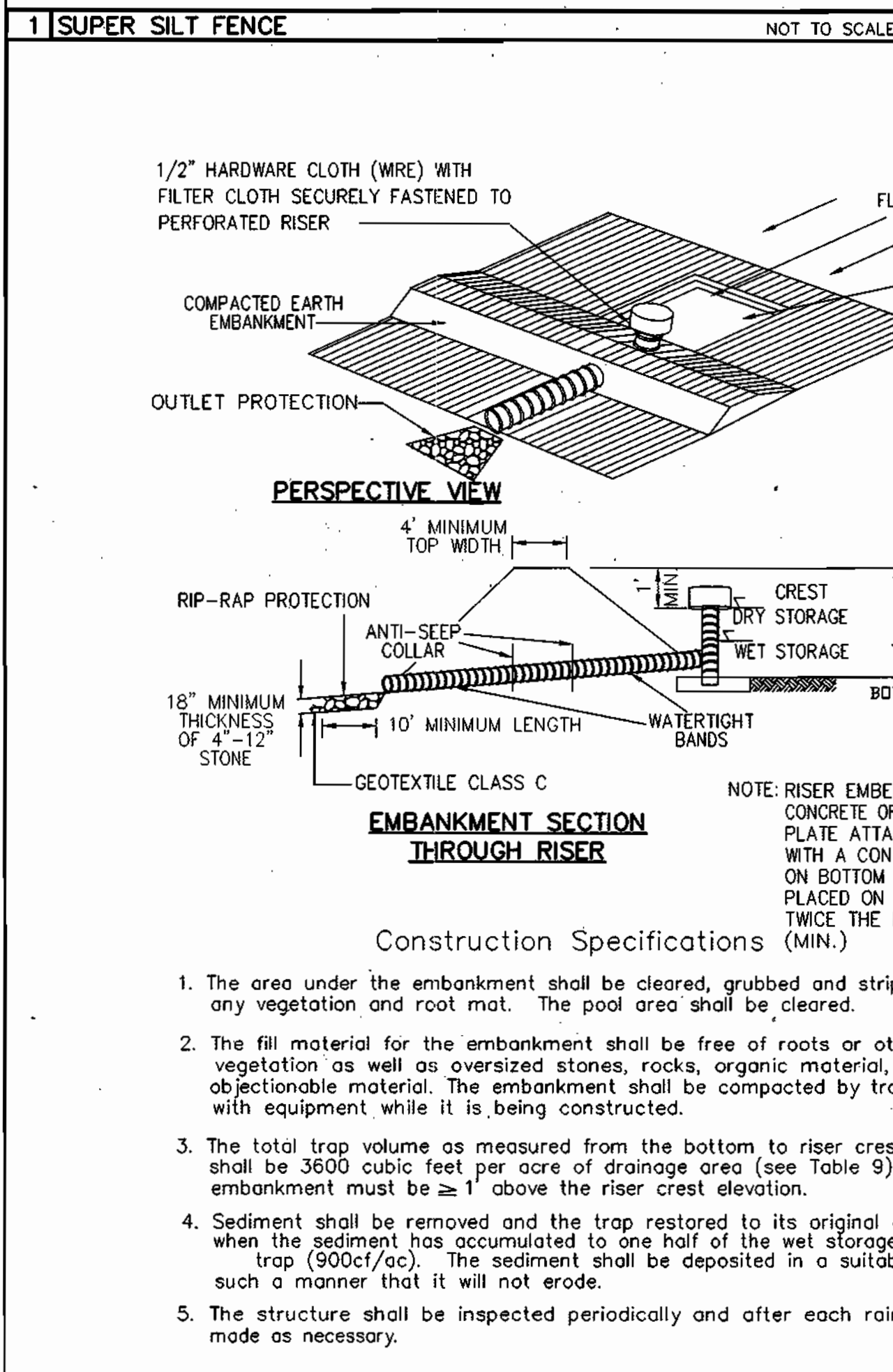
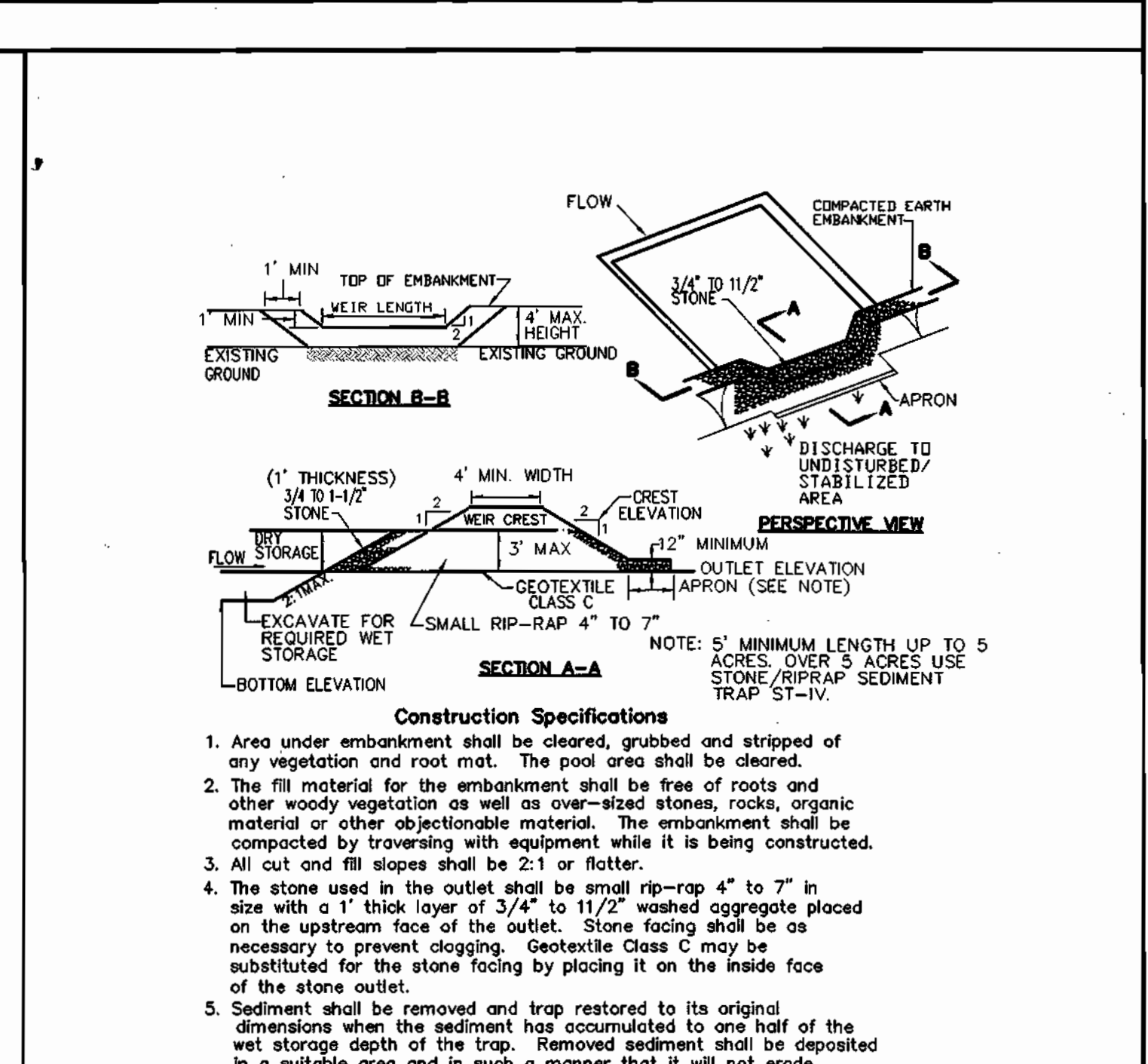
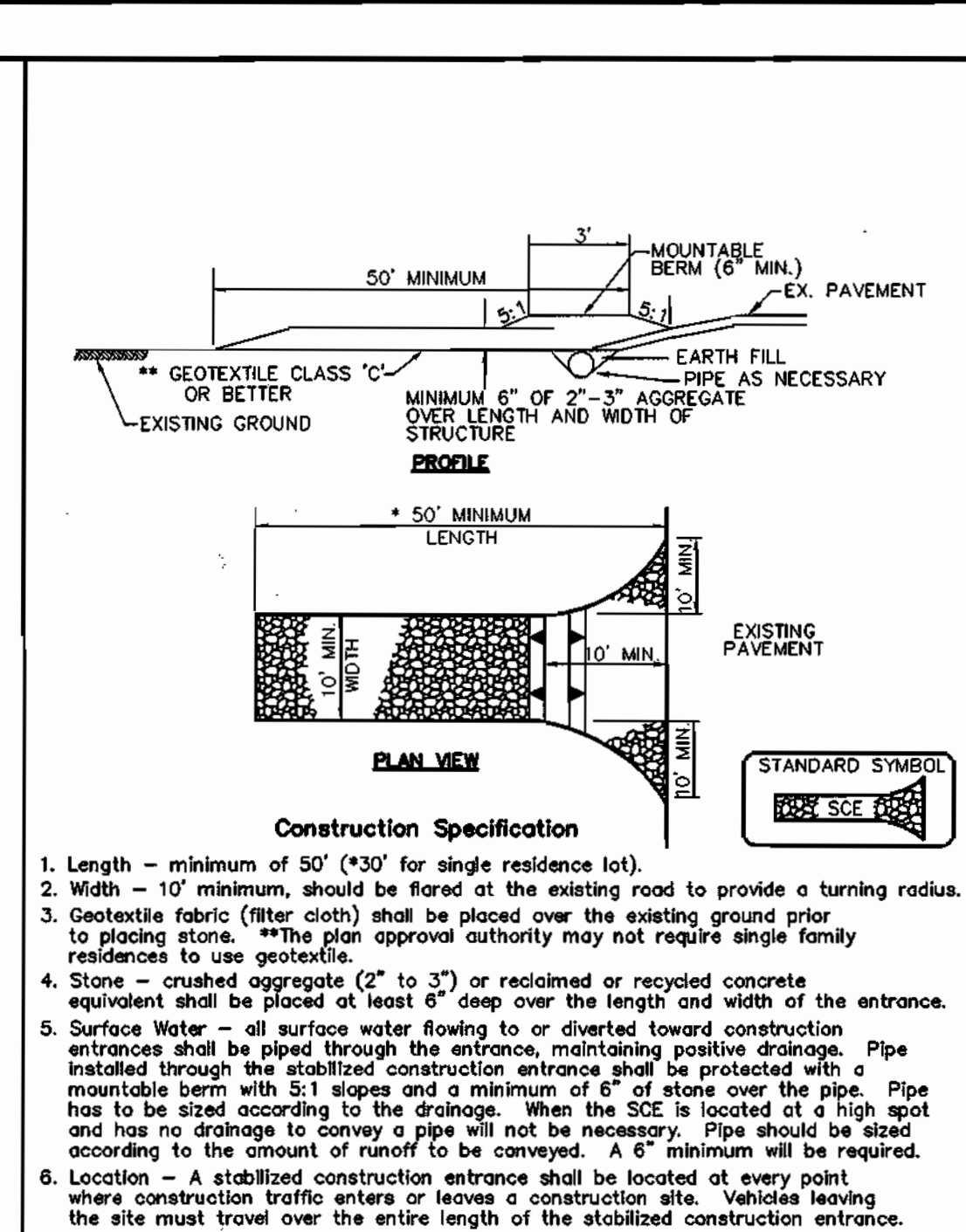
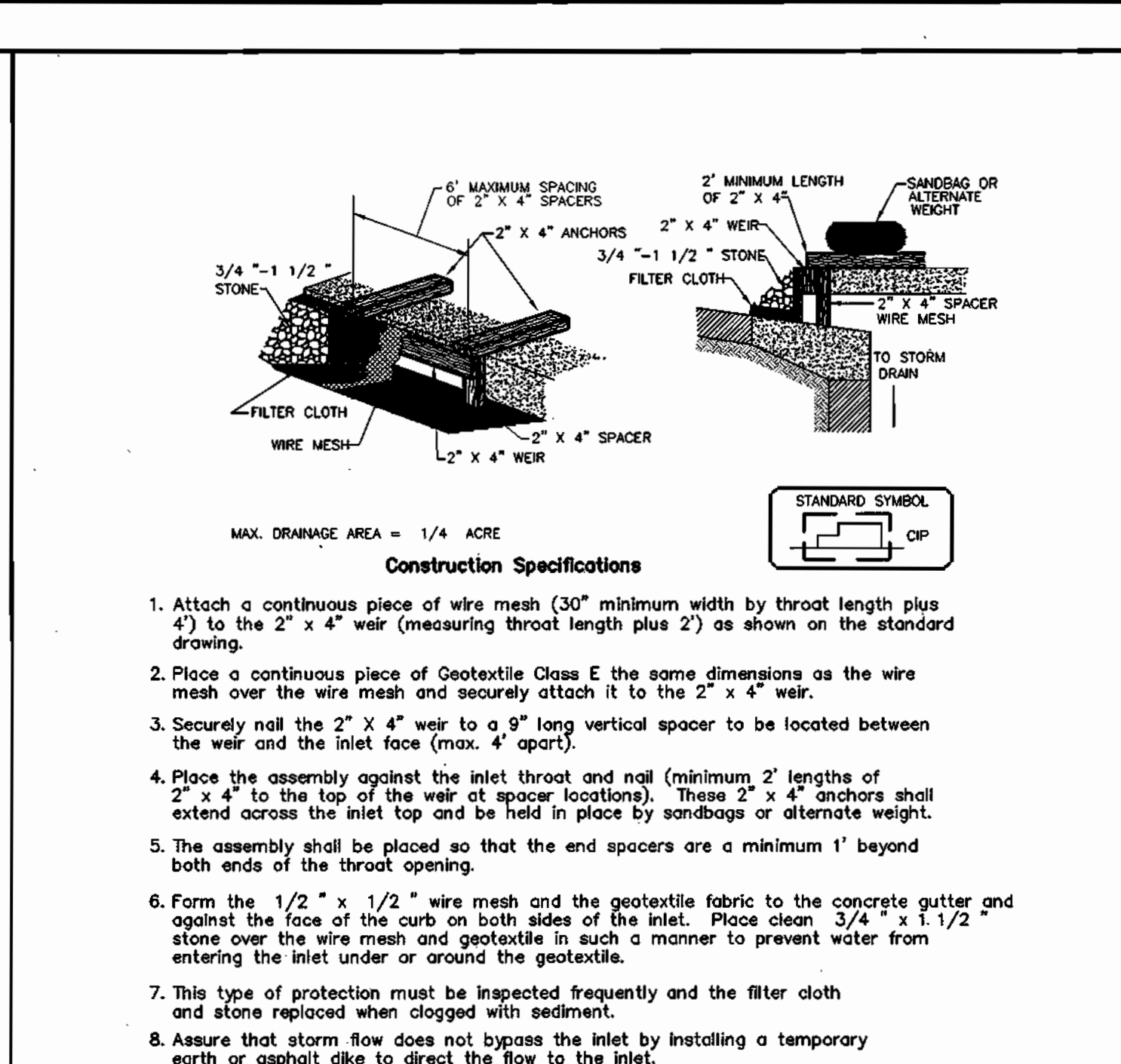
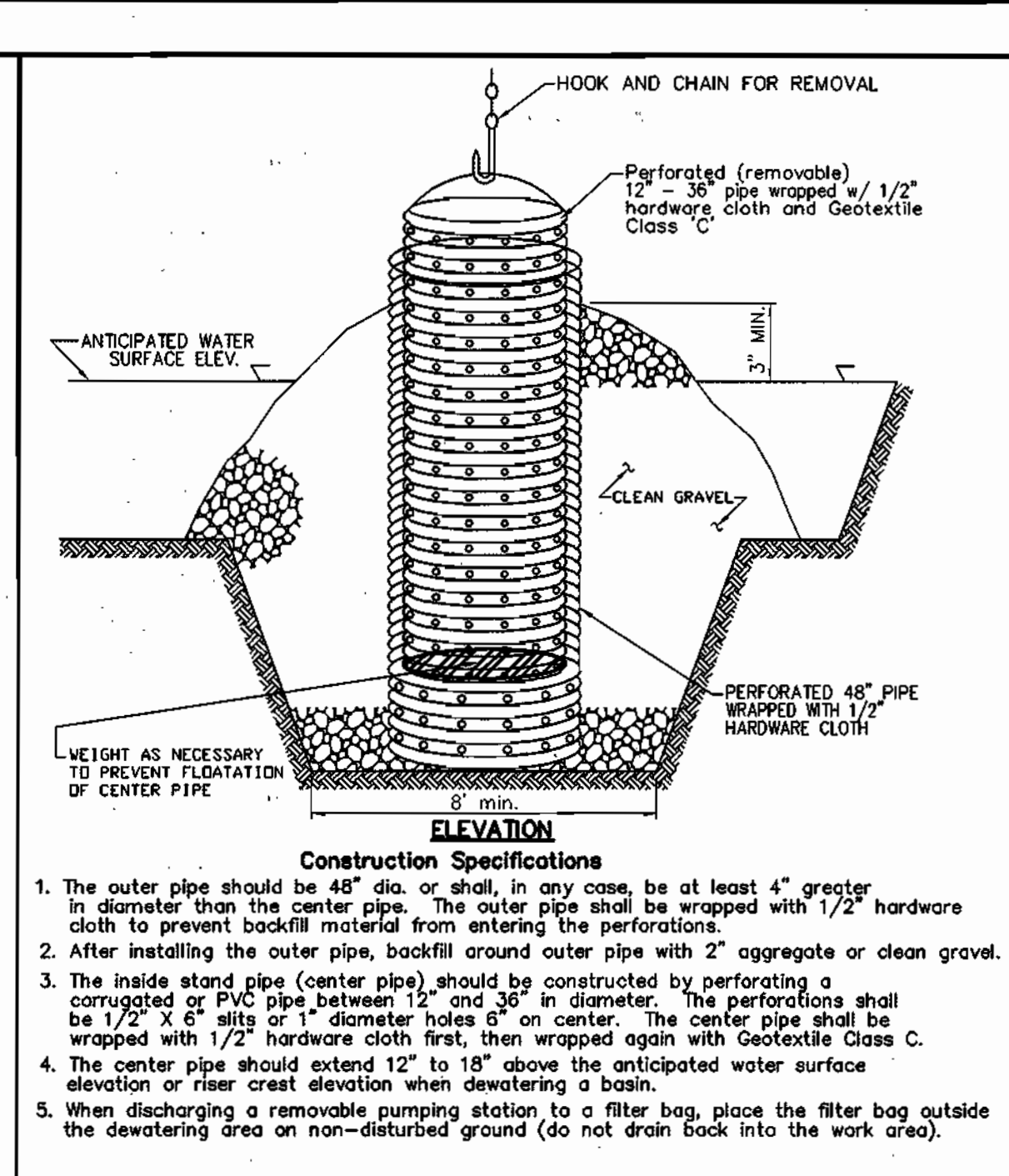
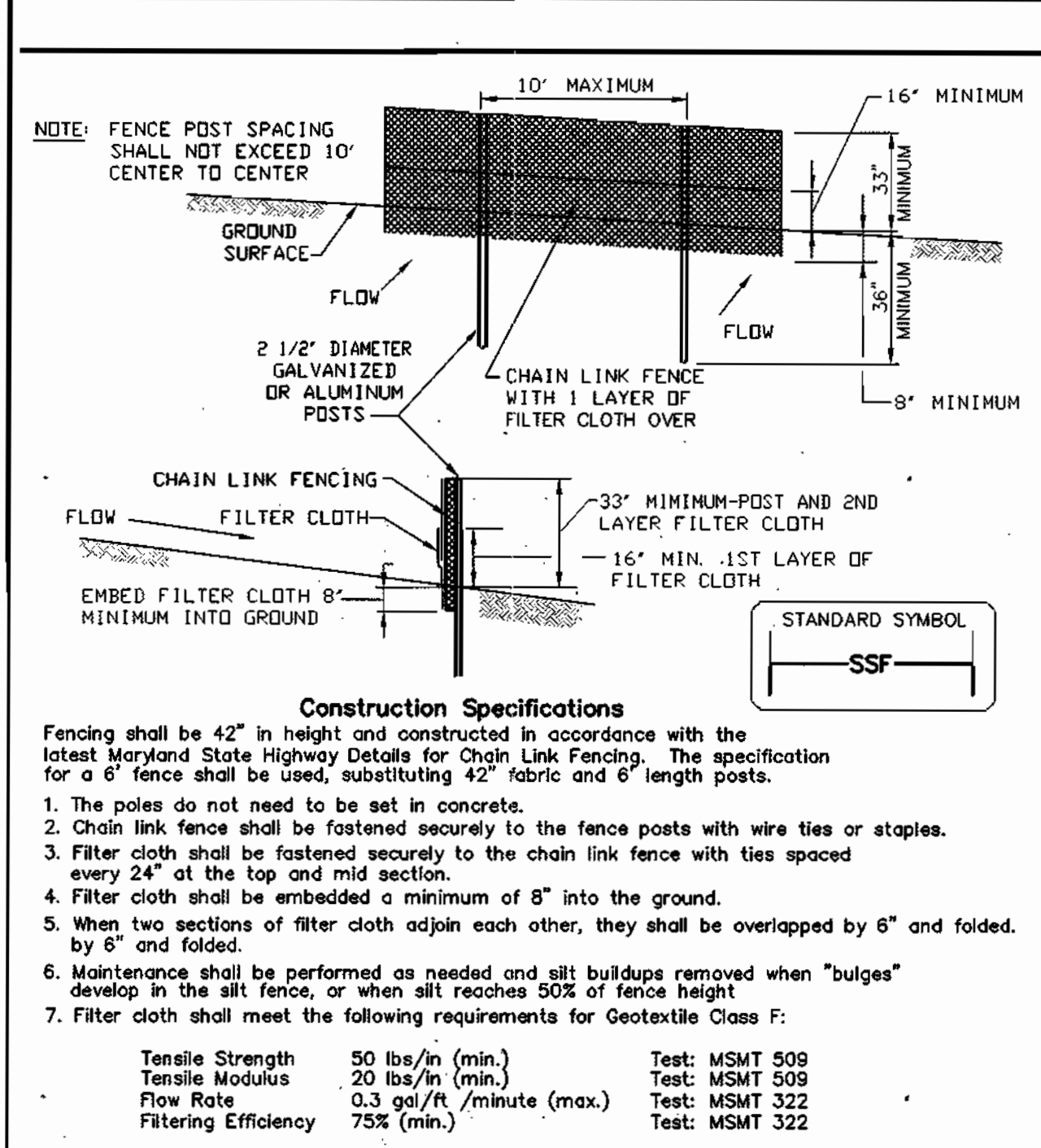
ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
[Signature] 4/9/03 #12908
 Signature (print name below signature) Date
 William T. Baker, Jr.
 DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize a third-party on-site inspection by the Howard Soil Conservation District.
[Signature] 8/14/03
 Signature (print name below signature) Date
 Mark Simmons

OWNER/DEVELOPER
 TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

SEDIMENT & EROSION CONTROL PLAN

PROJECT TITLE: TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS:	Consulting Engineers 849 Fairmount Avenue (410) 512-4500 Baltimore, Maryland 21286 (410) 324-4100 (FAX) WHITNEY, BAILEY, COX & MAGNANI, LLC	
DESIGNED:	D.J.J.	ELECTION DIST.: 2
DRAWN:	S.J.D.	CENSUS TRACT #: 6026.00
CHECKED:	P.J.C.	WATER CODE: F-03
DATE:	4/2/03	SEWER CODE: 1453800
SCALE:	AS SHOWN	DRAWING NO:
MAP NO.:	17	C-7.1
GRID NO.:	24	
PARCEL NO.:	TS 355	S.C. 1 OF 3 SHEET 13 OF 17



OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

SEDIMENT & EROSION CONTROL DETAILS

PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: **WHITNEY, BAILEY, COX & MAGNANI, LLC**
 Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: D.J.J. ELECTION DIST.: 2
 DRAWN: S.J.D. CENSUS TRACT #: 6026.00
 CHECKED: P.J.C. WATER CODE: F-03
 DATE: 4/2/03 SEWER CODE: 1453800
 SCALE: AS SHOWN DRAWING NO:
 MAP NO.: 17
 GRID NO.: 24
 PARCEL NO.: 151 355
 C-7.2
 S.C. 2 OF 3
 SHEET 14 OF 17

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 6/10/03
 Chief, Division of Land Development Date: 6/10/03
 Director Date: 6/10/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 6/10/03
 Howard County Health Department

9 MOUNTABLE BERM NOT TO SCALE

Reviewed for Howard SCD and meets Technical Requirements
 Jim Meyer 7/29/03
 John K. Robertson 7/29/03

7 STONE OUTLET STRUCTURE NOT TO SCALE

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 William T. Balcer, Jr. 4/3/03 #12908
 Date

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project.
 Mark Simmons 8/2/03
 Date

8 AT GRADE INLET PROTECTION NOT TO SCALE

DATE NO. REVISIONS

6 PIPE OUTLET SEDIMENT TRAP - ST I NOT TO SCALE

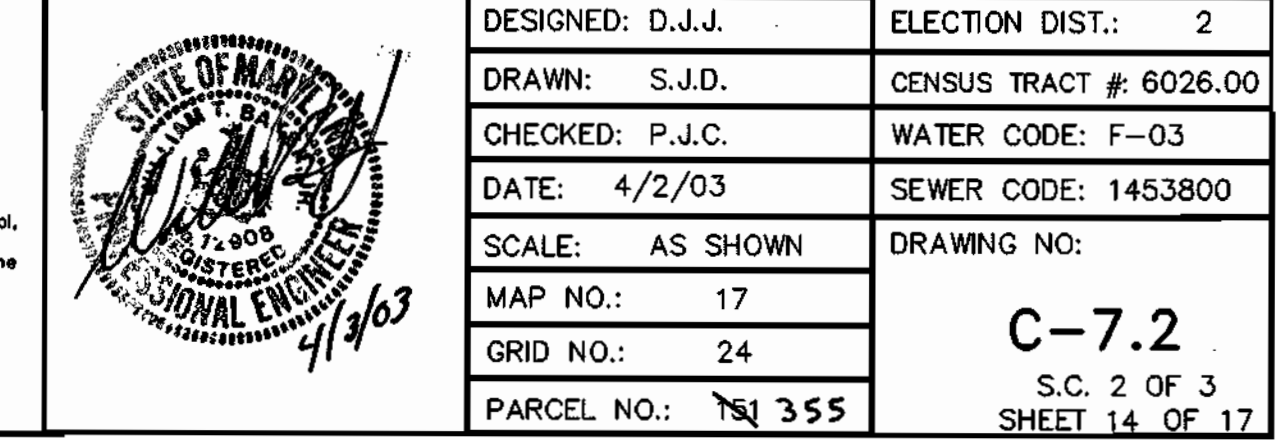
6 STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

5 STONE OUTLET TRAP ST-II NOT TO SCALE

4 CURB INLET PROTECTION NOT TO SCALE

3 REMOVABLE PUMPING STATION NOT TO SCALE

2 SUPER SILT FENCE NOT TO SCALE



SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS

- A. SITE PREPARATION
I. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES...
II. PERFORM ALL GRADING OPERATIONS AT RIGHT ANGLES TO THE SLOPE...
III. SCHEDULE REQUIRED SOIL TESTS TO DETERMINE SOIL AMENDMENT...
B. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)
I. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS...
II. FERTILIZERS SHALL BE UNIFORM IN COMPOSITION, FREE FLOWING...
III. LIME MATERIALS SHALL BE GROUND LIME...
IV. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3-5" OF SOIL...
C. SEEDBED PREPARATION
I. TEMPORARY SEEDING
II. PERMANENT SEEDING
III. SOD MAINTENANCE
D. SEED SPECIFICATIONS
I. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW...
II. INOCULANT - THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES SHALL BE A PURE CULTURE OF NITROGEN-FIXING BACTERIA...

SECTION IV - SOD TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER)

- A. GENERAL SPECIFICATIONS
I. CLASS OF TURFGRASS SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED OR APPROVED...
II. SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4" PLUS OR MINUS 1/4"...
III. STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT...
IV. SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL...
V. SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS...
B. SOD INSTALLATION
I. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL...
II. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER...
III. WHEREVER POSSIBLE, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR...
C. SOD MAINTENANCE
I. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK...
II. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT...
III. THE FIRST MOWING OF SOD SHOULD NOT BE ATTEMPTED UNTIL THE FINAL SOD IS FIRMLY ROOTED...

TOPSOILING SPECIFICATIONS

- SECTION I - SITE PREPARATION (WHERE TOPSOIL IS TO BE ADDED)
A. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES...
B. GRADING: GRADES ON THE AREAS TO BE TOPSOILED WHICH HAVE BEEN PREVIOUSLY ESTABLISHED SHALL BE MAINTAINED...
C. LIMING: WHERE THE SUBSOIL IS EITHER HIGHLY ACID OR COMPOSED OF HEAVY CLAYS...
D. TILLING: AFTER THE AREAS TO BE TOPSOILED HAVE BEEN BROUGHT TO GRADE...
SECTION II - TOPSOIL MATERIAL AND APPLICATION
NOTE: TOPSOIL SALVAGED FROM THE EXISTING SITE MAY OFTEN BE USED BUT IT SHOULD MEET THE SAME STANDARDS AS SET FORTH IN THESE SPECIFICATIONS...
A. MATERIALS: TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND OR OTHER SOIL AS APPROVED...
B. GRADING: THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED AND COMPACTED TO A MINIMUM OF FOUR (4) INCHES...
C. COMPOSTED SLUDGE MATERIAL: COMPOSTED SLUDGE FOR USE AS A SOIL AMENDMENT OR CONDITIONER SHALL CONFORM TO THE FOLLOWING REQUIREMENTS...
REFERENCES
1. GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1973.

DUST CONTROL

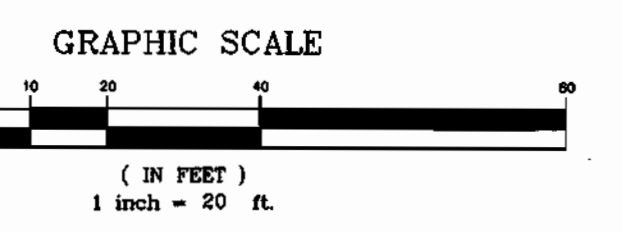
- Definition: Controlling dust blowing and movement on construction sites and roads.
Purpose: To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.
Conditions Where Practice Applies: This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.
Specifications
Temporary Methods:
1. Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.
2. Vegetative Cover - See standards for temporary vegetative cover.
3. Tillage - To roughen surface and bring clods to the surface...
4. Irrigation - This is generally done as an emergency treatment...
5. Barriers - Solid board fences, silt fences, snow fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing...
6. Calcium Chloride - Apply at rates that will keep surface moist. May need retreatment.
Permanent Method:
1. Permanent Vegetation - See standards for permanent vegetative cover...
2. Topsoiling - Covering with less erosive soil materials...
3. Stone - Cover surface with crushed stone or coarse gravel.
References:
1. Agricultural Handbook 345. Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
2. Agriculture Information Bulletin 354. How to Control Wind Erosion, USDA-ARS.

TEMPORARY SEEDING SUMMARY - TABLE 26

Table with columns: SEED MIXTURE (HARDINESS ZONE 7A), FERTILIZER RATE, LIME RATE. Rows include RYE and RYE PLUS FOXTAIL MILLET.

PERMANENT SEEDING SUMMARY - TABLE 25

Table with columns: SEED MIXTURE (HARDINESS ZONE 7A), FERTILIZER RATE, LIME RATE. Rows include TALL FESCUE, PERENNIAL BLUEGRASS, REDTOP, and BIRDSFOOT TREEFOOT.



SECTION V - TURFGRASS ESTABLISHMENT

- AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE...
NOTE: CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY...
A. TURFGRASS MIXTURES
I. KENTUCKY BLUEGRASS - FULL SUN MIXTURE - FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT...
II. TALL FESCUE/KENTUCKY BLUEGRASS - FULL SUN MIXTURE - FOR USE IN DROUGHT PRONE AREAS...
III. KENTUCKY BLUEGRASS/PERENNIAL RYE - FULL SUN MIXTURE - FOR USE IN FULL SUN AREAS...
IV. KENTUCKY BLUEGRASS/FINE FESCUE - SHADE MIXTURE - FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS...
NOTE: TURFGRASS VARIETIES SHOULD BE SELECTED FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MIMCO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND."

STANDARD SEDIMENT CONTROL NOTES

- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits...
2. All vegetative and structural practices are to be installed according to the provisions of this plan...
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within 7 calendar days...
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter...
5. All disturbed areas must be stabilized within the time period specified above...
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

SECTION II: TEMPORARY SEEDING

VEGETATION - ANNUAL GRASS OR GRAIN USED TO PROVIDE COVER ON DISTURBED AREAS FOR UP TO TWELVE MONTHS. FOR LONGER DURATION OF VEGETATIVE COVER, PERMANENT

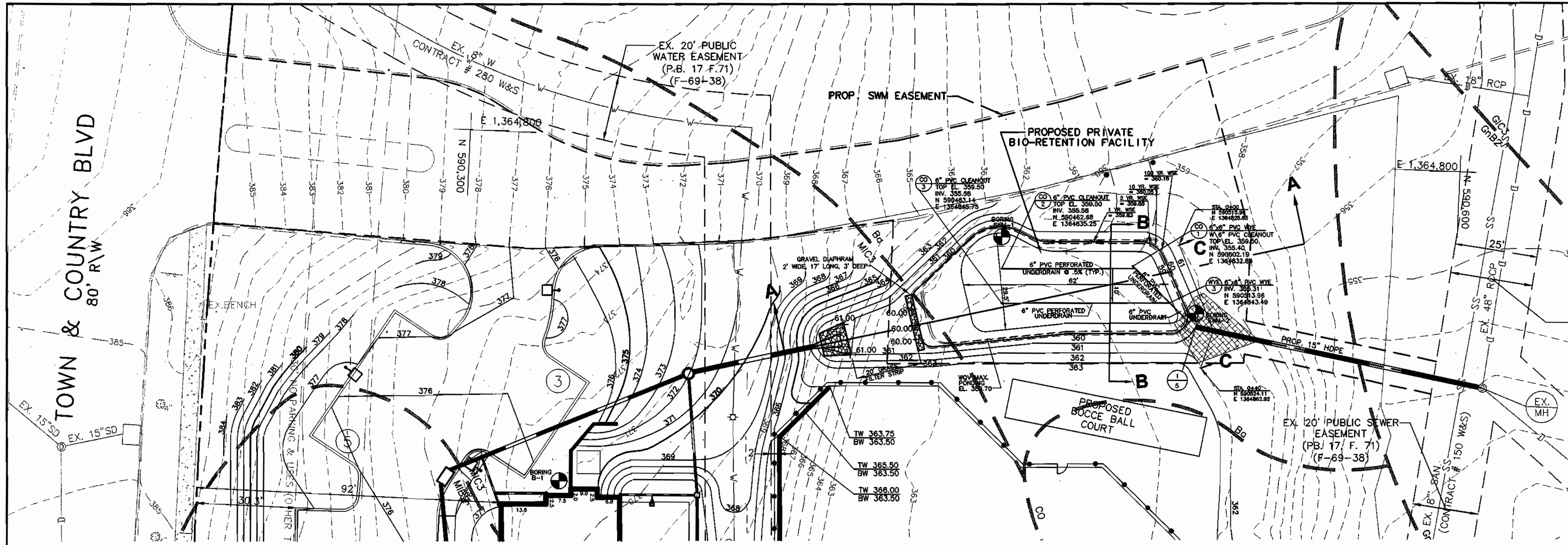
- B. IDEAL TIMES OF SEEDING
WESTERN MARYLAND: MARCH 15 - JUNE 1; AUGUST 1 - OCTOBER 1
CENTRAL MARYLAND: MARCH 1 - MAY 15; AUGUST 15 - OCTOBER 15
SOUTHERN MARYLAND, EASTERN SHORE: MARCH 1 - MAY 15, AUGUST 15 - OCTOBER 15
C. IRRIGATION
IF SOIL MIXTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH...
D. REPAIRS AND MAINTENANCE
INSPECT ALL SEEDING AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON.

- INSPECT ALL SEEDING AREAS FOR FAILURES AND MAKE NECESSARY REPAIRS, REPLACEMENTS, AND RESEEDINGS WITHIN THE PLANTING SEASON.
I. ONCE THE VEGETATION IS ESTABLISHED, THE SITE SHALL HAVE 95% GROUND COVER TO BE CONSIDERED ADEQUATELY STABILIZED.
II. IF THE STAND PROVIDES LESS THAN 40% GROUND COVERAGE, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER, SEEDBED PREPARATION, AND SEEDING RECOMMENDATIONS.
III. IF THE STAND PROVIDES BETWEEN 40% AND 94% GROUND COVERAGE, OVERSEEDING AND FERTILIZING USING HALF OF THE RATES ORIGINALLY APPLIED MAY BE NECESSARY.
IV. MAINTENANCE FERTILIZER RATES FOR PERMANENT SEEDINGS ARE SHOWN IN TABLE 24. FOR LAWNS AND OTHER MEDIUM TO HIGH MAINTENANCE TURFGRASS AREAS, REFER TO THE UNIVERSITY OF MARYLAND PUBLICATION, "LAWN CARE IN MARYLAND", BULLETIN NO. 171.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer
Howard County Health Department

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions...
Signature: William T. Baker, Jr.
Date: 4/3/03
DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan for sediment and erosion control...
Signature: Mark Summers
Date: 4/3/03

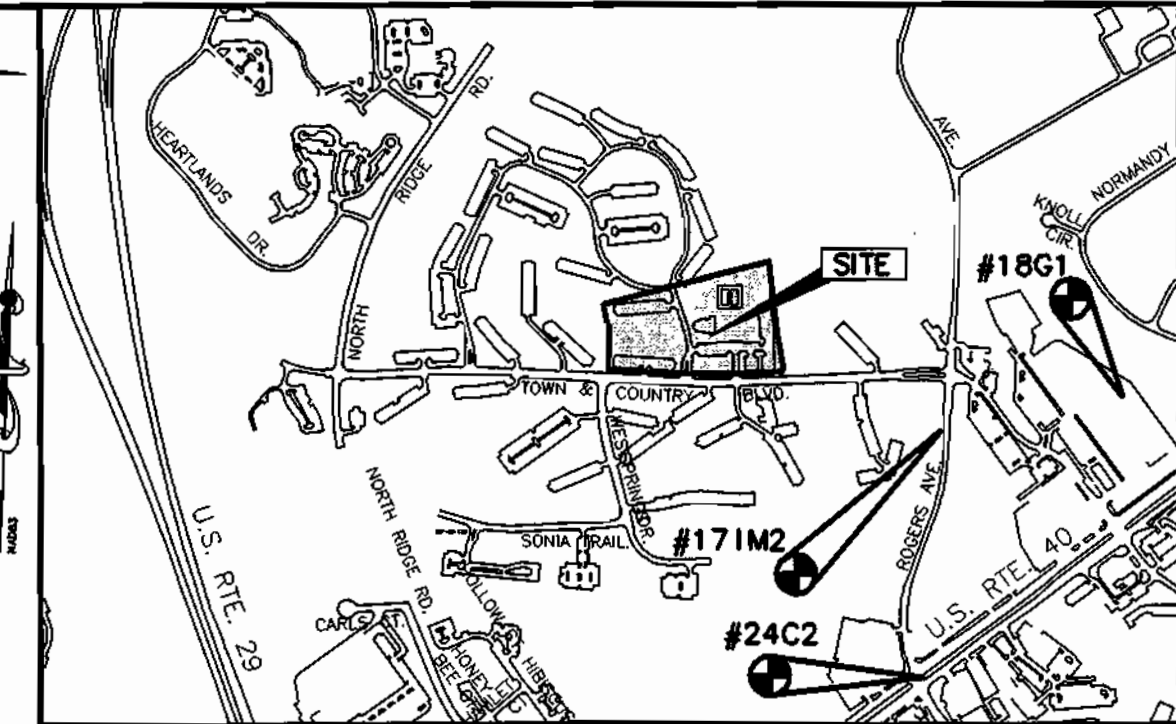
OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497
SEDIMENT & EROSION CONTROL NOTES
PROJECT TITLE: TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY
8730 TOWN & COUNTRY BLVD. HOWARD COUNTY, MARYLAND
ENGINEERS: Whitney, Bailey, Cox & Magnani, LLC
DESIGNED: D.J.J. ELECTION DIST.: 2
DRAWN: S.J.D. CENSUS TRACT #: 6026.00
CHECKED: P.J.C. WATER CODE: F-03
DATE: 4/2/03 SEWER CODE: 1453800
SCALE: AS SHOWN DRAWING NO.:
MAP NO.: 17
GRID NO.: 24
PARCEL NO.: 781 355
C-7.3
S.C. 3 OF 3 SHEET 15 OF 17
SDP-03-28



PLAN
SCALE: 1"=20'

LEGEND

EX. STORM DRAIN	---
PROP. STORM DRAIN	---
EX. SANITARY	---
PROP. SANITARY	---
EX. WATER	---
PROP. WATER	---
EX. CONTOUR	---
STRAW BALE DIKE	---
PROP. CONTOUR	---
PROPERTY LINE	---
L.O.D.	---



VICINITY MAP
SCALE: 1"=1000'

EB.3.B SPECIFICATIONS FOR BIORETENTION

- MATERIAL SPECIFICATIONS**
THE ALLOWABLE MATERIALS TO BE USED IN BIORETENTION AREA ARE DETAILED IN TABLE B.3.2.
- PLANTING SOIL**
THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.
THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
PH RANGE 5.2 - 7.0
ORGANIC MATTER 1.5 - 4% (BY WEIGHT)
MAGNESIUM 35 LB./AC
PHOSPHORUS (PHOSPHATE - P2 O5) 75 LB./AC
POTASSIUM (POTASH - K2 O) 85 LB./AC
SOLUBLE SALTS NOT TO EXCEED 500 PPM
ALL BIORETENTION AREAS SHALL HAVE A MINIMUM OF ONE TEST. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, PHOSPHORUS, AND POTASSIUM AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL IF TOPSOIL IS IMPORTED. THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOP SOIL WAS EXCAVATED.
- PLANT MATERIAL**
SEE PLANTING PLAN, SHEET C-6.1
- PLANT INSTALLATION**
MULCH SHOULD BE PLACED TO A UNIFORM THICKNESS OF 2" TO 3". SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIOTRETENTION FACILITY DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
ROOT STOCK OF THE PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS, DEFOLIANTS, OR AT A MINIMUM, IMPEDES THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.

SINCE DIFFERENT LABS CALIBRATE THEIR TESTING EQUIPMENT DIFFERENTLY, ALL TESTING RESULTS SHALL COME FROM THE SAME TESTING FACILITY.

SHOULD THE PH FALL OUT OF THE ACCEPTABLE RANGE, IT MAY BE MODIFIED (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

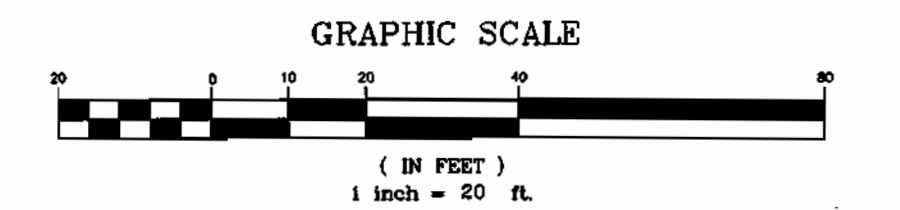
3. COMPACTION

IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF THE BIORETENTION AREA AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF BIORETENTION AREAS ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TIRE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.

COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.

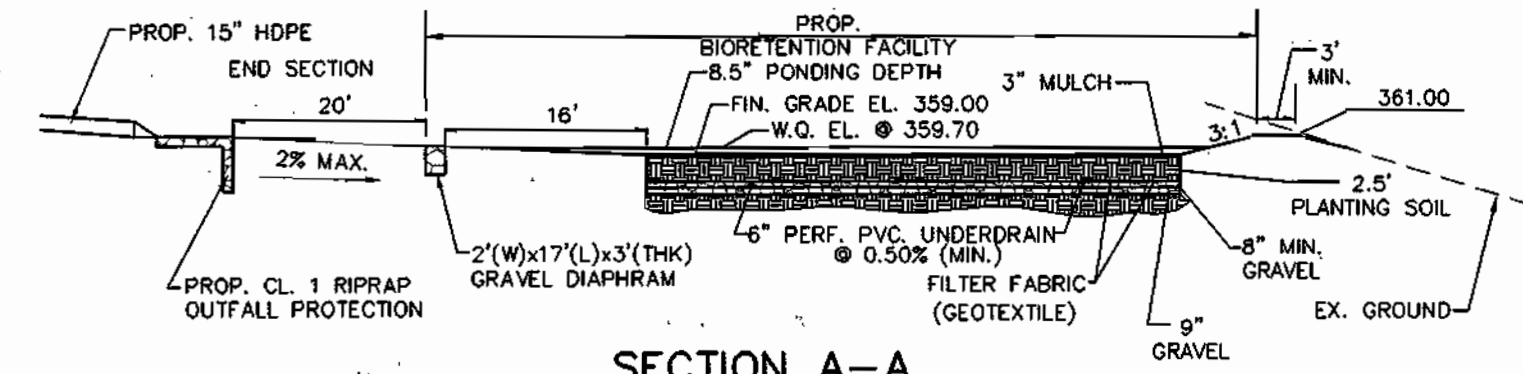
OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY SUCH CORRECTIONS SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN THE SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF ALL DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2-3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITHIN MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

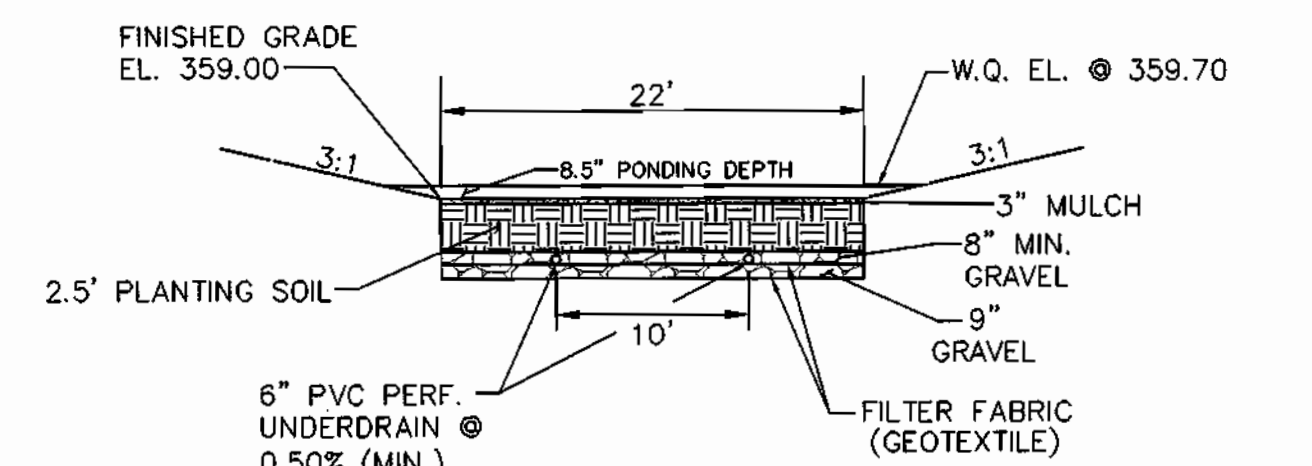


DRAINAGE AREA: 0.808 AC. RCN: 81 TC: 0.10 HR

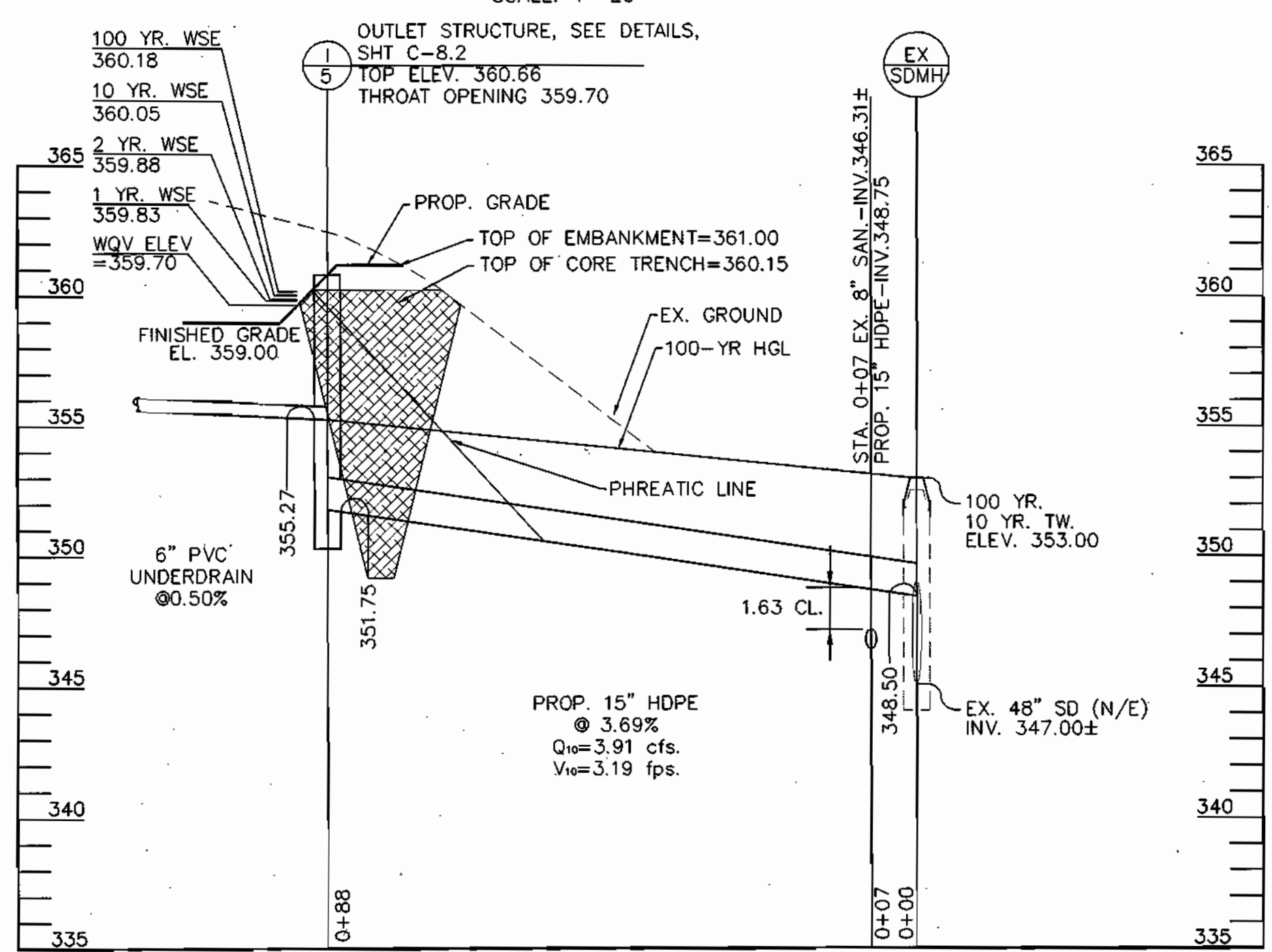
Step	Category	CU/FT Volume Required	CU/FT Volume Provided	Notes
1	Water Quality Volume (WQv)	1578	2487	Bio-retention
2	Rachorse Volume (Rev)	410	438.9	Stone Storage below Bio-retention Area
3	Channel Protection Volume (Cov)	N/A	N/A	One year post development less than 2 cfs
4	Overbank Flood Protect Vol (Ov)	N/A	N/A	No downstream impact. Providing stable outlet from BMP'S
5	Extreme Flood Volume (Q)	N/A	N/A	Provide safe passage for the 10-year event in final design.



SECTION A-A
SCALE: 1"=20'



SECTION B-B
SCALE: 1"=10'



STORM DRAIN PROFILE
SCALE: HORIZ. 1"=20'
VERT. 1"=5'

DEVELOPER'S/LANDOWNER'S CERTIFICATION
I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER, WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY. I/WE ALSO CERTIFY THAT THIS/THOSE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY.

SIGNED: *Mark Simmons* DATE: 8/14/03
PRINT NAME: Mark Simmons

"AS-BUILT" CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT CONSTRUCTION WAS INSPECTED IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY.

SIGNATURE: _____ DATE: _____
PRINT NAME: _____ MD. LICENSE NO. _____

ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO THE HOWARD COUNTY DESIGN MANUAL STANDARDS AND SPECIFICATION AND THE DEPARTMENT OF ENVIRONMENTAL STORMWATER MANAGEMENT REGULATIONS.

SIGNED: *William Baker* DATE: 4/13/03
PRINT NAME: WILLIAM BAKER MD. LICENSE NO. 12908

APPROVED: *Mark Simmons* DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 8/14/03
Chief, Division of Land Development Date: 8/14/03
Director Date: 8/14/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
Penny Boenstein M.D.
County Health Officer Date: 8/18/03
Howard County Health Department

TABLE B.3.2 MATERIALS SPECIFICATIONS FOR BIORETENTION

MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTING SOIL (2.5' DEEP)	SAND 35-60% SILT 30-55% CLAY 10-25%	N/A	USDA SOIL TYPES LOAMY SAND, SANDY LOAM, OR LOAM
MULCH	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM
GEOTEXTILE	CLASS 'C' - APPARENT OPENING SIZE (ASTM-D-4751), GRAB TENSILE STRENGTH (ASTM-D-4632), PUNCTURE RESISTANCE (ASTM-D-4833)	N/A	FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY.
UNDERDRAIN GRAVEL	AASHTO M-43	0.375" TO 0.75"	
UNDERDRAIN PIPING	1/2" TYPE PIPES 28 OR AASHTO M-275	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	3/8" PREF. @ 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES.

CONSTRUCTION SPECIFICATIONS EARTH FILL

CUTOFF TRENCH - THE CUTOFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE BOTTOM WIDTH OF THE TRENCH SHALL BE GOVERNED BY THE EQUIPMENT USED FOR EXCAVATION, WITH THE MINIMUM WIDTH BEING FOUR FEET. THE DEPTH SHALL BE AT LEAST FOUR FEET BELOW EXISTING GRADE OR AS SHOWN ON THE PLANS. THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE BACKFILL SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY.

EMBANKMENT CORE - THE CORE SHALL BE PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE TOP WIDTH OF THE CORE SHALL BE A MINIMUM OF FOUR FEET. THE HEIGHT SHALL EXTEND UP TO AT LEAST THE 10 YEAR WATER ELEVATION OR AS SHOWN ON THE PLANS. THE SIDE SLOPES SHALL BE 1 TO 1 OR FLATTER. THE CORE SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY. IN ADDITION, THE CORE SHALL BE PLACED CONCURRENTLY WITH THE OUTER SHELL OF THE EMBANKMENT.

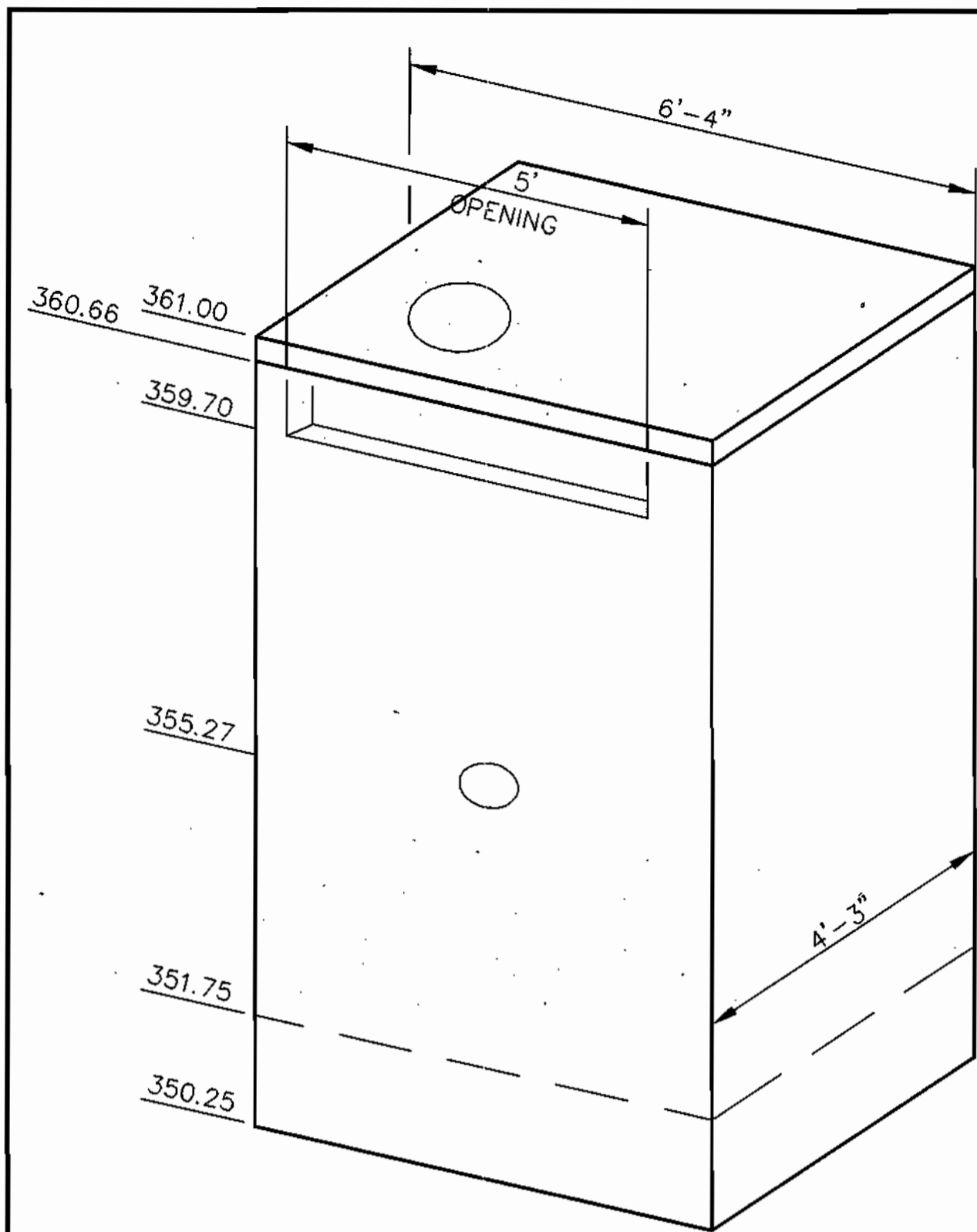
OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

STORMWATER MANAGEMENT PLAN, NOTES & DETAILS
PROJECT TITLE: TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY
8730 TOWN & COUNTRY BLVD.
HOWARD COUNTY, MARYLAND

ENGINEERS: *WR* Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

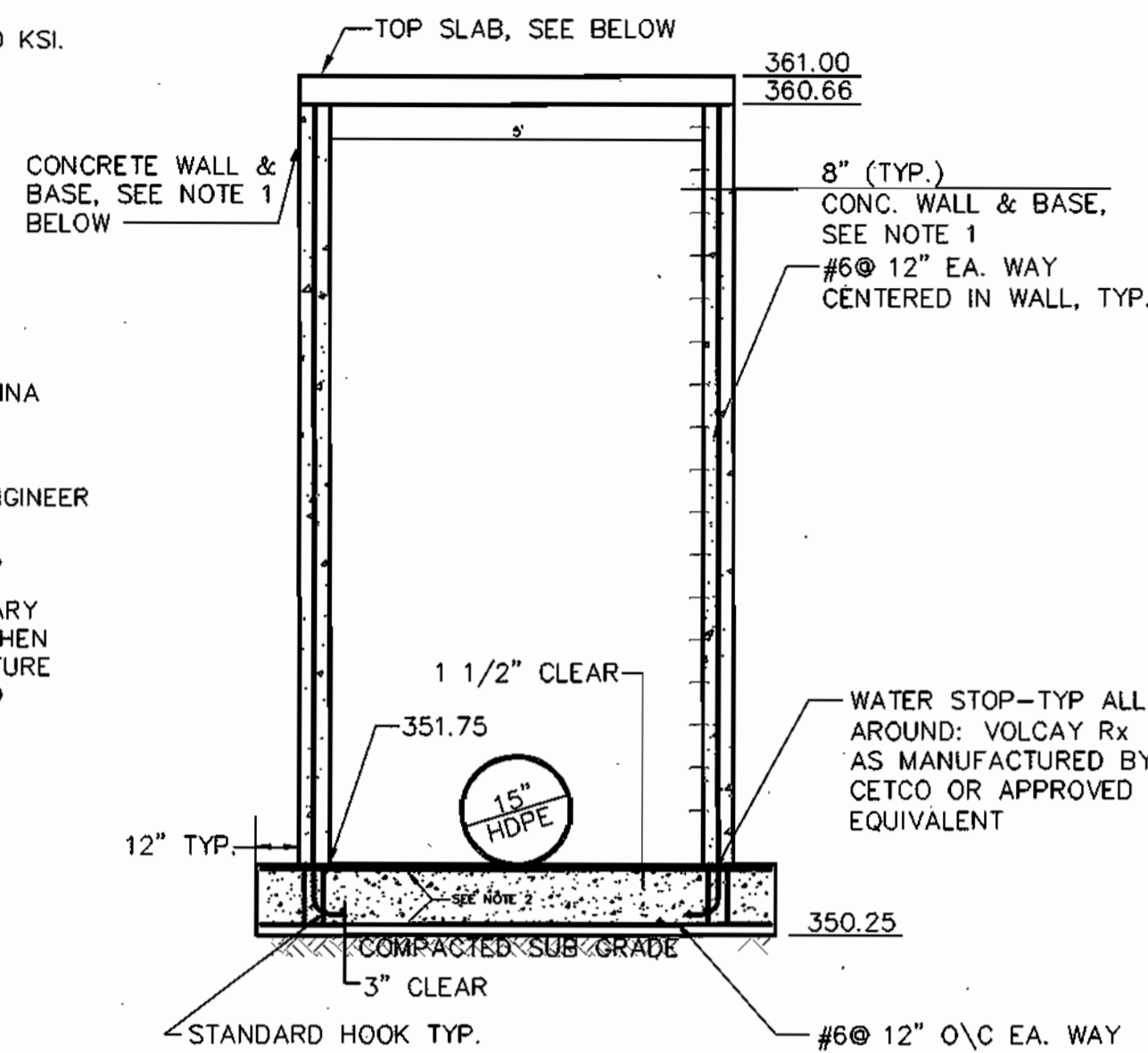
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO: C-8.1
MAP NO.: 17	
GRID NO.: 24	
PARCEL NO.: 7S1355	SHEET 16 OF 17



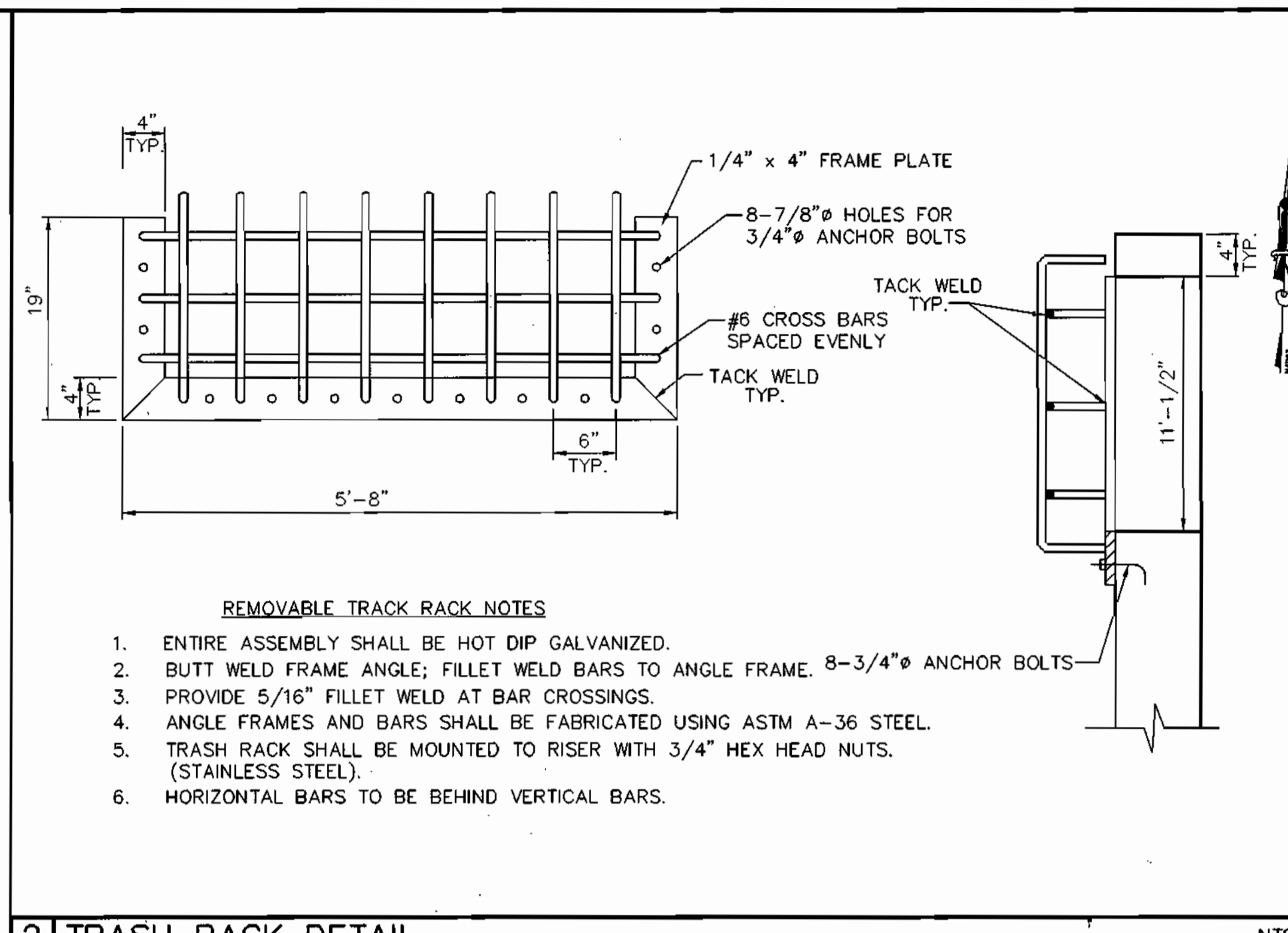
CONTROL STRUCTURE ISOMETRIC
SCALE: 1"=2'

OUTLET STRUCTURE NOTES

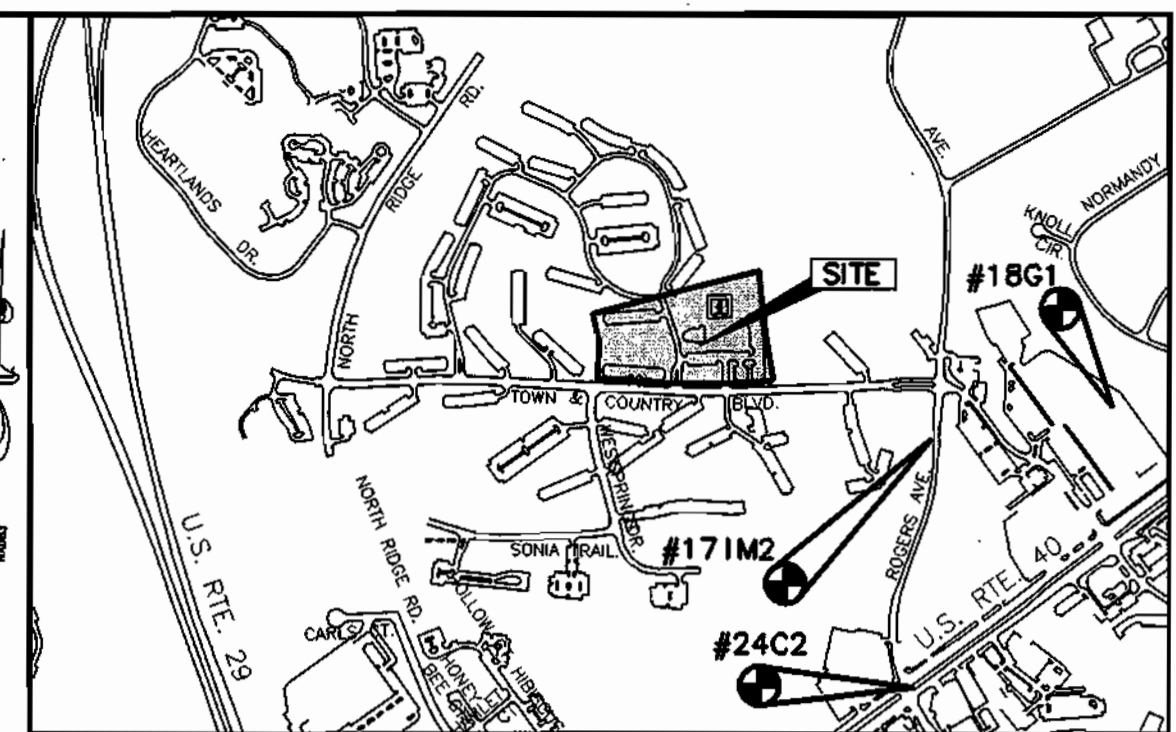
1. CONCRETE TO BE MIX NO. 6 (4500 PSI.), U.N.O.
2. ALL REINFORCED STEEL SHALL BE GRADE 60, F_y = 60 KSI.
3. THREADED PLASTIC INSERTS TO BE PROVIDED FOR HANDLING.
4. PIPE OPENINGS TO BE PROVIDED AS REQUIRED, FOR SIZE, LOCATION AND INVERT ELEVATIONS SPECIFIED.
5. LADDER RUNGS SHALL BE IN ACCORDANCE WITH STANDARD MD.-383.91, AND MD.-383.92 OR AS DIRECTED BY THE ENGINEER.
6. PROVIDE RESILIENT CONNECTOR IN ACCORDANCE W/ ASTM C923 PSX; POSITIVE SEAL AS MANUFACTURED BY PRESS-SEAL GASKET CORP., FORT WAYNE, INDIANNA OR APPROVED EQUIVALENT.
7. SHOP DRAWINGS FOR PRECAST OR CAST IN PLACE CONCRETE RISERS (SEALED BY A MD. REGISTERED ENGINEER AND MEETING A.S.T.M. REQUIREMENTS FOR PRECAST STRUCTURES) MUST BE SUBMITTED TO THE ENGINEER, AND THE APPROVING AGENCY FOR APPROVAL PRIOR TO FABRICATION. IF ANY STRUCTURE DIMENSIONS VARY FROM WHAT WAS ORIGINALLY REVIEWED/APPROVED, THEN THE HYDRAULICS AND/OR FLotation OF THE STRUCTURE MUST BE RE-ANALYZED AND COMPUTATIONS (SEALED BY A MD. REGISTERED ENGINEER) SUBMITTED WITH THE SHOP DRAWINGS.



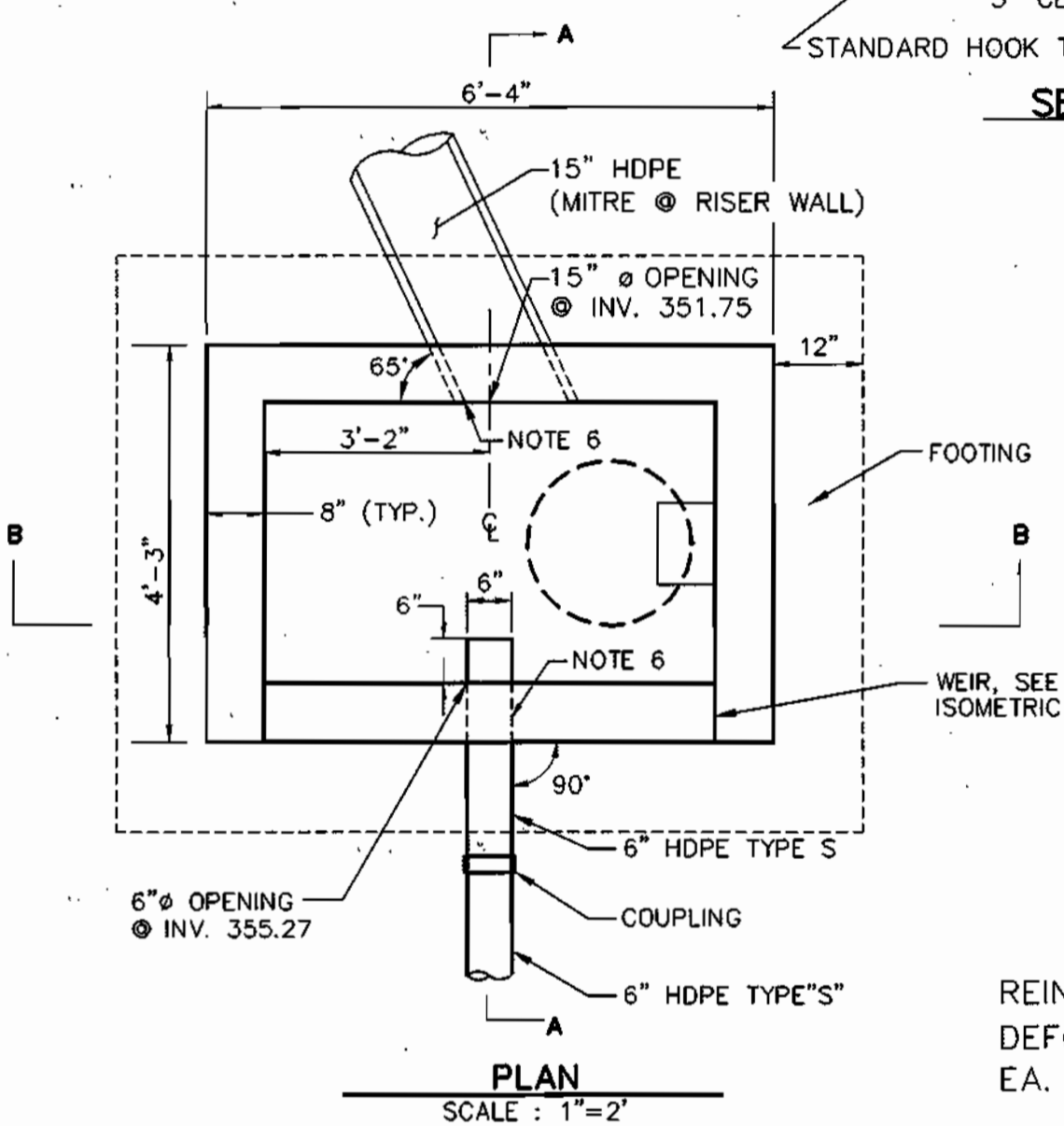
SECTION B-B
SCALE: 1"=2'



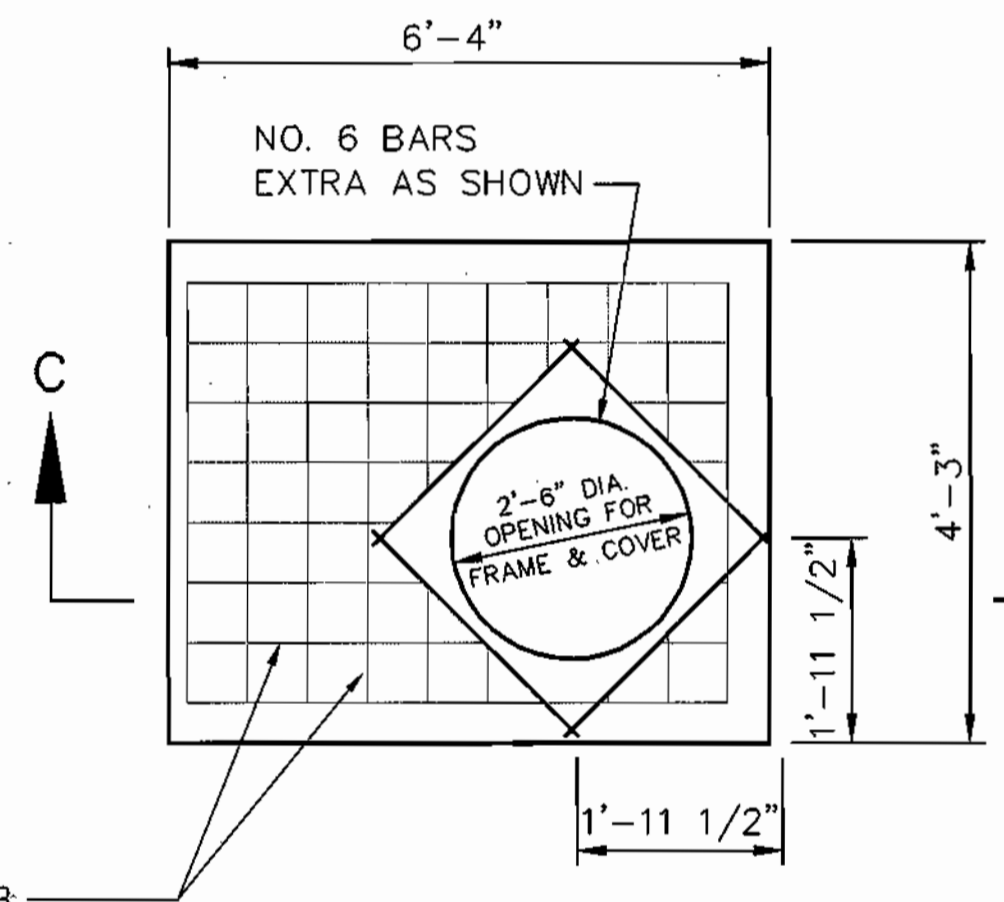
2 TRASH RACK DETAIL



VICINITY MAP
SCALE: 1"=1000'

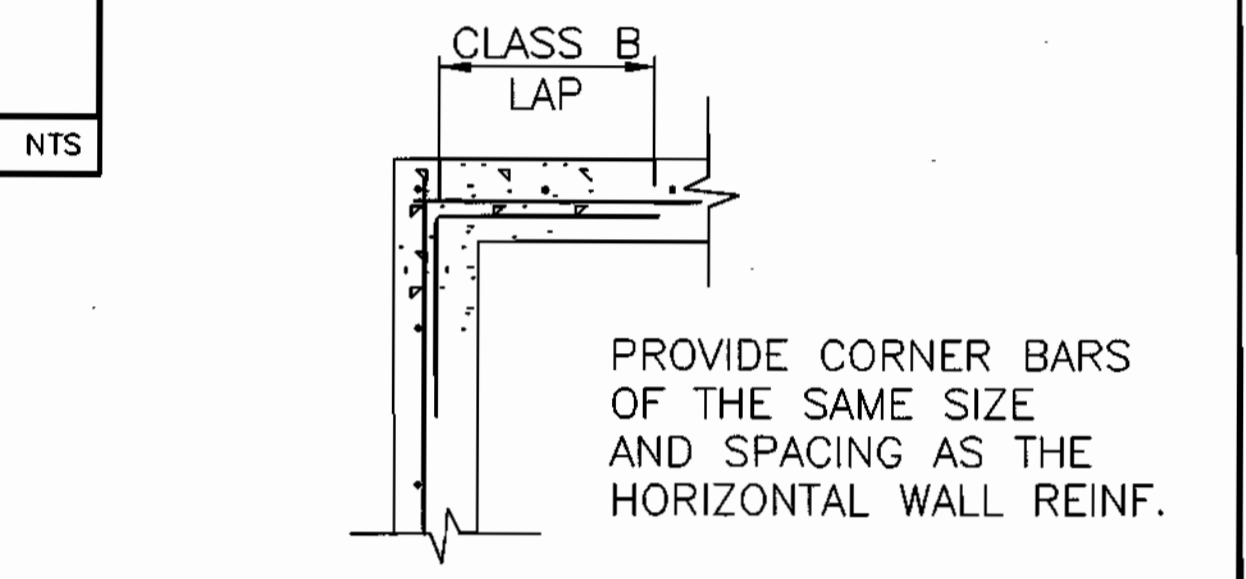


PLAN
SCALE: 1"=2'

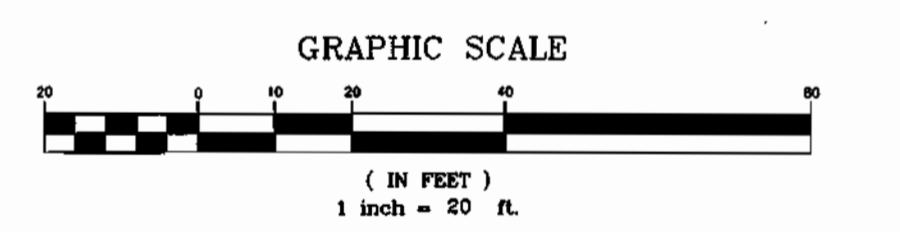


TOP SLAB PLAN
(CONCRETE MIX NO. 2, 4" THICK)
SCALE: 1"=2'

TEST BORING LOG		CLASS		ELEV./STRATA (FT)		SAMPLING DATA		TESTS		REMARKS	
DEPTH (FT)	STRATA DESCRIPTION	CLASS	ELEV./STRATA (FT)	DEPTH (FT)	REMARKS	TESTS	REMARKS				
0.0	Topsoil - 3 inches			0-3							
0.0	Silty Sand FILL, with rock fragments and mica, mod. dark brown			3-24							
0.0	Dr. brown below 2.5-foot			24-16							
0.0	Dr. gray below 5.0-foot			16-10							
6.5	Silty SAND, with mica, trace rock fragments, mod. sub-colored	SM	355.0	10-12-16			Residual				
13.0	DESIGNATED ROCK, mod. tan		348.0	12-10-14			Designated Rock				
14.0	BOTTOM OF BORING @ 14.4 FT.		347.0								



TYPICAL CONCRETE WALL CORNER REINFORCING



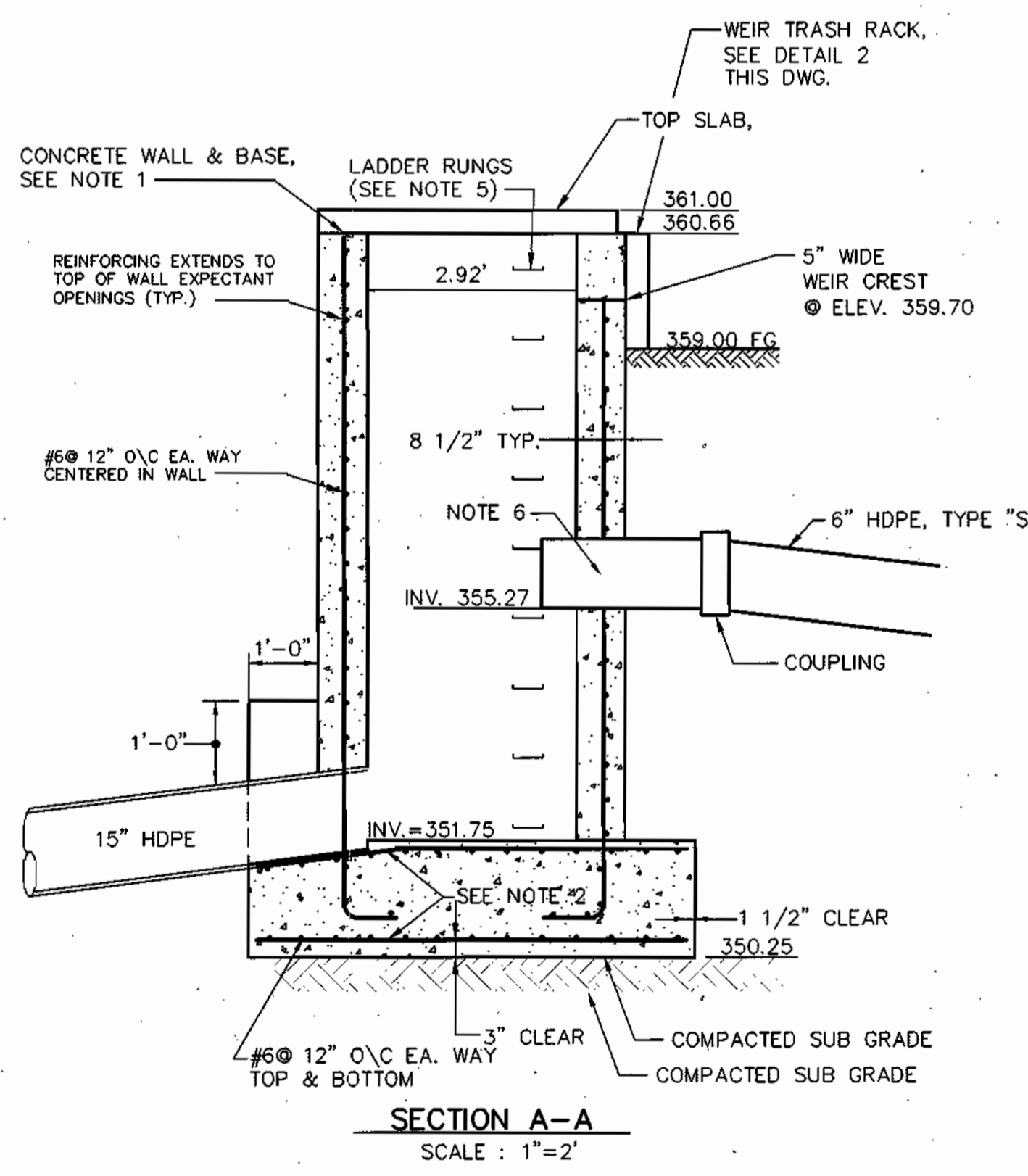
OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497

DATE	NO.	REVISIONS

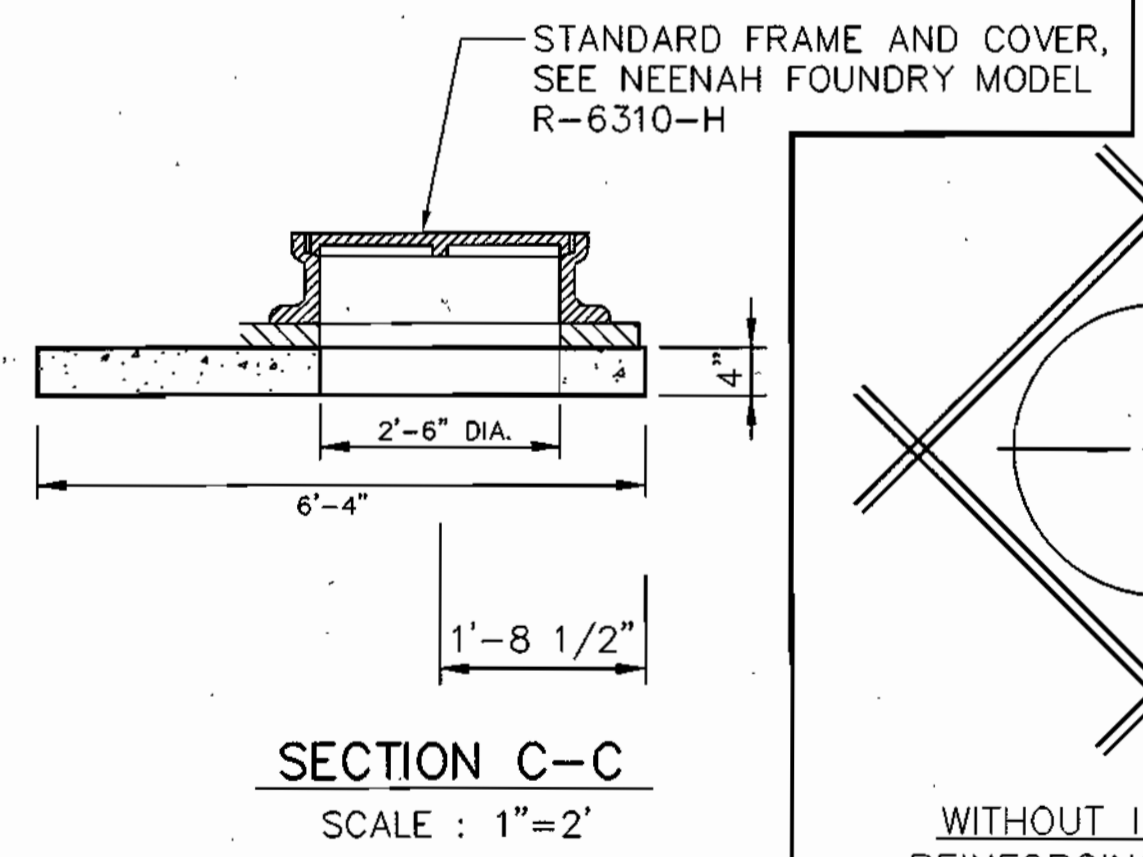
STORMWATER MANAGEMENT PLAN, NOTES & DETAILS
PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
8730 TOWN & COUNTRY BLVD.
HOWARD COUNTY, MARYLAND

ENGINEERS: **WR Consulting Engineers**
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

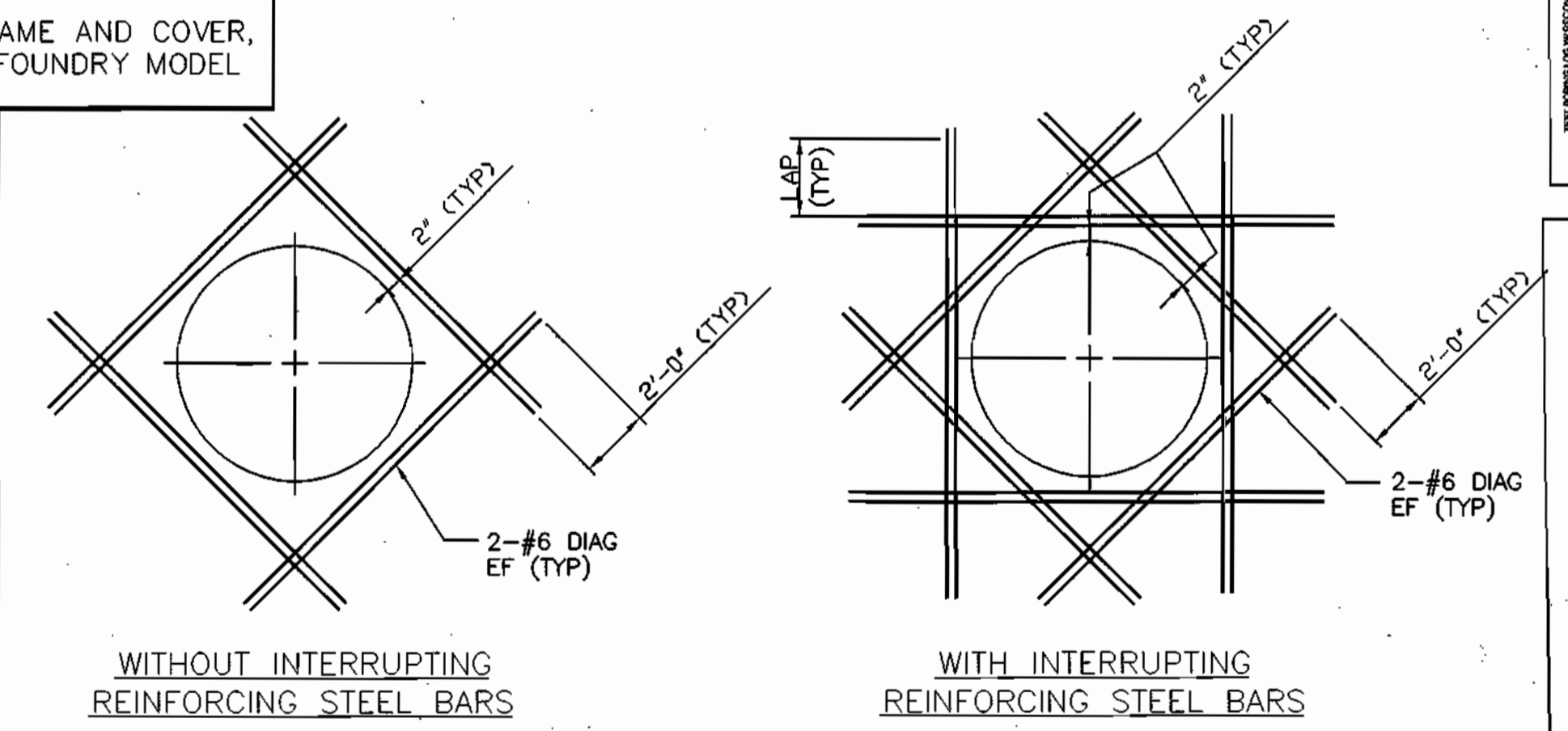
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-8.2
GRID NO.: 24	
PARCEL NO.: 751 355	SHEET 17 OF 17



SECTION A-A
SCALE: 1"=2'



SECTION C-C
SCALE: 1"=2'



TYPICAL REINFORCING FOR CONCRETE PENETRATION (UNLESS OTHERWISE SHOWN)
NOT TO SCALE

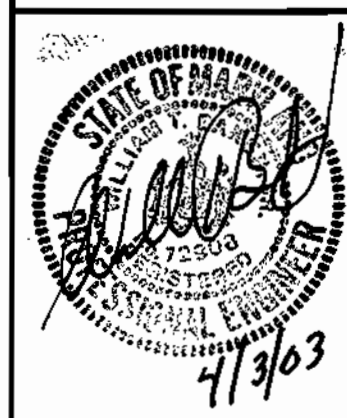
NOTE:
PARALLEL REINFORCEMENT IS TO BE SAME SIZE AS INTERRUPTED BARS.

1 OUTLET STRUCTURE (1-5)
SCALE AS NOTED

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division Date: 8/1/03
Chief, Division of Land Development Date: 8/10/03
Director Date: 8/10/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 8/18/03
Howard County Health Department

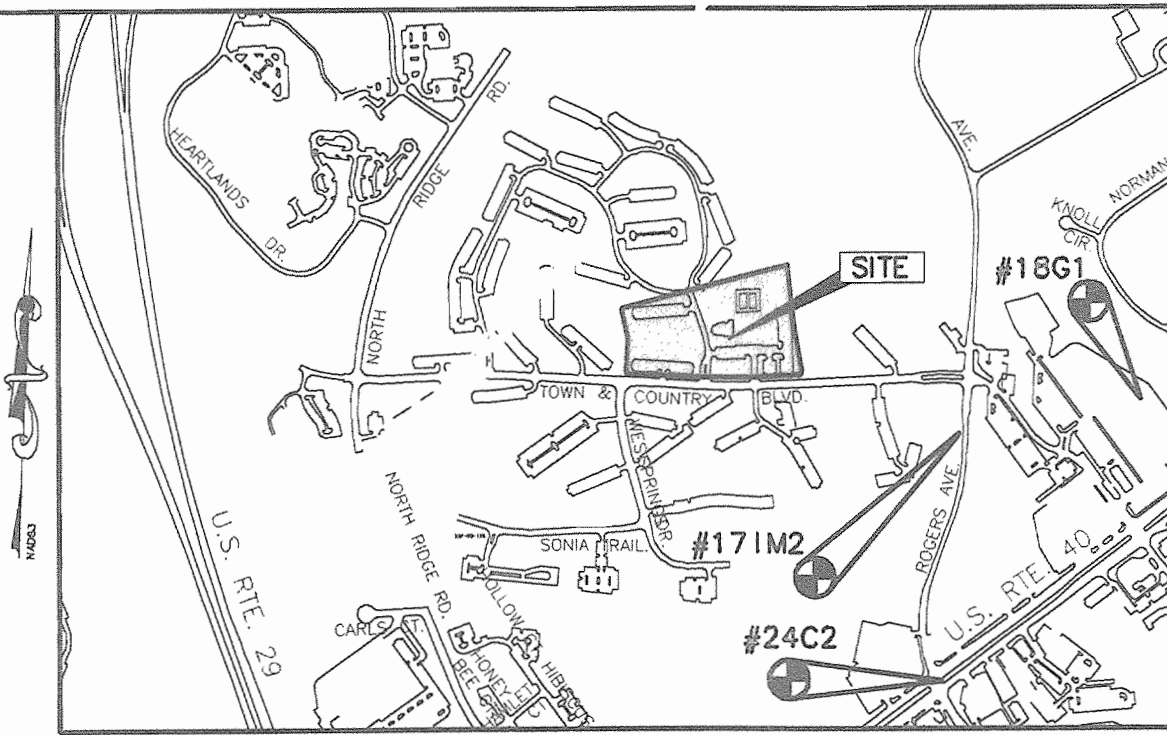
TEST BORING LOG		CLASS		ELEV./STRATA (FT)		SAMPLING DATA		TESTS		REMARKS	
DEPTH (FT)	STRATA DESCRIPTION	CLASS	ELEV./STRATA (FT)	DEPTH (FT)	REMARKS	TESTS	REMARKS				
0.0	Topsoil - 4 inches			0-2							
0.0	Silty Sand FILL, with mica, trace rock fragments, mod. brown			2-2							
0.0	Dr. with rock fragments, gray below 0.5-foot			2-2							
13.0	Silty SAND, with mica, trace rock fragments, mod. brown	SM	347.0	2-2			Residual				
15.0	BOTTOM OF BORING @ 15.0 FT.		346.0								



SITE DATA ANALYSIS:

- A. TOTAL PROPERTY AREA: 24.76 AC.± (1,078,545.60 S.F.)
- B. AREA OF SITE PLAN SUBMISSION: 1.58 AC.± (61,945 S.F.)
- C. LIMIT OF DISTURBED AREA: 1.58 AC.± (61,945 S.F.)
- D. PRESENT ZONING: RA-15
- E. PROPOSED USE OF SITE: CLUBHOUSE & CABANA BUILDING W/ SWIMMING POOL
- F. EXISTING USE OF SITE: SWIMMING POOL & CLUBHOUSE
- G. FLOOR SPACE OF PROPOSED BUILDINGS PER USE:
 CLUBHOUSE: 6,089 S.F. (0.139 AC.)
 CABANA: 706 S.F. (0.017 AC.)
 POOL AREA: 3,202 S.F. (0.074 AC.)
- H. NUMBER OF PARKING SPACES REQUIRED ON SITE:
 POOL AREA (MAX. 5' DEPTH): 3,202 S.F.
 MAX. OCCUPANCY: 267 PERSONS
 REQUIRED PARKING: 1 SPACE/10 PERSONS=27 SPACES
 TOTAL REQUIRED: 27 SPACES
- I. PROP. NUMBER OF PARKING SPACES PROVIDED ON SITE:
 BUILDING: 27 SPACES (INCLUDING 2 HANDICAPPED)
- J. PROP. BUILDING COVERAGE OF PROPERTY AREA:
 0.156 AC./24.76 AC. (0.63% OF PROPERTY AREA)
 PROP. PARKING COVERAGE OF PROPERTY AREA:
 0.28 AC./24.76 AC. (1.13% OF PROPERTY AREA)
 PROP. POOL COVERAGE OF PROPERTY AREA:
 0.07 AC./24.76 AC. (0.30% OF PROPERTY AREA)
- K. APPLICABLE DPZ FILE REFERENCE:
 SDP-81-14, SDP-69-18, SDP-68-03,
 F-68-51, F-69-38

SITE DEVELOPMENT PLAN FOR NEW CLUBHOUSE AND POOL TOWN & COUNTRY WEST APARTMENTS 8730 TOWN & COUNTRY BLVD. HOWARD COUNTY, MARYLAND SDP-03-028

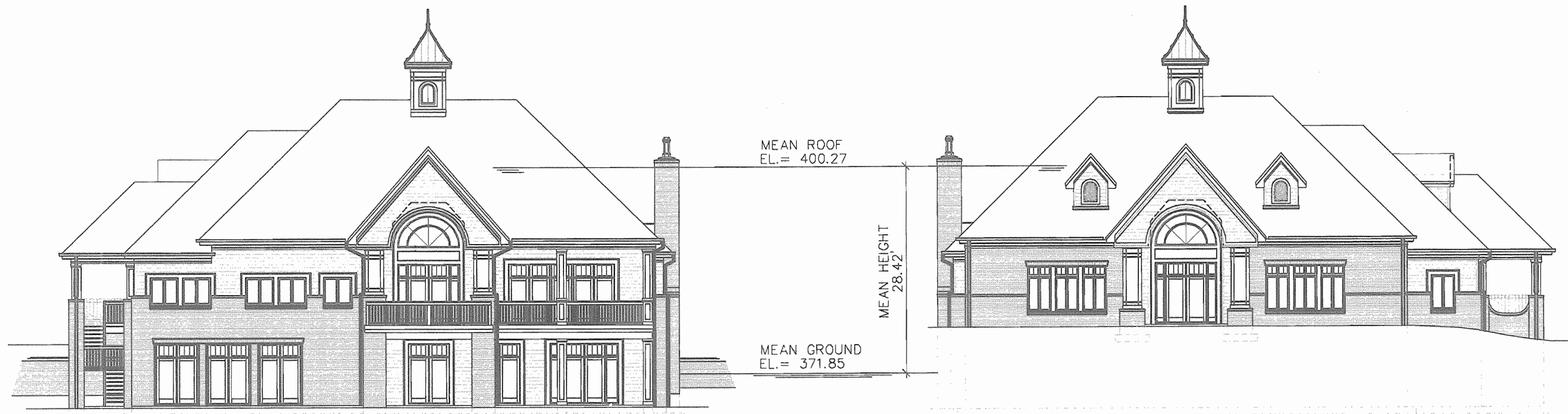


VICINITY MAP
SCALE: 1"=1000'

SHEET INDEX		
SHEET NO.	SET NO.	TITLE
1 OF 17	T-1	TITLE SHEET
2 OF 17	C-1	EXISTING CONDITIONS PLAN
3 OF 17	C-2	DEMOLITION PLAN
4 OF 17	C-3.1	LAYOUT PLAN
5 OF 17	C-3.2	SITE DETAILS
6 OF 17	C-4	GEOMETRY PLAN
7 OF 17	C-5.1	GRADING AND UTILITY PLAN
8 OF 17	C-5.2	STORM DRAIN PROFILES
9 OF 17	C-5.3	WATER & SEWER PROFILES
10 OF 17	C-5.4	STORM DRAIN DRAINAGE AREA MAP
11 OF 17	C-6.1	LANDSCAPE PLAN
12 OF 17	C-6.2	LANDSCAPE DETAILS
13 OF 17	C-7.1	SEDIMENT & EROSION CONTROL PLAN
14 OF 17	C-7.2	SEDIMENT & EROSION CONTROL DETAILS
15 OF 17	C-7.3	SEDIMENT & EROSION CONTROL NOTES
16 OF 17	C-8.1	STORM WATER MANAGEMENT PLAN
17 OF 17	C-8.2	STORM WATER MANAGEMENT DETAILS & NOTES

GENERAL NOTES:

- THE TOPOGRAPHY SHOWN IS BASED UPON A FIELD RUN TOPOGRAPHIC SURVEY PERFORMED BY WHITNEY, BAILEY, COX & MAGNANI, LLC ON 6/17/02 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
- COORDINATES AND COURSES SHOWN HEREON ARE REFERRED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM, NAD 83 (1981), AS DETERMINED FROM THE FOLLOWING HOWARD COUNTY CONTROL SURVEY MONUMENTS AS PUBLISHED AS FOLLOWS:
 NGS HORIZONTAL CONTROL SURVEY MONUMENTS:
 DISK "186G1"; N 589,984.951 E 1,367,750.255 CONC.MONUMENT
 DISK "24C2"; N 588,848.312 E 1,366,038.195 CONC.MONUMENT
- ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS DETERMINED FROM THE FOLLOWING HOWARD COUNTY SURVEY CONTROL MONUMENT, PUBLISHED AS FOLLOWS:
 BENCH MARK 171M2 (AKA 17TB) NAVD88 ELEV= 324.775(feet)
 DESCRIPTION: CHISELED BOX @ S/W WINGWALL OF BRIDGE ON ROGERS AVENUE 100± SOUTH OF TOWN & COUNTRY BLVD.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ACTUAL SITE CONDITIONS PRIOR TO THE START OF ANY WORK. THERE IS NO WARRANTY OR GUARANTEE ON THE COMPLETENESS OR CORRECTNESS OF THE EXISTING CONDITION INFORMATION. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF ANY WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE COST OF REPAIR OF ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL EXISTING UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY INVERTS AND CLEARANCES FROM NEW WORK PRIOR TO START OF ANY WORK.
- ALL DISTURBED AREAS NOT STABILIZED WITH STRUCTURES, PAVING, AND PLANTINGS SHALL BE STABILIZED WITH FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER TO ESTABLISH AN ADEQUATE GROWTH OF VEGETATION.
- ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
- THE TOPS OF ALL FRAMES, GRATES, AND COVERS OF ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONTRACT AND/OR DISTURBANCE SHALL BE ADJUSTED TO THE NEW GRADES.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES.
- NUMERICAL DIMENSIONS AND ELEVATIONS SHOWN SHALL SUPERSEDE ANY DISCREPANCY IN THE SCALING ON THE DRAWINGS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND THE MD. STATE HWY. ADMINISTRATION.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL USE PROPERTIES AND PUBLIC ROADS. OUTDOOR LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- EXISTING WATER IS PUBLIC AND BASED ON CONTRACT NO. 280-W&S
- EXISTING SEWER IS PUBLIC AND BASED ON CONTRACT NO. 150-W&S
- THE PAVEMENT DETAILS SHOWN ON THESE PLANS REFLECT THE HOWARD COUNTY MINIMUM STANDARD PAVEMENT SECTIONS AND ARE NOT BASED ON SITE SPECIFIC CONDITIONS. PRIOR TO PAVING, THE FINAL PAVEMENT SECTIONS SHALL BE DETERMINED BY A QUALIFIED GEOTECHNICAL ENGINEER BASED ON IN-SITE TESTING OF THE FINISHED SUBGRADE. THE TESTING AND GEOTECHNICAL ENGINEER SHALL BE FURNISHED BY THE OWNER. APPROVAL FROM THE COUNTY SHALL BE OBTAINED IF THE ON-SITE TESTING REQUIRES PAVEMENT DESIGN TO BE CHANGED.
- STORM WATER MANAGEMENT IS A PRIVATE BIOTENTION WATER QUALITY FACILITY. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- THERE IS A FLOODPLAIN ON THIS SUBJECT PROPERTY AS SHOWN ON RECORDED PLATS F-68-51 AND F-69-38
- THERE ARE NO WETLANDS ON THIS SITE.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- FOREST CONSERVATION FOR THIS PROJECT IS EXEMPT UNDER SECTION 16-1203.2.1(iii) OF THE HOWARD COUNTY SUBDIVISION REGULATIONS. SITE GRADED PRIOR TO 12/31/92 IN ACCORDANCE WITH THE APPROVED FINAL ROAD PLAN AND SDP-68-03.
- TRASH REMOVAL IS PROVIDED BY PRIVATE CONTRACTOR AT THE EXISTING DUMPSTERS LOCATED ON THE SITE IN THE PARKING LOT NEAR ROGERS AVENUE. SEE SITE PLAN ON THIS SHEET FOR LOCATION.



REAR ELEVATION

FRONT ELEVATION

PROPOSED CLUBHOUSE BUILDING
N.T.S.



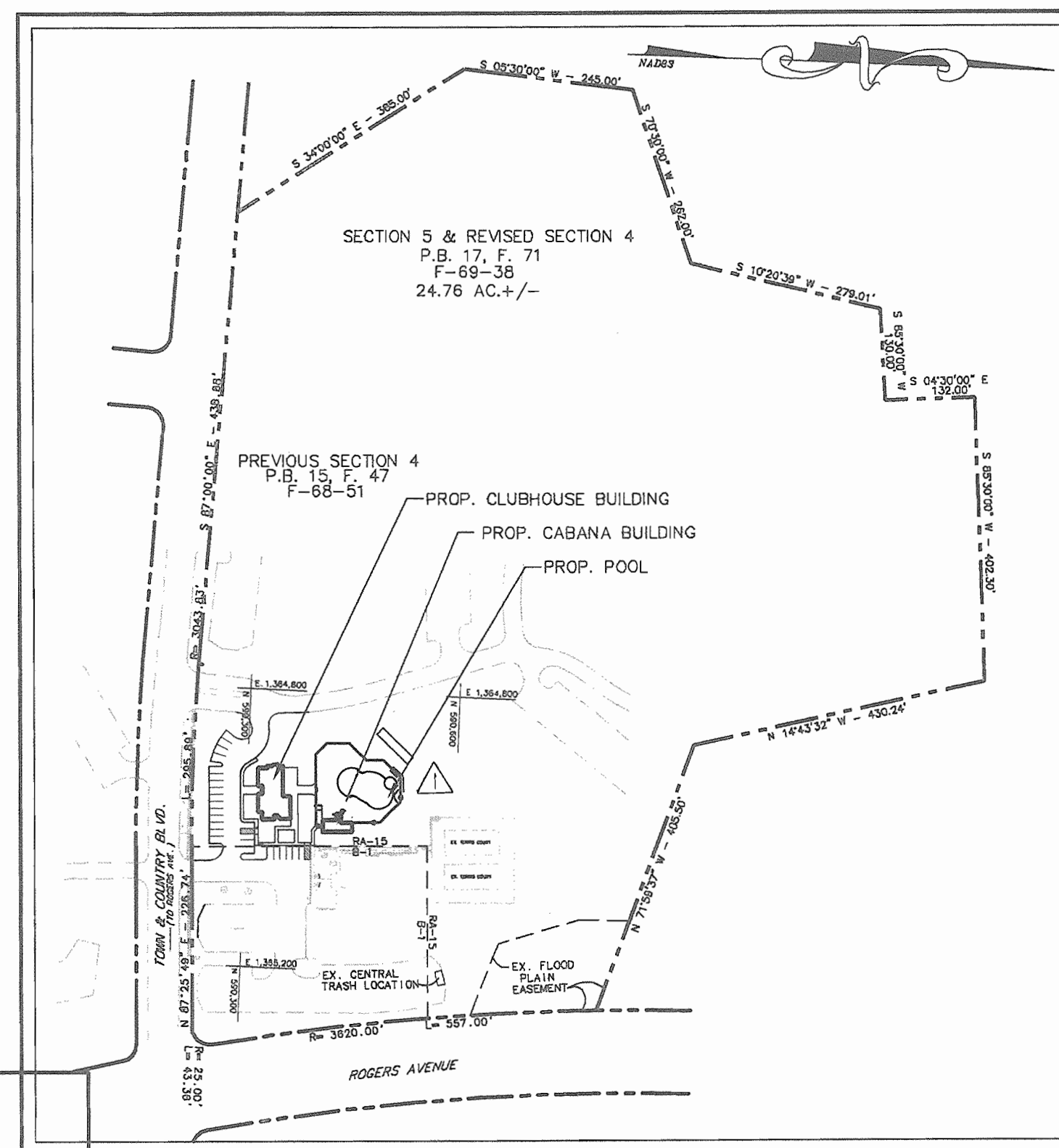
REAR ELEVATION

FRONT POOLSIDE ELEVATION

PROPOSED CABANA BUILDING
N.T.S.

LEGEND

EXISTING	PROPOSED
EX. BLDG.	NEW BLDG.
BIT. PAVING	LIGHT HEAVY
CONCRETE SIDEWALK	
CURB	
STORM DRAIN	
SANITARY	
WATER	
GAS	
STEAM	
ELECTRIC	
TELEPHONE	
ELEC/TELE DUCT	
VALVE	
HYDRANT	
MANHOLE	
INLET	
CONTOUR	150 160
FENCE	
TREE	
PROPERTY LINE	
LIMIT OF DISTURBANCE	
OUTDOOR LIGHT	
SOIL BOUNDARY	
ZONING BOUNDARY	RA-15 B1
EASEMENT	



SITE PLAN
SCALE 1" = 200'

ADDRESS CHART

LOT/PARCEL NO.	STREET ADDRESS
POOL/CABANA	8730 TOWN & COUNTRY BLVD.
CLUBHOUSE	8732 " " " "

PERMIT INFORMATION CHART

SUBDIVISION NAME			SECTION/AREA		PARCEL/LOT NO.
TOWN & COUNTRY WEST			SECTION 5 & REVISED SECTION 4		PARCEL 355
PLAT NO. OR 1/4	BLOCK NO.	ZONING	TAX MAP	ELECT. DIST.	CENSUS TRACT NO.
PBK17, F.71	24	RA-15	17	2	6026.00
WATER CODE			SEWER CODE		
F03			1453800		

OWNER/DEVELOPER

TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497

5/26/04 REVISED ELEVATIONS

DATE NO. REVISIONS

TITLE SHEET

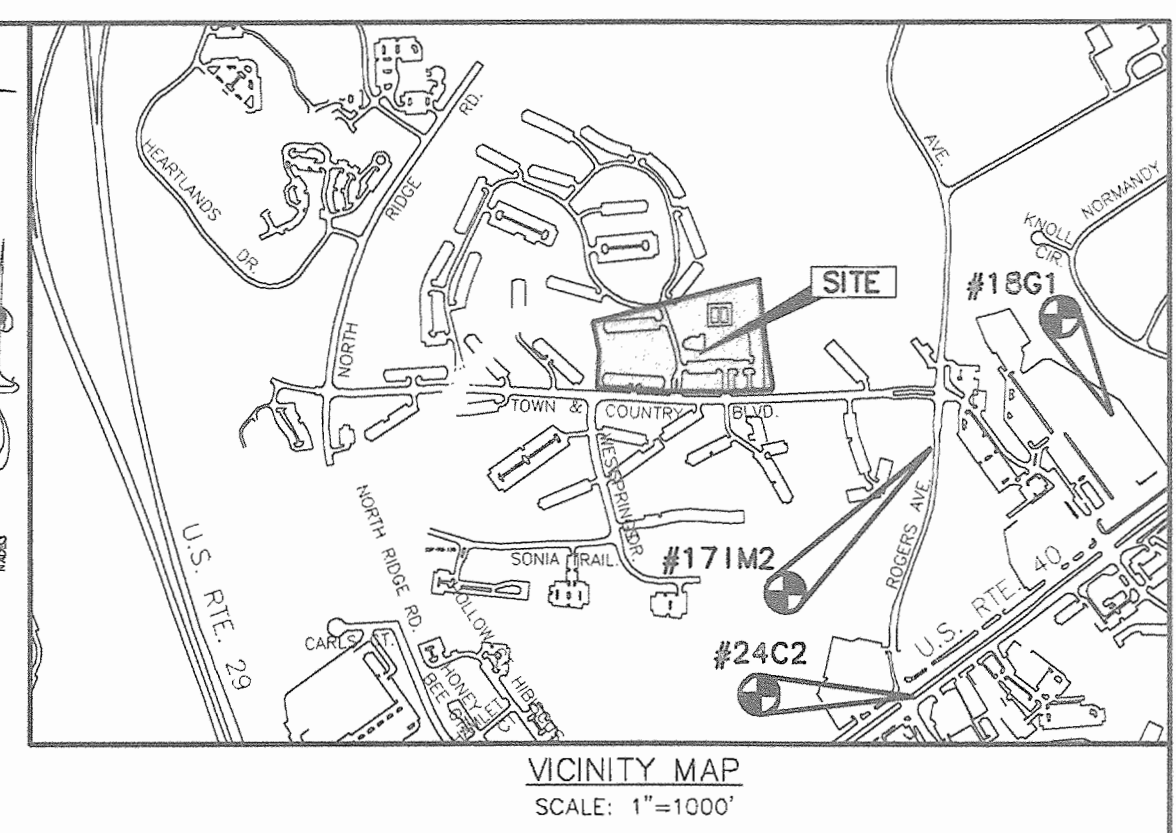
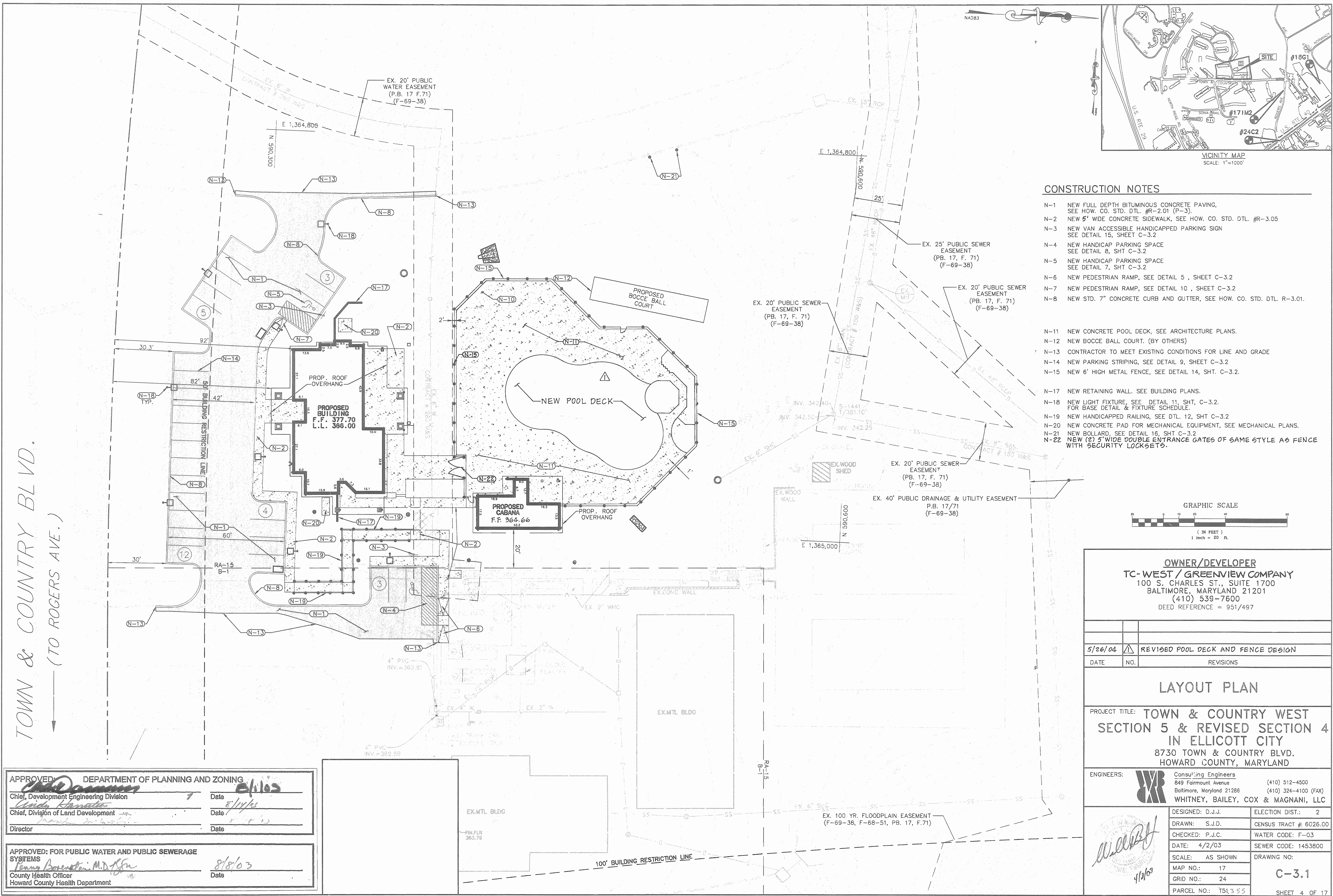
PROJECT TITLE: TOWN & COUNTRY WEST
SECTION 5 & REVISED SECTION 4
IN ELLICOTT CITY
8730 TOWN & COUNTRY BLVD.
HOWARD COUNTY, MARYLAND

ENGINEERS: **WR** Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21288 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

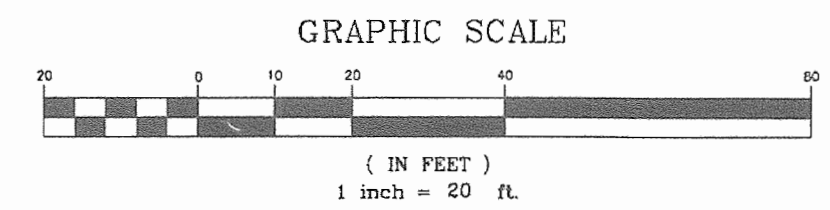
DESIGNED: D.J.J. ELECTION DIST.: 2
DRAWN: S.J.D. CENSUS TRACT #: 6026.00
CHECKED: P.J.C. WATER CODE: F-03
DATE: 4/2/03 SEWER CODE: 1453800
SCALE: AS SHOWN DRAWING NO:
MAP NO.: 17
GRID NO.: 24
PARCEL NO.: 151 355 SHEET 1 OF 17

APPROVED: **DEPARTMENT OF PLANNING AND ZONING**
Chief, Development Engineering Division Date: 8/1/03
Chief, Division of Land Development Date: 8/14/03
Director Date: 8/14/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer Date: 8/8/03
Howard County Health Department



- CONSTRUCTION NOTES**
- N-1 NEW FULL DEPTH BITUMINOUS CONCRETE PAVING, SEE HOW. CO. STD. DTL. #R-2.01 (P-3).
 - N-2 NEW 5' WIDE CONCRETE SIDEWALK, SEE HOW. CO. STD. DTL. #R-3.05
 - N-3 NEW VAN ACCESSIBLE HANDICAPPED PARKING SIGN SEE DETAIL 15, SHEET C-3.2
 - N-4 NEW HANDICAP PARKING SPACE SEE DETAIL 8, SHT C-3.2
 - N-5 NEW HANDICAP PARKING SPACE SEE DETAIL 7, SHT C-3.2
 - N-6 NEW PEDESTRIAN RAMP, SEE DETAIL 5, SHEET C-3.2
 - N-7 NEW PEDESTRIAN RAMP, SEE DETAIL 10, SHEET C-3.2
 - N-8 NEW STD. 7" CONCRETE CURB AND GUTTER, SEE HOW. CO. STD. DTL. R-3.01.
 - N-11 NEW CONCRETE POOL DECK, SEE ARCHITECTURE PLANS.
 - N-12 NEW BOCCIE BALL COURT. (BY OTHERS)
 - N-13 CONTRACTOR TO MEET EXISTING CONDITIONS FOR LINE AND GRADE
 - N-14 NEW PARKING STRIPING, SEE DETAIL 9, SHEET C-3.2
 - N-15 NEW 6' HIGH METAL FENCE, SEE DETAIL 14, SHT. C-3.2.
 - N-17 NEW RETAINING WALL. SEE BUILDING PLANS.
 - N-18 NEW LIGHT FIXTURE, SEE DETAIL 11, SHT. C-3.2. FOR BASE DETAIL & FIXTURE SCHEDULE.
 - N-19 NEW HANDICAPPED RAILING, SEE DTL. 12, SHT C-3.2
 - N-20 NEW CONCRETE PAD FOR MECHANICAL EQUIPMENT, SEE MECHANICAL PLANS.
 - N-21 NEW BOLLARD, SEE DETAIL 16, SHT C-3.2
 - N-22 NEW (2) 5' WIDE DOUBLE ENTRANCE GATES OF SAME STYLE AS FENCE WITH SECURITY LOCKSETS.



OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

5/26/04	REVISION	REVISED POOL DECK AND FENCE DESIGN
DATE	NO.	REVISIONS

LAYOUT PLAN

PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: **Whitney, Bailey, Cox & Magnani, LLC**
 Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)

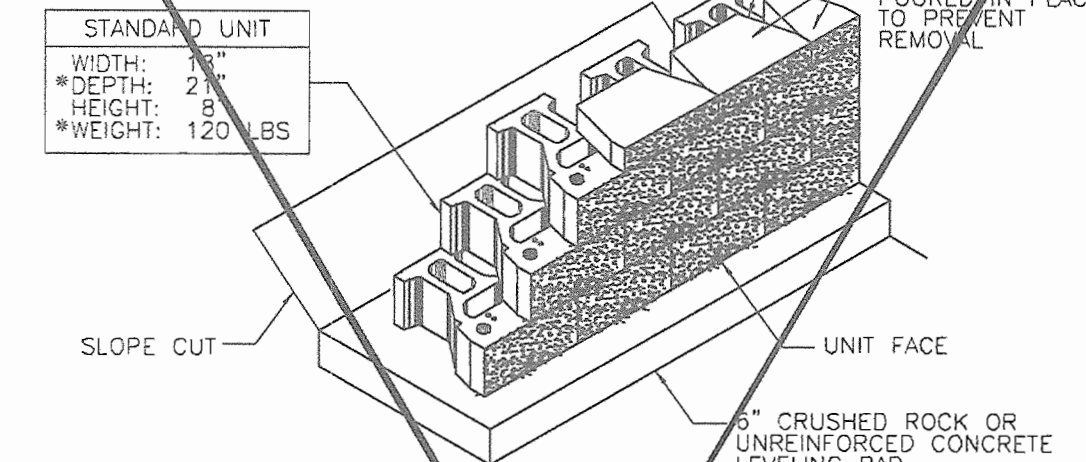
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-3.1
GRID NO.: 24	
PARCEL NO.: 151355	SHEET 4 OF 17

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
 Chief, Development Engineering Division Date: 8/14/03
 Chief, Division of Land Development Date: 8/14/03
 Director Date:

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature]
 County Health Officer Date: 8/8/03
 Howard County Health Department

BASE LEVELING PAD NOTES:

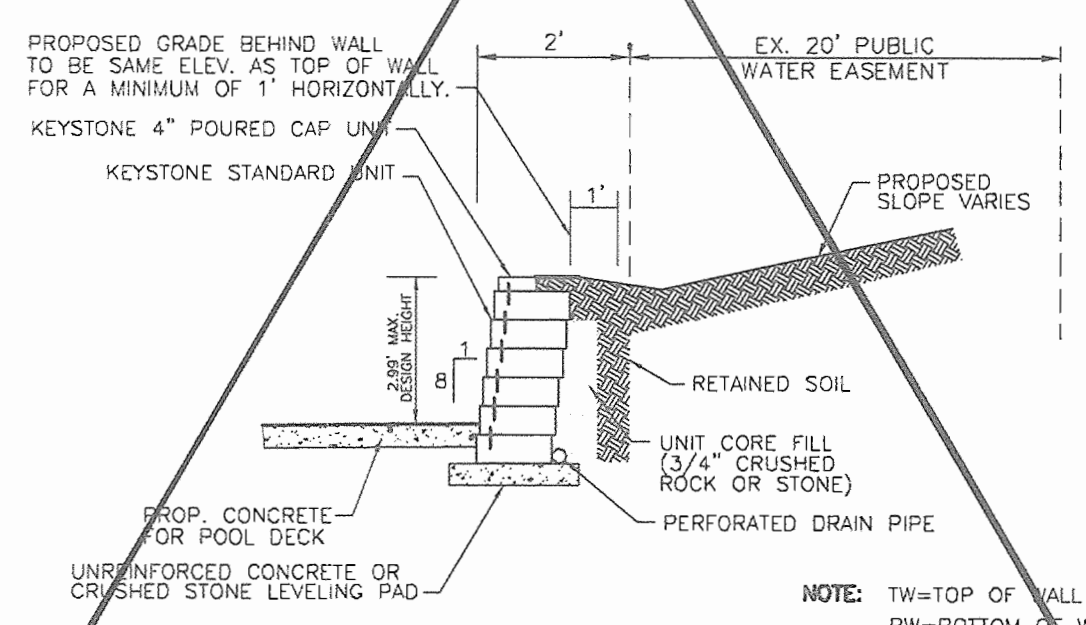
- THE LEVELING PAD IS TO BE CONSTRUCTED OF CRUSHED STONE OR 2,000 PSI UNREINFORCED CONCRETE.
- THE BASE FOUNDATION IS TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE LEVELING PAD.



STANDARD UNIT/BASE PAD ISOMETRIC VIEW
SCALE: NTS

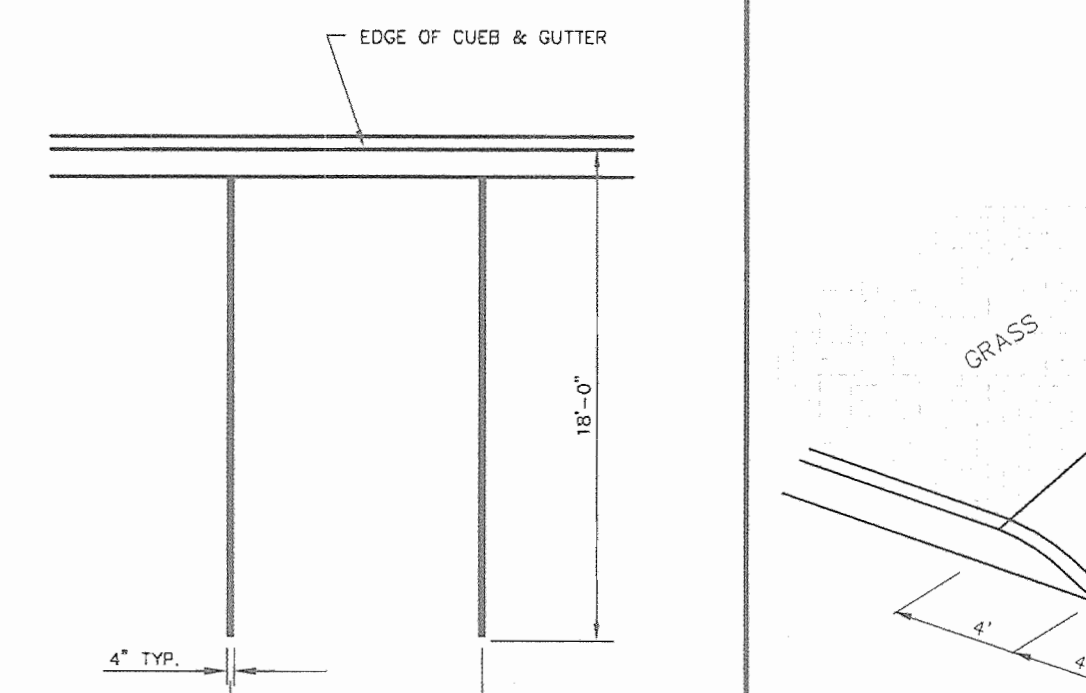
*DIMENSIONS & WEIGHT MAY VARY BY REGION

NOTE: ALL CONSTRUCTION SHALL BE MINIMUM 1.0' FROM EX. EASEMENT



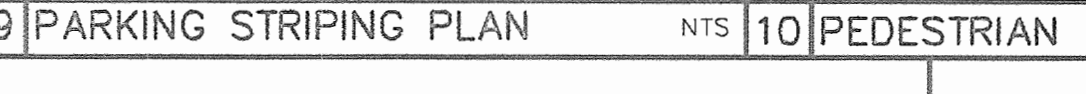
TYPICAL GRAVITY WALL SECTION
STANDARD UNIT - 1" MINIMUM SETBACK

CONCRETE KEYSTONE MODULAR WALL (OR APPROVED EQUAL)

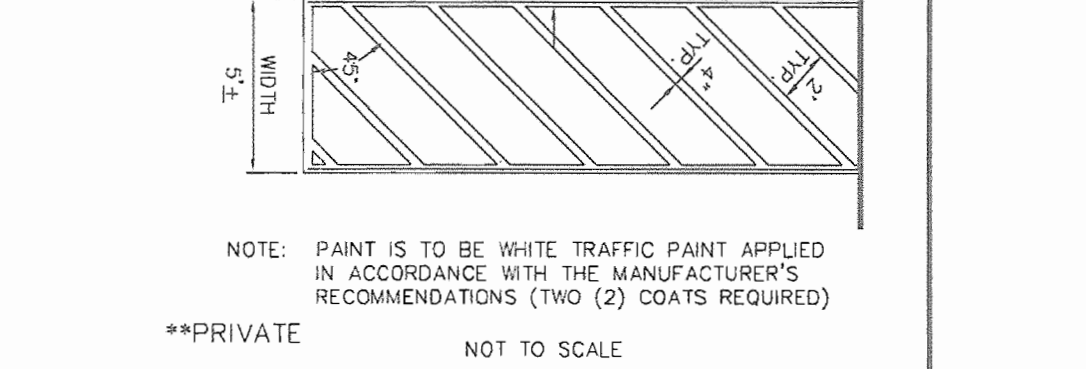


9 | PARKING STRIPING PLAN NTS

**PRIVATE



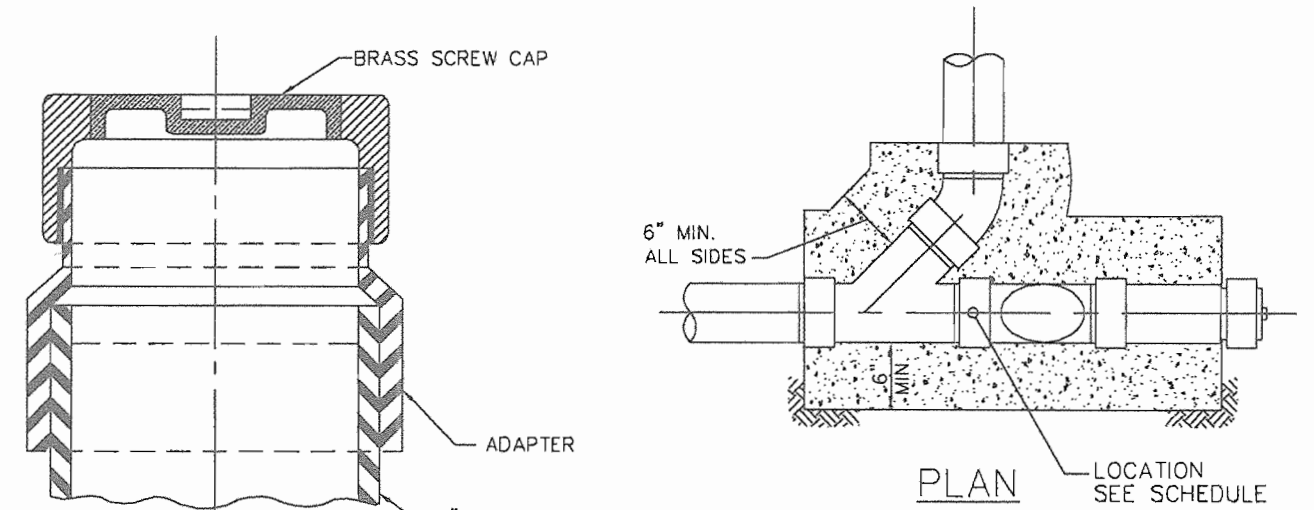
10 | PEDESTRIAN RAMP NTS



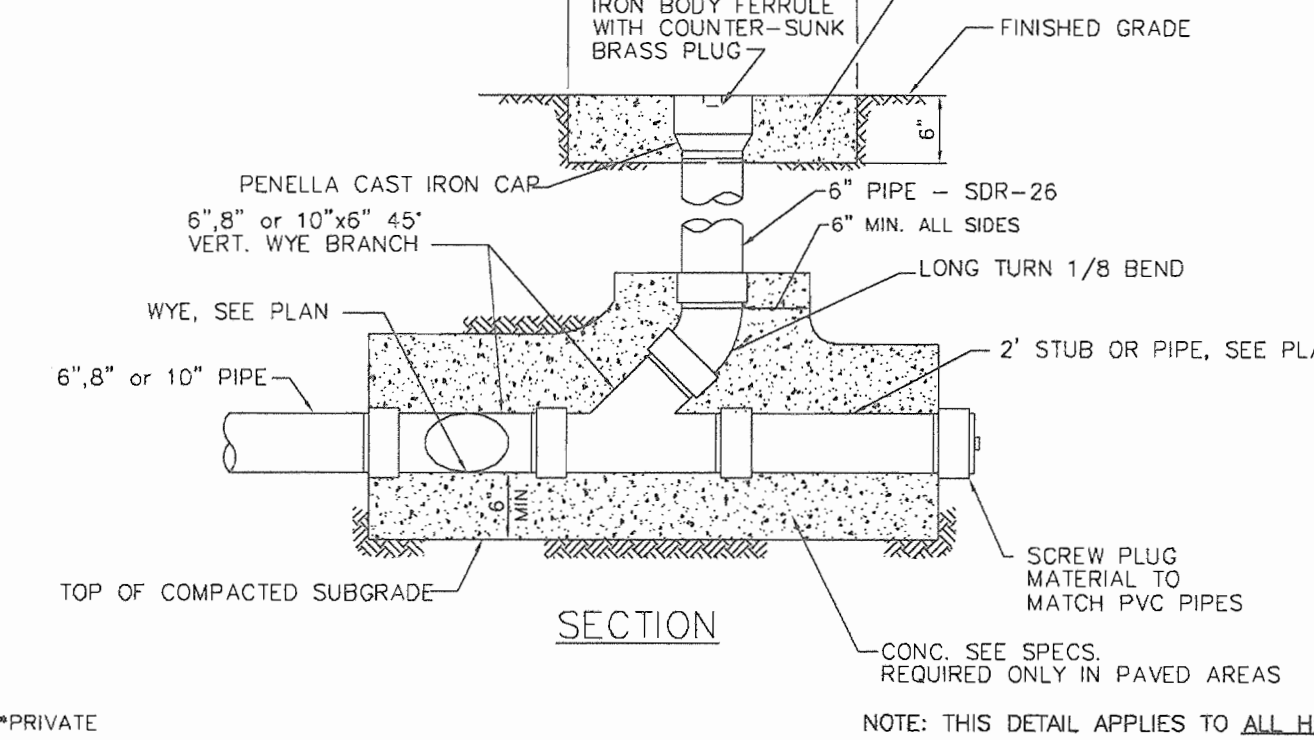
13 | CROSSWALK STRIPING PLAN NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer
 Howard County Health Department



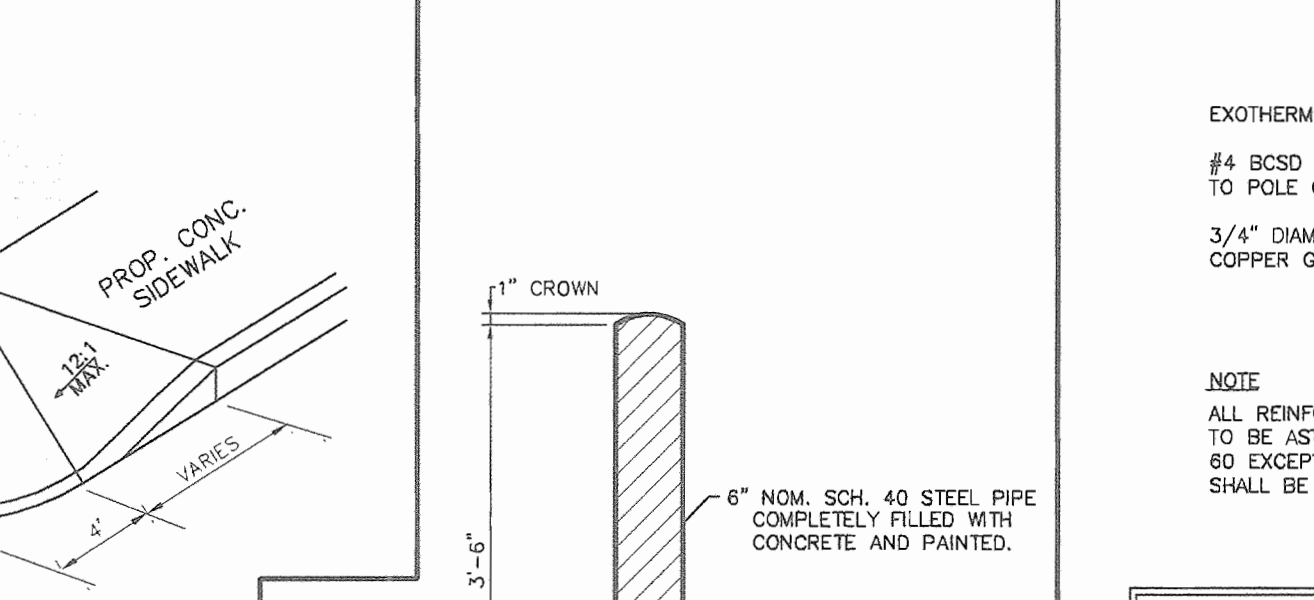
2 | STANDARD ROOF DRAIN CLEANOUT DETAIL NOT TO SCALE



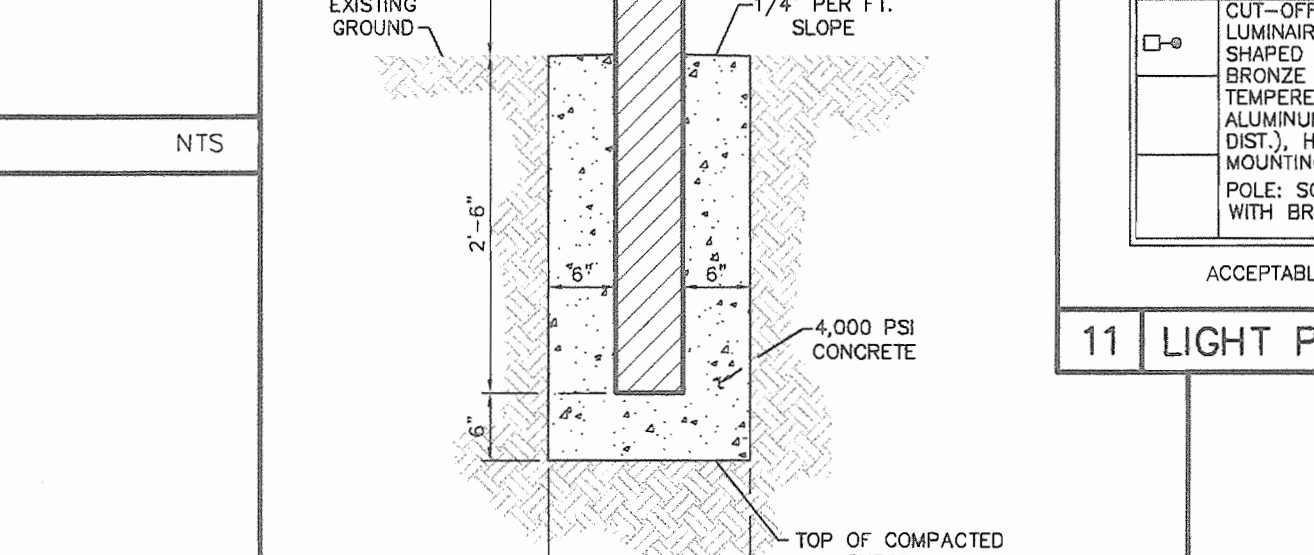
4 | HDPE BEDDING DETAIL NOT TO SCALE



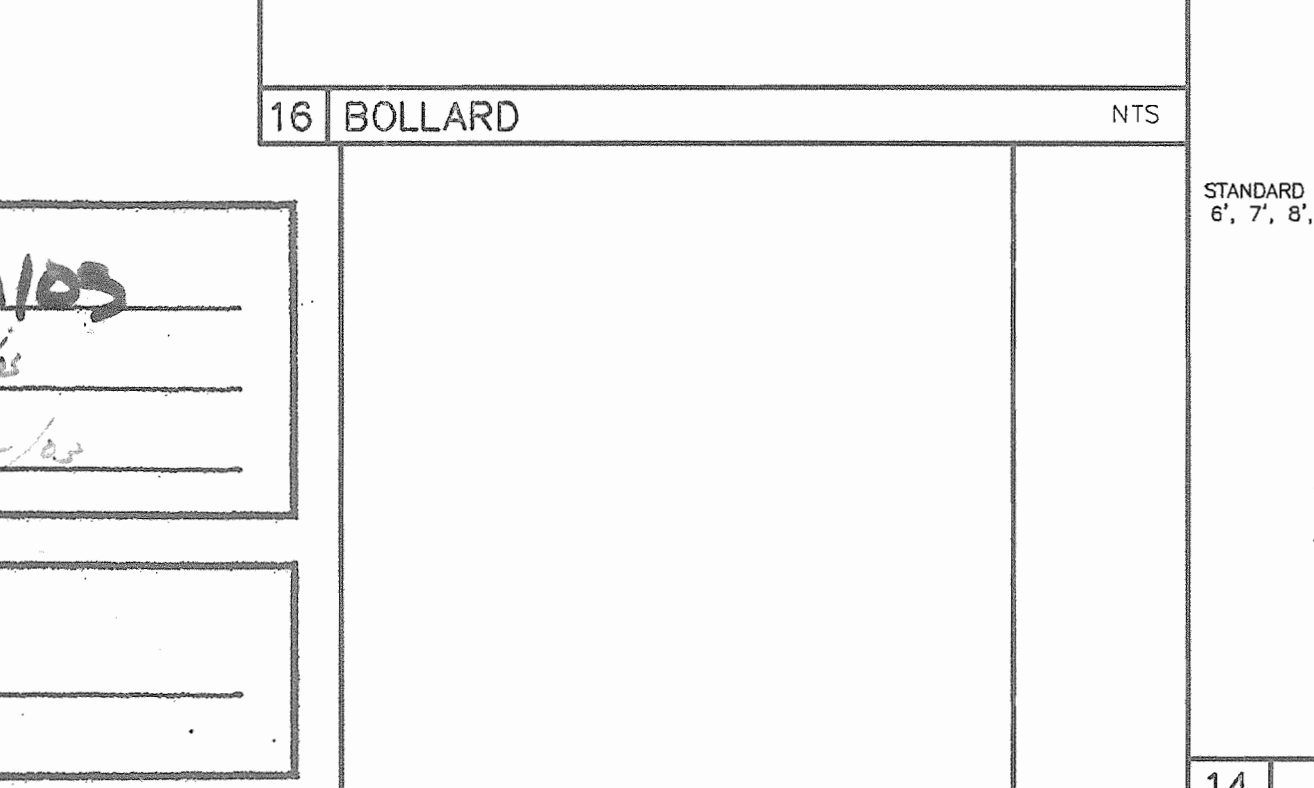
11 | LIGHT POLE BASE, FOUNDATION & FIXTURE SCHEDULE NOT TO SCALE



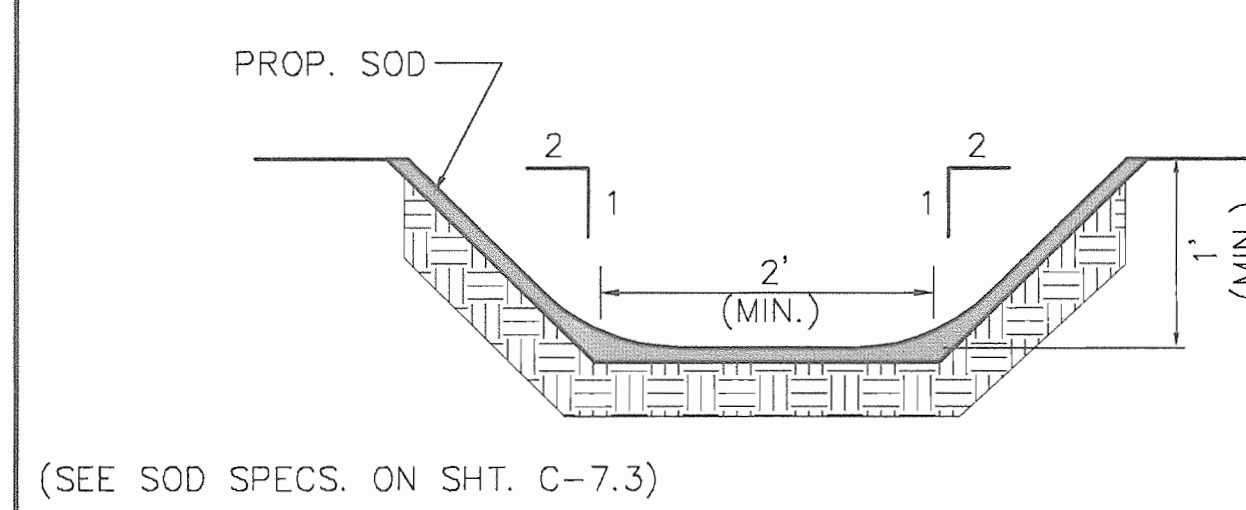
16 | BOLLARD NTS



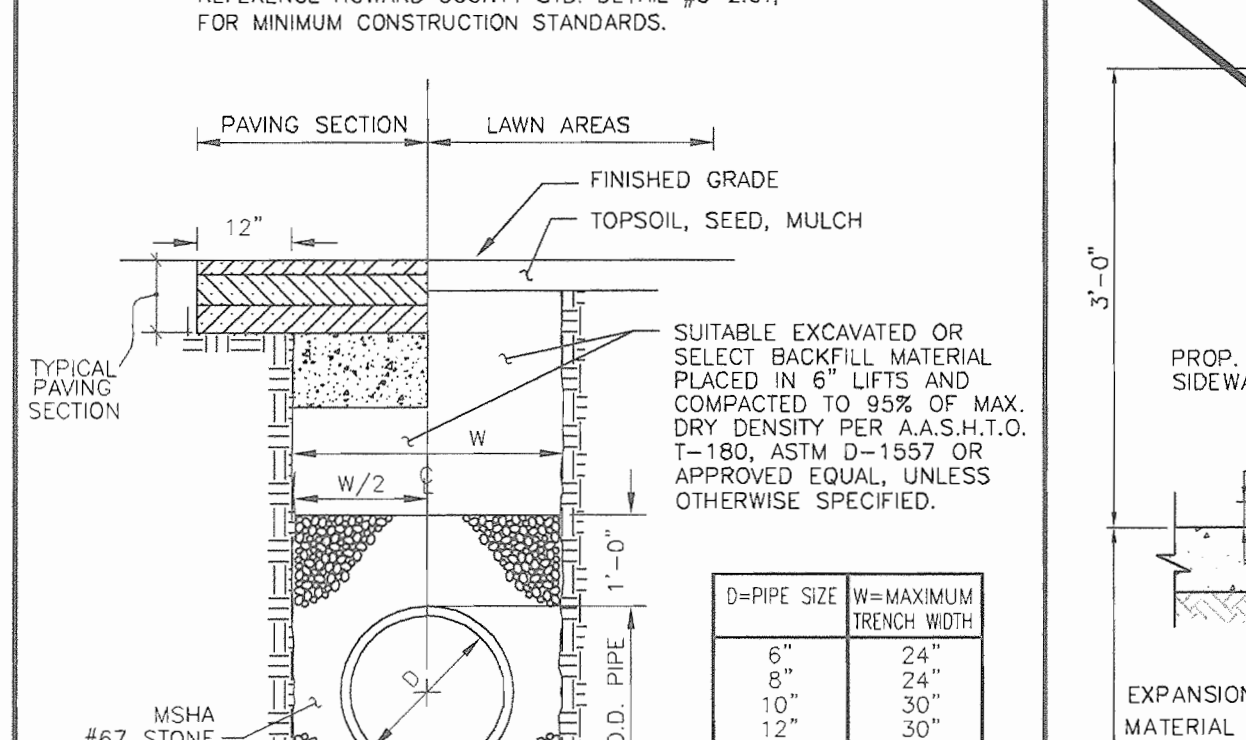
14 | FENCE DETAIL NOT TO SCALE



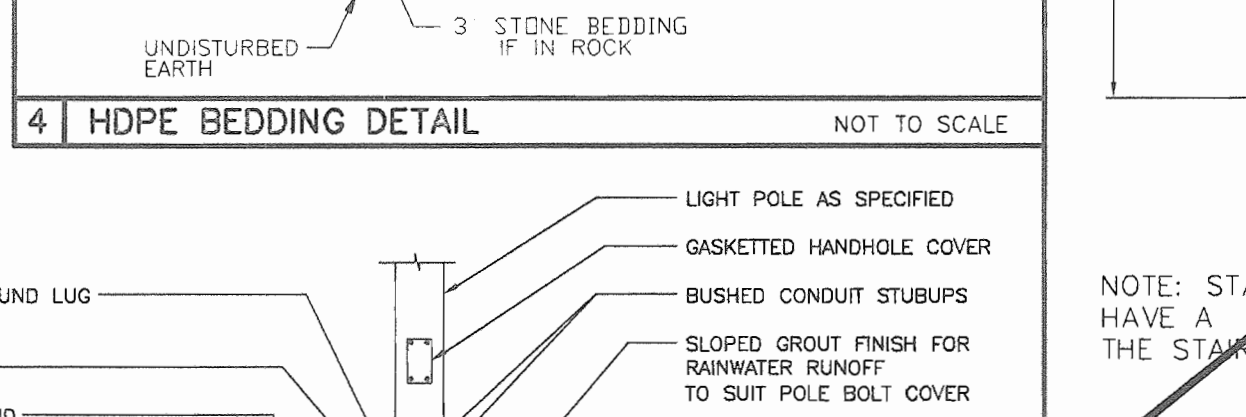
15 | HANDICAP SIGN DETAIL NOT TO SCALE



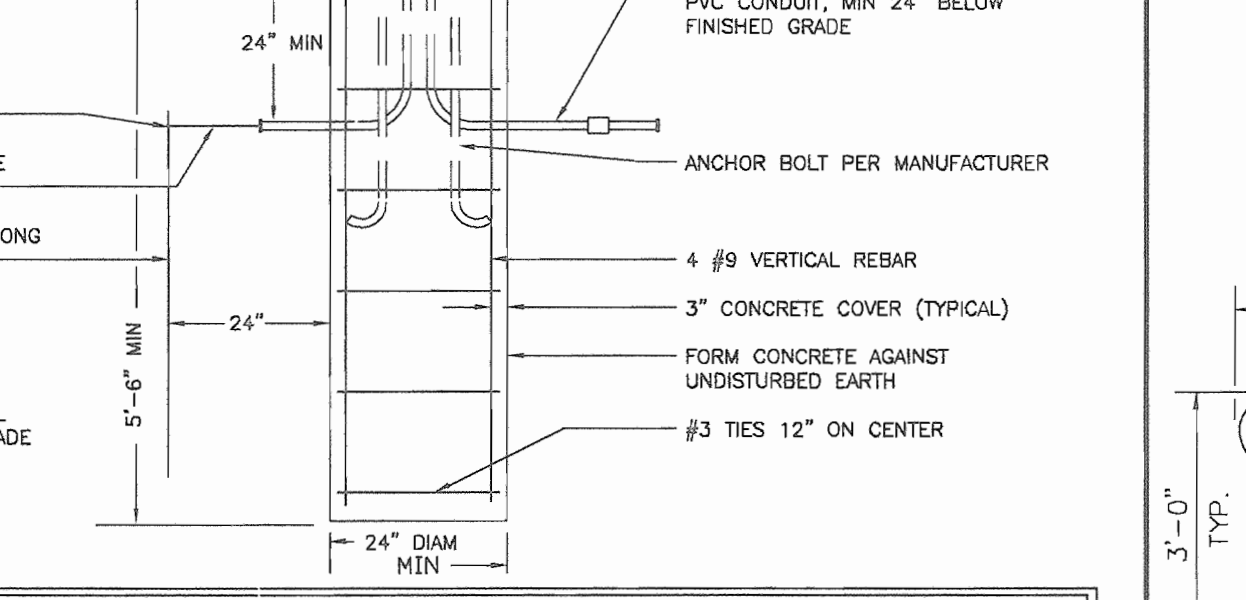
3 | SODDED SWALE NOT TO SCALE



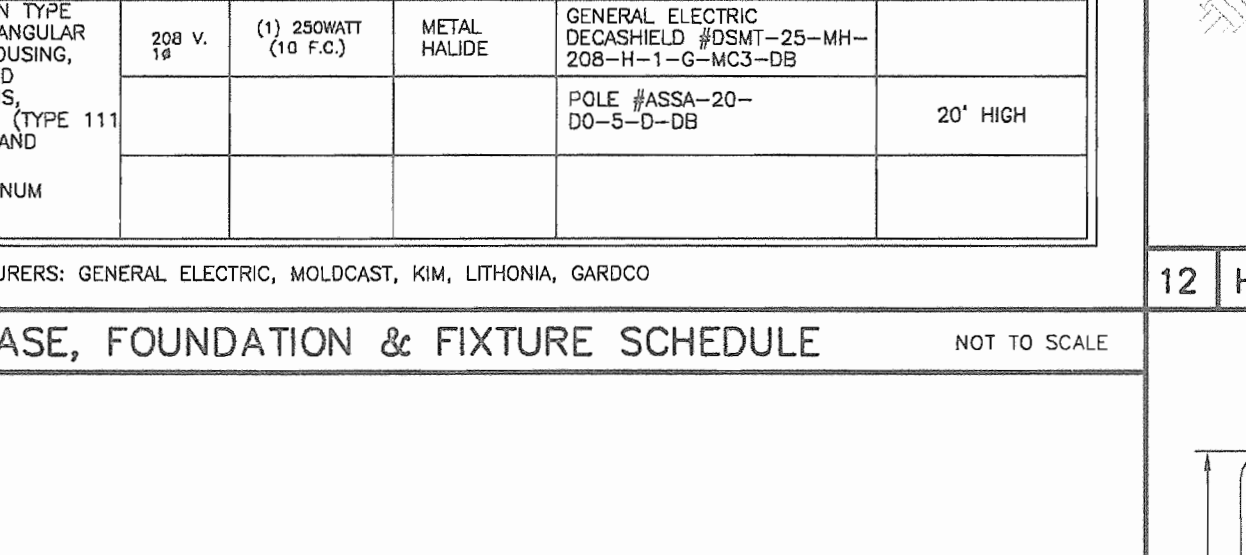
6 | CONCRETE STEPS DETAILS NOT TO SCALE



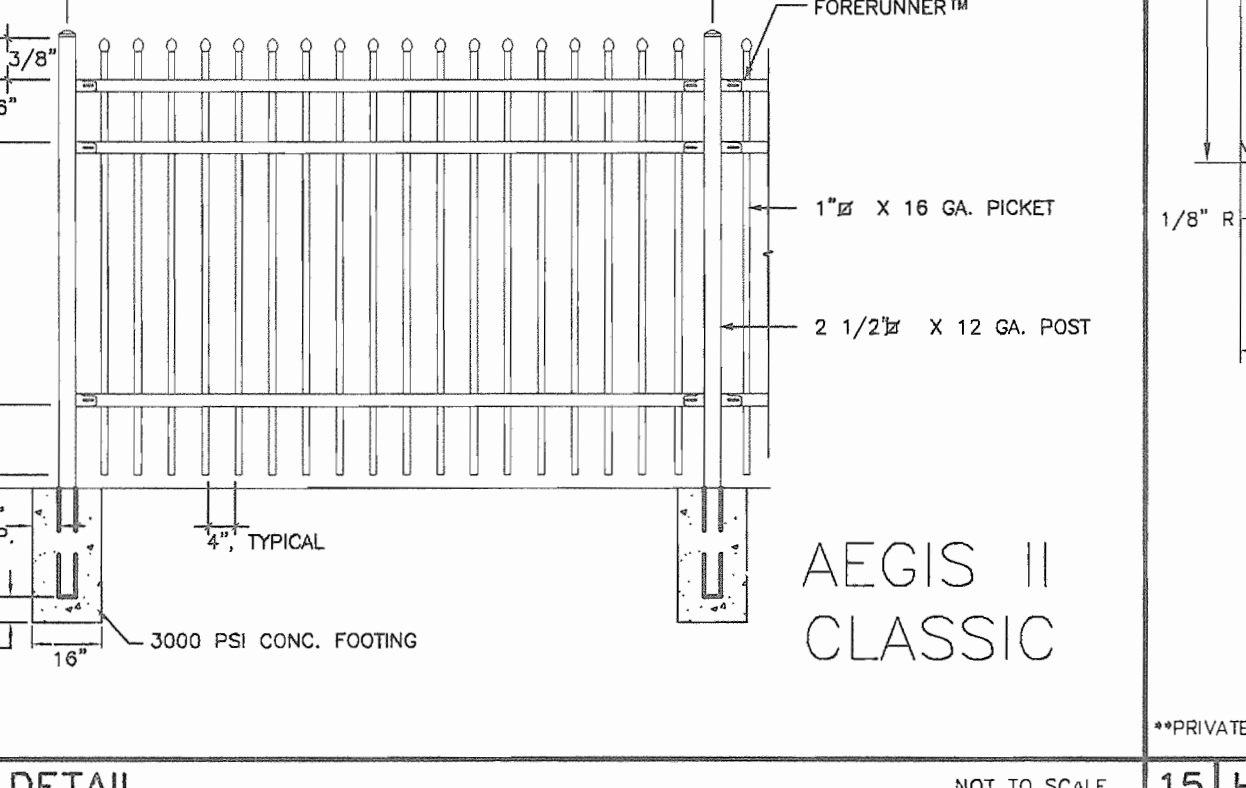
12 | HANDICAP RAILING DETAIL NOT TO SCALE



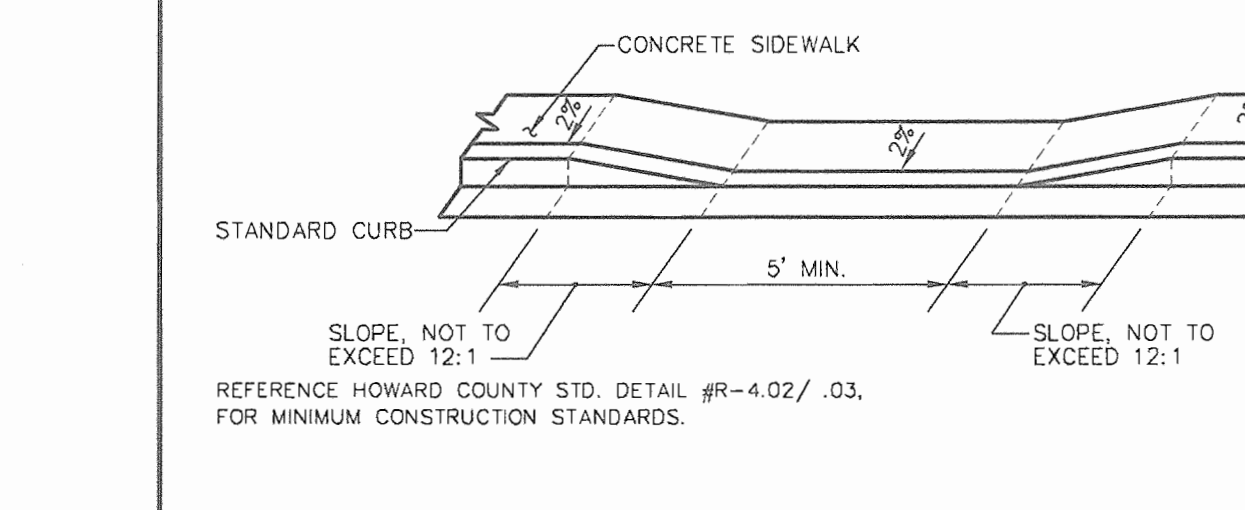
15 | HANDICAP SIGN DETAIL NOT TO SCALE



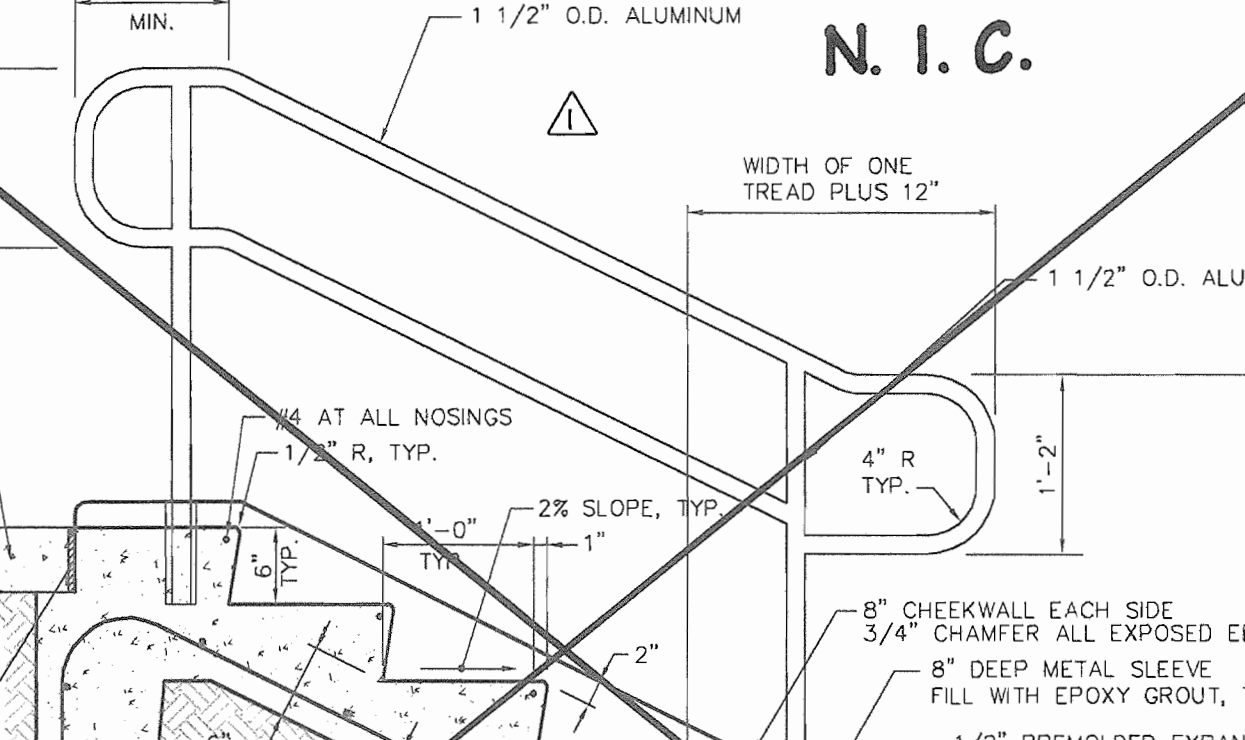
15 | HANDICAP SIGN DETAIL NOT TO SCALE



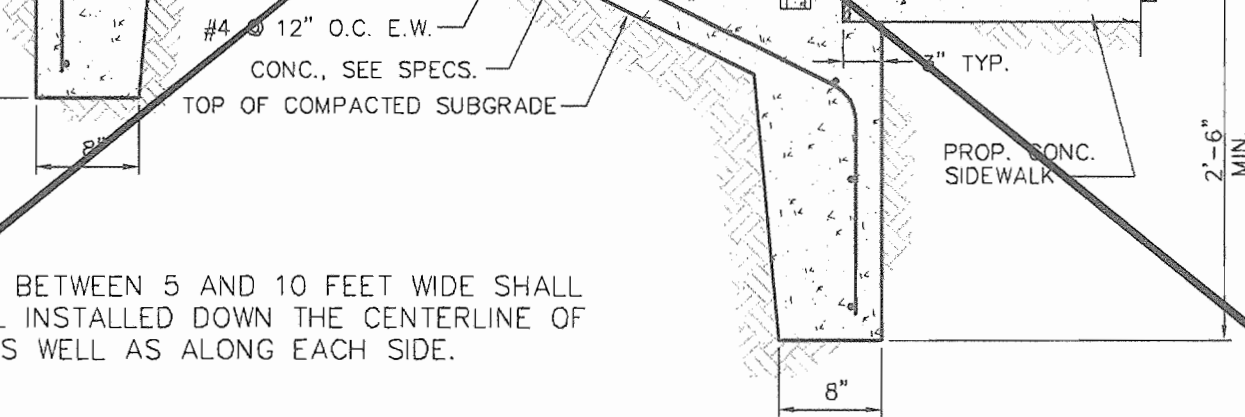
15 | HANDICAP SIGN DETAIL NOT TO SCALE



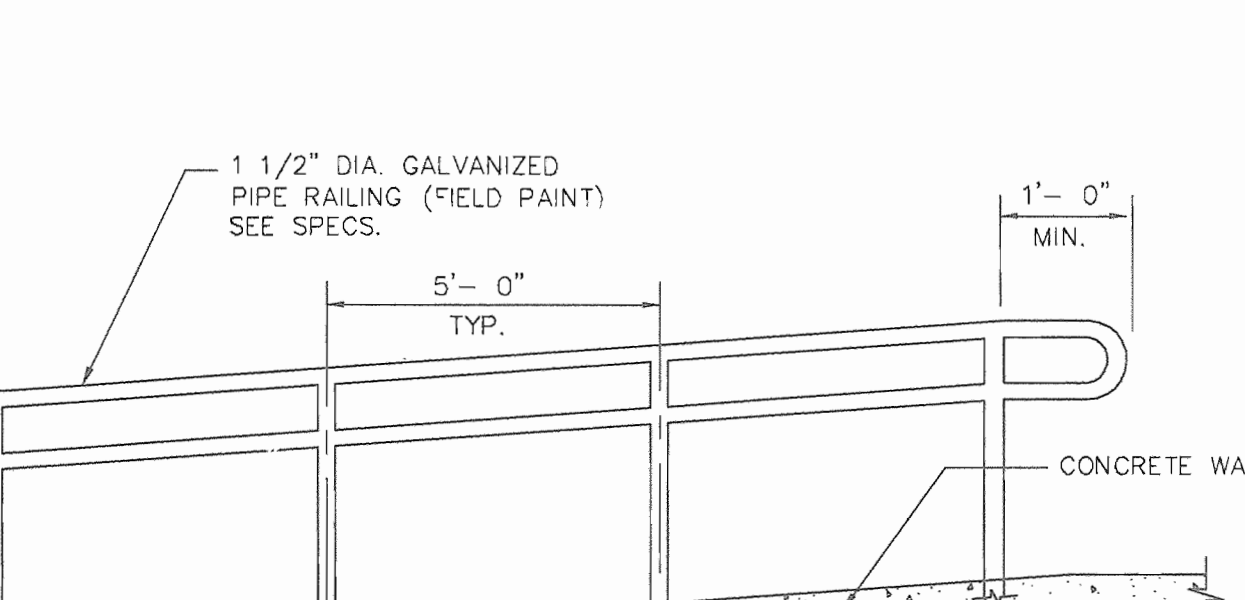
5 | PEDESTRIAN RAMP DETAIL NOT TO SCALE



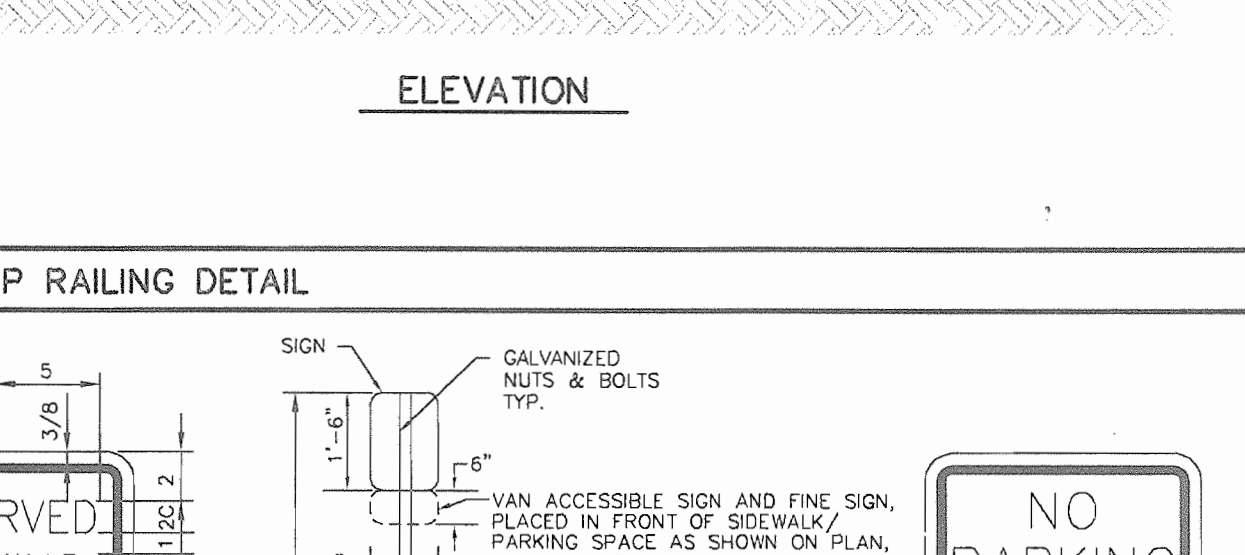
7 | HANDICAP PARKING NOT TO SCALE



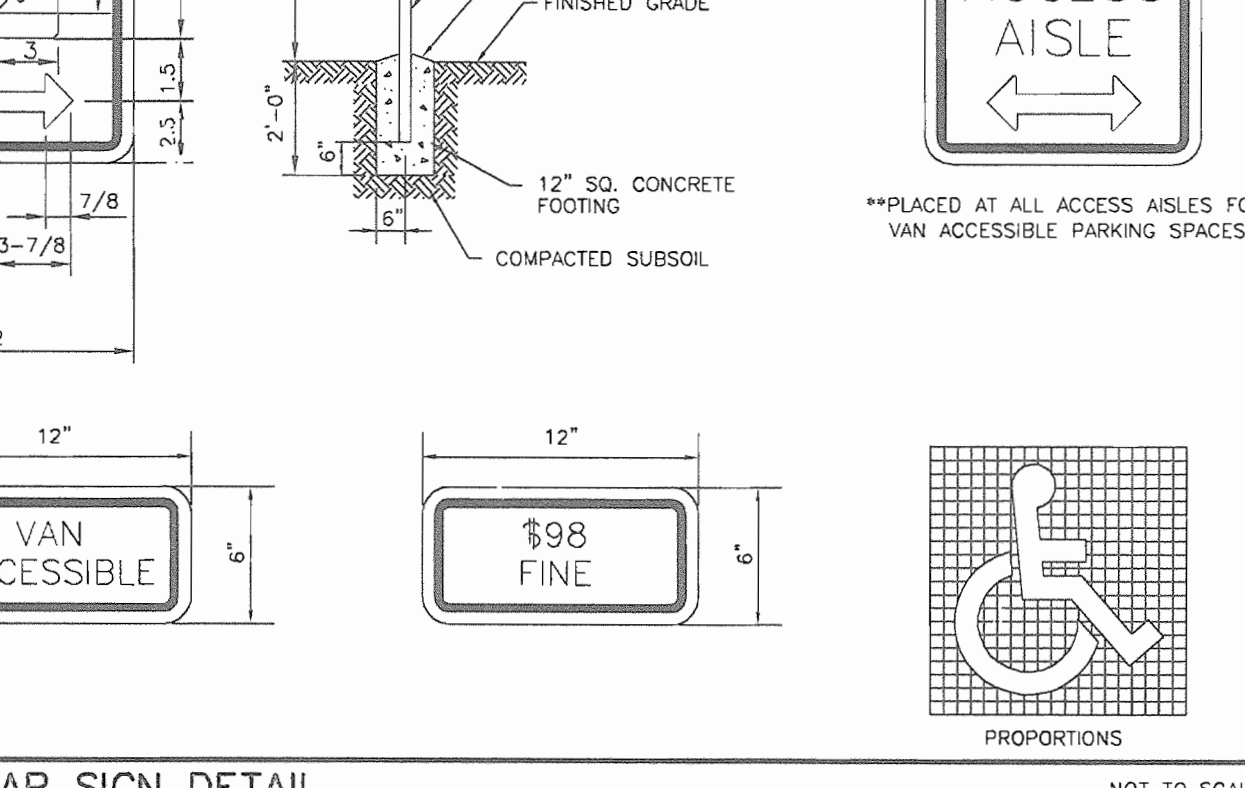
8 | HANDICAP PARKING NOT TO SCALE



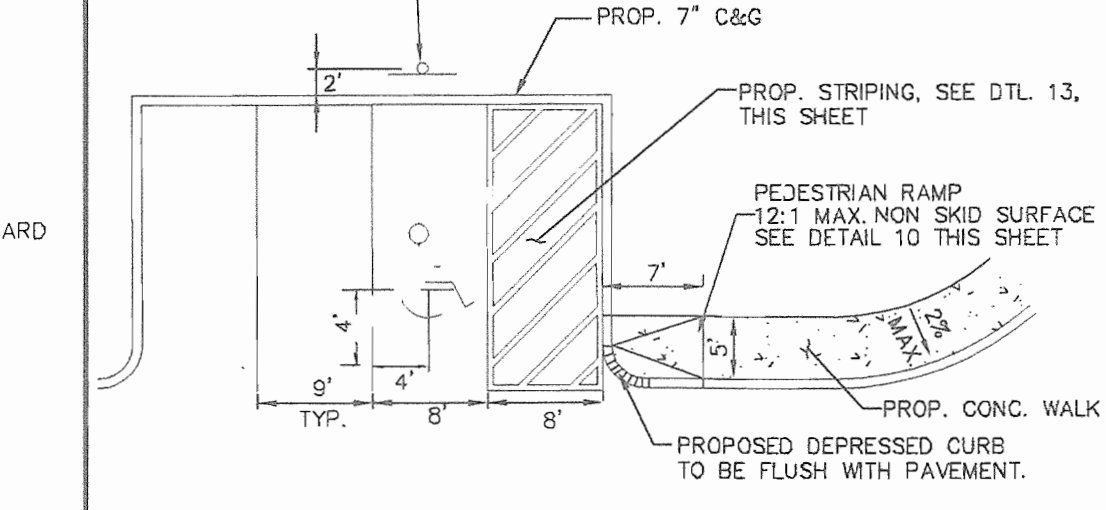
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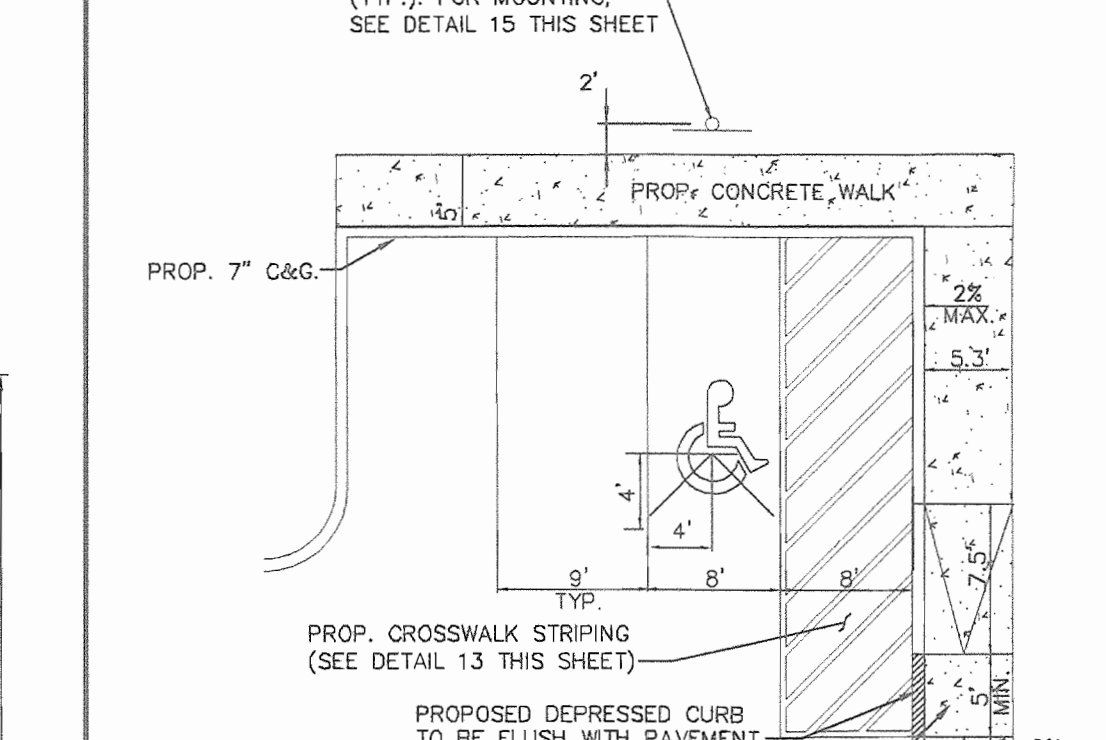
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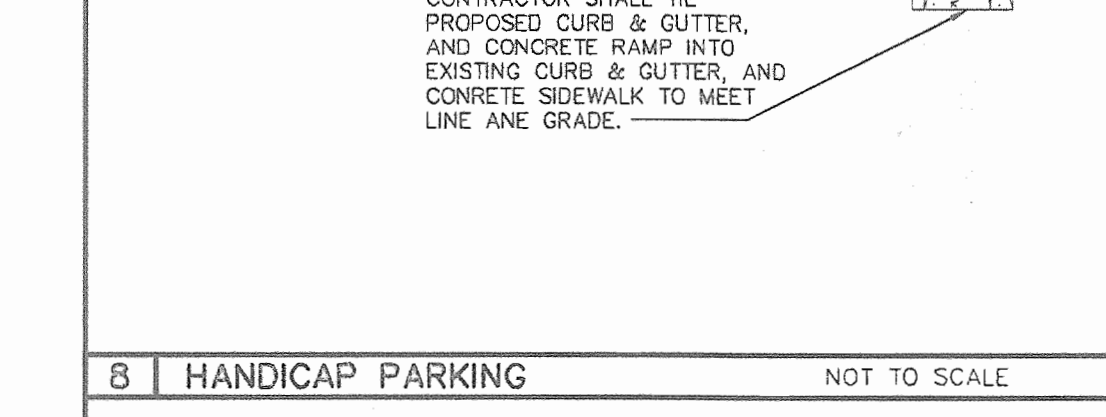
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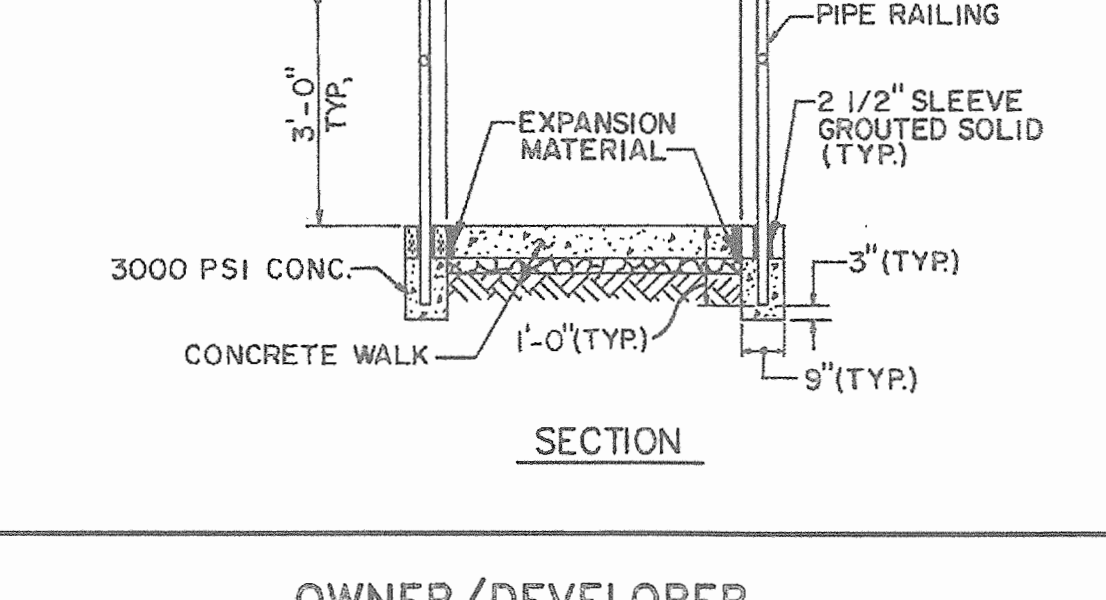
7 | HANDICAP PARKING NOT TO SCALE



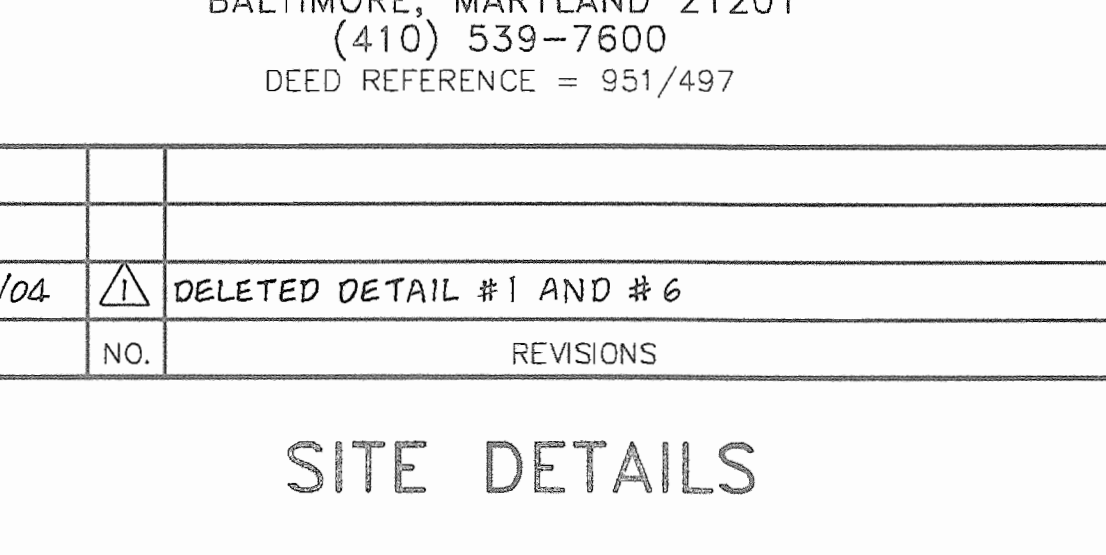
8 | HANDICAP PARKING NOT TO SCALE



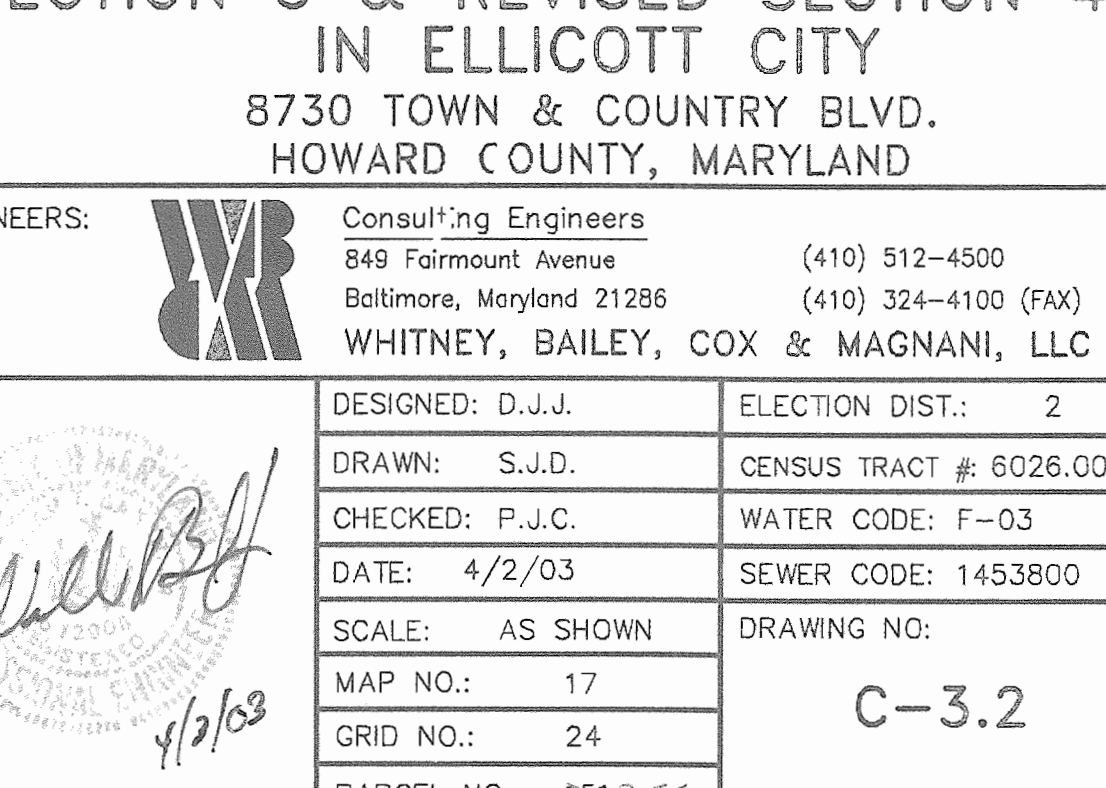
8 | HANDICAP PARKING NOT TO SCALE



8 | HANDICAP PARKING NOT TO SCALE



8 | HANDICAP PARKING NOT TO SCALE



8 | HANDICAP PARKING NOT TO SCALE

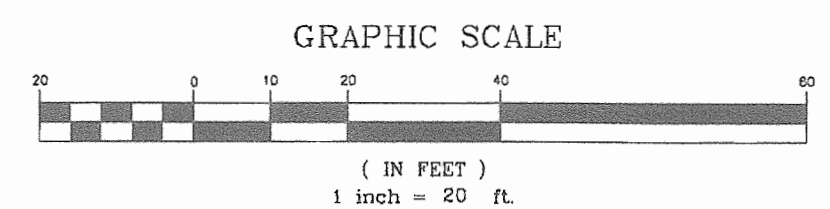
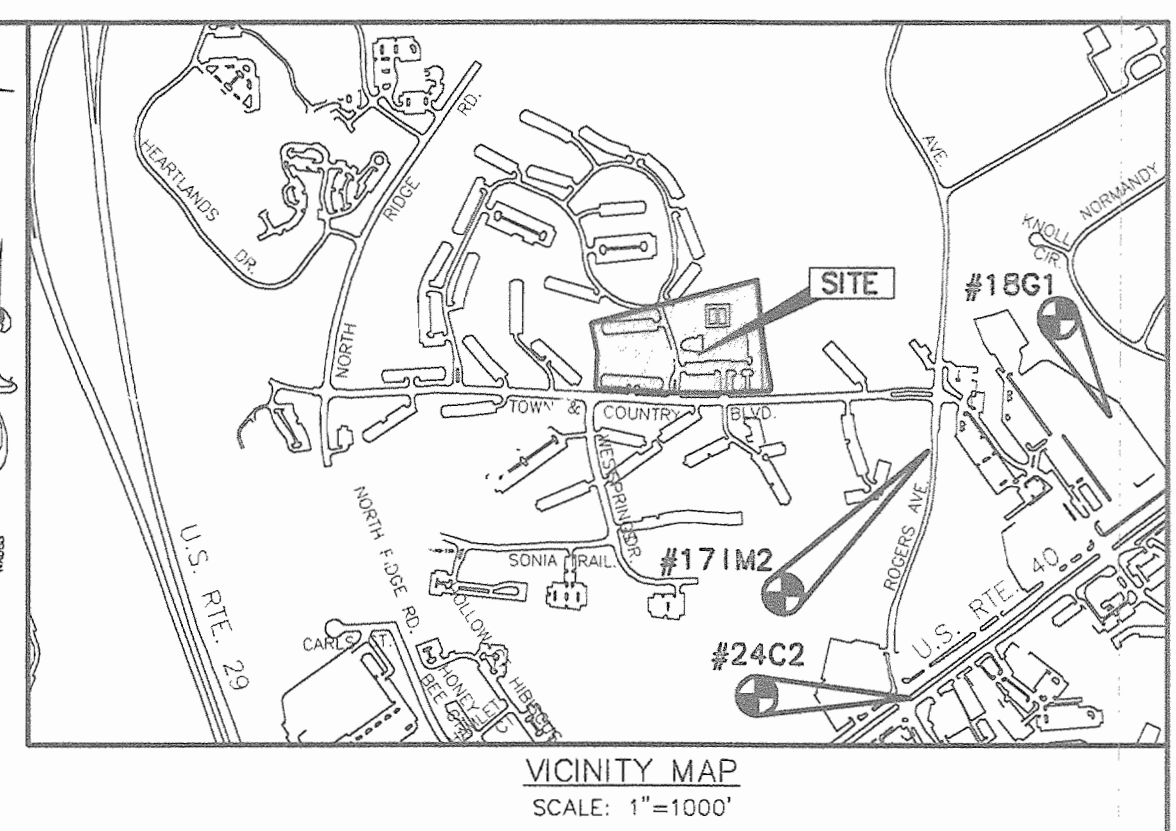
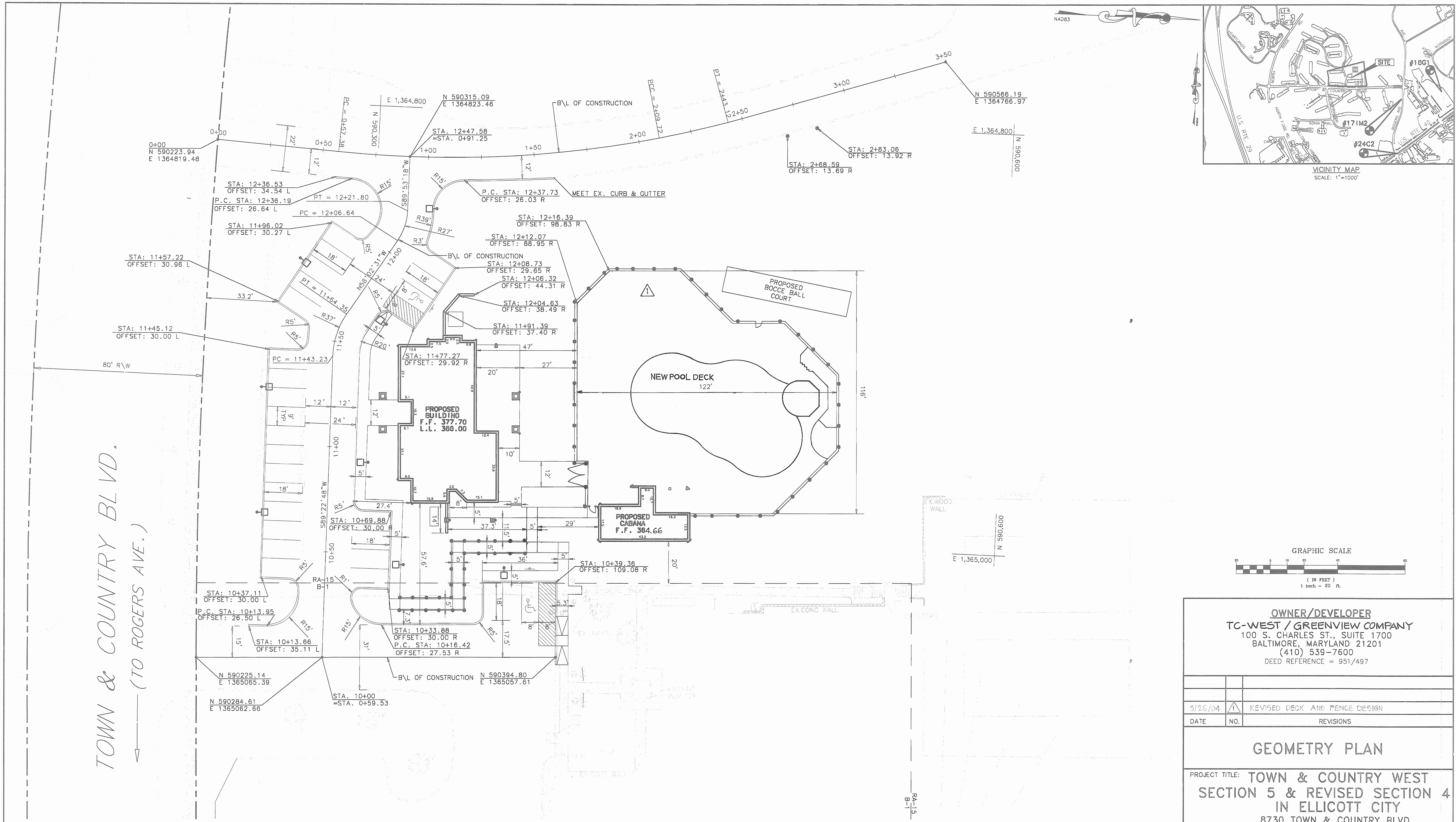
OWNER/DEVELOPER
 TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

5/26/04 DELETED DETAIL #1 AND #6

SITE DETAILS
 PROJECT TITLE: TOWN & COUNTRY WEST
 SECTION 5 & REVISED SECTION 4
 IN ELLICOTT CITY
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J. ELECTION DIST.: 2
 DRAWN: S.J.D. CENSUS TRACT #: 6026.00
 CHECKED: P.J.C. WATER CODE: F-03
 DATE: 4/2/03 SEWER CODE: 1453800
 SCALE: AS SHOWN DRAWING NO:
 MAP NO.: 17
 GRID NO.: 24
 PARCEL NO.: T51355 SHEET 5 OF 17
 SDP-03-28 WSCM 2002



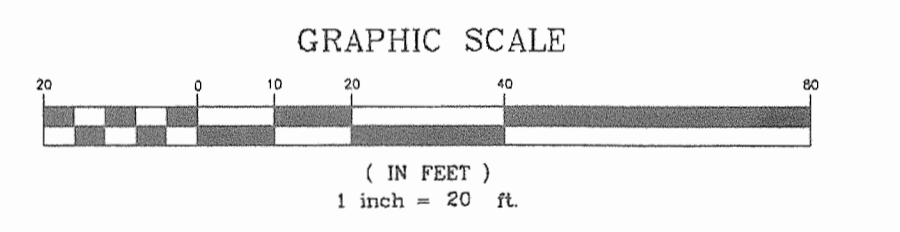
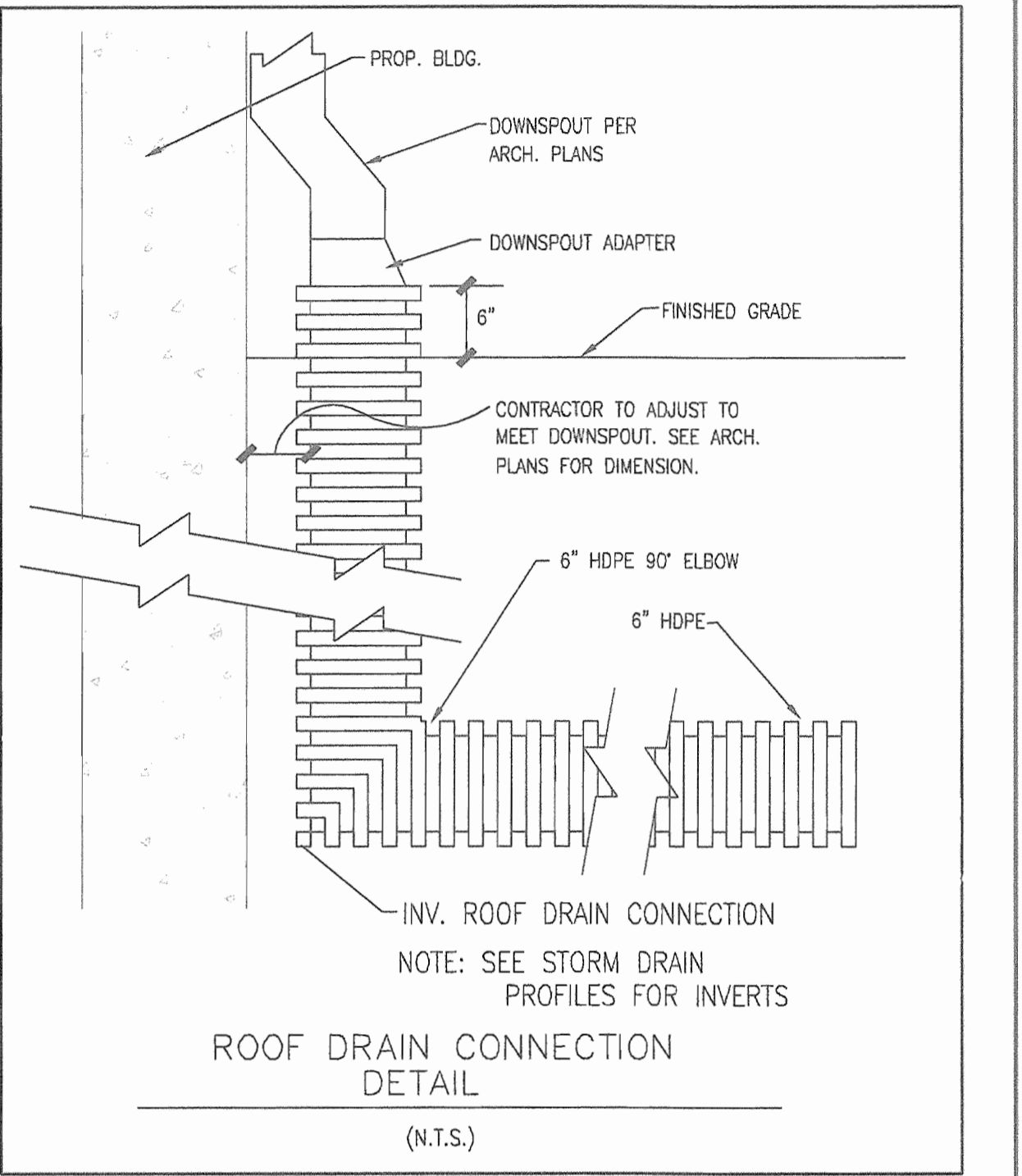
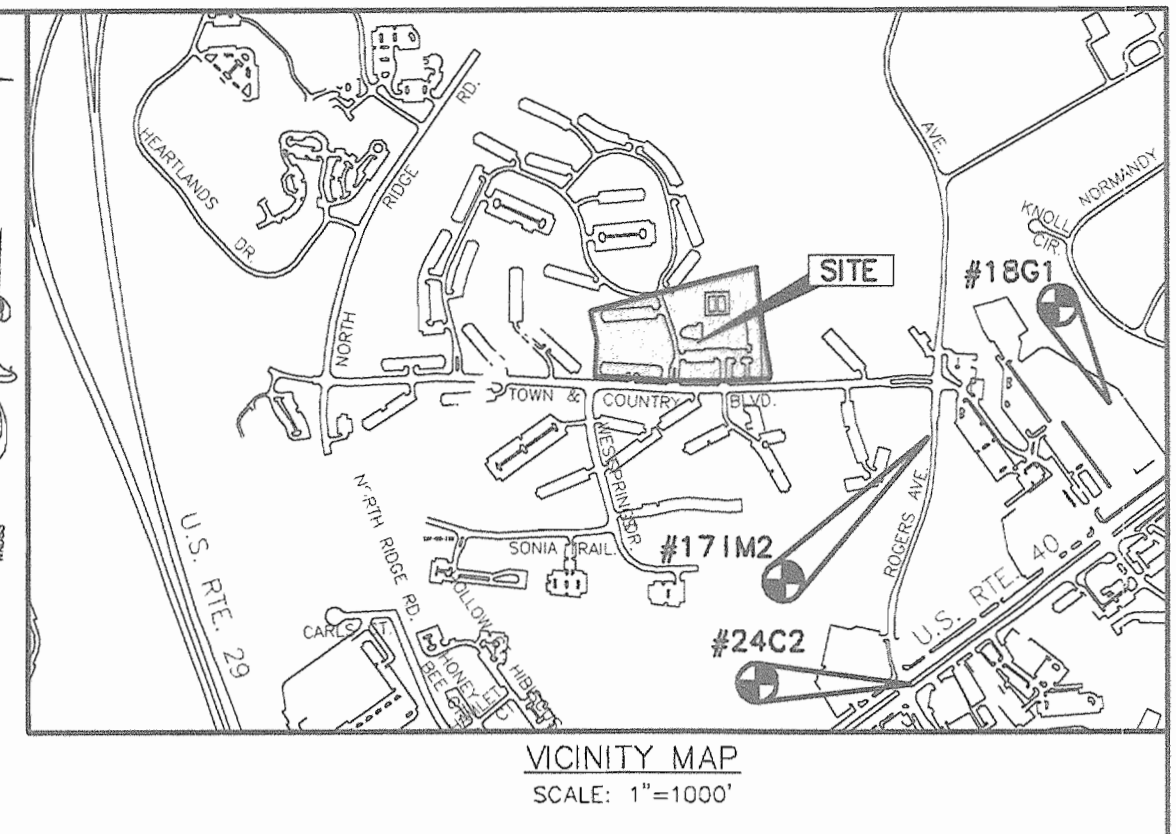
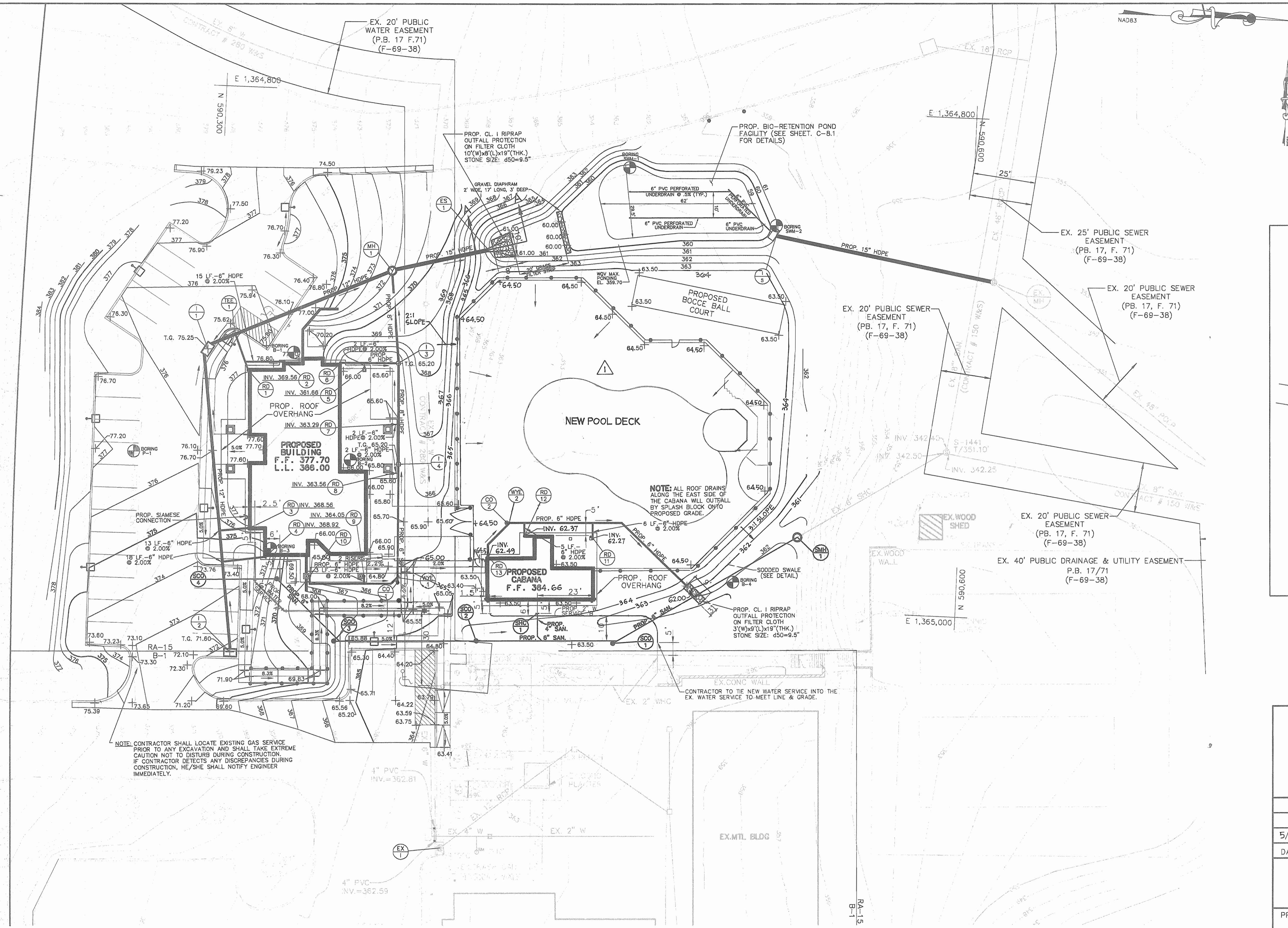
TOWN & COUNTRY BLVD.
 (TO ROGERS AVE.)

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 8/11/03
 Chief, Division of Land Development Date: 8/11/03
 Director Date: 8/11/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 8/18/03
 Howard County Health Department

OWNER/DEVELOPER TC-WEST / GREENVIEW COMPANY 100 S. CHARLES ST., SUITE 1700 BALTIMORE, MARYLAND 21201 (410) 539-7600 DEED REFERENCE = 951/497	
5/26/04	REVISOR: REVISED DECK AND FENCE DESIGN
DATE	NO. REVISIONS
GEOMETRY PLAN	
PROJECT TITLE: TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY 8730 TOWN & COUNTRY BLVD. HOWARD COUNTY, MARYLAND	
ENGINEERS:	Consulting Engineers 849 Fairmount Avenue (410) 512-4500 Baltimore, Maryland 21286 (410) 324-4100 (FAX) WHITNEY, BAILEY, COX & MAGNANI, LLC
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-4
GRID NO.: 24	
PARCEL NO.: 751 355	SHEET 6 OF 17

TOWN & COUNTRY BLVD.
(TO ROGERS AVE.)



PLAN
SCALE: 1"=20'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Division of Land Development
Director

Date: 8/1/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer
Howard County Health Department

Date: 8/8/03

UTILITY STRUCTURE SCHEDULE						
NO.	DESCRIPTION	COORDINATES		TOP	INVERT IN	INVERT OUT
		NORTHING	EASTING			
MH-1	48" DIAMETER PRECAST MANHOLE, SEE HOWARD COUNTY STD. DETAIL NO. C-5.2	N. 590369.2973	E. 1364871.3116	372.20	362.35	361.57
I-1	DOUBLE 'S' INLET WITH RETICULAR GRATES. SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 990297.1800	E. 1364905.9100	375.25	367.87	367.47
I-2	DOUBLE 'S' INLET WITH RETICULAR GRATES. SEE HOWARD CO. STD. DETAIL NO. SD 4.23	N. 590311.1535	E. 1365026.4654	371.60	368.50	368.50
I-3	YARD DRAIN WITH PEDESTRIAN GRATE SEE DETAIL ON SHEET. C-5.2	N. 590373.5146	E. 1364908.1058	365.20	362.65	362.65
I-4	YARD DRAIN WITH PEDESTRIAN GRATE SEE DETAIL ON SHEET. C-5.2	N. 590375.3158	E. 1364948.6776	365.20	363.40	363.20
ES-1	18" HDPE END SECTION	N. 590409.2016	E. 1364880.6797	---	---	361.20
SMH-1	DROP MANHOLE HOWARD CO. STD. DETAIL NO. SD 1.32	N. 990335.7853	E. 1364970.7443	361.50	355.24	355.12
SCO-1	STANDARD IN-LINE CLEANOUT HOWARD CO. STD. DETAIL NO. S 2.22	N. 590463.9341	E. 1365016.3276	363.19	356.90	356.90
SCO-2	STANDARD IN-LINE CLEANOUT HOWARD CO. STD. DETAIL NO. S 2.22	N. 590409.4088	E. 1365017.7513	364.00	358.02	358.02
SCO-3	STANDARD IN-LINE CLEANOUT HOWARD CO. STD. DETAIL NO. S 2.22	N. 590346.1961	E. 1365020.6423	368.30	356.12	356.12
SCO-4	STANDARD IN-LINE CLEANOUT HOWARD CO. STD. DETAIL NO. S 2.22	N. 590329.3273	E. 1365003.7964	370.80	359.80	359.80

TOPS OF INLETS REFER TO TOP OF GRATE

PIPE SCHEDULE		
SIZE	LENGTH	TYPE
6"	297 LF.	HDPE
8"	77 LF.	HDPE
12"	202 LF.	HDPE
15"	129 LF.	HDPE
2"	73 LF.	K' COPPER
4"	91 LF.	D.I.P.
6"	252 LF.	P.V.C.

OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497

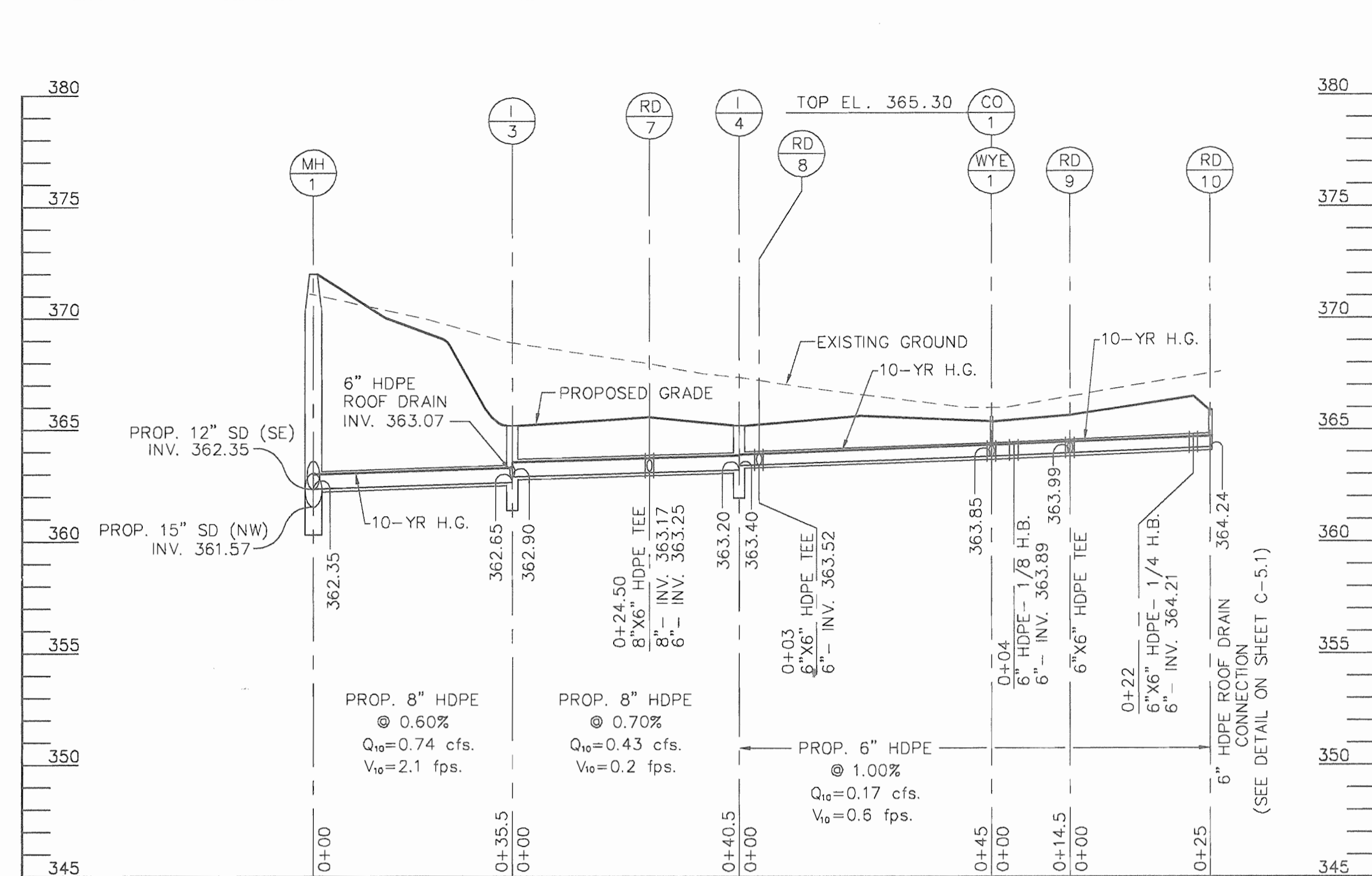
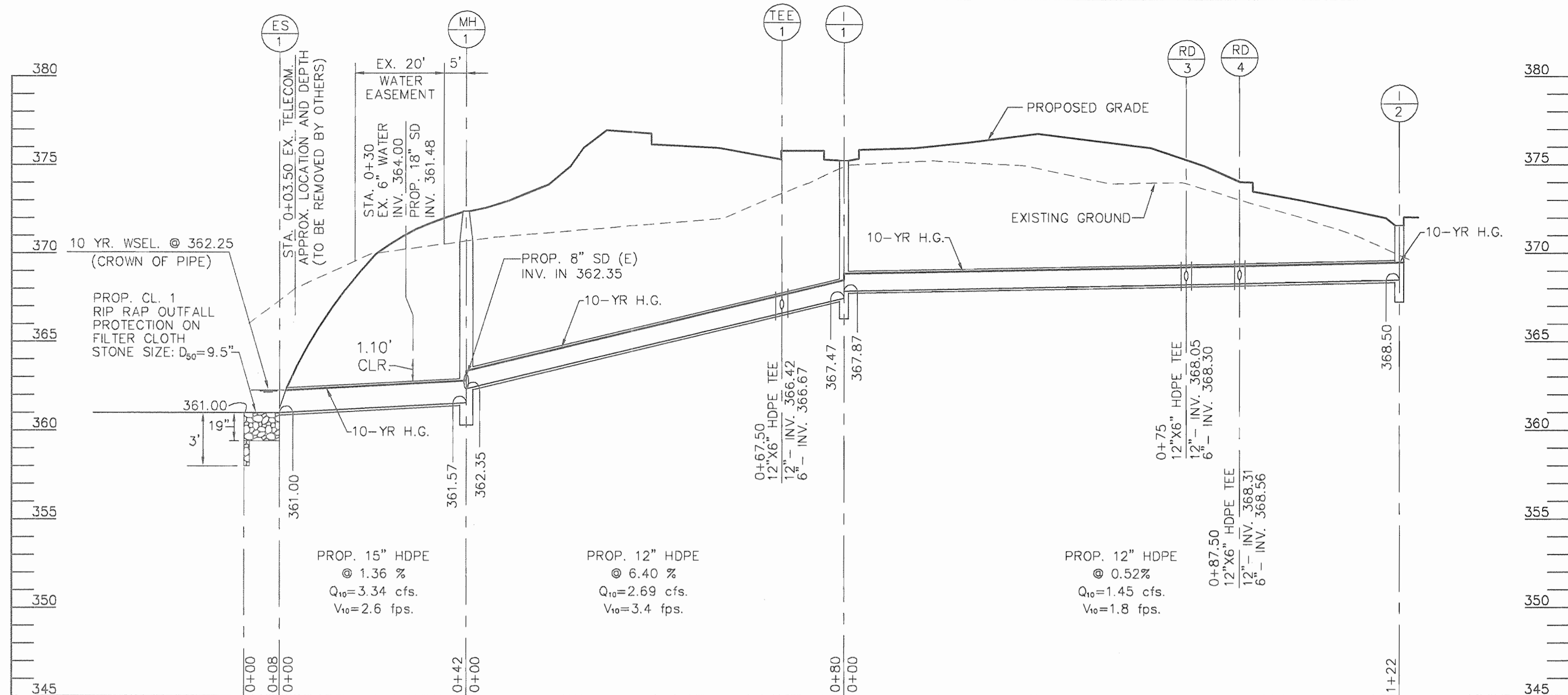
DATE	NO.	REVISIONS
5/26/04	1	REVISED POOL DECK, FENCE DESIGN AND CABANA GRADING

GRADING & UTILITY PLAN

PROJECT TITLE: TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY
8730 TOWN & COUNTRY BLVD.
HOWARD COUNTY, MARYLAND

ENGINEERS: Consulting Engineers
849 Fairmount Avenue
Baltimore, Maryland 21286
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO.:
MAP NO.: 17	C-5.1
GRID NO.: 24	
PARCEL NO.: 761355	SHEET 7 OF 17

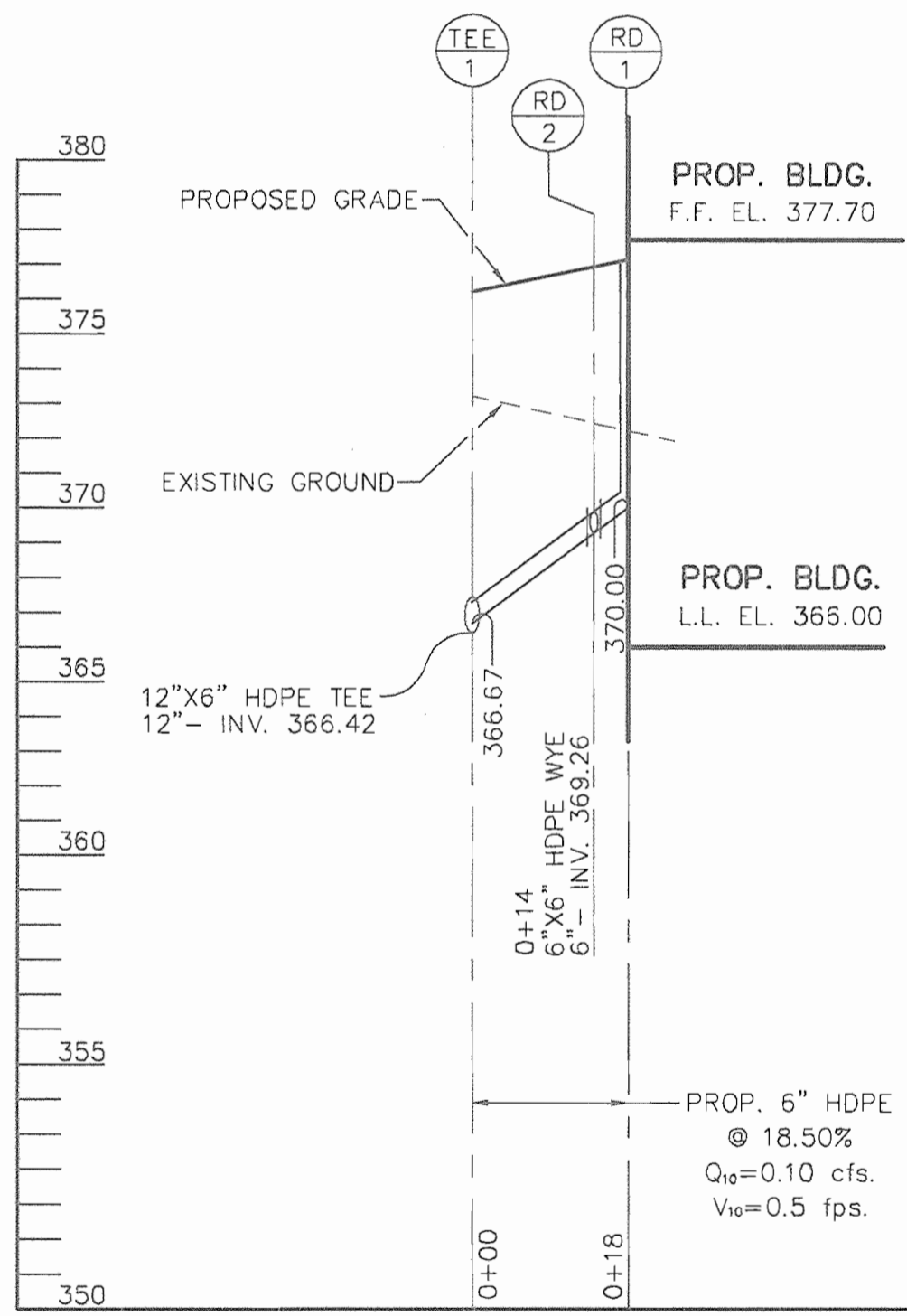


STORM DRAIN PROFILE

SCALE: HORIZ. 1"=20'
VERT. 1"=5'

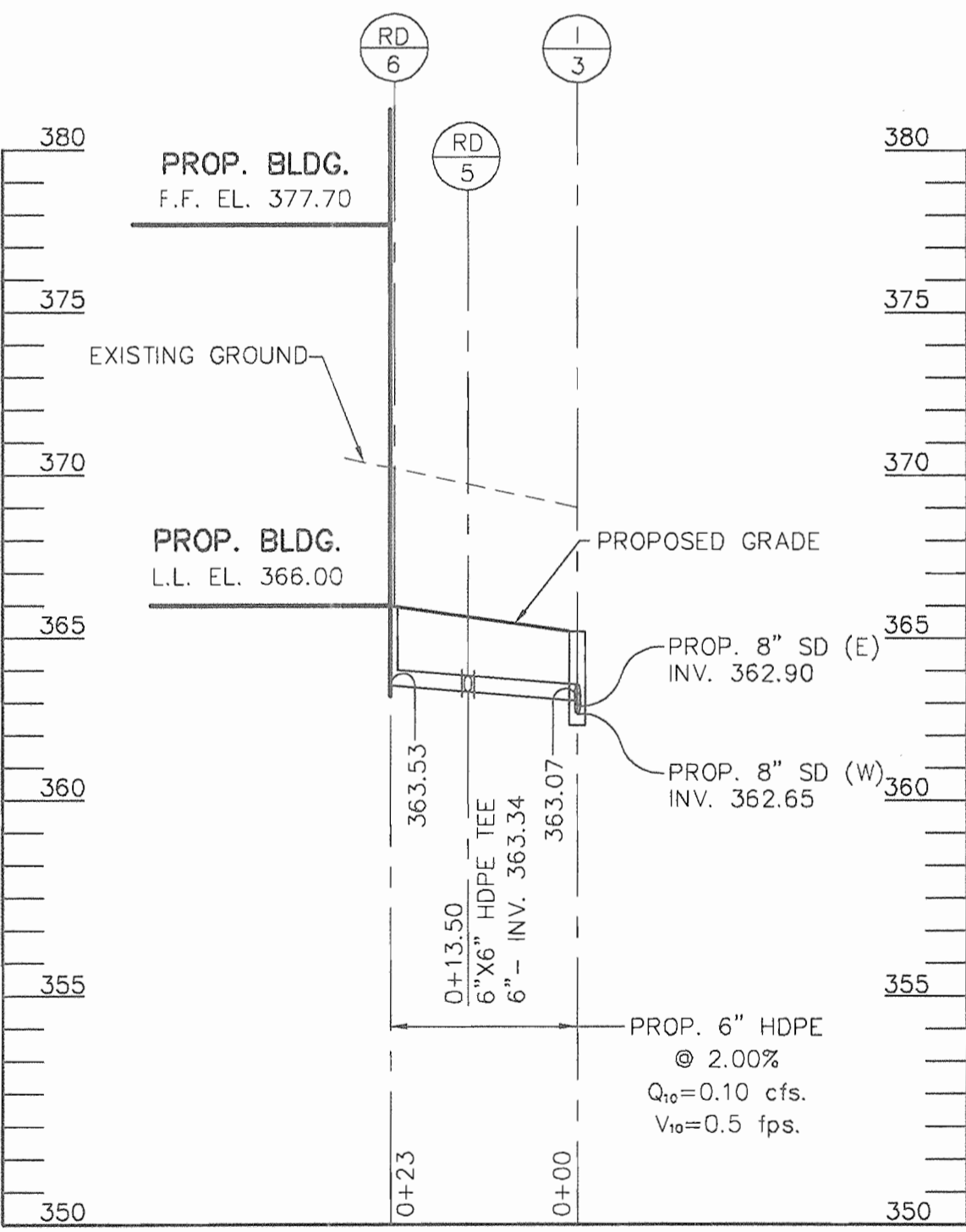
STORM DRAIN PROFILE

SCALE: HORIZ. 1"=20'
VERT. 1"=5'



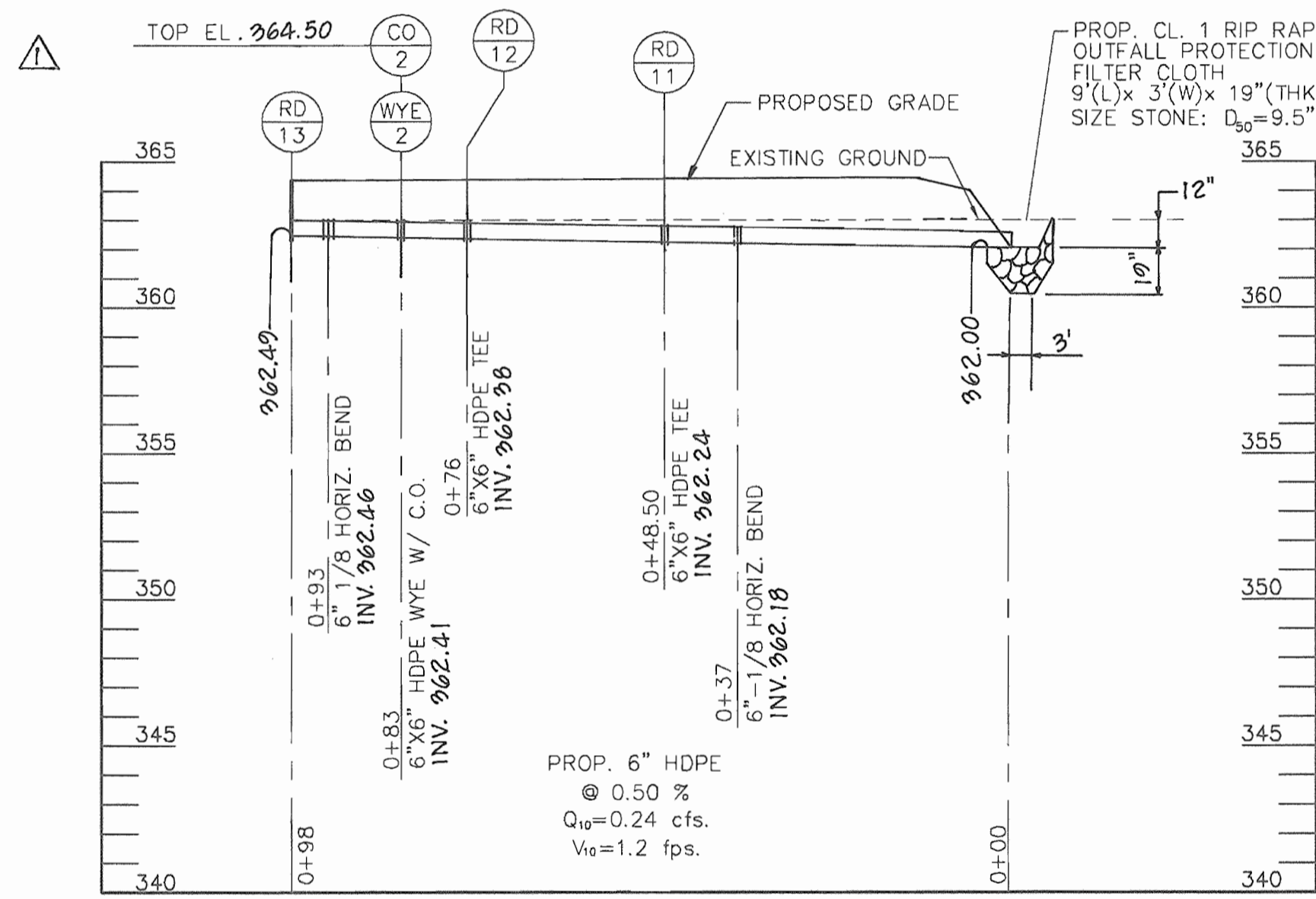
STORM DRAIN PROFILE

SCALE: HORIZ. 1"=20'
VERT. 1"=5'



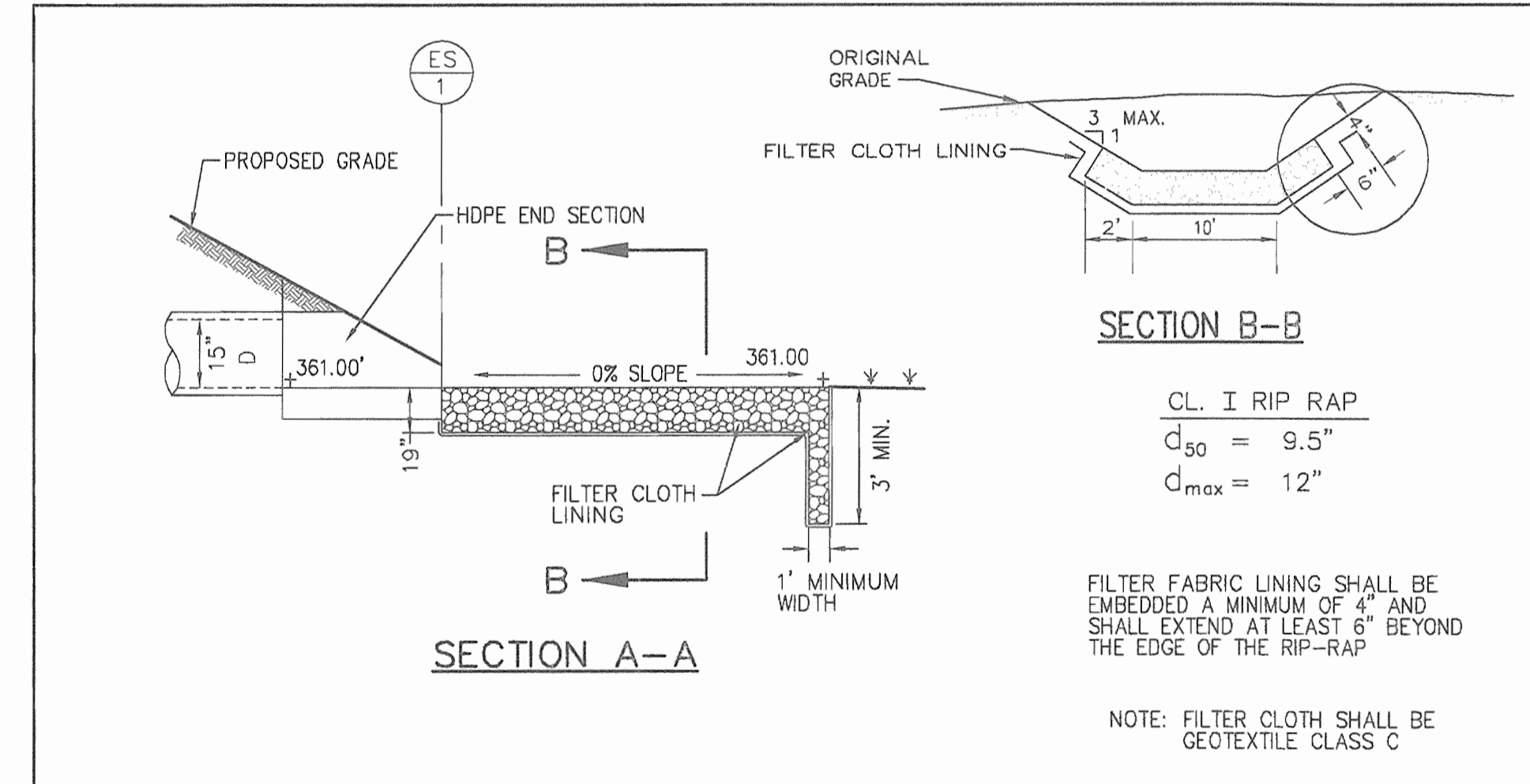
STORM DRAIN PROFILE

SCALE: HORIZ. 1"=20'
VERT. 1"=5'



STORM DRAIN PROFILE

SCALE: HORIZ. 1"=20'
VERT. 1"=5'



SECTION B-B

CL. I RIP RAP
d₅₀ = 9.5"
d_{max} = 12"

NOTE: FILTER CLOTH SHALL BE GEOTEXTILE CLASS C

NYLOPLAST 18" GRATES/COVERS

STANDARD GRADE HAS P-30 HEAVY DUTY RATING. SOLID COVER HAS H-30 HEAVY DUTY RATING. PEDESTRIAN GRADE HAS H-30 MEDIUM DUTY RATING. QUALITY MATERIALS SHALL CONFORM TO ASTM A536 GRADE 250-65. MATERIAL TO BE PAINTED WITH A BLACK PAINT. COATING DEVICE AVAILABLE UPON REQUEST. PRICE INCLUDES FRAME & GRATE/COVER.

18" DRAIN BASIN

VARIOUS TYPES OF OUTLETS WITH WATER-TIGHT ADAPTERS:

- ADD N-12 SOAKAWAY
- SCHEDULE 40 DIV. CORRUGATED PVC RISER
- CONSPICUOUS PVC RISER

TYPICAL INSTALLATIONS

DUCTILE IRON FRAME AND GRATE

INLET AND OUTLET ADAPTERS AVAILABLE 4" THROUGH 18"

AVAILABLE IN SIZES 6" THROUGH 30". ADAPT TO PIPE SIZES 4" THROUGH 150".

18" DRAIN BASIN

VARIOUS TYPES OF OUTLETS WITH WATER-TIGHT ADAPTERS:

- ADD N-12 SOAKAWAY
- SCHEDULE 40 DIV. CORRUGATED PVC RISER
- CONSPICUOUS PVC RISER

ADAPTERS

ADAPTERS ARE AVAILABLE IN THE FOLLOWING SIZES:

ADAPTER SIZE	DRAIN SIZE	DRAIN SCHEDULE	REF.
4"	18"	40	REF. 1
6"	18"	40	REF. 2
8"	18"	40	REF. 3
10"	18"	40	REF. 4
12"	18"	40	REF. 5
15"	18"	40	REF. 6
18"	18"	40	REF. 7

INSTALLATION

The drainage pipe shall be installed using the following methods:

- For 12" and 15" cast iron frames, the pipe shall be inserted into the frame and secured with the provided bolts.
- For 18" cast iron frames, the pipe shall be inserted into the frame and secured with the provided bolts.
- For 24" and 30" cast iron frames, the pipe shall be inserted into the frame and secured with the provided bolts.

ADAPTERS

ADAPTERS ARE AVAILABLE IN THE FOLLOWING SIZES:

ADAPTER SIZE	DRAIN SIZE	DRAIN SCHEDULE	REF.
4"	18"	40	REF. 1
6"	18"	40	REF. 2
8"	18"	40	REF. 3
10"	18"	40	REF. 4
12"	18"	40	REF. 5
15"	18"	40	REF. 6
18"	18"	40	REF. 7

YARD DRAIN DETAIL FOR 1-3 & 1-4

SCALE: NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Date: 8/11/03

Chief, Division of Land Development
Date: 8/11/03

Director
Date: 8/11/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

County Health Officer
Date: 8/18/03

Howard County Health Department

OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497

5/26/04 **REVISED PROFILE**

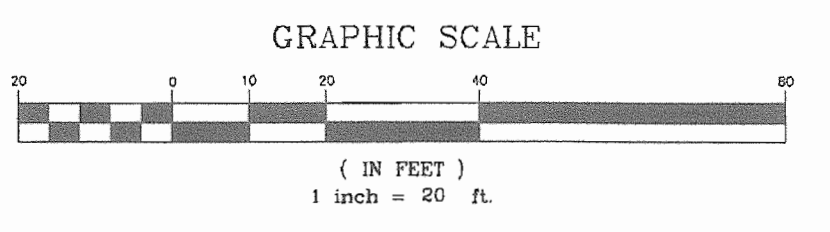
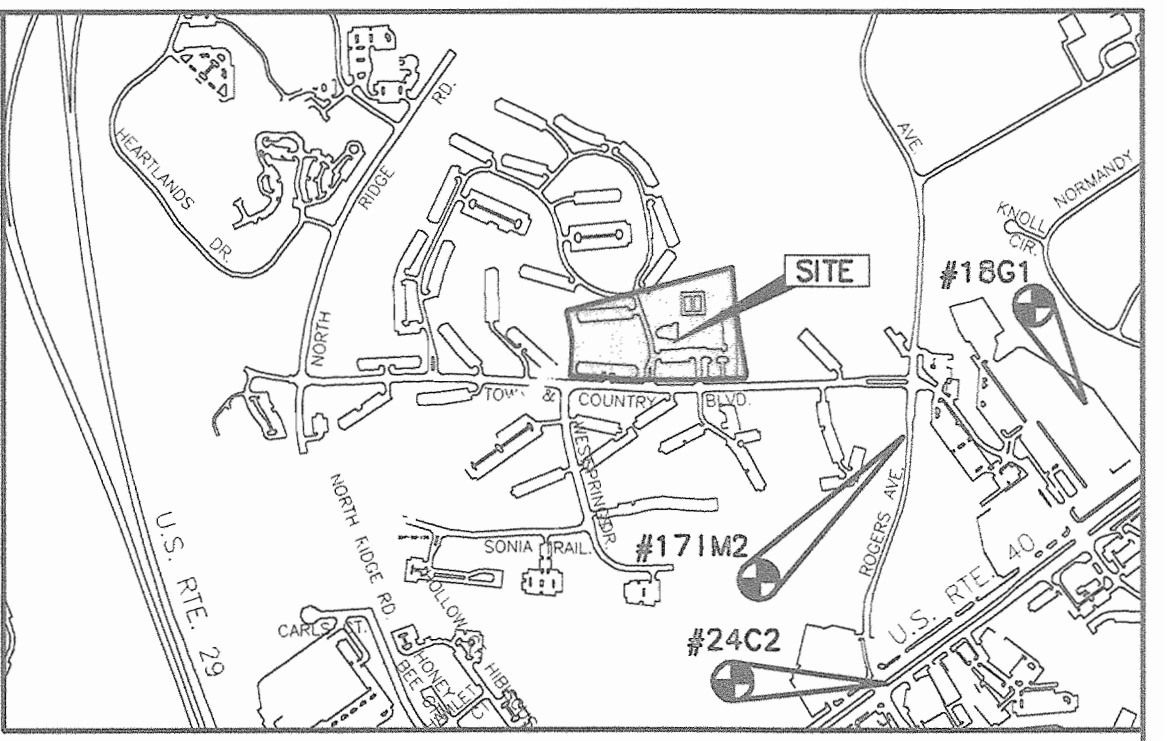
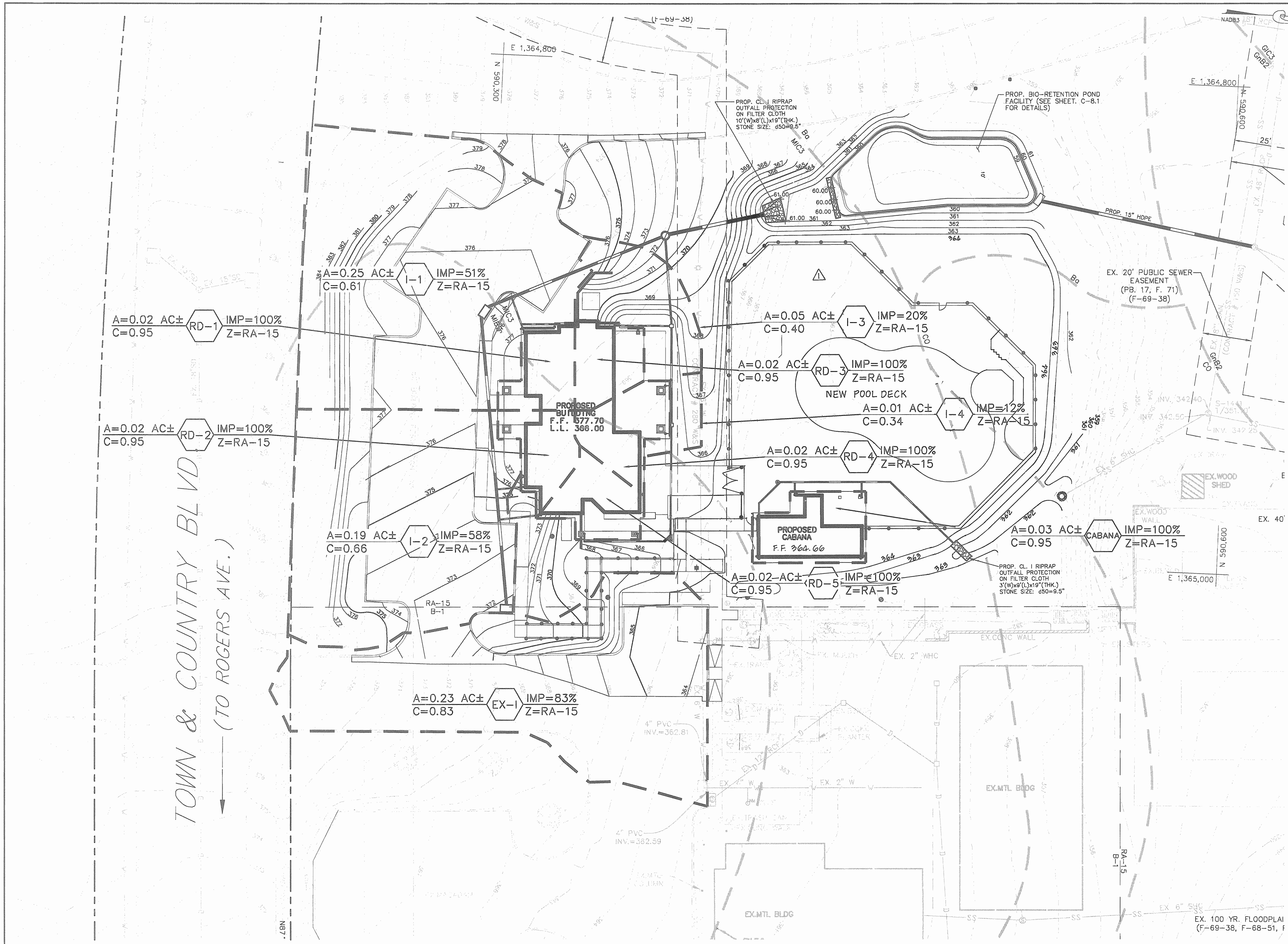
DATE NO. REVISIONS

STORM DRAIN PROFILES

PROJECT TITLE: **TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY 8730 TOWN & COUNTRY BLVD. HOWARD COUNTY, MARYLAND**

ENGINEERS: **WHITNEY, BAILEY, COX & MAGNANI, LLC**
Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-5.2
GRID NO.: 24	
PARCEL NO.: 151 355	SHEET 8 OF 17



TOWN & COUNTRY BLVD
(TO ROGERS AVE.)

OWNER/DEVELOPER
 TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

5/26/04	REVISION	REVISED POOL DECK, FENCE DESIGN AND CABANA GRADING
DATE	NO.	REVISIONS

**STORM DRAIN
DRAINAGE AREA MAP**

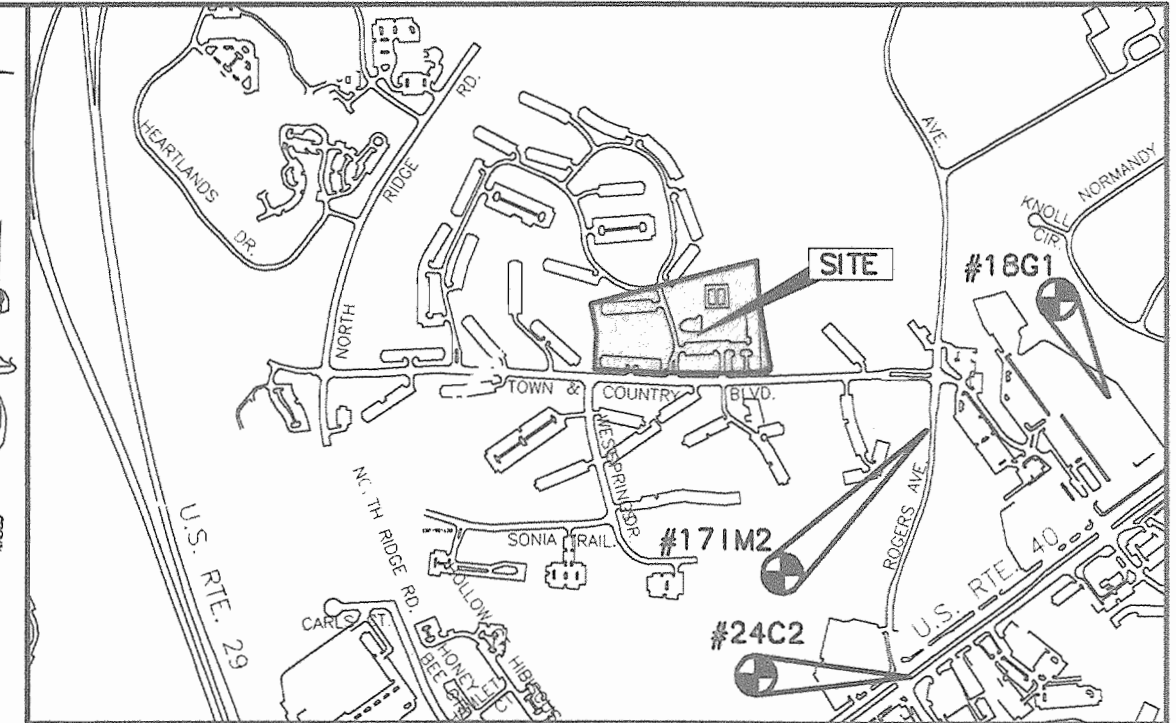
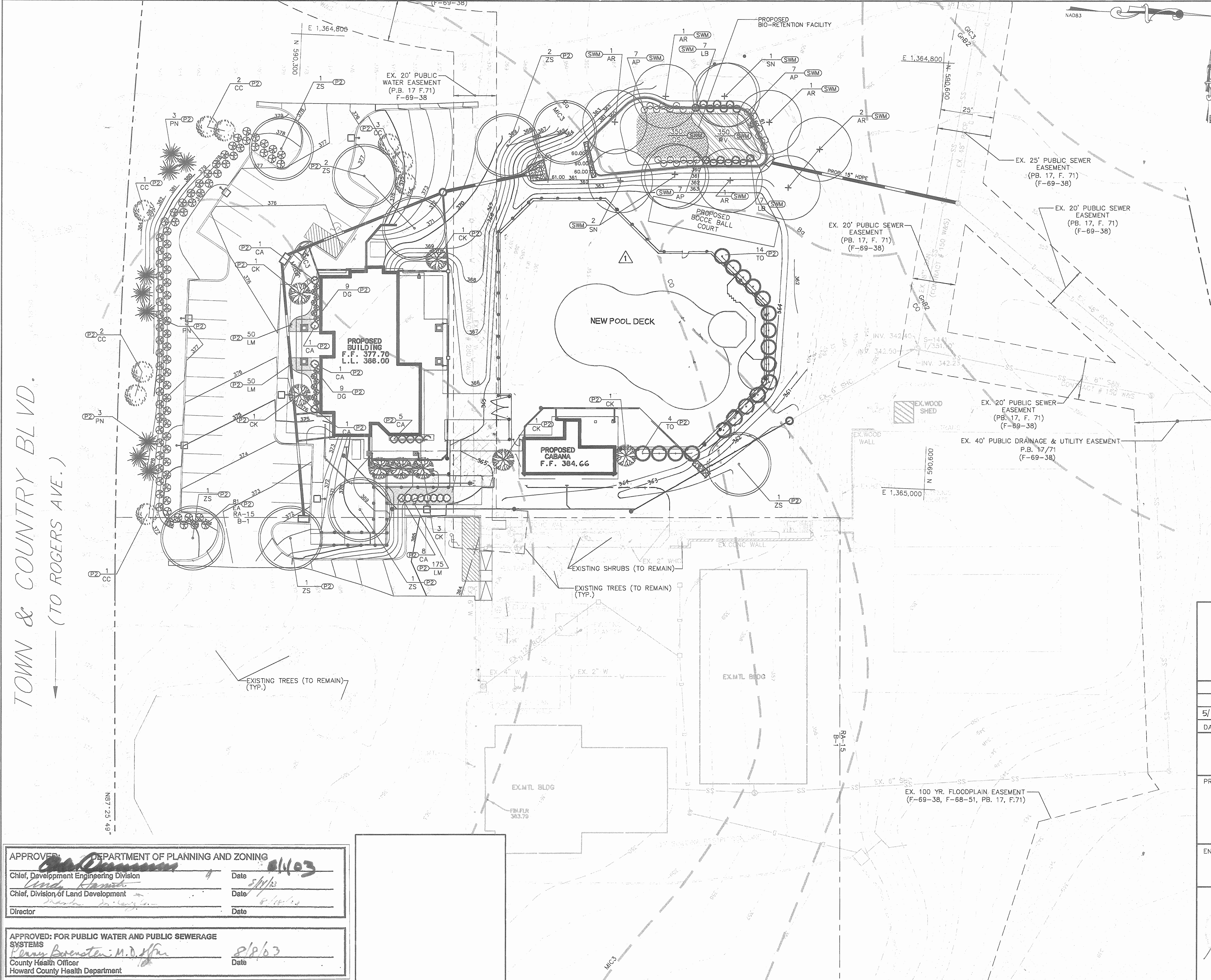
PROJECT TITLE: **TOWN & COUNTRY WEST
SECTION 5 & REVISED SECTION 4
IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: **WB** Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21288 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

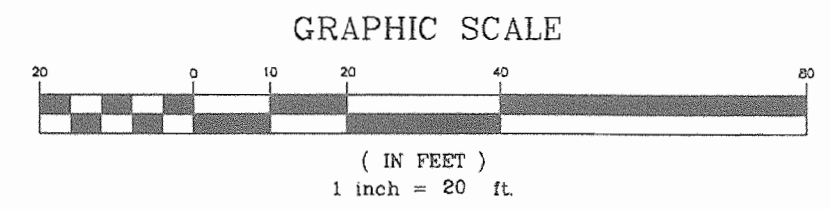
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-5.4
GRID NO.: 24	
PARCEL NO.: 751 355	SHEET 10 OF 17

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] Date: 5/1/03
 Chief, Development Engineering Division
[Signature] Date: 4/14/03
 Chief, Division of Land Development
 Director Date: 4/14/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature] Date: 5/8/03
 County Health Officer
 Howard County Health Department



REFERENCE NOTES
 FOR PLANTING NOTES, DETAILS, LEGEND
 AND PLANT LIST, SEE SHEET C-6.2.



TOWN & COUNTRY BLVD.
 (TO ROGERS AVE.)

OWNER/DEVELOPER
 TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

5/26/04 **REVISED POOL DECK, FENCE DESIGN AND CABANA GRADING**

LANDSCAPE PLAN

PROJECT TITLE: **TOWN & COUNTRY WEST
 SECTION 5 & REVISED SECTION 4
 IN ELLICOTT CITY**
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: **WR Consulting Engineers**
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

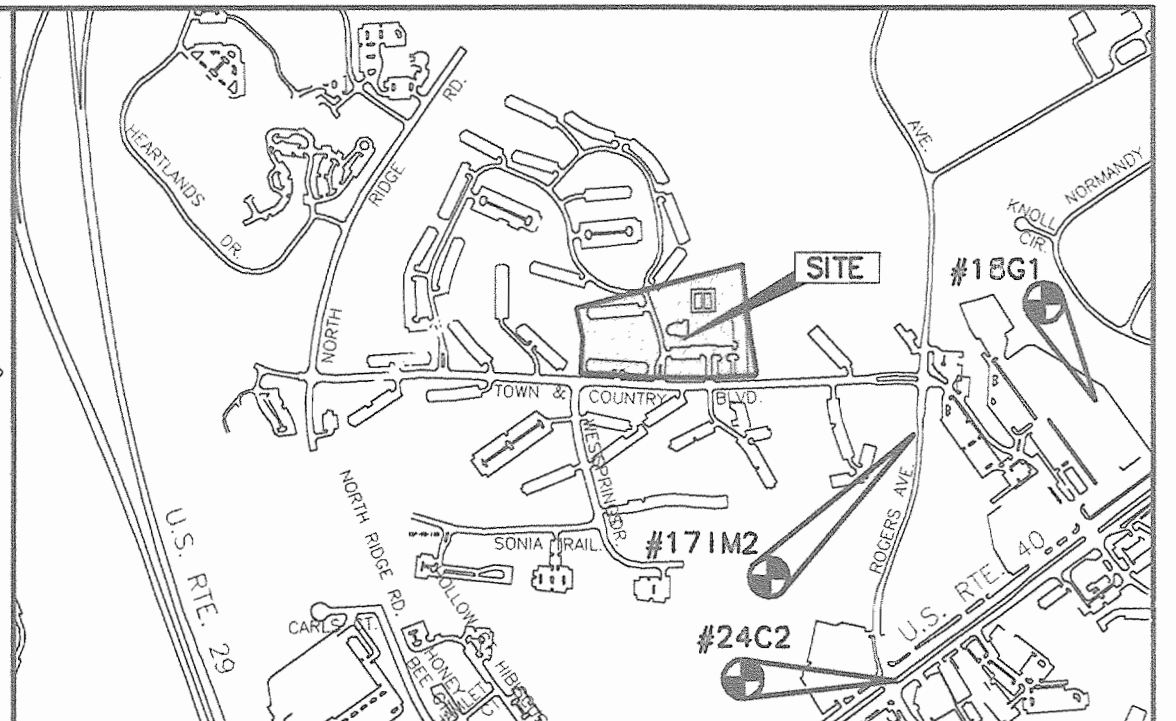
DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-6.1
GRID NO.: 24	
PARCEL NO.: 151 355	SHEET 11 OF 17

APPROVED: **DEPARTMENT OF PLANNING AND ZONING**
 Chief, Development Engineering Division Date: **5/14/03**
 Chief, Division of Land Development Date: **5/14/03**
 Director Date: **5/14/03**

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: **5/18/03**
 Howard County Health Department

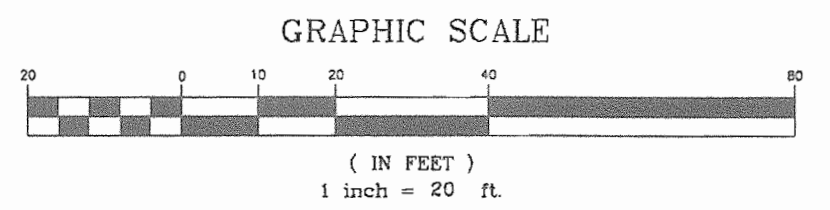
STONE OUTLET SEDIMENT TRAP (C-9-10)

PROPOSED DRAINAGE AREA	1.31± ACRES
EXISTING DRAINAGE AREA	0.26± ACRES
TOTAL DRY STORAGE REQUIRED	2,358 C.F.
TOTAL WET STORAGE REQUIRED	2,358 C.F.
TOTAL DRY STORAGE PROVIDED	2,753 C.F.
TOTAL WET STORAGE PROVIDED	2,564 C.F.
TOP OF EMBANKMENT ELEV.	362.00
CREST ELEVATION	361.00
CLEANOUT ELEVATION	359.00
BOTTOM ELEVATION	358.25
TRAP DEPTH	2.75'
DRY STORAGE ELEVATION	361.00
WET STORAGE ELEVATION	359.75
BOTTOM OF TRAP DIMENSIONS	67'x21'
TRAP SIDE SLOPES	2:1
WEIR LENGTH	6'



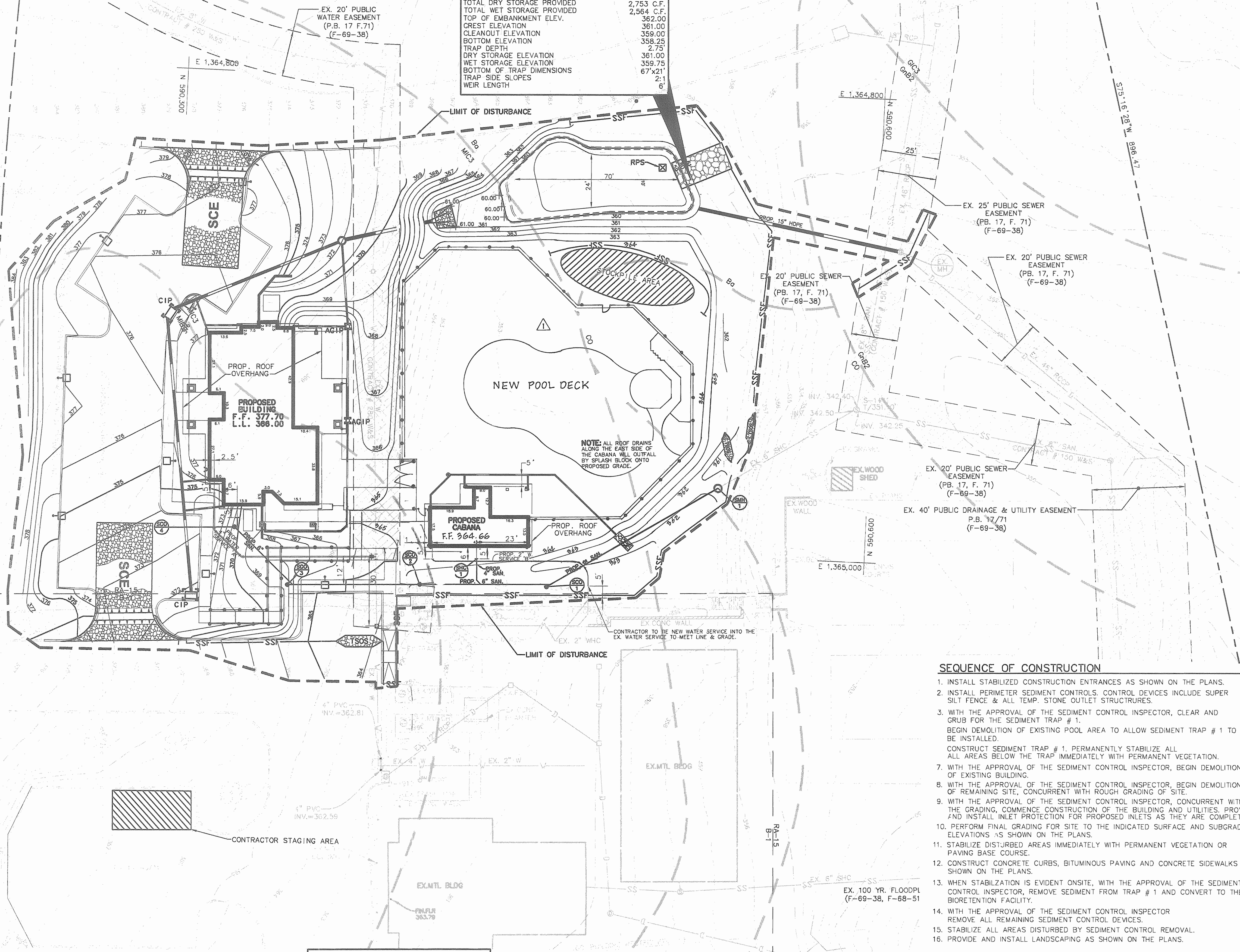
LEGEND

STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM	
STOCKPILE AREA	
CONTRACTOR STAGING AREA	
CURB INLET PROTECTION	
AT GRADE INLET PROTECTION	
SUPER SILT FENCE	
REMOVABLE PUMPING STATION	
LIMIT OF DISTURBANCE	
PROPOSED SWM FACILITY CONTOUR	
PROPOSED SEDIMENT TRAP CONTOUR	
TEMPORARY STONE OUTLET STRUCTURE	



LIMIT OF DISTURBANCE = 68,759± S.F./1.58± AC.

TOWN & COUNTRY BLVD.
(TO ROGERS AVE.)



SEQUENCE OF CONSTRUCTION

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THE PLANS.	0.5 DAYS
2. INSTALL PERIMETER SEDIMENT CONTROLS. CONTROL DEVICES INCLUDE SUPER SILT FENCE & ALL TEMP. STONE OUTLET STRUCTURES.	1 DAY
3. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CLEAR AND CRUB FOR THE SEDIMENT TRAP # 1.	2 DAYS
BEGIN DEMOLITION OF EXISTING POOL AREA TO ALLOW SEDIMENT TRAP # 1 TO BE INSTALLED.	
CONSTRUCT SEDIMENT TRAP # 1. PERMANENTLY STABILIZE ALL AREAS BELOW THE TRAP IMMEDIATELY WITH PERMANENT VEGETATION.	
7. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, BEGIN DEMOLITION OF EXISTING BUILDING.	3 DAYS
8. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, BEGIN DEMOLITION OF REMAINING SITE, CONCURRENT WITH ROUGH GRADING OF SITE.	10 DAYS
9. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, CONCURRENT WITH THE GRADING, COMMENCE CONSTRUCTION OF THE BUILDING AND UTILITIES. PROVIDE AND INSTALL INLET PROTECTION FOR PROPOSED INLETS AS THEY ARE COMPLETED.	30 DAYS
10. PERFORM FINAL GRADING FOR SITE TO THE INDICATED SURFACE AND SUBGRADE ELEVATIONS AS SHOWN ON THE PLANS.	10 DAYS
11. STABILIZE DISTURBED AREAS IMMEDIATELY WITH PERMANENT VEGETATION OR PAVING BASE COURSE.	5 DAYS
12. CONSTRUCT CONCRETE CURBS, BITUMINOUS PAVING AND CONCRETE SIDEWALKS AS SHOWN ON THE PLANS.	15 DAYS
13. WHEN STABILIZATION IS EVIDENT ONSITE, WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT FROM TRAP # 1 AND CONVERT TO THE BIORETENTION FACILITY.	5 DAYS
14. WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES.	2 DAYS
15. STABILIZE ALL AREAS DISTURBED BY SEDIMENT CONTROL REMOVAL.	2 DAYS
16. PROVIDE AND INSTALL LANDSCAPING AS SHOWN ON THE PLANS.	5 DAYS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date: 8/1/03
 Chief, Division of Land Development Date: 8/1/03
 Director Date: 8/1/03

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 County Health Officer Date: 8/1/03
 Howard County Health Department

Reviewed for Howard SOD and meets Technical Requirements
 USDA - Natural Resources Conservation Service Date: 7/29/03
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Howard SOD Date: 7/29/03

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature (print name below signature) Date: 4/3/03 #12908
 William T. Baker, Jr.
 DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature (print name below signature) Date: 8/1/03
 Mark Summers

OWNER/DEVELOPER
 TC-WEST / GREENVIEW COMPANY
 100 S. CHARLES ST., SUITE 1700
 BALTIMORE, MARYLAND 21201
 (410) 539-7600
 DEED REFERENCE = 951/497

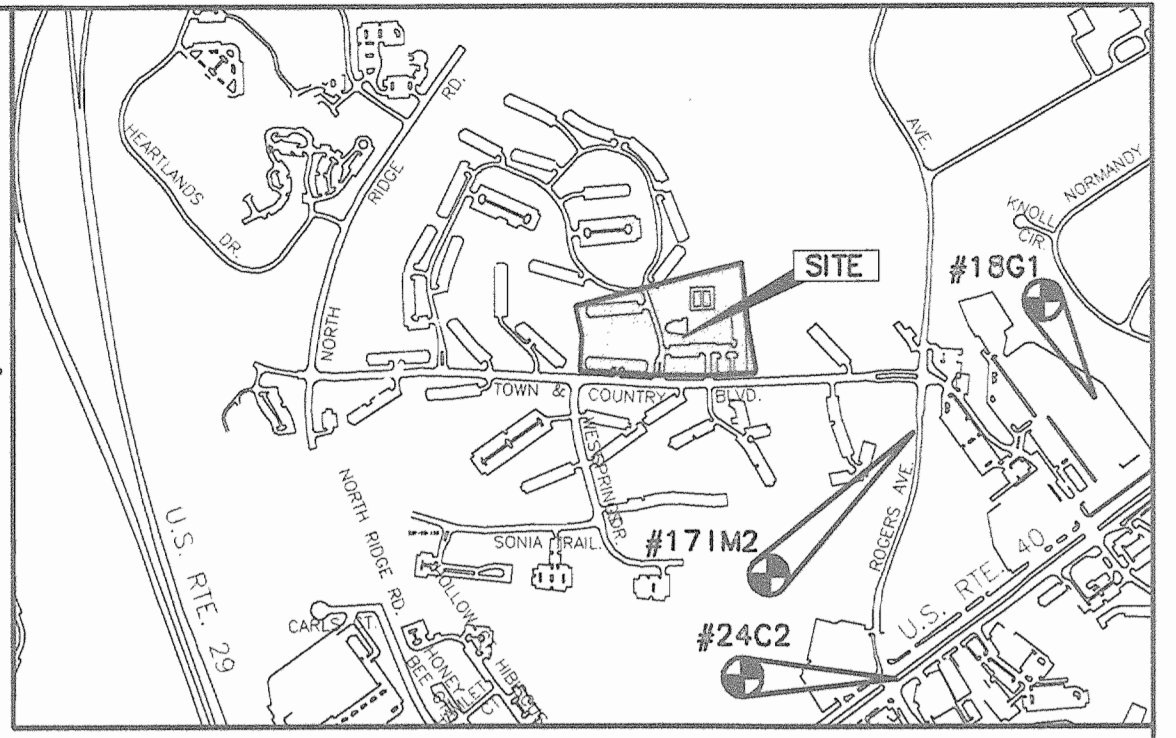
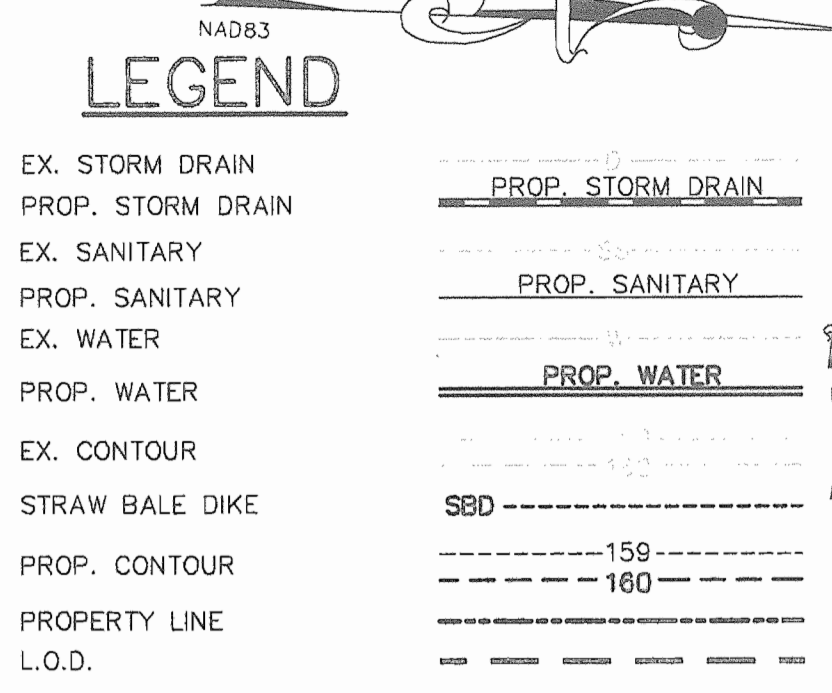
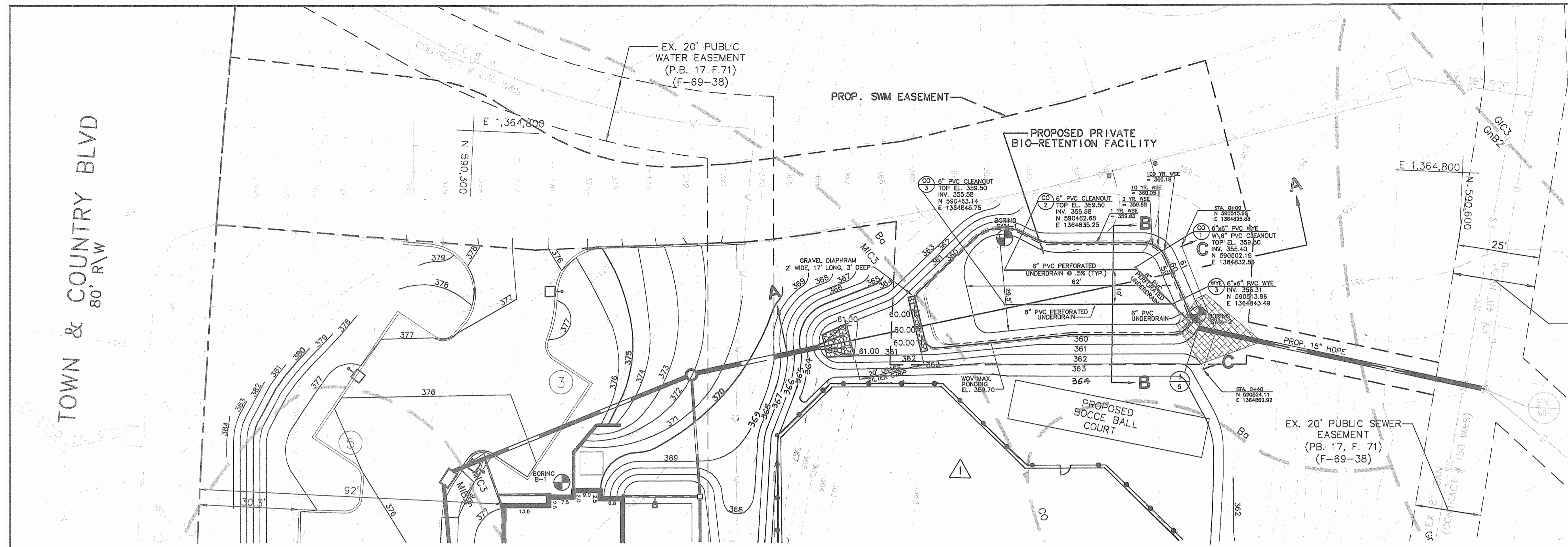
5/26/04	REVISOR	REVISED POOL DECK, FENCE DESIGN AND CABANA GRADING
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SEDIMENT & EROSION CONTROL PLAN

PROJECT TITLE: TOWN & COUNTRY WEST
 SECTION 5 & REVISED SECTION 4
 IN ELLICOTT CITY
 8730 TOWN & COUNTRY BLVD.
 HOWARD COUNTY, MARYLAND

ENGINEERS: Consulting Engineers
 849 Fairmount Avenue (410) 512-4500
 Baltimore, Maryland 21286 (410) 324-4100 (FAX)
 WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	C-7.1
GRID NO.: 24	
PARCEL NO.: 751 355	



EB.3.B SPECIFICATIONS FOR BIORETENTION

- MATERIAL SPECIFICATIONS**
THE ALLOWABLE MATERIALS TO BE USED IN BIORETENTION AREA ARE DETAILED IN TABLE B.3.2.
- PLANTING SOIL**
THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.
- PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:**
PH RANGE 5.2 - 7.0
ORGANIC MATTER 1.5 - 4% (BY WEIGHT)
MAGNESIUM 35 LB./AC
PHOSPHORUS (PHOSPHATE - P2 O5) 75 LB./AC
POTASSIUM (POTASH - K2 O) 85 LB./AC
SOLUBLE SALTS NOT TO EXCEED 500 PPM
- PLANT MATERIAL**
SEE PLANTING PLAN, SHEET C-6.1
- PLANT INSTALLATION**
MULCH SHOULD BE PLACED TO A UNIFORM THICKNESS OF 2" TO 3". SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.

ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE REQUIRED SAND LAYER. PUMP ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE.

WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE.

WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.

THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:

PH RANGE 5.2 - 7.0
ORGANIC MATTER 1.5 - 4% (BY WEIGHT)
MAGNESIUM 35 LB./AC
PHOSPHORUS (PHOSPHATE - P2 O5) 75 LB./AC
POTASSIUM (POTASH - K2 O) 85 LB./AC
SOLUBLE SALTS NOT TO EXCEED 500 PPM

ALL BIORETENTION AREAS SHALL HAVE A MINIMUM OF ONE TEST. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, PHOSPHORUS, AND POTASSIUM AND ADDITIONAL TESTS OF ORGANIC MATTER, AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOP SOIL WAS EXCAVATED.

SINCE DIFFERENT LABS CALIBRATE THEIR TESTING EQUIPMENT DIFFERENTLY, ALL TESTING RESULTS SHALL COME FROM THE SAME TESTING FACILITY.

SHOULD THE PH FALL OUT OF THE ACCEPTABLE RANGE, IT MAY BE MODIFIED (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

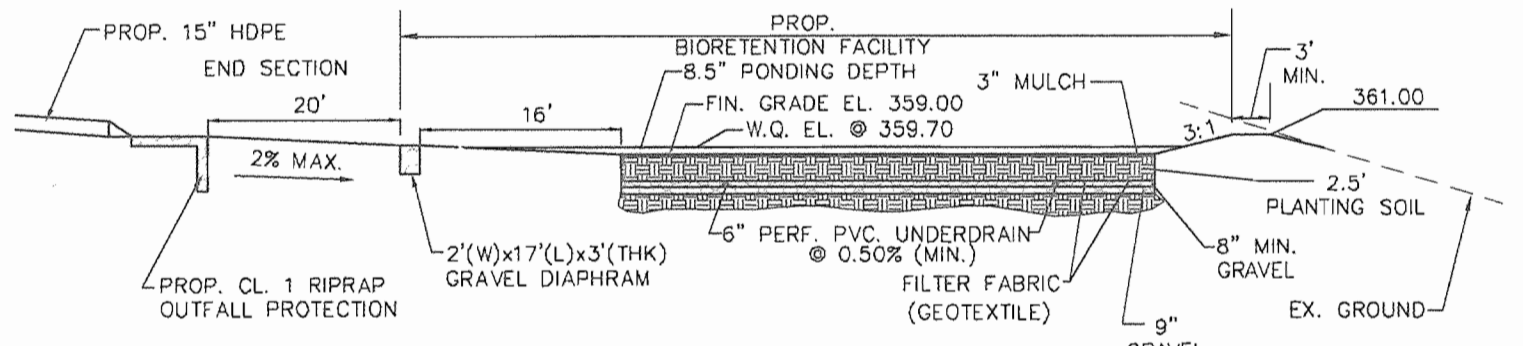
3. COMPACTION
IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF THE BIORETENTION AREA AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF BIORETENTION AREAS ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT, OR LIGHT EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN SLOPED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.

COMPACTION CAN BE ALLEVIATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL FLOW, RIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACURE THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.

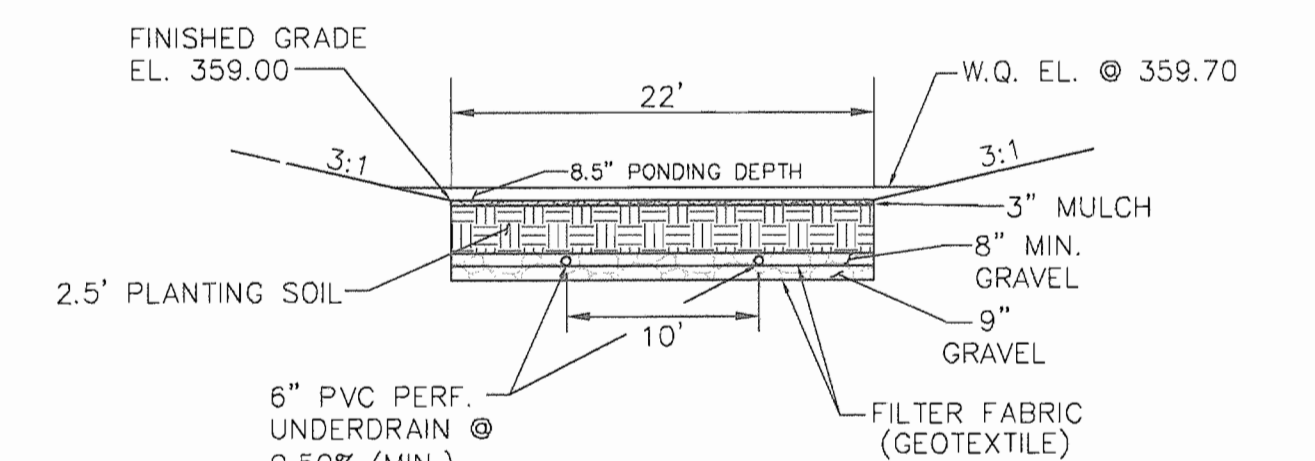
PLAN
SCALE: 1"=20'

DRAINAGE AREA: 0.808 AC. RCN: 81 TC: 0.10 HR

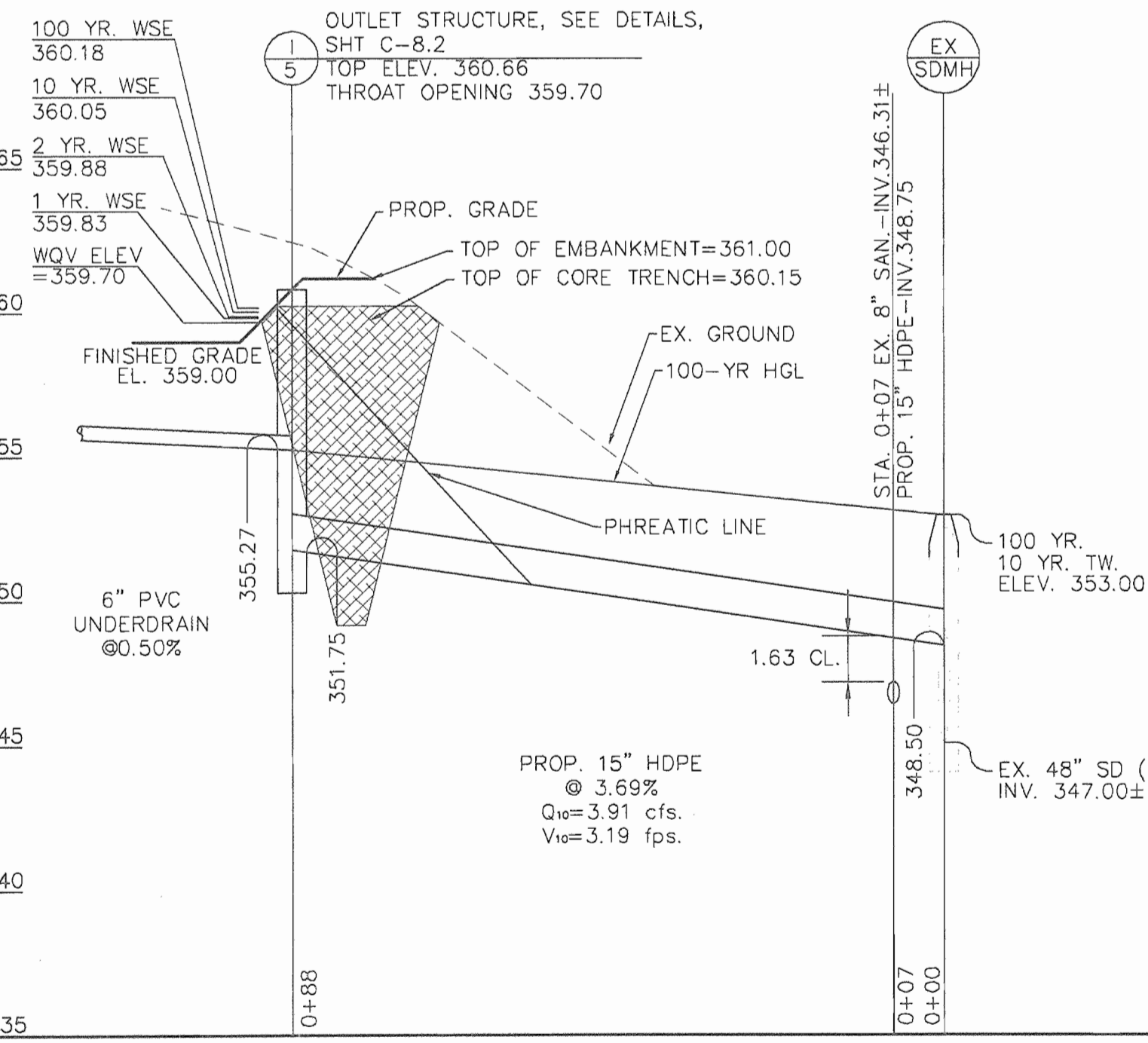
Step	Category	CU/FT Volume Required	CU/FT Volume Provided	Notes
1	Water Quality Volume (WQv)	1578	2487	Bioretention
2	Retention Volume (Rev)	410	438.9	Stone Storage below Bioretention Area
3	Channel Protection Volume (Cov)	N/A	N/A	No year post development less than 2 cfs
4	Overbank Flood Protect. Vol. (Op)	N/A	N/A	No downstream impact. Providing stable outlet from BMP's
5	Extreme Flood Volume (Q1)	N/A	N/A	Provide safe passage for the 10-year event in final design



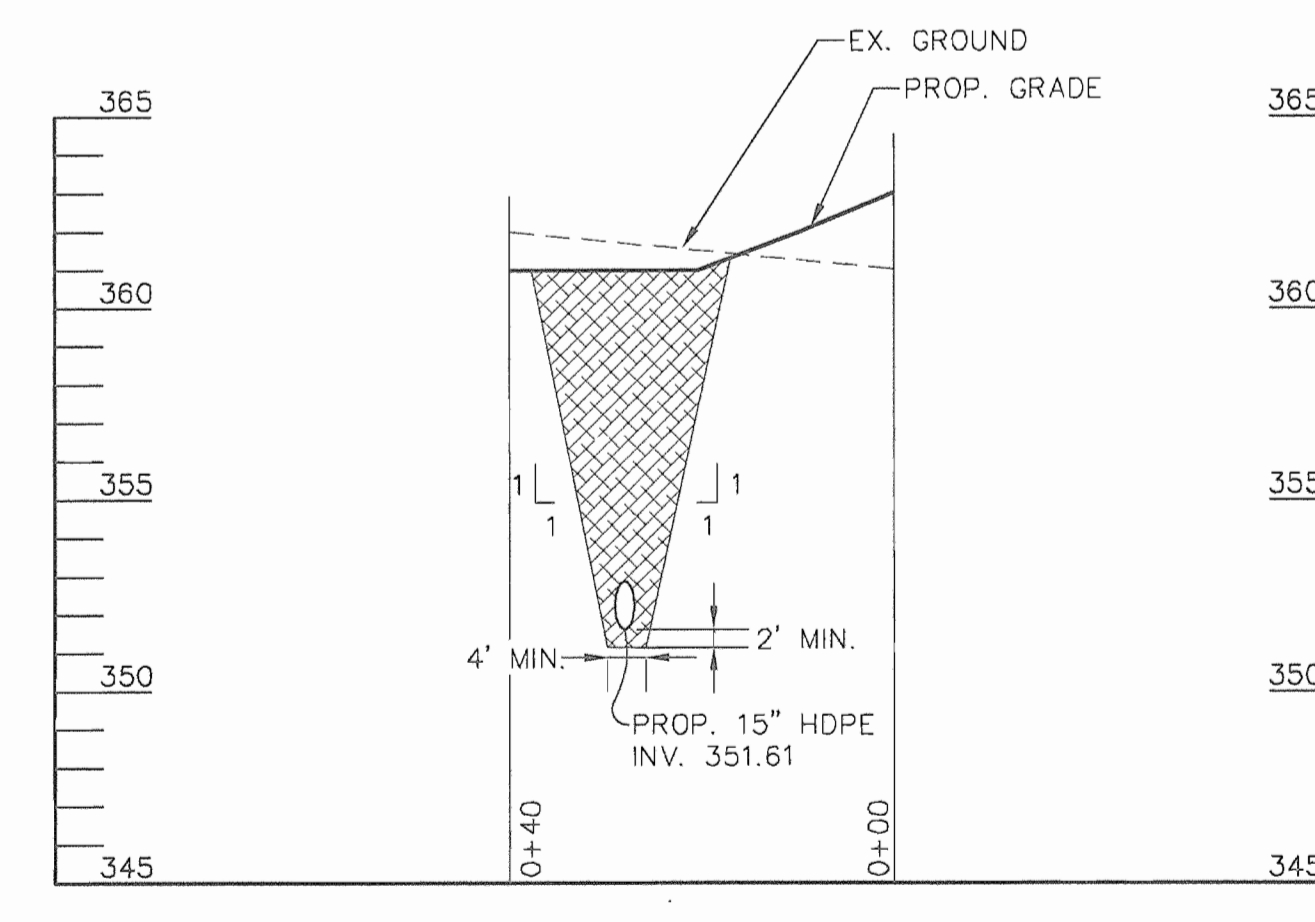
SECTION A-A
SCALE: 1"=20'



SECTION B-B
SCALE: 1"=10'



STORM DRAIN PROFILE
SCALE: HORIZ. 1"=20'
VERT. 1"=5'



SECTION C-C
SCALE: HORIZ. 1"=20'
VERT. 1"=5'

INFLOW: Q1: 1.2 cfs, Q2: 1.8 cfs, Q3: 3.4 cfs, Q4: 5.6 cfs

OUTFLOW: Q1: 1.1 cfs, Q2: 1.6 cfs, Q3: 3.4 cfs, Q4: 5.6 cfs

WSE: Q1: 359.83, Q2: 359.88, Q3: 360.05, Q4: 360.18

STORAGE: Q1: 287 FT, Q2: 376 FT, Q3: 755 FT, Q4: 1060 FT

DEVELOPER'S/LANDOWNER'S CERTIFICATION
I/WE HEREBY CERTIFY THAT ALL PROPOSED WORK SHOWN ON THE CONSTRUCTION DRAWING(S) WILL BE CONDUCTED IN STRICT ACCORDANCE WITH THE PLANS. I/WE ALSO UNDERSTAND THAT IT IS MY/OUR RESPONSIBILITY TO HAVE THE CONSTRUCTION SUPERVISED AND CERTIFIED, INCLUDING THE SUBMITTAL OF "AS-BUILT" PLANS CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER WITHIN THIRTY (30) DAYS OF COMPLETION OF WORK ON THE STORMWATER MANAGEMENT FACILITY. I/WE ALSO CERTIFY THAT THIS/THOSE STORMWATER MANAGEMENT FACILITY/FACILITIES WILL BE INSPECTED DURING CONSTRUCTION BY A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY.

SIGNED: *Mark Simeone* DATE: 8/10/03
PRINT NAME: Mark Simeone

"AS-BUILT" CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. I ALSO CERTIFY THAT CONSTRUCTION WAS INSPECTED IN ACCORDANCE WITH THE REQUIREMENTS OF HOWARD COUNTY.

SIGNATURE: _____ DATE: _____
PRINT NAME: _____ MD. LICENSE NO. _____

ENGINEER'S CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN DESIGNED ACCORDING TO THE HOWARD COUNTY DESIGN MANUAL STANDARDS AND SPECIFICATION AND THE DEPARTMENT OF ENVIRONMENT STORMWATER MANAGEMENT REGULATIONS.

SIGNED: *William Baker* DATE: 4/3/03
PRINT NAME: William Baker MD. LICENSE NO. 12908

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division: *[Signature]* Date: 8/1/03
Chief, Division of Land Development: *[Signature]* Date: 8/10/03
Director: *[Signature]* Date: 8/10/03

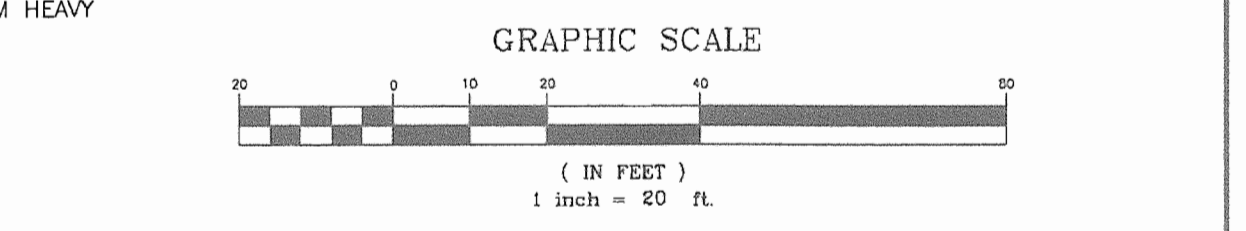
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
County Health Officer: *[Signature]* Date: 8/10/03
Howard County Health Department

TABLE B.3.2 MATERIALS SPECIFICATIONS FOR BIORETENTION

MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTING SOIL (2.5' DEEP)	SAND 35-60% SILT 30-55% CLAY 10-25%	N/A	USDA SOIL TYPES LOAMY SAND, SANDY LOAM, OR LOAM
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM
GEOTEXTILE	CLASS "C" - APPARENT OPENING SIZE (ASTM-D-4751), GRAB TENSILE STRENGTH (ASTM-D-4632), PUNCTURE RESISTANCE (ASTM-D-4833)	N/A	FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY.
UNDERDRAIN GRAVEL	AASHTO M-43	0.375" TO 0.75"	
UNDERDRAIN PIPING	F 758 TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	3/4" PREF. @ 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES.

CONSTRUCTION SPECIFICATIONS
EARTH FILL
CUTOFF TRENCH - THE CUTOFF TRENCH SHALL BE EXCAVATED INTO IMPERVIOUS MATERIAL ALONG OR PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE BOTTOM WIDTH OF THE TRENCH SHALL BE GOVERNED BY THE EQUIPMENT USED FOR EXCAVATION, WITH THE MINIMUM WIDTH BEING FOUR FEET. THE DEPTH SHALL BE AT LEAST FOUR FEET BELOW EXISTING GRADE OR AS SHOWN ON PLANS. THE SIDE SLOPES OF THE TRENCH SHALL BE 1 TO 1 OR FLATTER. THE BACKFILL SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY.

EMBANKMENT CORE - THE CORE SHALL BE PARALLEL TO THE CENTERLINE OF THE EMBANKMENT AS SHOWN ON THE PLANS. THE TOP WIDTH OF THE CORE SHALL BE A MINIMUM OF FOUR FEET. THE HEIGHT SHALL EXTEND UP TO AT LEAST THE 10 YEAR WATER ELEVATION OR AS SHOWN ON THE PLANS. THE SIDE SLOPES SHALL BE 1 TO 1 OR FLATTER. THE CORE SHALL BE COMPACTED WITH CONSTRUCTION EQUIPMENT, ROLLERS, OR HAND TAMPERS TO ASSURE MAXIMUM DENSITY AND MINIMUM PERMEABILITY. IN ADDITION, THE CORE SHALL BE PLACED CONCURRENTLY WITH THE OUTER SHELL OF THE EMBANKMENT.



OWNER/DEVELOPER
TC-WEST / GREENVIEW COMPANY
100 S. CHARLES ST., SUITE 1700
BALTIMORE, MARYLAND 21201
(410) 539-7600
DEED REFERENCE = 951/497

5/26/04 REVISED POOL DECK, FENCE DESIGN AND CABANA GRADING
DATE NO. REVISIONS

STORMWATER MANAGEMENT PLAN, NOTES & DETAILS
PROJECT TITLE: TOWN & COUNTRY WEST SECTION 5 & REVISED SECTION 4 IN ELLICOTT CITY 8730 TOWN & COUNTRY BLVD. HOWARD COUNTY, MARYLAND

ENGINEERS: Consulting Engineers
849 Fairmount Avenue (410) 512-4500
Baltimore, Maryland 21286 (410) 324-4100 (FAX)
WHITNEY, BAILEY, COX & MAGNANI, LLC

DESIGNED: D.J.J.	ELECTION DIST.: 2
DRAWN: S.J.D.	CENSUS TRACT #: 6026.00
CHECKED: P.J.C.	WATER CODE: F-03
DATE: 4/2/03	SEWER CODE: 1453800
SCALE: AS SHOWN	DRAWING NO:
MAP NO.: 17	
GRID NO.: 24	C-8.1
PARCEL NO.: 181355	SHEET 16 OF 17